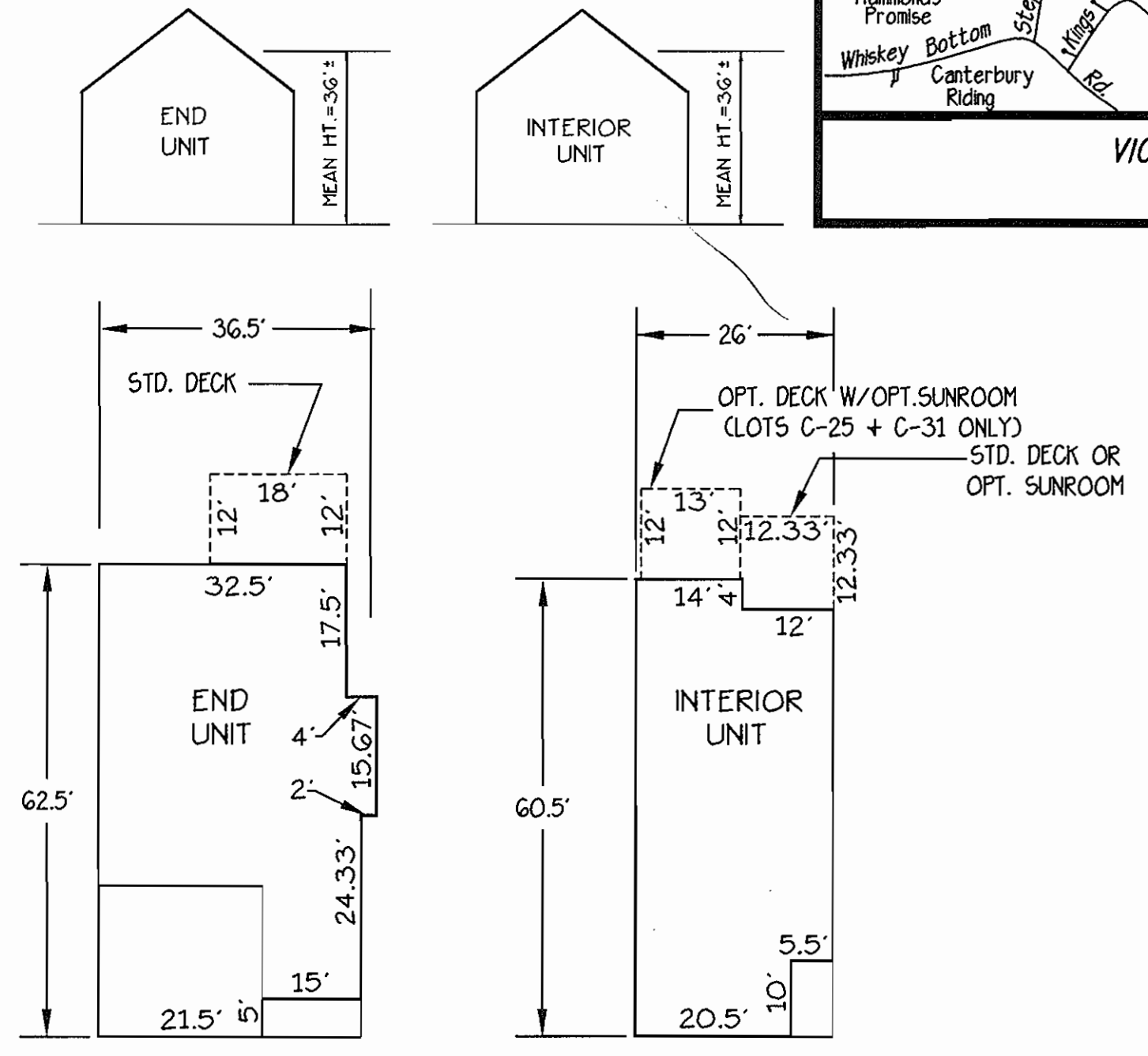
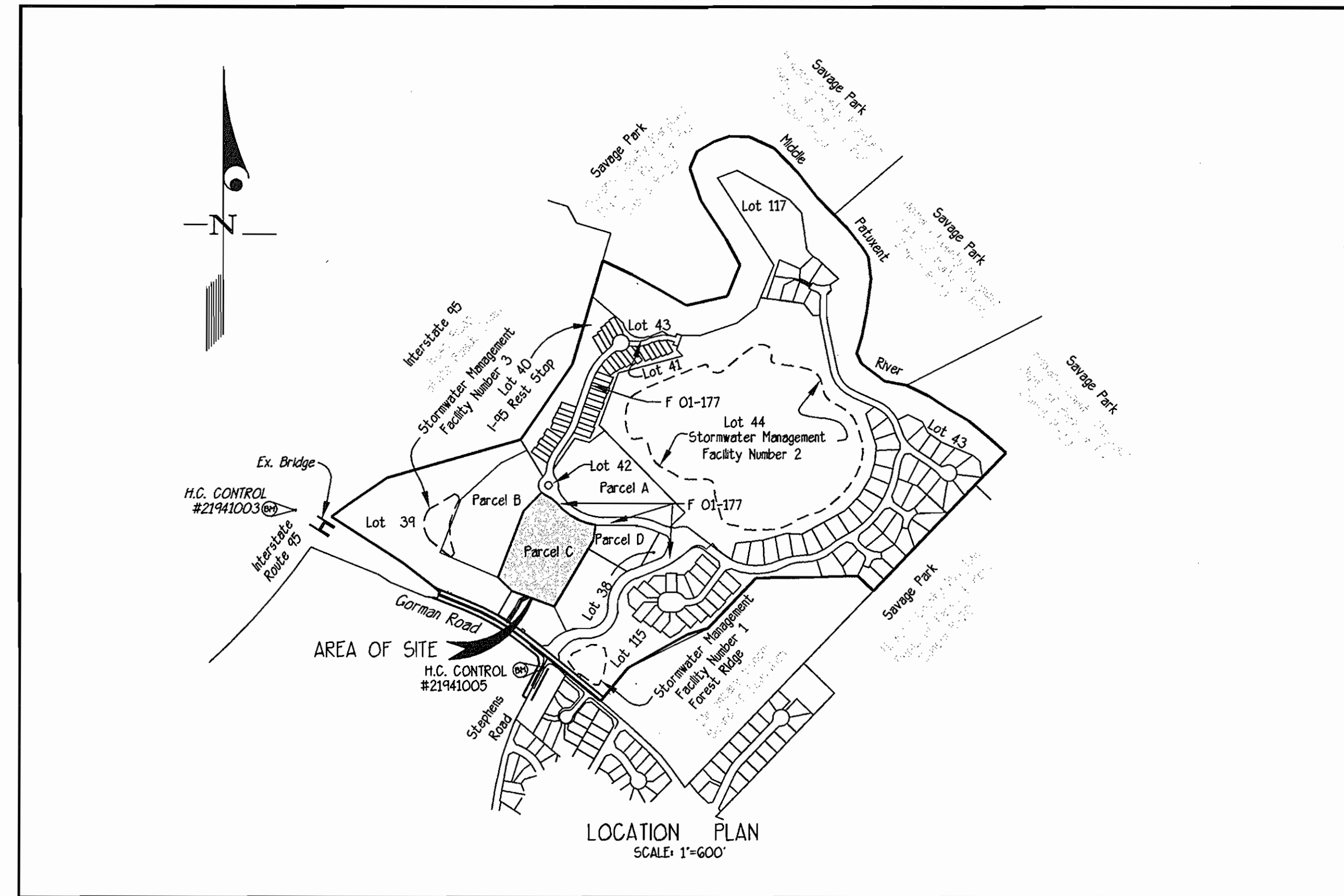
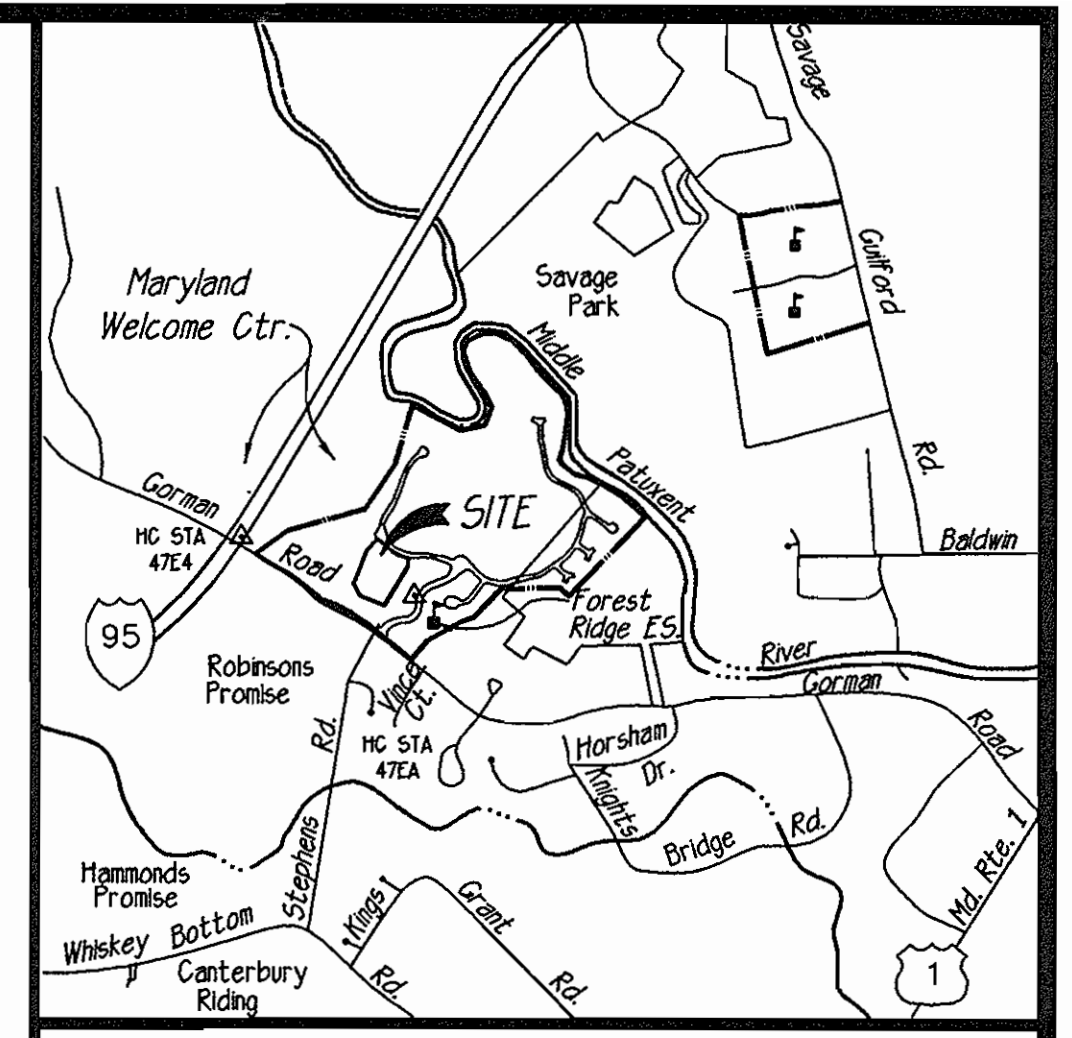


