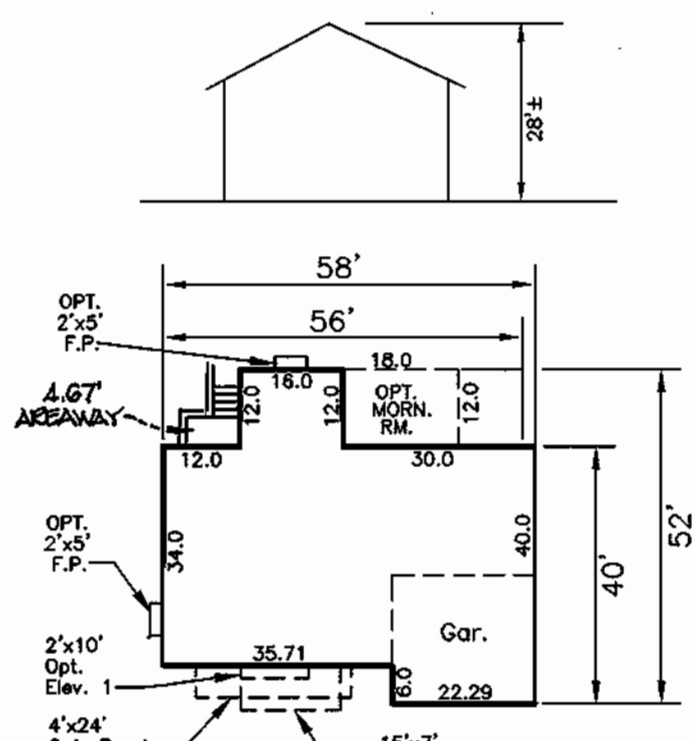
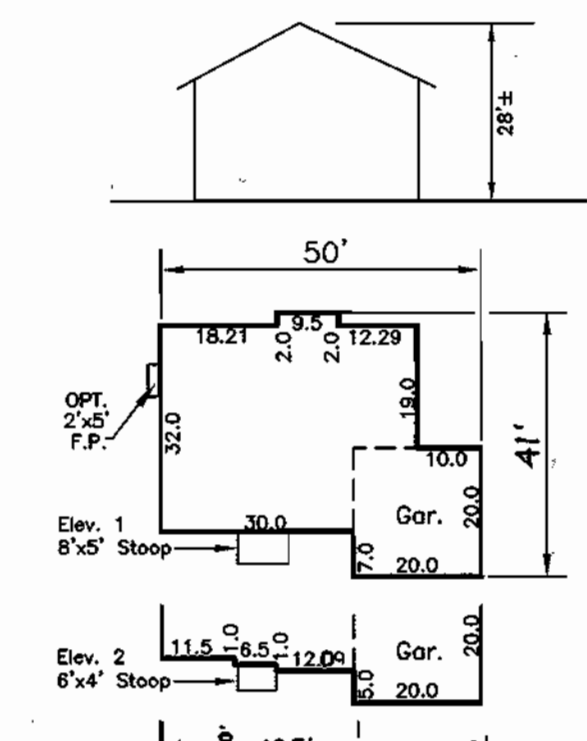


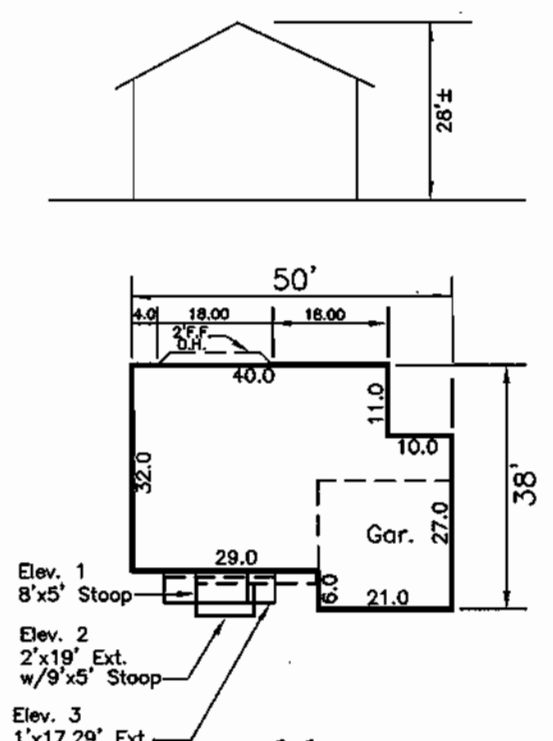
**AA**  
2474.76 SF = 6186.90 SF  
0.4 Min. Lot Size w/all Options



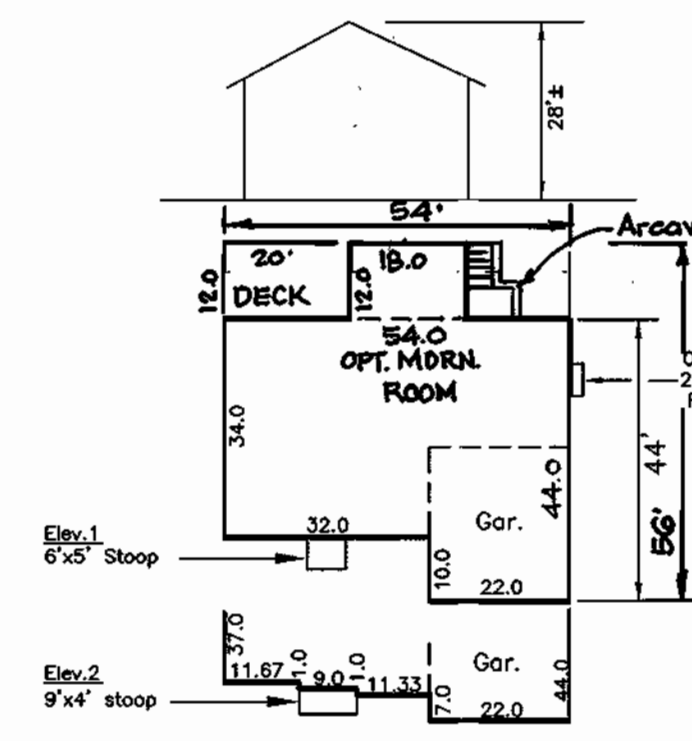
**BB**  
2533.54 SF = 6333.85 SF  
0.4 Min. Lot Size w/all Options



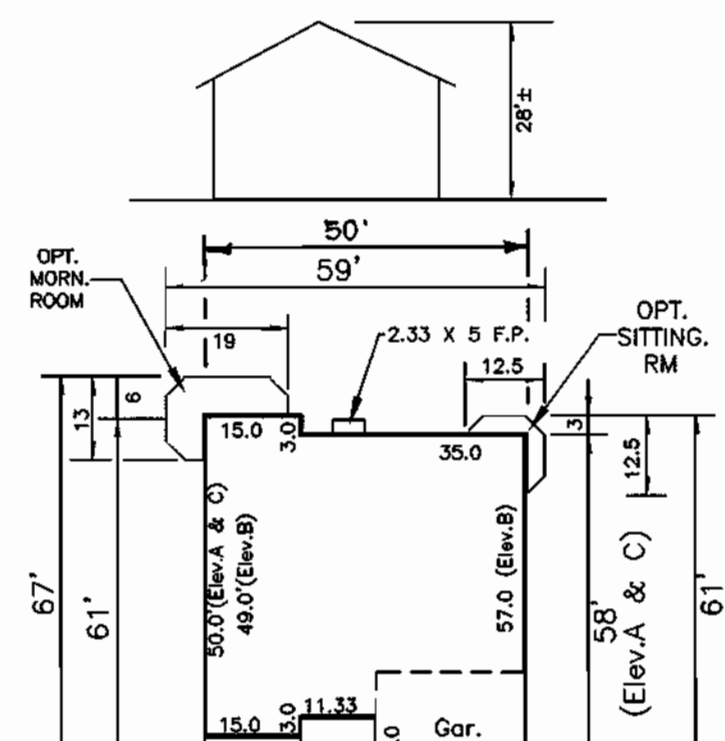
**DD**  
1578.87 SF = 3947.18 SF  
0.4 Min. Lot Size w/all Options



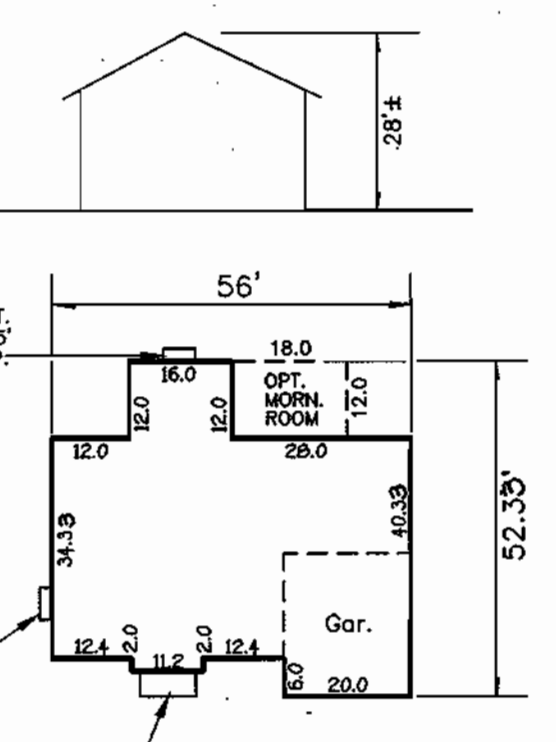
**EE**  
1648.03 SF = 4120.08 SF  
0.4 Min. Lot Size w/all Options



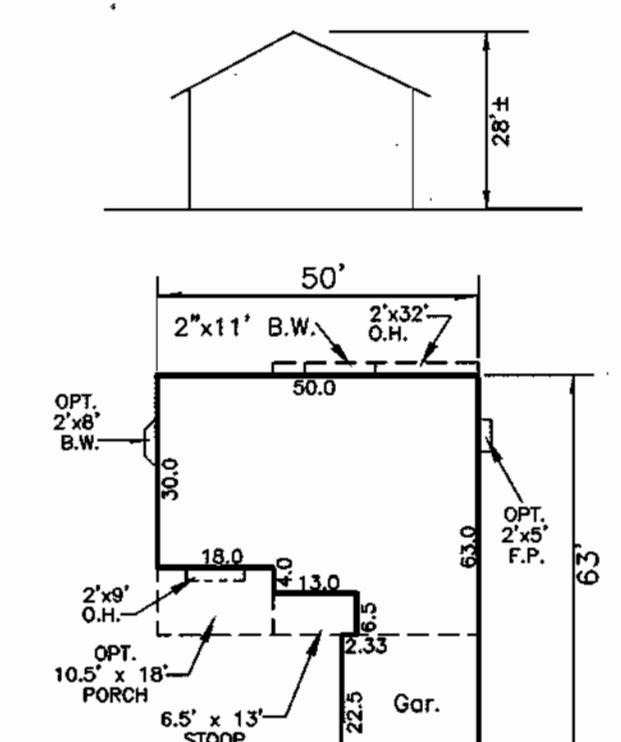
**FF**  
2272.00 SF = 5680.00 SF  
0.4 Min. Lot Size w/all Options



