

General Notes

- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
- The contractor shall notify the Department of Public Works, Bureau of Engineering, Construction Inspection Division at (410) 313-1880 at least 48 hours prior to the start of work.
- The contractor shall notify 'Miss Utility' at 1-800-257-7777 at least 48 hours prior to any excavation work.
- The contractor shall notify the Howard County Department of Public Works, Bureau of Utilities at (410) 313-4900 at least five (5) working days prior to starting any excavation work.
- Proposed Use: Bldg A - Restaurant
- All plan dimensions are to face of curb unless otherwise noted.
- Existing topography is shown per field run survey information by Gutschick, Little Weber, P.A. + by design grades from design plans for construction.
- Coordinates and bearings are based upon the MD State plane system (NAD '83).
- Water and sewer service is public.
- Stormwater management for this site is proposed by F-01-142. A water quality manhole is proposed on this plan.
- All existing water and sewer is per Contract 24-4035-D.
- All existing public storm drain is per F-96-41.
- See trench bedding class 'C' for storm drains.
- Recording reference:
- Existing utilities are based on approved design plans for construction and field location by Gutschick, Little + Weber, P.A.
- There is no floodplain on Site.
- There are no wetlands on Site.
- Building setbacks and building restrictions are per FDP 235.
- This site is exempt from the forest conservation requirements of Section 16.1200 of the Howard County Code by Section 16.1202(b)(1)(iv).
- NOTE: In case of discrepancies between the plat and the plans, the plat shall govern.
- No clearing, grading or construction is permitted within any wetland, wetlands, buffer, 50' stream buffer or floodplain.
- All outdoor lighting shall comply with the requirements of zoning section 134.2. The site lighting indicated on these plans is a single or twin bronze, full cutoff, 400 watt fixture mounted on a 25-foot tall, round, tapered, dark bronze pole.
- This project is part of a Construction, Operation + Reciprocal Easement Agreement that allows shared parking + driveway access for all parcels (C-1-C-8 thru C-8), recorded as Liber 5708 Folio 628.
- The Landscape Plan was prepared according to the Alternative Compliance Section of the Landscape Manual.

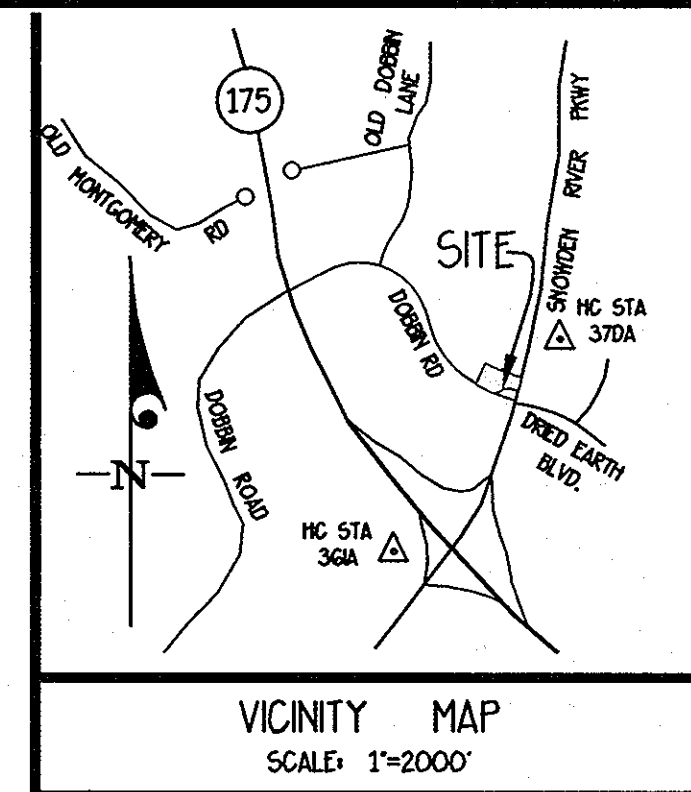
SITE DEVELOPMENT PLAN

ROUTE 175 COMMERCIAL

SECTION 1 AREA 2

PARCEL C-8 + OPEN SPACE LOT 5

AT+T 1-800-252-1133
 BGE (Contractor Services) 410-850-4620
 BGE (Under Ground Damage Control) 410-787-9068
 Bureau of Utilities 410-313-4900
 Colonial Pipeline Co. 410-745-1340
 Miss Utility 1-800-257-7777
 State Highway Administration 410-531-5533
 Verizon 1-800-743-0033/410-224-9210



GAS, TELEPHONE + ELECTRIC NOTES

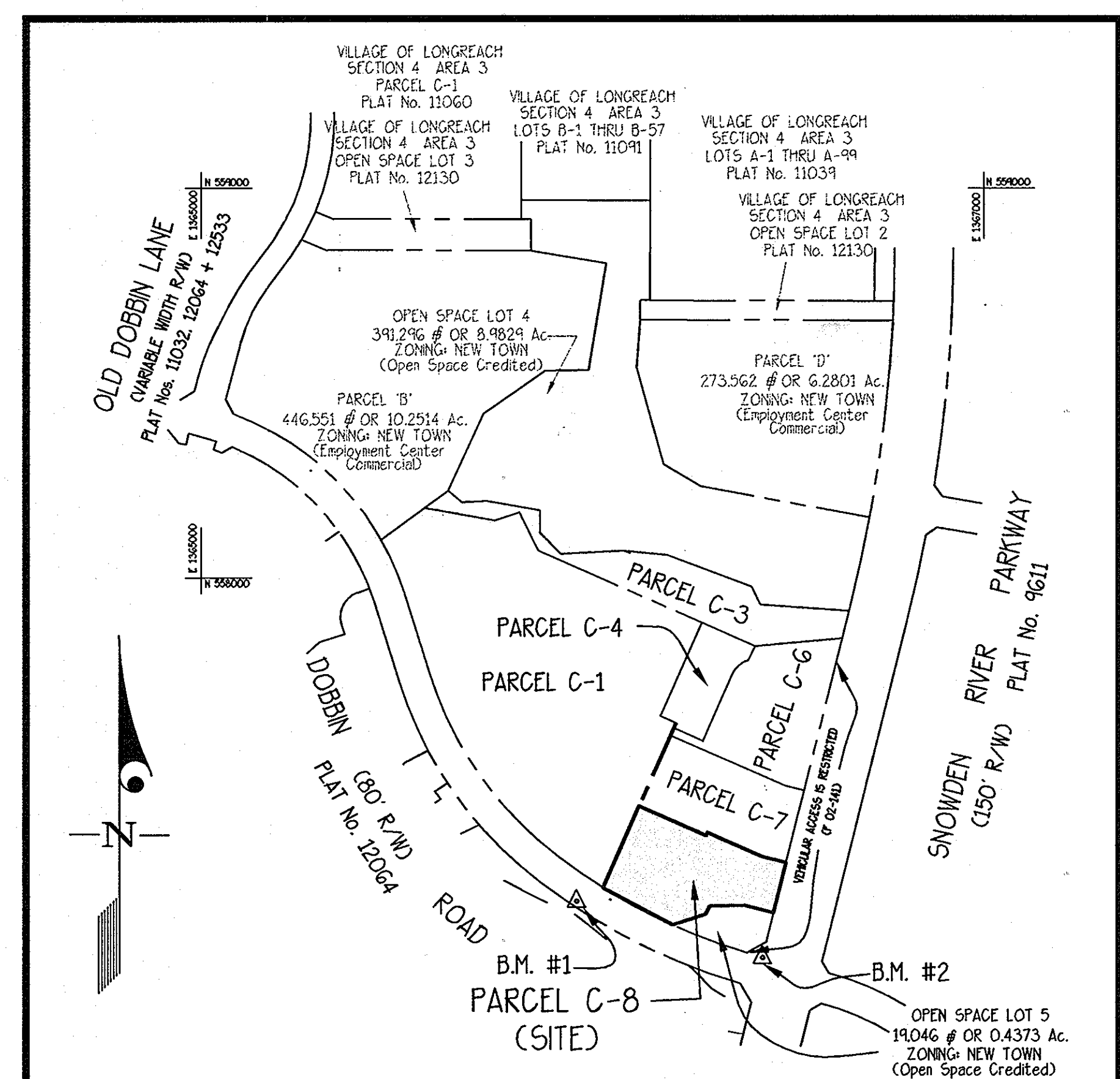
- COORDINATION WITH UTILITY OWNERS ARE TO BE COORDINATED BY THE CONTRACTOR, OWNER + MECHANICAL ENGINEER.
- LOCATION OF UTILITIES TO BE COORDINATED WITH THE UTILITY OWNER.
- UTILITIES SHALL BE CONSTRUCTED PER UTILITY OWNER'S DETAILS.
- Natural Gas Service: Site contractor to provide and install all piping, trenching, backfilling, meter, regulator, and two (2) guard posts at meter location. Refer to spec section 02600 LH 011899. Gas company to define and approve meter location. See Sheet 2 for general location and Sheet 10 for additional information.
- Electrical service: Electric company to design and install transformer pad and provide and install transformer, primary conduit, primary wire, meter, meter socket, Ct cabinet, CT-meter conduit, and final connection of the primary and secondary to the transformer. Site contractor to provide and install all trenching, backfilling, secondary cable, and secondary conduit from the provided electrical service to parcel 'c' and coordinate with the power company to verify the transformer location, pad, size, and all standards for work. See architectural sheet for secondary wiring design. See Sheet 2 for general location and Sheet 10 for additional information.
- Telephone and Cable service: Longhorn contractor shall supply and install all trenching, backfilling, 3" conduit for phone service, 1" conduit for cable service with pull string (cable company to provide cable/wire), and cable/wire for phone service. From the developer provided service. Coordinate with developer for provided service location and verify exact routing and termination requirements with utility companies before starting work. Site contractor to coordinate with other utilities and utilize shared trenching if permitted.

Sheet Index

- Cover Sheet
- Site Development Plan
- Site Details
- Landscape Plan
- Enhanced Landscape Plan + Handicap Access Detail
- Landscape Notes + Details
- Sediment Control Plan
- Sediment Control Details
- Utility Profiles, Schedules + Roof Drain Detail
- Utility Details
- Storm Drain Drainage Area Map
- Retaining Wall Construction Details

Site Analysis Data Chart

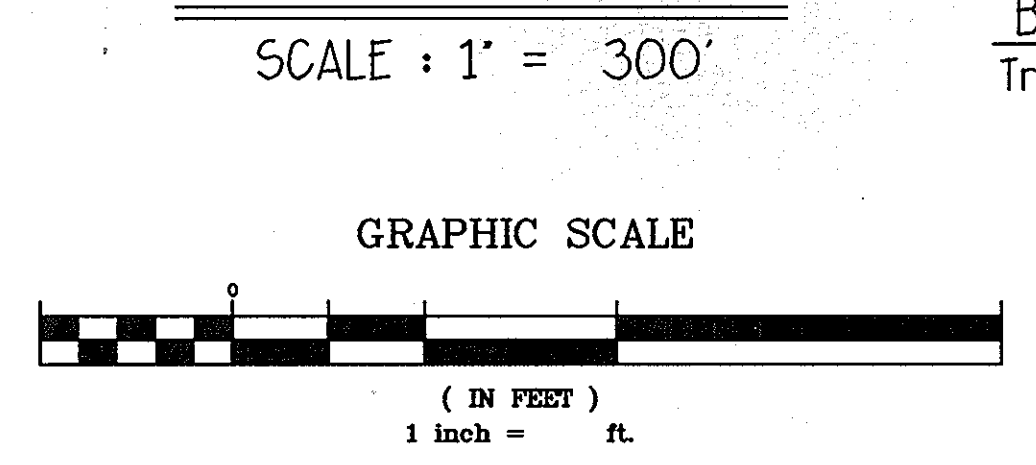
- Parcel C-8 Area = 84,117 SF or 1.93 Ac.
- Limit of Disturbed Area = 93,654 SF or 2.15 Ac.
- Zoning = NT - Employment Center - Commercial (FDP 235)
- Proposed Use: Restaurant
- Floor Area = 5,123 SF Gross
- No. of standard parking spaces required by FDP 235 (5 spaces per 1,000 SF net area): 5,123 SF/1,000 SF x 5 = 26 spaces.
- No. of handicap spaces required: 2 spaces.
- No. of standard parking spaces provided: 117 spaces.
- No. of handicap spaces provided: 5 spaces.
- Total parking spaces provided: 122 spaces.
- Building Area (Includes Roof Overhang)=6,005 SF
- Building Coverage: 6,005 SF/84,117 SF=0.07 or 7%
- Project background: See Dept. of Planning + Zoning File Numbers: F-00-149, 5 99-05, FDP 235, PB 337, WP 99-117*, WP 00-24**, WP 99-41***, SDP-01-09, +SDP-01-132, F 02-141, F 02-153, F 01-16.
 * On July 1, 1999, WP-99-117, waiver of Section 16.144(f) was granted to not be required to submit a Preliminary Plan, subject to various condition in the approval letter.
 ** On October 1, 1999, WP-00-24, waiver of Section 16.144, was granted to reactivate Sketch Plan 5-99-05 and grant a 45 day extension to submit the Sketch Plan for signature.
 *** On March 23, 1999, WP-99-41, waiver of Section 16.144(f)(1), was approved to permit a private commercial driveway direct access to an arterial road, subject to various conditions in the approval letter.



