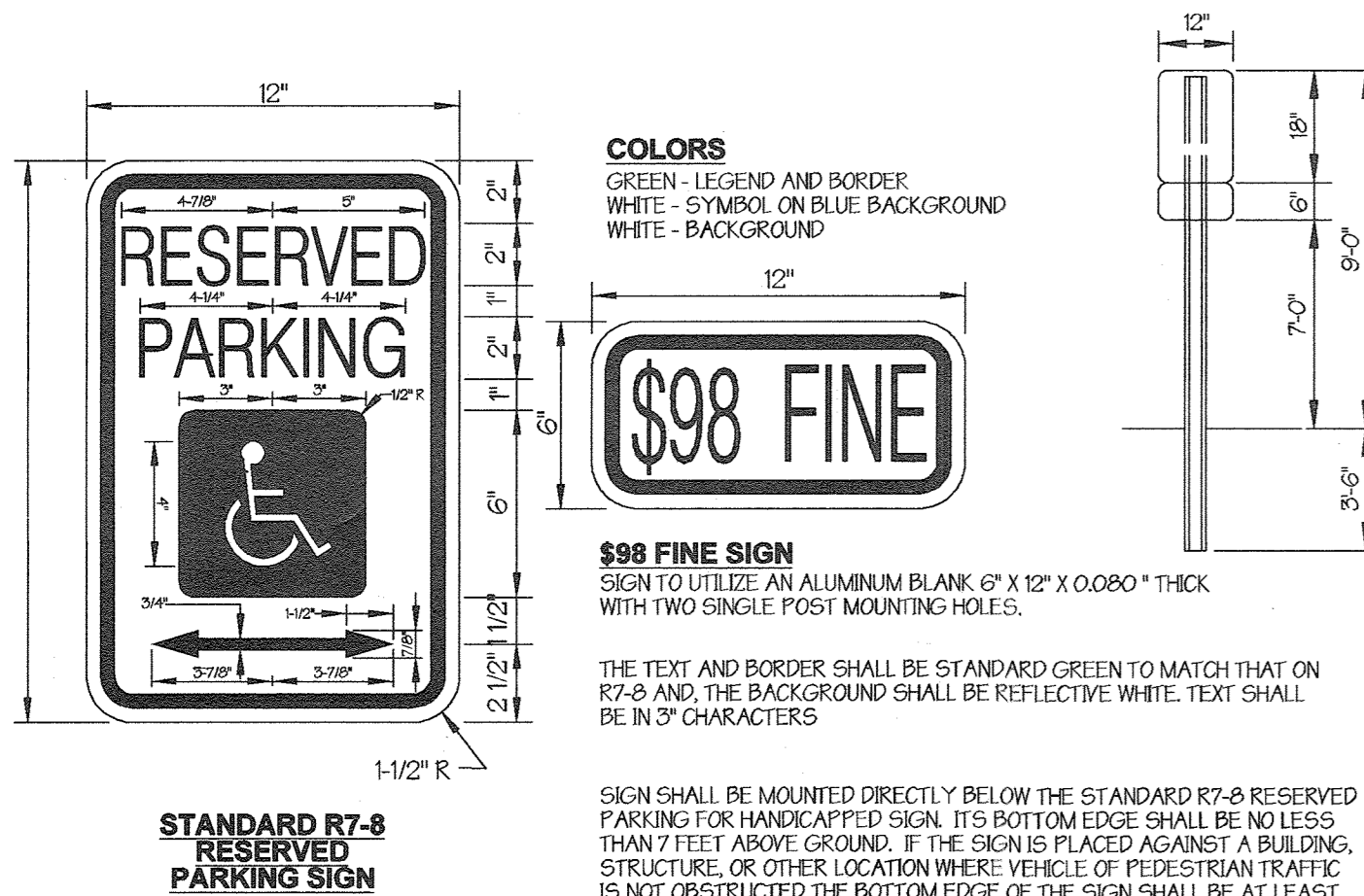


Refer to Howard County Standard Plate R-3.01
Detail Concrete Curb and Gutter
 Not To Scale



Handicapped Parking Sign Detail
 NOT TO SCALE

NOTE:
 The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building, shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

REVISION #7 NOTE:
 THE LOD OF 950 S.F. IS EXEMPT FROM STORMWATER MANAGEMENT AS IT IS UNDER 5,000 S.F. ANY FUTURE CHANGES WHERE THE CUMULATIVE LOD EXCEEDS 5,000 S.F. THEN STORMWATER MANAGEMENT SHALL BE ADDRESSED THE CUT/FILL IS LESS THAN 100 C.Y. AND EXEMPT FROM SCD APPROVAL.
 36 WP-21-022 was approved on December 16, 2020 to address forest conservation. (The work associated with this request has been deferred to the future.)

REVISION PURPOSE STATEMENT

THE PURPOSE OF THIS REVISION SITE DEVELOPMENT (REV#1) PLAN IS TO REMOVE THE PROPOSED SAND FILTER/TRAP, REVISE THE BUILDING FOOTPRINT, REDUCE THE LIMIT OF DISTURBANCE TO THE EXISTING ENTRANCE ROAD AND MOVE AND RE-SIZE THE WATER STORAGE TANK.
 THE PURPOSE OF REVISION #3 TO THIS SITE DEVELOPMENT PLAN IS TO REVISE THE PARKING LAYOUT AND TO ADJUST THE GRADING, STORM DRAINS, LANDSCAPING AND SEDIMENT CONTROL AS NECESSARY AND TO REVISE WATER STORAGE TANK TO ABOVE-GROUND

OWNER/DEVELOPER
Lisbon Plaza, LLC
 c/o MIE Properties, Inc.
 5720 Executive Drive
 Baltimore, Maryland 21228
 (410) 788-0100
 Contact: Ramon Benitez

PARCEL G SITE DATA

Gross Site Area	14.21 Ac.
Area of Submission/Limit of Disturbance	1.69 Ac.
Deed Reference	4467/590 Plat 7170
Tax Account Number	04-322649, 04-345576
Councilmanic District	4
Zoning	B-2 & RC-DEO
Exist. Use	Vacant Lot/Ex. Shopping Center
Proposed Use	Retail
Open Space Provided	7.25 Ac./14.21 Ac. = 51%
Building Coverage	1.30 Ac./14.21 Ac. = 9%
DPZ File References	GP 87-66, F 87-64, SDF 87-194, SDF 88-173, SDF 94-22, SDF 97-161, SDF 01-08, F-02-132

PARCEL G PARKING TABULATION

PARKING REQUIRED:	
EX. BUILDING 'A'	= 14,225 S.F. (GENERAL RETAIL) - 5 SP/1000 S.F. 72
EX. BUILDING 'B'	= 15,450 S.F. (GENERAL RETAIL) - 5 SP/1000 S.F. 30
7,800 S.F.	(GENERAL RETAIL) - 5 SP/1000 S.F. 15
6,750 S.F.	(STD. RESTAURANT) - 14 SP/1000 S.F. 48
900 S.F.	(CARRY OUT REST.) - 6 SP/1000 S.F. 5
380 S.F.	(OUTDOOR SEATING REST.) - 7 SP/1000 S.F. 3
EX. BUILDING 'C'	= 7,200 S.F. (GENERAL RETAIL/MEDICAL) - 5 SP/1000 S.F. 18
3,600 S.F.	(CONVENIENCE STORE) - 5 SP/1000 S.F. 18
3,600 S.F.	(GAS) 3
EX. BUILDING 'D'	= 3,531 S.F. (RESTAURANT) - 48 SEATS; 12 EMPLOYEES
1 SP/4 SEATS; 1 SP/2 EMPL. 18	
EX. BUILDING 'E'	= 2,618 S.F. (BANK) - 5 SP/1000 S.F. 14
EX. BUILDING 'F'	= 2,936 S.F. (FAST FOOD RESTAURANT) - 23 SEATS; 7 EMPL.
1 SP/3 SEATS; 1 SP/2 EMPL. 12	
FUT. BUILDING 'G'	= 8,000 S.F. (GENERAL RETAIL) - 5 SP/1000 S.F. 40
TOTAL PARKING REQUIRED FOR ALL BUILDINGS PARCEL G	338 P.S.

SOILS LEGEND

(From the Howard County Soil Survey, Map 2)

ChB2	Chester silt loam	3-8% slopes	moderately eroded
CuB	Comus silt loam	3-8% slopes	severely eroded
G1B2	Glenelg loam	3-8% slopes	moderately eroded
G1C3	Glenelg loam	8-15% slopes	severely eroded
M1C3	Manor loam	8-15% slopes	severely eroded
MtD2	Mount Airy channery loam	15-25% slopes	moderately eroded
MtC3	Mount Airy channery loam	8-15% slopes	severely eroded
MtB2	Mount Airy channery loam	3-8% slopes	moderately eroded

GENERAL NOTES

- All work shall be performed in accordance with the Howard County Design Manual Volume IV, i.e. Standard Specifications and Details for Construction and/or as shown on these plans.
- The contractor shall notify the Department of Public Works, Construction Inspection Division at (410) 313-1880 at least 24 hours prior to the start of work.
- The contractor shall notify Miss Utility at (800) 257-7777 at least 48 hours prior to any excavation.
- The contractor shall test pit existing utilities at least five (5) days before starting work shown on these drawings to verify their location and elevation.
- The contractor shall notify the engineer immediately if location of utilities is other than shown.
- Any damage to public rights-of-way and/or adjacent properties shall be repaired immediately at the contractor's expense.
- All areas not being paved or receiving any building coverage shall be stabilized in accordance with the plans approved by the Howard Soil Conservation District.
- All slopes shall be 2:1 or flatter.
- The contractor shall maintain at least a 2' level bench behind all curb and gutter receiving fill areas.
- The contractor shall remove all existing paving, curb and gutter, etc. that may interfere with proposed construction.
- All utilities installed under paving shall receive full trench compaction.
- All water main tees, bends, caps, etc. shall be buttressed in accordance with the Howard County design requirements.
- All water lines shall have a minimum 4' cover.
- All plan dimensions are to face of curb unless otherwise noted.
- For details of ramps and signs for the handicapped and aged as shown herein, see Sheet 1.
- Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement.
- Water is PRIVATE (well) and sewer is PRIVATE (septic field).
- Storm Water quantity/quality management is PRIVATE and provided in the existing infiltration basin, reference F 87-64 and GP 87-66. The original pond was designed for the proposed area, therefore, quantity management for the 2 and 10-yr storms shall be provided in the existing facility. Fire protection provided by an existing 40,000 gal. tank and fire hydrant as shown on SDF 88-173 and a proposed 30,000 gal. fire suppression tank.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County code and the Landscape Manual.
- Financial security in the amount of \$24,930 has been posted as part of the Developer's Agreement.
- This project is exempt from the requirements of Section 16.1200 of the Howard County Code for forest conservation because the subdivision was approved prior December 31, 1992 and no existing forest is affected by this subdivision.
- The subject property is zoned B2 per the comprehensive zoning plan.
- Topography furnished by Maddox, Inc. July 2001.
- All exterior lighting shall comply with Zoning Regulations, Section 134.
- There are no known cemeteries or burial grounds on this site, however upon discovery of any evidence of burial or graves, the Developer will be subject to Section 16.1305 of the Howard County Subdivision and Land Development Regulations.
- Traffic study prepared by Lee Cunningham & Assoc., Inc. completed March, 2002 is for the proposed supermarket and retail. Any future expansion will require an additional traffic study.
- There are no wetlands present on this site.
- There is no floodplain on this site.
- Trash collection for the dumpsters are PRIVATE.
- The appropriations number for the proposed well is HO87G005.03
- See the Board of Appeals Case (B.A. Case) #98-02E for a special exception to operate a gasoline service station and convenience store in a B-2 Zoning District.
- The Lisbon Center Drive public R/W has been abandoned by County Council Resolution 15-2003 dated 2/03/03, Reference F-02-132
- The Maryland State Groundwater Discharge Permit #02-DF-3405 for the Lisbon Business Center is effective August 1, 2003 and expires August 1, 2008.
- A simplified Environmental Concept Plan was approved on 11/9/2020 for the work associated with Rev. #7. (This work deferred until future).

PARCEL H SITE DATA

Gross Site Area	11.81 Ac.
Area of Submission/Limit of Disturbance	5.38 Ac.
Deed Reference	4467/590 Plat 7170
Tax Account Number	04-41902, 04-345584, 04-345568
Councilmanic District	4
Zoning	B-2 & RC-DEO
Exist. Use	Vacant Lot
Proposed Use	Super Market/ Future Retail
Open Space Provided	7.65 Ac./11.81 Ac. = 65%
Building Coverage	1.03 Ac./11.81 Ac. = 9%
DPZ File References	GP 87-66, F 87-64, SDF 87-194, SDF 88-173, SDF 94-22, SDF 97-161, SDF 01-08, F-02-132

PARCEL H PARKING TABULATION

PARKING REQUIRED:	
EX. BUILDING 'H'	= 33,782 S.F. (GENERAL RETAIL) - 5 SP/1000 S.F. 169
FUT. BUILDING 'I' EXPANSION	= 7,047 S.F. (GENERAL RETAIL) - 5 SP/1000 S.F. 36
FUT. BUILDING 'J'	= 3,200 S.F. (GENERAL RETAIL) - 5 SP/1000 S.F. 16
EX. BUILDING 'K'	= 4,889 S.F. (GENERAL RETAIL) - 5 SP/1000 S.F. 25
3,226 S.F.	(CARRY OUT REST.) - 6 SP/1000 S.F. 20
TOTAL PARKING REQUIRED FOR ALL BUILDINGS - PARCEL H	246 P.S.

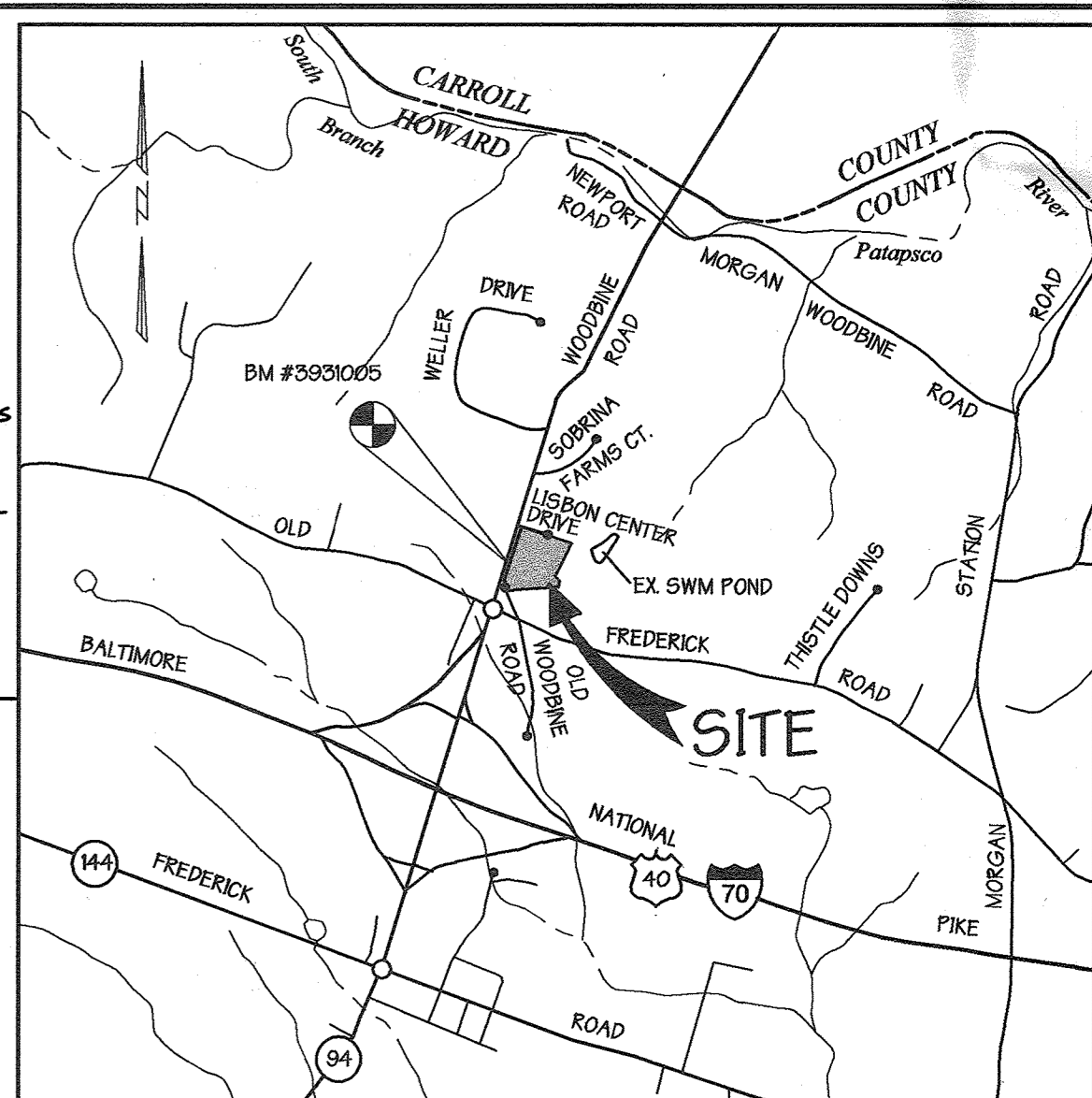
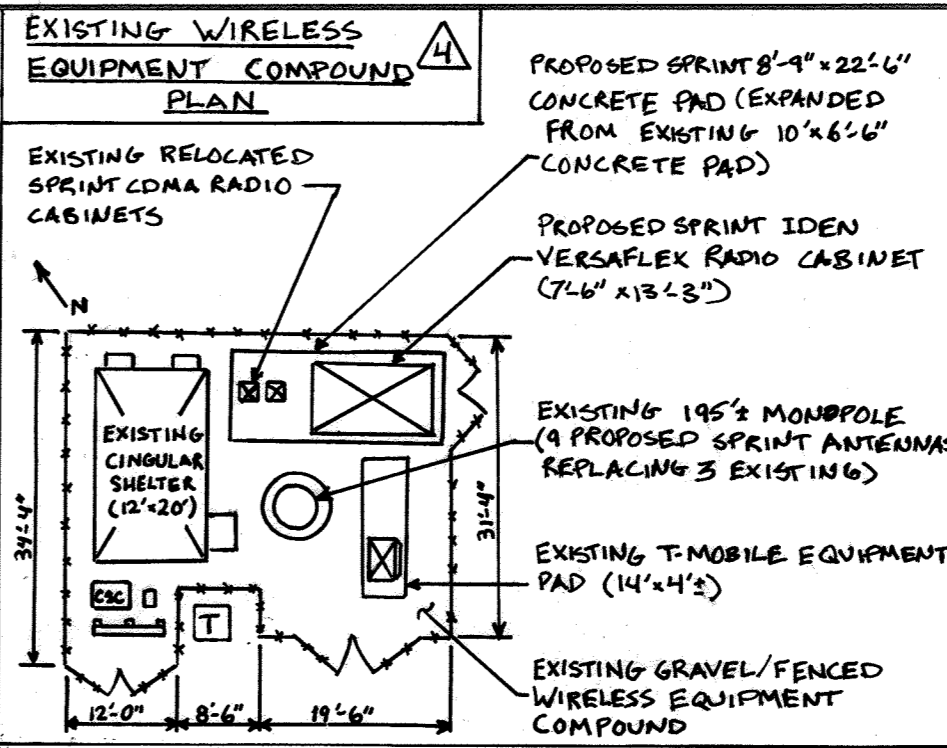
TOTAL PARKING REQUIRED PARCELS G & H 604
TOTAL PARKING PROVIDED PARCELS G & H 606

(INCLUDES 25 HANDICAP SPACES, 13 REQUIRED)
 (STANDARD PARKING SPACES ARE 9'x18')

PARKING NOTE:
 PARKING IS PROVIDED FOR THE FOLLOWING BUILDINGS IN ACCORDANCE WITH THE REGULATIONS IN EFFECT AT THE TIME OF ORIGINAL APPROVAL AS THE BUILDINGS AND USES HAVE NOT CHANGED:
 BUILDING D - SDF 88-173
 BUILDING E - SDF 01-08
 BUILDING F - SDF 94-22
 PARKING FOR THE REMAINING BUILDINGS HAS BEEN COMPUTED PER CURRENT REQUIREMENTS AND USES.



REVISION #6 BY: NUB ENGINEERING, INC.
 REVISION #7 BY: NUB ENGINEERING, INC.



VICINITY MAP

SCALE: 1" = 2000'
 HOWARD COUNTY BENCHMARK ELEV. 634.96
 3/4" Reinforcing rod 0.3' below surface, 285' north of Route 99 along side Woodbine Road (Horizontal control based on NAD 27; vertical control based on NAD 29 - this is consistent with the plans and record plat for the subdivision.)