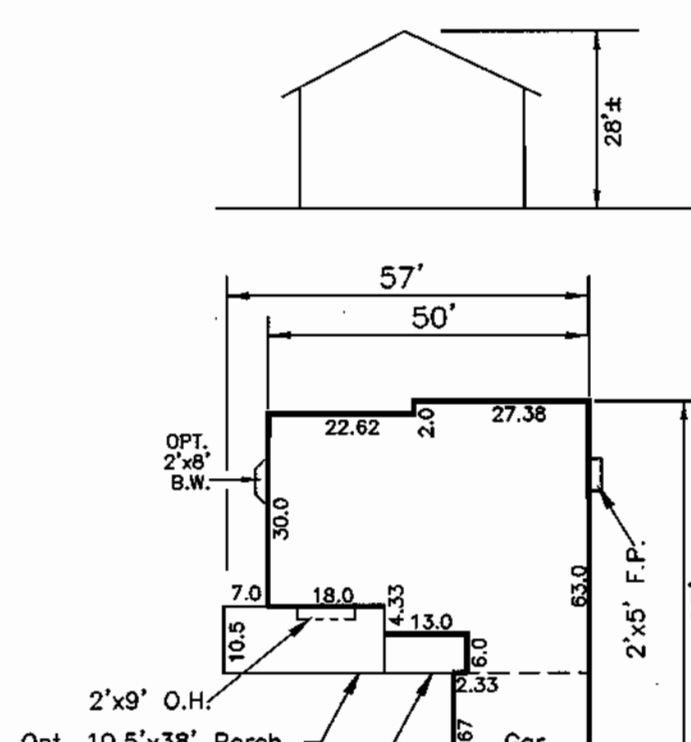
**P**  
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0.4 Min. Lot Size w/all Options



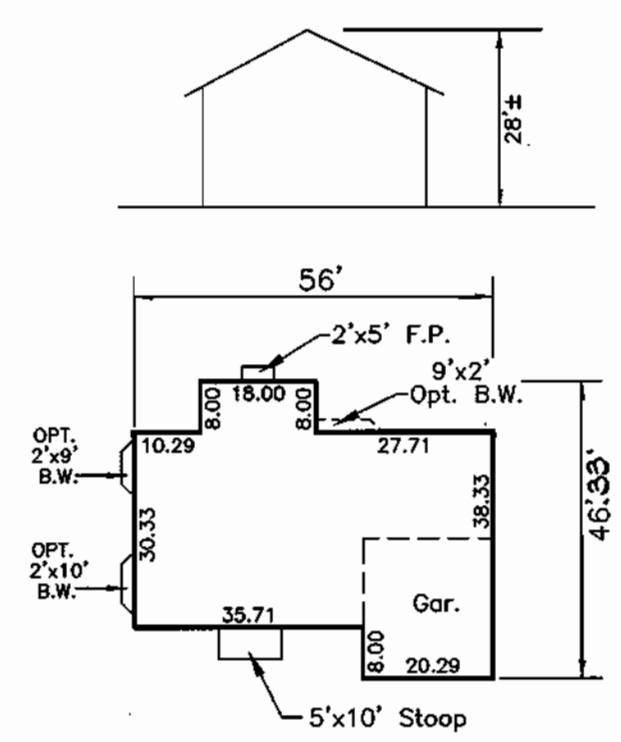
**GG**  
2493.48 SF = 6233.70 SF  
0.4 Min. Lot Size w/all Options



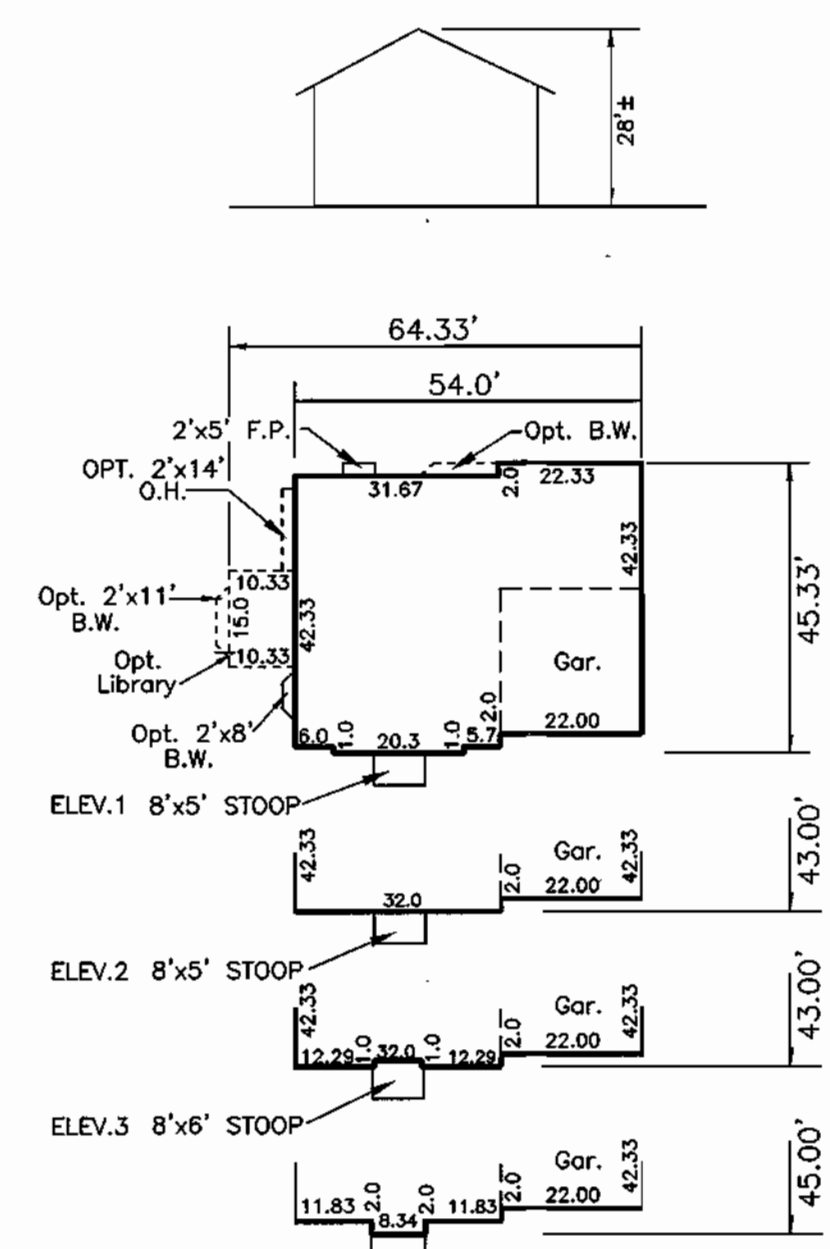
**L**  
2335.24 SF = 5838.10 SF  
0.4 Min. Lot Size w/all Options



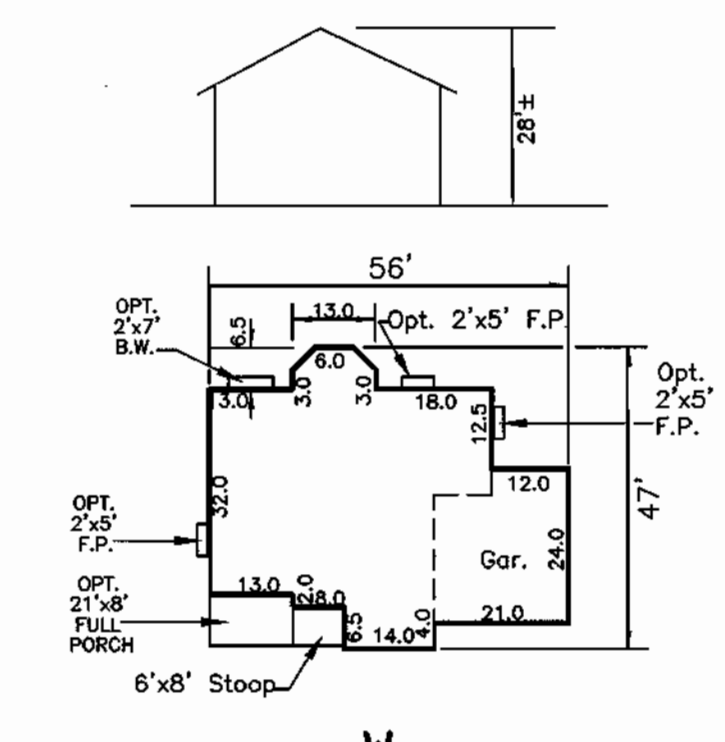
**L-2**  
2310.69 SF = 5776.73 SF  
0.4 Min. Lot Size w/all Options



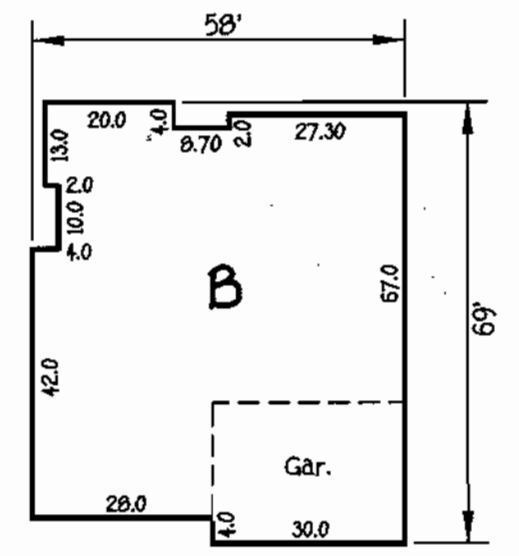
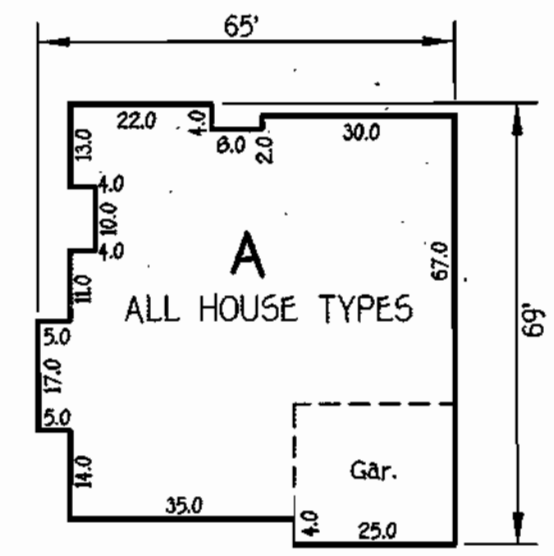
**O**  
2065.28 SF = 5163.20 SF  
0.4 Min. Lot Size w/all Options



