

GENERAL NOTES:

- THE TOPOGRAPHY SHOWN IS BASED UPON A FIELD RUN TOPOGRAPHIC SURVEY PERFORMED BY WHITNEY, BAILEY, COX & MAGNANI, LLC ON 2/14/02 AND REFLECTS SITE CONDITIONS AS OF THAT DATE.
- THE PROPERTY LINES SHOWN HEREON ARE REFERENCED ONTO FIELD-LOCATED PIPES FOUND BY WBCM FOR GRAPHICAL REPRESENTATION ONLY. NO ACTUAL BOUNDARY SURVEY OR BOUNDARY ANALYSIS WAS PERFORMED BY WBCM. THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY. THE PROPERTY LINES WERE TAKEN FROM A SUBDIVISION PLAT ENTITLED "OAKLAND EXECUTIVE PARK, PARCEL A-1 TO A-4, RESUBDIVISION OF PARCEL 'A' AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY AS PLAT #6558.
- COORDINATES AND DIRECTIONS SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE PLANE COORDINATE SYSTEM, NAD 83(1991), AS DETERMINED FROM THE FOLLOWING HOWARD COUNTY CONTROL SURVEY MONUMENTS AS PUBLISHED AS FOLLOWS:
DISK "30FA" N 568,621.336 E 1,361,563.982 DISK IN CONC.
DISK "301A" N 567,705.958 E 1,364,842.598 DISK IN CONC.
- ELEVATIONS SHOWN HEREON ARE REFERRED TO THE N.G.V.D. 29 AS DETERMINED FROM THE FOLLOWING HOWARD COUNTY SURVEY MONUMENTS AS PUBLISHED AS FOLLOWS:
DISK "30FA" NGVD29 ELEV. 441.621 (FEET)
DESCRIPTION: DISK IN CONC.
DISK "301A" NGVD29 ELEV. 449.816 (FEET)
DESCRIPTION: DISK IN CONC.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ACTUAL SITE CONDITIONS PRIOR TO THE START OF ANY WORK. THERE IS NO WARRANTY OR GUARANTEE ON THE COMPLETENESS OR CORRECTNESS OF THE EXISTING CONDITION INFORMATION. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF ANY WORK.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITIES BEFORE COMMENCING ANY WORK. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE COST OF REPAIR OF ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "MISS UTILITY" AT 1-800-257-7777 THREE DAYS PRIOR TO THE START OF ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY INVERTS AND CLEARANCES FROM THE START OF ANY WORK.
- ALL DISTURBED AREAS NOT STABILIZED WITH STRUCTURES, PAVING, AND PLANTINGS SHALL BE STABILIZED WITH FOUR INCHES OF TOPSOIL, SEED, MULCH, AND WATER TO ESTABLISH AN ADEQUATE GROWTH OF VEGETATION.
- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS.
- THE TOPS OF ALL FRAMES, GRATES, AND COVERS OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF CONTRACT AND/OR DISTURBANCE SHALL BE ADJUSTED TO THE NEW GRADES.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES.
- NUMERICAL DIMENSIONS AND ELEVATIONS SHOWN SHALL SUPERSEDE ANY DISCREPANCY IN THE SCALING ON THE DRAWINGS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY AND THE MD. STATE HWY. ADMINISTRATION.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE PROPERTIES. ZONING REGULATIONS SHALL BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- EXISTING WATER IS PUBLIC AND BASED ON CONTRACT NO. 24-1220-D (F-84-174) AND CONTRACT #44-1411-D (F-86-34)
- EXISTING SEWER IS PUBLIC AND BASED ON CONTRACT NO. 24-1220-D (F-84-174)
- EXISTING REGIONAL STORM WATER MANAGEMENT FACILITY IS LOCATED IN THE NORTHWEST PORTION OF THE REDVELOPMENT AND REQUIRES NO SWM (SEE REPORT) AND THE EXISTING FACILITY PROVIDES ADEQUATE TREATMENT OF RUNOFF FOR ALL PROPOSED WORK. (EXISTING FACILITY F-84-174)
- APPROXIMATE TEST TRAFFIC STUDY, DATED APRIL 2002, WAS PROVIDED FOR THIS PROJECT BY WBCM AND APPROVED ON: 10/4/02
- THE OWNER SHALL PROVIDE A SEPARATE AND INDEPENDENT SEWER CONNECTION FOR EACH TENANT OR OCCUPANT OF ANY BUILDING, SHOWN ON THIS SITE DEVELOPMENT PLAN, WHO WILL DISCHARGE NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM IF THIS WASTE IS REGULATED UNDER SECTION 18.122A OF THE HOWARD COUNTY CODE. EACH SEPARATE AND INDEPENDENT SEWER CONNECTION SHALL INCLUDE A STANDARD MANHOLE AND OTHER WATER PRETREATMENT DEVICES AS REQUIRED AND APPROVED BY HOWARD COUNTY. WASTE LINES ON THE INTERIOR OF THE BUILDING SHALL BE DESIGNED, CONSTRUCTED OR MODIFIED SUCH THAT NON-DOMESTIC WASTE WILL BE DISCHARGED TO THE SEPARATE AND INDEPENDENT SEWER CONNECTION. NO PLAN SHALL DISCHARGE REGULATED NON-DOMESTIC WASTE TO THE PUBLIC SEWERAGE SYSTEM PRIOR TO INSTALLATION OF THE SEPARATE AND INDEPENDENT SEWER CONNECTION AND RELATED INTERIOR WASTE LINES. THE ABOVE REQUIREMENTS SHALL APPLY TO ALL INITIAL AND FUTURE OCCUPANTS OR TENANTS.
- THE PAVEMENT DETAILS SHOWN ON THESE PLANS REFLECT THE HOWARD COUNTY MINIMUM STANDARD PAVEMENT SECTIONS AND ARE NOT BASED ON SITE SPECIFIC CONDITIONS. PRIOR TO PAVING, THE FINAL PAVEMENT SECTIONS SHALL BE DETERMINED BY A QUALIFIED GEOTECHNICAL ENGINEER BASED ON IN-SITE TESTING OF THE FINISHED SUBGRADE. THE TESTING AND GEOTECHNICAL ENGINEER SHALL BE FURNISHED BY THE OWNER. APPROVAL FROM THE COUNTY SHALL BE OBTAINED IF THE ON-SITE TESTING REQUIRES PAVEMENT DESIGN TO BE CHANGED.
- WP-92-108 WAS A WAIVER OF SECTION 16.113(1)(B) TO PERMIT DIRECT COMMERCIAL DRIVEWAY ACCESS TO A MINOR ARTERIAL HIGHWAY, MARYLAND ROUTE 108. THE WAIVER REQUEST WAS DENIED ON JANUARY 31, 1992.
- FOREST CONSERVATION FOR THIS PROJECT IS EXEMPT UNDER SECTION 16.1202.b.1 (ii) OF THE HOWARD COUNTY SUBDIVISION REGULATIONS AND ENTIRE SITE GRADED BEFORE 1992 PER F-84-174 AND SDP-86-49.
- HOWARD COUNTY COUNCIL RESOLUTION #165-2002 WAS ADOPTED ON 10/30/02 TO RELEASE A PORTION OF THE EXISTING 20' PUBLIC WATER AND EASEMENT AS SHOWN ON THIS SDP#02-116 AND IN CONJUNCTION WITH THE PROPOSED PUBLIC WATER AND SANITARY SEWER CONTRACT #24-4071-D AND RECORD PLAT #F-03-057.
- WP-03-01 WAS A WAIVER OF SECTION 16.123(a)(2) AND 16.155(a)(1)(i) TO PERMIT A STOCKPILE WITH THE ISSUANCE OF A STOCKPILE PERMIT WITHOUT AN APPROVED SITE DEVELOPMENT PLAN.
- WP-03-03 WAS A WAIVER OF SECTION 16.123(a)(2) AND 16.155(a)(1)(i) TO PERMIT MASS GRADING WITH THE ISSUANCE OF A GRADING PERMIT WITHOUT AN APPROVED SITE DEVELOPMENT PLAN.
- THE FRONT MEZZANINE AREA FOR PROPOSED BUILDING #1 (FOOD STORE) IS MAINLY USED FOR THE EMPLOYEE RESTROOMS, BREAKROOM AND TRAINING. ALSO THE MEZZANINE HAS STORAGE FOR OFFICE SUPPLIES, COMMUNICATION ROOM AND AN OFFICE FOR THE STORE MANAGER.

SITE DEVELOPMENT PLAN

COLUMBIA PALACE NINE

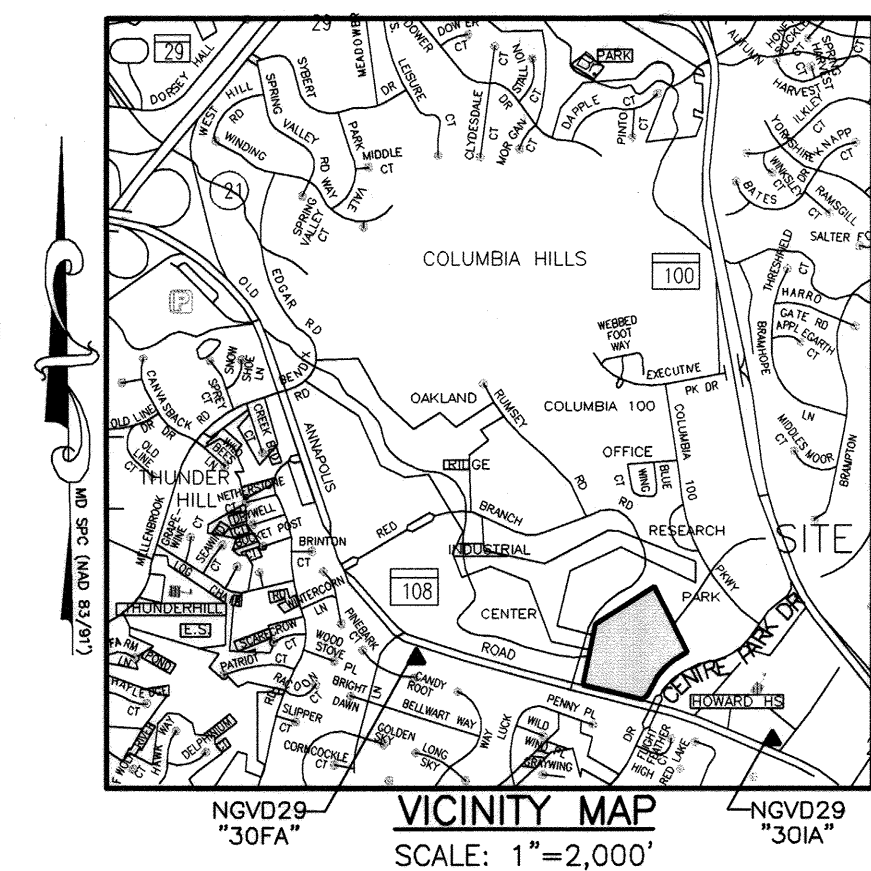
OAKLAND EXECUTIVE PARK

PARCEL A-1

SDP-02-116

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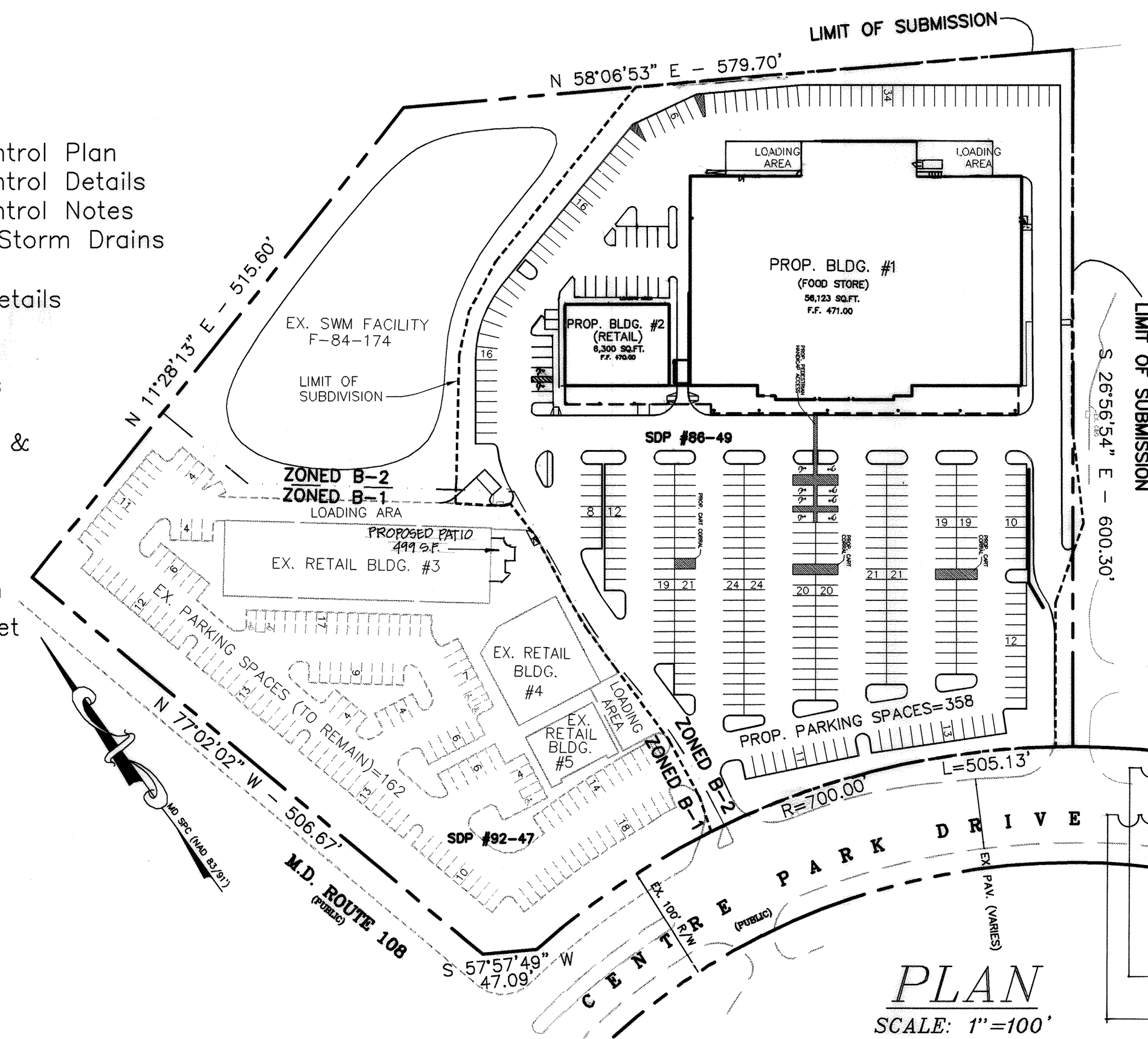


LEGEND

- BOLLARD (POST)
- BUSHES
- ELECTRIC BOX
- ELECTRIC CONDUIT
- FIRE HYDRANT
- GAS VALVE
- METAL POLE
- POWER POLE
- ROOF DRAIN
- DRAIN (FLOOR)
- SANITARY MH
- SIGN
- STORM DRAIN MH
- STREET LIGHT
- UNKNOWN MH
- TRAVERSE STATION
- TREES
- VENT PIPE
- WATER VALVE
- CONTOUR
- RETAINING WALL
- BUILDING
- BUSH LINE
- CONC. CURB
- CONC. WALK
- FENCE, METAL
- FENCE, WOOD
- LIMITS OF SURVEY
- PROPERTY LINE
- U/G STORM DRAIN
- WOODS LINE

SITE DATA ANALYSIS:

- TOTAL PROJECT AREA:** 11.108 AC. (483,869 SF)
- AREA OF PLAN SUBMISSION:** 6.86 AC.± (298,813 SF)
- LIMIT OF DISTURBED AREA:** 6.86 AC.± (298,813 SF)
- PRESENT ZONING:** B-2
- PROPOSED USE OF SITE:** FOOD STORE & RETAIL
- FLOOR SPACE OF EACH PROPOSED BUILDING:**
PROP. BLDG 1: = 56,123 S.F. / 1.288 AC.
PROP. BLDG 2: = 6,300 S.F. / 0.145 AC.
TOTAL BUILDING COVERAGE (PROPOSED): 62,423 SF / 1.433 AC±
- NUMBER OF PARKING SPACES REQUIRED ON SITE:**
SEE PARKING TABULATION CHART BELOW
TOTAL REQUIRED: 499 SPACES
- NUMBER OF PARKING SPACES PROVIDED ON SITE:**
TOTAL PROVIDED: 520 SPACES (INCLUDES 16 HANDICAPPED SPACES)
(10 PROPOSED, 6 EXISTING)
- BUILDING COVERAGE OF SITE:**
1.433 AC. (BUILDING) / 6.541 AC (AREA OF SUBMISSION) = 21.9%
PARKING COVERAGE OF SITE:
2.463 AC. (PAVING) / 6.541± AC (AREA OF SUBMISSION) = 37.7%
- APPLICABLE DPZ FILE REFERENCE:**
SDP-86-49, SDP-92-47, F-84-174, F-86-34, F-03-07
WP-92-108, WP-03-01, WP-03-33
ZB CASE NO. 1006M



PARKING TABULATION CHART						
	TOTAL SF	LAND USE	SF PER USE	PARKING RQ	# SPACES RQ	TOTAL
PROPOSED BUILDING #1	56,123 SF	COMMERCIAL/RETAIL	56,123 SF	5 SP/1,000 SF	280.6 SPACES	PROPOSED BUILDINGS 512 SPACES RQ
PROPOSED BUILDING #2	6,300 SF	COMMERCIAL/RETAIL	6,300 SF	5 SP/1,000 SF	31.5 SPACES	335 PROVIDED SPACES
EXISTING BUILDING #5	2,900 SF	COMMERCIAL/RETAIL	5,061 SF	4 SP/1,000 SF	15.3 SPACES	EXISTING BUILDINGS 188.5 SPACES RQ
EXISTING BUILDING #4	6,578 SF	COMMERCIAL/RETAIL	2,814 SF	5 SP/1,000 SF	13.1 SPACES	187 PROVIDED SPACES
EXISTING BUILDING #3	15,449 SF	RESTAURANT	3,965 SF	14 SP/1,000 SF	55.5 SPACES	PROVIDED SPACES INCLUDES +25 SPACES LEFT OVER FROM PROPOSED PARKING AREA
		RESTAURANT	10,265 SF	5 SP/1,000 SF	51.3 SPACES	
		RESTAURANT	3,385 SF	14 SP/1,000 SF	4.4 SPACES	
		SECTORS OFFICE	1,300 SF	2.3 SP/1,000 SF	4.3 SPACES	
**TOTAL REQUIRED SPACES: 499 PS				TOTAL SPACES PROVIDED: 531 PS		

BLDG. 1, 2, & 3 CALCULATED AT "SHOPPING CENTER" RATIO: ** 499 G.F. RATIO ADDED
77,872 S.F. x 5/1000 S.F. = 389.36 SPACES REQUIRED
BLDG. 5 - COMMERCIAL RETAIL
2,900 S.F. x 5/1000 S.F. = 14 SPACES REQUIRED
BLDG. 4 - COMMERCIAL RETAIL & RESTAURANTS
120 S.F. x 5/1000 S.F. = 3.6 SPACES REQUIRED
5,440 S.F. x 14/1000 S.F. = 76 SPACES REQUIRED
TOTAL SPACES REQUIRE = 483 SPACES

OWNER/DEVELOPER

COLUMBIA PALACE LIMITED PARTNERSHIP
17 W. PENNSYLVANIA AVE.
TOWSON, MARYLAND 21204-5016
DEED REFERENCE = 1435/257
DEED REFERENCE = 1389/337

DATE	NO.	REVISIONS
01/05/03	3	INSTALL ELECTRIC VEHICLE CHARGING STATIONS
5/3/2011	2	ADDED 499 SF OUTDOOR PATIO TO BLDG. #3 ADJUSTED PARKING TABULATION CHART (MARTIN PHILLIPS DESIGN ASSOC. INC.)
5/1/03	1	REVISED PARKING AT REAR OF PROP. BLDG #2 AND ADJUSTED REAR LOADING AREA AND BLDG FOR BLDG #1

TITLE SHEET

PROJECT TITLE:
OAKLAND EXECUTIVE PARK
PARCEL A-1
8805 CENTRE PARK DRIVE
HOWARD COUNTY, MARYLAND

ENGINEERS: **WR** Consulting Engineers
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.M.B.	ELECTION DIST: 2
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 1/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 30	T-1
GRID NO.: 1	
PARCEL NO.: 104	SHEET 1 OF 26

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division Date 2/20/03
Chief, Division of Land Development Date 3/10/03
Director Date 3/13/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer Date 2-21-03
Howard County Health Department

ADDRESS CHART	
PARCEL A-1	STREET ADDRESS
FOOD STORE	8805 CENTRE PARK DRIVE (BLDG. #1)
RETAIL STORE	8815 CENTRE PARK DRIVE (BLDG. #2)

PERMIT INFORMATION CHART				
SUBDIVISION NAME OAKLAND EXECUTIVE PARK		SECTION/AREA ---	PARCEL/LOT NO. A-1	
PLAT NO. OR L/F 15737	BLOCK NO. 18	ZONING B-2	TAX MAP 30	ELECT. DIST. 2
WATER CODE G-07		SEWER CODE 56574000		

UTILITY SCHEDULE					
MH #	TOP	DIR.	INVERT	SIZE	TYPE
D-1050	481.92	S/E	477.62	12"	RCP
I-1429	468.74	N/W	463.24	12"	RCP
I-1447	470.03	N/W	462.83	12"	RCP
I-1647	466.40	S/E	458.40	12"	RCP
		N/E	458.25	12"	RCP
		S/W	458.15	12"	RCP
		N/W	458.00	18"	RCP
I-1670	465.35	S/W	461.85	12"	RCP
I-1682	465.42	N/E	461.22	18"	RCP
S-1860	465.26	W	456.26	6"	PVC
		S	456.26	6"	PVC
I-1868	464.14	S/E	456.69	24"	RCP
		N/W	456.49	24"	RCP
D-1925	465.09	E	457.09	24"	RCP
		W	457.09	24"	CMP
		N	453.24	24"	RCP
D-1936	465.04	W	458.74	24"	RCP
		S	458.14	24"	RCP
U-2003	466.66	-	-	-	GREASE MH
I-2004	466.08	S/E	459.98	18"	RCP
		S/W	459.58	18"	RCP
		N/W	*T/460.43	24"	RCP
D-2089	463.28	E	455.93	6"	PVC
		S	455.18	24"	RCP
		W	454.93	24"	RCP
S-2178	455.59	-	-	-	BOLTED SHUT
I-2186	459.95	S/E	453.05	18"	RCP
		N/W	452.75	24"	RCP
I-2194	459.94	S/W	454.69	12"	RCP
D-2472	466.65	-	-	-	UNABLE TO OPEN
I-2477	462.26	S/E	456.66	18"	RCP
		N/W	456.61	18"	RCP
I-2488	464.16	N/W	459.26	18"	RCP
		S/E	459.26	18"	RCP
D-2573	462.99	E-W	454.69	-	CHANNEL
		S	454.69	-	P.N.V.
S-2574	465.57	E	455.17	8"	PVC
		W	455.07	8"	PVC
I-2613	462.56	N/W	457.16	18"	RCP
I-2953	466.72	N/E	462.02	30"	RCP
		S/W	461.92	30"	RCP
S-2978	471.66	S	460.06	8"	PVC
		E	459.91	8"	PVC
		W	459.86	8"	PVC
S-2979	467.77	W	456.22	8"	PVC
		E	456.17	8"	PVC
D-2980	467.65	E-W	461.15	-	CHNL-P.N.V.
D-3018	478.01	S/E	473.41	24"	RCP
		N/W	472.61	-	CHNL-P.N.V.
D-3459	480.98	N	475.68	24"	RCP
		E	475.68	24"	RCP

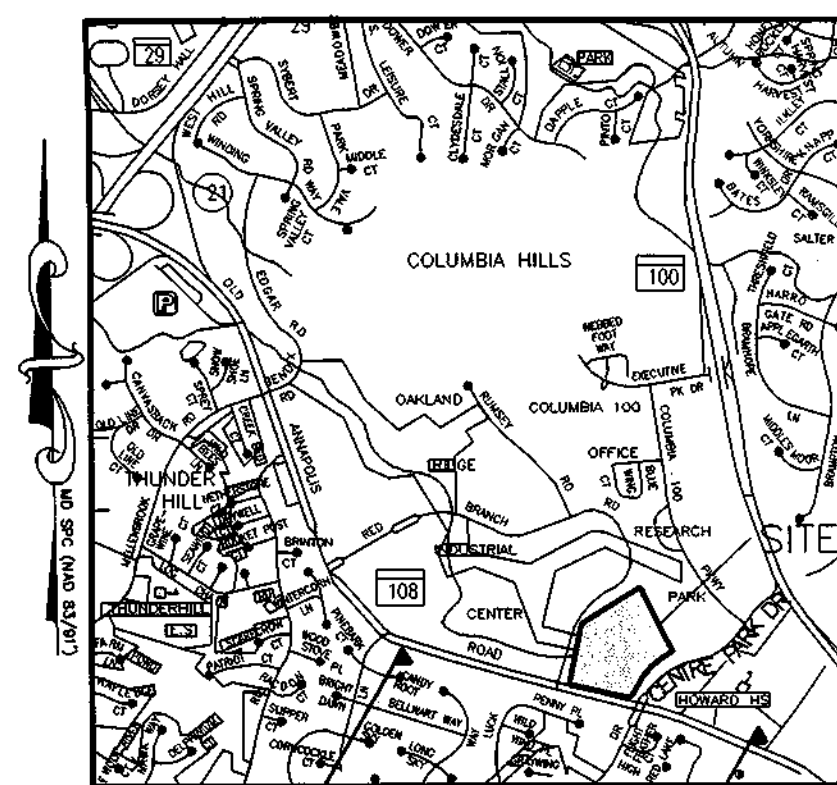
CHNL = CHANNEL
P.N.V. = PIPES NOT VISIBLE
*T/ = TOP OF PIPE (NOT INVERT)
NOTE: THE ABOVE INFORMATION REFLECTS FIELD MEASUREMENTS & OBSERVATIONS AND THEY MAY DIFFER FROM PLANS BY OTHERS. (SEE GENERAL NOTES)

W.B.C.M. SURVEY TRAVERSE CONTROL

PT#	NORTHING	EASTING	ELEV.	DESCRIPTION
898	568,069.80	1,363,740.13	462.85	REBAR & CAP
899	567,988.76	1,364,141.92	478.62	REBAR & CAP
900	568,183.00	1,364,278.86	461.20	REBAR & CAP
901	568,291.94	1,364,152.87	473.48	REBAR & CAP
902	568,360.16	1,364,058.98	466.14	MAGNAIL
903	568,448.13	1,363,938.65	463.77	REBAR & CAP
904	568,616.80	1,363,925.92	460.58	MAGNAIL
905	568,765.41	1,364,087.05	464.65	REBAR & CAP
906	568,868.15	1,364,263.65	468.35	REBAR & CAP
907	568,721.25	1,364,372.08	478.50	MAGNAIL
908	568,474.14	1,364,376.97	478.53	REBAR & CAP
909	567,910.44	1,364,766.52	507.26	REBAR & CAP

SURVEY GENERAL NOTES

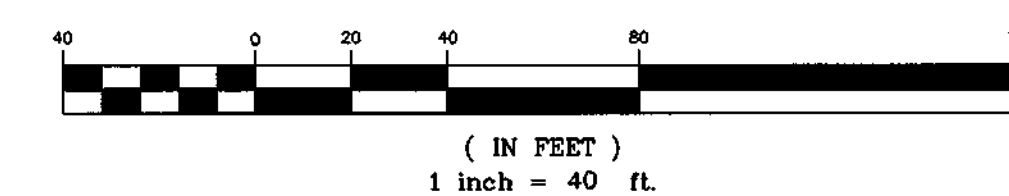
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DESCRIPTION: DISK IN CONC.
DISK "30IA" NGVD29 ELEV. = 499.816(feet)
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- BUSHES
- ELECTRIC BOX
- ELECTRIC CONDUIT
- FIRE HYDRANT
- GAS VALVE
- METAL POLE
- POWER POLE
- ROOF DRAIN
- DRAIN (FLOOR)
- SANITARY MH
- SIGN
- STORM DRAIN MH
- STREET LIGHT
- UNKNOWN MH
- TRAVERSE STATION
- TREES
- VENT PIPE
- WATER VALVE
- CONTOUR
- RETAINING WALL
- BUILDING
- BUSH LINE
- CONC. CURB
- CONC. WALK
- FENCE, METAL
- FENCE, WOOD
- LIMITS OF SURVEY
- PROPERTY LINE
- U/G STORM DRAIN
- WOODS LINE

GRAPHIC SCALE



OWNER/DEVELOPER

COLUMBIA PALACE LIMITED PARTNERSHIP
17 W. PENNSYLVANIA AVE.
TOWSON, MARYLAND 21204-5016
DEED REFERENCE = 1435/257
DEED REFERENCE = 1389/337

EXISTING CONDITIONS PLAN

PROJECT TITLE:
**OAKLAND EXECUTIVE PARK
PARCEL A-1
8805 CENTRE PARK DRIVE
HOWARD COUNTY, MARYLAND**

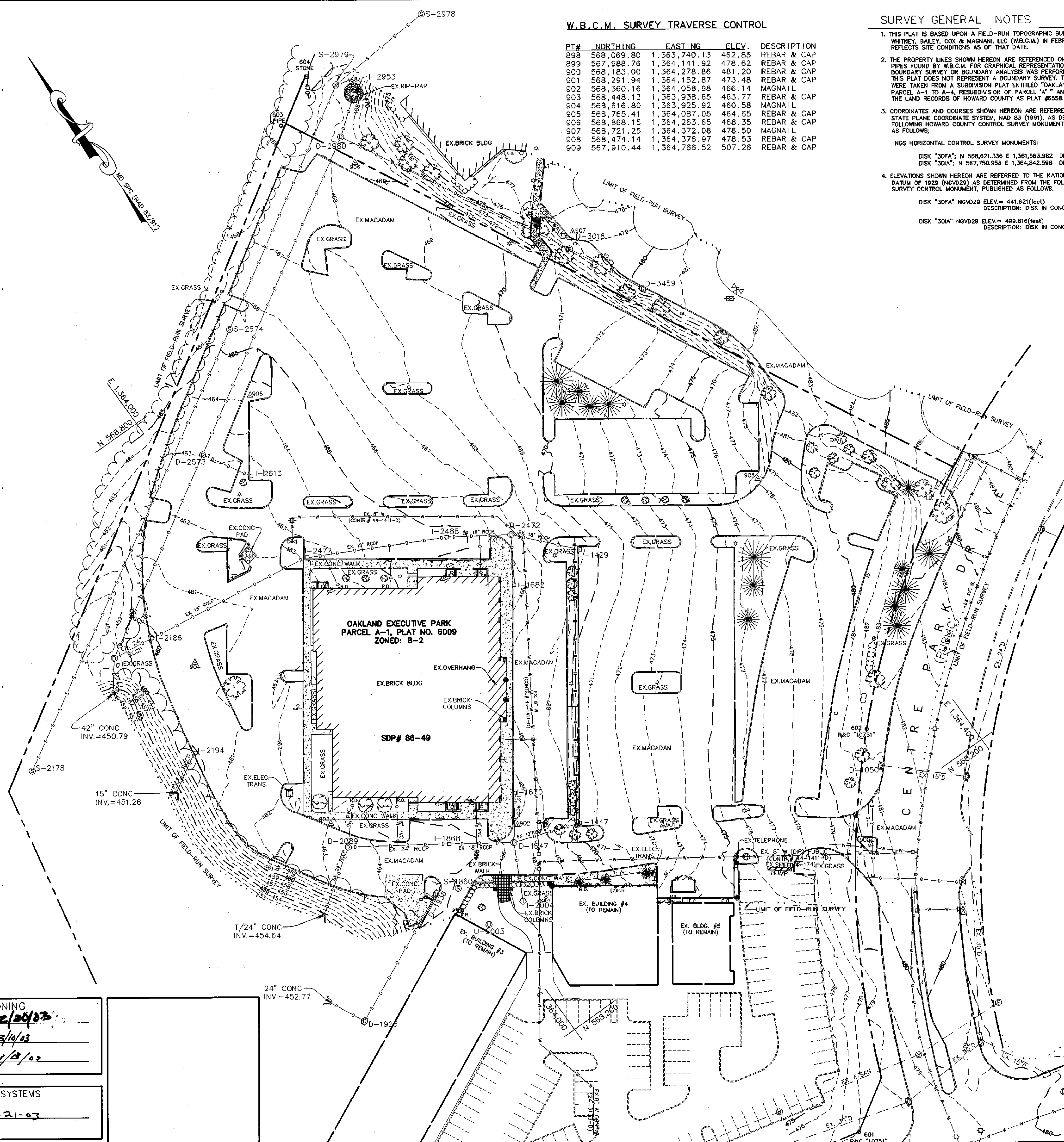
ENGINEERS: **WR Consulting Engineers**
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

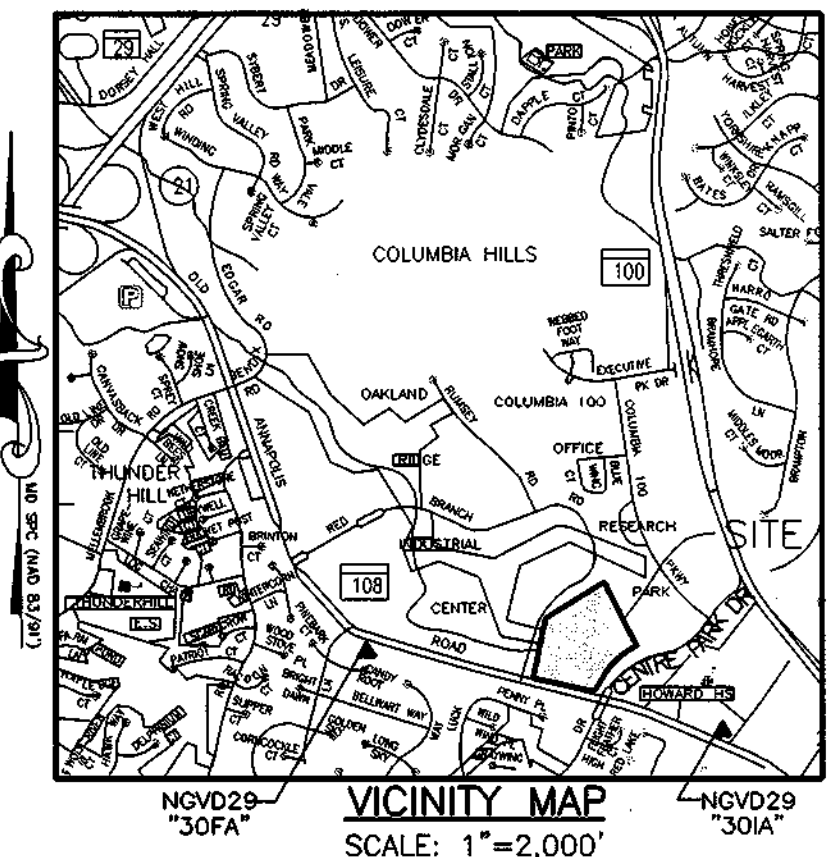
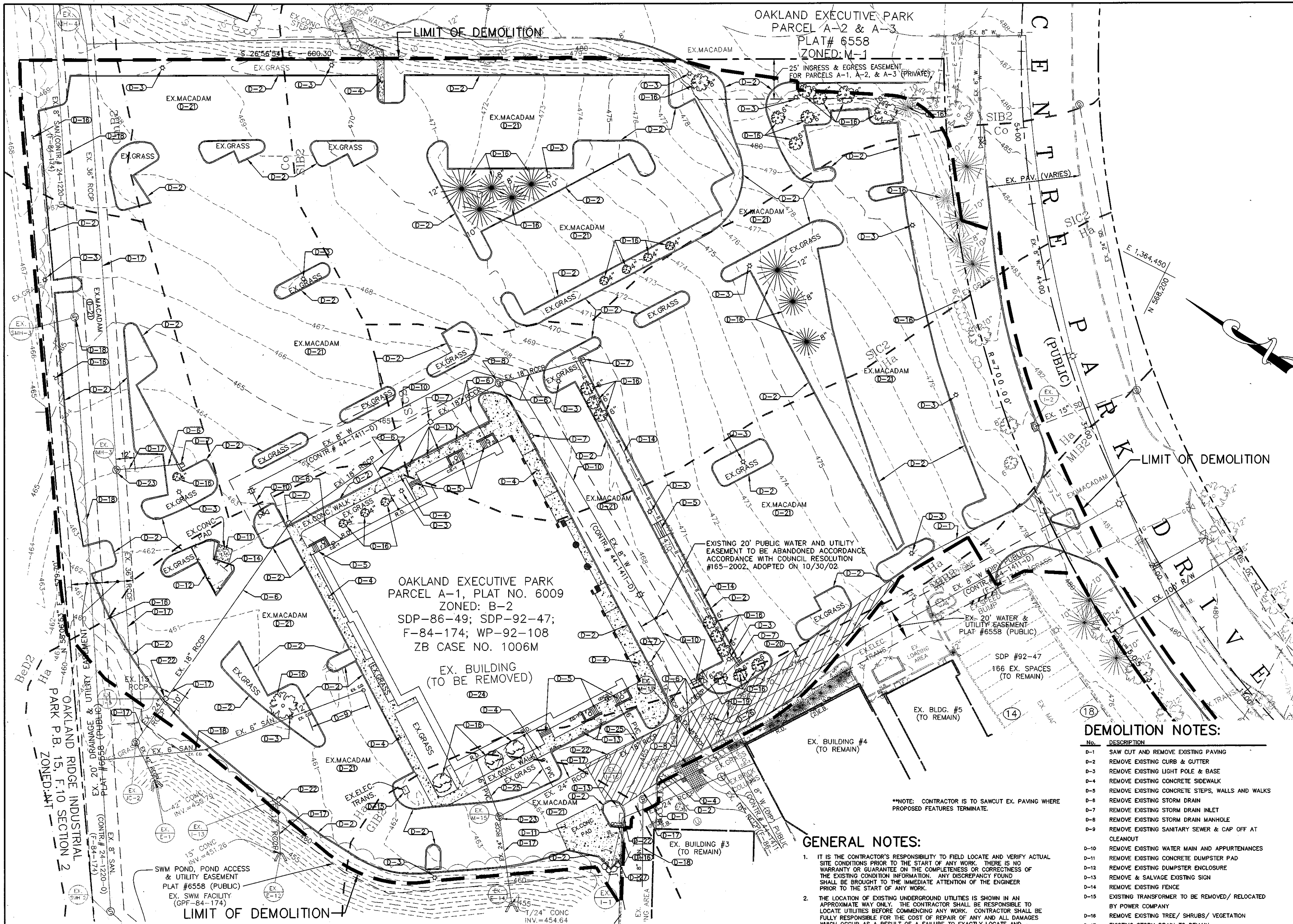
DESIGNED: D.M.B. ELECTION DIST.: 2
DRAWN: D.M.B. CENSUS TRACT #: 6023.02
CHECKED: D.M.B. WATER CODE: G-07
DATE: 1/9/03 SEWER CODE: 56574000
SCALE: AS SHOWN DRAWING NO:
MAP NO.: 30
GRID NO.: 1
PARCEL NO.: 104 SHEET 2 OF 26



APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division Date: 2/20/03
Chief, Division of Land Development Date: 3/10/03
Director Date: 3/28/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer Date: 2-21-03
Howard County Health Department





OAKLAND EXECUTIVE PARK
 PARCEL A-1, PLAT NO. 6009
 ZONED: B-2
 SDP-86-49; SDP-92-47;
 F-84-174; WP-92-108
 ZB CASE NO. 1006M

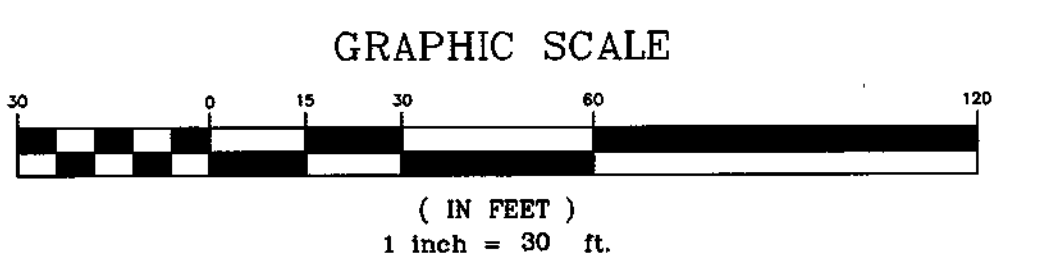
EXISTING 20' PUBLIC WATER AND UTILITY EASEMENT TO BE ABANDONED ACCORDANCE WITH COUNCIL RESOLUTION #165-2002, ADOPTED ON 10/30/02

SDP #92-47
 166 EX. SPACES (TO REMAIN)

GENERAL NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD LOCATE AND VERIFY ACTUAL SITE CONDITIONS PRIOR TO THE START OF ANY WORK. THERE IS NO WARRANTY OR GUARANTEE ON THE COMPLETENESS OR CORRECTNESS OF THE EXISTING CONDITION INFORMATION. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER PRIOR TO THE START OF ANY WORK.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO LOCATE UTILITIES BEFORE COMMENCING ANY WORK. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE COST OF REPAIR OF ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "MISS UTILITY" AT 1-800-257-7777 THREE DAYS PRIOR TO THE START OF ANY EXCAVATION WORK.
- THE EXISTING TOPSOIL SHALL BE REMOVED, SALVAGED AND PLACED WITHIN THE STOCKPILE AREA AS SHOWN ON THE APPROVED SEDIMENT CONTROL PLAN.
- CONTRACTOR SHALL REMOVE EXISTING BITUMINOUS SURFACE COURSE AND ADJUST SUBBASE TO MEET FINAL GRADES.
- CONTRACTOR SHALL PROTECT EXISTING STORM DRAIN SYSTEMS TO REMAIN FROM ANY SEDIMENT AND/OR DEBRIS DURING DEMOLITION OF SITE.
- CONTRACTOR SHALL MAINTAIN TWO-WAY TRAFFIC TO THE EXISTING ADJACENT BUILDINGS AT ALL TIMES.
- CONTRACTOR SHALL HAVE MISS UTILITY LOCATE ELECTRIC, TELEPHONE, GAS, AND CABLE SERVICES AND OBTAIN PERMISSION WITH ENGINEER AND RESPONSIBLE UTILITY COMPANIES PRIOR TO DEMOLITION OF ANY SITE WORK.
- CONTRACTOR SHALL USE BRICK AND MORTAR TO CLOSE OPENING THAT ARE NOT TO BE REVISED IN STRUCTURES THAT ARE TO REMAIN.

NOTE: FOR LEGEND, SEE SHEET T-1.




