

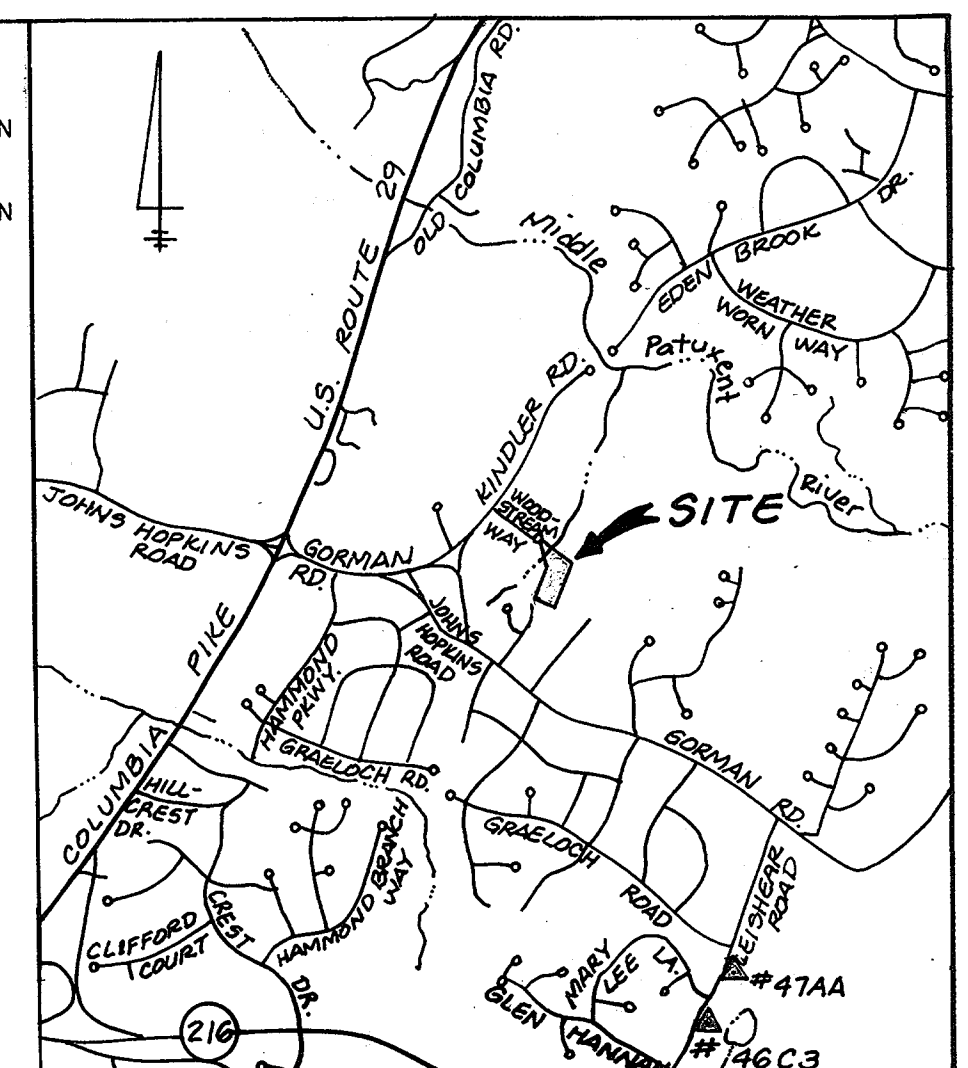
SHEET INDEX

- SHEET 1 OF 3 TITLE SITE DEVELOPMENT PLAN
- 2 OF 3 GRADING & SEDIMENT CONTROL PLAN
- 3 OF 3 SITE DEVELOPMENT PLAN NOTES & DETAILS

LEGEND:

- 354 EXISTING GROUND
- 354 PROPOSED GRADE
- EXISTING WELL
- DRAINAGE FLOW
- STABILIZED CONSTRUCTION ENTRANCE
- LIMIT OF DISTURBANCE
- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO BE SAVED
- SILT FENCE
- TFF TREE PROTECTION FENCE
- ECM EROSION CONTROL MATTING
- SSF SUPER SILT FENCE
- SSFD SUPER SILT FENCE DIVERSION

BENCHMARKS:
 #4623: EL. 334.488
 STANDARD STAMPED DISC
 SET ON CONCRETE COLUMN
 #47AA: EL. 363.428
 STANDARD STAMPED DISC
 SET ON CONCRETE COLUMN



NOTES:

- TOTAL PROJECT AREA: 3.00 AC +/- OR 130,880 SQ. FT. +/-
- LIMIT OF DISTURBANCE: 28,500 SQ. FT. +/-
- PROPOSED USE: SINGLE FAMILY DETACHED RESIDENCE
- TOTAL NUMBER OF UNITS ALLOWED AND PROPOSED: 1
- PLAT REFERENCE: NO. 4860 (F79-193)
- THE TOPOGRAPHY SHOWN IS TAKEN FROM A FIELD RUN SURVEY BY LDE, INC. (JUNE 2002).
- SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- THE SUBJECT PROPERTY IS ZONED R-20 PER THE 10-18-93 COMPREHENSIVE ZONING PLAN.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACK PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A RESIDENTIAL OCCUPANCY PERMIT FOR ANY NEW DWELLING TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - A. WIDTH - 12 FT. (14 FT. SERVING MORE THAN ONE RESIDENCE)
 - B. SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2 INCHES MAX.)
 - C. GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45 FT. TURNING RADIUS.
 - D. STRUCTURES (CULVERTS / BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING).
 - E. DRAINAGE ELEMENTS - CAPABLE OF PASSING 100 YEAR FLOOD WITH NO MORE THAN ONE FOOT DEPTH OVER DRIVEWAY SURFACE.
 - F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER CONDITIONS.
- THIS PROJECT IS CONDITIONALLY EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION WITH THE FILING OF A DECLARATION OF INTENT FOR A SINGLE LOT EXEMPTION CLEARING LESS THAN 40,000 SQUARE FEET OF FOREST. THIS PROJECT PROPOSES CLEARING 28,500 SQUARE FEET OF FOREST RESOURCE.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. PERIMETER LANDSCAPING HAS BEEN FULFILLED BY RETENTION OF EXISTING WOODS (NO SURETY WILL BE REQUIRED) IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- THE WETLANDS SHOWN ON THIS PLAN WERE DELINEATED BY LDE, INC. (JULY 2002) BY STEVEN D. HEISS, A QUALIFIED PROFESSIONAL STORM WATER MANAGEMENT IS PROVIDED FOR THIS LOT BY CREDIT FOR ENVIRONMENTALLY SENSITIVE DEVELOPMENT AND CREDIT FOR SHEET FLOW TO ENVIRONMENTAL BUFFERS (WETLANDS AND FLOODPLAIN).
- NO PORTION OF THE PROPOSED SEPTIC SYSTEM MAY BE LOCATED WITHIN 100 FEET OF THE EXISTING STREAM SHOWN ON THIS PLAN.
- THIS SITE DEVELOPMENT PLAN CONFORMS TO THE FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, MAIL COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT TO THE PIPESTEM LOT DRIVEWAY.
- A USE-IN-COMMON MAINTENANCE AGREEMENT FOR LOTS 6, 8, 9 AND 14 HAS BEEN RECORDED IN THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AS LIBER 1088 FOLIO 136.
- NO GRADING, CLEARING OR CONSTRUCTION IS PERMITTED IN WETLANDS, WETLAND BUFFERS, STREAMS OR FLOODPLAINS EXCEPT AS CONSIDERED ESSENTIAL BY THE DEPARTMENT OF PLANNING AND ZONING.
- THE FLOODPLAIN STUDY FOR THIS PROJECT WAS APPROVED AS PART OF F79-193 PREPARED BY JOHN C. MELLEMA, SR., INC.

CONTRACTOR SHALL MAINTAIN CONTINUOUS CLEAR ACCESS ALONG USE-IN-COMMON DRIVEWAY AT ALL TIMES. CONTRACTOR RESPONSIBLE FOR REPAIRING ALL DAMAGE CAUSED TO USE-IN-COMMON DRIVEWAY BY CONTRACTORS OPERATIONS.

PROVIDE STANDARD DRIVEWAY ENTRANCE R-6.06 PROVIDE 14' X 9' CMPA

EX. 25 RIGHT-OF-WAY FOR ACCESS TO LOTS 14, 6, 8 & 9 (L.1068 F.136)

EXPAND EXIST. DRIVEWAY TO 14 FT. WIDTH 3 FT. EXPANSION REQUIRED

NOTE: CONTRACTOR TO PROVIDE SELECTIVE CLEARING WITHIN EXISTING WOODS FOR INSTALLATION OF SEPTIC SYSTEM.