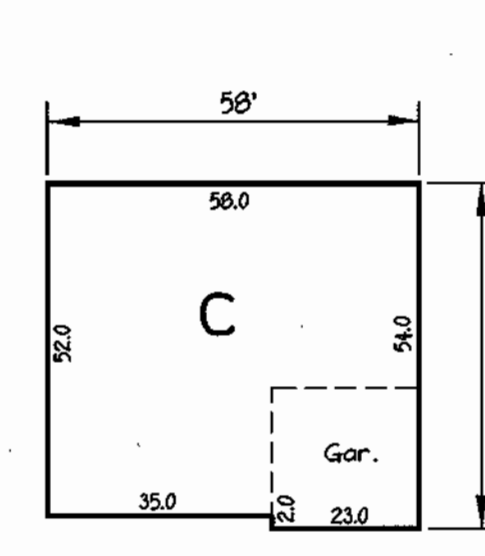
**X**  
2549.42 SF = 6373.55 SF  
0.4 Min. Lot Size w/all Options



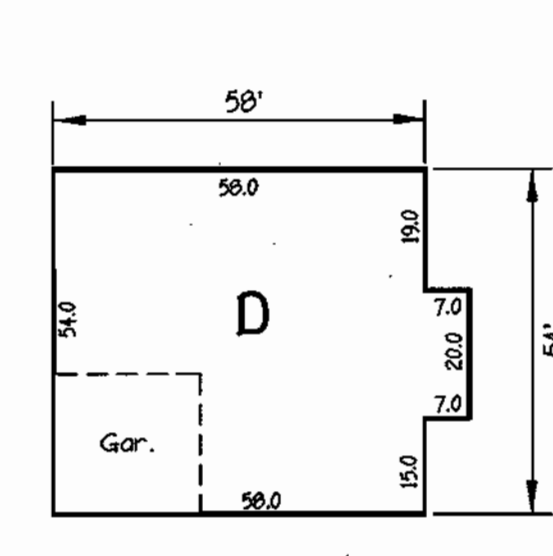
**W**  
1989.35 SF = 4973.38 SF  
0.4 Min. Lot Size w/all Options



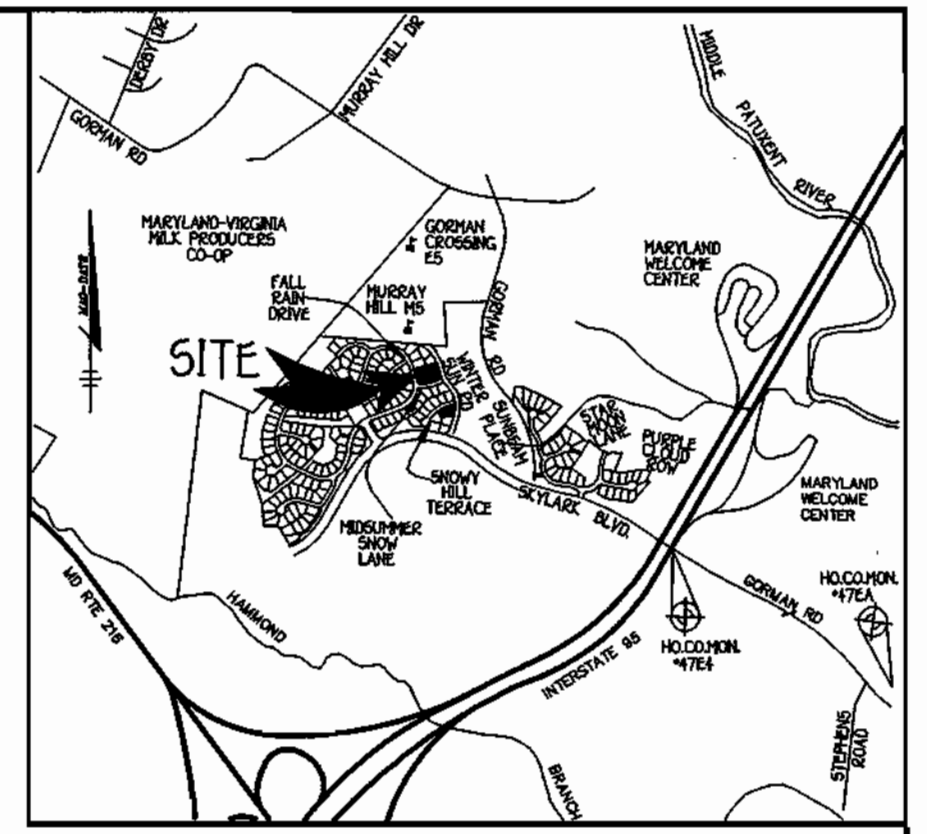
AA  
BB  
DD  
EE  
FF  
GG  
L  
L-2 (NO WRAP PORCH)  
O (NO SITTING RM. OR MORN RM.)  
P  
W (NO LIBRARY)  
X (NO LIBRARY)



AA  
BB  
DD  
EE  
FF  
GG  
O  
W  
X (NO LIBRARY)



AA  
BB  
DD  
EE  
FF  
GG  
O  
W  
X



**VICINITY MAP**  
SCALE: 1" = 2000'

**BENCH MARKS**  
T.P. 47EA ELEV 315.30  
N. 535.063.59  
E. 1357.284.010  
LOC. NEAR THE INTERSECTION  
OF GORMAN RD & STEVENS ROAD.  
  
T.P. 47EA ELEV. 339.00  
N. 535.046.140  
E. 1355.431.223  
LOC. NEAR 1-99 BRIDGE  
ALONG GORMAN ROAD

**GENERAL NOTES**

- SUBJECT PROPERTY ZONED PEC-MXD-3 AS GRANTED BY THE PLANNING BOARD ON 9/3/98 AS CASE NO. ZB 9794.
- TOTAL AREA OF SITE: 1.437 ACRES.
- TOTAL NUMBER OF LOTS SUBMITTED: 6
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: ZB-9794, PB-339, PB-359, 5-99-12, P-00-15, WP-01-22, F-01-137, WAS CONT. #24-3968-D.
- THIS PLAN IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT JUNE, 1999 BY DAFT McCUNE WALKER, INC.
- HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION.
- HOWARD COUNTY MONUMENT 47EA N 535063.639 E 1357284.010
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- THIS PLAN IS FOR HOUSE SITTING AND GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHTS-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION. FOR CONSTRUCTION SEE APPROVED ROAD CONSTRUCTION PLANS F-01-137. AND/OR APPROVED WATER AND SEWER PLANS CONTRACT NO. 24-3968-D.
- CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION.
- STORMWATER MANAGEMENT WILL BE PROVIDED AS APPROVED ON THE ROAD CONSTRUCTION DRAWINGS FILED UNDER F-01-137.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISION OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$4,450.00 FOR 24 SHADE TREES AND 9 EVERGREEN TREES FOR LOTS 23-26,32 & 33 INCLUDING INTERIOR LANDSCAPE REQUIREMENTS APPROVED BY THE ARCHITECTURAL COMMITTEE.
- PERMITS FOR LANDSCAPING AND STREET TREES SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. AS SHOWN ON THE APPROVED ROAD CONSTRUCTION DRAWINGS FILED UNDER F-01-137.
- LANDSCAPING FOR LOTS 1 THROUGH 176 SHOWN HEREIN IS PROVIDED IN ACCORDANCE WITH A CERTIFIED LANDSCAPE PLAN, ON FILE WITH THIS PLAN IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION AREA; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
- THIS PLAN COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY RETAINING 16.77 ACRES AND REFORESTING 5.03 ACRES AS PART OF THE OVERALL DEVELOPMENT OF EMERSON, SECTION 2. THE EXCESS 4.5 ACRES OF REFORESTATION MAY BE USED TOWARD MEETING THE OBLIGATIONS OF FUTURE PHASES OF EMERSON, SECTION 2.
- STORMWATER MANAGEMENT (SWM) IS BEING TREATED ON THIS SITE BY SWM PONDS AND SWM CREDITS IN ACCORDANCE WITH THE 2000 MARYLAND DEPARTMENT OF THE REGULATIONS. THERE ARE TWO WET PONDS DESIGNED FOR THIS PORTION OF THE PROJECT, EACH OF WHICH ADDRESSES WATER QUANTITY AND QUALITY REQUIREMENTS. THE NET VOLUMES REPRESENTING QUALITY. THESE PONDS ARE TO BE PUBLICLY MAINTAINED BY HOWARD COUNTY. MARYLAND WATER QUANTITY, QUALITY AND RECHARGE VOLUMES ARE ADDRESSED BY SWM CREDITS THAT TREAT RUNOFF NON-STRUCTURALLY. THESE CREDITS INCLUDE NATURAL AREA PRESERVATION AREAS, DISCONNECTION OF ROOFING RUNOFF, SHEET FLOW TO BUFFER AREAS AND GRASS SWALES. SWM POND IV IS A RETROFIT OF AN EXISTING POND BELONGING TO EASTERN MIDDLE SCHOOL AND WILL ADDRESS SWM QUANTITY AND QUALITY. THE LATTER IN THE FORM OF EXTENDED DETENTION.
- FOR DRIVEWAY ENTRANCE DETAILS REFER TO HO. CODES MANUAL VOL. IV DETAILS R.6.03 & R.6.05.
- SITE DEVELOPMENT PLAN FOR SINGLE FAMILY DETACHED UNITS.
- OPEN SPACE REQUIREMENTS FOR THESE LOTS HAVE BEEN PROVIDED UNDER F-01-140.
- MINIMUM BUILDING RESTRICTION SETBACKS FROM PROPERTY LINES AND PUBLIC ROAD RIGHTS-OF-WAY ARE TO BE IN ACCORDANCE WITH THE DEVELOPMENT CRITERIA APPROVED WITH THE COMPREHENSIVE SKETCH PLAN 5-99-12 AND THE DECISION AND ORDER FOR PB-339 APPROVED ON JULY 1, 1999.
- THE MINIMUM SETBACKS FOR STRUCTURES SHALL BE AS FOLLOWS:  
FRONT SETBACK 15' FROM THE RIGHT-OF-WAY TO THE HOUSE OR GARAGE.  
SIDE SETBACK 5' TO THE PROPERTY LINE WITH A MINIMUM OF 15' BETWEEN STRUCTURES  
REAR SETBACK 10' FROM THE PROPERTY LINE TO AN OPEN AREA  
20' FROM THE PROPERTY LINE TO THE HOUSE.
- STRUCTURES MAY BE LOCATED ANYWHERE WITHIN SUCH SETBACK AREAS IN ACCORDANCE WITH THE SITE DEVELOPMENT PLAN CRITERIA APPROVED BY THE HOWARD COUNTY PLANNING BOARD P.B. CASE 339.
- LOT COVERAGE BY BUILDINGS WITHIN SINGLE FAMILY DETACHED LAND USE AREAS SHALL NOT EXCEED 40%. NO LIMITATION IS IMPOSED UPON THE AREA USED FOR SIDEWALKS, PAVED PARKING AREAS, PATIOS, DECKS, LANDSCAPING AND SIMILAR MINOR STRUCTURES.
- AS A CONSEQUENCE OF THIS SUBMISSION, ON JUNE 3, 2002, THIS SDP IS SUBJECT TO THE 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- IN ACCORDANCE WITH SECTION 12B OF THE HO. CO. ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 15 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACK, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK. THE 15' MINIMUM DISTANCE BETWEEN STRUCTURES DOES NOT APPLY TO THOSE REFERENCED FEATURES, NOR BETWEEN OPEN DECKS AND A DWELLING STRUCTURE OR ANOTHER DECK. THE 15' DISTANCE DOES APPLY TO A SECOND STORY OVERHANG.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:  
A. WIDTH: 12' 0" SERVING MORE THAN ONE RESIDENCE;  
B. SURFACE: 6" OF COMPACTED CRUSHER RUN BASE, W/TAR AND CHIP COATING (1/2" MIN.);  
C. GEOMETRY: MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS;  
D. STRUCTURES (CULVERTS/BRIDGES)-CAPABLE OF SUPPORTING 25 GROSS TONS (125 LOADINGS);  
E. DRAINAGE ELEMENTS-CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;  
F. MAINTENANCE-SUFFICIENT TO INSURE ALL WEATHER USE.