DEMOLITION NOTES:

No.	DESCRIPTION
0-1	SAW CUT AND REMOVE EXISTING PAVING
0-2	REMOVE EXISTING CURB & GUTTER
0-3	REMOVE EXISTING LIGHT POLE & BASE
0-4	REMOVE EXISTING CONCRETE SIDEWALK
0-5	REMOVE EXISTING CONCRETE STEPS, WALLS AND WALKS
0-6	REMOVE EXISTING STORM DRAIN
0-7	REMOVE EXISTING STORM DRAIN INLET
0-8	REMOVE EXISTING STORM DRAIN MANHOLE
0-9	REMOVE EXISTING SANITARY SEWER & CAP OFF AT CLEANOUT
0-10	REMOVE EXISTING WATER MAIN AND APPURTENANCES
0-11	REMOVE EXISTING CONCRETE DUMPSTER PAD
0-12	REMOVE EXISTING DUMPSTER ENCLOSURE
0-13	REMOVE & SALVAGE EXISTING SIGN
0-14	REMOVE EXISTING FENCE
0-15	EXISTING TRANSFORMER TO BE REMOVED/RELOCATED BY POWER COMPANY
0-16	REMOVE EXISTING TREE/SHRUBS/VEGETATION
0-17	EXISTING STORM DRAIN TO REMAIN
0-18	EXISTING SANITARY SEWER TO REMAIN
0-19	EXISTING WATER MAIN & APPURTENANCES TO REMAIN
0-20	REMOVE EXISTING BITUMINOUS SURFACE COURSE (SEE GENERAL NOTE #5)
0-21	REMOVE EXISTING PAVING
0-22	EXISTING STORM DRAIN INLET TO REMAIN
0-23	EXISTING STORM DRAIN MANHOLE TO REMAIN
0-24	REMOVE EXISTING BUILDING
0-25	REMOVE EXISTING STORM DRAIN & CAP/PLUG AT EXISTING STORM DRAIN TO REMAIN
0-26	EXISTING WATER VALVE TO BE CLOSED PRIOR TO REMOVAL OF EXISTING WATER MAIN
0-27	REMOVAL OF EXISTING BOLLARDS



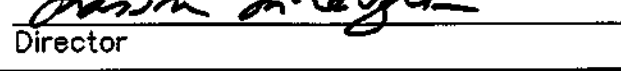
OWNER/DEVELOPER
 COLUMBIA PALACE LIMITED PARTNERSHIP
 17 W. PENNSYLVANIA AVE.
 TOWSON, MARYLAND 21204-5016
 DEED REFERENCE = 1435/257
 DEED REFERENCE = 1389/337

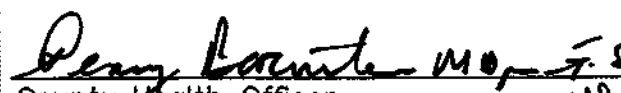
DEMOLITION PLAN
 (FOR ON-SITE CONSTRUCTION)

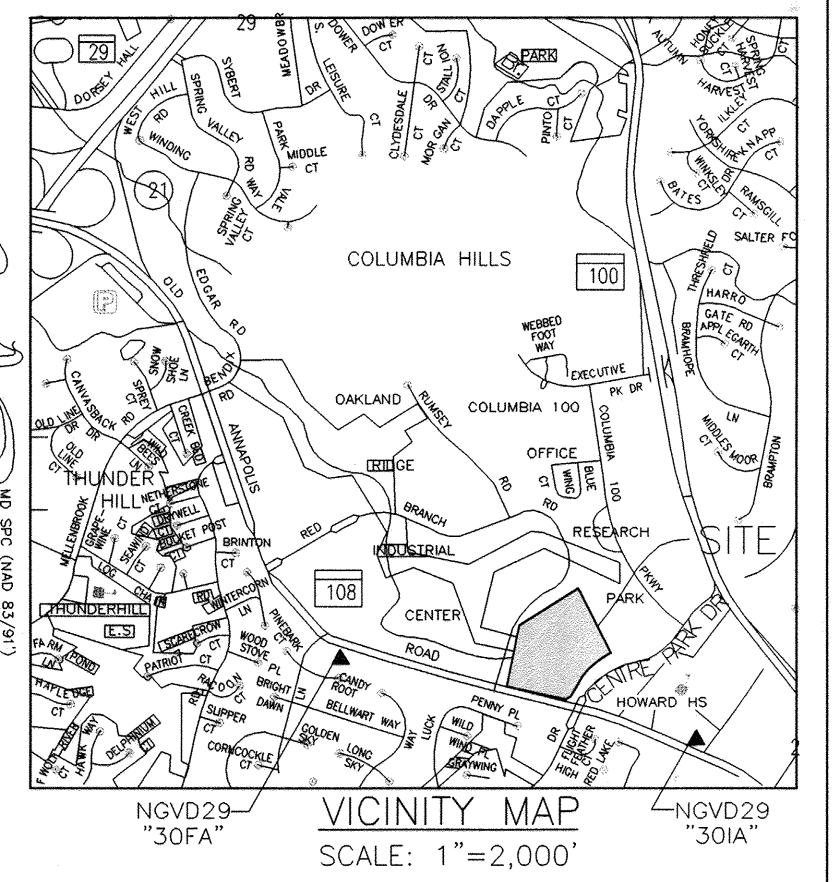
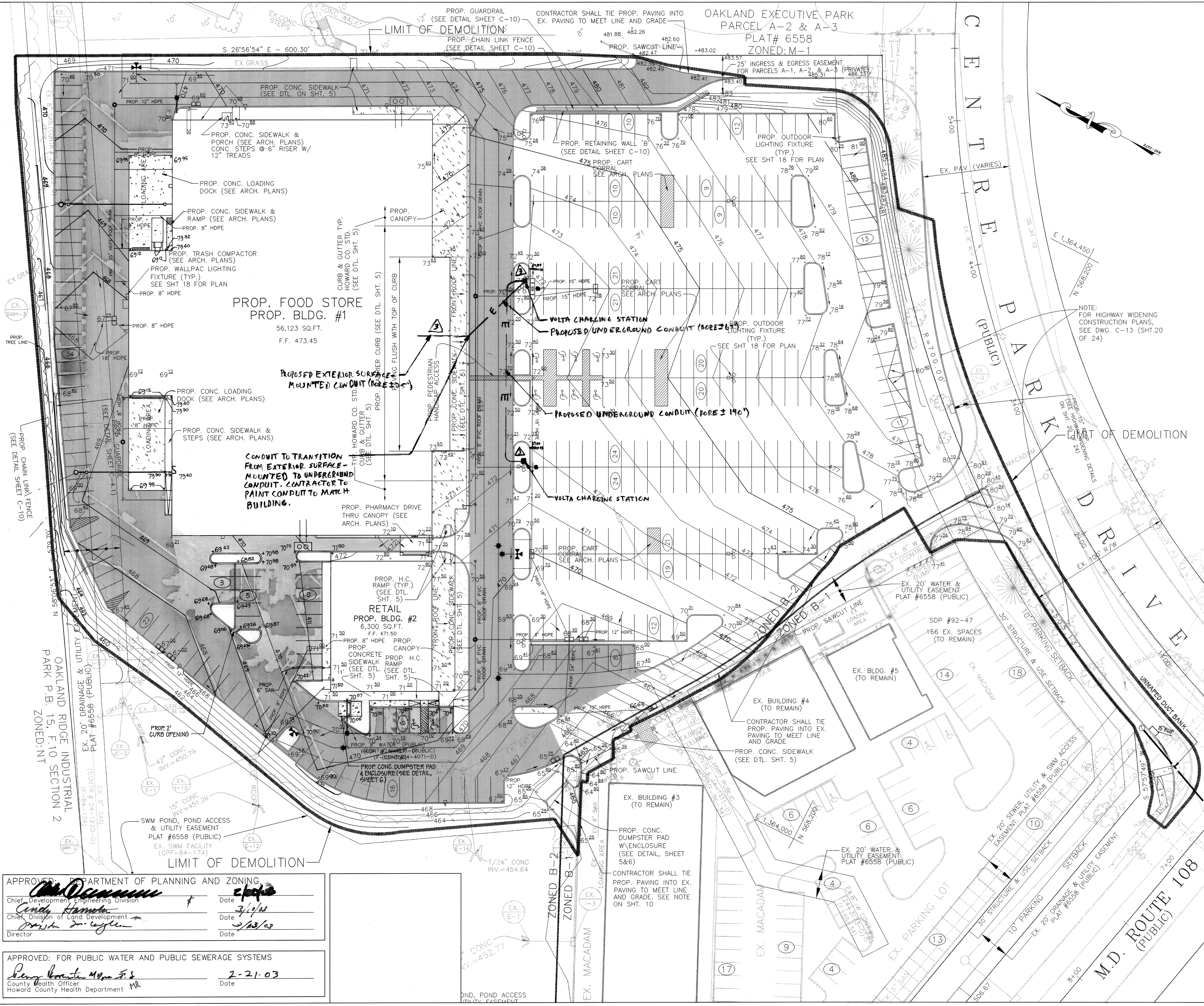
PROJECT TITLE:
OAKLAND EXECUTIVE PARK
PARCEL A-1
8805 CENTRE PARK DRIVE
HOWARD COUNTY, MARYLAND

ENGINEERS:
 Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.M.B.	ELECTION DIST.: 2
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 1/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 30	C-2
GRID NO.: 1	
PARCEL NO.: 104	SHEET 3 OF 26

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Date: 2/1/03
 Chief, Development Engineering Division
 Date: 3/14/03
 Chief, Division of Land Development
 Date: 3/13/03
 Director

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 Date: 2-21-03
 County Health Officer
 Howard County Health Department

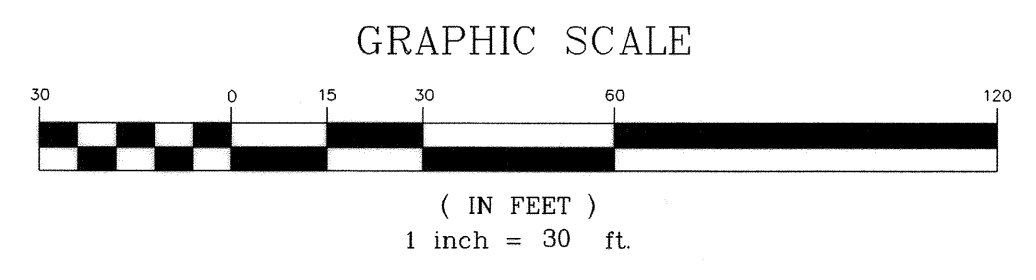


PAVING LEGEND
SEE DETAILS SHT. 5

	HEAVY DUTY PAVING
	LIGHT DUTY PAVING
	PAVEMENT ADJUSTMENT



**NOTE: ALL PROPOSED METERS ARE TO BE PLACED ON THE INTERIOR OF NEW BUILDINGS.



OWNER/DEVELOPER
COLUMBIA PALACE LIMITED PARTNERSHIP
17 W. PENNSYLVANIA AVE.
TOWSON, MARYLAND 21204-5016
DEED REFERENCE = 1435/257
DEED REFERENCE = 1389/337

01/05/01	3	INSTALL ELECTRIC VEHICLE CHARGING STATIONS
11/03/04		REVISED LOCATION I-16
5/1/03	1	REVISED PARKING AT REAR OF PROP. BLDG #2 AND ADJUSTED REAR LOADING AREA AND BLDG FOR BLDG #1
DATE	NO.	REVISIONS

SITE & GRADING PLAN

PROJECT TITLE:
**OAKLAND EXECUTIVE PARK
PARCEL A-1
8805 CENTRE PARK DRIVE
HOWARD COUNTY, MARYLAND**

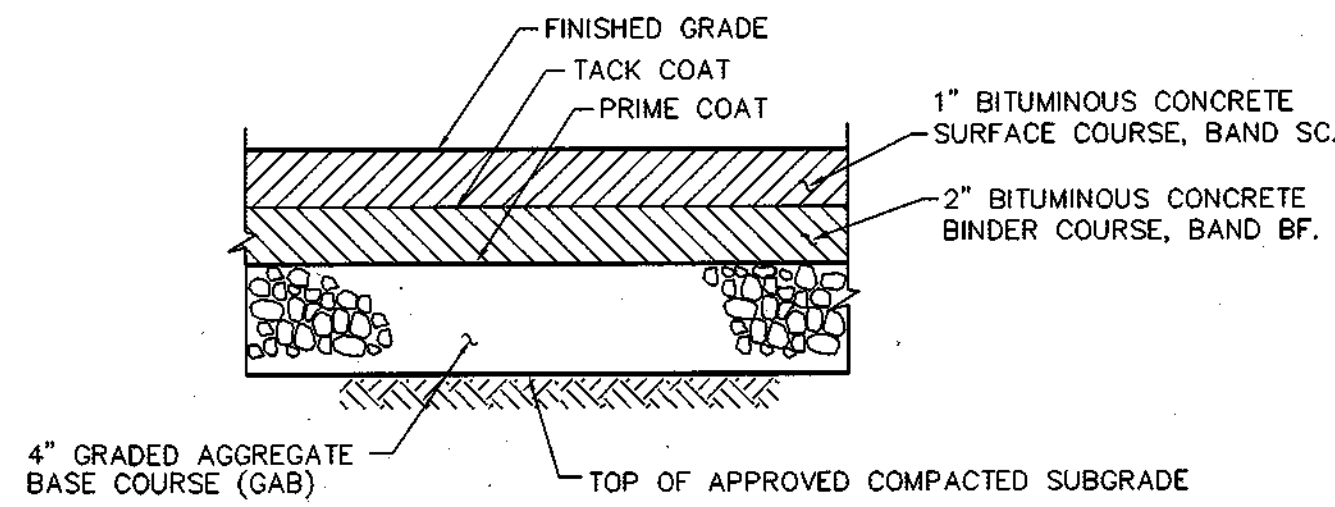
ENGINEERS: **WR** Consulting Engineers
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.M.B.	ELECTION DIST.: 2
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 1/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 30	C-3
GRID NO.: 1	
PARCEL NO.: 104	SHEET 4 OF 26

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division Date: 2/2/03
Check, Division of Land Development Date: 3/1/03
Director Date: 2/13/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer Date: 2-21-03
Howard County Health Department

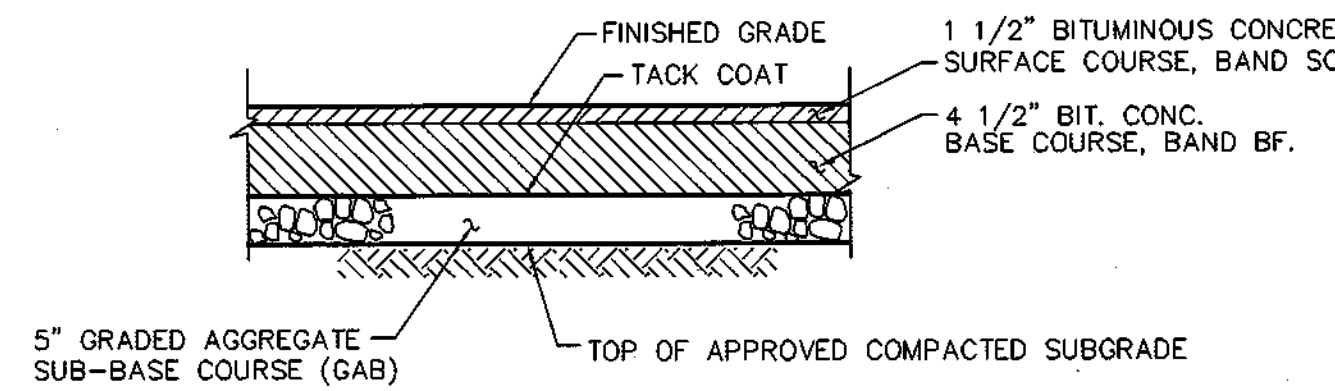
NOTE: PAVING SECTION SHALL BE APPROVED BY AN APPROVED SOILS ENGINEER PRIOR TO CONSTRUCTION.



REFERENCE HOWARD COUNTY STD. DETAIL #R-2.01 (P-1), FOR MINIMUM CONSTRUCTION STANDARDS.

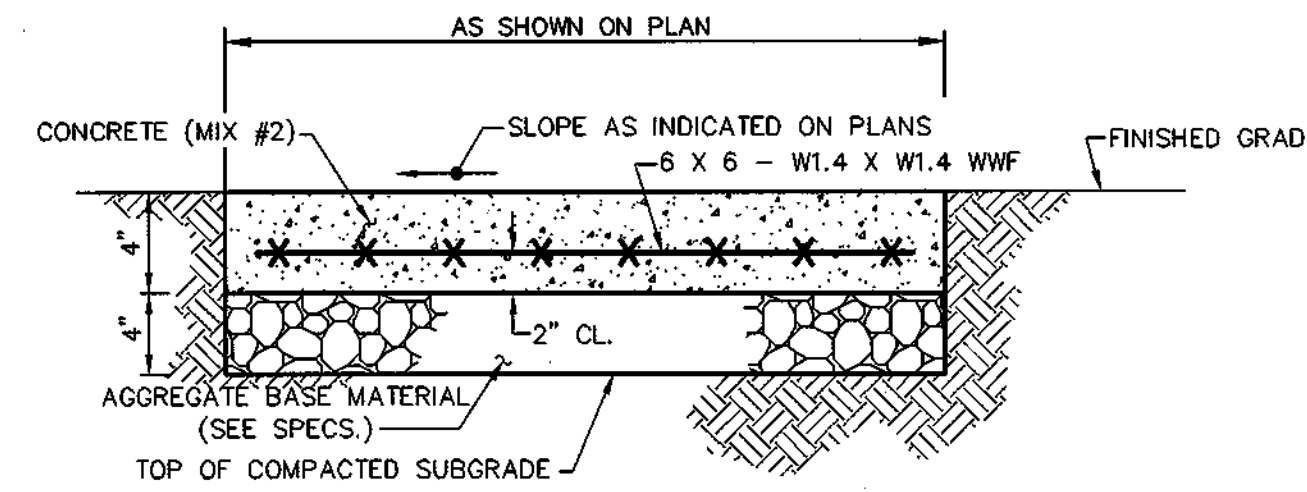
P-1 PAVING SECTION (LIGHT DUTY) NOT TO SCALE

NOTE: PAVING SECTION SHALL BE APPROVED BY AN APPROVED SOILS ENGINEER PRIOR TO CONSTRUCTION.



REFERENCE HOWARD COUNTY STD. DETAIL #R-2.01 (P-3), FOR MINIMUM CONSTRUCTION STANDARDS.

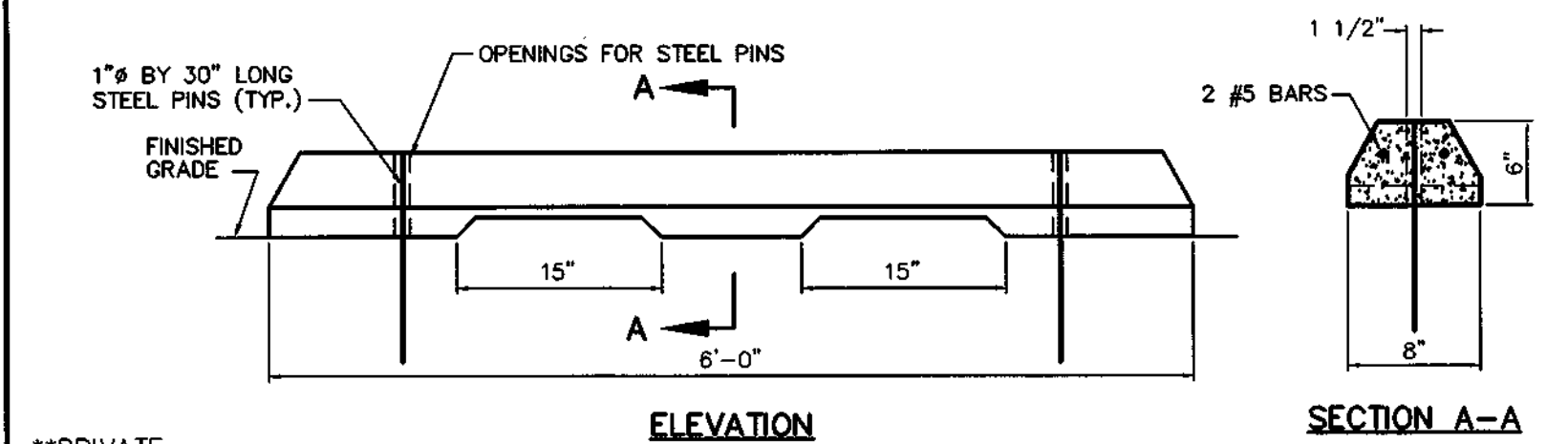
P-3 PAVING SECTION (HEAVY DUTY) NOT TO SCALE



NOTES:
1. 1/2" PREMOLDED EXPANSION JOINT MATERIAL TO BE PLACED WHERE WALKS ABUT CURBS, STEPS, BUILDINGS, OTHER WALKS, ETC. AND AT A MAXIMUM OF 20' INTERVALS ALONG THE WALK.
2. SCORING SHALL BE PROVIDED AT 4' ON CENTER FOR 4' & 8' WALKS, 5' ON CENTER FOR 5' & 10' WALKS AND 6' ON CENTER FOR 6' AND LARGER NOT PREVIOUSLY MENTIONED.

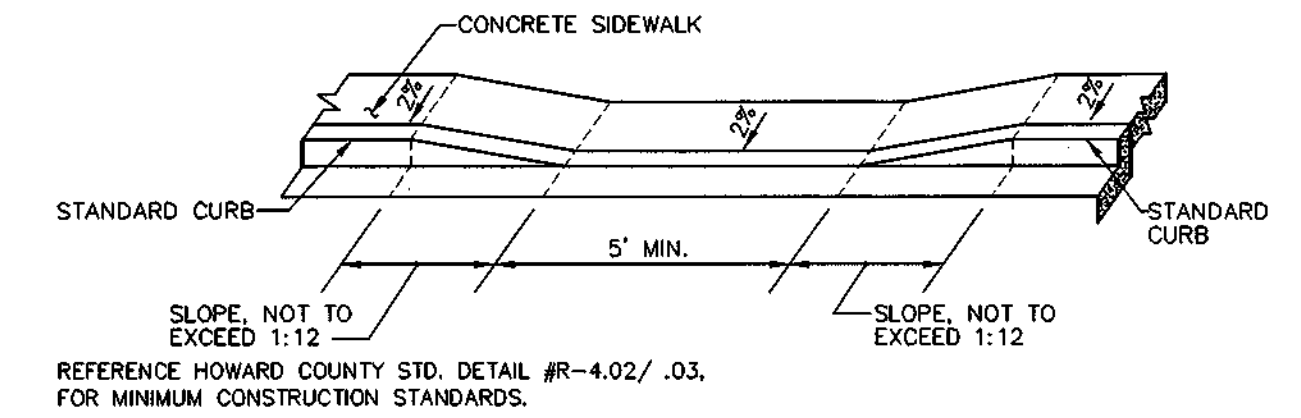
REFERENCE HOWARD COUNTY STD. DETAIL #R-3.05, FOR MINIMUM CONSTRUCTION STANDARDS.

CONCRETE SIDEWALK SECTION NOT TO SCALE



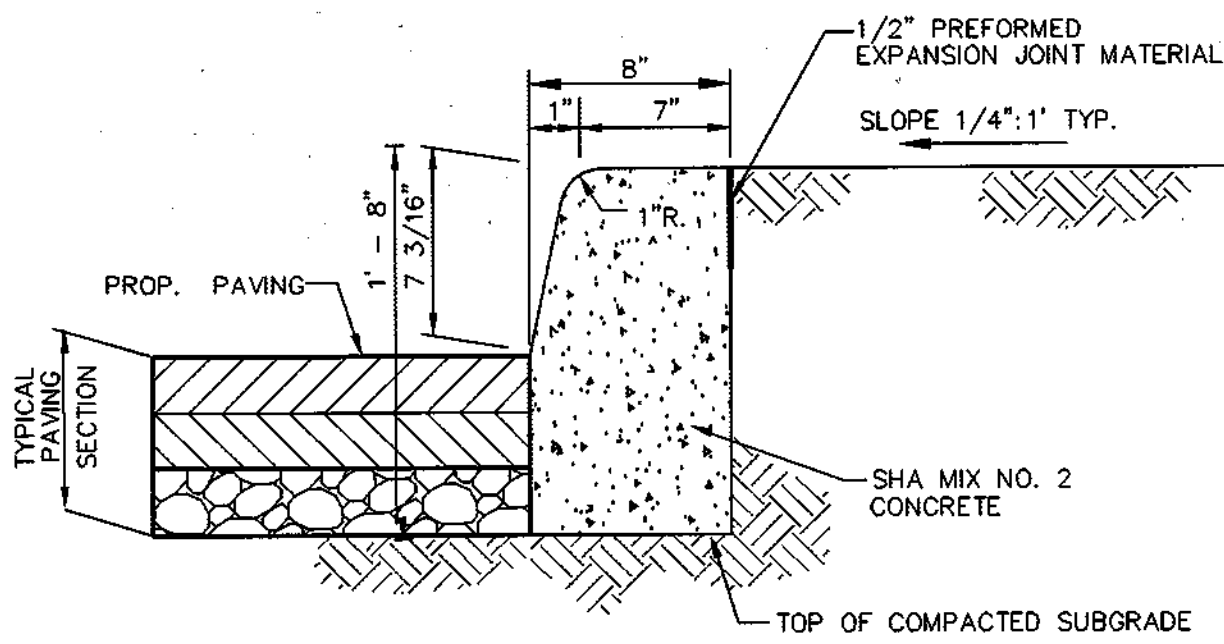
**PRIVATE

CONCRETE WHEELSTOP NOT TO SCALE



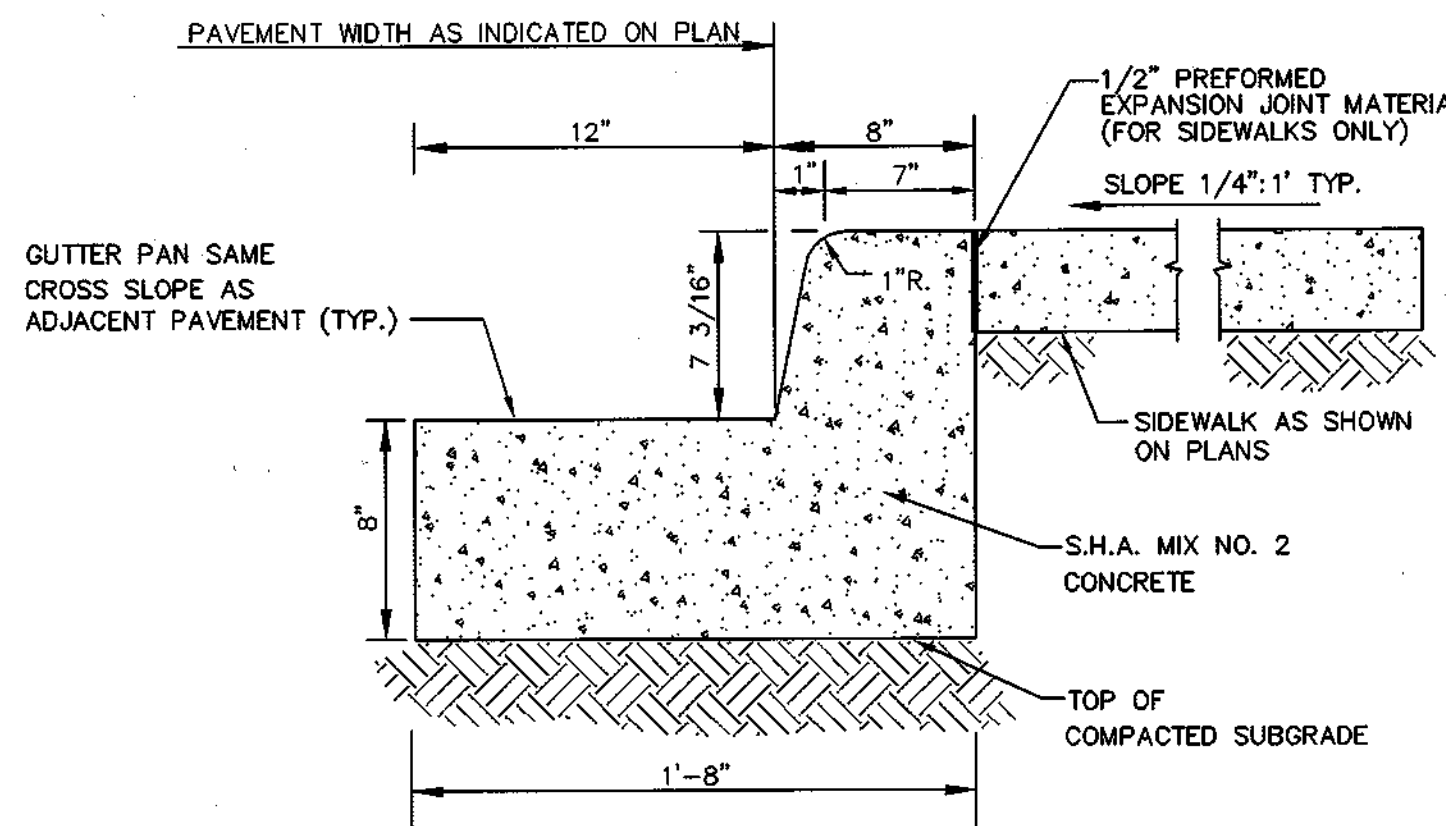
REFERENCE HOWARD COUNTY STD. DETAIL #R-4.02/.03, FOR MINIMUM CONSTRUCTION STANDARDS.

HANDICAP RAMP DETAIL @ HANDICAP PARKING NOT TO SCALE



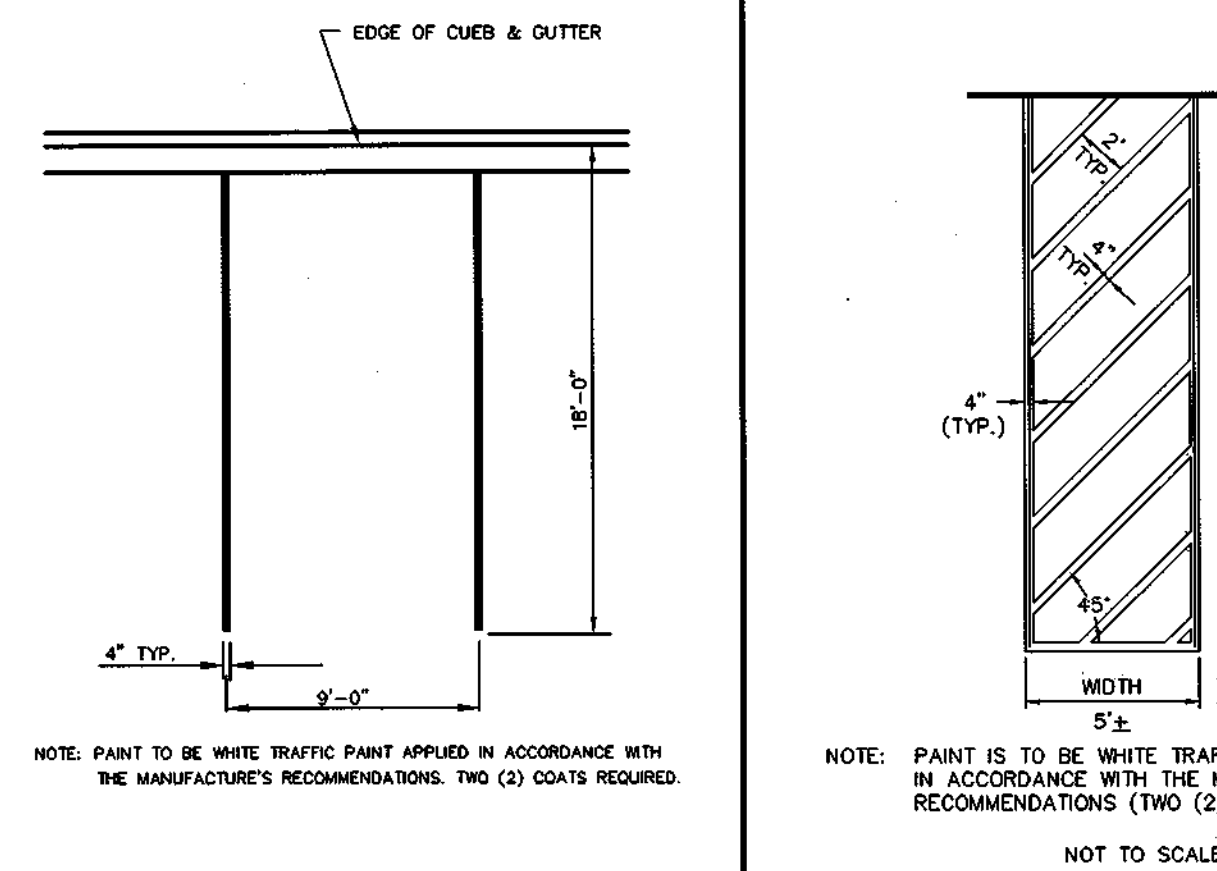
REFERENCE HOWARD COUNTY STD. DETAIL #R-3.03, FOR MINIMUM CONSTRUCTION STANDARDS.

STANDARD CONCRETE BARRIER CURB NOT TO SCALE



REFERENCE HOWARD COUNTY STD. DETAIL #R-3.01, FOR MINIMUM CONSTRUCTION STANDARDS.

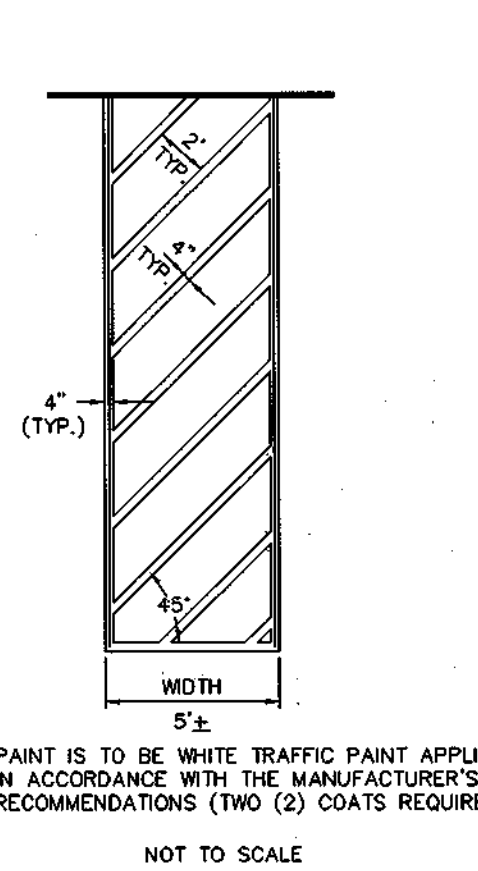
STANDARD 7" COMBINATION CURB & GUTTER NTS



NOTE: PAINT TO BE WHITE TRAFFIC PAINT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. TWO (2) COATS REQUIRED.

**PRIVATE

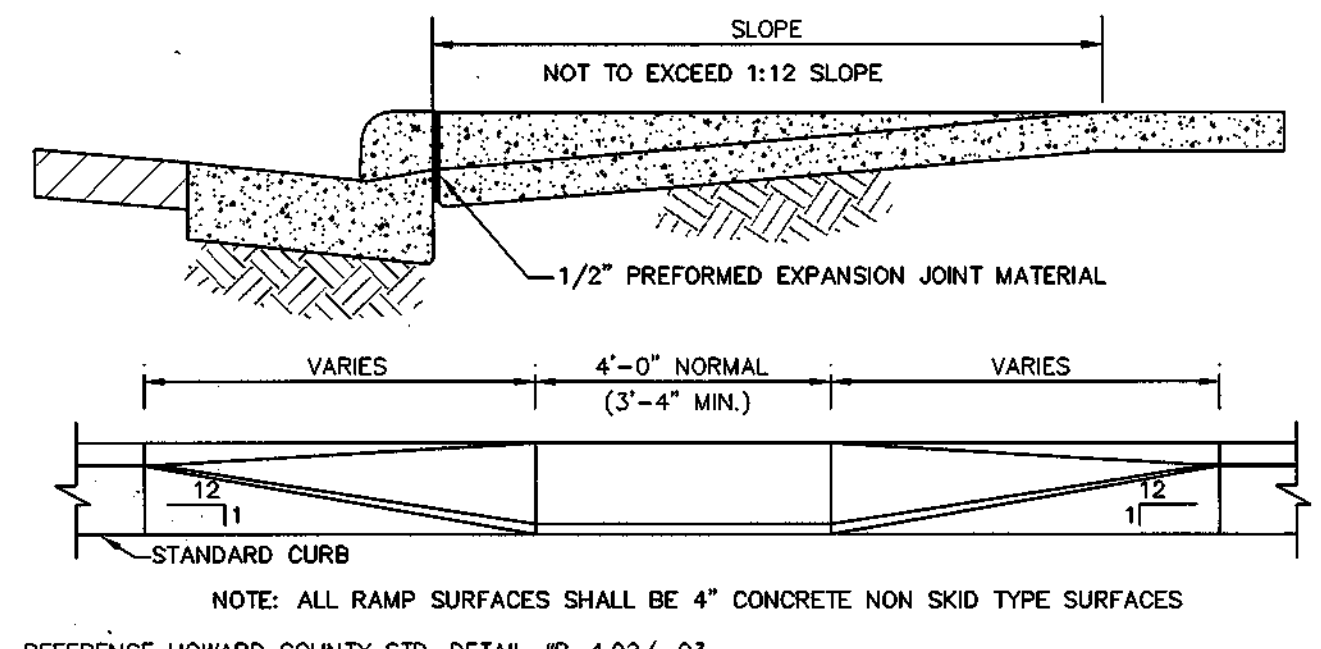
PARKING STRIPING PLAN NTS



NOTE: PAINT IS TO BE WHITE TRAFFIC PAINT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS (TWO (2) COATS REQUIRED).

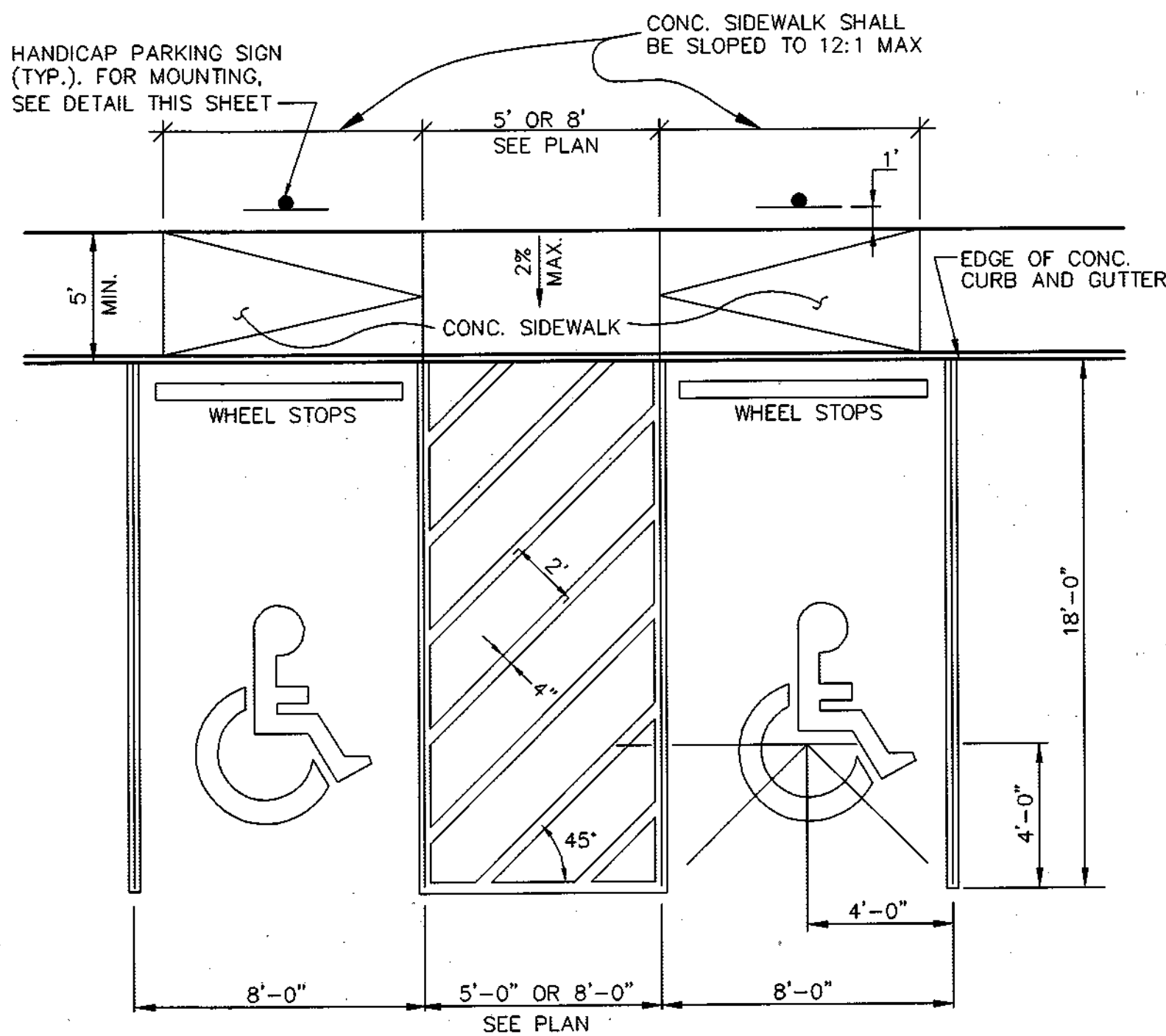
**PRIVATE

CROSSWALK STRIPING PLAN NTS



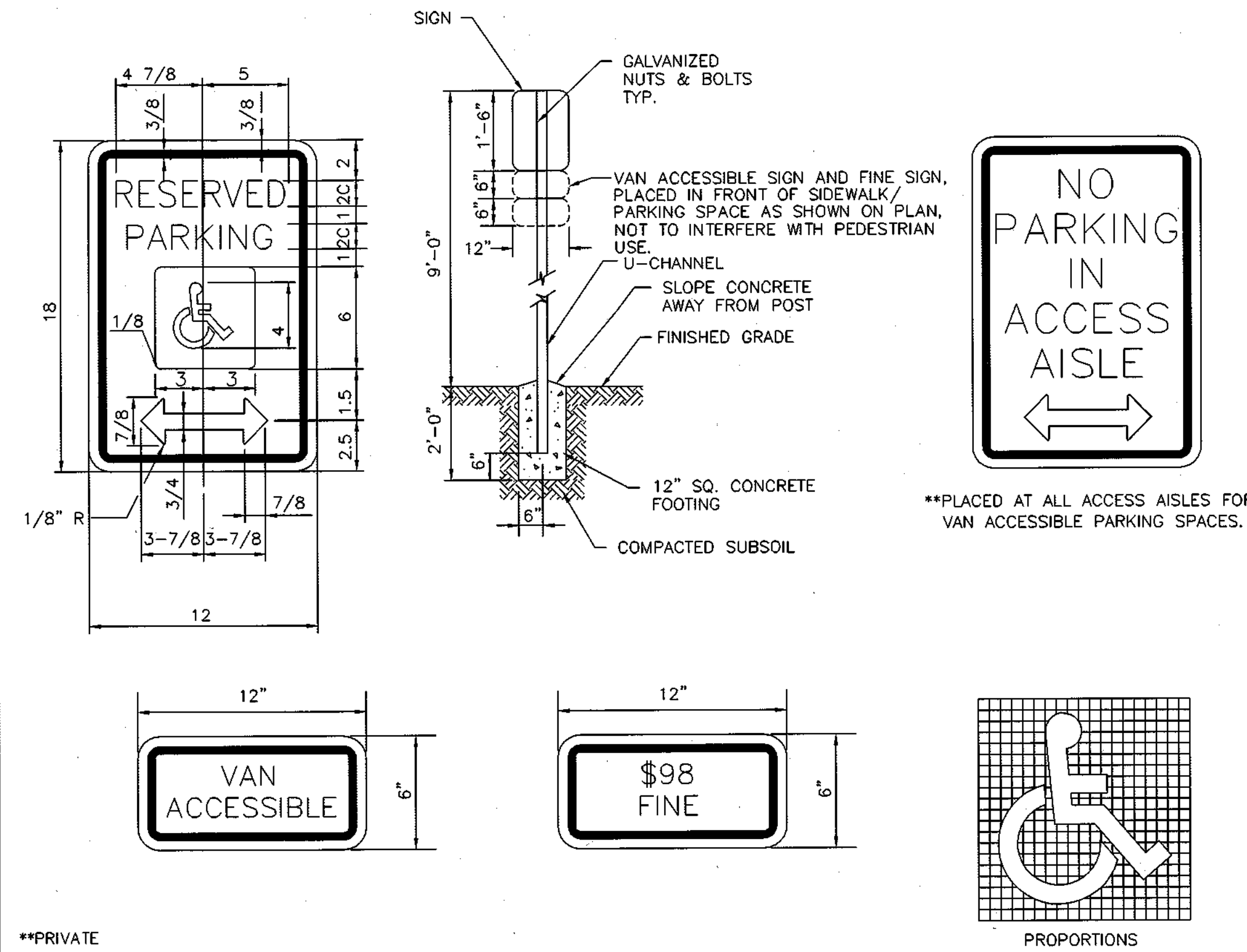
REFERENCE HOWARD COUNTY STD. DETAIL #R-4.02/.03, FOR MINIMUM CONSTRUCTION STANDARDS.

PEDESTRIAN/HANDICAP CURB RAMP DETAIL NOT TO SCALE



**PRIVATE

HANDICAP PAVEMENT MARKING PLAN NOT TO SCALE



**PRIVATE

HANDICAP SIGN DETAIL NOT TO SCALE

OWNER/DEVELOPER

COLUMBIA PALACE LIMITED PARTNERSHIP
17 W. PENNSYLVANIA AVE.
TOWSON, MARYLAND 21204-5016
DEED REFERENCE = 1435/257
DEED REFERENCE = 1389/337

DATE	NO.	REVISIONS
5/1/03	1	REVISED PARKING AT REAR OF PROP. BLDG #2 AND ADJUSTED REAR LOADING AREA AND BLDG FOR BLDG #1

SITE DETAILS & NOTES

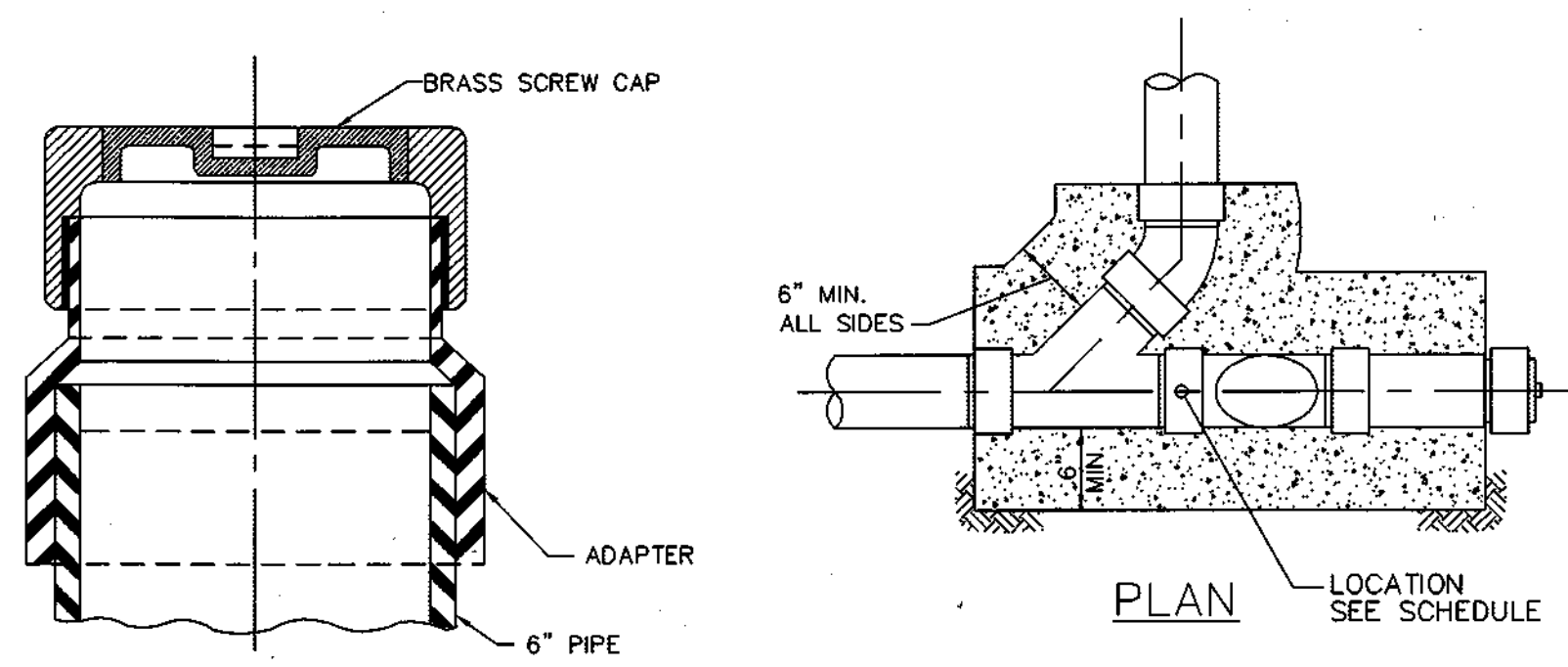
PROJECT TITLE:
**OAKLAND EXECUTIVE PARK
PARCEL A-1
8805 CENTRE PARK DRIVE
HOWARD COUNTY, MARYLAND**

ENGINEERS: **WR** Consulting Engineers
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

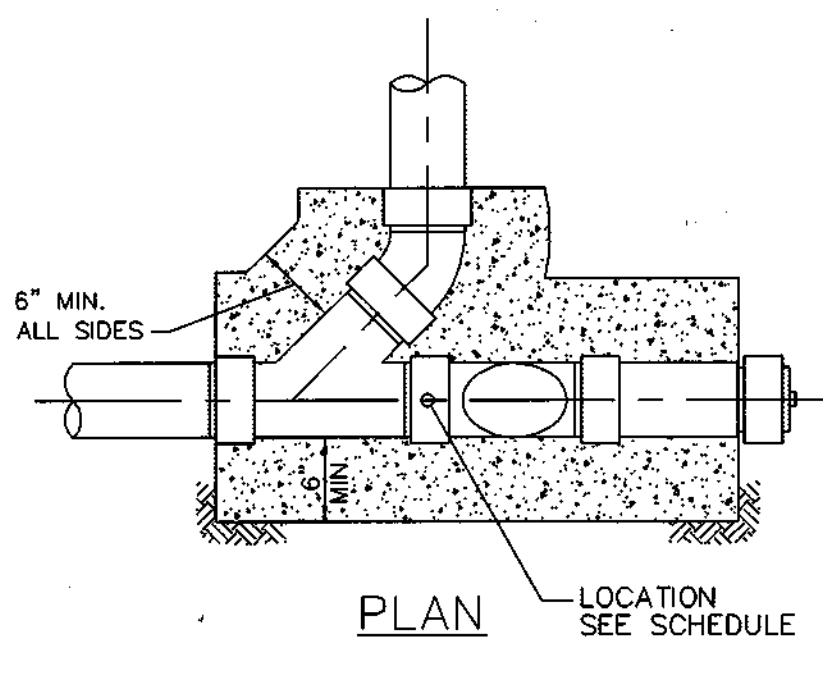
DESIGNED: D.M.B.	ELECTION DIST: 2
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 1/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 30	C-4
GRID NO.: 1	
PARCEL NO.: 104	SHEET 5 OF 26

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division Date 2/20/03
Chief, Division of Land Development Date 3/10/03
Director Date 3/13/03

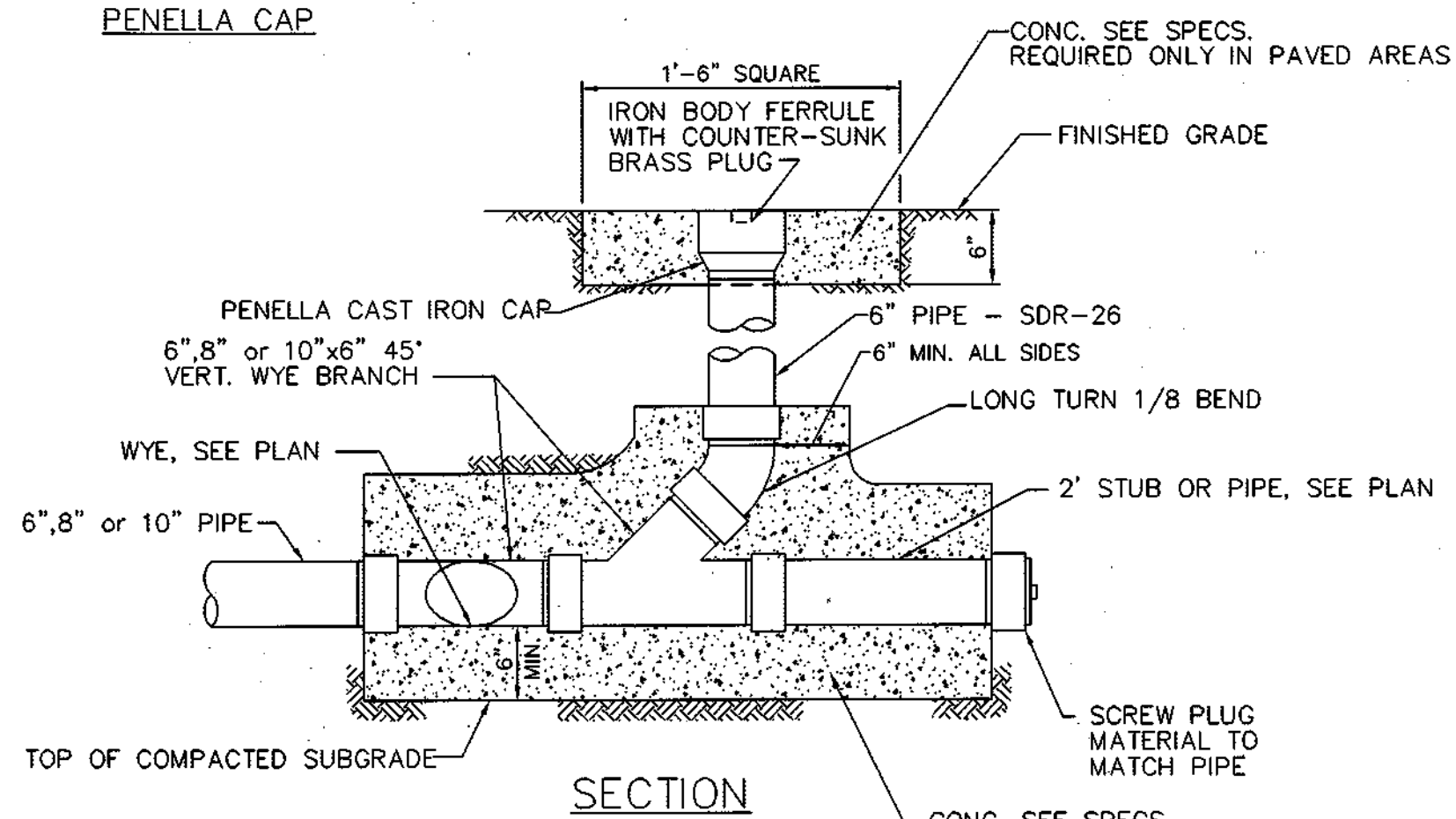
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer Date 2-21-03
Howard County Health Department



PENELLA CAP



PLAN

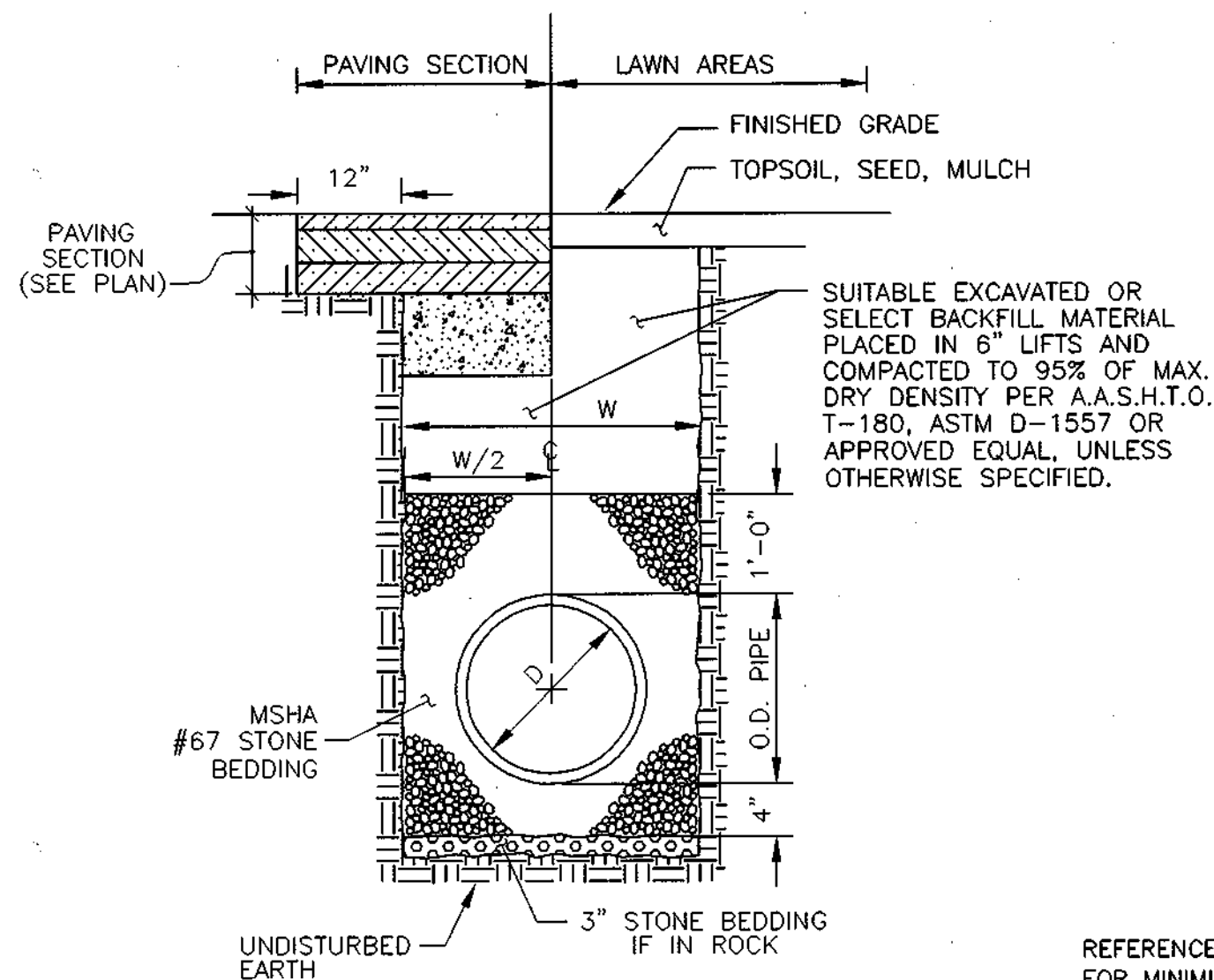


SECTION

**PRIVATE

NOTE: THIS DETAIL APPLIES TO ALL HDPE PIPE

STANDARD CLEANOUT DETAIL FOR ROOF DRAINS NOT TO SCALE



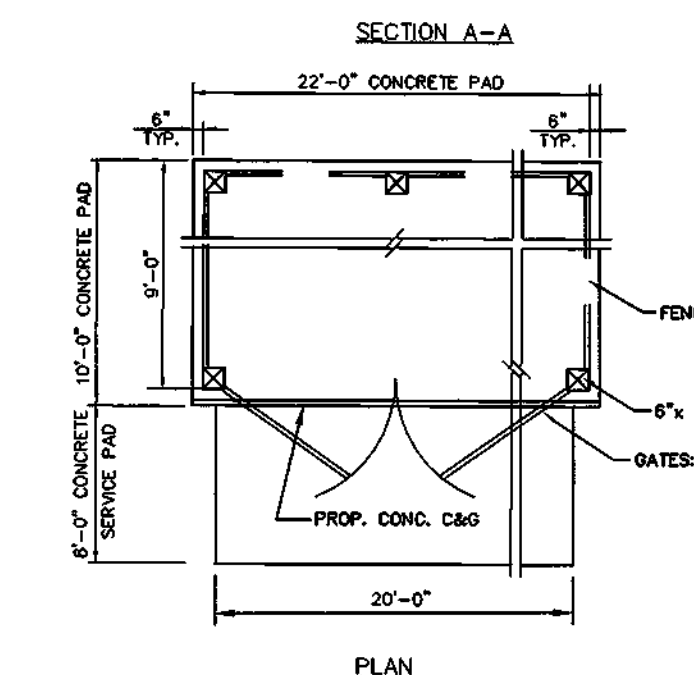
D=PIPE SIZE	W=MAXIMUM TRENCH WIDTH
6"	24"
8"	24"
10"	30"
12"	30"
15"	36"
18"	42"
21"	42"
24"	48"

REFERENCE HOWARD COUNTY STD. DETAIL #G-2.01, FOR MINIMUM CONSTRUCTION STANDARDS.

