EXTENDED STAY AMERICA

EFFICIENCY STUDIOS

ESA MANAGEMENT, INC.

COLUMBIA JUNCTION
SECTION 3 - PARCEL 'A'
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SITE DEVELOPMENT PLAN

GENERAL CONSTRUCTION NOTES:

1. THE LOCATION OF EXISTING UTILITIES AS SHOWN IN THIS SET OF PLANS ARE APPROXIMATE ONLY, AND THE CONTRACTOR SHOULD LOCATE AND IDENTIFY ALL UTILITIES TO HIS OWN SATISFACTION PRIOR TO STARTING ANY CONSTRUCTION.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH HOWARD COUNTY STANDARD SPECIFICATIONS FOR SITE DEVELOPMENT, VOL. IV PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE
3. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
4. ANY DAMAGE TO OFF-SITE RIGHTS OF WAY, PUBLIC ROADS, OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR SHALL MAINTAIN A TWO-FOOT MINIMUM BENCH BEHIND ALL PROPOSED CURB AND GUTTER IN ALL FILL AREAS.
6. ALL PROPOSED PAVING AND CURB AND GUTTER SHALL MEET EXISTING PAVING AND EXISTING CURB AND GUTTER FOR LINE, GRADE AND STYLE.
7. SUITABLE MATERIAL SHALL BE USED AS FILL AND ALL FILL AREAS SHALL BE ROLLED TO A MINIMUM DEGREE OF COMPACTION OF 95% OF THE DRY UNIT WEIGHT AS DETERMINED BY ASTM D-698 SPECIFICATIONS, 8" LIFTS MAXIMUM. A SOILS ENGINEER'S REPORT HAS BEEN PREPARED AND IS AVAILABLE FOR REVIEW IN THE ENGINEER'S OFFICE. HOWEVER, THE CONTRACTOR SHALL USE ANY INFORMATION IN THE REPORT AT HIS OWN RISK.
8. REFER TO THE SITE PLAN FOR EXISTING UTILITIES TO BE REMOVED OR ABANDONED IN PLACE.
9. PATCH EXISTING PAVEMENT AT ALL UTILITY CUTS TO MATCH EXISTING PAVEMENT.
10. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN GRASS AND PAVED AREAS DURING ALL PHASES OF CONSTRUCTION AND FINISHED GRADES.
11. ALL AREAS SHALL HAVE A MINIMUM 2% SLOPE AWAY FROM THE BUILDING AND TO THE CURB LINE, UNLESS OTHERWISE NOTED.

GENERAL UTILITY NOTES:

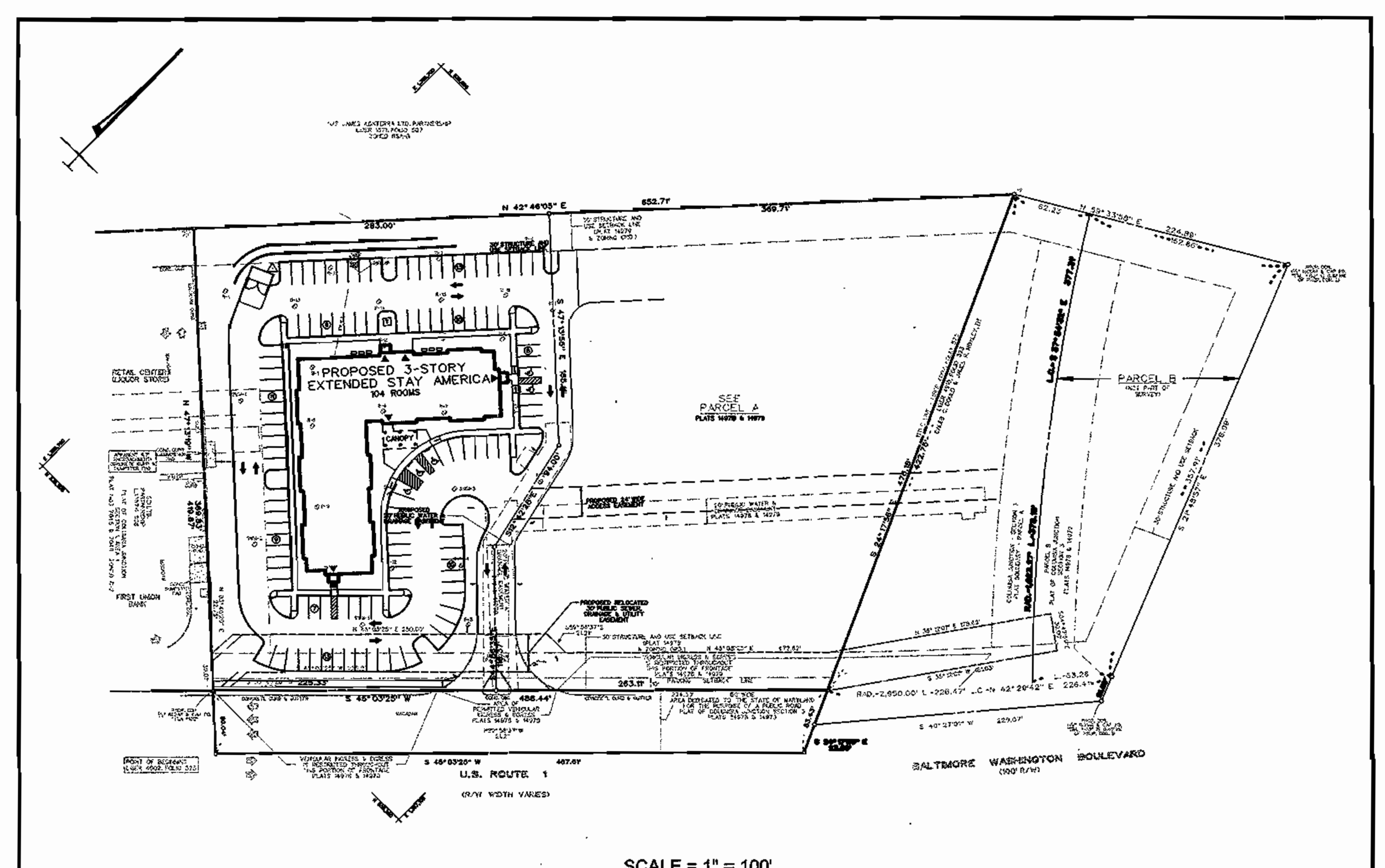
1. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 FIVE DAYS PRIOR TO STARTING WORK.
2. ALL WATER MAINS SHALL HAVE A STANDARD MINIMUM COVER OF 4.0 FEET WITH THE EXCEPTION OF CROSSINGS WHERE MINIMUM COVER OF 3.0 FEET WILL BE ALLOWED, WITH A MINIMUM OF 0.5 FEET CLEAR OF OTHER UTILITIES, EXCEPT SANITARY SEWER.
3. CONTRACTOR SHALL FURNISH THE OWNER A LETTER CERTIFYING THAT ALL WATER LINES HAVE BEEN STERILIZED BY METHODS OUTLINED BY THE LOCAL PLUMBING CODE.
4. CONTRACTOR SHALL FURNISH THE OWNER A LETTER CERTIFYING THAT PRESSURE TESTS HAVE BEEN SATISFACTORILY MADE AND A LETTER FROM THE LOCAL FIRE DEPARTMENT INDICATING THAT THE PRESSURE TEST FOR FIRE LINES HAVE BEEN SATISFACTORILY COMPLETED.
5. AT ALL WATER OVER SANITARY SEWER CROSSINGS THE MINIMUM CLEAR DISTANCE SHALL BE 12 INCHES.
6. ALL OF THE LOCAL AUTHORITIES STANDARD SPECIFICATIONS ON MINIMUM COVER, BUTTRESSES, ANCHORS, AND OTHER APPROPRIATE LOCAL CONSTRUCTION STANDARDS AND REQUIREMENTS FOR STERILIZING AND PRESSURE TESTING OF THE WATER SYSTEM SHALL APPLY.
7. ALL UTILITIES IN PAVED AREAS SHALL HAVE FULL TRENCH COMPACTION.
8. ALL SANITARY SEWER LINES LEAVING A BUILDING SHALL HAVE A MINIMUM COVER OF 30 INCHES BELOW PROPOSED GRADES.
9. ANY NEW UTILITIES TO BE INSTALLED THROUGH EXISTING ITEMS TO REMAIN MUST BE PATCHED TO EQUAL THE EXISTING CONDITIONS IN ACCORDANCE WITH THE SPECIFICATIONS.
10. PROPOSED ROOF DRAINS SHALL HAVE A MINIMUM SLOPE OF 2% , UNLESS OTHERWISE NOTED.
11. WATER AND SEWER FOR THIS PROJECT IS PUBLIC. CONTRACT NO. 24-3901-D. DRAINAGE AREA IS IN THE PATUXENT WATERSHED.
12. THIS PROPERTY IS WITHIN THE METROPOLITAN WATER AND SEWER DISTRICT.
13. STORMWATER MANAGEMENT FOR PARCEL 'A' WAS PREVIOUSLY PROVIDED WITHIN SWMF CONSTRUCTED AS PART OF F-88-160.

GENERAL TRAFFIC NOTES:

1. ALL OPEN EXCAVATIONS AND TRENCHES SHALL BE PLATED AT THE END OF EACH WORK DAY WITH "STEEL PLATES AHEAD" WARNING SIGNS DISPLAYED IN ADVANCE.
2. THE CONTRACTOR MUST MAINTAIN ONE (1) TEN FOOT (10') LANE FOR TRAFFIC DURING WORKING HOURS FOR EACH DIRECTION OF TRAVEL OR PROVIDE A TWO-MAN FLAGGING OPERATION EQUIPPED WITH "SLOW/STOP" PADDLES.
3. ALL TRAFFIC CONTROL MUST BE IN ACCORDANCE WITH THE CURRENT EDITIONS WITH REVISIONS OF THE FEDERAL HIGHWAY M.U.T.C.D. AND MARYLAND S.H.A. WORK ZONE TRAFFIC CONTROL STANDARDS AND TYPICALS. ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUPPY, INSTALL, AND MAINTAIN ALL TRAFFIC CONTROL EQUIPMENT.
5. THE CONTRACTOR SHALL MAINTAIN A MINIMUM FOUR FOOT (4') WIDE PEDESTRIAN FOOTWAY OR AN APPROPRIATE PEDESTRIAN DETOUR.
6. ADEQUATE ROAD FACILITIES TEST EVALUATION (TRAFFIC STUDY) HAS BEEN PREPARED FOR THIS SITE BY THE TRAFFIC GROUP, DATED MAY 16,2002.
7. ACCESS TO US ROUTE 1 PERMITTED THROUGH PLAT NO. 14978 & 14979.

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. THE CONTOURS SHOWN HEREON HAVE BEEN TAKEN FROM "ALTA\ASCM LAND TITLE AND TOPOGRAPHIC SURVEY" EXTENDED STAY AMERICA, COLUMBIA JUNCTION, PREPARED BY STV INC. AND DATED 10/8/01.
3. VERTICAL CONTROL AND HORIZONTAL CONTROL BASED UPON HOWARD COUNTY, NAD '83 CONTROL.
4. FOREST STAND DELINEATION BY ECO-SCIENCES, INC. DATED FEB., 1999.
5. THE FOREST CONSERVATION REQUIREMENT FOR THE ENTIRE SITE INCLUDING PARCELS A AND B AS DETERMINED PER F-01-87 IS PROVIDED BY A FEE-IN-LIEU PAYMENT FOR 102,366 SF. OF TOTAL REFORESTATION IN THE AMOUNT OF $51,183.00.
6. THERE ARE NO WETLANDS, WETLAND BUFFERS, STREAMS, OR STREAM BUFFERS LOCATED ON THIS SITE AS CERTIFIED BY GEO-TECHNOLOGY ASSOCIATES, INC. LETTER DATED 7 SEPT. 2001
7. ALL PROPOSED EXTERIOR LIGHTING SHALL BE DIRECTED/REFLECTED AWAY FROM ALL ADJACENT PUBLIC ROADS AND RESIDENTIAL ZONING DISTRICTS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
8. ALL LANDSCAPING REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL SECTION 16.124(B)(3)(ii).
9. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING WILL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF $9,480.
   - 19 SHADE TREES @ $300 PER TREE = $5700
   - 14 EVERGREEN TREES @ $150 PER TREE = $2100
   - 56 SHRUBS @ $30 PER SHRUB = $1680
10. A MARYLAND STATE HIGHWAY ACCESS PERMIT MUST BE OBTAINED PRIOR TO STARTING ANY CONSTRUCTION ACTIVITIES WITHIN THE STATE HIGHWAY RIGHT-OF-WAY.
11. THE SUBJECT PROPERTY IS ZONED B-2 PER THE 10/18/93 COMPREHENSIVE ZONING PLAN.
12. PREVIOUS DEPARTMENT OF PLANNING AND ZONING REFERENCE NUMBERS INCLUDE: SP-99-011, WP-99-35, F-01-087, F-02-169.
13. THIS PLAN SHALL BE SUBJECT TO COMPLIANCE WITH THE FOURTH EDITION OF THE HOWARD COUNTY SUBDIVISION REGULATIONS AND THE AMENDED ZONING REGULATIONS, COUNCIL BILL 50-2001.
14. LOADING/UNLOADING SPACE IS NOT NECESSARY FOR THIS TYPE OF HOTEL. NO SERVICE OR FOOD DELIVERIES ARE SCHEDULED FOR THIS DEVELOPMENT.
15. THE SURVEYED PREMISES AS INDICATED HEREON IS LOCATED WITHIN A ZONE "C" AREA DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOOD PLAIN AS INDICATED ON FEMA FLOOD INSURANCE RATE MAP NO. 240044-0044B, DATED DECEMBER 4, 1986.
16. DRIVEWAY ACCESS AND MAINTENANCE AGREEMENT REFERENCE NUMBERS ARE 15807-15808.



SCALE = 1" = 100'

SITE DATA TABULATION:

GENERAL SITE DATA
1. PRESENT ZONING: B-2 (BUSINESS, GENERAL)
2. APPLICABLE DPZ FILE REFERENCES: SP-99-011, WP-99-35, F-01-087, F-02-169
3. PROPOSED USE OF SITE: HOTEL
4. PROPOSED WATER _X_ PUBLIC
   PROPOSED SEWER _X_ PUBLIC

AREA TABULATION
1. TOTAL AREA OF SITE: .... 5.93 AC.
2. AREA OF 100 YR. FLOODPLAIN: .... N/A
3. NET AREA OF SITE: .... 5.93 AC.
4. AREA OF THIS PLAN SUBMISSION: .... 2.75 AC.
5. APPROXIMATE LIMIT OF DISTURBANCE: .... 2.75 AC.
6. BUILDING COVERAGE OF SITE (PERMITTED): .... N/A
7. BUILDING COVERAGE OF SITE (PROPOSED): .... 15,150 SF

OPEN SPACE DATA
1. OPEN SPACE ON SITE (0.0%): .... N/A
2. AREA OF RECREATION OPEN SPACE REQUIRED BY SUBDIVISION & LAND DEVELOPMENT REGULATIONS
   ACRES REQUIRED: .... N/A
   ACRES PROVIDED: .... N/A

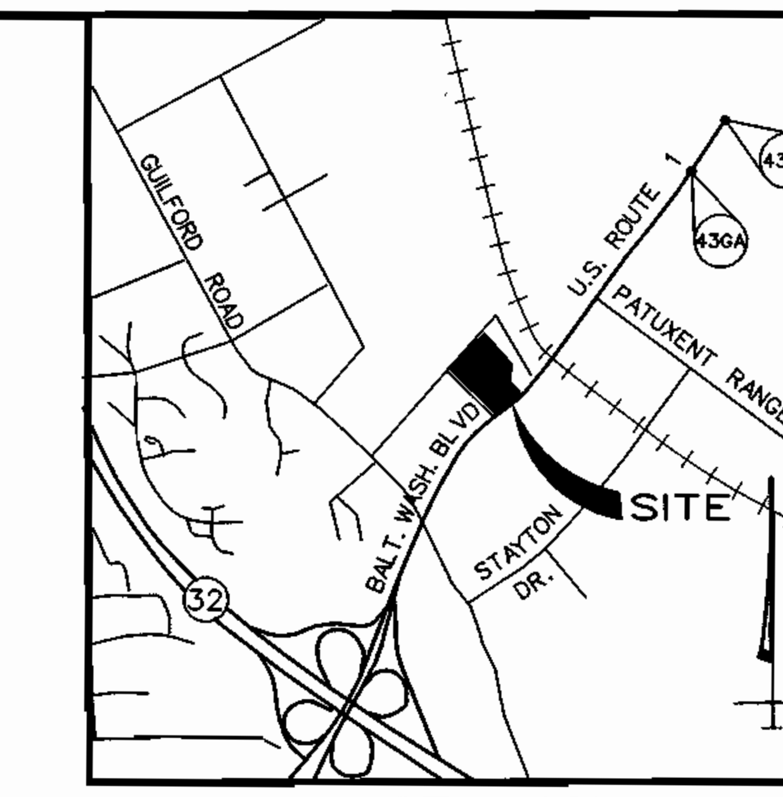
PARKING SPACE DATA
1. FLOOR SPACE ON EACH LEVEL PER BUILDING(S) PER USE, 3 FLOORS @ 15,500 SF EA.: .... 46,500 SF.
2. MAXIMUM NUMBER OF EMPLOYEES, TENANTS ON-SITE PER USE: .... 10 EMPLOYEES MAX. SHIFT
3. TOTAL NUMBER OF GUEST ROOMS 104
4. NUMBER OF PARKING SPACES REQUIRED BY ZONING REGULATIONS, 1 PER ROOM: 104
5. TOTAL NUMBER OF PARKING SPACES PROVIDED ON-SITE: 115
6. TOTAL NUMBER OF SERVICE PARKING SPACES PROVIDED ON-SITE: 0
7. NUMBER OF HANDICAPED PARKING SPACES PROVIDED ON-SITE: 5

ESA BUILDING ELEVATION

SCALE: NTS

OWNER
MR. STEVE BREEDEN
SECURITY DEVELOPMENT CORP.
8480 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MD 21041
410-465-4244

DEVELOPER
MR. BOB GRAHAM
ESA SERVICES, INC.
124 CHESHIRE DR.
GREENSBURG, PA 15601
724-853-3593



VICINITY MAP

1" = 2000'

BENCHMARK - NAD '83

BENCHMARK *43GA: STAMPED DISC SET ON 3' CYLINDRICAL CONC. BASE 1"-2" BELOW SURFACE, 72.5' SW OF C&P POLE *178, 4.8' FROM EOP NORTHBOUND LANE OF U.S. ROUTE 1. ELEVATION = 241.665'

BENCHMARK *43G6: STAMPED DISC SET ON 3' CYLINDRICAL CONC. BASE 1"-2" BELOW SURFACE, 68.8' SW OF F.H. AT CORNER OF MOTEL, 3.5' SE OF EOP NORTHBOUND LANE OF U.S. ROUTE 1. ELEVATION = 220.142'

SHEET INDEX

STV Incorporated
7125 Ambassador Road, Suite 200
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(410)944-9112 fax (410)298-2794
Engineers / Architects / Planners / Construction Managers

EXTENDED STAY AMERICA
EFFICIENCY STUDIOS
ESA MANAGEMENT, INC.

EXTENDED STAY AMERICA
COLUMBIA JUNCTION, MD
HOWARD COUNTY, MARYLAND

STATE OF MARYLAND PROFESSIONAL ENGINEER No. 18417 — 4/9/03

Launch No.	5/18/01
ESA No.	2787
Permit Submittal	3/21/02
Permit Clearance	
Bid Issue	
Project No.	10725
Drawn By	AJC III
Checked By	KTL

NO.	DATE	REVISION

APPROVED: DEPT. OF PLANNING AND ZONING

Cindy Hamilton — Chief, Division of Land Development — 10/9/03 Date

[signature] — Chief, Development Engineering Divsion — 10/8/03 Date

[signature] — Director — 10/9/03 Date

Address Chart	
Lot/Parcel	Street Address
548	8550 Washington Blvd.