**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:  
LOCATION: TAX MAP #47, GRID 7  
ZONING: R-ED  
ELECTION DISTRICT: 6TH  
BUILDABLE LOT AREA: 2.75 AC. (LOTS C-1THRU C-36)  
OPEN SPACE AREA: 2.66 AC. (INCLUDES COMMON AREA)  
TOTAL AREA: 5.41 AC.  
REC. REF.: FLAT NO. 15478 + 15479
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY AND FEATURES WERE DERIVED FROM AERIAL PHOTOGRAPHY BY DAFT, McCLUNE + WALKER, SUMMER 1998 AND MASS GRADING INFORMATION FROM F-01-177.
- HORIZONTAL AND VERTICAL CONTROL BASED ON HOWARD COUNTY CONTROL STATIONS 47 EA. + 47 E4.
- PUBLIC WATER AND SEWER IS TO BE UTILIZED (PATAPUSCO DRAINAGE AREA). CONTRACT NO. 34-4010-D.
- STORMWATER MANAGEMENT IS PROVIDED BY A PRIVATE FACILITY UNDER F-01-177. THE PRIVATE STORMWATER MANAGEMENT, DRAINAGE AND UTILITY EASEMENT IS OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- ALL STORM DRAINS SHOWN ARE PRIVATE AND ARE BUILT UNDER THE F-01-177 AND F-02-30 PLANS.
- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM F-01-177, F-02-30 AND CONTRACT NO. 34-4010-D BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF CONSTRUCTION.
- BOTH THE NOISE AND TRAFFIC STUDIES WERE APPROVED AS PART OF SKETCH PLAN 5-00-13 APPROVED ON 10-10-2000.
- ANY DAMAGE TO COUNTY OWNED RIGHT-OF-WAY TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- OTHER HOWARD COUNTY FILES RELATED TO THIS SITE:  
5-00-13.P-01-15.PB-345.WP-01-88.WPOO-88.WP-00-126.WP-01-60.WP-01-94. F-01-177. F-02-30 AND CONTRACT # 34-4010-D.  
FOREST CONSERVATION FOR THIS SITE IS PROVIDED UNDER F-01-177.
- FOR DRIVEWAY APRON, SEE HOWARD COUNTY STANDARD DETAIL No R-6.03 AND R-6.05.
- LANDSCAPING AND REQUIRED STREET TREES SHALL BE IN ACCORDANCE WITH THE APPROVED ROAD CONSTRUCTION DRAWING, F-02-30. SURETY FOR THE LANDSCAPING OF THE LOTS AND PARKING AREAS IN THE AMOUNT OF \$11,700 SHALL BE PAID AT TIME OF GRADING PERMIT APPLICATION.
- BENCH MARKS/CONTROL STATIONS: #47E4-N 535063.631 E 1357283.989 EL=315.28 AND #47E4 N 535063.631 E 13572830989 EL=338.91
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STARWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS; PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- WF-01-60  
JANUARY 16, 2000. WAIVER OF SECTION 16.120.c.(2). TO PERMIT LOTS WITHOUT PUBLIC ROAD FRONTAGE, AND 16.120.c.(4). TO PERMIT THE LENGTH OF A PRIVATE ROAD TO EXCEED 200' FOR SA UNITS, WAS GRANTED.
- BOULDER RIDGE ROAD AND TIMBER OAK LANE ARE PRIVATE ROADS AND SHALL BE MAINTAINED BY THE HOA.
- SEWER CLEANOUTS SHALL BE FLUSH WITH PROPOSED DRIVEWAY SURFACE. IF A CONCRETE DRIVEWAY IS TO BE UTILIZED, PROVIDE A 12-INCH BY 12-INCH REINFORCED CONCRETE PANEL AROUND THE CLEANOUT WITH EXPANSION JOINT MATERIAL AS APPROPRIATE. IF IN THE FUTURE, CLEANOUT IS PAVED OVER, DPW WILL NOT BE RESPONSIBLE FOR DAMAGE TO DRIVEWAY WHEN ACCESSING CLEANOUT.
- THIS PLAN IS SUBJECT TO COMPLIANCE WITH THE FOURTH EDITION OF THE HOWARD COUNTY SUBDIVISION REGULATIONS.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:  
A. WIDTH-12' (14' SERVING MORE THAN ONE RESIDENCE);  
B. SURFACE- 6" OF COMPACTED CRUSHER RUN BASE W/TAR AND CHIP COATING (1-1/2" MIN.);  
C. GEOMETRY- MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS;  
D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING);  
E. DRAINAGE ELEMENTS - CAPABLE OF SAFETY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;  
F. MAINTENANCE - SUFFICIENT TO ALL WEATHER USE.
- ALL EASEMENTS (PUBLIC AND PRIVATE) SHOWN ON THESE PLANS ARE PER RECORDED PLAT No. 15479, UNLESS OTHERWISE NOTED.

# SITE DEVELOPMENT PLAN STONELAKE



**END UNIT:**  
LOT COVERAGE=2,368 SF  
MIN. LOT SIZE= 3,947 SF  
(REQ'D. FOR GOZ LOT COVERAGE)  
SMALLEST LOT SIZE: 3,945 SF

**INTERIOR UNIT:**  
LOT COVERAGE=1,675 SF  
MIN. LOT SIZE= 2,792 SF  
(REQ'D. FOR GOZ LOT COVERAGE)  
SMALLEST LOT SIZE: 2,639 SF

NOTE: AS SOME OF THE LOTS DO NOT MEET THE LOT COVERAGE MAXIMUMS WITH THE STANDARD DECKS A MATRIX IS PROVIDED BELOW WITH SIZES INDICATED TO BE WITHIN THE MAXIMUM LOT COVERAGE.

ADDRESS CHART	
LOT	STREET ADDRESS
C-1	8731 BOULDER RIDGE ROAD
C-2	8733 BOULDER RIDGE ROAD
C-3	8735 BOULDER RIDGE ROAD
C-4	8737 BOULDER RIDGE ROAD
C-5	8705 TIMBER OAK LANE
C-6	8707 TIMBER OAK LANE
C-7	8709 TIMBER OAK LANE
C-8	8711 TIMBER OAK LANE
C-9	8713 TIMBER OAK LANE
C-10	8715 TIMBER OAK LANE
C-11	8717 TIMBER OAK LANE
C-12	8719 TIMBER OAK LANE
C-13	8721 TIMBER OAK LANE
C-14	8723 TIMBER OAK LANE
C-15	8725 TIMBER OAK LANE
C-16	8727 TIMBER OAK LANE
C-17	8729 TIMBER OAK LANE
C-18	8731 TIMBER OAK LANE
C-19	8733 TIMBER OAK LANE
C-20	8735 TIMBER OAK LANE
C-21	8737 TIMBER OAK LANE
C-22	8739 TIMBER OAK LANE
C-23	8741 TIMBER OAK LANE
C-24	8743 TIMBER OAK LANE
C-25	8745 TIMBER OAK LANE
C-26	8747 TIMBER OAK LANE
C-27	8749 TIMBER OAK LANE
C-28	8751 TIMBER OAK LANE
C-29	8753 TIMBER OAK LANE
C-30	8755 TIMBER OAK LANE
C-31	8757 TIMBER OAK LANE
C-32	8759 TIMBER OAK LANE
C-33	8761 TIMBER OAK LANE
C-34	8763 TIMBER OAK LANE
C-35	8765 TIMBER OAK LANE
C-36	8767 TIMBER OAK LANE

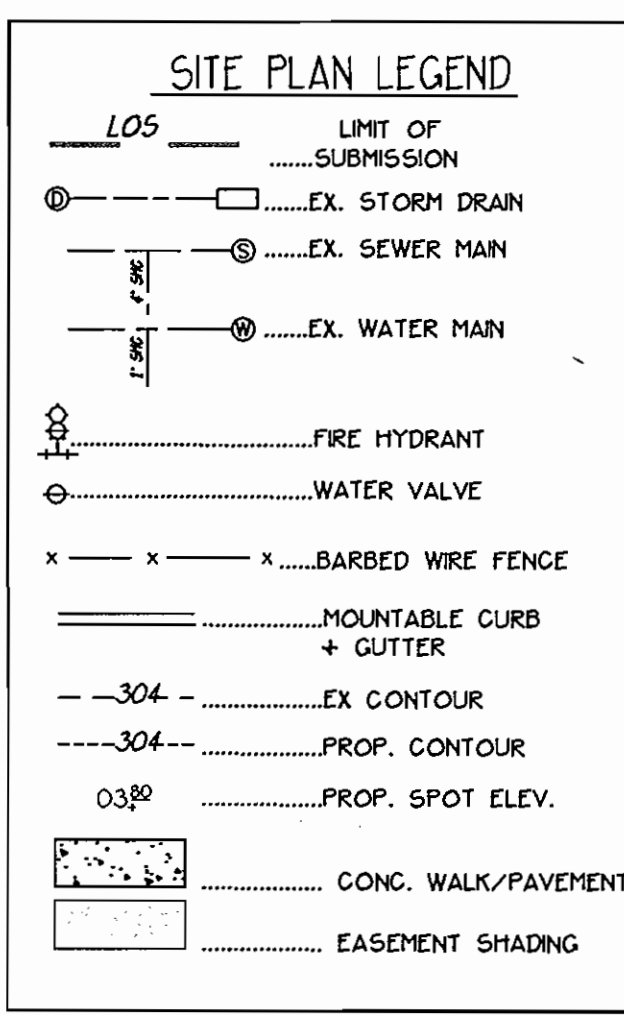
MATRIX-INTERIOR LOTS			
LOT	PATIO	STD. DECK	CUSTOM DECK
C-2	NA	N	9.4' X 12.33'
C-3	NA	N	10.6' X 12.33'
C-6	NA	N	6.7' X 12.33'
C-7	NA	Y	NA
C-10	NA	Y	NA
C-11	NA	Y	NA
C-12	NA	N	5.5' X 12.33'
C-15	NA	N	4.7' X 12.33'
C-16	NA	N	8.5' X 12.33'
C-17	NA	Y	NA
C-20	NA	N	5' X 12.33'
C-21	NA	N	9.5' X 12.33'
C-22	NA	Y	NA
C-23	NA	Y	NA
C-26	NA	N	12' X 12.33'
C-27	NA	Y	NA
C-28	NA	N	12' X 12.33'
C-29	NA	N	5' X 12.33'
C-32	NA	N	6' X 12.33'
C-33	NA	N	9' X 12.33'
C-34	NA	N	11.5' X 12.33'
C-35	NA	Y	N

MATRIX-END LOTS		
LOT	STD. DECK	CUSTOM DECK
C-1	N	N
C-4	Y	NA
C-5	Y **	NA
C-8	Y **	Y (SEE PLAN)
C-9	Y ***	NA
C-13	Y	NA
C-14	Y	NA
C-18	Y	NA
C-19	Y	NA
C-24	Y	NA
C-25	Y	*
C-30	N	11.9' X 18'
C-31	N	*
C-36	Y	NA

\* LOT C-31 AND C-25 IS SITED WITH AN INTERIOR UNIT AND IS AVAILABLE WITH A SUNROOM AND A DECK.  
\*\* THE DECKS ON C-5 AND C-8 ARE STANDARD BUT MUST BE LOCATED AS SHOWN ON THE SITE PLAN.  
\*\*\* LOT C-9 IS SITED WITH AN INTERIOR UNIT DUE TO BUILDING SETBACKS.

SITE ANALYSIS	
1. GENERAL SITE DATA	
A. PRESENT ZONING:	R-ED
B. PROPOSED USED FOR SITE AND STRUCTURE:	SINGLE FAMILY ATTACHED
C. TOTAL NUMBER OF UNITS ALLOWED:	36
	TOTAL NUMBER OF UNITS PROVIDED: 36
2. AREA TABULATION	
A. SITE AREA:	2.75 AC. FOR 36 BUILDABLE LOTS
	2.66 AC. OPEN SPACE ON SITE (49% OF GROSS AREA)
B. AREA OF PLAN SUBMISSION:	5.41 AC.
C. LIMIT OF DISTURBANCE:	5.41 AC.
3. PARKING TABULATION:	
A. PARKING REQUIRED:	72 (2 SPACES PER UNIT)
B. PARKING PROVIDED:	36 GARAGE SPACES 36 DRIVEWAY SPACES 31 (9' X 18' COMMON SURFACE SPACES) 103 TOTAL SPACES (2.8 SP/UNIT)

SHEET INDEX	
SHEET NO.	TITLE
1	COVER SHEET + HOUSE MODEL DETAILS
2	SITE DEVELOPMENT PLAN
3	SEDIMENT AND EROSION PLAN
4	SEDIMENT AND EROSION NOTES AND DETAILS
5	LANDSCAPE PLAN
6	LANDSCAPE NOTES AND DETAILS



**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**  
 Director: *[Signature]* Date: 8/1/02  
 Chief, Division of Land Development: *[Signature]* Date: 7/31/02  
 Chief, Development Engineering Division: *[Signature]* Date: 7/23/02