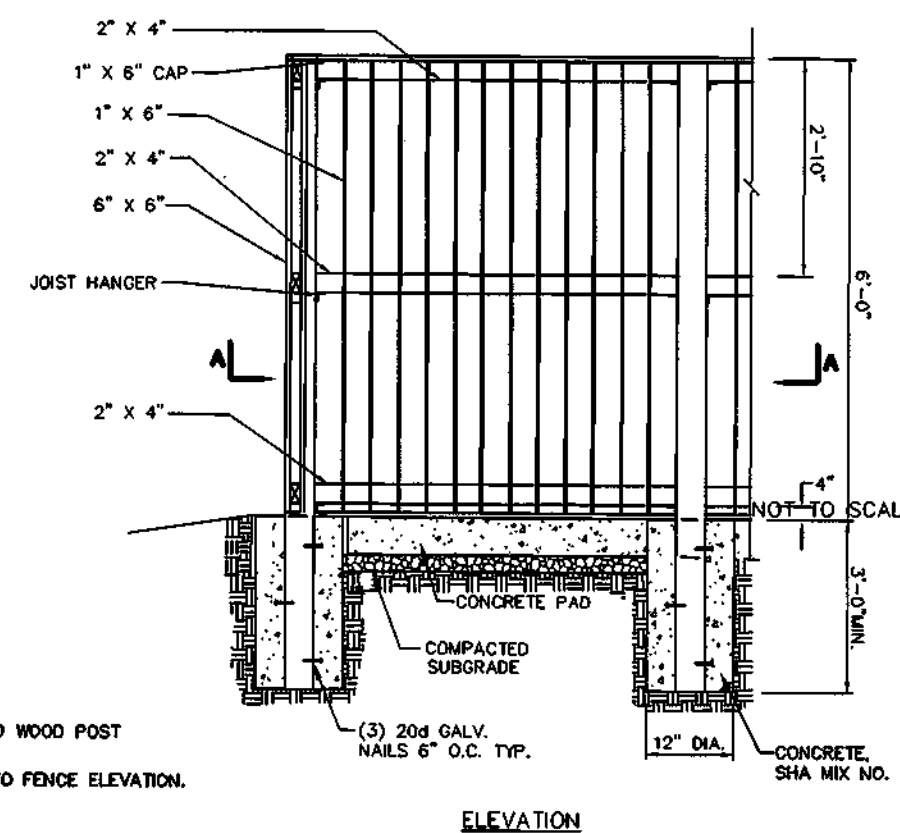
HDPE BEDDING DETAIL

NOT TO SCALE

- NOTES
- 1) ALL WOOD SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE, ALPHA CS SMOOTH FINISH.
 - 2) GATES SHALL BE SIMILAR TO FENCE ELEVATION.
 - 3) ALL HARDWARE SHALL BE GALVANIZED COATED.
 - 4) ALL EXPOSED HARDWARE SHALL HAVE A BLACK FINISH.



PLAN

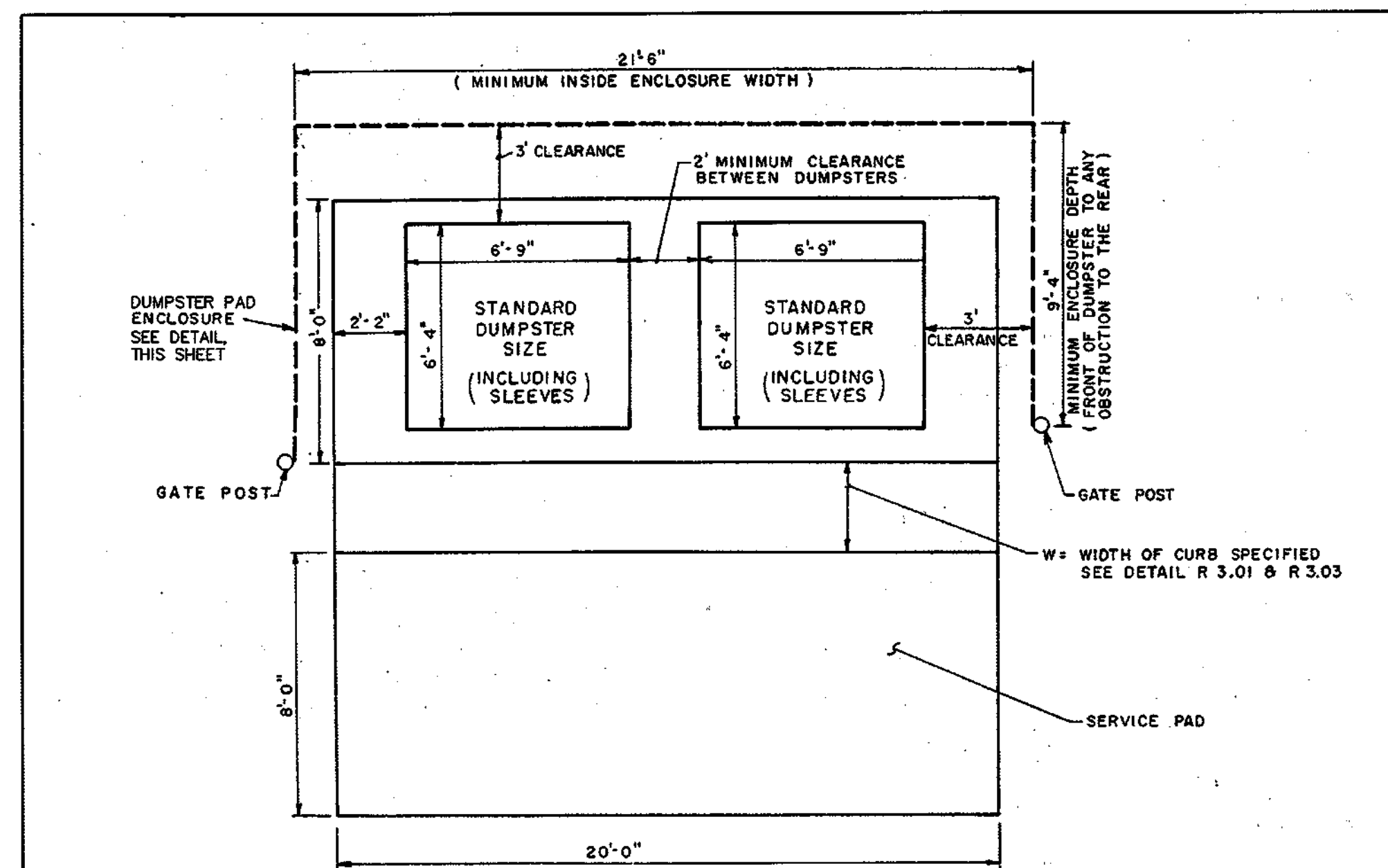


ELEVATION

REFERENCE HOWARD COUNTY STD. DETAIL #R-11.02/.03, FOR MINIMUM CONSTRUCTION STANDARDS.

DUMPSTER PAD ENCLOSURE

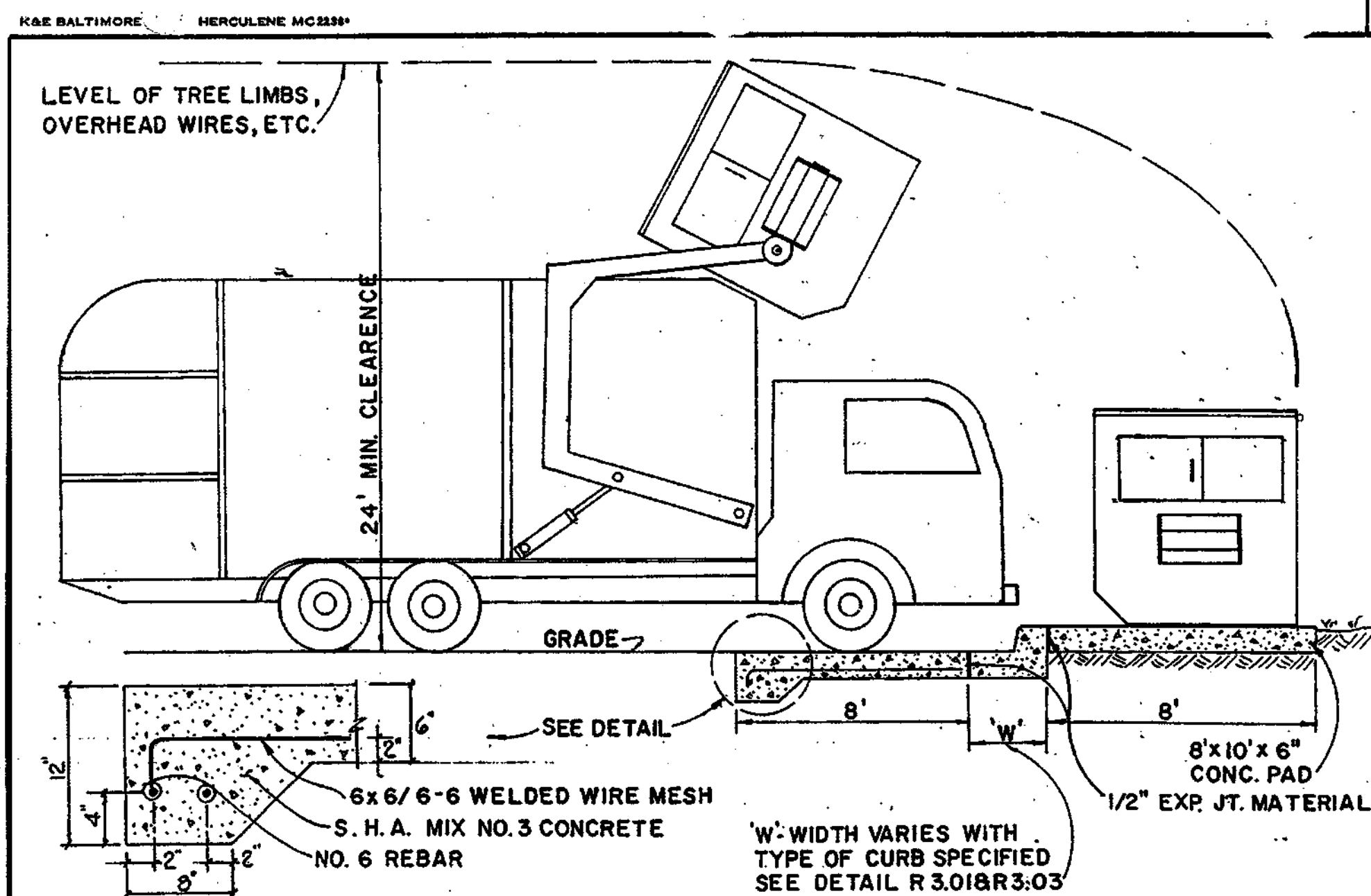
NOT TO SCALE



HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved *[Signature]* 10/31/00
Chief-Bur. of Engr. Date

SOLID WASTE
OPTIONAL DOUBLE
CONTAINER ENCLOSURE

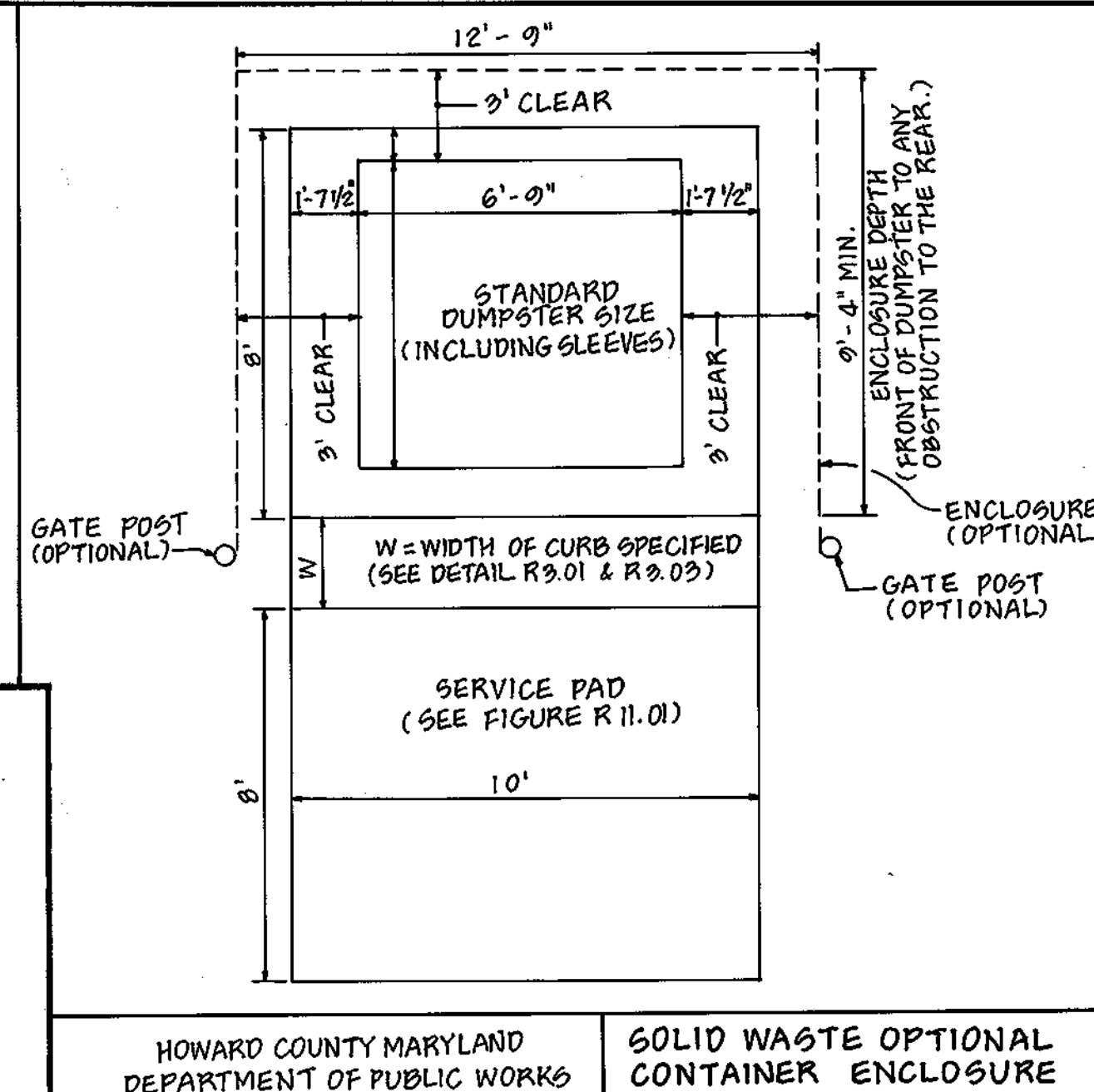
10-25-90
DRAWN BY:
CHECKED BY:
SCALE:
NONE
R11.03



HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved *[Signature]* 7/6/03
Chief-Bur. of Engr. Date

SOLID WASTE SERVICE PAD

R11.01



HOWARD COUNTY MARYLAND
DEPARTMENT OF PUBLIC WORKS

SOLID WASTE OPTIONAL
CONTAINER ENCLOSURE

OWNER/DEVELOPER
COLUMBIA PALACE LIMITED PARTNERSHIP
17 W. PENNSYLVANIA AVE.
TOWSON, MARYLAND 21204-5016
DEED REFERENCE = 1435/257
DEED REFERENCE = 1389/337

DATE	NO.	REVISIONS
5/1/03	1	REVISED PARKING AT REAR OF PROP. BLDG. #2 AND ADJUSTED REAR LOADING AREA AND BLDG. FOR BLDG. #1

SITE DETAILS & NOTES

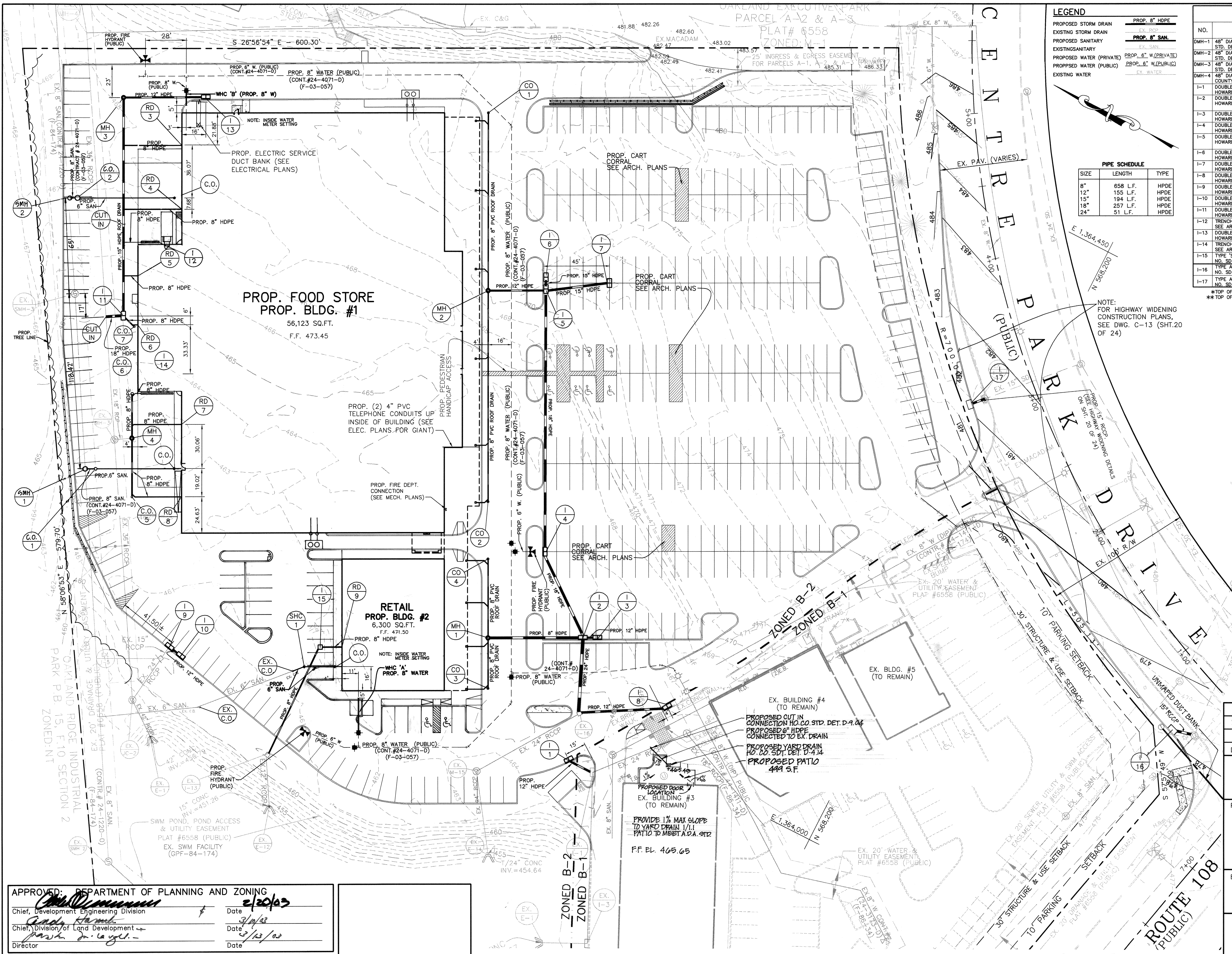
PROJECT TITLE:
**OAKLAND EXECUTIVE PARK
PARCEL A-1
8805 CENTRE PARK DRIVE
HOWARD COUNTY, MARYLAND**

ENGINEERS: **WHITNEY, BAILEY, COX & MAGNANI, LLC**
Consulting Engineers
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)

DESIGNED: D.M.B.	ELECTION DIST.: 2
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 1/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 30	C-4.1
GRID NO.: 1	
PARCEL NO.: 104	SHEET 6 OF 26

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division Date *2/20/03*
Chief, Division of Land Development Date *3/10/03*
Director Date *3/10/03*

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer Date *2-21-03*
Howard County Health Department



LEGEND

PROPOSED STORM DRAIN: EX. STORM
 EXISTING STORM DRAIN: EX. STORM
 PROPOSED SANITARY: EX. SAN
 EXISTING SANITARY: EX. SAN
 PROPOSED WATER (PRIVATE): EX. WATER
 PROPOSED WATER (PUBLIC): EX. WATER
 EXISTING WATER: EX. WATER

PROP. 8" HDPE

PROP. 8" SAN

PROP. 8" W. (PRIVATE)

PROP. 8" W. (PUBLIC)

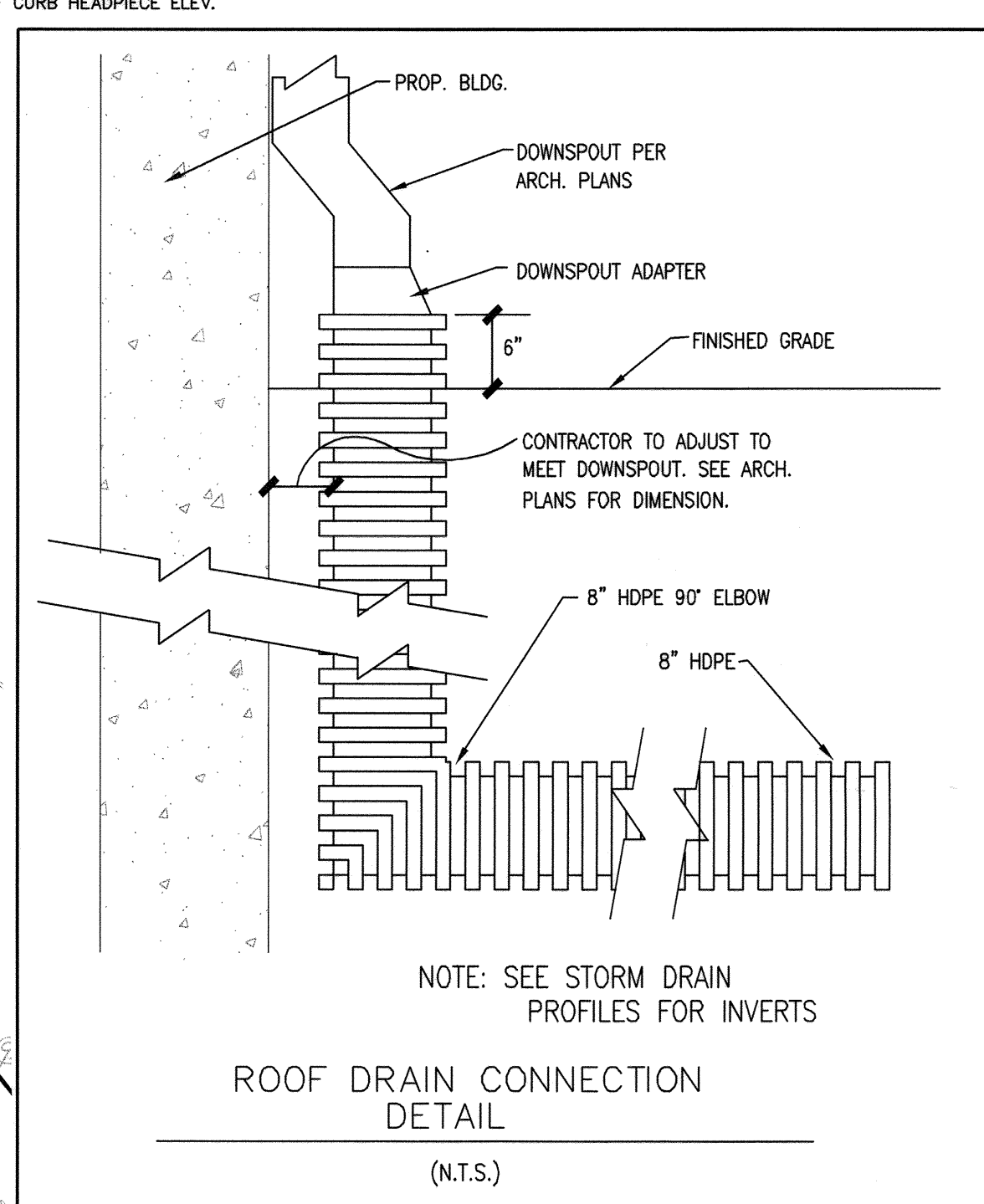
PIPE SCHEDULE

SIZE	LENGTH	TYPE
8"	658 L.F.	HDPE
12"	155 L.F.	HDPE
15"	194 L.F.	HDPE
18"	257 L.F.	HDPE
24"	51 L.F.	HDPE

STORM DRAINAGE STRUCTURE SCHEDULE

NO.	DESCRIPTION	COORDINATES	TOP	INVERT	INVERT
		NORTHING	EASTING	IN	OUT
DMH-1	48" DIAMETER PRECAST MANHOLE, SEE HOWARD COUNTY STD. DETAIL NO. G 5.12	N. 568458.8619	E. 1364023.1985	470.40	467.12
DMH-2	48" DIAMETER PRECAST MANHOLE, SEE HOWARD COUNTY STD. DETAIL NO. G 5.12	N. 568586.2733	E. 1364234.4975	472.89	467.95
DMH-3	48" DIAMETER PRECAST MANHOLE, SEE HOWARD COUNTY STD. DETAIL NO. G 5.12	N. 568848.7604	E. 1364238.4775	470.25	466.16
DMH-4	48" DIAMETER SHALLOW PRECAST MANHOLE, SEE HOWARD COUNTY STD. DETAIL NO. G 5.12	N. 568738.3443	E. 1364034.5293	469.59	464.20
I-1	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568370.9990	E. 1363973.5993	465.75	462.00
I-2	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568400.4690	E. 1364051.7997	466.30	462.94
I-3	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568391.5550	E. 1364056.3316	466.30	463.60
I-4	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568451.7386	E. 1364093.0377	470.00	463.90
I-5	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568532.4104	E. 1364251.7187	471.90	465.65
I-6	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568536.9688	E. 1364260.7310	471.90	468.44
I-7	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568495.8975	E. 1364275.8849	472.76	469.37
I-8	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568327.2530	E. 1364036.2834	466.65	462.65
I-9	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568651.0814	E. 1363918.4873	467.00	453.39
I-10	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568641.2008	E. 1363916.3387	467.00	454.39
I-11	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568781.5472	E. 1364106.2896	467.25	463.99
I-12	TRENCH DRAIN SEE ARCH. PLANS OF GIANT FOODS FOR DETAILS	N. 568798.6026	E. 1364166.9009	469.12	465.94
I-13	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568797.9383	E. 1364262.9212	469.00	467.00
I-14	TRENCH DRAIN SEE ARCH. PLANS OF GIANT FOODS FOR DETAILS	N. 568751.9370	E. 1364075.1561	469.12	466.40
I-15	TYPE "S" INLET, SEE HOWARD CO. STD. DETAIL NO. SD 4.22	N. 568558.4625	E. 1363965.6029	471.00	465.36
I-16	TYPE "S" INLET, SEE HOWARD CO. STD. DETAIL NO. SD 4.01 (2'-6" WIDTH)	N. 568000.5781	E. 1364173.3759	478.62	470.79
I-17	TYPE A-10 INLET, SEE HOWARD CO. STD. DETAIL NO. SD 4.02 (2'-6" WIDTH)	N. 568235.8146	E. 1364315.9792	481.67	477.96

*TOP OF GRADE ELEV.
 **TOP OF CURB HEADSPEICE ELEV.



OWNER/DEVELOPER
 COLUMBIA PALACE LIMITED PARTNERSHIP
 17 W. PENNSYLVANIA AVE.
 TOWSON, MARYLAND 21204-5016
 DEED REFERENCE = 1435/257
 DEED REFERENCE = 1389/337

DATE	NO.	REVISIONS
03/3/2011	3	ADDED ASBESTOS PATIO TO BLDG #3. ADDED YARD DRAIN TO DRAIN PATIO COURTYARD. (MAGNANI & PHILLIPS DESIGN ASSOC. INC.)
11/03/04	2	REVISED LOCATION OF I-16
5/11/03	1	REVISED PARKING AT REAR OF PROP. BLDG. #2 AND ADJUSTED REAR LOADING AREA AND BLDG. FOR BLDG. #1

UTILITY PLAN

PROJECT TITLE:
**OAKLAND EXECUTIVE PARK
 PARCEL A-1
 8805 CENTRE PARK DRIVE
 HOWARD COUNTY, MARYLAND**

ENGINEERS:
 Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.M.B.	ELECTION DIST.: 2
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 1/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 30	C-5
GRID NO.: 1	
PARCEL NO.: 104	SHEET 7 OF 26

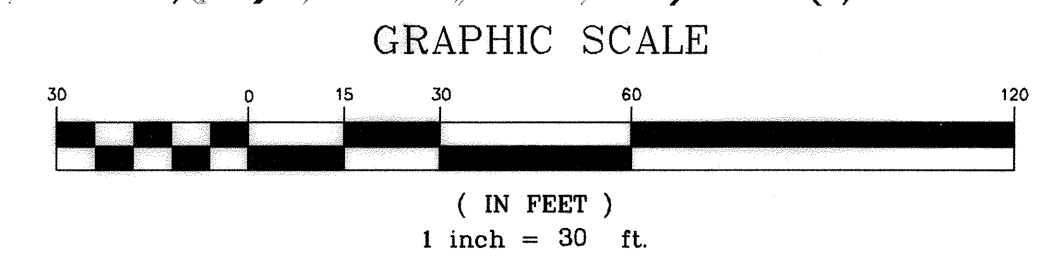
1/20/03

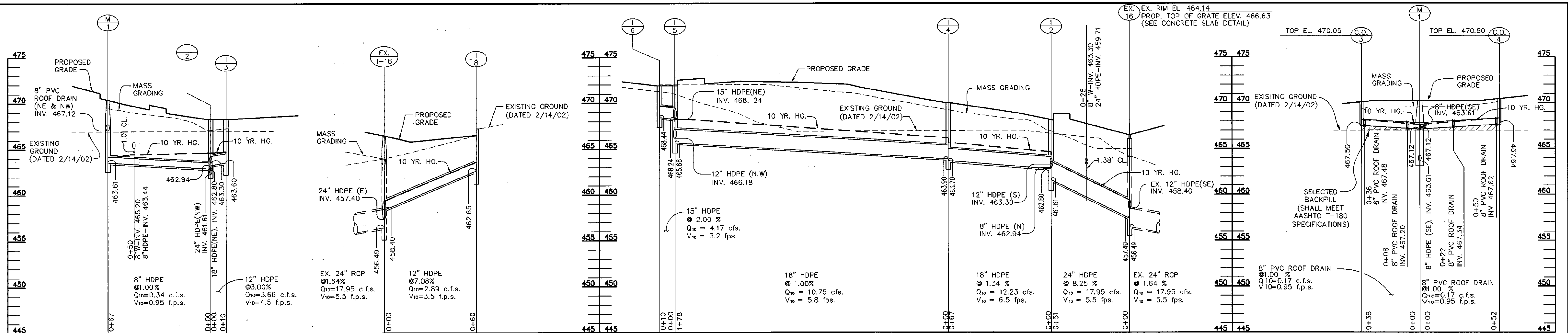
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

Date: 2/20/03
 Date: 2/19/03
 Date: 2/13/03

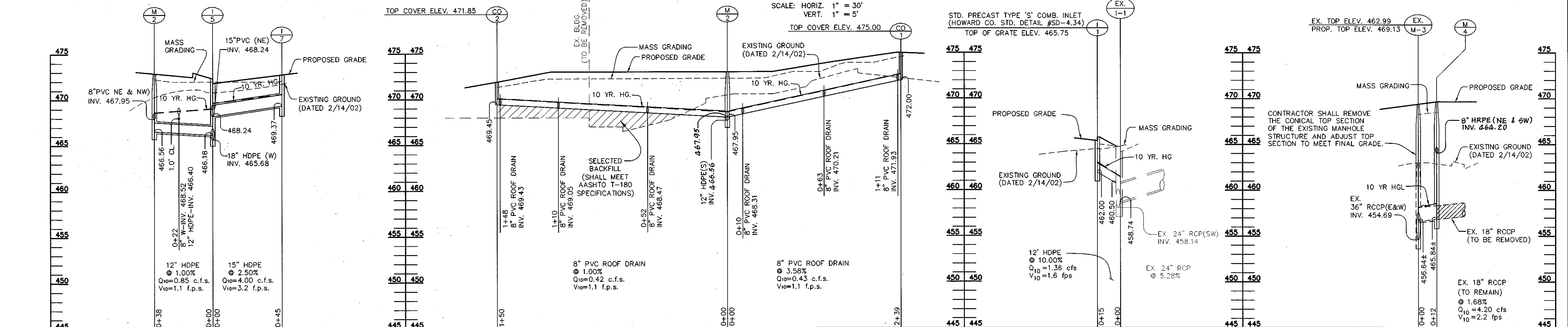
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer
 Howard County Health Department

Date: 2-21-03



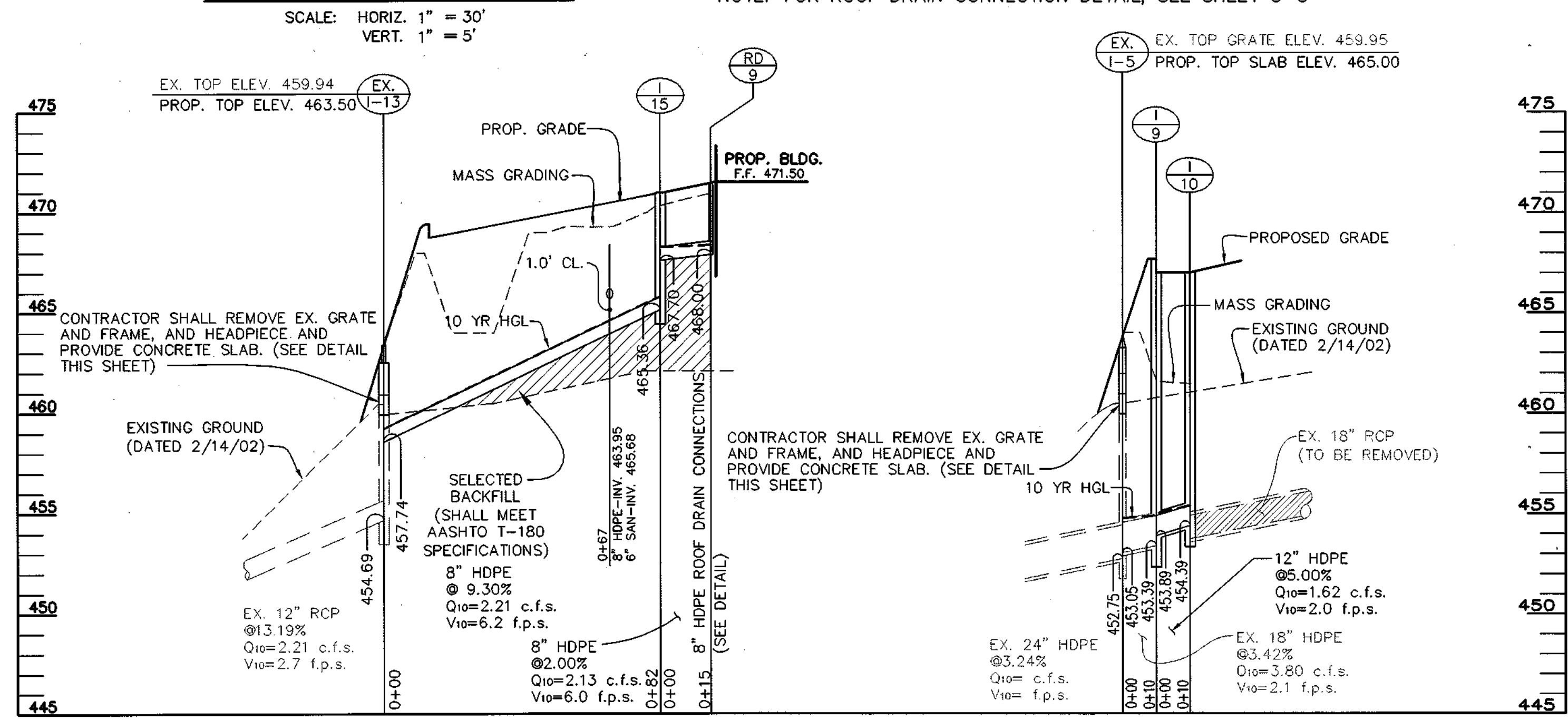


STORM DRAIN PROFILES



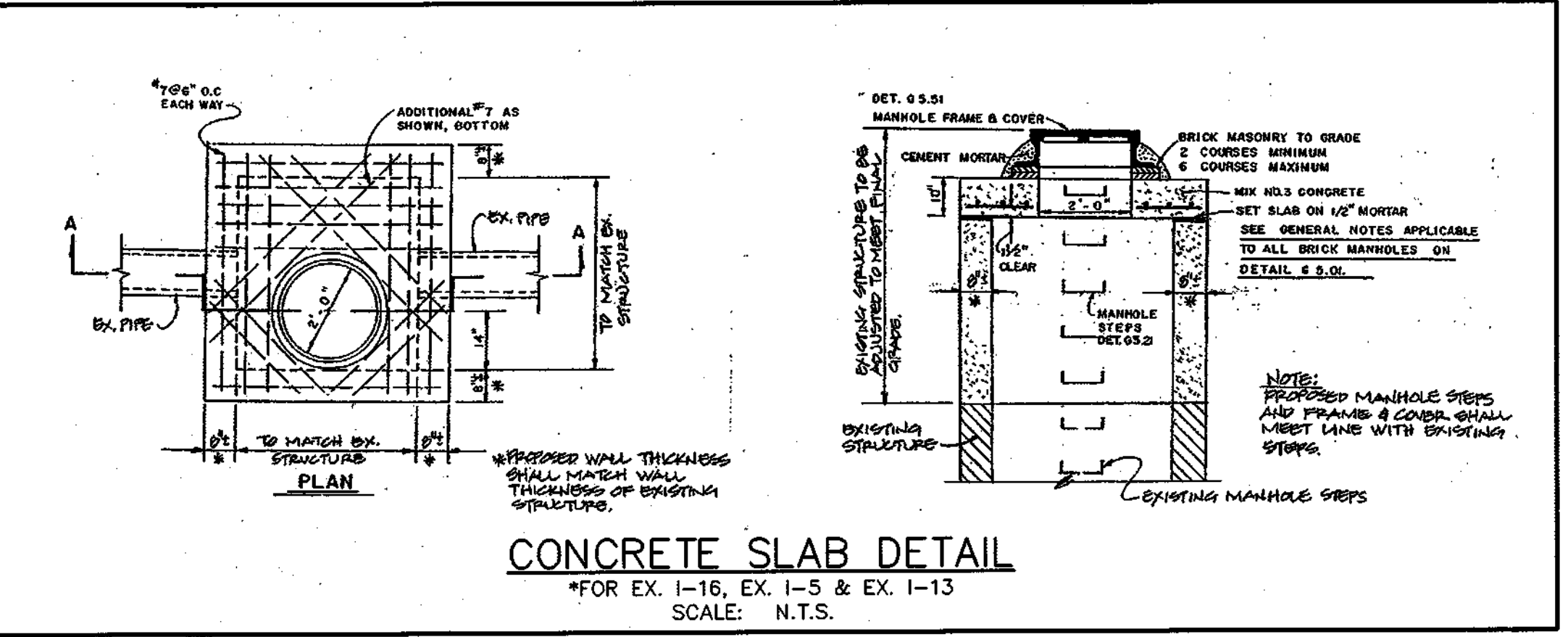
STORM DRAIN PROFILES

NOTE: FOR ROOF DRAIN CONNECTION DETAIL, SEE SHEET C-5



STORM DRAIN PROFILES

SCALE: HORIZ. 1" = 30'
VERT. 1" = 5'



CONCRETE SLAB DETAIL

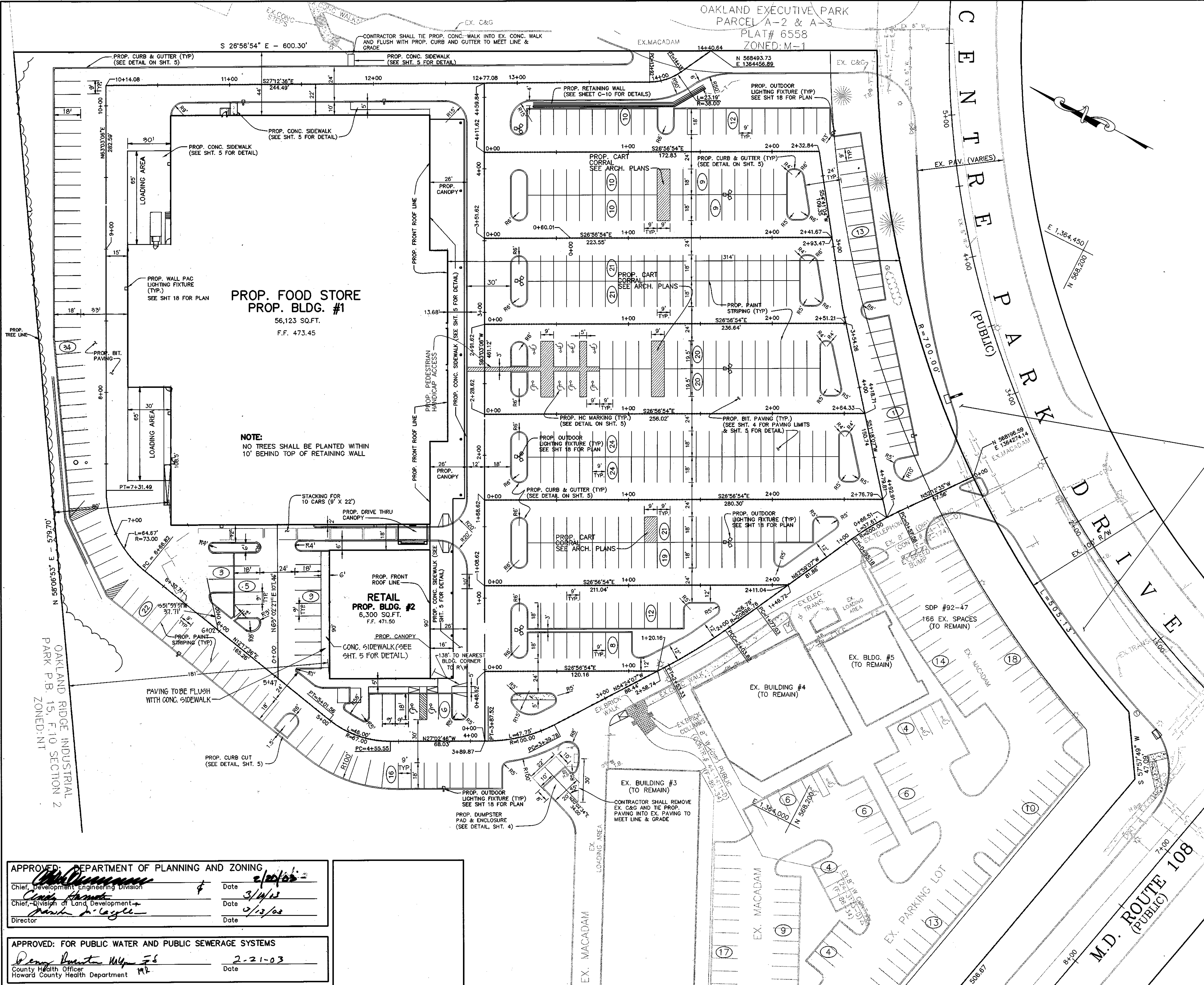
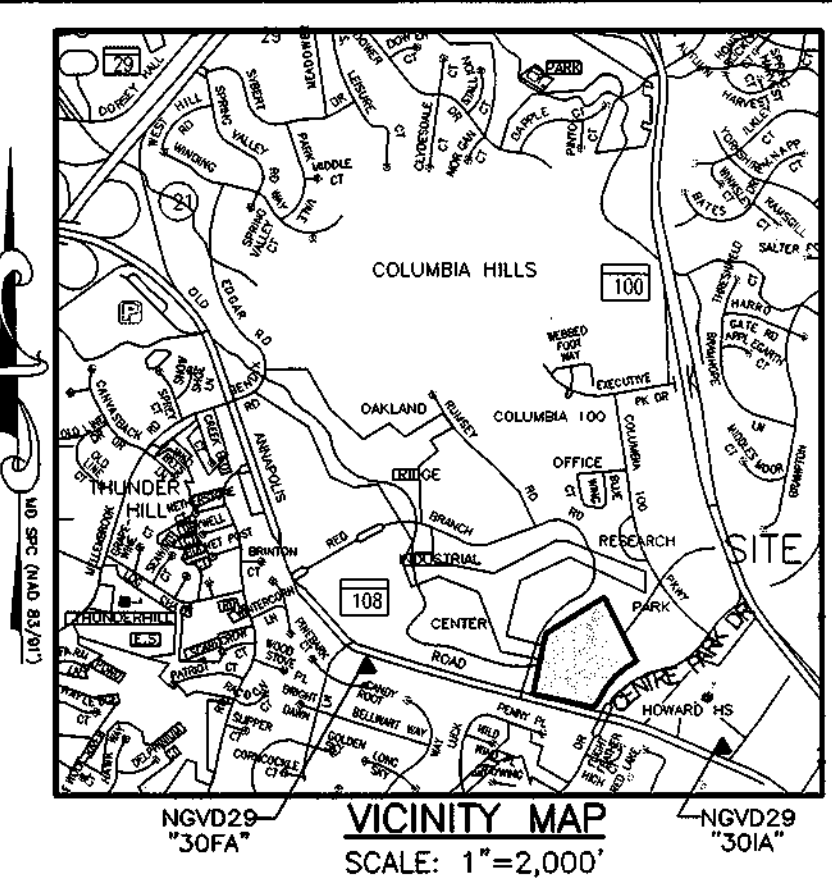
*FOR EX. I-16, EX. I-5 & EX. I-13
SCALE: N.T.S.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: *[Signature]* Date: 2/20/03
 Chief, Division of Land Development: *[Signature]* Date: 3/10/03
 Director: *[Signature]* Date: 3/13/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer: *[Signature]* Date: 2-21-03
 Howard County Health Department

5/1/03	1	REVISED PARKING AT REAR OF PROP. BLDG. #2 AND ADJUSTED REAR LOADING AREA AND BLDG. FOR BLDG. #1.
DATE	NO.	REVISIONS
UTILITY PROFILES		
PROJECT TITLE: OAKLAND EXECUTIVE PARK PARCEL A-1 8805 CENTRE PARK DRIVE HOWARD COUNTY, MARYLAND		
ENGINEERS:	Consulting Engineers 849 Fairmount Avenue (410) 512-4500 Baltimore, Maryland 21286 (410) 324-4100 (FAX) WHITNEY, BAILEY, COX & MAGNANI, LLC	
DESIGNED: D.M.B.	ELECTION DIST.:	2
DRAWN: D.M.B.	CENSUS TRACT #:	6023.02
CHECKED: D.M.B.	WATER CODE:	G-07
DATE: 1/9/03	SEWER CODE:	56574000
SCALE: AS SHOWN	DRAWING NO.:	
MAP NO.: 30	C-5.1	
GRID NO.: 1	PARCEL NO.:	104
1/20/03		

OAKLAND EXECUTIVE PARK
 PARCEL A-2 & A-3
 PLAT# 6558
 ZONED: M-1

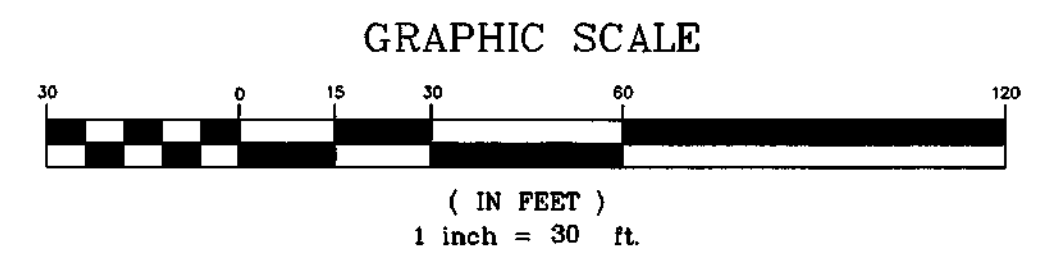


**PROP. FOOD STORE
 PROP. BLDG. #1**
 56,123 SQ.FT.
 F.F. 473.45

**RETAIL
 PROP. BLDG. #2**
 6,300 SQ.FT.
 F.F. 471.50

NOTE:
 NO TREES SHALL BE PLANTED WITHIN
 10' BEHIND TOP OF RETAINING WALL

NOTE: FOR HIGHWAY WIDENING
 CONSTRUCTION PLAN,
 SEE SHEET 20 OF 24.



