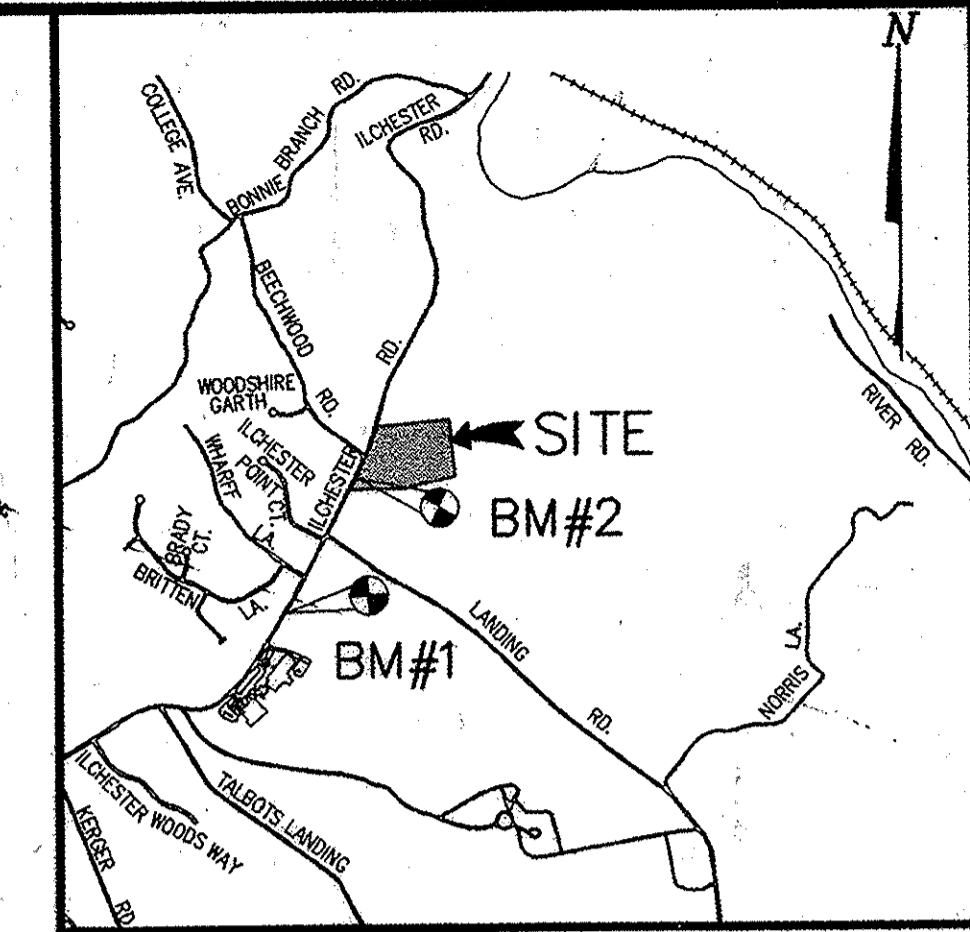


SITE DEVELOPMENT PLAN OUR LADY OF PERPETUAL HELP MULTIPURPOSE BUILDING

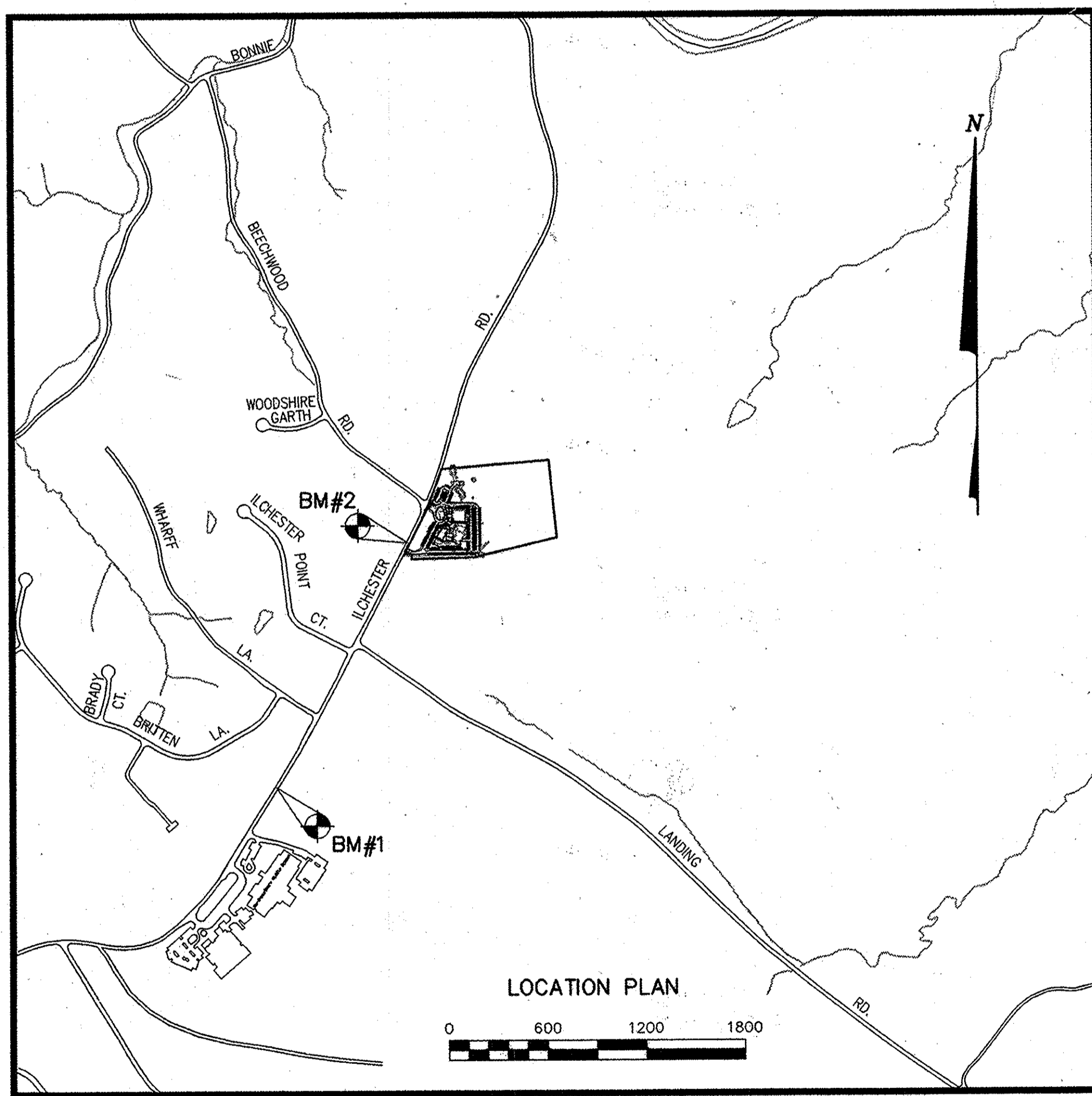
GENERAL NOTES

1. All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standard and specifications if applicable.
2. The contractor shall notify the Department of Public Works/Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
3. The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
4. The contractor shall notify the Howard County Department of Public Works, Bureau of Utilities at (410) 313-4800 at least five working days prior to starting any excavation work.
5. Site area: 26.35 ACRES
6. Traffic control devices, markings, and signing shall be in accordance with the latest edition of the manual on uniform traffic control devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
7. All plan dimensions are to face of curb unless otherwise noted.
8. Existing topography reflects field survey by Century Engineering, March, 2000.
9. Coordinates and bearing are based upon the MD State plan system (NAD '83).
10. Existing water and sewer shown is public.
11. Stormwater Management will be addressed using a stone trench at the base of the existing slope. This design will provide water quality for the new impervious area only.
12. All existing water and sewer is per Contract #'s: 10-1214, 208-W
13. All curb radii is 5' unless noted otherwise.
14. Existing Utility information taken from approved final construction plans for development. Contract numbers Sewer 10-1215 and Water 208-W.
15. All sidewalks shall be 6' wide except where dimensioned otherwise. Provide 3' radius rounding at all angle breaks and intersections.
16. Contractor shall utilize PVC for all sewer house connections. Contractor shall utilize D.I.P. (CL 51) for 6" water house connection.
17. For all storm drain connections at existing stubs, the contractor shall remove the existing blocking and maintain.
18. Use Howard County trench bedding class "C" for storm drains.
19. Paved areas indicated are private except as noted.
20. Recording reference: Plat No. 274/939
21. All proposed ramps shall be in accordance with current A.D.A. standards. Maximum sidewalk cross slope shall be two percent. Provide a five-foot by five-foot level (2 percent max.) landing at the top and bottom of all ramps and building entrances and exits.
22. All water meters shall be located inside buildings.
23. All proposed site utilities are to terminate 5' from the building. The building plumber shall connect to and extend these utilities to the inside of the building.
24. For Gas, Telephone and Electric routing, see separate plan.
25. This project is exempt from the requirements of Section 16.1200 of the Howard County Code for Forest Conservation because all proposed improvements are contained within the previously approved Limit of Disturbance as shown on SDP-84-294 and SDP-93-14. (16.1200(b)(1)(iii))
26. No clearing, grading or construction is permitted within the required wetlands, stream(s) or their buffers and forest conservation easement areas.
27. Previous site plan references - S.D.P. 84-294 and S.D.P. 93-14 and BA CASE 83-39E, WP 91-28, BA CASE 90-24E, BA 01-51c
28. There are no burial grounds on subject property.
29. Lighting fixture details shown on Sheet 4 of 11.
30. The subject property is zoned R-ED per the October 18, 1993 Comprehensive Zoning Plan.
31. All on-site structures are to be retained. The approximate age of the on-site structures are as follows: School-45 years
Church-17 years
Factory-24 years
Religious Education-24 years
32. Landscape surety in the amount of \$7,450.00 shall be provided by the developer/builder, as part of the Developer's Agreement (see sheet 10 of 10)

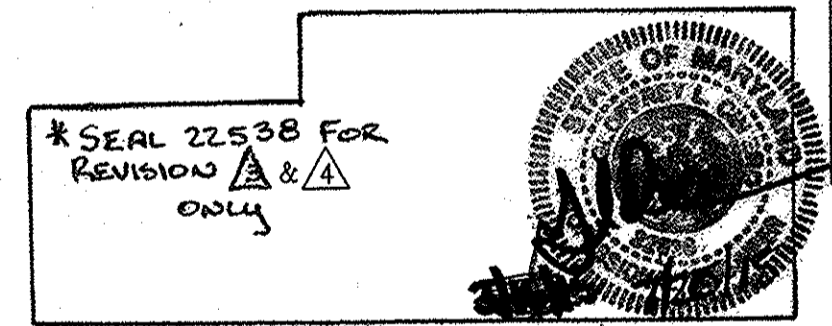


VICINITY MAP
SCALE: 1"=2000'

DRAWING LIST	
NO.	DESCRIPTION
1 OF 12	COVER SHEET
2 OF 12	SITE DEVELOPMENT PLAN 1"=50'
3 OF 12	SITE DEVELOPMENT PLAN
4 OF 12	DRAINAGE AREA MAP AND DETAILS
5 OF 12	UTILITY PROFILES, SWM PROFILE AND DETAILS
6 OF 12	SEDIMENT CONTROL PLAN
7 OF 12	SEDIMENT CONTROL NOTES & DETAILS
8 OF 12	SEDIMENT CONTROL NOTES & DETAILS
9 OF 12	SWM AND SEDIMENT CONTROL DETAILS
10 OF 12	DETAIL SHEET
11 OF 12	LANDSCAPE PLAN
12 OF 12	ON-SITE WATERLINE EXTENSION & CHURCH ADDITION/4



SITE ANALYSIS CHART	
TOTAL SITE AREA	1,147,806 sf (26.35 Acres)
BUILDING COVERAGE: 0.98 ACRES AND 3.7% OF GROSS AREA	
AREA PLAN SUBMISSION	4.6 AC.
DISTURBED AREA	4.6 AC.
ZONING	R-ED
USES-SITE-STRUCTURE	MULTI-PURPOSE CHURCH SCHOOL ACTIVITIES W/ PARKING*
FLOOR SPACE	1st- 12,806SF 2nd- 6,260SF
REQUIRED PARKING = 1 SPACE PER 6 STUDENTS (250/6=42 SPACES) AND 1 SPACE PER 3 SEATS (750/3 = 250 SPACES) TOTAL SCHOOL AND CHURCH=292	
EXISTING PARKING TO BE RESTRIPE= 279	
PROPOSED PARKING= 65	
TOTAL PARKING SPACES = 344	



*SEAL 22538 FOR REVISION A & B ONLY



*EXISTING PARISHIONERS TO USE NEW SPACE
**(INCLUDES 12 HANDICAP SPACES, RESTRIPE OF EXISTING PARKING AREAS, AND EXISTING PARKING NEAR THE NORTH ENTRANCE)

METER ADDRESS CHART	
4805 ILCHESTER ROAD (MULTIPURPOSE BUILDING)	
4801 ILCHESTER ROAD (CHURCH)	
4803 ILCHESTER ROAD (SCHOOL)	

PURPOSE NOTE:
THE PURPOSE OF THIS SITE DEVELOPMENT PLAN IS TO SHOW THE ADDITION OF A MULTI-PURPOSE BUILDING TO THE SITE AND PARKING AND ENTRANCE MODIFICATIONS.

ADDRESS CHART			
LOT/PARCEL#	STREET ADDRESS		
PARCEL NO. 260	4805 ILCHESTER ROAD (MULTIPURPOSE BUILDING)		
PARCEL "A"	4795 ILCHESTER ROAD (CHURCH)		
PARCEL "A"	4803 ILCHESTER ROAD (SCHOOL)		

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO. 260	
PLAT # OR L/F	GRID #	ZONING	TAX MAP NO.
274/535	10	R-ED	31
WATER CODE: 6-10	SEWER CODE: 1252600	ELEC. DIST.	CENSUS TRACT
		1	6011.01

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
Penny Brantley, M.D. 6/23/03
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Januka A. Lyles 2/1/02
Director
Linda Hammett 7/2/03
Chief, Division of Land Development
DATE

CENTURY ENGINEERING, INC.
CONSULTING ENGINEERS, PLANNERS, SURVEYORS
32 WEST ROAD
TOWSON, MARYLAND 21204
(410) 823-8070

DATE	REVISION	BY	APP'R.
9/24/03	REVISION SHEETS 2, 3, 4, 5, 6, 8 AND 9		
3/16/04	REVISION SHEETS 2 THROUGH 6, 8 AND 10 FOR BALL FIELD STOCKPILE GRADING. ADDED DRAWING AND REVISED DRAWING LIST. REVISED SHEET NUMBER.		
3/16/05	REVISION SHEETS 2 THROUGH 6, 8 AND 10 FOR BALL FIELD STOCKPILE GRADING. ADDED DRAWING AND REVISED DRAWING LIST. REVISED SHEET NUMBER.	GLC	
5/02/15	ADDED ADDRESS PER CHART TO ADDRESS CHART		

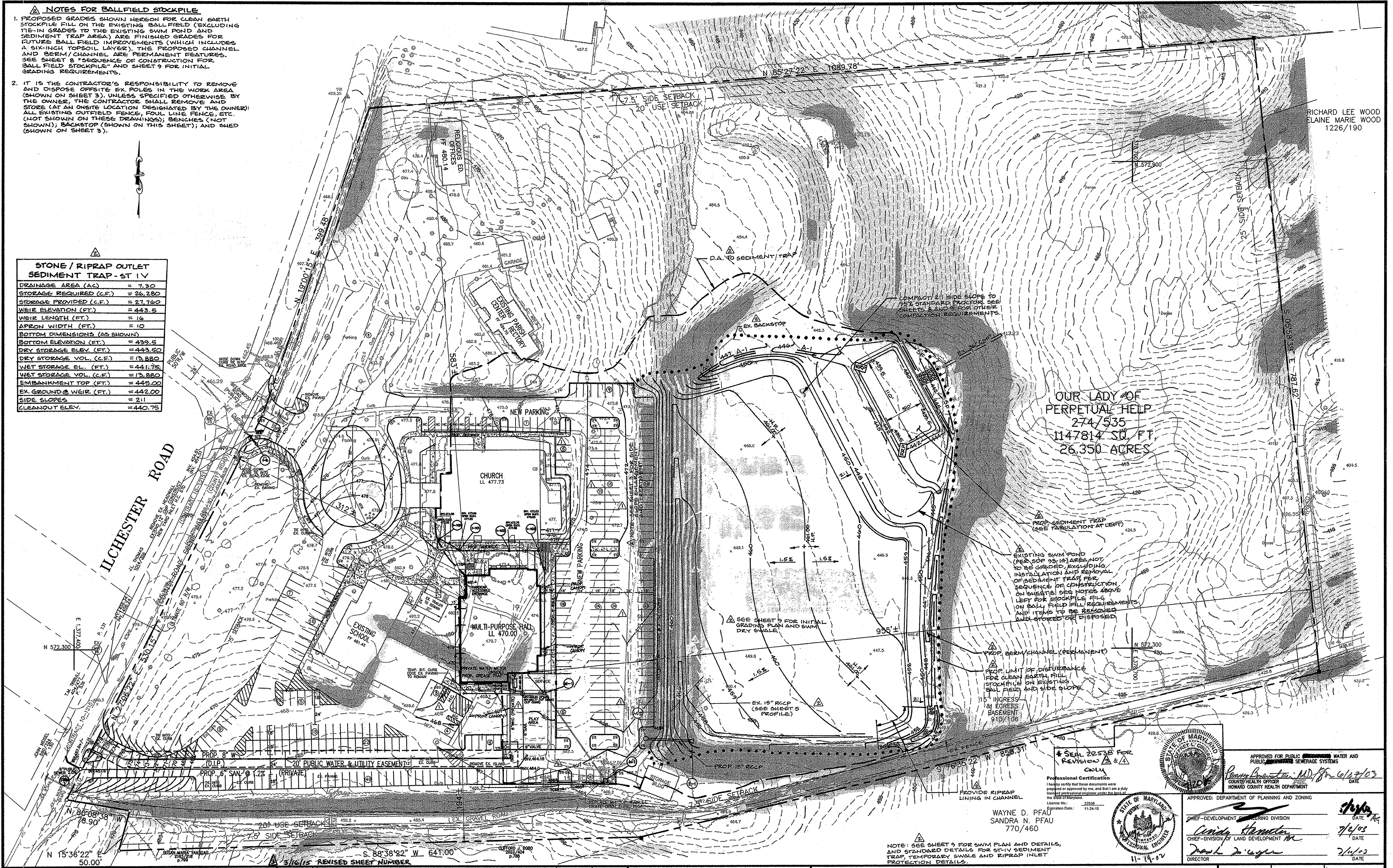
PREPARED FOR:
ARCHDIOCESE OF BALTIMORE
OUR LADY OF PERPETUAL HELP
4805 ILCHESTER ROAD
ELLCOTT CITY, MARYLAND 21043

COVER SHEET		
OUR LADY OF PERPETUAL HELP MULTIPURPOSE BUILDING		
5 TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND		
SCALE	ZONING	C.E.I. FILE No.
AS SHOWN	R-ED	20068.00
DATE	TAX MAP No.	SHEET
11/22/02	31	1 OF 12

- NOTES FOR BALLFIELD STOCKPILE**
- PROPOSED GRADES SHOWN HEREON FOR CLEAN EARTH STOCKPILE FILL ON THE EXISTING BALL FIELD (EXCLUDING TIE-IN GRADES TO THE EXISTING SWIM POND AND SEDIMENT TRAP AREA) ARE FINISHED GRADES FOR FUTURE BALL FIELD IMPROVEMENTS (WHICH INCLUDES A SIX-INCH TOPSOIL LAYER). THE PROPOSED CHANNEL AND BERM/CHANNEL ARE PERMANENT FEATURES. SEE SHEET 8 "SEQUENCE OF CONSTRUCTION FOR BALL FIELD STOCKPILE" AND SHEET 9 FOR INITIAL GRADING REQUIREMENTS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE AND DISPOSE OFFSITE EX. POLES IN THE WORK AREA (SHOWN ON SHEET 3), UNLESS SPECIFIED OTHERWISE BY THE OWNER. THE CONTRACTOR SHALL REMOVE AND STORE (AT AN ONSITE LOCATION DESIGNATED BY THE OWNER) ALL EXISTING OUTFIELD FENCE, FOUL LINE FENCE, ETC. (NOT SHOWN ON THESE DRAWINGS); BENCHES (NOT SHOWN); BACKSTOP (SHOWN ON THIS SHEET); AND SHED (SHOWN ON SHEET 3).

STONE / RIPRAP OUTLET SEDIMENT TRAP-ST IV

DRAINAGE AREA (AC)	= 7.30
STORAGE REQUIRED (C.F.)	= 26,280
STORAGE PROVIDED (C.F.)	= 27,760
WEIR ELEVATION (FT.)	= 443.6
WEIR LENGTH (FT.)	= 16
APRON WIDTH (FT.)	= 10
BOTTOM DIMENSIONS (AS SHOWN)	
BOTTOM ELEVATION (FT.)	= 439.5
DRY STORAGE ELEV. (FT.)	= 443.50
DRY STORAGE VOL. (C.F.)	= 19,880
WET STORAGE EL. (FT.)	= 441.75
WET STORAGE VOL. (C.F.)	= 19,880
EMBANKMENT TOP (FT.)	= 445.00
EX. GROUND @ WEIR (FT.)	= 442.00
SIDE SLOPES	= 2:1
CLEANOUT ELEV.	= 440.75



RICHARD LEE WOOD
ELAINE MARIE WOOD
1226/190

OUR LADY OF PERPETUAL HELP
274/535
1147814 SQ. FT.
26.350 ACRES

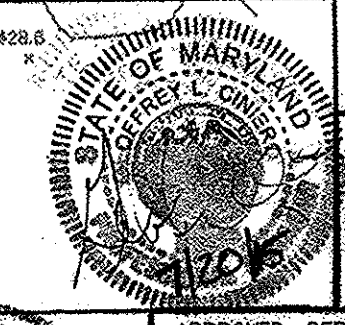
EXISTING SWIM POND (PER SOP 99.14) AREA NOT TO BE GRADED, EXCLUDING INSTALLATION AND REMOVAL OF SEDIMENT TRAP PER SEQUENCE OF CONSTRUCTION ON SHEET 8. SEE NOTES ABOVE LEFT FOR STOCKPILE FILL ON BALL FIELD FILL REQUIREMENTS AND ITEMS TO BE REMOVED AND STORED OR DISPOSED.

PROP. BERM/CHANNEL (PERMANENT)
PROP. LIMIT OF DISTURBANCE FOR CLEAN EARTH FILL STOCKPILE ON EXISTING BALL FIELD AND SIDE SLOPE
15' INGRESS BASEMENT 919/106

SEAL 20538 FOR REVISION A & B ONLY

WAYNE D. PFAU
SANDRA N. PFAU
770/460

NOTE: SEE SHEET 9 FOR SWM PLAN AND DETAILS, AND STANDARD DETAILS FOR ST-IV SEDIMENT TRAP, TEMPORARY SWALE AND RIPRAP INLET PROTECTION DETAILS.



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
APPROVED: DEPARTMENT OF PLANNING AND ZONING

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No.: 112615
Expiration Date: 11/26/15

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT & ZONING DIVISION
CHIEF-DIVISION OF LAND DEVELOPMENT

DATE: 7/2/03
DATE: 7/1/03

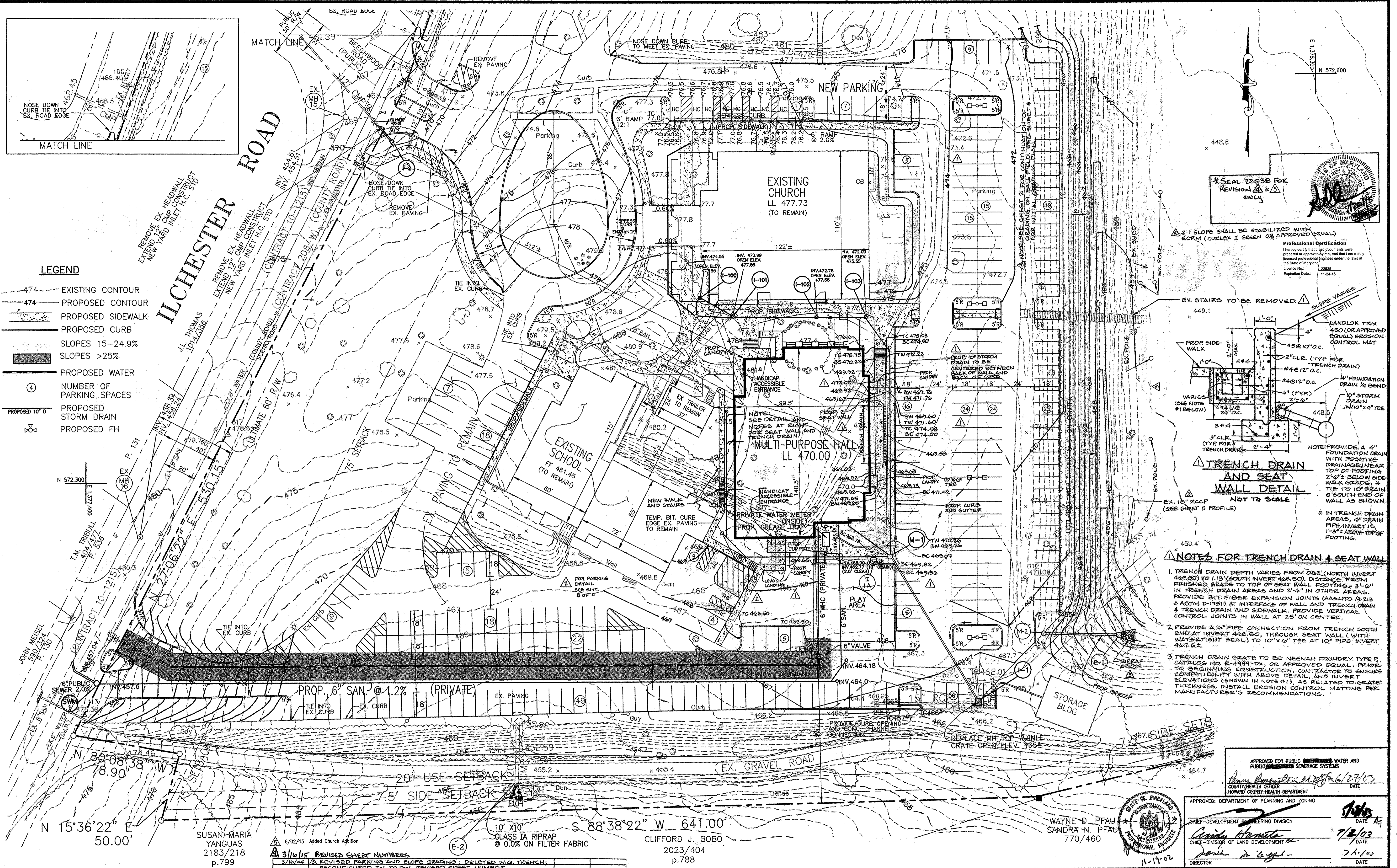
CENTURY ENGINEERING, INC.
CONSULTING ENGINEERS, PLANNERS, SURVEYORS
52 WEST ROAD
TOWSON, MARYLAND 21204
(410) 823-8070

DATE	REVISION	BY	APP'R.
9/24/03	REVISED GRADES IN PARKING LOTS SOUTH AND EAST OF BUILDINGS, AND EAST SLOPE AREA. ADDED PARKING SPACES NEAR CHURCH NORTHEAST CORNER. REMOVED RETAINING WALL AT TOP OF SLOPE. ADDED NOTE FOR SHEET 3 CROSS REFERENCE FOR REVISION 1.		
3/16/04	ADDED CLEAN EARTH STOCKPILE FILL ON BALL FIELD; ADDED SEDIMENT CONTROL DATA; DELETED WATER QUALITY TRENCH; ADDED NOTES FOR STOCKPILE. REVISED SHEET NUMBER.		
6/02/15	Added Church Addition		

PREPARED FOR:
ARCHDIOCESE OF BALTIMORE
OUR LADY OF PERPETUAL HELP
4805 ILCHESTER ROAD
ELICOTT CITY, MARYLAND 21043

SITE DEVELOPMENT PLAN
OUR LADY OF PERPETUAL HELP
MULTIPURPOSE BUILDING
ELICOTT CITY, MARYLAND
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SCALE	ZONING	C.E.I. FILE No.
1"=50'	R-ED	20068.00
DATE	TAX MAP No.	SHEET
11/22/02	31	2 OF 12