Permit Information Chart

Subdivision Name: Columbia Junction				Section/Area: 3	Parcel: A
Plat No.	Block No.	Zone	Tax/Zone Map	Elec. Dist.	Census Tract
15807-15808	1	B-2	48	6th	6069.01
Water Code	B-03		Sewer Code	4250000	

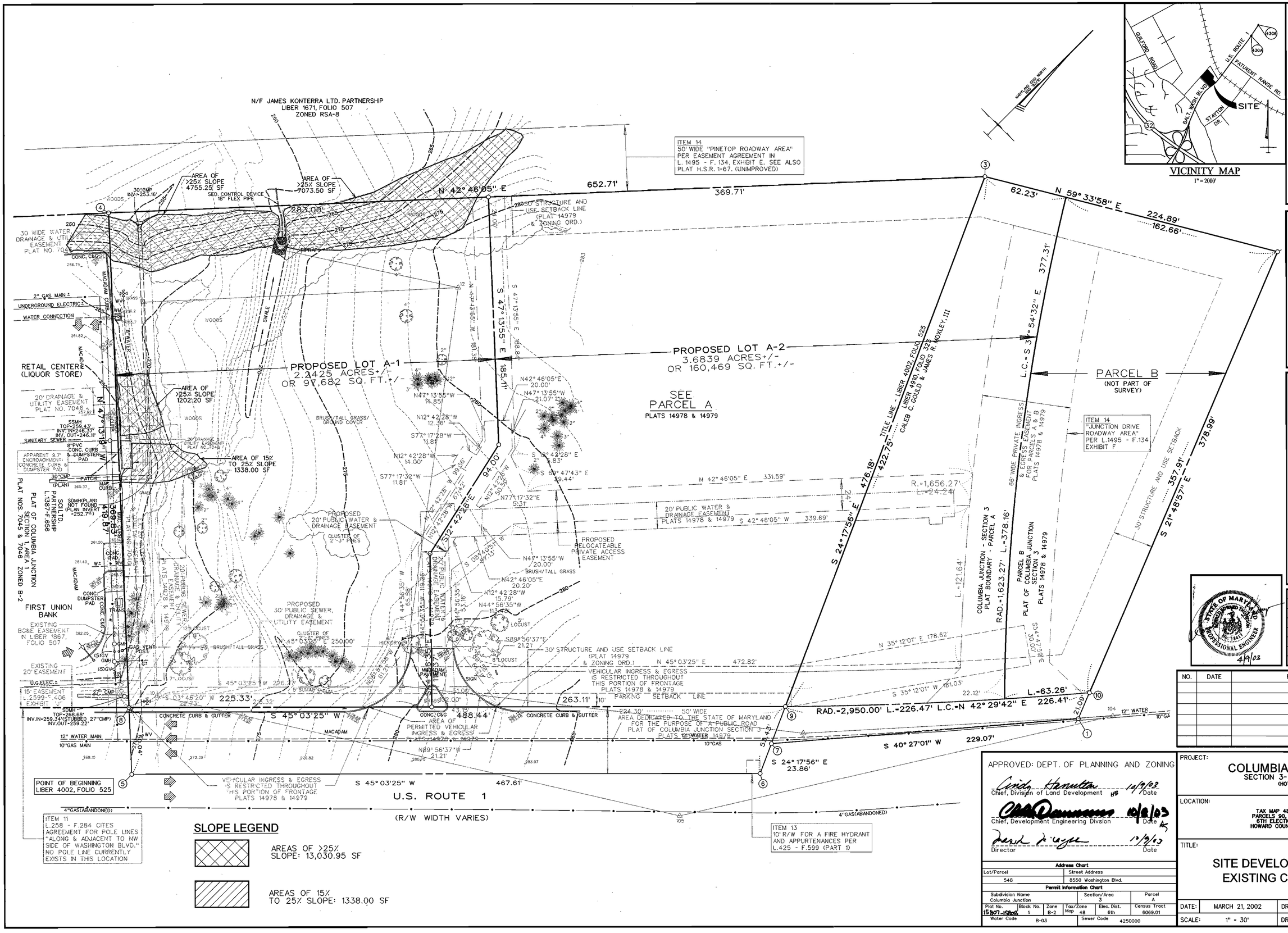
PROJECT: COLUMBIA JUNCTION
SECTION 3- PARCEL 'A'
(HOTEL)

LOCATION:
TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: SITE DEVELOPMENT PLAN
TITLE SHEET

DATE:	MARCH 21, 2002	DRAWING NO.	C-1.0
SCALE:		DRAWING	1 OF 20

SDP-02-95



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STATE OF MARYLAND — ANTHONY J. CAMPBELL — No. 19417 — PROFESSIONAL ENGINEER
4/9/03

NO.	DATE	REVISION

APPROVED: DEPT. OF PLANNING AND ZONING

Chief, Division of Land Development — Date 10/9/03

Chief, Development Engineering Division — Date 10/8/03

Director — Date 10/9/03

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Lot/Parcel	Street Address
548	8550 Washington Blvd.

Permit Information Chart					
Subdivision Name: Columbia Junction			Section/Area: 3		Parcel: A
Plat No.: 15807-15808	Block No.: 1	Zone: B-2	Tax/Zone Map: 48	Elec. Dist.: 6th	Census Tract: 6069.01
Water Code: B-03			Sewer Code: 4250000		

PROJECT:
COLUMBIA JUNCTION
SECTION 3- PARCEL 'A'
(HOTEL)

LOCATION:
TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
SITE DEVELOPMENT PLAN
EXISTING CONDITIONS

DATE:	MARCH 21, 2002	DRAWING NO.	C-1.1
SCALE:	1" = 30'	DRAWING	2 OF 20

SDP-02-95

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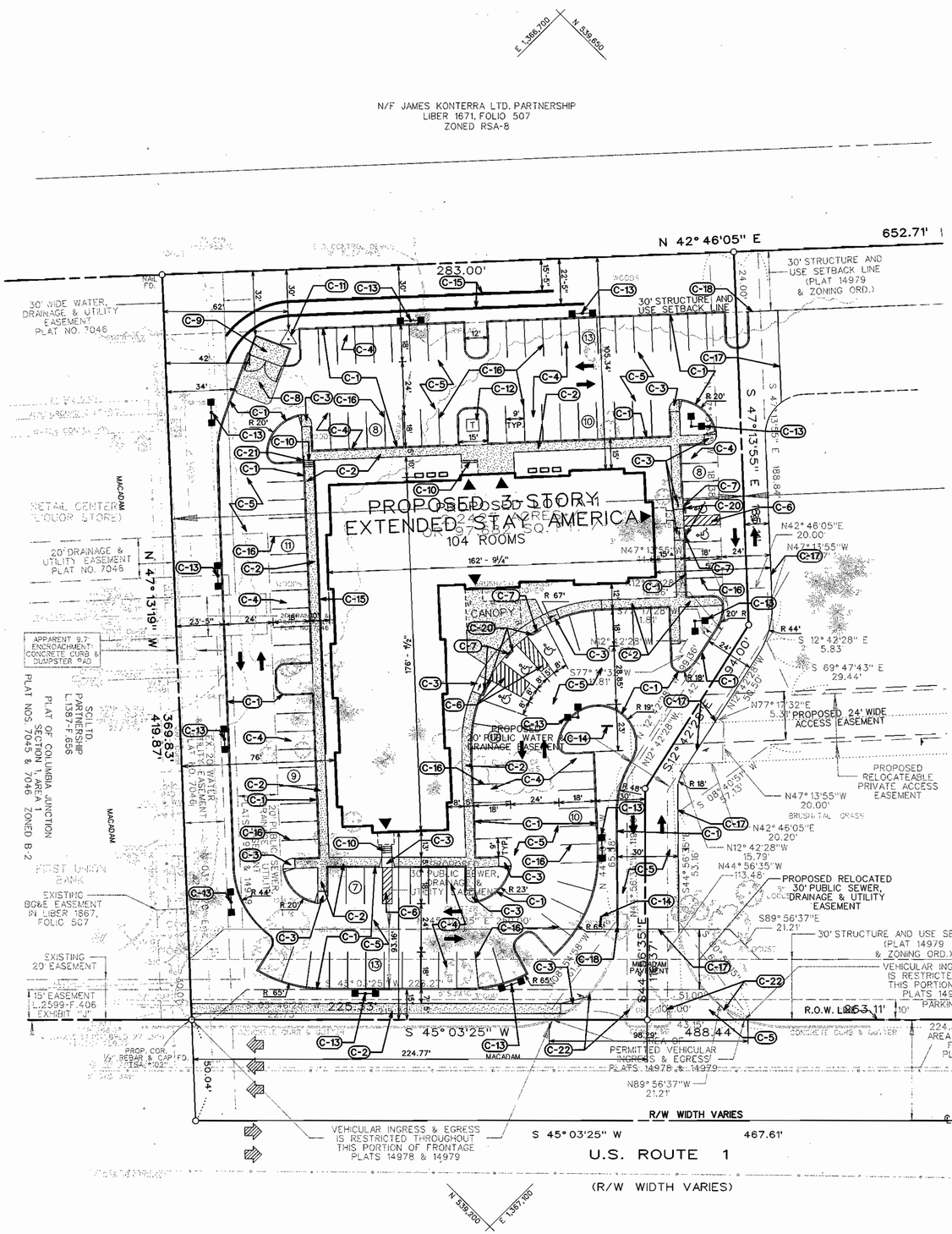
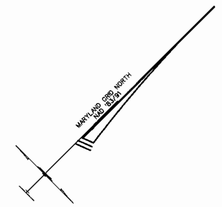
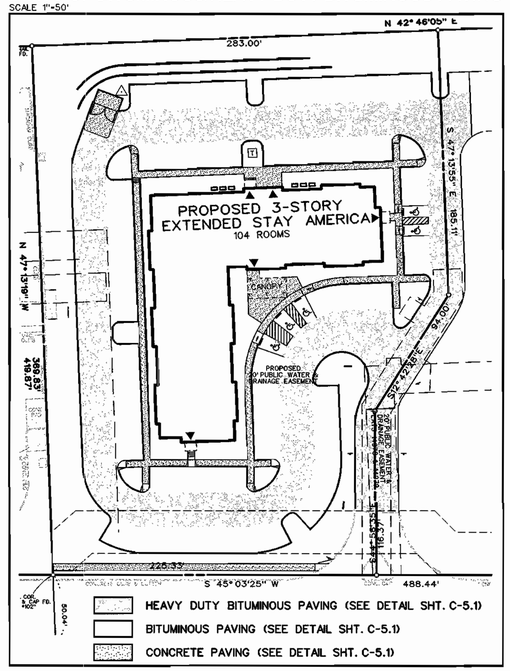




VICINITY MAP
1" = 2000'

LIMITS OF BITUMINOUS/HEAVY DUTY BITUMINOUS PAVING

SCALE 1"=50'



BENCHMARK - NAD '83

BENCHMARK #43GA: STAMPED DISC SET ON 3' CYLINDRICAL CONC. BASE 1"-2" BELOW SURFACE, 72.5' SW OF C&P POLE #178, 4.8' FROM EOP NORTHBOUND LANE OF U.S. ROUTE 1. ELEVATION = 241.665'

BENCHMARK #43GB: STAMPED DISC SET ON 3' CYLINDRICAL CONC. BASE 1"-2" BELOW SURFACE, 68.8' SW OF F.H. AT CORNER OF MOTEL, 3.5' SE OF EOP NORTHBOUND LANE OF U.S. ROUTE 1. ELEVATION = 220.142'

CONSTRUCTION NOTES:

C-1 INSTALL CURB AND GUTTER PER DETAIL, SHEET C-5.1.

C-2 INSTALL SIDEWALK PER DETAIL, SHEET C-5.1.

C-3 INSTALL HANDICAP RAMP PER APPLICABLE DETAIL, SHEET C-5.1.

C-4 INSTALL BITUMINOUS CONCRETE PAVING PER DETAIL, SHEET C-5.1. (PARKING SPACES ONLY).

C-5 INSTALL HEAVY DUTY BITUMINOUS PAVING PER DETAIL, SHEET C-5.1.

C-6 PROVIDE HANDICAP PARKING SPACE STRIPING.

C-7 PROVIDE HANDICAP PARKING SIGNAGE (VAN ACCESSIBLE AS NECESSARY).

C-8 INSTALL CONCRETE DUMPSTER PAD PER DETAIL ON SHEET C-5.1.

C-9 INSTALL TRASH ENCLOSURE PER DETAIL ON SHEET C-5.1.

C-10 INSTALL STEPS PER DETAIL ON SHEET C-5.1.

C-11 SATELLITE DISH TO BE INSTALLED BY OTHERS

C-12 ELECTRICAL TRANSFORMER TO BE INSTALLED BY OTHERS.

C-13 LIGHT POLES TO BE INSTALLED BY OTHERS.

C-14 INSTALL SITE SIGNAGE.

C-15 INSTALL SEGMENTAL BLOCK RETAINING WALL.

C-16 PROVIDE 4" WIDE PAVEMENT MARKINGS AS INDICATED. USE TWO COATS OF ALCYD TYPE TRAFFIC LANE MARKING PAINT (WHITE UNLESS OTHERWISE DIRECTED).

C-17 LIMIT OF PAVEMENT.

C-18 LIMIT OF CURB AND GUTTER.

C-19 NOT USED

C-20 INSTALL CONCRETE WHEEL STOP.

C-21 PROVIDE CONCRETE CHEEK WALL AND RAILING FOR GRADE ADJUSTMENT.

C-22 REMOVE CURB TO NEAREST JOINT AND INSTALL NEW FOR STORM DRAIN CONSTRUCTION.

C-23 INSTALL "NO LEFT TURN" (R3-2) GRAPHIC TRAFFIC SIGN PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND HOWARD COUNTY DESIGN MANUAL VOL. 3.

C-24 INSTALL STANDARD STOP SIGN (R1-1) WITH "RIGHT TURN ONLY" SIGN (R3-5(4)) MOUNTED BELOW STOP SIGN PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND HOWARD COUNTY DESIGN MANUAL VOL. 3.

C-25 INSTALL TRAFFIC DIRECTIONAL SIGNAGE (M4-5, M3-1 or M3-3, M1-4 AND M6-1 or M6-3) PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND HOWARD COUNTY DESIGN MAUNAL VOL. 3.

C-26 INSTALL TRAFFIC DIRECTIONAL SIGNAGE (M4-3, M 1-4 AND M 6-1) APPROX. 100 FT. FROM INTERSECTION OF ACCESS EASEMENT AND ROAD ALIGNMENT OF JUNCTION DR. PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND HOWARD COUNTY DESIGN MAUNAL VOL. 3.

GENERAL NOTES:

1. ALL SIDEWALKS TO BE 5' WIDE UNLESS OTHERWISE NOTED.
2. ALL CURB RADII TO BE 5' UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
4. ALL DIMENSIONS RELATING TO BUILDING ARE TO FACE STUD (fos).
5. REFER TO PHOTOMETRIC PLAN FOR LIGHT POLE LOCATIONS.
6. TYPICAL OPERATION AND MANAGEMENT OF THE "EXTENDED STAY" TYPE OF HOTEL DOES NOT WARRANT A NEED FOR A LOADING/ UNLOADING SPACE. NO FOOD SERVICE OR LAUNDRY PICK-UP IS PROVIDED FOR THIS HOTEL. THEREFORE THE APPLICANT IS REQUESTING RELIEF OF SECTION 133F (OFF-STREET LOADING FACILITIES).

APPROVED: DEPT. OF PLANNING AND ZONING

Chief, Division of Land Development — Date 10/9/03

Chief, Development Engineering Division — Date 10/8/03

Director — Date 10/3/03

Address Chart	
Lot/Parcel	Street Address
548	8550 Washington Blvd.

Permit Information Chart					
Subdivision Name: Columbia Junction			Section/Area: 3		Parcel: A
Plat No.: 15907 - 15908	Block No.: 1	Zone: B-2	Tax/Zone Map: 48	Elec. Dist.: 6th	Census Tract: 6069.01
Water Code: W-03			Sewer Code: S-00	4250000	

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EXTENDED STAY AMERICA
COLUMBIA JUNCTION, MD
HOWARD COUNTY, MARYLAND

STATE OF MARYLAND — KEVIN T. LEWIS — No. 19803 — PROFESSIONAL ENGINEER — 10/9/03

Launch No.	5/18/01
ESA No.	2787
Permit Submittal	3/21/02
Permit Clearance	
Bid Issue	
Project No.	10725
Drawn By	AJC III
Checked By	KTL

NO.	DATE	REVISION

PROJECT:
COLUMBIA JUNCTION
SECTION 3- PARCEL 'A'
(HOTEL)

LOCATION:
TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
SITE DEVELOPMENT PLAN
SITE PLAN

DATE:	MARCH 21, 2002	DRAWING NO.	C-2.1
SCALE:	1" = 30'	DRAWING	3 OF 20

SDP-02-95

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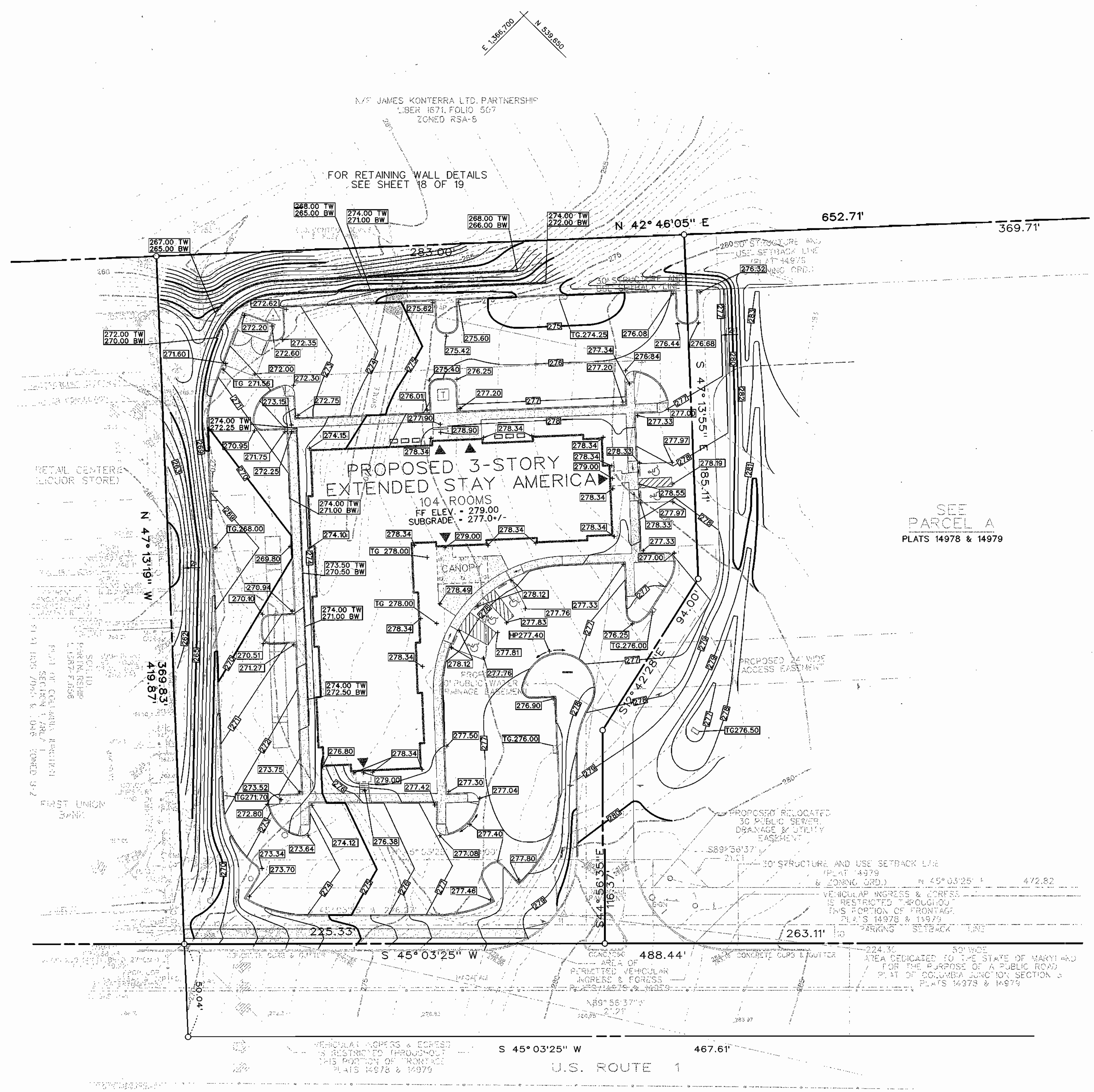