SEWAGE SYSTEM DESIGN DATA:

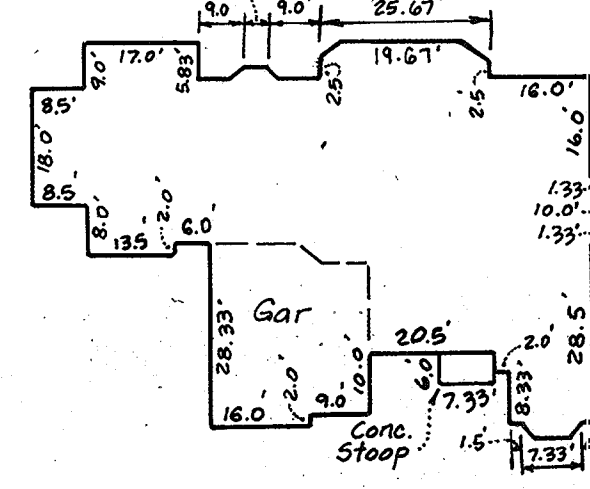
- Invert at foundation wall: 342.50
- 1250 Gallon Septic Tank (4 Bedrooms)
Provide Manhole to Finished Grade
A. Ex. Ground Over Tank: 348.00
B. Prop. Grade Over Tank: 345.00
C. Invert In: 342.30
D. Invert Out: 342.00
- 1250 Gallon Pump Pit
A. Ex. Ground Over Pit: 350.00
B. Prop. Grade Over Pit: 346.40
C. Invert In: 341.90
D. Invert Out: 342.40
- Distribution Box: (Provide 3 Outlets Minimum)
A. Ex. Ground Over Box: 369.70
B. Prop. Grade Over Box: 369.70
C. Invert In: 368.70
- Trench Design: 70 LF/Bedm. X 4 Bedm. = 280 LF

Ex. Ground	(A)	(B)	(C)
Over Trench:	370.00	368.70	367.60
Inv. Trench:	368.50	367.20	366.10
Botm. Trench:	366.50	365.20	364.10
Trench Length:	80 Ft.	100 Ft.	100 Ft.
Trench Width:	3 Ft.	3 Ft.	3 Ft.

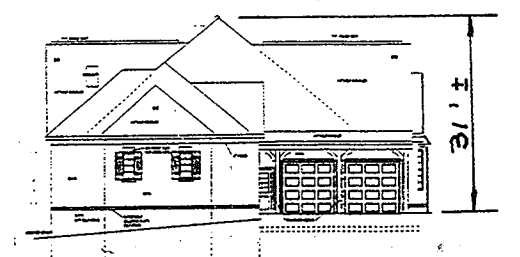
NOTE: TRENCH DESIGN MAY BE REVISED AT TIME OF INSTALLATION BASED ON SITE CONDITIONS.

NOTE: SEE SHEET 2 OF 3 FOR DRIVEWAY ENTRANCE DETAIL R6.06 AND R6.05.

WOODSTREAM WAY (EX. 50' PUBLIC R/W)



PROFILE
No Scale



SCHEDULE A PERIMETER LANDSCAPE EDGE

Landscaping Type	Quantity	Notes
Linear Feet of Roadway Frontage/Perimeter	205 LF	
Credit for Existing Vegetation (Yes/No, Linear Feet) (Describe below if needed)	Yes 205 LF	
Credit for Wall, Fence or Berm (Yes/No, Linear Feet) (Describe below if needed)		
Number of Plants Required	3	
Shade Trees	0	
Evergreen Trees	0	
Shrubs	0	
Number of Plants Provided	0	
Shade Trees	0	
Evergreen Trees	0	
Other Trees (2:1 substitution)	0	
Shrubs (1:1 substitution)	0	
(Describe plant substitution credits below if needed)		

Comments: Credit for existing woods along perimeter.

Note: Complex projects may require expansion of the schedule to accommodate multiple land uses on-site or on adjacent properties.

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR SOIL CONSERVATION CONTROL REPRESENTS A PRACTICAL AND WORKABLE DESIGN AND THAT MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THE INFORMATION PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD COUNTY DISTRICT."

Prince D. Burton 2/24/03
 SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE RECORD, ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

Hal C. Markin 8-13-02
 SIGNATURE OF DEVELOPER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Jim Meyer 2/24/03
 NATURAL RESOURCE CONSULTANT DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

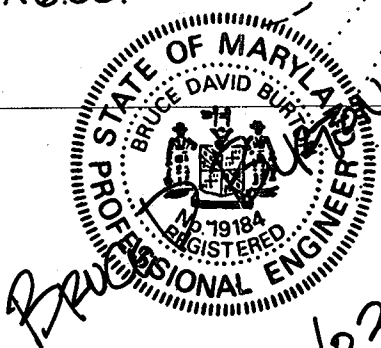
John R. Platon 2/24/03
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division 2/26/03
 DATE

Chief, Division of Land Development 3/3/03
 DATE

Director (Acting) 2/26/03
 DATE



2/12/03

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE
HOWARD COUNTY HEALTH DEPARTMENT

Pennycuik M. M. E. L. 3-5-03
 HOWARD COUNTY HEALTH OFFICER SRK DATE

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
9	7644 Woodstream Way

PERMIT INFORMATION CHART					
Subdivision Name	Section/Area	N/A	Lot No.	Plat # or L/F	Grid #
KINDLER ESTATES			9	4860	23
Water Code	N/A				

LDE, INC.
 9250 Rumsey Road, Suite 106, Columbia, MD 21045
 (410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: BDB
 DRAWN: KBW
 CHECKED: BDB
 DATE: 7/02

SITE DEVELOPMENT PLAN
KINDLER ESTATES
LOT 9

TAX MAP No. 41 P/O PARCEL 424
 4th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 Previous Submittals: F79-193,

BUILDER
HAL C. MARKER CO., INC.
 10524 Hunters Way
 Laurel, MD 20723 (301) 776-8228

SCALE: 1" = 30'
 DRAWING: 1 OF 3
 JOB NO.: 02-018
 FILE NO.: SDP03-23

**HOWARD SOIL CONSERVATION DISTRICT
STANDARD SEDIMENT CONTROL NOTES**

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction, (313-1855).
 - All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" and revisions thereto.
 - Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1; b) 14 days as to all other disturbed or graded areas on the project site.
 - All sediment traps/basins shall be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
 - All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (Section G) for permanent seeding, sod, temporary seeding, and mulching. Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
 - All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:**
- | | | |
|------------------------------------|------|----------|
| Total Area of Site | 300 | Acres |
| Area to be roofed or paved | 0.17 | Acres |
| Area to be vegetatively stabilized | 0.48 | Acres |
| Total Cu. Yds. | 600 | Cu. Yds. |
| Total Fill | 600 | Cu. Yds. |
- Offsite waste/borrow area location: N/A
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
 - Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
 - On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth distorting, building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
 - Trenches for the construction of utilities is limited to three pipe lengths or that which can be back filled and stabilized within one working day, whichever is shorter.

**HOWARD SOIL CONSERVATION DISTRICT
PERMANENT SEEDING NOTES**

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- PREFERRED** — Apply 2 tons per acre dolomitic limestone (92 lbs/1000sq. ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-2 ureaform fertilizer (9 lbs/1000sq. ft.)
- ACCEPTABLE** — Apply 2 tons per acre dolomitic limestone (92 lbs/1000sq. ft.) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

SEEDING — For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs per acre (1.4 lbs/1000sq. ft.) of Kentucky 31 Tall Fescue and 2 lbs. per acre (.05 lbs/1000sq. ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) — 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) — Use sod. Option (3) — Seed with 60 lbs per acre Kentucky 31 Tall Fescue and mulch 2 tons / acre well anchored straw.

MULCHING — Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000sq. ft.) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000sq. ft.) for anchoring.