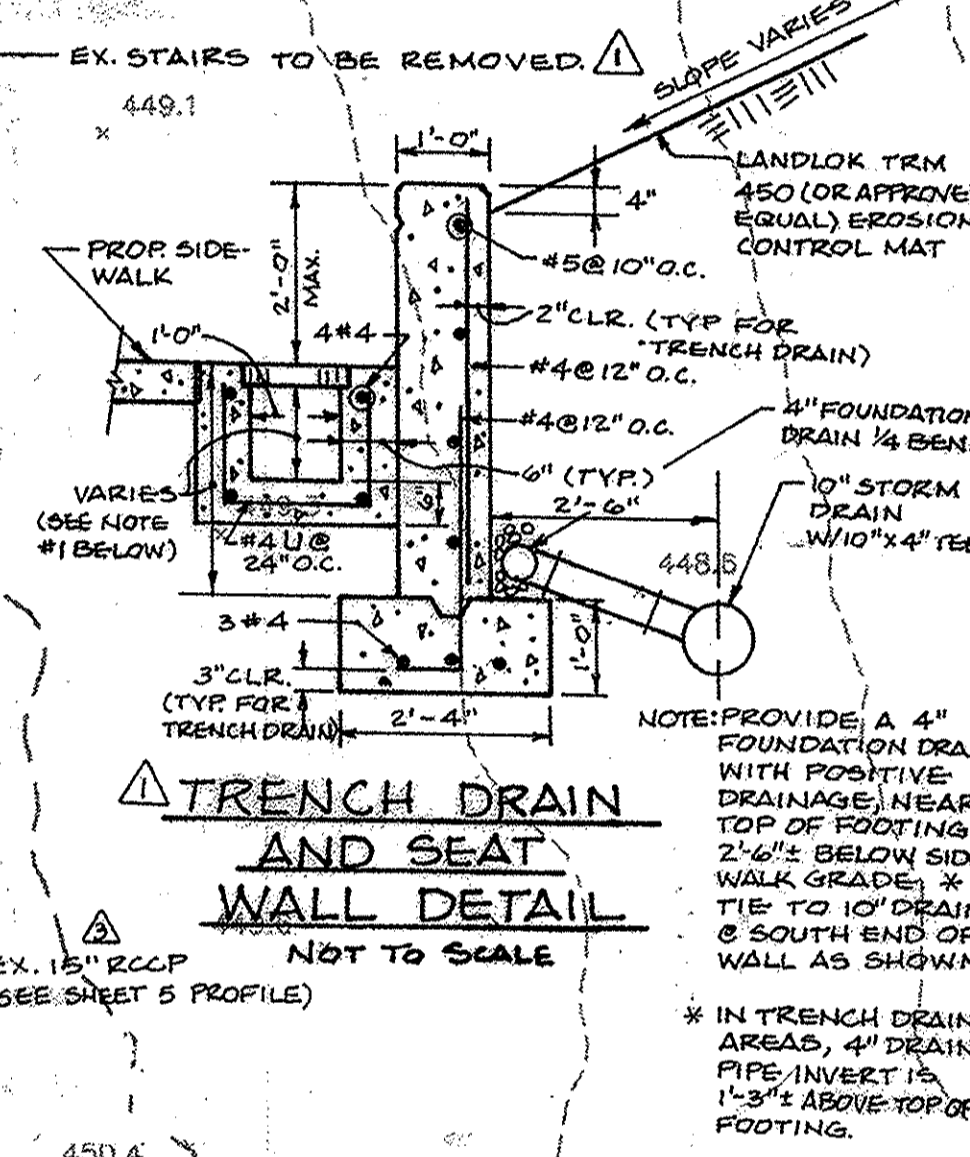


LEGEND

- 474- EXISTING CONTOUR
- 474- PROPOSED CONTOUR
- - - PROPOSED SIDEWALK
- - - PROPOSED CURB
- ▨ SLOPES 15-24.9%
- ▨ SLOPES >25%
- ④ PROPOSED WATER
- ④ NUMBER OF PARKING SPACES
- - - PROPOSED 10" D
- - - PROPOSED STORM DRAIN
- - - PROPOSED FH

* SEAL 22538 FOR REVISION ONLY

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22538
Expiration Date: 11-24-15



- NOTES FOR TRENCH DRAIN & SEAT WALL**
- TRENCH DRAIN DEPTH VARIES FROM 0.63' (NORTH INVERT 469.00) TO 1.13' (SOUTH INVERT 468.50). DISTANCE FROM FINISHED GRADE TO TOP OF SEAT WALL FOOTING = 3'-6" IN TRENCH DRAIN AREAS AND 2'-6" IN OTHER AREAS. PROVIDE BIT. FIBER EXPANSION JOINTS (AS NOTED IN 215 & ASTM D-1751) AT INTERFACE OF WALL AND TRENCH DRAIN & TRENCH DRAIN AND SIDEWALK. PROVIDE VERTICAL CONTROL JOINTS IN WALL AT 25' ON CENTER.
 - PROVIDE 4" PIPE CONNECTION FROM TRENCH SOUTH END AT INVERT 468.50, THROUGH SEAT WALL (WITH WATER-TIGHT SEAL) TO 10" X 6" TEE AT 10" PIPE INVERT 467.62.
 - TRENCH DRAIN GRATE TO BE NEENAH FOUNDRY TYPE B, CATALOG NO. E-4499-DX, OR APPROVED EQUAL. PRIOR TO BEGINNING CONSTRUCTION CONTRACTOR TO ENSURE COMPATIBILITY WITH ABOVE DETAIL, AND INVERT ELEVATIONS (SHOWN IN NOTE #1), AS RELATED TO GRADE THICKNESS. INSTALL EROSION CONTROL MATTING PER MANUFACTURER'S RECOMMENDATIONS.

CENTURY ENGINEERING, INC.
CONSULTING ENGINEERS, PLANNERS, SURVEYORS
32 WEST ROAD
TOWSON, MARYLAND 21204
(410) 823-8070

6/02/15 Added Church Addition

3/16/15 REVISED SHEET NUMBERS

DATE	REVISION	BY	APP'R.
3/16/15	REVISED PARKING AND SLOPE GRADING; DELETED W.Q. TRENCH; RECONFIGURED T-1 TO E-1. REVISED SHEET NUMBERS.		
9/24/09	REVISED GRADES IN PARKING LOTS SOUTH AND EAST OF BUILDINGS; RECONFIGURED CURB & GUTTER AND SIDEWALK; ADDED 2 SEAT WALL AND TRENCH DRAIN. REMOVED RETAINING WALL AT TOP OF SLOPE. REVISED HANDICAP ACCESSIBLE ENTRANCE LOCATION AND PARKING SPACES; ADDED PARKING SPACES.		
12/10/03	REVISED THE HANDICAP AREA ON THE SOUTH SIDE OF THE PROPOSED MULTI-USE BUILDING SHOWING NEW GRADES AND ENTRY TO THE BUILDING.		

PREPARED FOR:
ARCHDIOCESE OF BALTIMORE
OUR LADY OF PERPETUAL HELP
4805 ILCHESTER ROAD
ELLCOTT CITY, MARYLAND 21043

SITE DEVELOPMENT PLAN
OUR LADY OF PERPETUAL HELP
MULTIPURPOSE BUILDING
ELLCOTT CITY, MARYLAND
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SCALE	ZONING	C.E.I. FILE No.
1"=30'	R-ED	20068.00
DATE	TAX MAP No.	SHEET
11/22/02	31	3 OF 12

WAYNE D. PFAUF
SANDRA N. PFAUF
770/460

APPROVED: DEPARTMENT OF PLANNING AND ZONING

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM

DATE: 7/2/02

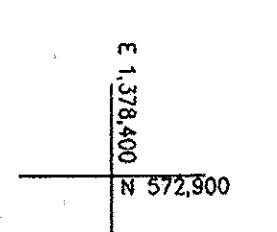
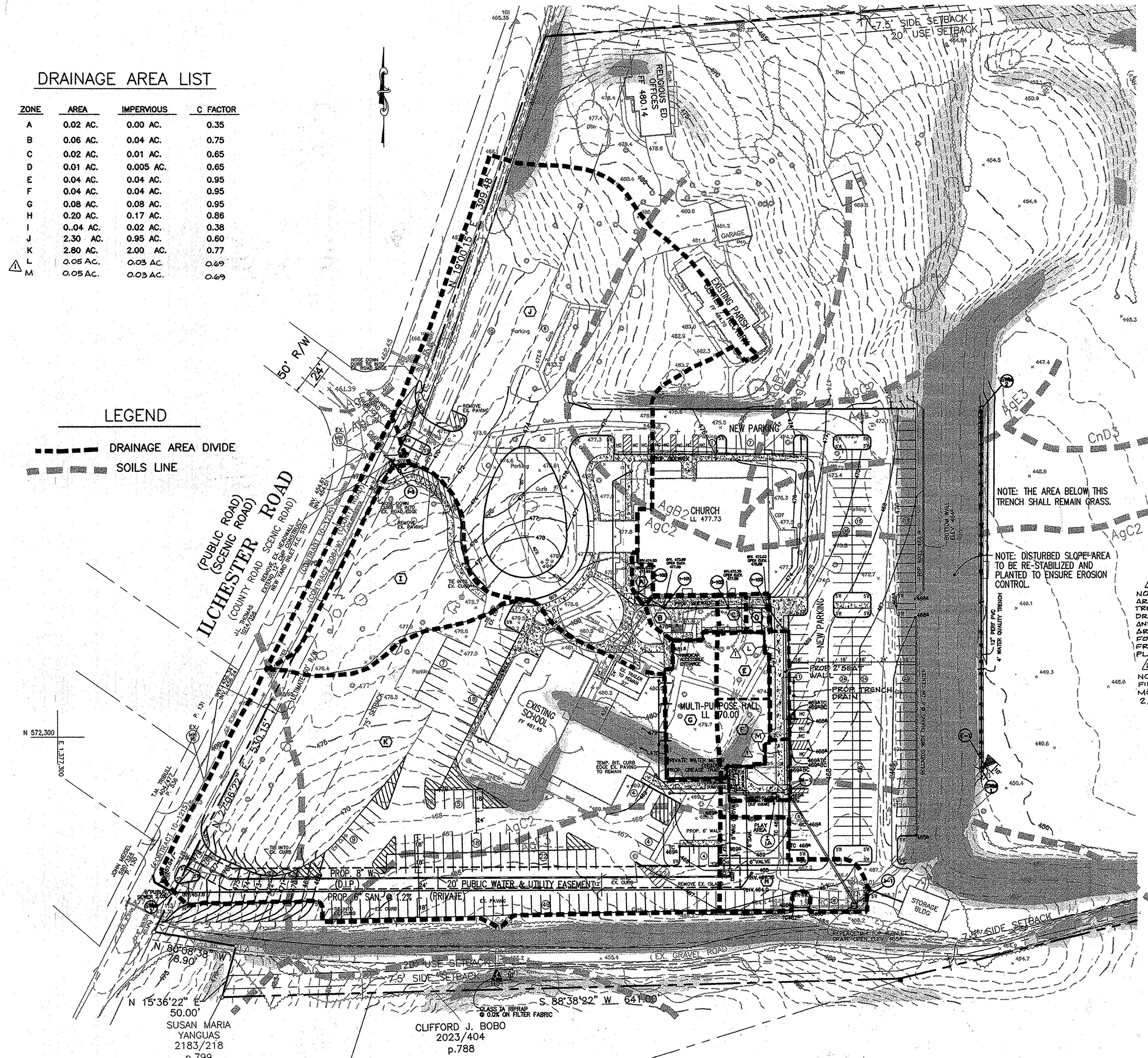
DATE: 7/1/02

DRAINAGE AREA LIST

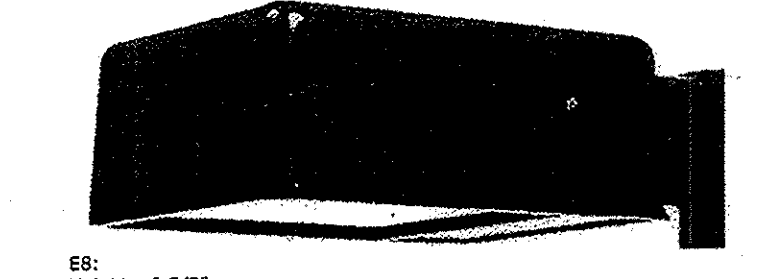
ZONE	AREA	IMPERVIOUS	C FACTOR
A	0.02 AC.	0.00 AC.	0.35
B	0.06 AC.	0.04 AC.	0.75
C	0.02 AC.	0.01 AC.	0.65
D	0.01 AC.	0.005 AC.	0.65
E	0.04 AC.	0.04 AC.	0.95
F	0.04 AC.	0.04 AC.	0.95
G	0.08 AC.	0.08 AC.	0.95
H	0.20 AC.	0.17 AC.	0.86
I	0.04 AC.	0.02 AC.	0.38
J	2.30 AC.	0.95 AC.	0.60
K	2.80 AC.	2.00 AC.	0.77
L	0.05 AC.	0.03 AC.	0.69
M	0.05 AC.	0.03 AC.	0.69

LEGEND

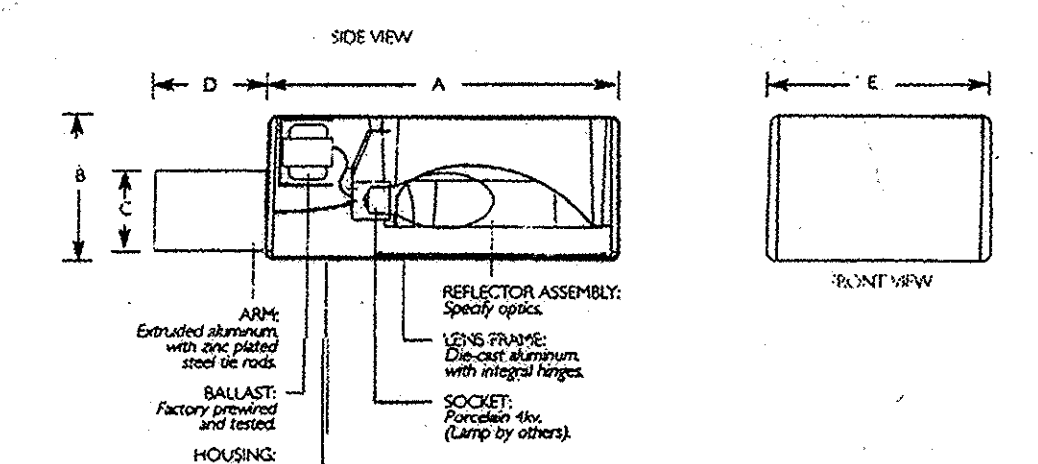
- DRAINAGE AREA DIVIDE
- SOILS LINE



Architectural Lighting
Form and Function
Die-Cast Form
E8, E19



E8:
Height - 6 5/8"
Width - 10"
E19:
Height - 7 1/2"
Width - 25 1/2"



WALL ARM MOUNT

	A	B	C	D	E
E8	6"	4 3/4"	7"	6"	12"
E19	10"	7 1/2"	6"	4 1/2"	14 1/2"
	152.4 mm	119.1 mm	177.8 mm	152.4 mm	354.1 mm

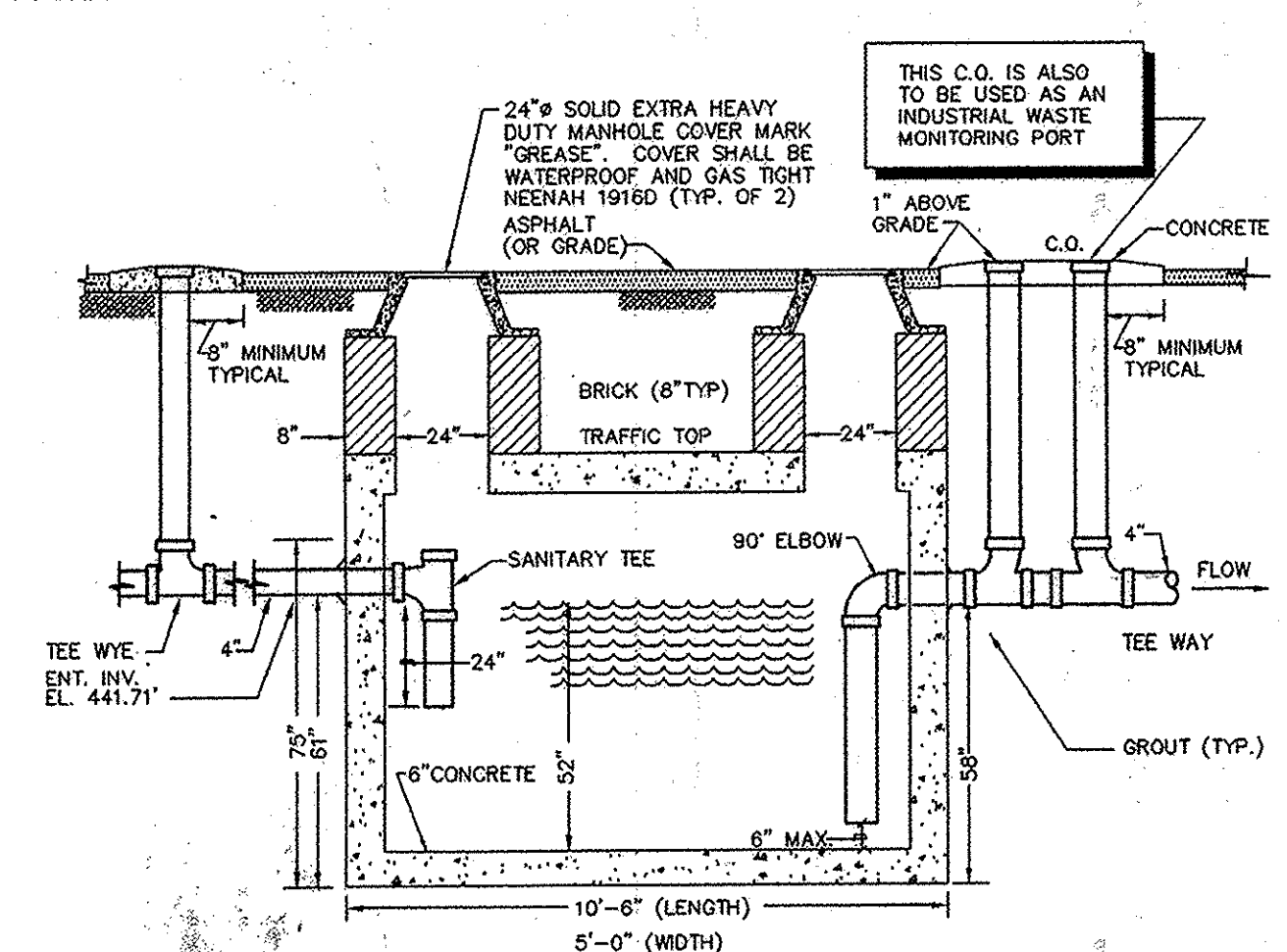
OUTDOOR LIGHTING
HADDCO E8,E19 DIE-CAST FORM
SERIES E-19
(44) ARM MOUNTING (4" POST)
2 @ 180° ARM MTO.
BRONZE FINISH
TYPE III OPTICS
WATTAGE 400W
280V
APPROXIMATE LUMENS
INITIAL 40,000
MEAN (253) 32,000
MOUNTING 25' POLE ON 2 1/2" BASE, 27 1/2" HIGH

NOTE: THE AREA BELOW THIS TRENCH SHALL REMAIN GRASS.

NOTE: DISTURBED SLOPE AREA TO BE RE-STABILIZED AND PLANTED TO ENSURE EROSION CONTROL.

NOTE: THIS PLAN IS FOR DRAINAGE AREA PURPOSE ONLY. SEAT WALL, TRENCH DRAIN, AND TRENCH DRAIN DRAINAGE AREA WERE ADDED. I-1A AND CORRESPONDING DRAINAGE AREA WERE ADDED, SEE SHEET 3 FOR STORM DRAIN REALIGNMENT FROM I-103 TO I-1, AND OTHER PLAN MODIFICATIONS.

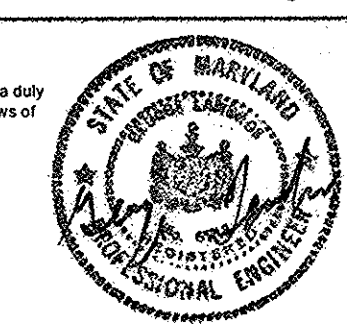
NOTE: SEE SHEET 2 FOR BALL FIELD GRADING AND ASSOCIATED MODIFICATIONS UNDER REVISION 2.



1500 GALLON GREASE INTERCEPTOR DETAIL
NOT TO SCALE

* SEAL 2253B FOR REVISION 2 ONLY

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
Licence No.: 22539
Expiration Date: 11-24-16



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
Thomas Brown
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 6/2/03

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
Conroy Hamilton
CHIEF-DIVISION OF PLANNING AND DEVELOPMENT
March 2, 2003
DIRECTOR
DATE: 2/2/03

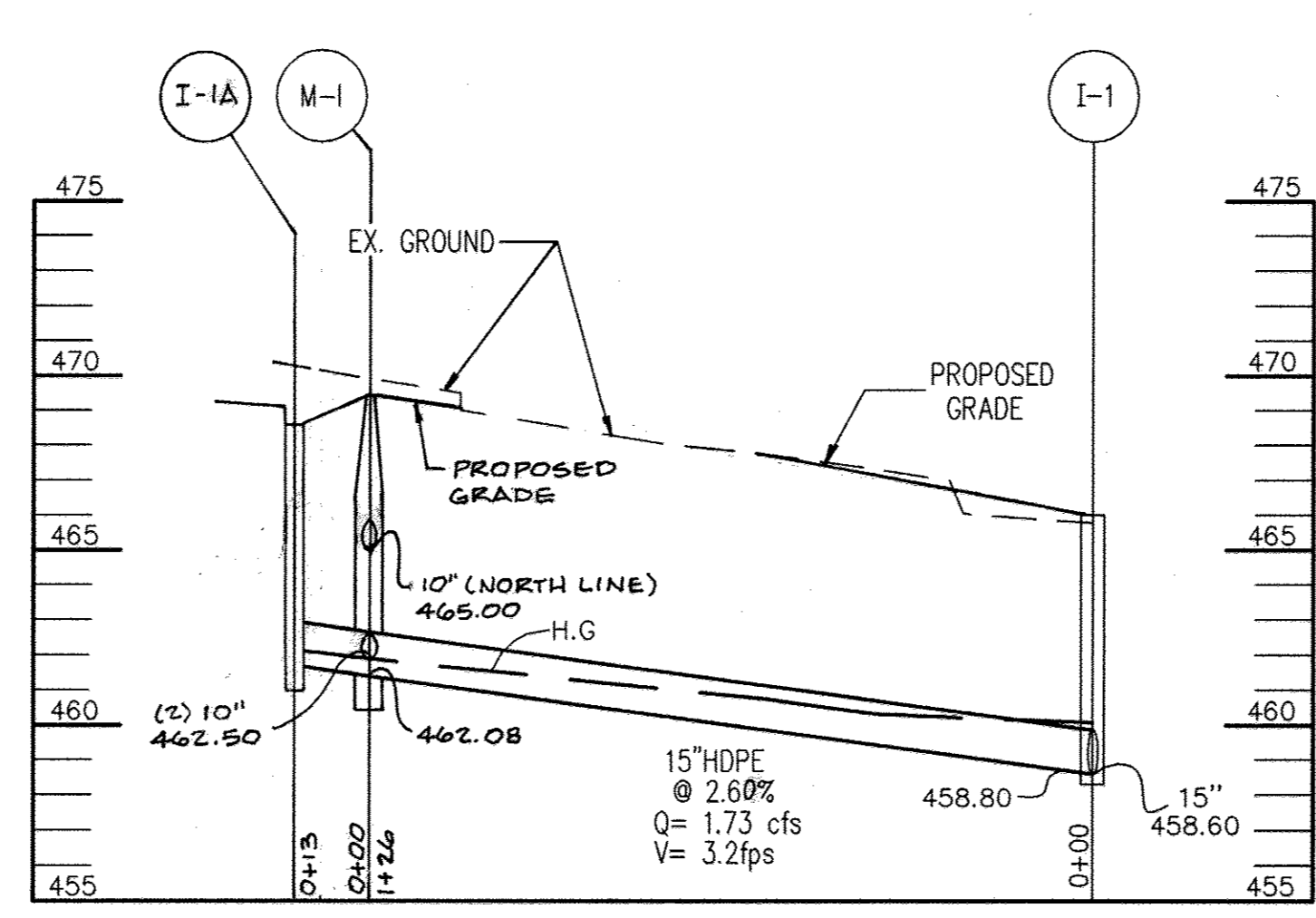
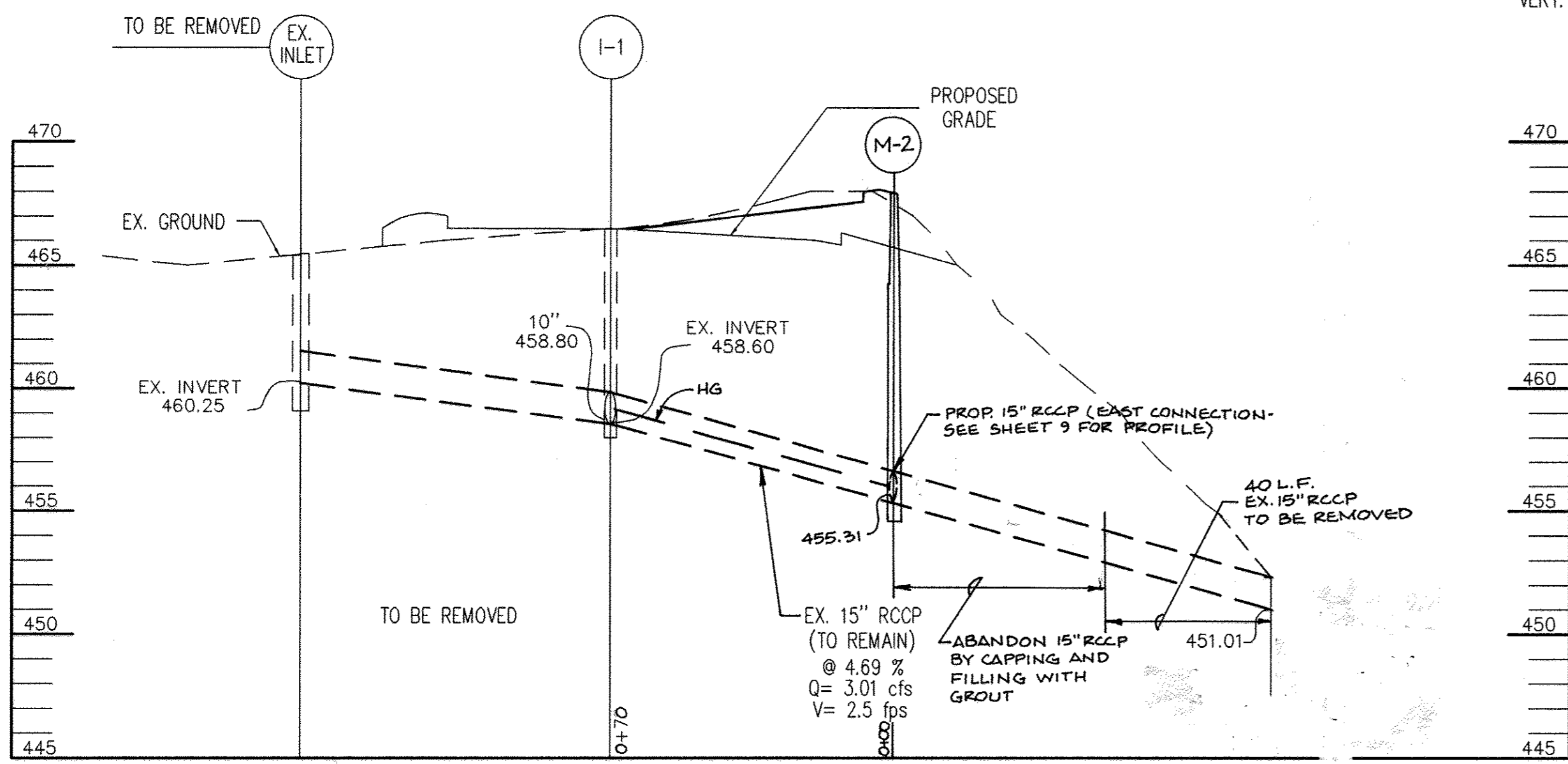
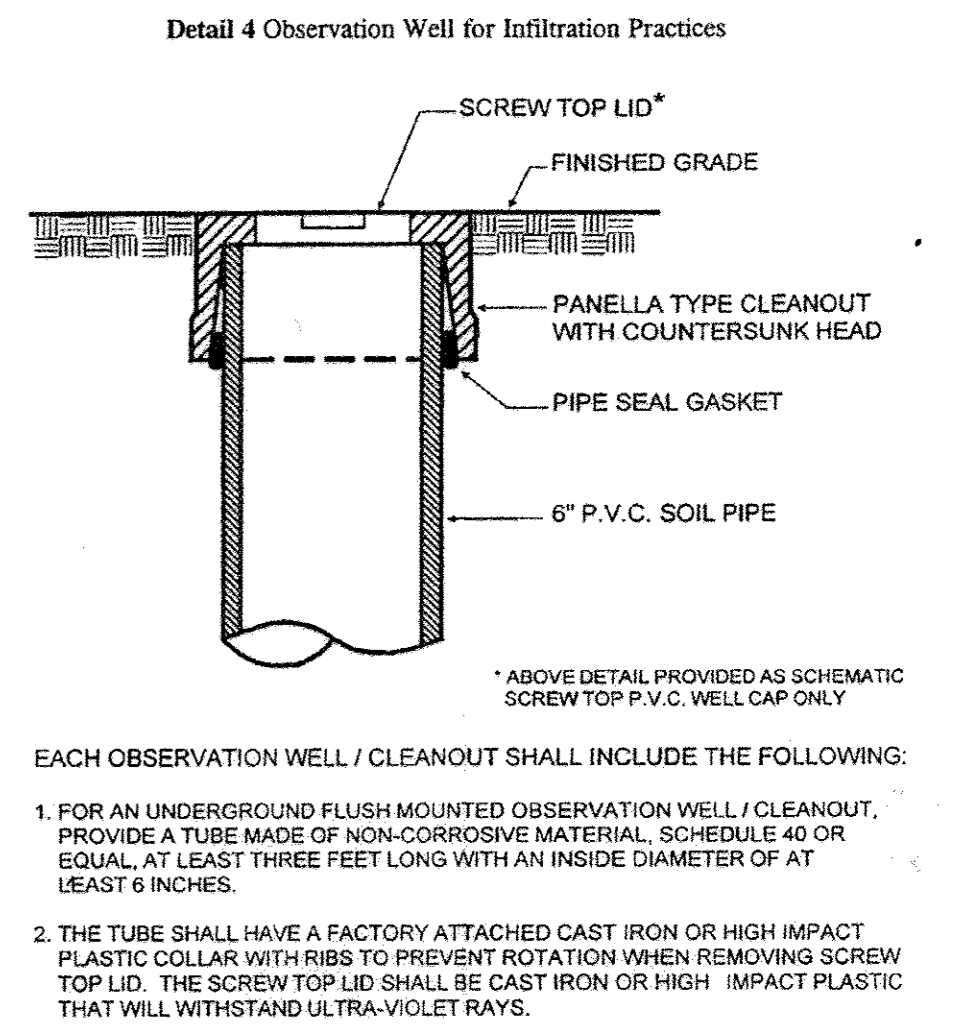
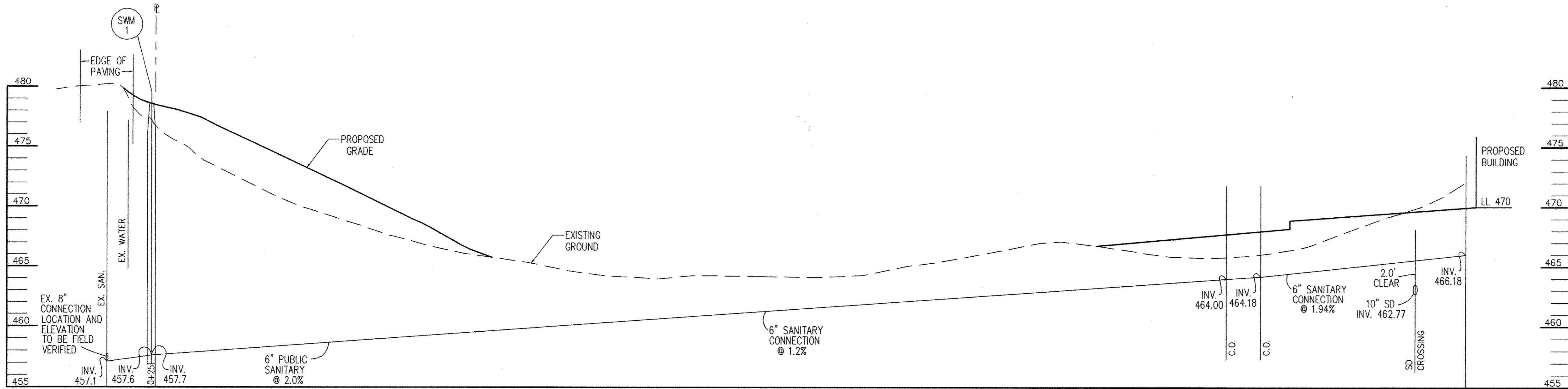
CENTURY ENGINEERING, INC.
CONSULTING ENGINEERS, PLANNERS, SURVEYORS
32 WEST ROAD
TOWSON, MARYLAND 21204
(410) 823-8070