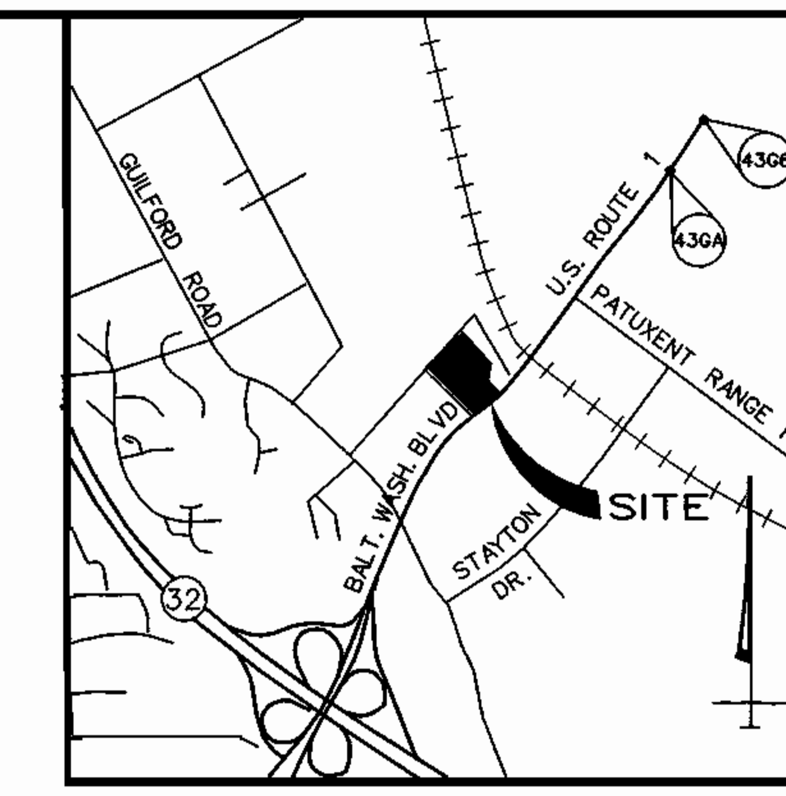

VICINITY MAP
1" = 2000'

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Cindy Hamilton 10/9/03
Chief, Division of Land Development HB Date

[signature] 10/8/03
Chief, Development Engineering Divsion Date AG

[signature] 10/5/03
Director Date

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Lot/Parcel	Street Address
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TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
SITE DEVELOPMENT PLAN
GRADING PLAN

DATE:	MARCH 21, 2002	DRAWING NO.	C-3.1
SCALE:	1" = 30'	DRAWING	4 OF 20

SDP-02-95

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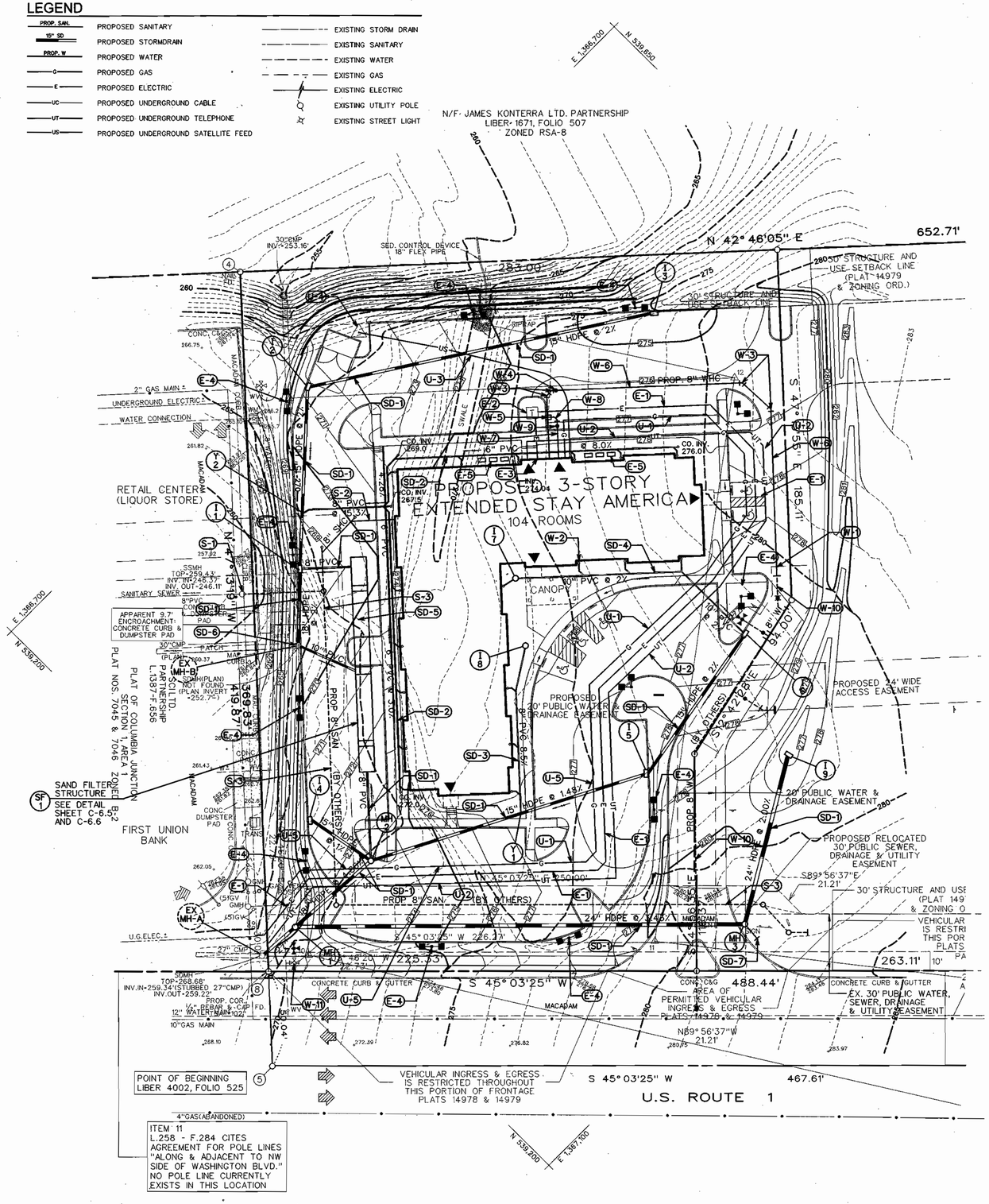
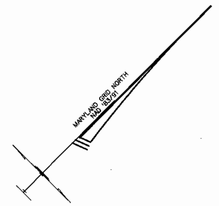
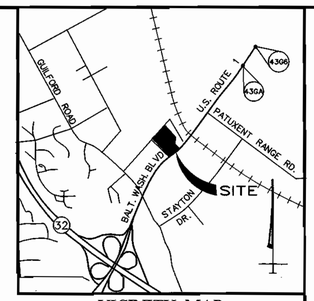
DATE: 08-Apr-03 10:06

LEGEND

PROP. SAN. — PROPOSED SANITARY	EXISTING STORM DRAIN
15" SD — PROPOSED STORMDRAIN	EXISTING SANITARY
PROP. W — PROPOSED WATER	EXISTING WATER
G — PROPOSED GAS	EXISTING GAS
E — PROPOSED ELECTRIC	EXISTING ELECTRIC
UC — PROPOSED UNDERGROUND CABLE	EXISTING UTILITY POLE
UT — PROPOSED UNDERGROUND TELEPHONE	EXISTING STREET LIGHT
US — PROPOSED UNDERGROUND SATELLITE FEED	







VICINITY MAP
1" = 2000'

SANITARY NOTES:

S-1 FIELD VERIFY LOCATION OF EXISTING SHC AND UG ELECTRIC.

S-2 INSTALL 8" PVC (SDR-26) PIPE FROM EX. 4" SHC STUB TO 5' OUTSIDE OF PROPOSED BUILDING. REFER TO DRAWING C-6.3 FOR PROFILE. PLUMBER SHALL PERFORM BUILDING CONNECTION. CONTRACTOR SHALL COORDINATE BUILDING CONNECTION WITH MECHANICAL DRAWINGS. PROVIDE CLEANOUTS AS INDICATED.

S-3 PROPOSED PUBLIC SANITARY SEWER- SEE WATER & SEWER CONTRACT NO.24-3901-D FOR DETAILS AND PROFILES.

WATER NOTES:

W-1 REMOVE TEMPORARY PLUG AND INSTALL 8" WATER LINE AS SHOWN ON THE PLAN.

W-2 LOCATION OF PROPOSED SIAMESE CONNECTION AT BUILDING. REFER TO MECHANICAL DRAWINGS FOR INFORMATION.

W-3 INSTALL 8" 1/8 HORIZ. BEND AND BUTTRESS

W-4 INSTALL 8" VALVE WITH ROADWAY VALVE BOX

W-5 INSTALL 8"X4" TEE.

W-6 INSTALL 8" WATER LINE TO 5' OUTSIDE OF THE PROPOSED BUILDING. CONTRACTOR SHALL COORDINATE BUILDING CONNECTION WITH MECHANICAL DRAWINGS. REFER TO DRAWING C-6.3 FOR PROFILE AND STATIONING.

W-7 INSTALL 4" WATER LINE.

W-8 INSTALL 4" 1/8 HORIZ. BEND AND BUTTRESS.

W-9 INSTALL 4" VALVE WITH ROADWAY "VALVE BOX".

W-10 PROPOSED PUBLIC WATER - SEE COUNTY DRAWING FOR DETAILS AND PROFILES.

W-11 RELOCATE EX. FIRE HYDRANT.

UTILITY NOTES:

U-1 PRIMARY GAS SERVICE BETWEEN THE MAIN AND THE BUILDING SHALL BE INSTALLED BY BGE GAS. CONTRACTOR SHALL COORDINATE WITH BGE GAS.

U-2 INSTALL CONDUIT FOR UNDERGROUND TELEPHONE LINES. (TO BE INSTALLED BY VERIZON) CONTRACTOR SHALL COORDINATE WITH VERIZON FOR PROPOSED LOCATION OF SERVICE CONNECTION.

U-3 INSTALL CONDUIT FOR SATELLITE DISH CABLE FEED. (TO BE PROVIDED BY SATELLITE DISH CONTRACTOR) CONTRACTOR SHALL COORDINATE BUILDING CONNECTIONS WITH MECHANICAL DRAWINGS.

U-4 NEW SATLELITE DISH SHALL BE FURNISHED AND INSTALLED BY WORLD CINEMA INC. LOCATE SATELLITE AS SHOWN ON PLANS. CONTRACTOR SHALL COORDINATE INSTALLATION WITH WORLD CINEMA INC. CONTRACTOR SHALL COORDINATE BUILDING CONNECITON WITH ELECTRICAL DRAWINGS.

U-5 PROPOSED GAS TO BE BELOW PROPOSED STORM. SEE SHT NO. C-6.2 FOR PROFILE.

STORM DRAIN NOTES:

SD-1 INSTALL STORM DRAIN. REFER TO DRAWING C-6.2 FOR PROFILES, SCHEDULES AND DETAILS.

SD-2 INSTALL 6" ROOF DRAIN AT 1.00% MINIMUM AND OUTLET AS SHOWN ON PLAN. CONTRACTOR SHALL COORDINATE LOCATIONS OF BUILDING CONNECTIONS WITH ARCHITECTURE DRAWINGS.

SD-3 INSTALL 8" ROOF COLLECTOR DRAIN AT 1.00% MINIMUM AND OUTLET INTO STORM DRAIN AS SHOWN.

SD-4 INSTALL 10" ROOF COLLECTOR DRAIN AT 1.00% MINIMUM AND OUTLET INTO STORM DRAIN AS SHOWN.

SD-5 CONSTRUCT NEW PRIVATE SANDFILTER - SEE SHT C-6.5 & C-6.6 FOR DETAILS.

SD-6 EXTEND MANHOLE STACK, OFFSET STACK FOR FRAME AND COVER TO CLEAR PROPOSED CURB AND GUTTER.

SD-7 INSTALL 10' LONG 18" RCCP STUB @ 8.0% PROVIDE TEMPORARY CAP.

ELECTRIC NOTES:

E-1 BGE POWER SHALL INSTALL PRIMARY SERVICE FROM MAIN TO TRANSFORMER. CONTRACTOR SHALL COORDINATE INSTALLATION AND LOCATION WITH BGE POWER.

E-2 INSTALL TRANSFORMER AND CONCRETE PAD. CONTRACTOR SHALL COORDINATE THE INSTALLATION WITH BGE. CONCRETE PAD FOR TRANSFORMER SHALL COMPLY WITH UTILITY COMPANY SPECIFICATIONS.

E-3 INSTALL ELECTRIC BETWEEN BUILDING AND TRANSFORMER. REFER TO ELECTRICAL DRAWINGS FOR INFORMATION.

E-4 INSTALL SITE LIGHTING. REFER TO ELECTRICAL DRAWINGS FOR CONDUIT LOCATION, LIGHT BASE DETAIL AND LIGHTING MANUACTURER.

E-5 INSTALL CONDENSER UNIT AND CONCRETE PADS. REFER TO MECHANICAL DRAWINGS FOR DETAILS.

BENCHMARK - NAD '83

BENCHMARK #43GA: STAMPED DISC SET ON 3' CYLINDRICAL CONC. BASE 1"-2" BELOW SURFACE, 72.5'SW OF C&P POLE #178, 4.8' FROM EOP NORTHBOUND LANE OF U.S. ROUTE 1. ELEVATION = 241.665'

BENCHMARK #43G8: STAMPED DISC SET ON 3' CYLINDRICAL CONC. BASE 1"-2" BELOW SURFACE, 68.8'SW OF F.H. AT CORNER OF MOTEL, 3.5' SE OF EOP NORTHBOUND LANE OF U.S. ROUTE 1. ELEVATION = 220.142'

PROPOSED LIGHT DATA

FIXTURE TYPE:	McGRAW - EDISON CAL CONCOURSE III (SHOEBOX)
HEIGHT:	28' (25' POLE ATOP 3' BASE)
TYPE OF SHIELD:	SPILL LIGHTING ELIMINATOR
INTENSITY:	400 WATT METAL HALIDE

STV Incorporated
7125 Ambassador Road, Suite 200
Baltimore, MD 21244-2722
(410)944-9400 (410)298-2794
Engineers / Architects / Planners / Construction Managers

EXTENDED STAY AMERICA
EFFICIENCY STUDIOS
ESA MANAGEMENT, INC.

EXTENDED STAY AMERICA
COLUMBIA JUNCTION, MD
HOWARD COUNTY, MARYLAND

Launch No.	5/18/01
ESA No.	2787
Permit Submittal	3/21/02
Permit Clearance	
Bid Issue	
Project No.	10725
Drawn By	AJC III
Checked By	KTL

NO.	DATE	REVISION

APPROVED: DEPT. OF PLANNING AND ZONING

Chief, Division of Land Development — Date 10/9/03

Chief, Development Engineering Division — Date 10/8/03

Director — Date 10/9/03

Address Chart	
Lot/Parcel	Street Address
548	8550 Washington Blvd.

Permit Information Chart					
Subdivision Name: Columbia Junction				Section/Area: 3	Parcel: A
Plat No.: 15807-15808	Block No.: 1	Zone: B-2	Tax/Zone Map: 48	Elec. Dist.: 6th	Census Tract: 6069.01
Water Code: B-03			Sewer Code: 4250000		

PROJECT:
COLUMBIA JUNCTION
SECTION 3- PARCEL 'A'
(HOTEL)

LOCATION:
TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
SITE DEVELOPMENT PLAN
UTILITY PLAN

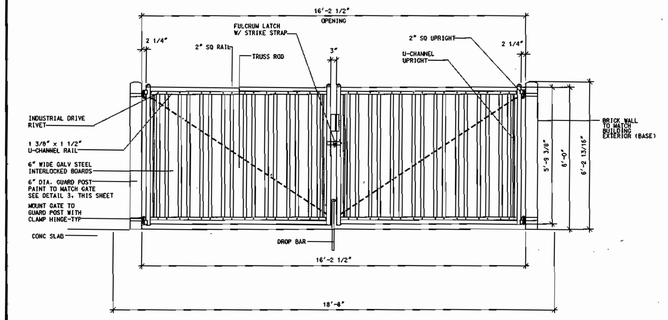
DATE:	MARCH 21, 2002	DRAWING NO.	C-4.1
SCALE:	1" = 30'	DRAWING	5 OF 20

SDP-02-95

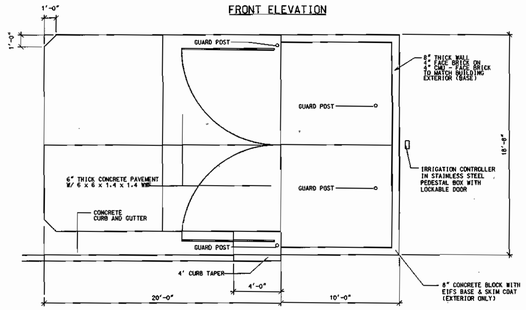
FILE: I:\PROJECTS\10725\PLOT\plan.dgn
DATE: 08-APR-03

TRASH ENCLOSURE DETAIL

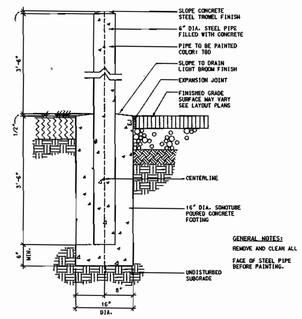
NOT TO SCALE



FRONT ELEVATION



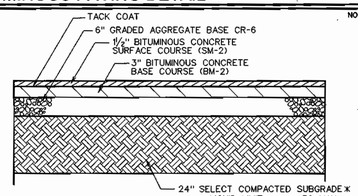
PLAN



BOLLARD DETAIL

BITUMINOUS PAVING DETAIL

NOT TO SCALE

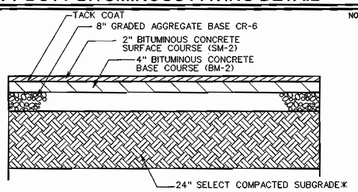


LIQUID LIMIT 30 MAX.
PLASTICITY INDEX 4 MAX.
CBR 10 MIN.

* NOTE:
THE BITUMINOUS PAVEMENT SECTION SHOWN ANTICIPATES DEVELOPMENT OF THE SUBGRADE CHARACTERISTICS SHOWN. IF IN THE OPINION OF THE GEOTECHNICAL ENGINEER THESE CHARACTERISTICS CANNOT BE DEVELOPED ON THE SUBBASE, ADDITIONAL SOIL SHALL BE EXCAVATED AND REPLACED WITH SELECT COMPACTED SUBGRADE UNTIL THE REQUIRED CHARACTERISTICS ARE DEVELOPED.

HEAVY DUTY BITUMINOUS PAVING DETAIL

NOT TO SCALE

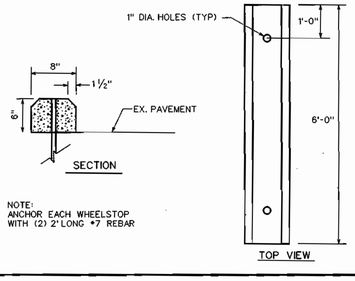


LIQUID LIMIT 30 MAX.
PLASTICITY INDEX 4 MAX.
CBR 10 MIN.

* NOTE:
THE HEAVY DUTY BITUMINOUS PAVEMENT SECTION SHOWN ANTICIPATES DEVELOPMENT OF THE SUBGRADE CHARACTERISTICS SHOWN. IF IN THE OPINION OF THE GEOTECHNICAL ENGINEER THESE CHARACTERISTICS CANNOT BE DEVELOPED ON THE SUBBASE, ADDITIONAL SOIL SHALL BE EXCAVATED AND REPLACED WITH SELECT COMPACTED SUBGRADE UNTIL THE REQUIRED CHARACTERISTICS ARE DEVELOPED.