SHEET INDEX

1	Title Sheet
2	Site Plan
3	Site Plan
4	Sediment Control Plan
5	Sediment Control Notes & Details
6	Sediment Control Notes & Details
7	Stormwater Management Details
8	Profiles
9	Landscape Plan
10	Landscape Details
11	Lighting Plan

REV #4 DEPICTS SPRINT'S PROPOSE TO INSTALL A NEW 7'6" x 15'3" IDEN VERSAFLEX RADIO CABINET ON A PROPOSED 8'4" x 22'6" CONCRETE PAD (EXTENDED FROM AN EXISTING 10'6" x 6" CONCRETE PAD) ALONG WITH EXISTING RELOCATED SPRINT COMA RADIO CABINETS. NINE NEW ANTENNAS ARE PROPOSED TO REPLACE THREE EXISTING ANTENNAS ON AN EXISTING 195'2" MONOPOLE. ALL PROPOSED MODIFICATIONS WILL BE CONTAINED TO THE EXISTING WIRELESS EQUIPMENT COMPOUND.

BUILDING	STREET ADDRESS
BLDG. A	712 Lisbon Center Drive
BLDG. B	710 Lisbon Center Drive
BLDG. C	708 Lisbon Center Drive
BLDG. D	706 Lisbon Center Drive
BLDG. E	704 Lisbon Center Drive
BLDG. F	702 Lisbon Center Drive
BLDG. G	714 Lisbon Center Drive
BLDG. H	705 Lisbon Center Drive
BLDG. I	709 Lisbon Center Drive
MICROWAVE TOWER	715 Lisbon Center Drive
FIRE PUMP HOUSE	713 Lisbon Center Drive

Approved: For private water and private sewerage systems.
 Howard County Health Department.

APPROVED: Department of Planning and Zoning
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 DIVISION OF LAND DEVELOPMENT
 DIRECTOR

ADDRESS CHART

PARCEL NO.	STREET ADDRESS
Parcel G and H	Lisbon Center Drive (See Chart Above)

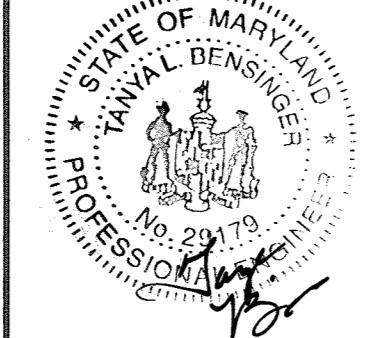
SUBDIVISION NAME	SECTION NAME	PARCEL #
Route 94 Business Center	N/A	Parcel G and H

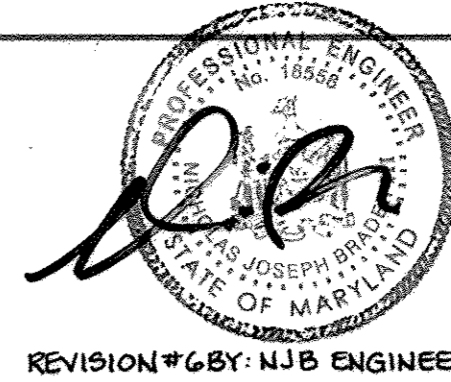
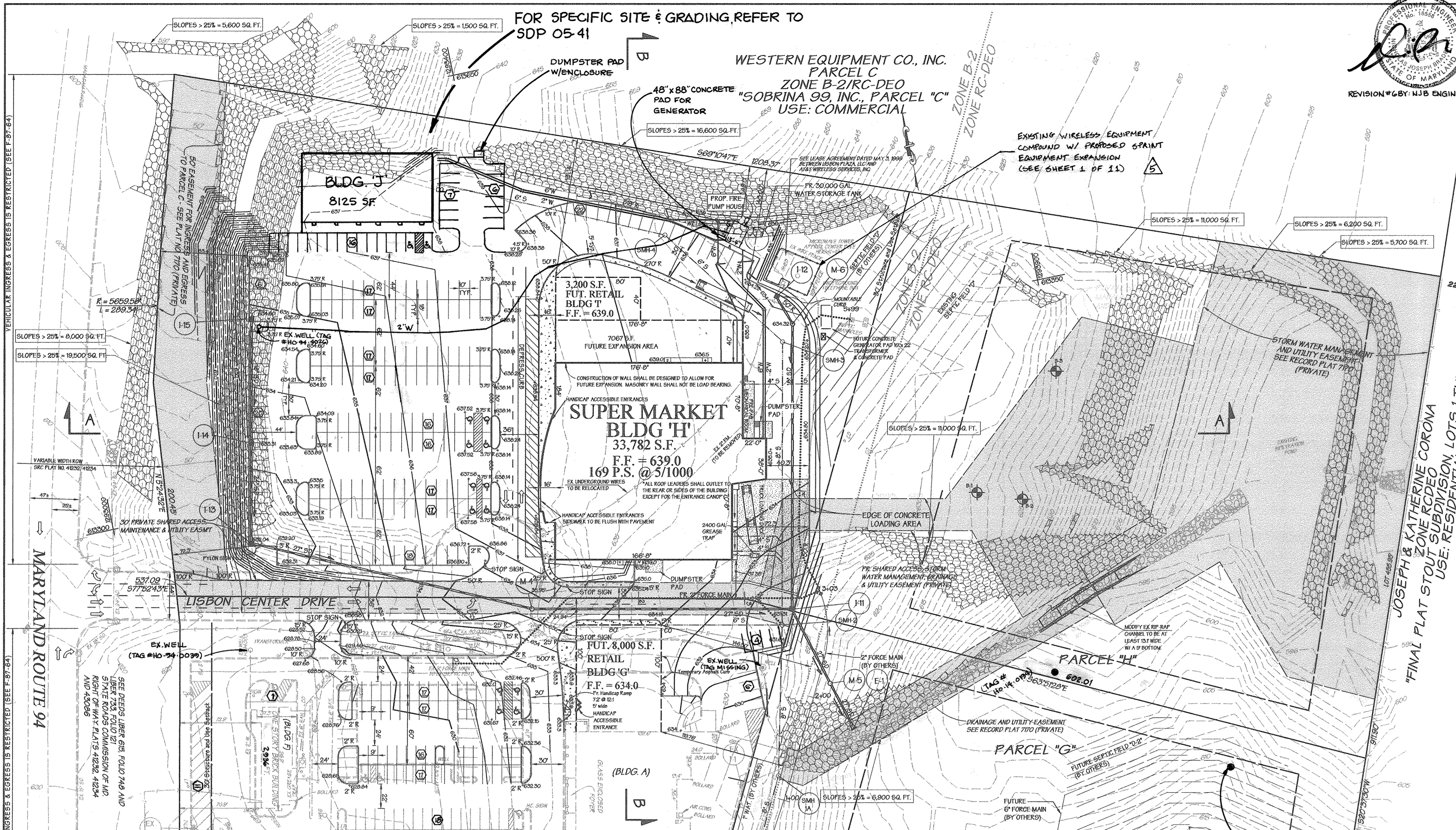
PLAT #	BLOCK #	ZONE	TAX MAP	ELECT. DIST.	CENSUS TRACT
15857	24	RC-DEO	2	4	6040.01

WATER CODE N/A SEWER CODE N/A

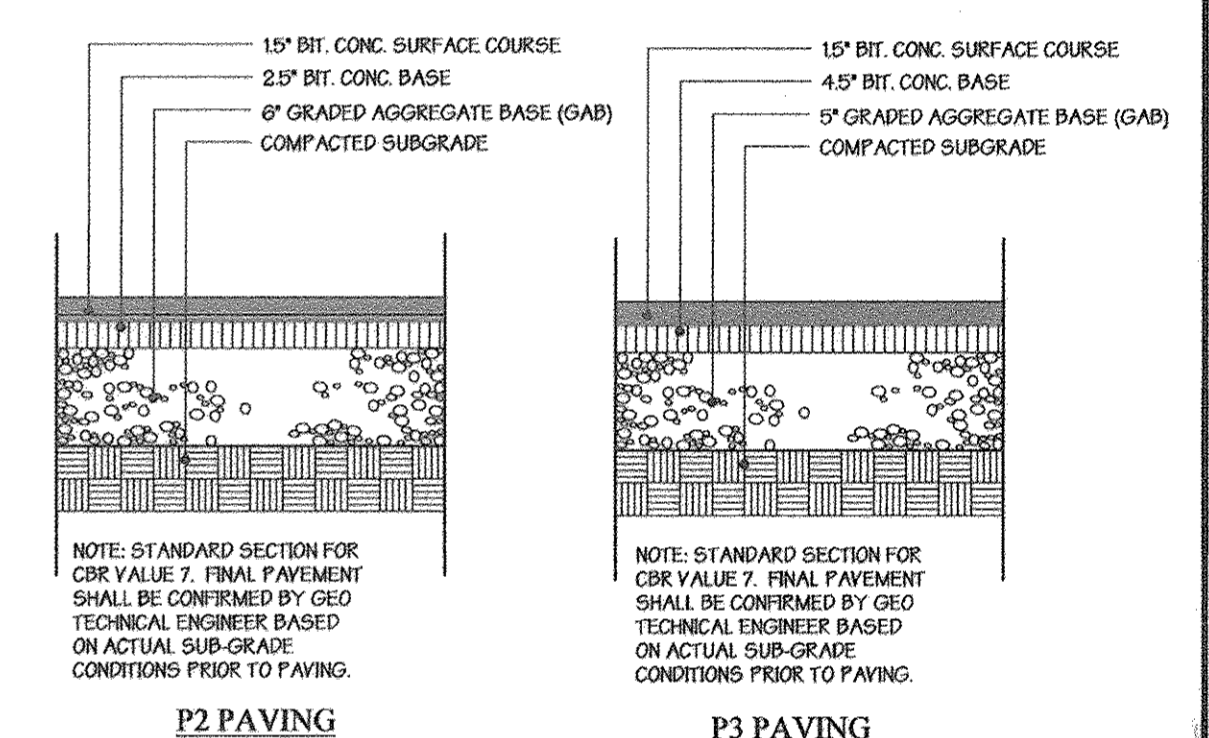
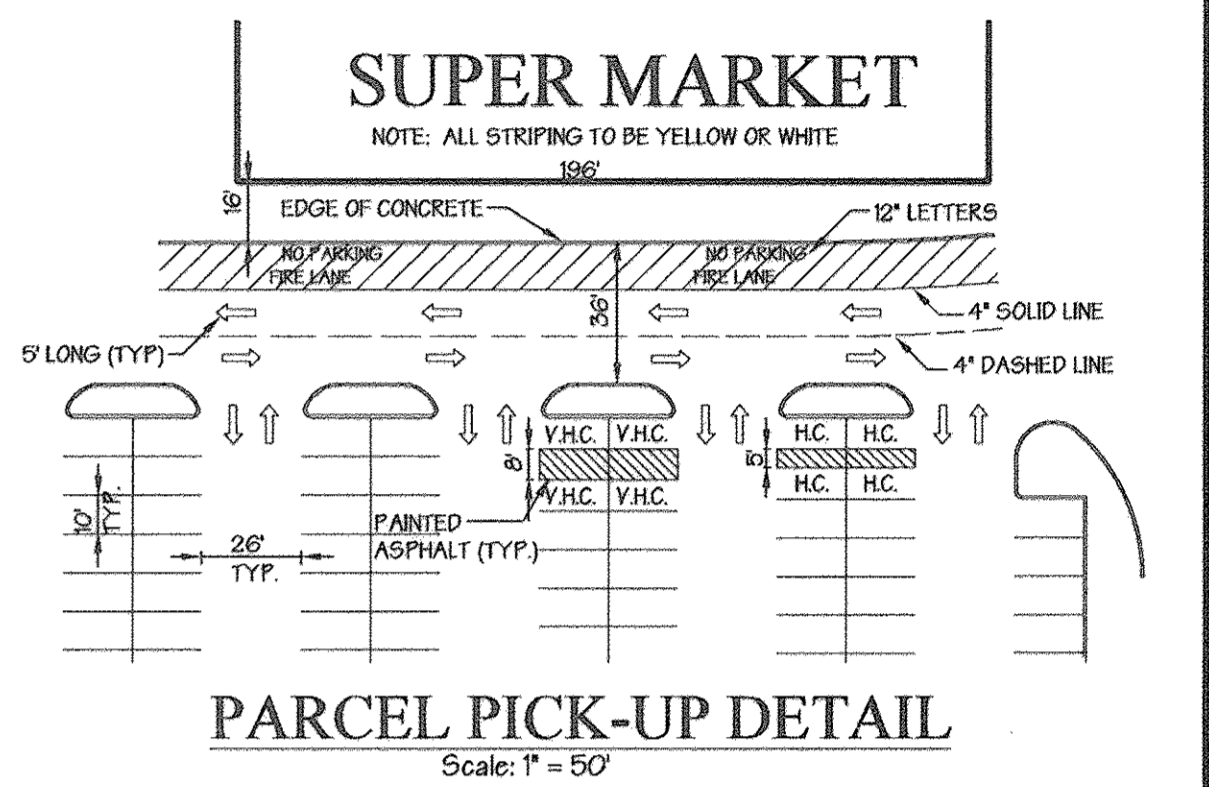
Title Sheet
REVISED SITE DEVELOPMENT PLAN
ROUTE 94 BUSINESS CENTER
LISBON CENTER - PARCELS G AND H
 Election District #4
 Deed Ref: 4467/590
 Tax Map 2, Grid 24, Parcel 82
 Scale: As Shown
 Howard County, Maryland
 July 23, 2004
 Replacement Sheet I of 11
 SDP-02-096

Matis Warfield
 consulting engineers
 contact: Nick Brader
 10540 York Road
 Hunt Valley, Maryland 21030
 phone 410-683-1908
 fax 410-683-1908
 www.matiswarfield.com





LEGEND	
PROPERTY LINE	---
EXISTING CONTOURS	--- 270 ---
PROPOSED CONTOURS	--- 270 ---
EXISTING WATER	---
EXISTING STORM DRAIN	---
EXISTING SANITARY	---
PROPOSED STORM DRAIN	---
PROPOSED SANITARY	---
PROPOSED WATER	---
EXISTING CURB AND GUTTER	---
PROPOSED CURB AND GUTTER	---
EX. DOUBLE PARKING LOT LIGHT	□
EX. SINGLE PARKING LOT LIGHT	□
EX. G & E POLE	○
CART CORRAL	□

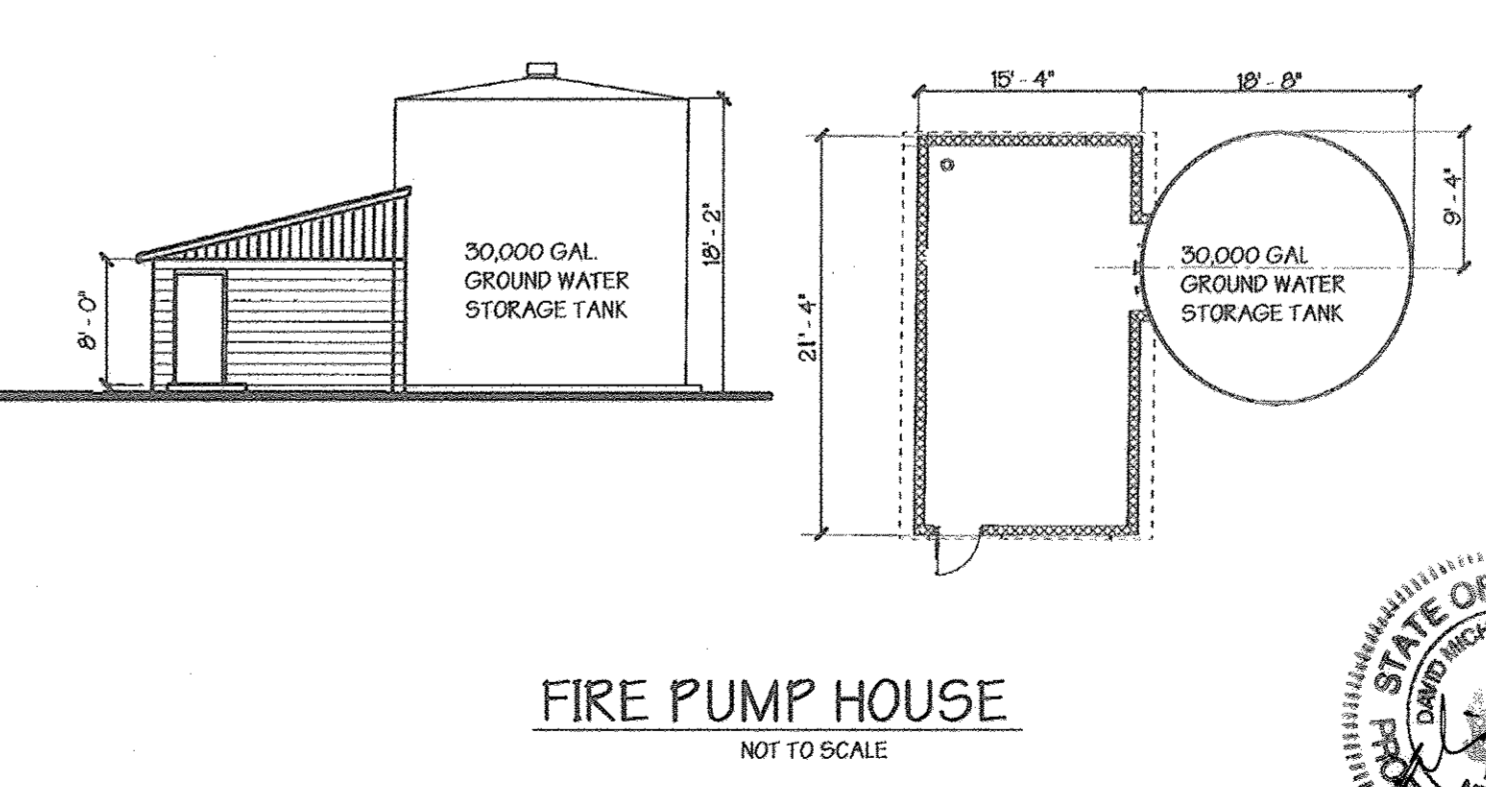


Detail Paving Sections
Not To Scale

PLAN
SCALE: 1" = 50'

CLIENT	JOB #	ISSUING	SHEET	DATE	CLIENT	JOB #	ISSUING	SHEET	DATE	CLIENT	JOB #	ISSUING	SHEET	DATE
Union Plaza, LLC	225-A	D-1	1 OF 1	3/12/02	Union Plaza, LLC	225-A	D-2	1 OF 1	3/12/02	Union Plaza, LLC	225-A	D-3	1 OF 1	3/12/02

MATCHLINE SHEET 3
WELL #3 (TAG #HO-14-018B)



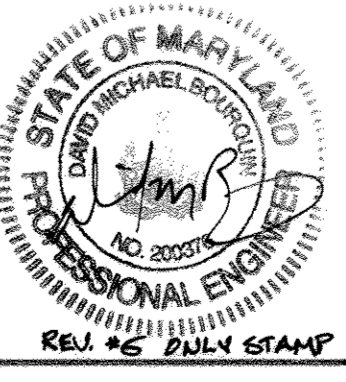
NOTE:
tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

Matis Warfield
consulting engineers
contact: Nick Brader
10540 York Road Suite 11
hunt valley, maryland 21030
phone 410-883-7004
facsimile 410-883-7993
www.matiswarfield.com

REVISION PURPOSE STATEMENT
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT (REV#1) PLAN IS TO REMOVE THE PROPOSED SAND FILTER/TRAP, REVISE THE BUILDING FOOTPRINT, REDUCE THE LIMIT OF DISTURBANCE TO THE EXISTING ENTRANCE ROAD AND MOVE AND RE-SIZE THE WATER STORAGE TANK.
THE PURPOSE OF REVISION #3 TO THIS SITE DEVELOPMENT PLAN IS TO REVISE THE PARKING LAYOUT AND TO ADJUST THE GRADING, STORM DRAINS, LANDSCAPING AND SEDIMENT CONTROL AS NECESSARY AND TO REVISE WATER STORAGE TANK TO ABOVE-GROUND

OWNER/DEVELOPER
Lisbon Plaza, LLC
c/o MIE Properties, Inc.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100
Contact: Ramon Benitez

DATE	REVISION
4/16/08	REV#6 - PROP. RESTAURANT ADDITION, UPDATE PARKING, SHOW GENERATOR
9/3/06	REV#5 - PROPOSED SPRAINT EQUIPMENT EXPANSION
10/28/04	REV#4 - REVISE DIMENSIONS OF POND HOUSE
7/23/04	REV#3 - SITE PLAN SHEET REPLACEMENT
2/26/04	REV#2 - REVISED 2" FORCE MAIN ALIGNMENT
12-1-03	REV#1 - SITE PLAN SHEET REPLACEMENT