INDEX CHART	
SHEET	DESCRIPTION
SHEET 1	TITLE SHEET, HOUSE TYPES, TEMPLATES
SHEET 2	SITE DEVELOPMENT PLAN, LANDSCAPE NOTES & DETAILS
SHEET 3	SEDIMENT AND EROSION CONTROL PLAN
SHEET 4	DETAIL SHEET

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
23	9905 SNOWY HILL TERRACE
24	9901 SNOWY HILL TERRACE
25	9970 WINTER SUN ROAD
26	9974 WINTER SUN ROAD
32	10036 FALL RAIN DRIVE
33	10032 FALL RAIN DRIVE

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
+362.5	SPOT ELEVATION
-SF-SF-	SILT FENCE
-SSF-SSF-	SUPER SILT FENCE
---	PROPOSED WALKOUT
---	EXISTING TREE LINE
---	LIMIT OF DISTURBANCE
---	EROSION CONTROL MATTING
---	EXISTING STREET TREE TAKEN FROM F-01-137

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FREE  
ELKTON CITY, MARYLAND 2062  
1001 REC - 2002



**ENGINEER'S CERTIFICATE**  
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
  
Signature of Engineer: *Charles J. Crover, Sr.*  
CHARLES J. CROVER, SR.  
Date: 7-15-02

**DEVELOPER'S CERTIFICATE**  
I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.  
  
Signature of Developer: *James B. Greenfield*  
JAMES B. GREENFIELD  
Date: 7-15-02

Reviewed for HOWARD SCD and meets Technical Requirements.  
  
U.S.D.A.-Natural Resources Conservation Service  
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.  
  
Howard SCD  
  
**OWNER**  
THE HOWARD RESEARCH & DEVELOPMENT CORP.  
10275 LITTLE PARLANT PARKWAY  
COLUMBIA, MARYLAND 21044  
410-992-6000

**BUILDER/DEVELOPER**  
COLUMBIA BUILDERS  
P.O. BOX 999  
COLUMBIA, MARYLAND 21044  
410-730-3940

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
  
*Charles J. Crover, Sr.* 7/25/02  
Chief, Division of Planning and Zoning  
*James B. Greenfield* 7/25/02  
Chief, Development Engineering Division  
*James B. Greenfield* 7/25/02  
Director, Department of Planning and Zoning

PROJECT: EMERSON SECTION: 2/18 LOTS NO.: 23-26,32 & 33

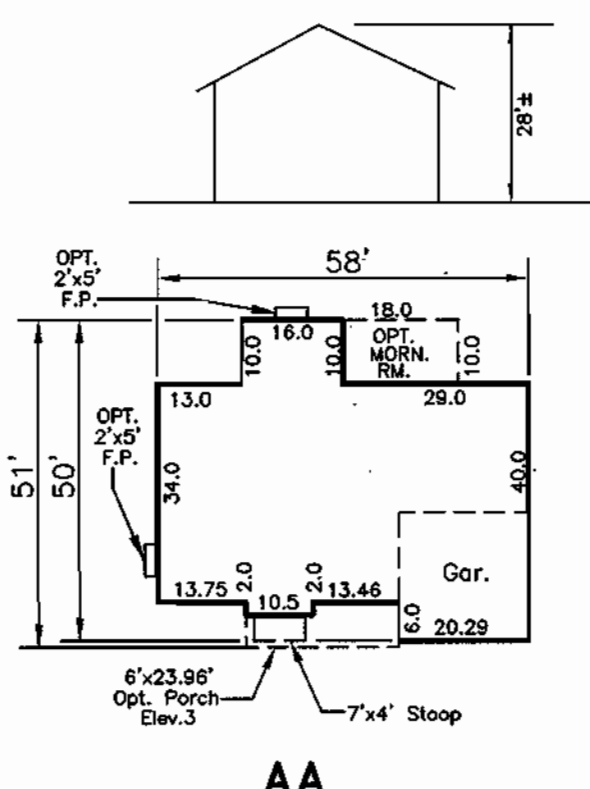
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
15205	0 & 9	PEC-MXD-3	47	6	6068.02

WATER CODE: E-15 SEWER CODE: 7640000

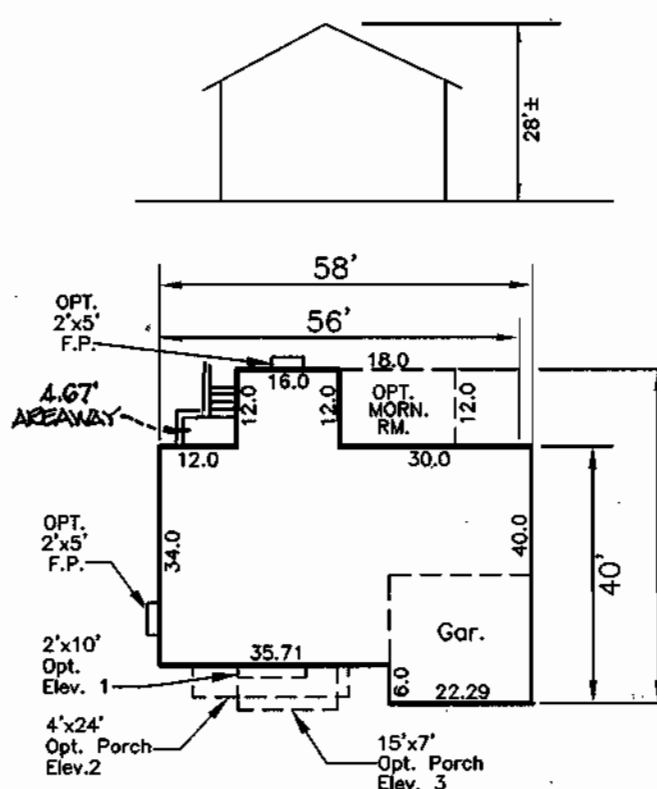
**TITLE SHEET**  
SINGLE FAMILY DETACHED  
**EMERSON**  
SECTION 2 PHASE 1B  
LOTS 23-26,32 & 33  
TAX MAP No: 47 PARCEL: 3 & 037 GRID 0  
SIXTH ELECTION DISTRICT: HOWARD COUNTY, MARYLAND  
SCALE: 1" = 30' DATE: JUNE, 2002  
SHEET 1 OF 4

NO.	REVISION	DATE
2	Add Morn.Rm, Arwayway & Deck to FF Model	7/24/02
1	ADD AREAWAY TO BB HOUSE TYPICAL	11/20/01