DATE	REVISION	BY	APPR.
3/24/03	ADDED NOTE TO REFERENCE PLAN MODIFICATIONS UNDER REVISION 1 ON SHEET 3, AND DRAINAGE AREA REVISION ON THIS SHEET.		
3/16/04	ADDED NOTE TO REFERENCE REVISION 2 ON SHEET 2. REVISED SHEET NUMBER.		
3/16/05	REVISED SHEET NUMBER.	GLC	
8/02/15	Added Church Addition		

PREPARED FOR:
ARCHDIOCESE OF BALTIMORE
OUR LADY OF PERPETUAL HELP
4805 ILCHESTER ROAD
ELLICOTT CITY, MARYLAND 21043

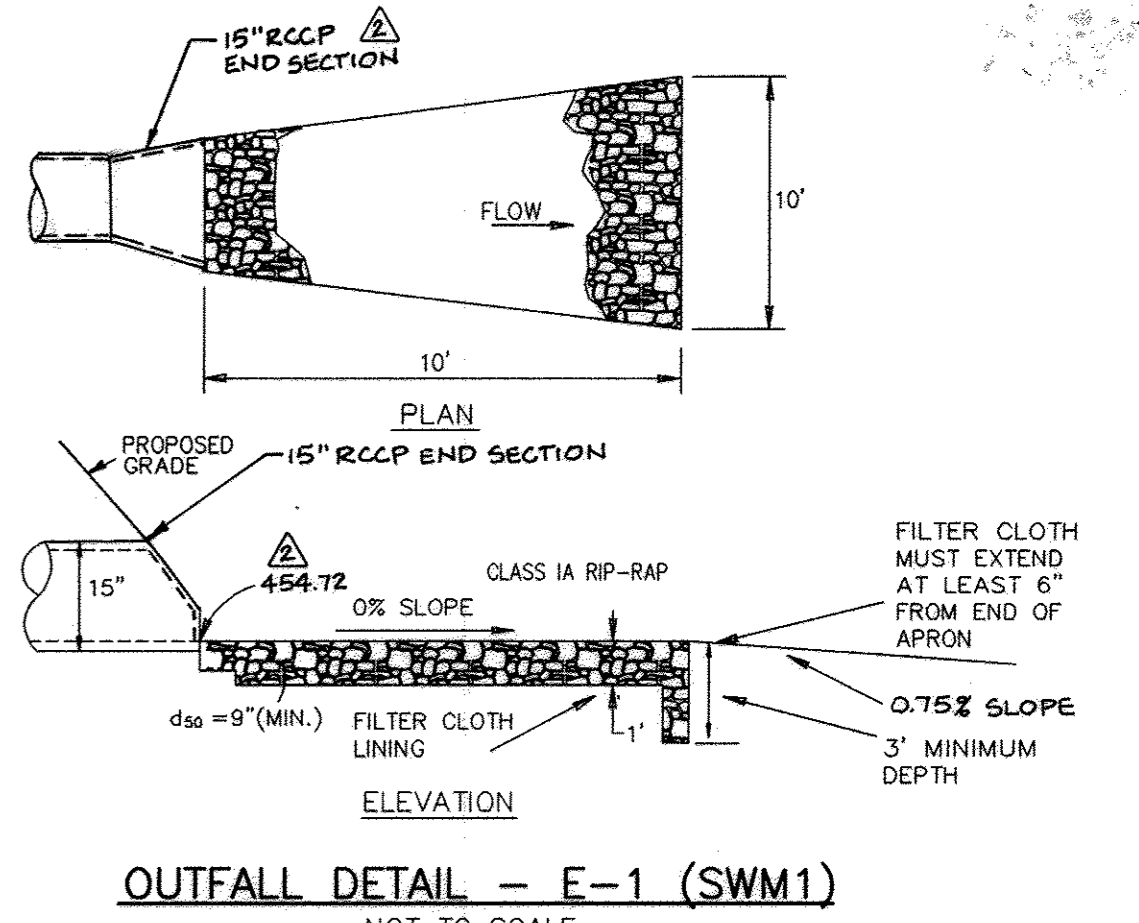
DRAINAGE AREA MAP AND DETAILS
OUR LADY OF PERPETUAL HELP
MULTIPURPOSE BUILDING
ELLICOTT CITY, MARYLAND
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SCALE	ZONING	C.E.I. FILE No.
1"=50'	R-ED	20068.00
DATE	TAX MAP No.	SHEET
11/22/02	31	4 OF 12

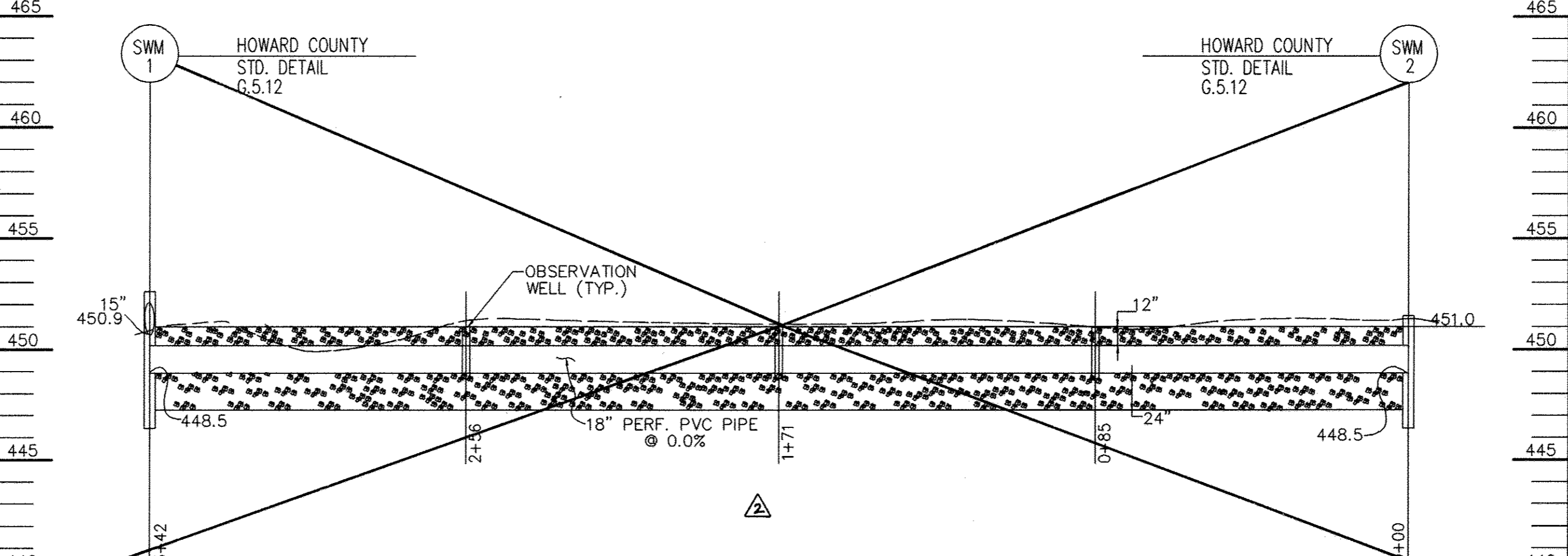
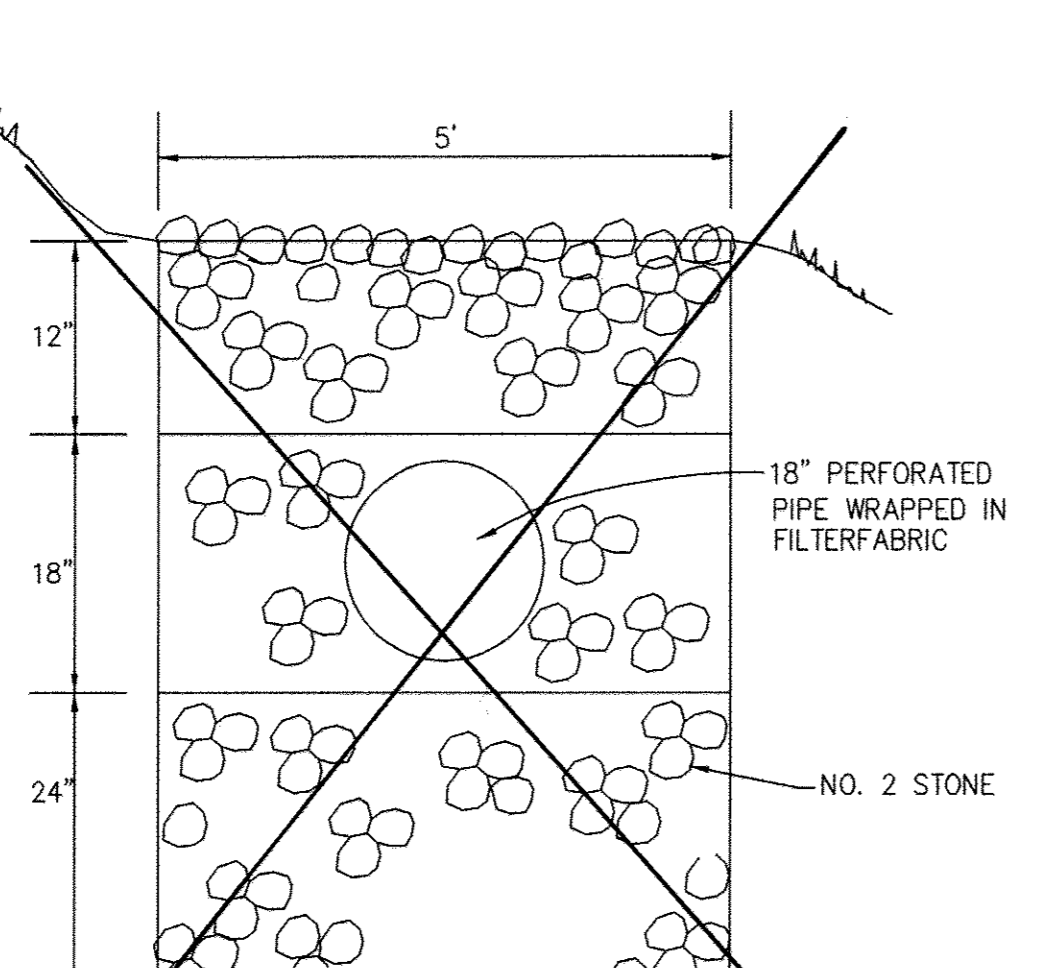
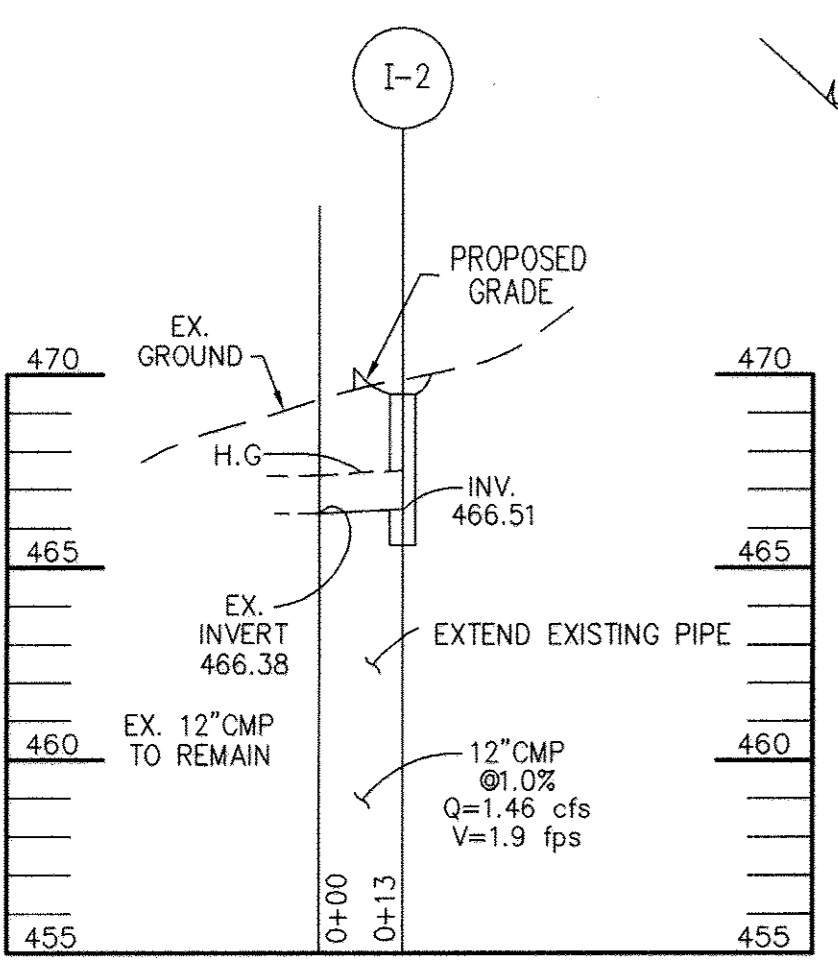
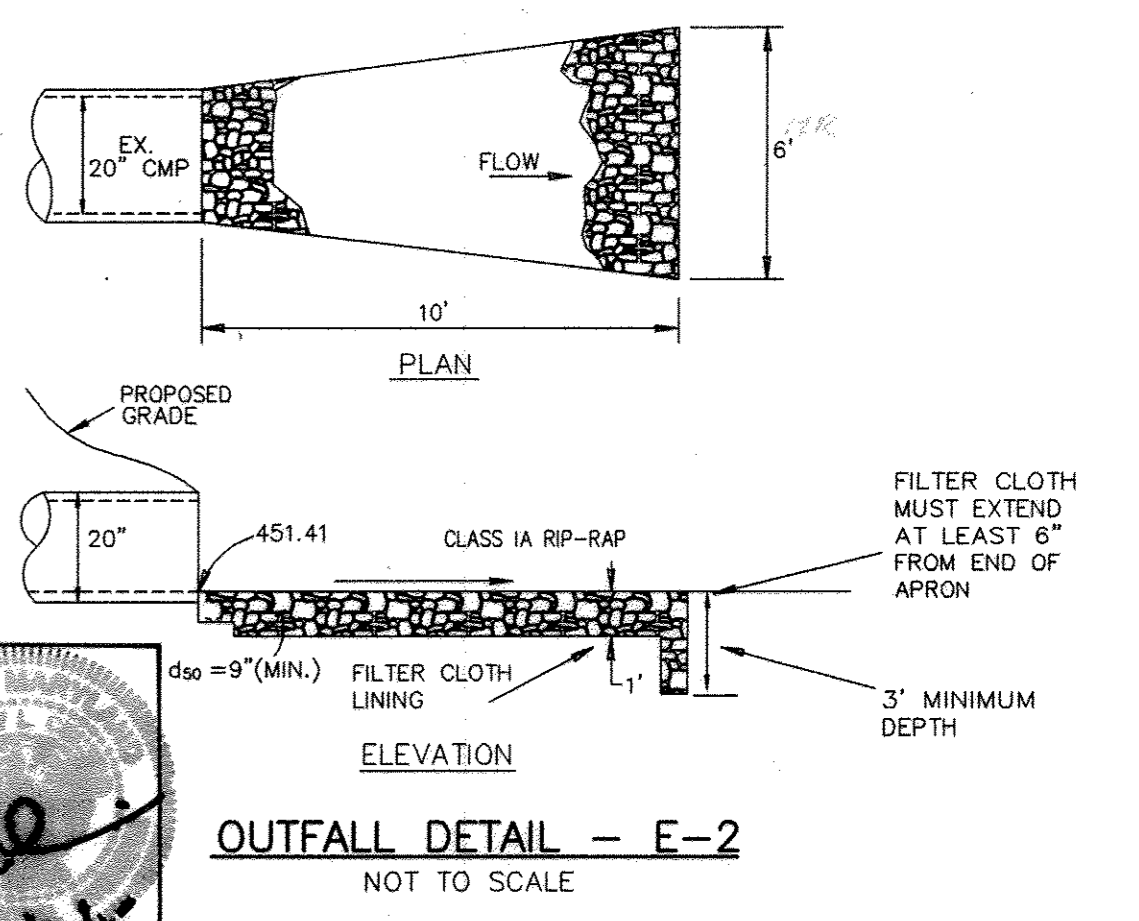


STRUCTURE SCHEDULE					
NO.	TYPE	ELEVATION	STD. DETAIL	LOCATION	REMARKS
I-1	WR GRATE		SD 4.37*	SEE PLAN	* GRATE ONLY
M-1	STD. MANHOLE	469.40	G5.12	SEE PLAN	
I-103	INLINE DRAIN	475.55	SEE DETAIL THIS SHEET	SEE PLAN	
I-102	INLINE DRAIN	477.55	SEE DETAIL THIS SHEET	SEE PLAN	
I-101	INLINE DRAIN	477.55	SEE DETAIL THIS SHEET	SEE PLAN	
I-100	INLINE DRAIN	477.55	SEE DETAIL THIS SHEET	SEE PLAN	
SWM1	STD. MANHOLE	462.5	G5.12	SEE PLAN	
SWM2	STD. MANHOLE	451.5	G5.12	SEE PLAN	
I-1A	5' ** CONC. END SECTION	468.5B	SD 4.32 *	SEE SHEET 3	
M-2	STD. MANHOLE	467.80	G5.12	SEE SHEET 9	
E-1	CONC. END SECTION		SD 5.51	SEE SHEET 9	

* GRATE ELEVATION ** WITH RETICULAR GRATE



PIPE SCHEDULE			
TYPE & SIZE	CLASS	QUANTITY	REMARKS
15" HDPE		295 LF	
10" PVC		549 LF	
12" CMP		13 LF	
10" HDPE		450 LF	



* SEAL 22538 FOR REVISION A ONLY

[Signature]
6/27/03

- MAINTENANCE SCHEDULE/REQUIREMENTS**
THE STORMWATER MANAGEMENT FACILITY SHALL BE MAINTAINED BY THE PROPERTY OWNER AS FOLLOWS:
- REMOVAL OF ACCUMULATED PAPER, TRASH AND DEBRIS AS NECESSARY.
 - ANNUAL INSPECTION AND REPAIR OF THE STRUCTURES AND PERFORATED PIPE.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
[Signature] 6/27/03
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 7/2/03
CHIEF-DIVISION OF LAND DEVELOPMENT
[Signature] 7/2/03
DIRECTOR

CENTURY ENGINEERING, INC.
CONSULTING ENGINEERS, PLANNERS, SURVEYORS
32 WEST ROAD
TOWSON, MARYLAND 21204
(410) 823-8070

DATE	REVISION	BY	APP'R.
9/24/03	REVISED STORM DRAIN PROFILE FROM M-1 TO I-1; ADDED I-1A.		
3/16/04	REVISED STORM DRAIN PROFILE FROM I-1 TO E-1; DELETED WATER QUALITY TRENCH PROFILE AND DETAIL; REVISED STRUCTURE SCHEDULE. REVISED OUTFALL DETAIL E-1. REVISED SHEET NUMBER.		
3/16/05	REVISED SHEET NUMBER.	GLC	

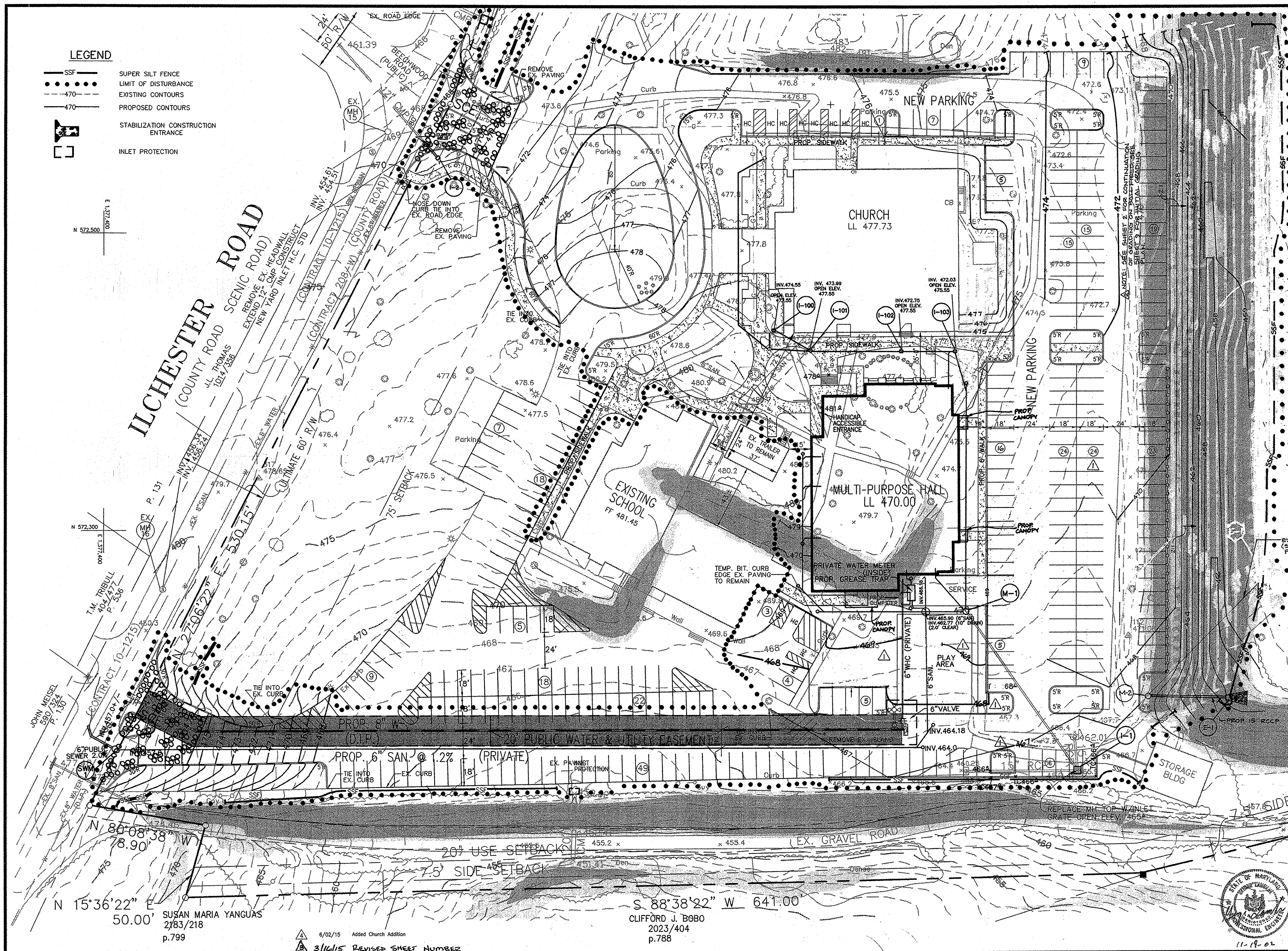
PREPARED FOR:
ARCHDIOCESE OF BALTIMORE
OUR LADY OF PERPETUAL HELP
4805 ILCHESTER ROAD
ELLCOTT CITY, MARYLAND 21043

UTILITY PROFILES, SWM PROFILE, NOTES AND DETAILS
OUR LADY OF PERPETUAL HELP
MULTIPURPOSE BUILDING
ELLCOTT CITY, MARYLAND
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SCALE	ZONING	C.E.I. FILE No.
1" = 30'	R-ED	20068.00
DATE	TAX MAP No.	SHEET
11/22/02	31	5 of 12

LEGEND

- SSF SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- 470- EXISTING CONTOURS
- 470- PROPOSED CONTOURS
- [Symbol] STABILIZATION CONSTRUCTION ENTRANCE
- [Symbol] INLET PROTECTION



2:1 SLOPE SHALL BE STABILIZED WITH BERM (SUEDE 1 GRASS OR APPROVED EQUAL)

SEAL 22528 For REVISION A & B
CALL
 Professional Certification
 I hereby certify that these documents were prepared or approved by me, and that I am a licensed professional engineer under the laws of the State of Maryland.
 License No.: 22528
 Expiration Date: 11-24-15

NOTE: PROPOSED GRADES FOR THE PARKING AREA SOUTH AND EAST OF THE PROPOSED MULTIPURPOSE HALL, AND FOR THE LOT AND SLOPE AREA EAST OF THE HALL AND CHURCH ARE REVISED ON THIS SHEET; SSF, LIMIT OF DISTURBANCE, LAND WALL ARE REVISED HEREON. SEE SHEET 3 FOR OTHER PLAN MODIFICATIONS UNDER REVISION 1.
 NOTE: SSF FOR SLOPE GRADING UNDER REVISION 1 MAY NOT BE REMOVED UNTIL SEDIMENT TRAP FOR BALL FIELD GRADING IS INSTALLED, PER DATA ON SHEET 2. LIMIT OF DISTURBANCE SHOWN HEREON IS FOR ORIGINAL CONTRACT DRAWINGS AND REVISION 1. SEE SHEET 2 FOR BALL FIELD GRADING AND ASSOCIATED SEDIMENT CONTROL FEATURES (LIMIT OF DISTURBANCE DRAINAGE DIVIDE, ETC.) UNDER REVISION 2.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 [Signature]
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT
 DATE: 11/19/02

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature]
 SIGNATURE OF ENGINEER
 DATE: 11-19-02

BY THE DEVELOPER:
 I HAVE CERTIFIED THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature]
 SIGNATURE OF DEVELOPER
 DATE: 11/19/02

