

General Notes

- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
- The contractor shall notify the Department of Public Works, Bureau of Engineering, Construction Inspection Division at (410) 313-1880 at least 48 hours prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- The contractor shall notify the Howard County Department of Public Works, Bureau of Utilities at (410) 313-4900 at least five (5) working days prior to starting any excavation work.
- Proposed Uses: Bldg A - Bank
Bldg B - ATM + Night Deposit
- All plan dimensions are to face of curb unless otherwise noted.
- Existing topography is shown per field run survey information by Gutschick, Little, Weber, P.A. + by design grades from design plans for construction.
- Coordinates and bearings are based upon the MD State plane system (NAD '83).
- Water and sewer service is public.
- Stormwater management for this site is proposed by SDP-01-09. A water quality manhole is existing for this site under SDP-01-132.
- All existing water and sewer is per Contract 24-3973-D.
- All existing storm drain is per SDP-01-132.
- See trench bedding class 'C' for storm drains.
- Recording reference: Plat No. 15417.
- Existing utilities are based on approved design plans for construction and field location by Gutschick, Little + Weber, P.A.
- There is no floodplain on Site.
- There are no wetlands on Site.
- Building setbacks and building restrictions are per FDP 235.
- This site is exempt from the forest conservation requirements of Section 16.1200 of the Howard County Code by Section 16.1202(b)(1)(XIV). Site is a part of a Planned Unit Development with at least 50% developed before 12-31-92.
- NOTE: In case of discrepancies between the plat and the plans, the plat shall govern.
- No clearing, grading or construction is permitted within any wetlands, wetland buffer, 50' stream buffer or floodplain, none of which are located on this parcel.
- All lighting proposed shall be in accordance with both the Design Criteria of HRD and Section 134 of The Howard County Zoning Regulations. In particular, all fixtures shall be the cut-off type with flush lenses to eliminate light pollution off-site. The site lighting indicated on these plans is a single or twin bronze, cut off, 400 watt fixture mounted on a 25-foot tall, round, tapered, dark bronze pole.
- All trash will be collected internal to the building.
- This project is a part of a Construction, Operation + Reciprocal Easement Agreement that allows shared parking + driveway access for all parcels (C-1, C-4, C-6 thru C-8), recorded as Liber 5708 Folio G28.
- The Landscape Plan was prepared according to the Alternative Compliance Section of the Landscape Manual.

Site Analysis Data Chart

- Total Project Area = 35,187 SF or 0.81 Ac.
- Limit of Disturbed Area = 36,047 SF or 0.83 Ac.
- Zoning = NT - Employment Center - Commercial (FDP 235)
- Proposed User Bank.
- Floor Area = 4,350 SF Gross (Bldg A)
85 SF Gross (Bldg B) (No Patron Access)
NOTE: Building B is part of canopy service
- No. of standard parking spaces required by FDP 235 (5 spaces per 1,000 SF net area): 4,350 SF/1,000 SF x 5 = 22 spaces.
- No. of handicap spaces required: 1 space.
- No. of standard parking spaces provided: 18 spaces.
- No. of handicap spaces provided: 1 space.
- Total parking spaces provided: 19 spaces.
The 3 remaining required parking spaces are provided within the surplus parking spaces on adjacent parcels (See general note # 24).
- Building area (includes roof overhang + canopy) = 6,327 SF.
- Building coverage: 6,327 SF/35,187 SF = 17.98%.

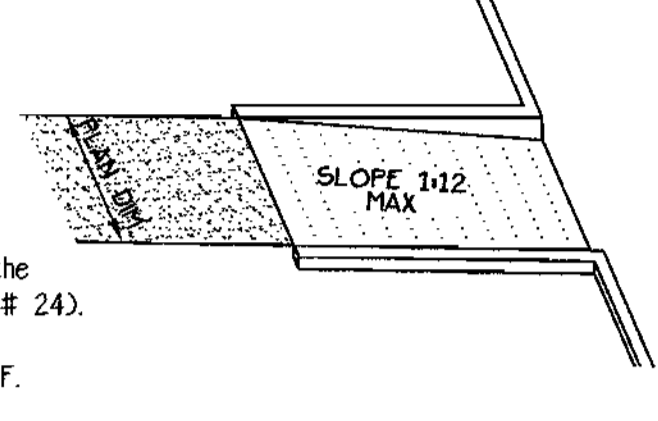
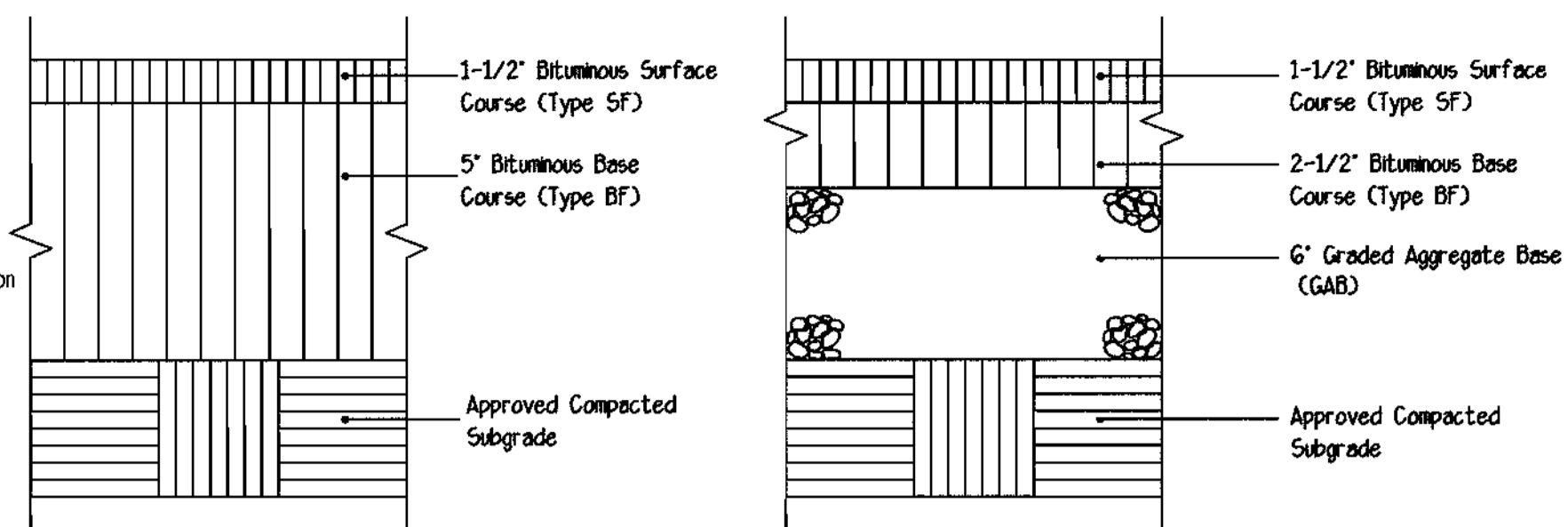
- ### SHOPPING CENTER PARKING ANALYSIS
- Parcel C-1 (SDP 01-132)
No. of Parking Spaces Required: 505 Spaces
No. of Parking Spaces Provided: 505 Spaces
- Parcel C-4 (This Parcel)
No. of Parking Spaces Required: 22 Spaces
No. of Parking Spaces Provided: 19 Spaces
- Parcel C-7 (SDP 02-142)
No. of Parking Spaces Required: 35 Spaces
No. of Parking Spaces Provided: 115 Spaces
- Parcel C-8 (SDP 02-106)
No. of Parking Spaces Required: 26 Spaces
No. of Parking Spaces Provided: 122 Spaces
- Totals
No. of Parking Spaces Required: 588 Spaces
No. of Parking Spaces Provided: 761 Spaces
Surplus Spaces: 173 Spaces

Project Background: See Dept. of Planning + Zoning File Numbers:
F-00-149, S 99-05, FDP 235, PB 337, WP 99-117, WP 00-24, WP 99-41, SDP-01-09, SDP-01-132, F-01-16, F-02-12, F-02-141 + F-02-153.

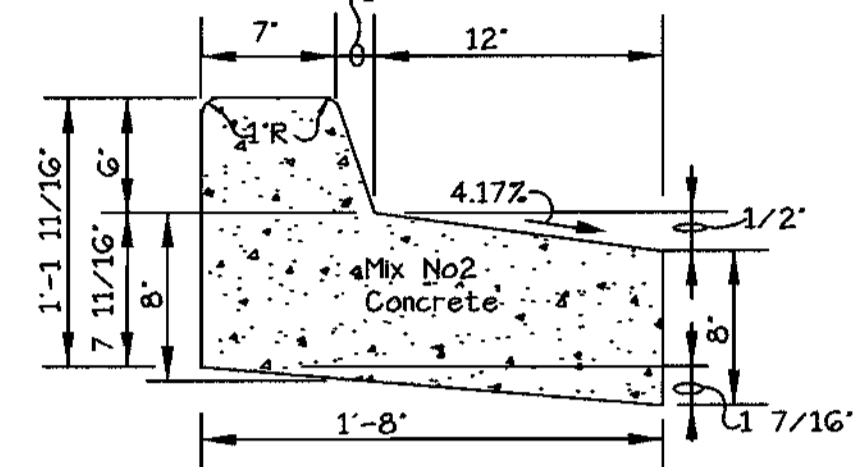
* On July 1, 1999, WP-99-117, waiver of Section 16.144(f) was granted, to not be required to submit a Preliminary Plan, subject to various conditions in the approval letter.

** On October 1, 1999, WP-00-24, waiver of Section 16.144, was granted to reactivate Sketch Plan S-99-05 and grant a 45 day extension to submit the Sketch Plan for signature.