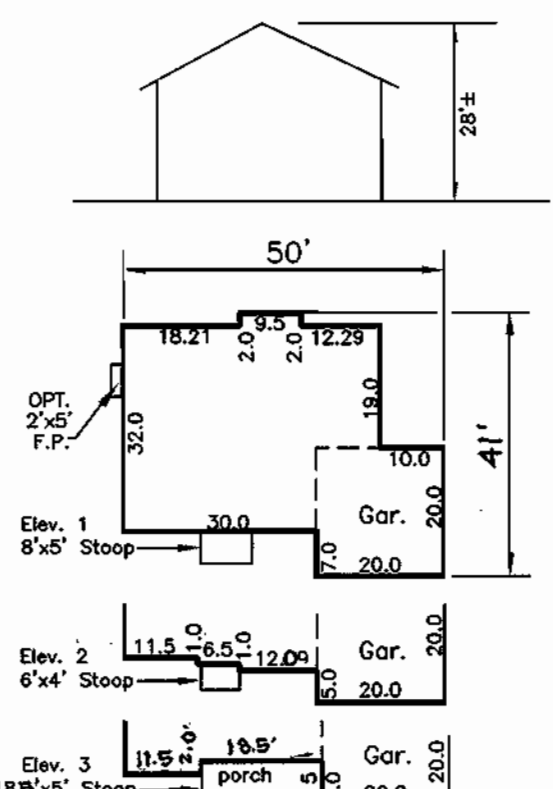




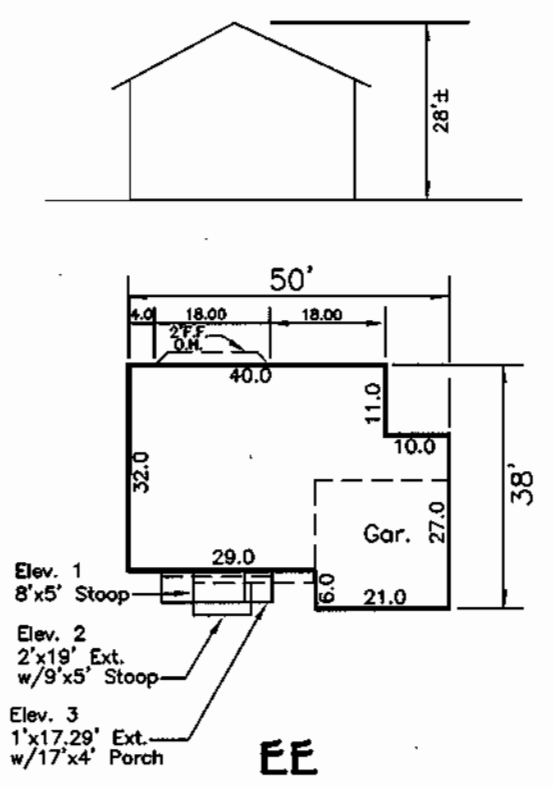
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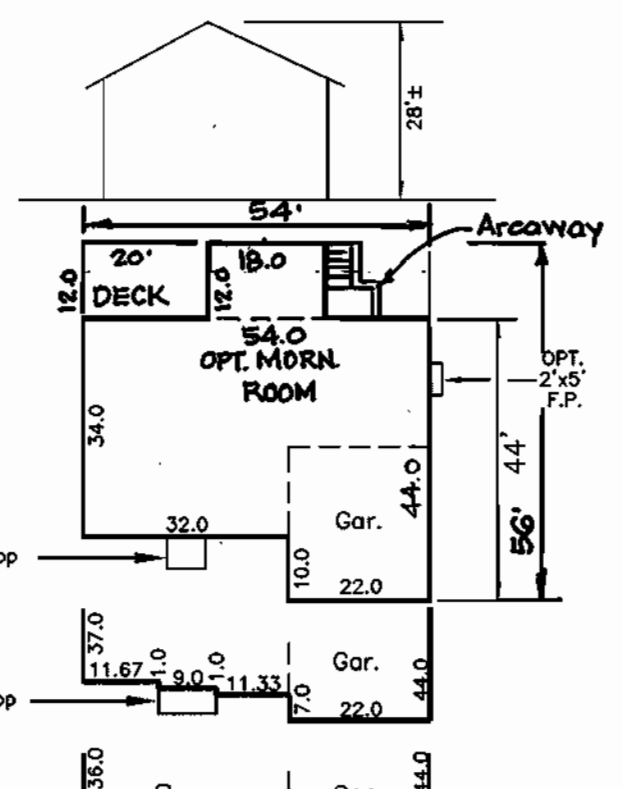
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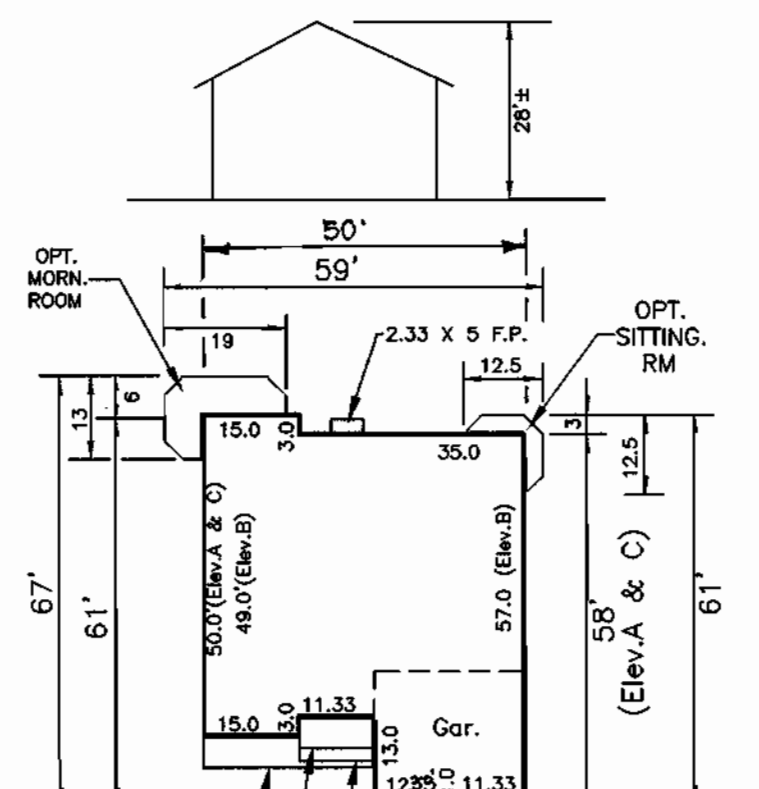
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**EE**  
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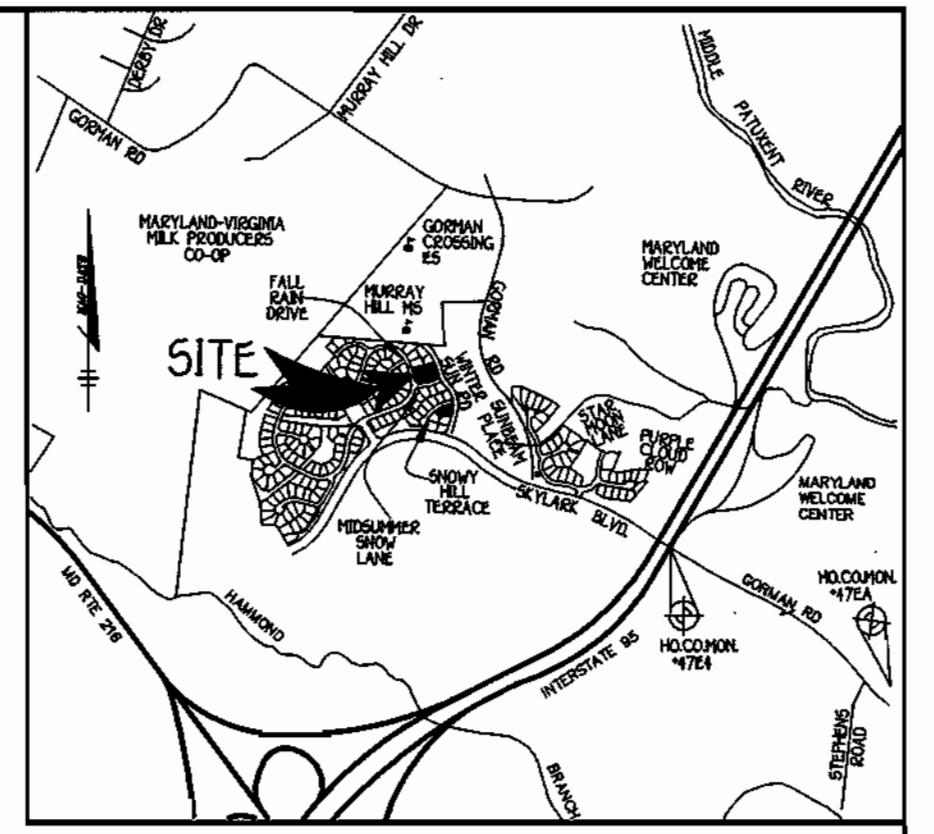


**FF**  
2272.00 SF = 5680.00 SF  
0.4 Min. Lot Size w/all Options



**P**  
2813.53 SF = 7033.25 SF  
0.4 Min. Lot Size w/all Options

**BENCH MARKS**  
T.P. 47EA ELEV. 315.38  
N. 535.063.639  
E. 1357.284.010  
LOC. NEAR THE INTERSECTION  
OF GORMAN RD. & STEVENS ROAD.  
  
T.P. 47EA ELEV. 339.00  
N. 535.046.149  
E. 1355.431.223  
LOC. NEAR 1-95 BRIDGE  
ALONG GORMAN ROAD



**VICINITY MAP**  
SCALE: 1" = 200'

**GENERAL NOTES**

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- TOTAL NUMBER OF LOTS SUBMITTED: 6
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1800 AT LEAST FIVE WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: ZB-979M, PB-339, PB-359, 5-99-12, P-00-15, WP-01-22, F-01-137, WAS CONT. 24-3966-0.
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- HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS.  
HOWARD COUNTY MONUMENT 47EA N 5350646153 E 1355431224  
HOWARD COUNTY MONUMENT 47EA N 535063639 E 1357284010
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- THIS PLAN IS FOR HOUSE SITTING AND GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHTS-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION.  
FOR CONSTRUCTION SEE APPROVED ROAD CONSTRUCTION PLANS F-01-137.  
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20' FROM THE PROPERTY LINE TO THE HOUSE.

**INDEX CHART**

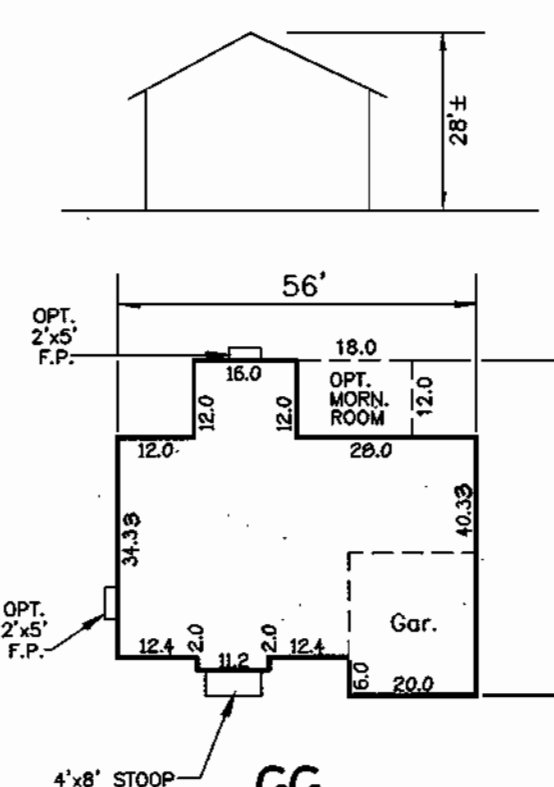
SHEET	TITLE	DESCRIPTION
SHEET 1	TITLE SHEET, HOUSE TYPES, TEMPLATES	
SHEET 2	SITE DEVELOPMENT PLAN, LANDSCAPE NOTES & DETAILS	
SHEET 3	SEDIMENT AND EROSION CONTROL PLAN	
SHEET 4	DETAIL SHEET	

