

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
3. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
MISS UTILITY 1-800-257-7777
BELL ATLANTIC TELEPHONE CO. 725-9976
HOWARD COUNTY BUREAU OF UTILITIES 313-2366
AT&T CABLE LOCATION SERVICES 393-3553
B.G.&E. CO. CONTRACTOR SERVICES 850-4820
B.G.&E. CO. UNDERGROUND DAMAGE CONTROL 787-4620
STATE HIGHWAY ADMINISTRATION 531-5533
4. SITE ANALYSIS:
TOTAL AREA OF SITE: 11,897 SF (0.27 AC)
AREA OF PLAN SUBMISSION: 11,897 SF (0.27 AC)
TOTAL NUMBER OF BUILDABLE LOTS: 2
TOTAL NUMBER OF OPEN SPACE LOTS: 0
PRESENT ZONING: R-12
LIMIT OF DISTURBANCE: 4,645 SF (.11 AC)
PROPOSED USE OF SITE: SINGLE FAMILY DETACHED DWELLING
TOTAL UNITS ALLOWED: 2
TOTAL UNITS PROPOSED: 2
5. PROJECT BACKGROUND:
LOCATION: TAX MAP: 38 PARCEL: 377
ZONING: R-12
MIAMI COURT
DEED REFERENCE: LIBER 5544 FOLIO 685
DPZ REFERENCES: N/A
6. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
7. ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
8. EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO THE COUNTY'S RIGHT OF WAY INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTORS EXPENSE.
9. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
10. SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
11. COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENT N.O.S. 321A AND 388B.
12. EXISTING TOPOGRAPHY AND BOUNDARY IS BASED ON PLANS PREPARED BY A FIELD SURVEY PREPARED BY FREDERICK WARD ASSOCIATES, DATED JUNE 2002.
13. ACCESS TO WATER HAS BEEN PROVIDED UNDER CONTRACT NO. 44-3126. ACCESS TO SEWER HAS BEEN PROVIDED UNDER CONTRACT NO. 22-5.
14. THERE ARE NO STEEP SLOPES LOCATED ON THIS PROPERTY.
15. NO BURIAL GROUNDS OR CEMETERIES ARE LOCATED ON THIS PROPERTY.
16. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
17. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A) WIDTH - 12 FEET (14 FEET IF SERVING MORE THAN ONE RESIDENCE)
B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING
C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS
D) STRUCTURES (CULVERTS/BRIDGES) - MUST SUPPORT 25 GROSS TON LOADING (H25 LOADING)
E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
18. NO STREAMS OR WETLANDS EXIST ON SITE.
19. NO 100 YEAR FLOODPLAINS EXIST ON SITE.
20. THIS SITE PLAN CONFORMS TO THE 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
21. SHC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.
22. FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-6.06 (OPEN SECTION).
23. THE SUBJECT PROPERTY IS PART OF A SUBDIVISION APPROVED PRIOR TO DECEMBER 31, 1992, THEREFORE IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS AS DETAILED IN SECTION 16.1202(B) OF THE COUNTY CODE.
24. DUE TO THE LIMIT OF DISTURBANCE BEING LESS THAN 5,000 SF, STORMWATER MANAGEMENT IS NOT REQUIRED.
25. PERIMETER LANDSCAPING IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. SURETY IN THE AMOUNT OF \$1,800.00 FOR THE SIX SHADE TREES SHALL BE POSTED WITH THE GRADING PERMIT FOR LOTS C AND F.
26. FIRST FLOOR SEWER SERVICE ONLY AS PER CONTRACT 22-5.
27. LOT AREAS SHOWN HEREON ARE FROM PEED. NO ADDITIONAL RIGHT-OF-WAY HAS BEEN TRANSFERRED TO HOWARD COUNTY. HOWEVER, A 30' PRESERVATIVE RIGHT-OF-WAY IS PRESERVED. A MAINTENANCE AGREEMENT FOR THE SHARED DRIVEWAY FOR LOTS C & F HAS BEEN RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 6915 FOLIO 685.
28. SCHEDULE A PERIMETER LANDSCAPE EDGE