LEGEND

- 366--- EX. CONTOUR
- 300--- PROP CONTOUR
- EX. TREES
- EX. STORM DRAIN
- PROP. STORM DRAIN
- LIMIT OF SUBMISSION
- EX. SANITARY SEWER
- EX. WATERLINE
- CONCRETE CURB + GUTTER
- PROP. SANITARY SEWER
- PROPOSED WATERLINE
- EX. CURB + GUTTER
- FUTURE CURB + GUTTER
- PROPOSED REVERSE CURB + GUTTER
- CONCRETE SIDEWALK, DUMPSTER PAD OR UTILITY PAD
- EX. EASEMENTS
- EX. ASPHALT PAVING
- ✕ TOP OF PAVING SPOT SHOT
- NUMBER OF PARKING SPACES
- PROP. LIGHT FIXTURE + POLE
- EX. LIGHT FIXTURE + POLE
- RETAINING WALL
- PROPOSED TEMP. PAVING

KEY MAP



Bench Mark No. 1
 Traverse Station: 976
 Elev.=374.37

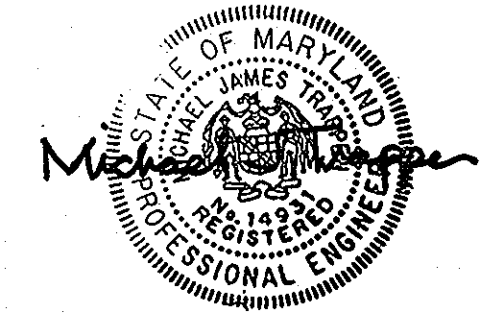
Bench Mark No. 2
 Traverse Station 975
 ELEV.=362.00

APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE: 07/10/02

APPROVED: FOR PUBLIC WATER + SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 County Health Officer Date: 7-12-02

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING + ZONING
 Director Date: 8/17/02
 Chief, Division of Land Development Date: 8/16/02
 Chief, Development Engineering Division Date: 7/16/02

CONTRACT/PURCHASER
 RARE HOSPITALITY INTERNATIONAL, INC.
 8215 ROSWELL ROAD
 ATLANTA, GEORGIA 30350
 ATTN: JERRY JOHNSON
 TEL: (770) 901-6651



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BARTONSVILLE OFFICE PARK
 BARTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

OWNER
 THE HOWARD RESEARCH + DEVELOPMENT CORP.
 THE ROUSE BUILDING
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD. 21044
 ATTN: BOB JENKINS
 TEL: (410) 996-6089

COVER SHEET
ROUTE 175 COMMERCIAL
 SECTION 1 AREA 2
 PARCEL C-8 + OPEN SPACE LOT 5
 PLAT No. 1554-7
 HOWARD COUNTY, MARYLAND

ADDRESS CHART	
PARCEL NUMBER	STREET ADDRESS
C-8	8650 SNOWDEN RIVER PARKWAY

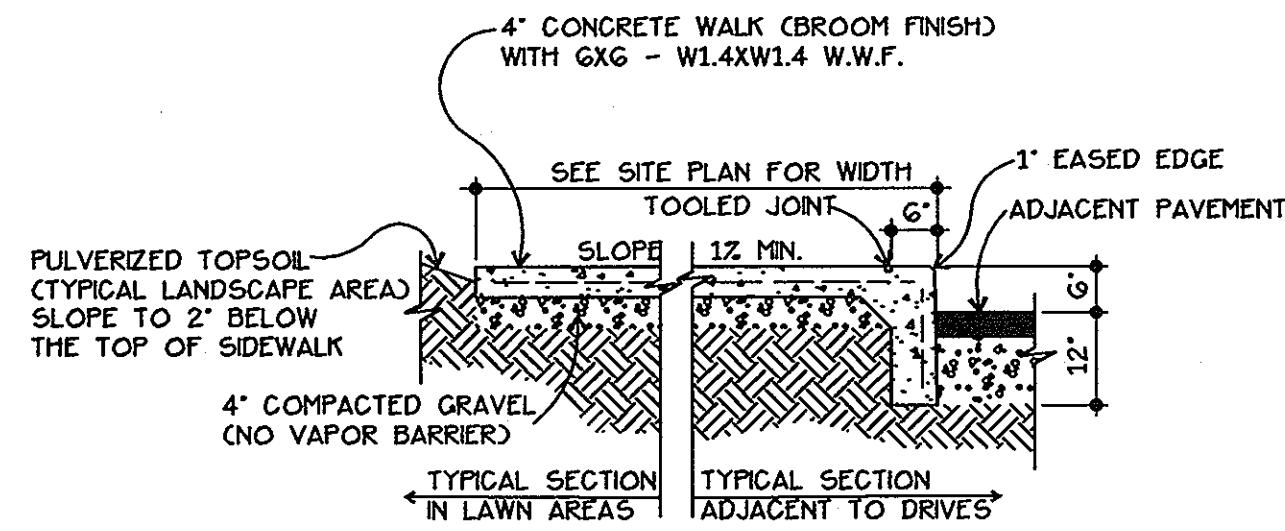
WATER CODE:	SEWER CODE:
EOG	3460000

SUBDIVISION NAME:	SECTION/AREA	PARCELS
ROUTE 175 COMMERCIAL	1 / 2	C-8

PLAT	ZONE	TAX MAP	BLOCK	ELEC. DIST.	CENSUS TRACT
1554-7	NT	39	13	6	6067.03

SCALE	ZONING	G. L. W. FILE No.
As Shown	NT	02025

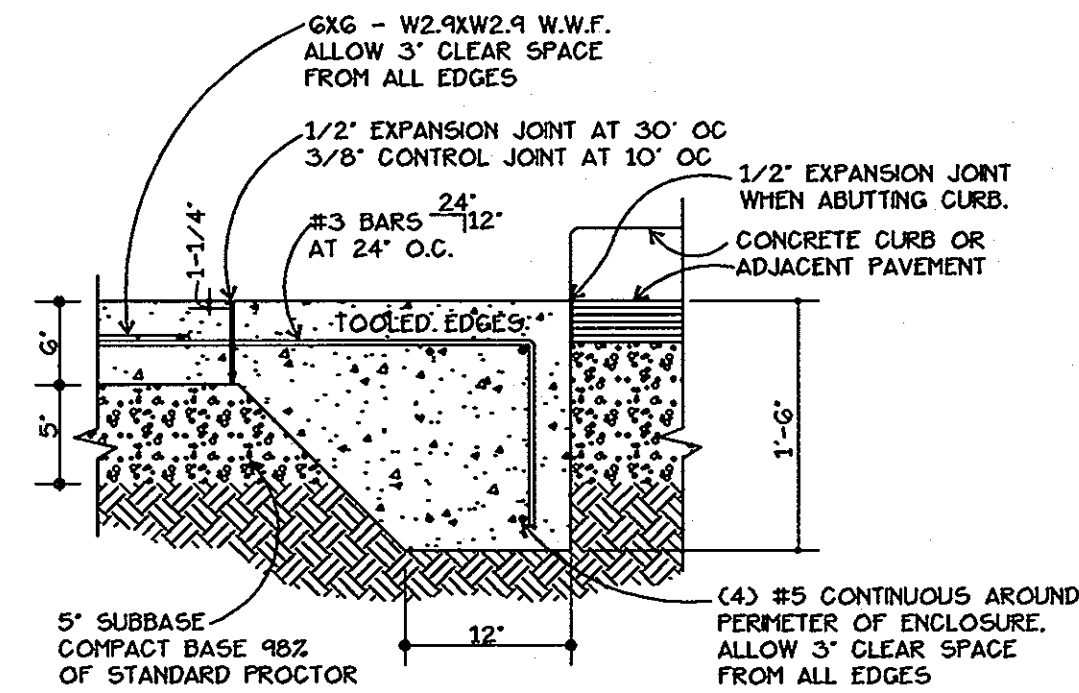
DATE	TAX MAP - GRID	SHEET
JUNE, 2002	36-18 37-13	1 OF 12



NOTES

- A. CUT CONTROL JOINTS AT 6'-0" O.C. AND PLACE PERFORMED EXPANSION JOINT AT 30'-0" O.C. MAX
- B. WHEN WALK IS ADJACENT TO THE BUILDING PROVIDE 1/2" PERFORMED EXPANSION JOINT.

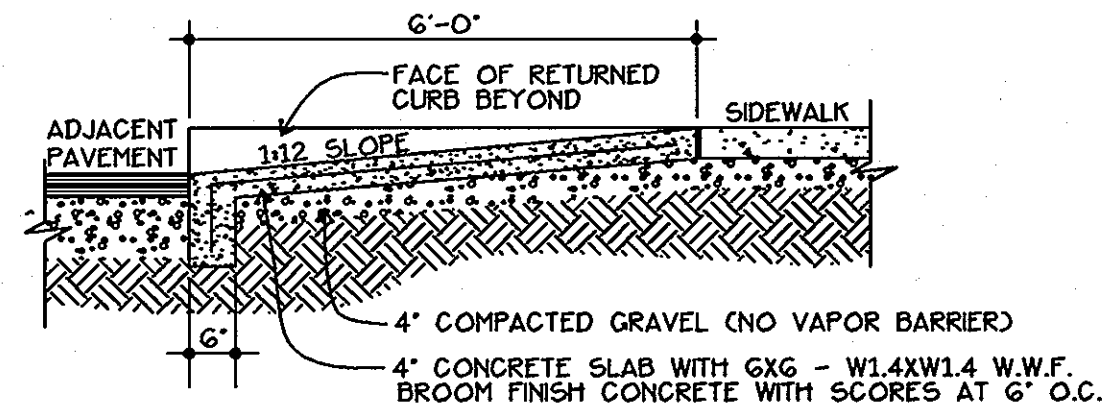
CONCRETE SIDEWALK DETAIL
NTS



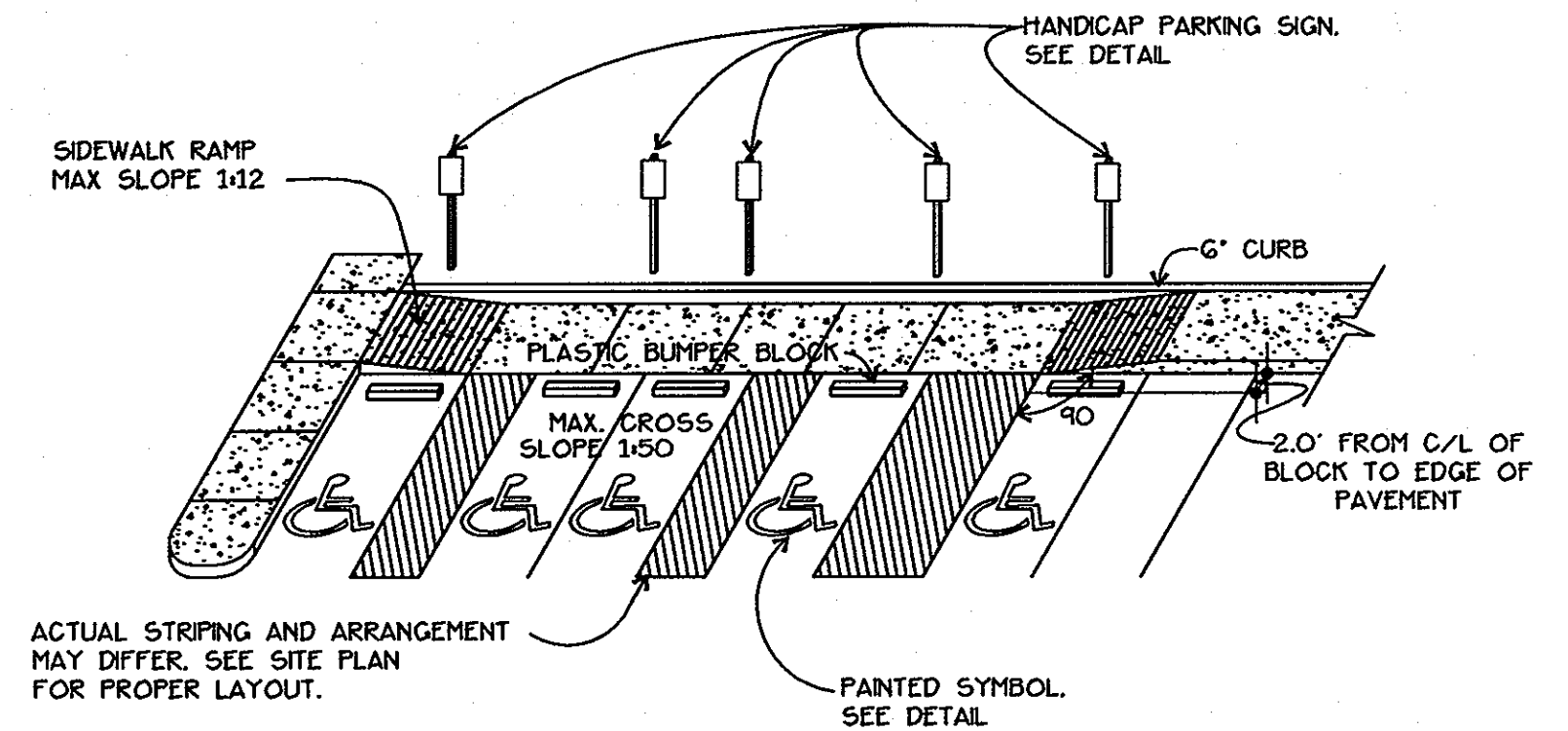
CONCRETE NOTES

- A. PROVIDE SMOOTH DOWELS AT ALL CONSTRUCTION JOINTS.
- B. FILL ALL JOINTS WITH BITUMINOUS SEALANT.
- C. POURED CONCRETE WITH AIR ENTRAINMENT OF 6% 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
- D. LIGHT BROOM FINISH ON WALKING SURFACES.