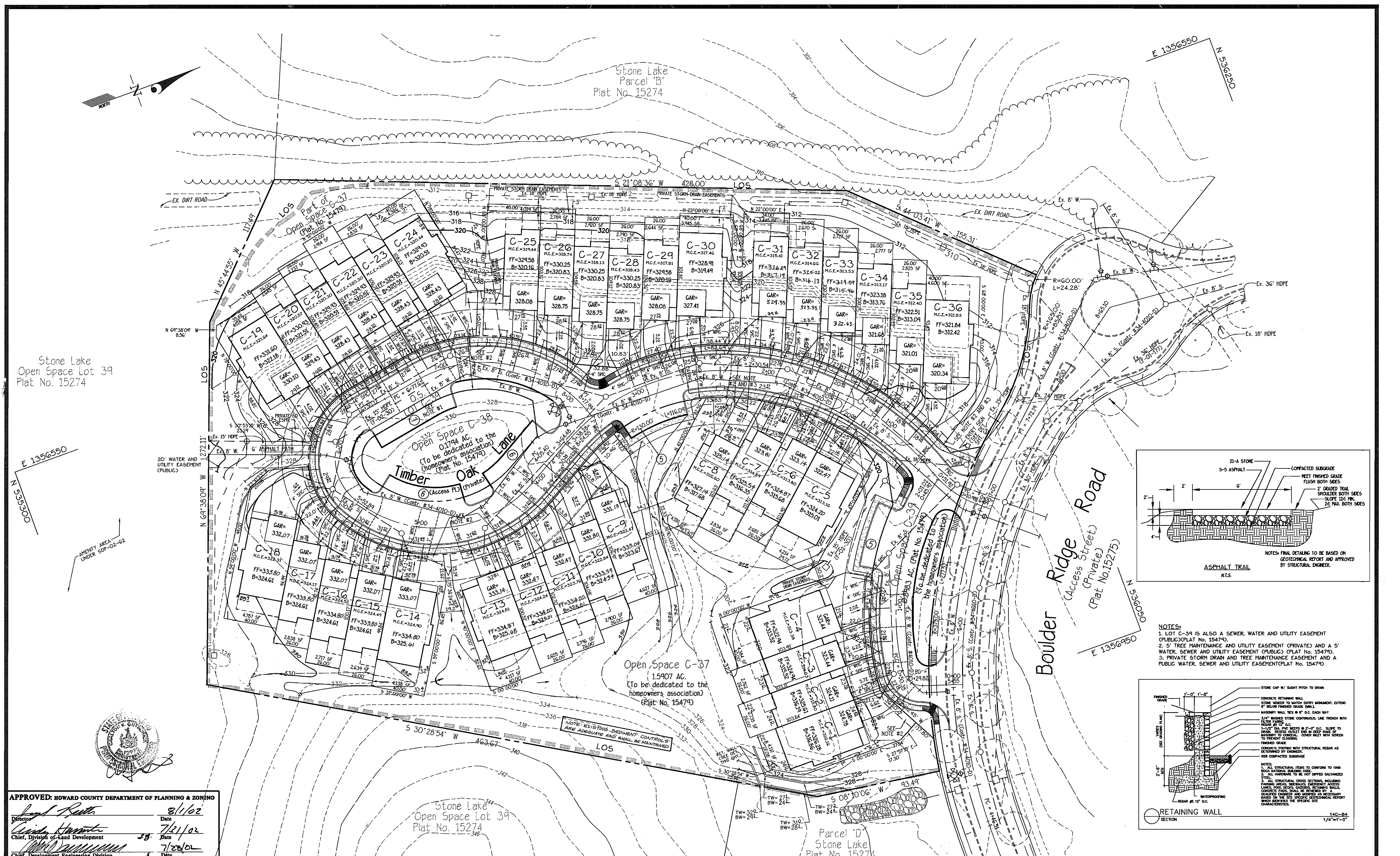
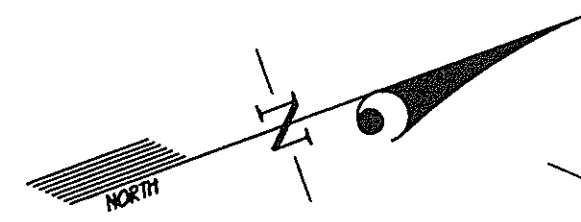
**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-883-1820 DC/VA: 301-589-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:  
**GOODIER BUILDERS**  
 10705 CHARTER DRIVE SUITE 320  
 COLUMBIA, MD. 21044  
 PH: 410-997-7400  
 ATTN: MR. STEVE APPLER

**COVER SHEET & HOUSE MODEL DETAILS**  
**STONELAKE**  
 LOTS C-1 THRU C-39  
 PLAT NO. 15478 & 15479  
 ELECTION DISTRICT No. 6  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. I. W. FILE No.
1"=600'	R-ED	01-075
DATE	SHEET	
MARCH 2002	1 OF 6	



Stone Lake  
Open Space Lot 39  
Plat No. 15274

E 1356550  
N 535300

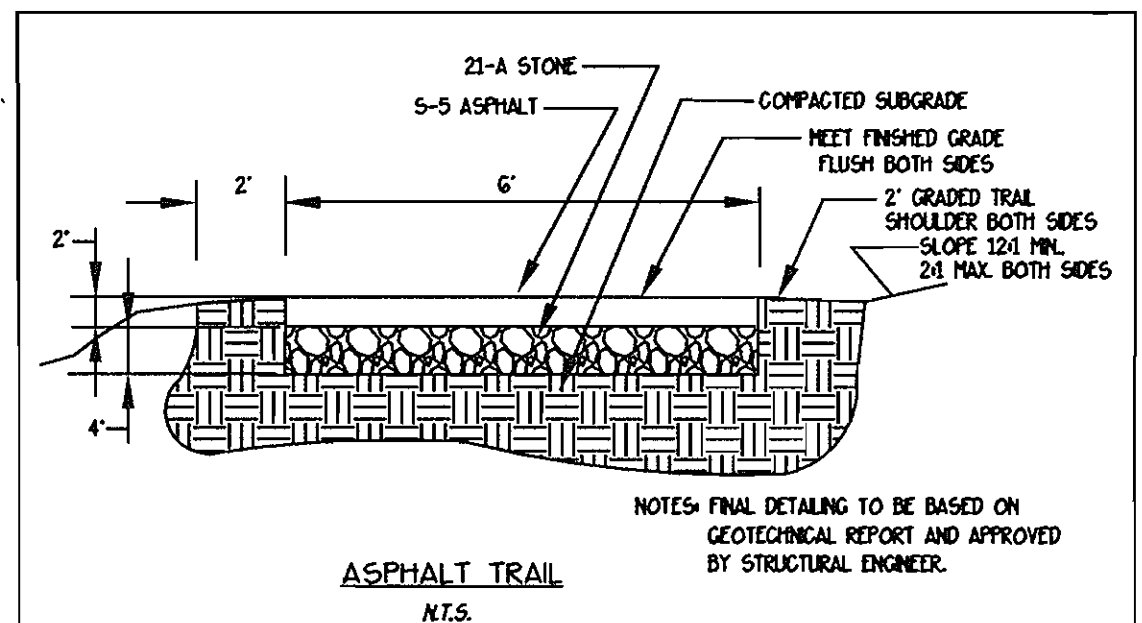
E 1356550  
N 536250

Stone Lake  
Parcel 'B'  
Plat No. 15274

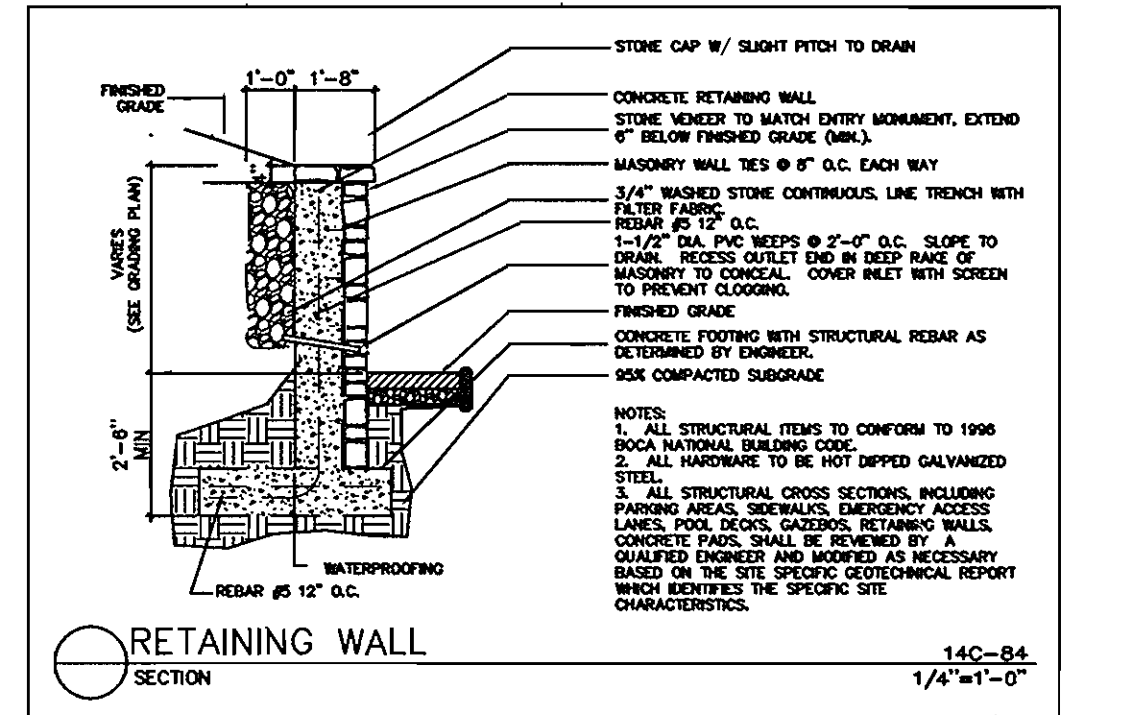
Open Space C-38  
0.174 AC  
(To be dedicated to the  
homeowners association)  
(Plat No. 15479)  
Timber Oak  
(Access Pt) (Private)

Open Space C-37  
15907 AC  
(To be dedicated to the  
homeowners association)  
(Plat No. 15479)

Boulder Ridge Road  
(Access Street)  
(Private)  
(Plat No. 15275)



NOTES:  
1. LOT C-39 IS ALSO A SEWER WATER AND UTILITY EASEMENT (PUBLIC) (PLAT NO. 15479).  
2. 5' TREE MAINTENANCE AND UTILITY EASEMENT (PRIVATE) AND A 5' WATER, SEWER AND UTILITY EASEMENT (PUBLIC) (PLAT NO. 15479).  
3. PRIVATE STORM DRAIN AND TREE MAINTENANCE EASEMENT AND A PUBLIC WATER, SEWER AND UTILITY EASEMENT (PLAT NO. 15479)



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Scott Rutter* Date: 8/1/02  
Chief, Division of Land Development: *Chris Harris* Date: 7/21/02  
Chief, Development Engineering Division: *David Williams* Date: 7/22/02

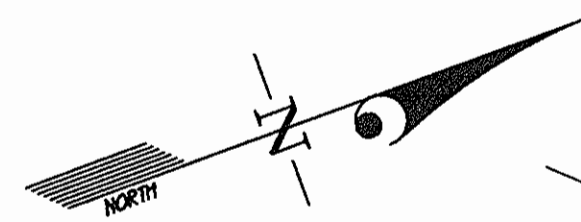
**GLWGUTSCHICK LITTLE & WEBER, PA.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20886  
TEL: 301-421-4024 FAX: 301-421-4188

DATE	REVISION	BY	APP.
09-08-03	Remove retaining wall & stairs from right rear of Lot C-2A	KLP	
05-28-04	REV. DECKS ON LOTS 1A, 1B, 18, 19, 20, 21 & 24. REV. GRADING LOTS 1A-18 PER AS-BUILT CONDITIONS	FKJ	
11-25-03	REV. GRADING LOTS C-9, C-10 & C-37 FOR FINAL GRADE CERT.	FKJ	
11-19-03	REV. GRADING LOTS C-11 THROUGH C-31 FOR FINAL GRADE CERTIFICATION	FKJ	
8-14-03	REV. GRADING LOT C-18 FOR FINAL GRADE CERTIFICATION	FKJ	
6-12-03	REV. GRADING LOTS C-5 THRU C-18 FOR FINAL GRADE CERTIFICATION	FKJ	
4-25-03	REV. DRAINAGE SWALE ON LOT C-1 FOR FINAL GRADE CERTIFICATION	FKJ	

PREPARED FOR:  
**GOODIER BUILDERS**  
10705 CHARTER DRIVE SUITE 320  
COLUMBIA, MD. 21044  
PH: 410-997-7400  
ATTN: MR. STEVE APPLER

SITE DEVELOPMENT PLAN  
**STONELAKE**  
LOTS C-1 THRU C-39  
PLAT NO. 15478 & 15479  
ELECTION DISTRICT No. 6  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.	
1" = 30'	R-ED	01-075	
DATE	MARCH 2002	SHEET	2 OF 6



Stone Lake Parcel 'B' Plat No. 15274

E 1356550  
N 539250

Stone Lake Open Space Lot 39 Plat No. 15274

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.  
*J.R. Platon* 7/30/02  
Howard S.C.D. Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.  
*Jim Meyer* 7/30/02  
Natural Resources Conservation Service Date

DEVELOPER'S/BUILDER'S CERTIFICATE  
I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.  
*M. Cervino* 7/10/02  
Steve Appler Date

ENGINEER'S CERTIFICATE  
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
*Carlton Gutschick* 7/10/02  
Carlton Gutschick, MD PE No. Date