21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

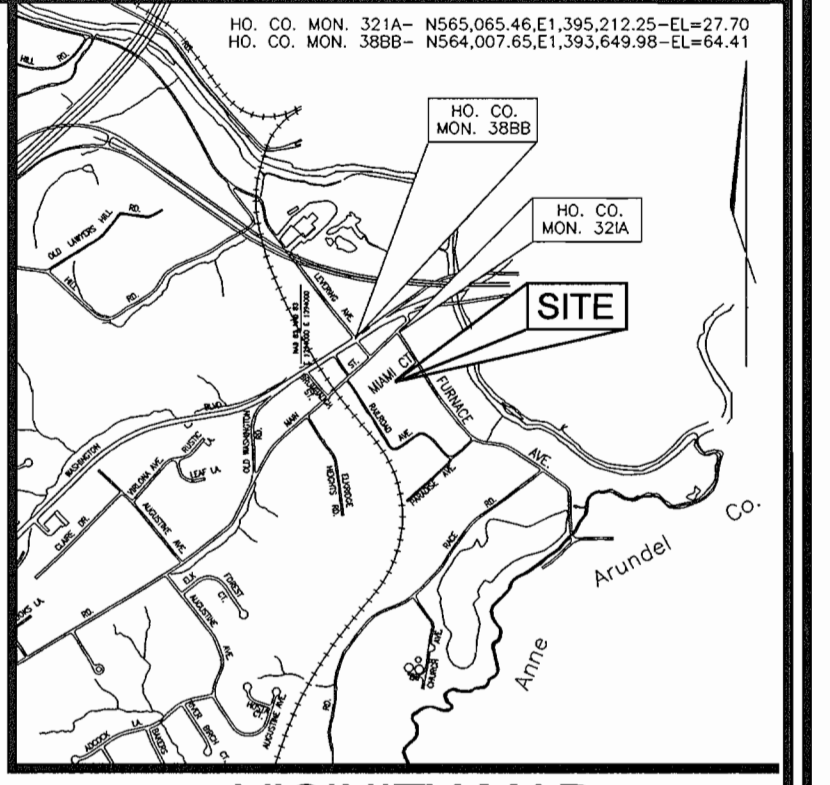
DEFINITION
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.
PURPOSE
To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
CONDITIONS WHERE PRACTICE APPLIES
I. This practice is limited to areas having 2:1 or flatter slopes where:
a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
c. The original soil to be vegetated contains material toxic to plant growth.
d. The soil is so acidic that treatment with limestone is not feasible.
II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.
CONSTRUCTION AND MATERIAL SPECIFICATIONS
I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
II. Topsoil Specifications - Soil to be used as topsoil must meet the following:
i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 and 1/2" in diameter.
ii. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
iv. For sites having disturbed areas under 5 acres:
i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.
SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.
SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:
1) Preferred-Apply 2 tons per acre dolomitic limestone (92 lbs./100 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs./100 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq.ft.)
2) Acceptable-Apply 2 tons per acre dolomitic limestone (92 lbs./100 sq.ft.) and apply 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.
SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs/1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, seed site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.
MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.
MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings.

SEDIMENT CONTROL NOTES

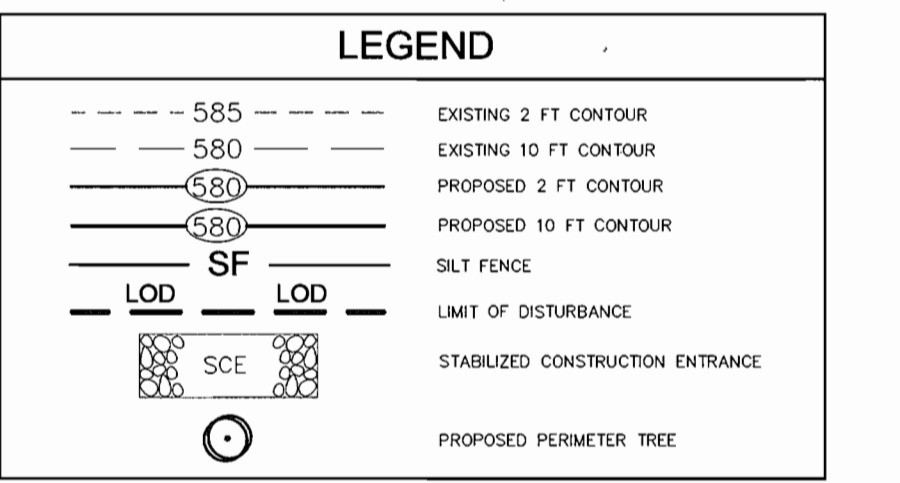
- 1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits Sediment Control Division prior to the start of any construction (313-1855).
2. All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within (a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1, (b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching (Sec. 6). Temporary stabilization with mulch alone shall be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:
TOTAL
Total Area 11,897 SF
Area Disturbed 4,645 SF
Area to be roofed or paved 2,200 SF
Area to be vegetatively stabilized 2,559 SF
Total Cut 200 CY
Total Fill 200 CY
Offsite waste/borrow area location *
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.
12. Estimates of earthwork quantities are provided solely for the purpose of calculating fees.
* To be determined by contractor, with pre-approval of the Sediment Control Inspector with an approved and active grading permit