PRE-CAST CONCRETE WHEELSTOP DETAIL

NOT TO SCALE

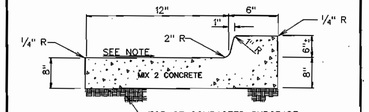


NOTE:
ANCHOR EACH WHEELSTOP WITH (2) 2'LONG #7 REBAR

CONCRETE CURB AND GUTTER DETAIL

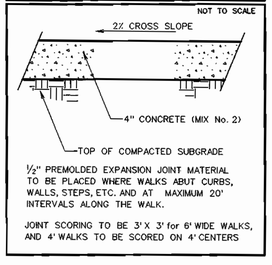
NOT TO SCALE

NOTE: FOR STD. CURB & GUTTER SLOPE AT 4%
FOR REVERSE SLOPE CURB & GUTTER, SLOPE AT SAME RATE AS LINEAR SLOPE ACROSS PAVING



CONCRETE SIDEWALK DETAIL

NOT TO SCALE

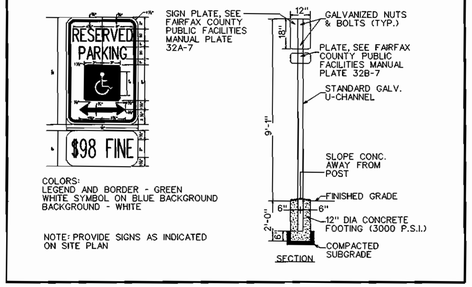


½" PREMOLDED EXPANSION JOINT MATERIAL TO BE PLACED WHERE WALKS ABUT CURBS, WALLS, STEPS, ETC. AND AT MAXIMUM 20' INTERVALS ALONG THE WALK.

JOINT SCORING TO BE 3' X 3' for 6' WIDE WALKS, AND 4' WALKS TO BE SCORED ON 4' CENTERS

HANDICAP SIGN AND POST DETAIL

NOT TO SCALE

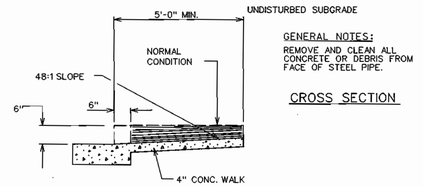


COLORS:
LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

NOTE: PROVIDE SIGNS AS INDICATED ON SITE PLAN

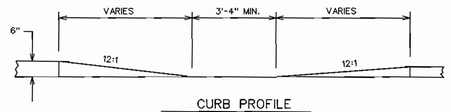
STANDARD HANDICAP RAMP DETAIL 'A'

NOT TO SCALE

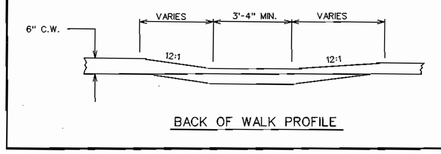


GENERAL NOTES:
REMOVE AND CLEAN ALL CONCRETE OR DEBRIS FROM FACE OF STEEL PIPE.

CROSS SECTION



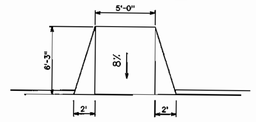
CURB PROFILE
Not To Scale



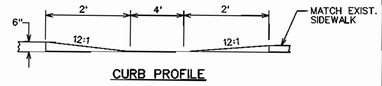
BACK OF WALK PROFILE

STANDARD HANDICAP RAMP DETAIL 'B'

Not To Scale



CROSS SECTION



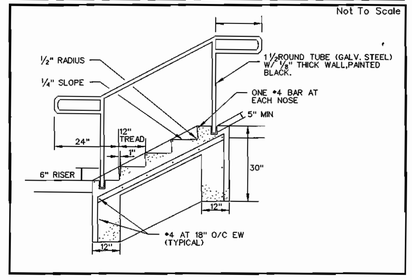
CURB PROFILE

NOTES:

1. SIDEWALK RAMPS SHOULD BE LOCATED AS INDICATED.
2. EXPANSION JOINT MATERIAL SHALL BE ½ INCH PERFORMED CORK, TRIMMED AND SEALED WITH NON-STAINING, TWO COMPONENT POLYSULFIDE OR POLYURETHANE ELASTOMERIC TYPE SEALANT, COMPLYING WITH FS TT-S-00227.

STAIR DETAIL

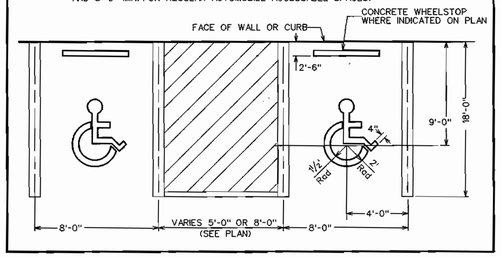
Not To Scale



HANDICAP PARKING

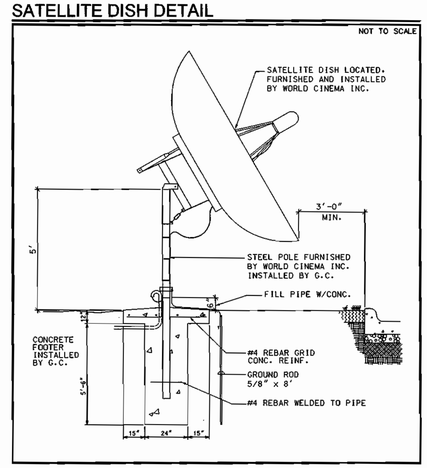
NOT TO SCALE

NOTES:
1. PAINT IS TO BE WHITE TRAFFIC PAINT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. (TWO (2) COATS REQUIRED)
2. STRIPING WIDTH TO BE 8'-0" MIN. FOR VAN ACCESSABLE SPACES AND 5'-0" MIN. FOR REGULAR AUTOMOBILE ACCESSABLE SPACES



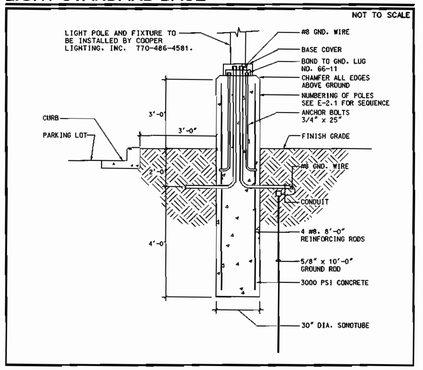
SATELLITE DISH DETAIL

NOT TO SCALE



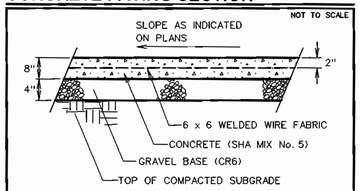
LIGHT STANDARD BASE

NOT TO SCALE



CONCRETE PAVING SECTION

NOT TO SCALE



½" PREMOLDED EXPANSION JOINT MATERIAL TO BE PLACED WHERE WALKS ABUTS CURBS, WALLS, STEPS, ETC. AND AT MAXIMUM 20' INTERVALS ALONG THE WALK.

STV Incorporated
7125 Ambassador Road, Suite 200
Baltimore, Maryland 21244-2722
(410)944-3150 FAX (410)298-2794
Engineers / Architects / Planners / Construction Managers

EXTENDED STAY AMERICA
EFFICIENCY STUDIOS
ESA MANAGEMENT, INC.

EXTENDED STAY AMERICA
COLUMBIA JUNCTION, MD
HOWARD COUNTY, MARYLAND

Launch No.	5/18/01
ESA No.	2787
Permit Submittal	3/21/02
Permit Clearance	
Bid Issue	
Project No.	10725
Drawn By	AJC III
Checked By	KTL

NO.	DATE	REVISION

APPROVED: DEPT. OF PLANNING AND ZONING

Chief, Division of Land Development — Date 10/9/03

Chief, Development Engineering Division — Date 10/8/03

Director — Date 10/9/03

Address Chart	
Lot/Parcel	Street Address
548	8550 Washington Blvd.

Permit Information Chart					
Subdivision Name: Columbia Junction			Section/Area: 3		Parcel: A
Plat No.: 15807-15808	Block No.: 1	Zone: B-2	Tax/Zone Map: 48	Elec. Dist.: 6th	Census Tract: 6069.01
Water Code: B-03			Sewer Code: 4250000		

PROJECT:
COLUMBIA JUNCTION
SECTION 3- PARCEL 'A'
(HOTEL)

LOCATION:
TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
SITE DEVELOPMENT PLAN
SITE DETAILS

DATE:	MARCH 21, 2002	DRAWING NO.	C-5.1
SCALE:	AS SHOWN	DRAWING	6 OF 20

SDP-02-95

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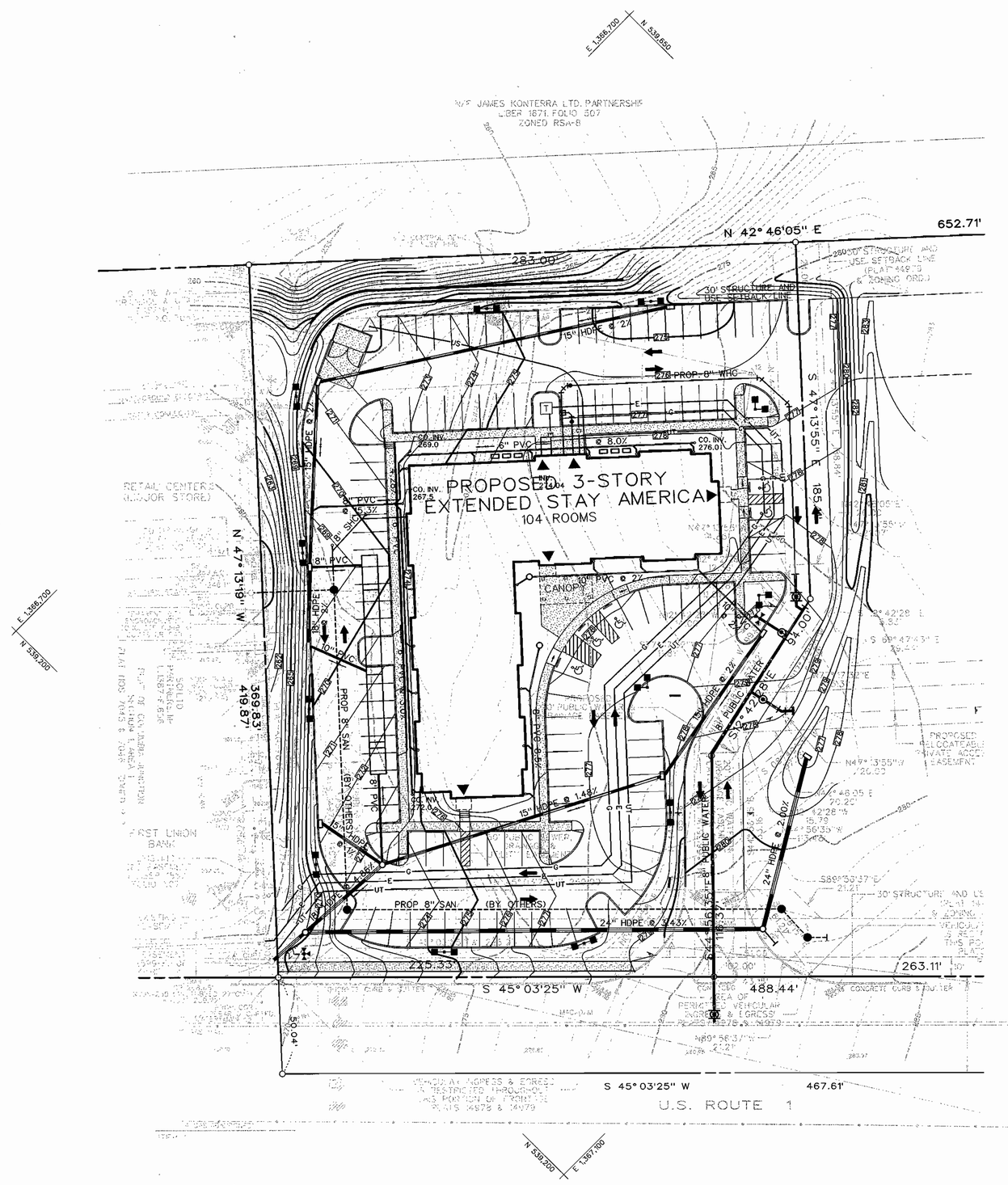
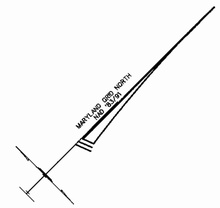
DATE: 08-Apr-03 10:08





VICINITY MAP
1" = 2000'

BENCHMARK - NAD '83

BENCHMARK #43GA: STAMPED DISC SET ON 3' CYLINDRICAL CONC. BASE 1"-2" BELOW SURFACE, 72.5' SW OF C&P POLE #178, 4.8' FROM EOP NORTHBOUND LANE OF U.S. ROUTE 1. ELEVATION = 241.665'

BENCHMARK #43G6: STAMPED DISC SET ON 3' CYLINDRICAL CONC. BASE 1"-2" BELOW SURFACE, 68.8' SW OF F.H. AT CORNER OF MOTEL, 3.5' SE OF EOP NORTHBOUND LANE OF U.S. ROUTE 1. ELEVATION = 220.142'

STV Incorporated
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EXTENDED STAY AMERICA
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ESA MANAGEMENT, INC.

EXTENDED STAY AMERICA
COLUMBIA JUNCTION, MD
HOWARD COUNTY, MARYLAND

STATE OF MARYLAND
KEVIN T. LEWIS
No. 18411
PROFESSIONAL ENGINEER
4/9/03

Launch No.	5/18/01
ESA No.	2787
Permit Submittal	3/21/02
Permit Clearance	
Bid Issue	
Project No.	10725
Drawn By	AJC III
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NO.	DATE	REVISION

APPROVED: DEPT. OF PLANNING AND ZONING

Chief, Division of Land Development — Date 10/9/03

Chief, Development Engineering Division — Date 10/8/03

Director — Date 10/3/03

Address Chart	
Lot/Parcel	Street Address
548	8550 Washington Blvd.

Permit Information Chart					
Subdivision Name: Columbia Junction			Section/Area: 3		Parcel: A
Plat No.: 15807 - 15808	Block No.: 1	Zone: B-2	Tax/Zone Map: 48	Elec. Dist.: 6th	Census Tract: 6069.01
Water Code: B-03			Sewer Code: 4250000		

PROJECT:
COLUMBIA JUNCTION
SECTION 3- PARCEL 'A'
(HOTEL)

LOCATION:
TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
SITE DEVELOPMENT PLAN
STORM DRAIN - DRAINAGE AREA MAP

DATE:	MARCH 21, 2002	DRAWING NO.	C-6.1
SCALE:	1" = 40'	DRAWING	7 OF 20

SDP-02-95

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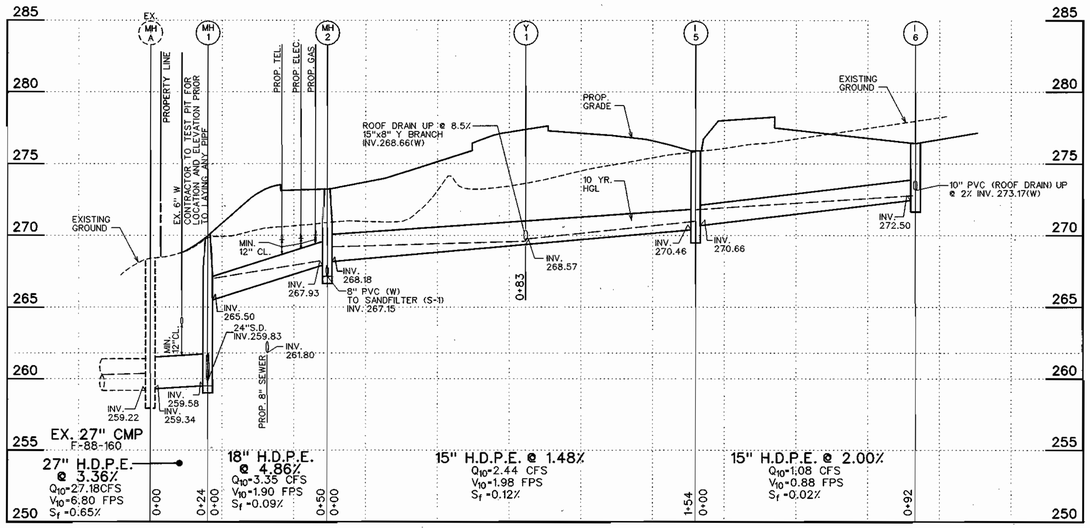
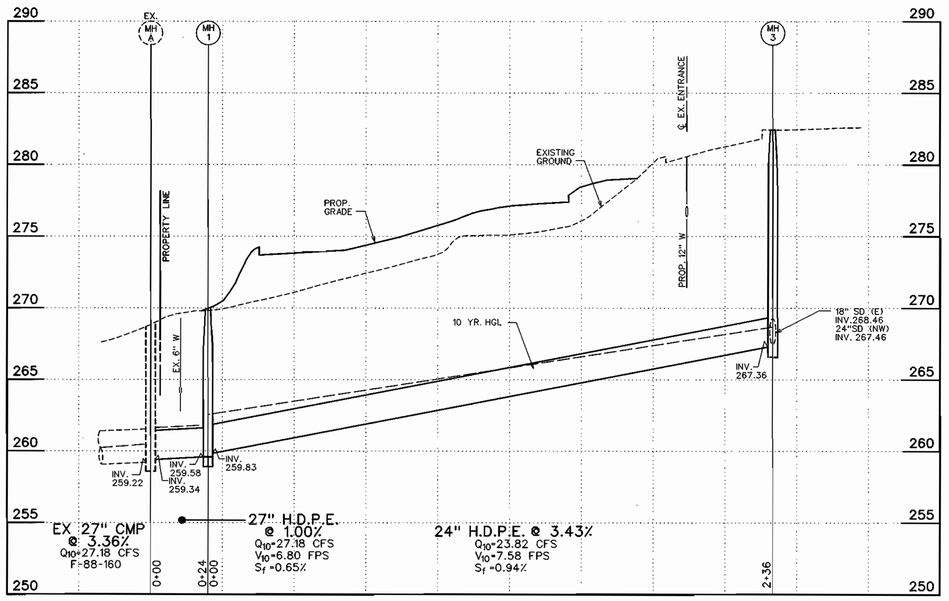
PLOTTED: 04-Apr-03 10:08



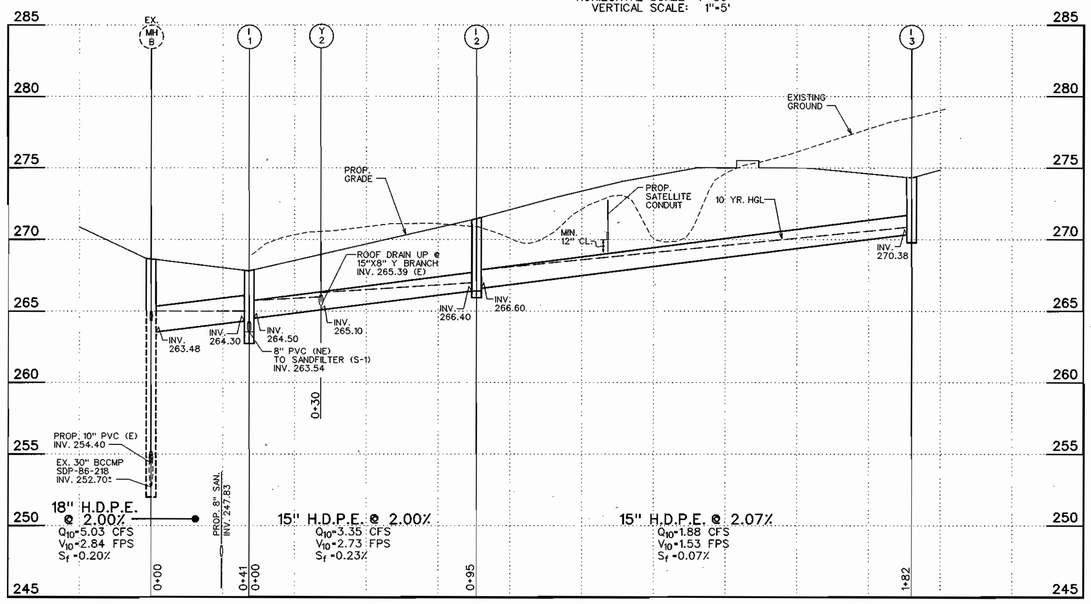
STORM DRAIN PROFILE

HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=5'



STORM DRAIN PROFILE

HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=5'



STORM DRAIN PROFILE

HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=5'

STORM DRAIN STRUCTURE SCHEDULE

NO.	DESCRIPTION	STRUCTURE STD. NO.	INV. IN	INV. OUT	TOP	COORDINATE		REMARKS
I-1	DBL 'S' COMB.	SD-4.34	264.50	264.30	268.00			
I-2	DBL 'S' COMB	SD-4.34	266.60	266.40	271.56			
I-3	DBL 'S' COMB.	SD-4.34	-	270.38	274.25			
I-4	DBL 'S' COMB.	SD-4.34	-	268.30	271.70			
I-5	DBL 'S' COMB.	SD-4.34	270.66	270.46	276.00			
I-6	A-5	SD-4.40	-	272.50	276.00			
I-7	10" DRAIN BASIN	ADS 10" PRODUCT NUMBERS	276.60	276.60	278.00			CAST IRON DOME
I-8	10' DRAIN BASIN	ADS 10" PRODUCT NUMBERS	276.50	276.50	278.00			CAST IRON DOME
I-9	DBL 'S'	SD-4.23	-	270.0	276.50			
MH-1	STD MANHOLE	G-5.12	259.83	259.58	270.00			
MH-2	STD MANHOLE	G-5.12	267.93	268.18	273.40			
MH-3	STD MANHOLE	G-5.12	268.16	267.96	282.50			
EX. MH-A	STD MANHOLE	G-5.12	259.34	259.22	268.50			
EX. MH-B	STD MANHOLE	G-5.12	-	-	269.20			EXTEND STACK TO PROP. GRADE

PIPE SCHEDULE

RUN	SIZE	LENGTH	TYPE/CLASS
EX. MH-A TO MH-1	27"	24'	HDPE
MH-1 TO MH-2	18"	50'	HDPE
MH-2 TO I-5	15"	154'	HDPE
I-5 TO I-6	15"	92'	HDPE
EX. MH-B TO I-1	18"	41'	HDPE
I-1 TO I-2	15"	95'	HDPE
I-2 TO I-3	15"	182'	HDPE
I-4 TO I-MH-2	15"	40'	HDPE
MH-3 TO I-9	24"	92'	HDPE
MH-1 TO MH-3	24"	236'	HDPE
MH-3 STUB	18"	10'	HDPE

STORM DRAIN PROFILE

HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=5'

STORM DRAIN PROFILE

HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=5'

APPROVED: DEPT. OF PLANNING AND ZONING

Chief, Division of Land Development — Date 11/6/03

Chief, Development Engineering Division — Date 10/30/03

Director — Date 10/9/03

Address Chart	
Lot/Parcel	Street Address
548	8550 Washington Blvd.