OWNER/DEVELOPER
 COLUMBIA PALACE LIMITED PARTNERSHIP
 17 W. PENNSYLVANIA AVE.
 TOWSON, MARYLAND 21204-5016
 DEED REFERENCE = 1435/257
 DEED REFERENCE = 1389/337

5/1/03	1	REVISED PARKING AT REAR OF PROP. BLDG #2 AND ADJUSTED REAR LOADING AREA AND BLDG FOR BLDG #1
DATE	NO.	REVISIONS

GEOMETRY PLAN

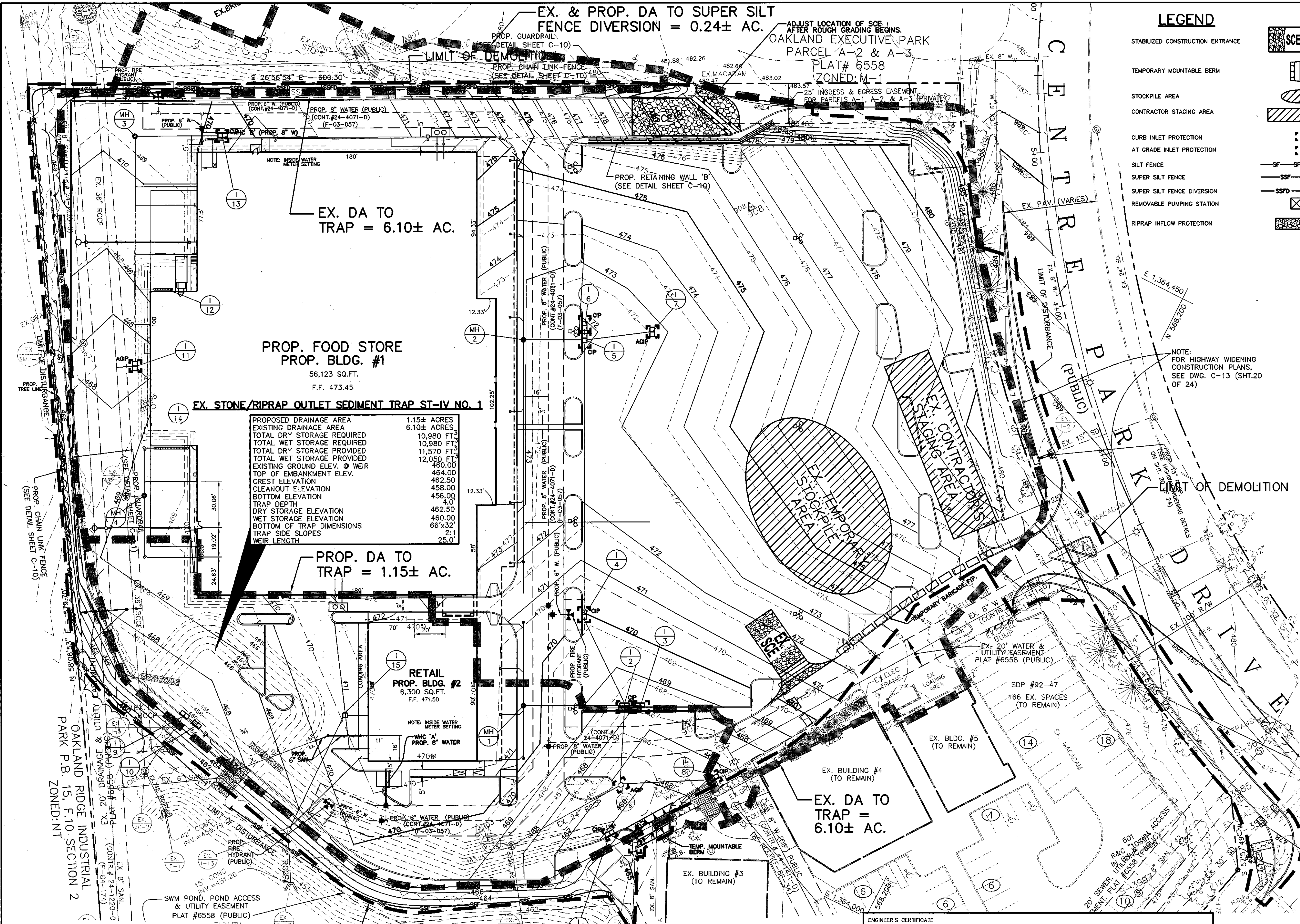
PROJECT TITLE:
 OAKLAND EXECUTIVE PARK
 PARCEL A-1
 8805 CENTRE PARK DRIVE
 HOWARD COUNTY, MARYLAND

ENGINEERS: Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
 WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.M.B.	ELECTION DIST.: 2
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 1/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 30	C-6
GRID NO.: 1	
PARCEL NO.: 104	SHEET 10 OF 26

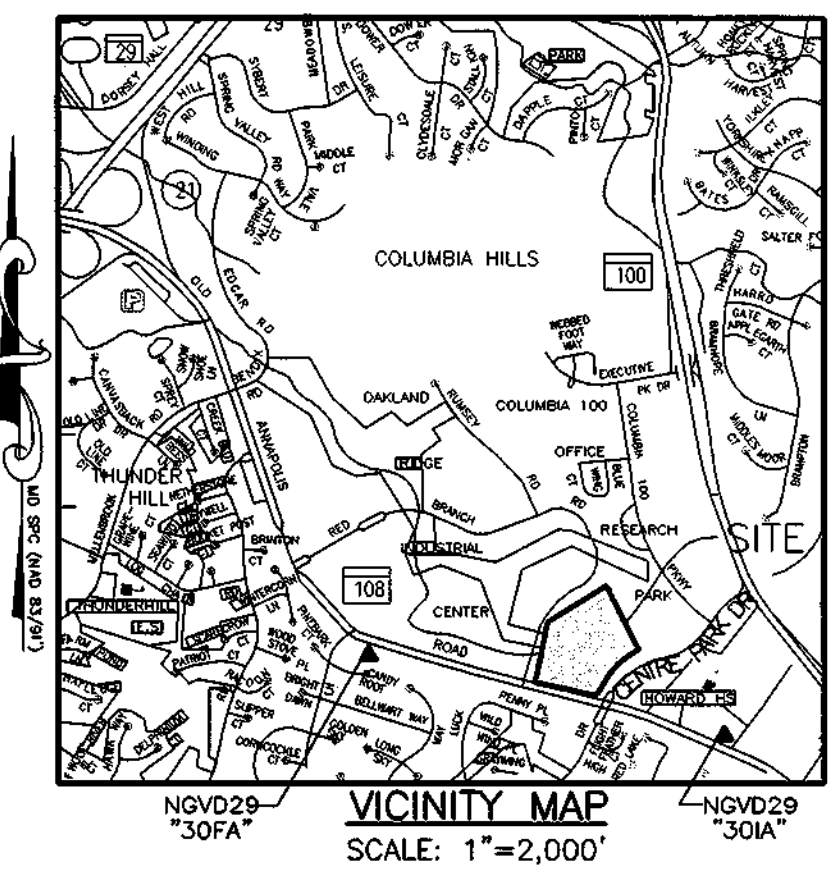
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division *[Signature]* Date *2/20/03*
 Chief, Division of Land Development *[Signature]* Date *3/11/03*
 Director *[Signature]* Date *3/13/03*

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
[Signature] Date *2-21-03*
 County Health Officer
 Howard County Health Department



LEGEND

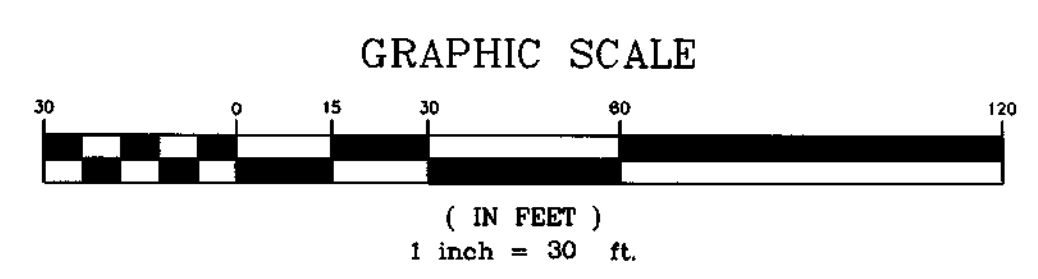
- STABILIZED CONSTRUCTION ENTRANCE
- TEMPORARY MOUNTABLE BERM
- STOCKPILE AREA
- CONTRACTOR STAGING AREA
- CURB INLET PROTECTION
- AT GRADE INLET PROTECTION
- SILT FENCE
- SUPER SILT FENCE
- SUPER SILT FENCE DIVERSION
- REMOVABLE PUMPING STATION
- RIPRAP INFLOW PROTECTION



NOTE:
FOR SEQUENCE OF CONSTRUCTION OF THE HIGHWAY WIDENING, SEE SHEET 20 OF 24.

NOTE:
CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE TO SEDIMENT TRAP AT ALL TIMES DURING CONSTRUCTION.

PROPOSED DRAINAGE AREA	1.15± ACRES
EXISTING DRAINAGE AREA	6.10± ACRES
TOTAL DRY STORAGE REQUIRED	10,980 FT ³
TOTAL WET STORAGE REQUIRED	10,980 FT ³
TOTAL DRY STORAGE PROVIDED	11,570 FT ³
TOTAL WET STORAGE PROVIDED	12,050 FT ³
EXISTING GROUND ELEV. @ WEIR	464.00
CREST ELEVATION	462.50
CLEANOUT ELEVATION	458.00
BOTTOM ELEVATION	456.00
TRAP DEPTH	4.0
DRY STORAGE ELEVATION	462.50
WET STORAGE ELEVATION	460.00
BOTTOM OF TRAP DIMENSIONS	66' x 32'
TRAP SIDE SLOPES	2:1
WEIR LENGTH	25.0'



OWNER/DEVELOPER
COLUMBIA PALACE LIMITED PARTNERSHIP
17 W. PENNSYLVANIA AVE.
TOWSON, MARYLAND 21204-5016
DEED REFERENCE = 1435/257
DEED REFERENCE = 1389/337

DATE	NO.	REVISIONS
5/1/03	1	REVISED PARKING AT REAR OF PROP. BLDG. #2 AND ADJUSTED REAR LOADING AREA AND BLDG. FOR BLDG. #1

SEDIMENT & EROSION CONTROL PLAN

PROJECT TITLE:
**OAKLAND EXECUTIVE PARK
PARCEL A-1
8805 CENTRE PARK DRIVE
HOWARD COUNTY, MARYLAND**

ENGINEERS: **WHITNEY, BAILEY, COX & MAGNANI, LLC**
Consulting Engineers
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)

DESIGNED: D.M.B.	ELECTION DIST.: 2
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 1/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO: C-7
MAP NO.: 30	GRID NO.: 1
PARCEL NO.: 104	SHEET 11 OF 26

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division Date: 2/20/03
Chief, Division of Land Development Date: 3/10/03
Director Date: 3/13/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer Date: 2-21-03
Howard County Health Department

Reviewed for Howard SCD and meets Technical Requirements
USDA Natural Resource Conservation Service Date: 2/10/03
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John R. Robertson Date: 2/13/03
Howard SCD

ENGINEER'S CERTIFICATE
"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Signature (print name below signature) Date: 1/10/03
Philip Lee
DEVELOPER'S CERTIFICATE
"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project." I also authorize specific on-site inspection by the Howard Soil Conservation District.
Signature (print name below signature) Date: 1/22/03
Christopher J. Novak
Print name

SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS
A. SITE PREPARATION
1. INSTALL EROSION AND SEDIMENT CONTROL STRUCTURES (EITHER TEMPORARY OR PERMANENT) SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, BERMS, BERMWAYS, OR SEDIMENT CONTROL BASINS.

SECTION II - TOPSOIL MATERIALS AND APPLICATION
A. MATERIALS: TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY SILT LOAM, LOAMY SAND OR OTHER SOIL AS APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST. IT SHALL NOT HAVE A MIXTURE OF CONTRASTING TEXTURED SUBSOIL AND CONTAIN NO MORE THAN 8 PERCENT BY VOLUME OF COBBLES, STONES, SLAG, COARSE FRAGMENT, GRAVEL, STICKS, ROOTS, TRASH OR OTHER EXTRANEOUS MATERIALS LARGER THAN 1 1/2 INCHES IN DIAMETER.

SECTION III - TURFGRASS ESTABLISHMENT
AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. AREAS WHERE TURFGRASS IS NOT DESIRED SHALL BE TILLED BY DISKING OR OTHER APPROVED METHOD TO A DEPTH OF 2 TO 4 INCHES, LEVELED, AND RAKED TO PREPARE A PROPER SEEDBED.

TOPSOILING SPECIFICATIONS
SECTION I - SITE PREPARATION (WHERE TOPSOIL IS TO BE ADDED)
A. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, BERMS, DIKES, BERMWAYS AND SEDIMENT BASINS.

SECTION V - TURFGRASS ESTABLISHMENT
AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. AREAS WHERE TURFGRASS IS NOT DESIRED SHALL BE TILLED BY DISKING OR OTHER APPROVED METHOD TO A DEPTH OF 2 TO 4 INCHES, LEVELED, AND RAKED TO PREPARE A PROPER SEEDBED.

SECTION II - TOPSOIL MATERIALS AND APPLICATION
NOTE: TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED BUT IT SHOULD MEET THE SAME STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. THE DEPTH OF TOPSOIL TO BE SALVAGED SHALL BE NO MORE THAN THE DEPTH DESCRIBED AS A REPRESENTATIVE PROFILE FOR THAT PARTICULAR SOIL TYPE AS DESCRIBED IN THE SOIL SURVEY PUBLISHED BY USDA-ARS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

SECTION IV - SOD
TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER)
A. GENERAL SPECIFICATIONS
1. CLASS OF TURFGRASS SHALL BE MARYLAND OR VIRGINIA STATE CERTIFIED OR APPROVED. SOD LABELS SHALL BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.

STANDARD SEDIMENT CONTROL NOTES
1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (313-1855).

PERMANENT SEEDING SUMMARY - TABLE 25
SEED MIXTURE (HARDINESS ZONE 7A) (FROM TABLE 25)
NO. SPECIES APPLICATION RATE (lb/1000 sq ft) DATES SEEDING DEPTHS

TEMPORARY SEEDING SUMMARY - TABLE 26
SEED MIXTURE (HARDINESS ZONE 7A) (FROM TABLE 26)
NO. SPECIES APPLICATION RATE (lb/1000 sq ft) DATES SEEDING DEPTHS

DUST CONTROL
Definition: Controlling dust blowing and movement on construction sites and roads.
Purpose: To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage, health hazards, and improve traffic safety.

SEQUENCE OF CONSTRUCTION
1. CONTRACTOR SHALL REPAIR AND/OR MAINTAIN EXISTING PERIMETER SEDIMENT CONTROLS. CONTROL DEVICES INCLUDE SUPER SILT FENCE DIVERSION, SILT FENCE AND SUPER SILT FENCE, MOUNTABLE BERM AND INLET PROTECTION ON EXISTING INLETS AS SHOWN ON PLANS.

OWNER/DEVELOPER
COLUMBIA PALACE LIMITED PARTNERSHIP
17 W. PENNSYLVANIA AVE.
TOWSON, MARYLAND 21204-5016
DEED REFERENCE = 1435/257
DEED REFERENCE = 1389/337

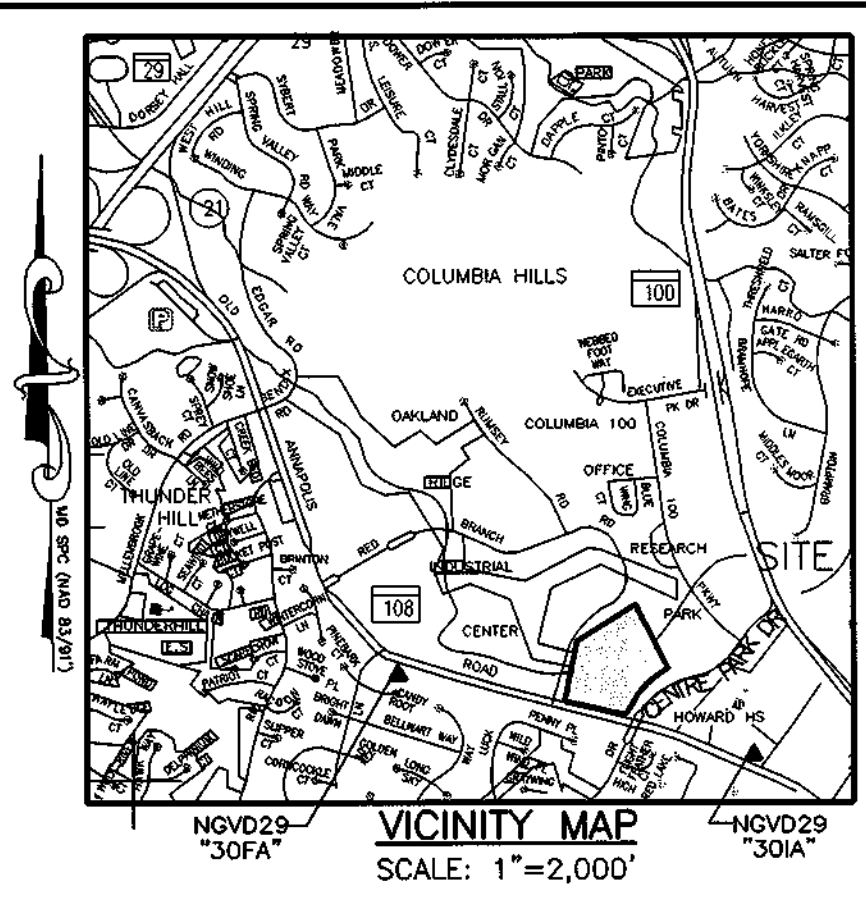
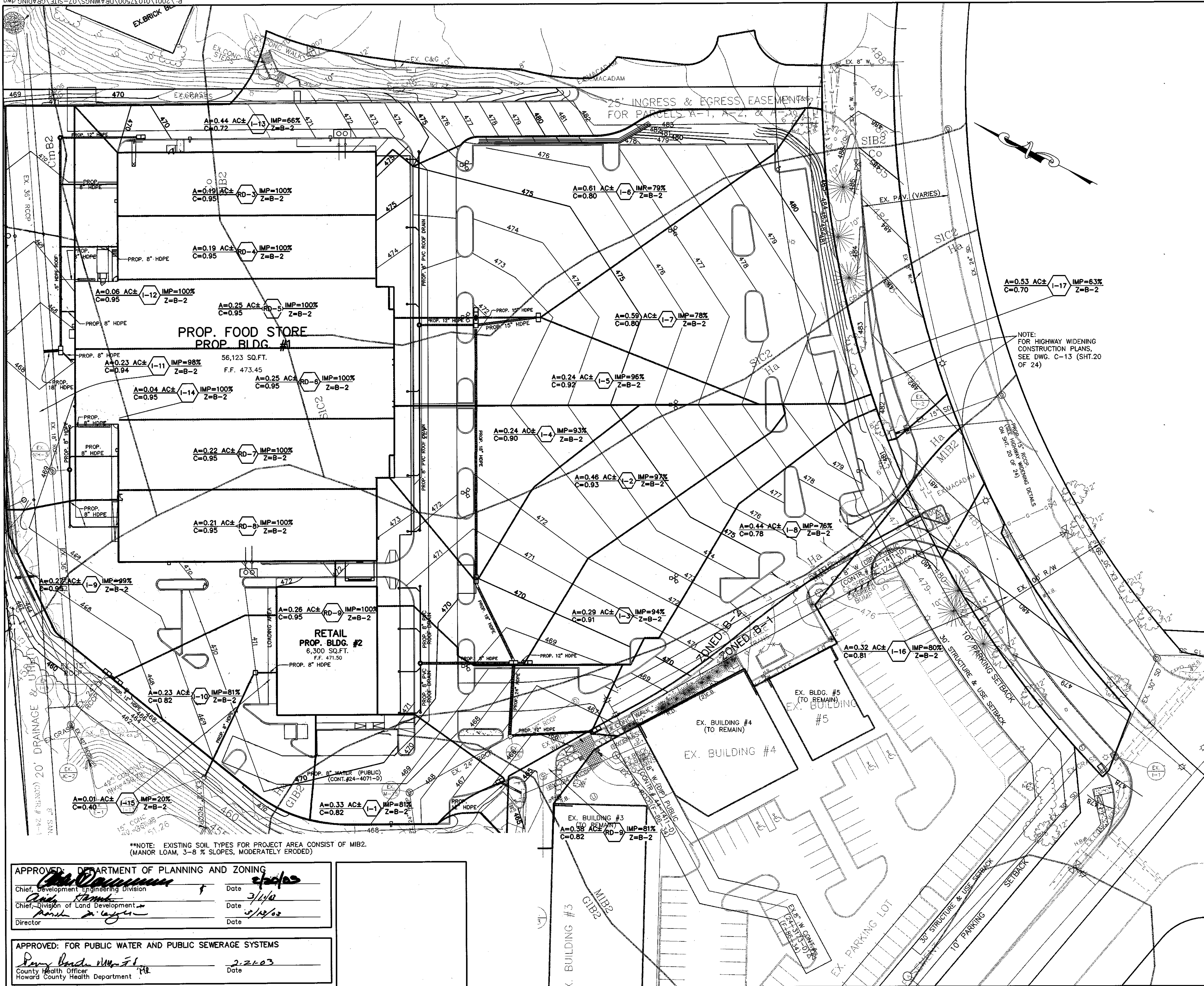
SEDIMENT & EROSION CONTROL NOTES
PROJECT TITLE: OAKLAND EXECUTIVE PARK
PARCEL A-1
8805 CENTRE PARK DRIVE
HOWARD COUNTY, MARYLAND

ENGINEER'S CERTIFICATE
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard County Conservation District.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer
Howard County Health Department

DESIGNED: D.M.B. ELECTION DIST: 2
DRAWN: D.M.B. CENSUS TRACT #: 6023.02
CHECKED: D.M.B. WATER CODE: G-07
DATE: 1/9/03 SEWER CODE: 56574000
SCALE: AS SHOWN DRAWING NO:
MAP NO.: 30
GRID NO.: 1
PARCEL NO.: 104 SHEET 13 OF 26
SDP-02-116



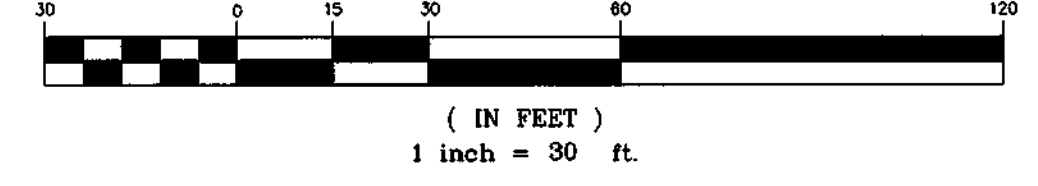
SOIL TYPES
 SIC2 - SASSAFRASS
 Ha - HATBORO
 GIB2 - GLENELG
 MIB2 - MANOR
 Be02 - BELTSVILLE
 CmB - CHILLUM
 CoCo - CODORUS

NOTE:
 FOR HIGHWAY WIDENING
 CONSTRUCTION PLANS,
 SEE DWG. C-13 (SHT.20
 OF 24)

LEGEND

SOIL LINE ——— Ha
 SIC2
 DRAINAGE AREA LIMITS - - - - -

GRAPHIC SCALE



OWNER/DEVELOPER

COLUMBIA PALACE LIMITED PARTNERSHIP
 17 W. PENNSYLVANIA AVE.
 TOWSON, MARYLAND 21204-5016
 DEED REFERENCE = 1435/257
 DEED REFERENCE = 1389/337

5/1/03	1	REVISED PARKING AT REAR OF PROP. BLDG #2 AND ADJUSTED REAR LOADING AREA AND BLDG FOR BLDG #1
DATE	NO.	REVISIONS

DRAINAGE AREA MAP FOR STORM DRAINS

PROJECT TITLE:
**OAKLAND EXECUTIVE PARK
 PARCEL A-1
 8805 CENTRE PARK DRIVE
 HOWARD COUNTY, MARYLAND**

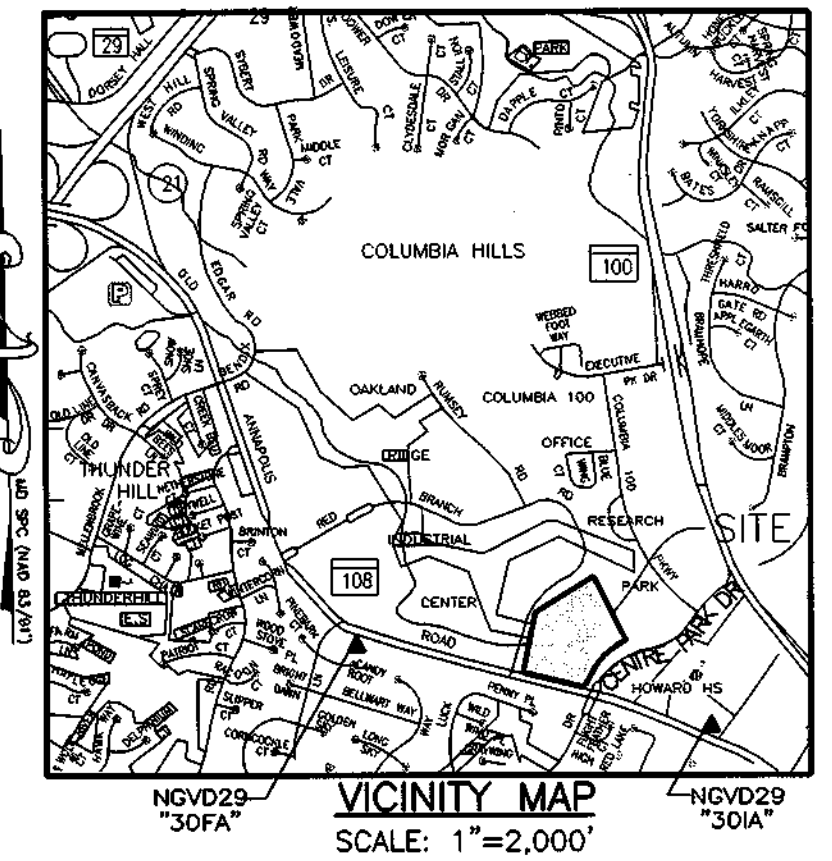
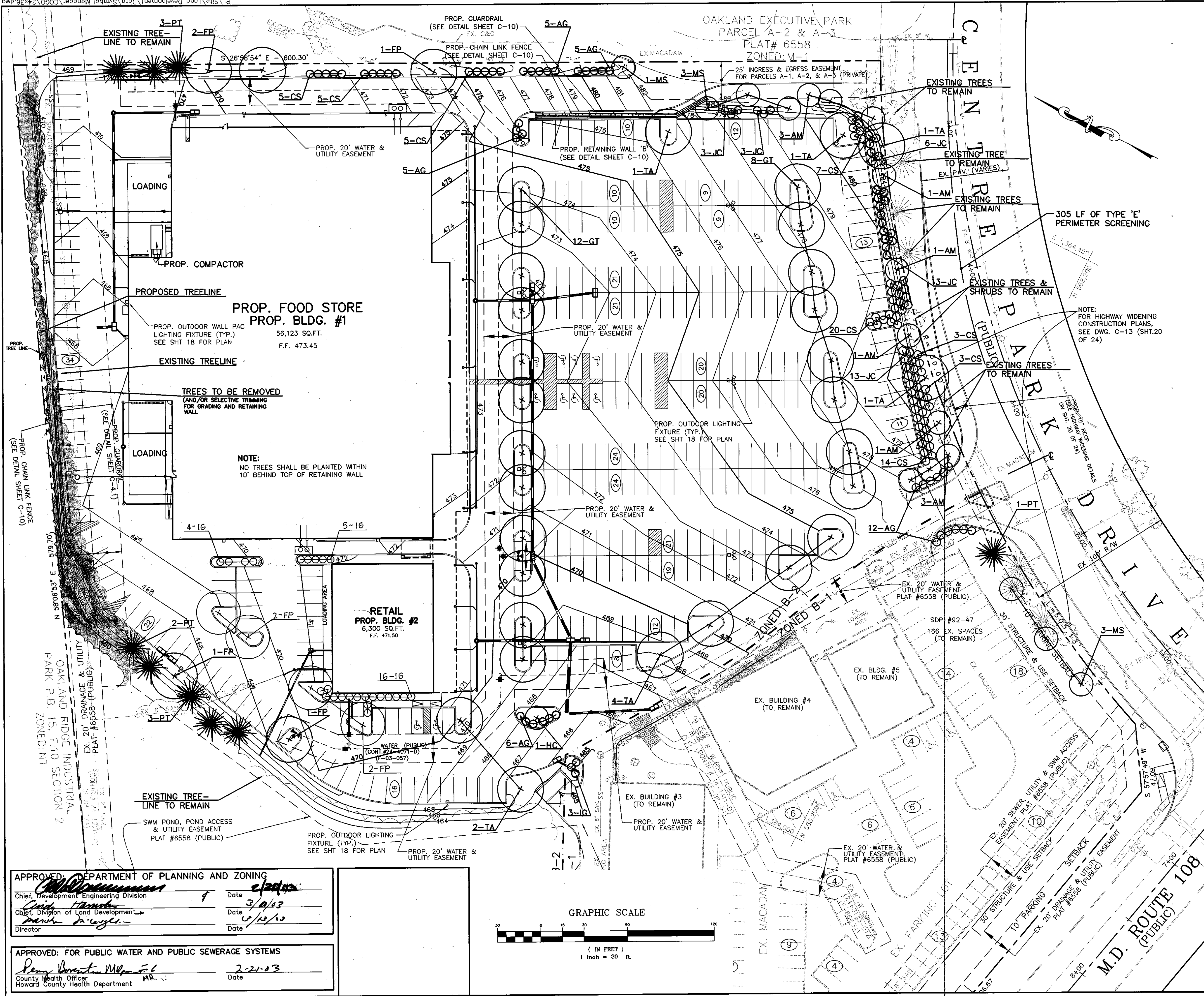
ENGINEERS: **WR** Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
 WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.M.B.	ELECTION DIST: 2
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 1/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 30	C-8
GRID NO.: 1	
PARCEL NO.: 104	SHEET 14 OF 26

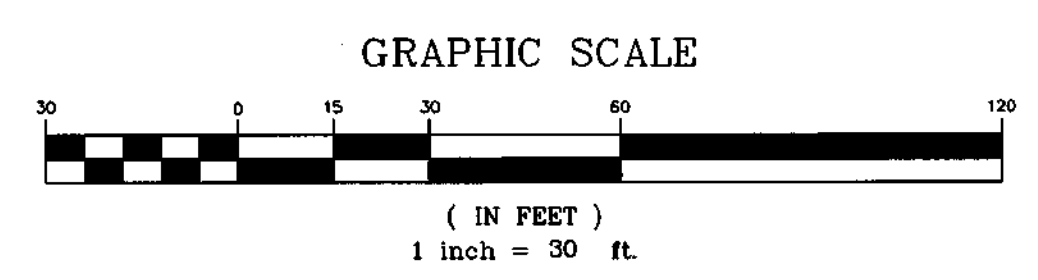
**NOTE: EXISTING SOIL TYPES FOR PROJECT AREA CONSIST OF MIB2.
 (MANOR LOAM, 3-8 % SLOPES, MODERATELY ERODED)

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date: 2/24/03
 Chief, Division of Land Development Date: 3/1/03
 Director Date: 5/13/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer Date: 2-2-03
 Howard County Health Department



PLANTING LEGEND	
PERENNIALS	
SHRUBS	
MINOR DECIDUOUS/ SMALL FLOWERING TREE	
SHADE TREE	
EVERGREEN TREE	
EX. TREES TO REMAIN	
EXISTING TREE/TREES	



OWNER/DEVELOPER
 COLUMBIA PALACE LIMITED PARTNERSHIP
 17 W. PENNSYLVANIA AVE.
 TOWSON, MARYLAND 21204-5016
 DEED REFERENCE = 1435/257
 DEED REFERENCE = 1389/337

DATE	NO.	REVISIONS
5/1/03	1	REVISED PARKING AT REAR OF PROP. BLDG #2 AND ADJUSTED REAR LOADING AREA AND BLDG FOR BLDG #1

LANDSCAPE PLAN

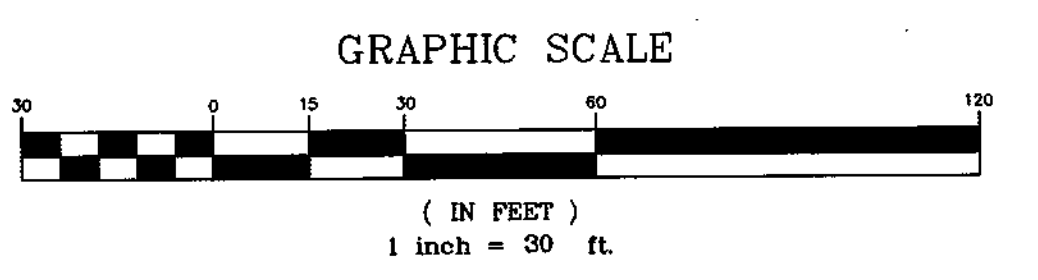
PROJECT TITLE:
**OAKLAND EXECUTIVE PARK
 PARCEL A-1
 8805 CENTRE PARK DRIVE
 HOWARD COUNTY, MARYLAND**

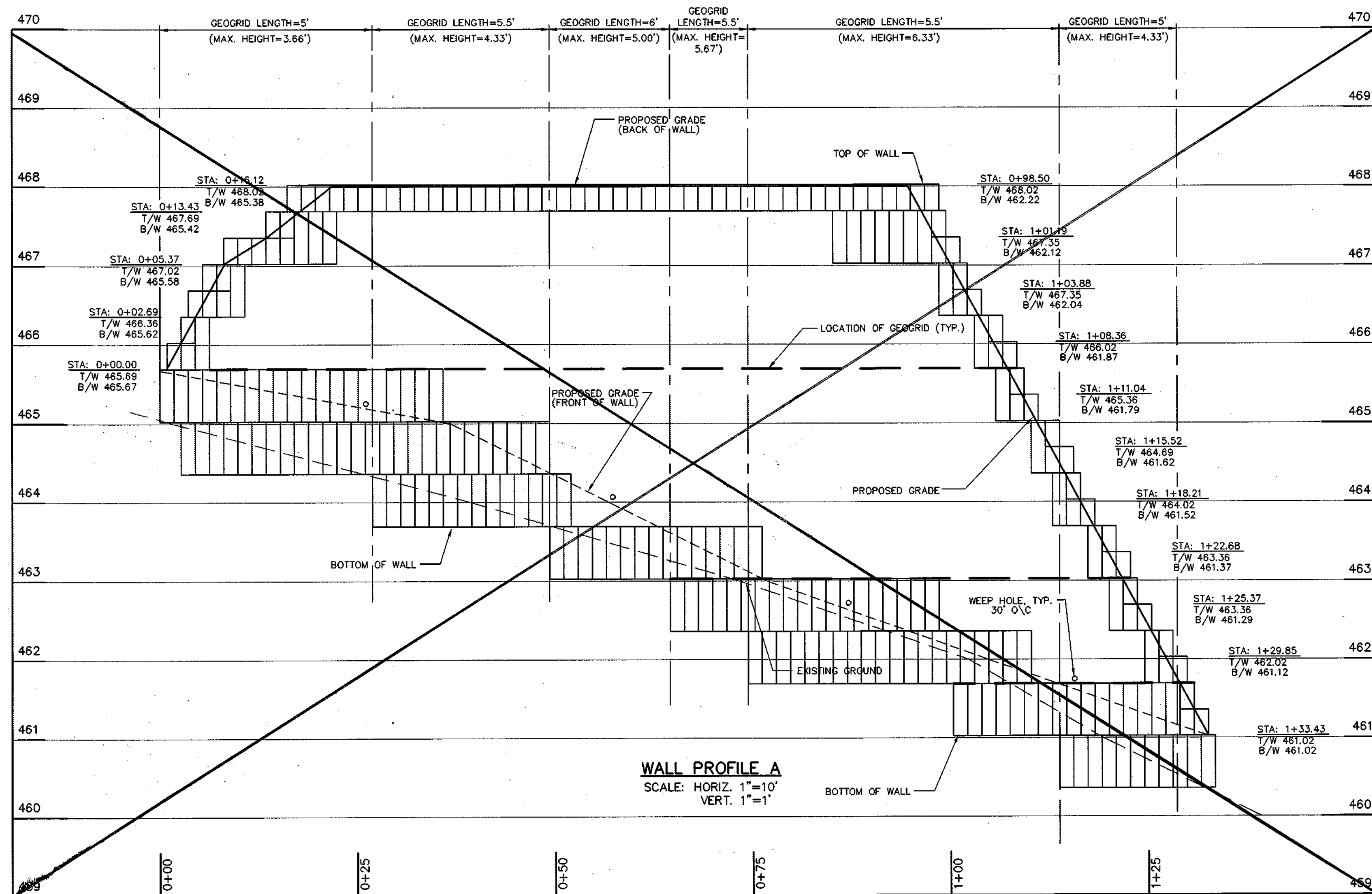
ENGINEERS: Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.M.B.	ELECTION DIST.: 2
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 1/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO: C-9
MAP NO.: 30	
GRID NO.: 1	
PARCEL NO.: 104	SHEET 15 OF 26

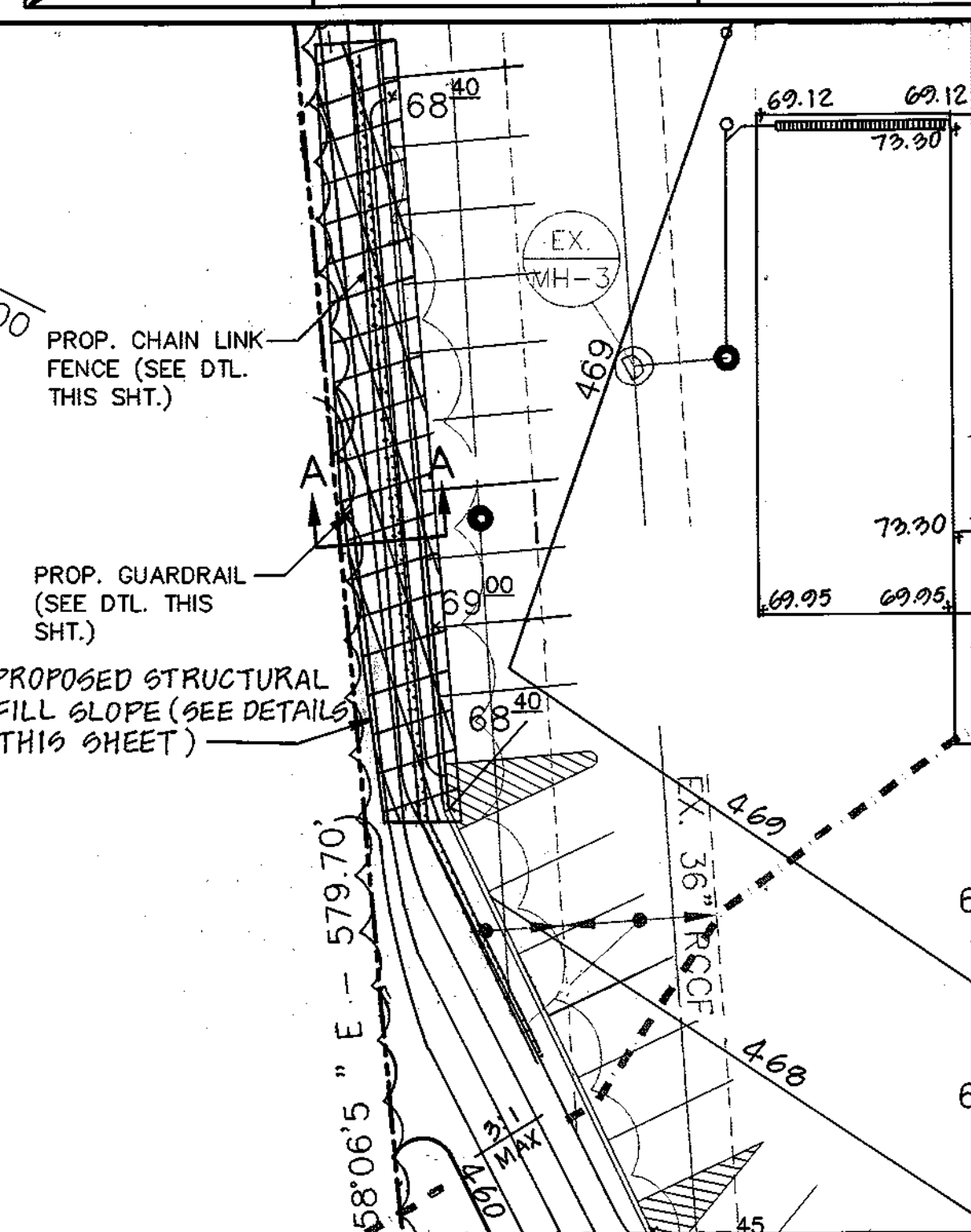
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date: 2/20/03
 Chief, Division of Land Development Date: 3/11/03
 Director Date: 5/13/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer Date: 2-21-03
 Howard County Health Department

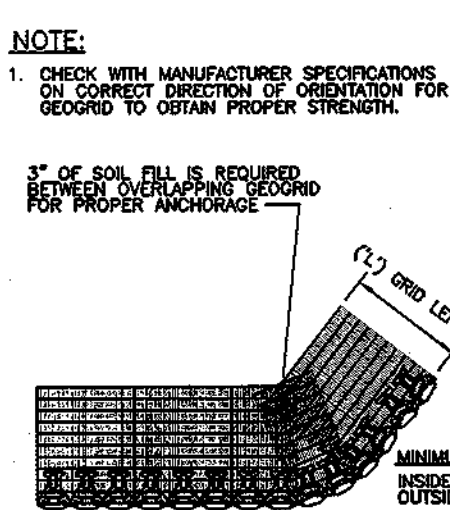




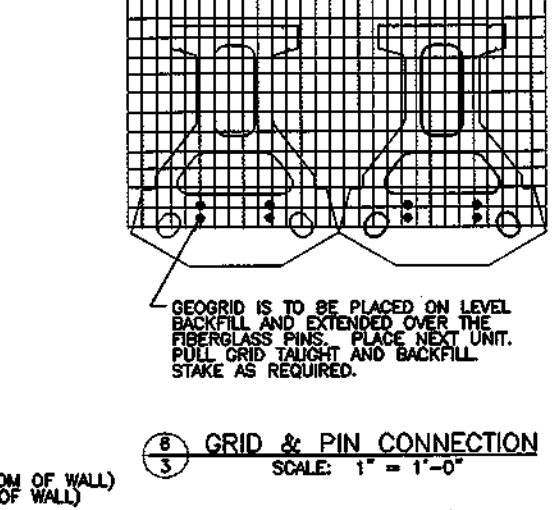
WALL PROFILE A
SCALE: HORIZ. 1"=10'
VERT. 1"=1'



PLAN-WALL A
SCALE: 1"=20'