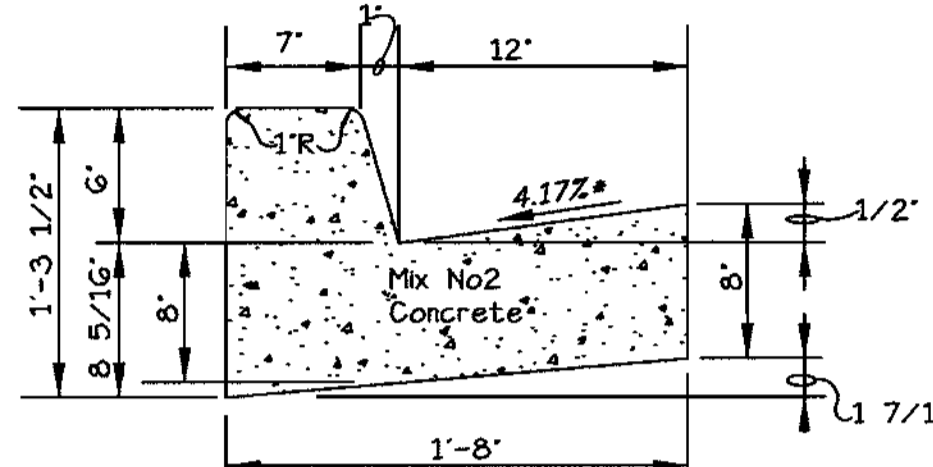
*** On March 23, 1999, WP-99-41, waiver of Section 16.144(f)(1), was approved to permit a private commercial driveway direct access to an arterial road, subject to various conditions in the approval letter.



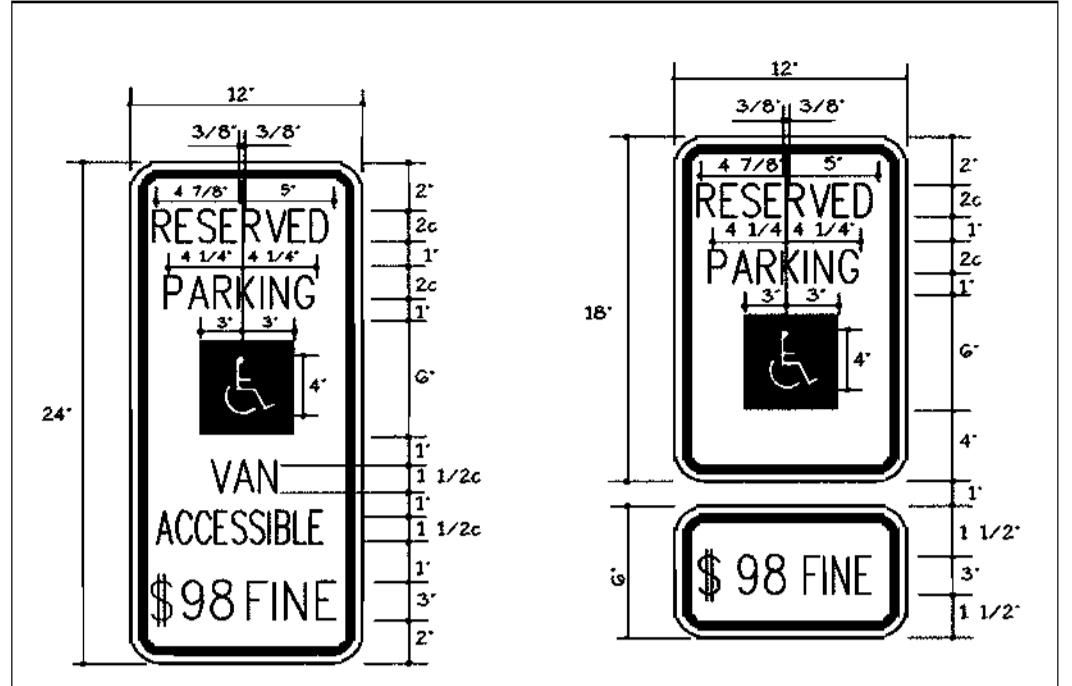
SIDEWALK RAMP DETAIL
N.T.S.



Reverse G* Combination Curb + Gutter
N.T.S.



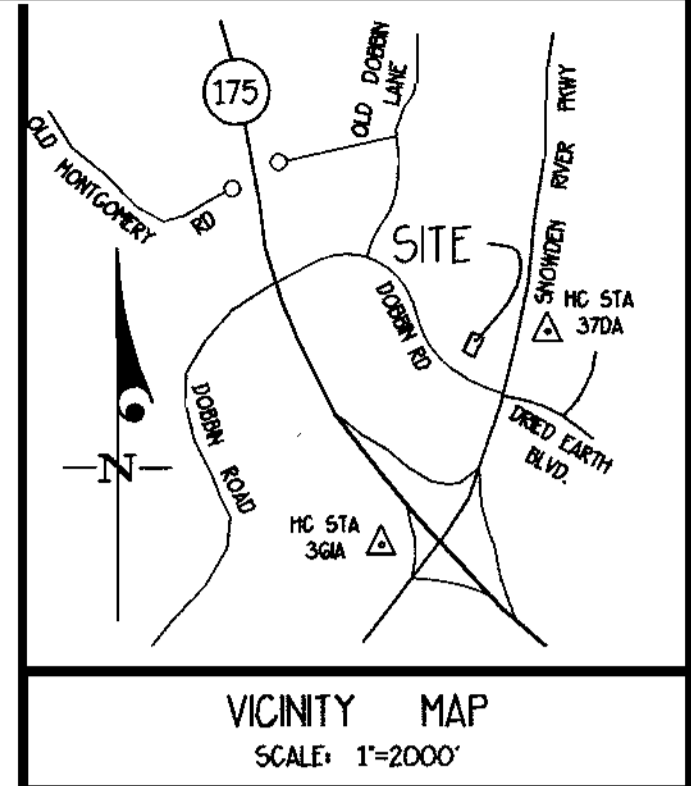
Standard G* Combination Curb + Gutter
N.T.S.



General Notes:

- Signs shall meet design standards of the Federal Highway Administration and conform to the State of Maryland Standard Highway sign booklet detail R7-B.
- One sign is required per space placed as shown on site plan, signed accordingly.
- Spaces indicated on site plan as 'VAN' accessible shall be.
- Signs shall be pole mounted with hot dipped galvanized county approved perforated channel posts w/top of sign 4'-1" above finished grade or as indicated on site drawings.
- Sign shall be attached to flanged side of post. Post shall extend into ground 2'-6" min.
- Colors: Legend and Border - green
Symbol - white on blue background
Background - white

HANDICAP PARKING SIGNS DETAIL
N.T.S.



Typical Sidewalk Detail
N.T.S.

Ex. 30' Public Water, Sewer + Utility Easement
Plat No. 14901

Ex. 8' S.
(Contr. #24-3973-D)

Ex. 8' W.
(Contr. #24-3973-D)

Ex. 8' S.
(Contr. #24-4035-D)

Ex. 8' W.
(Contr. #24-4035-D)

Ex. 8' S.
(Contr. #24-4035-D)

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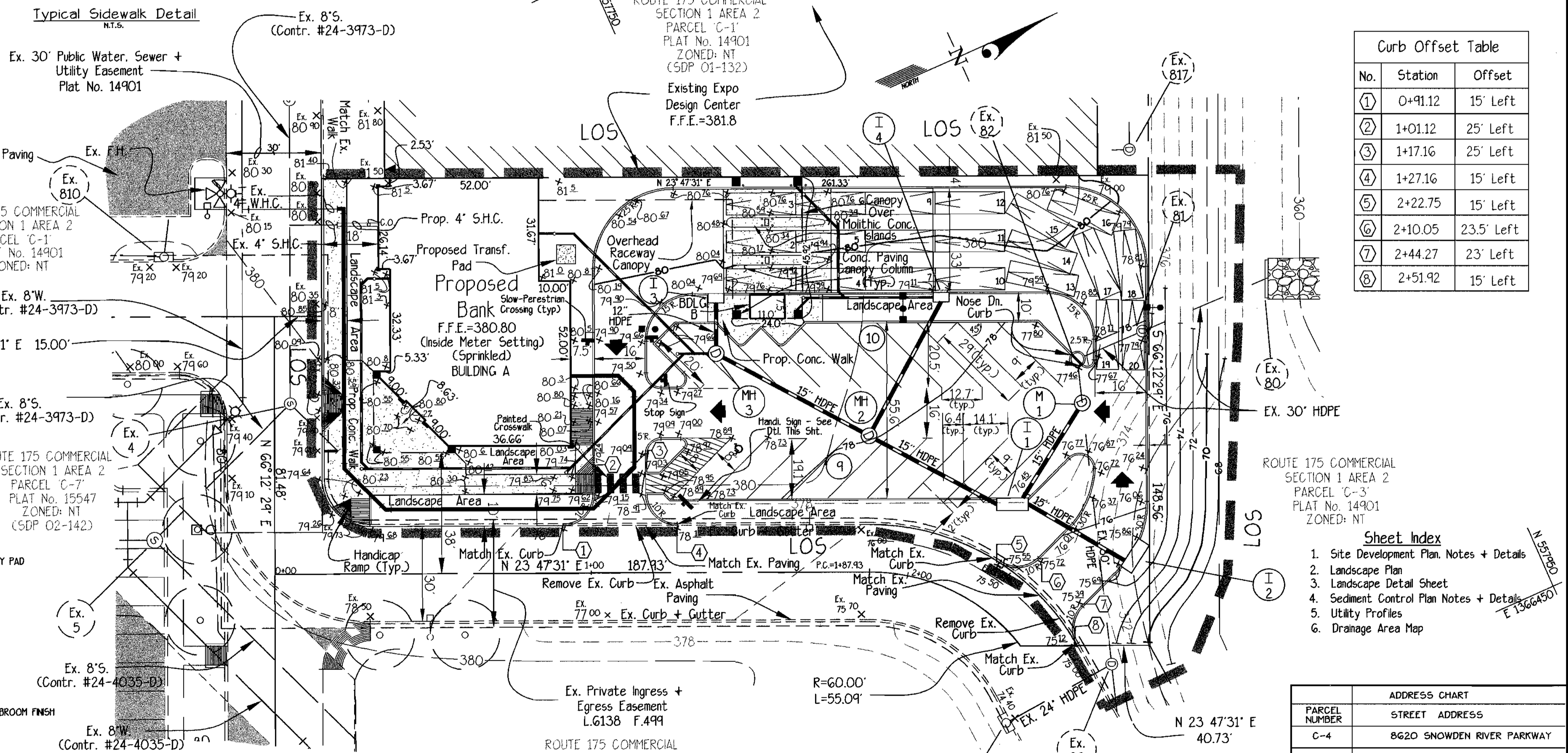
Ex. 8' S.
(Contr. #24-4035-D)