LEGEND

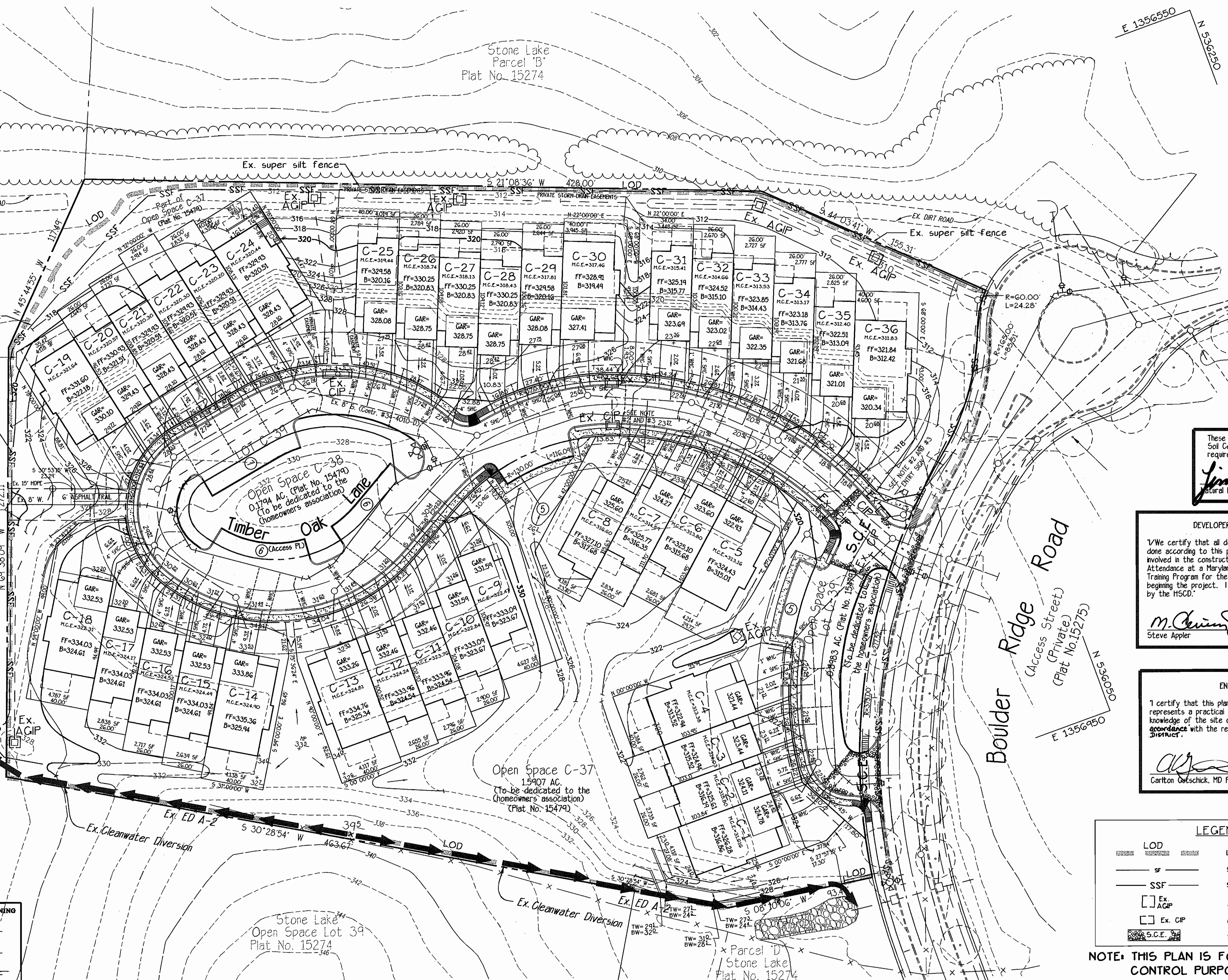
LOD	LIMIT OF DISTURBANCE
SF	SILT FENCE
SSF	SUPER SILT FENCE
Ex. AGIP	AT GRADE INLET PROTECTION
Ex. CIP	CURB INLET PROTECTION
S.C.E.	STABILIZED CONSTRUCTION ENTRANCE

NOTE: THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY!!!

E 1356550  
N 539300

Replace ex. silt fence with super silt fence

20' WATER AND UTILITY EASEMENT (PUBLIC)



Boulder Ridge Road  
(Access Street)  
(Private)  
(Plat No. 15275)  
N 530050  
E 1356850

Open Space C-37  
15907 AC.  
(To be dedicated to the homeowners association)  
(Plat No. 15474)

Stone Lake Open Space Lot 39 Plat No. 15274

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*J. H. Smith* 8/1/02  
Director Date  
*Chad Harris* 7/31/02  
Chief, Division of Land Development Date  
*Michael Williams* 7/23/02  
Chief, Development Engineering Division Date

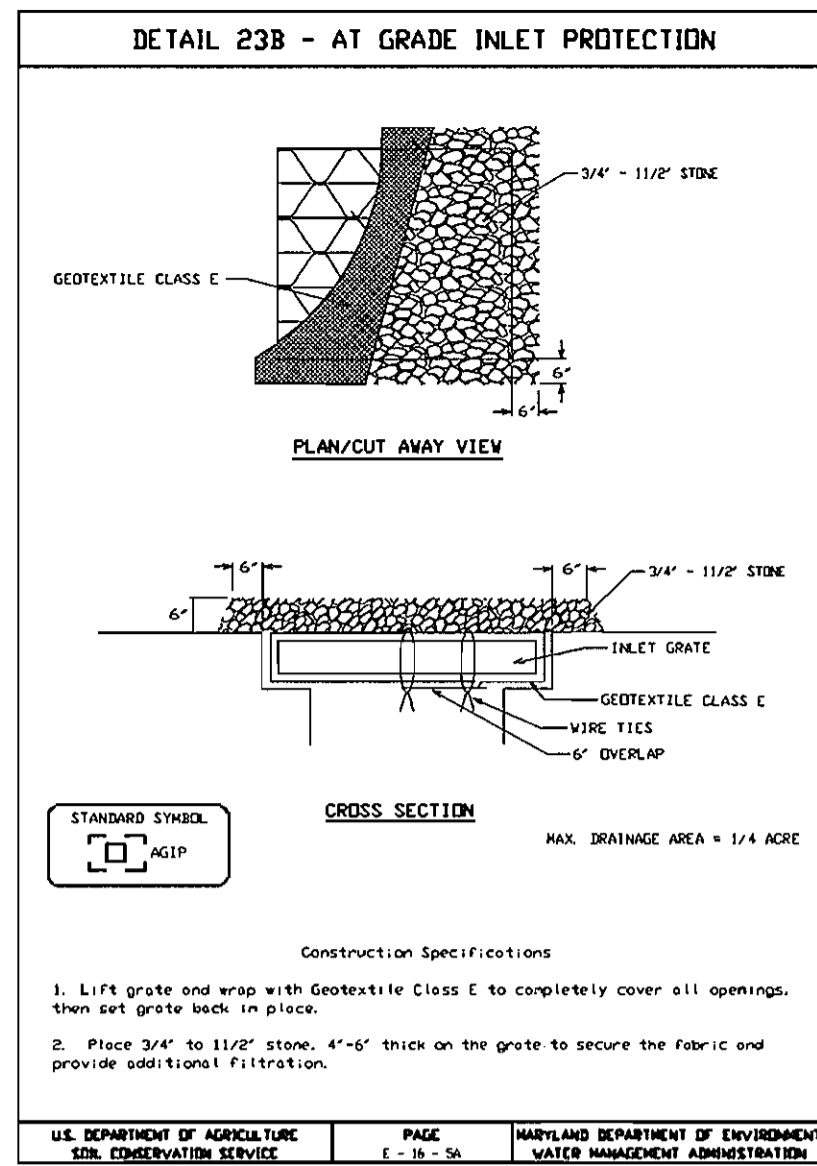
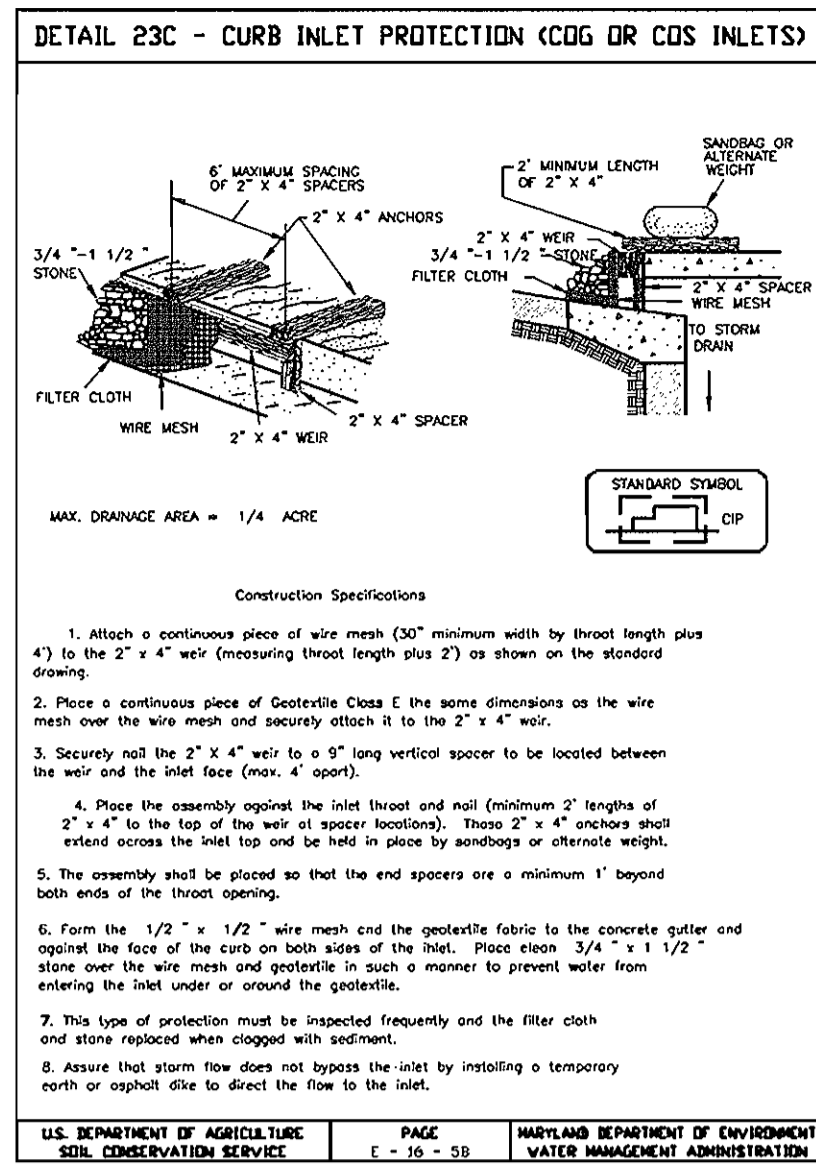
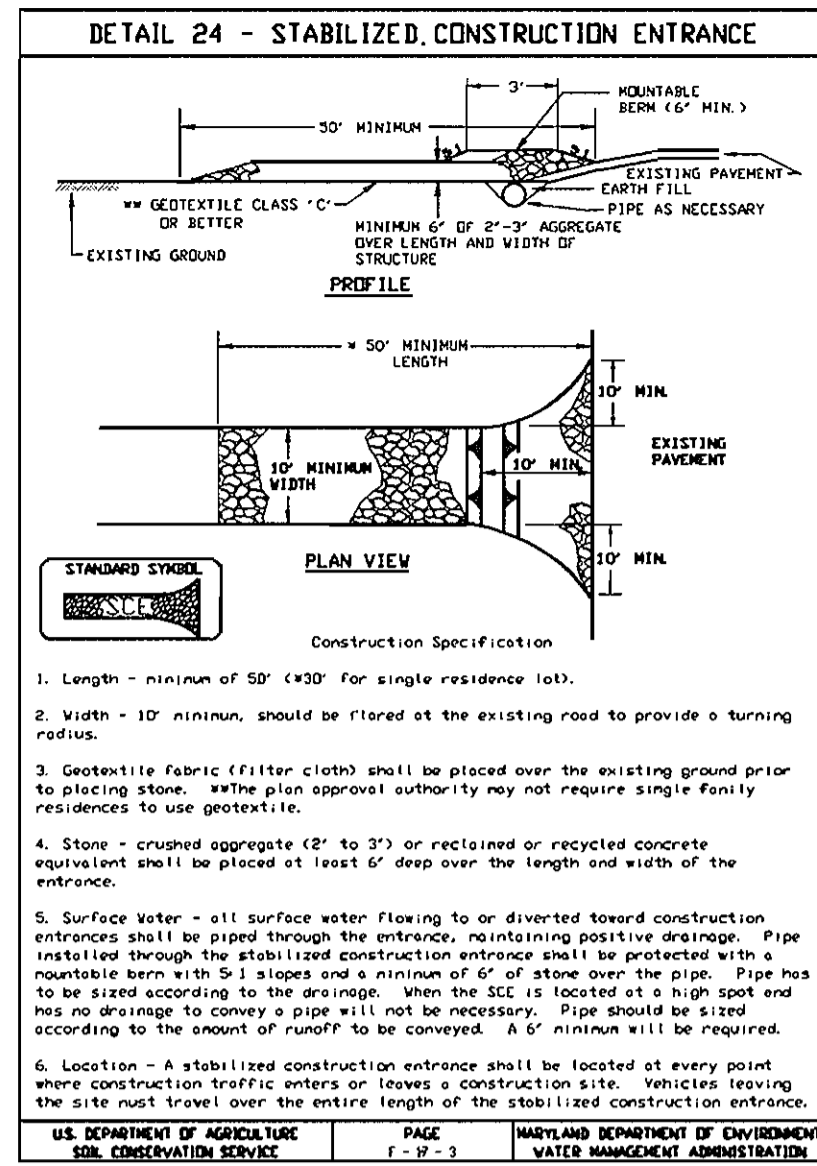
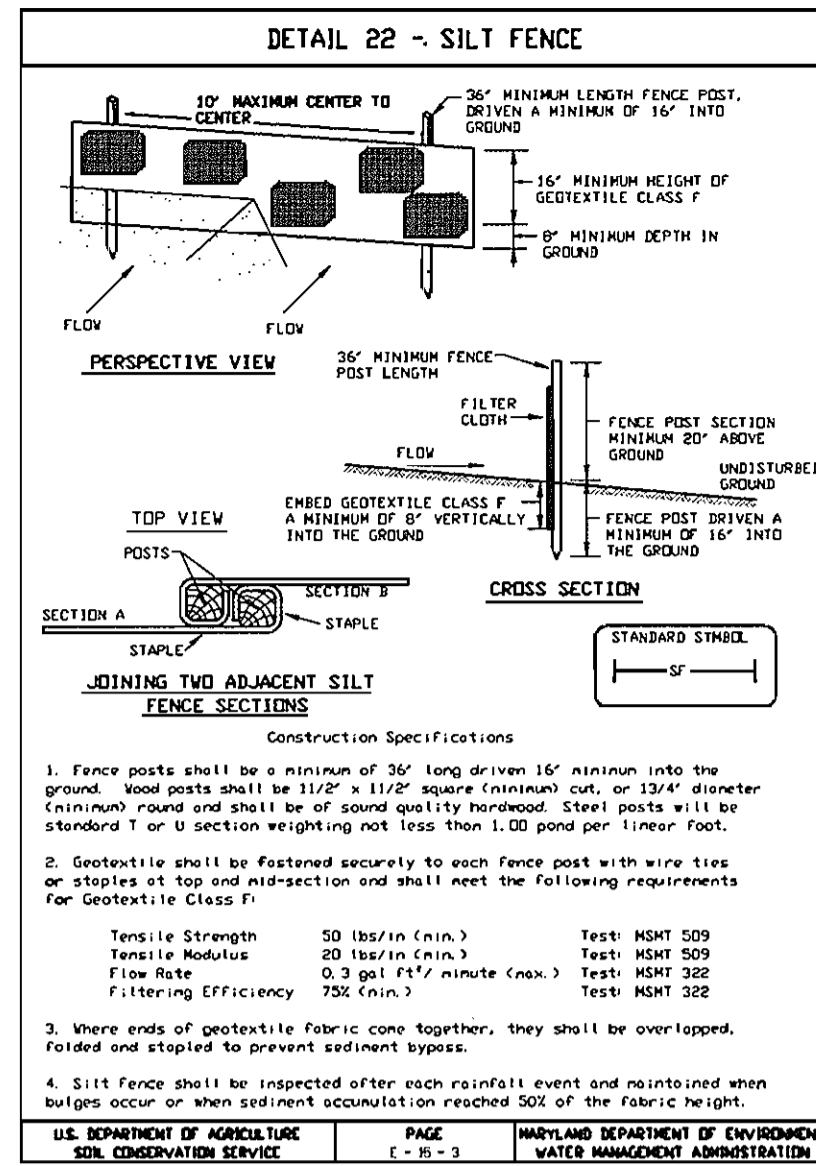
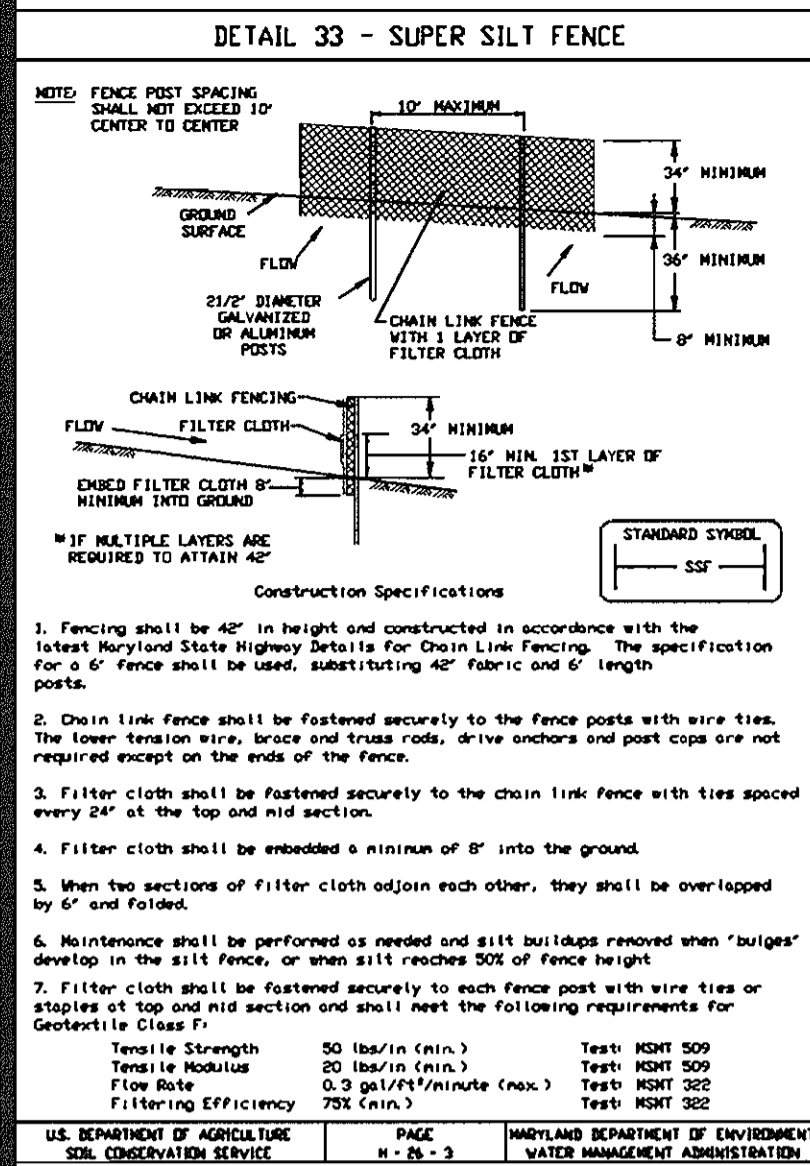
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DATE	REVISION	BY	APPL.