**ADDRESS CHART**

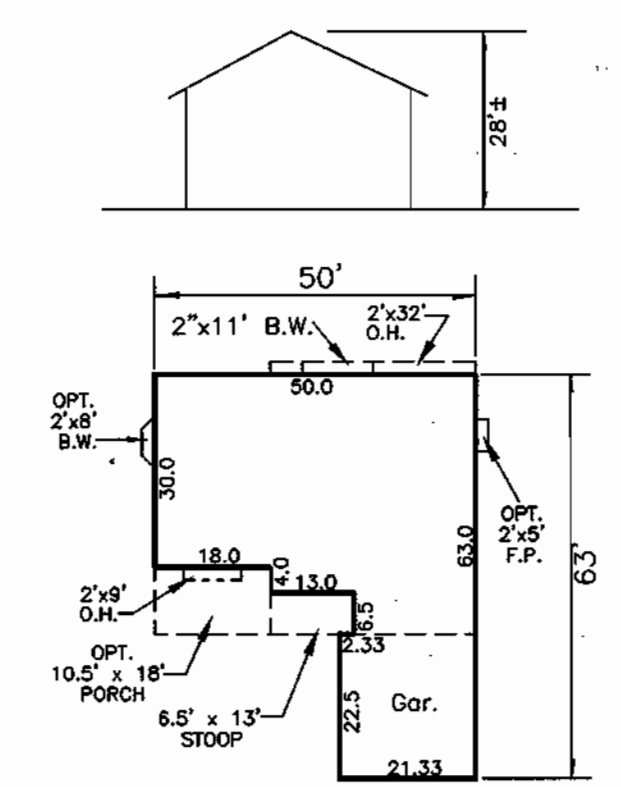
LOT NUMBER	STREET ADDRESS
23	9905 SNOWY HILL TERRACE
24	9901 SNOWY HILL TERRACE
25	9970 WINTER SUN ROAD
26	9974 WINTER SUN ROAD
32	10036 FALL RAIN DRIVE
33	10032 FALL RAIN DRIVE

**LEGEND**

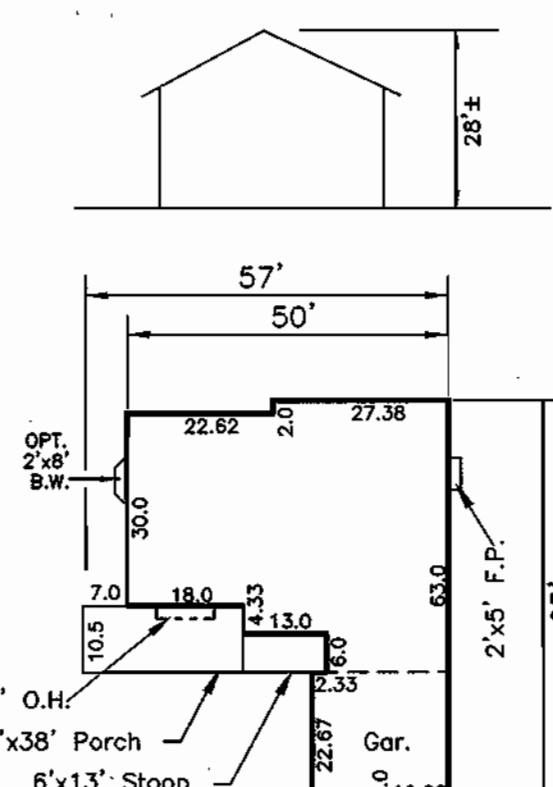
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
+362.5	SPOT ELEVATION
-SF-SF	SILT FENCE
-SSF-SSF	SUPER SILT FENCE
---	PROPOSED WALKOUT
---	EXISTING TREE LINE
---	LIMIT OF DISTURBANCE
---	EROSION CONTROL MATTING
---	EXISTING STREET TREE TAKEN FROM F-01-137



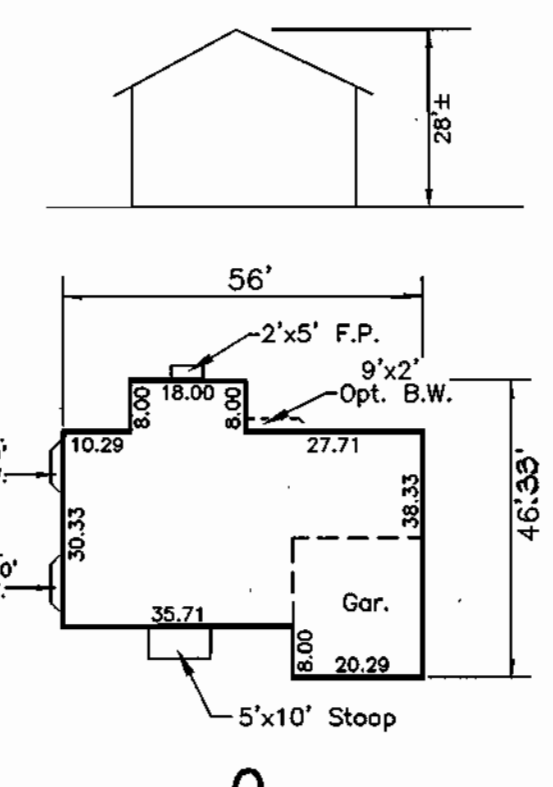
**GG**  
2493.48 SF = 6233.70 SF  
0.4 Min. Lot Size w/all Options



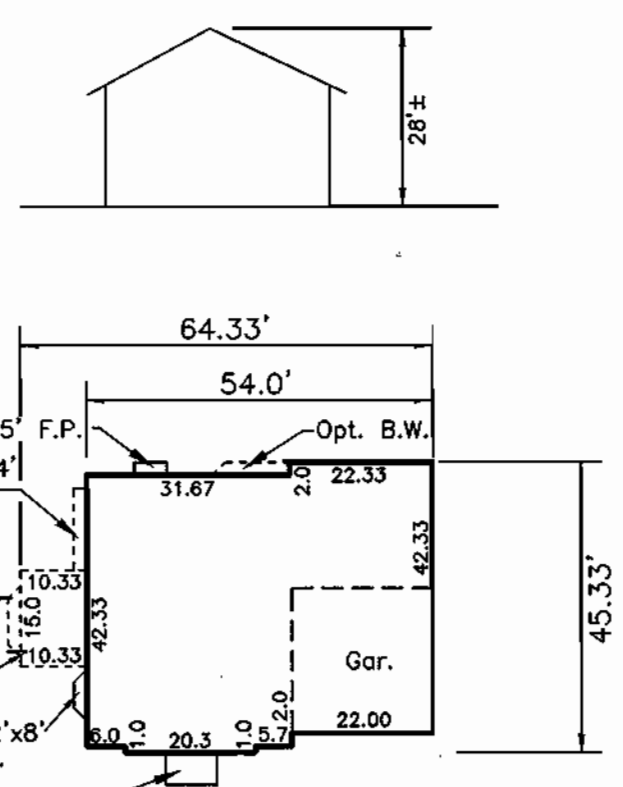
**L**  
2335.24 SF = 5838.10 SF  
0.4 Min. Lot Size w/all Options



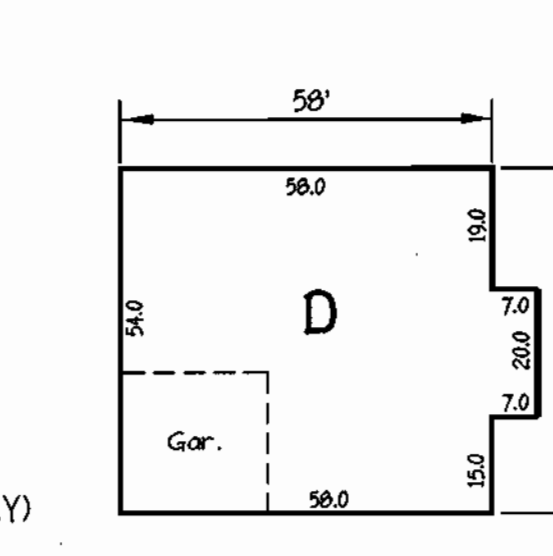
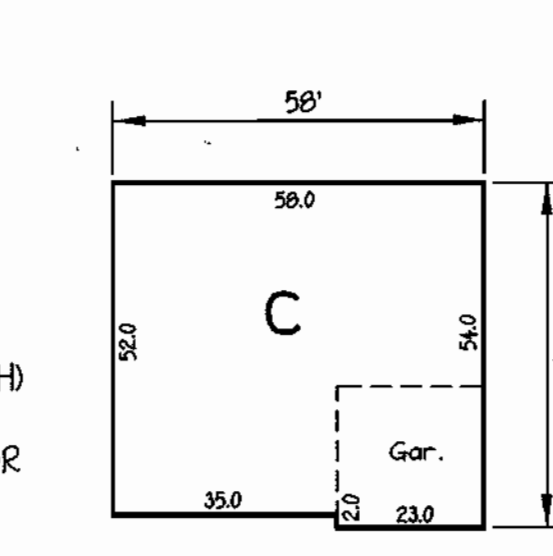
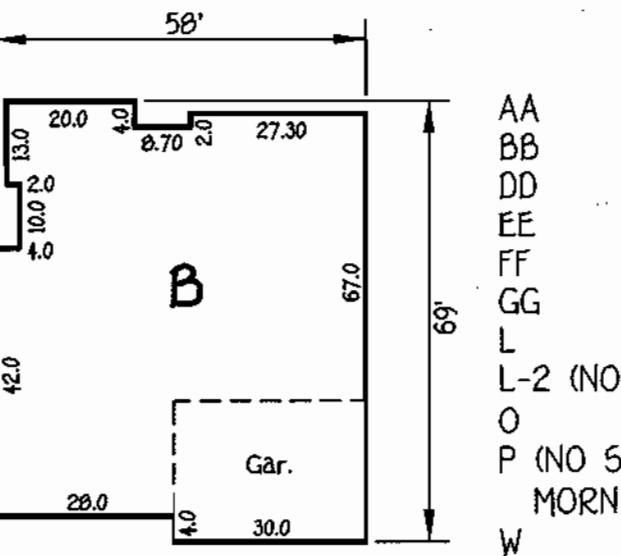
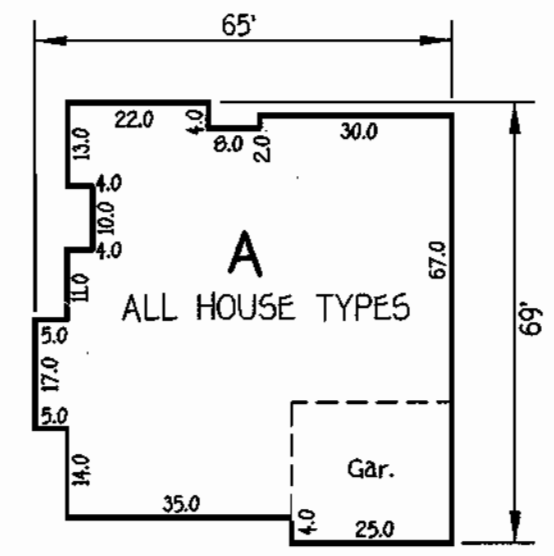
**L-2**  
2310.69 SF = 5776.73 SF  
0.4 Min. Lot Size w/all Options



**O**  
2065.28 SF = 5163.20 SF  
0.4 Min. Lot Size w/all Options



**X**  
2549.42 SF = 6373.55 SF  
0.4 Min. Lot Size w/all Options



- AA BB DD EE FF GG L L-2 (NO WRAP PORCH) O P (NO SITTING RM. OR MORN RM.) W X (NO LIBRARY)

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FREE  
ELLSWORTH CITY, MARYLAND 21042  
410 488 - 2093

**STATE OF MARYLAND PROFESSIONAL ENGINEER**

**ENGINEER'S CERTIFICATE**  
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
Signature of Engineer: Charles J. Crover, Sr. Date: 7-15-02

**DEVELOPER'S CERTIFICATE**  
I/we certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.  
Signature of Developer: James B. Greenfield Date: 7-15-02

**REVISION**

NO.	REVISION	DATE
2	Add Morn. Rm, Arwayway + Deck to FF Model	7/24/02
1	ADD ARWAYWAY TO BB HOUSE TYPICAL	11/20/01

Approved for HOWARD SCD and meets Technical Requirements.