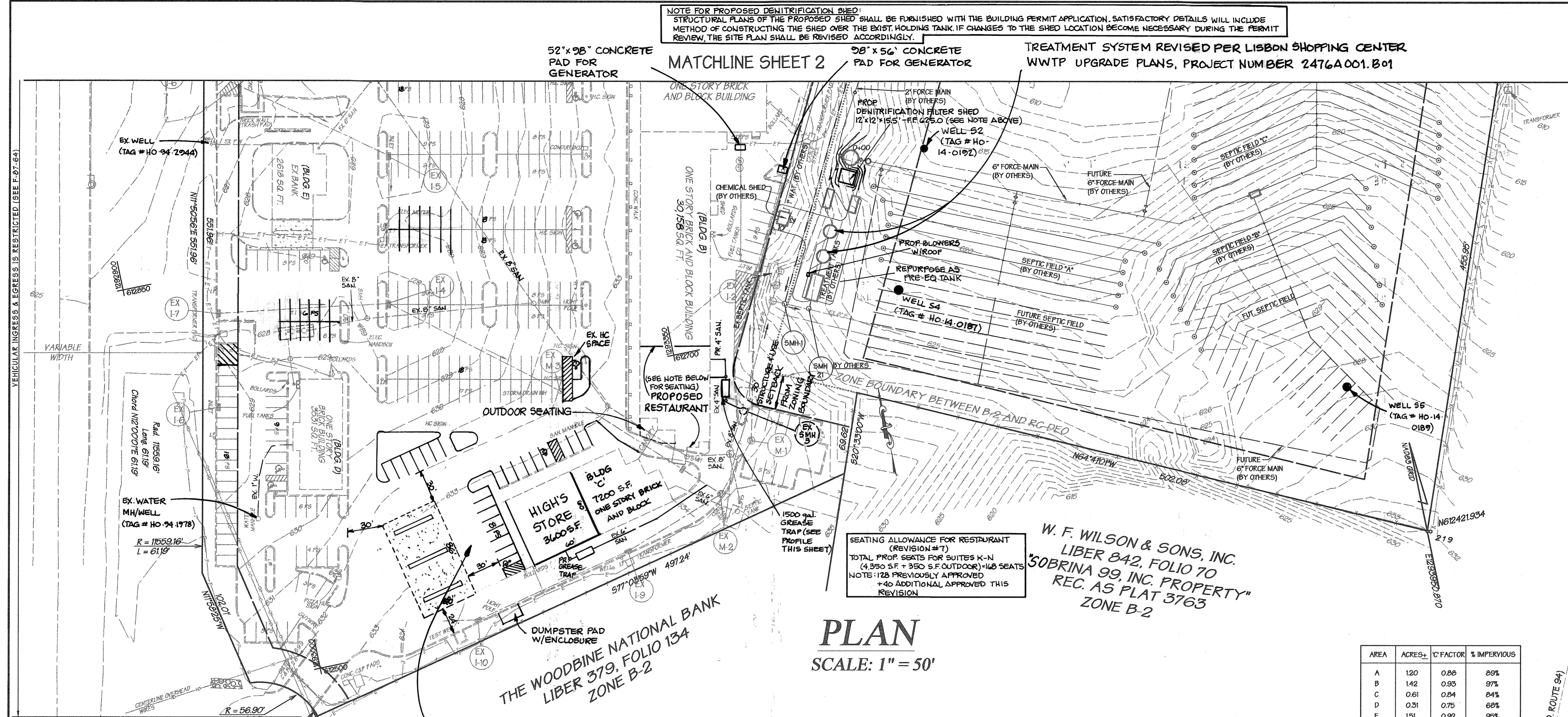
Approved: For private water and private sewerage systems.
Howard County Health Department.
Ronald W. Blair
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT
8/19/04 DATE
Reviewed for the Howard Conservation District and meets technical requirements.
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE
This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
APPROVED: HOWARD SOIL CONSERVATION DISTRICT
APPROVED: Department of Planning and Zoning
Carly Klemm
CHIEF, DEVELOPMENT-ENGINEERING DIVISION
DIVISION OF LAND DEVELOPMENT
8/23/04 DATE
Carly Klemm (acting)
DIRECTOR
8/23/04 DATE
Site Plan
REVISED SITE DEVELOPMENT PLAN
ROUTE 94 BUSINESS CENTER
LISBON CENTER - PARCELS G AND H
Election District #4
Deed Ref: 4467/590
Tax Map 2, Grid 24, Parcel 82
Howard County, Maryland
July 23, 2004
Replacement Sheet 2 of 11
Scale: 1"=50'
P.N. 2000041
SDP-02-096

NOTE FOR PROPOSED DENITRIFICATION SHED:
 STRUCTURAL PLANS OF THE PROPOSED SHED SHALL BE FURNISHED WITH THE BUILDING PERMIT APPLICATION. SATISFACTORY DETAILS WILL INCLUDE METHOD OF CONSTRUCTING THE SHED OVER THE EXIST. HOLDING TANK. IF CHANGES TO THE SHED LOCATION BECOME NECESSARY DURING THE PERMIT REVIEW, THE SITE PLAN SHALL BE REVISED ACCORDINGLY.

52' x 98' CONCRETE PAD FOR GENERATOR
 MATCHLINE SHEET 2
 98' x 56' CONCRETE PAD FOR GENERATOR
 TREATMENT SYSTEM REVISED PER LISBON SHOPPING CENTER WWTP UPGRADE PLANS, PROJECT NUMBER 2476A001.B01

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING WATER
- EXISTING STORM DRAIN
- EXISTING SANITARY
- PROPOSED STORM DRAIN
- PROPOSED SANITARY
- EXISTING WATER
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EX DOUBLE PARKING LOT LIGHT
- EX SINGLE PARKING LOT LIGHT
- RG & E POLE

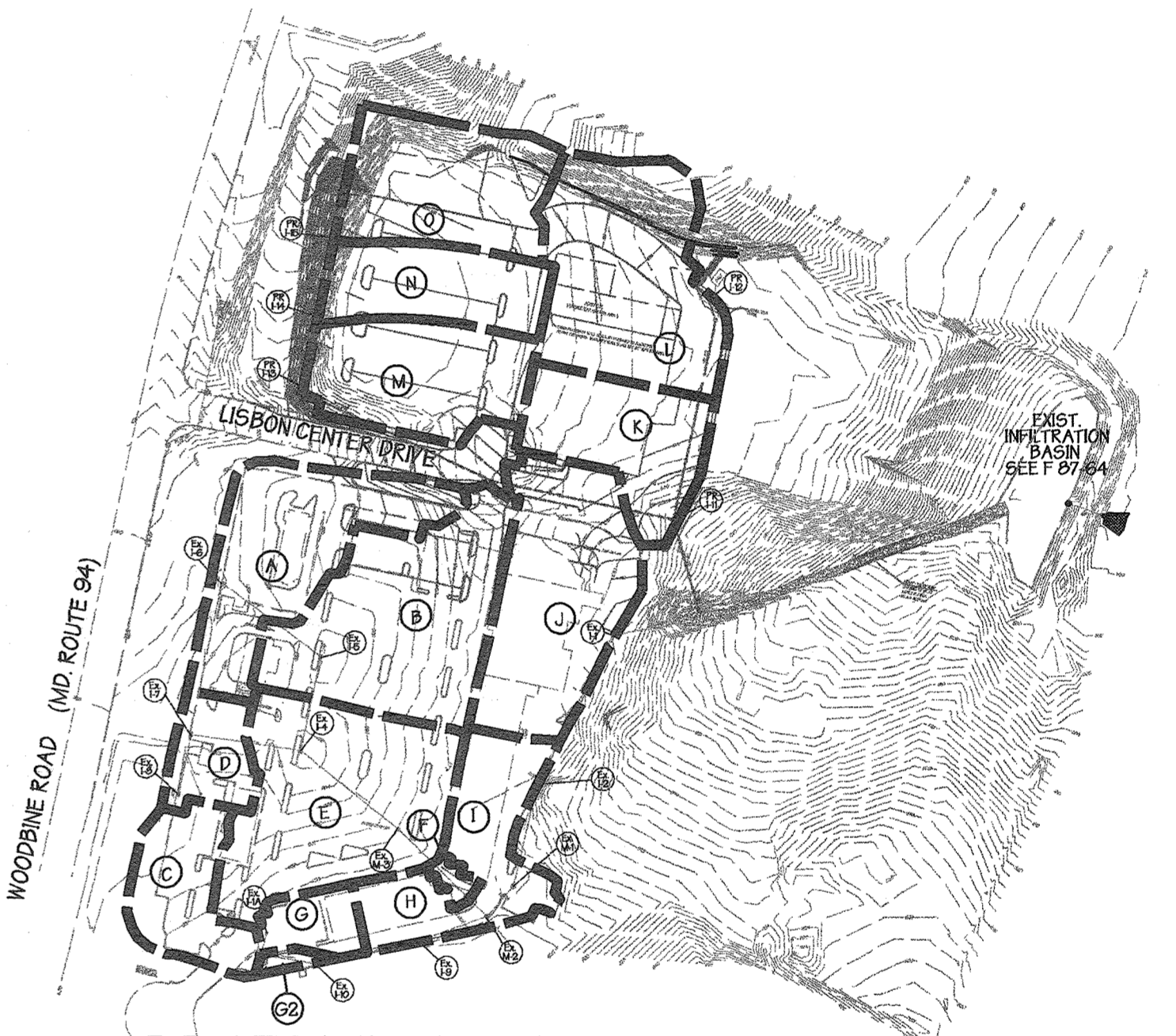


PLAN
 SCALE: 1" = 50'

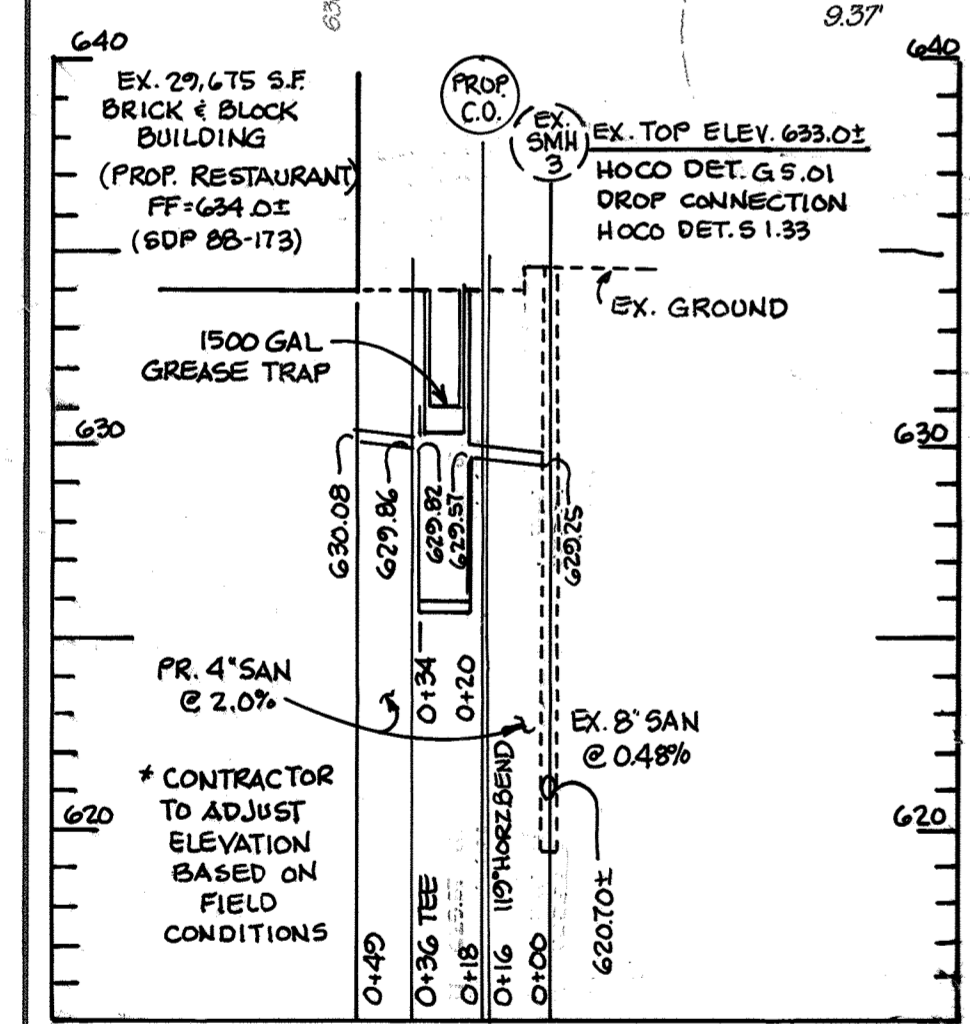
W. F. WILSON & SONS, INC.
 LIBER 842, FOLIO 70
 SOBRIANA 99, INC. PROPERTY
 REC. AS PLAT 3763
 ZONE B-2

AREA	ACRES±	C FACTOR	% IMPERVIOUS
A	1.20	0.88	68%
B	1.42	0.95	97%
C	0.61	0.84	84%
D	0.31	0.75	68%
E	1.51	0.92	95%
F	0.06	0.65	50%
G1	0.18	0.88	89%
G2	0.10	0.88	90%
H	0.29	0.86	86%
I	0.55	0.91	95%
J	1.53	0.94	98%
K	0.62	0.93	97%
L	1.41	0.74	68%
M	0.90	0.91	94%
N	0.68	0.95	97%
O	1.00	0.90	92%

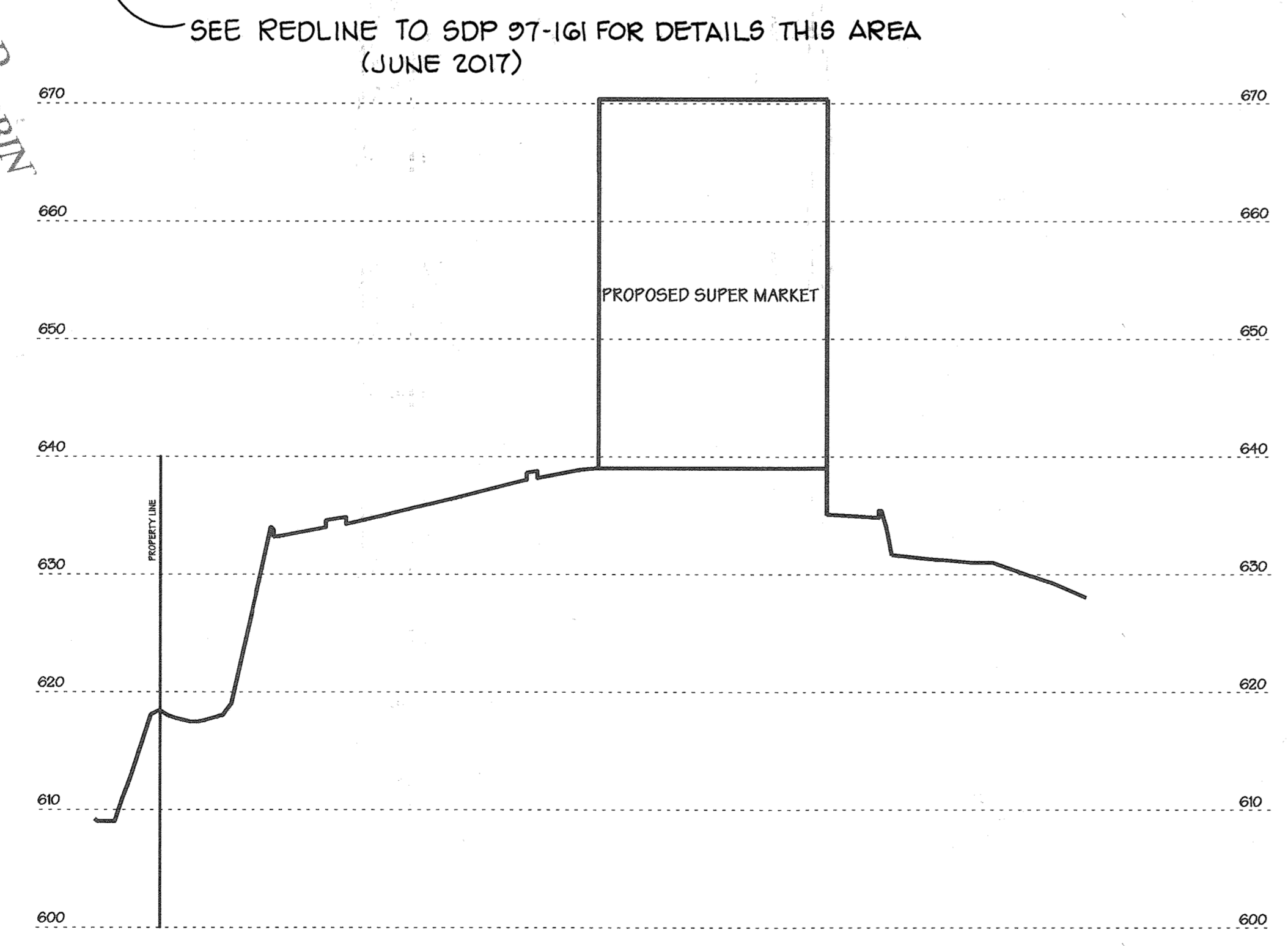
* AREA 'O' ASSUMES ULTIMATE CONDITIONS FOR POSSIBLE FUTURE RETAIL LOCATION



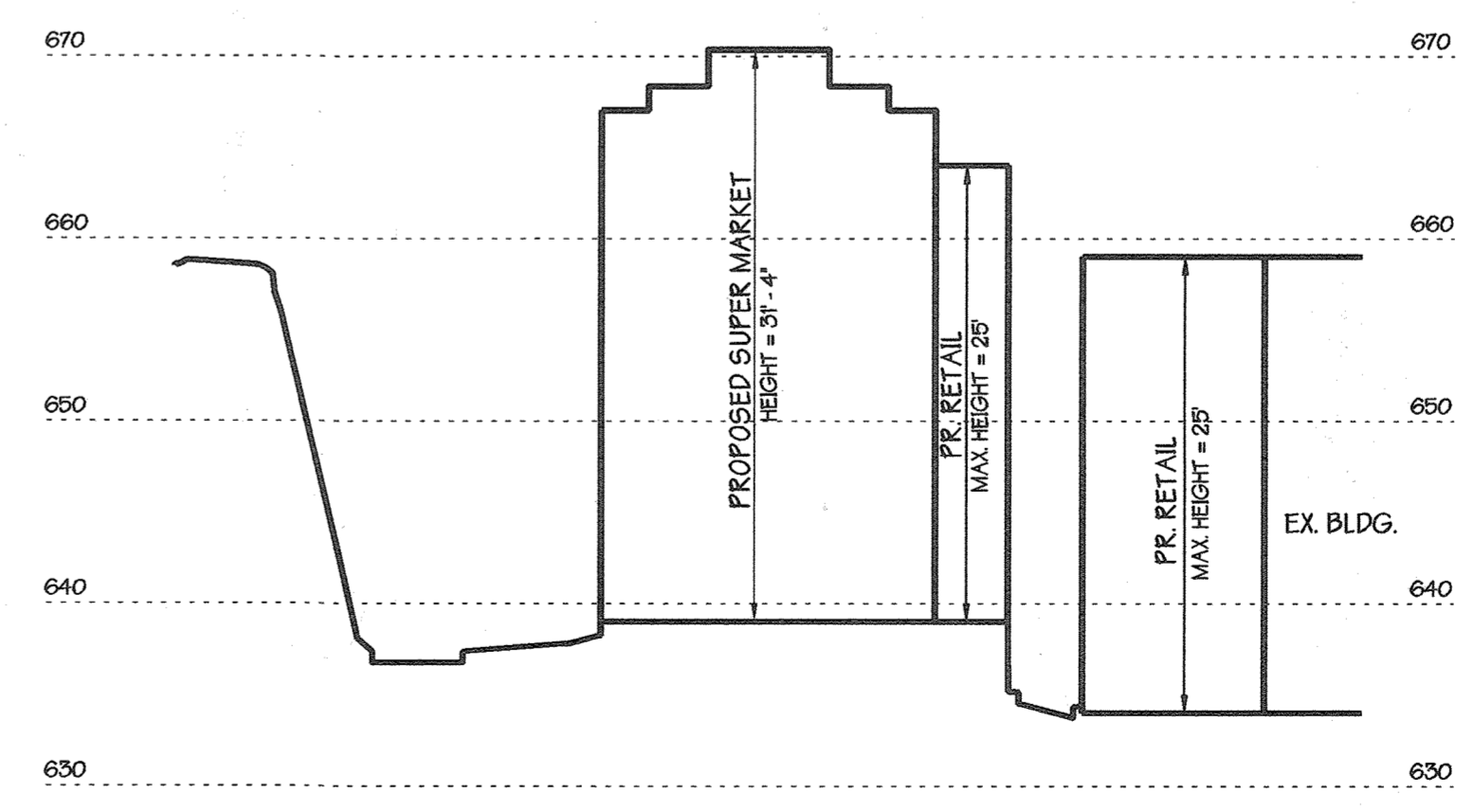
DRAINAGE AREA MAP
 SCALE: 1" = 200'



SANITARY PROFILE
 SCALE: HORIZ. 1" = 50'
 VERT. 1" = 5'



Section A-A
 Scale: Horiz. 1" = 50'
 Vert. 1" = 5'



Section B-B
 Scale: Horiz. 1" = 50'
 Vert. 1" = 5'



REVISION #6 BY: NJS ENGINEERING, INC.
 REVISION #7 BY: NJS ENGINEERING, INC.