MAINTENANCE — Inspect all seeding areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

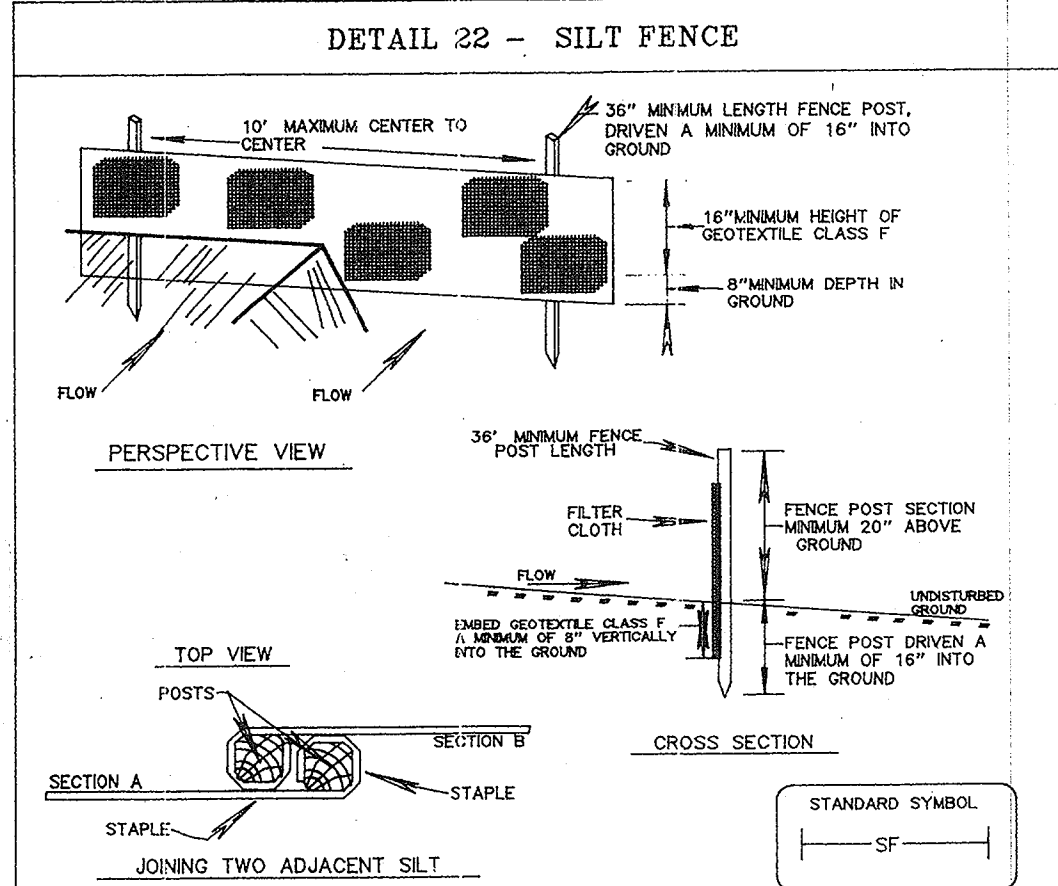
SEEDBED PREPARATION: — Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: — Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000sq. ft.)

SEEDING — For periods March 1 thru April 30, and from August 15 thru October 15 seed with 12 bushels per acre of annual rye (3.2 lbs/1000sq. ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs/1000sq. ft.). For the period from August 15 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING — Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000sq. ft.) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000sq. ft.) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.

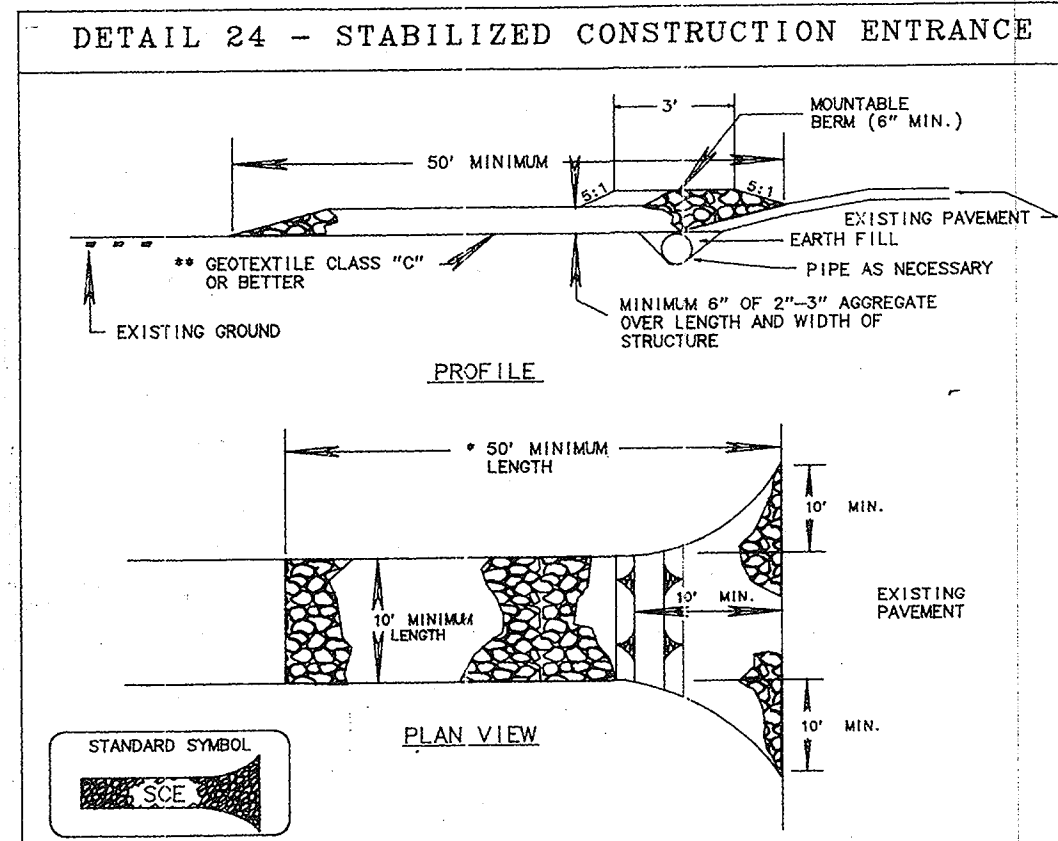


Construction Specifications

- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard I or U section weighing not less than 1.00 pound per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements:

Tensile Strength	50 lbs/ft. (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/ft. (min.)	Test: MSMT 509
Flow Rate	0.3 gal ft. / minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322
- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
- Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reaches 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1 E-13-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



Construction Specification

- Length - minimum of 50' (*30' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. Written plan approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

- Conditions Where Practice Applies**
- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
 - For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plan.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clay, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
 - On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Organic content of topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt content greater than 500 parts per million shall not be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
 - Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

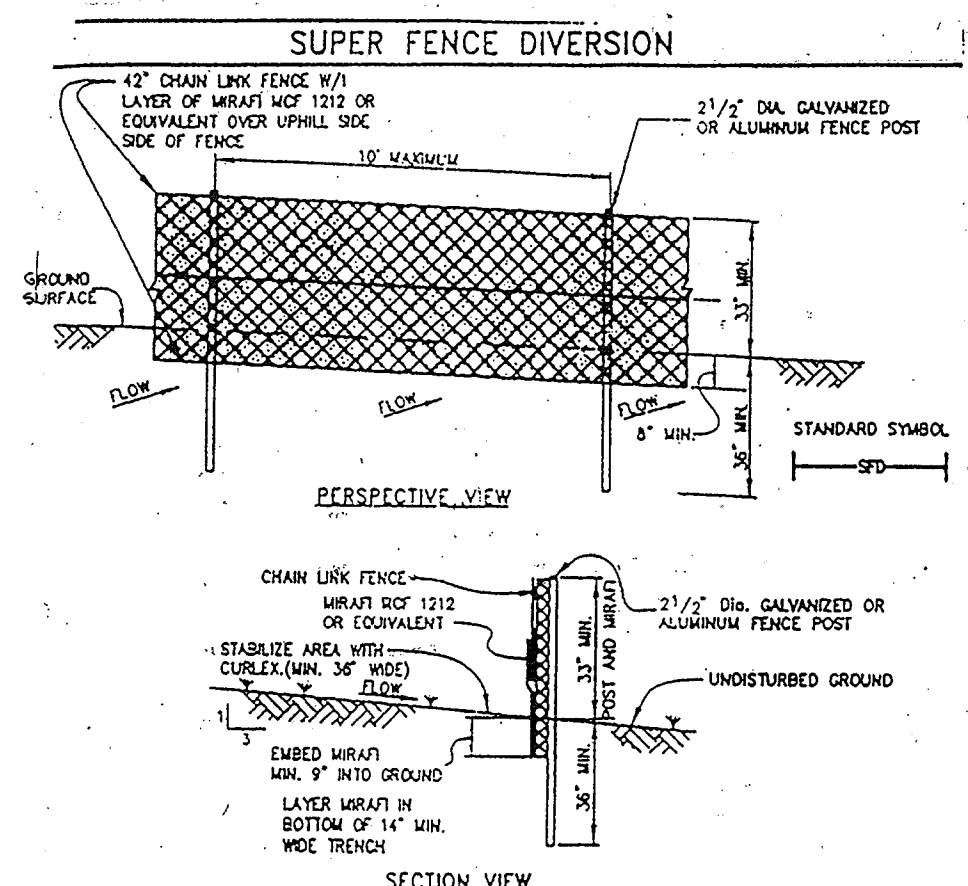
Topsoil Application

- When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
- Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