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS.
 [Signature]
 U.S. NATURAL RESOURCES CONSERVATION SERVICE
 DATE: 5/29/03

THIS DEVELOPMENT PLAN IS AS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature]
 HOWARD S.C.D.
 DATE: 5/29/03

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 7/4/03
 [Signature]
 CHIEF-DIVISION OF LAND DEVELOPMENT
 DATE: 7/4/03
 [Signature]
 DIRECTOR
 DATE: 7/4/03

CENTURY ENGINEERING, INC.
 CONSULTING ENGINEERS, PLANNERS, SURVEYORS
 32 WEST ROAD
 TOWSON, MARYLAND 21204
 (410) 823-8070

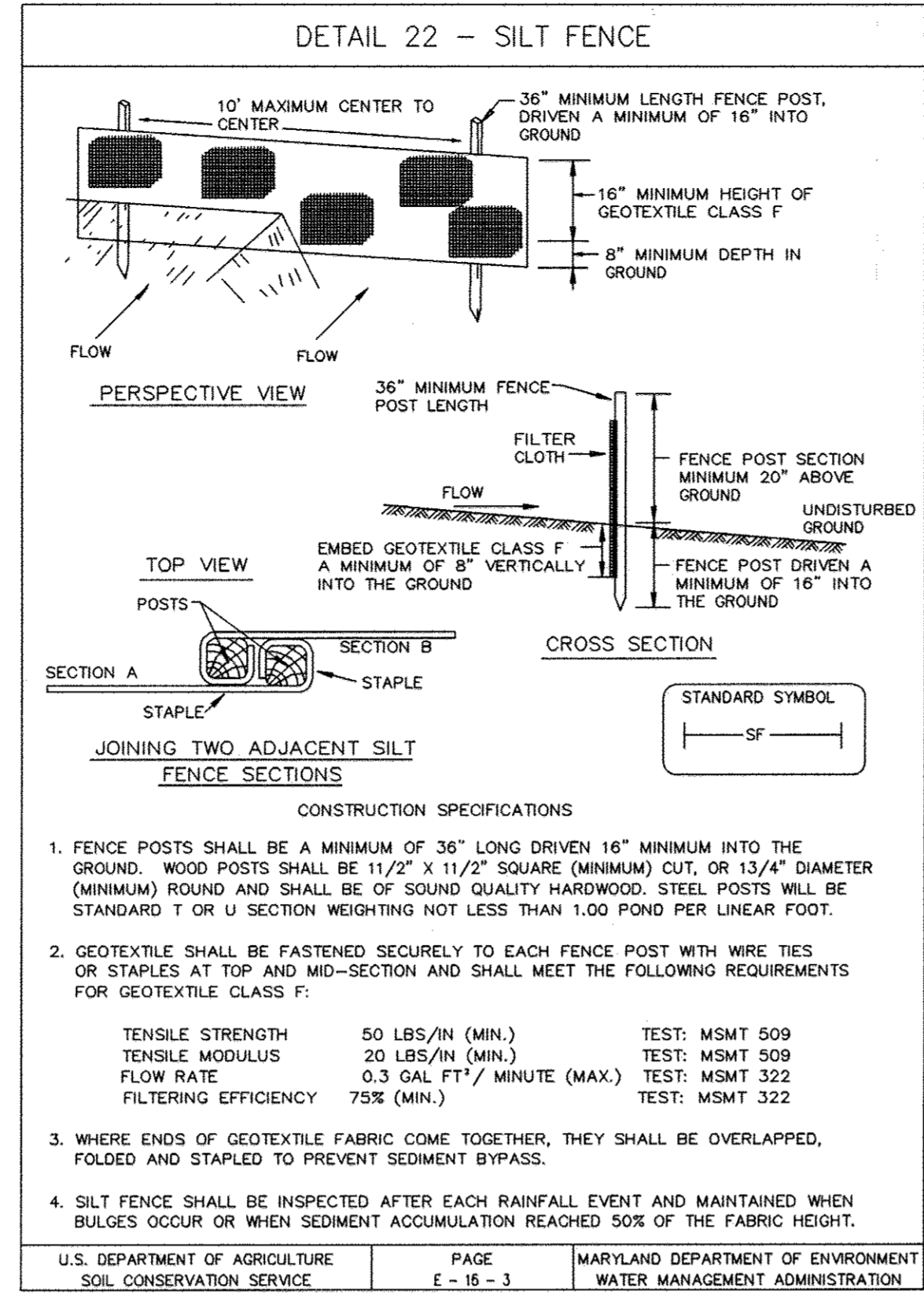
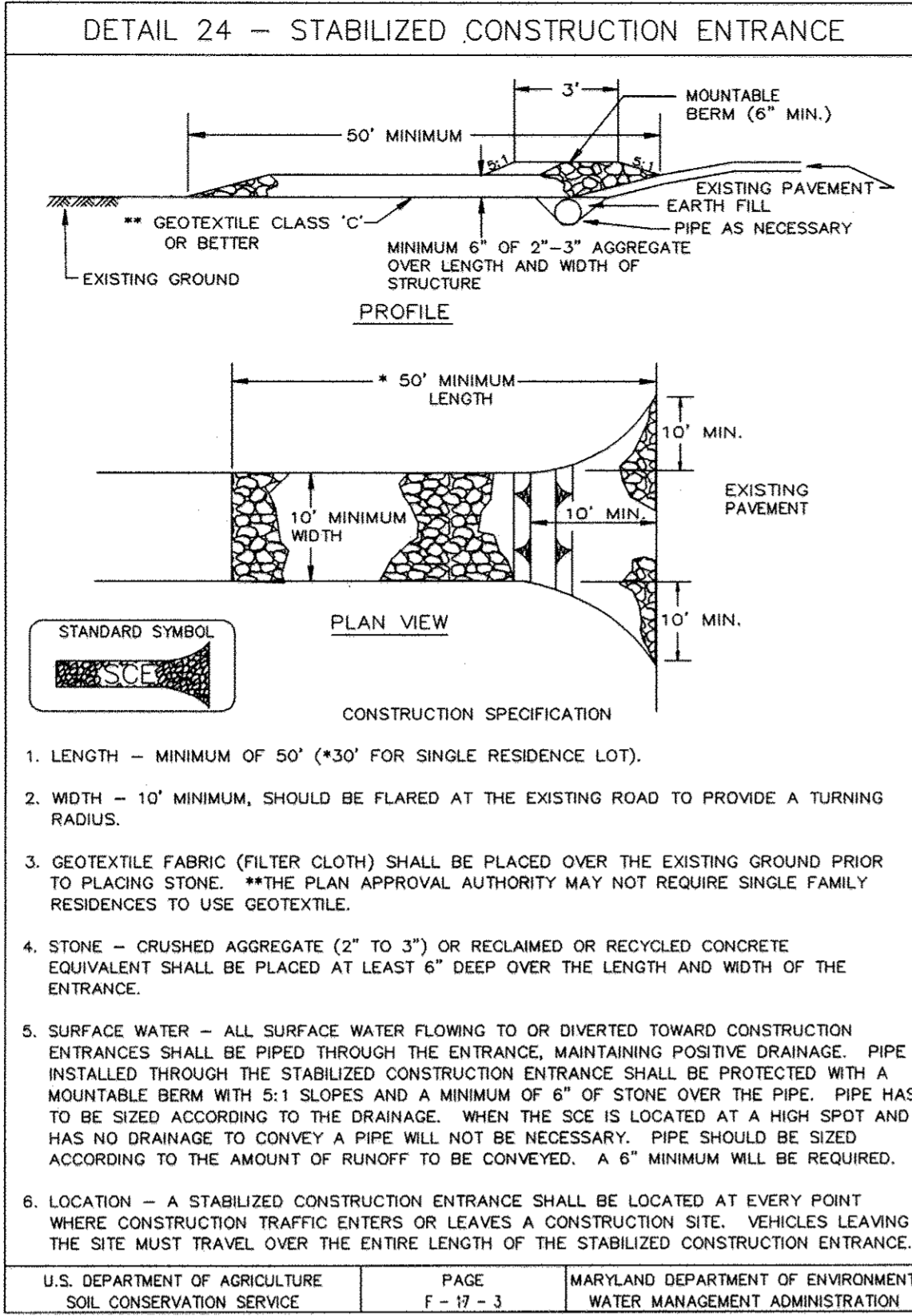
DATE	REVISION	BY	APP'R.
9/24/03	REVISED GRADES SOUTH AND EAST OF BUILDING AND EAST SLOPE AREA. REMOVED RETAINING WALL AT TOP OF SLOPE. RELOCATED SSF AND LIMIT OF DISTURBANCE. ADDED PARKING SPACES NEAR CHURCH NORTHEAST CORNER. ADDED NOTE FOR SHEET 3 CROSS REFERENCE FOR REVISION 1.		
3/16/04	REVISED PKG. AND SLOPE GRADING DELETED W.G. TRENCH. ADDED CROSS REFERENCE NOTATIONS FOR SEDIMENT CONTROL FEATURES UNDER REVISION 2 ON SHEET 2. REVISED SHEET NUMBER.		
6/02/15	Added Church Addition		
3/16/15	REVISED SHEET NUMBER		

PREPARED FOR:
 ARCHDIOCESE OF BALTIMORE
 OUR LADY OF PERPETUAL HELP
 4805 ILLCHESTER ROAD
 ELLICOTT CITY, MARYLAND 21043

SEDIMENT CONTROL PLAN
OUR LADY OF PERPETUAL HELP
MULTIPURPOSE BUILDING
 ELLICOTT CITY, MARYLAND

5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE	ZONING	C.E.I. FILE No.
1"=30'	R-ED	20068.00
DATE	TAX MAP No.	SHEET
11/22/02	31	6 OF 12

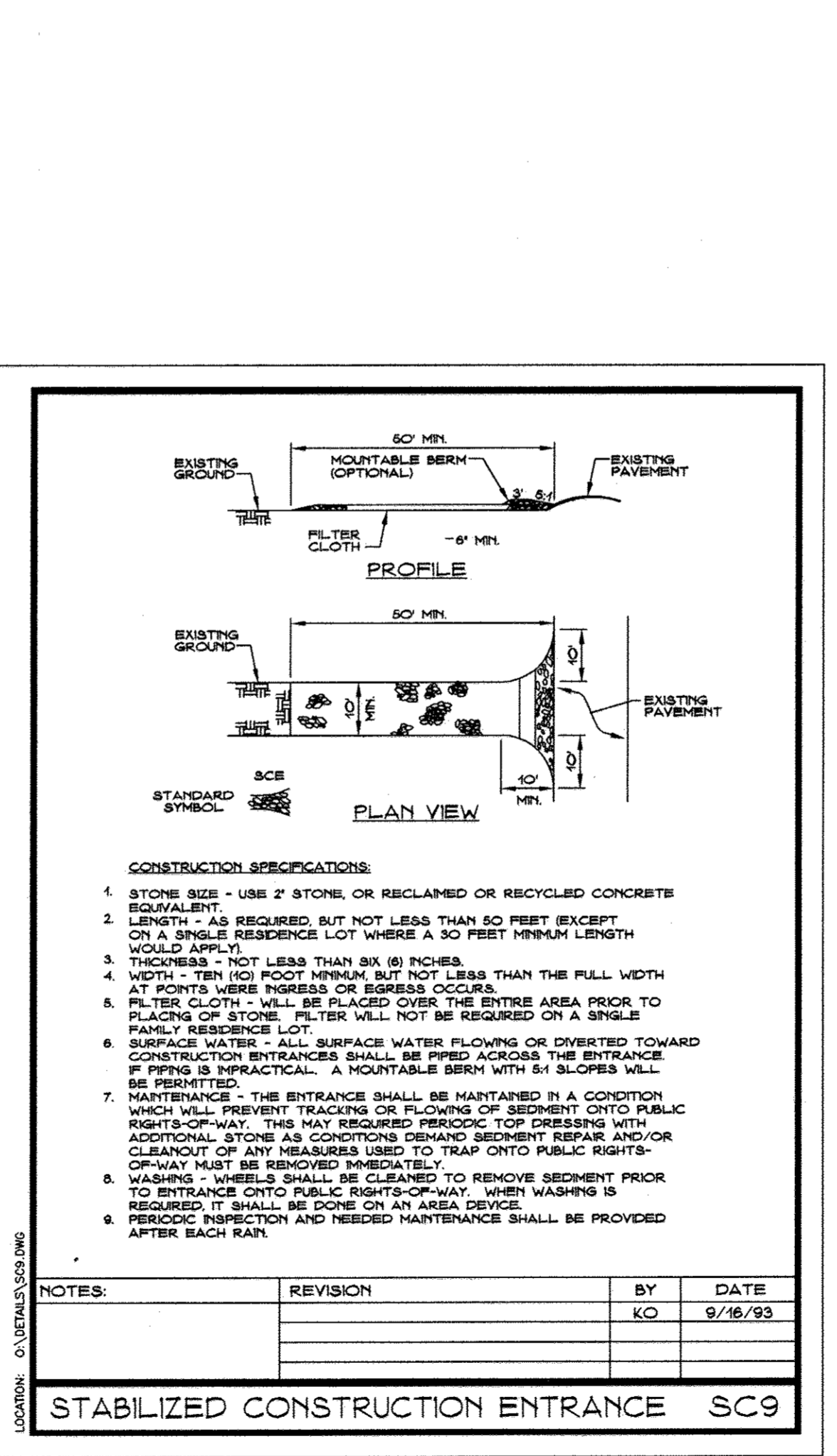
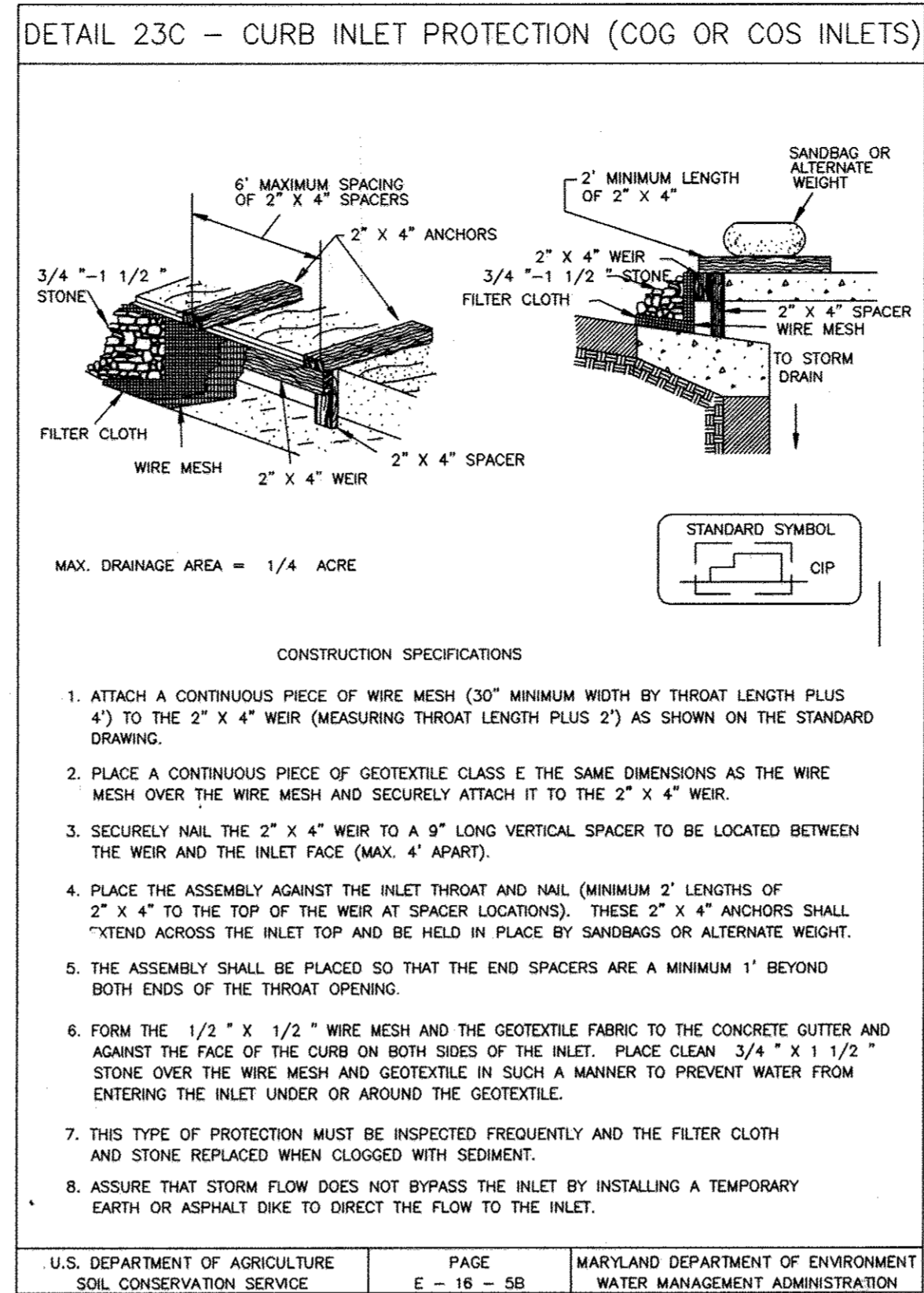


SILT FENCE

SILT FENCE DESIGN CRITERIA		
SLOPE STEEPNESS	(MAXIMUM) SLOPE LENGTH	(MAXIMUM) SILT FENCE LENGTH
FLATTER THAN 50:1	UNLIMITED	UNLIMITED
50:1 TO 10:1	125 FEET	1,000 FEET
10:1 TO 5:1	100 FEET	750 FEET
5:1 TO 3:1	60 FEET	500 FEET
3:1 TO 2:1	40 FEET	250 FEET
2:1 AND STEEPER	20 FEET	125 FEET

NOTE: IN AREAS OF LESS THAN 2% SLOPE AND SANDY SOILS (USDA GENERAL CLASSIFICATION SYSTEM, SOIL CLASS A) MAXIMUM SLOPE LENGTH AND SILT FENCE LENGTH WILL BE UNLIMITED. IN THESE AREAS A SILT FENCE MAY BE THE ONLY PERIMETER CONTROL REQUIRED.

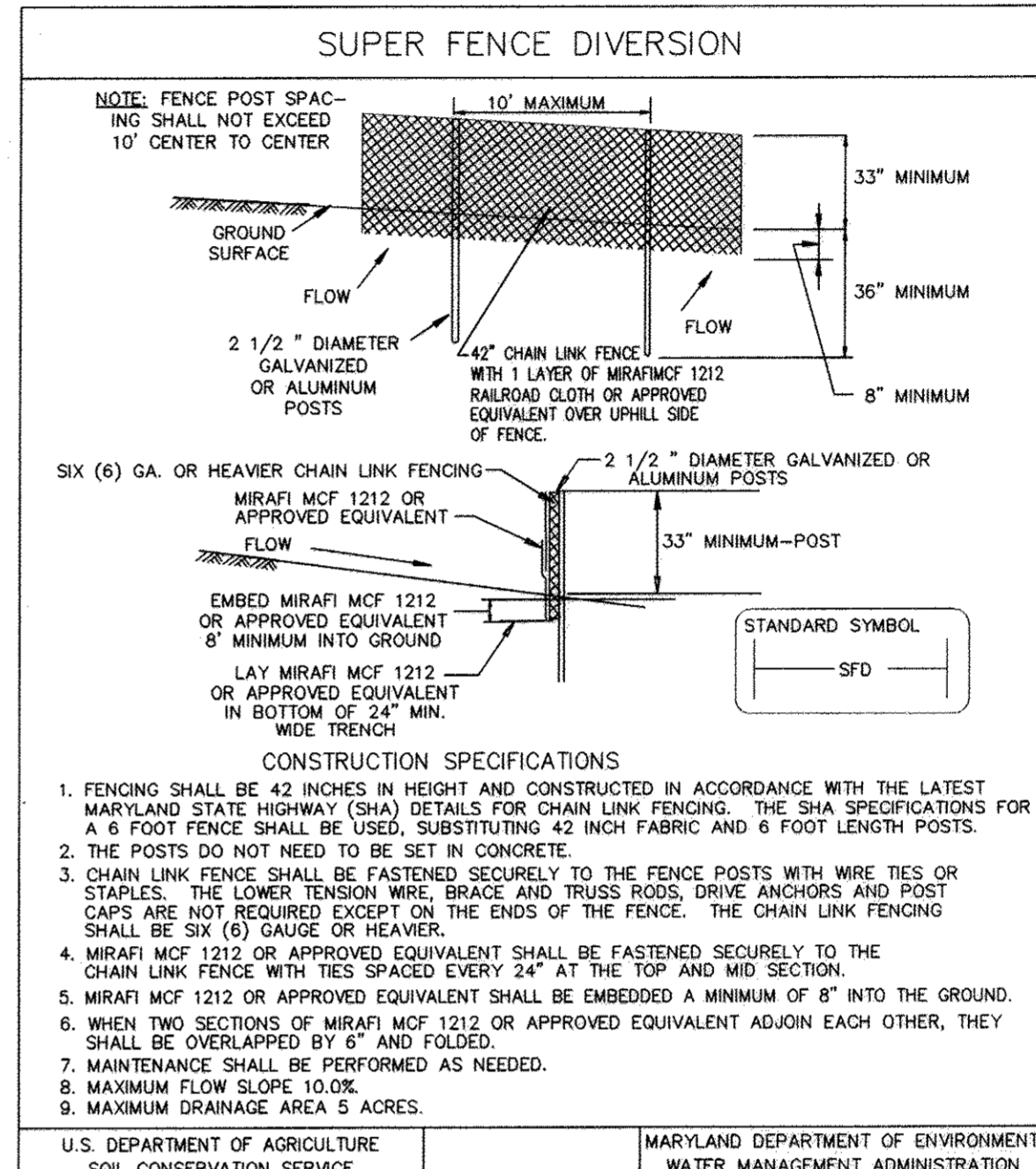
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE | PAGE E-15-3A | MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



SUPER SILT FENCE

DESIGN CRITERIA			
SLOPE	SLOPE STEEPNESS	SLOPE LENGTH (MAXIMUM)	SILT FENCE LENGTH (MAXIMUM)
0 - 10%	0 - 10:1	UNLIMITED	UNLIMITED
10 - 20%	10:1 - 5:1	200 FEET	1,500 FEET
20 - 33%	5:1 - 3:1	100 FEET	1,000 FEET
33 - 50%	3:1 - 2:1	100 FEET	500 FEET
50% +	2:1 +	50 FEET	250 FEET

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE | PAGE H-26-3A | MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

Denny Borstein 6/2/03
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

BY THE ENGINEER: *[Signature]* 11-19-02
SIGNATURE OF ENGINEER DATE

BY THE DEVELOPER: *[Signature]* 11/19/02
SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS.

[Signature] 5/29/03
U.S. NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS AS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 5/29/03
HOWARD S.C.D. DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 7/2/02
DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 7/2/02
CHIEF-DIVISION OF LAND DEVELOPMENT DATE

[Signature] 7/11/02
DIRECTOR DATE

CENTURY ENGINEERING, INC.
CONSULTING ENGINEERS, PLANNERS, SURVEYORS
32 WEST ROAD
TOWSON, MARYLAND 21204
(410) 823-8070

DATE	REVISION	BY	APPR.
3/10/04	REVISED SHEET NUMBER		
3/16/05	REVISED SHEET NUMBER	GLC	

PREPARED FOR:
ARCHDIOCESE OF BALTIMORE
OUR LADY OF PERPETUAL HELP
4805 ILCHESTER ROAD
ELLICOTT CITY, MARYLAND 21043

SEDIMENT CONTROL NOTES AND DETAILS

**OUR LADY OF PERPETUAL HELP
MULTIPURPOSE BUILDING**

5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE	ZONING	C.E.I. FILE No.
AS SHOWN	R-ED	20068.00
DATE	TAX MAP No.	SHEET
11/22/02	31	7 OF 12

HOWARD SOIL CONSERVATION DISTRICT

STANDARD SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
- Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes steeper than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7 of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding and mulching (Sec. G). Temporary stabilization with mulch alone shall only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total Area of Site	=	26.375 Acres
Area Disturbed	=	8.3 Acres Δ
Area to be roofed or paved	=	3.6 Acres
Area to be vegetatively stabilized	=	4.7 Acres Δ
Total Cut	=	4,000 Cu. Yds.
Total Fill	=	48,000 Cu. Yds. Δ
Offsite waste/borrow area location	=	N/A
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary, by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which shall be backfilled and stabilized within one working day, whichever is shorter.

HOWARD SOIL CONSERVATION DISTRICT

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons/acre dolomitic limestone (92,000 lbs/1000 sq. ft) and 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs/acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq. ft.).
- Acceptable - Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 1000 lbs/acre 10-10-10 fertilizer (23 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

Seeding - For the periods March 1 - April 30 and August 1 - October 15, seed with 60 lbs/acre (1.4 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May - July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs/acre (.05 lbs/1000 sq. ft.) of weeping lovegrass. During the period of October 16 - February 28, protect site by: Option 1 - Two tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option 2 - Use sod. Option 3 - Seed with 60 lbs/acre Kentucky 30 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq. ft.) for anchoring.

Maintenance: Inspect all seeding areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be re-disturbed where a short-term vegetative cover is needed.

Seedbed preparation - Loosen upper three inches of soil by raking, disking or other means before seeding, if not previously loosened.

Soil Amendments - Apply 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.).

Seeding - For period March 1 - April 30 from August 15 - October 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs/1000 sq. ft.). for the period May 1 - August 14, seed with 3 lbs/acre of weeping lovegrass (.07 lbs/1000 sq. ft.). For the period November 16 - February 28, protect site by applying 2 tons/acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching - Apply 1 1/2 tons/acre (70 to 90 lbs/1000 sq. ft.) of unrotted weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 ft. or higher, use 348 gal. per acre (8 gal/1000 sq. ft.) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.