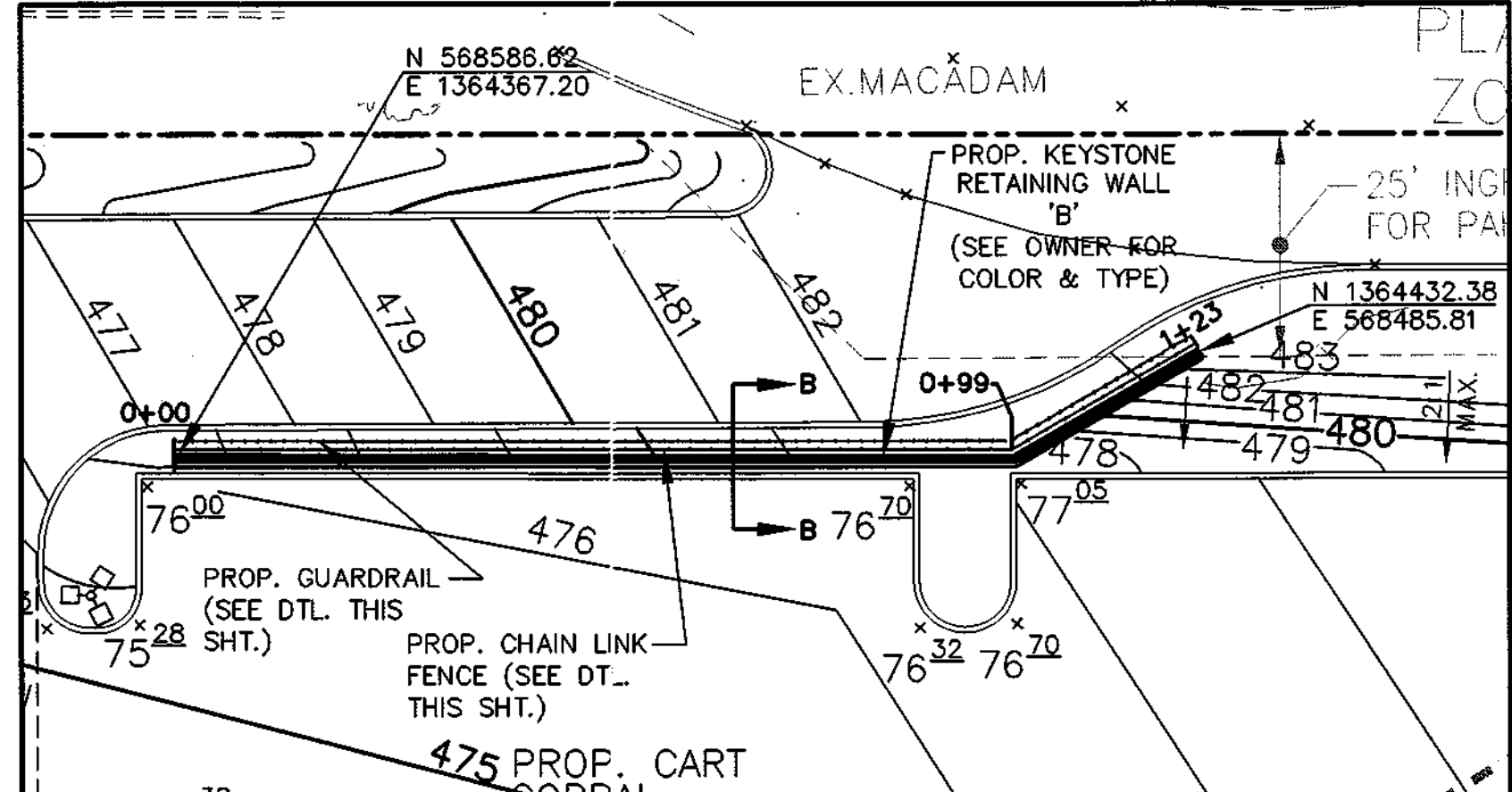
3 GEGRID INSTALLATION ON CURVES
SCALE: 5/8" = 1'-0"



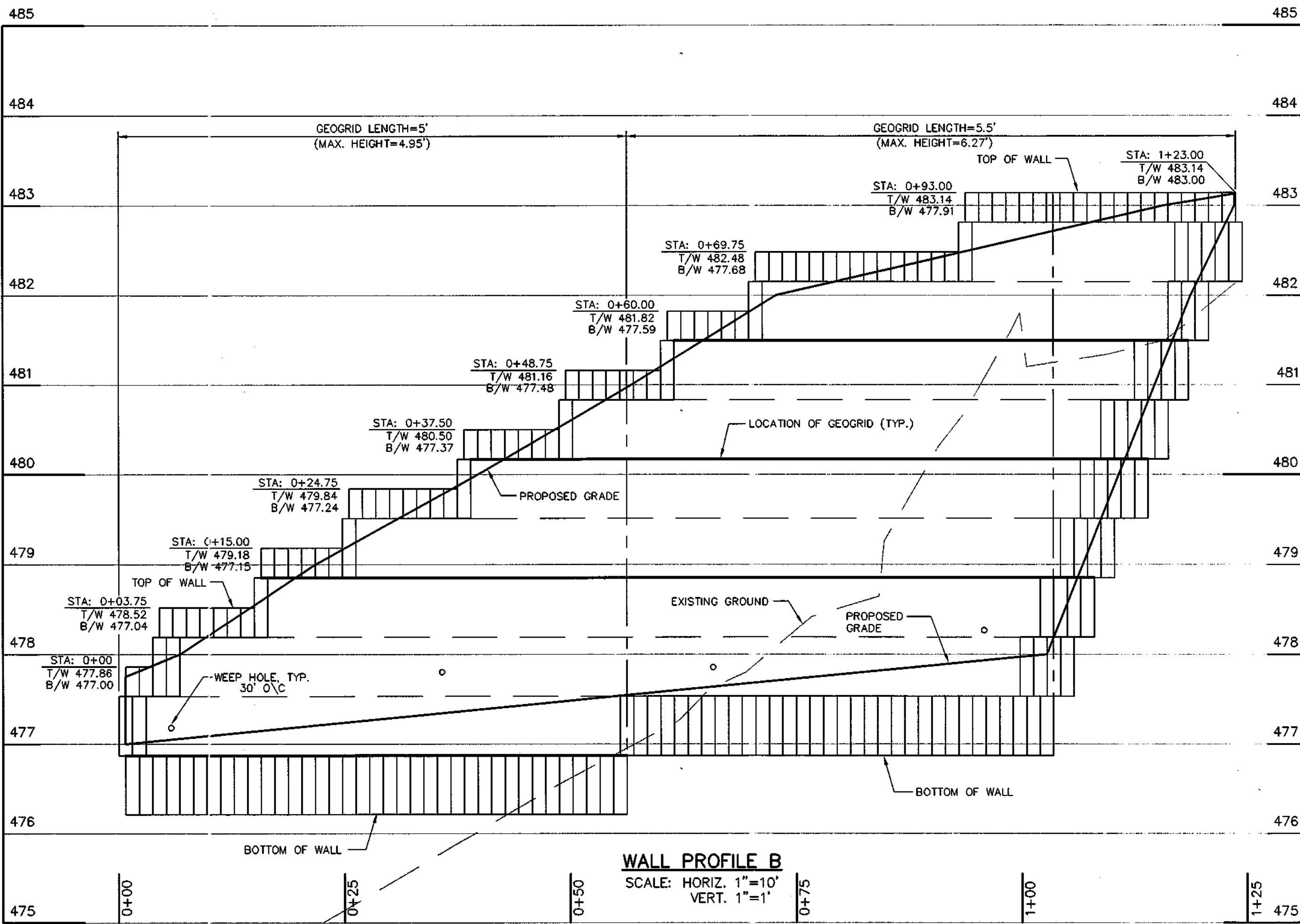
8 TYPICAL GUARD RAIL AND CHAIN LINK FENCE DETAIL
SCALE: 1/4" = 1'-0"

SCOPE OF WORK
DESIGN AND CONSTRUCTION OF MODULAR CONCRETE RETAINING WALLS NOTES:

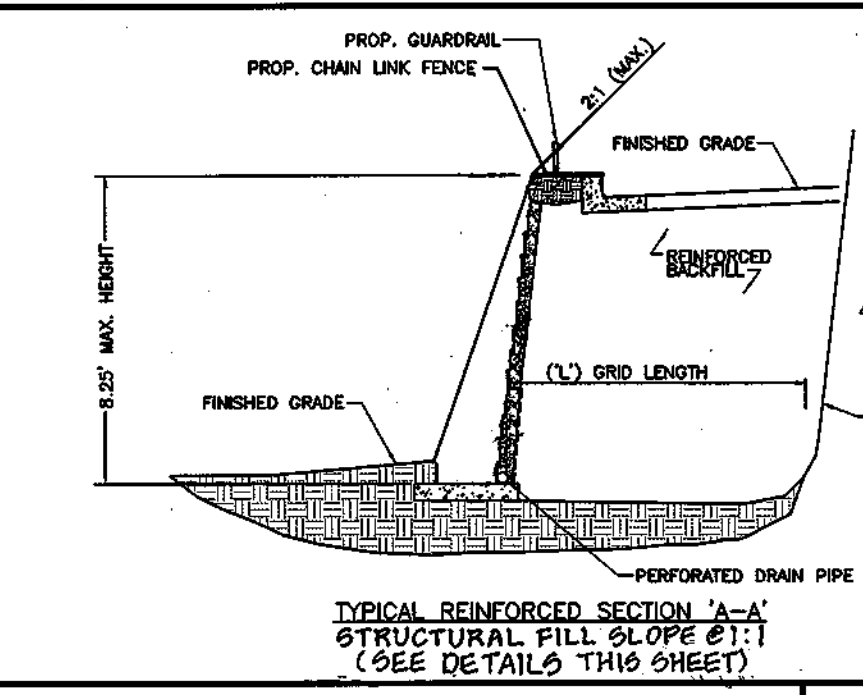
- STRIP ALL VEGETATION AND ORGANIC SOIL FROM THE WALL AND GRID ALIGNMENT.
- BENCH CUT ALL EXCAVATED SLOPES.
- DO NOT OVER-EXCAVATE UNLESS DIRECTED BY SITE SOIL ENGINEER TO REMOVE UNSUITABLE SOILS.
- A SOILS ENGINEER SHALL VERIFY THAT ALL SOILS ARE COMPETENT PER THE DESIGN STANDARDS AND PARAMETERS SHOWN.
- BASE SHALL CONSIST OF COMPACTED SANDS AND GRAVEL, MINIMUM 6 INCHES THICK.
- CONTRACTOR MAY OPT FOR A CONCRETE FOOTING. CONCRETE FOOTING SHALL BE UNREINFORCED. DEPTH OF CONCRETE AND BASE SHALL NOT BE LESS THAN 6 INCHES THICK.
- MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE 8" INCHES FOR WALL HEIGHTS FROM 4 FT AND UP, 6 INCHES FOR WALL HEIGHTS BELOW 4 FEET, UNLESS SHOWN DIFFERENTLY.
- FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURERS INSTALLATION INSTRUCTIONS AND ATTACHED WRITTEN SPECIFICATIONS.
- DRAINAGE FILL TWELVE INCHES THICK SHALL BE INSTALLED BEHIND THE WALL TO WITHIN 12 INCHES OF THE TOP OF THE WALL.
- WHERE DRAIN TILE IS USED, PROVIDE WEEP HOLE OUTLETS AT MINIMUM 30 FT. CC.
- BACKFILL AND COMPACT SOILS IN ALL AREAS AS THE WALL IS INSTALLED.
- COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS AND LOCATION SHALL BE DETERMINED BY THE SITE SOILS ENGINEER.
- COMPACTION SHALL BE TO STANDARD PROCTOR DENSITY.
- SEE WALL PROFILE FOR GEOGRID TYPE, LENGTH, AND LOCATION REQUIRED.
- GEOGRID SHALL BE THE TYPE AND LENGTH AS SHOWN. PULL GEOGRID TIGHT PRIOR TO BACKFILLING.
- ESTABLISH TURF AS SOON AS THE WALL IS COMPLETED.
- IF CONDITIONS ARE DIFFERENT THAN THOSE STATED IN THESE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR MUST CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.
- AN EVALUATION OF ALL FOOTING EXCAVATIONS SHOULD BE PERFORMED BY A GEOTECHNICAL ENGINEER. IF IT IS DETERMINED THAT THE SUPPORTING CAPABILITIES OF THE BEARING MATERIALS ARE LESS COMPETENT OR THE MATERIALS ARE UNDULY DISTURBED, THE UNSUITABLE MATERIALS SHOULD BE REMOVED AND THE UNDERCUT AREA BACKFILLED AND COMPACTED WITH LOAD-BEARING FILL. ALTERNATIVELY, THE LEVELING PAD COULD BE LOWERED TO BEAR ON MORE COMPETENT MATERIALS.
- RETAINING WALLS SHALL BE CONSTRUCTED UNDER THE OBSERVATION OF A REGISTERED PROFESSIONAL ENGINEER AND UNDER THE SUPERVISION OF A CERTIFIED GEOTECHNICAL PROFESSIONAL.
- A GEOTECHNICAL PROFESSIONAL SHALL VERIFY THE REQUIRED BEARING PRESSURE BENEATH THE FOOTING OF THE WALL IN THE FIELD. TESTING DOCUMENTATION SHALL BE PROVIDED TO THE HOWARD COUNTY INSPECTOR PRIOR TO THE START OF CONSTRUCTION.
- THE SUITABILITY OF THE FILL MATERIAL SHALL BE CONFIRMED BY THE ONE-SITE GEOTECHNICAL PROFESSIONAL. EACH EIGHT INCH LIFT MUST BE COMPACTED TO 95% STANDARD PROCTOR DENSITY AND THE TESTING REPORT MUST BE MADE AVAILABLE TO THE HOWARD COUNTY INSPECTOR UPON COMPLETION OF CONSTRUCTION.



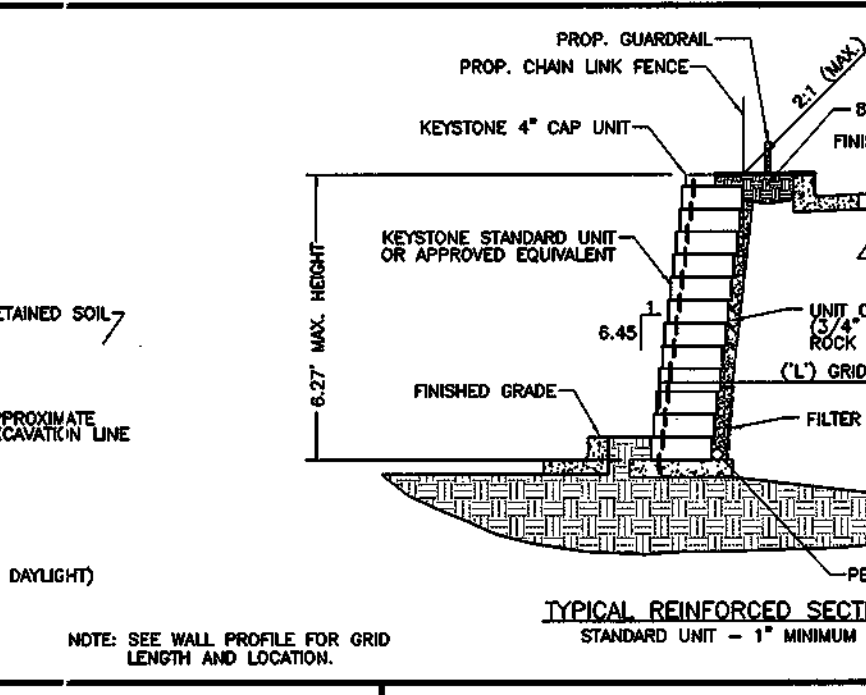
PLAN-WALL B
SCALE: 1"=20'



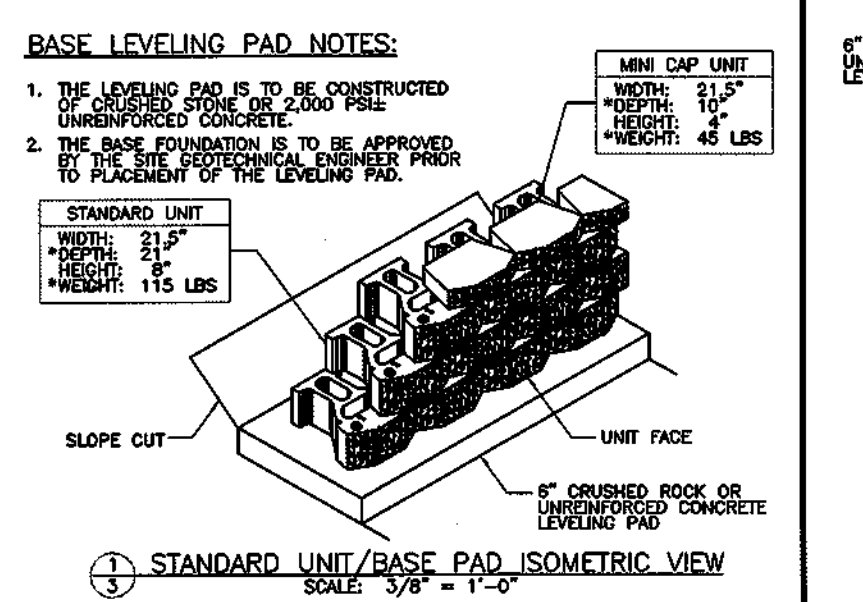
WALL PROFILE B
SCALE: HORIZ. 1"=10'
VERT. 1"=1'



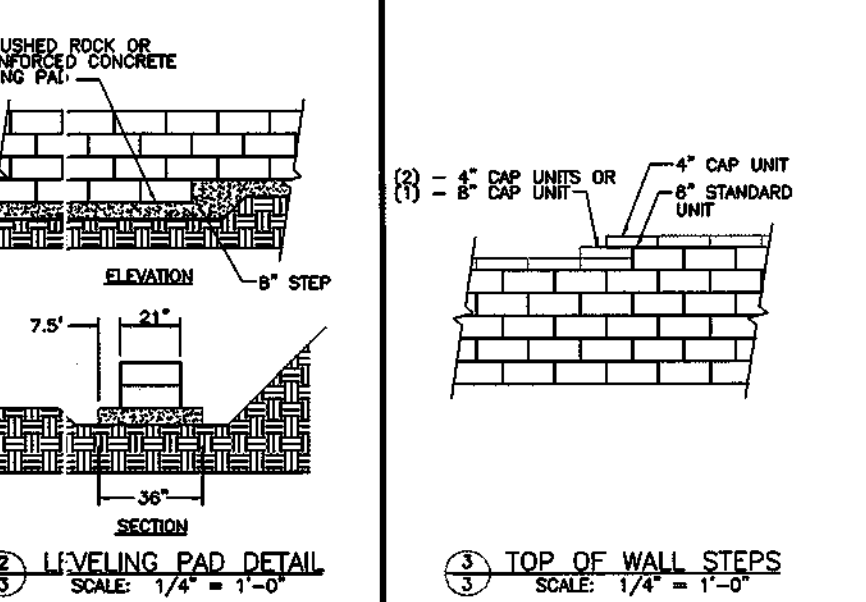
11 TYPICAL REINFORCED SECTION A-A
SCALE: 1/4" = 1'-0"



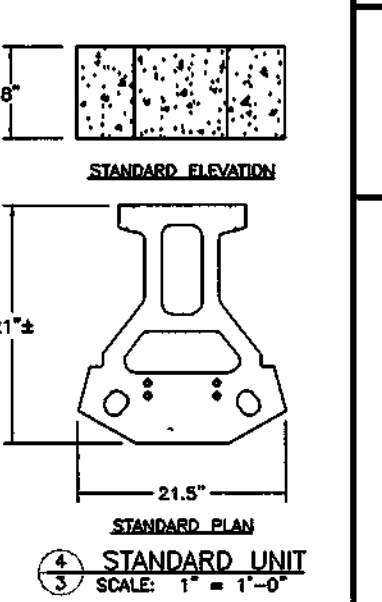
12 TYPICAL REINFORCED SECTION B-B
SCALE: 1/4" = 1'-0"



13 STANDARD UNIT / BASE PAD ISOMETRIC VIEW
SCALE: 3/8" = 1'-0"

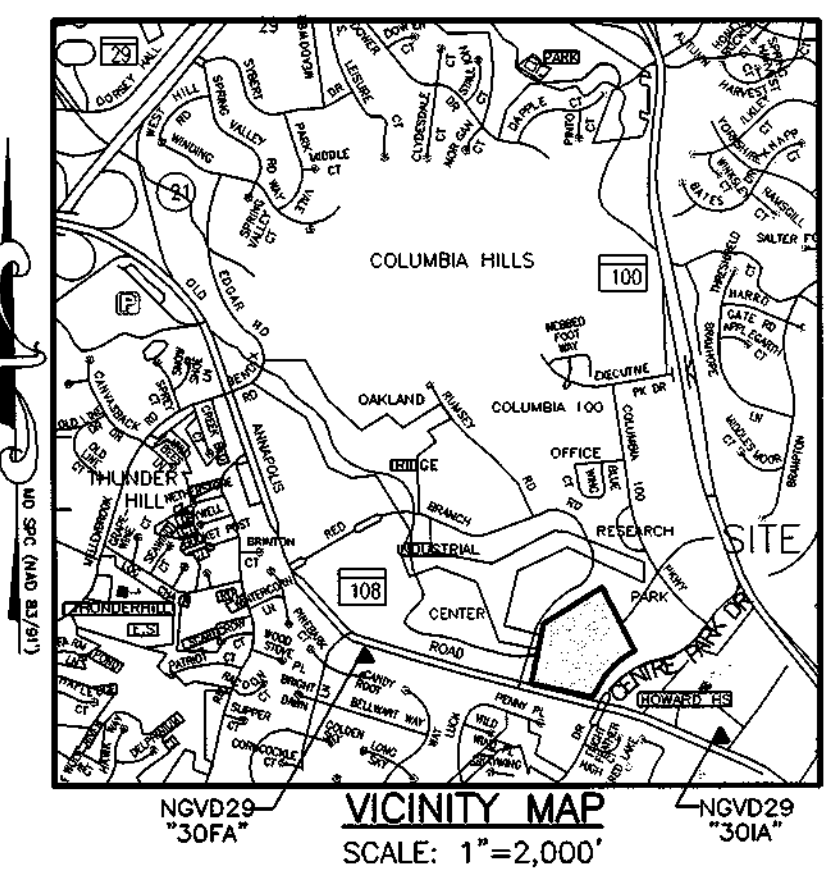


14 TOP OF WALL STEPS
SCALE: 1/4" = 1'-0"



15 STANDARD UNIT
SCALE: 1" = 1'-0"

- DESIGN ASSUMPTIONS**
- ALLOWABLE BEARING PRESSURE IS 3000 psf.
 - BACKFILL IS WELL DRAINED.
 - REINFORCED FILL TYPE: SILTY SANDS.
 - UNIT FILL: CRUSHED STONE, 1" MINUS.
- SOIL PARAMETERS:**
- | | | |
|-----|---|-------|
| PHI | C | GAMMA |
| 28 | 0 | 120 |
| 28 | 0 | 120 |
| 28 | 0 | 120 |
- LEVELING PAD:** CRUSHED STONE. SURCHARGE: 250 psf. ANGLE OF FACE: 1:6.45 (8.8°)
- GEOGRID:** ALL GEOGRID SHALL BE MIRAGRID 3XT AS MANUFACTURED BY MIRAFI, INC OR APPROVED EQUAL.



VICINITY MAP
SCALE: 1"=2,000'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* Date: 2/20/03


Chief, Division of Land Development: *[Signature]* Date: 3/10/03

Director: *[Signature]* Date: 3/13/03

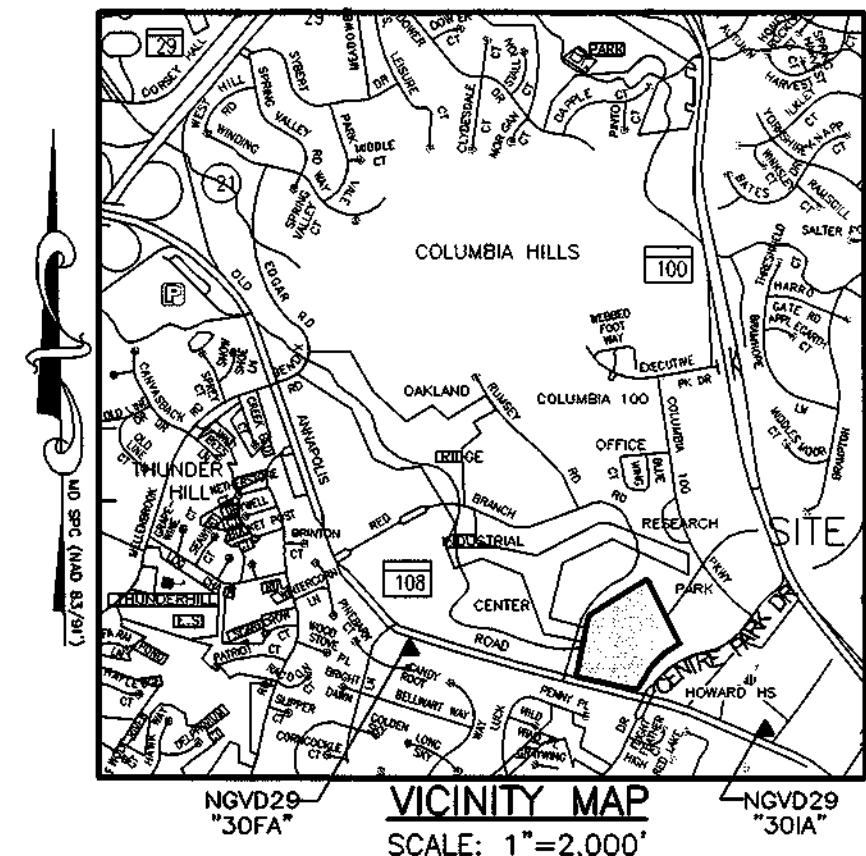
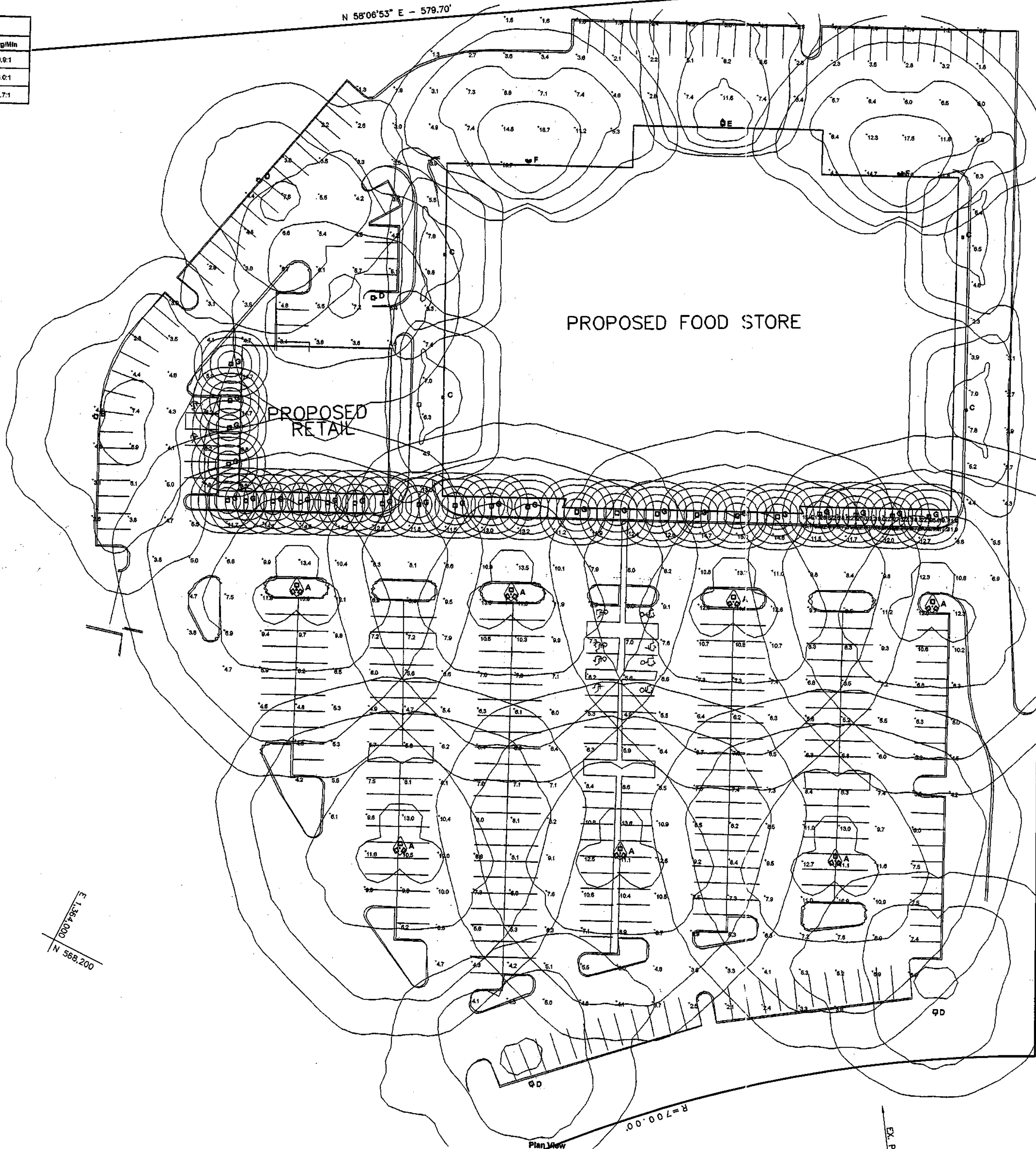
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

County Health Officer: *[Signature]* Date: 2-21-03

Howard County Health Department: *[Signature]*

DATE	NO.	REVISIONS
RETAINING WALL PLAN & PROFILES		
PROJECT TITLE:		
OAKLAND EXECUTIVE PARK PARCEL A-1 8805 CENTRE PARK DRIVE HOWARD COUNTY, MARYLAND		
ENGINEERS:	 Consulting Engineers 849 Fairmount Avenue (410) 512-4500 Baltimore, Maryland 21286 (410) 324-4100 (FAX) WHITNEY, BAILEY, COX & MAGNANI, LLC	
DESIGNED: D.M.B.	ELECTION DIST.: 2	
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02	
CHECKED: D.M.B.	WATER CODE: G-07	
DATE: 1/9/03	SEWER CODE: 56574000	
SCALE: AS SHOWN	DRAWING NO:	
MAP NO.: 30	C-10	
GRID NO.: 1	PARCEL NO.: 104	
	SHEET 17 OF 26	

Description	Avg	Max	Min	Max/Min	Avg/Min
Front lot	8.1 ft	15.0 ft	2.1 ft	7.1:1	2.6:1
Rear and side	5.6 ft	30.0 ft	0.7 ft	42.9:1	6.0:1
Canopy	20.2 ft	27.3 ft	11.9 ft	2.3:1	1.7:1



OWNER/DEVELOPER
 COLUMBIA PALACE LIMITED PARTNERSHIP
 17 W. PENNSYLVANIA AVE.
 TOWSON, MARYLAND 21204-5016
 DEED REFERENCE = 1435/257
 DEED REFERENCE = 1389/337

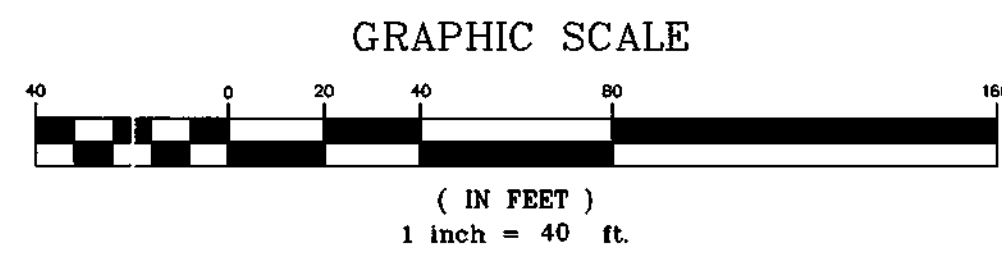
DATE	NO.	REVISIONS

LIGHTING PLAN

PROJECT TITLE:
**OAKLAND EXECUTIVE PARK
 PARCEL A-1
 8805 CENTRE PARK DRIVE
 HOWARD COUNTY, MARYLAND**

ENGINEERS: **WB** Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.M.B.	ELECTION DIST.: 2
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 1/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 30	C-11
GRID NO.: 1	
PARCEL NO.: 104	SHEET 18 OF 26



APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] Chief, Development Engineering Division Date: **2/2/03**
[Signature] Chief, Division of Land Development Date: **3/14/03**
 Director Date: **3/18/03**

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
[Signature] County Health Officer Date: **2-21-03**
 Howard County Health Department

M.D. ROUTE 108
 (PUBLIC)

CENTRE PARK DRIVE
 (PUBLIC)

22" (559 mm) VERTICAL FORWARD THROW LIGHT

E.P.A. RATING
EPA for 250 & 400W MH + 1.75; EPA for 250 & 400W HPS and 1000W MH = 1.75

GENERAL DESCRIPTION
70" max. beam spread forward throw for 250" beam spread 100" max. beam spread. Includes 100" max. beam spread. Includes 100" max. beam spread. Includes 100" max. beam spread.

POLE SPACING EXAMPLE DATA

Fixture #	Lamp Type	Lamp Wattage	Mounting Height	Max. Recommended Pole Spacing	Footcandle	Lot
VF250M	250W MH	250	20'	100'	1.0	40
VF400M	400W MH	400	20'	100'	1.0	40
VF1000M	1000W MH	1000	20'	100'	1.0	40

RUUD LIGHTING

22" (559 mm) VERTICAL FORWARD THROW LIGHT

E.P.A. RATING
EPA for 250 & 400W MH + 1.75; EPA for 250 & 400W HPS and 1000W MH = 1.75

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Fixture #	Lamp Type	Lamp Wattage	Mounting Height	Max. Recommended Pole Spacing	Footcandle	Lot
VF250M	250W MH	250	20'	100'	1.0	40
VF400M	400W MH	400	20'	100'	1.0	40
VF1000M	1000W MH	1000	20'	100'	1.0	40

RUUD LIGHTING

16" (406 mm) RECESSED CANOPY LIGHT

E.P.A. RATING
EPA for 250 & 400W MH + 1.75; EPA for 250 & 400W HPS and 1000W MH = 1.75

GENERAL DESCRIPTION
70" max. beam spread forward throw for 250" beam spread 100" max. beam spread. Includes 100" max. beam spread. Includes 100" max. beam spread. Includes 100" max. beam spread.

POLE SPACING EXAMPLE DATA

Fixture #	Lamp Type	Lamp Wattage	Mounting Height	Max. Recommended Pole Spacing	Footcandle	Lot
RC16M	250W MH	250	20'	100'	1.0	40
RC16M	400W MH	400	20'	100'	1.0	40
RC16M	1000W MH	1000	20'	100'	1.0	40

RUUD LIGHTING

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POLE SPACING EXAMPLE DATA

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RC16M	400W MH	400	20'	100'	1.0	40
RC16M	1000W MH	1000	20'	100'	1.0	40

RUUD LIGHTING

22" (559 mm) CUTOFF FLOODLIGHT

E.P.A. RATING
EPA for 250 & 400W MH + 1.75; EPA for 250 & 400W HPS and 1000W MH = 1.75

GENERAL DESCRIPTION
70" max. beam spread forward throw for 250" beam spread 100" max. beam spread. Includes 100" max. beam spread. Includes 100" max. beam spread. Includes 100" max. beam spread.

POLE SPACING EXAMPLE DATA

Fixture #	Lamp Type	Lamp Wattage	Mounting Height	Max. Recommended Pole Spacing	Footcandle	Lot
CF22M	250W MH	250	20'	100'	1.0	40
CF22M	400W MH	400	20'	100'	1.0	40
CF22M	1000W MH	1000	20'	100'	1.0	40

RUUD LIGHTING

STEEL AND ALUMINUM SQUARE POLES

E.P.A. RATING
EPA for 250 & 400W MH + 1.75; EPA for 250 & 400W HPS and 1000W MH = 1.75

GENERAL DESCRIPTION
70" max. beam spread forward throw for 250" beam spread 100" max. beam spread. Includes 100" max. beam spread. Includes 100" max. beam spread. Includes 100" max. beam spread.

POLE SPACING EXAMPLE DATA

Fixture #	Lamp Type	Lamp Wattage	Mounting Height	Max. Recommended Pole Spacing	Footcandle	Lot
SP250M	250W MH	250	20'	100'	1.0	40
SP400M	400W MH	400	20'	100'	1.0	40
SP1000M	1000W MH	1000	20'	100'	1.0	40

RUUD LIGHTING

22" (559 mm) CUTOFF FLOODLIGHT

E.P.A. RATING
EPA for 250 & 400W MH + 1.75; EPA for 250 & 400W HPS and 1000W MH = 1.75

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POLE SPACING EXAMPLE DATA

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CF22M	400W MH	400	20'	100'	1.0	40
CF22M	1000W MH	1000	20'	100'	1.0	40

RUUD LIGHTING

STEEL AND ALUMINUM SQUARE POLES

E.P.A. RATING
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POLE SPACING EXAMPLE DATA

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SP400M	400W MH	400	20'	100'	1.0	40
SP1000M	1000W MH	1000	20'	100'	1.0	40

RUUD LIGHTING

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
Date: 2/10/03

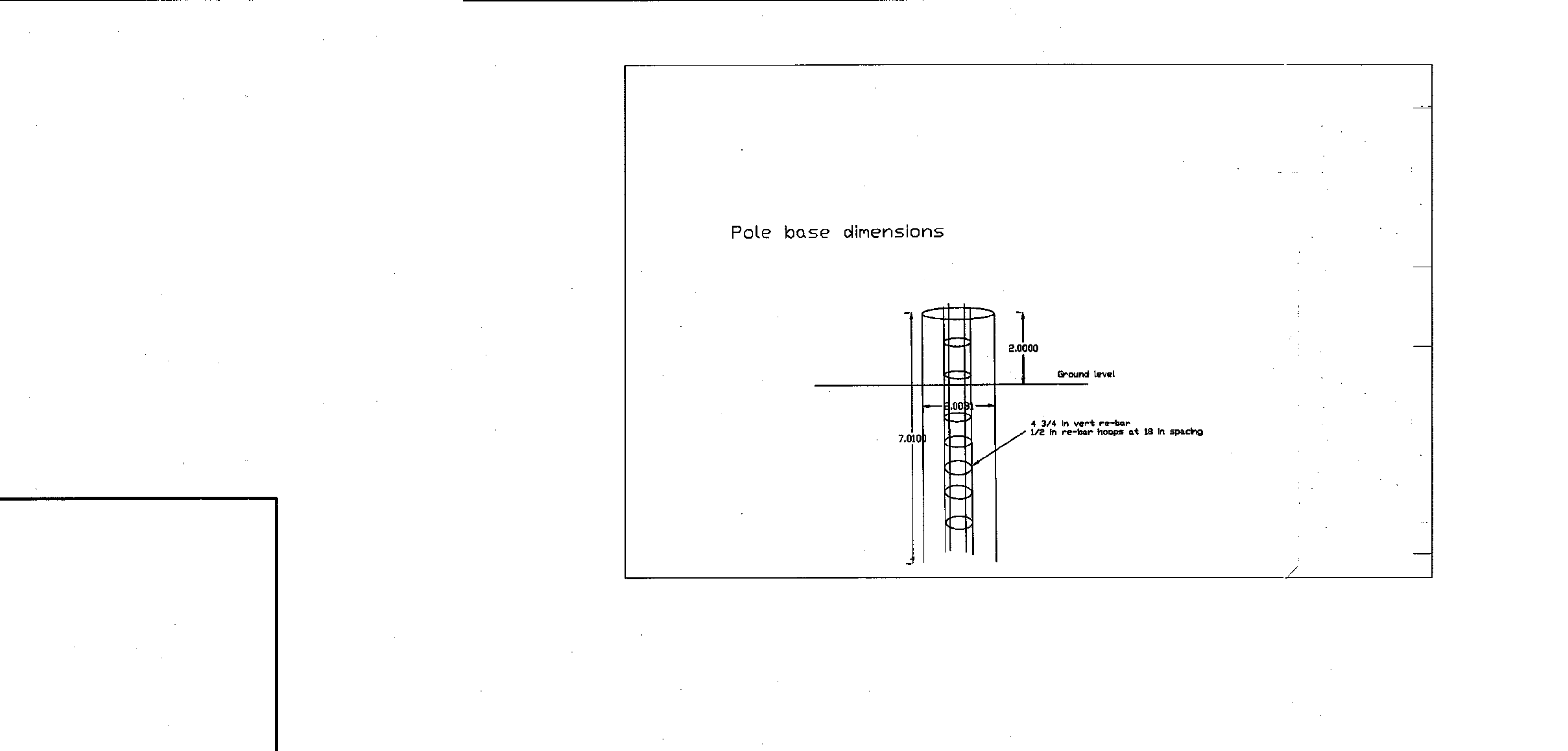
Chief, Division of Land Development
Date: 3/13/02

Director
Date: 2/10/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

County Health Officer
Date: 2-21-03

Howard County Health Department



OWNER/DEVELOPER
COLUMBIA PALACE LIMITED PARTNERSHIP
17 W. PENNSYLVANIA AVE.
TOWSON, MARYLAND 21204-5016
DEED REFERENCE = 1435/257
DEED REFERENCE = 1389/337

REVISIONS

DATE	NO.	REVISIONS

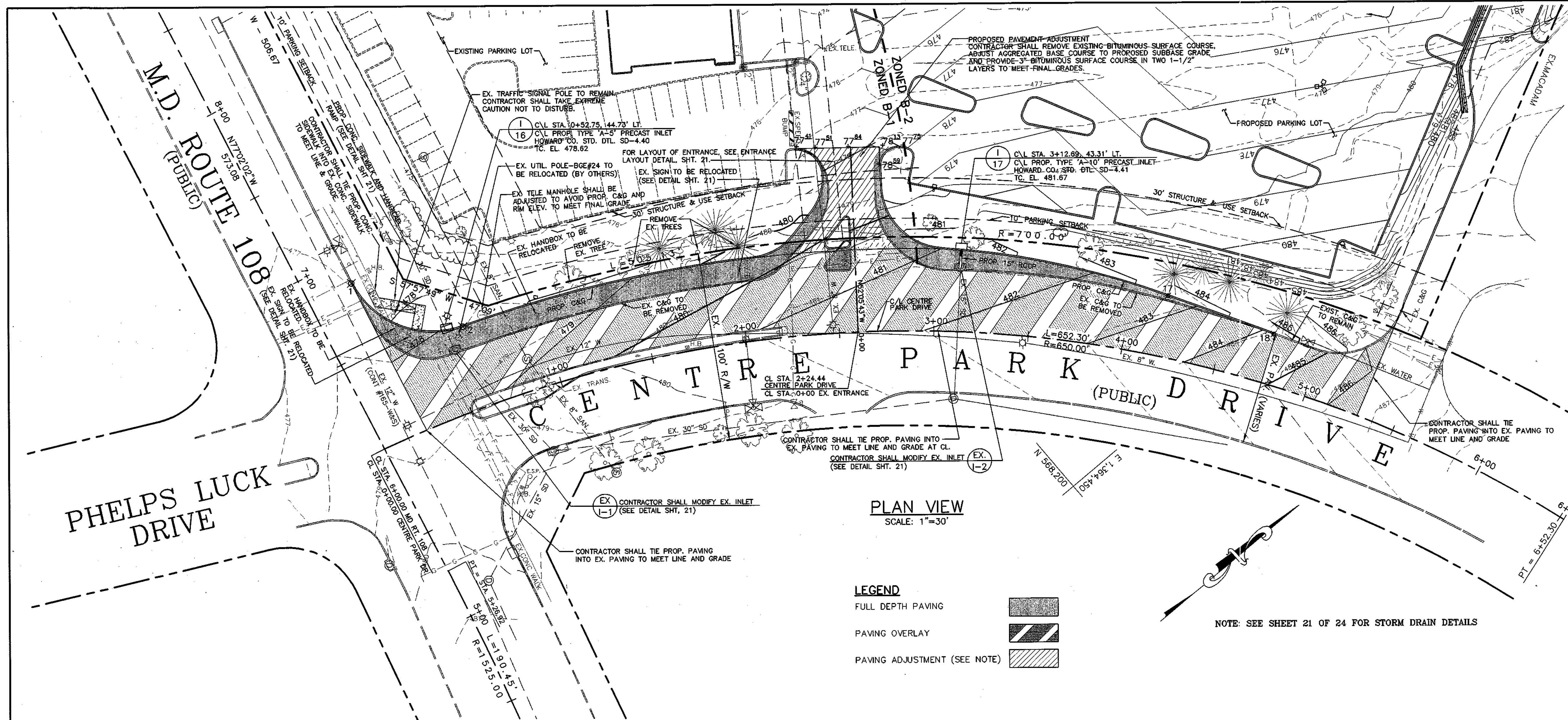
LIGHTING DETAIL PLAN

PROJECT TITLE:
**OAKLAND EXECUTIVE PARK
PARCEL A-1
8805 CENTRE PARK DRIVE
HOWARD COUNTY, MARYLAND**

ENGINEERS:
WHITNEY, BAILEY, COX & MAGNANI, LLC
Consulting Engineers
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)

DESIGNED: D.M.B. ELECTION DIST.: 2
DRAWN: D.M.B. CENSUS TRACT #: 6023.02
CHECKED: D.M.B. WATER CODE: G-07
DATE: 1/9/03 SEWER CODE: 56574000
SCALE: AS SHOWN DRAWING NO:
MAP NO.: 30
GRID NO.: 1
PARCEL NO.: 104 SHEET 19 OF 26

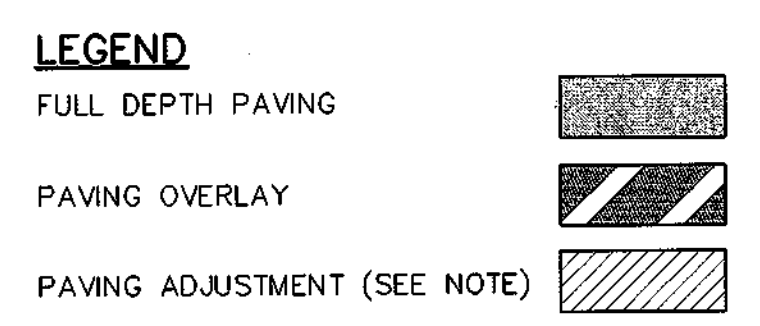
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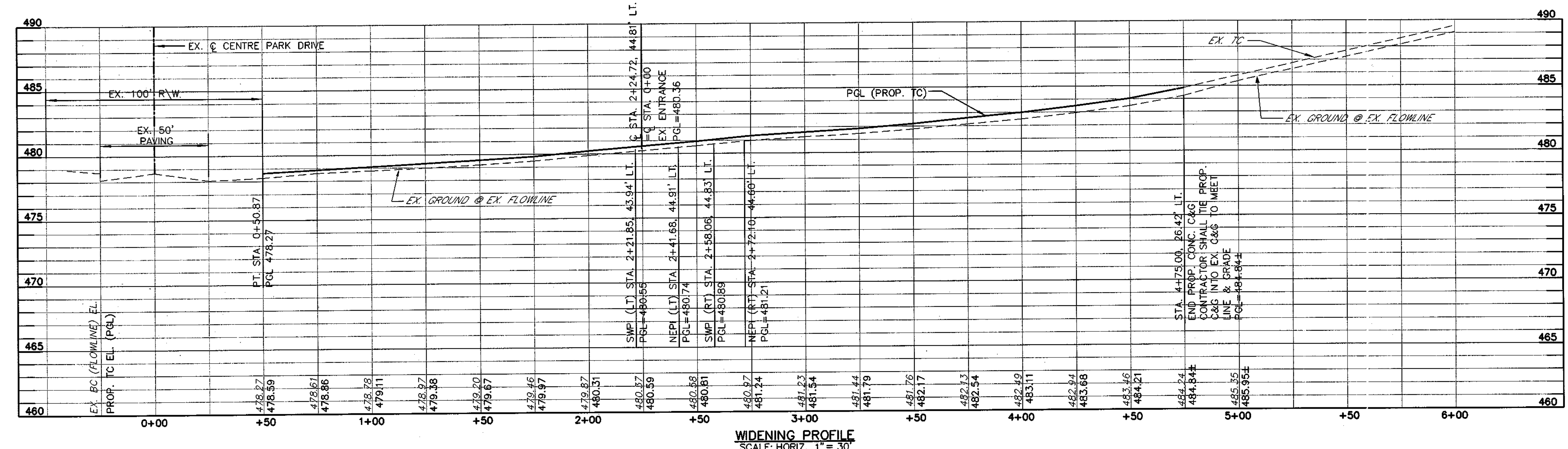
GEOMETRY POINTS				
PT#	STATION	OFFSET	ELEV.	DESCRIPTION
1	STA. 6+88.03	24.56' RT.	477.75	PGL @ P.C. - BEGIN PROP. C&G CONTRACTOR TO TIE PROP. C&G INTO EX. C&G TO MEET LINE AND GRADE
2	STA. 0+60.93	43.83' LT.	478.71	PGL @ P.T.
3	STA. 2+10.01	43.83' LT.	480.42	PGL @ P.R.C.
4	STA. 2+29.86	53.21' LT.	479.55	PGL @ P.T.
5	STA. 2+36.59	50.05' LT.	---	PROP. CL. OF LEFT DRIVE AISLE @ RW
6	STA. 2+40.79	43.83' LT.	480.14	FLOWLINE @ SW P.I.
7	STA. 2+58.06	43.83' LT.	480.81	FLOWLINE @ SE P.I.
8	STA. 2+58.06	65.51' LT.	479.38	FLOWLINE @ W.P.I.
9	STA. 2+40.51	66.09' LT.	479.44	PGL @ P.C.
10	STA. 2+46.55	84.09' LT.	479.95	PGL @ P.C.C.
11	STA. 2+55.77	98.50' LT.	478.01	PGL @ P.T.
12	STA. 2+63.56	98.11' LT.	478.98	PGL @ P.C.
13	STA. 2+73.03	88.01' LT.	479.19	PGL @ P.T.
14	STA. 2+73.28	77.12' LT.	478.83	PGL @ P.C.
15	STA. 2+86.26	50.07' LT.	480.70	PGL @ RW
16	STA. 3+03.18	43.80' LT.	481.57	PGL @ P.R.C.
17	STA. 4+18.30	32.39' LT.	482.69	PGL @ P.T.
18	STA. 4+75.00	26.42' LT.	484.84	PGL @ END PROP. C&G CONTRACTOR TO TIE PROP. C&G INTO EX. C&G TO MEET LINE AND GRADE

- SEQUENCE OF CONSTRUCTION**
- PHASE 1 CONSTRUCTION OF PROPOSED CURB AND GUTTER**
- CONTRACTOR SHALL MAINTAIN EXISTING CURB AND GUTTER, AND MAINTAIN TWO LANES OF TRAFFIC ALONG SOUTHBOUND CENTRE PARK DRIVE, AS SHOWN IN TRAFFIC CONTROL PLAN PHASE 1 ON THIS SHEET.
 - GRADE AND INSTALL PROPOSED CURB AND GUTTER.
 - INSTALL PROPOSED DRAINAGE INLET AND DRAINAGE PIPE.
 - INSTALL PROPOSED SIGNAL HANDHOLES AND CONDUIT (SEE SIGNAL PLANS).
- PHASE 2 REMOVAL OF EXISTING CURB AND GUTTER**
- CONTRACTOR SHALL REMOVE EXISTING CURB AND GUTTER WHILE MAINTAINING ONE LANE OF TRAFFIC ALONG SOUTHBOUND CENTRE PARK DRIVE, AS SHOWN IN TRAFFIC CONTROL PLAN PHASE 2 ON THIS SHEET.
 - THE REMOVAL OF THE CURB RETURN AT STA. 6+351.17 SHALL NOT BE PERFORMED DURING PEAK TRAFFIC PERIODS (6AM TO 3AM AND 4PM TO 7PM) TO MINIMIZE IMPACT TO MD 108 TRAFFIC.
 - THE REMOVAL OF EXISTING ISLAND AT STA. 2+501.17, AND CONSTRUCTION OF PROPOSED ISLAND SHALL BE PERFORMED DURING NIGHT-TIME CONSTRUCTION OPERATION (7PM TO 5AM) TO MINIMIZE IMPACT TO DRIVEWAY TRAFFIC.
- PHASE 3 MILL AND OVERLAY SOUTHBOUND APPROACH**
- CONTRACTOR SHALL MILL AND OVERLAY ENTIRE WIDTH OF SOUTHBOUND CENTRE PARK DRIVE (FROM CENTERLINE TO FACE OF PROPOSED LEFT CURB).
 - MILLING OPERATIONS SHALL DESTROY EXISTING SIGNAL LOOPS ALONG SOUTHBOUND CENTRE PARK DRIVE. CONTRACTOR SHALL INSTALL NEW SIGNAL LOOP DETECTORS PRIOR TO OVERLAY OPERATIONS TO NEGATE THE NEED TO SAWCUT NEW PAVEMENT SURFACE (SEE SIGNAL PLANS).
 - CONTRACTOR SHALL MILL AND OVERLAY SOUTHBOUND CENTRE PARK DRIVE WHILE MAINTAINING ONE LANE OF TRAFFIC WITH A FLAGGING OPERATION AS DETAILED IN STANDARD DETAIL TE-18 IN THE HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
 - INSTALL PAVEMENT MARKINGS AS SHOWN ON SIGNAL PLAN.
 - MILL AND OVERLAY OPERATIONS SHALL NOT BE PERFORMED DURING PEAK TRAFFIC PERIODS (6AM TO 3AM AND 4PM TO 7PM) TO MINIMIZE IMPACT TO TRAFFIC.
- GENERAL TRAFFIC CONTROL NOTES**
- CONTRACTOR SHALL CONSTRUCT PROPOSED WIDENING FROM PARKING LOT SIDE OF ROADWAY TO MINIMIZE CONSTRUCTION IMPACT TO CENTRE PARK DRIVE TRAFFIC.
 - ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STAGED IN PARKING LOT AREA.
- ALL TRAFFIC CONTROL SIGNS, CHANNELIZATION DEVICES, AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.