Alternative for Permanent Seeding - instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

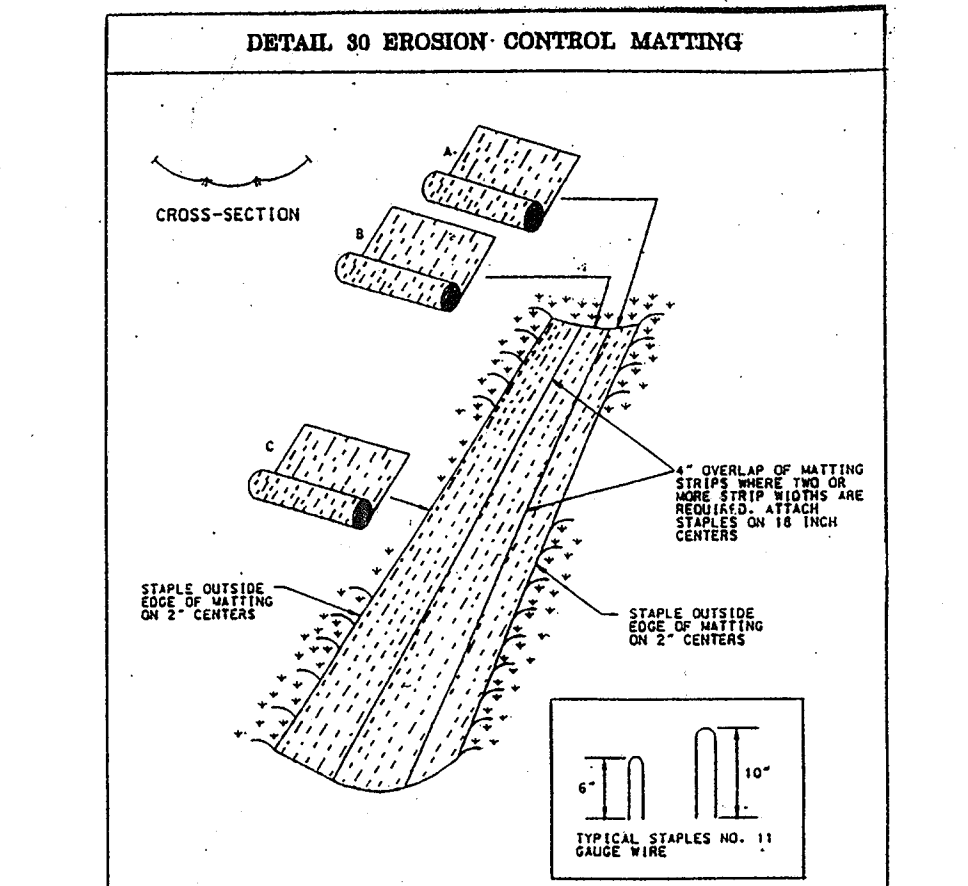
- Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
 - Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
- Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb./1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding, MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institute, Revised 1973.



CONSTRUCTION SPECIFICATIONS

- Fencing shall be 42" HIGH CHAIN LINK CONSTRUCTED IN ACCORDANCE WITH THE LATEST MARYLAND STATE HIGHWAY ADMINISTRATION STANDARDS DETAILS 890.01 AND 890.02 FOR CHAIN LINK FENCING. THE SPECIFICATIONS FOR 42" FENCE SHALL BE USED, SUBSTITUTING 42" FABRIC AND 2" POSTS. POSTS SHALL BE PLACED WITHOUT CONCRETE EMBEDMENT.
- CHAIN LINK FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. THE LOWER TENSION WIRE BRACE AND TRUSS BRACE ANCHORS AND TOP CAPS ARE NOT REQUIRED EXCEPT ON THE ENDS OF THE FENCE.
- FILTER CLOTH TO BE FASTENED SECURELY TO CHAIN LINK FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- FILTER CLOTH SHALL BE EMBEDDED A MINIMUM OF 6" INTO THE GROUND.
- WHEN TWO SECTIONS OF CHAIN LINK FENCE JOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED.



Construction Specifications

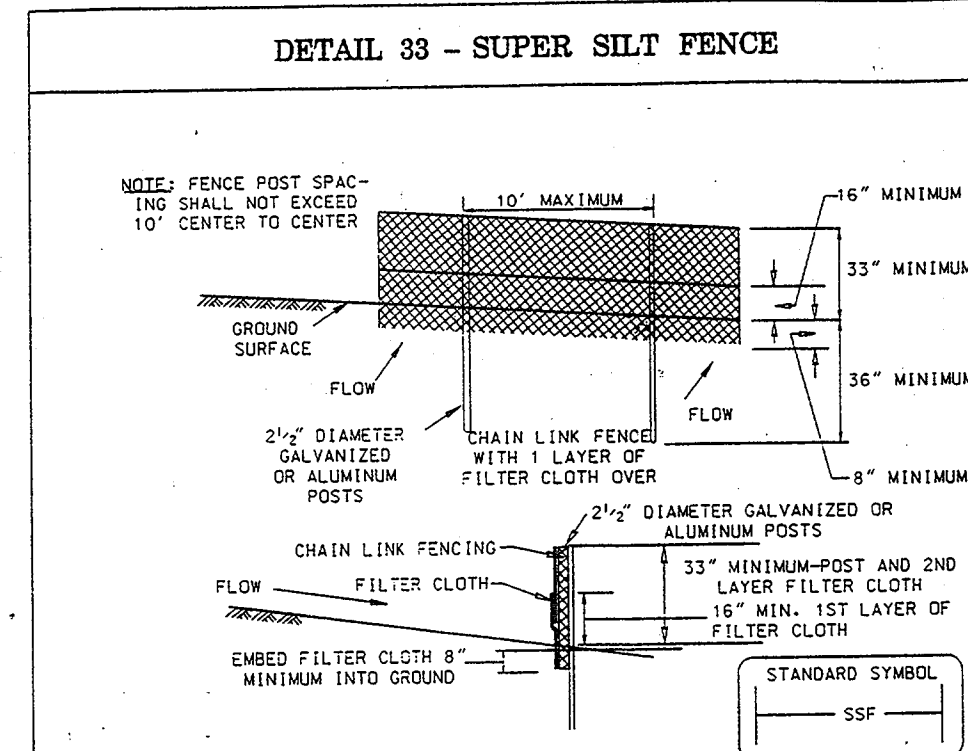
- Key-in the matting by placing the top ends of the matting in a corner trench, 6" in depth. Backfill the trench and top flange to conform to the original construction. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
- Staples the 4" overlap in the corner trench using an 18" spacing between staples.
- Before stapling the outer ends of the matting, make sure the matting is smooth and in firm contact with the soil.
- Staples shall be placed 2" apart with a row for each strip. 2 outer rows and 2 intermediate rows down the center.
- Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4". similar fashion, maintain the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
- The clearance end of the matting liner should be statorily secured with 2 staples row of staples.

Note: If flow will enter from the slope of the matting then the area affected by the flow must be keyed-in.

EROSION CONTROL MATTING

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 6 E-13-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

- SEQUENCE OF CONSTRUCTION**
- OBTAIN GRADING PERMIT 1 DAY
 - NOTIFY THE HOWARD COUNTY DEPT. OF INSPECTIONS, LICENSES AND PERMITS AT LEAST 24 HOURS PRIOR TO STARTING WORK. 1 DAY
 - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE. 1 DAY
 - INSTALL SILT FENCE AT LIMIT OF DISTURBANCE SHOWN HEREON. 3 DAYS
 - CLEAR AND GRUB SITE TO SUBGRADE. 5 DAYS
 - BEGIN EXCAVATION FOR HOUSE FOUNDATIONS AND BEGIN HOUSE CONSTRUCTION. INSTALL SEPTIC SYSTEM. 60 DAYS
 - THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON AFTER EACH RAINFALL AND ON A DAILY BASIS. DAILY
 - REMOVE SEDIMENT FROM ROADWAYS AND DRESS STABILIZED CONSTRUCTION ENTRANCE AS REQUIRED. MAINTENANCE
 - FINE GRADE AND STABILIZE WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH. INSTALL INDIVIDUAL DRIVEWAY AND HOUSE WALK. 5 DAYS
 - WITH PERMISSION FROM THE SEDIMENT CONTROL REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES AND STABILIZE ANY REMAINING DISTURBED AREAS WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH. 5 DAYS
- TOTAL TIME: 84 DAYS**



Construction Specifications

Fencing shall be 42 inches in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6 foot fence shall be used, substituting 42 inch fabric and 6 foot length posts.