Permit Information Chart					
Subdivision Name: Columbia Junction			Section/Area: 3		Parcel: A
Plat No.: SDP-01-152	Block No.: 1	Zone: B-2	Tax/Zone Map: 48	Elec. Dist.: 6th	Census Tract: 6069.01
Water Code: B-03			Sewer Code: 4250000		

STV Incorporated
7125 Ambassador Road, Suite 200
Baltimore, Maryland 21244-2722
(410)944-9112 fax (410)298-2794
Engineers / Architects / Planners / Construction Managers

EXTENDED STAYAMERICA
EFFICIENCY STUDIOS
ESA MANAGEMENT, INC.

EXTENDED STAY AMERICA
COLUMBIA JUNCTION, MD
HOWARD COUNTY, MARYLAND

STATE OF MARYLAND — No. 19811 — PROFESSIONAL ENGINEER
4/9/03

Launch No.	5/18/01
ESA No.	2787
Permit Submittal	3/21/02
Permit Clearance	
Bid Issue	
Project No.	10725
Drawn By	AJC III
Checked By	KTL

NO.	DATE	REVISION

PROJECT:
COLUMBIA JUNCTION
SECTION 3- PARCEL 'A'
(HOTEL)

LOCATION:
TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
SITE DEVELOPMENT PLAN
STORM DRAIN PROFILES

DATE:	MARCH 21, 2002	DRAWING NO.	C-6.2
SCALE:	AS SHOWN	DRAWING	8 OF 20

SDP-02-95

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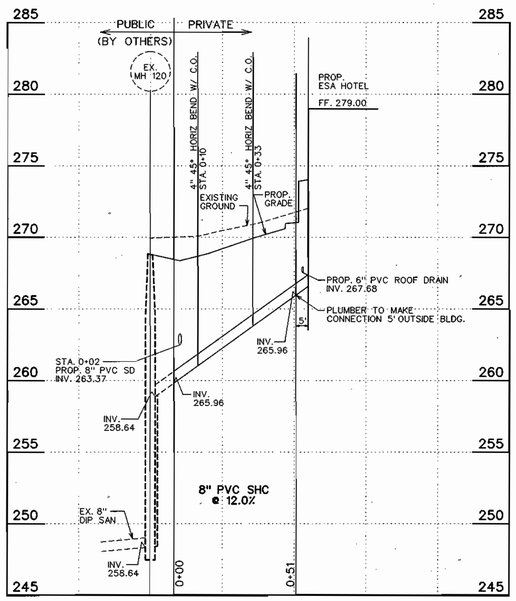
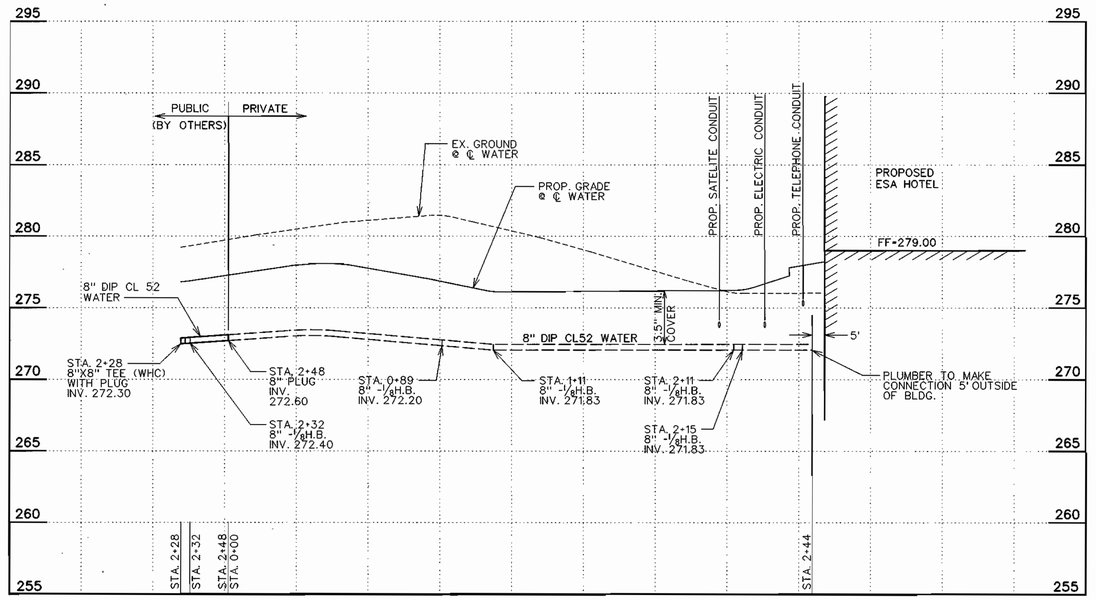


4" SHC - PROFILE

HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=5'



WATER LINE PROFILE

HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=5'

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7125 Ambassador Road, Suite 200
Baltimore, Maryland 21244-2722
(410)944-9112 fax (410)298-2794
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ESA MANAGEMENT, INC.
EFFICIENCY STUDIOS

EXTENDED STAY AMERICA
COLUMBIA JUNCTION, MD
HOWARD COUNTY, MARYLAND

STATE OF MARYLAND
KEVIN T. LEWIS
No. 19411
PROFESSIONAL ENGINEER
4/9/03

Launch No.	5/18/01
ESA No.	2787
Permit Submittal	3/21/02
Permit Clearance	
Bid Issue	
Project No.	10725
Drawn By	AJC III
Checked By	KTL

NO.	DATE	REVISION

APPROVED: DEPT. OF PLANNING AND ZONING

Cindy Hamilton 10/9/03
Chief, Division of Land Development Date

Chief, Development Engineering Division 10/8/03 Date

Director 10/9/03 Date

Address Chart	
Lot/Parcel	Street Address
548	8550 Washington Blvd.

Permit Information Chart

Subdivision Name: Columbia Junction			Section/Area: 3		Parcel: A
Plat No.: 15907-15909	Block No.: 1	Zone: B-2	Tax/Zone Map: 48	Elec. Dist.: 6th	Census Tract: 6069.01
Water Code: B-03			Sewer Code: 4250000		

PROJECT:
COLUMBIA JUNCTION
SECTION 3- PARCEL 'A'
(HOTEL)

LOCATION:
TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
SITE DEVELOPMENT PLAN
SANITARY SEWER
& WATER PROFILES

DATE:	MARCH 21, 2002	DRAWING NO.	C-6.3
SCALE:	AS SHOWN	DRAWING	9 OF 20

SDP-02-95

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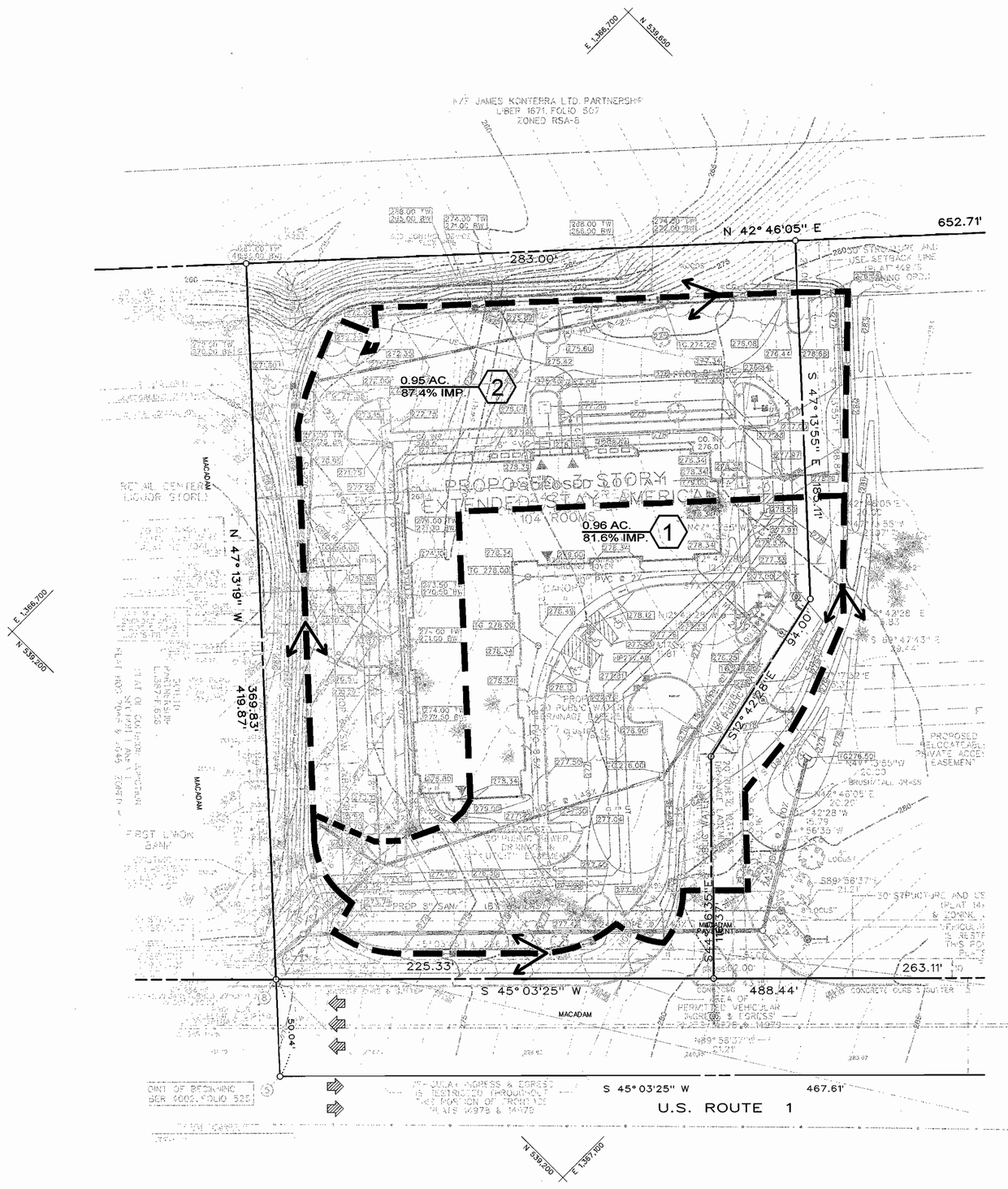

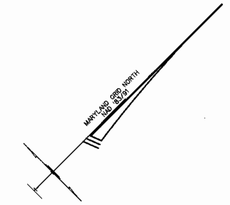

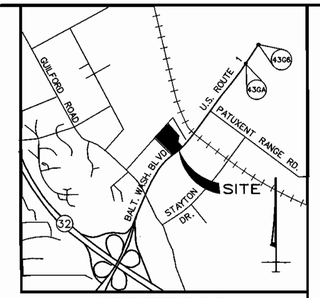

VICINITY MAP
1" = 2000'

LEGEND

1 — DRAINAGE AREA LABELS

DRAINAGE AREA LIMITS

BENCHMARK - NAD '83

BENCHMARK #43GA: STAMPED DISC SET ON 3' CYLINDRICAL CONC. BASE 1'-2" BELOW SURFACE, 72.5' SW OF C&P POLE #178, 4.8' FROM EOP NORTHBOUND LANE OF U.S. ROUTE 1. ELEVATION = 241.665'

BENCHMARK #43G6: STAMPED DISC SET ON 3' CYLINDRICAL CONC. BASE 1'-2" BELOW SURFACE, 68.8' SW OF F.H. AT CORNER OF MOTEL, 3.5' SE OF EOP NORTHBOUND LANE OF U.S. ROUTE 1. ELEVATION = 220.142'

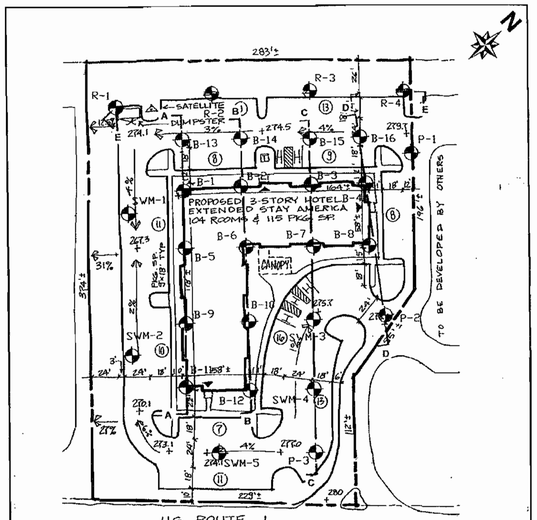

FIGURE 2

GEO-TECHNOLOGY ASSOCIATES, INC.
Geotechnical and Environmental Consultants
45000 Underwood Lane, Suite M
Sterling, Virginia 20166
(703) 478-0655
Fax (703) 478-0137

ESA – Columbia Junction
Washington Boulevard
Boring Location Plan
Howard County, Maryland

SCALE	DATE	SOURCE	REVIEWED BY	PROJECT NO.
Approx. 1"=60'	Sept. 2001	STV	MWW	01696.V

STV Incorporated
7125 Ambassador Road, Suite 200
Baltimore, Maryland 21244-2722
(410)944-9112 Fax (410)298-2794
Engineers / Architects / Planners / Construction Managers

EXTENDED STAY AMERICA
EFFICIENCY STUDIOS
ESA MANAGEMENT, INC.

EXTENDED STAY AMERICA
COLUMBIA JUNCTION, MD
HOWARD COUNTY, MARYLAND

Launch No.	5/18/01
ESA No.	2787
Permit Submittal	3/21/02
Permit Clearance	
Bid Issue	
Project No.	10725
Drawn By	AJC III
Checked By	KTL

STATE OF MARYLAND — No. 19411 — PROFESSIONAL ENGINEER — 4/9/03

NO.	DATE	REVISION

APPROVED: DEPT. OF PLANNING AND ZONING

Chief, Division of Land Development — 10/9/03 Date

Chief, Development Engineering Division — 10/8/03 Date

Director — 10/9/03 Date

Address Chart	
Lot/Parcel	Street Address
548	8550 Washington Blvd.

Permit Information Chart					
Subdivision Name: Columbia Junction			Section/Area: 3		Parcel: A
Plat No.: 15007-15808	Block No.: 1	Zone: B-2	Tax/Zone Map: 48	Elec. Dist.: 6th	Census Tract: 6069.01
Water Code: B-03			Sewer Code: 4250000		

PROJECT:
COLUMBIA JUNCTION
SECTION 3- PARCEL 'A'
(HOTEL)

LOCATION:
TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
SITE DEVELOPMENT PLAN
STORMWATER MANAGEMENT
DRAINAGE AREA MAP

DATE:	MARCH 21, 2002	DRAWING NO.	C-6.4
SCALE:	1" = 30'	DRAWING	10 OF 20

SDP-02-95

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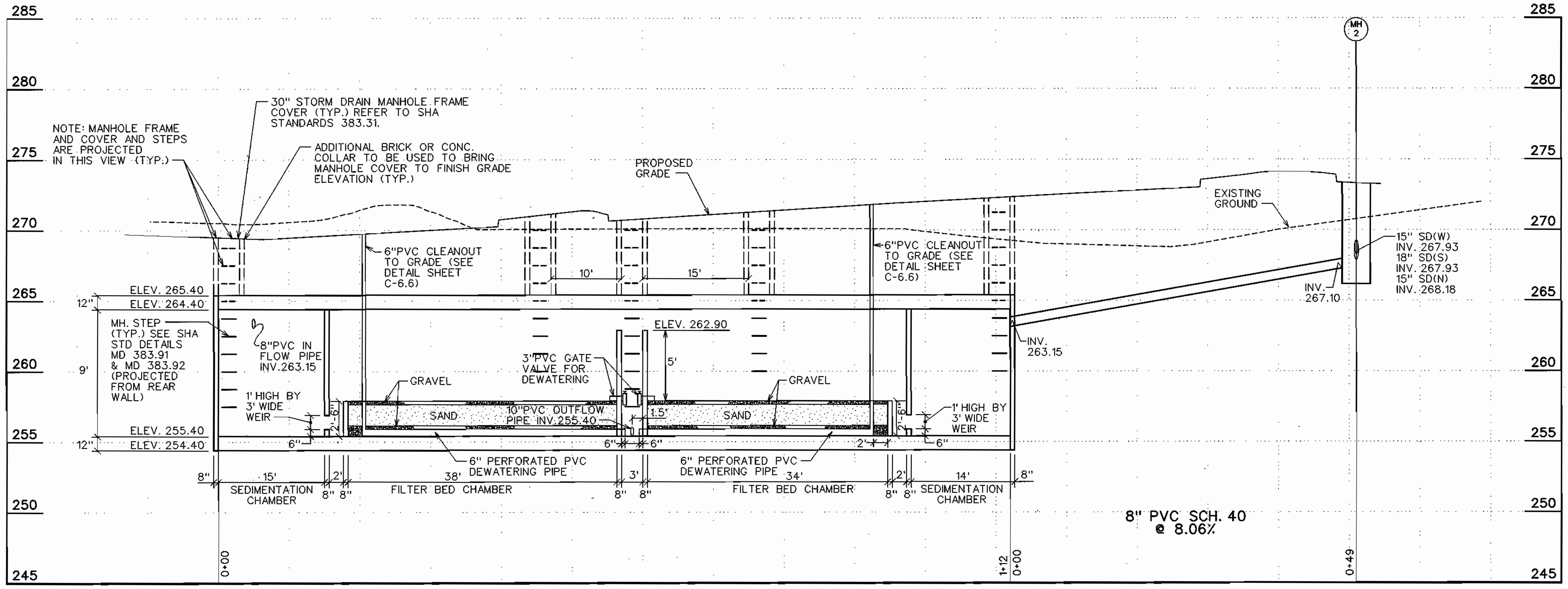
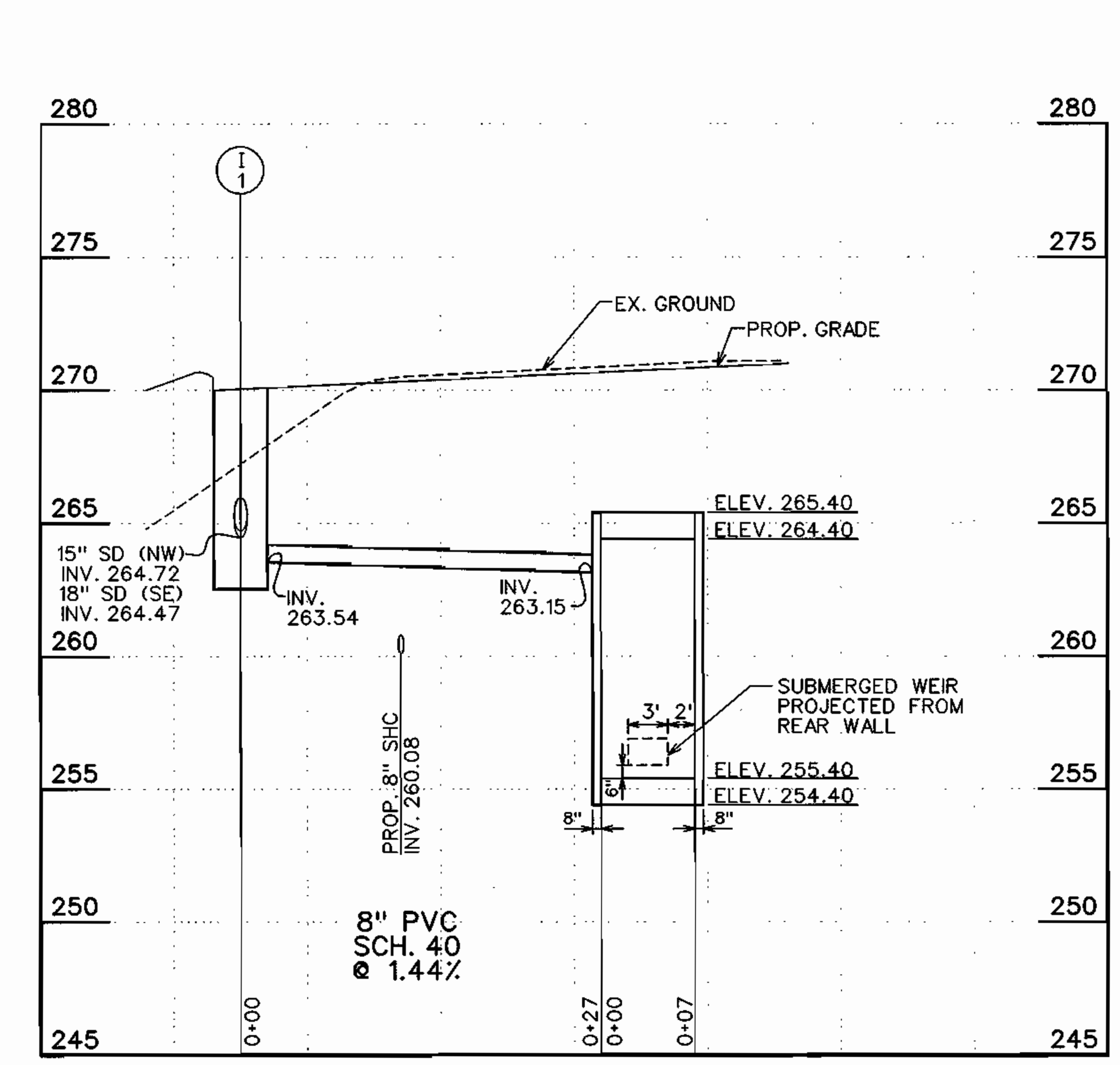