U.S.D.A.-Natural Resources Conservation Service  
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD Date: \_\_\_\_\_

**OWNER**  
THE HOWARD RESEARCH & DEVELOPMENT CORP.  
10275 LITTLE PATUMENT PARKWAY  
COLUMBIA, MARYLAND 21044  
410-992-6000

**BUILDER/DEVELOPER**  
COLUMBIA BUILDERS  
P.O. BOX 999  
COLUMBIA, MARYLAND 21044  
410-730-3940

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: MK Date: 7/25/02

Director, Department of Planning and Zoning: MK Date: 7/25/02

**PROJECT**  
EMERSON SECTION 2/1B LOTS NO. 23-26,32 & 33

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
152005	B & 9	PEC-MXD-3	47	6	6068.02

**WATER CODE** E-15  
**SEWER CODE** 7640000

**TITLE SHEET**

**SINGLE FAMILY DETACHED EMERSON**

**SECTION 2 PHASE 1B LOTS 23-26,32 & 33**

TAX MAP No: 47 PARCEL: 3 & B37 GRID B  
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1" = 30' DATE: JUNE, 2002

SHEET 1 OF 4

**SDP 02-144**







**PLANTING SPECIFICATIONS**

Plants, related material and operations shall meet the detailed description as given on the plans and as described herein.

All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and stem shown on the plan list and the American Association of Nurserymen (AAN) Standards. Plant material shall be healthy, vigorous, free from defects, decay, disfiguring roots, sun scald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable infestations. Plant material that is weak or which has been cut back from major grades to meet specified requirements will be rejected. Trees with faded leaders will not be accepted. All plants shall be freshly dug or healthy plants from cold storage will be accepted.

Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area", hereinafter "Landscape Guidelines" approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects, latest edition, including all amendments.

Contractor shall be required to guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.

Contractor shall be responsible for notifying utility companies, utility contractors and "Ties Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.

Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence or blize orange safety fence at the drip line.

Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing season of completion of site construction.

Bid shall be based on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on drawings and specifications.

Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plant list take precedence.

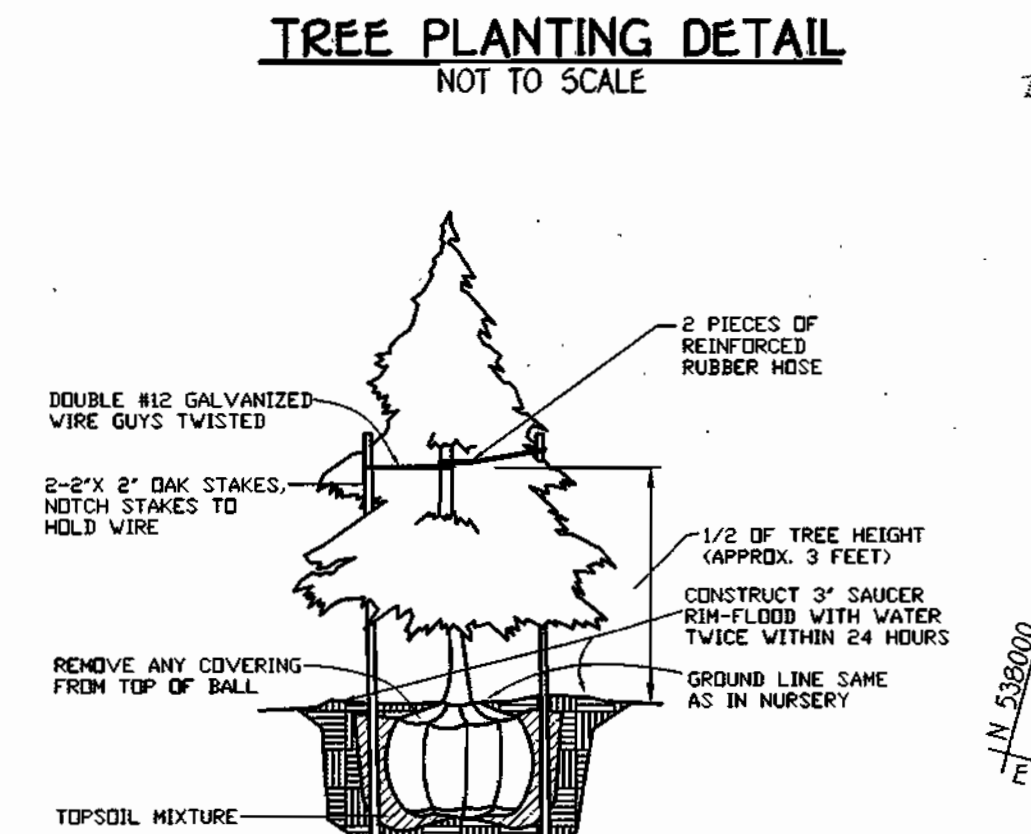
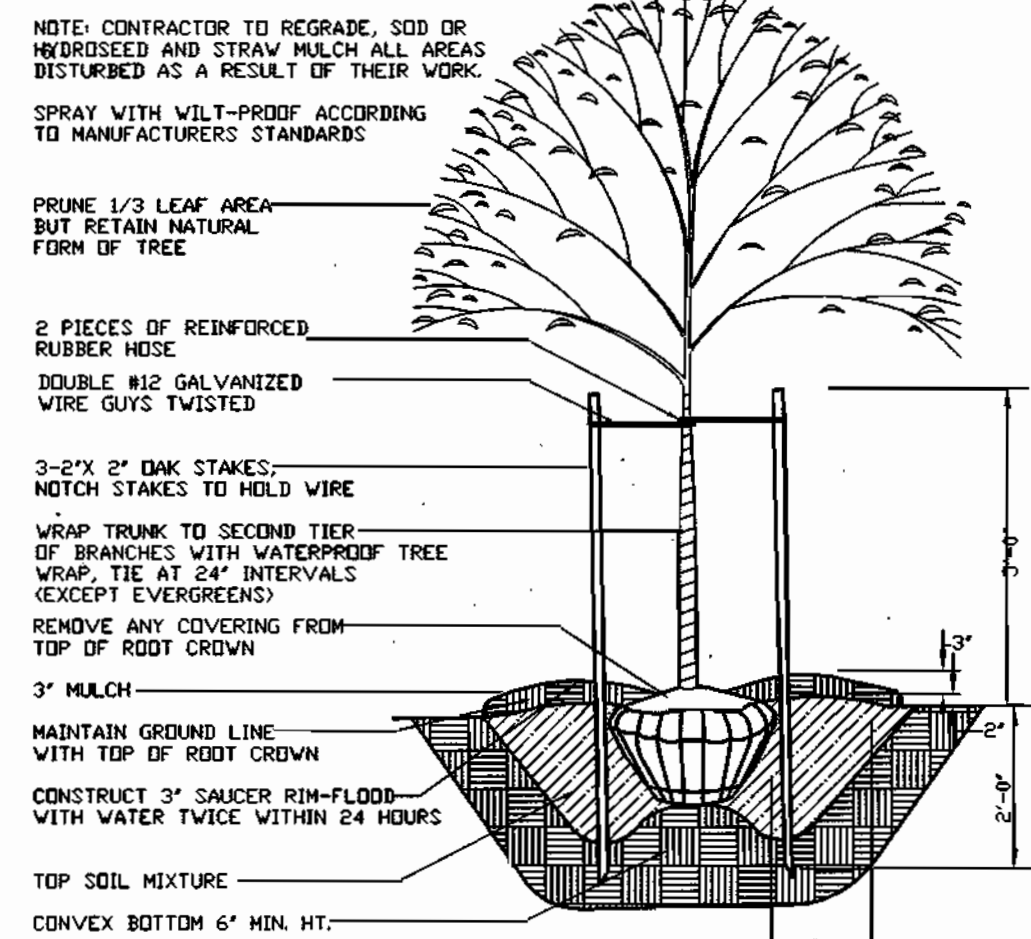
All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified elsewhere noted on plans.

Positive drainage shall be maintained in planting beds 2 percent slope.

Planting mix shall be as follows: Deciduous Plants - Two parts topsoil, one part well-rotted cow or horse manure, Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants - Two parts topsoil, one part horse or other approved organic material, Add 3 lbs. of evergreen fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines.

Used Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution: Be sure to carefully check the chemical used to assure its adaptability to the specific ground cover to be treated.

All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded and seeded. This plan is intended for landscape use only. See other plan sheets for more information on grading, sediment control, layout, etc.