PREPARED FOR:  
GOODIER BUILDERS  
10705 CHARTER DRIVE SUITE 320  
COLUMBIA, MD. 21044  
PH: 410-997-7400  
ATTN: MR. STEVE APPLER

SEDIMENT CONTROL PLAN  
**STONELAKE**  
LOTS C-1 THRU C-39  
PLAT NO. 15478 & 15479  
ELECTION DISTRICT No. 6  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. I. W. FILE No.
1" = 30'	R-ED	01-075
DATE		SHEET
MARCH 2002		3 OF 6



**SEQUENCE OF CONSTRUCTION**

- OBTAIN GRADING PERMIT AND ARRANGE FOR PRE-CONSTRUCTION MEETING WITH SEDIMENT CONTROL INSPECTOR. (1 DAY)
- INSPECT SEDIMENT CONTROL DEVICES INSTALLED UNDER F-02-30 AND REPAIR AS NEEDED. (1 WEEK)
- FINE GRADE SITE. (1 MONTH)
- BEGIN CONSTRUCTION OF TOWNHOUSE UNITS. (8 MONTHS)
- STABILIZE ANY AREAS NO LONGER BEING DISTURBED. INSTALL SIDEWALKS AND DRIVEWAYS. (1 MONTH)
- INSTALL LANDSCAPING AND STABILIZE REMAINING AREAS WITH SOD OR GRASS SEED AND MULCH. (2 WEEKS)
- WHEN AREA DRAINING TO SEDIMENT CONTROLS HAVE BEEN STABILIZED AND PERMISSION HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR. REMOVE SEDIMENT CONTROL DEVICES. (2 WEEKS)
- END CONSTRUCTION

**PERMANENT SEEDING NOTES**

Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

**SEDIMENT CONTROL NOTES**

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (410) 313-1855.
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1. b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (Sec. G). Temporary stabilization with mulch alone, can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
 

Total Area of Site	5.41 Acres
Area Disturbed	5.41 Acres
Area to be roofed or paved	2.6 Acres
Area to be vegetatively stabilized	2.81 Acres
Total Cut	4,200 Cu. Yds.
Total Fill	4,200 Cu. Yds.

 Off-site waste/borrow area location: N/A
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other bulldozing or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to 3 pipe lengths or that which shall be backfilled and stabilized within one working day, whichever is shorter.

**TEMPORARY SEEDING NOTES**

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

Seeding: For periods March 1 thru April 30 and from August 15 thru October 15, seed with 60 lbs per acre (14 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of unwrapped weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

**CONSTRUCTION AND MATERIAL SPECIFICATIONS**

- Topsail salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsail to be salvaged for a given soil type can be found in the respective soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
- Topsail shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsail shall not be a mixture of contrasting textured subsols and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments.
- For sites having disturbed areas under 5 acres:
  - Place topsail (if required) and apply soil amendments as specified in 2.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
  - On soil meeting topsail specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
    - pH for topsail shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
    - Organic content of topsail shall be not less than 1.5 percent by weight.
    - Topsail having soluble salt greater than 500 parts per mill shall not be used.
    - No sod or seed shall be placed on soil which has been with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of photo-toxic materials.
  - Place topsail (if required) and apply soil amendments as specified in 2.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

**Dust Control**

Definition  
Controlling dust blowing and movement on construction sites and roads.

Purpose  
To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage, health hazards, and improve traffic safety.

Conditions Where Practice Applies  
This practice is applicable to areas subject to dust blowing and movement where on and off-site damage is likely without treatment.

Specifications

Temporary Methods

- Mulches - See standards for vegetative stabilization with mulches only. mulch should be crimped or tacked to prevent blowing.
- Vegetative Cover - See standards for temporary vegetative cover.
- Tillage - To roughen surface and bring clods to the surface. This is an emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12' apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.
- Irrigation - This is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed. At no time should the site be irrigated to the point that runoff begins to flow.
- Barriers - Solid board fences, silt fences, snow fences, straw bales, and similar material can be used to control air currents and soil blowing. Barriers placed at right angle to prevailing currents at intervals at about ten times their height are effective in controlling soil blowing.
- Calcium Chloride - Apply at rates that will keep surface moist. May need treatment.

Permanent Methods

- Permanent Vegetation - See standards for permanent vegetative cover, and permanent stabilization with sod. Existing trees or large shrubs may afford valuable protection if left in place.
- Topsailing - Covering with less erosive soil material. See standards for top soil.
- Stone - Cover surface with crushed stone or gravel.

References

- Agriculture Handbook 346. Wind Erosion Forces in the United States and Their Use in Predicting Soil Loss.
- Agriculture Information Bulletin 354. How to Control Wind Erosion. USDA, ARS.

**PERMANENT SEEDING NOTES**

Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

**SEDIMENT CONTROL NOTES**

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (410) 313-1855.
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1. b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (Sec. G). Temporary stabilization with mulch alone, can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
 

Total Area of Site	5.41 Acres
Area Disturbed	5.41 Acres
Area to be roofed or paved	2.6 Acres
Area to be vegetatively stabilized	2.81 Acres
Total Cut	4,200 Cu. Yds.
Total Fill	4,200 Cu. Yds.

 Off-site waste/borrow area location: N/A
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other bulldozing or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to 3 pipe lengths or that which shall be backfilled and stabilized within one working day, whichever is shorter.

**TEMPORARY SEEDING NOTES**

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

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Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

**CONSTRUCTION AND MATERIAL SPECIFICATIONS**

- Topsail salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsail to be salvaged for a given soil type can be found in the respective soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
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- For sites having disturbed areas under 5 acres:
  - Place topsail (if required) and apply soil amendments as specified in 2.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
  - On soil meeting topsail specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
    - pH for topsail shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
    - Organic content of topsail shall be not less than 1.5 percent by weight.
    - Topsail having soluble salt greater than 500 parts per mill shall not be used.
    - No sod or seed shall be placed on soil which has been with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of photo-toxic materials.
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**APPROVED:** HOWARD COUNTY DEPARTMENT OF PLANNING + ZONING

*Joseph R. Keith* 8/1/02  
Director Date

*Charles H. Hensley* 7/31/02  
Chief, Division of Land Development Date

*John R. Rhoten* 7/23/02  
Chief, Development Engineering Division Date

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**STANDARD AND SPECIFICATIONS FOR TOPSOIL DEFINITION**

Placement of topsoil over a prepared subsol prior to establishment of permanent vegetation.