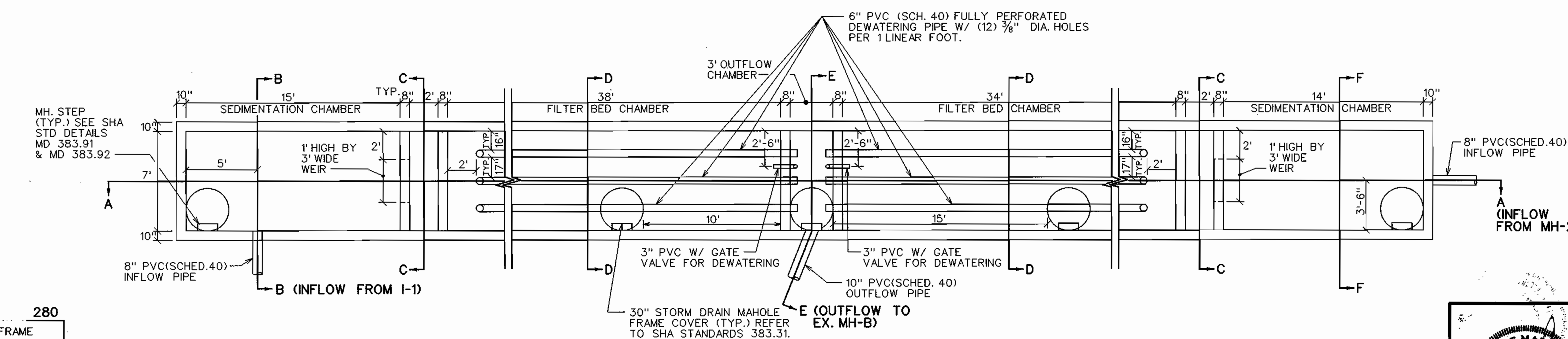
SECTION A-A

HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=5'



SECTION B-B

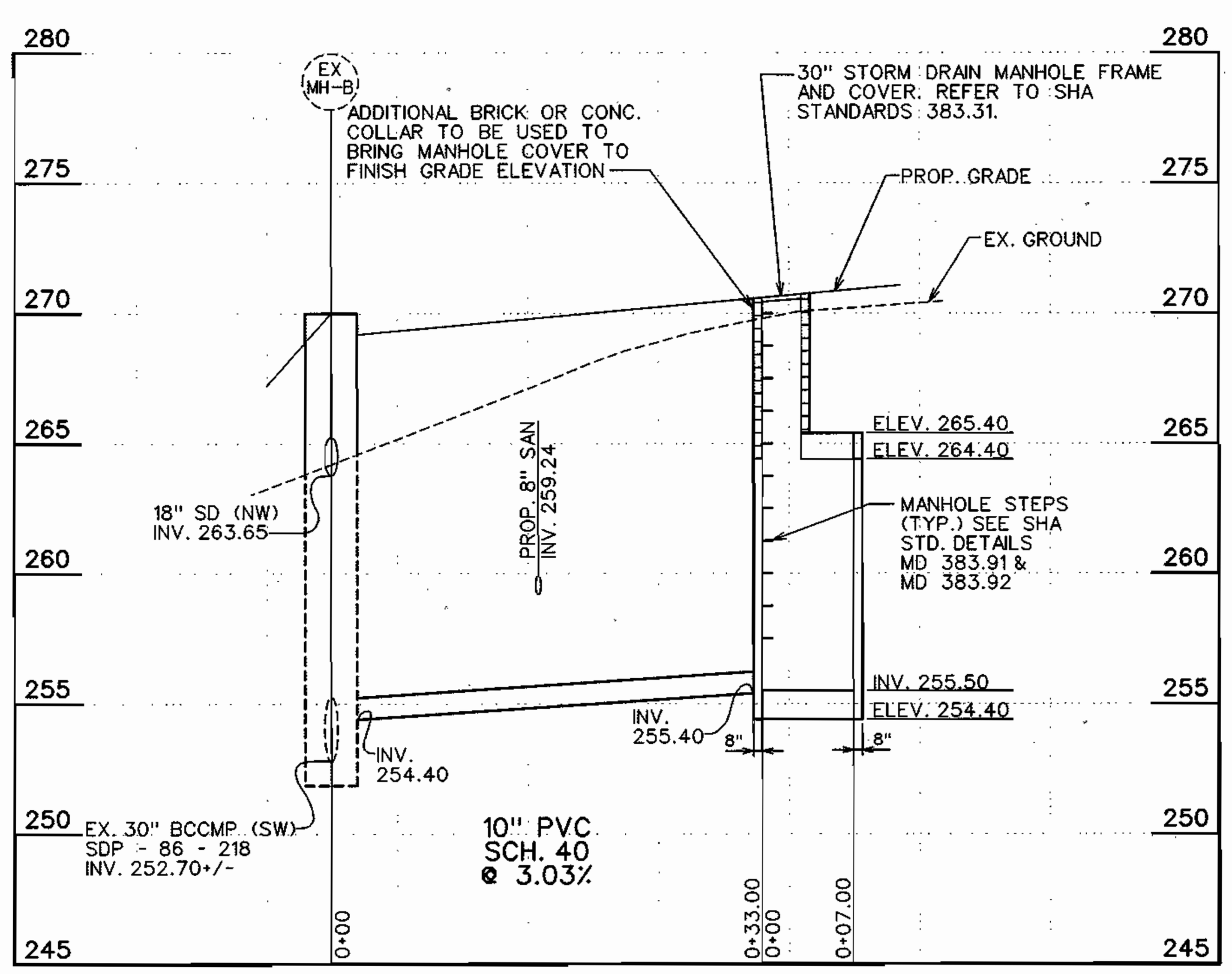
HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=5'



NOTE: REFER TO SHEET C-6.6 FOR CONSTRUCTION SPECIFICATIONS.

WATER QUALITY SAND FILTER STRUCTURE (SF-1) - PLAN VIEW

NOT TO SCALE



SECTION E-E

HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=5'

1. PROVIDE WATER TIGHT JOINTS AT ALL PIPE CONNECTIONS.
2. ALL DEBRIS TO BE KEPT OUT OF THE FACILITY BEFORE AND AFTER CONSTRUCTION.

APPROVED: DEPT. OF PLANNING AND ZONING

Chief, Division of Land Development — Date 10/9/03
Chief, Development Engineering Divsion — Date 10/6/03
Director — Date 10/3/03

Address Chart	
Lot/Parcel	Street Address
548	8550 Washington Blvd.

Permit Information Chart

Subdivision Name				Section/Area		Parcel
Columbia Junction				3		A
Plat No.	Block No.	Zone	Tax/Zone Map	Elec. Dist.		Census Tract
15807-15808	1	B-2	48	6th		6069.01
Water Code	B-03		Sewer Code	4250000		

NO.	DATE	REVISION

Launch No.	5/18/01
ESA No.	2787
Permit Submittal	3/21/02
Permit Clearance	
Bid Issue	
Project No.	10725
Drawn By	AJC III
Checked By	KTL

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Baltimore, Maryland 21244-2722
(410)944-9112 Fax:(410)298-2794
Engineers / Architects / Planners / Construction Managers

EXTENDED STAYAMERICA EFFICIENCY STUDIOS
ESA MANAGEMENT, INC.

EXTENDED STAY AMERICA
COLUMBIA JUNCTION, MD
HOWARD COUNTY, MARYLAND

PROJECT: COLUMBIA JUNCTION
SECTION 3- PARCEL 'A' (HOTEL)

LOCATION: TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: SITE DEVELOPMENT PLAN
STORMWATER MANAGEMENT
DETAILS AND PROFILES

DATE:	MARCH 21, 2002	DRAWING NO.	C-6.5
SCALE:	AS SHOWN	DRAWING	11 OF 20

SDP-02-95

SAND FILTER LAYER AND SPECIFICATIONS:

Upper Filter Layer: The washed gravel or aggregate layer at the top of the filter may be 1 to 3 inches thick meeting ASTM standard specifications for one (1) inch maximum diameter or SHA *57 gravel.

Geotextile Fabric: Refer to table B.3.1 Material Specifications for Sand Filters for specifications.

The fabric roll shall be cut with sufficient dimensions to cover the entire wetted perimeter of the filter area with a six-inch minimum overlap.

Sand Filter Layer: The sand filter layer shall be 18-24 inches deep. Clean AASHTO M-6/ASTM C-33 concrete sand is recommended, but sand with similar specifications may be used.

Top/Bottom Gravel Layer: The top/bottom gravel layer above the sand layer and surrounding the collector (perforated) pipes shall be AASHTO M-43 and 1/2 to 2 inch in diameter gravel and provide at least 3 inches cover of over the tops of the drainage pipes. No gravel is required under the pipes. The gravel and the sand layer above must be separated by a layer of geotextile fabric that meets the specification listed above.

Underdrain Piping: The underdrain piping consists of three 6-inch perforated pipes and shall be reinforced to withstand the load of the overburden. Perforations shall be 3/8 inch max.. All piping shall be to Schedule 40 polyvinyl chloride or greater strength.

The minimum grade of piping shall be 1/8 inch per foot or 1% of the slope. Access should be provided for cleaning all underdrain piping. Clean-outs for each pipe shall extend to the invert of overflow weir or to the maximum surface elevation of the structure.

Refer to table B.3.1 Material Specifications for Sand Filters for more detail.

CONSTRUCTION SPECIFICATIONS AND MAINTENANCE REQUIREMENTS OF SAND FILTER SYSTEMS

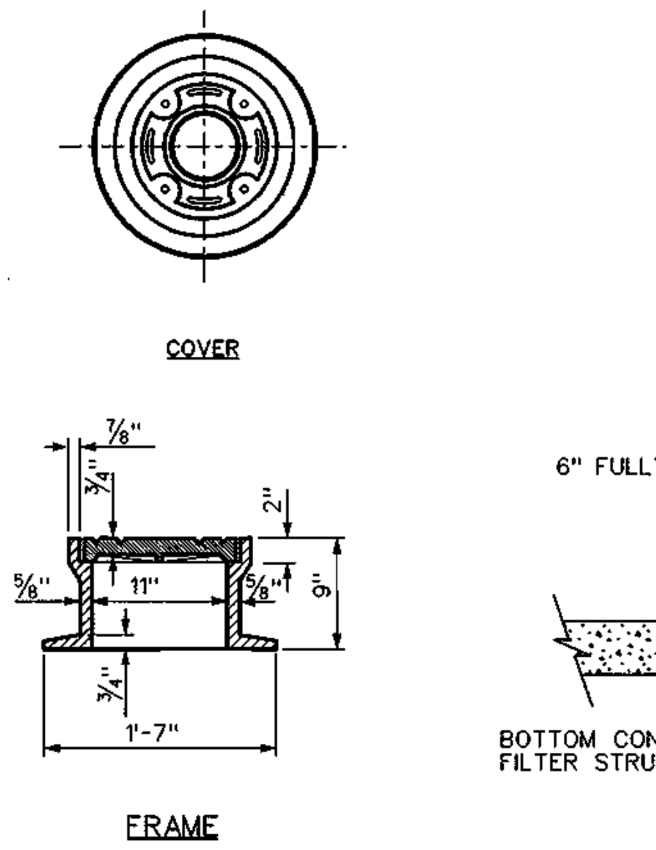
1) Construction Specifications

The SFWQ structure may be either cast-in-place or precast. Precast structures require advance approval by the Department of Planning and Zoning, Development and Engineering Division (410-313-2420) and Engineer in charge. Cast-in-place shall be designed to meet the requirements of the "Standards Specifications for Highway Bridges"- American Association of State HIghway Officals (Reference 17).

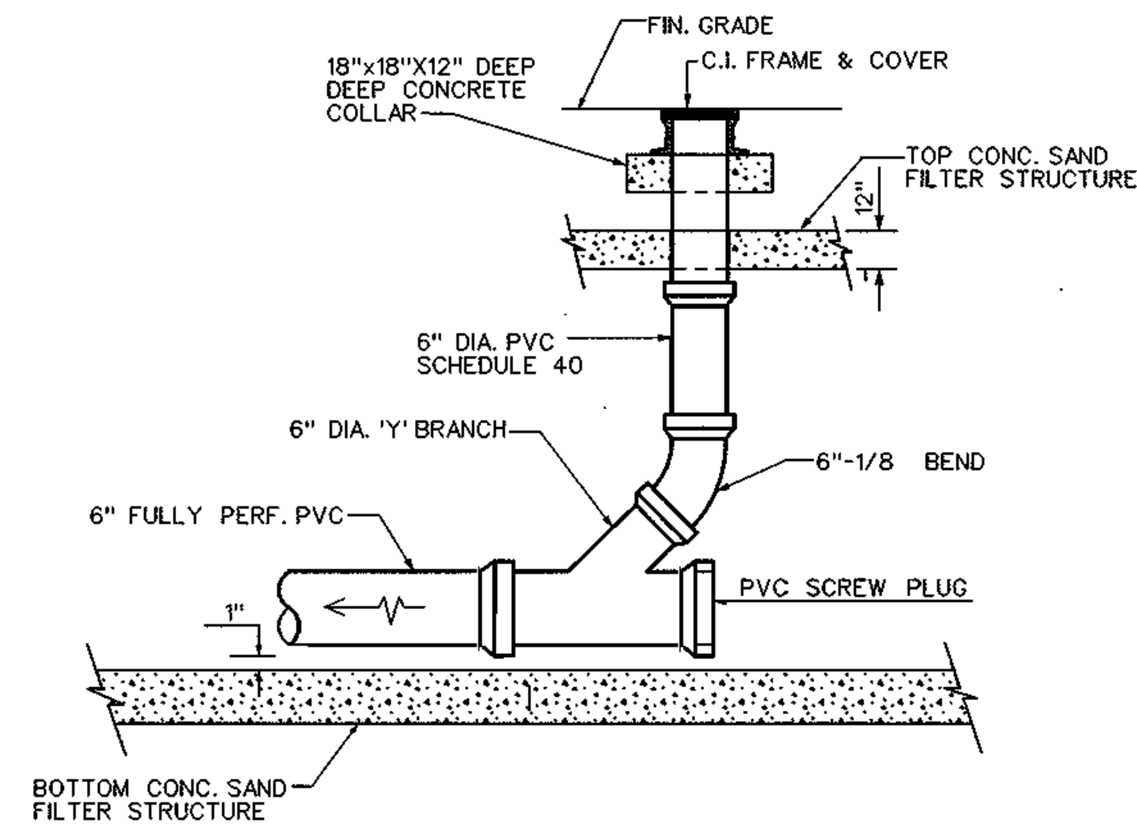
- Access manholes and steps to the filtration system shall conform to Standard details referenced on sheets C-6.5
- After completion of the SFWQ structure shell, a leak test shall be performed to verify watertightness before the filter layers are installed.
- The approved erosion and sediment control plans shall include specific measures to provide for the protection of the filter system before the final stabilization of the site.
- Excavation for the SFWQ structure and connecting pipes shall include removal of all materials and objects encountered in the excavation; disposal of excavated material as specified in the approved erosion and sediment control plans, maintenance and subsequent removal of any sheeting, shoring and bracing; dewatering and precautions and work necessary to prevent damage to adjacent properties resulting from this excavation.
- All filter materials in the second chamber shall be placed according to construction and materials standards and specifications, as specified on the approved construction plan.
- No runoff shall be allowed to enter the sand filter system prior to completion of all construction activities, including revegetation and final site stabilization. Construction runoff shall be treated in separate sedimentation basins and routed to bypass the filter system. Should construction runoff enter the filter system prior to final site stabilization, all contaminated materials must be removed and replaced with new clean filter materials before a regulatory inspector approved its completion.
- The water level in the filter chamber shall be monitored by the design engineer after the first storm event, before the project is certified as having been completed. If the dewatering time of the filter chamber takes longer than 24 hours, the top gravel layer and filter fabric underneath must be replaced with a more rapid draining fabric and clean gravel. The structure shall then be checked again to ensure a detention time that is less than 24 hours.