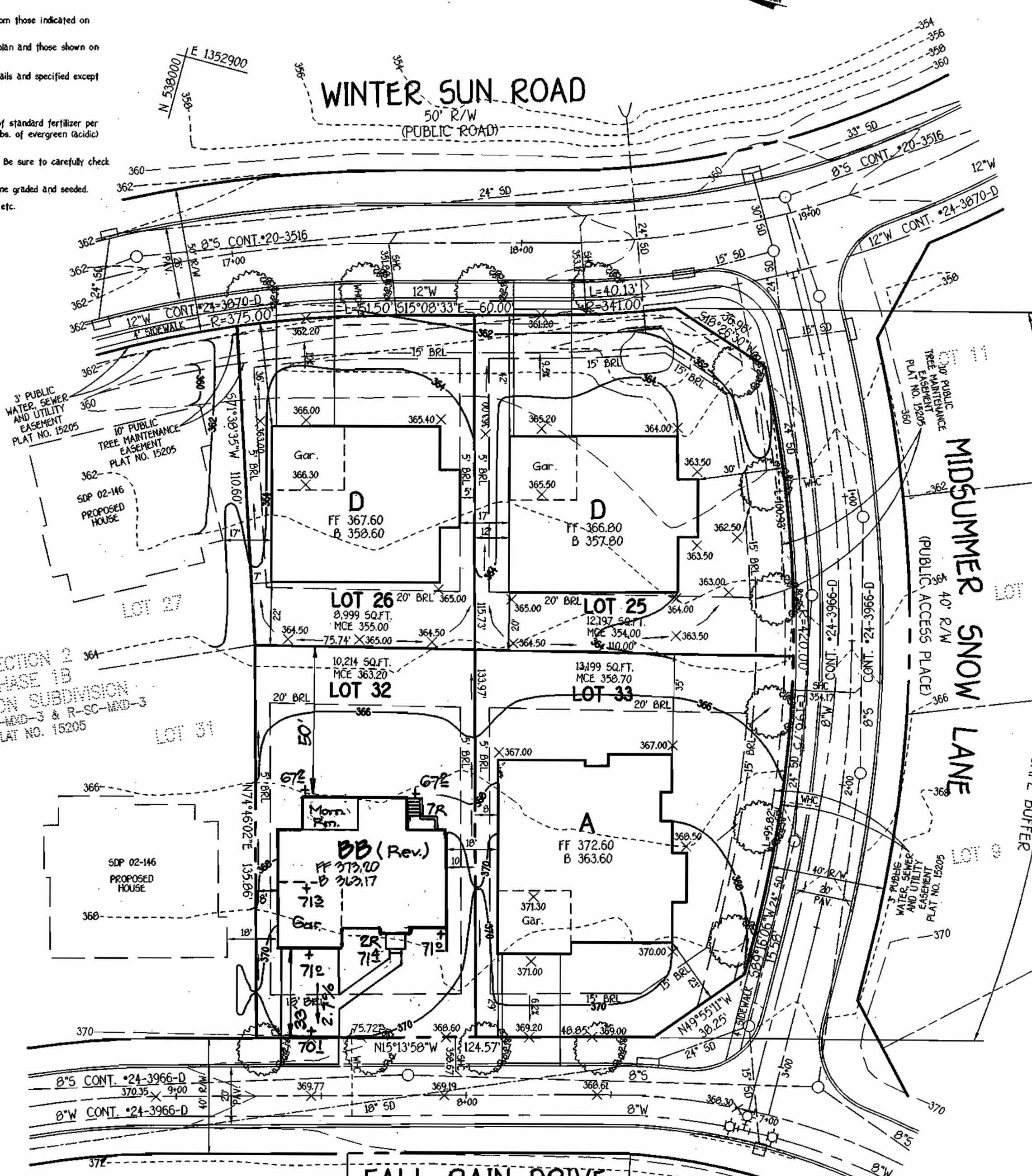


**BUILDER/DEVELOPERS' CERTIFICATE**

I/WE CERTIFY THAT THE REQUIRED LANDSCAPING WILL BE DONE ACCORDING TO THE PLAN, SECTION 1812A OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*James B. Greenfield* 7-15-02  
 NAME: JAMES B. GREENFIELD DATE

NO.	REVISION	DATE
4	Rev. hse. 4.9rd. lot 32	7-25-03
3	Rev. hse. 4.9rd. lot 23	7-24-03
2	Rev. hse. 4.9rd. lot 24	4-16-03
1	REV. HSE. & CRD. LOT 32 FROM 0 BOX TO BB HSE TYPE	11/20/02



SURETY AMOUNT FOR THIS PLAN IS IN THE AMOUNT OF \$4,500.00

- LANDSCAPING SURETY FOR LOTS 23,26 AND 32 IS \$4,500.00 PER LOT. THE LANDSCAPING SURETY FOR LOTS 24,25 AND 33 IS \$1,500.00 PER LOT.
- STREET TREES ARE NOT INCLUDED IN MODIFIED SCHEDULE C LANDSCAPE CALCULATIONS.
- TYPE 'B' BUFFER OR PERIMETER LANDSCAPE BUFFER WILL BE CREDITED TOWARDS THE LANDSCAPE REQUIREMENTS.
- LANDSCAPE CAN NOT BE PLANTED IN ANY PUBLIC EASEMENTS.
- FINAL PLANTING TYPE AND LOCATION IS SUBJECT TO APPROVAL BY THE ARCHITECTURAL COMMITTEE.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTING HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH HOWARD COUNTY LANDSCAPE MANUAL.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERRIES FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.
- SIZES OF PLANT MATERIALS MUST CONFORM TO THE REQUIREMENTS OF THE LANDSCAPE MANUAL, CHAPTER IV AND APPENDIX C.

**KEY PROPERTY DEVELOPMENT CRITERIA, APPROVED 7/1/99**  
**SECTION VII RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING**

THE QUANTITY AND GENERAL LOCATION OF TREES REQUIRED FOR INTERNAL LANDSCAPING ARE DETERMINED BY CRITERIA APPLIED BY THE ARCHITECTURAL COMMITTEE. THE COMMITTEE WILL CLASSIFY, DURING ARCHITECTURAL REVIEW, ALL LOTS AND PARCELS AS 1) NON-WOODED; 2) SEMI-WOODED; 3) WOODED. SUCH CLASSIFICATION SHALL TAKE INTO ACCOUNT THE EXISTING TREE COVER AND THE POTENTIAL FOR SAVING TREES IN CONNECTION WITH GRADING AND SITING. THIS CRITERIA ALSO CONSIDER THE SIZE OF THE LOT, AMOUNT OF EXISTING VEGETATION AND THE TYPE AND SITING OF RESIDENTIAL UNITS. IF, DURING OR AFTER CONSTRUCTION, THE COMMITTEE DETERMINES THAT A BUILDER HAS VIOLATED ANY PROVISION OF TREE PRESERVATION, THE BUILDER WILL BE REQUIRED TO ADD NEW PLANT MATERIAL. SHADE TREE REQUIREMENTS ARE SPECIFIED BY THE FOLLOWING TABLE. DENSITIES REFER TO THE DENSITY OF THE INDIVIDUAL PARCEL.

**SHADE TREE REQUIREMENTS**

TYPE OF UNIT AND LOT SIZE	MINIMUM NUMBER OF SHADE TREES REQUIRED		
	NON WOODED	SEMI WOODED	WOODED
MEDIUM RESIDENTIAL LOT (7,000-13,000 SQUARE FEET)	5.0/LOT	3.0/LOT	2.0/LOT

SUBSTITUTION OF TWO FLOWERING TREES OR TWO EVERGREEN TREES FOR EACH SHADE TREE MAY BE PERMITTED UP TO 50% OF THE REQUIRED NUMBER OF SHADE TREES SHOWN IN THE TABLE SUBJECT TO THE APPROVAL OF THE ARCHITECTURAL COMMITTEE. CREDIT MAY ALSO BE GIVEN FOR ANY AREAS REQUIRED TO BE PROVIDED ALONG ROADWAYS, SUBJECT TO THE APPROVAL OF THE ARCHITECTURAL COMMITTEE.

**SCHEDULE A PERIMETER LANDSCAPE EDGE**

LOT NO.	PERIMETER	CATEGORY (PROPERTIES/ROADWAYS)	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE PERIMETER	SHADE TREES	EVERGREEN TREES	TOTAL TREES
24	P-1	ADJACENT TO ROADWAY	B	133'	3	3	6
25	P-1	ADJACENT TO ROADWAY	B	125'	3	3	6
33	P-1	ADJACENT TO ROADWAY	B	136'	3	3	6

**MODIFIED SCHEDULE C LANDSCAPE CHART**

LOT NO.	LOT CLASSIFICATION	INTERNAL LANDSCAPING REQUIRED (# OF SHADE TREES)	TYPE B REQUIRED		SHADE TREE CREDIT *	REMAINING SHADE TREE OBLIGATION	TOTAL TREES REQUIRED	
			SHADE	EVERGREEN			SHADE	EVERGREEN
LOTS 23, 26 & 32	NON-WOODED	5 TREES PER LOT	N/A	N/A	0	0	15	0
LOT 24 CORNER	NON-WOODED	5 TREES	3	3	4	1	4	3
LOT 25 CORNER	NON-WOODED	5 TREES	3	3	4	1	4	3
LOT 33 CORNER	NON-WOODED	5 TREES	3	3	4	1	4	3
TOTAL TREES							27	9

\* THIS NUMBER REFLECTS THE MATHEMATICAL CONVERSION OF EVERGREEN TREES TO SHADE TREES (2:1) FOR THE PURPOSE OF MEETING THE INTERNAL PER LOT SHADE TREE OBLIGATION.

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK • 10272 BALTIMORE NATIONAL PIKE  
 ELICOTT CITY, MARYLAND 21042  
 410-461-2500



**ENGINEER'S CERTIFICATE**  
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*Charles J. Crovo, Sr.* 7-15-02  
 Signature of Engineer: CHARLES J. CROVO, SR. DATE

**DEVELOPER'S CERTIFICATE**  
 I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

*James B. Greenfield* 7-15-02  
 Signature of Developer: JAMES B. GREENFIELD DATE

Approved for HOWARD SCD and meets Technical Requirements.

U.S.D.A.-Natural Resource Conservation Service  
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD Date

**OWNER**  
 THE HOWARD RESEARCH & DEVELOPMENT CORP.  
 10275 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21044  
 410-992-6000

**BUILDER/DEVELOPER**  
 COLUMBIA BUILDERS  
 P.O. BOX 999  
 ELLICOTT CITY, MARYLAND 21044  
 410-730-3940

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Cynthia Hamrick* 7/25/02  
 Chief, Division of Land Development Date

*Michael J. ...* 7/23/02  
 Chief, Development Engineering Division Date

*James B. Greenfield* 7/25/02  
 Director - Department of Planning and Zoning Date

PROJECT: EMERSON SECTION: 2/1B LOTS NO.: 23-26,32 & 33

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
15205	B AND 9	PEC-MXD-3	47	6	6068.02

WATER CODE: E-15 SEWER CODE: 7640000

**SITE DEVELOPMENT PLAN & LANDSCAPE NOTES & DETAILS**

**SINGLE FAMILY DETACHED EMERSON**  
 SECTION 2 PHASE 1B  
 LOTS 23-26,32 & 33

TAX MAP No: 47 PARCEL: 3 & 837 GRID B  
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 30' DATE: JUNE, 2002

SHEET 2 OF 4