SEQUENCE OF CONSTRUCTION

TIMETABLE

- OBTAIN GRADING PERMIT. 1 DAY
- NOTIFY HOWARD COUNTY DEPARTMENTS OF PERMITS & LICENSES, GRADING AND SEDIMENT CONTROL INSPECTIONS @ 313-1855 AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. 1 DAY
- CLEAR AND GRUB FOR SEDIMENT AND EROSION CONTROL MEASURES. 1 DAY
- INSTALL ALL SEDIMENT & EROSION CONTROL MEASURES OR DEVICES ONLY.* 3 DAYS
- NOTIFY HOWARD COUNTY DEPARTMENT OF PERMITS & LICENSES, GRADING AND SEDIMENT CONTROL INSPECTIONS @ 414-313-1855 UPON COMPLETION OF SAID INSTALLATION. 1 DAY
- BEGIN BUILDING CONSTRUCTION AND ASSOCIATED UTILITIES. SEE UTILITY NOTES FOR RESTRICTIONS. 3 MONTHS
- CONSTRUCT ENTRANCES MAINTAINING ACCESS AT ALL TIMES TO CHURCH AND SCHOOL. 2 WEEKS
- GRADE LOWER PARKING AREA AND CONSTRUCT WALL. 3 WEEKS
- FINE GRADE GARDEN AND GRASS AREAS AND CONSTRUCT SIDEWALKS AND OVERLAY EXISTING PAVED AREAS. 1 WEEK
- FINAL PAVE NEW PARKING AREAS. INSPECTOR, CLEAR AND GRUB REMAINDER OF THE SITE AS REQUIRED. 1 WEEK
- STABILIZE ALL REMAINING AREAS. 2 DAYS
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR REMOVE ALL REMAINING SEDIMENT CONTROLS. SITE AS REQUIRED. 2 DAYS

SEQUENCE OF CONSTRUCTION FOR BALL FIELD STOCKPILE

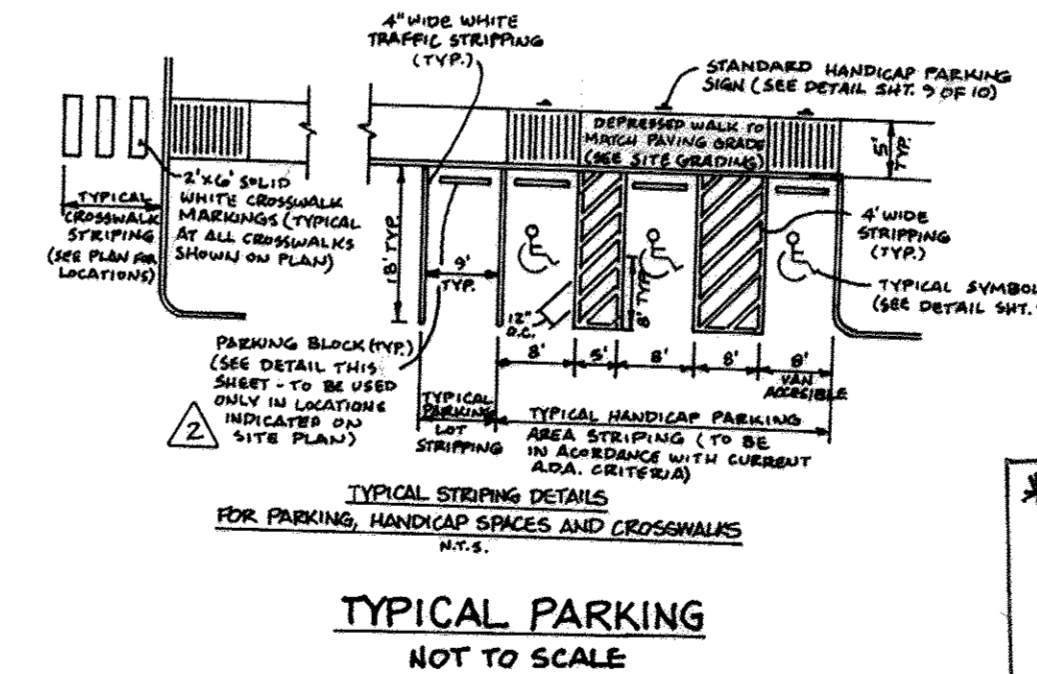
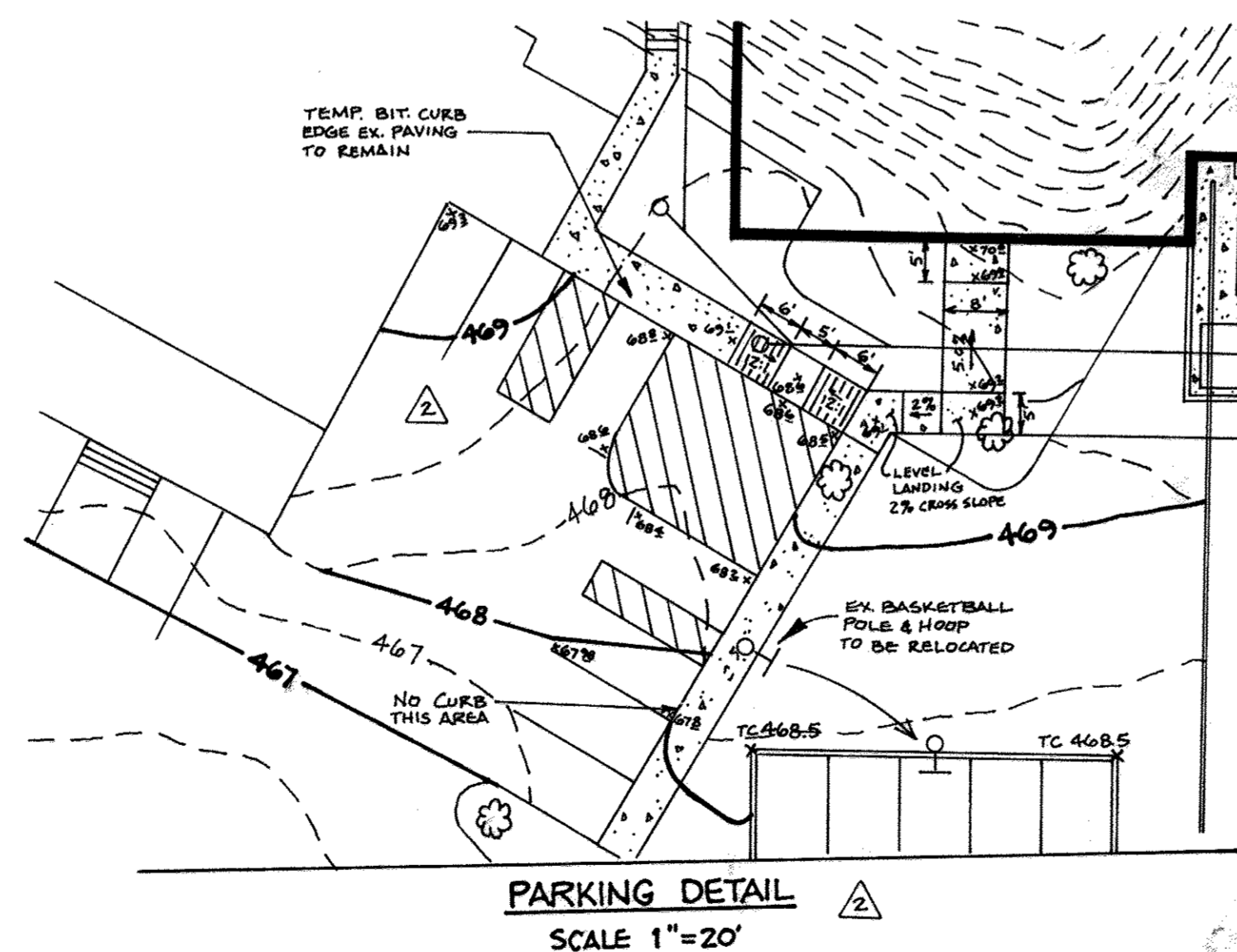
- NOTIFY HOWARD COUNTY DEPARTMENT OF PERMITS & LICENSES, GRADING AND SEDIMENT CONTROL INSPECTIONS @ (410) 313-1855 AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. 1 DAY
- CLEAR AND GRUB FOR SEDIMENT TRAP. 1 DAY
- INSTALL SEDIMENT TRAP. 3 DAYS
- STRIP AND STOCKPILE ALL TOPSOIL. 1 WEEK
- PERFORM INITIAL GRADING PER SEQUENCE. 1 MONTH ON SHEET 9.
- CONTINUE GRADING OPERATION WITHIN THE LIMIT OF DISTURBANCE, STRIPPING AND STOCKPILING TOPSOIL IN EACH AREA OF NEW DISTURBANCE, WITH MAINTENANCE OF POSITIVE DRAINAGE TO THE TRAP UPON SEDIMENT CONTROL INSPECTOR'S APPROVAL, FILL MAY BE PLACED IN ANY AREA WITHIN THE LIMIT OF DISTURBANCE AT ANY CONFIGURATION (E.G., SURFACE AREA AND HEIGHT) PROVIDED THAT POSITIVE DRAINAGE IS MAINTAINED TO THE TRAP. FILL MATERIAL THAT WILL REMAIN IN PLACE (WITHIN NOTED EXCLUSIONS) SHALL COMPLY WITH SPECIFICATION BELOW.
- UPON COMPLETION OF ALL GRADING, WITH THE SEDIMENT CONTROL INSPECTOR'S APPROVAL, STABILIZE ALL AFFECTED AREAS. 3 DAYS
- WITH THE SEDIMENT CONTROL INSPECTOR'S APPROVAL, RECLAIM THE SEDIMENT TRAP TO GRADES PRIOR TO CONSTRUCTION AND VEGETATIVELY STABILIZE ALL AFFECTED AREAS. 2 DAYS
- INSTALL SILT FENCE WHEN REQUIRED PER "INITIAL GRADING SEQUENCE OF CONSTRUCTION" ON SHEET 9.

UTILITY NOTES

- CONTRACTOR SHOULD OPEN THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE) THE TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

SPECIFICATION FOR FILL TO REMAIN IN PLACE

FILL TO REMAIN IN PLACE (WHICH EXCLUDES ALL BERMS AND CHANNELS; NOTED TEMPORARY AND PERMANENT SIDE SLOPES ON SHEETS 2 AND 9) SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D 698 (STANDARD PROCTOR). SEE SHEET 2 AND 9 FOR COMPACTION REQUIREMENTS FOR BERMS, CHANNELS AND SIDE SLOPES.



*SEAL 2253B FOR REVISION A ONLY

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer
 HOWARD COUNTY HEALTH DEPARTMENT
 DATE 6/27/03

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: [Signature]
 DATE: 11-19-02

BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: [Signature]
 DATE: 11/19/02

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS.
 Signature: [Signature]
 DATE: 5/29/03

U.S. NATURAL RESOURCES CONSERVATION SERVICE
 Signature: [Signature]
 DATE: 5/29/03

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Signature: [Signature]
 DATE: 7/2/02

Signature: [Signature]
 DATE: 7/11/02

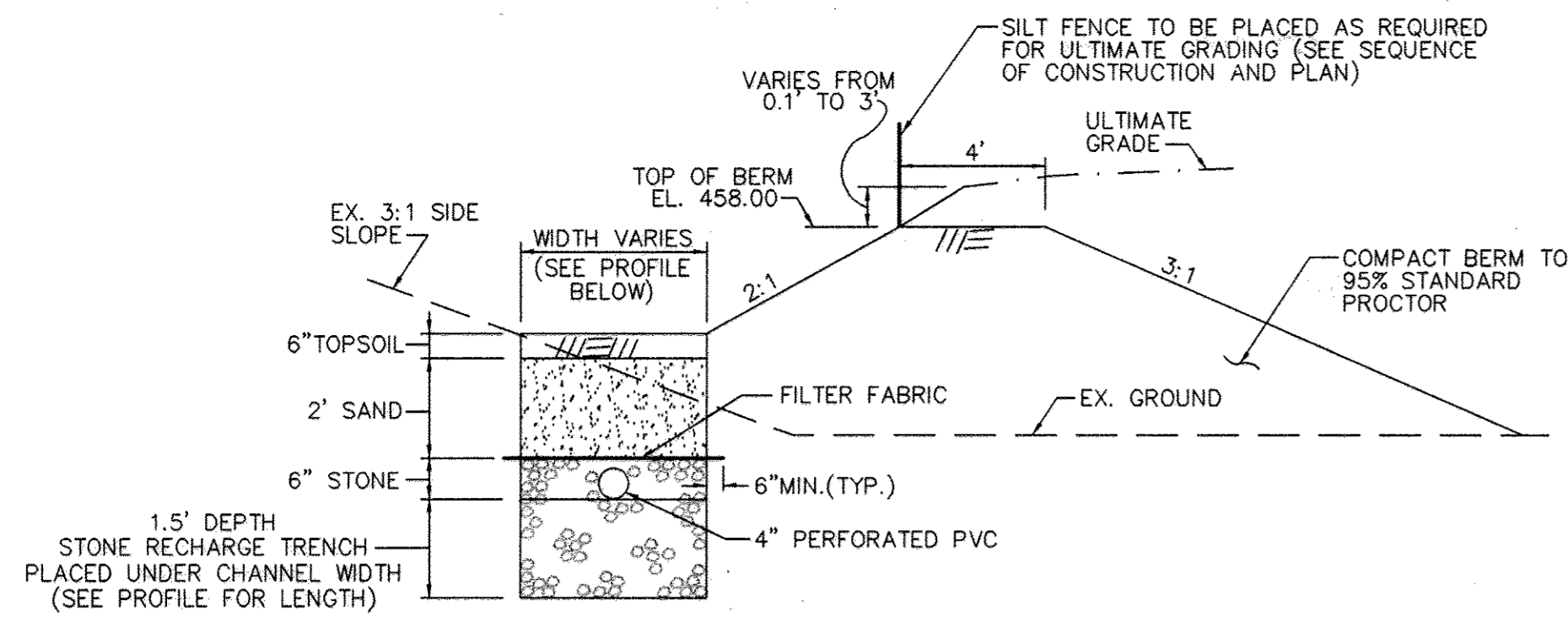
CENTURY ENGINEERING, INC.
 CONSULTING ENGINEERS, PLANNERS, SURVEYORS
 32 WEST ROAD
 TOWSON, MARYLAND 21204
 (410) 823-8070

DATE	REVISION	BY	APP'R.
9/24/03	REVISD AREA DISTURBED UNDER SITE ANALYSIS.		
12/10/03	ADDED PARKING DETAIL AND TYPICAL PARKING		
3/16/04	REVISD SITE ANALYSIS; ADDED SEQUENCE OF CONSTRUCTION FOR BALL FIELD STOCKPILE; REVISED SHEET NUMBER.		
3/16/15	REVISED SHEET NUMBER	GLC	

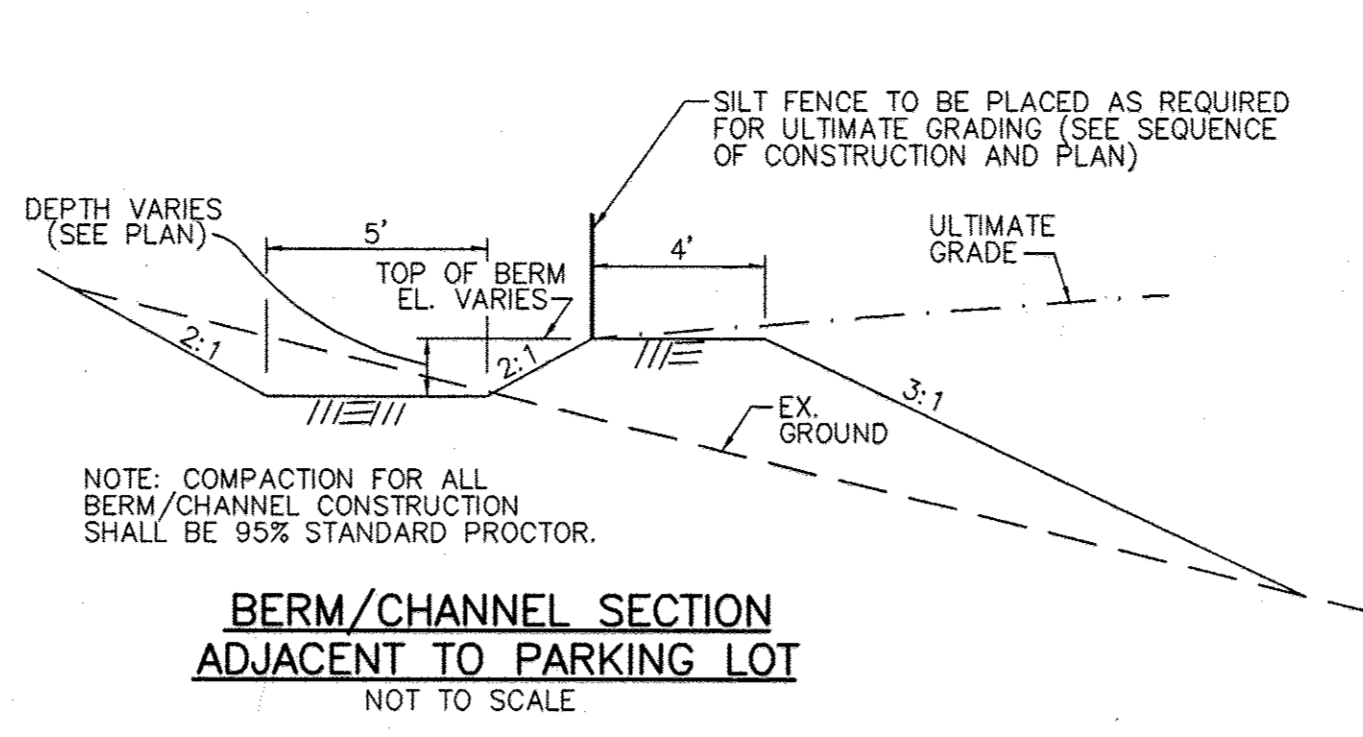
PREPARED FOR:
 ARCHDIOCESE OF BALTIMORE
 OUR LADY OF PERPETUAL HELP
 4805 ILCHESTER ROAD
 ELLICOTT CITY, MARYLAND 21043

SEDIMENT CONTROL NOTES AND DETAILS
 OUR LADY OF PERPETUAL HELP
 MULTIPURPOSE BUILDING
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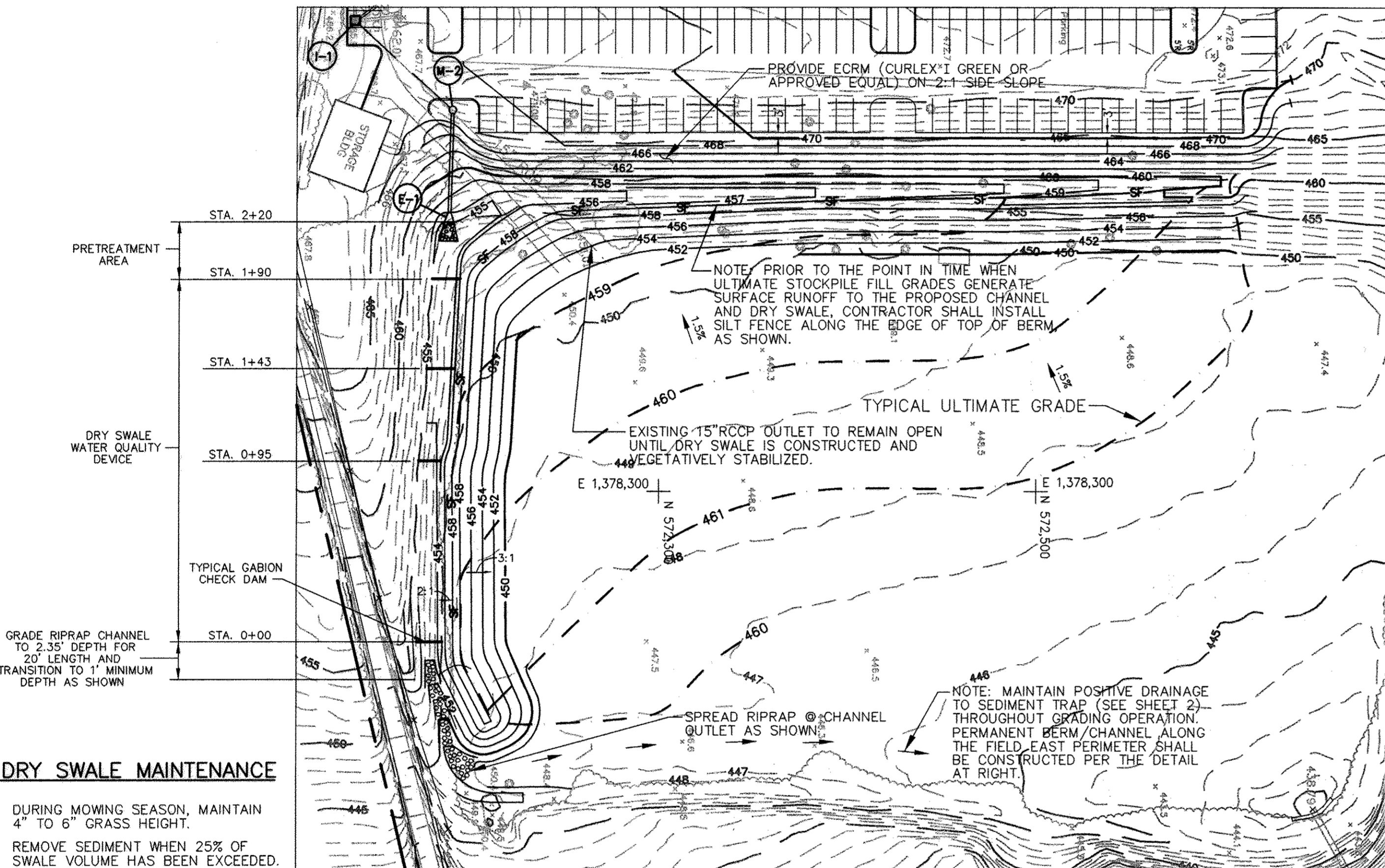
SCALE	ZONING	C.E.I. FILE No.
AS SHOWN	R-ED	20068.00
DATE	TAX MAP No.	SHEET
11/22/02	31	8 OF 12



DRY SWALE AND BERM SECTION
NOT TO SCALE



BERM/CHANNEL SECTION ADJACENT TO PARKING LOT
NOT TO SCALE



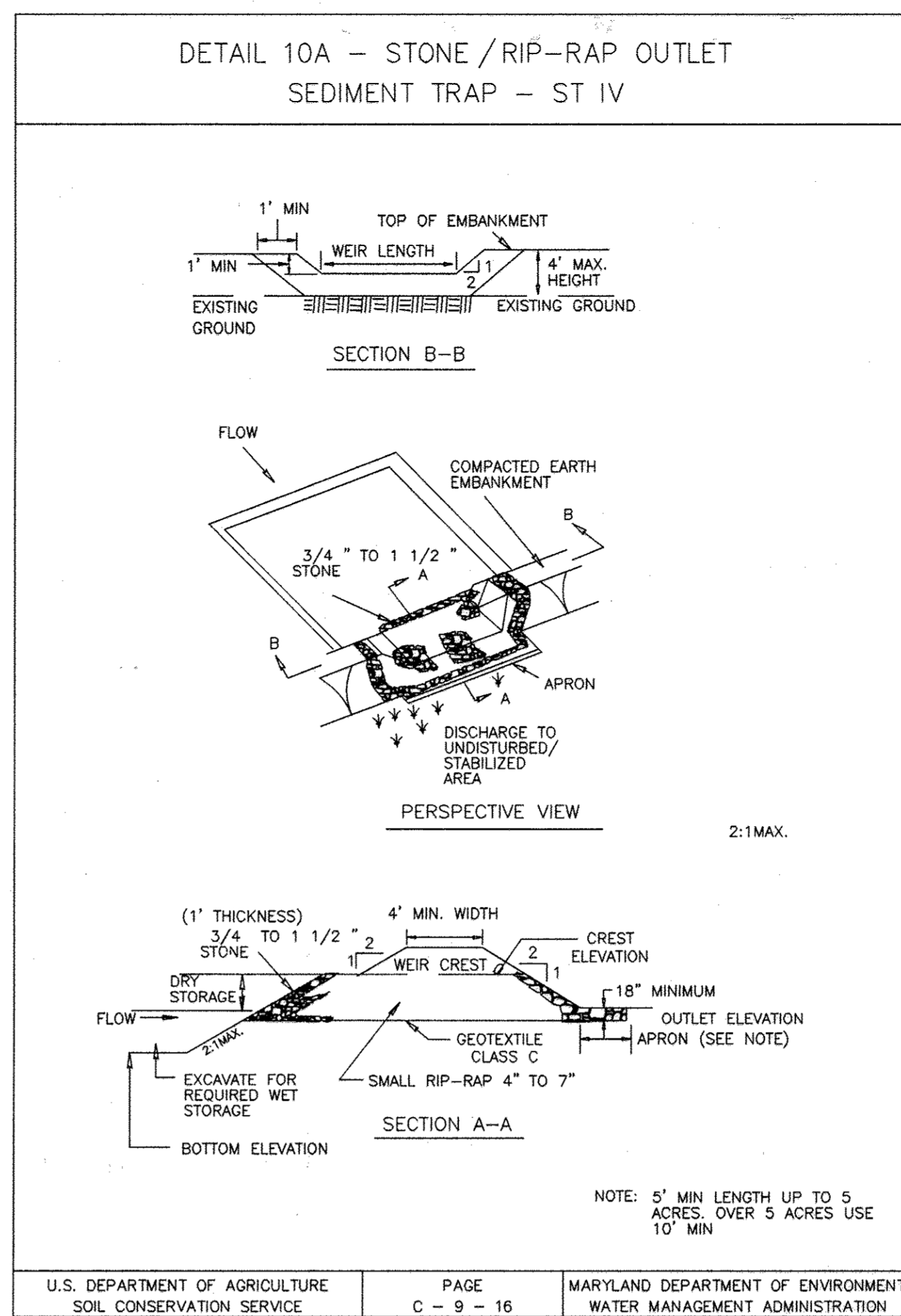
INITIAL GRADING SEQUENCE OF CONSTRUCTION

- PERFORM ITEMS 1-4 IN "SEQUENCE OF CONSTRUCTION FOR BALL FIELD STOCKPILE" ON SHEET 8.
- BEGIN CONSTRUCTION OF BERM/CHANNEL ADJACENT TO PARKING LOT. KEEP EX. 15" RCCP OPEN, MAINTAIN SEPARATION OF RUNOFF FROM OTHER ON-SITE PAVED AREAS WITH TEMPORARY MEASURES AS REQUIRED, AND INSTALL THE DRY SWALE (INCLUDING ADJACENT BERM TO THE EXTENT POSSIBLE) PER PLAN, SECTION AND PROFILE ON THIS SHEET. INSTALL RIPRAP CHANNEL, COMPLETE INSTALLATION OF DRY SWALE SUBGRADE MATERIAL AS EXPEDITIOUSLY AS POSSIBLE, PLACE TOPSOIL AND VEGETATIVELY STABILIZE SWALE AND ADJACENT BERM SLOPE, SUBGRADE PERMEABLE MATERIAL IN THE DRY SWALE SECTION, CONTAMINATED WITH SEDIMENT, SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- INSTALL STORM DRAIN SYSTEM FROM M-2 TO E-1. REMOVE AND ABANDON EX. 15" RCCP AS REQUIRED (PER SHEET 5 PROFILE). COMPLETE BERM/CHANNEL ADJACENT TO PARKING LOT, AND VEGETATIVELY STABILIZE ALL AFFECTED AREAS.
- CONTINUE GRADING OPERATION PER ITEMS 6-8 IN "SEQUENCE OF CONSTRUCTION FOR BALL FIELD STOCKPILE" ON SHEET 8. INSTALL SILT FENCE AS SHOWN HEREON, WHEN REQUIRED.

APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT

John R. Blanton 6/17/04

SEAL 22538 FOR REVISION ONLY



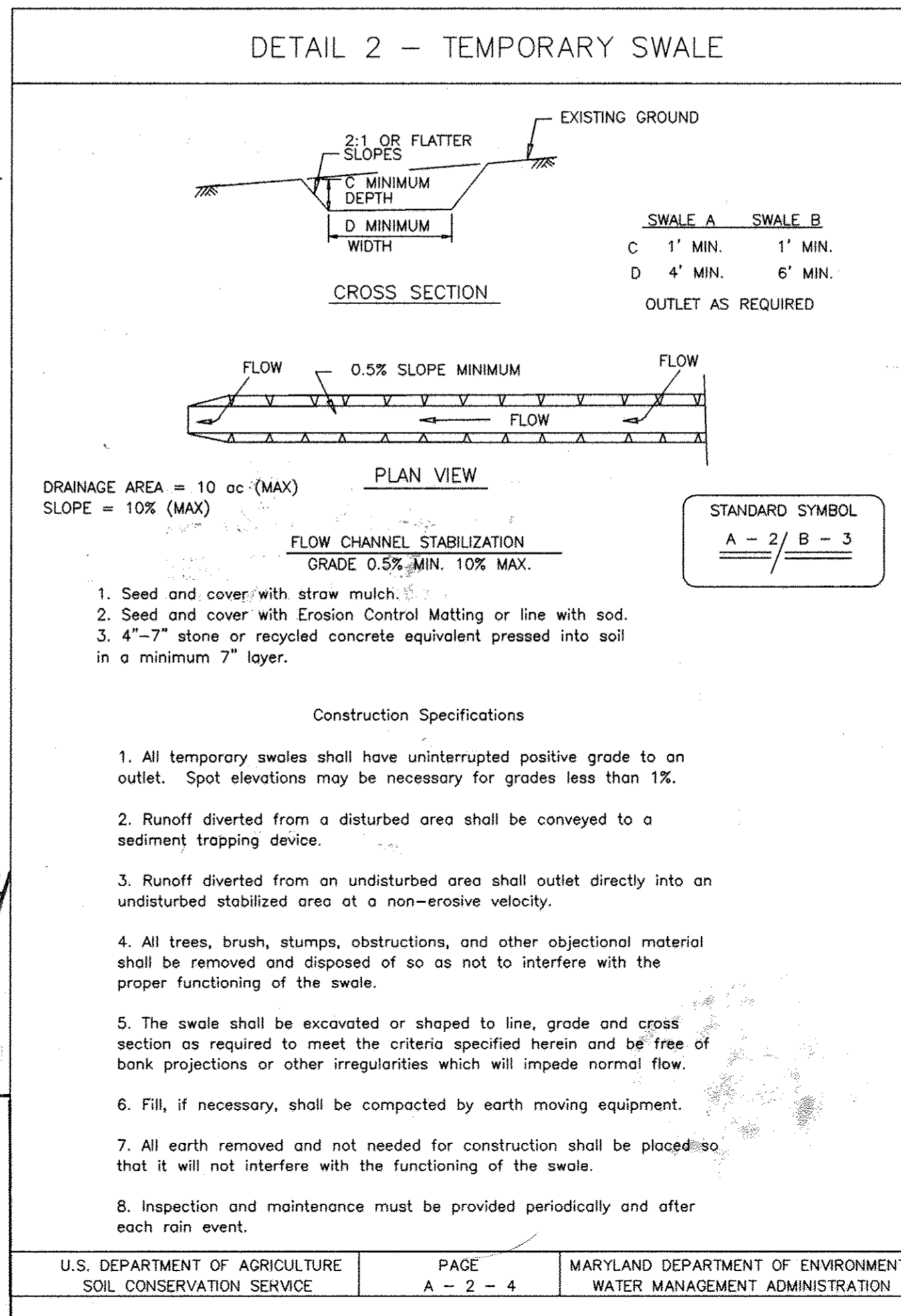
STONE / RIP-RAP OUTLET SEDIMENT TRAP - ST IV

Construction Specifications

- The area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
- The fill material for the embankment shall be free of roots or other woody vegetation as well as over-sized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed. Maximum height of embankment shall be 4', measured at centerline of embankment.
- All cut and fill slopes shall be 2:1 or flatter.
- Elevation of the top of any dike directing water into trap must equal or exceed the height of trap embankment.
- Storage area provided shall be figured by computing the volume measured from top of excavation. (For storage requirements see Table 9).
- Geotextile Class C shall be placed over the bottom and sides of the outlet channel prior to placement of stone. Section of fabric must overlap at least 1' with section nearest the entrance placed on top. Fabric shall be embedded at least 6" into existing ground at entrance of outlet channel.
- 4" - 7" stone shall be used to construct the weir and 4" - 12" or Class I rip-rap shall be used to construct the outlet weir.
- Outlet - An outlet shall include a means of conveying the discharge in an erosion free manner to an existing stable channel. Protection against scour at the discharge point shall be provided as necessary.
- Outlet channel must have positive drainage from the trap.
- Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 of the wet storage depth of the trap (900 cf/ac). Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
- The structure shall be inspected periodically after each rain and repaired as needed.
- Construction of traps shall be carried out in such a manner that sediment pollution is abated. Once constructed, the top and outside face of the embankment shall be stabilized with seed and mulch. Points of concentrated inflow shall be protected in accordance with Grade Stabilization Structure criteria. The remainder of the interior slopes should be stabilized (one time) with seed and mulch upon trap completion and monitored and maintained erosion free during the life of the trap.
- The structure shall be dewatered by approved methods, removed and the area stabilized when the drainage area has been properly stabilized.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE C-9-16 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

- DRY SWALE MAINTENANCE**
- DURING MOWING SEASON, MAINTAIN 4" TO 6" GRASS HEIGHT.
 - REMOVE SEDIMENT WHEN 25% OF SWALE VOLUME HAS BEEN EXCEEDED.