Ex. 8' W.
(Contr. #24-4035-D)

LEGEND

- 366--- EXP. CONTOUR
- 300--- PROP. CONTOUR
- EX. TREES
- EX. STORM DRAIN
- PROP. STORM DRAIN
- LIMIT OF SUBMISSION
- EX. SANITARY SEWER
- EX. WATERLINE
- CONCRETE CURB + GUTTER
- PROP. SANITARY SEWER
- PROPOSED WATERLINE
- EX. CURB + GUTTER
- PROPOSED REVERSE CURB + GUTTER
- CONC. WALK, DUMPSTER PAD OR UTILITY PAD
- EX. EASEMENTS
- EX. ASPHALT PAVING
- TOP OF PAVING SPOT SHOT
- NUMBER OF PARKING SPACES
- PROP. LIGHT FIXTURE + POLE
- EX. LIGHT FIXTURE + POLE
- STACKING SPACE

NOTE: ALL HANDICAP RAMPS ARE TO HAVE A ADA COMPLIANT BROOM FINISH



Curb Offset Table

No.	Station	Offset
①	0+91.12	15' Left
②	1+01.12	25' Left
③	1+17.16	25' Left
④	1+27.16	15' Left
⑤	2+22.75	15' Left
⑥	2+10.05	23.5' Left
⑦	2+44.27	23' Left
⑧	2+51.92	15' Left

- ### Sheet Index
- Site Development Plan, Notes + Details
 - Landscape Plan
 - Landscape Detail Sheet
 - Sediment Control Plan Notes + Details
 - Utility Profiles
 - Drainage Area Map

ADDRESS CHART

PARCEL NUMBER	STREET ADDRESS
C-4	8620 SNOWDEN RIVER PARKWAY

WATER CODE: E06	SEWER CODE: 3460000
SUBDIVISION NAME: ROUTE 175 COMMERCIAL	
SECTION/AREA: 1 / 2	PARCEL: C-4
PLAT No. 15417	ZONE NT (CC-Comm.)
TAX MAP 36	BLOCK 18
ELEC. DIST. 6	CENSUS TRACT 6067.03

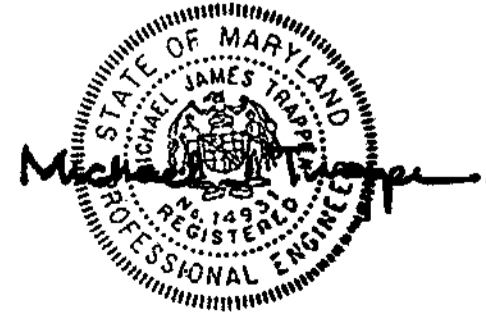
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING + ZONING

Scott Boldt Director 10/30/02 Date

Cindy Harmit Chief, Division Land Development 10/20/02 Date

Michael... Chief, Development Engineering Division MK 10/20/02 Date

PREPARED FOR: KDA Financial, 350 Franklin Road, Marietta, Georgia 30067-7734, Attn: Scott Boldt (770)-421-1532



GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

OWNER: BUC'S FEDERAL BANK, 10455 HILL RUN CIRCLE, OWINGS MILLS, MARYLAND 20017, ATTN: HERBERT HOLTZMAN, TELE: (410) 998-5304

SITE DEVELOPMENT PLAN, NOTES + DETAILS
ROUTE 175 COMMERCIAL
SECTION 1 AREA 2
PARCEL 'C-4' + 'C-3'
PLAT No. 15417
HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN	ZONING: NT	G. L. W. FILE No.: 02034
DATE: AUG., 2002	TAX MAP - GRID: 36-18	SHEET: 1 OF 6

PLANT MATERIALS AND PLANTING METHODS

A. Plant Materials

The landscape contractor shall furnish and install and/or dig, ball, burlap and transplant all of the plant materials called for on drawings and/or listed in the Plant Schedule.

1. Plant Names

Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

2. Plant Standards

All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen (hereafter referred to as AAN Standards). All plants shall be typical of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy, well-furnished root systems. They shall be free of disease, insect pests and mechanical injuries.

All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting. Neither heeled-in plants nor plants from cold storage will be accepted.

3. Plant Measurements

All plants shall conform to the measurements specified in the Plant Schedule as approved by the ARC.

a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.

b. Minimum branching height for all shade trees shall be six feet (6'), maximum eight feet (8').

c. Caliper, height, spread and size of ball shall be generally as follows:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5"	14'-16'	6'-8'	32" diameter
3.5" - 4"	14'-16'	8'-10'	36" diameter
4" - 4.5"	16'-18'	8'-10'	40" diameter
4.5" - 5"	16'-17'	10'-12'	44" diameter
5" - 5.5"	16'-20'	10'-12'	48" diameter
5.5" - 6"	18'-20'	12'-14'	52" diameter

All plant material shall generally average the median for the size ranges indicated above as indicated in the "AAN Standards".

4. Plant Identification

Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal, State and County authorities.

5. Plant Inspection

The ARC may, upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

1. Planting Seasons

The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.

The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

3. Excavation of Plant Pits

The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

a. Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.

b. All pits shall be generally circular in outline, vertical sides, depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule.

c. If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18" depth minimum. Areas designated for ground covers and vines shall be excavated to at least 12" in depth minimum.

d. Diameter and depth of tree pits shall generally be as follows:

PLANT SIZE	ROOT BALL	PIT DIAMETER	PIT DEPTH
3" - 3.5" cal.	32"	64"	28"
3.5" - 4" cal.	36"	72"	32"
4" - 4.5" cal.	40"	80"	36"
4.5" - 5" cal.	44"	88"	40"
5" - 5.5" cal.	48"	96"	44"
5.5" - 6" cal.	52"	104"	48"

Z compaction figure of the soil to be removed is assumed and will be allowed in calculation of extra topsoil. The tabulated pit sizes are for purposes of uniform calculation and shall not override the specified depths below the bottoms of the root balls.

4. Staking, Guying and Wrapping

All plant material shall be staked or guyed, and wrapped in accordance with the following specifications:

a. Stakes: Shall be sound wood 2" x 2" rough sawn oak or similar durable woods, or lengths, minimum 7'-0" for major trees and 5'-0" minimum for minor trees.

b. Wire and Cable: Wire shall be #10 ga. galvanized or bethanzined annealed steel wire. For trees over 3' caliper, provide 5/16" turn buckles, eye and eye with 4' take-up. For trees over 5' caliper, provide 3/16" 7 strand cable cadmium plated steel, with galvanized "eye" thimbles of wire and hose on trees up to 3' in caliper.

c. Hose: Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D. "Plastic Lock Ties" or "Paul's Trees Braces" may be used in place of wire and hose on trees up to 3' in caliper.

d. All trees under 3' in caliper are to be planted and staked in accordance with the attached "Typical Tree Staking Detail".

5. Plant Pruning, Edging and Mulching

a. Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements, in accordance with accepted standard practice. Broken or bruised branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1" in

diameter shall be painted with an approved antiseptic tree wound dressing.

b. All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stacked shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub areas, hedge trenches and vine pockets.

c. After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark, peat moss, or another approved material over the entire area of the bed or saucer.

6. Plant Inspection and Acceptance

The ARC shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with the approved plans and specifications.

7. Plant Guarantee

All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

a. For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season, and the commencement of the "Fall" planting season.

b. Guarantee for planting performed after the specified end of the "Spring" planting season, shall be extended through the end of the next following "Spring" planting season.

Sodding

All sodding shall be in accordance to the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas" latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development when planted and in strips not more than 18" wide x 4' long. Provide sod composed principally of improved strain Kentucky bluegrass, such as Columbia, Victoria, or Escort.