**PURPOSE**

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

**CONDITIONS WHERE PRACTICE APPLIES**

- This practice is limited to areas having 2:1 or flatter slopes where:
  - The texture of the exposed subsol/parent material is not adequate to produce vegetative growth.
  - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplied of moisture and plant nutrients.
  - The original soil to be vegetated contains material toxic to plant growth.
  - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

**CONSTRUCTION AND MATERIAL SPECIFICATIONS**

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  - Place topsail (if required) and apply soil amendments as specified in 2.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

**ENGINEER'S CERTIFICATE**

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*Carlton Queschick, PE* 7/10/02  
Date

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

*Steve Appier* 7/10/02  
Date

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CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTENVILLE OFFICE PARK  
BURTENVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALTIMORE: 410-880-1820 DC/VA: 301-949-2524 FAX: 301-421-4186

DRAWINGS: 01075/DESIGN/SDP-02-XX DES. DEV. DRN. HKJ CHK. DEV.

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**SEDIMENT AND EROSION NOTES AND DETAILS**

**STONELAKE**  
LOTS C-1 THRU C-39  
PLAT NO. 15478 + 15491

ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

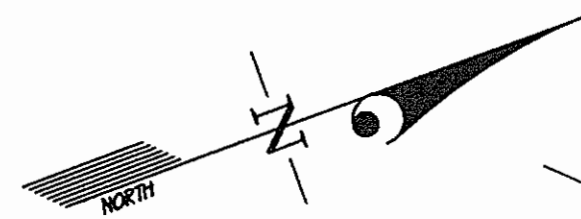
**SEDIMENT AND EROSION NOTES AND DETAILS**

**STONELAKE**  
LOTS C-1 THRU C-39  
PLAT NO. 15478 + 15491

ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
	R-ED	01-075
DATE		SHEET
MARCH 2002		4 OF 6



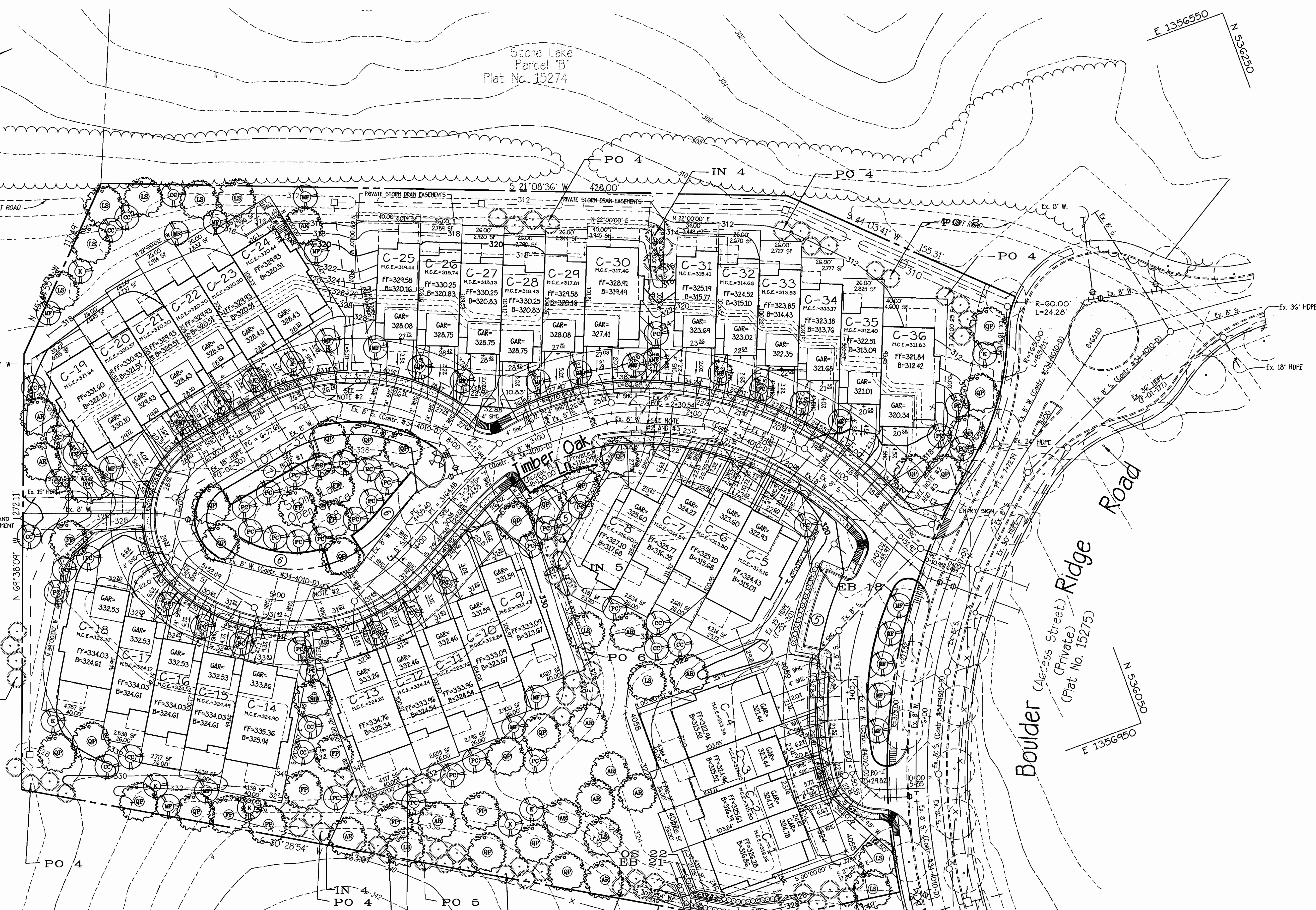
Stone Lake Parcel 'B'  
Plat No. 15274

Stone Lake  
Open Space Lot 39  
Plat No. 15274

E 1356550  
N 536300

20' WATER AND  
UTILITY EASEMENT  
(PUBLIC)

PO 4



Boulder (Access Street) Ridge Road  
(Private) (Plat No. 15275)



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

<i>Paul R. Roth</i>	8/1/02
Director	Date
<i>Chris Hume</i>	7/5/02
Chief, Division of Land Development	Date
<i>Michael J. ...</i>	7/23/02
Chief, Development Engineering Division	Date

Stone Lake  
Open Space Lot 39  
Plat No. 15274

Plat No. 15274

NOTE: THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY!!!!

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TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:  
**GOODIER BUILDERS**  
10705 CHARTER DRIVE SUITE 320  
COLUMBIA, MD. 21044  
PH: 410-997-7400  
ATTN: MR. STEVE APPLER

LANDSCAPE PLAN  
**STONELAKE**  
LOTS C-1 THRU C-39  
PLAT NO. 15478 & 15479  
ELECTION DISTRICT No. 6  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. I. W. FILE No.
1" = 30'	R-ED	01-075
DATE	SHEET	
MARCH 2002	5 OF 6	

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
Number of Parking Spaces = 31 Spaces	
Number of Trees Required = 3 Trees @ 1 per 10 spaces	
Number of Trees Provided	
Shade Trees: 4	
Other Trees: 0 (2:1 substitution)	
NOTE:	

Schedule 'B' Number of required trees for bonding: 3 x \$300 = \$ 900.00

SCHEDULE C RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING	
Number of Dwelling Units = 36 townhouses	
Number of Trees Required = 36 Trees (1:DU SFA)	
Number of Trees Provided = 111 Trees	
Shade Trees: 55	
Other Trees: 81 (2:1 substitution)	
Schedule 'C' Number of required trees for bonding: 36 x \$300 = \$ 10,800.00	

SURETY CALCULATION FOR THE REQUIRED HOWARD COUNTY LANDSCAPING  
 Schedule 'B' Number of shade trees for bonding: 3 x \$300 = \$900.00  
 Schedule 'C' Number of shade trees for bonding: 108 x \$300 = \$10,800.00  
 TOTAL LANDSCAPE SURETY REQUIRED: \$11,700.00

Financial surety for the required landscaping shall be paid in the amount of \$11,700.00.

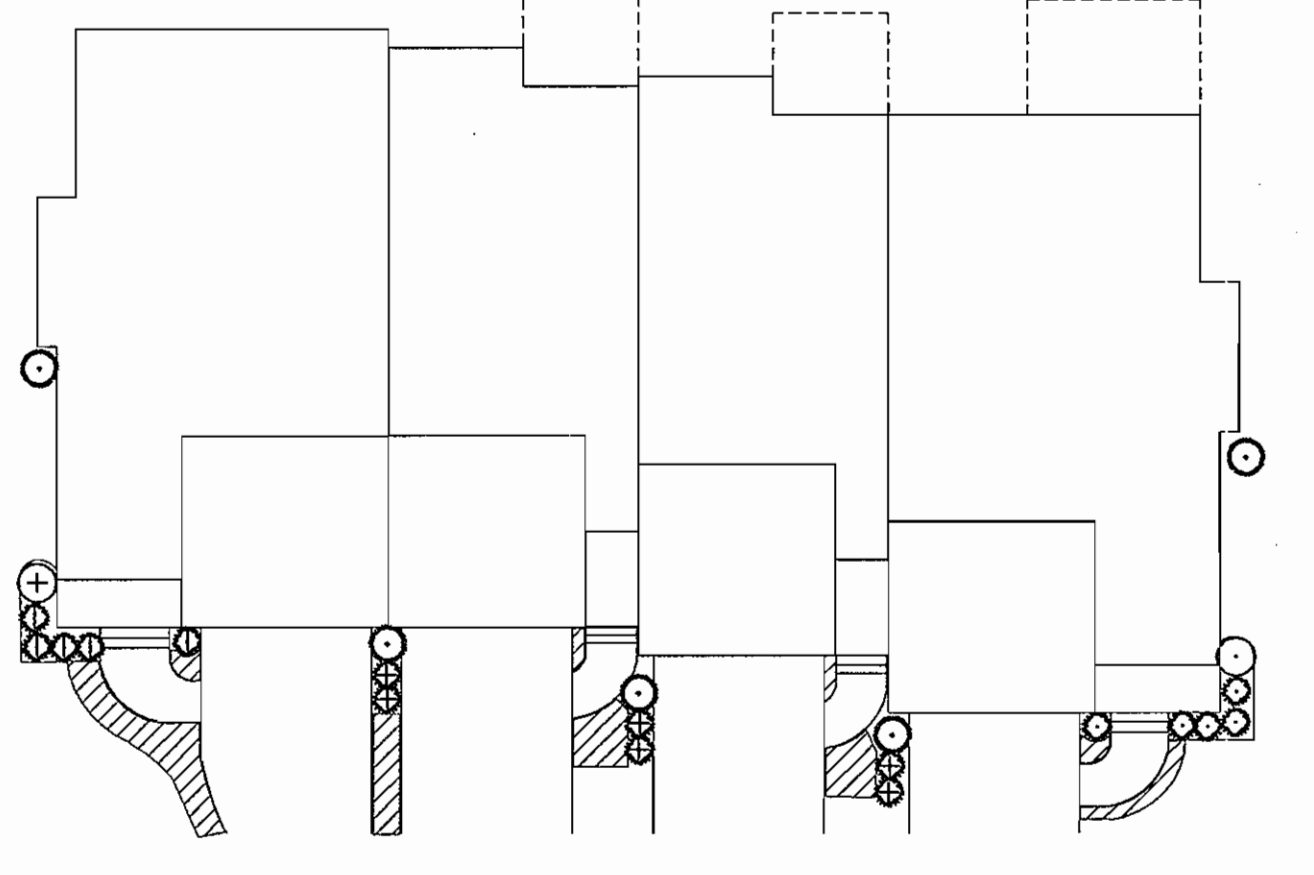
SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT	COMMENTS
<b>SHADE TREES</b>					
AR	15	Acer rubrum 'Autumn Flame' Autumn Flame Maple	2 2 1/2" Col.	B&B	
FP	11	Fraxinus pennsylvanicum 'Summit' Green Ash	2 1/2-3" Col.	B&B	
LS	11	Liquidambar styraciflua Sweet Gum	2 1/2-3" Col.	B&B	
OP	23	Quercus palustris Pin Oak	2 1/2-3" Col.	B&B	
<b>EVERGREEN TREES</b>					
NS	17	Ilex 'Nellie Stevens' Nellie Stevens Holly	8'-10" Ht.	B&B	
PO	54	Picea omorica Serbian Spruce	8'-10" Ht.	B&B	
<b>ORNAMENTAL TREES</b>					
CC	15	Cercis canadensis Forest Pansy Tree	2-2 1/2" Col. 8'-10" Ht.	B&B B&B	
CK	10	Cornus Kousa 'National' National Kousa Dogwood	2-2 1/2" Col. 8'-10" Ht.	B&B B&B	
WF	26	Molus floribunda 'Zumi' Zumi Flowering Crabapple	2-2 1/2" Col. 8'-10" Ht.	B&B B&B	
PC	40	Prunus cerasifera 'Thundercloud' Purple leafed Plum	2-2 1/2" Col. 8'-10" Ht.	B&B B&B	
<b>SHRUBS</b>					
EB	39	Euonymus alata 'Compacta' Compact Burning Bush	24-30" Ht.	B&B	
OS	22	Osmanthus x fortunei Fortune's Osmanthus	24-30" Ht.	B&B	