BERM/CHANNEL SECTION ALONG FIELD EAST PERIMETER
NOT TO SCALE

RIPRAP CHANNEL SECTION
NOT TO SCALE

NOTE: RIPRAP CHANNEL SUBGRADE SHALL BE COMPACTED TO 95% STANDARD PROCTOR.

NOTE: THIS SHEET HAS BEEN ADDED TO THE SET OF THE ORIGINAL 10 SHEETS UNDER APPROVED SDP-02-97 TO SHOW THE INITIAL GRADING PLAN FOR BALL FIELD STOCKPILE FINISHED GRADES UNDER REVISION #2 ON SHEET 2. SWM PLAN AND SECTIONS FOR THE DRY SWALE AND SEDIMENT CONTROL DETAILS FOR MEASURES ADDED UNDER REVISION #2 ON SHEET 2 ARE SHOWN, AS REQUIRED.

APPROVED FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC/OR PRIVATE SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

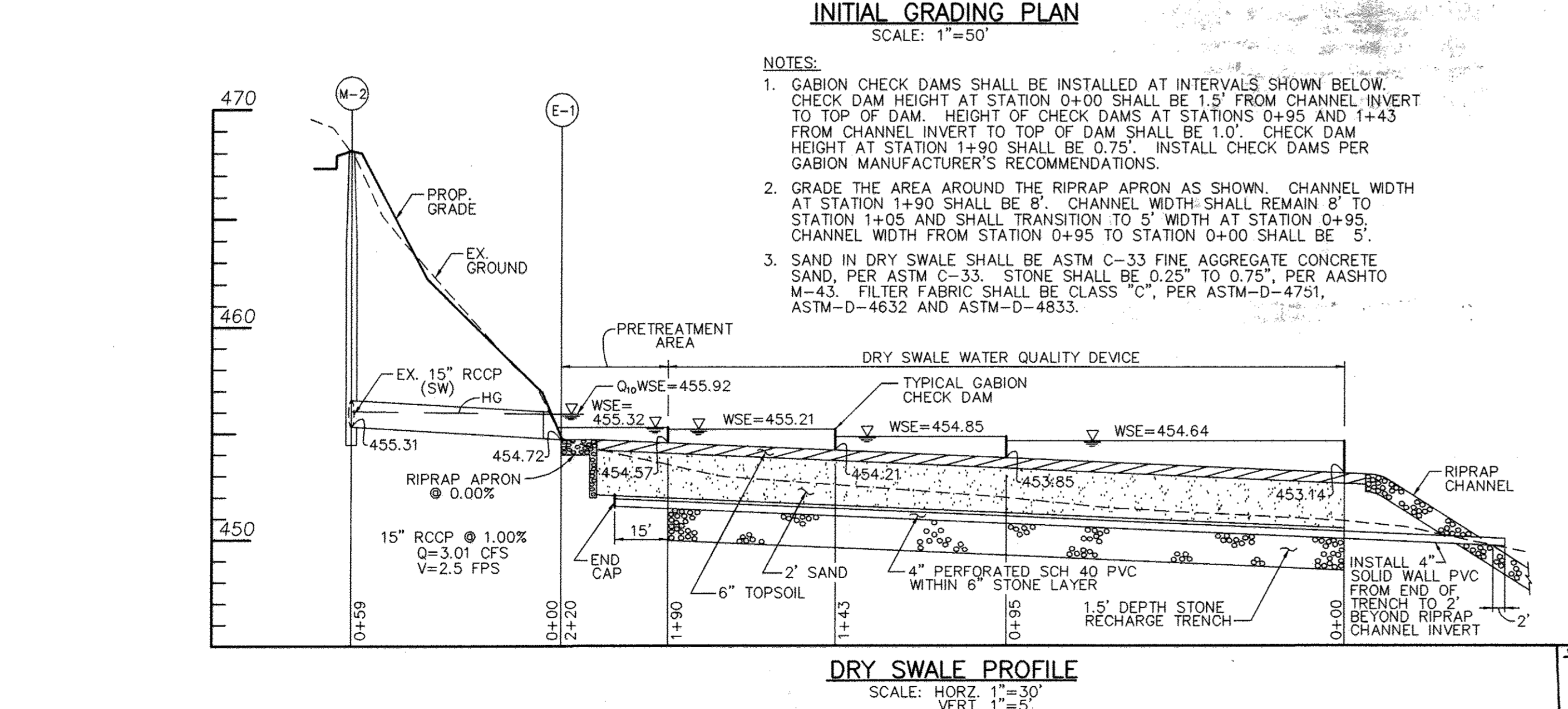
APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF-DEVELOPMENT ENGINEERING DIVISION
Chris J. Smith 6/17/04

CHIEF-DIVISION OF LAND DEVELOPMENT
David A. Wright 6/17/04

DIRECTOR
Michael Armstrong 5/18/04

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE A-2-4 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



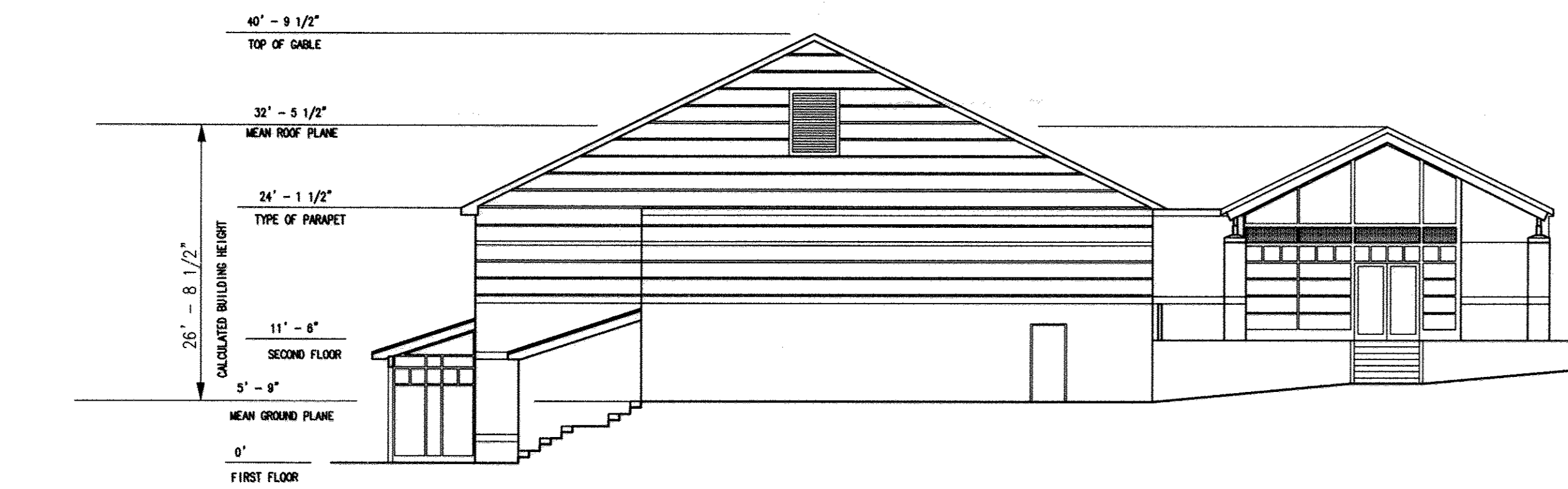
CENTURY ENGINEERING, INC.
CONSULTING ENGINEERS, PLANNERS, SURVEYORS
32 WEST ROAD
TOWSON, MARYLAND 21204
(410) 823-8070

DATE	REVISED SHEET NUMBER	REVISION	BY	APPR.
6/16/04			GIC	

PREPARED FOR:
ARCHDIOCESE OF BALTIMORE
OUR LADY OF PERPETUAL HELP
4805 ILCHESTER ROAD
ELLCOTT CITY, MARYLAND 21043

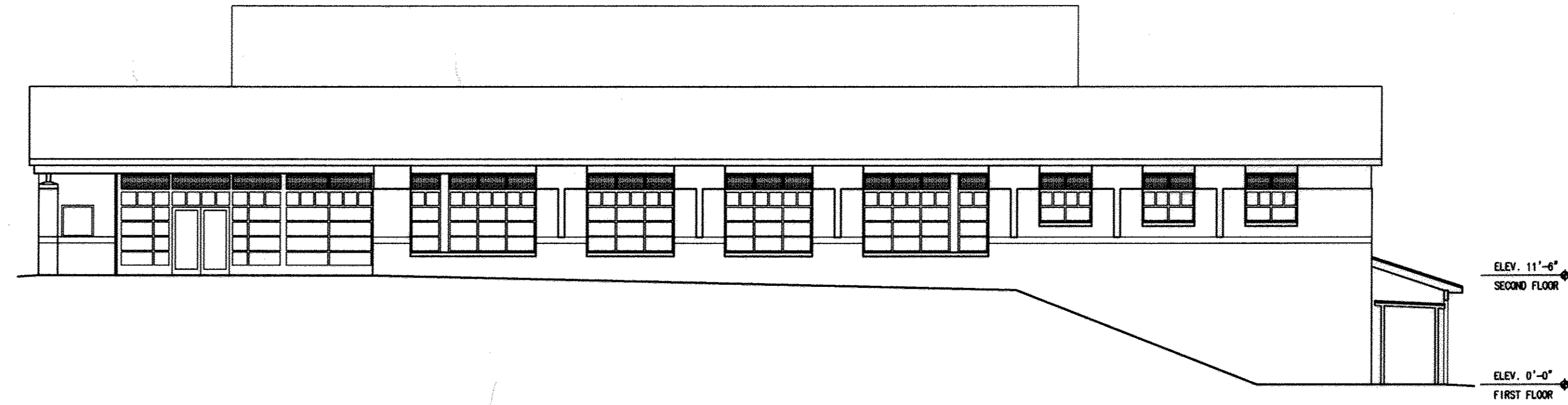
SWM AND SEDIMENT CONTROL DETAILS ("REVISED SDP")
OUR LADY OF PERPETUAL HELP MULTIPURPOSE BUILDING
ELLCOTT CITY, MARYLAND
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE	ZONING	C.E.I. FILE No.
AS SHOWN	R-ED	20068.00
DATE	TAX MAP No.	SHEET
2/28/04	31	9 OF 12



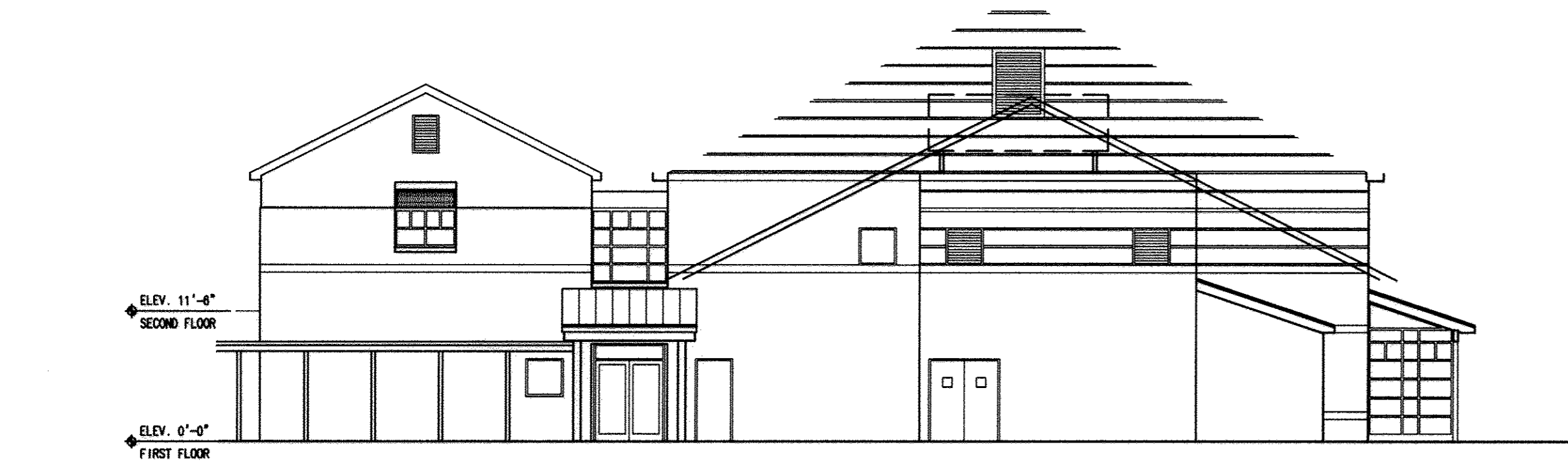
NORTH ELEVATION
NOT TO SCALE

111



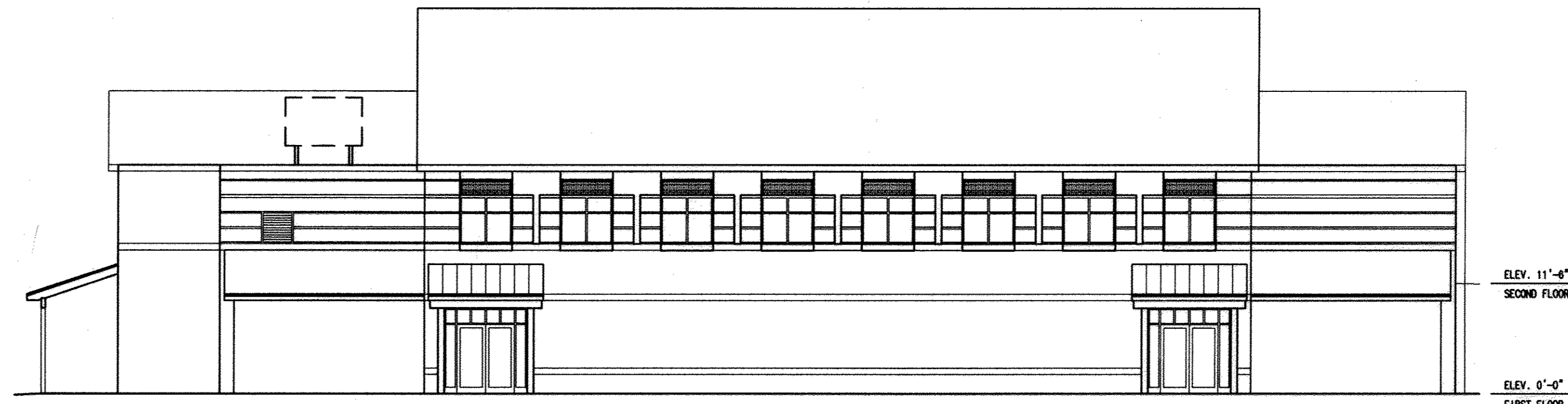
WEST ELEVATION
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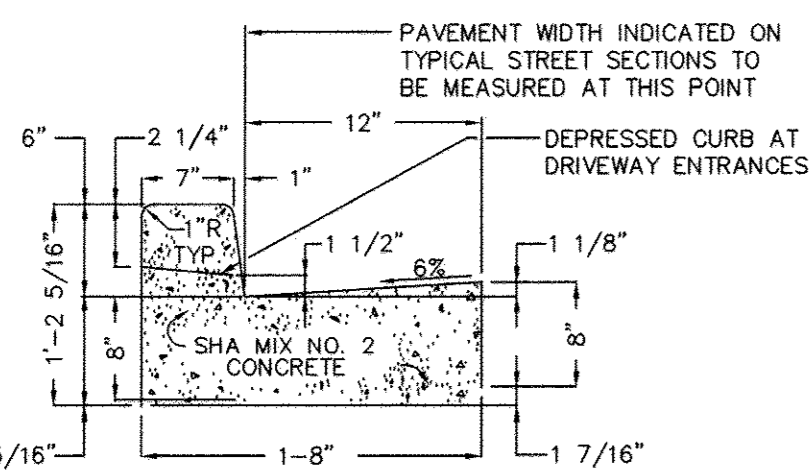
SOUTH ELEVATION
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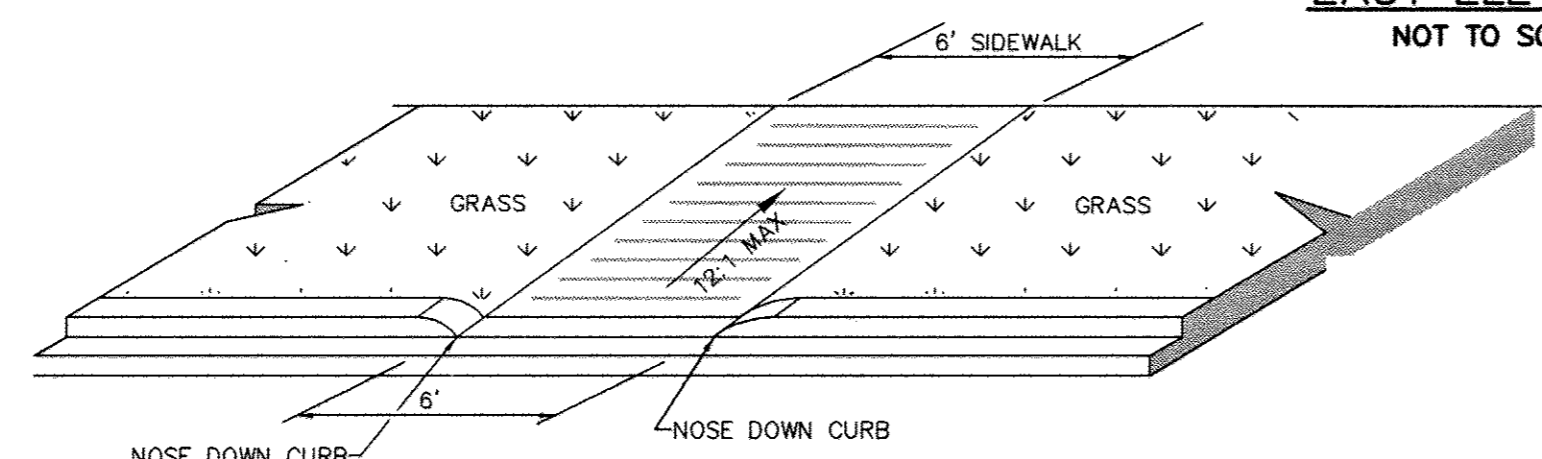


EAST ELEVATION
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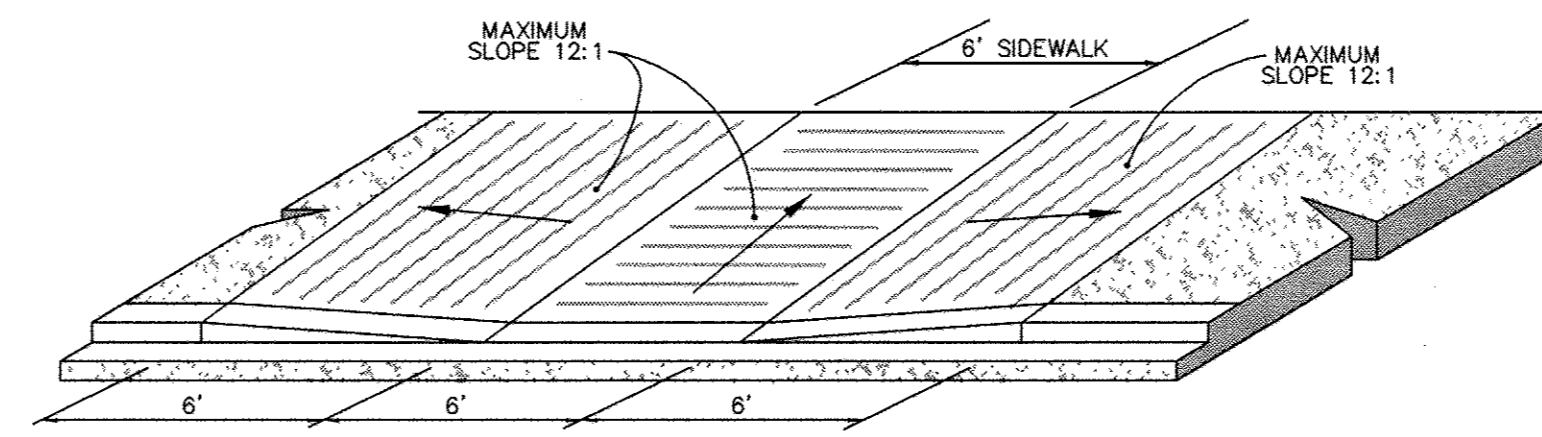
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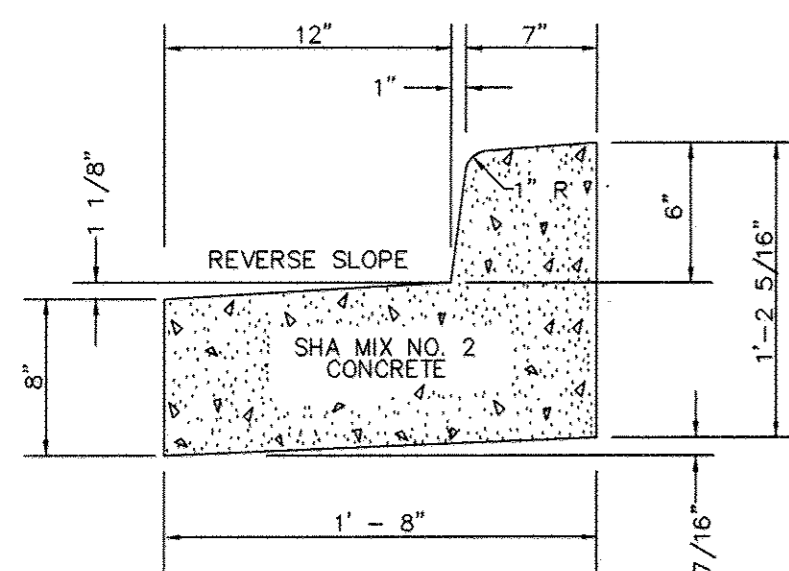
STANDARD 6" COMBINATION CURB AND GUTTER
NOT TO SCALE