- The poles do not need to be set in concrete.
- Chain link fence shall be fastened securely to the fence posts with wire ties or staples.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 6" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-13-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE DESIGN, AND THAT MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THE REQUIREMENTS OF THE DISTRICT, IN ACCORDANCE WITH REQUIREMENTS OF THE DISTRICT."

BRUCE D. BURTON 2/12/03
SIGNATURE OF ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

JIM MEYER 2/26/03
DATE

Chief, Development Engineering Division

APPROVED: DEPARTMENT OF PLANNING & ZONING

CINDY HAMILT 3/3/03
DATE

Chief, Division of Land Development

DEVELOPER'S CERTIFICATE

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE STANDARDS AND SPECIFICATIONS, AND THAT I AM RESPONSIBLE FOR PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

Hal C. Marker 8-13-02
SIGNATURE OF DEVELOPER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

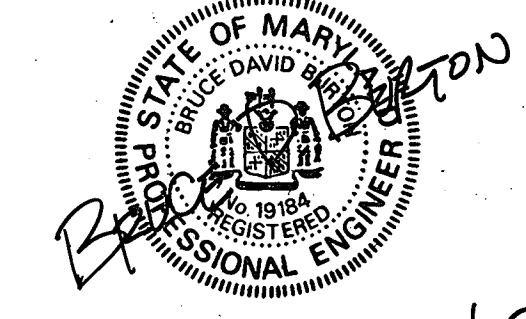
John R. Roberts 2/26/03
DATE

HOWARD SOIL CONSERVATION DISTRICT

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE HOWARD COUNTY HEALTH DEPARTMENT

Penny Barentzen 3-5-03
DATE

HOWARD COUNTY HEALTH OFFICER SRK

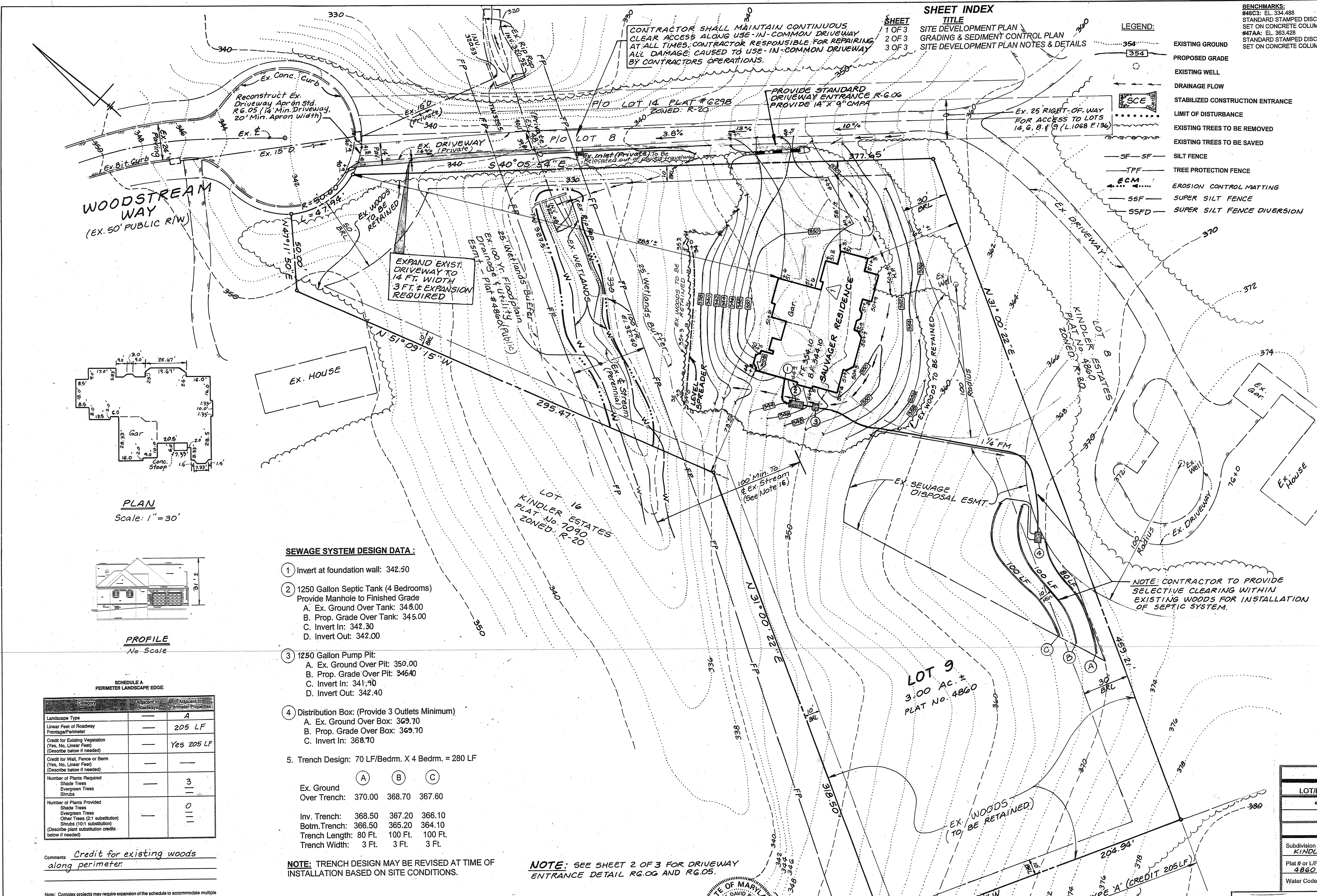


2/12/03

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED	BDB	SITE DEVELOPMENT PLAN NOTES & DETAILS	SCALE	As Shown
DRAWN	KBW		DRAWING	3 OF 3
CHECKED	BDB	TAX MAP No. 41 P/O PARCEL 424	JOB NO.	02-018
DATE	7/02	G th ELECTION DISTRICT HOWARD COUNTY, MARYLAND	PREVIOUS SUBMITTALS:	F 79-193,
		BUILDER HAL C. MARKER CO., INC. 10524 Hunters Way Laurel, MD 20723 (301) 776-8228	FILE NO.	SDPO3-23

SDP 03 - 23

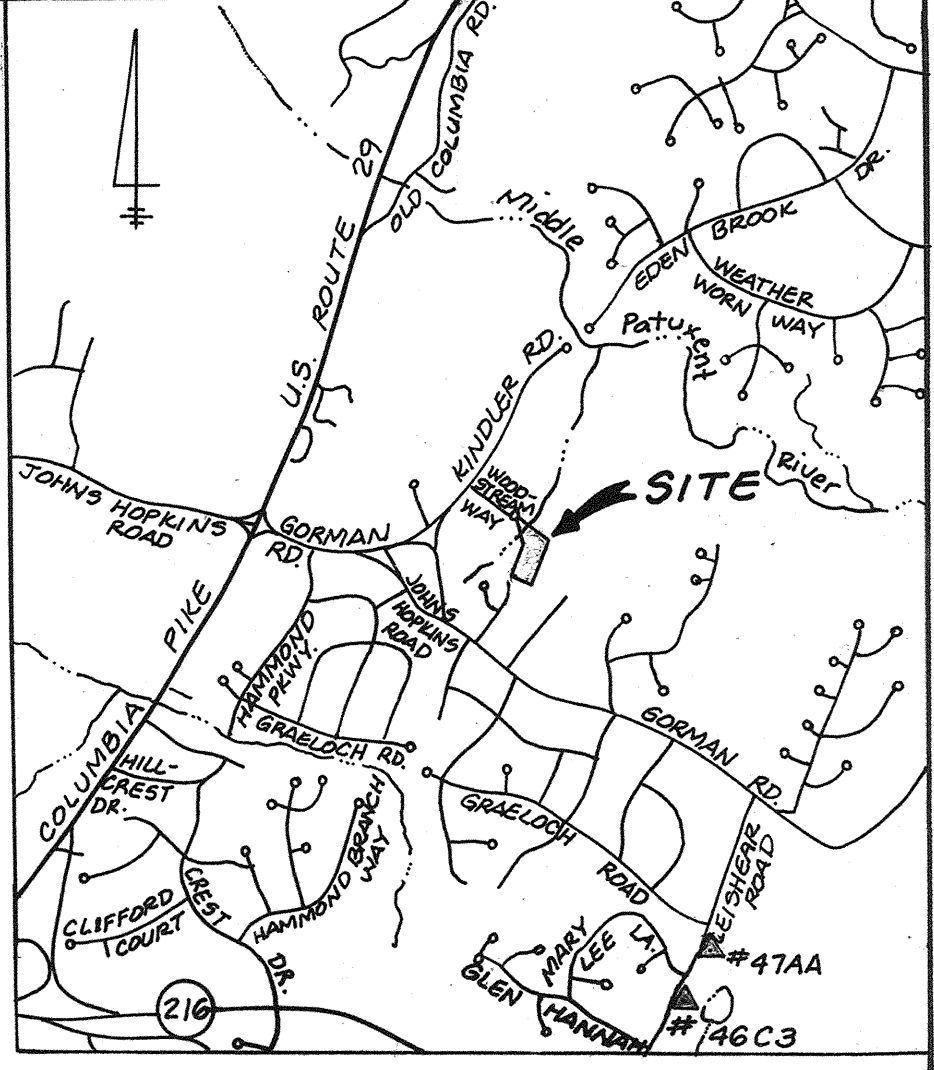


SHEET INDEX

SHEET	TITLE
1 OF 3	SITE DEVELOPMENT PLAN
2 OF 3	GRADING & SEDIMENT CONTROL PLAN
3 OF 3	SITE DEVELOPMENT PLAN NOTES & DETAILS