SEQUENCE OF CONSTRUCTION

- 1. Obtain grading permit.
2. Notify Howard County Bureau Of Inspections and Permits (410.313.1880) at least 24 hours before starting any work.
3. Construct Stabilized Construction Entrances. (1 day)
4. Install silt fence and erosion control matting. (2 days)
5. After obtaining permission from the sediment control inspector to proceed, rough grade site. (4 days)
6. Construct house. The first floor elevation cannot be more than 1" higher or 0.2" lower than the elevations shown on this plan. The foundation footprint must be within the generic block. (3 months)
7. Upon stabilization of all disturbed areas and with the approval of the sediment control inspector, remove all sediment control devices.

- 1. DURING GRADING AND AFTER EACH RAINFALL, THE CONTRACTOR SHALL INSPECT AND PROVIDE THE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL MEASURES SHOWN HEREON.
2. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLIED WITH.



ADDRESS CHART table with columns for Lot #, Street Address, and Lot Area. Includes entries for Lot C (5728 MIAMI COURT) and Lot F (5729 MIAMI COURT).

PERMIT INFORMATION CHART table with columns for Project Name, Section/Area, Parcel Number, Plat Ref., Block No., Zone, Tax Map, Elect. Dist., Census Tr., Water Code, and Sewer Code.

SHEET INDEX table with columns for Description and Sheet No. Shows 'SITE DEVELOPMENT PLAN' as sheet 1 of 1.

Table with columns for No., Revision, and Date.

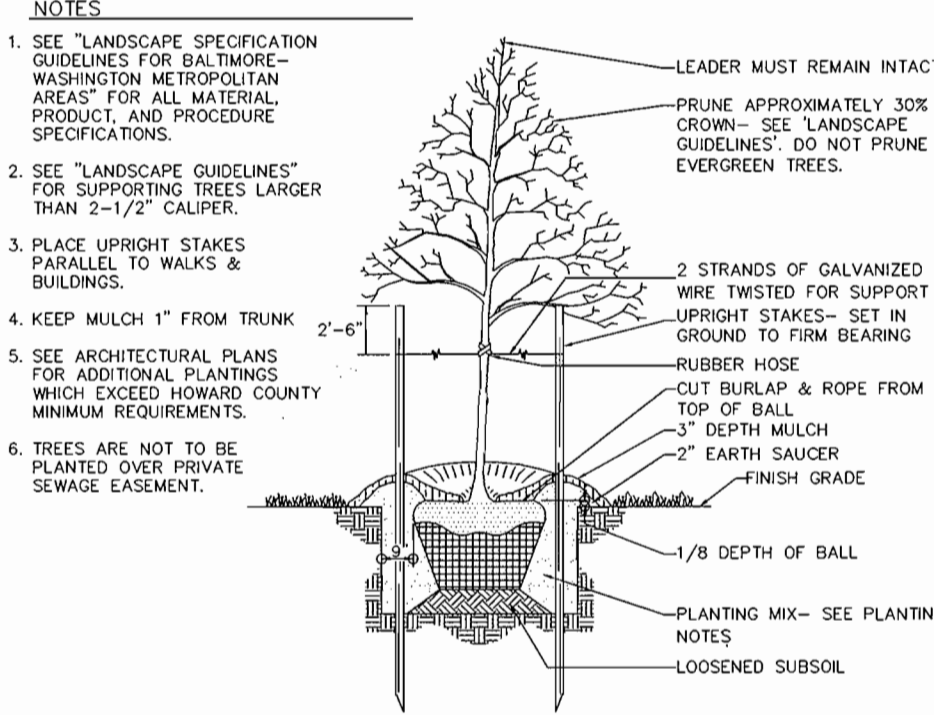
SITE DEVELOPMENT PLAN MIAMI COURT LOTS 'C' AND 'F'. Includes tax map 38, 1st election district, and parcel 377 information.