NOTE:
 tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

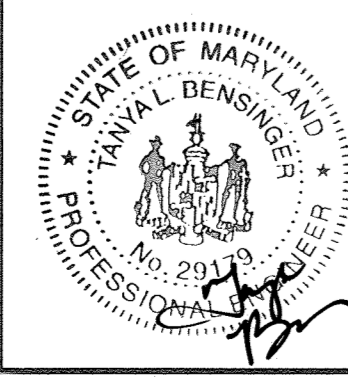
REVISION PURPOSE STATEMENT
 THE PURPOSE OF REVISION #3 TO THIS SITE DEVELOPMENT (REV#1) PLAN IS TO REVISE THE PARKING LAYOUT AND TO ADJUST THE GRADING, STORM DRAINS AND SEDIMENT CONTROL AS NECESSARY.
 THE PURPOSE OF REVISION #3 TO THIS SITE DEVELOPMENT PLAN IS TO REVISE THE PARKING LAYOUT AND TO ADJUST THE GRADING, STORM DRAINS, LANDSCAPING AND SEDIMENT CONTROL AS NECESSARY AND TO REVISE WATER STORAGE TANK TO BE ABOVE-GROUND

OWNER/DEVELOPER
Lisbon Plaza, LLC
 c/o MIE Properties, Inc.
 5720 Executive Drive
 Baltimore, Maryland 21228
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 Contact: Ramon Benitez

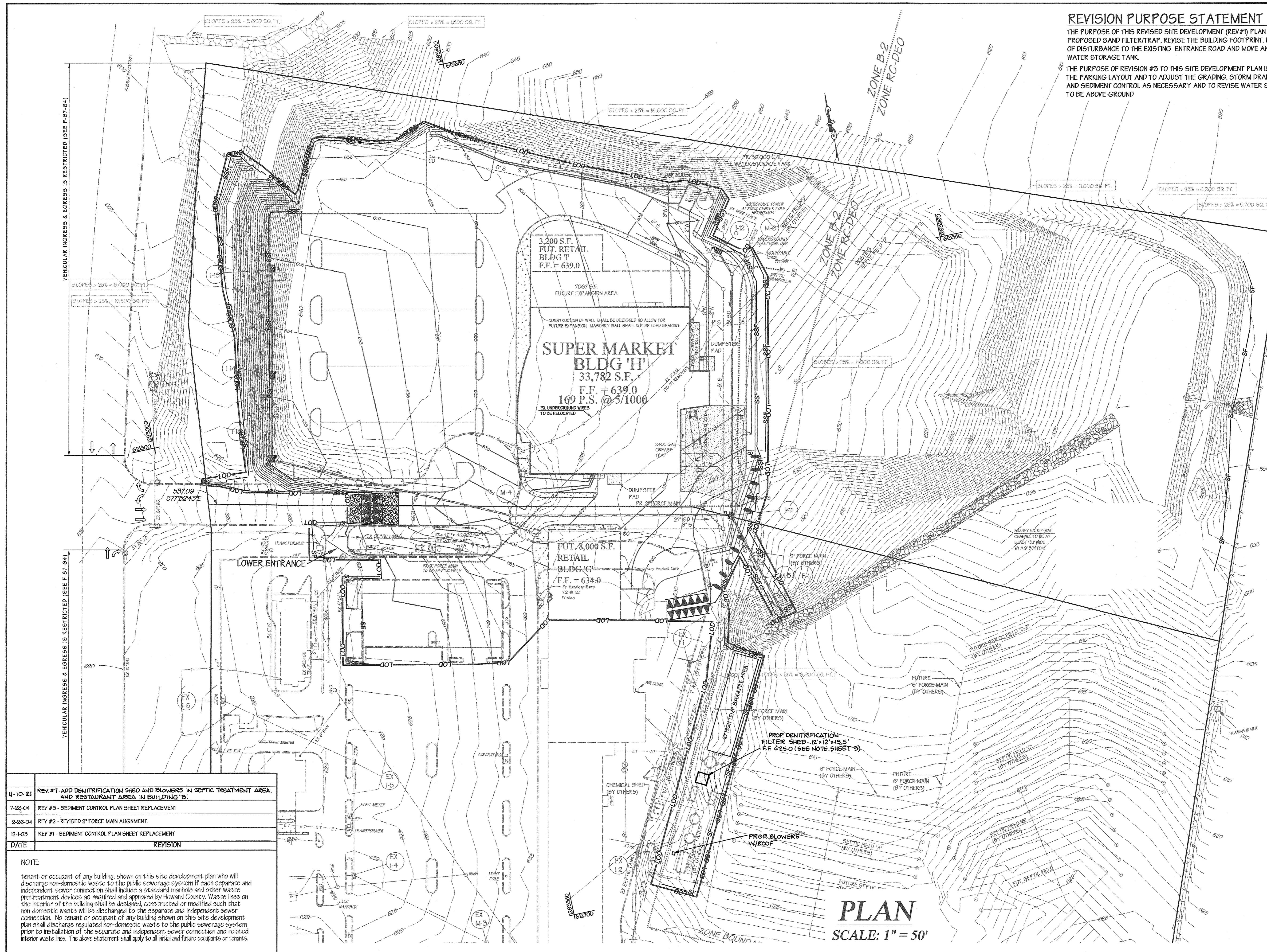
DATE	REVISION
11/10/21	REV #1 - ADD DENITRIFICATION SHED AND BLOWERS IN SEPTIC TREATMENT AREA AND RESTAURANT AREA IN BUILDING 'D'.
4/16/22	REV #2 - PROP. RESTAURANT ADDITION, UPDATE PARKING, SHOW GENERATOR PADS, ADD WELL #1 MONITORING WELL TAG NUMBERS, ADD GREASE TRAP BLDG. #1 ADD SEWAGE TANK NOTE SHEET 3
7/23/24	REV #3 - SITE PLAN SHEET REPLACEMENT

Approved: For private water and private sewerage systems.
 Howard County Health Department.
 Robert J. Wilson, 8/19/04, DATE
 HOWARD COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT
 Reviewed for the Howard Conservation District and meets technical requirements.
 USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE
 This development is approved for soil erosion and sediment control by the Howard Conservation District.
 APPROVED: HOWARD SOIL CONSERVATION DISTRICT
 APPROVED: Department of Planning and Zoning
 Chief, Development Engineering Division, 11/10/21, DATE
 Division of Land Development, 5/20/24, DATE
 Director, 5/20/24, DATE

Matis Warfield
 consulting engineers
 contact: Nick Brader
 10540 York road suite m
 hunt valley, maryland 21030
 phone 410-883-7004
 facsimile 410-883-1798
 www.matiwarfield.com



Site Plan
REVISED SITE DEVELOPMENT PLAN
 ROUTE 94 BUSINESS CENTER
 LISBON CENTER - PARCELS G AND H
 Election District #4
 Deed Ref: 4467/590
 Tax Map 2, Grid 24, Parcel 82
 Scale: 1" = 50'
 Howard County, Maryland
 July 23, 2004
 Replacement Sheet 3 of 11
 P.N. 2000041
 SDP-02-096



REVISION PURPOSE STATEMENT

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT (REV#1) PLAN IS TO REMOVE THE PROPOSED SAND FILTER/TRAP, REVISE THE BUILDING FOOTPRINT, REDUCE THE LIMIT OF DISTURBANCE TO THE EXISTING ENTRANCE ROAD AND MOVE AND RE-SIZE THE WATER STORAGE TANK.

THE PURPOSE OF REVISION #3 TO THIS SITE DEVELOPMENT PLAN IS TO REVISE THE PARKING LAYOUT AND TO ADJUST THE GRADING, STORM DRAINS, LANDSCAPING AND SEDIMENT CONTROL AS NECESSARY AND TO REVISE WATER STORAGE TANK TO BE ABOVE-GROUND

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING WATER
- EXISTING STORM DRAIN
- EXISTING SANITARY
- PROPOSED STORM DRAIN
- PROPOSED SANITARY
- PROPOSED WATER
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EX. DOUBLE PARKING LOT LIGHT
- EX. SINGLE PARKING LOT LIGHT
- BG & E POLE
- CHECK DAM
- SILT FENCE
- SUPER SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- MOUNTABLE BERM

SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT.
2. NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS PRIOR TO BEGINNING WORK.
3. (a) INSTALL SILT FENCE FOR CONSTRUCTION OF LOWER ENTRANCE ONLY. BEGIN GRADING OPERATIONS IN AREA OF LOWER ENTRANCE. INSTALL CURB AND GUTTER AND STONE SUBBASE THEN BEGIN PAVING. ONCE ENTRANCE IS COMPLETE, TRAFFIC CAN ENTER AND EXIT SHOPPING CENTER THROUGH LOWER ENTRANCE. (7 DAYS)
- (b) INSTALL REMAINING SEDIMENT CONTROLS (SILT FENCE, SUPER SILT FENCE, STONE CHECK DAMS, AND STABILIZED CONSTRUCTION ENTRANCE) (7 DAYS)
4. BEGIN GRADING OPERATION MAINTAINING POSITIVE DRAINAGE TOWARD SEDIMENT CONTROL DEVICES AND MEASURES. (1 DAY)
5. INSTALL STORM DRAINS (PLUG INLETS - SEE DTL. SHT. 6) AND UTILITIES AND BEGIN BUILDING CONSTRUCTION (10 WEEKS)
6. THE GRADE AREA NOT BEING PAVED AND STABILIZE (5 DAYS)
7. UPON STABILIZATION OF THE SITE WITH ESTABLISHED VEGETATION AND STONE SUBBASE IN THE SIDEWALK AND PAVEMENT AREAS AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR MUCK OUT EXISTING FACILITY AND RESTORE TO AS BUILT CONTOURS (SEE DTL. SHT. 7). REMOVE INLET PLUGS (5 DAYS)
8. INSTALL PAVEMENT AND SIDEWALKS FOR THE ENTIRE SITE (14 DAYS)
9. WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ANY REMAINING SEDIMENT CONTROL MEASURES AND STABILIZE. (5 DAYS)

UTILITY NOTE

- A) CONTRACTOR SHOULD OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) THE TRENCH.
- B) PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- C) ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

- * SILT FENCE/SUPER SILT FENCE SHOULD BE INSTALLED IN A "J" CONFIGURATION WHENEVER IT "RUNS DOWNHILL"
- * ALL WORK IN EXISTING PAVED AREAS IS TO BE STABILIZED WITH STONE AT THE END OF EACH WORKING DAY.
- * THE CONTRACTOR IS RESPONSIBLE FOR CLEANING THE EXISTING SWM POND FOR ANY SEDIMENT ATTRIBUTED TO THIS PLAN.

DATE	REVISION
11-10-21	REV #7 - ADD DENITRIFICATION SHED AND BLOWERS IN SEPTIC TREATMENT AREA AND RESTAURANT AREA IN BUILDING 'B'.
7-23-04	REV #3 - SEDIMENT CONTROL PLAN SHEET REPLACEMENT
2-26-04	REV #2 - REVISED 2" FORCE MAIN ALIGNMENT.
12-1-03	REV #1 - SEDIMENT CONTROL PLAN SHEET REPLACEMENT

NOTE:

tenant or occupant of any building, shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

PLAN
SCALE: 1" = 50'

Approved: For private water and private sewerage systems.
Howard County Health Department.

Robert W. Williams 8/19/04
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT DATE

Reviewed for the Howard Conservation District and meets technical requirements.
Jim May 8/14/04
USA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
John K. Blubaugh 8/14/04
APPROVED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: Department of Planning and Zoning
Cindy Hamstra 8/19/04
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Cindy Hamstra 8/20/04
DIVISION OF LAND DEVELOPMENT DATE
Cindy Hamstra (acting) 8/20/04
DIRECTOR DATE

Matis Warfield
consulting engineers

contact: Nick Brader
10540 York Road, Suite M
Hunt Valley, Maryland 21090
Phone 410-683-1700
Facsimile 410-683-1798
www.matiswarfield.com

ENGINEER CERTIFICATION:

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: *Tanya L. Bensinger* Date: 7-23-04
Name: Tanya L. Bensinger PE # 29179

OWNER/DEVELOPER

Lisbon Plaza, LLC
c/o MIE Properties, Inc.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100
Contact: Taran Benitez

DEVELOPER CERTIFICATION:

We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer: *Edward St. John* Date: 7/22/04
Name: Edward St. John

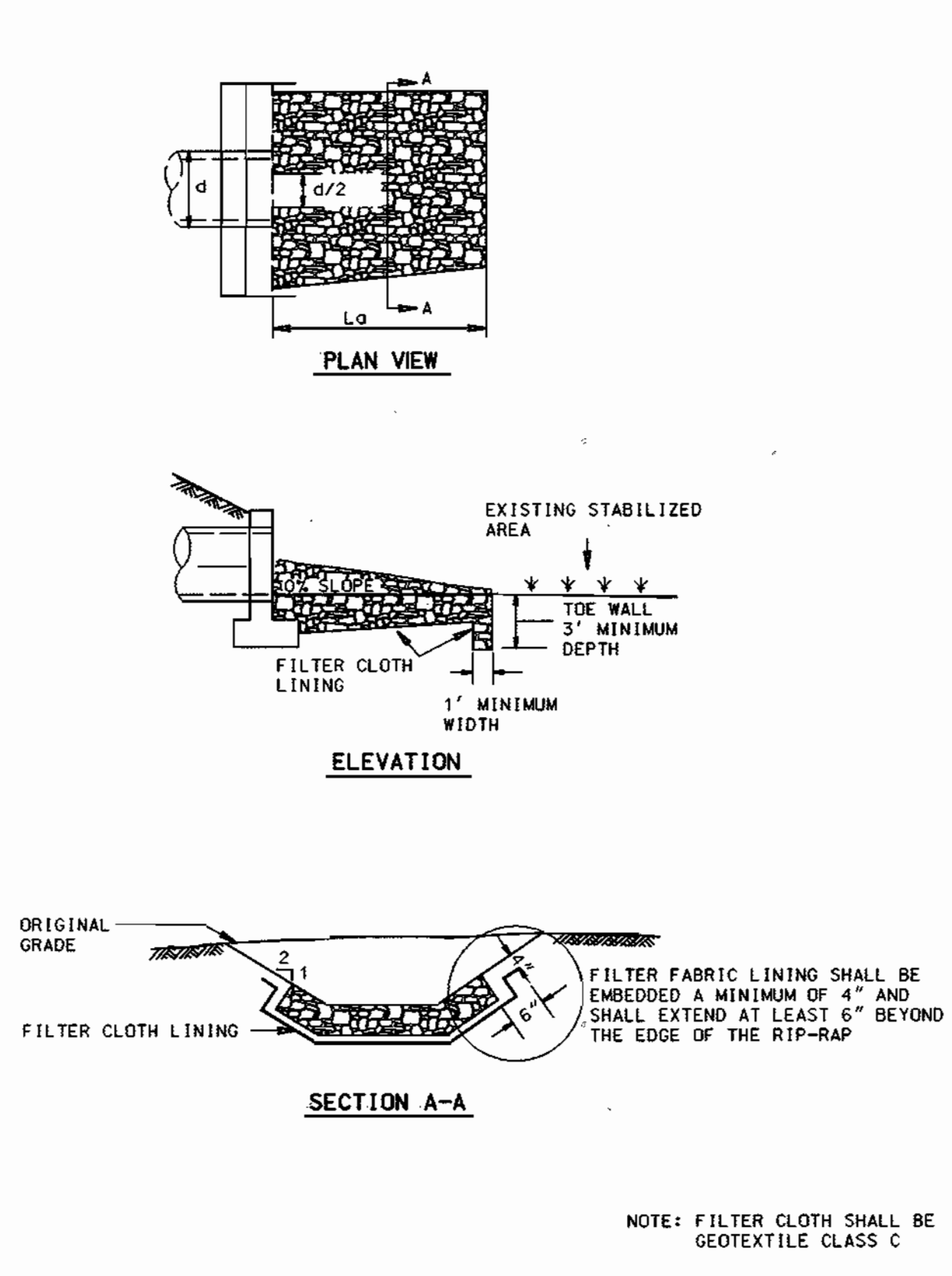
Sediment Control Plan
REVISED SITE DEVELOPMENT PLAN
ROUTE 94 BUSINESS CENTER
LISBON CENTER - PARCELS G AND H

Election District #4
Deed Ref: 4467/590
Tax Map 2, Grid 24, Parcel 82
Scale: 1"=50'

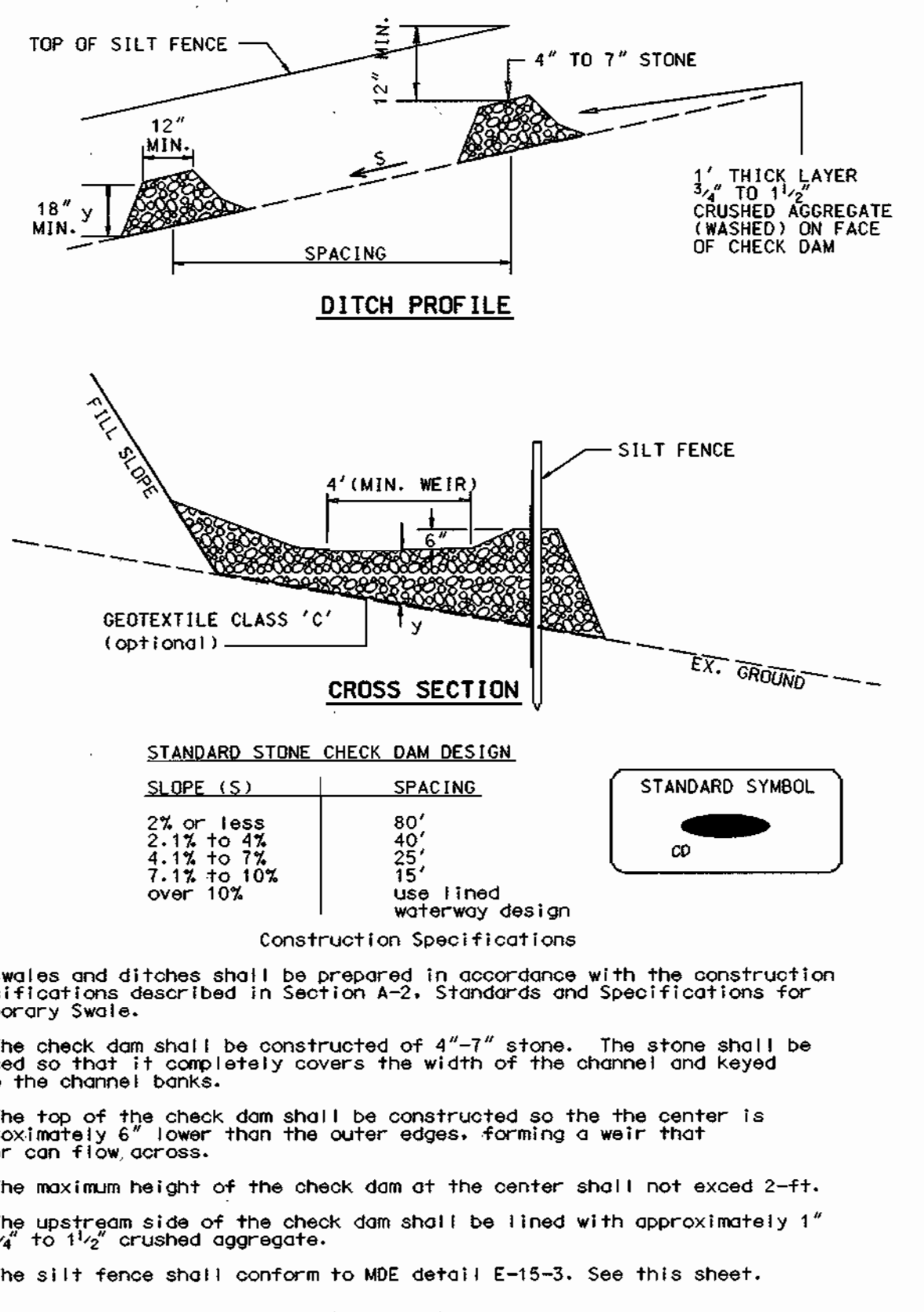
Howard County, Maryland
July 23, 2004
Replacement Sheet 4 of 11