LEGEND	
<b>SHADE TREES</b>	
(AR)	Acer rubrum 'Autumn Flame': Autumn Flame Maple
(FP)	Fraxinus pennsylvanicum 'Summit': Green Ash
(LS)	Liquidambar styraciflua: Sweet Gum
(OP)	Quercus palustris: Pin Oak
<b>ORNAMENTAL TREES</b>	
(CC)	Cercis canadensis: Forest Pansy Tree
(CK)	Cornus Kousa 'National': National Kousa Dogwood
(WF)	Molus floribunda 'Zumi': Zumi Flowering Crabapple
(PC)	Prunus cerasifera 'Thundercloud': Purple leafed Plum
<b>EVERGREEN TREES</b>	
(NS)	Ilex 'Nellie Stevens': Nellie Stevens Holly
(PO)	Picea omorica: Serbian Spruce
<b>SHRUBS</b>	
(EB)	Euonymus alata 'Compacta'
(OS)	Osmanthus aquifolium

**LANDSCAPING NOTES**

- This plan has been prepared in accordance with Section 16.124 of the Howard County Code and Chapter VI (Alternative Compliance) of the Howard County Landscape Manual.
- Contractor shall notify all utilities of least (5) five days before starting work. All General Notes, especially those regarding utilities, on Sheet 1 shall apply.
- Field verify underground utility locations and existing conditions before starting planting work. Contact engineer / landscape architect if any relocations are required.
- Plant quantities shown on Plant List are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plan shall take precedence.
- All plant material shall be full, heavy, well formed, and symmetrical, and conform to the A.A.N. Specifications, and be installed in accordance with project specifications.
- No substitution shall be made without written consent of the owner or his representative.
- All areas disturbed by construction activities but not otherwise planted, paved, or mulched shall be seeded or sodded in accordance with the project specifications.
- The contractor shall notify the owner in writing if he/she encounters soil drainage conditions which may be detrimental to the growth of the plants.
- All exposed earth within limits of planting beds shall be mulched with shredded hardwood mulch per Planting Details.
- "Schedule B - PARKING LOT INTERNAL LANDSCAPING" and "Schedule C - RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING" are provided for landscape surety calculation purposes only. Financial surety for the required landscaping shall be posted in the amount of \$11,700.00 (with the zoning permit application).
- Planting provided:  
Shade Trees (proposed): 60  
Ornamental Trees: 91  
Evergreen Trees (proposed): 71

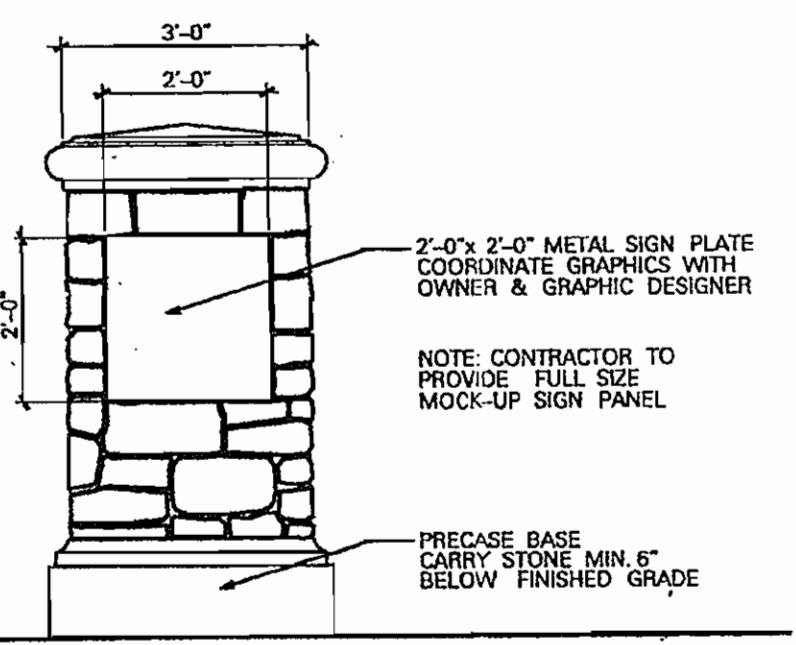
Due to Howard Rouse Development Company's landscaping requirements of 3 trees per dwelling unit, the landscape requirements of Howard County have been exceeded.



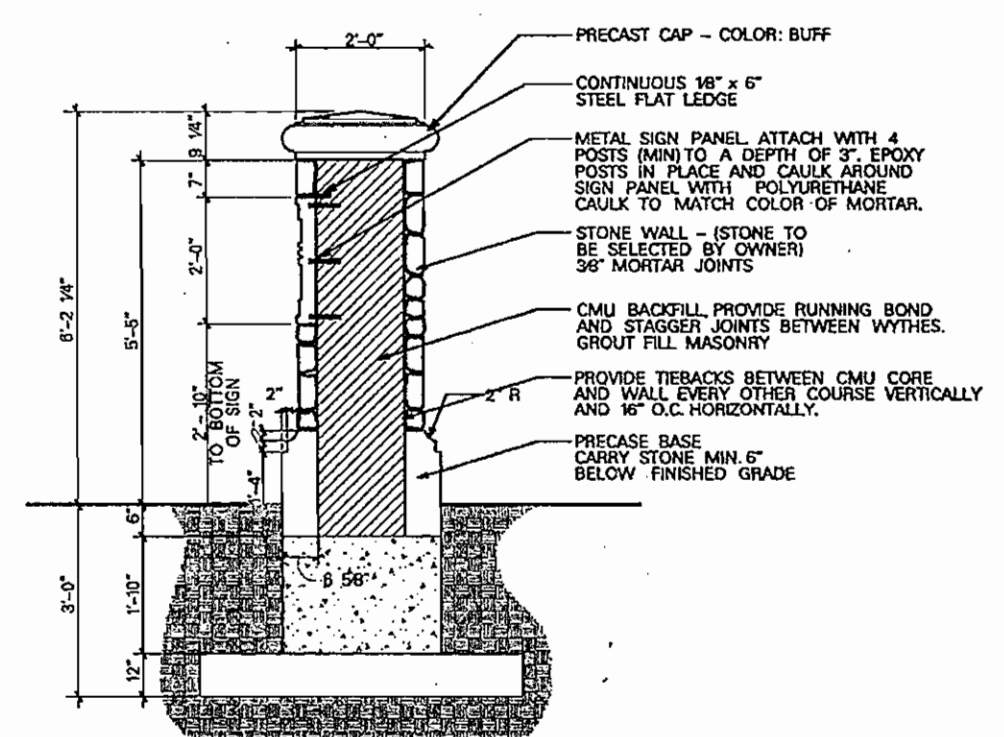
**PLANT LIST:**

SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT	COMMENTS
(EB)	1	Euonymus alatus compactus Dwarf Winged Euonymus	15'-18" Ht.	B&B	Full
(NS)	5	Ilex crenata 'Green Luster' Green Luster Japanese Holly	15'-18" Col.	B&B	Full
(NS)	5	Ilex crenata 'Helleri' Helleri Holly	15'-18" Ht.	B&B	Full
(NS)	6	Juniperus sabinia 'Moorensis' Moorensis Juniper	18" Spr.	B&B	Full
(NS)	1	Taxus x Media 'Densiformis' Dense Yew	24"-30" Ht.	B&B	Full
(NS)	5	Tuja occidentalis 'Emerald' Emerald Arborvitae	3'-4" Ht.	B&B	Full
(280)		Annuals			