FREDERICK WARD ASSOCIATES, INC. contact information: 7125 Riverwood Drive Columbia, Maryland 21046-2354. Phone: 410-290-9550 Fax: 410-720-6226. Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

Professional Engineer seal for Robert H. Vogel, PE No. 16193. Design by JT, Drawn by RHT, Checked by RHT, Date: FEBRUARY 20, 2003, Scale: 1"=30', W.O. No.: 2024057, 1 SHEET OF 1.

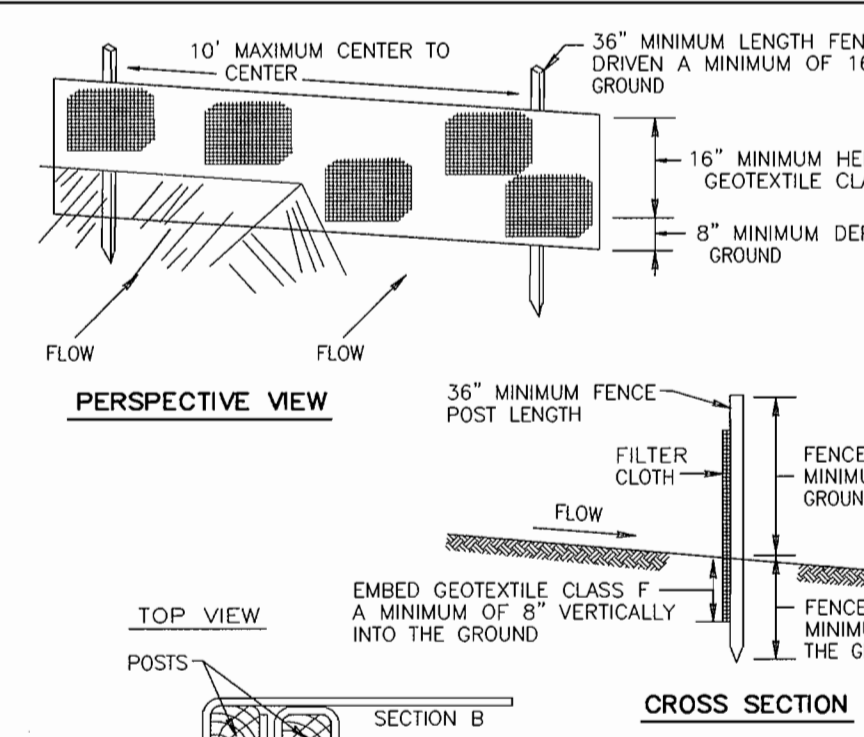
NOTES

- 1. SEE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE WASHINGTON METROPOLITAN AREA" FOR ALL MATERIAL, PRODUCT, AND PROCEDURE SPECIFICATIONS.
2. SEE "LANDSCAPE GUIDELINES" FOR SUPPORTING TREES LARGER THAN 2-1/2" CALIBER.
3. PLACE UPRIGHT STAKES PARALLEL TO WALKS & BUILDINGS.
4. KEEP MULCH 1" FROM TRUNK.
5. SEE ARCHITECTURAL PLANS FOR ADDITIONAL PLANTING AND EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
6. TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWER EASEMENT.
LEADER MUST REMAIN INTACT
PRUNE APPROXIMATELY SIZE OF CROWN - SEE LANDSCAPE GUIDELINES. DO NOT PRUNE EVERGREEN TREES.
2 STRANDS OF GALVANIZED WIRE TWISTED FOR SUPPORT UPRIGHT STAKES SET IN GROUND TO FIRM BEARING.
RUBBER HOSE CUT BURLAP & ROPE FROM TOP OF BALL.
2" DEPTH MULCH.
2" EARTH SAUCER.
FINISH GRADE.
1/8" DEPTH OF BALL.
PLANTING MIX - SEE PLANTING NOTES.
LOOSENED SUBSOIL.