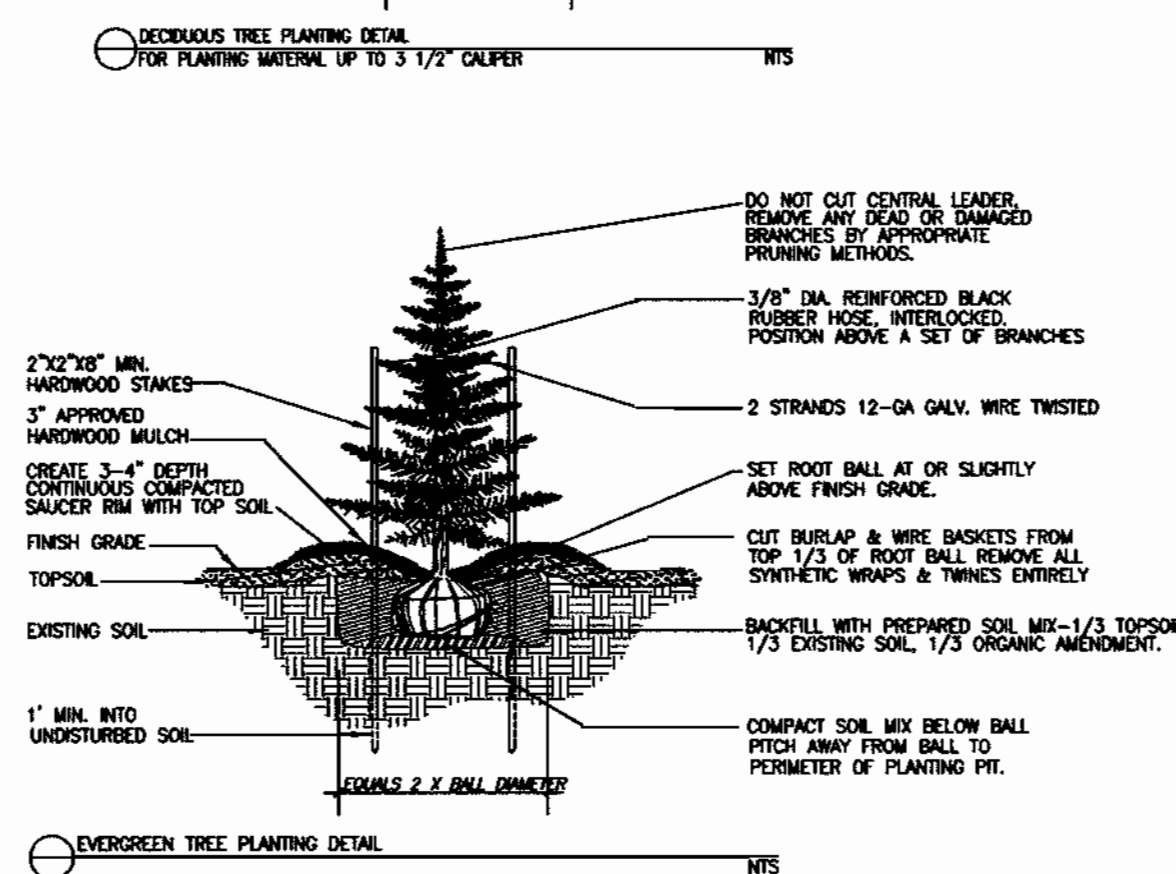
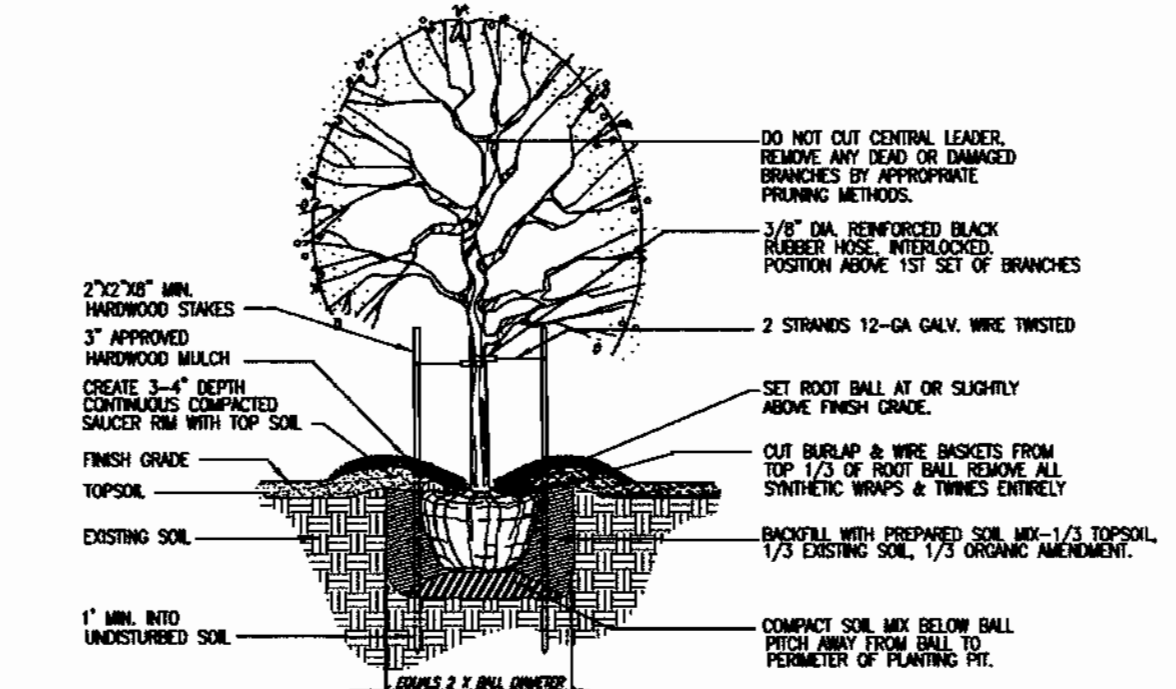
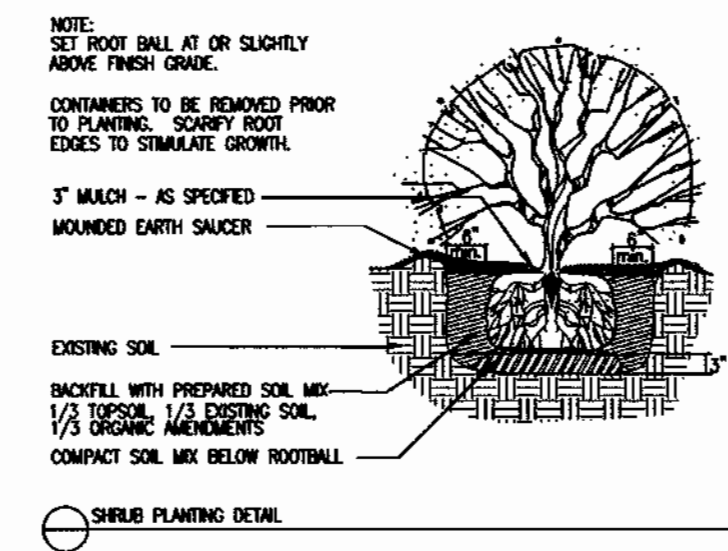
LANDSCAPING NOTES

- This plan has been prepared in accordance with the New Town Alternative Compliance provisions of Section 18.124 of the Howard County Code and the Howard County Landscape Manual.
- Contractor shall notify all utilities at least (5) five days before starting work. All General Notes, especially those regarding utilities, on Sheet 1 shall apply.
- Field verify underground utility locations and existing conditions before starting planting work. Contact engineer / landscape architect if any relocations are required.
- Plant quantities shown on Plant List are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plan shall take precedence.
- All plant material shall be full, heavy, well formed, and symmetrical, and conform to the A.A.N. Specifications, and be installed in accordance with project specifications.
- No substitution shall be made without written consent of the owner or his representative.
- All areas disturbed by construction activities but not otherwise planted, paved, or mulched shall be seeded or sodded in accordance with the project specifications.
- The contractor shall notify the owner in writing if he/she encounters soil drainage conditions which may be detrimental to the growth of the plants.
- All exposed earth within limits of planting beds shall be mulched with shredded hardwood mulch per Planting Details.
- Financial surety for the required landscaping per schedule A and B shall be posted as a part of the grading permit in the amount of \$4,050.00.
- Tabulation for landscape shown: Required planting by HRD for 0.81 acre of office combined at 20 trees/acre = 16 trees
Planting provided:
Shade Trees 0
Ornamental Trees 17 = 8 E.S.T. 1 shade at 2:1
Evergreen Trees 9 = 4 E.S.T. 1 shade at 2:1
Shrubs provided: 53 = 5 E.S.T. 1 shade at 10:1
Total E.S.T. = 17
*E.S.T., or Equivalent Shade Tree

The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

PLANT LIST

SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE
ORNAMENTAL TREES			
CV	17	Crataegus viridis 'Winter King' Winter King Hawthorn	2-2 Cal. B+B 7' min. branching ht 8-10' Ht. B+B Multistemmed
SHRUBS			
AZ	2G	Rhododendron 'Krume' White Krume Azalea	24-30" HT. B+B
HH	2G	Ilex 'Helleri' Helleri Holly	24-30" HT. B+B
IF	9	Ilex x attenuata 'Fosterii' Foster's Holly	24-30" HT. B+B
VC	1	Viburnum carlesii Korean Spicebush	6-8' Ht. B+B
HERBACEOUS PLANTS			
HE	72	Hemerocallis 'Hyperion' Hyperion Daylily	1 Gal. Cont.
LM	204	Lilipoe muscari/ Muscari Lillyturf	1 Gal. Cont.



SCHEDULE A	PERIM. #A	PERIM. #B	PERIM. #C	PERIM. #D
PERIMETER LANDSCAPE EDGE Category	Internal Perim.	External Perim.	External Perim.	Internal Perim.
Landscape Buffer Type	N/A	B	E	N/A
Linear Feet of Roadway/Perimeter Frontage	261'	204'	118'	148'
Credit for Ex. Vegetation (Yes, No, Linear Feet) (describe below if needed)	NO	NO	NO	N/A
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (describe below if needed)	No	No	No	No
Number of Plants Required Shade Trees Evergreen Trees Shrubs	N/A	4 5 0	3 0 30	N/A
Number of Plants Provided Shade Trees Evergreen Trees Other Trees (2:1 subst.) Shrubs (10:1 subst.) (describe plant substitution credits below if needed)	0 0 0 0	0 3 25	0 0 7 4	0 0 0 0
Bond Requirement - Surety for Schedule A: Schedule 'A' Number of Shade Trees for bonding: 7 x \$300 = \$ 2,100.00 Schedule 'A' Number of Evergreen Trees for bonding: 5 x \$150 = \$ 750.00 Schedule 'A' Number of Shrubs for bonding: 30 x \$30 = \$ 900.00 Schedule 'B' Number of required Shade Trees for bonding: 1 x \$300 = \$ 300.00 TOTAL Estimate for Surety: \$ 4,050.00 COMMENTS:				

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
Number of Parking Spaces =	19 Spaces (Provided)
Number of Trees Required =	1 Trees * 1 per 20 spaces
Number of Trees Provided	Shade Trees 0 Ornamental Trees 15
Other Trees (2:1 substitution)	
NOTE:	Schedule 'B' Number of required Shade Trees for bonding: 1 x \$300 = \$300.00

DEVELOPER'S / BUILDER'S CERTIFICATE
I/We certify that the landscaping shown on this plan will be done according to the plan, Section 18.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certification of Landscape Installation, accompanies by an executed one-year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.
Name (Developer's / Builder's) _____ Date 10/14/02

Financial surety for the required landscaping has to be posted in the amount of \$4,050.00 AS A PART OF THE GRADING PERMIT.

DEVELOPER
RDA Financial
350 Franklin Road
Marietta, Georgia 30067-7734
Attn: Scott Bolt
(770)-421-1532

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE: 09/04/02

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING + ZONING
Director: _____ Date: 10/30/02
Chief, Division of Land Development: _____ Date: 10/19/02
Chief, Development Engineering Division: MK _____ Date: 10/29/02



GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

OWNER:
BUC* FEDERAL BANK
10455 MILLS RUN CIRCLE
OWINGS MILLS, MARYLAND 20017
ATTN: HERBERT MOLTZAN
TELE: (410) 998-5304

LANDSCAPE DETAIL SHEET
ROUTE 175 COMMERCIAL
SECTION 1 AREA 2
PARCEL 'C-4' + 'C-3'
PLAT No. 15417
ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
NTS	NT	02034
DATE	TAX MAP - GRID	SHEET
AUG., 2002	36-18	3 OF 6

SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (410) 313-1855.
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1 to 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1993 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (Sec. G).
Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total Area of Site	0.81 Acres
Area Disturbed	0.83 Acres
Area to be roofed or paved	0.66 Acres
Area to be vegetatively stabilized	0.17 Acres
Total Cut	1300 Cu. Yds.
Total Fill	1300 Cu. Yds.
Off-site waste/borrow area location	N/A
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other holding or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to 3 pipe lengths or that which shall be backfilled and stabilized within one working day, whichever is shorter.