CONCRETE PAVING / TURN DOWN EDGE DETAIL
NTS

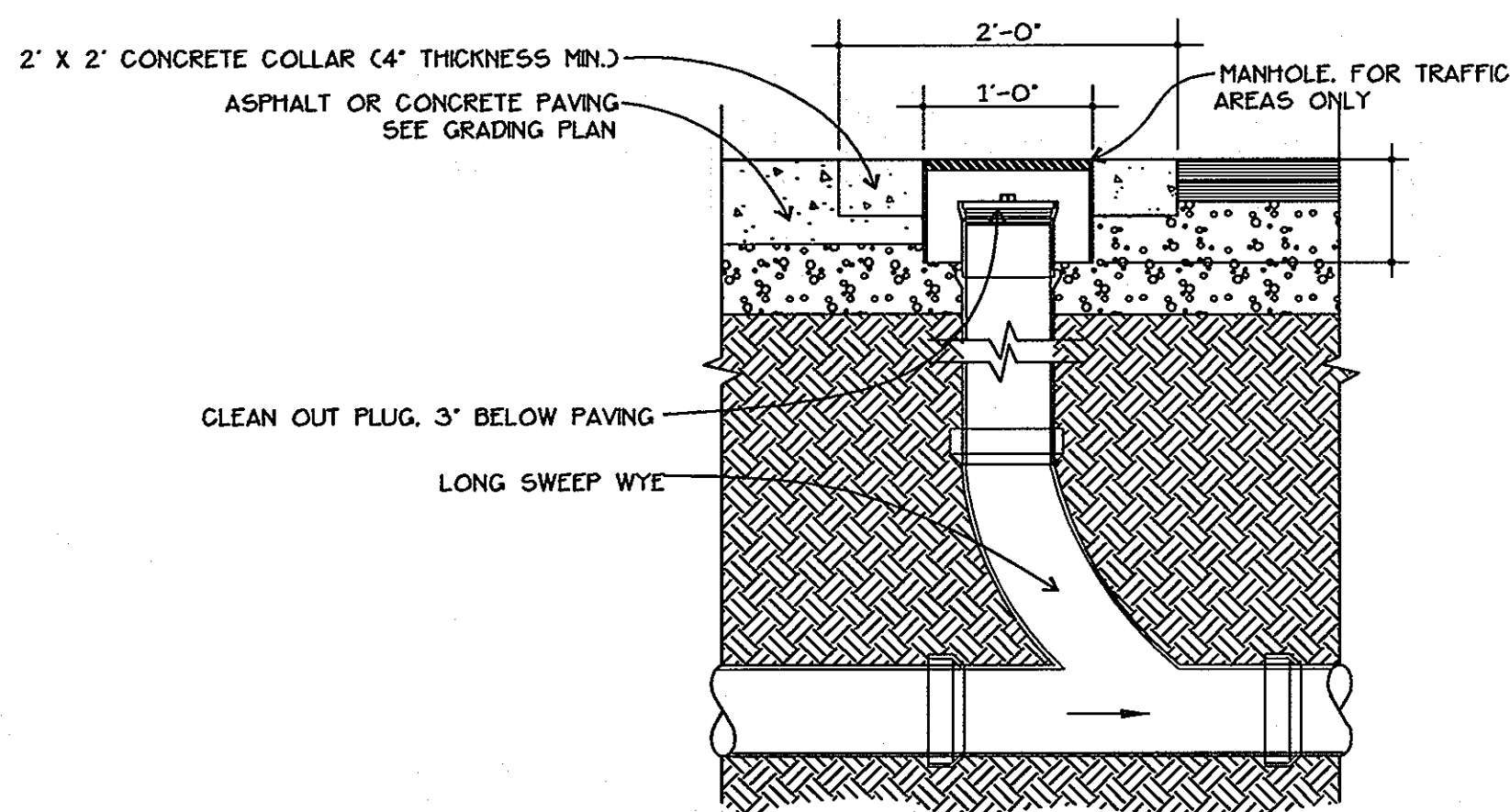


SIDEWALK RAMP DETAIL
NTS



GRADING NOTE: SLOPE SIDEWALK AND PARKING UNIFORMLY TO DRIVE AISLE. ALL SLOPES MUST BE LESS THAN 2% AND PROMOTE POSITIVE DRAINAGE AWAY FROM BUILDING.

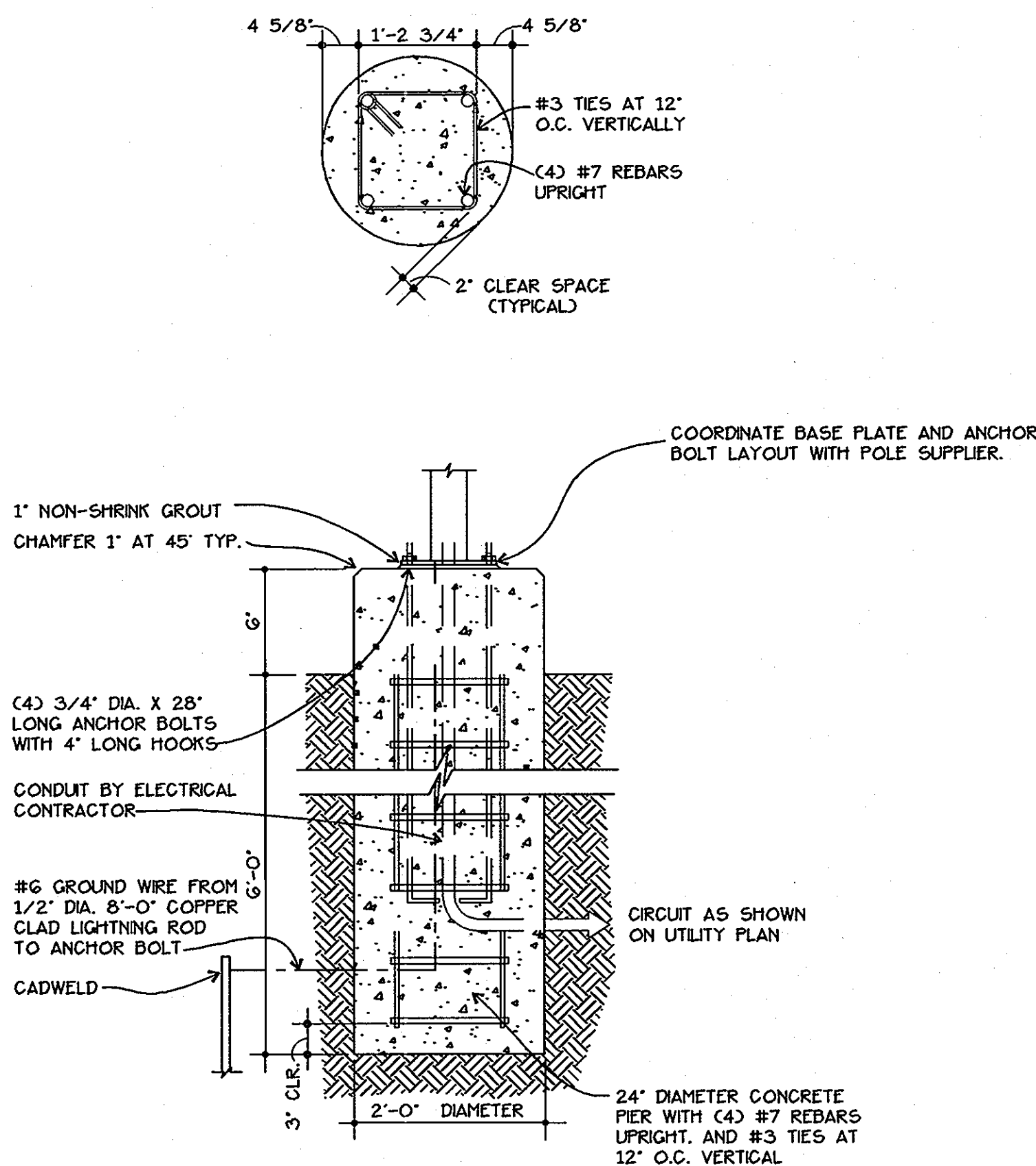
HANDICAP RAMP DETAIL
NTS



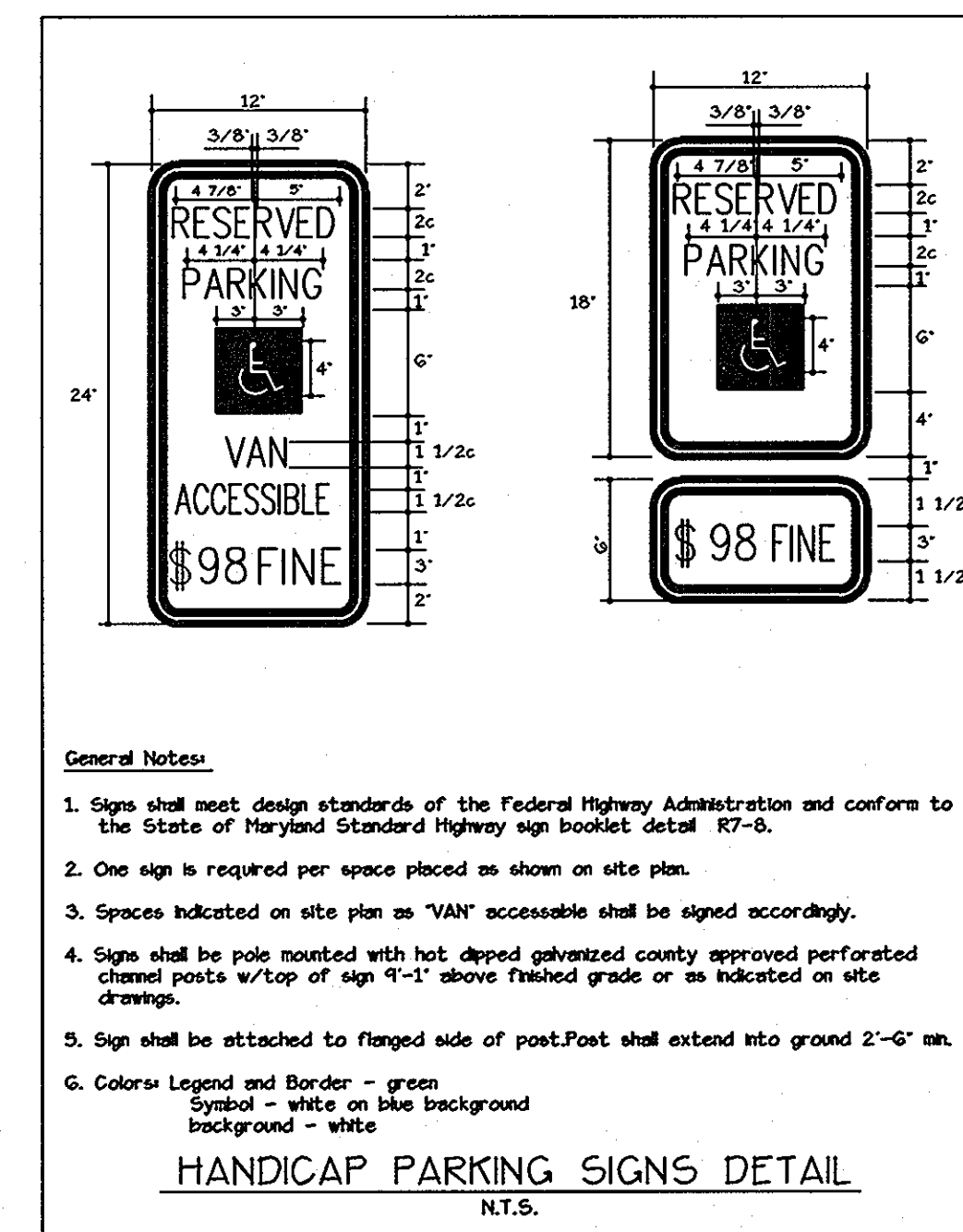
NOTES

- A. CLEAN OUT LOCATIONS INDICATED ON GRADING + UTILITY PLANS AS 'CO'
- B. PROVIDE CLEANOUTS AS SPECIFIED BELOW:
-ZURN Z-1400 CLEAN OUTS IN NON-TRAFFIC AREAS + SIDEWALKS
-ZURN Z-1449 CLEAN OUTS IN LANDSCAPED AREAS
-ZURN Z-1400 HD CLEAN OUTS IN TRAFFIC AREAS WITH A 'SERVICE STATION' TYPE MANHOLE, OPW #104 A12 - DOVER CORP./OPW DIV.