PLAN VIEW
SCALE: 1"=30'



NOTE: SEE SHEET 21 OF 24 FOR STORM DRAIN DETAILS



WIDENING PROFILE
SCALE: HORIZ. 1"=30'

OWNER/DEVELOPER
COLUMBIA PALACE LIMITED PARTNERSHIP
17 W. PENNSYLVANIA AVE.
TOWSON, MARYLAND 21204-5016
DEED REFERENCE = 1435/257
DEED REFERENCE = 1389/337

DATE	NO.	REVISIONS

HIGHWAY WIDENING PLAN

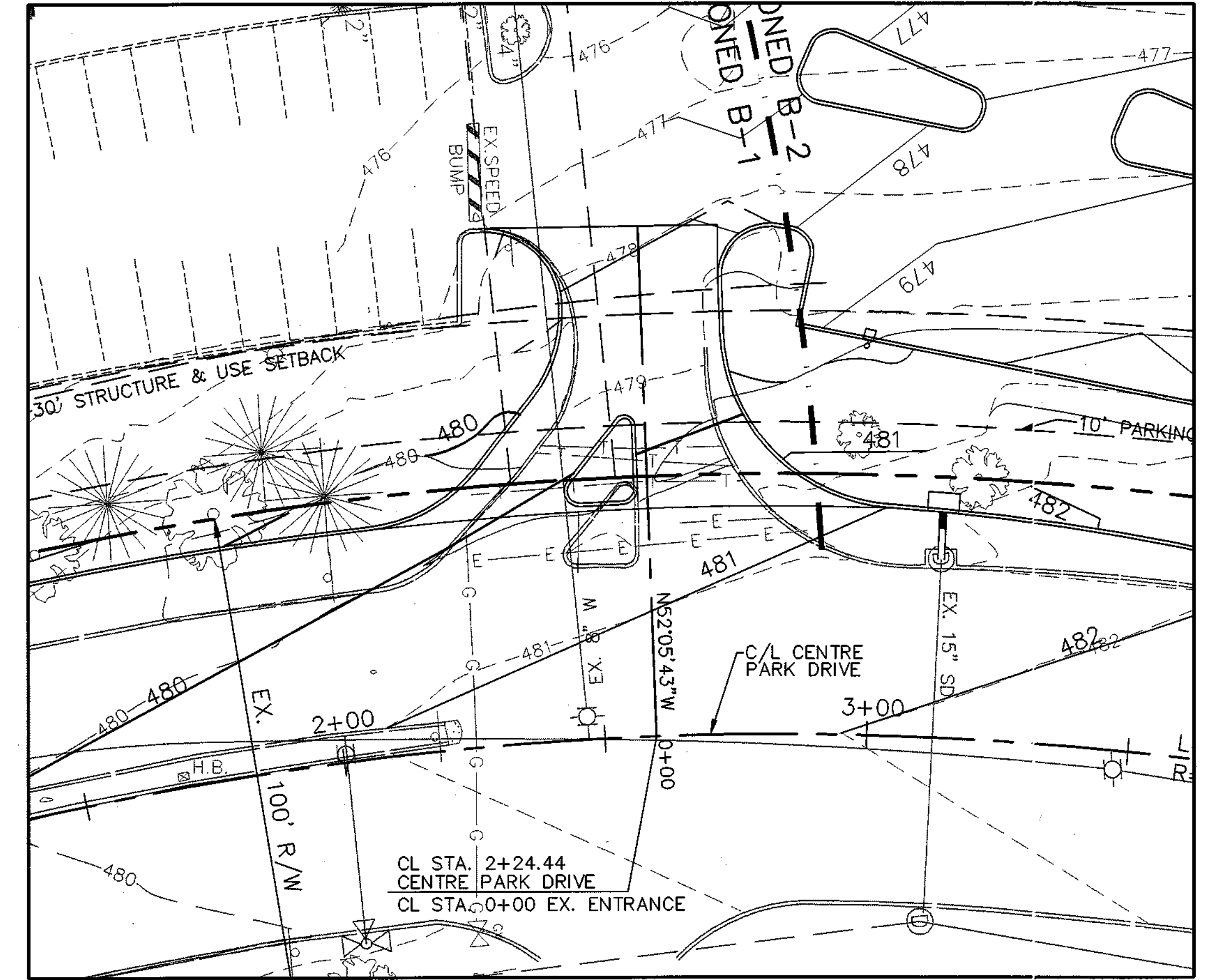
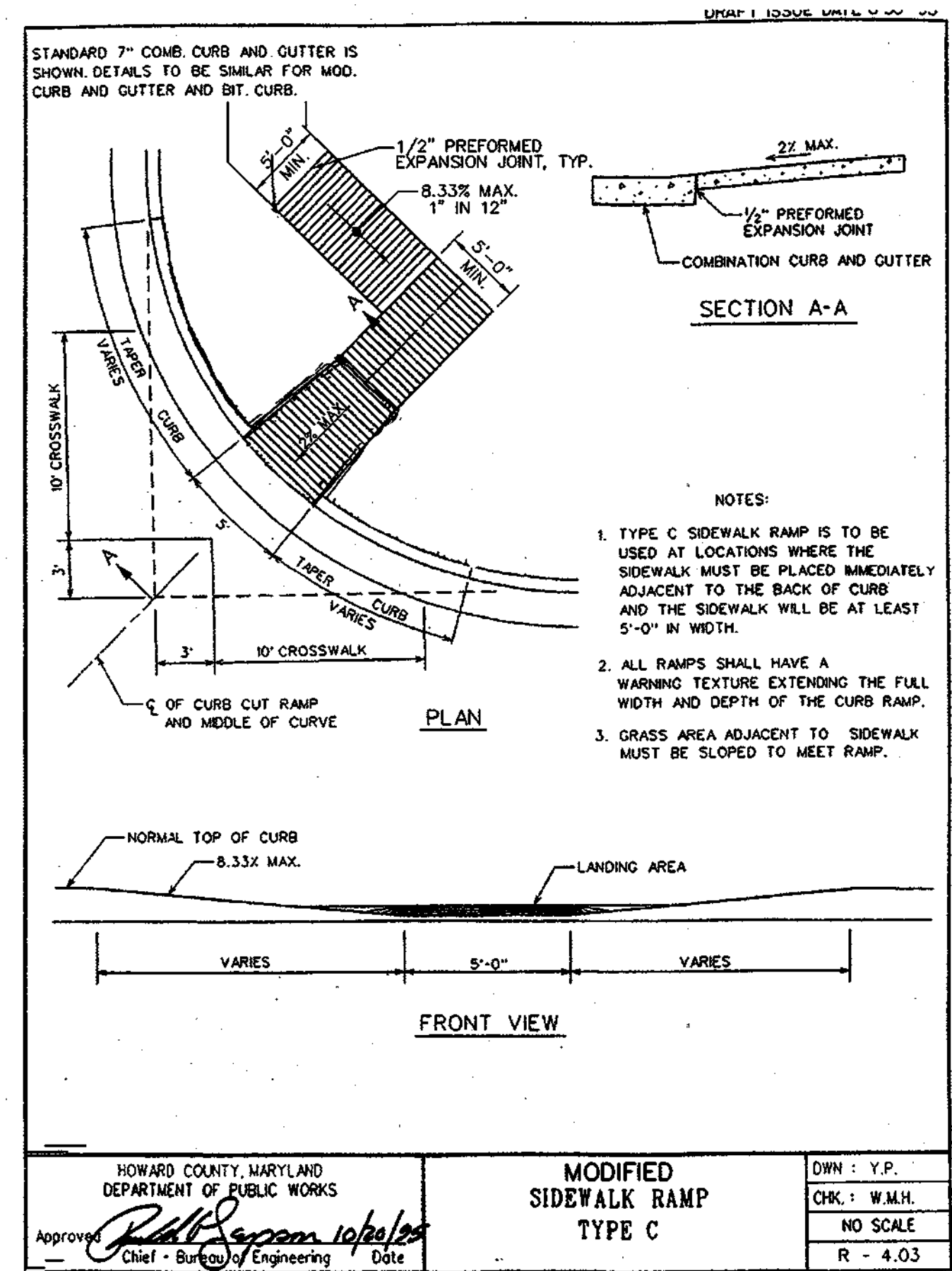
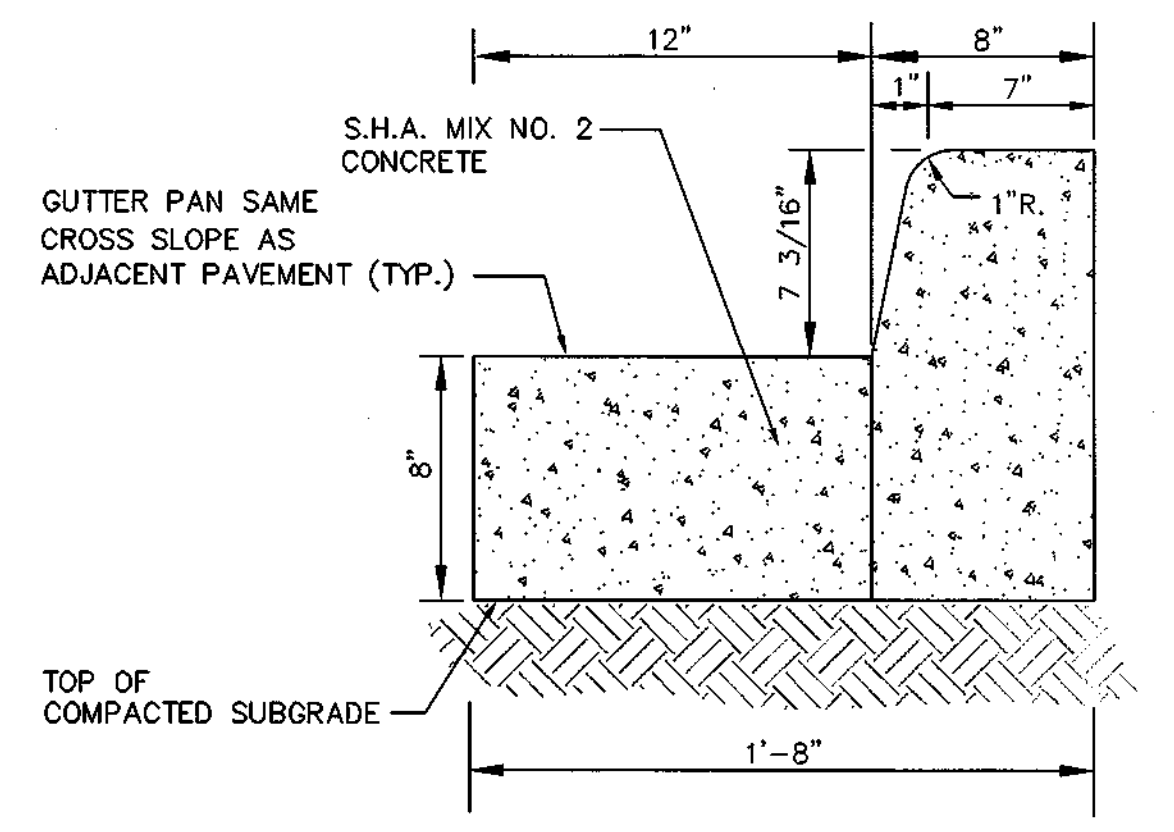
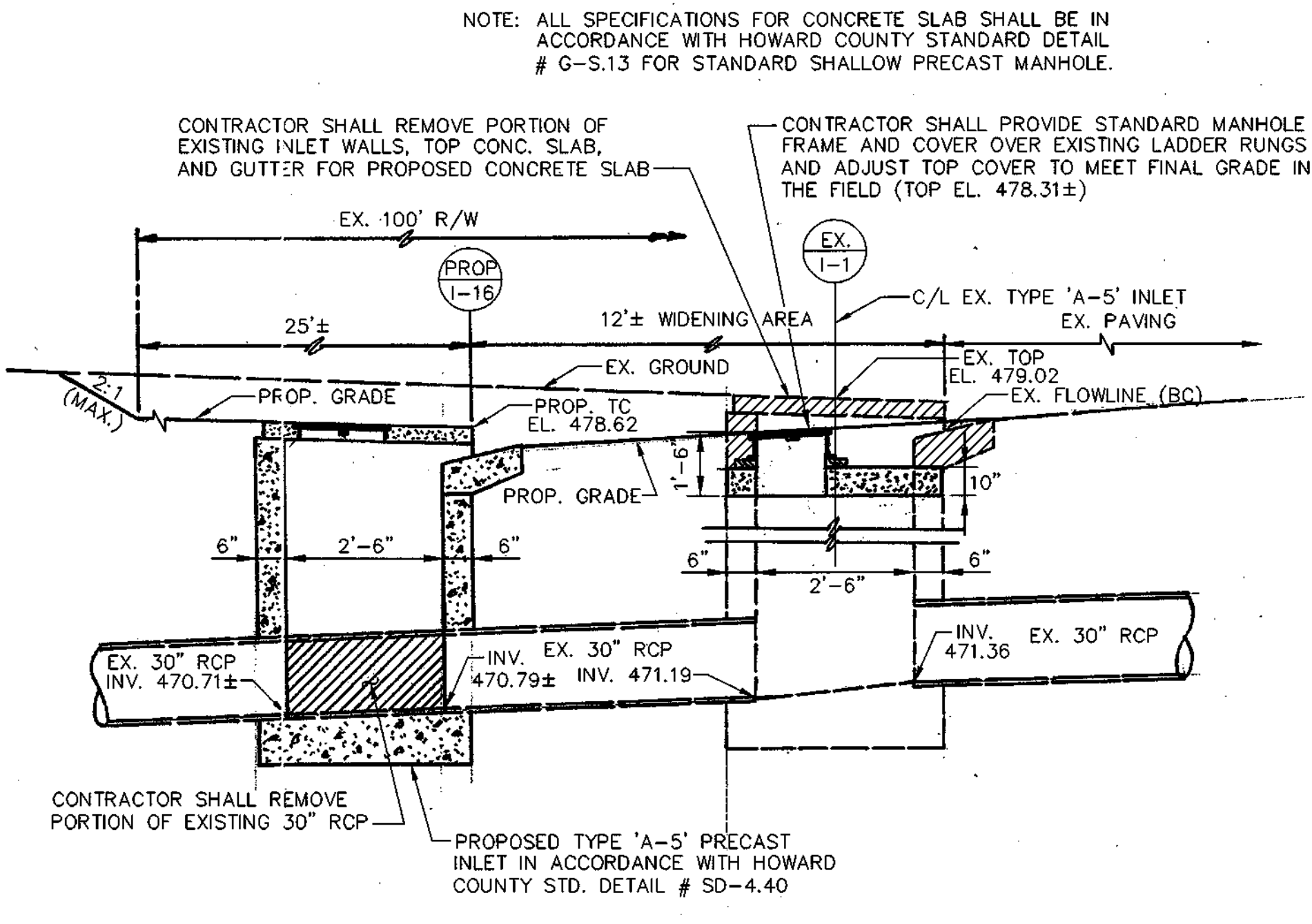
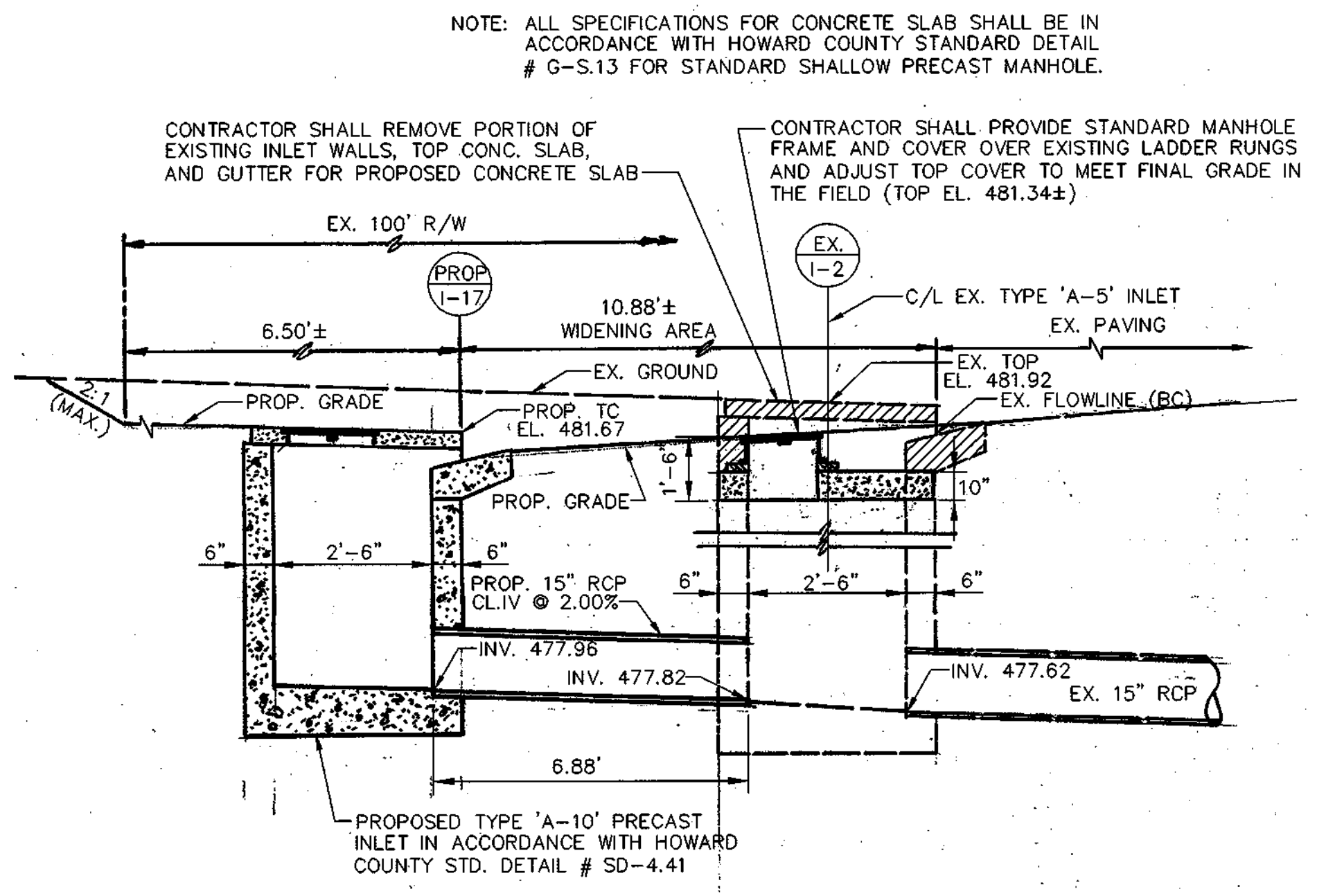
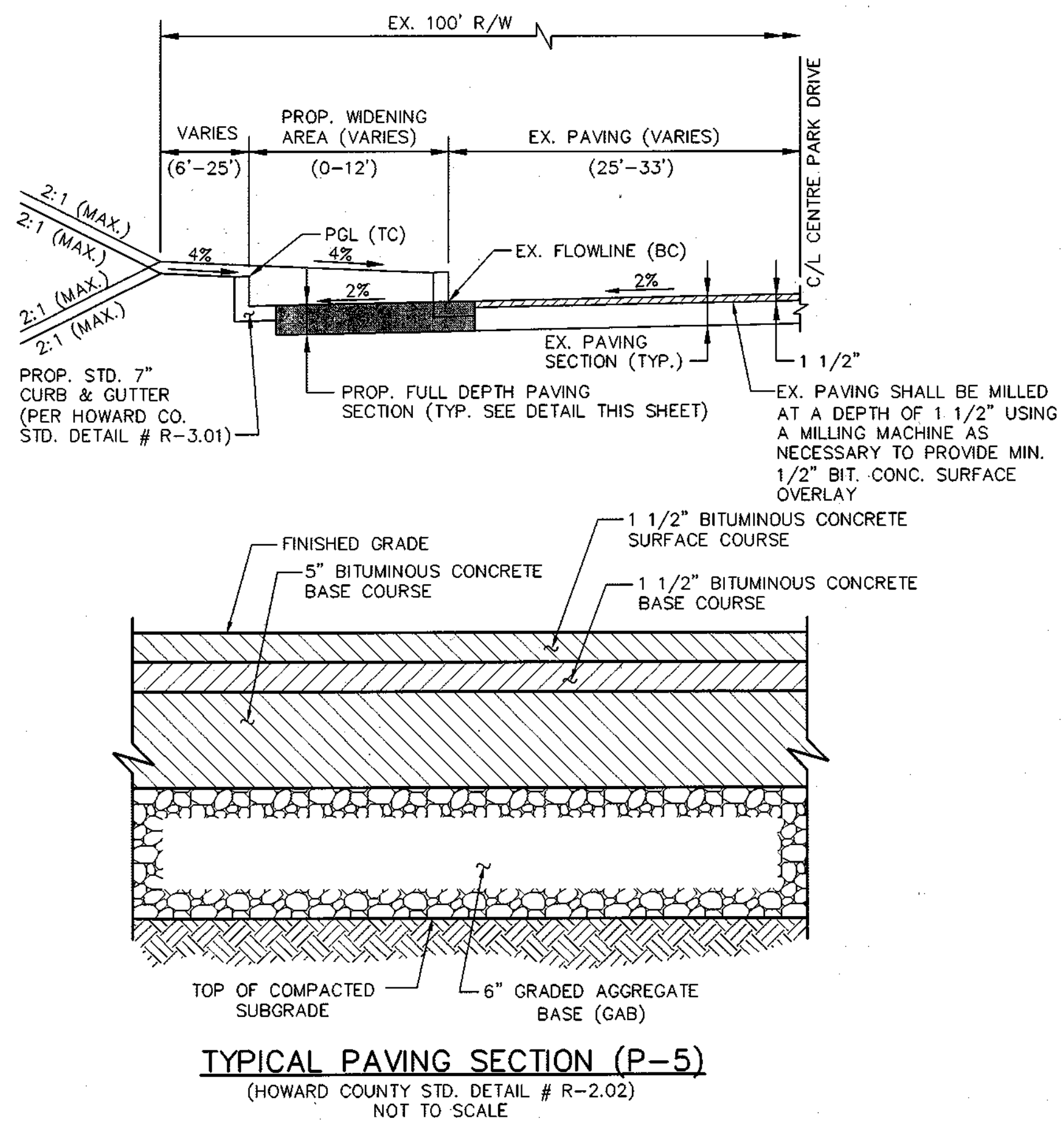
PROJECT TITLE:
**OAKLAND EXECUTIVE PARK
PARCEL A-1
8805 CENTRE PARK DRIVE
HOWARD COUNTY, MARYLAND**

ENGINEERS:	Consulting Engineers 849 Fairmount Avenue Baltimore, Maryland 21286 WHITNEY, BAILEY, COX & MAGNANI, LLC	(410) 512-4500 (410) 324-4100 (FAX)
DESIGNED:	D.M.B.	ELECTION DIST.: 2
DRAWN:	D.M.B.	CENSUS TRACT #: 6023.02
CHECKED:	D.M.B.	WATER CODE: G-07
DATE:	1/9/03	SEWER CODE: 56574000
SCALE:	AS SHOWN	DRAWING NO.:
MAP NO.:	30	C-13
GRID NO.:	1	
PARCEL NO.:	104	SHEET 20 OF 26

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer
Howard County Health Department

Date: 2/20/03
Date: 3/19/03
Date: 2/14/03
Date: 2-21-03



REFERENCE HOWARD COUNTY STD. DETAIL #R-3.01, FOR MINIMUM CONSTRUCTION STANDARDS.

OWNER/DEVELOPER
COLUMBIA PALACE LIMITED PARTNERSHIP
17 W. PENNSYLVANIA AVE.
TOWSON, MARYLAND 21204-5016
DEED REFERENCE = 1435/257
DEED REFERENCE = 1389/337

DATE	NO.	REVISIONS

HIGHWAY WIDENING DETAILS

PROJECT TITLE:
**OAKLAND EXECUTIVE PARK
PARCEL A-1
8805 CENTRE PARK DRIVE
HOWARD COUNTY, MARYLAND**

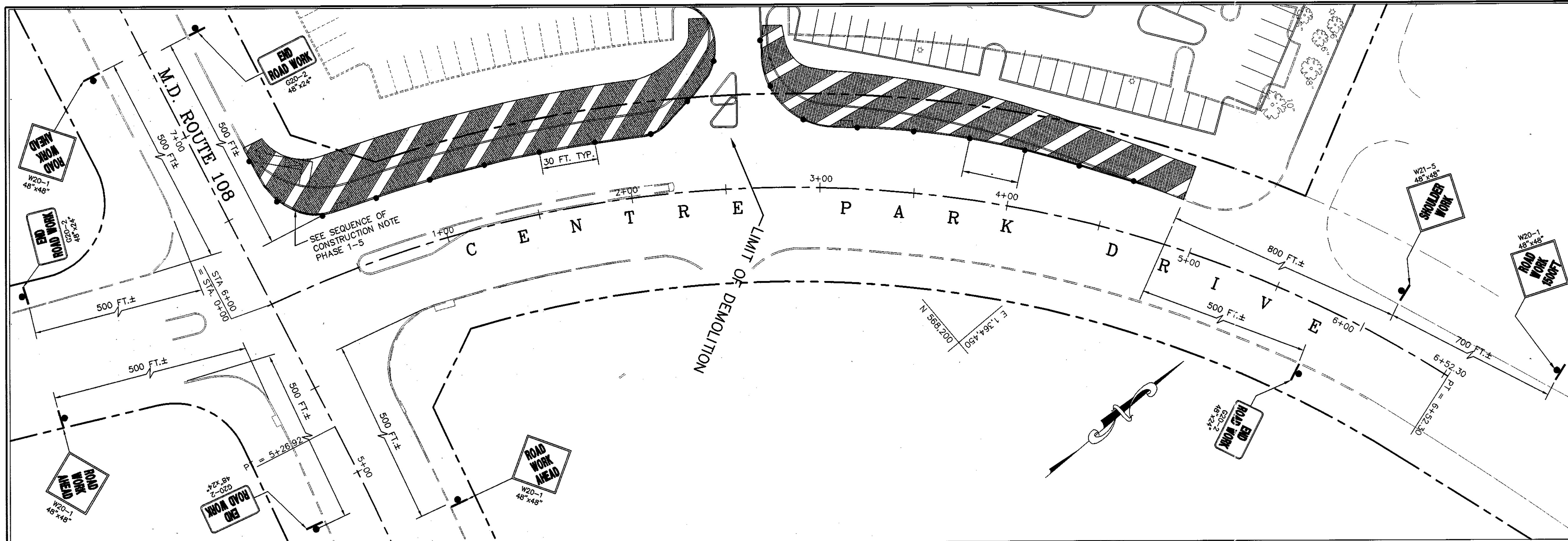
ENGINEERS: **WR** Consulting Engineers
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.M.B.	ELECTION DIST.: 2
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 1/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 30	C-14
GRID NO.: 1	
PARCEL NO.: 104	SHEET 21 OF 26

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division Date: 2/26/03
Chief, Division of Land Development Date: 3/14/02
Director Date: 5/13/03

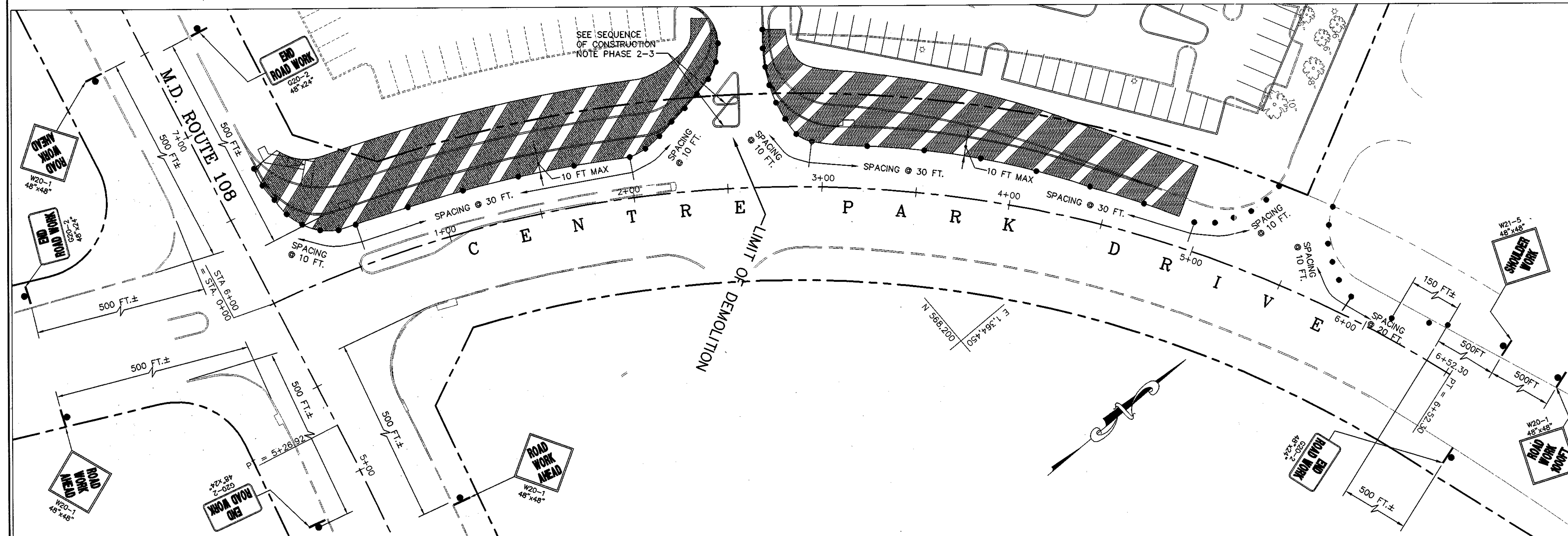
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer Date: 2-21-03
Howard County Health Department

NOTE: SEE GEOMETRY POINT CHART ON SHEET C-13 FOR STATIONS, OFFSETS, ELEVATIONS, AND DESCRIPTIONS.



TRAFFIC CONTROL PLAN - PHASE 1




SCALE: 1"=30'



TRAFFIC CONTROL PLAN - PHASE 2

SCALE: 1"=30'

LEGEND

-  TRAFFIC CONTROL SIGN AND SUPPORT
-  TRAFFIC CHANNELIZATION DEVICE
-  WORK AREA

GENERAL TRAFFIC CONTROL NOTES

- 1) CONTRACTOR SHALL CONSTRUCT PROPOSED WIDENING FROM PARKING LOT SIDE OF ROADWAY TO MINIMIZE CONSTRUCTION IMPACT TO CENTRE PARK DRIVE TRAFFIC.
- 2) ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STAGED IN PARKING LOT AREA.
- 3) ALL TRAFFIC CONTROL SIGNS, CHANNELIZATION DEVICES, AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.

SEQUENCE OF CONSTRUCTION

- PHASE 1 - CONSTRUCTION OF PROPOSED CURB AND GUTTER**
- 1) CONTRACTOR SHALL MAINTAIN EXISTING CURB AND GUTTER, AND MAINTAIN TWO LANES OF TRAFFIC ALONG SOUTHBOUND CENTRE PARK DRIVE, AS SHOWN IN "TRAFFIC CONTROL PLAN - PHASE 1" ON THIS SHEET.
 - 2) GRADE AND INSTALL PROPOSED CURB AND GUTTER.
 - 3) INSTALL PROPOSED DRAINAGE INLET AND DRAINAGE PIPE.
 - 4) INSTALL PROPOSED SIGNAL HANDHOLES AND CONDUIT (SEE SIGNAL PLANS).
 - 5) CONTRACTOR SHALL MAINTAIN A 4:1 (OR FLATTER) SLOPE BEHIND EXISTING CURB RETURN TO MD 108.
 - 6) CONTRACTOR SHALL IMPLEMENT STANDARD DETAIL TE-18 IN THE HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, FOR THE CURB RETURN WORK AT STATION 0+30 TO PROTECT THE WORK AREA FROM MD 108 TRAFFIC.
 - 7) CONTRACTOR WILL HAVE TO REWIRE SIGNAL HEADS ON MAST-ARMS IN NORTHWEST AND NORTHEAST QUADRANTS (SEE SIGNAL PLAN SHEET 24 OF 24). CONTRACTOR SHALL COMPLETE SIGNAL REWIRING DURING A NIGHT-TIME CONSTRUCTION OPERATION. CONTRACTOR SHALL INSTALL STOP SIGNS (R1-1) ALONG CENTRE PARK DRIVE AND ALONG PHELPS LCK DRIVE WITH ONE FLASHING RED BEACON ON EACH STOP SIGN. STOP SIGN AHEAD SIGNS SHALL BE INSTALLED 500 FEET IN ADVANCE OF TEMPORARY STOP SIGNS. CONTRACTOR SHALL COORDINATE WITH SHA TO SET FUNCTIONING SIGNALS ON FLASH MODE.
- PHASE 2 - REMOVAL OF EXISTING CURB AND GUTTER**
- 1) CONTRACTOR SHALL REMOVE EXISTING CURB AND GUTTER WHILE MAINTAINING ONE LANE OF TRAFFIC ALONG SOUTHBOUND CENTRE PARK DRIVE, AS SHOWN IN "TRAFFIC CONTROL PLAN - PHASE 2" ON THIS SHEET.
 - 2) THE REMOVAL OF THE CURB RETURN AT STA. 0+35LT SHALL NOT BE PERFORMED DURING PEAK TRAFFIC PERIODS (6AM - 9AM AND 4PM TO 7PM) TO MINIMIZE IMPACT TO MD 108 TRAFFIC.
 - 3) THE REMOVAL OF EXISTING ISLAND AT STA. 2+50LT, AND CONSTRUCTION OF PROPOSED ISLAND SHALL BE PERFORMED DURING A NIGHT-TIME CONSTRUCTION OPERATION (7PM TO 5AM) TO MINIMIZE IMPACT TO DRIVEWAY TRAFFIC, UNLESS OTHERWISE APPROVED BY ENGINEER.
 - 4) CONTRACTOR SHALL IMPLEMENT STANDARD DETAIL TE-18 IN THE HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, FOR THE CURB RETURN WORK AT STATION 0+30 TO PROTECT THE WORK AREA FROM MD 108 TRAFFIC.
- PHASE 3 - MILL AND OVERLAY SOUTHBOUND APPROACH**
- 1) CONTRACTOR SHALL MILL AND OVERLAY ENTIRE WIDTH OF SOUTHBOUND CENTRE PARK DRIVE (FROM CENTERLINE TO FACE OF PROPOSED LEFT CURB), FROM STA. 0+30 + 5+30.
 - 2) MILLING OPERATIONS SHALL DESTROY EXISTING SIGNAL LOOPS ALONG SOUTHBOUND CENTRE PARK DRIVE. CONTRACTOR SHALL INSTALL NEW SIGNAL LOOP DETECTORS PRIOR TO OVERLAY OPERATIONS TO NEGATE THE NEED TO SAWCUT NEW PAVEMENT SURFACE (SEE SIGNAL PLANS). CONTRACTOR SHALL CONTACT MARYLAND STATE HIGHWAY ADMINISTRATION TO SET SIGNAL TIMING TO FIXED TIME.
 - 3) CONTRACTOR SHALL MILL AND OVERLAY SOUTHBOUND CENTRE PARK DRIVE WHILE MAINTAINING ONE LANE OF TRAFFIC WITH A FLAGGING OPERATION AS DETAILED IN STANDARD DETAIL TE-18 IN THE HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
 - 4) INSTALL PAVEMENT MARKINGS AS SHOWN ON STRIPING PLAN.
 - 5) MILL AND OVERLAY OPERATIONS SHALL NOT BE PERFORMED DURING PEAK TRAFFIC PERIODS (6AM - 9AM AND 4PM TO 7PM) TO MINIMIZE IMPACT TO TRAFFIC.


OWNER/DEVELOPER

COLUMBIA PALACE LIMITED PARTNERSHIP
 17 W. PENNSYLVANIA AVE.
 TOWSON, MARYLAND 21204-5016
 DEED REFERENCE = 1435/257
 DEED REFERENCE = 1389/337


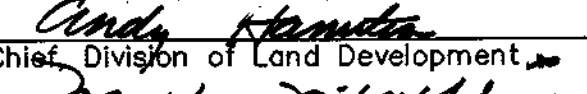

DATE	NO.	REVISIONS

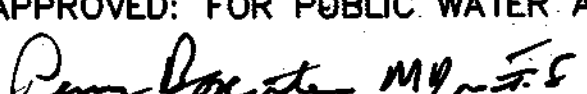
TRAFFIC CONTROL PLAN

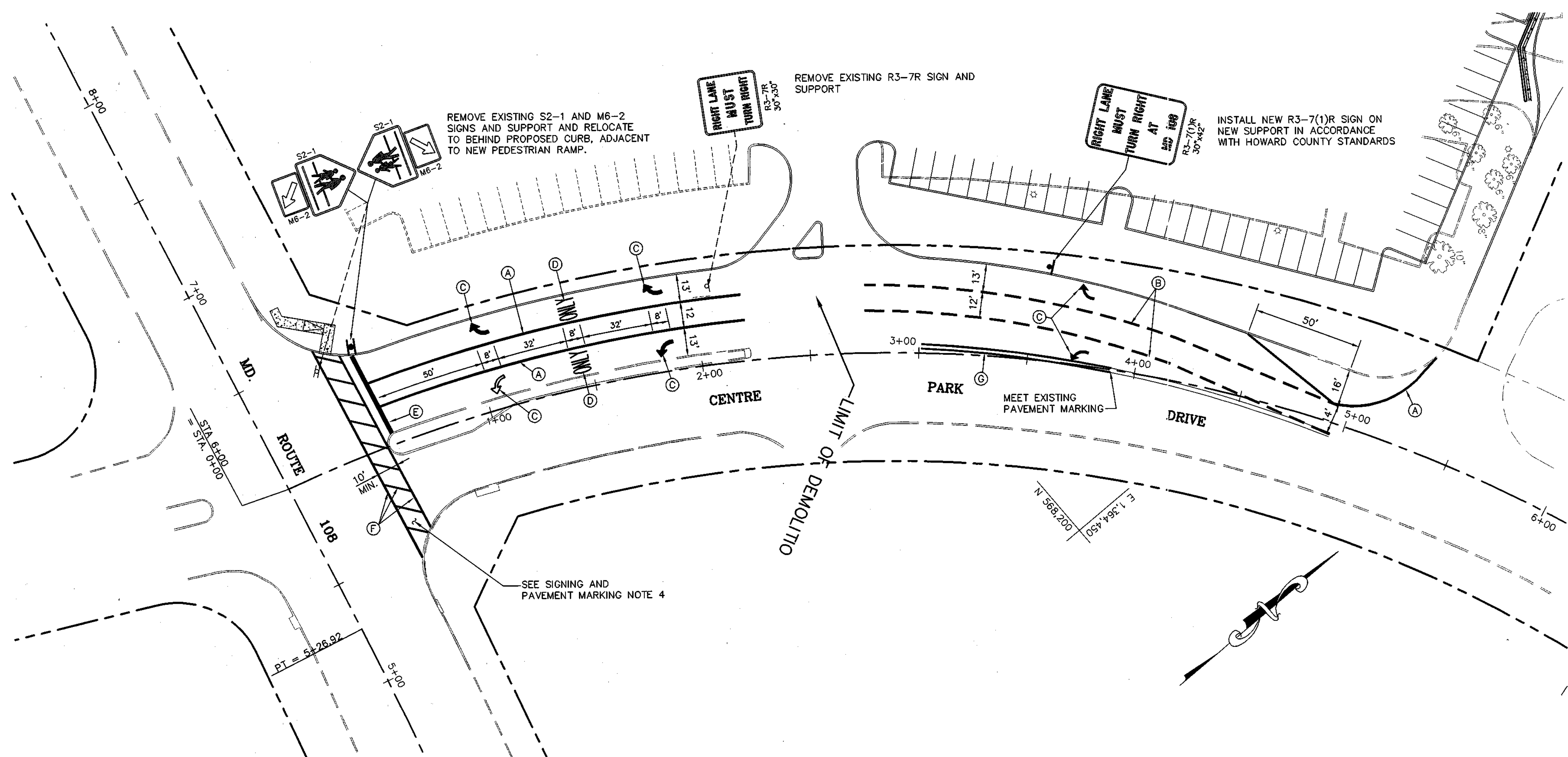
PROJECT TITLE:
**OAKLAND EXECUTIVE PARK
 PARCEL A-1
 8805 CENTRE PARK DRIVE
 HOWARD COUNTY, MARYLAND**

ENGINEERS:  Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
 WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: M.J.A.	ELECTION DIST: 2
DRAWN: H.H.	CENSUS TRACT #: 6023.02
CHECKED: M.J.A.	WATER CODE: G-07
DATE: 9/18/02	SEWER CODE: 56574000
SCALE: 1"=30'	DRAWING NO: C-15
MAP NO.: 30	
GRID NO.: 1	
PARCEL NO.: 104	SHEET 22 OF 26

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Date: 2/20/03
 Date: 2/19/03
 Date: 2/13/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 Date: 2-21-03
 County Health Officer
 Howard County Health Department



SIGNING AND PAVEMENT MARKING

SCALE: 1"=30'

SIGNING AND PAVEMENT MARKING NOTES


- ① ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
- ② ALL NEW PAVEMENT MARKING LINES SHALL BE WATER-BASED PAVEMENT MARKING PAINT.
- ③ ALL NEW PAVEMENT MARKING ARROWS AND WORDS SHALL BE LEAD-FREE REFLECTIVE THERMO-PLASTIC PAVEMENT MARKING MATERIAL.
- ④ CONTRACTOR SHALL GRIND EXISTING CROSSWALK MARKINGS ACROSS NORTHBOUND CENTRE PARK DRIVE PRIOR TO INSTALLING PROPOSED MARKINGS.