NOTE: TOTAL CUT AND FILL QUANTITIES ARE FOR PLAN PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EARTHWORK AT TIME OF CONTRACT.

STANDARD AND SPECIFICATIONS FOR TOPSOIL DEFINITION

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

PURPOSE

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

CONDITIONS WHERE PRACTICE APPLIES

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

PERMANENT SEEDING NOTES

Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferred -** Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- Acceptable -** Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue per acre and 2 lbs per acre (0.5 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 ft or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

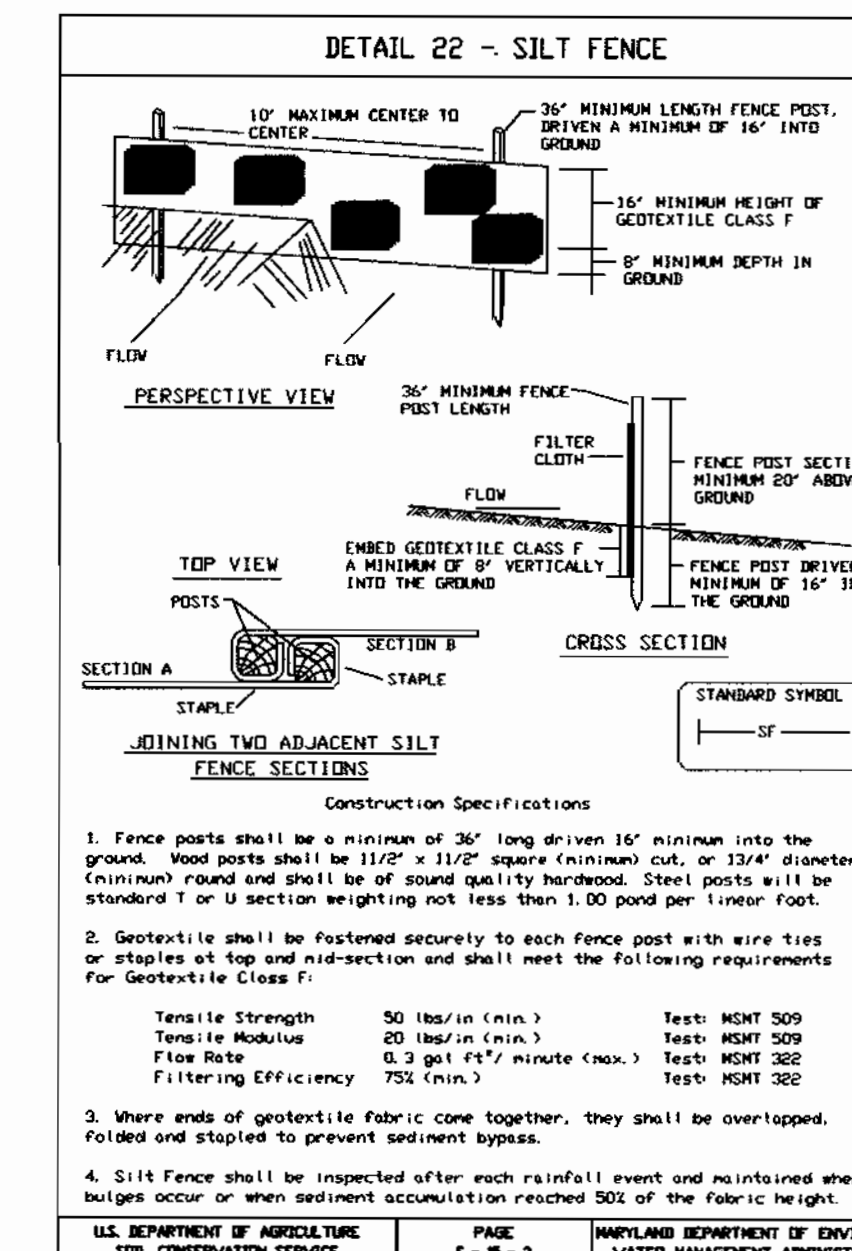
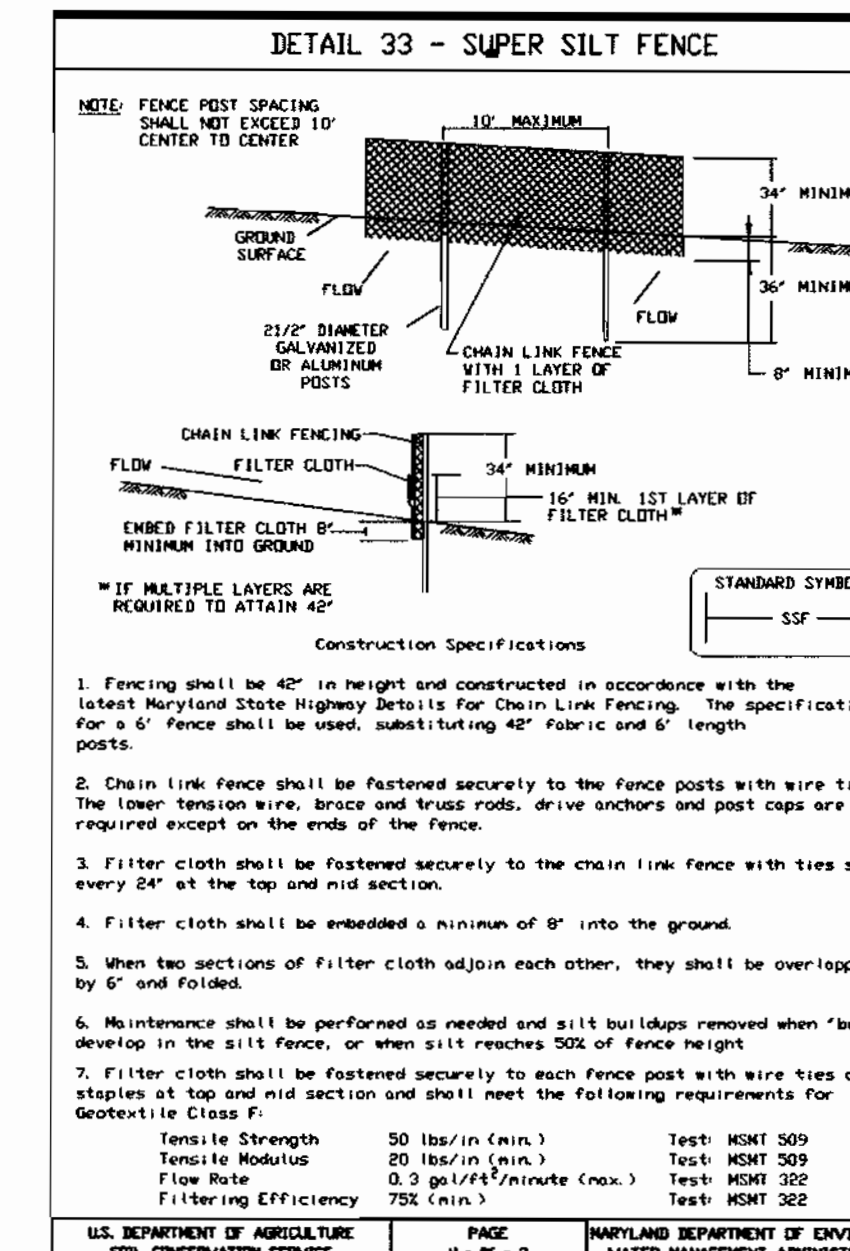
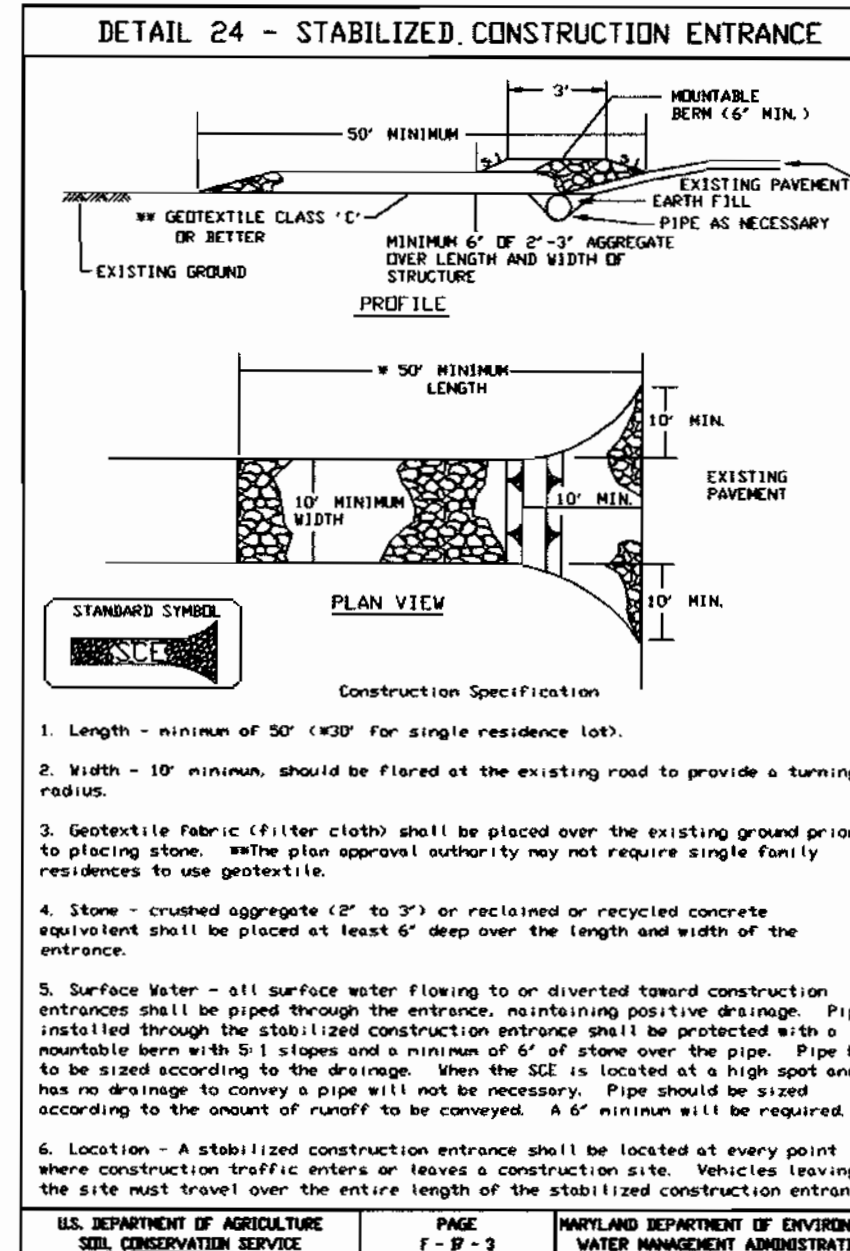
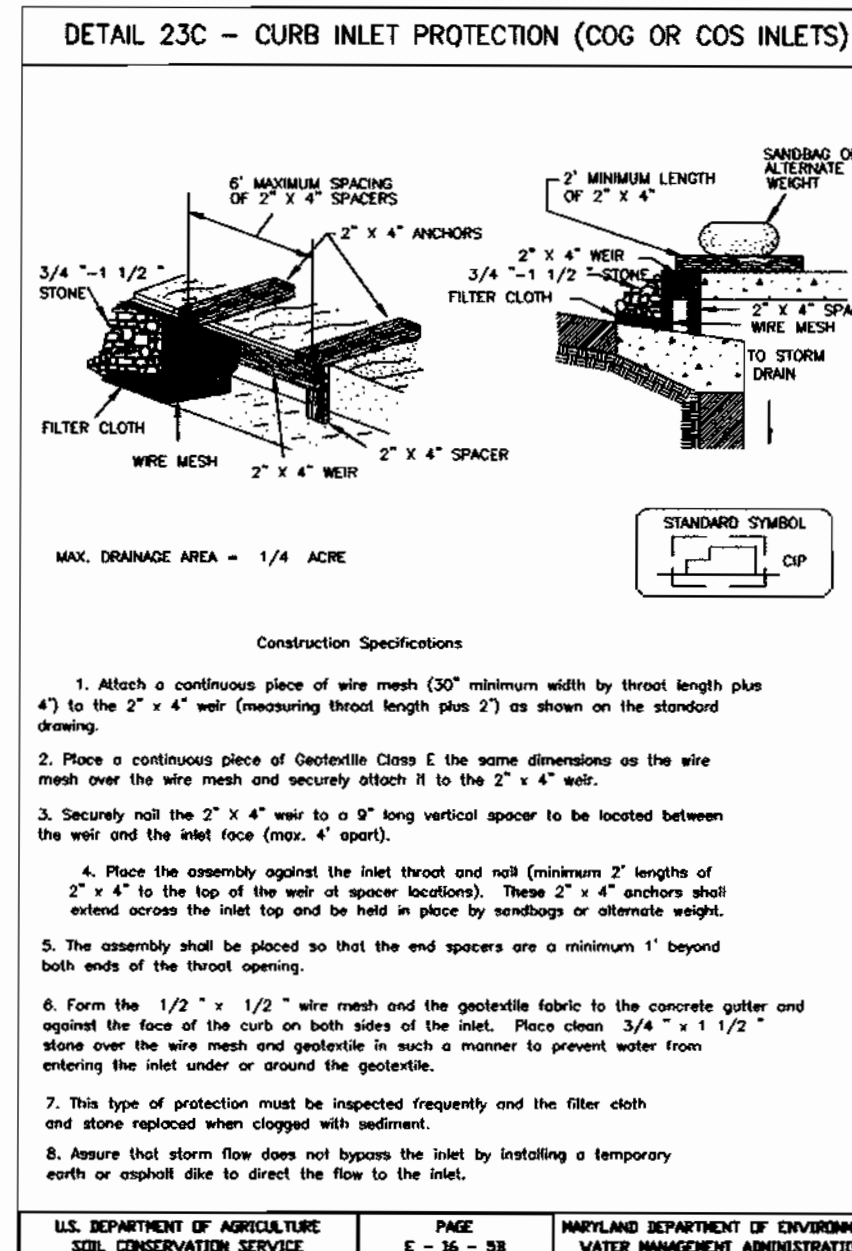
Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