CLEANOUT DETAIL
NTS



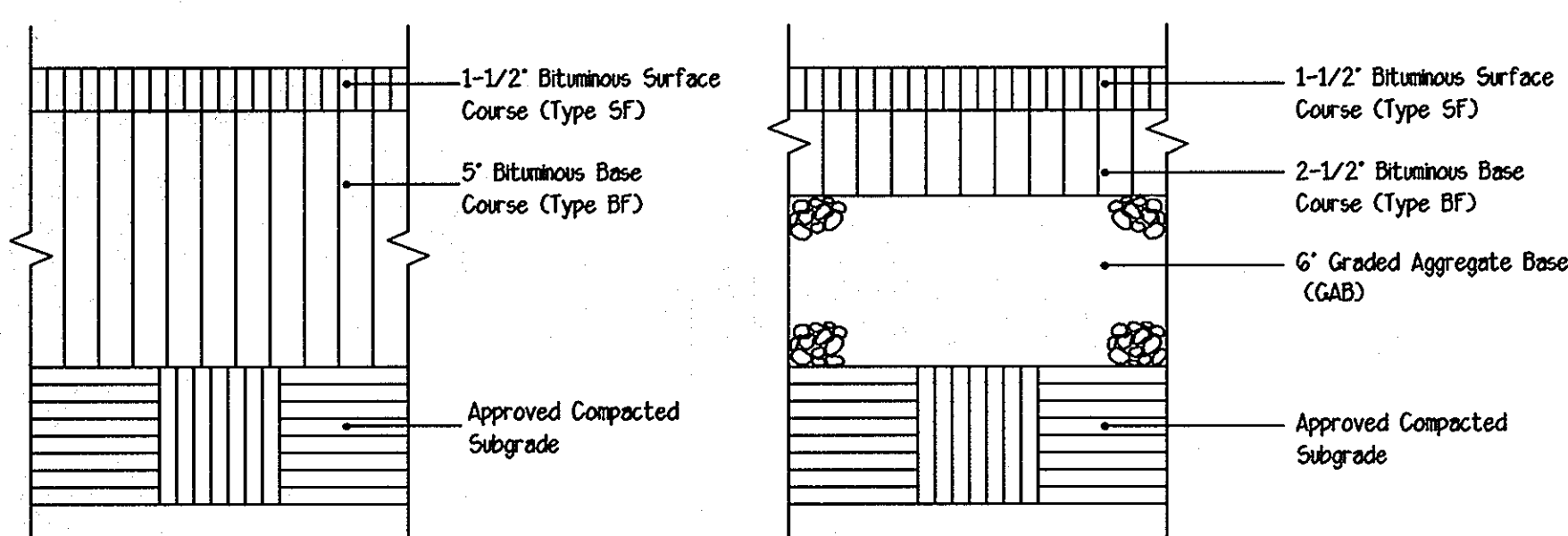
SITE ELECTRICAL BASE DETAIL
NTS



General Notes:

- 1. Signs shall meet design standards of the Federal Highway Administration and conform to the State of Maryland Standard Highway sign booklet detail 87-6.
- 2. One sign is required per space placed as shown on site plan.
- 3. Spaces indicated on site plan as "VAN" accessible shall be signed accordingly.
- 4. Signs shall be pole mounted with hot dipped galvanized county approved perforated channel posts w/top of sign 4'-1" above finished grade or as indicated on site drawings.
- 5. Sign shall be attached to flanged side of post. Post shall extend into ground 2'-6" min.
- 6. Colors: Legend and Border - green
Symbol - white on blue background
background - white

HANDICAP PARKING SIGNS DETAIL
NTS



FULL DEPTH BITUMINOUS ALTERNATE

P-2 - MEDIUM DUTY PAVEMENT DETAIL
N.T.S.

APPROVED
PLANNING BOARD
of HOWARD COUNTY

DATE: 07/10/02

APPROVED: FOR PUBLIC WATER + SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer: *Dennis Berenstein* Date: 7-12-02

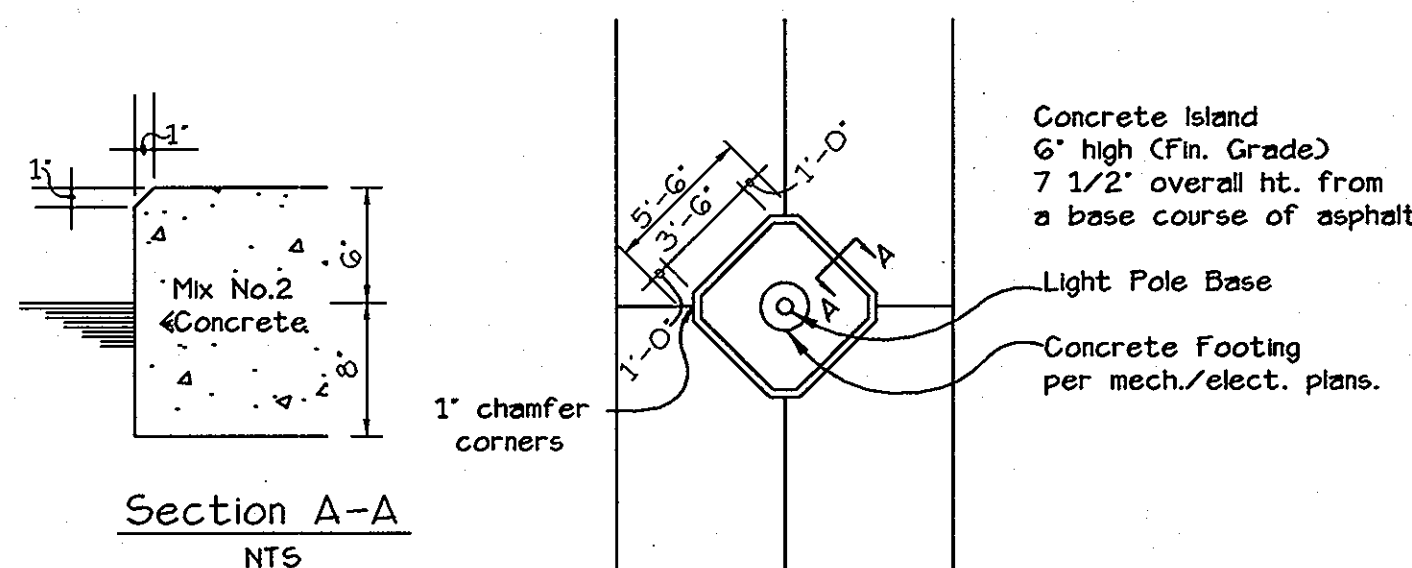
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING + ZONING

Chief: *John S. Butts* Date: 8/19/02

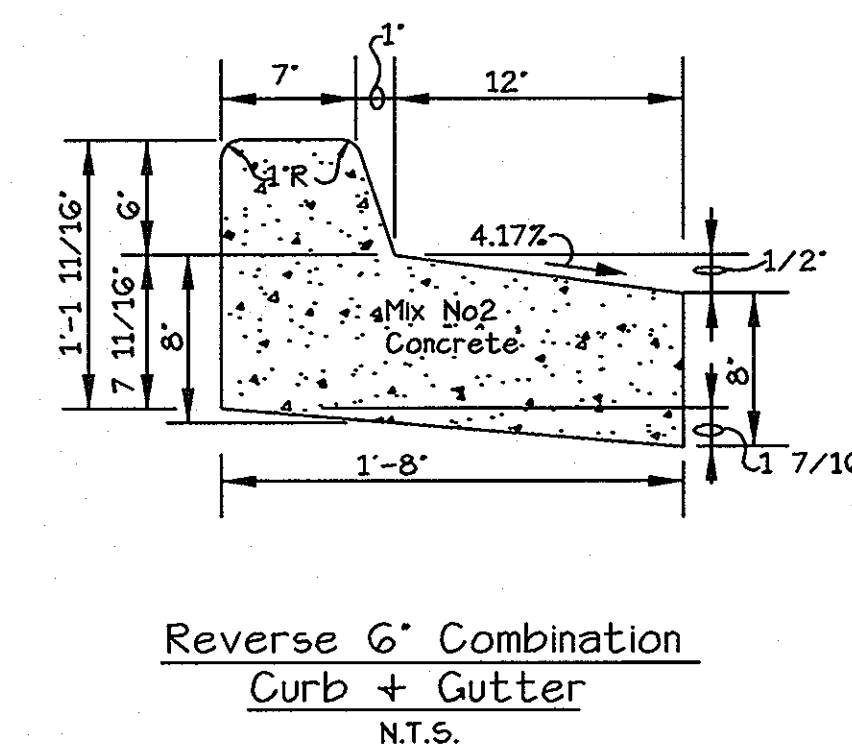
Chief, Division of Land Development: *Walt DeArbrock* Date: 8/16/02

Chief, Development Engineering Division: *Mike* Date: 7/9/02

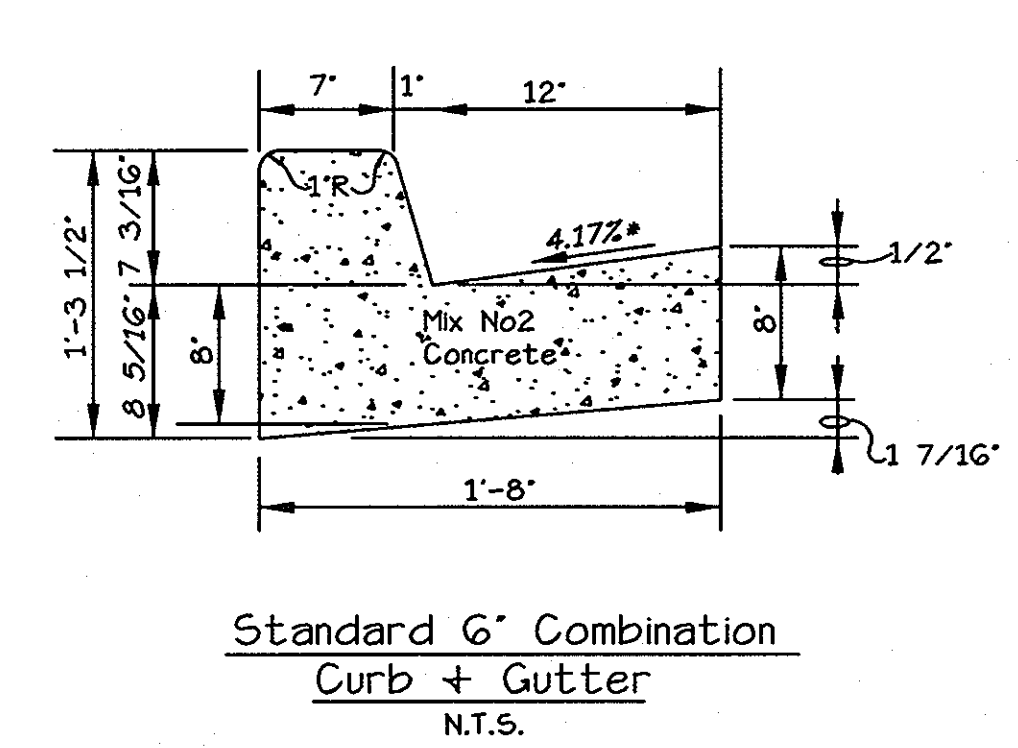
CONTRACT/PURCHASER
RARE HOSPITALITY INTERNATIONAL, INC.
8215 ROSWELL ROAD
ATLANTA, GEORGIA 30350
ATTN: JERRY JOHNSON
TELE: (770) 901-6651



Concrete Light Pole Island
NTS



Reverse 6\"/>



Standard 6\"/>

GLW Gutschick Little & Weber, PA
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
BURTNSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

OWNER
THE HOWARD RESEARCH + DEVELOPMENT CORP.
THE ROUSE BUILDING
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MD. 21044
ATTN: BOB JENKINS
TELE: (410) 996-6089

SITE DETAILS
ROUTE 175 COMMERCIAL
SECTION 1 AREA 2
PARCEL 'C-8' + OPEN SPACE LOT 5
PLAT No. 1554-7

SCALE	ZONING	G. L. W. FILE No.
As Shown	NT	02025
DATE	TAX MAP - GRID	SHEET
JUNE, 2002	36-18 37-13	3 of 12

DRAWINGS: 02025\DESIGN\02025\F3.DWG

DES. DRN. WSJ. CHK.