SDP-02-096

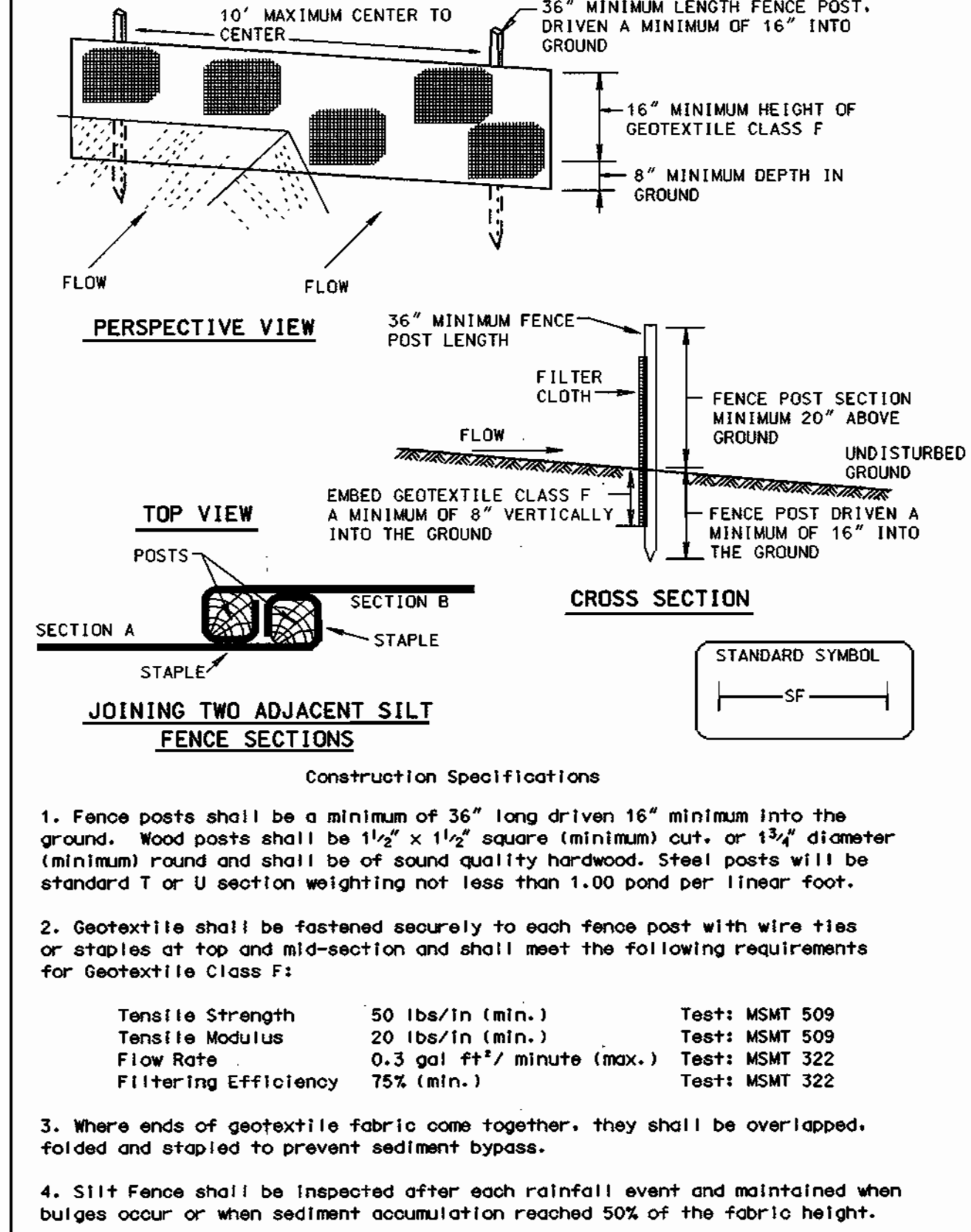
DETAIL 27 - ROCK OUTLET PROTECTION III



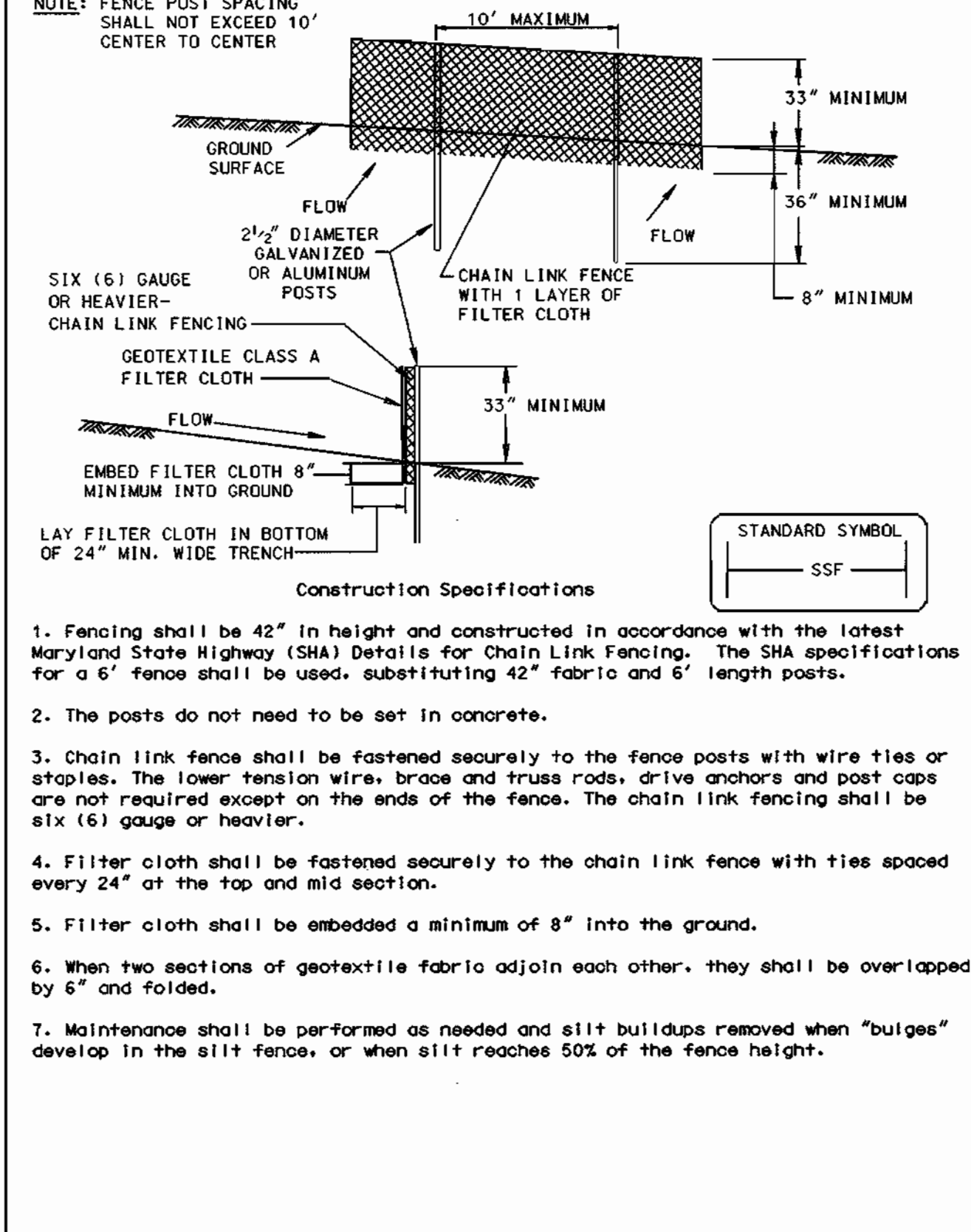
DETAIL 7 - STONE CHECK DAM WITH SILT FENCE



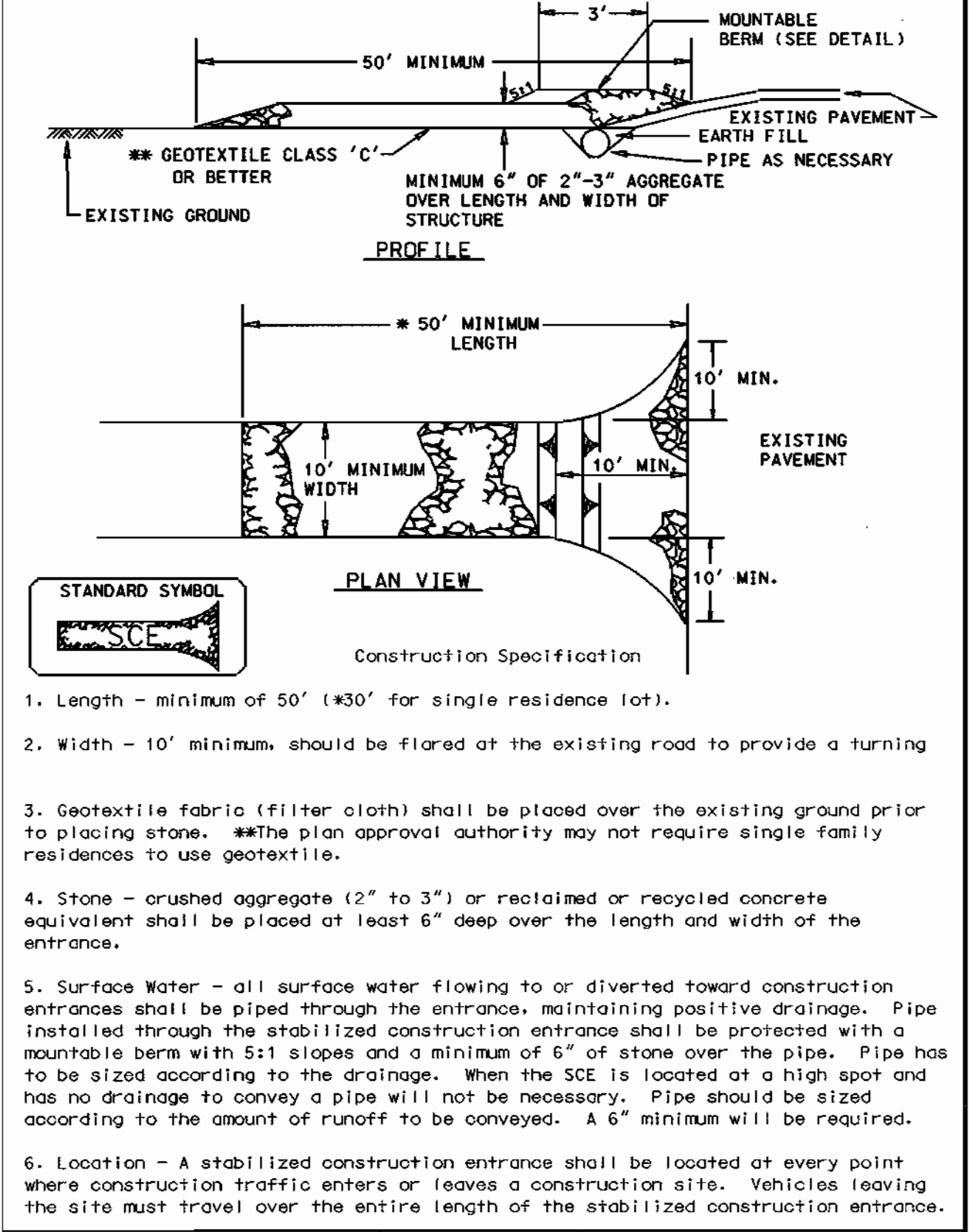
DETAIL 22 - SILT FENCE



DETAIL 33 - SUPER SILT FENCE



DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

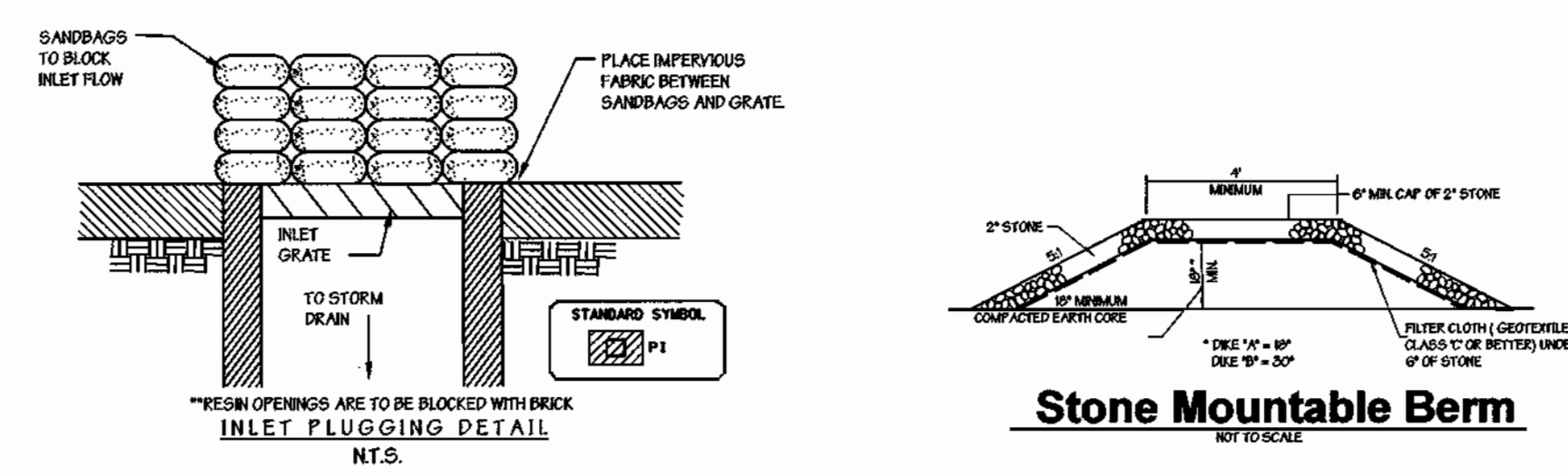


U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F - 18 - 10 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E - 15 - 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE H - 26 - 3 MODIFIED MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F - 17 - 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



Approved: For private water and private sewerage systems.
Howard County Health Department.

Ramon Benitez 12-29-03
COUNTY HEALTH OFFICER STATE HEALTH DEPARTMENT DATE

Reviewed for the Howard Conservation District and meets technical requirements.

Jim Meyers 12/15/03
HDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

John R. Robinson 12/15/03
APPROVED: HOWARD SOIL CONSERVATION DISTRICT

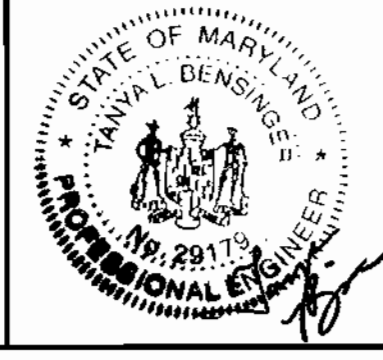
APPROVED: Department of Planning and Zoning

John R. Robinson 12/15/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Kat Shindler 12/30/03
DIVISION OF LAND DEVELOPMENT DATE

John R. Robinson 12/30/03
DIRECTOR OF PLANNING DATE

Matis Warfield
consulting engineers
contact: Nick Brader
10540 York Road, Suite 100
Hunt Valley, Maryland 21030
phone 410-683-7004
facsimile 410-683-1798
www.matiswarfield.com



REVISION PURPOSE STATEMENT
THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO REMOVE THE PROPOSED SAND FILTER/TRAP, REVISE THE BUILDING FOOTPRINT, REDUCE THE LIMIT OF DISTURBANCE TO THE EXISTING ENTRANCE ROAD AND MOVE AND RE-SIZE THE WATER STORAGE TANK. THESE CHANGES AFFECT THE SEDIMENT CONTROL DETAILS SHOWN ON THIS SHEET.

OWNER/DEVELOPER
Lisbon Plaza, LLC
c/o MIE Properties, Inc.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100
Contact: Ramon Benitez

DATE	REVISION
12-1-03	SEDIMENT CONTROL NOTES & DETAILS SHEET REPLACEMENT

Sediment Control Notes & Details
REVISED SITE DEVELOPMENT PLAN
ROUTE 94 BUSINESS CENTER
LISBON CENTER - PARCELS G AND H
Election District #4
Deed Ref: 4467/590
Tax Map 2, Grid 24, Parcel 82
Scale: n/a
Howard County, Maryland
December 1, 2003
Sheet 6 of 11
SDP-02-096

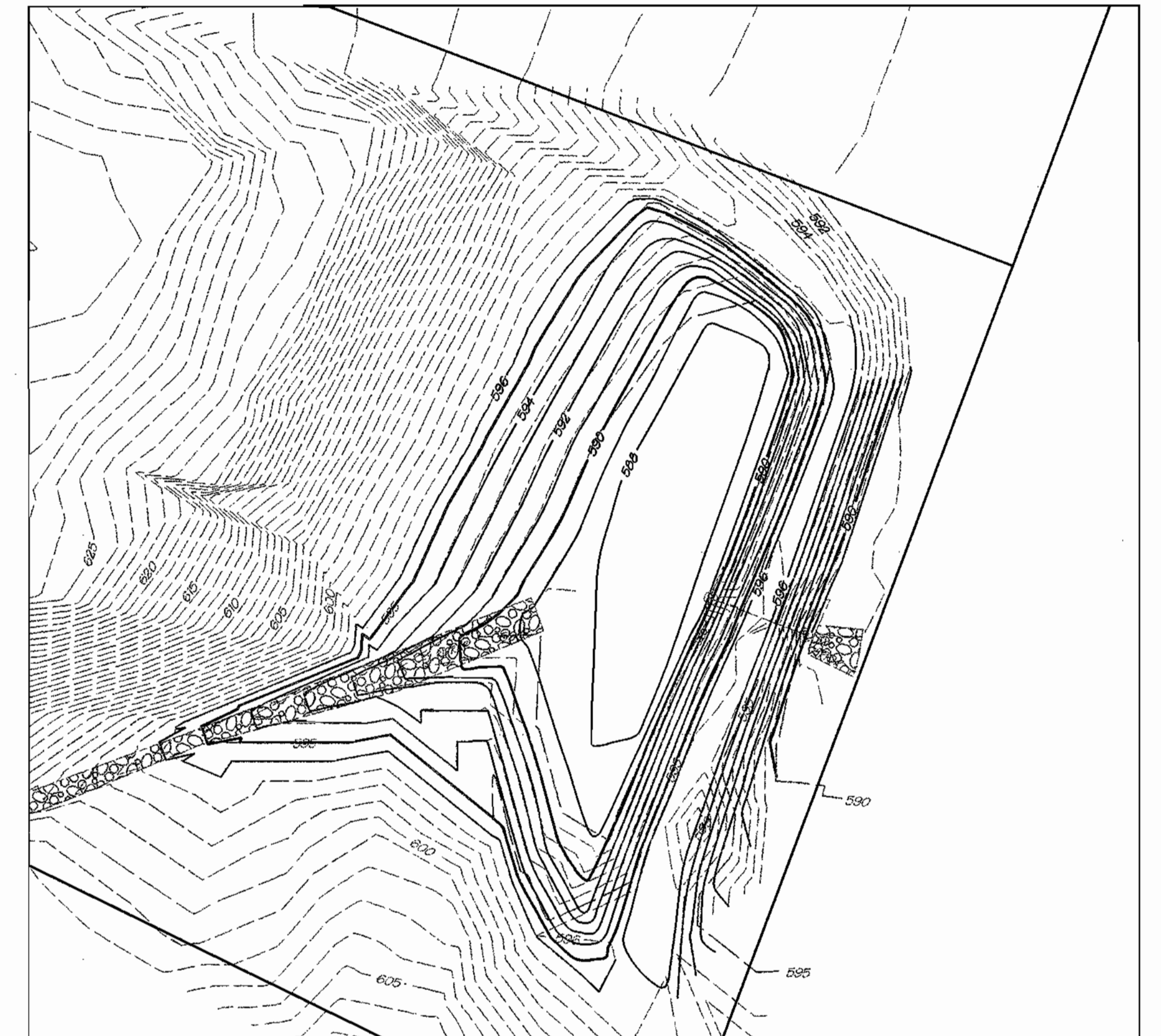
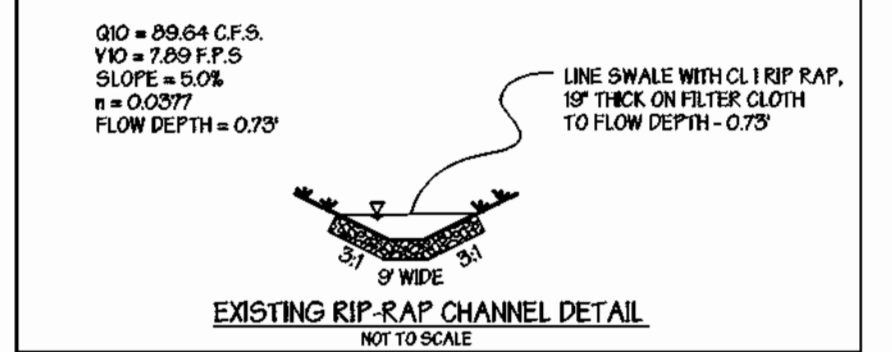
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER PONDS