Seeding: For periods March 1 thru April 30 and from August 15 thru October 15, seed with 2-1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (0.7 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted, weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.



CONSTRUCTION AND MATERIAL SPECIFICATIONS

Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the respective soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.

- Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by a agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel sticks, roots, trash, or other materials larger than 1 1/2\"/>
- Topsoil must be free of plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
- Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
 - For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
 - For sites having disturbed areas over 5 acres:
 - On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If

THIS SHEET FOR SEDIMENT CONTROL PURPOSES ONLY!

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: 09/04/02

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING + ZONING
 [Signatures and Dates]

PREPARED FOR:
 KDA Financial
 350 Franklin Road
 Marietta, Georgia 30067-7734
 Attn: Scott Boldt
 (770)-421-1532

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 [Signature and Date]

DEVELOPER'S/BUILDER'S CERTIFICATE
 We certify that all development and/or construction will be done according to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.
 [Signatures and Dates]

The Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.
 [Signatures and Dates]

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

SEDIMENT CONTROL PLAN, NOTES + DETAILS

ROUTE 175 COMMERCIAL
 SECTION 1 AREA 2
 PARCEL 'C-4' + 'C-3'
 PLAT No. 15417

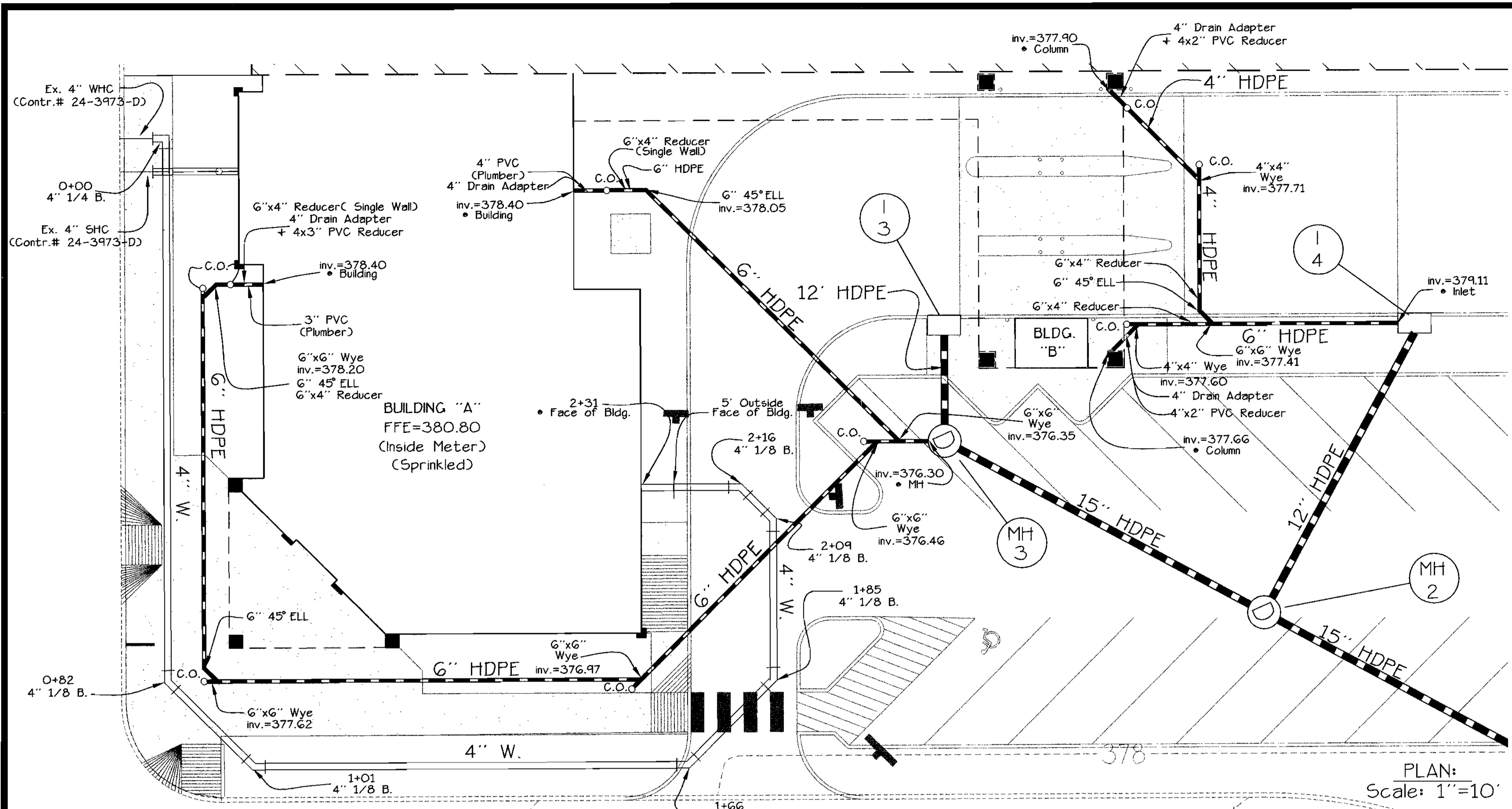
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AS SHOWN	NT	02034
DATE	TAX MAP - GRID	SHEET
AUG. 2002	36-18	4 OF 6

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 FAX: 301-421-4186

DES.	DRN. W.S. CHK.	DATE	REVISION	BY	APPR.