DATE

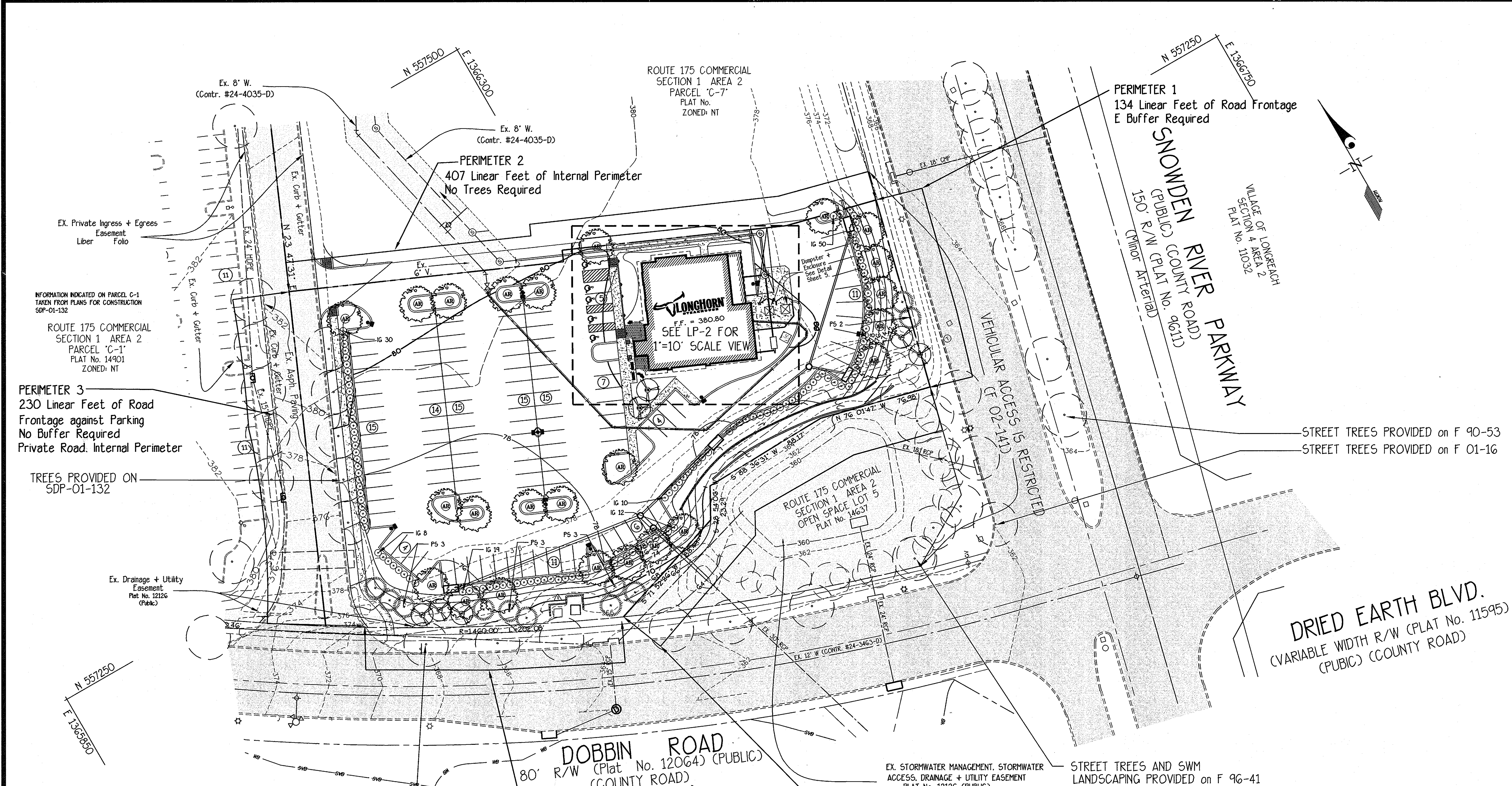
REVISION

BY

APPR.

ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND



INFORMATION INDICATED ON PARCEL C-1
TAKEN FROM PLANS FOR CONSTRUCTION
SDP-01-132

ROUTE 175 COMMERCIAL
SECTION 1 AREA 2
PARCEL "C-1"
PLAT No. 14901
ZONED: NT

PERIMETER 3
230 Linear Feet of Road
Frontage against Parking
No Buffer Required
Private Road, Internal Perimeter

TREES PROVIDED ON
SDP-01-132

EX. Drainage + Utility
Easement
Plat No. 12126
(Public)

ROUTE 175 COMMERCIAL
SECTION 1 AREA 2
PARCEL "C-7"
PLAT No.
ZONED: NT

PERIMETER 2
407 Linear Feet of Internal Perimeter
No Trees Required

PERIMETER 1
134 Linear Feet of Road Frontage
E Buffer Required

SNOWDEN RIVER PARKWAY
(PUBLIC) COUNTY ROAD
150' R/W (PLAT No. 96111)
(Minor Arterial)

VILLAGE OF LOWRECH
SECTION 4 AREA 2
PLAT No. 11032

STREET TREES PROVIDED on F 90-53
STREET TREES PROVIDED on F 01-16

ROUTE 175 COMMERCIAL
SECTION 1 AREA 2
OPEN SPACE LOT 5
PLAT No. 14637

DOBBIN ROAD
80' R/W (Plat No. 12064) (PUBLIC)
(COUNTY ROAD)
(Major Collector)

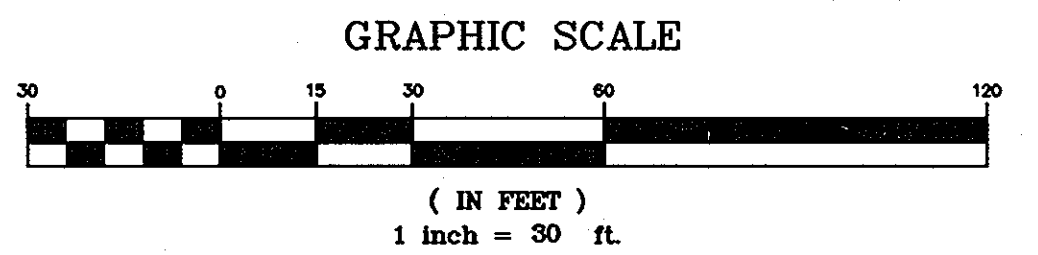
EX. STORMWATER MANAGEMENT, STORMWATER
ACCESS, DRAINAGE + UTILITY EASEMENT
PLAT No. 12126 (PUBLIC)

STREET TREES AND SWM
LANDSCAPING PROVIDED on F 96-41

PERIMETER 5
273 Linear Feet of Internal perimeter
SWM Planting provided in F-96-41

ROUTE 175 COMMERCIAL
SECTION 1 AREA 2
OPEN SPACE LOT 2
PLAT No. 13550
ZONED: NT

PERIMETER 4
175 Linear Feet of Road Frontage
E Buffer Required



THIS PLAN FOR LANDSCAPE PURPOSES ONLY.

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 07/10/02

APPROVED: FOR PUBLIC WATER + SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT
County Health Officer: *[Signature]* Date: 7-12-02
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING + ZONING
Director: *[Signature]* Date: 8/19/02
Chief, Division of Land Development: *[Signature]* Date: 8/16/02
Chief, Development Engineering Division: *[Signature]* Date: 7/9/02

CONTRACT/PURCHASER
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ATLANTA, GEORGIA 30350
ATTN: JERRY JOHNSON
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GLWGUTSCHICK LITTLE & WEBER, P.A.
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OWNER
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THE ROUSE BUILDING
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COLUMBIA, MD. 21044
ATTN: BOB JENKINS
TELE: (410) 996-6089

LANDSCAPE PLAN
ROUTE 175 COMMERCIAL
SECTION 1 AREA 2
PARCEL "C-8" + OPEN SPACE LOT 5
PLAT No. 1554-7

SCALE 1" = 30'	ZONING NT	G. L. W. FILE No. 02025
DATE JUNE, 2002	TAX MAP - GRID 36-18 37-13	SHEET 4 OF 12

02025/DESIGN/02025LP	DES. LHM	DRN. LHM	CHK. MJT	DATE 7/21/04	REVISION Rev Retaining Wall Adj. Transp. A	BY WJ	APPR.
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ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

SEDIMENT CONTROL NOTES

1. A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (410) 313-1855.

2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.

4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.

5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (Sec. G).
Temporary stabilization with mulch alone, can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.

6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

7. Site Analysis

Total Area of Site	1.93 Acres
Area Disturbed	2.15 Acres
Area to be roofed or paved	1.21 Acres
Area to be vegetatively stabilized	0.94 Acres
Total Cut	3,400 Cu. Yds.
Total Fill	3,400 Cu. Yds.
Off-site waste/borrow area location	N/A

8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

9. Additional sediment control must be provided if deemed necessary by the Howard County DPW Sediment Control Inspector.

10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

11. Trenches for the construction of utilities is limited to 3 pipe lengths or that which shall be backfilled and stabilized within one working day, whichever is shorter.

NOTE: TOTAL CUT AND FILL QUANTITIES ARE FOR PLAN PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EARTHWORK AT TIME OF CONTRACT

PERMANENT SEEDING NOTES

Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (0.5 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

Seeding: For periods March 1 thru April 30 and from August 15 thru October 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (0.7 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring or use sod.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unrotted weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