LEGEND:

354	EXISTING GROUND
354	PROPOSED GRADE
○	EXISTING WELL
→	DRAINAGE FLOW
▭	STABILIZED CONSTRUCTION ENTRANCE
---	LIMIT OF DISTURBANCE
○	EXISTING TREES TO BE REMOVED
○	EXISTING TREES TO BE SAVED
—SF—SF—	SILT FENCE
—TPF—	TREE PROTECTION FENCE
—ECM—	EROSION CONTROL MATTING
—SSF—	SUPER SILT FENCE
—SSFD—	SUPER SILT FENCE DIVERSION



VICINITY MAP
Scale: 1" = 2000'

- NOTES:**
- TOTAL PROJECT AREA: 3.00 AC +/- OR 130,680 SQ. FT. +/-
 - LIMIT OF DISTURBANCE: 28,500 SQ. FT. +/-
 - PROPOSED USE: SINGLE FAMILY DETACHED RESIDENCE
 - TOTAL NUMBER OF UNITS ALLOWED AND PROPOSED: 1
 - PLAT REFERENCE: NO. 4860 (F79-193)
 - THE TOPOGRAPHY SHOWN IS TAKEN FROM A FIELD RUN SURVEY BY LDE, INC. (JUNE 2002).
 - SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 - THE SUBJECT PROPERTY IS ZONED R-20 PER THE 10-18-93 COMPREHENSIVE ZONING PLAN.
 - IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 10 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
 - DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A RESIDENTIAL OCCUPANCY PERMIT FOR ANY NEW DWELLING TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12 FT. (14 FT. SERVING MORE THAN ONE RESIDENCE)
 - SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2 INCHES MAX.)
 - GEOMETRY - MAX. 15% GRADE; MAX. 10% GRADE CHANGE AND MIN. 45 FT. TURNING RADIUS.
 - STRUCTURES (CULVERTS / BRIDGES) - CAPABLE OF SUPPORTING 26 GROSS TONS (H2S LOADING).
 - DRAINAGE ELEMENTS - CAPABLE OF PASSING 100 YEAR FLOOD WITH NO MORE THAN ONE FOOT DEPTH OVER DRIVEWAY SURFACE.
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER CONDITIONS.
 - THIS PROJECT IS CONDITIONALLY EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION WITH THE FILING OF A DECLARATION OF INTENT FOR A SINGLE LOT EXEMPTION CLEARING LESS THAN 40,000 SQUARE FEET OF FOREST. THIS PROJECT PROPOSES CLEARING 28,500 SQUARE FEET OF FOREST RESOURCE.
 - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. PERIMETER LANDSCAPING HAS BEEN FULFILLED BY RETENTION OF EXISTING WOODS (NO SURETY WILL BE REQUIRED) IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
 - THE WETLANDS SHOWN ON THIS PLAN WERE DELINEATED BY LDE, INC. (JULY 2002) BY STEVEN D. HEISS, A QUALIFIED PROFESSIONAL STORM WATER MANAGEMENT IS PROVIDED FOR THIS LOT BY CREDIT FOR ENVIRONMENTALLY SENSITIVE DEVELOPMENT AND CREDIT FOR SHEET FLOW TO ENVIRONMENTAL BUFFERS (WETLANDS AND FLOODPLAIN).
 - NO PORTION OF THE PROPOSED SEPTIC SYSTEM MAY BE LOCATED WITHIN 100 FEET OF THE EXISTING STREAM SHOWN ON THIS PLAN.
 - THIS SITE DEVELOPMENT PLAN CONFORMS TO THE FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
 - FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, MAIL COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM LOT DRIVEWAY, RIGHT-OF-WAY LINE AND NOT TO THE PIPESTEM LOT DRIVEWAY.
 - A USE-IN-COMMON MAINTENANCE AGREEMENT FOR LOTS 6, 8, 9 AND 14 HAS BEEN RECORDED IN THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AS LIBER 1068 FOLIO 138.
 - NO GRADING, CLEARING OR CONSTRUCTION IS PERMITTED IN WETLANDS, WETLAND BUFFERS, STREAMS OR FLOODPLAINS EXCEPT AS CONSIDERED ESSENTIAL BY THE DEPARTMENT OF PLANNING AND ZONING.
 - THE FLOODPLAIN STUDY FOR THIS PROJECT WAS APPROVED AS PART OF F79-193 PREPARED BY JOHN C. MELLEMA, SR., INC.

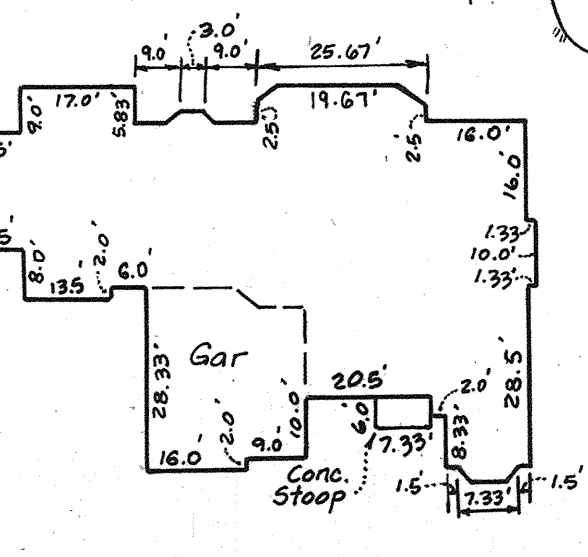
SEWAGE SYSTEM DESIGN DATA:

- Invert at foundation wall: 342.50
- 1250 Gallon Septic Tank (4 Bedrooms)
Provide Manhole to Finished Grade
A. Ex. Ground Over Tank: 348.00
B. Prop. Grade Over Tank: 345.00
C. Invert In: 342.30
D. Invert Out: 342.00
- 1250 Gallon Pump Pit:
A. Ex. Ground Over Pit: 350.00
B. Prop. Grade Over Pit: 346.40
C. Invert In: 341.90
D. Invert Out: 342.40
- Distribution Box: (Provide 3 Outlets Minimum)
A. Ex. Ground Over Box: 369.70
B. Prop. Grade Over Box: 369.70
C. Invert In: 368.70
- Trench Design: 70 LF/Bedm. X 4 Bedm. = 280 LF

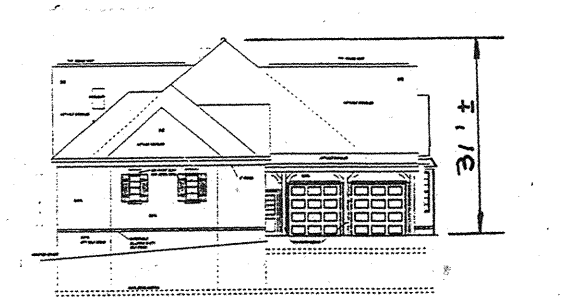
Ex. Ground	(A)	(B)	(C)
Over Trench:	370.00	368.70	367.60
Inv. Trench:	368.50	367.20	366.10
Botm. Trench:	366.50	365.20	364.10
Trench Length:	80 Ft.	100 Ft.	100 Ft.
Trench Width:	3 Ft.	3 Ft.	3 Ft.

NOTE: TRENCH DESIGN MAY BE REVISED AT TIME OF INSTALLATION BASED ON SITE CONDITIONS.

NOTE: SEE SHEET 2 OF 3 FOR DRIVEWAY ENTRANCE DETAIL RG.06 AND RG.05.