The maintenance of the systems includes:

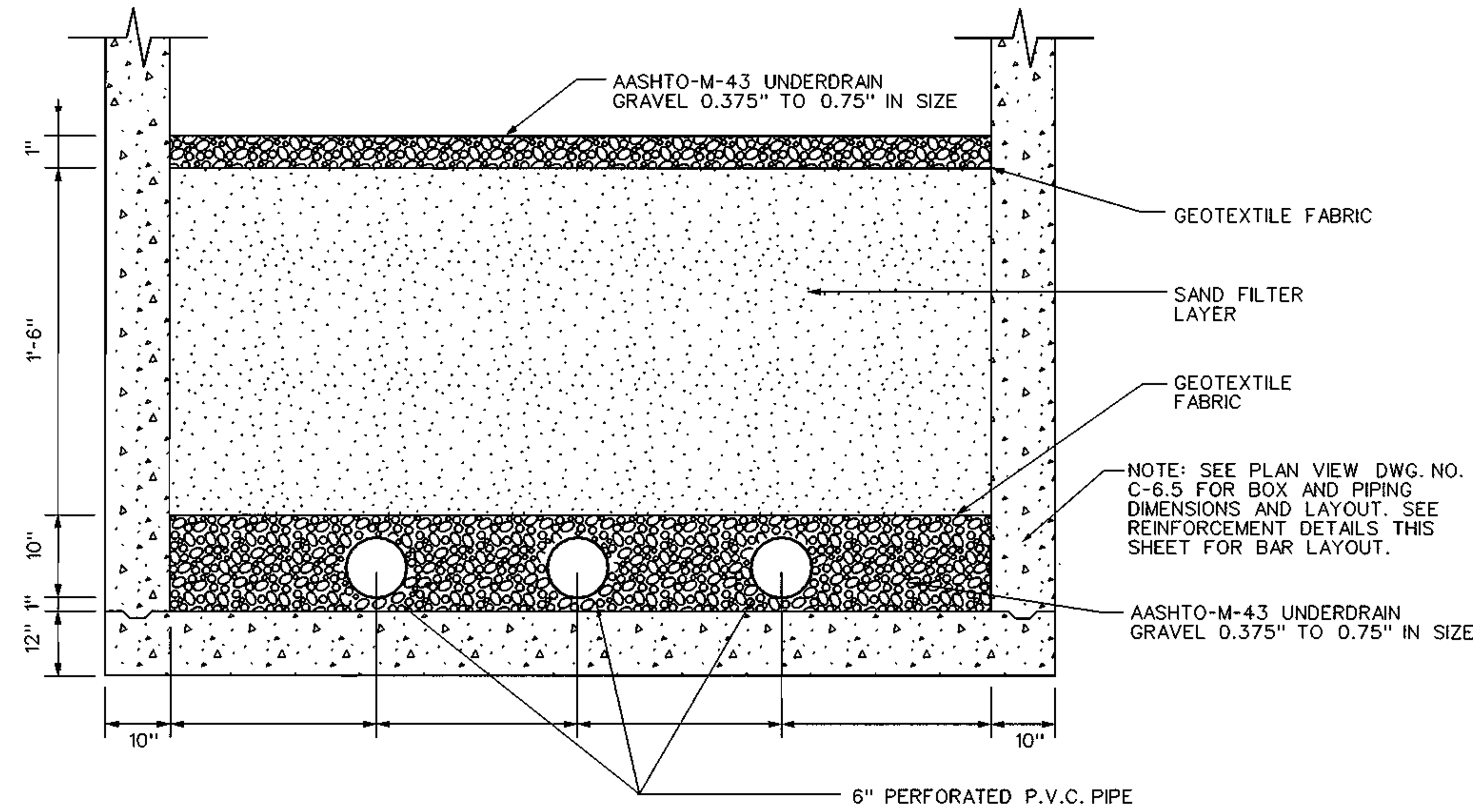
- The water level in the filter chamber shall be monitored by the owner on a quarterly basis and after every large storm for the first year after completion of construction. A log of the results shall be maintained, indicating the rate of dewatering after each storm and the water depth for each observation. Once the regulatory stormwater inspector indicates that satisfactory performance of the structure has been demonstrated, the monitoring schedule may be reduced to a semi-annually basis.
- The sedimentation chamber must be pumped out when the sediment depth reaches 12". If the chamber contains an oil skim, it should be removed by a firm specializing in oil recovery and recycling. The remaining material may then be removed by a vacuum pump truck and disposed of in an approved landfill. After each cleaning, refill the first chamber to a depth of three feet with clean water to reestablish the water seal.
- Removal of silt should be conducted when accumulation exceeds approximately one-half (1/2) inch. When the filter layer will no longer draw down within the design period, the top layer of sand or organic media, sacrificial failure zone, or ballast gravel must be removed and replaced with new materials conforming to the original specifications. Any discolored or contaminated material, below the surface shall also be removed and replaced.
- Each sand or organic media filter should be inspected in accordance with the guidance in Table 5.6 (this sheet). Materials deposited on the surface of the filter chamber (e.g., trash and litter) should be removed manually. When the capacity of the filter bed begins to diminish due to surface clogging, manual removal of the top few inches of discolored material should be done. In some cases, manual manipulation or roto-tilling of the surface may restore filtration capacity. Removed materials hould be replaced with fresh sand or organic media meeting the original design specifications. The contaminated material should be dewatered and disposed of at a pre-approved and permitted location.



CAST IRON LAMPHOLE FRAME AND COVER



TYPICAL CLEANOUT DETAILS (C.O.)



SECTION D-D
TYPICAL SECTION THROUGH FILTER BED CHAMBER

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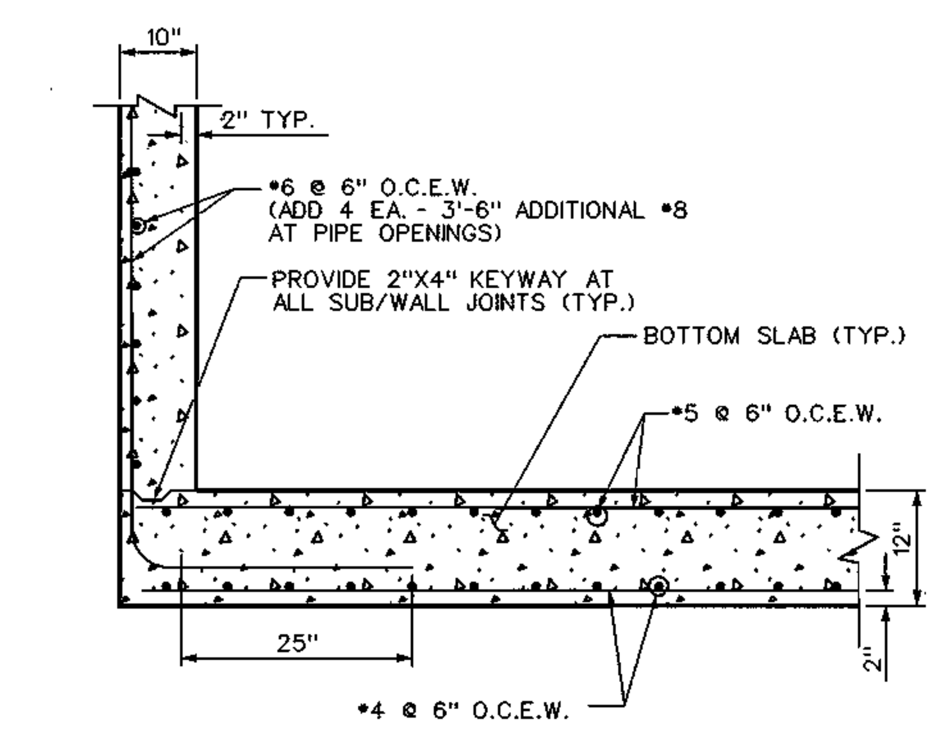
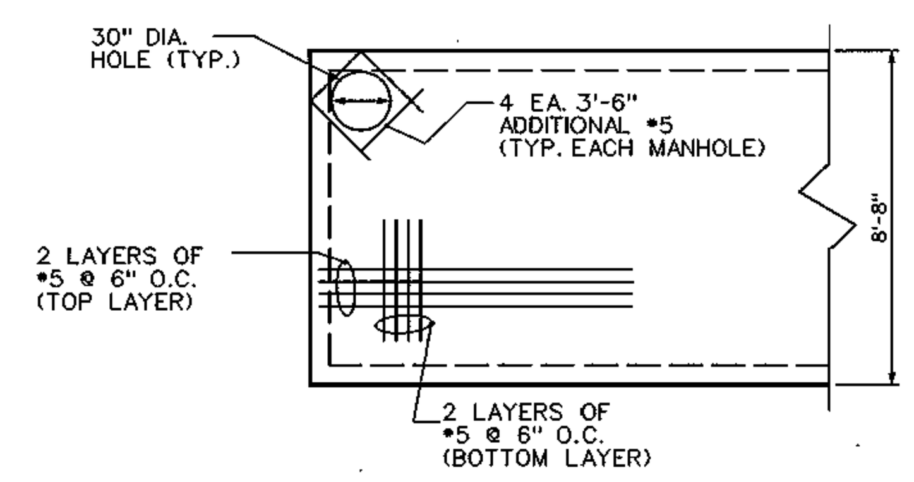
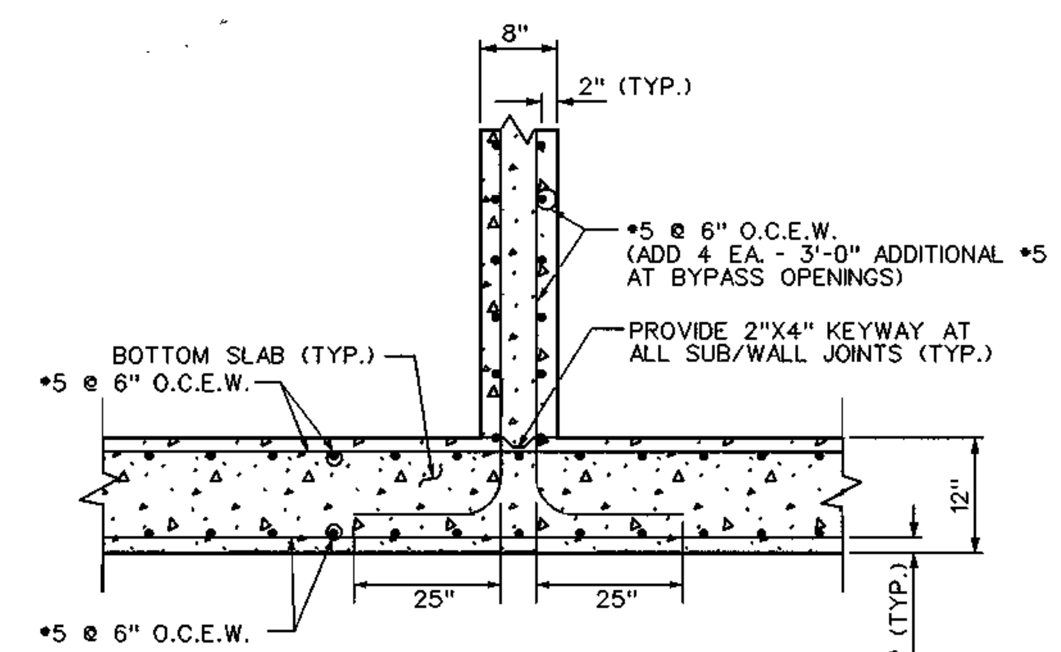
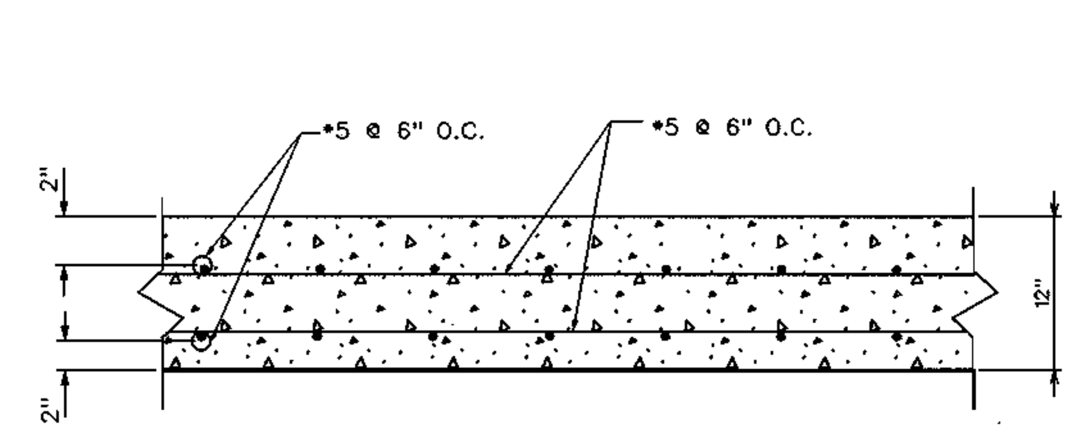


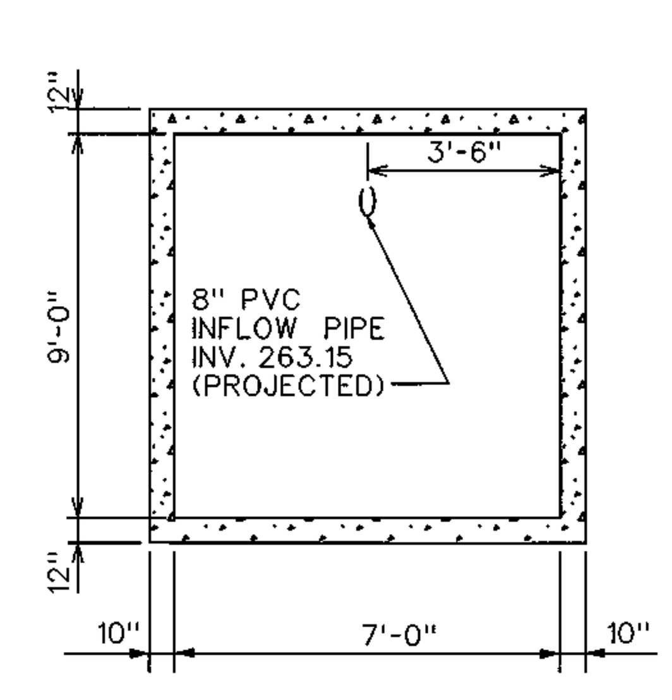






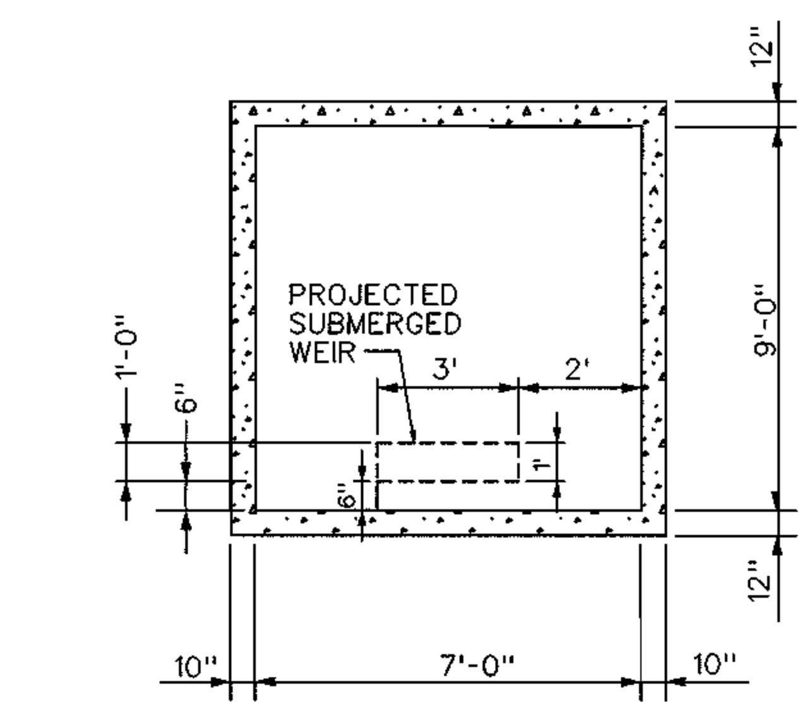
SAND FILTER REINFORCEMENT DETAIL

NOT TO SCALE



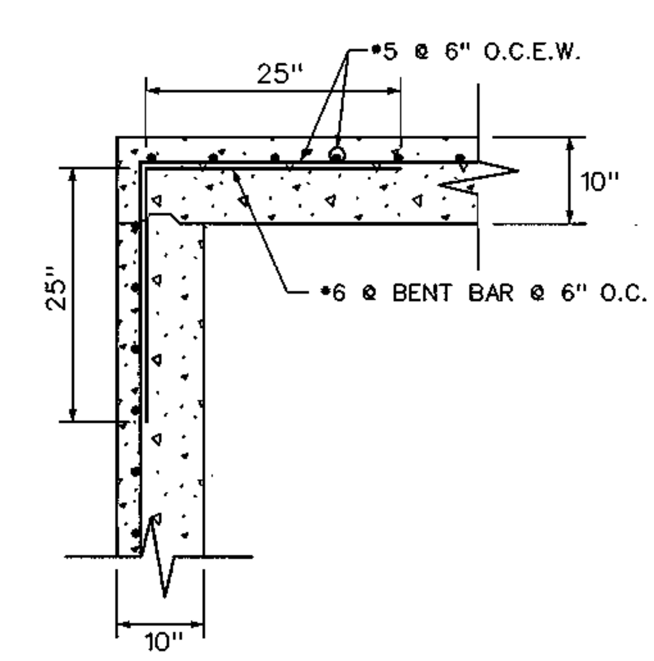
SECTION F-F

NOT TO SCALE



SECTION C-C

NOT TO SCALE



TYPICAL CORNER DETAIL

NOT TO SCALE

TABLE B.3.1 MATERIAL SPECIFICATIONS FOR SAND FILTERS

MATERIAL	SPECIFICATIONS/TEST METHOD	SIZE	NOTES
SAND	CLEAN AASHTO-M-6 OR ASTM-C-33 CONCRETE SAND	0.02" TO 0.04"	SAND SUBSTITUTIONS SUCH AS DIABASE AND GRAYSTONE *10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATED OR DOLOMITIC SAND SUBSTITUTIONS ARE ACCEPTABLE. NO "ROCK DUST" CAN BE USED FOR SAND.
PEAT	ASH CONTENT: < 15% pH RANGE: 5.2 TO 4.9 LOOSE BULK DENSITY 0.12 TO 0.15 g/cc	N/A	THE MATERIAL MUST BE REED-SEDGE HEMIC PEAT, SHREDDED, UNCOMPACTED, UNIFORM, AND CLEAN.
LEAF COMPOST		N/A	
UNDERDRAIN GRAVEL	AASHTO-M-43	0.375" TO 0.75"	
GEOTEXTILE FABRIC (IF REQUIRED)	ASTM-D-4833 (PUNCTURE STENGTH - 125 LB.) ASTM-D-4632 (TENSILE STRENGTH - 300 LB.)	0.08" THICK EQUIVALENT OPENING SIZE OF *80 SIEVE	MUST MAINTAIN 125 GPM PER SQ. FT. FLOW RATE. NOTE: A 4" PEA GRAVEL LAYER MAY BE SUBSTITUTED FOR GEOTEXTILES MEANT TO "SEPARATE" SAND FILTER LAYERS.
IMPERMEABLE LINER (IF REQUIRED)	ASTM-D-4833 (THICKNESS) ASTM-D-412 (TENSILE STRENGTH 1,100 LB., ELONGATION 200%) ASTM-D-624 (TEAR RESISTANCE - 150 LB./IN) ASTM-D-471 (WATER ABSORPTION: +8 TO -2% MASS)	30 MIL THICKNESS	LINER TO BE ULTRAVIOLET RESISTANT. A GEOTEXTILE FABRIC SHOULD BE USED TO PROTECT THE LINER FROM PUNCTURE.
UNDERDRAIN PIPING	F 758, TYPE PS 28 OR AASHTO-M-278	6" RIGID SCHEDULE 40 PVC OR SDR35	3/8" PERF. @ 6" ON CENTER, 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES; NOT NECESSARY UNDERNEATH PIPES.
CONCRETE (CAST-IN-PLACE)	MSHA STANDARDS AND SPECS. SECTION 902, MIX NO. 3, fc' = 3500 PSI, NORMAL WEIGHT, AIR-ENTRAINED; REINFORCING TO MEET ASTM-615-60	N/A	ON-SITE TESTING OF POURED-IN-PLACE CONCRETE REQUIRED: 28 DAY STRENGTH AND SLUMP TEST; ALL CONCRETE DESIGN (CAST-IN-PLACE OR PRE-CAST) NOT USING PREVIOUSLY APPROVED STATE OR LOCAL STANDARDS REQUIRES DESIGN DRAWINGS SEALED AND APPROVED BY A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE OF MARYLAND.
CONCRETE (PRE-CAST)	PER PRE-CAST MANUFACTURER	N/A	SEE ABOVE NOTE
NON-REBAR STEEL	ASTM A-36	N/A	STRUCTURAL STEEL TO BE HOT-DIPPED GALVANIZED ASTM-A-123

Review for HOWARD SCD and meets Technical Requirements.