**TYPICAL PLANTING PLAN**  
SCALE: 1" = 20'



**STONE PIER ELEVATION**  
NOT TO SCALE

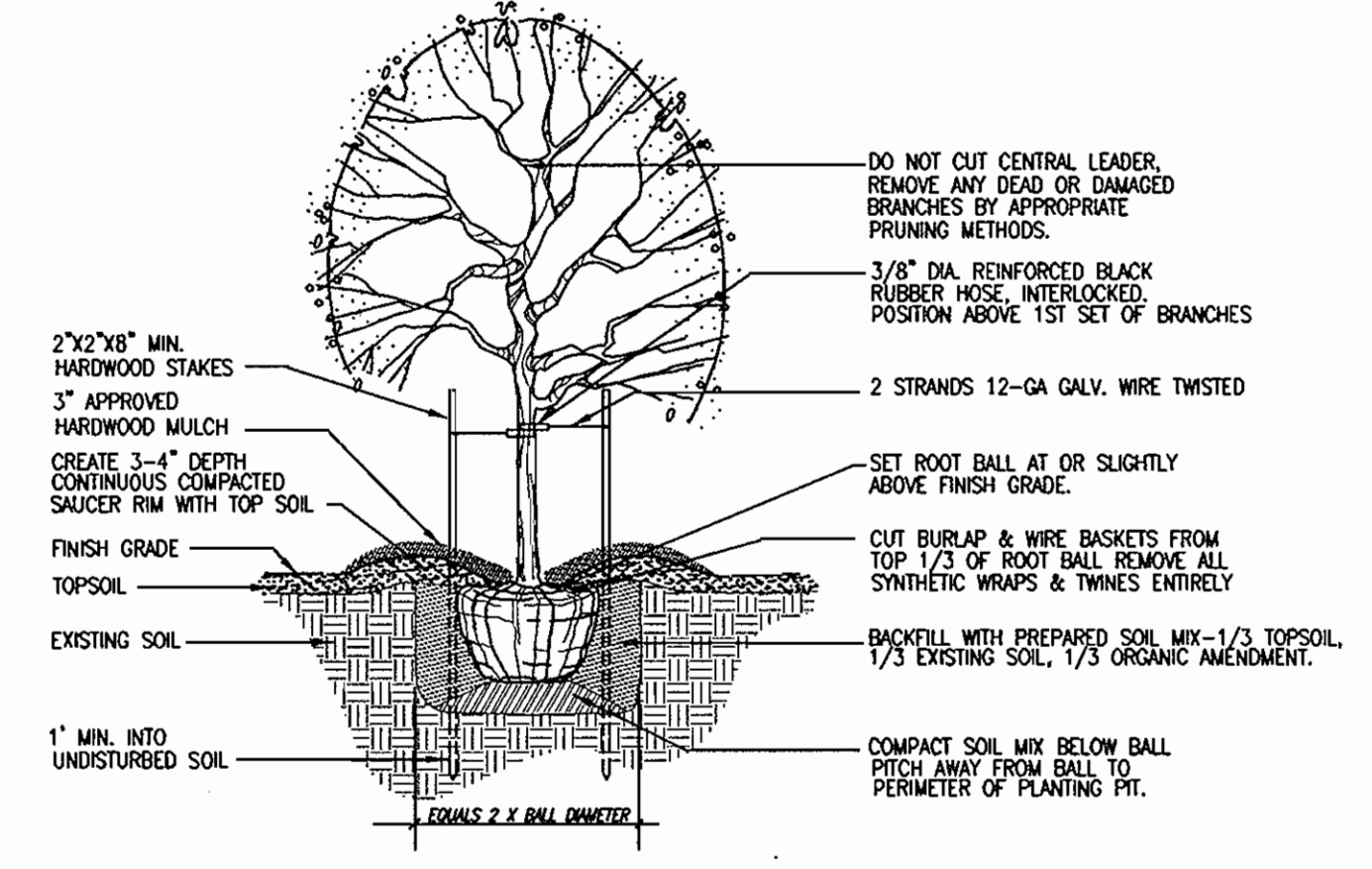


**STONE PIER SECTION**  
NOT TO SCALE

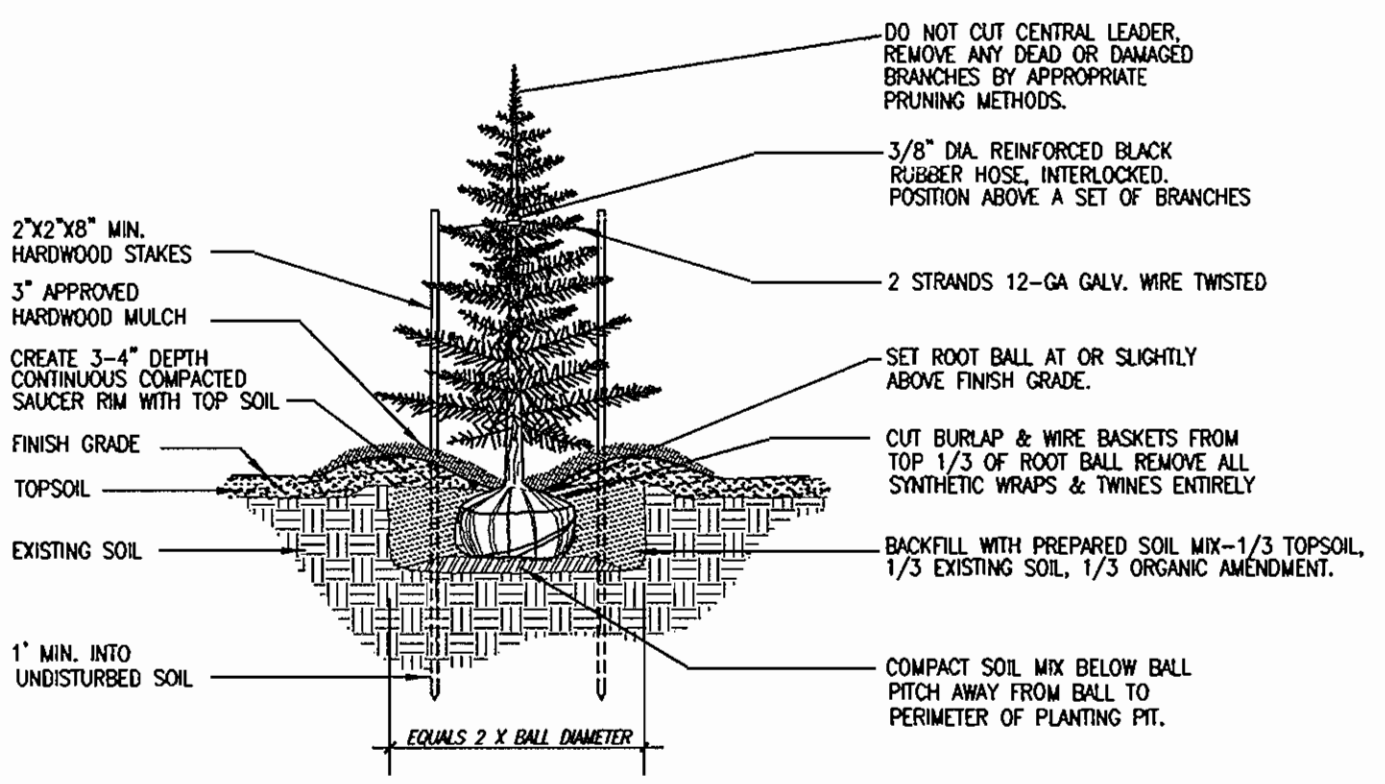
**PLANT MATERIALS AND PLANTING METHODS**

- A. Plant Materials**
- The landscape contractor shall furnish and install and/or dig, ball, burlap and transport all of the plant materials called for on drawings and/or listed in the Plant Schedule.
- Plant Names**  
Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.
  - Plant Standards**  
All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen (hereafter referred to as AAN Standards). All plants shall be typical of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy, well-furnished root systems. They shall be free of disease, insect pests and mechanical injuries.  
All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting. Neither heeled-in plants nor plants from cold storage will be accepted.
  - Plant Measurements**  
All plants shall conform to the measurements specified in the Plant Schedule as approved by the ARC.  
a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.  
b. Minimum branching height for all trees shall be six feet (6'), maximum eight feet (8').  
c. Minimum size for planting shade trees shall be 3-3 1/2" caliper, 14'-16" in height.  
d. Minimum size for planting minor or intermediate focus trees (pines, crabapples, etc.) shall be 3-3 1/2" caliper, 10'-12" in height.  
e. Minimum size for planting shrubs shall be 18" - 24" spread unless noted otherwise.  
f. Caliper, height, spread and size of ball shall be generally as follows:  

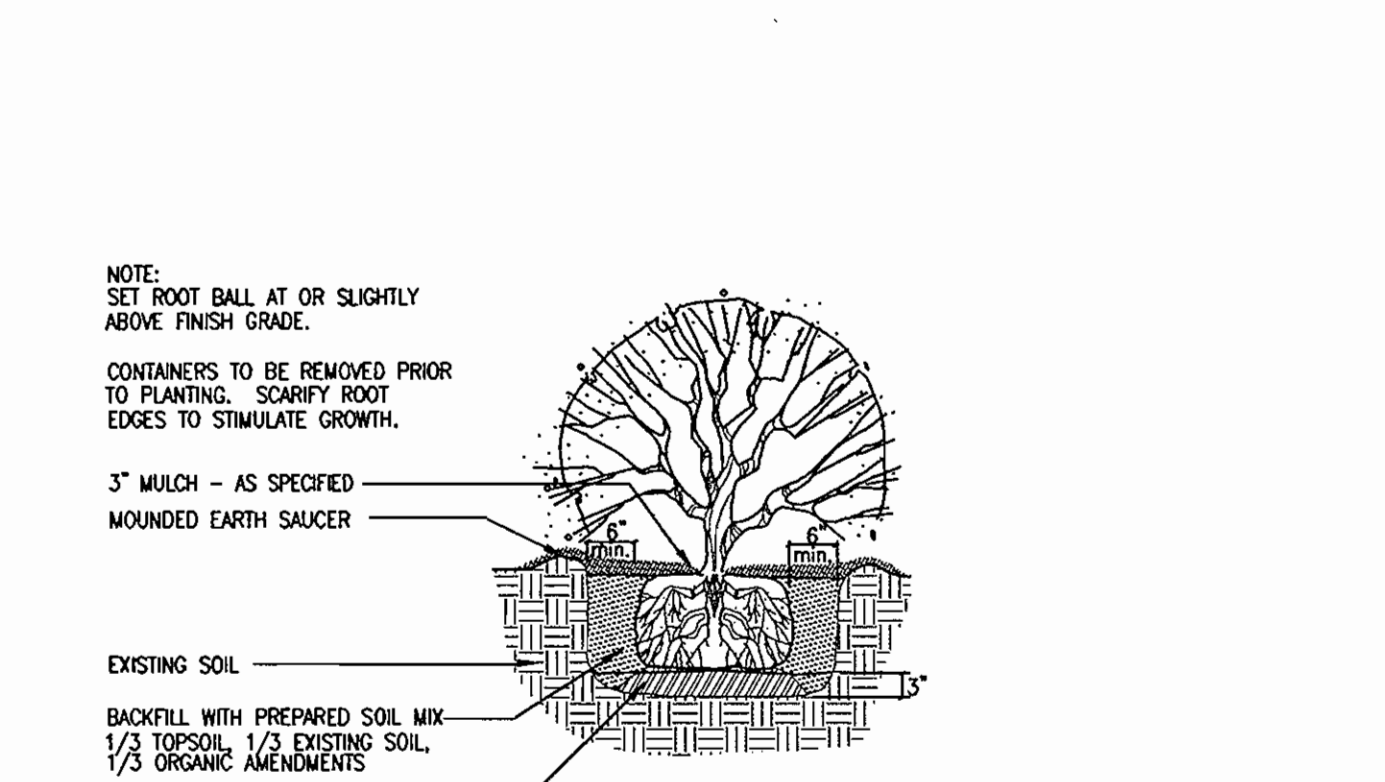
CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5"	14' - 16'	8' - 8'	32" diameter
3.5" - 4"	14' - 16'	8' - 10'	36" diameter
4" - 4.5"	16' - 18'	8' - 10'	40" diameter
4.5" - 5"	16' - 17'	10' - 12'	44" diameter
5" - 5.5"	16' - 20'	10' - 12'	48" diameter
5.5" - 6"	18' - 20'	12' - 14'	52" diameter
- All plant material shall generally average the median for the size ranges indicated above as indicated in the "AAN Standards".
- Plant Identification**  
Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal, State and County authorities.
  - Plant Inspection**  
The ARC may, upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.
  - Planting Methods**  
All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:  
    - Planting Seasons**  
The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.  
The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.
    - Digging**  
All plant material shall be dug, balled and burlapped (B&B) in accordance with the "AAN Standards".
    - Excavation of Plant Pits**  
The landscape contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:  
      - Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.
      - All pits shall be generally circular in outline, vertical sides, depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule.
    - Sodding**  
All sodding shall be in accordance to the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas" latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.  
All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development when planted in strips not more than 18" wide x 4" long. Provide sod composed principally of improved strain Kentucky bluegrass, such as, Columbia, Victa, or Escort.
- B. Planting Methods**
- Planting Seasons**  
The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.
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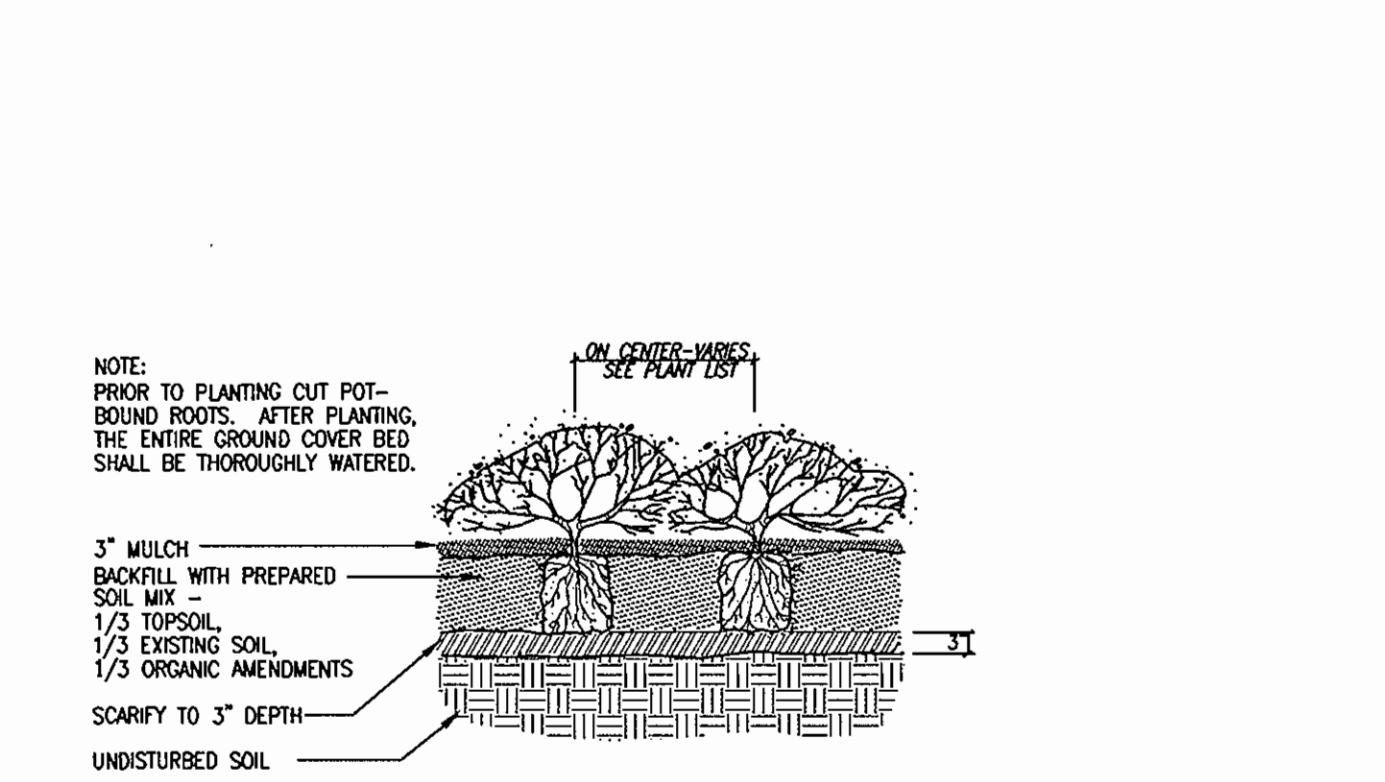
**DECIDUOUS TREE PLANTING DETAIL**  
FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER NTS



**EVERGREEN TREE PLANTING DETAIL**  
NTS



**SHRUB PLANTING DETAIL**  
NTS



**GROUND COVER PLANTING DETAIL**  
NTS

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

Director: [Signature] Date: 8/1/02  
 Chief, Division of Land Development: [Signature] Date: 7/31/02  
 Chief, Development Engineering Division: [Signature] Date: 7/23/02

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALTO: 410-860-1820 DC/VA: 301-999-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

**PREPARED FOR:**  
**GOODIER BUILDERS**  
 10705 CHARTER DRIVE SUITE 320  
 COLUMBIA, MD. 21044  
 PH: 410-997-7400  
 ATTN: MR. STEVE APPLER

**LANDSCAPE NOTES AND DETAILS**

**STONE LAKE**  
 LOTS C-1 THRU C-39  
 PLAT NO. 15478 & 15479

**ELECTION DISTRICT No. 6**

SCALE	ZONING	G. I. W. FILE No.
NTS	R-ED	01-075
DATE	SHEET	
MARCH 2002	6 OF 6	