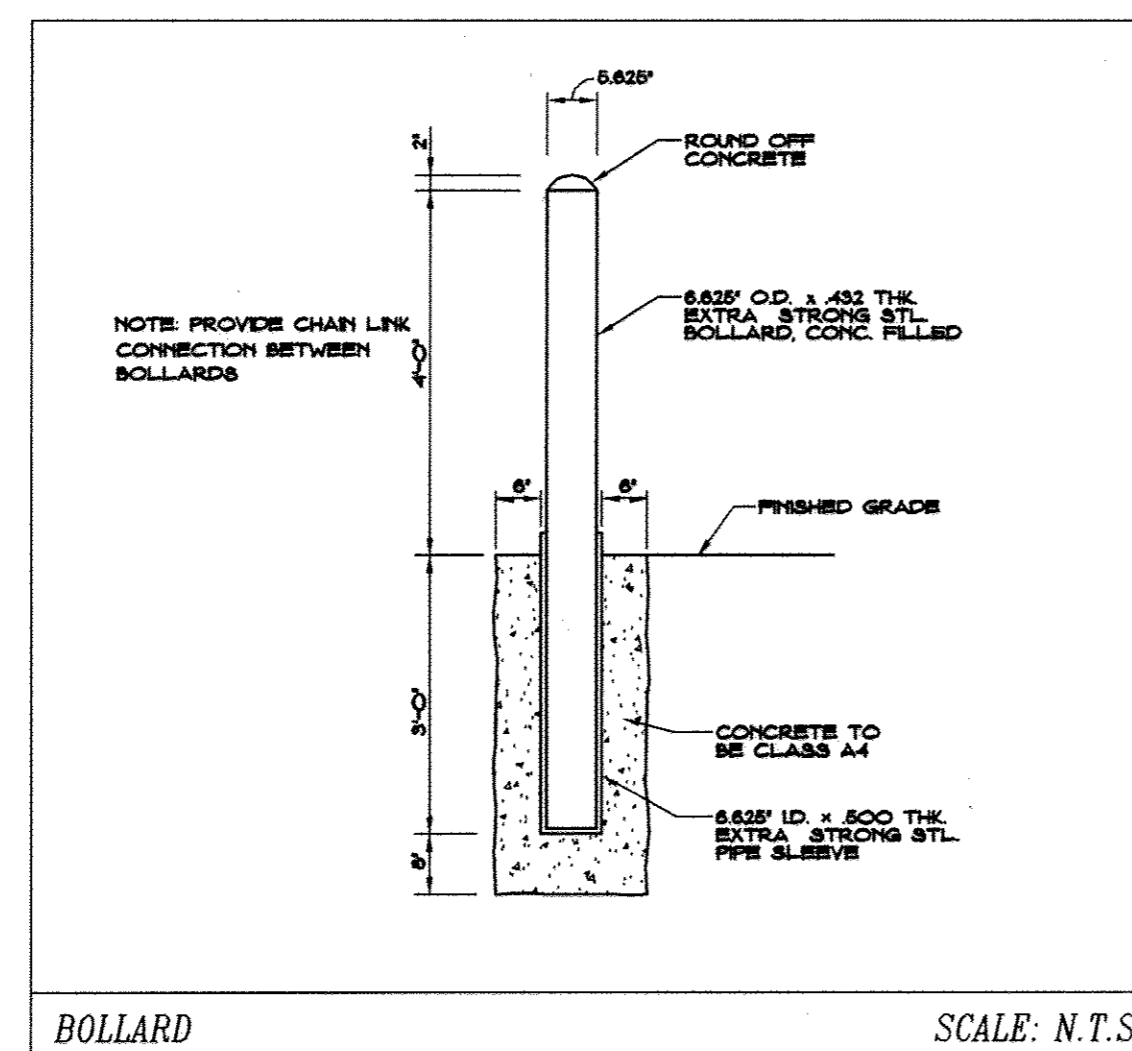
HANDICAP RAMP DETAIL
NOT TO SCALE



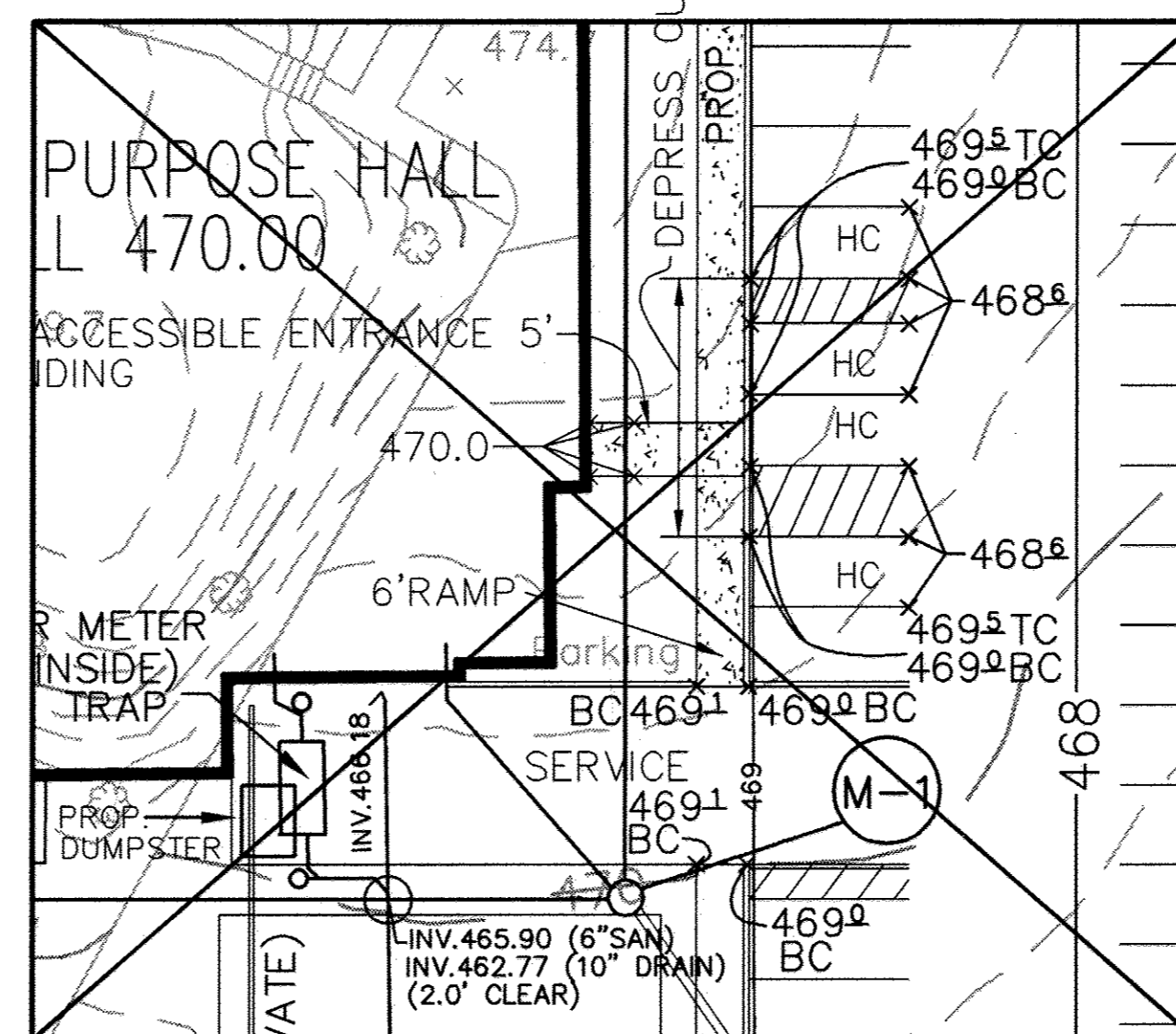
HANDICAP RAMP DETAIL
NOT TO SCALE



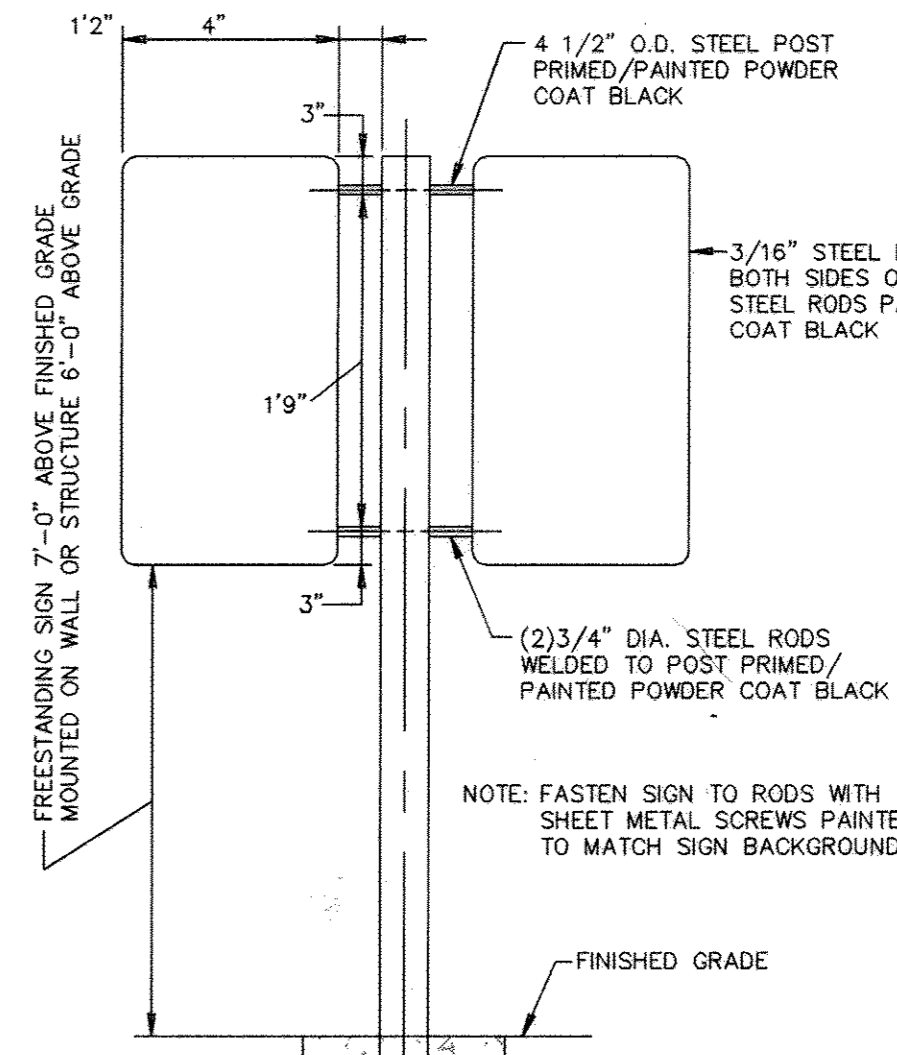
REVERSE 6" COMBINATION CURB AND GUTTER
NOT TO SCALE



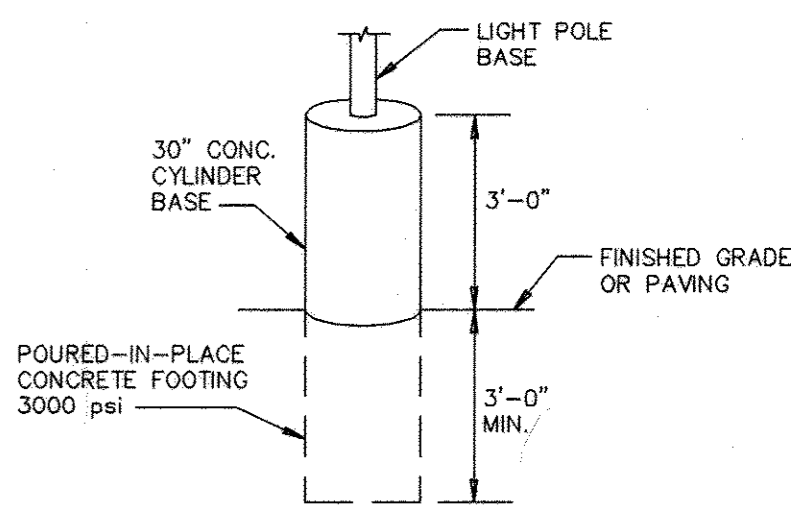
BOLLARD
SCALE: N.T.S.



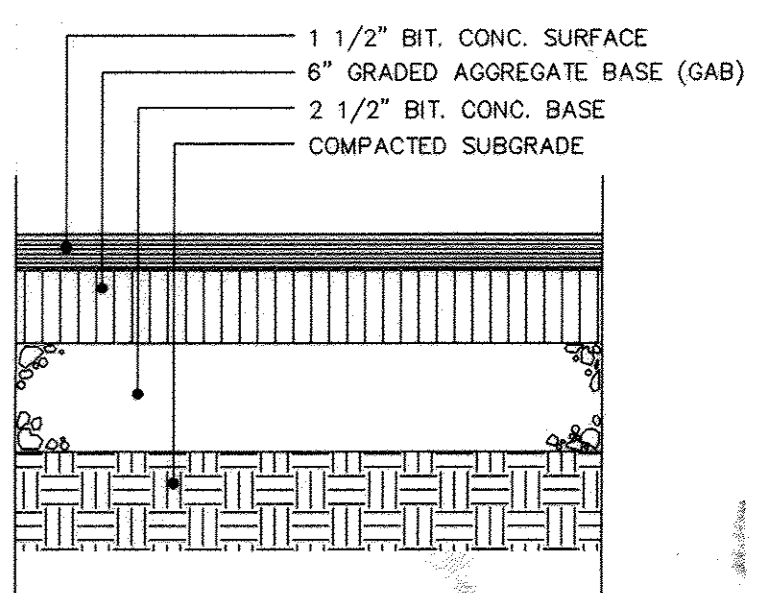
PARKING DETAIL
SCALE 1" = 20"



HANDICAPPED SIGN POST
NOT TO SCALE



CONCRETE LIGHT POLE ISLAND
NOT TO SCALE



HOWARD COUNTY P-2 PAVING SECTION
NOT TO SCALE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
Penny Brewster M.D. 6/27/03
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
Chris Hamata 7/16/03
CHIEF-DIVISION OF LAND DEVELOPMENT
Mark D. Taylor 7/14/03
DIRECTOR

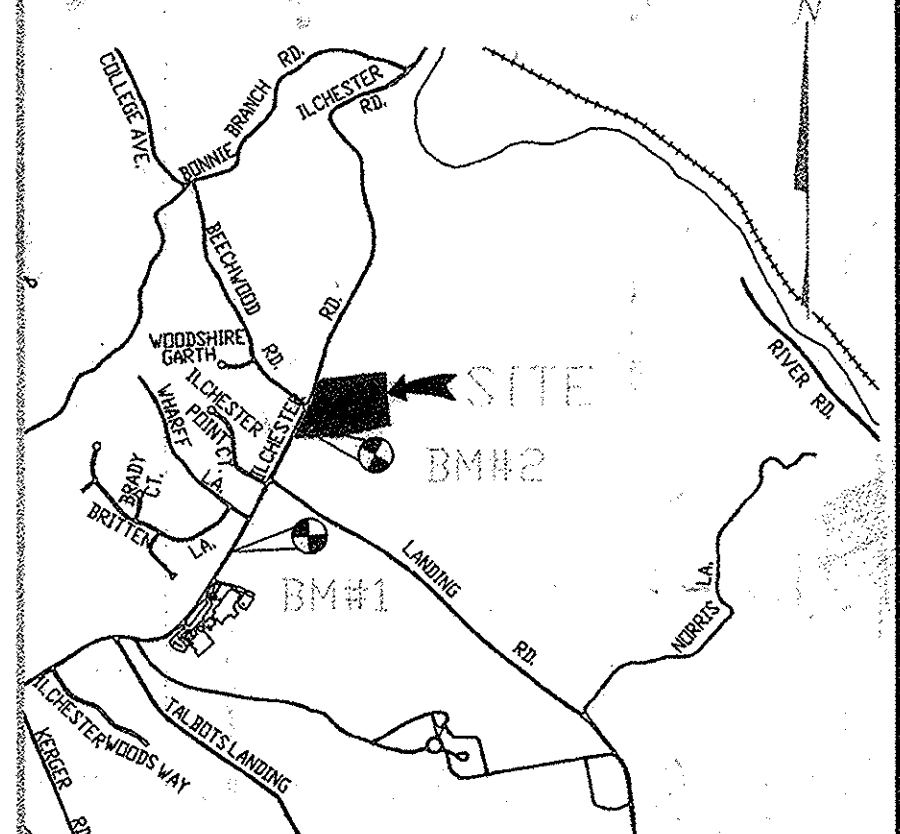
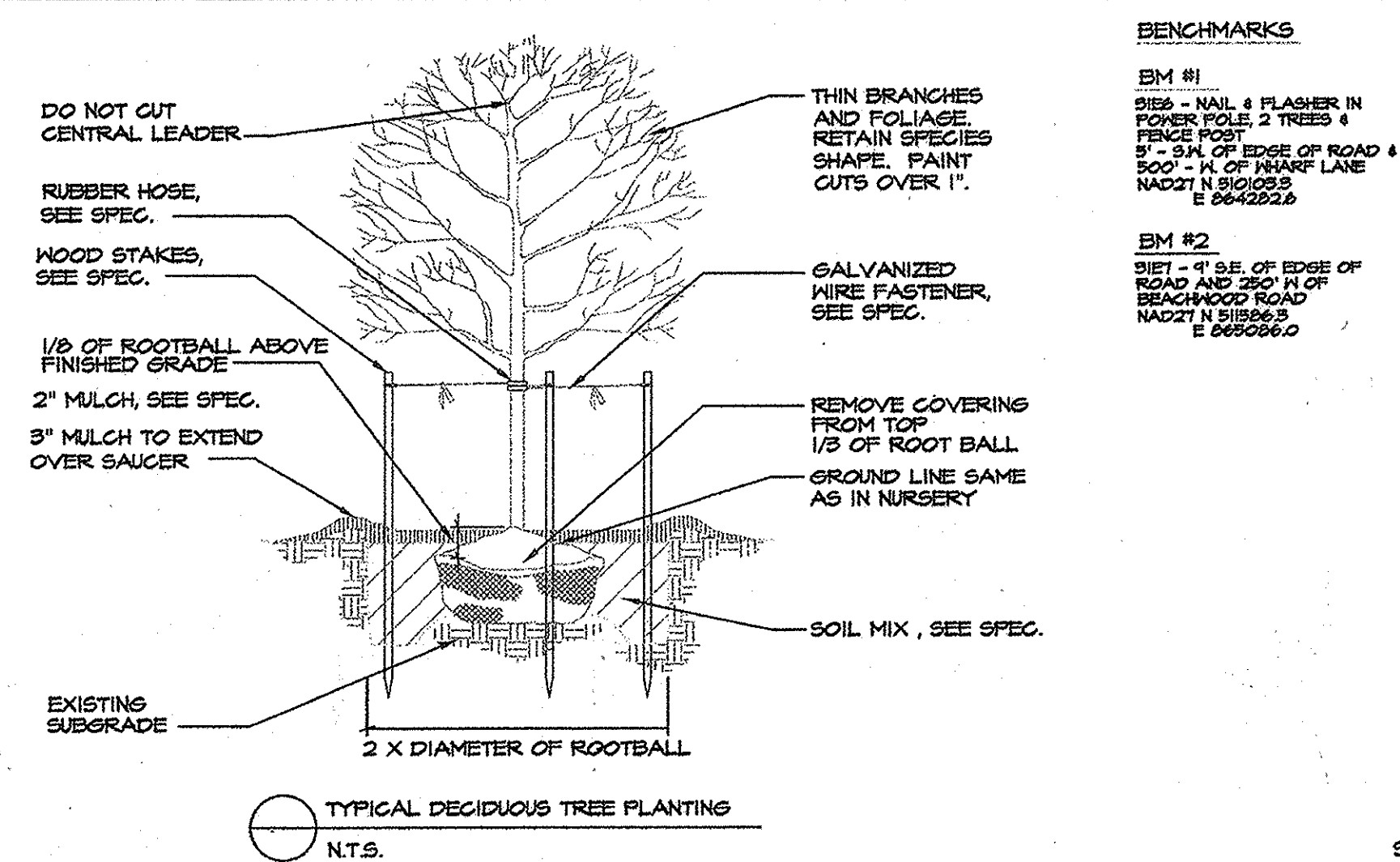
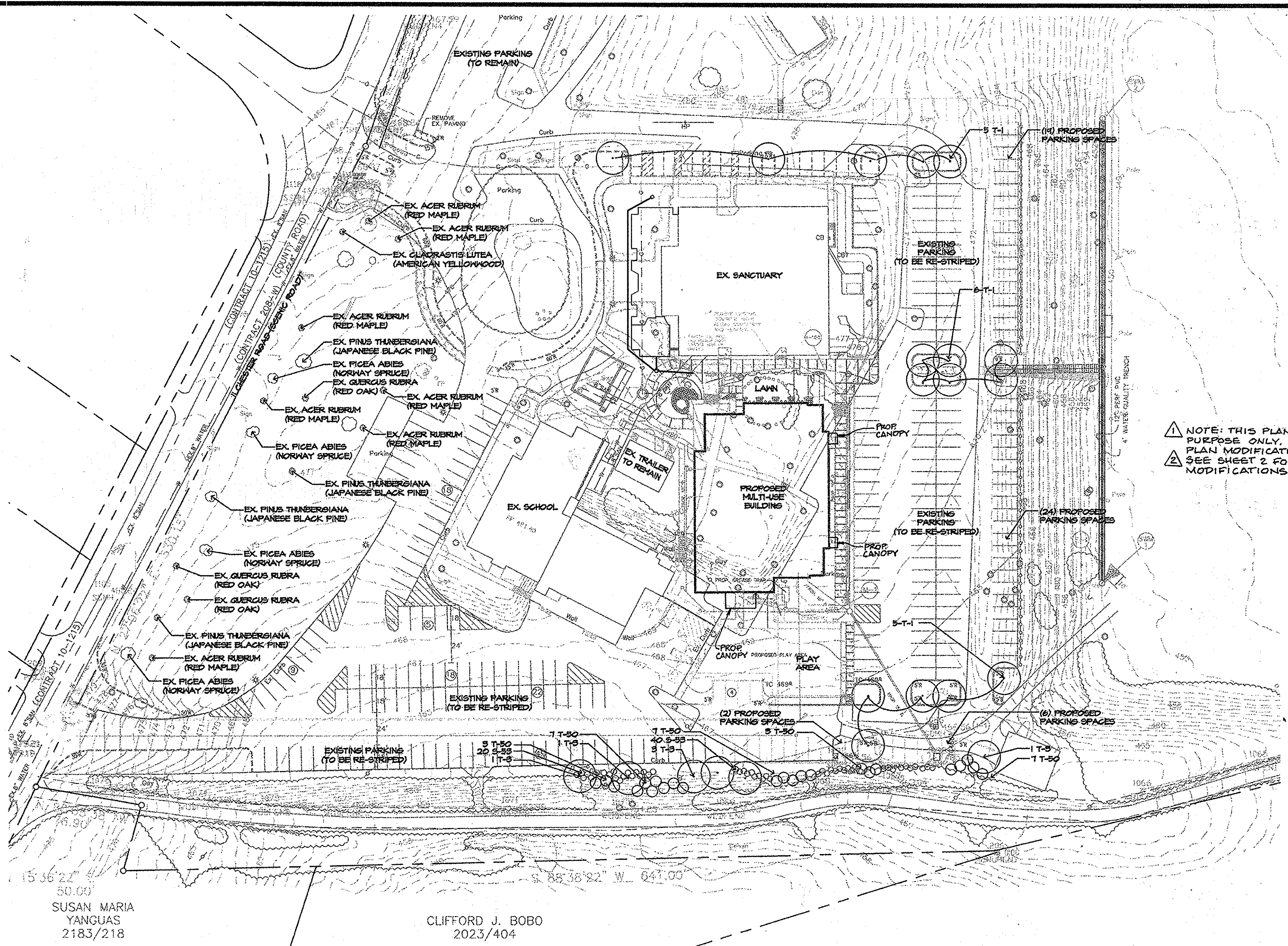
CENTURY ENGINEERING, INC.
CONSULTING ENGINEERS, PLANNERS, SURVEYORS
32 WEST ROAD
TOWSON, MARYLAND 21204
(410) 823-8070

DATE	REVISION	BY	APP'R.
9/24/03	DELETED "PARKING DETAIL". SEE SHEET 3 FOR PLAN MODIFICATIONS UNDER REVISION 1.		
12/10/03	DELETED "TYPICAL PARKING" DETAIL. SEE SHEET 8 FOR PARKING MODIFICATIONS UNDER REVISION 2.		
3/16/15	REVISED SHEET NUMBER	Glc	

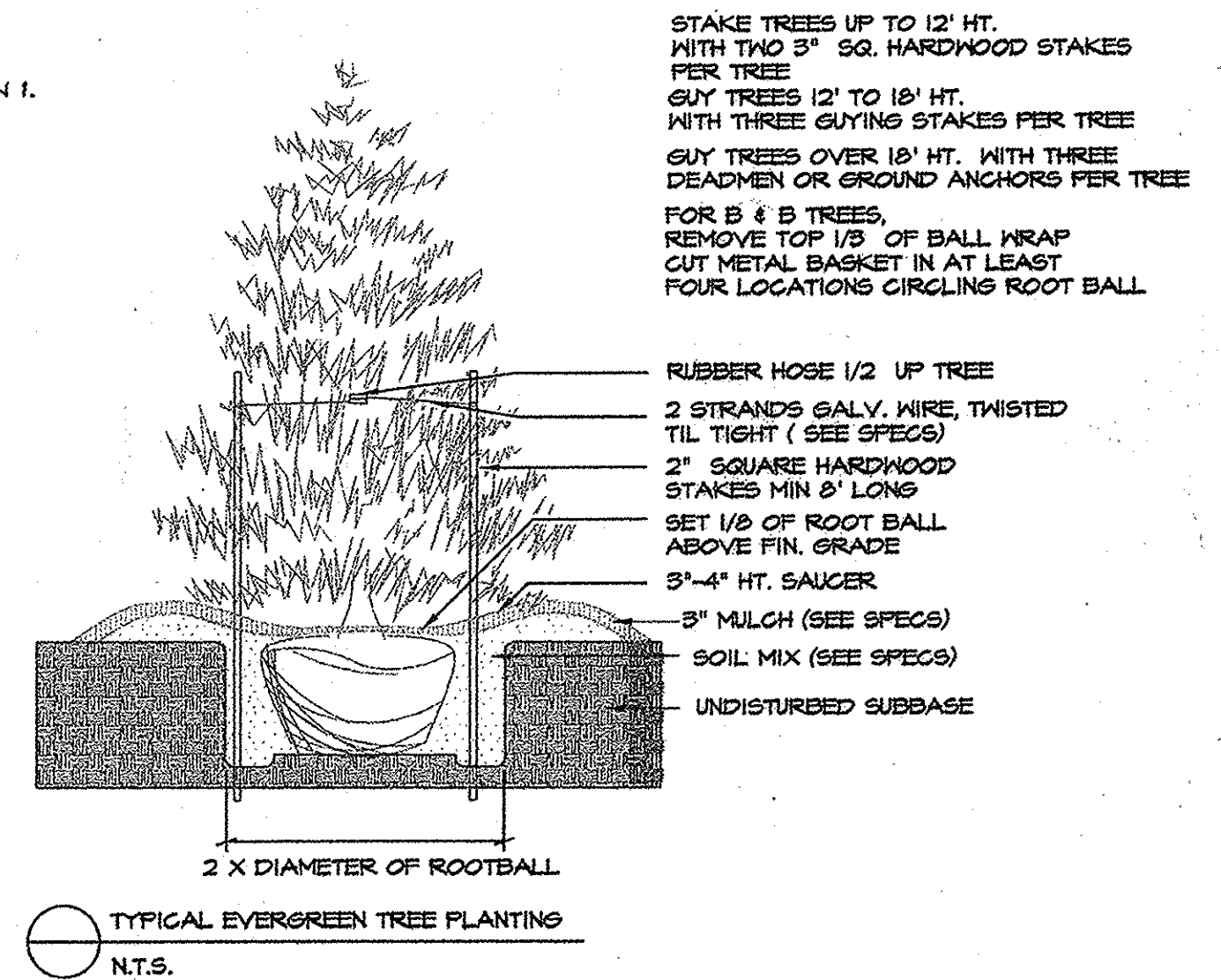
PREPARED FOR:
ARCHDIOCESE OF BALTIMORE
OUR LADY OF PERPETUAL HELP
4805 ILCHESTER ROAD
ELLCOTT CITY, MARYLAND 21043

DETAIL SHEET
**OUR LADY OF PERPETUAL HELP
MULTIPURPOSE BUILDING**
ELLCOTT CITY, MARYLAND
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE	ZONING	C.E.I. FILE No.
AS SHOWN	R-ED	20068.00
DATE	TAX MAP No.	SHEET
11/22/02	31	10 OF 12



NOTE: THIS PLAN IS FOR LANDSCAPE PURPOSE ONLY. SEE SHEET 3 FOR PLAN MODIFICATIONS UNDER REVISION 1. SEE SHEET 2 FOR BALL FIELD PLAN MODIFICATIONS.



SCHEDULE A- PERIMETER LANDSCAPE EDGE TYPES

LANDSCAPE BUFFER EDGE TYPE	'B'
LINEAR FEET OF PERIMETER	343'
CREDIT FOR EXISTING TREES TO REMAIN	
CREDIT FOR EXISTING SHADE TREES	11
CREDIT FOR EXISTING EVERGREEN TREES	8
NUMBER OF PLANTS REQUIRED	
SHADE TREES (1 TREE / 50 LINEAR FEET)	10
EVERGREEN TREES (1 TREE / 40 LINEAR FEET)	8
NUMBER OF PLANTS PROVIDED	
SHADE TREES	0
EVERGREEN TREES	0

NOTE: EXISTING SHADE TREES AND EVERGREEN TREES MEET THE DEFINITION AND EXCEED THE QUANTITY FOR A TYPE 'B' BUFFER.

LANDSCAPE BUFFER EDGE TYPE	'D'
LINEAR FEET OF PERIMETER	330'
CREDIT FOR EXISTING VEGETATION	
CREDIT FOR MALL FENCE OR BERM	0
NUMBER OF PLANTS REQUIRED	
SHADE TREES - 1 TREE / 60 LINEAR FEET	6
EVERGREEN TREES - 1 TREE / 10 LINEAR FEET	33
NUMBER OF PLANTS PROVIDED	
SHADE TREES	6
SHRUBS (10:1 SUBSTITUTION)	60
EVERGREEN TREES	27

NOTE: 60 SHRUBS WILL BE SUBSTITUTED FOR 6 TREES REQUIRED, AS EVIDENCED BY THE 10:1 SUBSTITUTION RATIO ABOVE.

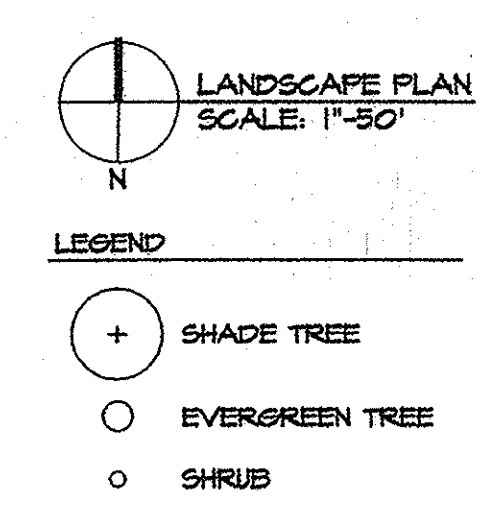
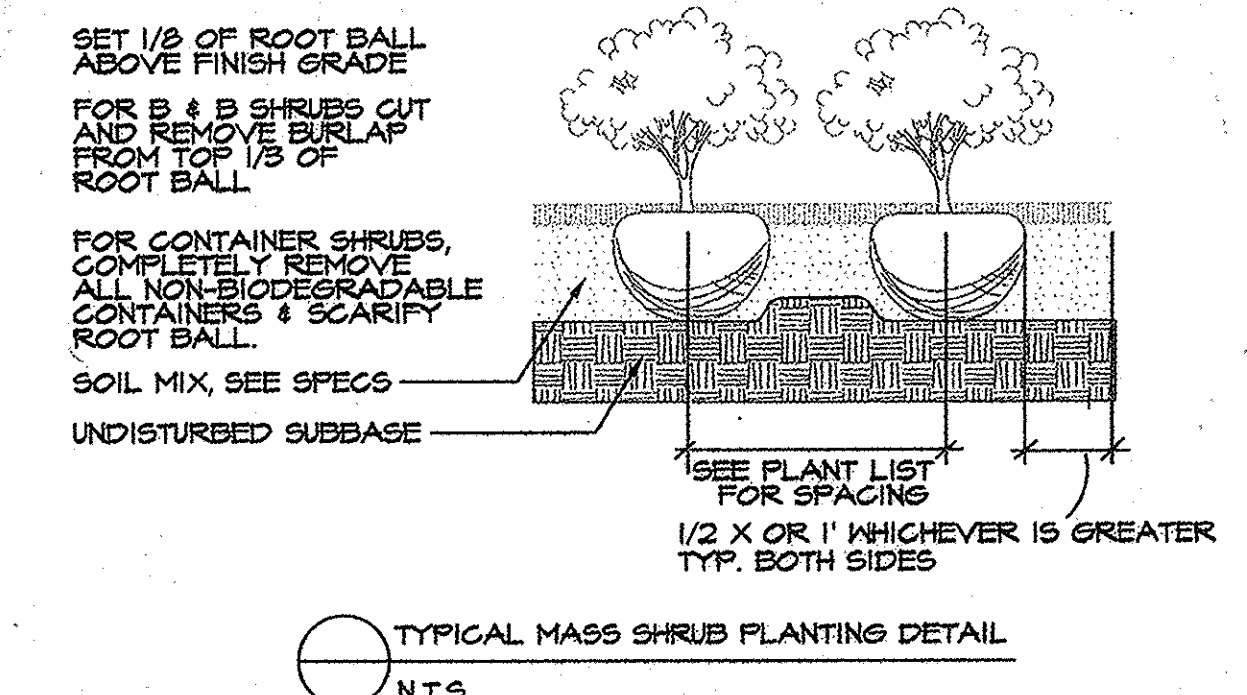
SCHEDULE B- PARKING LOT INTERNAL LANDSCAPING

PROPOSED PARKING SPACES	51
NUMBER OF LANDSCAPED ISLAND REQUIRED	9
NUMBER OF LANDSCAPED ISLAND PROVIDED	10
NUMBER OF TREES REQUIRED	9
NUMBER OF TREES PROVIDED	16

NOTE: ALL PARKING ISLANDS SHALL BE A MINIMUM 12' IN WIDTH AND 200 SQUARE FEET IN AREA.