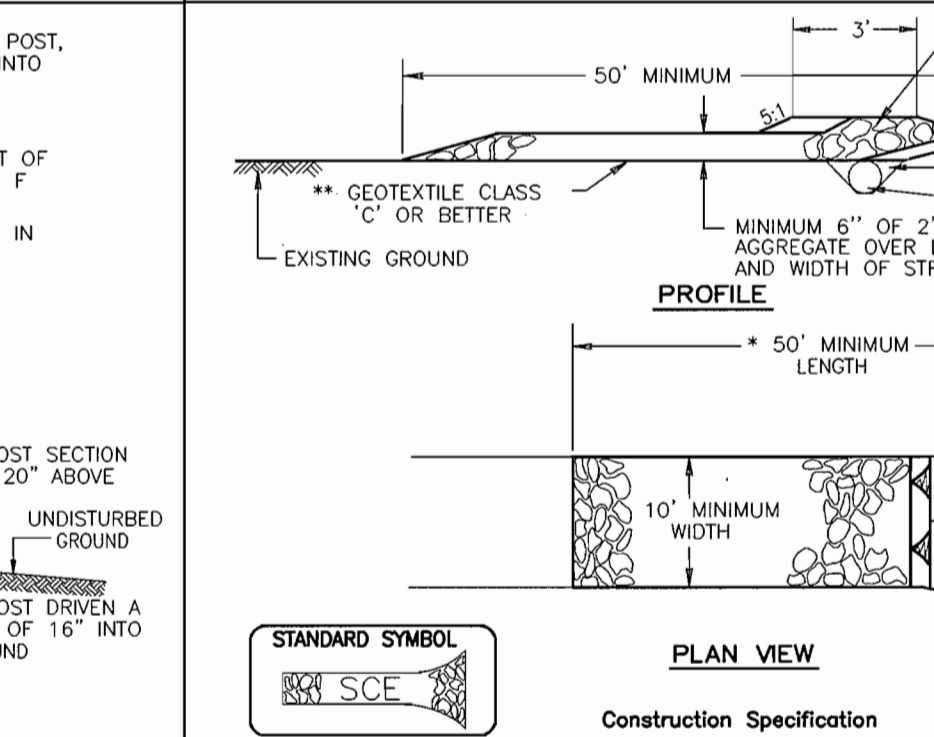


TREE PLANTING AND STAKING DECIDUOUS TREES UP TO 2-1/2" CALIBER NOT TO SCALE

DETAIL 22 - SILT FENCE



DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



- 1. Length - minimum of 50' (* 30' for a single length lot).
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. * The plan approval authority may not require single family residences to use geotextile.
4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete aggregate shall be placed at least 6" deep over the length and width of the entrance.
5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 3:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey, a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
6. Location - a stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1-17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SCHEDULE A PERIMETER LANDSCAPE EDGE table with columns for Category, Adjacent to Roadways, Adjacent to Perimeter Properties, and Adjacent to Perimeter Properties. Includes requirements for landscape type, credit for existing vegetation, and number of plants provided.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Includes signatures and dates for Chief, Development Engineering Division (3/11/03), Chief, Division of Land Development (3/25/03), and Director (3/27/03). Also includes ENGINEER'S CERTIFICATE and DEVELOPER'S CERTIFICATE.

PLANT LIST

PLANT LIST table with columns for Qty, Botanical Name/Common Name, Size, and Root. Lists 6 Acer Rubrum 'October Glory' / October Glory Red Maple, 2-1/2"-3" Cal, B & B.

OWNER / DEVELOPER

S. BRUCE JAFFE U.S. FINANCIAL CAPITAL, INC. 11628 LOG JUMP TRAIL ELLICOTT CITY, MD 21042 301-596-0222