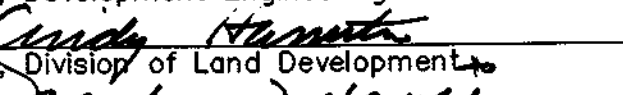
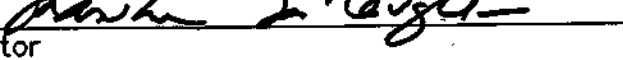
LEGEND

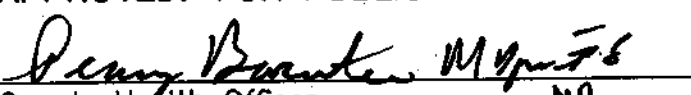
- A. 5" SINGLE WHITE LANE LINE
- B. 5" DASHED WHITE LANE LINE (2 FT LINE & 6 FT SPACE)
- C. PAVEMENT MARKING ARROW
- D. PAVEMENT MARKING WORD
- E. 24" STOP LINE
- F. 12" CROSSWALK LINE
- G. 5" DOUBLE YELLOW CENTERLINE

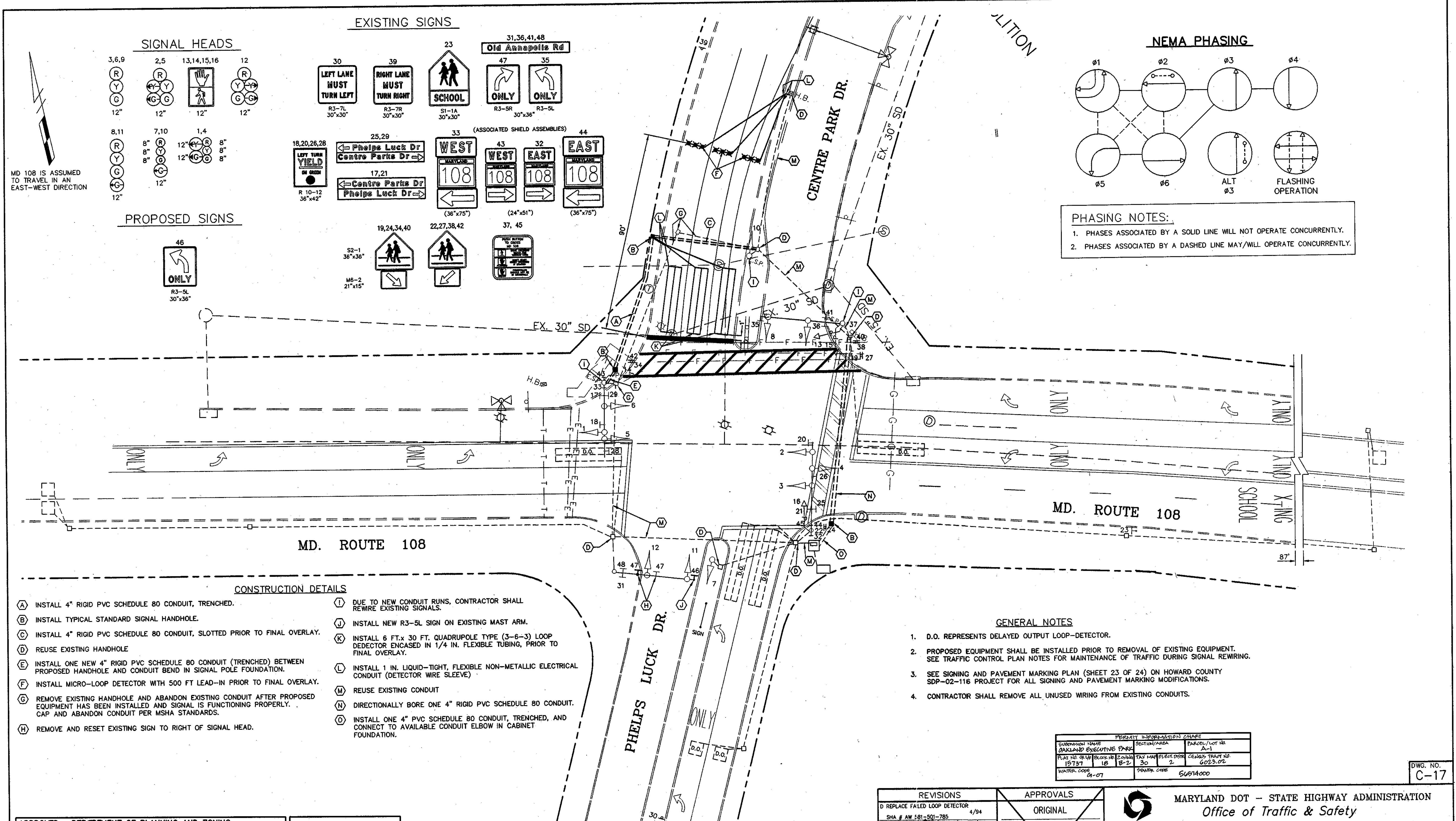
OWNER/DEVELOPER

COLUMBIA PALACE LIMITED PARTNERSHIP
 17 W. PENNSYLVANIA AVE.
 TOWSON, MARYLAND 21204-5016
 DEED REFERENCE = 1435/257
 DEED REFERENCE = 1389/337

DATE	NO.	REVISIONS
SIGNING AND PAVEMENT MARKING PLAN		
PROJECT TITLE: OAKLAND EXECUTIVE PARK PARCEL A-1 8805 CENTRE PARK DRIVE HOWARD COUNTY, MARYLAND		
ENGINEERS:		 Consulting Engineers 849 Fairmount Avenue Baltimore, Maryland 21286 (410) 512-4500 (410) 324-4100 (FAX) WHITNEY, BAILEY, COX & MAGNANI, LLC
DESIGNED: M.J.A.	ELECTION DIST.: 2	
DRAWN: H.H.	CENSUS TRACT #: 6023.02	
CHECKED: M.J.A.	WATER CODE: G-07	
DATE: 9/18/02	SEWER CODE: 56574000	
SCALE: AS SHOWN	DRAWING NO:	C-16
MAP NO.: 30		
GRID NO.: 1		
PARCEL NO.: 104	SHEET 23 OF 26	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Date **2/2/03**
 Chief, Development Engineering Division
 Date **3/12/03**
 Chief, Division of Land Development
 Date **2/12/03**
 Director

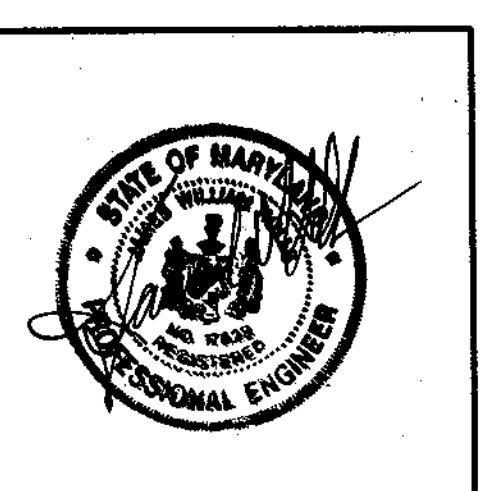
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 Date **2-2-03**
 County Health Officer
 Howard County Health Department



- CONSTRUCTION DETAILS**
- (A) INSTALL 4" RIGID PVC SCHEDULE 80 CONDUIT, TRENCHED.
 - (B) INSTALL TYPICAL STANDARD SIGNAL HANDHOLE.
 - (C) INSTALL 4" RIGID PVC SCHEDULE 80 CONDUIT, SLOTTED PRIOR TO FINAL OVERLAY.
 - (D) REUSE EXISTING HANDHOLE
 - (E) INSTALL ONE NEW 4" RIGID PVC SCHEDULE 80 CONDUIT (TRENCHED) BETWEEN PROPOSED HANDHOLE AND CONDUIT BEND IN SIGNAL POLE FOUNDATION.
 - (F) INSTALL MICRO-LOOP DETECTOR WITH 500 FT LEAD-IN PRIOR TO FINAL OVERLAY.
 - (G) REMOVE EXISTING HANDHOLE AND ABANDON EXISTING CONDUIT AFTER PROPOSED EQUIPMENT HAS BEEN INSTALLED AND SIGNAL IS FUNCTIONING PROPERLY. CAP AND ABANDON CONDUIT PER MSHA STANDARDS.
 - (H) REMOVE AND RESET EXISTING SIGN TO RIGHT OF SIGNAL HEAD.
 - (I) DUE TO NEW CONDUIT RUNS, CONTRACTOR SHALL REWIRE EXISTING SIGNALS.
 - (J) INSTALL NEW R3-SL SIGN ON EXISTING MAST ARM.
 - (K) INSTALL 6 FT. x 30 FT. QUADRUPOLE TYPE (3-6-3) LOOP DETECTOR ENCASED IN 1/4 IN. FLEXIBLE TUBING, PRIOR TO FINAL OVERLAY.
 - (L) INSTALL 1 IN. LIQUID-TIGHT, FLEXIBLE NON-METALLIC ELECTRICAL CONDUIT (DETECTOR WIRE SLEEVE).
 - (M) REUSE EXISTING CONDUIT
 - (N) DIRECTIONALLY BORE ONE 4" RIGID PVC SCHEDULE 80 CONDUIT.
 - (O) INSTALL ONE 4" PVC SCHEDULE 80 CONDUIT, TRENCHED, AND CONNECT TO AVAILABLE CONDUIT ELBOW IN CABINET FOUNDATION.

- GENERAL NOTES**
- D.O. REPRESENTS DELAYED OUTPUT LOOP-DETECTOR.
 - PROPOSED EQUIPMENT SHALL BE INSTALLED PRIOR TO REMOVAL OF EXISTING EQUIPMENT. SEE TRAFFIC CONTROL PLAN NOTES FOR MAINTENANCE OF TRAFFIC DURING SIGNAL REWIRING.
 - SEE SIGNING AND PAVEMENT MARKING PLAN (SHEET 23 OF 24) ON HOWARD COUNTY SDP-02-116 PROJECT FOR ALL SIGNING AND PAVEMENT MARKING MODIFICATIONS.
 - CONTRACTOR SHALL REMOVE ALL UNUSED WIRING FROM EXISTING CONDUITS.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Date: 2/20/03
 Chief, Division of Land Development
 Date: 2/10/03
 Director
 Date: 2-21-03



REVISION G CONSULTANT
WHITNEY CONSULTING ENGINEERS
 BAILEY
 COX
 MAGNANI, LLC
 849 FAIRMOUNT AVENUE
 BALTIMORE, MD. 21286
 (410) 512-4500

REVISIONS		APPROVALS	
D REPLACE FALED LOOP DETECTOR	4/94	ORIGINAL	
SHA # AW 181-501-785		ASST. TRAFFIC ENGINEERING DESIGN DIVISION	
R/S RD			
C INSTALL E/P LEFT-TURN PHASING ON PHELPS LUCK DRIVE	7/92	ON	
MFL		ASST. DISTRICT ENGINEER, TRAFFIC	
B REMOVE H.B. RECONNECT WITH HOWARD HIGH SCHOOL AND INSTALL S.I.B. SIGN	7/92	FILE	
MEL			
A S.H.A. NO. 855-25003 REBUILD EXISTING SIGNAL DUE TO GEOMETRIC MODIFICATION	8/17/84		
E SPLIT SIDE ROAD, OVERLAP RT. TURN FOR 3+5 @ 2 ALT. PED. MOVEMENT	4/97		
SH #			
E.M.			
		DIRECTOR, TRAFFIC & SAFETY	

PERMIT INFORMATION CHART

SUBMISSION NAME	SECTION/AREA	PARCEL/LOT NO.
OAKLAND EXECUTIVE PARK		A-1
PLAT NO. OR REF. BLOCK NO.	TAX MAP/ELECT. DIST.	CENSUS TRACT NO.
15797 1B 18-2	30 2	6023.02
WATER CODE	SEWER CODE	
01-07	60614000	

MDARYLAND DOT - STATE HIGHWAY ADMINISTRATION
 Office of Traffic & Safety
TRAFFIC ENGINEERING DESIGN DIVISION
 TRAFFIC SIGNALIZATION PLAN
 MD 108 AND PHELPS LUCK DRIVE/
 CENTRE PARK DRIVE

DRAWN BY: G.F.P.
 CHECKED BY: [Signature]
 SCALE: 1"=20'
 DATE: 12/19/80

F.A.P. NO. 23855T2507706
 S.H.A. NO. HOWARD
 COUNTY: LOG MILE: 1301021.79

TS NO. TS-17956
 T.I.M.S. NO. XXX
 SHEET NO. 24 OF 26

P:\2001\01037500\DRAWINGS\07-SIGNAL\SHA-1 Traffic signal.dwg

PROJECT DESCRIPTION

PROJECT DESCRIPTION

THIS PROJECT INVOLVES GEOMETRIC IMPROVEMENTS TO THE CENTRE PARK DRIVE APPROACH. CENTRE PARK DRIVE SHALL BE WIDENED TO PROVIDE SEPARATE LEFT-TURN, THROUGH, AND RIGHT-TURN LANES. AS A RESULT OF THE WIDENING, THE MD 108/CENTRE PARK DRIVE SIGNAL SHALL BE UPGRADED WITH NEW PRESENCE AND ADVANCE VEHICLE DETECTORS ALONG CENTRE PARK DRIVE, AND A NEW CONDUIT RUN PARALLEL TO CENTRE PARK DRIVE. THE NEW CONDUIT RUNS AND ASSOCIATED HANDHOLES SHALL REQUIRE THE SIGNALS IN THE NORTH-EAST AND NORTH-WEST QUADRANTS OF THE INTERSECTION TO BE REWIRED, ALONG WITH THE PEDESTAL MOUNTED SIGNAL IN THE CENTRE PARK DRIVE MEDIAN.

INTERSECTION OPERATION

INTERSECTION OPERATION SHALL REMAIN THE SAME AS EXISTING CONDITIONS.

CONTROLLER REQUIREMENTS

ALL PROPOSED SIGNAL HEAD WIRING SHALL BE BROUGHT BACK TO THE EXISTING CONTROLLER CABINET.

EQUIPMENT LIST "A"

A. Equipment to be Furnished by the Administration

NONE

EQUIPMENT LIST "B"

B. Equipment to be Furnished and/or installed by the Contractor

Specification Number	Quantity	Description
	3 EA	F & I Microloop Probe, 500 FT lead in Cable
	120 LF	F & I 4 Inch Schedule 80 Rigid PVC Conduit - Trenched
	550 LF	F & I No. 6 AWG Stranded Bare Copper Ground Wire
	60 LF	F & I 4 Inch Schedule 80 Rigid PVC Conduit - Slotted
	3 EA	F & I Electrical Handhole
	380 LF	F & I Electrical Cable - 5 Conductor (No. 14 AWG)
	900 LF	F & I Electrical Cable - 7 Conductor (No. 14 AWG)
	400 LF	F & I Electrical Cable - 2 Conductor (No. 14 AWG)
	750 LF	F & I Electrical Cable- 2 Conductor (No. 14 AWG-Aluminum Shielded)
	1400 LF	F & I Loop Wire Encased in Flexible Tubing (No. 14 AWG)
	600 LF	F & I Saw Cut for Signal (Loop Detector)
	8 SF	F & I Aluminum Sign- Mast Arm Mounted
	190 LF	F & I Electrical Cable- 3 Conductor (No. 14 AWG)
	95 LF	F & I 4 Inch Schedule 80 Rigid PVC Conduit - Bored

EQUIPMENT LIST "C"

C. Equipment to be Removed and Discarded

NONE

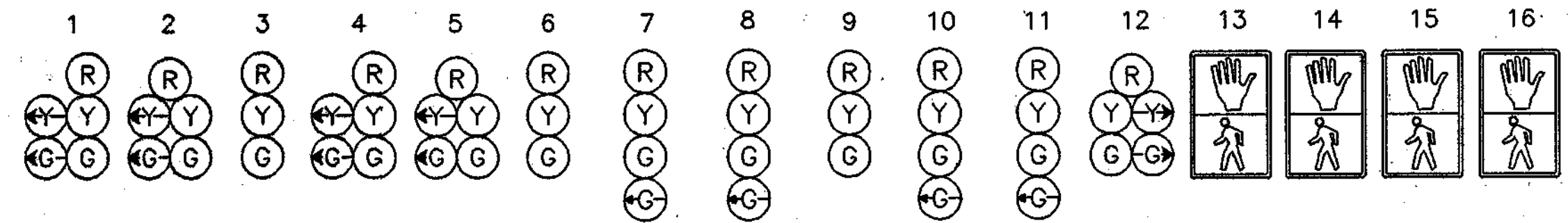
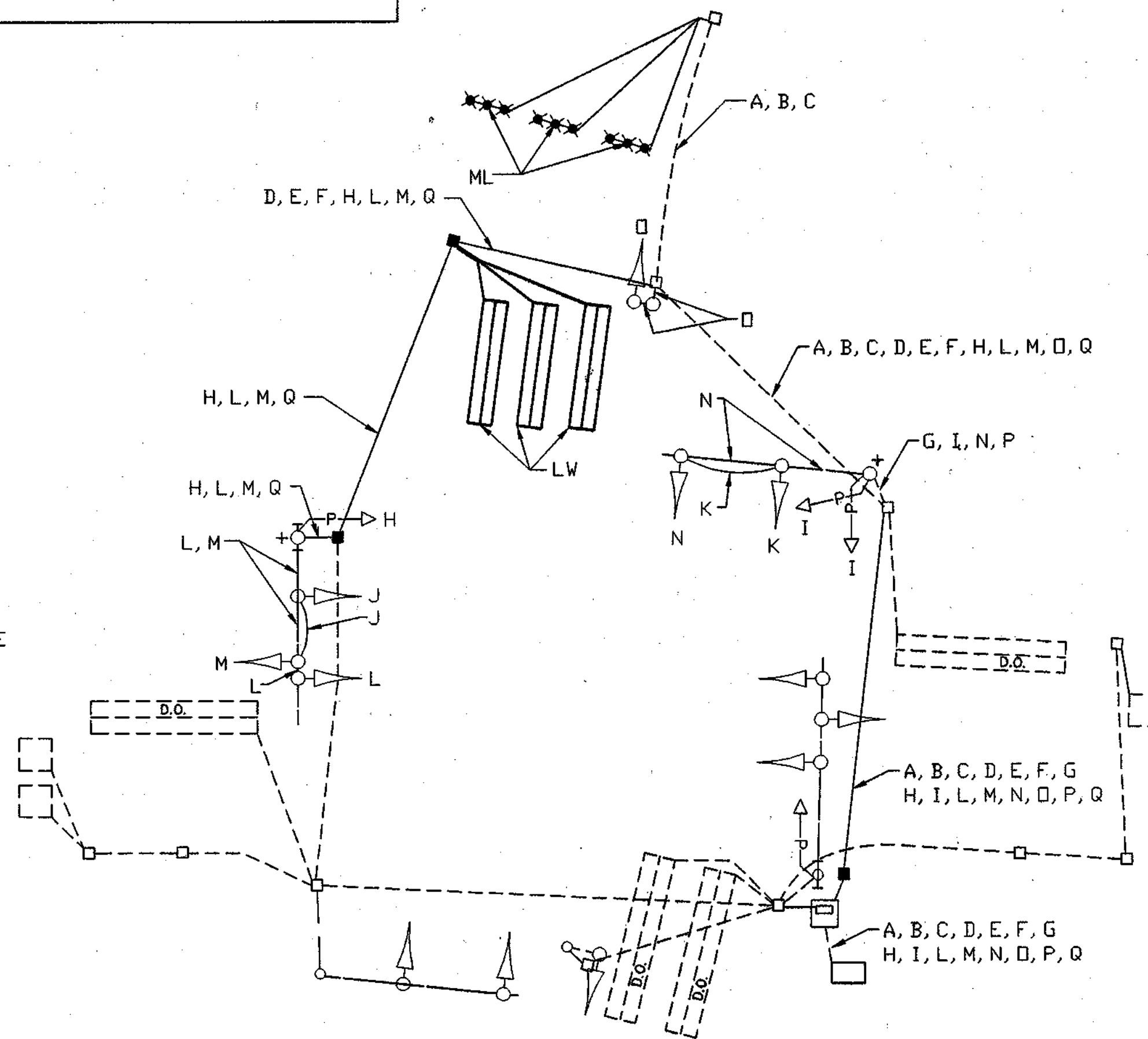
EQUIPMENT LIST "D"

D. Equipment that is to be returned to the Administration

NONE

WIRING KEY

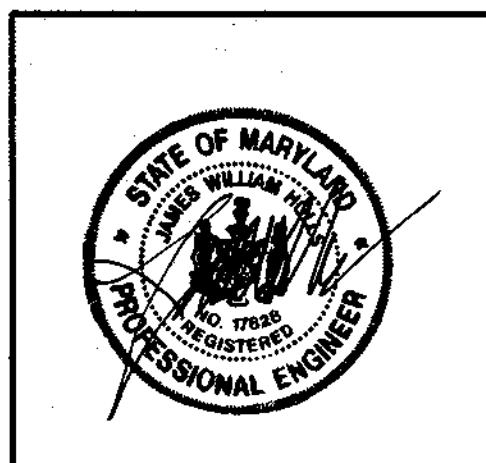
- A, B, C MICRO-LOOP PROBE LEAD-IN
- D, E, F, 2-CONDUCTOR ELECTRICAL CABLE (NO. 14 AWG-ALUMINUM SHIELDED)
- G 2-CONDUCTOR ELECTRICAL CABLE (NO. 14 AWG)
- H 3-CONDUCTOR ELECTRICAL CABLE (NO. 14 AWG)
- I, J, K 5-CONDUCTOR ELECTRICAL CABLE (NO. 14 AWG)
- L, M, N, O 7-CONDUCTOR ELECTRICAL CABLE (NO. 14 AWG)
- P, Q STRANDED BARE COPPER GROUND WIRE (NO. 6 AWG)
- ML MICRO LOOP
- LW LOOP WIRE (NO. 14 AWG)
- + 3/4 IN. X 10 FT. GROUND ROD



	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
PHASE 1 & 5	←G	←G	R	←G	←G	R	R	R	R	R	R	G→	Hand	Hand	Hand	Hand
1 & 5 CHANGE	←Y	←Y	R	←Y	←Y	R	R	R	R	R	R	Y→	Hand	Hand	Hand	Hand
PHASE 1 & 6	←G G	←G G	G	R	R	R	R	R	R	R	R	G→	Hand	Hand	Hand	Hand
1 & 6 CHANGE	←Y Y	←Y Y	Y	R	R	R	R	R	R	R	R	Y→	Hand	Hand	Hand	Hand
PHASE 2 & 5	R	R	R	←G G	←G G	G	R	R	R	R	R	R	FL Hand	FL Hand	Hand	Hand
PED. CLEAR	R	R	R	←G G	←G G	G	R	R	R	R	R	R	FL Hand	FL Hand	Hand	Hand
2 & 5 CHANGE	R	R	R	←Y Y	←Y Y	Y	R	R	R	R	R	R	FL Hand	FL Hand	Hand	Hand
PHASE 2 & 6	G	G	G	G	G	G	R	R	R	R	R	R	FL Hand	FL Hand	Hand	Hand
PED. CLEAR	G	G	G	G	G	G	R	R	R	R	R	R	FL Hand	FL Hand	Hand	Hand
2 & 6 CHANGE	Y	Y	Y	Y	Y	Y	R	R	R	R	R	R	FL Hand	FL Hand	Hand	Hand
PHASE 3	R	R	R	R	R	R	←G	←G	G	R	R	R	Hand	Hand	Hand	Hand
3 CHANGE	R	R	R	R	R	R	Y	Y	Y	R	R	R	Hand	Hand	Hand	Hand
PHASE 3 ALT	R	R	R	R	R	R	←G	←G	G	R	R	R	Hand	Hand	Hand	Hand
PED. CLEAR	R	R	R	R	R	R	←G	←G	G	R	R	R	Hand	Hand	FL Hand	FL Hand
3 ALT. CHANGE	R	R	R	R	R	R	Y	Y	Y	R	R	R	Hand	Hand	Hand	Hand
PHASE 4	R	R	R	R	R	R	R	R	R	G	←G	G	Hand	Hand	Hand	Hand
4 CHANGE	R	R	R	R	R	R	R	R	R	Y	Y	Y	Hand	Hand	Hand	Hand
FLASHING OPERATION	FL/Y	FL/Y	FL/Y	FL/Y	FL/Y	FL/Y	FL/R	FL/R	FL/R	FL/R	FL/R	FL/R	DARK	DARK	DARK	DARK

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: [Signature] Date: 2/20/03
 Chief, Division of Land Development: [Signature] Date: 2/19/03
 Director: [Signature] Date: 2/19/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer: [Signature] Date: 2-21-03
 Howard County Health Department



PERMIT INFORMATION CHART
 SUBMITTAL NAME: OAKLAND EXECUTIVE PARK SECTION/AREA: PARCEL/LOT NO. A-1
 PLAN NO. & DATE: 18 B-2 THE MAP: 30 ELECT. PHOS: 2 CENSUS TRACT NO. 6023.02
 WATER CODE: 61-01 OWNER CODE: 61614000

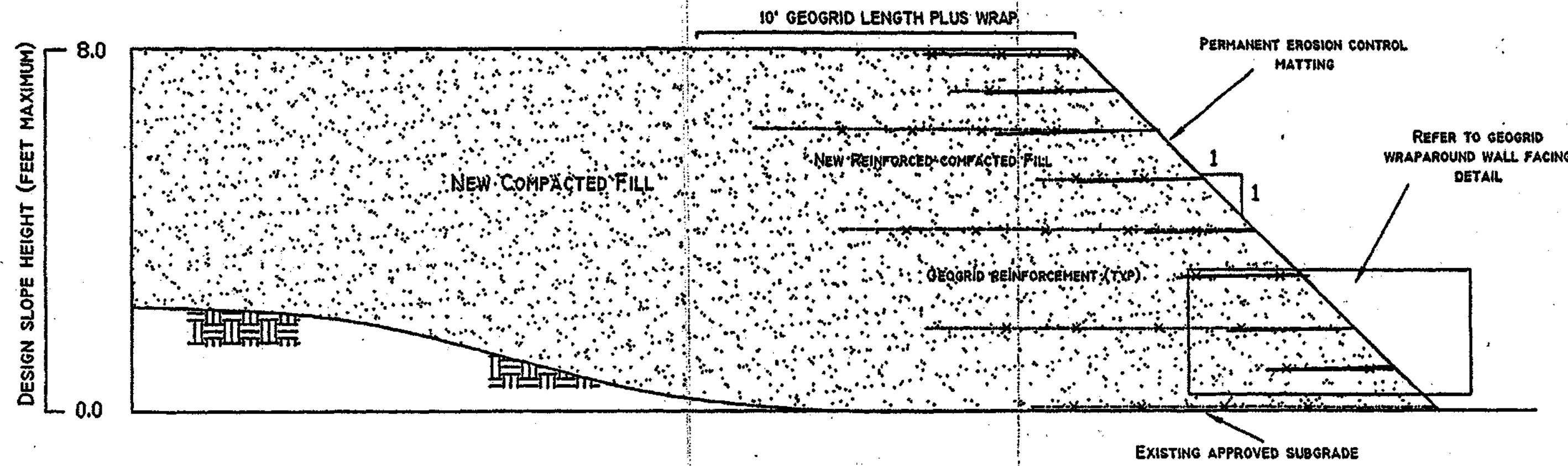
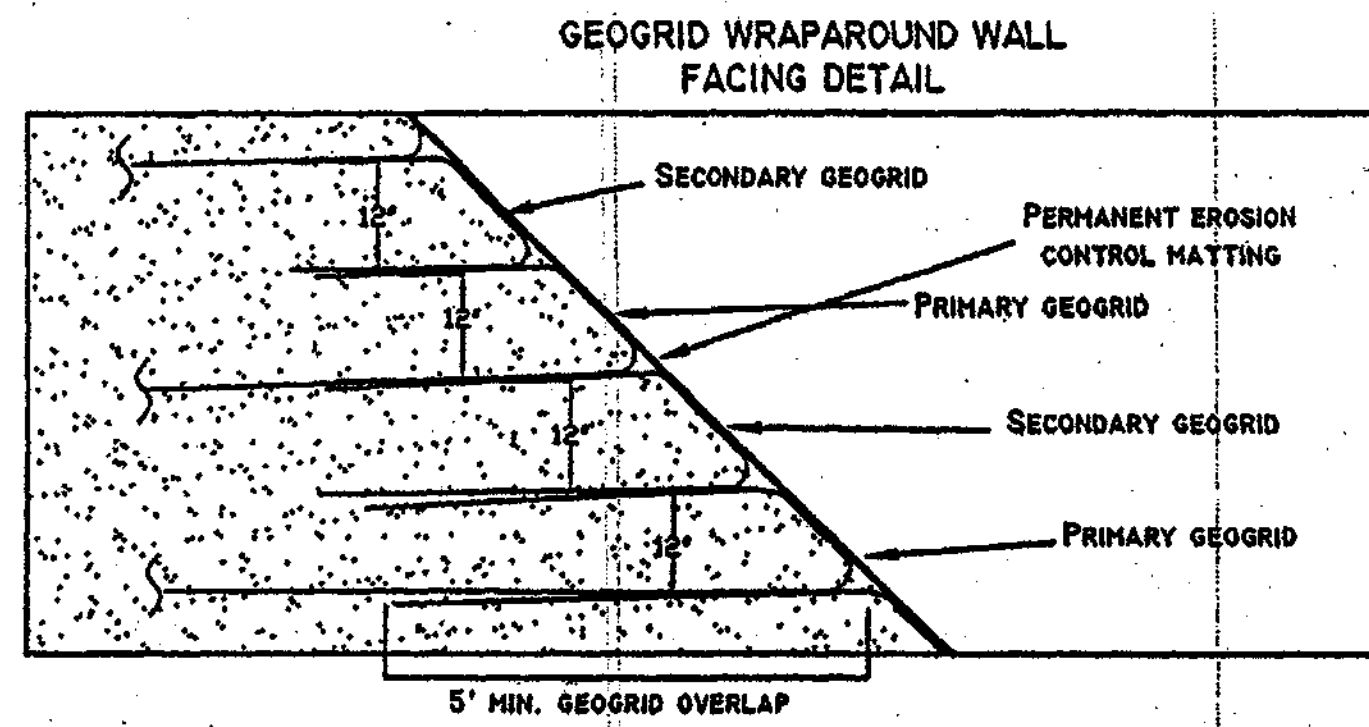
REVISION G CONSULTANT
 WHITNEY CONSULTING ENGINEERS
 849 FAIRMOUNT AVENUE
 BALTIMORE, MD. 21286
 (410) 512-4500
 COX MAGNANI, LLC

MARYLAND DOT - STATE HIGHWAY ADMINISTRATION
 Office of Traffic & Safety
 TRAFFIC ENGINEERING DESIGN DIVISION
 TRAFFIC SIGNALIZATION PLAN
 MD 108 AND PHELPS LUCK DRIVE/
 CENTRE PARK DRIVE

DRAWN BY: G.F.P. F.A.P. NO.: 23855T2507706 TS NO.: TS-1795F SHEET NO.: 25 OF 26
 CHECKED BY: SCALE: 1"=20' COUNTY: HOWARD T.I.M.S. NO.: XXX
 DATE: 12/19/80 LOG MILE: SDP-02-116

DWG. NO. C-18

P:\2001\01037500\DRAWINGS\07-SITE\01A-2 Traffic signal.dwg



TYPICAL REINFORCED SLOPE
X-SECTION
COLUMBIA GIANT
1" = 20'

GENERAL NOTES
FOR REINFORCED STRUCTURAL FILL SLOPE

STRUCTURAL GEOGRIDS

The primary and secondary reinforcement shall be Mirafix 5XT geogrid.

The minimum allowable junction strength of the geogrid, as per G.R.I.-GG2, shall be equal to or greater than 80% of the ultimate strength of the geogrid, as per G.R.I.-GG1.

The manufacturer shall provide certification of the ultimate strength of the geogrid as per GG1 is equal to or greater than the ultimate strength called for on the drawings.

The manufacturer shall furnish the Engineer with written certification that all purchased resin used to produce the structural geogrid is virgin resin.

TURF REINFORCEMENT MAT

The Turf Reinforcement Mat (TRM) shall be Landlok TRM-450, consisting of polyolefin fibers positioned between to biaxially oriented nets and mechanically bound together by parallel stitching with polyolefin threads.

REINFORCED BACKFILL

Reinforced backfill shall consist of suitable granular materials consisting of USCS soil types GP, GW, SW, SP, or SM meeting the following gradation as determined in accordance with ASTM D-422:

Sieve Size	Percent Passing
4 Inch	100
No. 4	20-100
No. 40	0-75
No. 200	0-35

The plasticity index of the fine fraction shall be less than 10.

If hand compaction methods are utilized in any portion of the slope backfill, the maximum particle size shall be limited to 3-inches.

USCS soil types CL, CH, ML, MH, or OL shall not be used in any portion of the slope backfill including retained materials placed beyond the reinforced zones.

SUBGRADE PREPARATION

Subgrade shall be excavated as required for placement of the specified amount of foundation backfill as shown on the construction drawings, or as directed by the Geotechnical Engineer.

Subgrade shall be examined by the Geotechnical Engineer to confirm that the actual foundation conditions meet or exceed assumed design assumptions. As a minimum, soil shall be proof-rolled before construction proceeds. Subgrade conditions not meeting the required strength shall be removed and replaced with acceptable material.

Over-excavated areas shall be replaced with material meeting the requirements for foundation backfill, approved by the geotechnical engineer, to the lines and grade shown on the construction drawings.

Granular backfill shall be placed in loose lifts not exceeding 10-inches in thickness, compacted to a minimum of 95 percent of the maximum density as determined by AASHTO T-180 or ASTM D-1557. The moisture content of the backfill prior to, and during compaction shall be uniformly distributed throughout each layer and should be within a range of 3% below, to 3% above optimum moisture content.

STRUCTURAL GEOGRID INSTALLATION

Geogrid shall be oriented with the highest strength axis perpendicular to the face of the reinforced slope.

Geogrid reinforcement shall be placed at the elevations and to the extent shown on the construction drawings or as directed by the Engineer.

The geogrid soil reinforcement shall be laid horizontally on compacted backfill. The geogrid shall be pulled taut and anchored prior to backfill placement on the geogrid. No tensioning of the geogrid materials shall be required.

Geogrid reinforcements shall be continuous throughout their embedment length(s). Spliced connections between shorter pieces of geogrid will not be allowed.

Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6-inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.

Rubber-tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 mph. Sudden braking and sharp turning shall be avoided.

No changes to geogrid layout, including, but not limited to, length, geogrid type, or elevations, shall be made without the approval of the Engineer.

TURF REINFORCEMENT MAT INSTALLATION

Turf Erosion Mats (TRM) shall be placed over the completed reinforced earth slope. Extend the mats over the crest of the slope by a minimum of 3-feet, and excavate a terminal anchor trench a minimum of 12-inches deep and 6-inches wide.

Anchor mat into the trench as shown on the drawings at maximum 1-foot spacing. Backfill and compact soil in the trench.

Unroll mats down slope, covering adjacent mats a minimum of 3-inches and anchor every 18-inches.

Secure mat to slope with U-shaped 8-gauge wire staples, a minimum of 12-inches in length. Provide a minimum of 3 staples per square yard of TRM.

Excavate a terminal anchor trench at the bottom of the slope a minimum of 12-inches in length. Provide a minimum of 3 staples per square yard of TRM.

Anchor mat into the trench as shown on the drawings at maximum 1-foot spacing. Backfill and compact soil in the trench.

REINFORCED BACKFILL PLACEMENT

Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack in the geogrid.

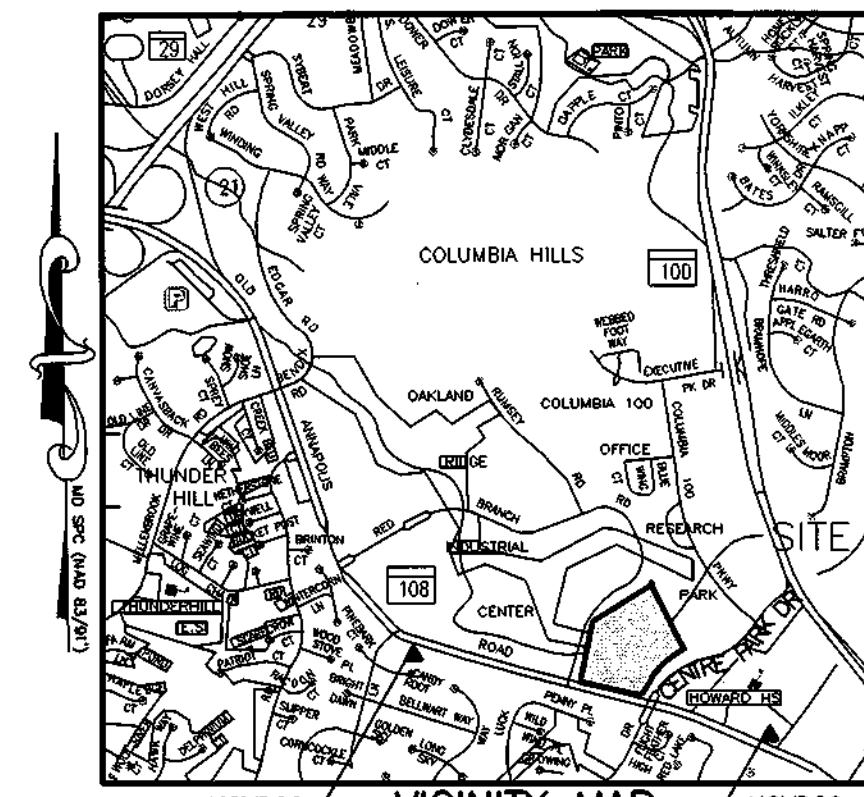
Reinforced backfill shall be placed and compacted in lifts not to exceed 6-inches where hand compaction is used, or 12-inches where heavy mechanical compaction equipment is used.

Reinforced backfill shall be compacted to a minimum of 95 percent of the maximum density as determined by AASHTO T-180 or ASTM D-1557. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be within a range of 3% below, to 3% above optimum moisture content.

Reinforced backfill shall be compacted in all areas to the line and grades shown on the plans.

SITE DRAINAGE

At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the slope face to rapidly direct runoff away from the wall face.



OWNER/DEVELOPER

COLUMBIA PALACE LIMITED PARTNERSHIP
17 W. PENNSYLVANIA AVE.
TOWSON, MARYLAND 21204-5016
DEED REFERENCE = 1435/257
DEED REFERENCE = 1389/337

DATE	NO.	REVISIONS
5/1/03	1	REVISED PARKING AT REAR OF PROP. BLDG.#2 AND ADJUSTED REAR LOADING AREA AND BLDG FOR BLDG#1

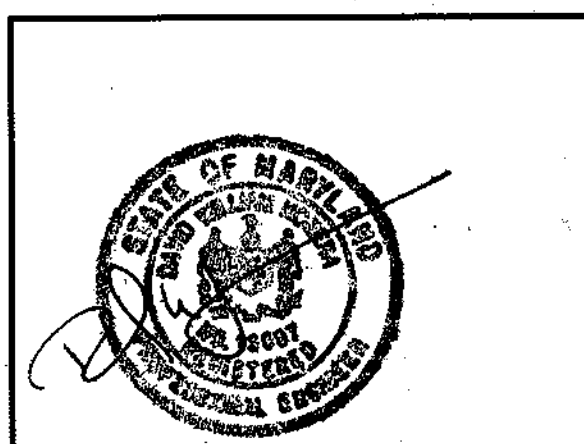
REINFORCED SLOPE

PROJECT TITLE:
OAKLAND EXECUTIVE PARK
PARCEL A-1
8805 CENTRE PARK DRIVE
HOWARD COUNTY, MARYLAND

ENGINEERS: **WR** Consulting Engineers
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

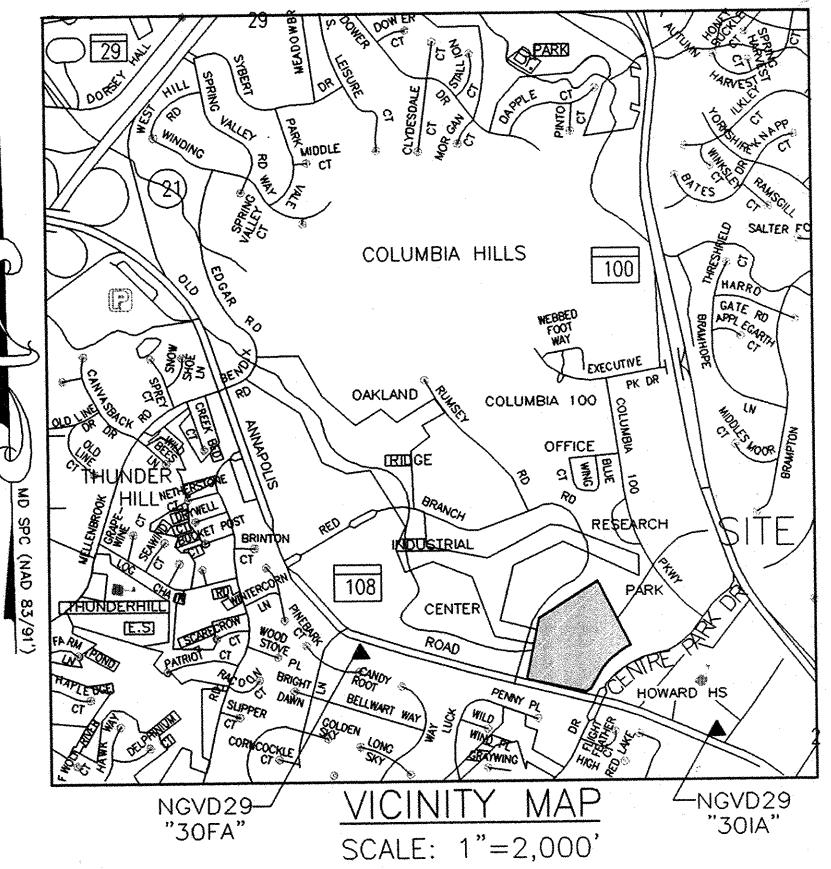
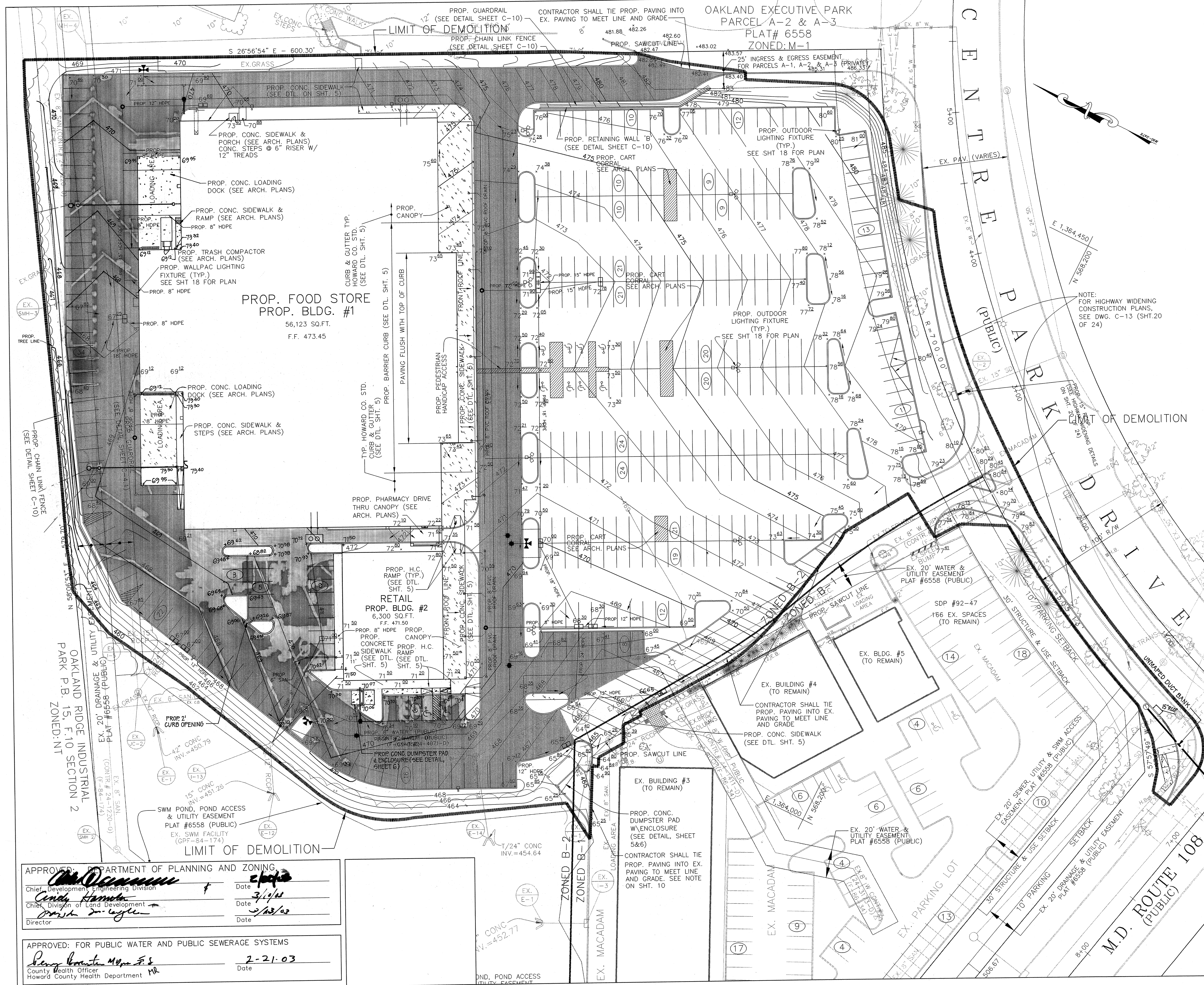
DESIGNED: D.M.B.	ELECTION DIST.: 1
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 5/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 30	C-19
GRID NO.: 1	
PARCEL NO.: 104	SHEET 26 OF 26

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chad D. Williams 7/22/03
Chief, Development Engineering Division Date
Cindy Hamilton 7/24/03
Chief, Division of Land Development Date
Paul A. Eagle 7/24/03
Director Date



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
N/A
County Health Officer
Howard County Health Department Date

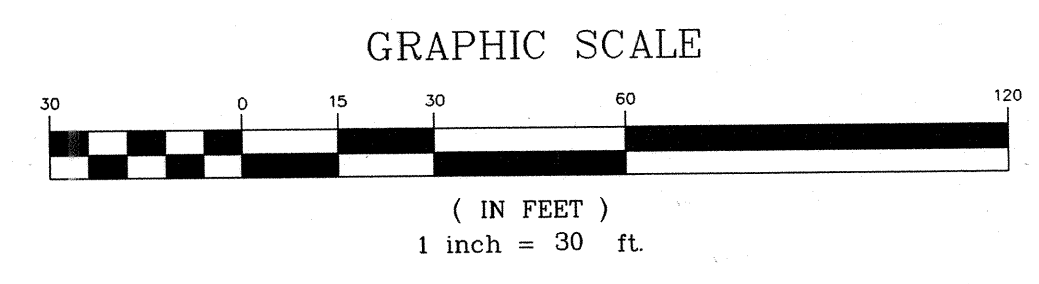
D.W. KOZERA, INC.
PROFESSIONAL ENGINEERS AND GEOLOGISTS
1408 BARE HILLS RD. BALTIMORE, MD 21209
PH. 410.823.1060 FAX. 410.8231062



PAVING LEGEND
SEE DETAILS SHT. 5

	HEAVY DUTY PAVING
	LIGHT DUTY PAVING
	PAVEMENT ADJUSTMENT

NOTE: ALL PROPOSED METERS ARE TO BE PLACED ON THE INTERIOR OF NEW BUILDINGS.