SITE PARKING SPACE QUANTITIES

EXISTING PARKING SPACES (TO BE RE-STRIPED)	275
PROPOSED PARKING SPACES	51
TOTAL SITE PARKING SPACES	326



SOUTHERN PROPERTY LINE LANDSCAPE BUFFER NOTE: THE EXISTING FORESTED AREA ALONG THE PORTION OF THE SOUTHERN PROPERTY LINE ADJACENT TO PARCELS 799 AND 788 HAS AN AVERAGE WIDTH OF 60'-65' OF DENSE FOREST BISECTED BY A GRAVEL RESIDENTIAL ACCESS DRIVEWAY TO ADJACENT RESIDENTIAL LOTS EAST OF OUR LADY OF PERPETUAL HELP. THE CROSS SECTION THROUGH THIS 60'-65' WIDE BUFFER AREA IS COMPRISED OF 20'-25' OF DENSE TREELINE ADJACENT TO THE PARKING LOT, 5' OF DRAINAGE DITCH (ALONG THE GRAVEL RESIDENTIAL ACCESS DRIVEWAY), 5' OF DRIVEWAY SHOULDER, AND ANOTHER 20' OF DENSE FOREST EDGE ADJACENT TO PARCELS 799 AND 788. THIS GRAVEL RESIDENTIAL ACCESS DRIVEWAY HAS A CONTIGUAL CANOPY OVER IT WHICH REINFORCES THE EXISTING FORESTED BUFFER AREA MAKING IT UNIFIED AND NOT SEGMENTED. THE EXCEPTION TO THIS IS THE AREA WHERE THE TYPE 'D' BUFFER IS PROPOSED.

THE ADJACENT HOME ON PARCEL 799 IS NOT VISIBLE AT ALL FROM ANY POINT ALONG THE SOUTHERN PROPERTY LINE, AND CONVERSELY, THE EXISTING BUILDINGS AND PROPOSED MULTI-USE BUILDING IS NOT VISIBLE FROM PARCEL 788. THE EXISTING FORESTED AREA ALONG THAT PORTION OF THE SOUTHERN PROPERTY LINE COMBINED WITH THE SLOPING TOPOGRAPHY PROVIDES MORE THAN ADEQUATE SCREENING. THE ADJACENT HOME ON PARCEL 788 IS BARELY VISIBLE THROUGH THE VERY SMALL OPENING IN THE EXISTING DENSE FOREST NEAR THE PROPOSED TYPE 'D' LANDSCAPE BUFFER AND IS AT LEAST 935' FROM THE EDGE OF THE EXISTING PARKING LOT, ALSO IT IS ANOTHER 125' ACROSS THE PARKING LOT TO THE PROPOSED MULTI-USE BUILDING, WHICH IS A TOTAL OF 460' BETWEEN THE TWO STRUCTURES. THERE IS ALSO AT LEAST 170' OF THICK DENSE FOREST BETWEEN THE ADJACENT HOME ON PARCEL 788 AND THE PROPOSED MULTI-USE BUILDING. THE ADJACENT HOME ON PARCEL 788 IS AT ELEVATION 495 AND THE AREA OF THE PROPOSED TYPE 'D' LANDSCAPE BUFFER ADJACENT TO THE PARKING LOT IS AT ELEVATION 465, WHICH IS A DIFFERENCE OF 30'. THIS COUPLED WITH THE 45'-50' HEIGHT OF THE EXISTING DENSE TREELINE ALONG THAT PORTION OF THE SOUTHERN PROPERTY LINE IS MORE THAN SUFFICIENT TO SCREEN THE PROJECT FROM THE ADJACENT PARCELS 799 AND 788 AND THEIR RESPECTIVE VIEWSHEDS.

HOWARD COUNTY PLANT LIST AND COST ESTIMATE

PLANT LIST A- PERIMETER LANDSCAPE EDGE					
QTY.	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
6	T-3	Platanus occidentalis American Sycamore	2 1/2" cal. min.	B&B	8' to first lat. branch
27	T-50	EVERGREEN TREES Ilex x Nellie Stevens' Nellie Stevens Holly	6' ht. min.	B&B	Heavy
60	S-53	EVERGREEN SHRUBS Prunus laurocerasus 'Schlpkaensta' Skip Cherry Laurel	24" ht. min.	cont.	Full

PLANT LIST B- PARKING LOT INTERNAL LANDSCAPING					
QTY.	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
16	T-1	Zelkova serrata 'Green Vase' Green Vase Zelkova	2 1/2" cal. min.	B&B	8' to 1st Lateral Branch

NOTE: THIS CHART IS FOR HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING SURETY AGREEMENT, AND IS NOT INTENDED TO BE USED AS A PROJECT LANDSCAPE COST ESTIMATE.

DEVELOPERS / BUILDERS LANDSCAPE SURETY AGREEMENT CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Matthew F. Keegan 05-21-03

NAME DATE
THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$7,650.00. THIS SURETY IS BASED ON 4 SHADE TREES AT \$500.00 EACH AND 33 EVERGREEN TREES AT \$150.00 EACH.
THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING PLANT MATERIALS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

MW
MARK
WILLARD
& ASSOCIATES, LLC
PLANNING
LANDSCAPE ARCHITECTURE
GARDEN DESIGN
6801 WISCONSIN BLVD. SUITE 200
SALTSPRING, MARYLAND 21050
TEL: 410.371.9170
FAX: 410.371.9998

CE CENTURY ENGINEERING, INC.
CONSULTING ENGINEERS, PLANNERS, SURVEYORS
32 WEST ROAD
TOWSON, MARYLAND 21204
(410) 823-8070

DATE	REVISION	BY	APP'R.
6-01-02	REVISED PER H.C.D.P.Z. SUBDIVISION REVIEW COMMITTEE COMMENTS	MVA	
8-27-02	REVISED PER H.C.D.P.Z. SUBDIVISION REVIEW COMMITTEE COMMENTS	MVA	
9-26-02	REVISED PER H.C.D.P.Z. SUBDIVISION REVIEW COMMITTEE COMMENTS	MVA	
10-14-02	REVISED PER H.C.D.P.Z. SUBDIVISION REVIEW COMMITTEE COMMENTS	MVA	
11-20-02	REVISED PER H.C.D.P.Z. SUBDIVISION REVIEW COMMITTEE COMMENTS	MVA	
12-19-02	REVISED PER H.C.D.P.Z. SUBDIVISION REVIEW COMMITTEE COMMENTS	MVA	
3-16-04	ADDED NOTE TO REFERENCE REVISION 1 PLAN MODIFICATIONS.		
	ADDED NOTE; REVISED SHEET NUMBER.		

PREPARED FOR:
ARCHDIOCESE OF BALTIMORE
OUR LADY OF PERPETUAL HELP
4801 ILCHESTER ROAD
ELLCOTT CITY, MARYLAND 21043

LANDSCAPE PLAN
OUR LADY OF PERPETUAL HELP
ELLCOTT CITY, MARYLAND
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SCALE	ZONING	C.E.I. FILE No.
AS NOTED	R-ED	20068.00
DATE	TAX MAP No.	MVA FILE No.
03-01-02	31	0108
		SHEET 11 OF 12

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 2238
Expiration Date: 11-24-15

*SEAL 22538 FOR SHEET NUMBER REVISION A & A ONLY

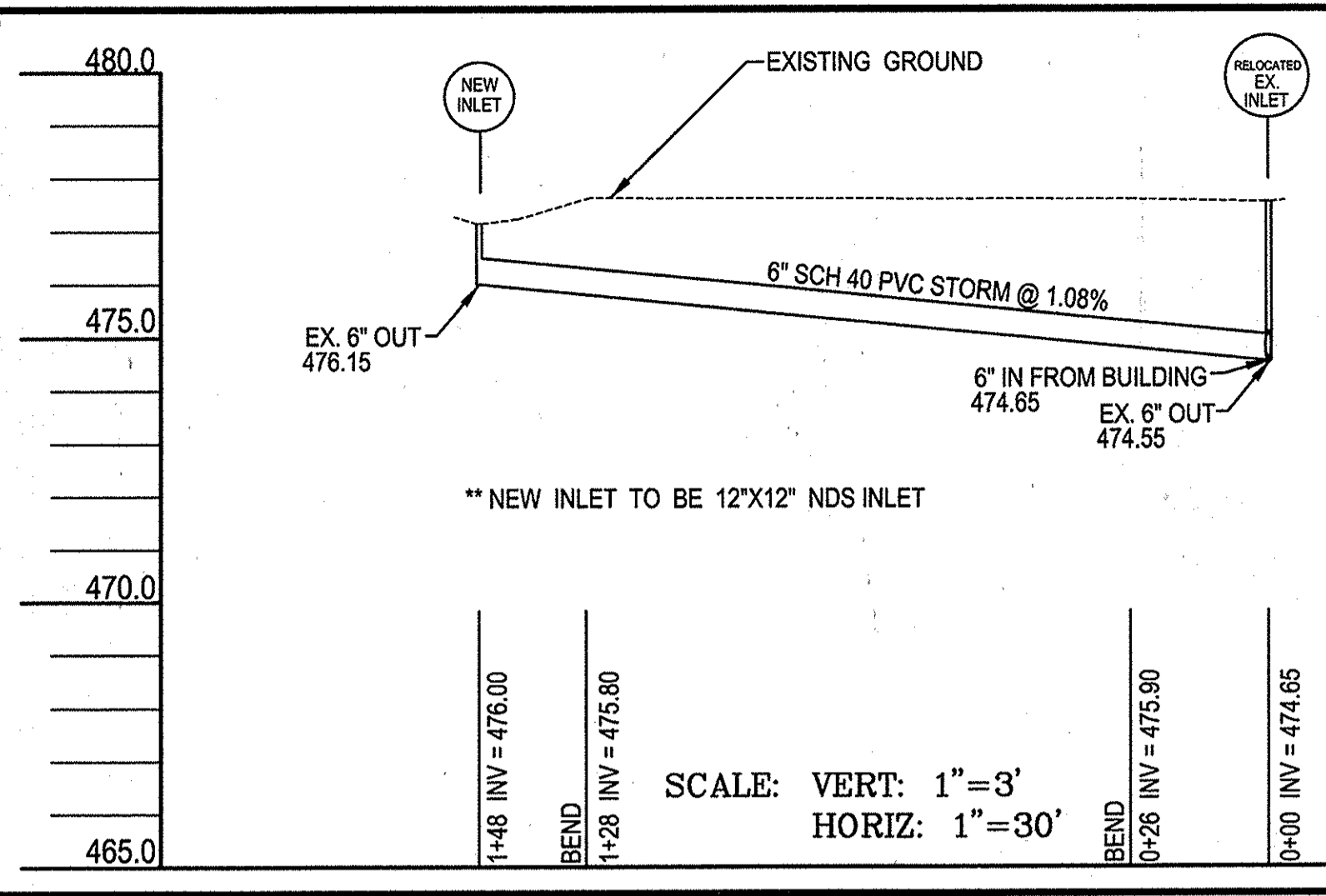
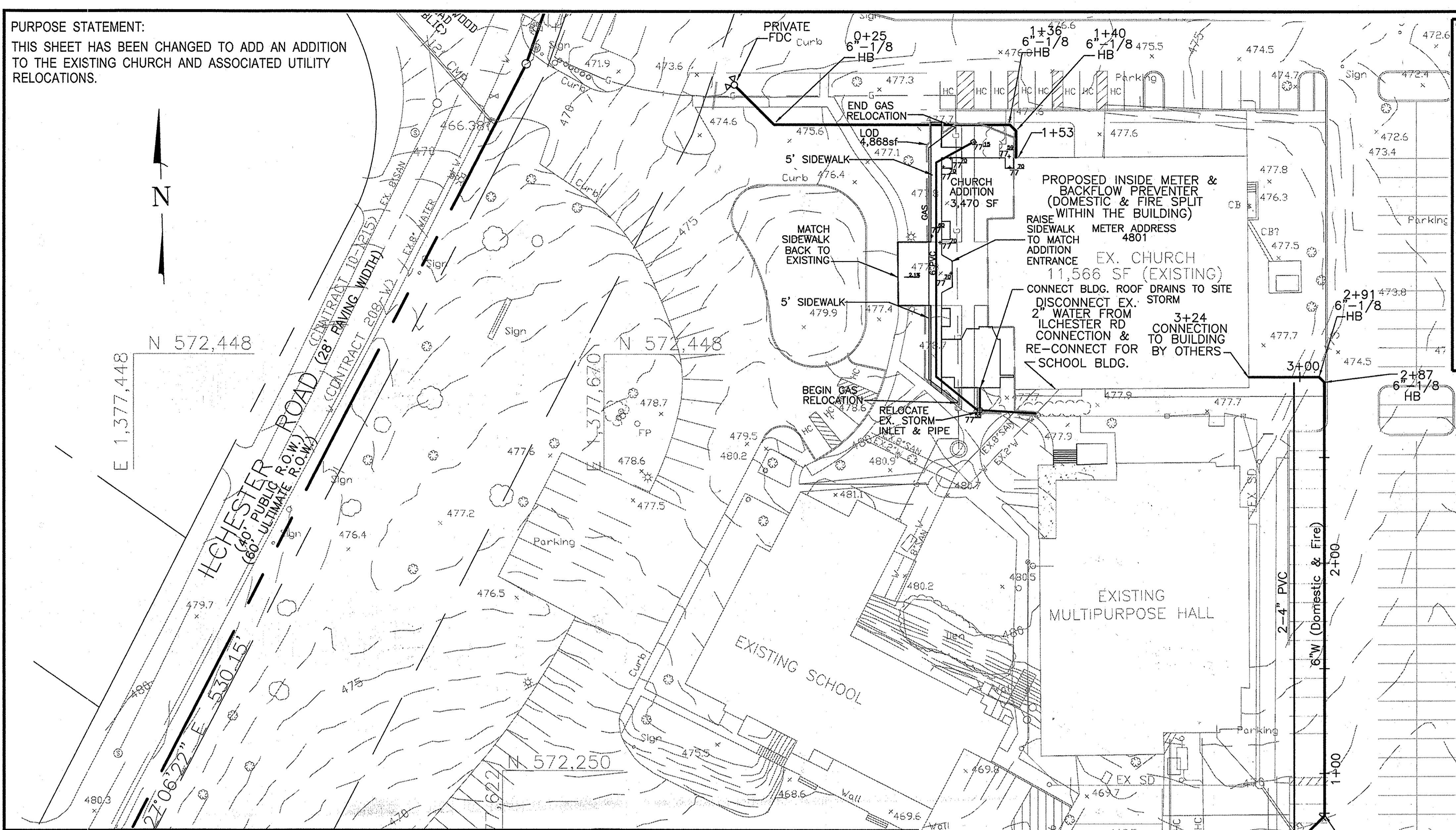
APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
Henry B. ... 6/27/03
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Mark A. ... 7/1/03
DIRECTOR

... .. 7/8/02
CHIEF-DIVISION OF LAND DEVELOPMENT

... DATE 7/1/03

PURPOSE STATEMENT:
THIS SHEET HAS BEEN CHANGED TO ADD AN ADDITION TO THE EXISTING CHURCH AND ASSOCIATED UTILITY RELOCATIONS.



NOTES:
1. THE BUILDING PERMIT APPLICATION DEADLINE DATE FOR THE RED-LINE PLAN FOR THE CONSTRUCTION OF THE BUILDINGS PROPOSED AS PART OF PHASE 1 IS JULY 14, 2016 (1 YEAR FROM DED'S LETTER APPROVING THE RED-LINE).
2. THE FOREST CONSERVATION OBLIGATION WAS FULFILLED UNDER SDP-05-017
3. THE TOTAL DISTURBED AREA FOR THIS REVISION 1 IS 4,868 SF. THESE IMPROVEMENTS ARE EXEMPT FROM SWM, HOWEVER, FUTURE DISTURBANCE WILL REQUIRE THAT CURRENT SWM REQUIREMENTS BE COMPLIED WITH.

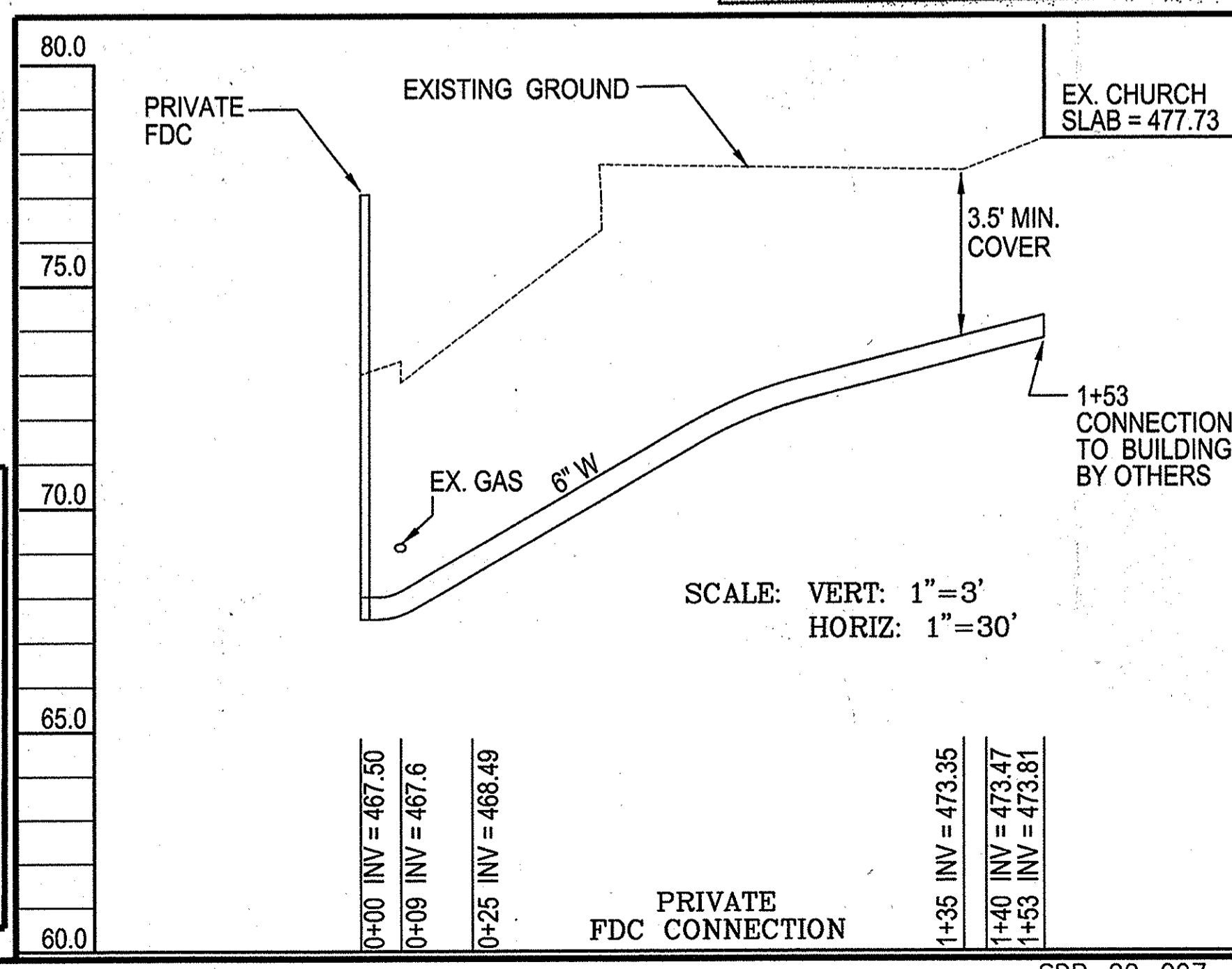
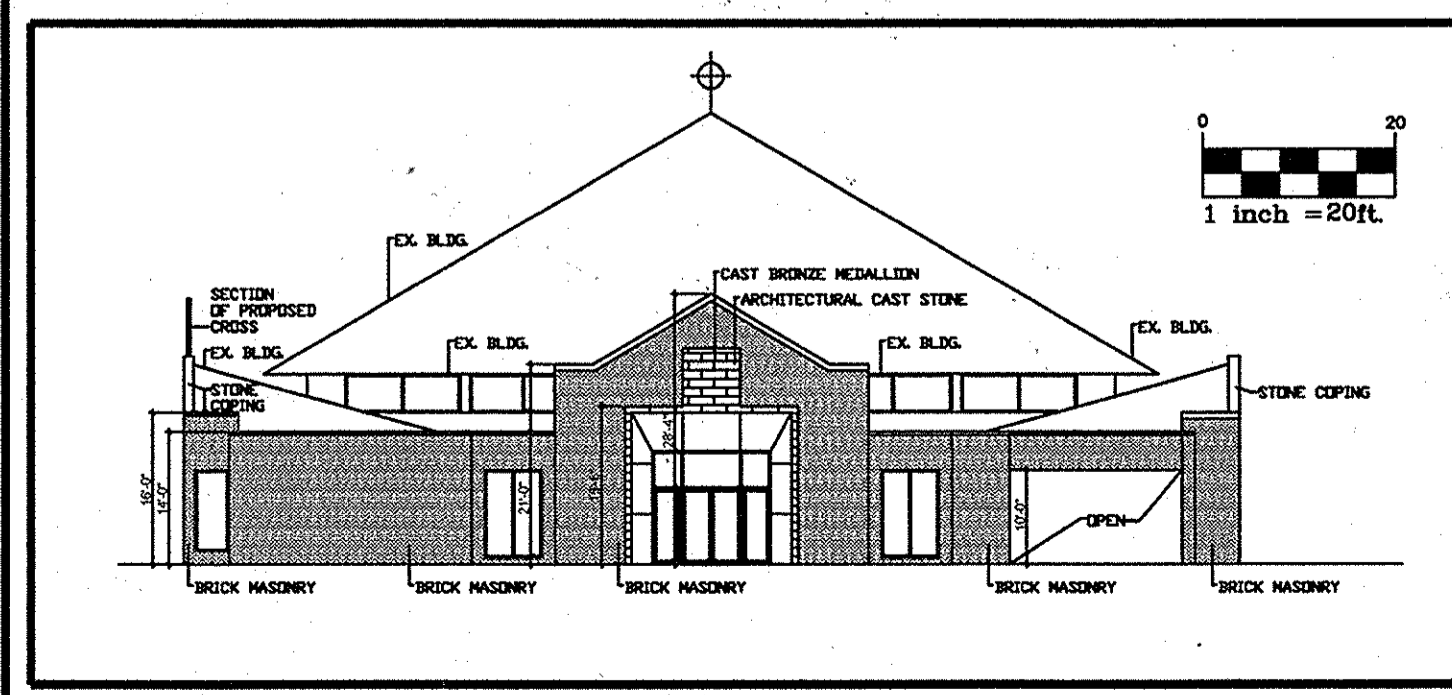
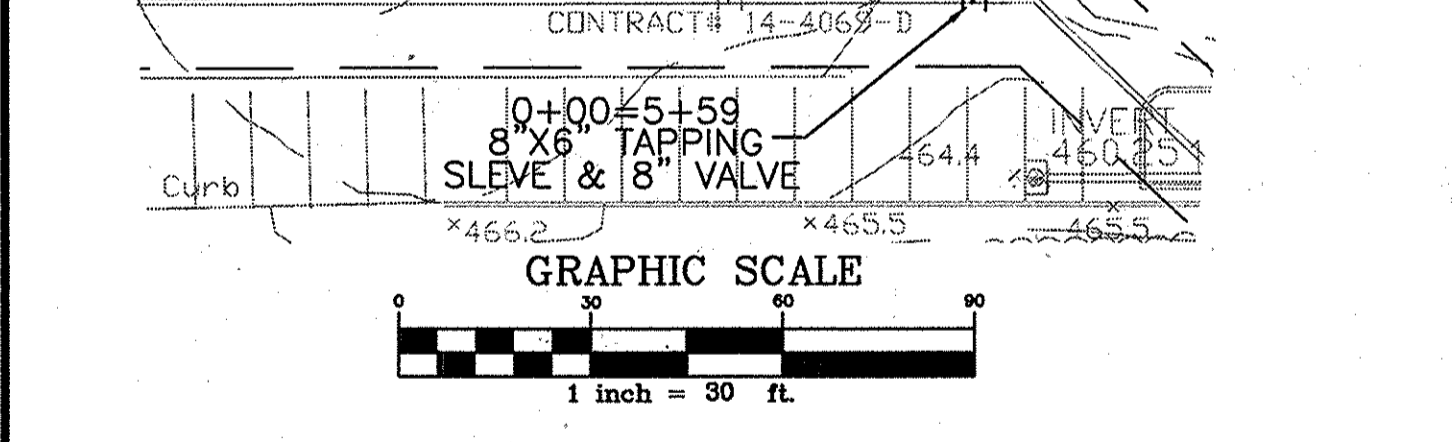
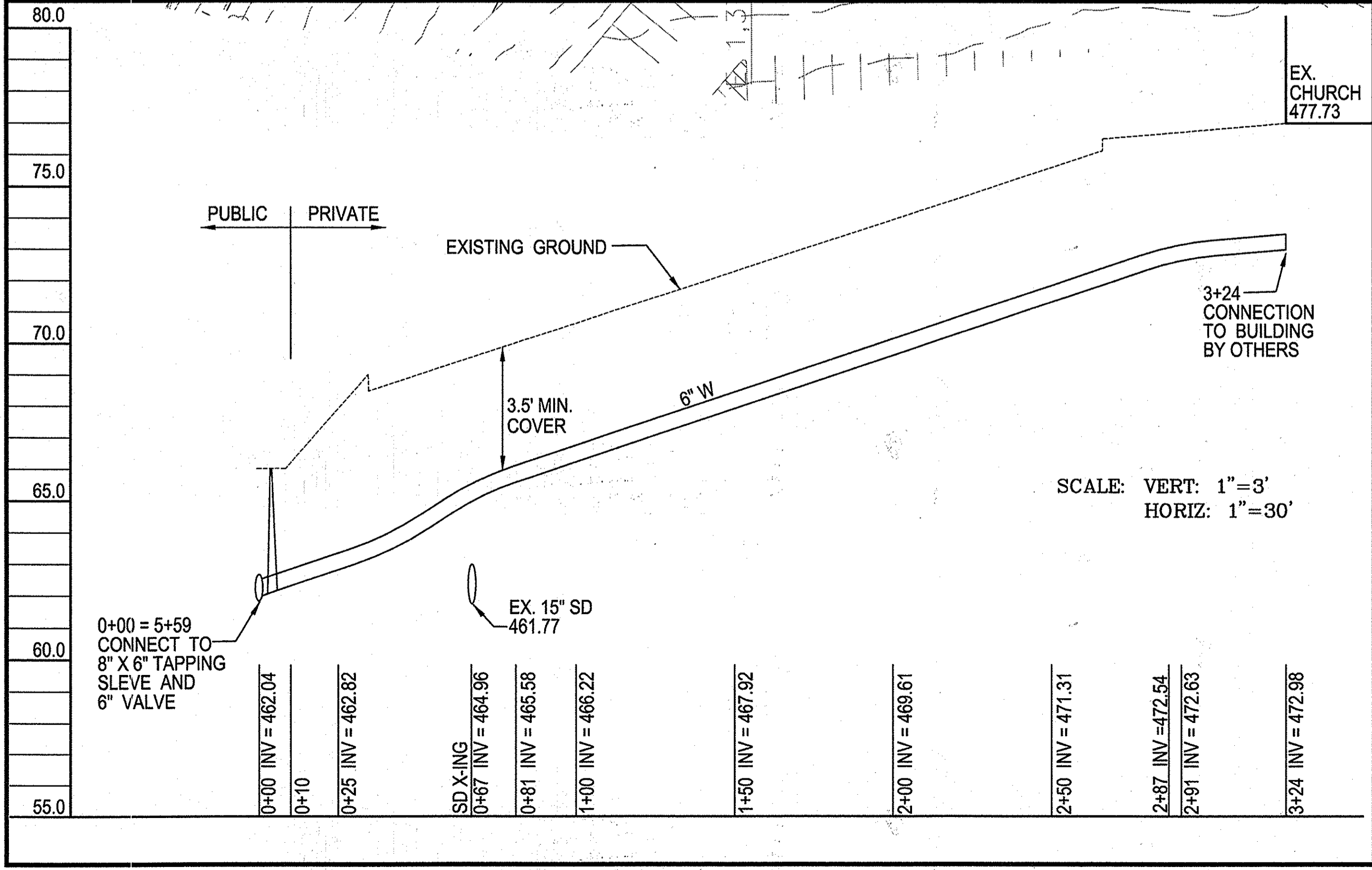
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
 COUNTY HEALTH OFFICER DATE
 COUNTY HEALTH DEPARTMENT

- SITE DATA
- ZONING: R-ED
 - SITE AREA: 780,334 sf - (17.91 Acres)
 - USE: CHURCH
 - EXISTING FLOOR SPACE: 11,566 SF
 - PROPOSED FLOOR SPACE: 3,470 SF
 - EXISTING CHAPEL AREA: 8,200 SF
 - PROPOSED CHAPEL ADDITION: 850 SF
 - SEATING: EXISTING-750 PROPOSED-750

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division 4/1/15
 Chief, Division of Land Development 4/23/15
 Director 7/23/15

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer 3/30/2015
 Howard County Health Department



CMS Associates LLC

PLANNING ENGINEERING SITE ANALYSIS PROJECT MANAGEMENT
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OUR LADY OF PERPETUAL HELP
 REVISED SITE DEVELOPMENT PLAN
 WATERLINE EXTENSION FOR CHURCH (FIRE & DOMESTIC)
 AND CHURCH ADDITION
 ELLICOTT CITY, MARYLAND

SDP-02-097
 SCALE: 1"=30'
 DATE: 3/16/15
 SHEET 12 OF 12
 FILE NO: 14-032