ROUTINE MAINTENANCE

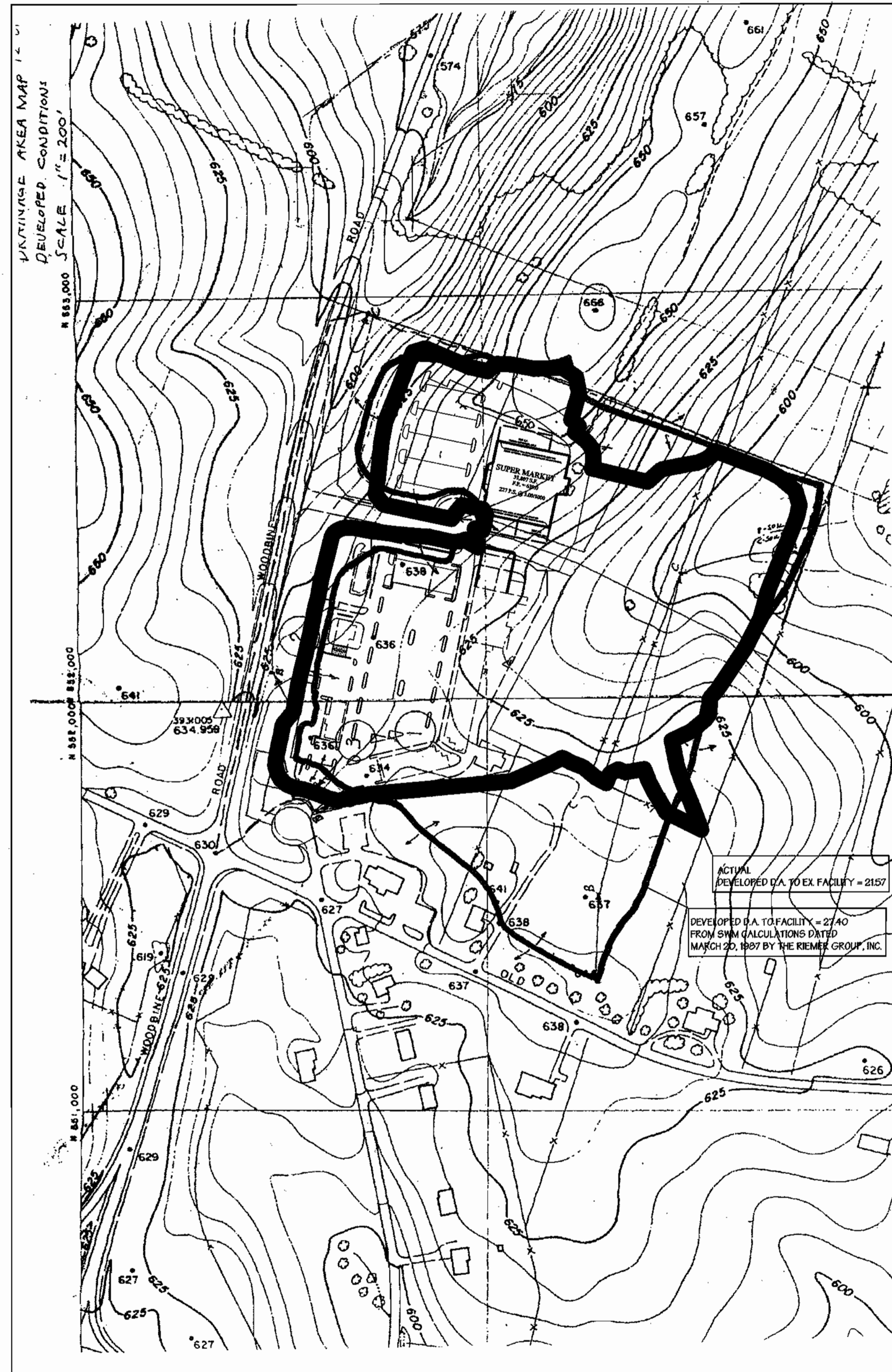
1. Facility shall be inspected annually and after major storms. Inspections shall be performed during wet weather to determine if the pond is functioning properly.
2. Top and side slopes of the embankment shall be mowed a minimum of two (2) times per year, once in June and once in September. Other side slopes and maintenance access shall be mowed as needed.
3. Debris and litter shall be removed during regular mowing operations and as needed.
4. Visible signs of erosion in the pond as well as the rip-rap or gabion outlet area shall be repaired as soon as it is noticed.

NON-ROUTINE MAINTENANCE

1. Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components shall be inspected during routine maintenance operations.
2. Sediment shall be removed from the pond, and forebay, no later than when the capacity of the pond, or forebay, is half full of sediment, or when deemed necessary for aesthetic reasons, upon approval from the Department of Public Works.



DETAIL FOR RESTORING EXISTING FACILITY TO AS-BUILT GRADES
SCALE: 1" = 50'



STORMWATER MANAGEMENT DRAINAGE AREA MAP
SCALE: 1" = 200'

Approved: For private water and private sewerage systems.
Howard County Health Department.

Ramon Benitez 12/24/03
COUNTY HEALTH OFFICER DATE
HOWARD COUNTY HEALTH DEPARTMENT

Reviewed for the Howard Conservation District and meets technical requirements.

Jim Meyer 12/15/03
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

John R. Plunkett 12/15/03
APPROVED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: Department of Planning and Zoning

[Signature] 12/15/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Kit Sheehy 12/26/03
DIVISION OF LAND DEVELOPMENT DATE

[Signature] 12/30/03
DIRECTOR DATE

Matis Warfield
consulting engineers

contact: Nick Brader
10540 York Road, Suite 21030
Hunt Valley, Maryland 21030
phone 410-683-7004
facsimile 410-683-1798
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REVISION PURPOSE STATEMENT

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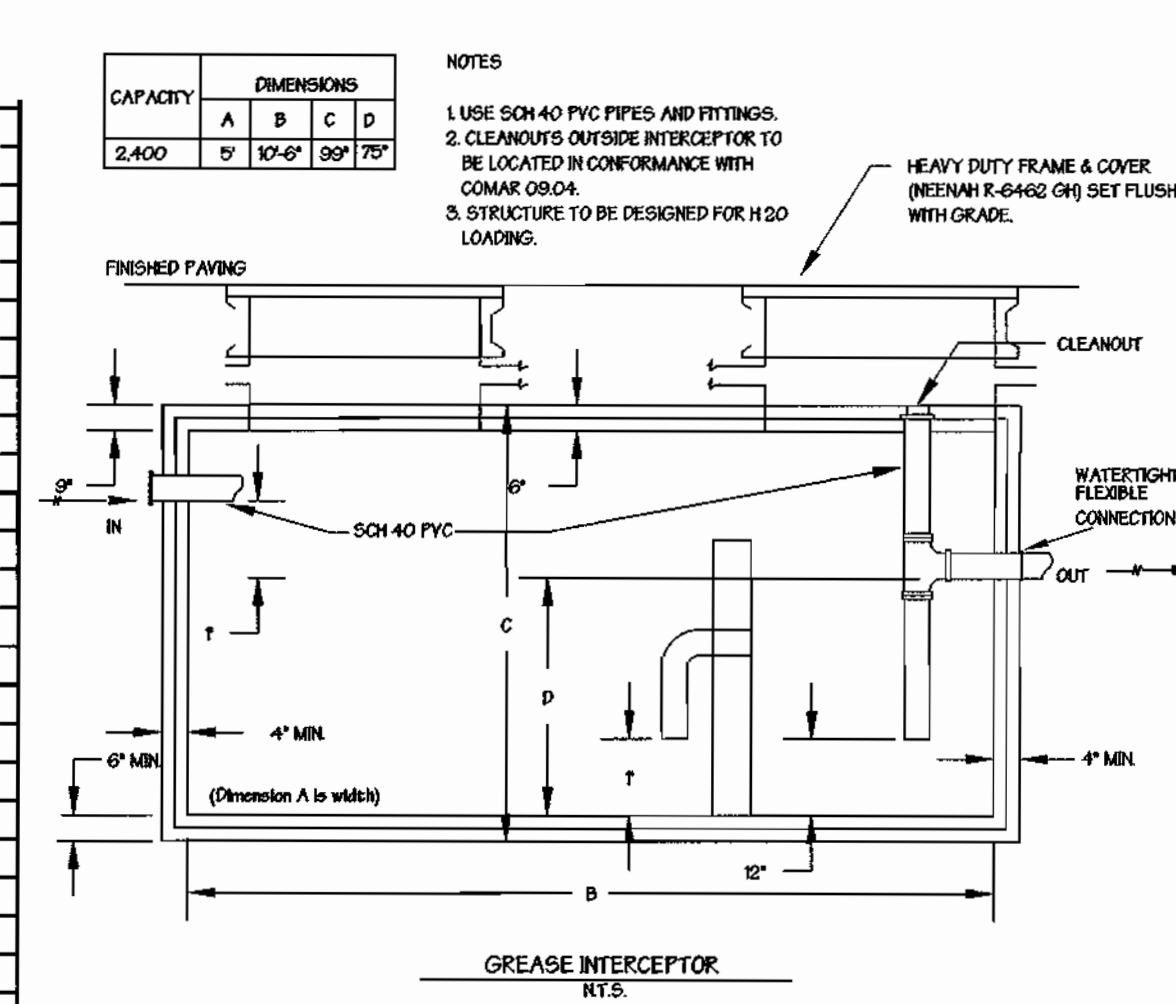
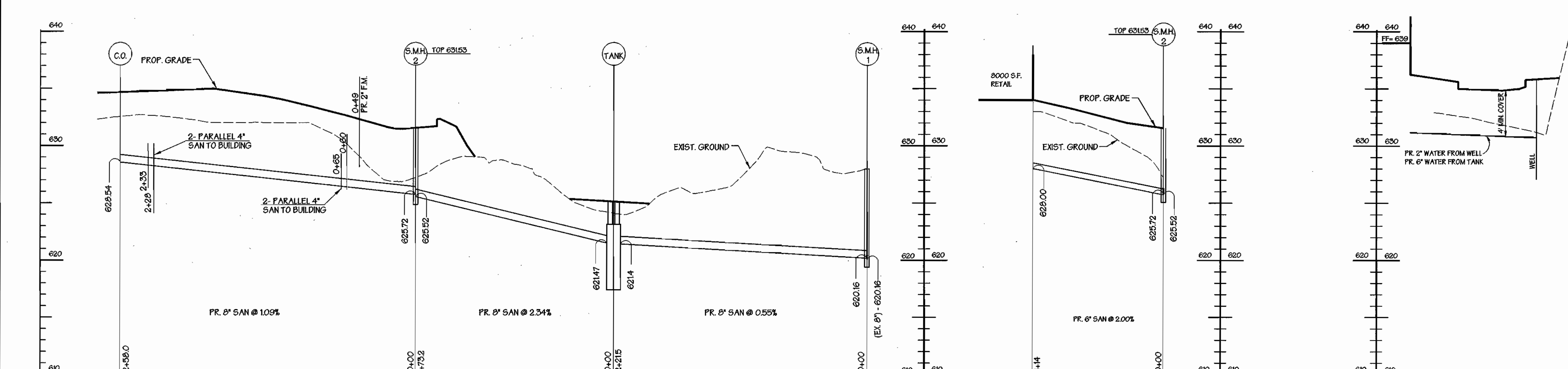
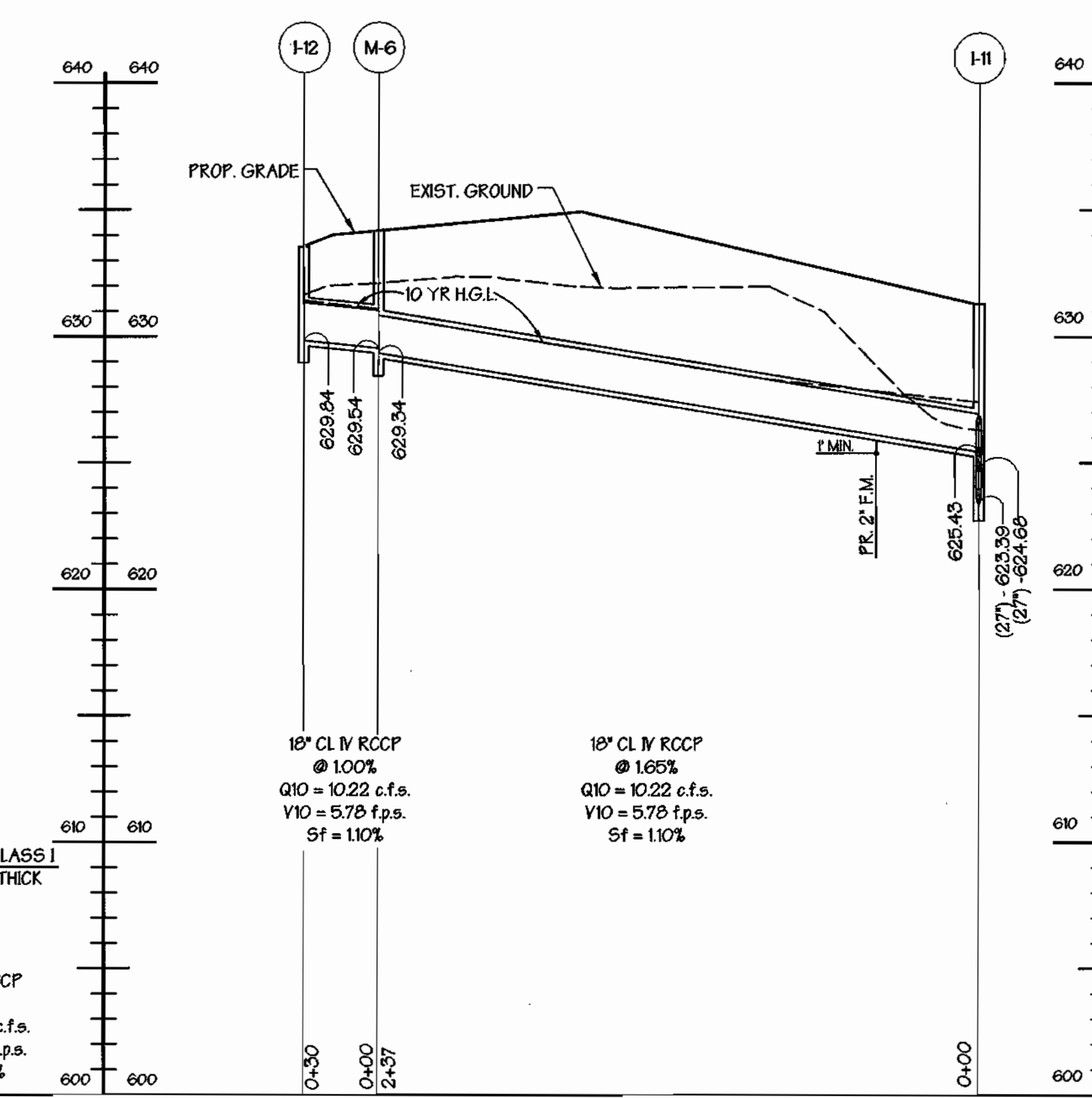
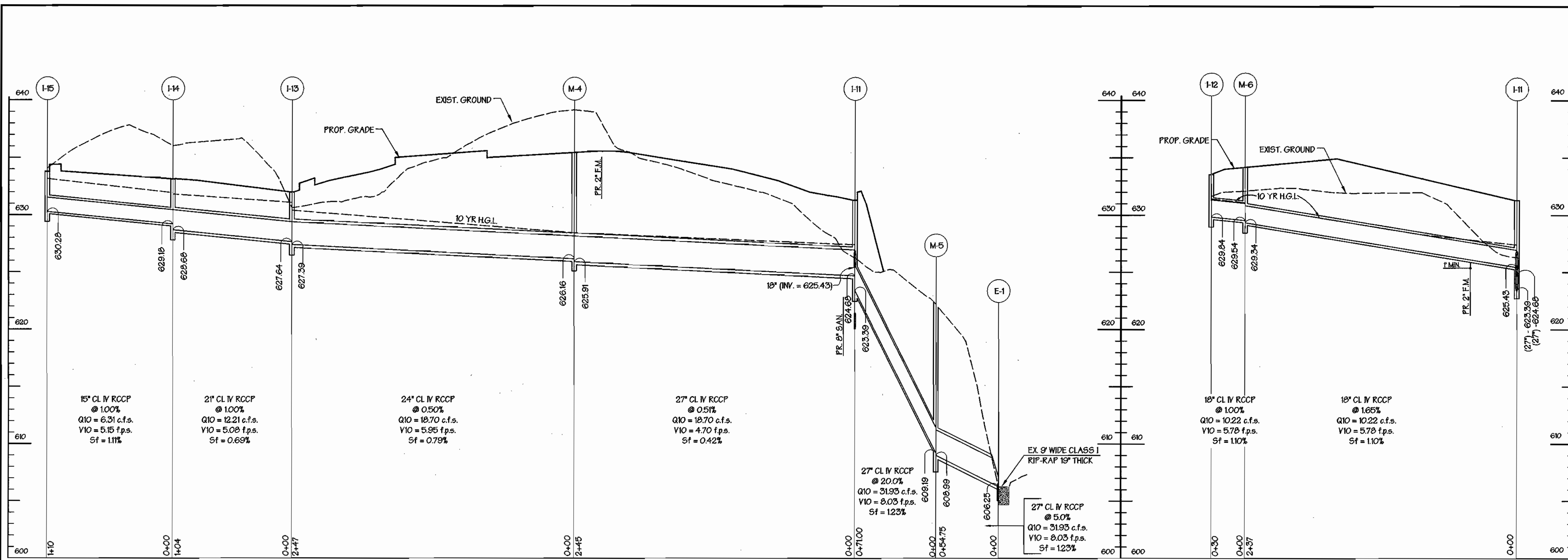
OWNER/DEVELOPER
Lisbon Plaza, LLC
c/o MIE Properties, Inc.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100
Contact: Ramon Benitez

12-1-03	STORMWATER MANAGEMENT DETAILS SHEET REPLACEMENT
DATE	REVISION

Stormwater Management Details
REVISED SITE DEVELOPMENT PLAN
ROUTE 94 BUSINESS CENTER
LISBON CENTER- PARCELS G AND H

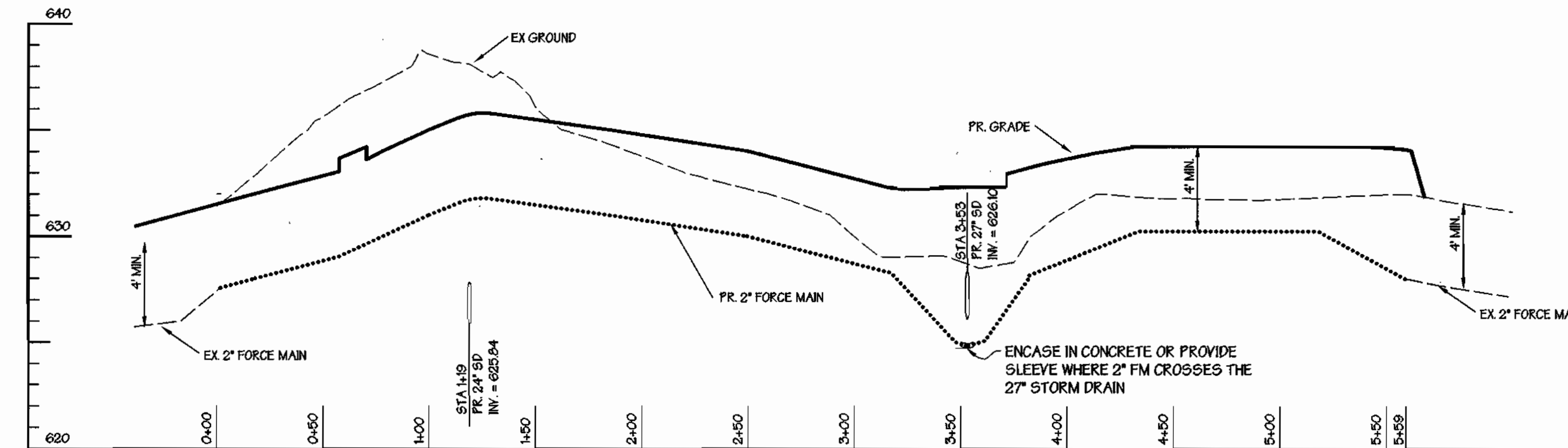
Election District #4
Deed Ref: 4467/590
Tax Map 2, Grid 24, Parcel 82
Scale: 1"=50'