PLAN
Scale: 1" = 30'



PROFILE
No Scale

SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Adjacent to Other Properties
Landscape Type	---	A
Linear Feet of Roadway Frontage/Perimeter	---	205 LF
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	---	Yes 205 LF
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	---	---
Number of Plants Required	---	3
Shade Trees	---	1
Evergreen Trees	---	1
Shrubs	---	1
Number of Plants Provided	---	0
Shade Trees	---	0
Evergreen Trees	---	0
Shrubs (1:1 substitution)	---	0
(Describe plant substitution credits below if needed)	---	---

Comments: Credit for existing woods along perimeter.

Note: Complex projects may require expansion of the schedule to accommodate multiple land uses on-site or on adjacent properties.

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR THE SEWAGE SYSTEM CONTROL REPRESENTS A PRACTICAL AND WORKABLE DESIGN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT I HAVE PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Bruce D. Burton 2/12/03
SIGNATURE OF ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Jim Meyer 2/24/03
DATE

APPROVED: DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division 2/12/03
DATE

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Hal C. Marka 8-13-02
SIGNATURE OF DEVELOPER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Platon 2/24/03
DATE

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE HOWARD COUNTY HEALTH DEPARTMENT

Chief, Division of Land Development 3/2/03
DATE

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE HOWARD COUNTY HEALTH DEPARTMENT

Howard County Health Officer SRK 3-5-03
DATE

REVISIONS

No.	By	Date	Description
1	LDE	5/11/04	Revise House Location, Grading, Revise Driveway Culvert
2	BDB	7/02	

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
9	7644 Woodstream Way

PERMIT INFORMATION CHART

Subdivision Name	Section/Area	Lot No.
KINDLER ESTATES	N/A	9
Plat # or L/F	Grid #	Zoning
4860	24	R-20
Water Code	N/A	Sewer Code
		N/A

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

SITE DEVELOPMENT PLAN
KINDLER ESTATES
LOT 9

TAX MAP No. 41 P/O PARCEL 424
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
Previous Submittals: F79-193,

BUILDER
HAL C. MARKER CO., INC.
10524 Hutcheson Way
Laurel, MD 20723 (301) 776-8228

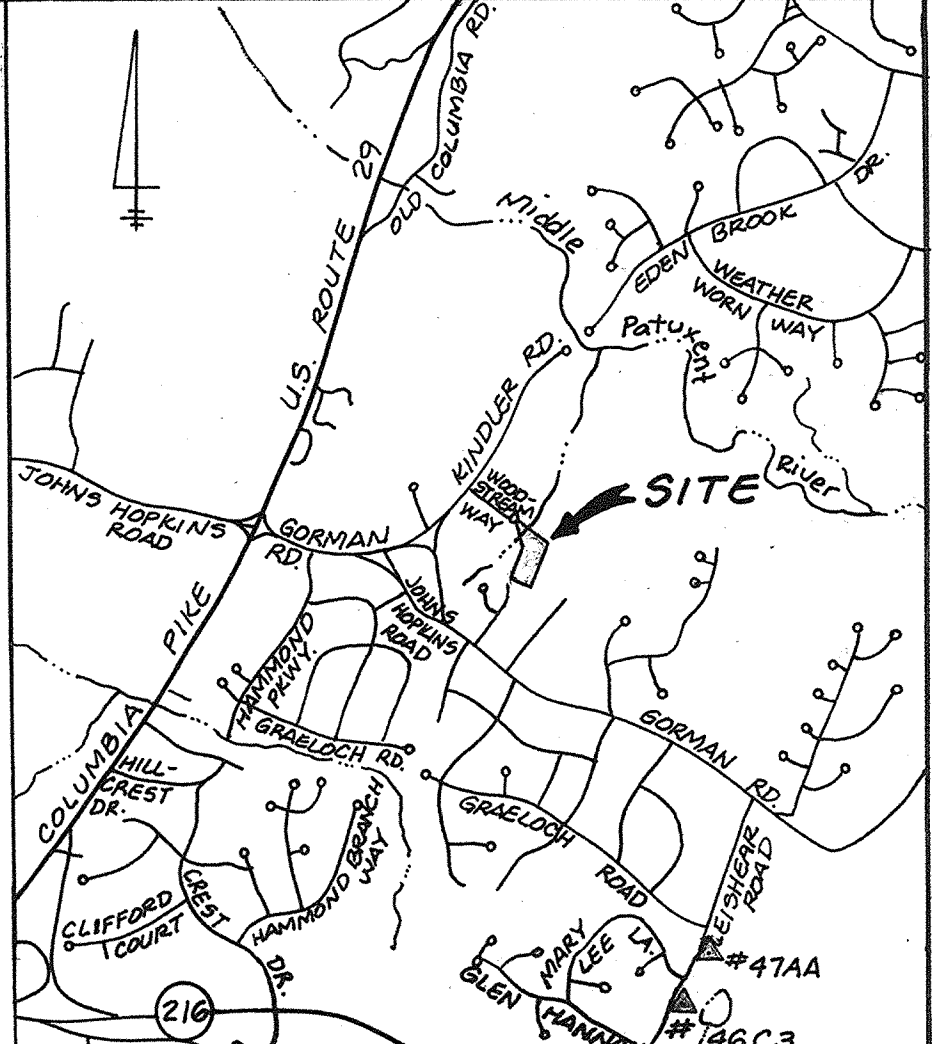
DESIGNED: BDB
DRAWN: KBW
CHECKED: BDB
DATE: 7/02

SCALE: 1" = 30'
DRAWING: 1 OF 3
JOB NO.: 02-018
FILE NO.: SDP03-23

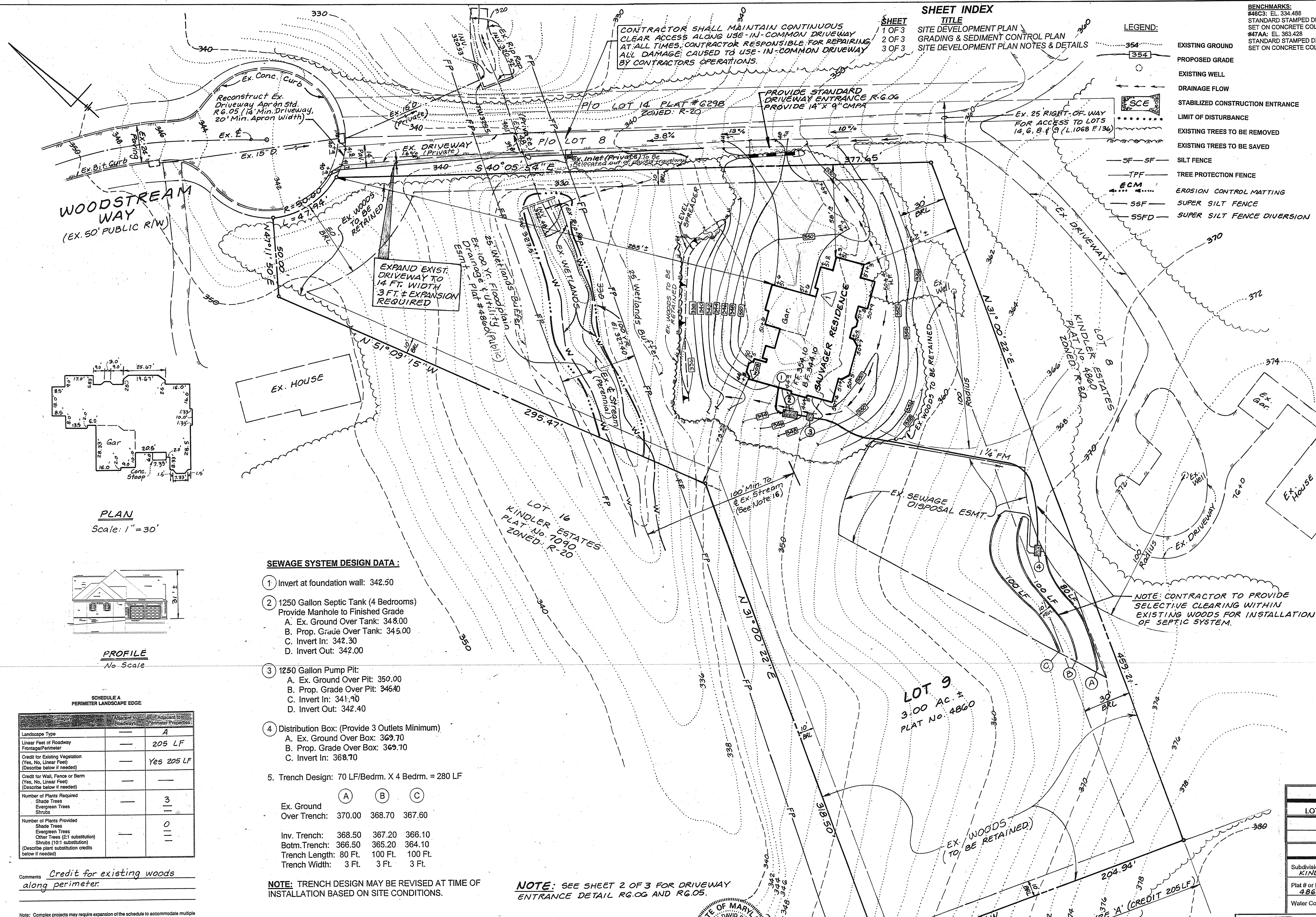
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LEGEND:
 354 EXISTING GROUND
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 STABILIZED CONSTRUCTION ENTRANCE
 LIMIT OF DISTURBANCE
 EXISTING TREES TO BE REMOVED
 EXISTING TREES TO BE SAVED
 SF - SF SILT FENCE
 TPF TREE PROTECTION FENCE
 ECM EROSION CONTROL MATTING
 SSF SUPER SILT FENCE
 SSFD SUPER SILT FENCE DIVERSION