STANDARD AND SPECIFICATIONS FOR TOPSOIL DEFINITION

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

PURPOSE

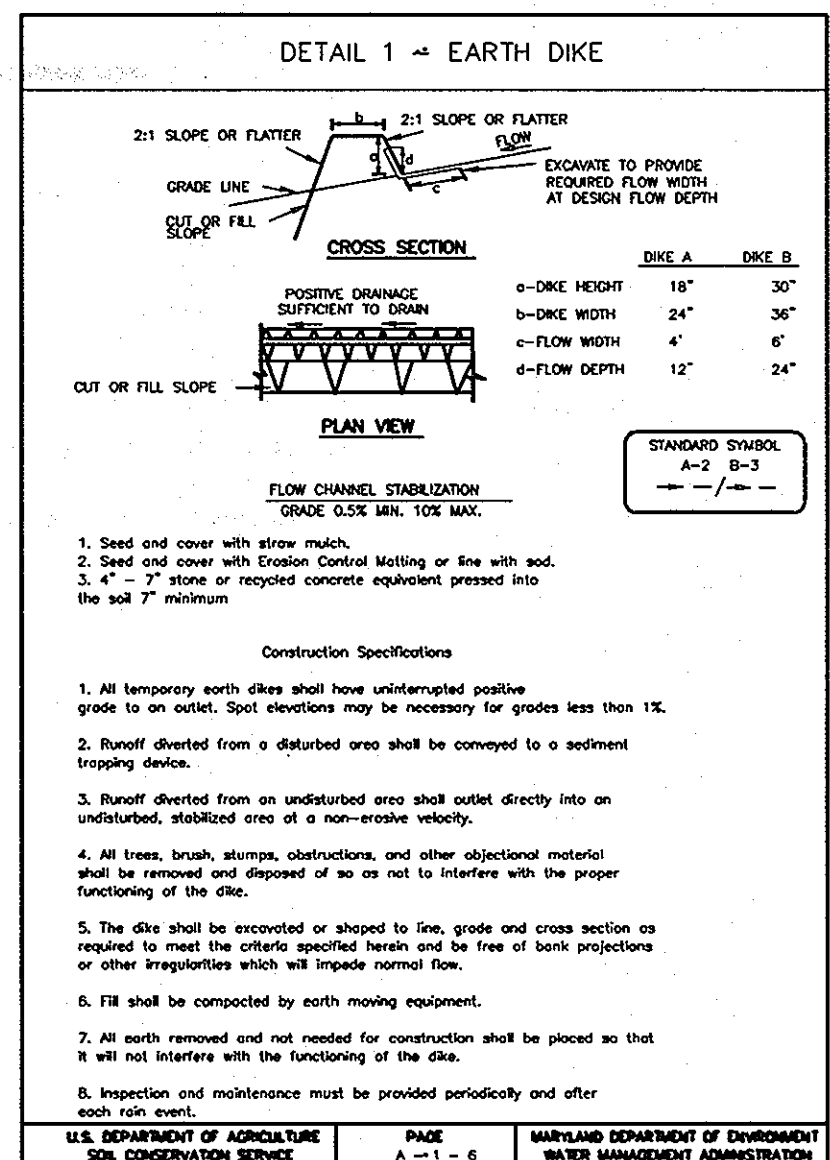
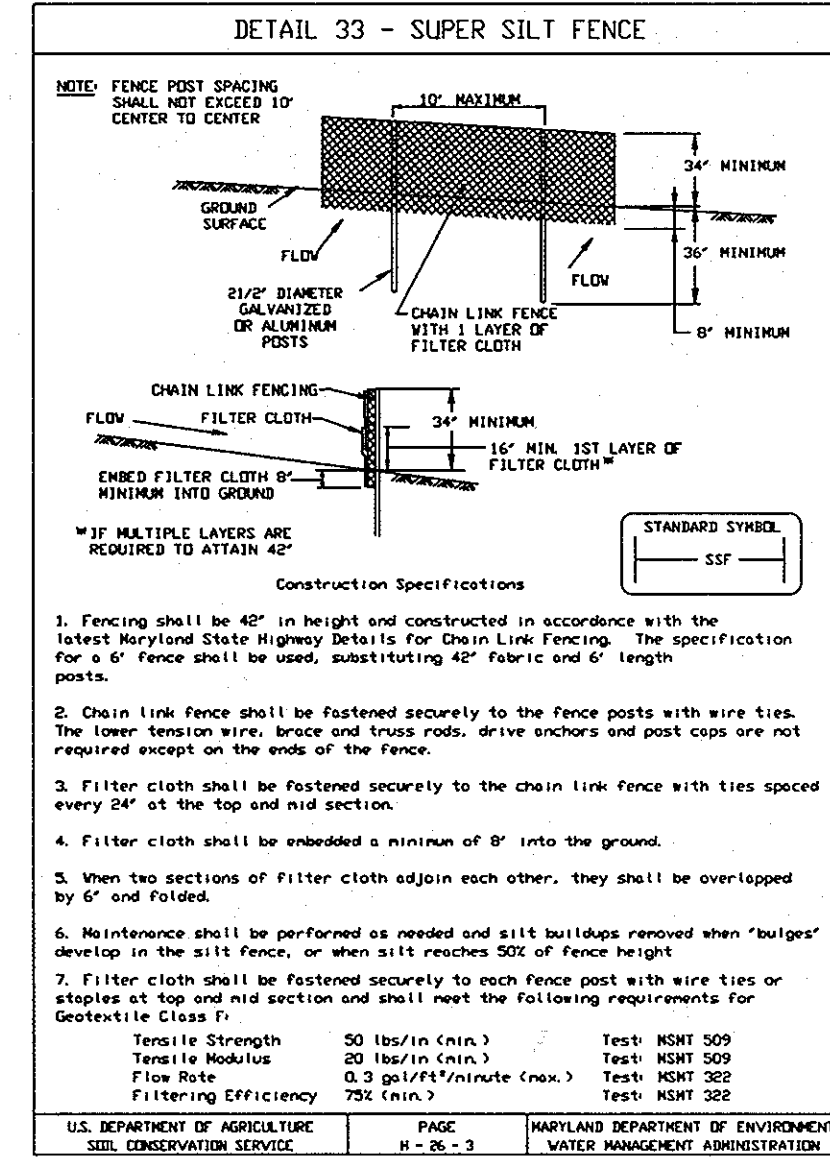
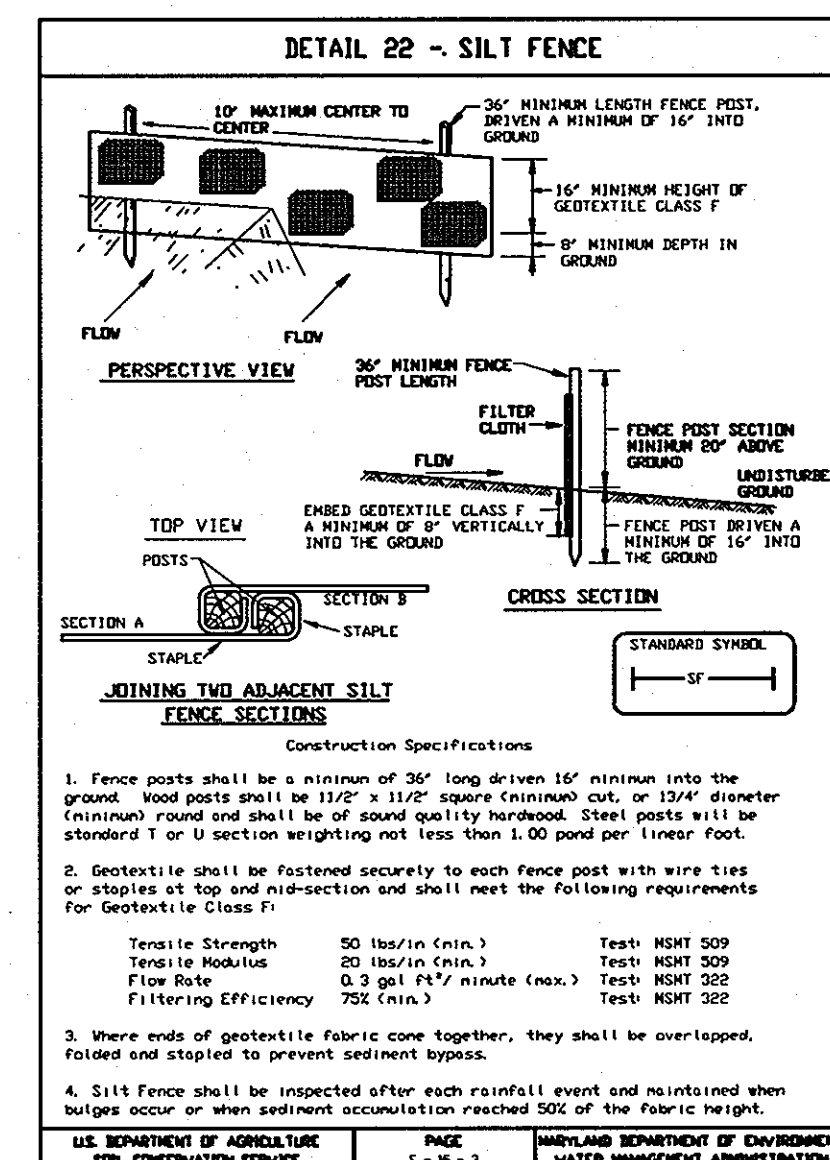
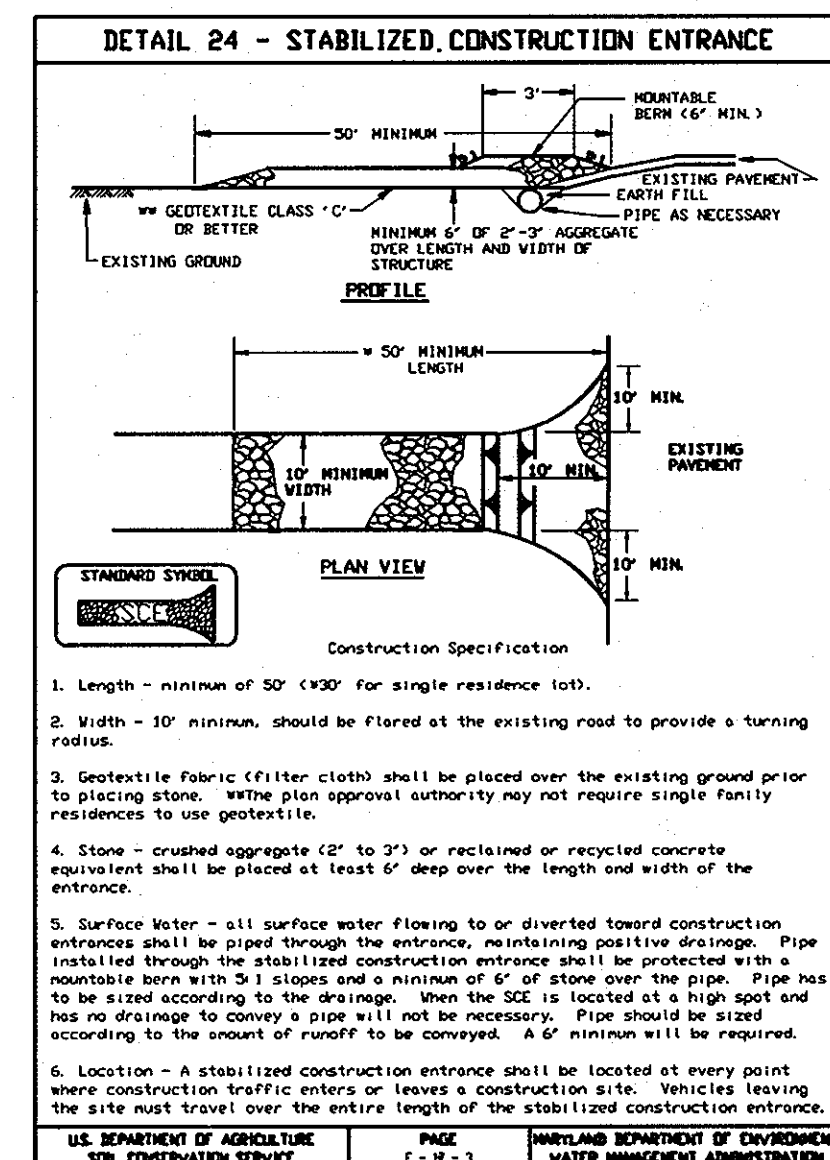
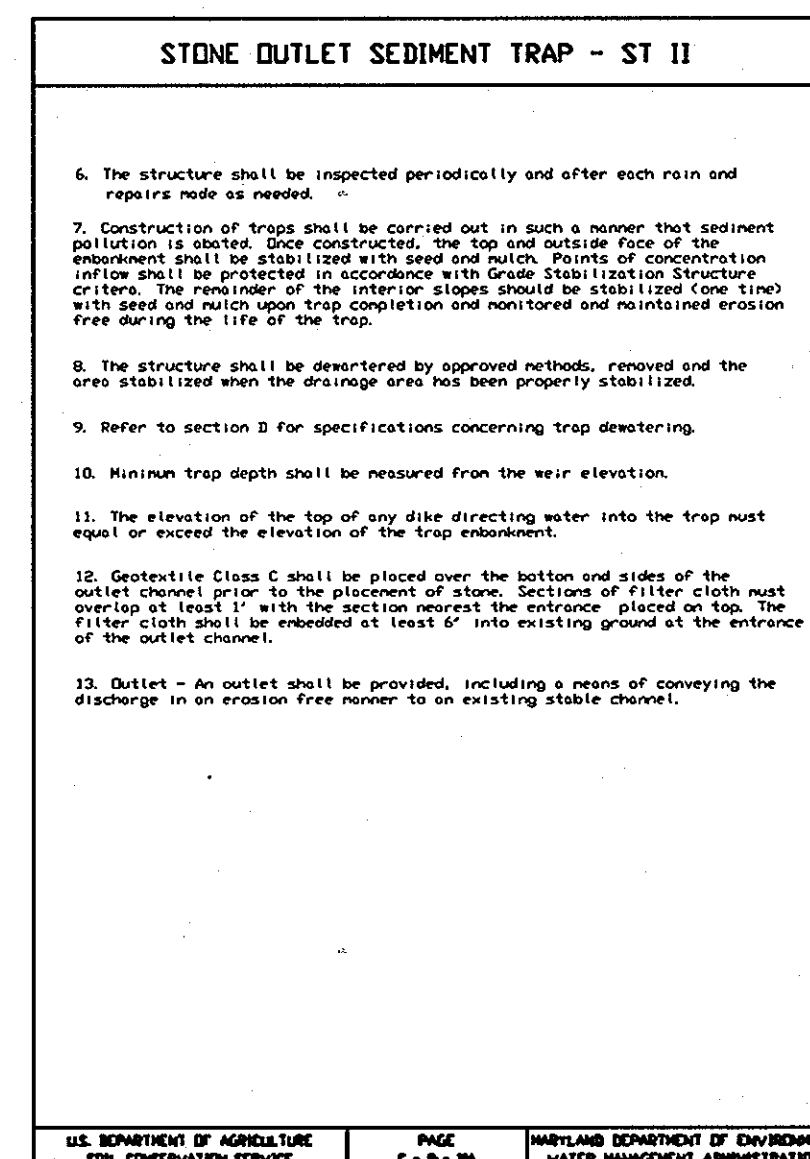
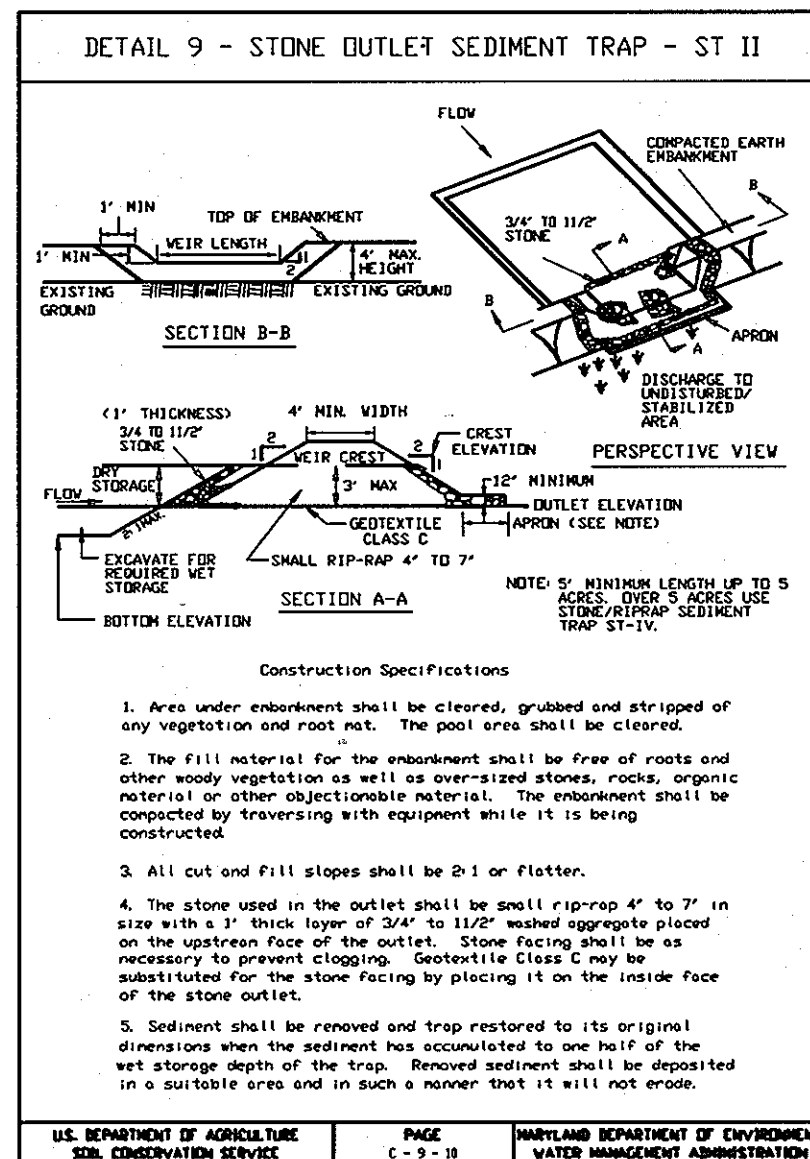
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

CONDITIONS WHERE PRACTICE APPLIES

1. This practice is limited to areas having 2:1 or flatter slopes where:
 - a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supply of moisture and plant nutrients.
 - c. The original soil to be vegetated contains material toxic to plant growth.
 - d. The soil is so acidic that treatment with limestone is not feasible.
2. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

1. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the respective soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
 - i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash or other materials larger than 1 1/2" in diameter.
 - ii. Topsoil must be free of plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
 - iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
2. For sites having disturbed areas under 5 acres:
 - i. Place topsoil (if required) and apply soil amendments as specified in 2.0.O Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
3. For sites having disturbed areas over 5 acres:
 - i. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - a. pH for topsoil shall be between 6.0 and 7.5. If



These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.
Jim Meyer 7/13/02
Natural Resources Conservation Service Date

ENGINEER'S CERTIFICATE
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Michael J. Tropp 6/24/02
Date

- Sequence of Construction
1. Obtain permits and arrange for pre-construction meeting with the Sediment Control Inspector (1 day).
 2. Install stabilized construction entrance and perimeter silt fence and super silt fence. Construct sediment trap and associated earth dikes. Extend and construct storm drain from the end of the existing 33-inch RCP to and including the temporary trap outfall structure M-100 (1 week).
 3. Grade site and construct retaining walls (3 weeks).
 4. Construct building (4 months).
 5. Install utilities. Install storm drain and temporarily outfall the proposed 18-inch pipe into the sediment trap from I-104 to M-100 and M-100 to I-104. Temporarily block the outfall from manhole M-101 to M-100 shut (1 month).
 6. Install curb and gutter, sidewalks and base pave all areas except in the vicinity of the sediment trap. Stabilize areas with grass seed and mulch (1 month).
 7. When permission has been granted by the sediment Control Inspector and all grass draining to the sediment controls have been stabilized, backfill the sediment trap and complete the curb and gutter installation and base paving (2 weeks).
 8. Remove all remaining sediment controls and install landscaping. Stabilize all remaining areas with grass seed and mulch (1 week).
 9. Install surface course paving and parking lot striping (1 week).