Howard County, Maryland
December 1, 2003
Sheet 7 of 11

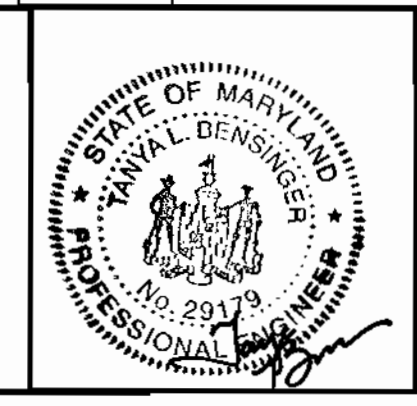


Approved: For private water and private sewerage systems.
 Howard County Health Department.
 COUNTY HEALTH OFFICER: *Ramon Benitez* DATE: 12-24-03
 HOWARD COUNTY HEALTH DEPARTMENT
 Reviewed for the Howard Conservation District and meets technical requirements.
 USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE: _____
 This development plan is approved for erosion and sediment control by the Howard Soil Conservation District.
 APPROVED: HOWARD SOIL CONSERVATION DISTRICT
 APPROVED: Department of Planning and Zoning
 CHIEF, DEVELOPMENT ENGINEERING DIVISION: *Ramon Benitez* DATE: 12/15/03
 DIVISION OF LAND DEVELOPMENT: *Katrina...* DATE: 12/29/03
 DIRECTOR (CRATING): *John...* DATE: 12/30/03

STRUCTURE SCHEDULE						PIPE SCHEDULE			
NO.	TYPE	INV. IN	INV. IN	INV. OUT	TOP ELEV.	REMARKS	SIZE	TYPE	PIPE LENGTH-FEET
I-11	HC STD. SD 4.34 DOUBLE "S" COMB. INLET	625.43	624.68	623.39	631.31		15"	RCCP CL IV	110
I-12	HC STD. SD 4.34 DOUBLE "S" COMB. INLET	-	-	629.84	633.55		18"	RCCP CL IV	267
I-13	HC STD. SD 4.34 DOUBLE "S" COMB. INLET	627.64	-	627.39	632.00		21"	RCCP CL IV	104
I-14	HC STD. SD 4.34 DOUBLE "S" COMB. INLET	629.18	-	628.68	633.14		24"	RCCP CL IV	247
I-15	HC STD. SD 4.34 DOUBLE "S" COMB. INLET	-	-	630.28	633.78		27"	RCCP CL IV	370.75
M-4	HC STD. G 5.12 4' STD. PRECAST	626.16	-	608.99	635.43				
M-5	HC STD. G 5.12 4' STD. PRECAST	609.19	-	622.41	621.34				
M-6	HC STD. G 5.12 4' STD. PRECAST	629.54	-	629.34	634.32				
E-1	HC STD. SD 5.51	606.25	-	-	-				



Matis Warfield
 consulting engineers
 contact: Nick Brader
 10540 York Road, Suite 100
 Hunt Valley, Maryland 21086
 phone 410-683-7004
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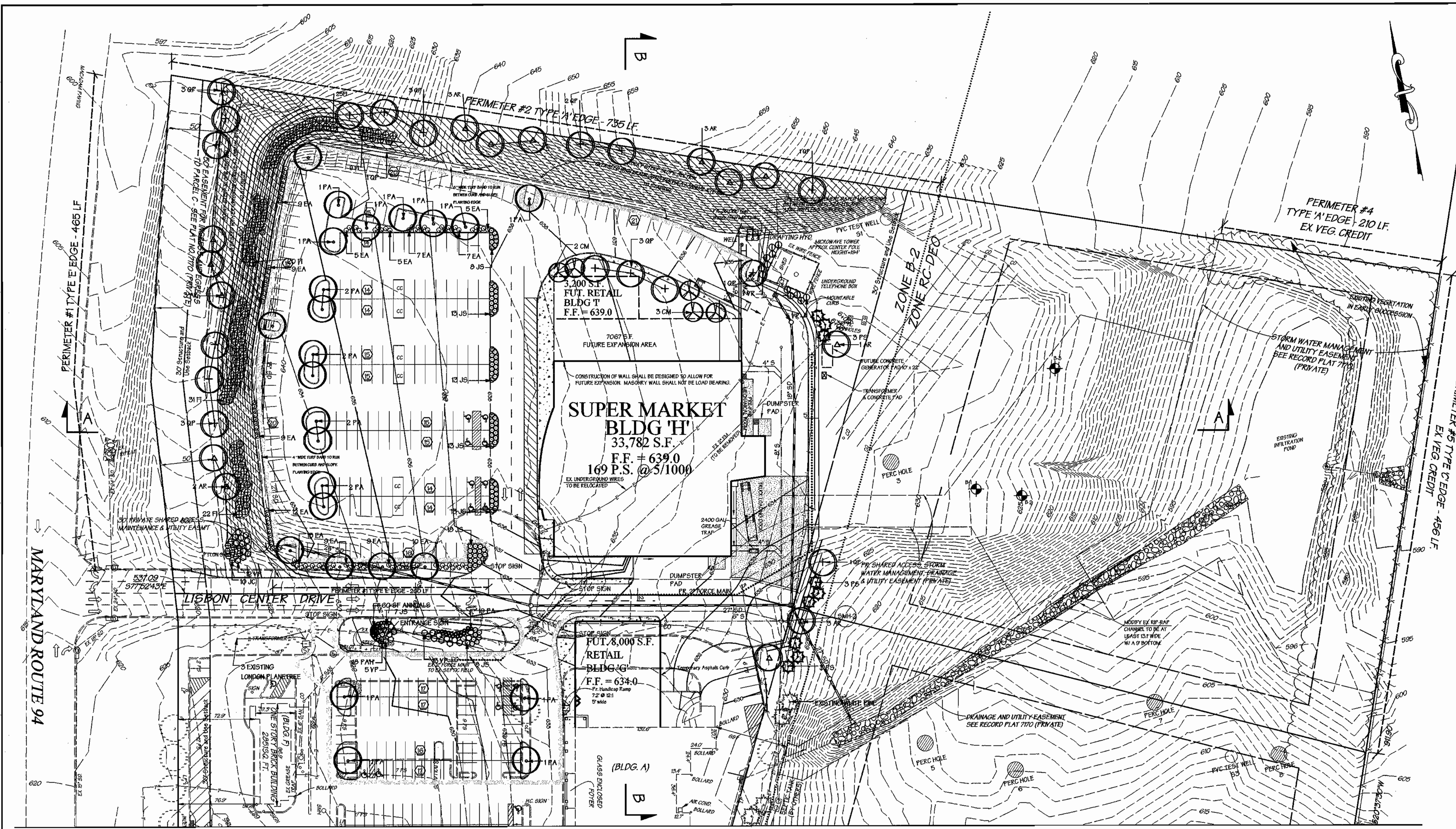


REVISION PURPOSE STATEMENT
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OWNER/DEVELOPER
Lisbon Plaza, LLC
 c/o MIE Properties, Inc.
 5720 Executive Drive
 Baltimore, Maryland 21228
 (410) 788-0100
 Contact: Ramon Benitez

DATE	PROFILES SHEET REPLACEMENT	REVISION
12-1-03		

Profiles
REVISED SITE DEVELOPMENT PLAN
 ROUTE 94 BUSINESS CENTER
 LISBON CENTER - PARCELS G AND H
 Election District #4
 Deed Ref: 4467/590
 Tax Map 2, Grid 24, Parcel 82
 Scale: 1"=30'
 Howard County, Maryland
 December 1, 2003
 Sheet 8 of 11



SCHEDULE A
PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways		Adjacent to Perimeter Properties	
	1	6	2 & 4	5
Perimeter Number	1	6	2 & 4	5
Landscape Type	'E'	'E'	'A'	'C'
Linear Feet of Roadway Frontage/Perimeter	465 LF.	200 LF.	945 LF.	456 LF.
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	YES 210 LF. SEE BELOW	YES 456 LF. SEE BELOW
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	NO
Number of Plants Required				
Shade Trees	12	5	12	
Evergreen Trees				
Shrubs	116	50		
Number of Plants Provided				
Shade Trees	11	4	12	
Evergreen Trees				
Other Trees (2:1 substitution)				
Shrubs (10:1 substitution)	151	61		
(Describe plant substitution credits below if needed)	10+ Extra Shrubs = 1 Tree	10+ Extra Shrubs = 1 Tree	See Below	See Below

Comments: Perimeter edge #4 and #5 are a minimum of 400' from the rear of the proposed building. There is an existing storm water management 'Wet Pond' between the proposed development and property line, which is surrounded by vegetation in early succession. We feel that adequate screening is provided by the existing vegetation.

SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	305
Number of Trees Required	15
Number of Trees Provided	23
Other Trees (2:1 substitution)	10 Shrubs For 1 Shade Tree
Internal Islands Required	15
Internal Islands Provided (Min. 200 SF)	15

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING WATER
- EXISTING STORM DRAIN
- EXISTING SANITARY
- PROPOSED STORM DRAIN
- PROPOSED SANITARY
- PROPOSED WATER
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EX DOUBLE PARKING LOT LIGHT
- EX SINGLE PARKING LOT LIGHT
- BG & E POLE
- P-2 PAVING
- P-3 PAVING
- CART CORRAL

APPROVED: Department of Planning and Zoning
[Signature] 12/18/03
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] 12/18/03
 DIVISION OF LAND DEVELOPMENT
[Signature] 12/30/03
 DIRECTOR

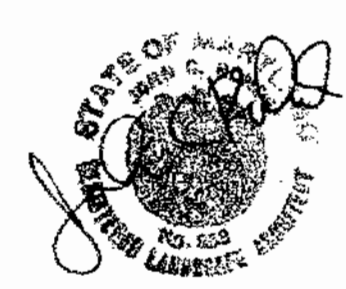
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Matis Warfield
 consulting engineers
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 10540 York Road Suite M
 Hunt Valley, Maryland 21030
 phone 410-683-7004
 fax 410-683-1798
 www.matiswarfield.com

HUMAN & ROHDE, INC.
 LANDSCAPE ARCHITECTS
 512 VIRGINIA AVENUE
 TOWSON, MARYLAND 21286
 410 825 3885

OWNER/DEVELOPER
 Lisbon Plaza, LLC
 c/o MIE Properties, Inc.
 5720 Executive Drive
 Baltimore, Maryland 21228
 (410) 788-0100

DATE	REVISION
12-1-03	LANDSCAPE PLAN SHEET REPLACEMENT



LANDSCAPE PLAN
 REVISED SITE DEVELOPMENT PLAN
 ROUTE 94 BUSINESS CENTER
 LISBON CENTER - PARCELS G & H
 Election District #4
 Tax Map 2, Grid 24, Parcel 82
 Scale: 1"=50'
 Howard County, Maryland
 December 1, 2003
 Sheet 9 of 11

REVISION PURPOSE STATEMENT

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SPECIFICATIONS FOR PLANTING

A. STANDARDS:

1. ALL PLANT MATERIAL, CONSTRUCTION METHODS AND MATERIAL PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. THE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS."

2. ALL TREES SHALL BE DELIVERED TO THE SITE BALLED AND BURLAPPED. ALL SHRUBS SHALL BE BALLED AND BURLAPPED OR BURLAPPED. ALL GRASSES BE PERMANENTLY PLANTED OR BE CONTAINERS.

B. MAINTENANCE:

1. AFTER THE PLANTING HAS BEEN APPROVED BY THE LANDSCAPE ARCHITECT AND THE OWNER, THE MAINTENANCE OF WATERING AND WEEDING OF SUCH PLANTS AND PLANTED AREAS SHALL BE PROVIDED BY THE OWNER. SINCE THE PLANTS ARE TO BE GUARANTEED BY THE CONTRACTOR, THE CONTRACTOR SHALL PERIODICALLY CHECK THE MAINTENANCE CONDUCTED BY THE OWNER. IF THE CONTRACTOR IS NOT SATISFIED WITH THE MAINTENANCE OF THE PLANTS, A WRITTEN REPORT, IN TRIPLICATE, STATING APPROPRIATE CHANGES SHALL BE GIVEN IMMEDIATELY TO THE LANDSCAPE ARCHITECT. COPIES WILL BE FORWARDED TO THE OWNER. BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING.

2. MAINTAIN TREES UNTIL FINAL ACCEPTANCE, BUT IN NO CASE LESS THAN 60 DAYS AFTER FINAL ACCEPTANCE OF PLANTING. MAINTAIN ALL PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SPACES, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES TO PROPER GRADES OR VERTICAL POSITION AS PROGRESS, RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP ALL PLANTS FREE OF INSECTS AND DISEASE.

C. WATERING:

1. IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY. DURING THE FIRST WEEK, AND IN SUBSEQUENT QUARTERS TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATERING SHALL NOT BE DONE DURING THE HEAT OF THE DAY. CONTRACTOR SHALL PROVIDE A SEPARATE LIQUID SOAP/PURSE IN THE ORIGINAL LANDSCAPE SET FOR WATERING TO ALL NEW PLANTINGS DURING ONE GROWING SEASON.

D. EXCAVATION:

1. DEPTH AND WIDTH OF EXCAVATION FOR PLANTING OF ALL PLANTS SHALL BE TO THREE TIMES THE DEPTH AND WIDTH OF ROOT BALL OR CONTAINER OF PLANT TO BE INSTALLED, EXCEPT AS NOTED ON DETAILS.

E. TOPSOIL, PLANTING MIX, AND MULCH:

1. ALL TOPSOIL SHALL BE WELL GRADED LOAM OF GOOD UNIFORM QUALITY AND SHALL BE A MINIMUM VISIBLE SOIL FREE OF OBJECTS LARGER THAN ONE INCH IN ANY DIMENSION, AND FREE OF TOBACCO SUBSTANCES, WEEDS AND ANY MATERIAL OR SUBSTANCES THAT MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL CONTAIN AT LEAST 10% ORGANIC MATTER. IF SUFFICIENT TOPSOIL IS NOT AVAILABLE ON THE SITE TO MEET THE DEPTH AS SPECIFIED HEREIN, THE CONTRACTOR SHALL FURNISH ADDITIONAL TOPSOIL, PRIOR TO TOPSOIL DELIVERY, THE CONTRACTOR SHALL OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL OF THE SOURCE FROM WHICH TOPSOIL IS TO BE FURNISHED.

2. FOR PLANTING MIX, MIX THOROUGHLY 2:1S EXISTING SOIL AND 1:1S LEAF MULD OR EQUAL ORGANIC MATTER.

3. MULCH MATERIAL SHALL BE OF UNIFORM SIZE, FINE SHREDED PINEWALD, HICKORYWOOD MULCH OR APPROVED EQUAL. MULCH SHALL BE A FRESH DARK BROWN COLOR AND SHALL BE LAD TO A UNIFORM MINIMUM DEPTH OF 2 INCHES. MULCH AREAS AROUND TREES AT THE RATE OF 1" OF DIAMETER PER OF TRUNK CALIBER.

F. SUBSTITUTIONS:

1. IF A PLANT IS FOUND NOT TO BE SUITABLE OR AVAILABLE, THE LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE BEING THE OWNER OR LANDSCAPE ARCHITECT WILL THEN SELECT A REASONABLE ALTERNATE OR FROM ALL LANDSCAPE CONTRACTORS OF THE AVAILABILITY OF THE ORIGINAL PLANT.

G. PRUNING, CLEANUP, PROTECTION OF EXISTING MATERIALS AND RESTORATION:

1. THE CONTRACTOR SHALL PRUNE PLANT MATERIAL WITHIN TWO (2) DAYS OF INSTALLATION IN ACCORDANCE WITH THE DETAILS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

2. DURING COURSE OF PLANTING, EXCESS AND WASTE MATERIALS SHALL BE COLLECTED AND PROMPTLY REMOVED. LAWN AREAS KEPT CLEAR, AND ALL REASONABLE PRECAUTIONS TAKEN TO AVOID DAMAGE TO ANY EXISTING LAWNS, FAYING, ETC. NOT SCHEDULED FOR REMOVAL, WHEN PLANTING IN AN AREA HAS BEEN COMPLETED, THE AREA SHALL BE CLEANED UP THOROUGHLY. DEBRIS, RUBBER, RUBBER, AND WASTE MATERIALS SHALL BE CLEANED UP AND REMOVED FROM THE PROPERTY. EXISTING GRASS AREAS WHICH HAVE BEEN INJURED BY THE WORK SHALL BE REGRASS AND SOURED TO MATCH THE EXISTING LAWN. THE ENTIRE AREA SHALL BE NEAT AND CLEAN TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

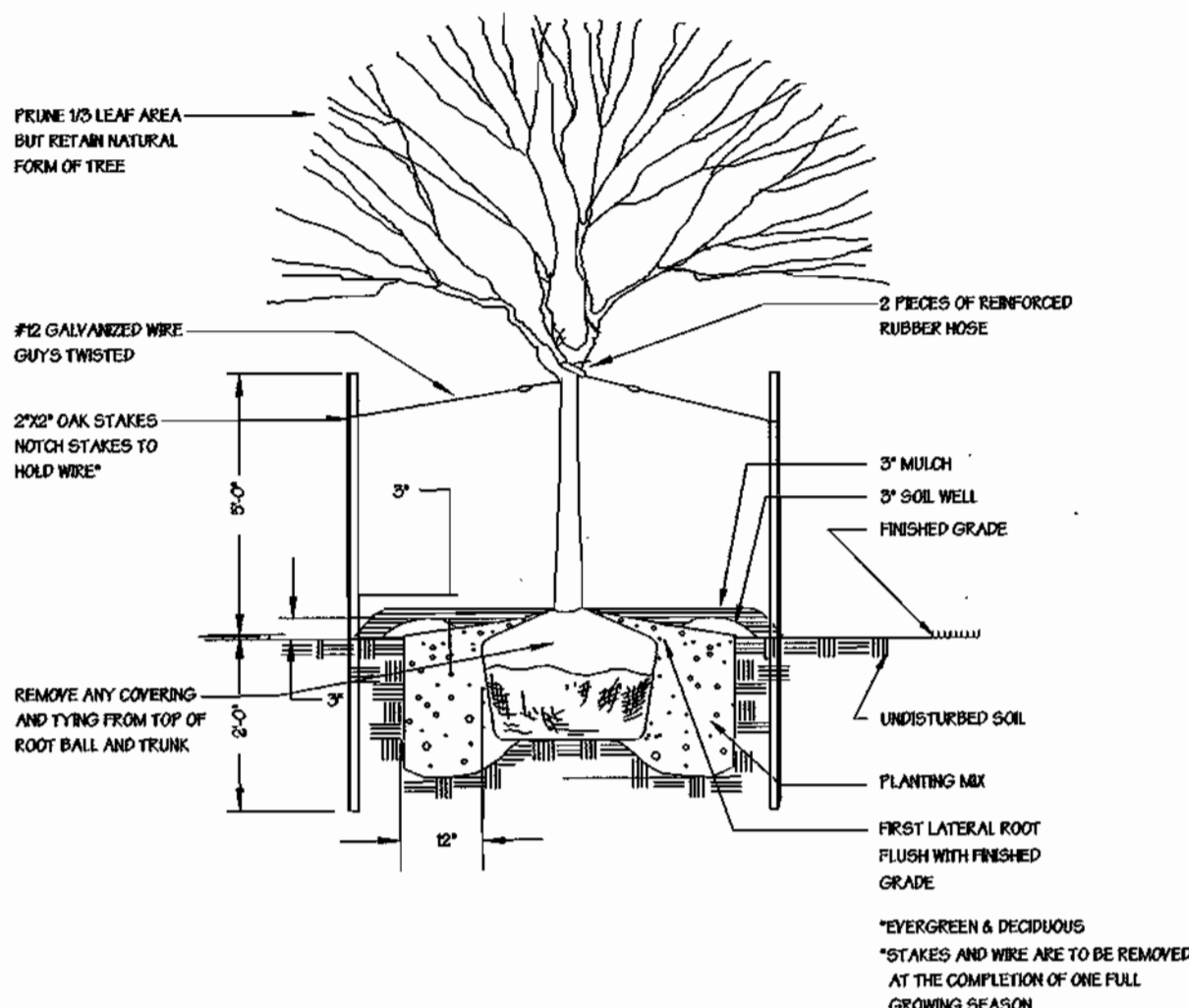
3. CONTRACTOR SHALL, AT ALL TIMES, PROTECT ALL PLANTS AND LAWNS FROM DAMAGE. THE MOVING OF HEAVY EQUIPMENT OR MATERIAL OVER THE LAWN AREAS SHALL BE DONE ON PLANKS OR FORTHOUS.

4. THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION ALL FENCES, SODS, OR PLANTED AREAS, STRUCTURES OR INFRASTRUCTURES, NOT SCHEDULED FOR REMOVAL, WHICH ARE DISTURBED BY THE CONTRACTOR DURING PLANTING OPERATIONS. SUBSTITUTIONS SHALL BE IN A MANNER SATISFACTORY TO THE LANDSCAPE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.

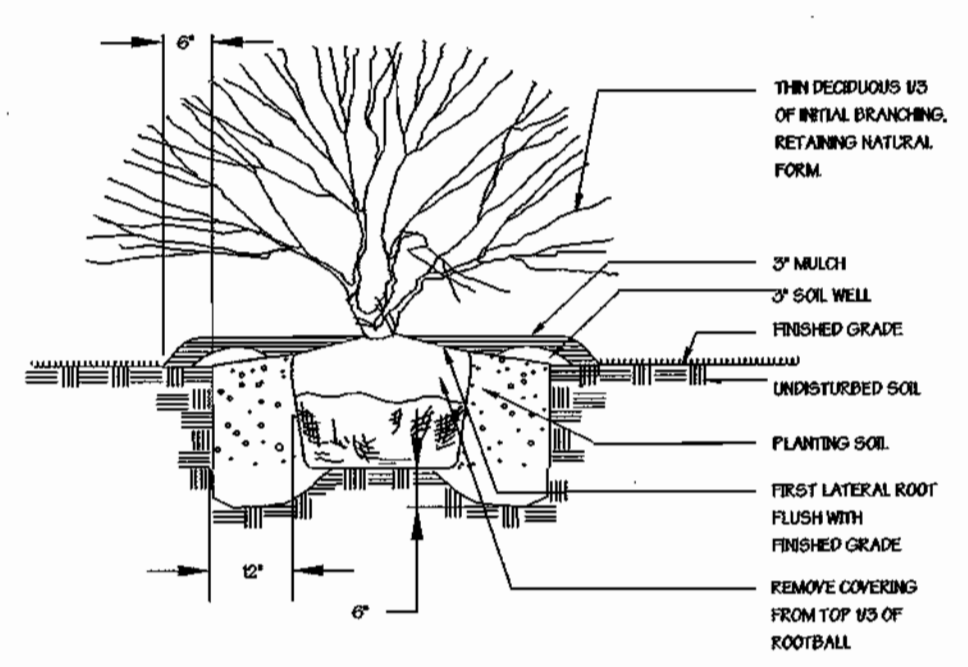
H. FINAL INSPECTION AND GUARANTEE:

1. AFTER PLANTING IS COMPLETED (INCLUDING MULCHING AND CLEANUP) THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING TO REQUEST FINAL INSPECTION OF THE TOTAL PLANTING. THE LANDSCAPE ARCHITECT SHALL MAKE A FINAL INSPECTION VISIT AS SOON AS POSSIBLE. LANDSCAPE ARCHITECT SHALL NOTIFY THE LANDSCAPE CONTRACTOR, IN WRITING, WHEN ALL WORK IS SATISFACTORY COMPLETE. IF WORK IS NOT SATISFACTORY COMPLETE, THE LANDSCAPE ARCHITECT WILL NOTIFY THE LANDSCAPE CONTRACTOR, IN WRITING, AS TO THE DEFICIENCIES IN THE WORK AND THE NECESSARY CORRECTIVE MEASURES. THE LANDSCAPE CONTRACTOR WILL BE GIVEN A REASONABLE AMOUNT OF TIME TO CORRECT THE DEFICIENCIES, AND ANOTHER FINAL INSPECTION WILL BE SCHEDULED BY THE LANDSCAPE ARCHITECT.

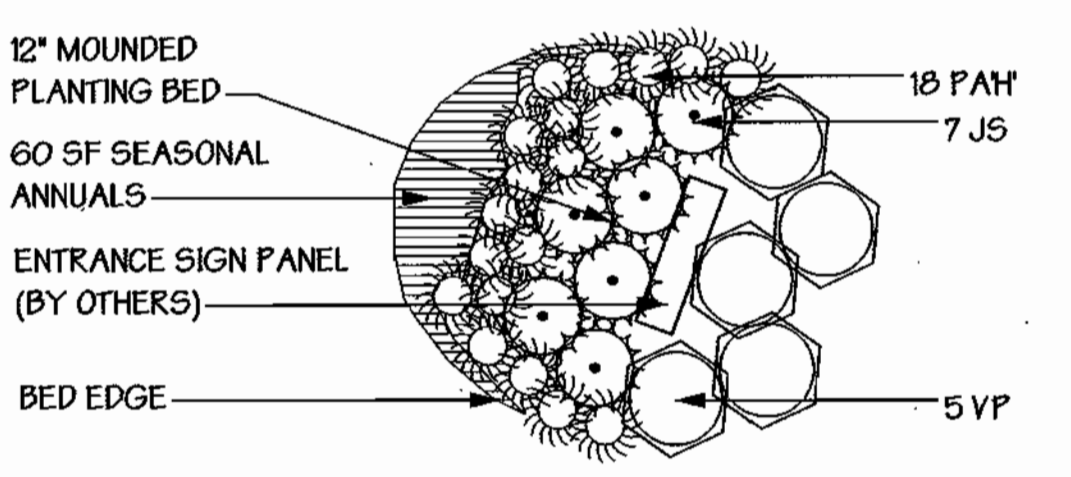
2. ALL PLANT MATERIAL AND LAWN AREAS SHALL BE GUARANTEED TO BE IN A VIGOROUS GROWING CONDITION ONE YEAR FROM THE DATE OF FINAL INSPECTION AND ACCEPTANCE. AT THE TERMINATION OF THIS PERIOD, THE CONTRACTOR SHALL HAVE COMPLETED THE PRECEDING MAINTENANCE SCHEDULE. ANY PLANTS INFESTED WITH DISEASE OR INSECTS WILL BE REMOVED OR TREATED. ALL DEAD OR UNACCEPTABLE PLANTS WILL BE REPLACED BY THE SAME PLANTS AND SIZES DESIGNATED ON THE PLANT LIST. THESE PLANTS SHALL BE PLANTED, MULCHED AND GUY AS SPECIFIED HEREIN AND WITHOUT COST CONTRIBUTION TO THE CONTRACTOR. AT THE COMPLETION OF ALL SUCH WORK AND WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT, THE CONTRACT WILL BE CONSIDERED COMPLETE.



PLANTING DETAIL FOR TREES* - 1 - 4" CALIPER
NOT TO SCALE



PLANTING DETAIL FOR EVERGREEN AND DECIDUOUS SHRUBS
NOT TO SCALE



ENTRANCE SIGN PLANTING DETAIL
1" = 10"

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	CONTAINER	REMARKS
PA	25	PLATANUS ACERIFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANETREE	2 1/2" CAL	B & B	
QF	17	QUERCUS PALUSTRIS PIN OAK	2 1/2" CAL	B & B	
AR	14	ACER RUBRUM 'RED SUNSET' RED SUNSET RED MAPLE	2 1/2" CAL	B & B	
CM	5	CORNUS MAS CONELIAN CHERRY	1 3/4" CAL	B & B	
PS	9	PINUS STROBUS EASTERN WHITE PINE	6-8' HT.	B & B	SPACE 10' O.C.
YR	12	VIBURNUM RHYTIDOPHYLLUM 'ALLEGHANY' ALLEGHANY LEATHERLEAF VIBURNUM	30-36" HT.	B & B	SPACE 6' O.C.
YF	30	VIBURNUM FLICATUM 'SHASTA' SHASTA VIBURNUM	30-36" HT.	B & B	SPACE 5' O.C.
FI	107	FORSYTHIA X INTERMEDIA 'LYNWOOD GOLD' LYNWOOD GOLD FORSYTHIA	30-36" HT.	B & B	SPACE 5' O.C.
JC	10	JUNIPERUS CHINENSIS 'PFITZERIANA AUREA' GOLDEN TIP PFITZER JUNIPER	24-30" SPD.	CONTAINER	SPACE 5' O.C.
JS	109	JUNIPERUS SABINA 'BUFFALO' BUFFALO JUNIPER	18-24" SPD.	CONTAINER	SPACE 4' O.C.
EA	109	EUONYMUS ELATUS 'COMPACTA' DWARF BURNING BUSH	30-36" HT.	CONTAINER	SPACE 4' O.C.
PA	19	PENSETUM ALOPECUROIDES FOUNTAIN GRASS	3 GAL	CONTAINER	SPACE 3' O.C.
PAH	19	PENSETUM ALOPECUROIDES 'HAMELIN' HAMELIN DWARF FOUNTAIN GRASS	1 GAL	CONTAINER	SPACE 2.5' O.C.
	60 SF.	SEASONAL ANNUALS VINCA/PANSIES			BY OTHERS

LANDSCAPE SURETY NOTE:

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF:

(58) SHADE TREES @ \$300 EACH =	\$17,400
(17) EVERGREEN TREES @ \$150 =	\$2,550
(168) SHRUBS @ \$50 EACH =	\$8,400
TOTAL:	\$28,350

NOTE:
THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.

PLANTING NOTES:

- This Plan is for planting purposes only.
- This Plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and the Landscape Manual.
- All plant material shall be nursery grown and shall conform to American Association of Nurserymen latest standards. Plant installation must conform to the minimum standards cited in the latest edition of the "LANDSCAPE SPECIFICATION GUIDELINES" by the Landscape Contractor's Association.
- Contractor is to notify Miss Utility a minimum of 72 hours prior to digging. Telephone 1-800-257-7777
- The Landscape Architect is to be notified 48 hours before planting begins. The location of all plant material is to be approved in field by the Landscape Architect.
- No tree or shrub planting pits are to be left open or unattended.
- Shrubs are to be grouped into mulched beds. Beds are to be edged and the grass is to be killed or removed prior to mulching.

DEVELOPER'S / BUILDER'S CERTIFICATE

I/ We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual.
I/ We further certify that upon completion, a Certification of Landscape installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

[Signature]
DEVELOPER/BUILDER

12/1/03
DATE

APPROVED: Department of Planning and Zoning

[Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION
12/18/03
DATE

[Signature]
DIVISION OF LAND DEVELOPMENT
12/29/03
DATE

[Signature]
DIRECTOR OF PLANNING
12/22/03
DATE

Matis Warfield
consulting engineers
10540 York Road, Suite M
Hunt Valley, Maryland 21030
Phone 410-683-7994
Fax 410-683-1795
www.matiswarfield.com

OWNER/DEVELOPER
Lisbon Plaza, LLC
c/o MIE Properties, Inc.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

12-1-03	LANDSCAPE PLAN SHEET REPLACEMENT.
DATE	REVISION

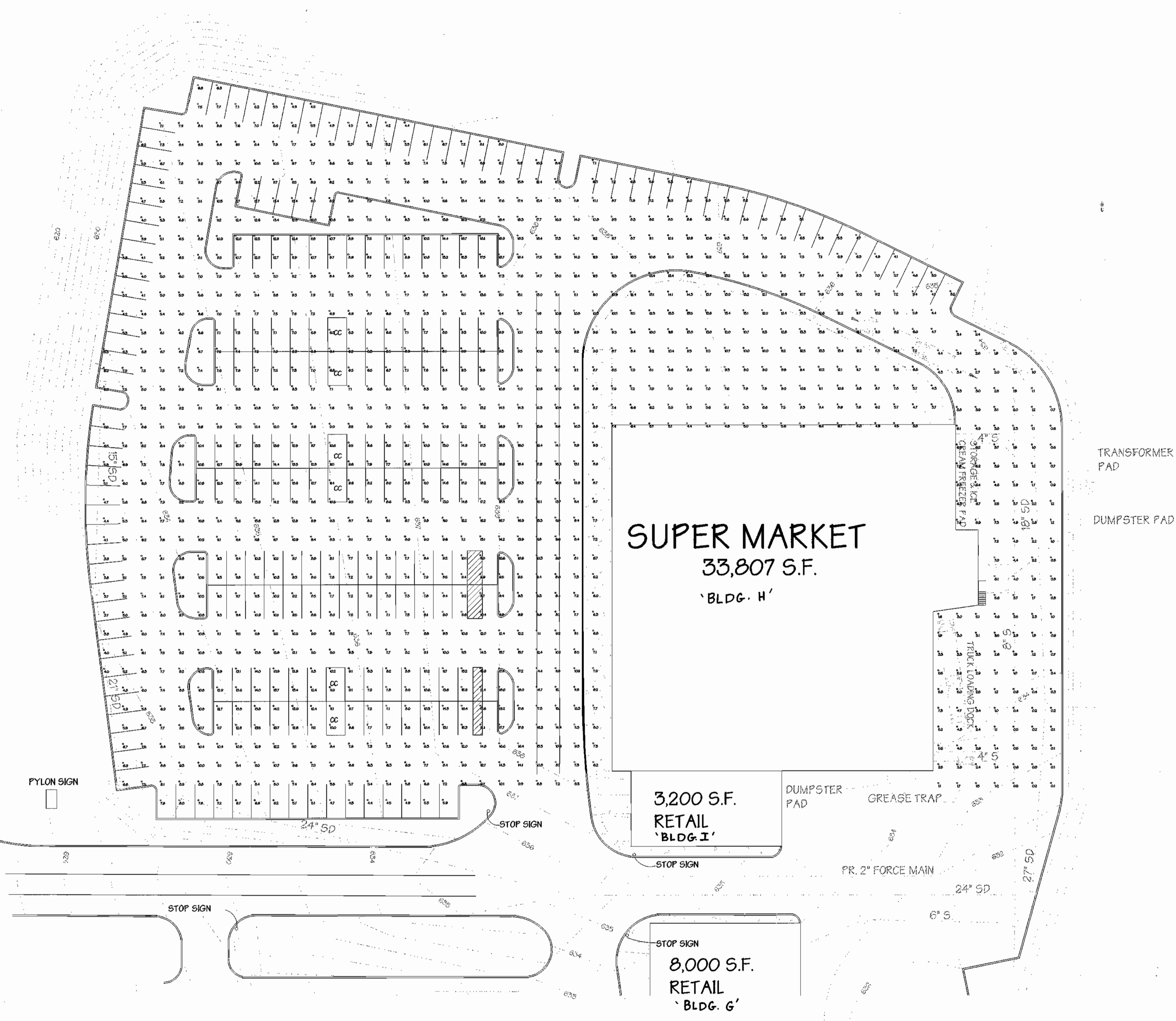


LANDSCAPE PLAN
REVISED SITE DEVELOPMENT PLAN
ROUTE 94 BUSINESS CENTER
LISBON CENTER- PARCELS G & H
Election District #4
Tax Map 2, Grid 24, Parcels G & H
Howard County, Maryland
December 1, 2003
Scale: 1"=50'
SDP-02-096

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
[Symbol]	4	02	SINGLE	110000	0.720	Single Area Square - 1000w MH
[Symbol]	5	04	BACK-BACK	110000	0.720	Back-to-Back Area Square - 1000
[Symbol]	3	05	3 @ 90 DEGREES	110000	0.750	Triple Area Square - 1000w MH
[Symbol]	5	06	SINGLE	32000	0.720	Single Area Square - 400w MH (at rear of Hdg)

Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING-AREA	Illuminance	Fc	9.56	19.2	3.5	2.90	5.82
Rear	Illuminance	Fc	2.80	8.9	0.1	28.00	88.00

SeqNo	Label	X	Y	Z	Orient	Tilt
59	05	1293361	613240.6	35	0	0
65	05	1293361	613365.2	35	0	0
67	05	1293361	615493.0	35	0	0
140	04	1293461	615461.5	35	180	0
144	02	1293190	613656.8	35	304.215	0
145	02	1293160	613402.2	35	354.471	0
156	04	1293238	613495.8	35	90	0
157	02	1293174	613195.8	35	46.641	0
159	04	1293238	613366.9	35	90	0
162	04	1293236	613242.6	35	90	0
163	04	1293541	613433.0	35	336.09	0
165	02	1293201	613304.7	35	180	0
169	05	1293601	613362.6	20	0	0
170	05	1293669	613239.6	20	0	0
171	05	1293613	613341.2	20	0	0



ECOLUME ECAECW

The Ecolume ECAECW is a recessed arm-enclosed area luminaire. The precision engineered optical system provides required light levels, even distribution, wide pole spacing and glare control. The housing is die-cast and the door frame is extruded aluminum. The Ecolume luminaire is completely sealed and gasketed, preventing intrusion from moisture, insects and contaminants.

ORDERING

TYPE	SIZE	FINISH	COMPONENTS	DISTRIBUTION	WATTAGE	VOLTAGE	FRM	OPTIONS
EC	14"	A	1	1	150W	120V	1	1

DISTRIBUTIONS

FRM	OPTIONS
1	1

EMCO LIGHTING

ECOLUME ECADECW

SPECIFICATIONS

GENERAL DESCRIPTION: Each EMCO Ecolume is a sturdy cabinet luminaire for high intensity discharge lamps. Internal components are fully enclosed, non-ignitable, and corrosion resistant. No wiring of the optical system or electrical components is required or permitted. Lamps require no wiring or tapping of the luminaire housing, eliminating wiring or exposing unsanitary live parts.

HOUSING: The housing is one-piece die-cast aluminum with 3 integral recessed mounting tabs. The housing has an integral mounting eye and no welded corners. Silicone seals provide a watertight seal at all points of material transition.

LENS: A recessed, extruded aluminum door frame retains the optics clear, level and spaced recessed lens panel in a locked manner using hidden screws. High compliance, mercury vaporable sealed ultraviolet absorber. A non-reflecting epoxy acrylic lens is provided standard on 14" and 18" vertical lamps and a top glass lens is provided on 27" vertical lamp luminaires. A single flush 1/4 turn captive fastener permits easy access to the luminaire.

OPTICAL SYSTEMS: The aggregated reflector system consists of two levels of highly specular aluminum facets precisely aligned to achieve specified photometric distributions. The entire optical system is held rigidly in 1/8" increments. The polished-reflective metal base is secured in gasketed protrusion with a nickel plated screw shell. A lamp stabilizer is standard on 31" and 41" 400W MH units.

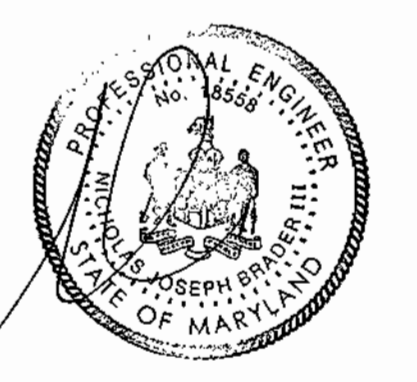
ELECTRICAL: Each high power factor ballast is the separate component type, capable of providing reliable lamp starting closer to 20°F. The ballast is mounted on a universal tray and secured within the luminaire, above the reflector system. Component-to-component wiring within the luminaires will carry no more than 30% of rated current and is listed by UL for use at 600 VAC at 100°C or higher. Plug documents are listed by UL for use at 600 VAC, 5A or higher.

FINISH: Each luminaire receives a fade and abrasion resistant, electrocoat applied, thermally-cured polyester powder finish after fabrication.

LABELS: All fixtures bear UL or CSA/UL (where applicable) WH Location labels.

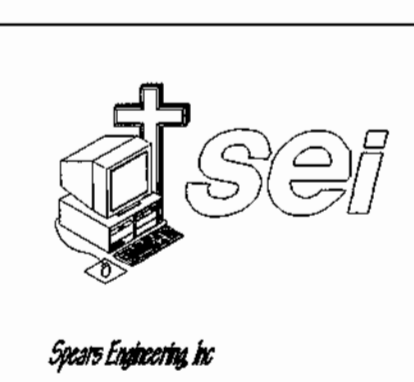
EMCO LIGHTING

PHOTOMETRIC PLAN
SCALE: 1"=30'-0"



Matis Warfield
consulting engineers
contact: Nick Brader
10540 York Road, Suite M
Baltimore, Maryland 21288
(410) 788-0100
www.matiswarfield.com

OWNER/DEVELOPER
Lisbon Plaza, LLC
c/o MIE Properties, Inc.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100
Contact: Ramon Benitez



APPROVED: Department of Planning and Zoning
[Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature]
DIVISION OF LAND DEVELOPMENT
[Signature]
DIRECTOR

DATE: 5/14/03
DATE: 7/29/02
DATE: 7/31/03

Lighting Plan
ROUTE 94 BUSINESS CENTER
LISBON CENTER - PARCELS G & H

Election District #4
Deed Ref: 4467/590
Tax Map 2, Grid 24, Parcel 82
Scale: 1"=50'

Howard County, Maryland
January 15, 2003
Sheet 11 of 11