OWNER/DEVELOPER
COLUMBIA PALACE LIMITED PARTNERSHIP
17 W. PENNSYLVANIA AVE.
TOWSON, MARYLAND 21204-5016
DEED REFERENCE = 1435/257
DEED REFERENCE = 1389/337

11/03/04	REVISED LOCATION I-16
5/1/03	REVISED PARKING AT REAR OF PROP. BLDG #2 AND ADJUSTED REAR LOADING AREA AND BLDG FOR BLDG #1
DATE	NO. REVISIONS

SITE & GRADING PLAN

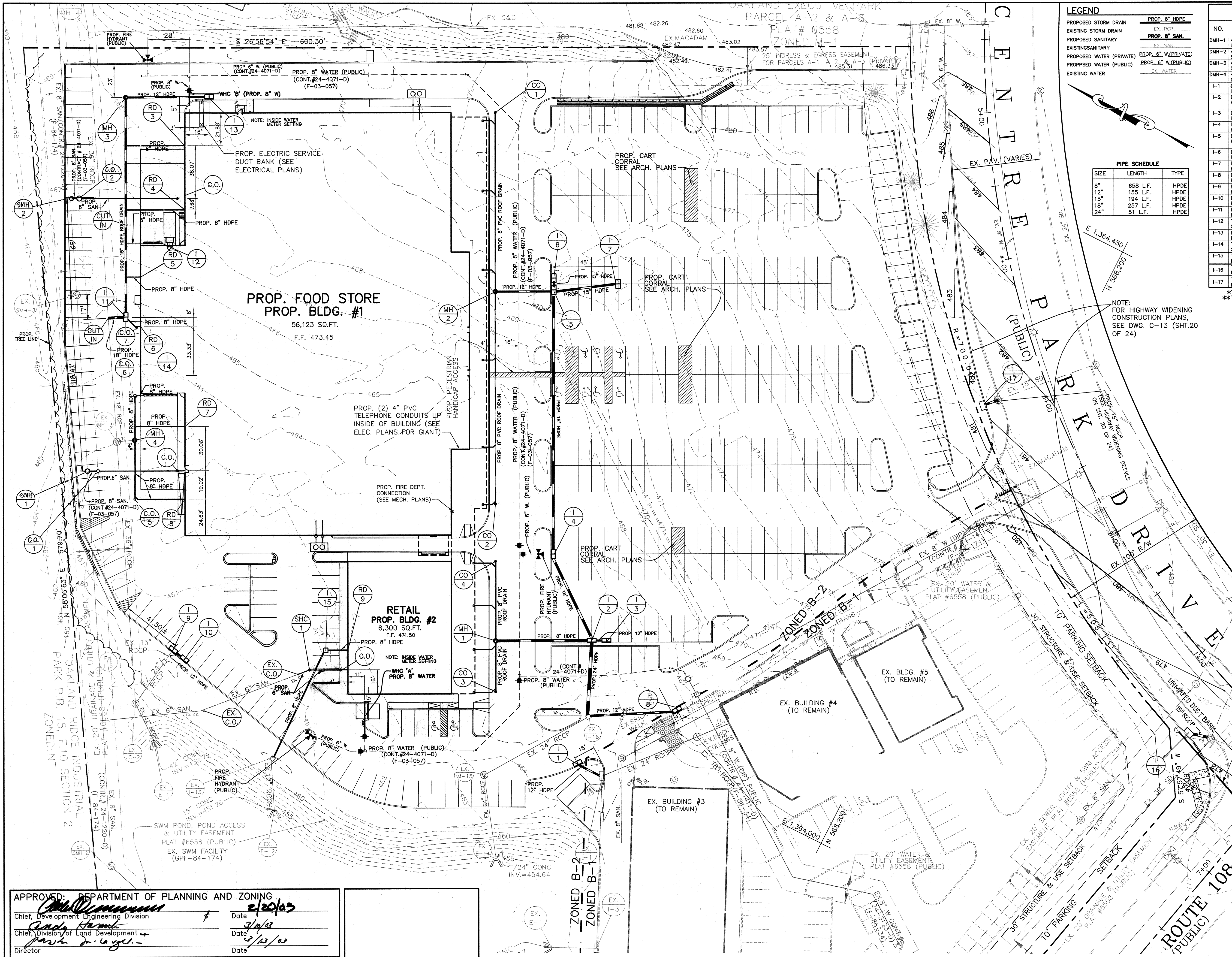
PROJECT TITLE:
**OAKLAND EXECUTIVE PARK
PARCEL A-1
8805 CENTRE PARK DRIVE
HOWARD COUNTY, MARYLAND**

ENGINEERS: Consulting Engineers
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.M.B.	ELECTION DIST.: 2
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 1/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 30	C-3
GRID NO.: 1	
PARCEL NO.: 104	SHEET 4 OF 26

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division Date: 3/10/03
Chief, Division of Land Development Date: 3/13/03
Director Date:

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer Date: 2-21-03
Howard County Health Department



LEGEND

PROPOSED STORM DRAIN	PROP. 8" HDPE
EXISTING STORM DRAIN	EX. RCP
PROPOSED SANITARY	PROP. 8" SAN.
EXISTING SANITARY	EX. SAN.
PROPOSED WATER (PRIVATE)	PROP. 6" W. (PRIVATE)
PROPOSED WATER (PUBLIC)	PROP. 6" W. (PUBLIC)
EXISTING WATER	EX. WATER

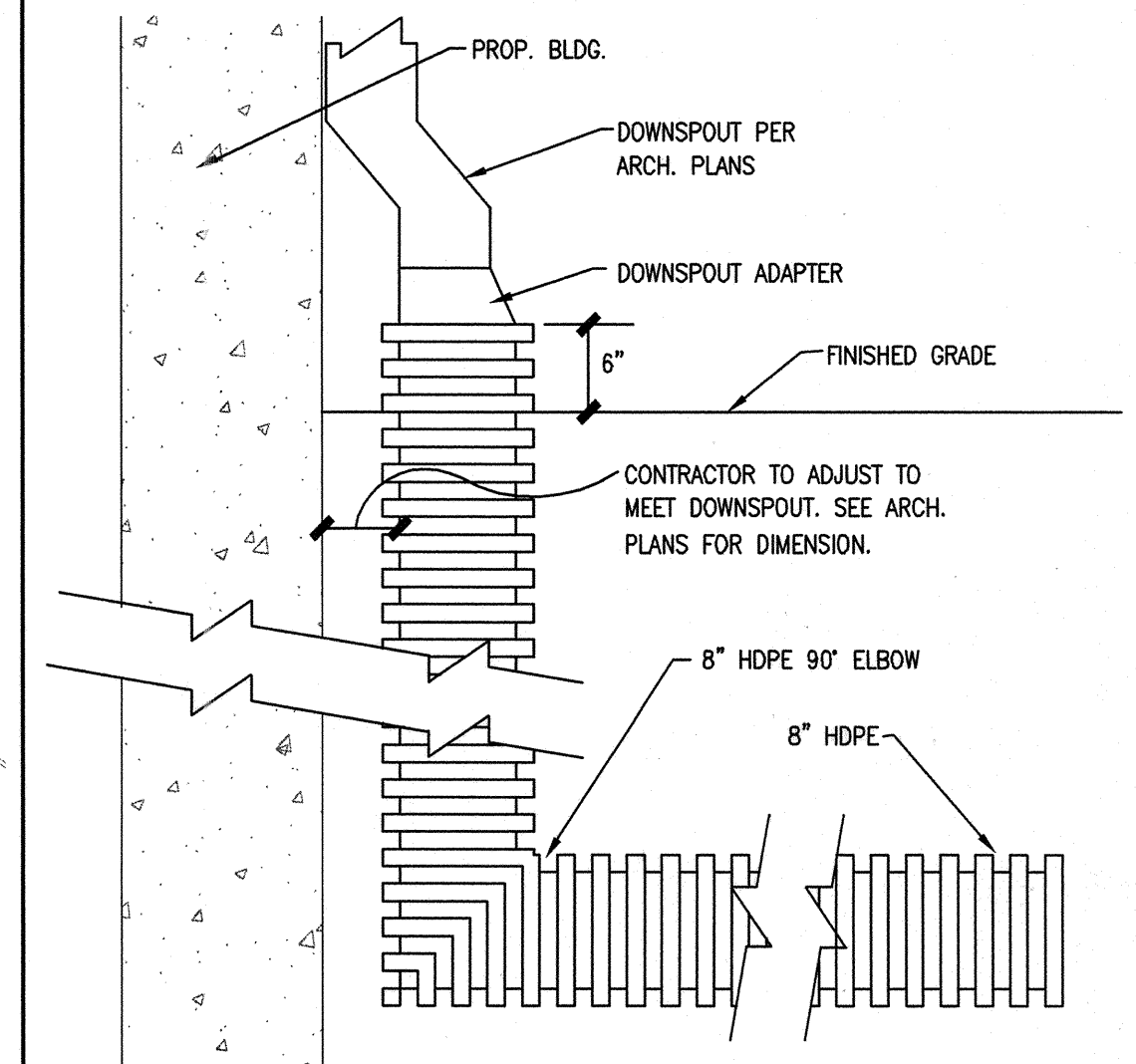
PIPE SCHEDULE

SIZE	LENGTH	TYPE
8"	658 L.F.	HDPE
12"	155 L.F.	HDPE
15"	194 L.F.	HDPE
18"	257 L.F.	HDPE
24"	51 L.F.	HDPE

STORM DRAINAGE STRUCTURE SCHEDULE

NO.	DESCRIPTION	COORDINATES		TOP	INVERT	INVERT
		NORTHING	EASTING			
DMH-1	48" DIAMETER PRECAST MANHOLE, SEE HOWARD COUNTY STD. DETAIL NO. G 5.12	N. 568456.8619	E. 1364023.1985	470.40	487.12	483.61
DMH-2	48" DIAMETER PRECAST MANHOLE, SEE HOWARD COUNTY STD. DETAIL NO. G 5.12	N. 568566.2733	E. 1364234.4975	472.89	487.95	466.56
DMH-3	48" DIAMETER PRECAST MANHOLE, SEE HOWARD COUNTY STD. DETAIL NO. G 5.12	N. 568848.7604	E. 1364238.4775	470.25	486.16	485.91
DMH-4	48" DIAMETER SHALLOW PRECAST MANHOLE, SEE HOWARD COUNTY STD. DETAIL NO. G 5.12	N. 568738.3443	E. 1364034.5293	468.50	484.20	456.84
I-1	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568370.9990	E. 1363973.5993	465.75	---	482.00
I-2	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568400.4690	E. 1364051.7997	468.30	---	481.61
I-3	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568391.5550	E. 1364056.3316	468.30	---	483.60
I-4	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568451.7386	E. 1364093.0377	470.00	---	463.90
I-5	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568532.4104	E. 1364251.7187	471.90	---	465.65
I-6	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568536.9688	E. 1364260.7310	471.90	---	468.44
I-7	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568495.8975	E. 1364275.8849	472.78	---	469.37
I-8	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568327.2530	E. 1364038.2834	466.85	---	462.65
I-9	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568651.0814	E. 1363918.4873	467.00	---	453.39
I-10	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568641.2008	E. 1363916.3387	467.00	---	454.39
I-11	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568781.5472	E. 1364106.2696	467.25	---	463.99
I-12	TRENCH DRAIN SEE ARCH. PLANS OF GIANT FOODS FOR DETAILS	N. 568798.6026	E. 1364166.9009	469.12	---	465.64
I-13	DOUBLE "S" INLET WITH RETICULAR GRATES, SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 568797.9383	E. 1364262.9212	468.60	---	467.00
I-14	TRENCH DRAIN SEE ARCH. PLANS OF GIANT FOODS FOR DETAILS	N. 568751.8370	E. 1364075.1561	469.12	---	466.90
I-15	TYPE "S" INLET, SEE HOWARD CO. STD. DETAIL NO. SD 4.22	N. 568558.4625	E. 1363965.6029	471.00	---	465.36
I-16	TYPE "S" INLET, SEE HOWARD CO. STD. DETAIL NO. SD 4.01 (2'-8" WIDTH)	N. 568000.5781	E. 1364173.3759	478.52	---	470.71
I-17	TYPE "S" INLET, SEE HOWARD CO. STD. DETAIL NO. SD 4.02 (2'-6" WIDTH)	N. 568235.6146	E. 1364315.9792	481.67	---	477.96

NOTE: FOR HIGHWAY WIDENING CONSTRUCTION PLANS, SEE DWG. C-13 (SHT. 20 OF 24)



NOTE: SEE STORM DRAIN PROFILES FOR INVERTS

ROOF DRAIN CONNECTION DETAIL (N.T.S.)

OWNER/DEVELOPER
 COLUMBIA PALACE LIMITED PARTNERSHIP
 17 W. PENNSYLVANIA AVE.
 TOWSON, MARYLAND 21204-5016
 DEED REFERENCE = 1435/257
 DEED REFERENCE = 1389/337

DATE	NO.	REVISIONS
11/03/04		REVISED LOCATION OF I-16
5/1/03	1	REVISED PARKING AT REAR OF PROP. BLDG. #2 AND ADJUSTED REAR LOADING AREA AND BLDG. FOR BLDG. #1

UTILITY PLAN

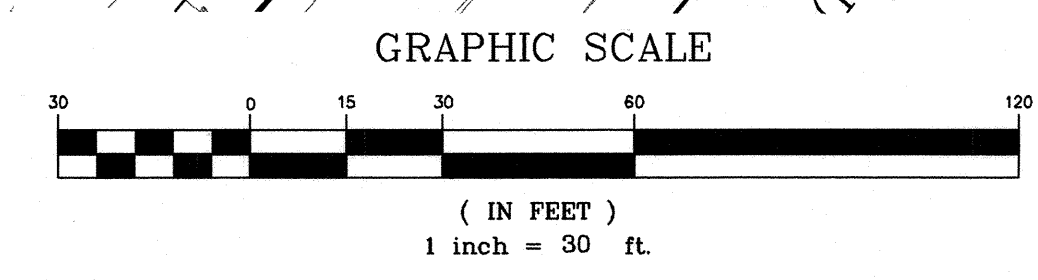
PROJECT TITLE:
OAKLAND EXECUTIVE PARK
 PARCEL A-1
 8805 CENTRE PARK DRIVE
 HOWARD COUNTY, MARYLAND

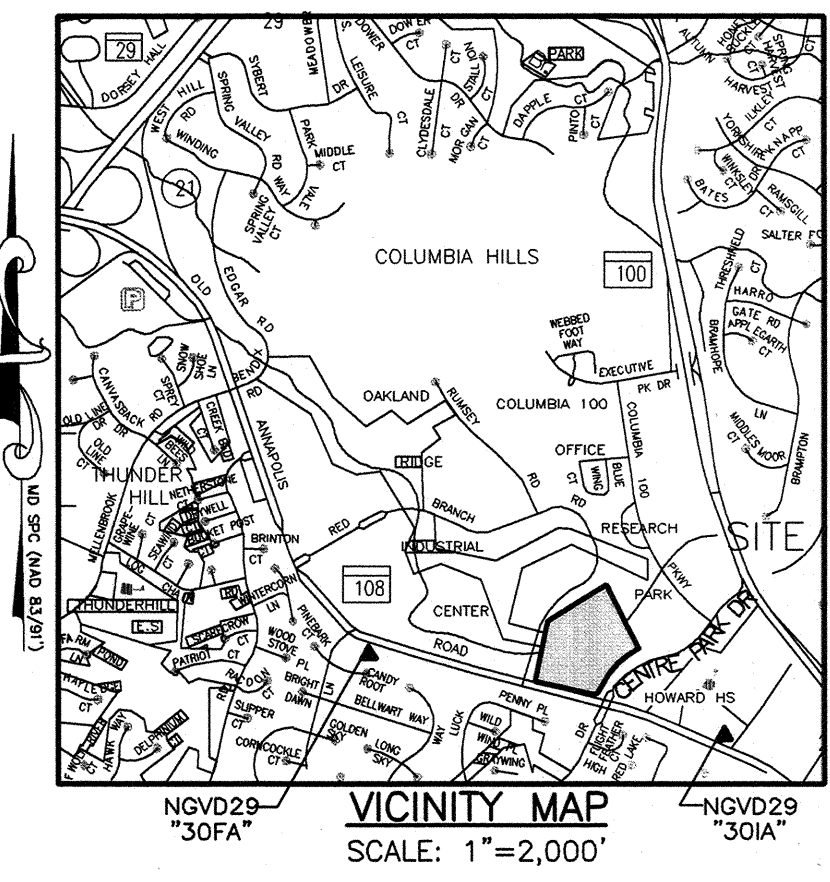
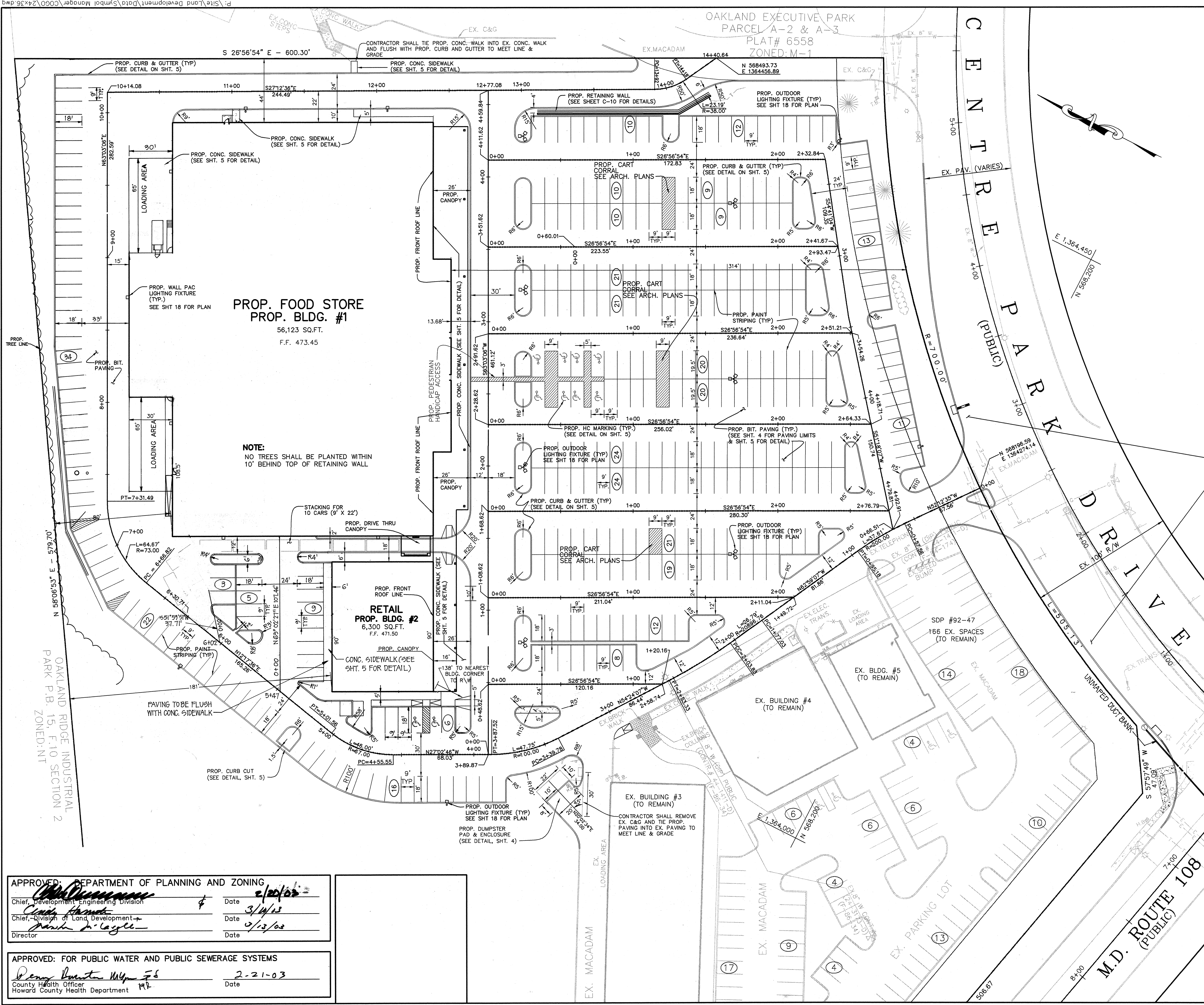
ENGINEERS: **WR** Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
 WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.M.B.	ELECTION DIST.: 2
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 1/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 30	C-5
GRID NO.: 1	
PARCEL NO.: 104	SHEET 7 OF 26

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date: 2/20/03
 Chief, Division of Land Development Date: 3/10/03
 Director Date: 3/13/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer Date: 2-21-03
 Howard County Health Department



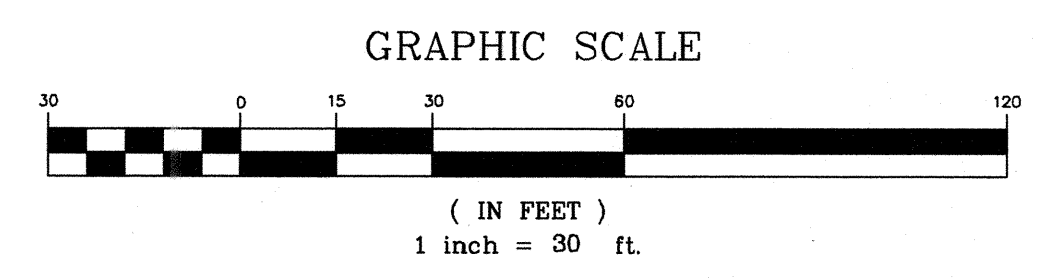


**PROP. FOOD STORE
PROP. BLDG. #1**
56,123 SQ.FT.
F.F. 473.45

**RETAIL
PROP. BLDG. #2**
6,300 SQ.FT.
F.F. 471.50

NOTE:
NO TREES SHALL BE PLANTED WITHIN
10' BEHIND TOP OF RETAINING WALL

NOTE: FOR HIGHWAY WIDENING
CONSTRUCTION PLAN,
SEE SHEET 20 OF 24.



OWNER/DEVELOPER
COLUMBIA PALACE LIMITED PARTNERSHIP
17 W. PENNSYLVANIA AVE.
TOWSON, MARYLAND 21204-5016
DEED REFERENCE = 1435/257
DEED REFERENCE = 1389/337

11/03/04		REVISED LOCATION OF I-16
5/1/03	1	REVISED PARKING AT REAR OF PROP. BLDG #2 AND ADJUSTED REAR LOADING AREA AND BLDG FOR BLDG #1
DATE	NO.	REVISIONS

GEOMETRY PLAN

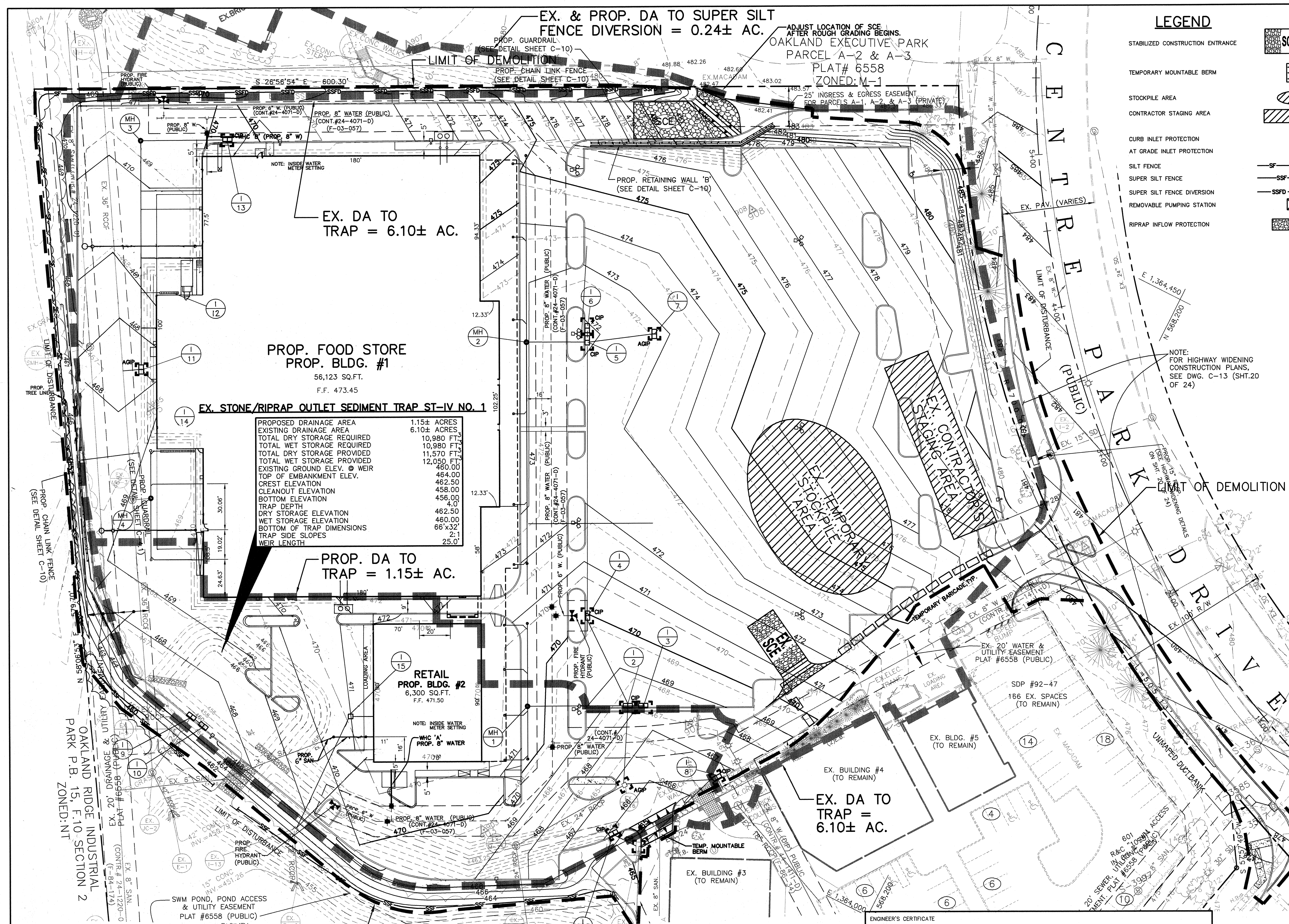
PROJECT TITLE:
**OAKLAND EXECUTIVE PARK
PARCEL A-1**
8805 CENTRE PARK DRIVE
HOWARD COUNTY, MARYLAND

ENGINEERS: **WR** Consulting Engineers
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.M.B.	ELECTION DIST.: 2
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 1/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 30	C-6
GRID NO.: 1	
PARCEL NO.: 104	SHEET 10 OF 26

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division Date 2/20/03
Chief, Division of Land Development Date 3/11/03
Director Date 3/13/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer Date 2-21-03
Howard County Health Department

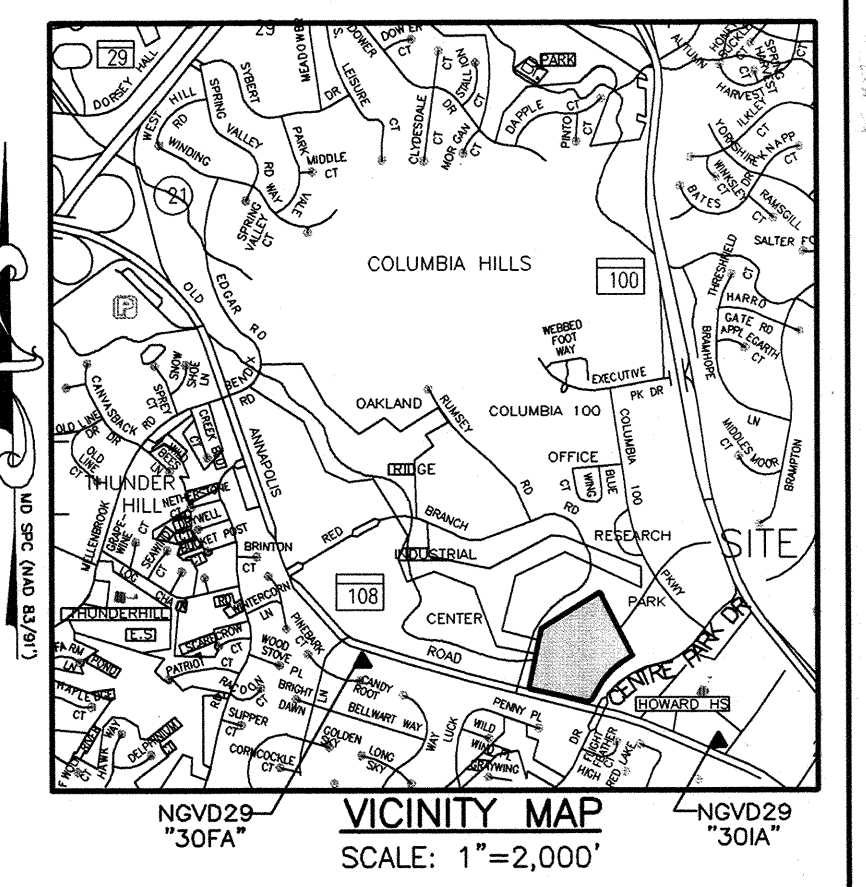


PROPOSED DRAINAGE AREA

EXISTING DRAINAGE AREA	1.15± ACRES
TOTAL DRY STORAGE REQUIRED	6.10± ACRES
TOTAL WET STORAGE REQUIRED	10,980 FT ²
TOTAL DRY STORAGE PROVIDED	10,980 FT ²
TOTAL WET STORAGE PROVIDED	11,570 FT ²
EXISTING GROUND ELEV. @ WEIR	460.00
TOP OF EMBANKMENT ELEV.	464.00
CREST ELEVATION	462.50
CLEANOUT ELEVATION	458.00
BOTTOM ELEVATION	456.00
TRAP DEPTH	4.0
DRY STORAGE ELEVATION	462.50
WET STORAGE ELEVATION	460.00
BOTTOM OF TRAP DIMENSIONS	66'x32'
TRAP SIDE SLOPES	2:1
WEIR LENGTH	25.0'

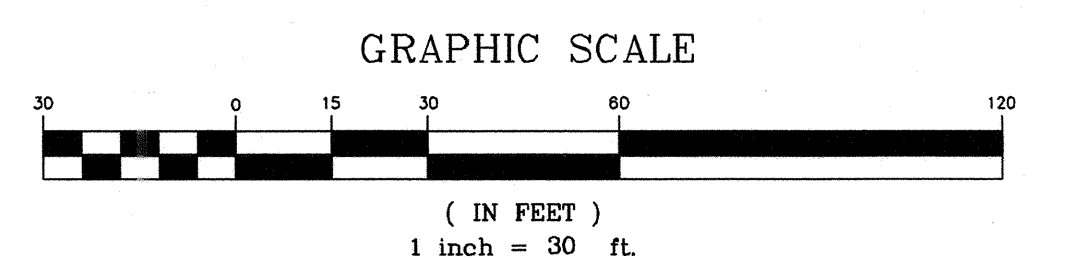
LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- TEMPORARY MOUNTABLE BERM
- STOCKPILE AREA
- CONTRACTOR STAGING AREA
- CURB INLET PROTECTION
- AT GRADE INLET PROTECTION
- SILT FENCE
- SUPER SILT FENCE
- SUPER SILT FENCE DIVERSION
- REMOVABLE PUMPING STATION
- RIPRAP INFLOW PROTECTION



NOTE:
FOR SEQUENCE OF CONSTRUCTION OF THE HIGHWAY WIDENING, SEE SHEET 20 OF 24.

NOTE:
CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE TO SEDIMENT TRAP AT ALL TIMES DURING CONSTRUCTION.



OWNER/DEVELOPER

COLUMBIA PALACE LIMITED PARTNERSHIP
17 W. PENNSYLVANIA AVE.
TOWSON, MARYLAND 21204-5016
DEED REFERENCE = 1435/257
DEED REFERENCE = 1389/337

11/03/04	REVISED LOCATION OF I-16
5/1/03	1 REVISED PARKING AT REAR OF PROP. BLDG #2 AND ADJUSTED REAR LOADING AREA AND BLDG. FOR BLDG #1
DATE	NO. REVISIONS

SEDIMENT & EROSION CONTROL PLAN

PROJECT TITLE:
**OAKLAND EXECUTIVE PARK
PARCEL A-1
8805 CENTRE PARK DRIVE
HOWARD COUNTY, MARYLAND**

ENGINEERS: **WR Consulting Engineers**
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

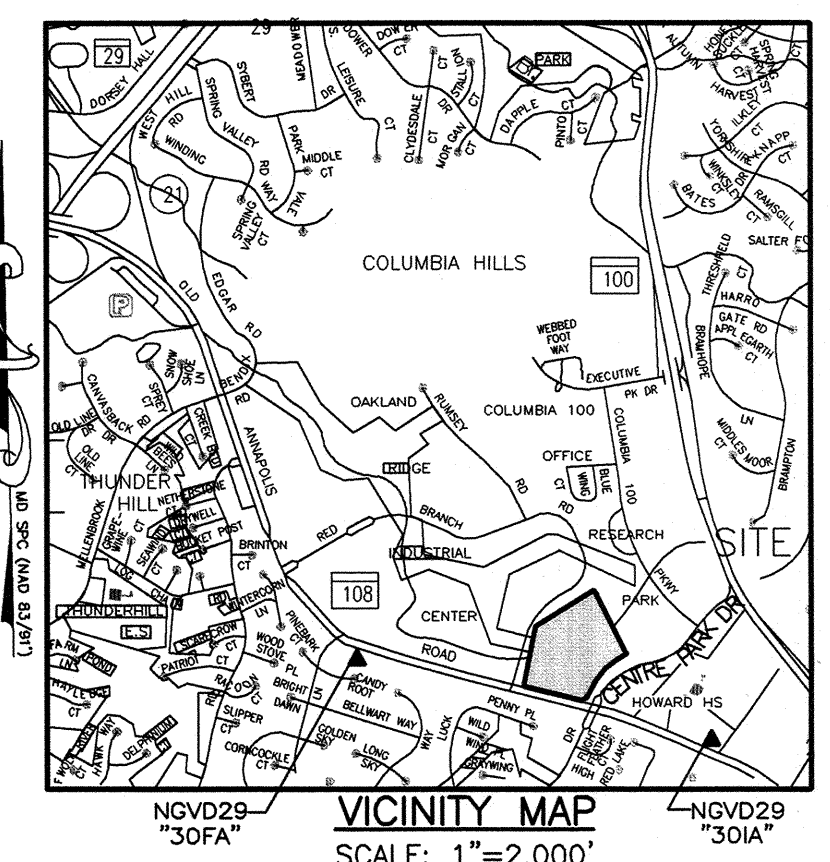
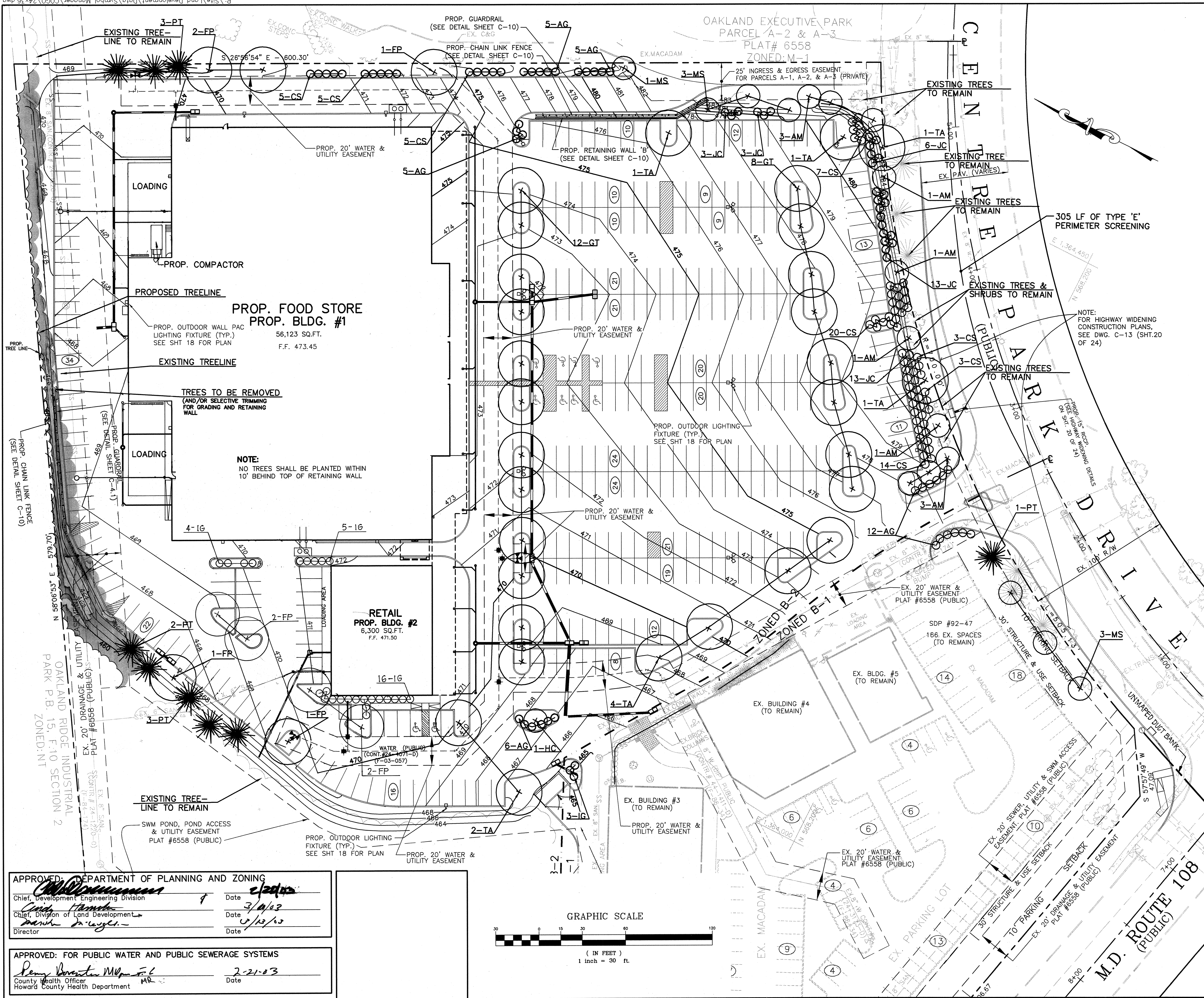
DESIGNED: D.M.B.	ELECTION DIST: 2
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 1/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 30	C-7
GRID NO.: 1	
PARCEL NO.: 104	SHEET 11 OF 26

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division Date: 2/20/03
Chief, Division of Land Development Date: 3/10/03
Director Date: 3/13/03

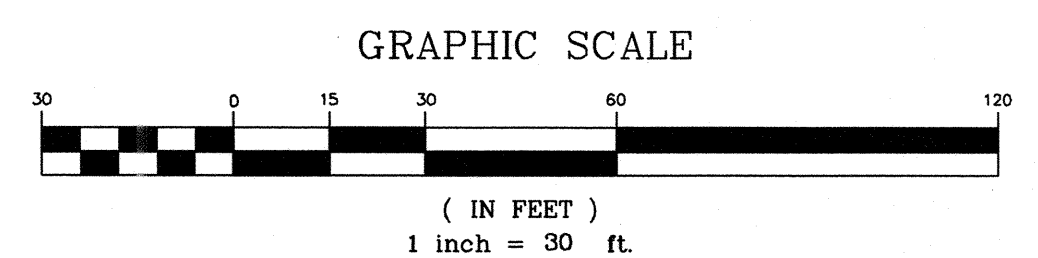
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer Date: 2-21-03
Howard County Health Department

Reviewed for Howard SCD and meets Technical Requirements
USDA Natural Resources Conservation Service Date: 2/13/03
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John R. Roberts Date: 2/13/03

ENGINEER'S CERTIFICATE
"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Signature (print name below signature) Date: 1/20/03
Philip Bor
DEVELOPER'S CERTIFICATE
"I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
Signature (print name below signature) Date: 1/22/03
Christopher J. Nowalk



PLANTING LEGEND	
PERENNIALS	
SHRUBS	
MINOR DECIDUOUS/ SMALL FLOWERING TREE	
SHADE TREE	
EVERGREEN TREE	
EX. TREES TO REMAIN	
EXISTING TREE/TREES	



OWNER/DEVELOPER
 COLUMBIA PALACE LIMITED PARTNERSHIP
 17 W. PENNSYLVANIA AVE.
 TOWSON, MARYLAND 21204-5016
 DEED REFERENCE = 1435/257
 DEED REFERENCE = 1389/337

DATE	NO.	REVISIONS
11/03/04		REVISED LOCATION OF I-16
5/11/03	1	REVISED PARKING AT REAR OF PROP. BLDG #2 AND ADJUSTED REAR LOADING AREA AND BLDG FOR BLDG #1

LANDSCAPE PLAN

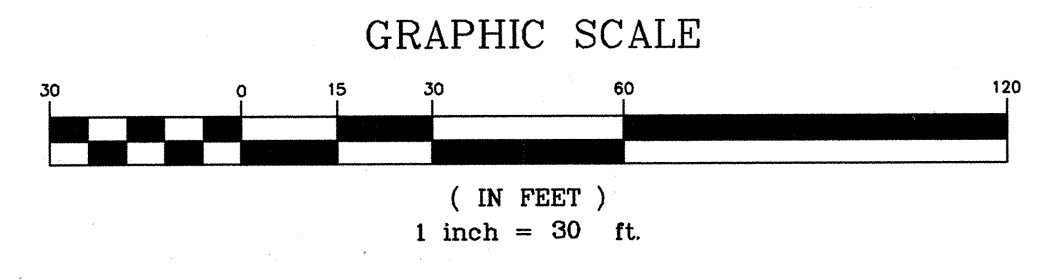
PROJECT TITLE:
OAKLAND EXECUTIVE PARK
PARCEL A-1
8805 CENTRE PARK DRIVE
HOWARD COUNTY, MARYLAND

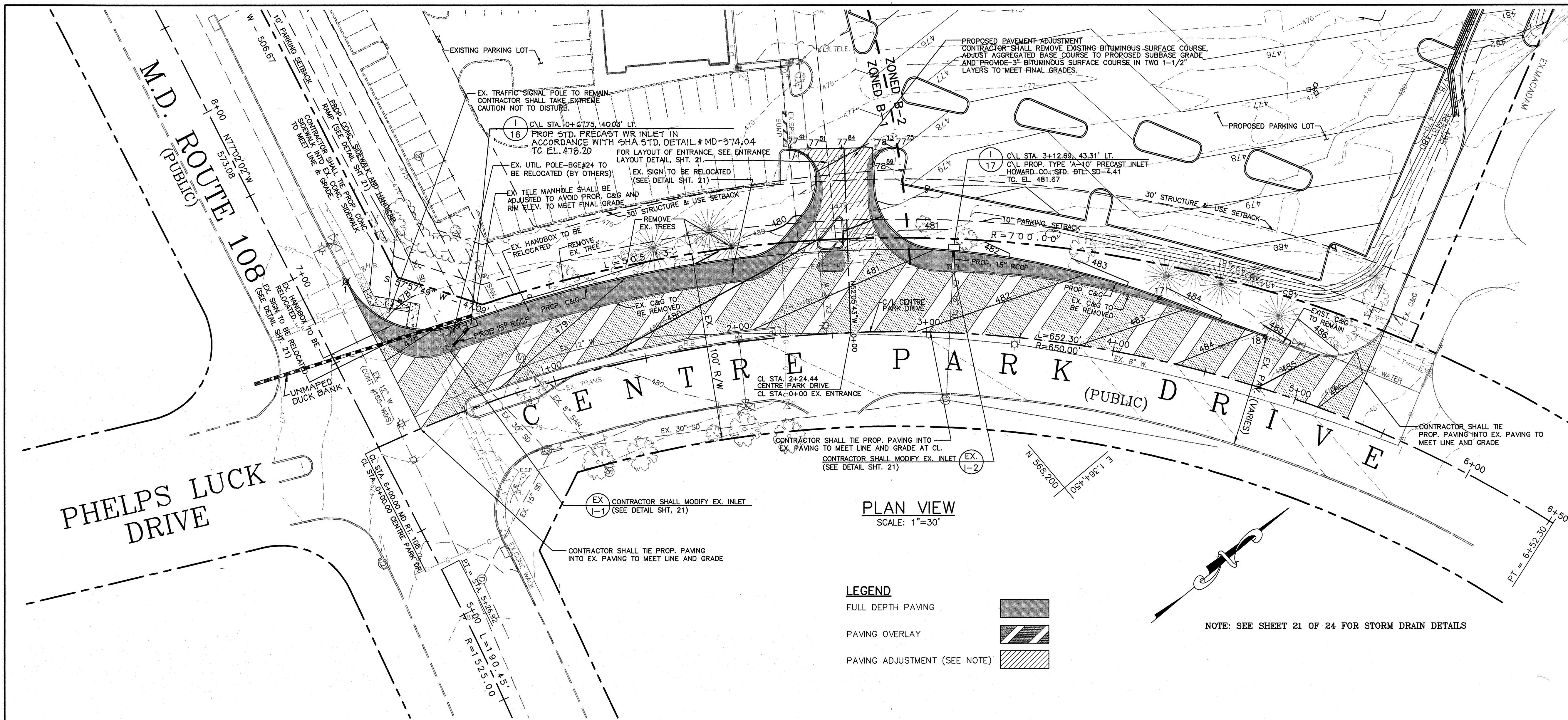
ENGINEERS: Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
 WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.M.B.	ELECTION DIST.: 2
DRAWN: D.M.B.	CENSUS TRACT #: 6023.02
CHECKED: D.M.B.	WATER CODE: G-07
DATE: 1/9/03	SEWER CODE: 56574000
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 30	C-9
GRID NO.: 1	
PARCEL NO.: 104	SHEET 15 OF 26

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date: 2/20/03
 Chief, Division of Land Development Date: 3/11/03
 Director Date: 5/13/03

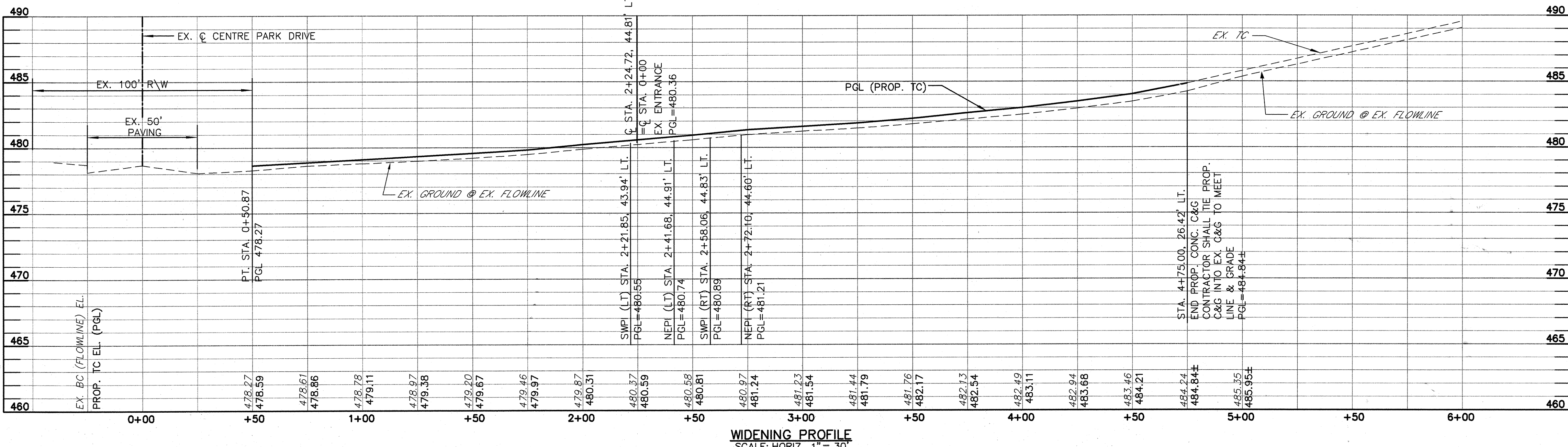
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer Date: 2-21-03
 Howard County Health Department





GEOMETRY POINTS				
PT#	STATION	OFFSET	ELEV.	DESCRIPTION
1	STA. 6+86.03	24.56' RT.	477.75	PGL @ P.C. - BEGIN PROP. C&G CONTRACTOR TO TIE PROP. C&G INTO EX. C&G TO MEET LINE AND GRADE
2	STA. 0+60.93	43.83' LT.	478.71	PGL @ P.T.
3	STA. 2+10.01	43.83' LT.	480.42	PGL @ P.R.C.
4	STA. 2+29.86	53.21' LT.	479.55	PGL @ P.T.
5	STA. 2+36.59	50.05' LT.	---	PROP. CL. OF LEFT DRIVE AISLE @ R/W
6	STA. 2+40.79	43.83' LT.	480.14	FLOWLINE @ SW P.I.
7	STA. 2+58.06	43.83' LT.	480.61	FLOWLINE @ SE P.I.
8	STA. 2+58.06	65.51' LT.	479.38	FLOWLINE @ W.P.I.
9	STA. 2+40.51	66.09' LT.	479.44	PGL @ P.C.
10	STA. 2+46.55	84.09' LT.	479.95	PGL @ P.C.C.
11	STA. 2+33.77	99.50' LT.	478.01	PGL @ P.T.
12	STA. 2+83.56	98.11' LT.	478.98	PGL @ P.C.
13	STA. 2+73.03	88.01' LT.	479.19	PGL @ P.T.
14	STA. 2+73.26	77.12' LT.	479.83	PGL @ P.C.
15	STA. 2+86.26	50.07' LT.	480.70	PGL @ R/W
16	STA. 3+03.16	43.80' LT.	481.57	PGL @ P.R.C.
17	STA. 4+18.30	32.39' LT.	482.69	PGL @ END PROP. C&G CONTRACTOR TO TIE PROP. C&G INTO EX. C&G TO MEET LINE AND GRADE
18	STA. 4+75.00	26.42' LT.	484.84	

- SEQUENCE OF CONSTRUCTION**
- PHASE 1 CONSTRUCTION OF PROPOSED CURB AND GUTTER**
- CONTRACTOR SHALL MAINTAIN EXISTING CURB AND GUTTER, AND MAINTAIN TWO LANES OF TRAFFIC ALONG SOUTHBOUND CENTRE PARK DRIVE, AS SHOWN IN TRAFFIC CONTROL PLAN PHASE 1 ON THIS SHEET.
 - GRADE AND INSTALL PROPOSED CURB AND GUTTER.
 - INSTALL PROPOSED DRAINAGE INLET AND DRAINAGE PIPE.
 - INSTALL PROPOSED SIGNAL HANDHOLES AND CONDUIT (SEE SIGNAL PLANS).
- PHASE 2 REMOVAL OF EXISTING CURB AND GUTTER**
- CONTRACTOR SHALL REMOVE EXISTING CURB AND GUTTER WHILE MAINTAINING ONE LANE OF TRAFFIC ALONG SOUTHBOUND CENTRE PARK DRIVE, AS SHOWN IN TRAFFIC CONTROL PLAN PHASE 2 ON THIS SHEET.
 - THE REMOVAL OF THE CURB RETURN AT STA. 0+35LT SHALL NOT BE PERFORMED DURING PEAK TRAFFIC PERIODS (8AM TO 9AM AND 4PM TO 7PM) TO MINIMIZE IMPACT TO MD 108 TRAFFIC.
 - THE REMOVAL OF EXISTING ISLAND AT STA. 2+50LT, AND CONSTRUCTION OF PROPOSED ISLAND SHALL BE PERFORMED DURING A NIGHT-TIME CONSTRUCTION OPERATION (7PM TO 5AM) TO MINIMIZE IMPACT TO DRIVEWAY TRAFFIC.
- PHASE 3 MILL AND OVERLAY SOUTHBOUND APPROACH**
- CONTRACTOR SHALL MILL AND OVERLAY ENTIRE WIDTH OF SOUTHBOUND CENTRE PARK DRIVE (FROM CENTERLINE TO FACE OF PROPOSED LEFT CURB).
 - MILLING OPERATIONS SHALL DESTROY EXISTING SIGNAL LOOPS ALONG SOUTHBOUND CENTRE PARK DRIVE. CONTRACTOR SHALL INSTALL NEW SIGNAL LOOP DETECTORS PRIOR TO OVERLAY OPERATIONS TO NEGATE THE NEED TO SAWCUT NEW PAVEMENT SURFACE (SEE SIGNAL PLANS).
 - CONTRACTOR SHALL MILL AND OVERLAY SOUTHBOUND CENTRE PARK DRIVE WHILE MAINTAINING ONE LANE OF TRAFFIC WITH A FLAGGING OPERATION AS DETAILED IN STANDARD DETAIL TE-18 IN THE HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
 - INSTALL PAVEMENT MARKINGS AS SHOWN ON SIGNAL PLAN.
 - MILL AND OVERLAY OPERATIONS SHALL NOT BE PERFORMED DURING PEAK TRAFFIC PERIODS (8AM TO 9AM AND 4PM TO 7PM) TO MINIMIZE IMPACT TO TRAFFIC.
- GENERAL TRAFFIC CONTROL NOTES**
- CONTRACTOR SHALL CONSTRUCT PROPOSED WIDENING FROM PARKING LOT SIDE OF ROADWAY TO MINIMIZE CONSTRUCTION IMPACT TO CENTRE PARK DRIVE TRAFFIC.
 - ALL CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STAGED IN PARKING LOT AREA.
- ALL TRAFFIC CONTROL SIGNS, CHANNELIZATION DEVICES, AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AND HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.



OWNER/DEVELOPER
COLUMBIA PALACE LIMITED PARTNERSHIP
17 W. PENNSYLVANIA AVE.
TOWSON, MARYLAND 21204-5016
DEED REFERENCE = 1435/257
DEED REFERENCE = 1389/337

DATE	NO.	REVISIONS
11/02/04		REVISED LOCATION OF I-16

HIGHWAY WIDENING PLAN

PROJECT TITLE:
**OAKLAND EXECUTIVE PARK
PARCEL A-1
8805 CENTRE PARK DRIVE
HOWARD COUNTY, MARYLAND**

ENGINEERS: **WR Consulting Engineers**
849 Fairmount Avenue (410) 512-4500
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Chief, Development Engineering Division
Chief, Division of Land Development
Director

Date: 2/20/03
Date: 3/10/03
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APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer
Howard County Health Department

Date: 2-21-03