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.
John R. Rhoton 7/13/02
Howard S.C.D. Date

DEVELOPER'S/BUILDER'S CERTIFICATE
I/We certify that all development and/or construction will be done according to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.
For RAAS Hspits Hsp Intl. 6/24/02
Signature of Developer/Builder Date

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 07/10/02

APPROVED: FOR PUBLIC WATER + SEWERAGE SYSTEMS.
HOWARD COUNTY HEALTH DEPARTMENT
Debra A. Smith 7/12/02
County Health Officer Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING + ZONING
James S. Smith 8/19/02
Director Date

Keith DeLoach 8/16/02
Chief, Division of Land Development Date

Michael J. Tropp 7/12/02
Chief, Development Engineering Division MK Date

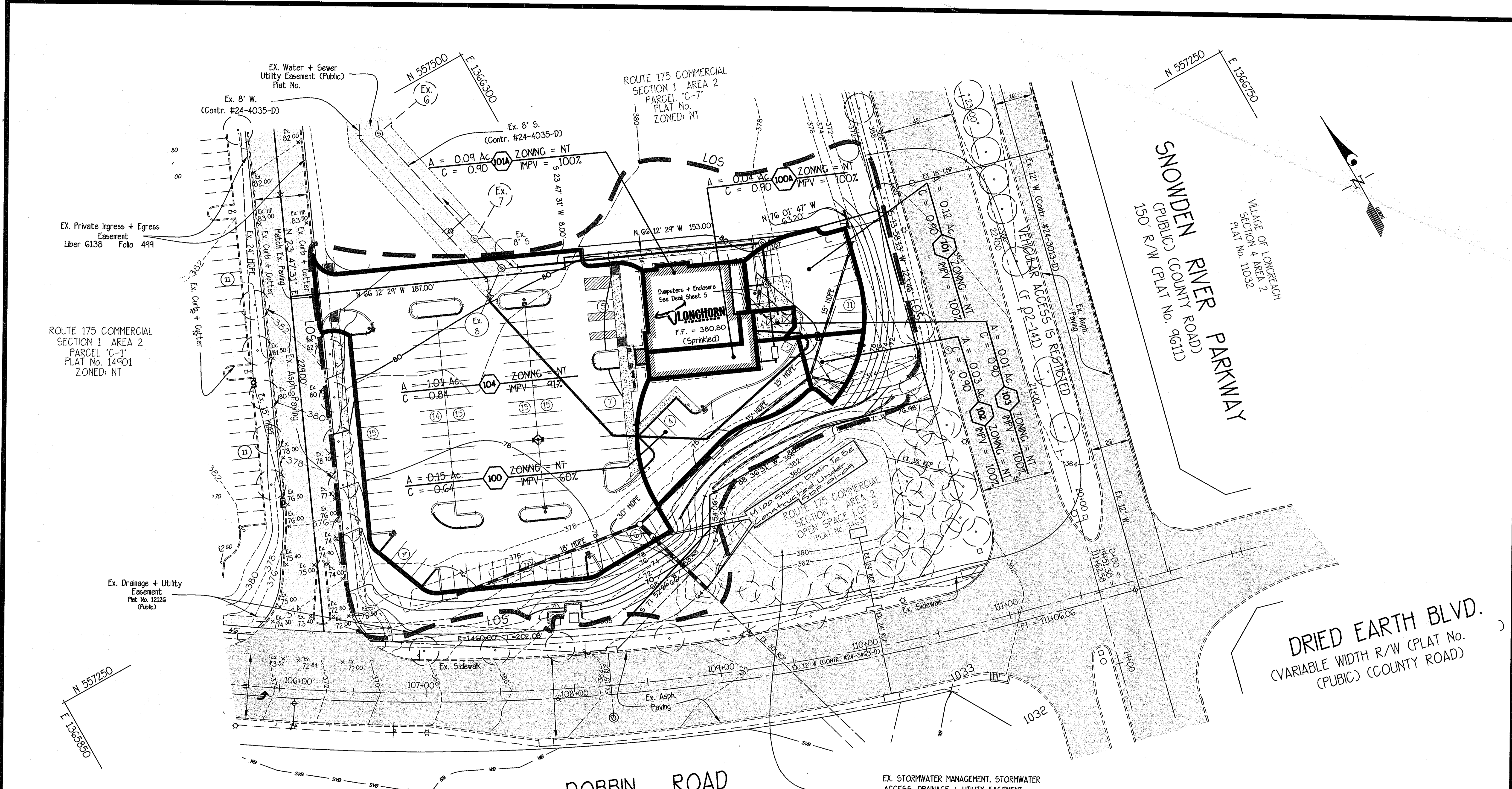
CONTRACT/PURCHASER
RARE HOSPITALITY INTERNATIONAL, INC.
8215 ROSWELL ROAD
ATLANTA, GEORGIA 30350
ATTN: JERRY JOHNSON
TELE: (770) 901-6651

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
BURTNSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

OWNER
THE HOWARD RESEARCH + DEVELOPMENT CORP.
THE ROUSE BUILDING
10275 LITTLE PATUKENT PARKWAY
COLUMBIA, MD. 21044
ATTN: BOB JENKINS
TELE: (410) 996-6089

SEDIMENT CONTROL DETAILS
ROUTE 175 COMMERCIAL
SECTION 1 AREA 2
PARCEL 'C-8' + OPEN SPACE LOT 5
FLAT NO. 15547
HOWARD COUNTY, MARYLAND

SCALE: NTS	ZONING: NT	G. L. W. FILE No. O2025
DATE: JUNE, 2002	TAX MAP - GRID: 36-18 37-13	SHEET: 8 OF 12



APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE 07/10/02

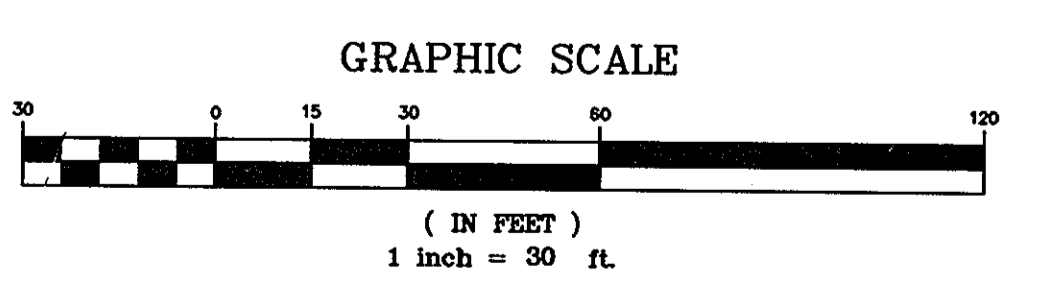
APPROVED FOR PUBLIC WATER + SEWERAGE SYSTEMS,
 HOWARD COUNTY HEALTH DEPARTMENT
 County Health Officer Date 7/10/02
 APPROVED HOWARD COUNTY DEPARTMENT OF PLANNING + ZONING
 Chief, Division of Land Development Date 8/19/02
 Chief, Development, Engineering Division Date 8/16/02
 Chief, Development, Engineering Division Date 7/9/02

CONTRACT/PURCHASER
 RARE HOSPITALITY INTERNATIONAL, INC.
 8215 ROSWELL ROAD
 ATLANTA, GEORGIA 30350
 ATTN: JERRY JOHNSON
 TELE: (770) 901-6651



DOBBIN ROAD
 80' R/W (Plat No. 12064) (PUBLIC)
 (COUNTY ROAD)
 ROUTE 175 COMMERCIAL
 SECTION 1 AREA 2
 OPEN SPACE LOT 2
 PLAT No. 13550

EX. STORMWATER MANAGEMENT, STORMWATER
 ACCESS, DRAINAGE + UTILITY EASEMENT
 PLAT No. 12126 (PUBLIC)



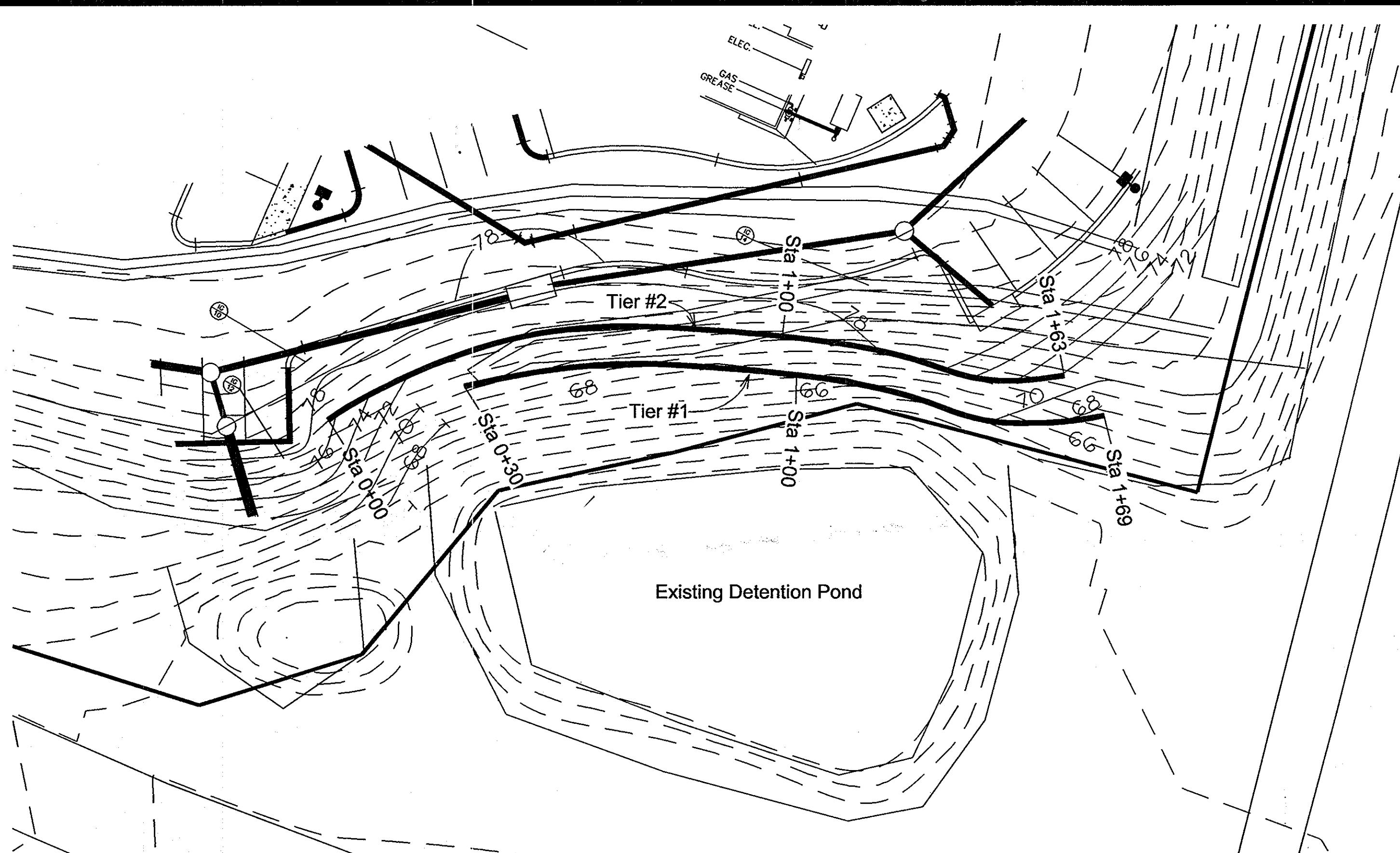
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-959-2524 FAX: 301-421-4186
 DRAWINGS\02025\DESIGN\02025SP11.dwg

DES.	DRN.	KLP	CHK.
DATE	7/12/04	Rev Retaining Wall Adj. Transp.	
REVISION			
BY			
APPR.			