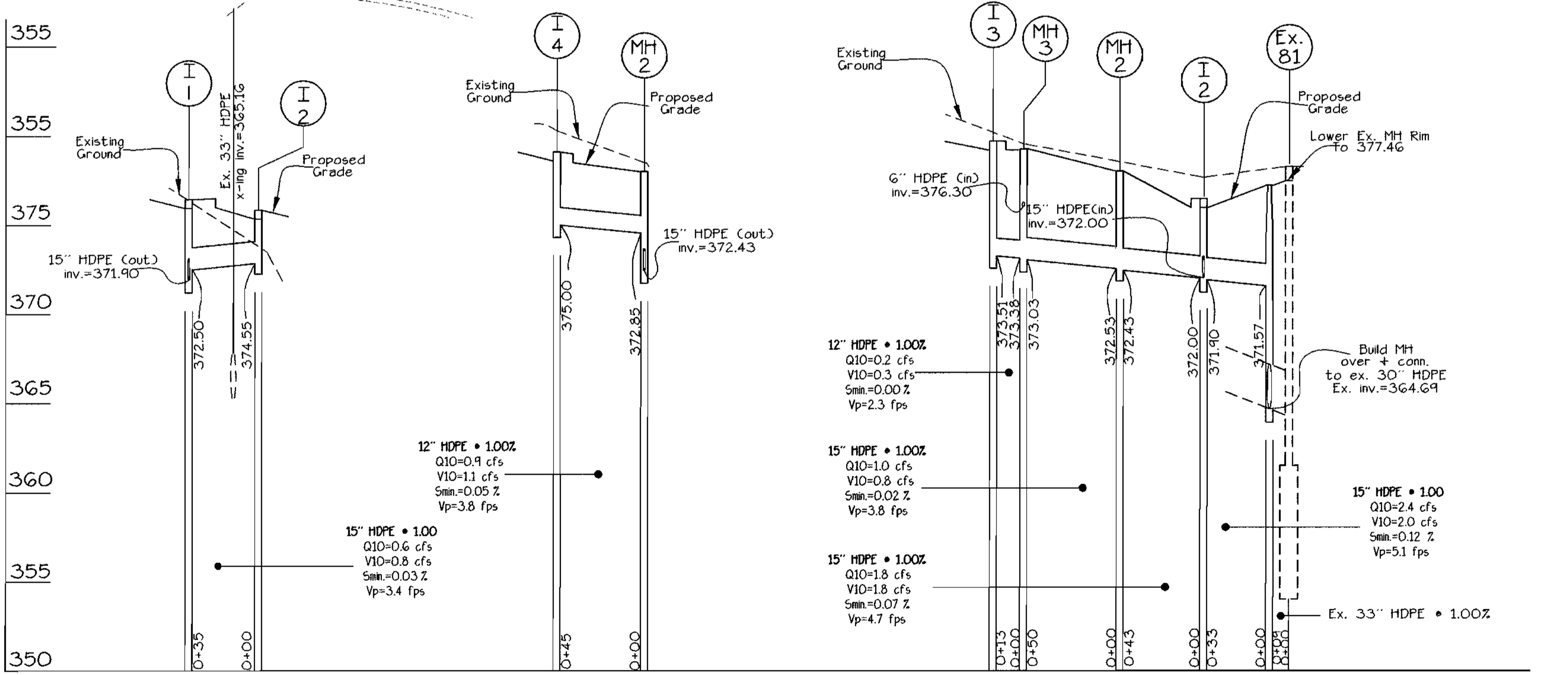
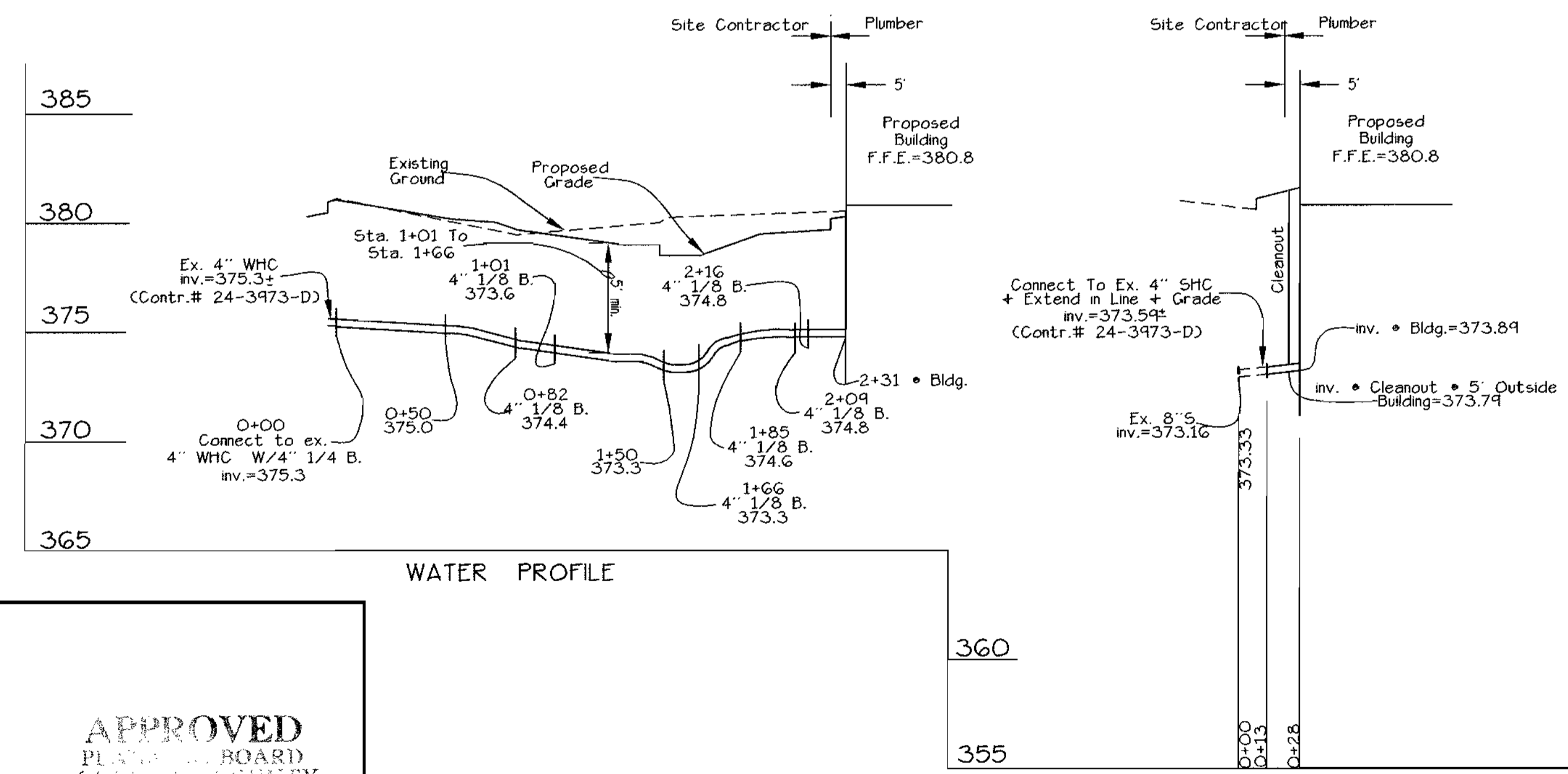
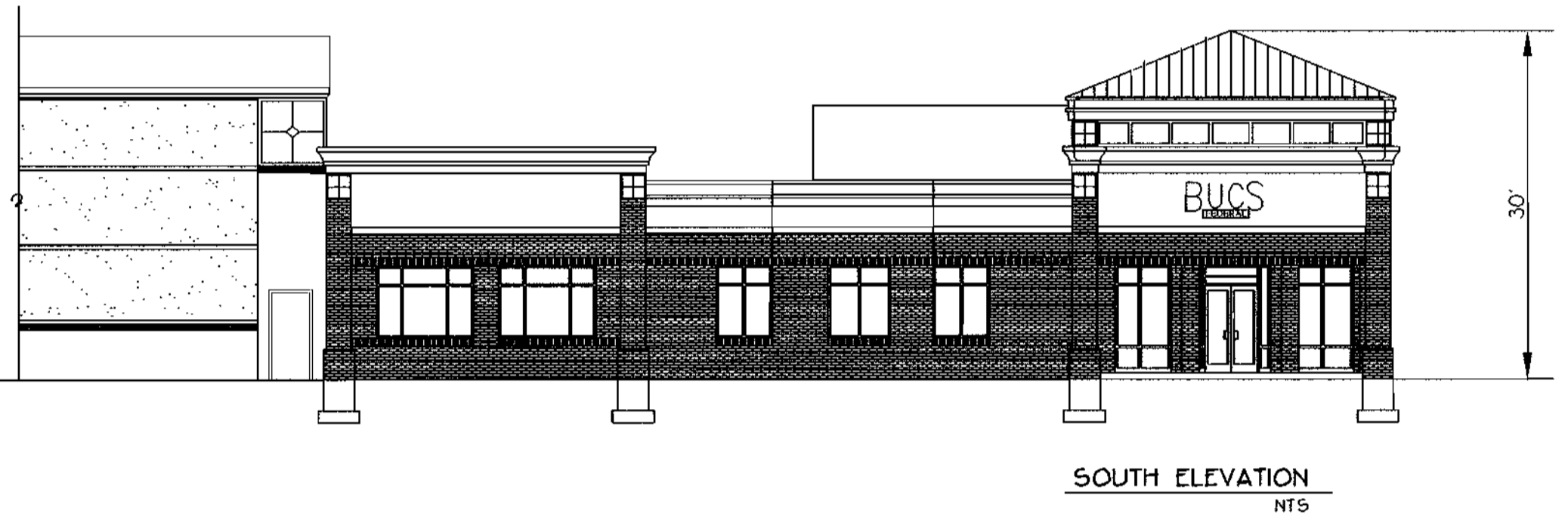
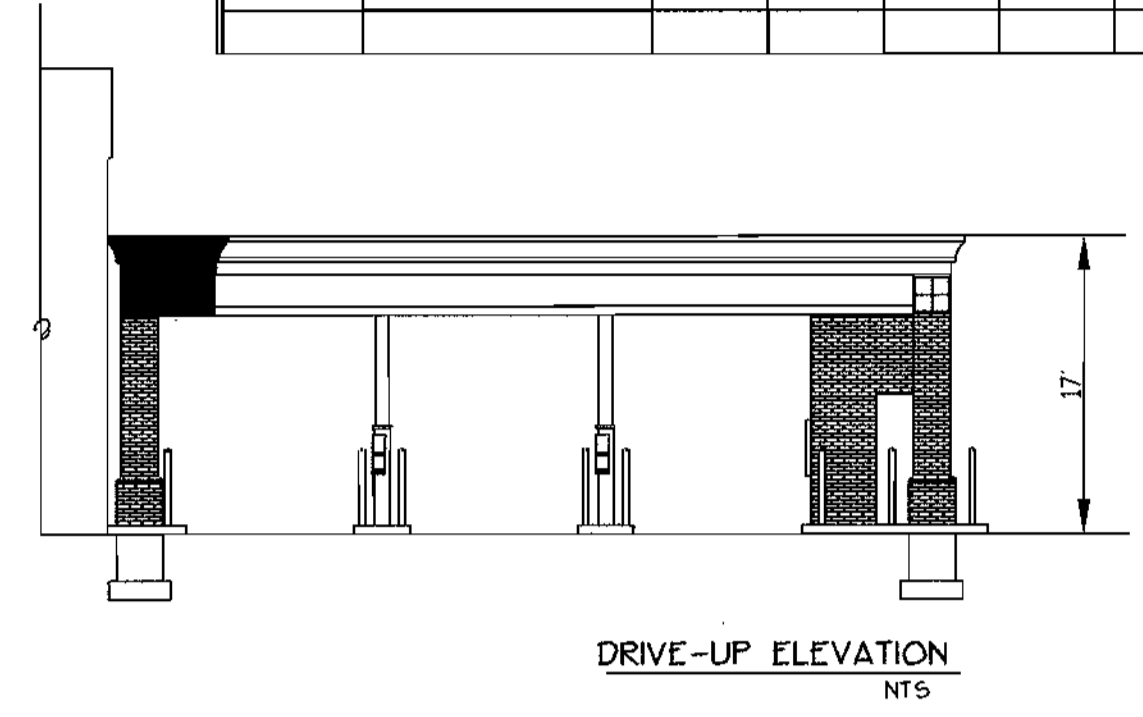
ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND



NO	TYPE	WIDTH (ONSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS
			UPPER	LOWER	UPPER	LOWER		
I-1	A-10 Inlet	3'-6"	376.45	372.00	371.90	372.00	SD 4.41	See Plan
I-2	A-10 Inlet	2'-6"	375.86	375.69	372.85	372.85	SD 4.41	See Plan
I-3	A-5 Inlet	2'-6"	379.69	---	373.26	373.26	SD 4.40	See Plan
I-4	A-5 Inlet	2'-6"	379.11	---	375.00	375.00	SD 4.40	See Plan
MH-1	5' Dia. Manhole	---	377.21	---	371.57	364.69	G 5.13	See Plan
MH-2	4' Dia. Manhole	---	378.00	---	372.53	327.43	G 5.12	See Plan
MH-3	4' Dia. Manhole	---	374.27	---	373.13	373.03	G 5.12	See Plan

PIPE SUMMARY		
SIZE	TYPE	LENGTH
4"	HDPE	56' ±
6"	HDPE	216' ±
12"	HDPE	91'
15"	HDPE	126'



APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 09/04/02

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING + ZONING
Director: [Signature] 10/30/02
Chief, Division of Land Development: [Signature] 10/29/02
Chief, Development Engineering Division: [Signature] 10/29/02

Profile Scales:
Horizontal: 1"=50'
Vertical: 1"=5'

PREPARED FOR:
KDA Financial
350 Franklin Road
Marietta, Georgia 30067-7734
Attn: Scott Bell
(770)-421-1532



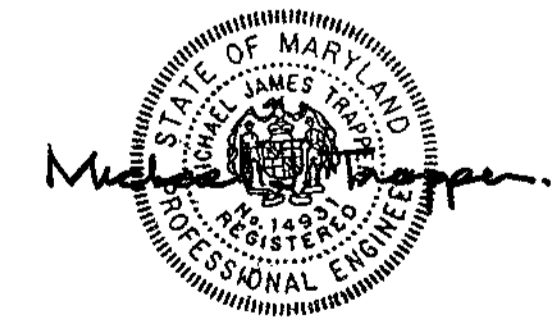
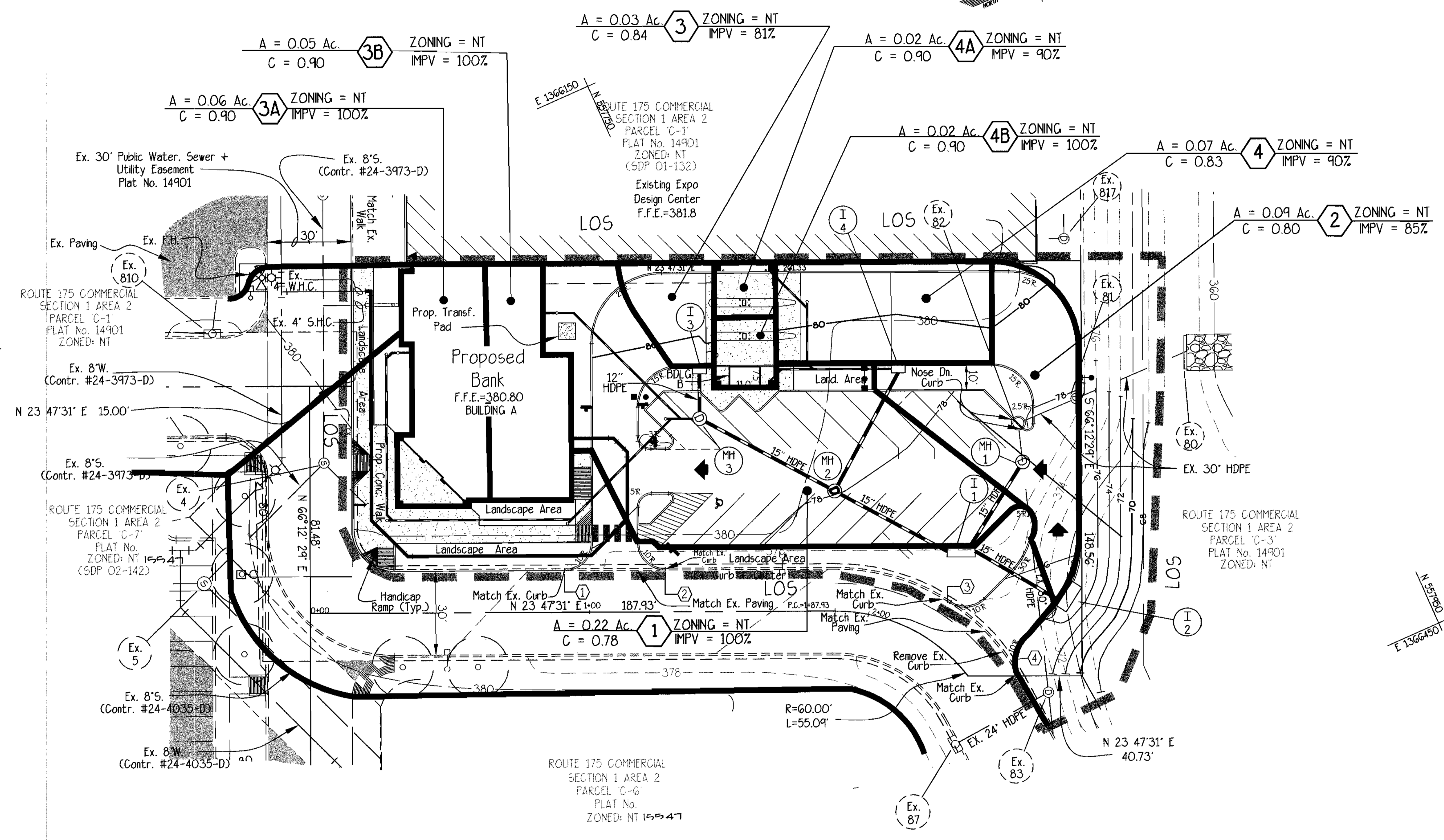
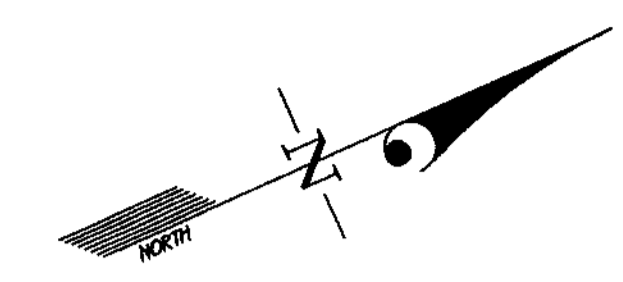
GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

OWNER:
BUC & FEDERAL BANK
10455 HILL RUN CIRCLE
OWINGS MILLS, MARYLAND 20017
HERBERT MOLTZMAN
(410) 992-5304

UTILITY PROFILES, ELEVATIONS + STORM DRAIN MANFOLD DETAIL
ROUTE 175 COMMERCIAL
SECTION 1 AREA 2
PARCEL "C-4" + "C-3"
PLAT No. 15417
ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
A5 SHOWN	NT	02034
DATE	TAX MAP - GRID	SHEET
AUG, 2002	36-18	5 OF 6



DEVELOPER
 KDA Financial
 350 Franklin Road
 Marietta, Georgia 30067-7734
 Attn: Scott Boldt
 (770)-421-1532

THIS SHEET FOR DRAINAGE AREA LIMITS ONLY!

APPROVED
 PLANNING BOARD
 of HOWARD COUNTY
 DATE: 09/04/02

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING + ZONING
 Director: *James R. Banta* 10/20/02
 Chief, Division of Land Development: *Cinda Harrel* 11/20/02
 Chief, Development Engineering Division: *Michael J. Trapp* 10/29/02

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1000 DC/VA: 301-989-2524 FAX: 301-421-4186

NO.	DATE	BY	APP'R.

OWNER:
 BUC'S FEDERAL BANK
 10455 MILL RUN CIRCLE
 OWINGS MILLS, MARYLAND 20017
 ATTN: HERBERT HOLTZAN
 TELE: (410) 998-5304

DRAINAGE AREA MAP
ROUTE 175 COMMERCIAL
 SECTION 1 AREA 2
 PARCEL 'C-4' + 'C-3'
 PLAT No. 15417
 ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT	02034
DATE	TAX MAP - GRID	SHEET
AUG. 2002	36-18	6 OF 6