BENCHMARKS:
 84633: EL. 334.488
 STANDARD STAMPED DISC
 SET ON CONCRETE COLUMN
 847AA: EL. 363.428
 STANDARD STAMPED DISC
 SET ON CONCRETE COLUMN



- NOTES:**
- TOTAL PROJECT AREA: 3.00 AC +/- OR 130,680 SQ. FT. +/-
 - LIMIT OF DISTURBANCE: 28,500 SQ. FT. +/-
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 - GEOMETRY - MAX. 15% GRADE; MAX. 10% GRADE CHANGE AND MIN. 45 FT. TURNING RADIUS.
 - STRUCTURES (CULVERTS, BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING).
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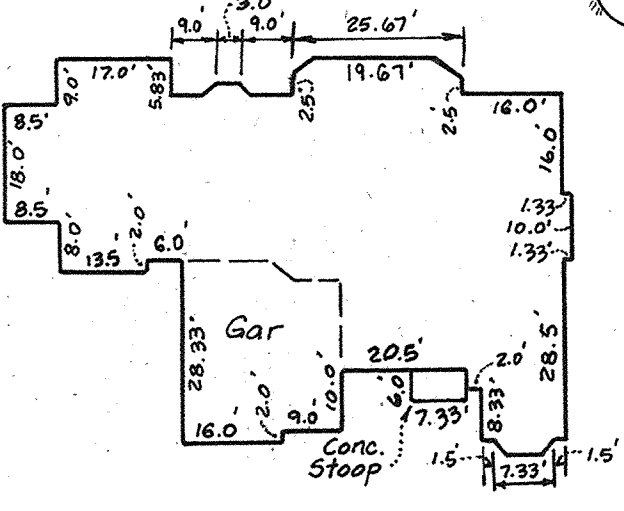
SEWAGE SYSTEM DESIGN DATA:

- Invert at foundation wall: 342.50
- 1250 Gallon Septic Tank (4 Bedrooms)
Provide Manhole to Finished Grade
 A. Ex. Ground Over Tank: 348.00
 B. Prop. Grade Over Tank: 345.00
 C. Invert In: 342.30
 D. Invert Out: 342.00
- 1250 Gallon Pump Pit:
 A. Ex. Ground Over Pit: 350.00
 B. Prop. Grade Over Pit: 346.00
 C. Invert In: 341.90
 D. Invert Out: 342.40
- Distribution Box: (Provide 3 Outlets Minimum)
 A. Ex. Ground Over Box: 369.70
 B. Prop. Grade Over Box: 369.70
 C. Invert In: 368.70
- Trench Design: 70 LF/Bedrm. X 4 Bedrm. = 280 LF

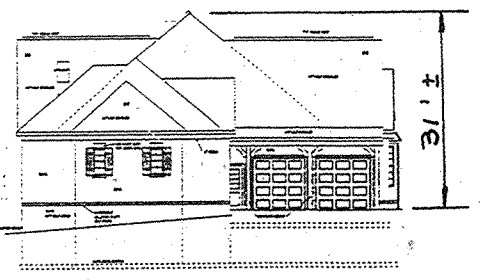
	(A)	(B)	(C)
Ex. Ground	370.00	368.70	367.60
Over Trench:	370.00	368.70	367.60
Inv. Trench:	368.50	367.20	366.10
Botm. Trench:	366.50	365.20	364.10
Trench Length:	80 Ft.	100 Ft.	100 Ft.
Trench Width:	3 Ft.	3 Ft.	3 Ft.

NOTE: TRENCH DESIGN MAY BE REVISED AT TIME OF INSTALLATION BASED ON SITE CONDITIONS.

NOTE: SEE SHEET 2 OF 3 FOR DRIVEWAY ENTRANCE DETAIL RG.06 AND RG.05.



PLAN
Scale: 1" = 30'



PROFILE
No Scale

SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadway	Adjacent to Other Properties
Landscape Type	---	A
Linear Feet of Roadway Frontage/Perimeter	---	205 LF
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	---	Yes 205 LF
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	---	---
Number of Plants Required	---	3
Shade Trees	---	---
Evergreen Trees	---	---
Shrubs	---	---
Number of Plants Provided	---	0
Shade Trees	---	---
Evergreen Trees	---	---
Other Trees (2:1 substitution)	---	---
Shrubs (10:1 substitution)	---	---
(Describe plant substitution credits below if needed)	---	---

Comments: Credit for existing woods along perimeter.

Note: Complex projects may require expansion of the schedule to accommodate multiple land uses on-site or on adjacent properties.

ENGINEER'S CERTIFICATE
 "I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE DESIGN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT I HAVE PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE HOWARD COUNTY DISTRICT."
 Bruce D. Burton 2/24/03
 SIGNATURE OF ENGINEER DATE

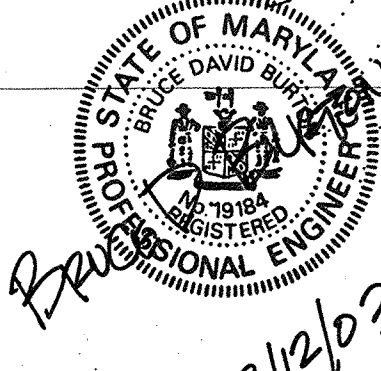
THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.
 Jim Meyer 2/24/03
 SIGNATURE OF SOIL CONSERVATION DISTRICT OFFICIAL DATE

APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division 2/24/03
 DATE

DEVELOPER'S CERTIFICATE
 "I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGAINING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."
 Hal C. Marker 8-13-02
 SIGNATURE OF DEVELOPER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 John R. Plutko 2/24/03
 SIGNATURE OF SOIL CONSERVATION DISTRICT OFFICIAL DATE

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE
 HOWARD COUNTY HEALTH DEPARTMENT
 Penny Beniston M.M. E.I. 3-5-03
 HOWARD COUNTY HEALTH OFFICER SRK DATE



APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE
 HOWARD COUNTY HEALTH DEPARTMENT
 Penny Beniston M.M. E.I. 3-5-03
 HOWARD COUNTY HEALTH OFFICER SRK DATE

OWNERS
 JOYCE and LARRY SAUVAGER
 9636 Green Moon Path
 Columbia, MD 21046
 (301) 206-3136

REVISIONS

No.	By	Date	Description
1	LDE	7/9/04	Revise Grading for Level Spreader Installation.
2	LDE	5/11/04	Revise House Location, Grading, Revise Driveway Culvert

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
9	7644 Woodstream Way

PERMIT INFORMATION CHART

Subdivision Name	Section/Area	N/A	Lot No.
KINDLER ESTATES			9

Plat # or L/F	Grid #	Zoning	Tax Map No.	Elect Distr	Census Tract
4860	24	R-20	41	6th	6068.03

Water Code	Sewer Code
N/A	N/A

LDE, INC.
 9250 Rumsey Road, Suite 106, Columbia, MD. 21045
 (410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)
 DESIGNED: BDB
 DRAWN: KBW
 CHECKED: BDB
 DATE: 7/02
SITE DEVELOPMENT PLAN
KINDLER ESTATES
LOT 9
 TAX MAP NO. 41 P/O PARCEL 424
 6th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 Previous Submittals: F79-193,
BUILDER
 HAL C. MARKER CO., INC.
 10524 Hunters Way
 Laurel, MD 20723 (301) 776-8228