OWNER
 THE HOWARD RESEARCH + DEVELOPMENT CORP.
 THE ROUSE BUILDING
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD. 21044
 ATTN: BOB JENKINS
 TELE: (410) 996-6089

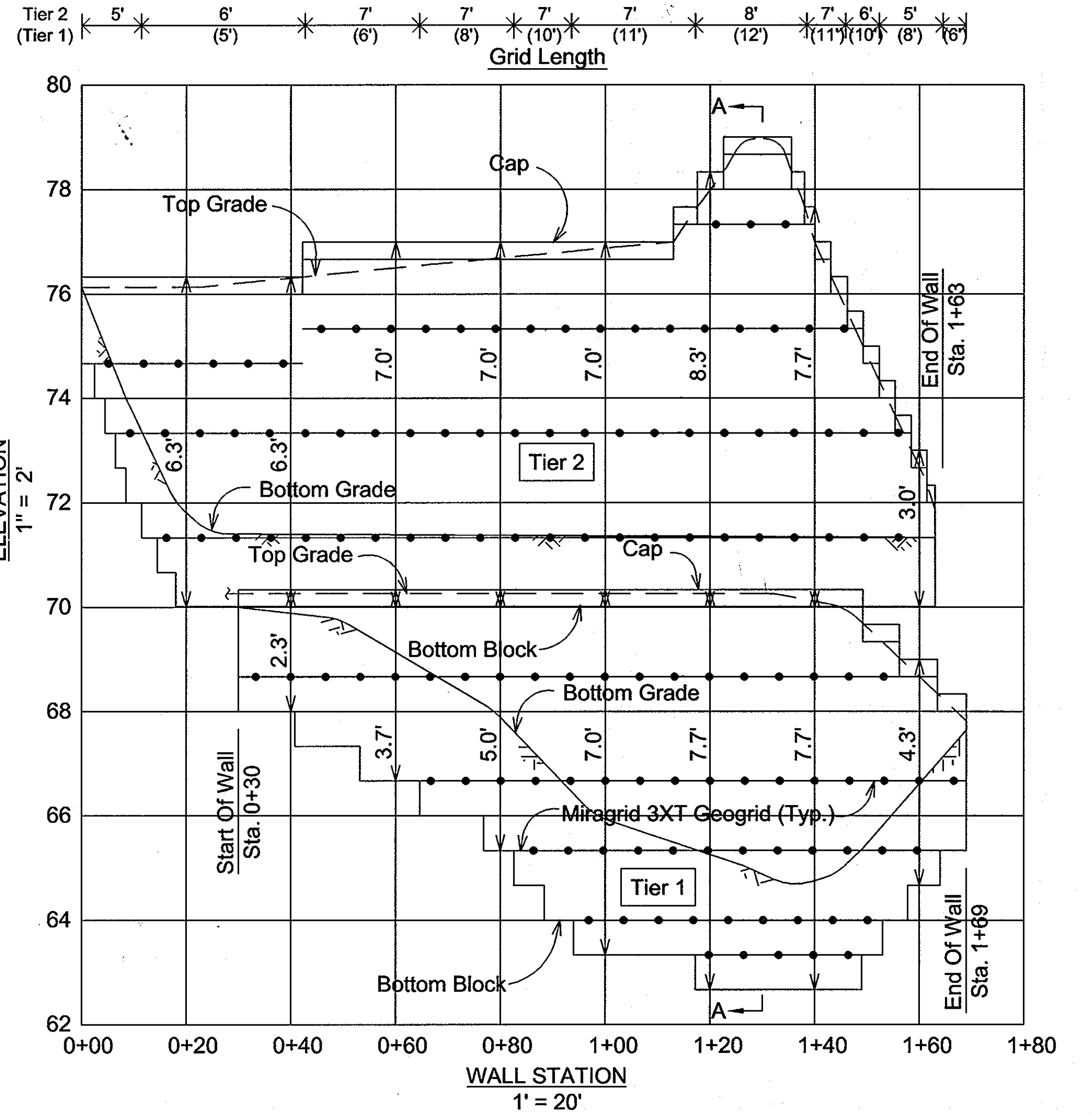
STORM DRAIN DRAINAGE AREA MAP
ROUTE 175 COMMERCIAL
 SECTION 1 AREA 2
 PARCEL 'C-8' + OPEN SPACE LOT 5
 PLAT No. 15547
 ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	02025
DATE	TAX MAP - GRID	SHEET
JUNE, 2002	36-18 37-13	11 OF 12



WALL LOCATION PLAN
SCALE 1" = 20'

NOTES: 1.) NO TREES SHALL BE PLANTED WITHIN 15 FEET OF THE TOP OF THE RETAINING WALL.
2.) THE REQUIRED BEARING PRESSURE BENEATH THE WALL FOUNDATION SHALL BE VERIFIED IN THE FIELD BY A GEOTECHNICAL ENGINEER.
3.) SUITABILITY OF THE RETAINING WALL BACKFILL MATERIAL SHALL BE CONFIRMED BY A GEOTECHNICAL ENGINEER.
4.) RETAINING WALL MUST BE CONSTRUCTED UNDER THE OBSERVATION OF A REGISTERED PROFESSIONAL ENGINEER.



WALL ELEVATION

SPECIFICATIONS

KEYSTONE MODULAR CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

1.01 Description
A. Work shall consist of furnishing and construction of a KEYSTONE Retaining Wall System in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans.
B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
C. Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.

1.02 Delivery, Storage and Handling
A. Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.

PART 2: PRODUCTS

2.01 Modular Concrete Retaining Wall Units
A. Modular concrete units shall conform to the following architectural requirements:
1. face color - concrete gray - standard manufacturers' color may be specified by the Owner.
2. face finish - sculptured rock face in angular tri-planer configuration. Other face finishes will not be allowed without written approval of Owner.
3. bond configuration - running with bonds nominally located at midpoint vertically adjacent units, in both straight and curved alignments.
4. exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
B. Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
C. Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:
1. compressive strength = 3000 psi minimum;
2. absorption = 8 % maximum (5% in northern states) for standard weight aggregates;
3. dimensional tolerances = ± 1/8" from nominal unit dimensions not including rough split face, ± 1/16" unit height - top and bottom planes;
4. unit size - 18" (H) x 18" (W) x 24" (D) minimum;
5. unit weight - 100 lbs/unit minimum for standard weight aggregates;

2.02 Shear Connectors
A. Shear connectors shall be 1/2 inch diameter threaded isophthalic polyester resin-protected fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units. Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to +100 degrees F.
B. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.

2.03 Base Leveling Pad Material
A. Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.

2.04 Unit Drainage Fill
A. Unit drainage fill shall consist of #57 crushed stone
B. One cubic foot, minimum, of drainage fill shall be used for each square foot of wall face. Drainage fill shall be placed within cores of, between, and behind units to meet this requirement.

2.05 Reinforced Backfill
A. Reinforced backfill shall be free of debris and meet the following gradation tested in accordance with ASTM D-422 and meet other properties shown on the plan:

Sieve Size	Percent Passing
2 inch	100-75
3/4 inch	100-75
No. 40	0-60
No. 200	0-35

Plasticity Index (PI) <15 and Liquid Limit <40 per ASTM D-4318.
B. Material on site excavated soils where the above requirements can be met. Unsuitable soils for backfill (high plastic clays or organic soils) shall not be used in the reinforced soil mass.
C. The geogrid shall be pulled, tested, and anchored prior to backfill placement on the geogrid.

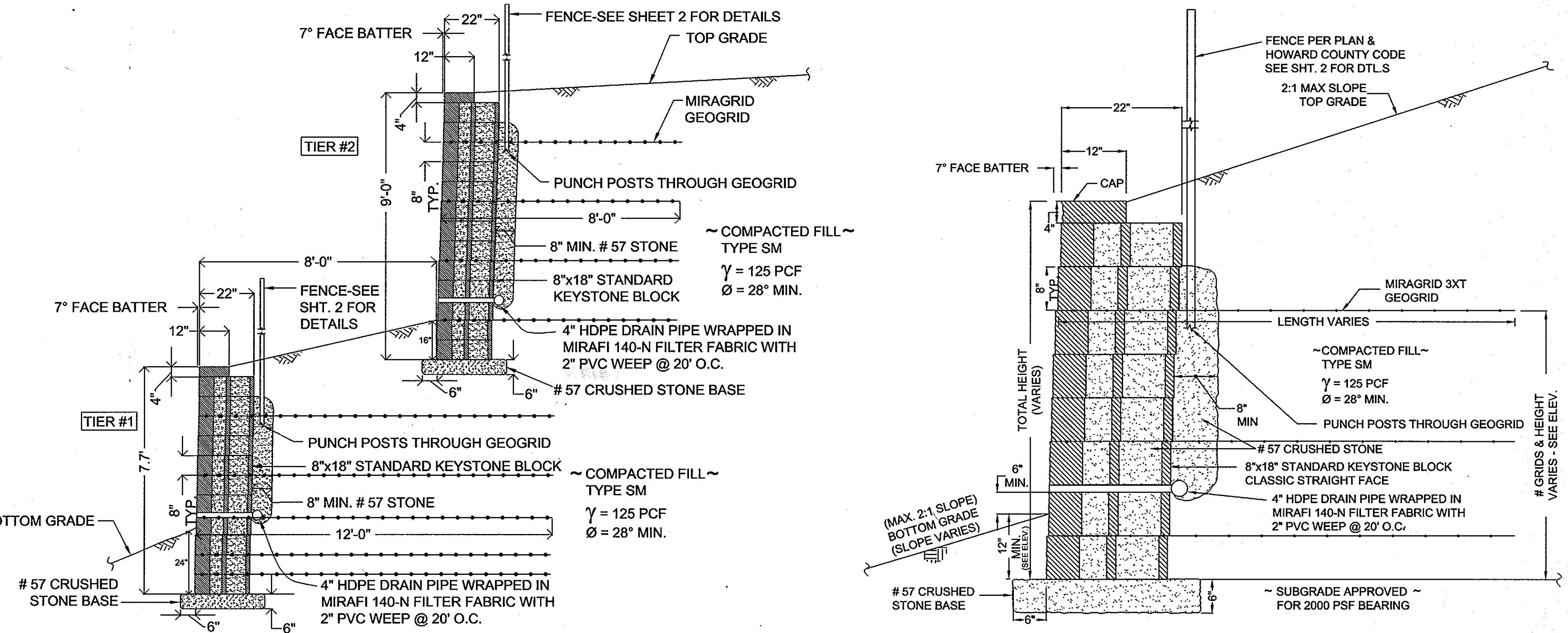
2.06 Geogrid Soil Reinforcement
A. Geosynthetic reinforcement shall consist of geogrids manufactured specifically for soil reinforcement applications and shall be manufactured from high tenacity polyester yarn.
B. The drainage pipe shall be perforated corrugated HDPE pipe manufactured in accordance with ASTM D-1248.

PART 3: EXECUTION

3.01 Excavation
A. Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.

3.02 Base Leveling Pad
A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches and extend laterally a minimum of 6' in front and behind the modular wall unit.
B. Leveling pad shall be prepared to insure full contact to the base surface of the concrete units.

3.03 Modular Unit Installation
A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and insure that all units are in full contact with the base and properly seated.
B. Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
C. Install shearconnecting devices per manufacturer's recommendations.
D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. Follow wall erection and drainage fill closely with structural backfill.
E. Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed three courses.
3.04 Structural Geogrid Installation
A. Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.
B. Geogrid reinforcement shall be placed at the strengths, lengths, and elevations shown on the construction design drawings or as directed by the Engineer.
C. The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled, tested, and anchored prior to backfill placement on the geogrid.
D. Geogrid reinforcements shall be continuous throughout their embedment lengths and placed side-by-side to provide 100% coverage at each level. Spliced connections between shorter pieces of geogrid or gaps between adjacent pieces of geogrid are not permitted.
E. Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage.
F. Reinforced backfill shall be placed and compacted in lifts not to exceed 6 inches when hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
G. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be +3% to -3% of optimum.
H. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.
I. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid. Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided. At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.
3.05 Cap Installation
A. Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.
B. The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction. As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.



WALL SECTION AT STA. 1+30 - SECTION A-A
SCALE: 3/8" = 1'

TYPICAL WALL SECTION
N.T.S.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING + ZONING

 Date: 8/15/02
 Chief, Division of Land Development
 Date: 8/16/02
 Chief, Development Engineering Division MK
 Date: 7/16/02

CONTRACT/PURCHASER
 RARE HOSPITALITY INTERNATIONAL, INC.
 8215 ROSWELL ROAD
 ATLANTA, GEORGIA 30350
 ATTN: JERRY JOHNSON
 TELE: (770) 901-6651

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: 07/10/02

HILLIS-CARNES
 ENGINEERING ASSOCIATES, INC.
 12011 Gullford Road Suite 106
 Bethesda, MD 20814
 (301) 880-4788 D.C. (301) 470-4229

DES.	RWS	DRN.	AM	CHK.	RMH	DATE	REVISION	BY	APPR.

OWNER
 THE HOWARD RESEARCH + DEVELOPMENT CORP.
 THE ROUSE BUILDING
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD. 21044
 ATTN: BOB JENKINS
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RETAINING WALL CONSTRUCTION DETAILS
ROUTE 175 COMMERCIAL
 SECTION 1 AREA 2
 PARCEL "C-8" + OPEN SPACE LOT 5
 FLAT No. 15547
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	HCEA JOB #
AS SHOWN	NT	02179-A
DATE	TAX MAP - GRID	SHEET
JUNE, 2002	36-18 37-17	12 OF 12