Jim Myers 10-2-03
USDA-Natural Resource Conservation Service — Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

John R Robertson 10-2-03
Howard SCD — Date

ENGINEER'S CERTIFICATE:

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer — 9/25/03 Date
Print name below signature

DEVELOPER'S CERTIFICATE:

"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer — 9/26/03 Date
Print name below signature
BRYAN S. HALL

APPROVED: DEPT. OF PLANNING AND ZONING

Chief, Division of Land Development — 10/9/03 Date

Chief, Development Engineering Divsion — 10/8/03 Date

Director — 10/9/03 Date

Address Chart	
Lot/Parcel	Street Address
548	8550 Washington Blvd.

Permit Information Chart

Subdivision Name			Section/Area		Parcel
Columbia Junction			3		A
Plat No.	Block No.	Zone	Tax/Zone Map	Elec. Dist.	Census Tract
15807-15808	1	B-2	48	6th	6069.01
Water Code	B-03		Sewer Code	4250000	

Launch No.	5/18/01
ESA No.	2787
Permit Submittal	3/21/02
Permit Clearance	
Bid Issue	
Project No.	10725
Drawn By	AJC III
Checked By	KTL

NO.	DATE	REVISION

STV Incorporated
7125 Ambassador Road, Suite 200
Baltimore, Maryland 21244-2722
(410) 944-9112 (410) 298-2794
Engineers / Architects / Planners / Construction Managers

EXTENDED STAYAMERICA
EFFICIENCY STUDIOS
ESA MANAGEMENT, INC.

EXTENDED STAY AMERICA
COLUMBIA JUNCTION, MD
HOWARD COUNTY, MARYLAND

PROJECT:
COLUMBIA JUNCTION
SECTION 3- PARCEL 'A'
(HOTEL)

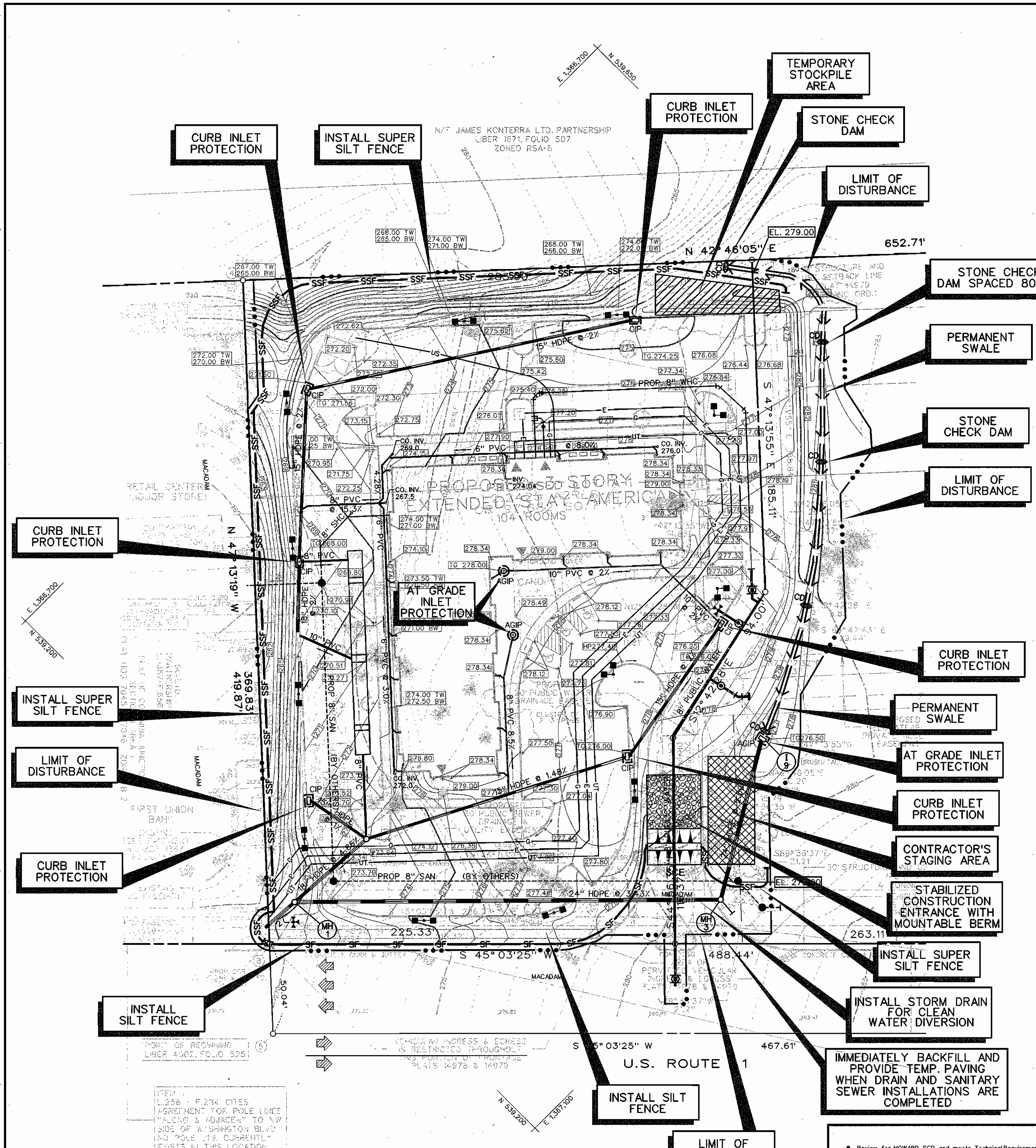
LOCATION:
TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
SITE DEVELOPMENT PLAN
STORMWATER MANAGEMENT
DETAILS AND NOTES

DATE:	MARCH 21, 2002	DRAWING NO.	C-6.6
SCALE:	AS SHOWN	DRAWING	12 OF 20

SDP-02-95

FILE: P:\PROJECTS\10725\dS04cjun.dgn
DATE: 08-Apr-03 10:17



LEGEND

—185—	EXISTING CONTOUR
—24—	PROPOSED CONTOUR
—SF—	SILT FENCE
—SSF—	SUPER SILT FENCE
AGIP	INLET PROTECTION
CIP	CURB INLET PROTECTION
	LIMITS OF DISTURBANCE
	STABILIZED CONSTRUCTION ENTRANCE
	MOUNTABLE BERM
A-1	EARTH DIKE
	TEMPORARY SWALE
	TEMPORARY STOCKPILE
	CONTRACTOR'S STAGING AREA

UTILITY NOTES:

1. CONTRACTOR SHOULD OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE) THE TRENCH.
2. PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
3. ANY SEDIMENT CONTROLS DISTRUBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

INLET PROTECTION NOTE:

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:

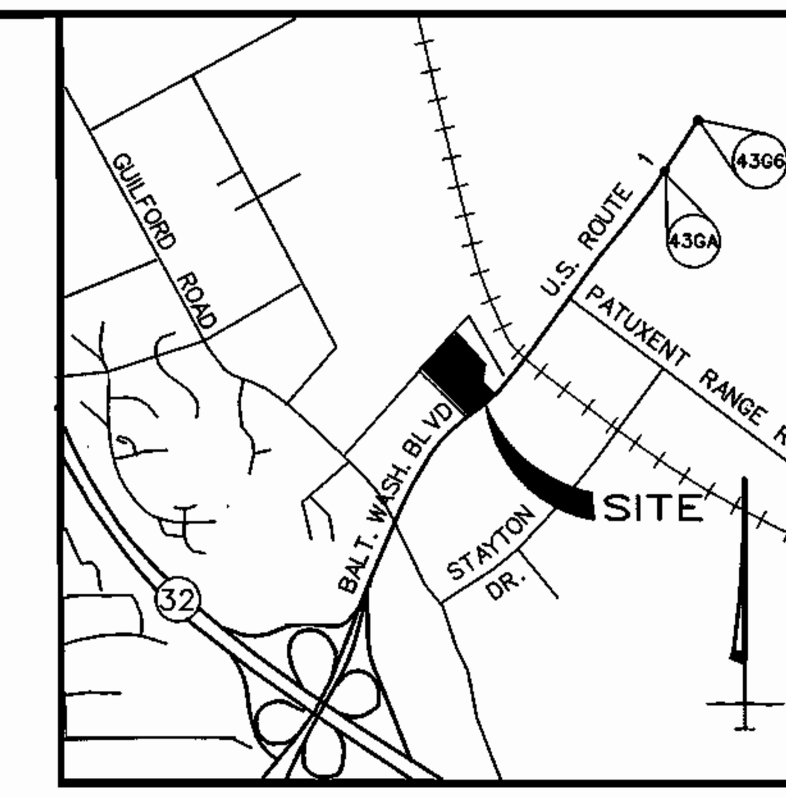
1. ANY INLET OUTFALLING DIRECTLY INTO A SEDIMENT TRAPPING DEVICE.
2. INLETS ON PRIVATE OR PUBLIC PAVED ROADWAYS OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-16-1 (OR AS MAY BE AMENDED). THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.
* STORM DRAINS TO BE FLUSED PRIOR TO TRAPPING DEVICE REMOVAL.

SEQUENCE OF CONSTRUCTION:

DAY 1	1.	OBTAIN GRADING PERMIT.
DAY 1	2.	NOTIFY HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS (410-92-2437) AT LEAST 48 HOURS BEFORE STARTING WORK.
DAY 4 & 5	3.	CLEAR AND GRUB FOR STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, SUPER SILT FENCE, PERMANENT SWALES, INLET 1-9, MH-3, MH-1 AND 24" AND 27" STORM DRAIN
DAY 4 & 5	4.	INSTALL THE AFOREMENTIONED SEDIMENT CONTROL MEASURES INCLUDING THE STORM DRAIN IN ORDER TO DIVERT CLEAN WATER.
DAY 6	5.	NOTIFY HOWARD COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND RESOURCE MANAGEMENT, INSPECTION AND ENFORCEMENT DIVISION UPON COMPLETION OF SAID INSTALLATION.
DAY 6 & 7	6.	WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB REMAINDER OF SITE.
DAY 7-12	7.	GRADE SITE AND EXCAVATE FOR RETAINING WALL AND BUILDING FOUNDATIONS. STABILIZE DISTURBED AREAS IN ACCORDANCE WITH TEMPORARY SEEDING NOTES.
DAY 13-43	8.	BEGIN CONSTRUCTION OF BUILDING AND RETAINING WALLS. INSTALL STORM DRAINS WITH INLET PROTECTION. ALSO, INSTALL WATER, SEWER, GAS AND ELECTRIC.
DAY 44-49	9.	INSTALL PAVEMENT SUBBASE, ASPHALT BASE COURSE AND CURB AND GUTTER. STABILIZE ISLANDS IN ACCORDANCE WITH PERMANENT SEEDING NOTES.
DAY 50-52	10.	COMPLETE BUILDING CONSTRUCTION, INSTALL ASPHALT SURFACE COURSE, AND PAVEMENT STRIPING. STABILIZE ANY REMAINING DISTURBED AREAS.
DAY 53-61	11.	UPON STABILIZATION OF SITE AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL MEASURES AND STABILIZE THOSE AREAS DISTURBED BY THIS PROCESS.

AREA OF DISTURBANCE = 2.75 AC. OR 119,790 SF.



VICINITY MAP
1" = 2000'

BENCHMARK - NAD '83

BENCHMARK #43GA: STAMPED DISC SET ON 3' CYLINDRICAL CONC. BASE 1"-2" BELOW SURFACE, 72.5' SW OF C&P POLE #178, 4.8' FROM EOP NORTHBOUND LANE OF U.S. ROUTE 1. ELEVATION = 241.665'

BENCHMARK #43G6: STAMPED DISC SET ON 3' CYLINDRICAL CONC. BASE 1"-2" BELOW SURFACE, 68.8' SW OF F.H. AT CORNER OF MOTEL, 3.5' SE OF EOP NORTHBOUND LANE OF U.S. ROUTE 1. ELEVATION = 220.142'

STV Incorporated
7125 Ambassador Road, Suite 200
Baltimore, Maryland 21244-2722
(410)944-9112 Fax (410)298-2794
Engineers / Architects / Planners / Construction Managers

EXTENDED STAYAMERICA
EFFICIENCY STUDIOS
ESA MANAGEMENT, INC.

EXTENDED STAY AMERICA
COLUMBIA JUNCTION, MD
HOWARD COUNTY, MARYLAND

Launch No.	5/18/01
ESA No.	2787
Permit Submittal	3/21/02
Permit Clearance	
Bid Issue	
Project No.	10725
Drawn By	AJC III
Checked By	KTL

STATE OF MARYLAND PROFESSIONAL ENGINEER — 4/9/03

NO.	DATE	REVISION

ENGINEER'S CERTIFICATE:
"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Signature of Engineer — 4/9/03 Date
Print name below signature: RONALD S. THOMPSON

DEVELOPER'S CERTIFICATE:
"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
Signature of Developer — 9/26/03 Date
Print name below signature: BRYAN S. HALL

Review for HOWARD SCD and meets Technical Requirements.
USDA-Natural Resources Conservation Service — 10-2-03 Date
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Howard SCD — 10-2-03 Date

APPROVED: DEPT. OF PLANNING AND ZONING
Chief, Division of Land Development — 10/9/03 Date
Chief, Development Engineering Division — 10/8/03 Date
Director — 10/9/03 Date

Address Chart	
Lot/Parcel	Street Address
548	8550 Washington Blvd.

Permit Information Chart

Subdivision Name			Section/Area		Parcel
Columbia Junction			3		A
Plat No.	Block No.	Zone	Tax/Zone Map	Elec. Dist.	Census Tract
15807-15808	1	B-2	48	6th	6069.01
Water Code	B-03		Sewer Code	4250000	

PROJECT:
COLUMBIA JUNCTION
SECTION 3- PARCEL 'A'
(HOTEL)

LOCATION:
TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
SITE DEVELOPMENT PLAN EROSION & SEDIMENT CONTROL PLAN

DATE:	MARCH 21, 2002	DRAWING NO.	C-7.1
SCALE:	1" = 30'	DRAWING	13 OF 20

SDP-02-95

FILE: P:\PROJECTS\10725\ESC\ESC01sjun.dgn DATE: 08-Apr-03 10:18

20.0 STANDARD AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS

A. Site Preparation

i. Install erosion and sediment control structures (either temporary or permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins.

ii. Perform all grading operations at right angles to the slope. Final grading and shaping is not usually necessary for temporary seeding.

iii. Schedule required soil tests to determine soil amendment composition and application rates for sites having disturbed area over 5 acres.

B. Soil Amendments (Fertilizer and Lime Specifications)

i. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.

ii. Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers shall all be delivered to the site fully labeled according to the applicable State fertilizer laws and shall bear the name, trade name or trademark and warrantee of the producer.

iii. Lime materials shall be ground limestone (hydrated or burnt lime may be substituted) which contains at least 50% total oxides (calcium oxide plus magnesium oxide). Limestone shall be ground to such fineness that at least 50% will pass through a *100 mesh sieve and 98-100% will pass through a *20 mesh sieve.

iv. Incorporate lime and fertilizer into the top 3 - 5" of soil by disking or other suitable means.

C. Seedbed Preparation

i. Temporary Seeding

a. Seedbed preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disk harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened it should not be rolled or dragged smooth but left in the roughened condition. Sloped areas (greater than 3:1) should be tracked leaving the surface in an irregular condition with ridges running parallel to the contour of the slope.

b. Apply fertilizer and lime as prescribed on the plans.

c. Incorporate lime and fertilizer into the top 3 - 5" of soil by disking or other suitable means.

ii. Permanent Seeding

a. Minimum soil conditions required for permanent vegetative establishment:

1. Soil pH shall be between 6.0 and 7.0.
2. Soluble salts shall be less than 500 parts per million (ppm).
3. The soil shall contain less than 40% clay but enough fine grained material (>30% silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is if lovegrass or serecia lespedeza is to be planted, then a sandy soil (<30% silt plus clay) would be acceptable.
4. Soil shall contain 1.5% minimum organic matter by weight.
5. Soil must contain sufficient pore space to permit adequate root penetration.
6. If these conditions cannot be met by soils on site, adding topsoil is required in accordance with Section 21 Standard and Specification for Topsoil

b. Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3 - 5" to permit bonding of the topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil from sliding down a slope.

c. Apply soil amendments as per soil test or as included on the plans.

d. Mix soil amendments into the top 3 - 5" of topsoil by disking or other suitable means. Lawn areas should be raked to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Where site conditions will not permit normal seedbed preparation, loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface. Steep slopes (steeper than 3:1) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 1 - 3" of soil should be loose and friable. Seedbed loosening may not be necessary on newly disturbed areas.

D. Seed Specifications

i. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing by a recognized seed laboratory. All seed used shall have been tested within the 6 months immediately preceding the date of sowing such material on this job.

Note: Seed tags shall be made available to the inspector to verify type and rate of seed used.

ii. Inoculant - The inoculant for treating legume seed in the seed mixtures shall be a pure culture of nitrogen-fixing bacteria prepared specifically for the species. Inoculants shall not be used alter than the date indicated on the container. Add fresh inoculant as directed on package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75-80° F can weaken bacteria and make the inoculant less effective.

E. Methods of Seeding

i. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeder, or a cultipacker seeder.

a. If fertilizer is being applied at the time of seeding, the application rate amounts will not exceed the following: nitrogen; maximum of 100 lbs. per acre total of soluble nitrogen; P2O5 (phosphorous): 200 lbs/ac.; K2O (potassium): 200 lbs/ac.

b. Lime - Use only ground agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.

c. Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.

ii. Dry Seeding: This includes use of conventional drop or broadcast spreaders.

a. Seed spread dry shall be incorporated into the subsoil at the rates prescribed on the Temporary or Permanent Seeding Summaries or Tables 25 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.

b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.

iii. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.

a. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.

b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.

F. Mulch Specifications (In order of preference)

i. Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonably bright in color, and shall not be musty, moldy, caked, decayed, or excessively dusty and shall be free of noxious weed seeds as specified in the Maryland Seed Law.

ii. Wood Cellulose Fiber Mulch (WCFM)

a. WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical state.

b. WCFM shall be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.

c. WCFM, including dye, shall contain no germination or growth inhibiting factors.

d. WCFM materials shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material shall form a blotter-like ground cover, on application, having moisture absorption and percolation properties and shall cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.

e. WCFM material shall contain no elements or compounds at concentration levels that will be phyto-toxic.

f. WCFM must conform to the following physical requirements: fiber length to approximately 10 mm., diameter approximately 1 mm., pH range of 4.0 to 8.5, ash content of 1.6% maximum and water holding capacity of 90% minimum.

Note: Only sterile straw mulch should be used in areas where one species of grass is desired.

G. Mulching Seeded Areas - Mulch shall be applied to all seeded areas immediately after seeding.

i. If grading is completed outside for the seeding season, mulch along should be applied as prescribed in this section and maintained until the seeding season returns and seeding can be performed in accordance with these specifications.

ii. When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre. Mulch shall be applied to a uniform loose depth of between 1" and 2". Mulch applied shall achieve a uniform distribution and depth so that the soil surface is not exposed. If a mulch anchoring tool is to be used, the rate should be increased to 2.5 tons/acre.

iii. Wood cellulose fiber used as a mulch shall be applied at a net dry weight of 1,500 lbs. per acre. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 lbs. of wood cellulose fiber per 100 gallons of water.

H. Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediately following mulch application to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon size of area and erosion hazard:

i. A mulch anchoring tools is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of two (2) inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should be used on the contour if possible.

ii. Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a net dry weight of 750 pounds/acre. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.

iii. Application of liquid binders should be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. The remainder of area should appear uniform after binder application. Synthetic binders--such as Acrylic DLR (Agro-Tack), DCA-70, Petroset, Terra Tax II, Terra Tack AR, or other approved equal may be used at rates recommended by the manufacturer to anchor mulch.

iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer s recommendations. Netting is usually available in rolls 4' to 15' feet wide and 300 to 3,000 feet long.

I. Incremental Stabilization - Cut Slopes

i. All cut slopes shall be dressed, prepared, seeded and mulched as the work progresses. Slopes shall be excavated and stabilized in equal increments not to exceed 15'.

ii. Construction sequence (Refer to Figure 3 below):

a. Excavate and stabilize all temporary swales, side ditches, or berms that will be used to convey runoff from the excavation.

b. Perform phase 1 excavation, dress, and stabilize.

c. Perform phase 2 excavation, dress, and stabilize. Overseed phase 1 areas as necessary.

d. Perform final phase excavation, dress, and stabilize. Overseed previously seeded areas as necessary.

Note: Once excavation has begun, the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.

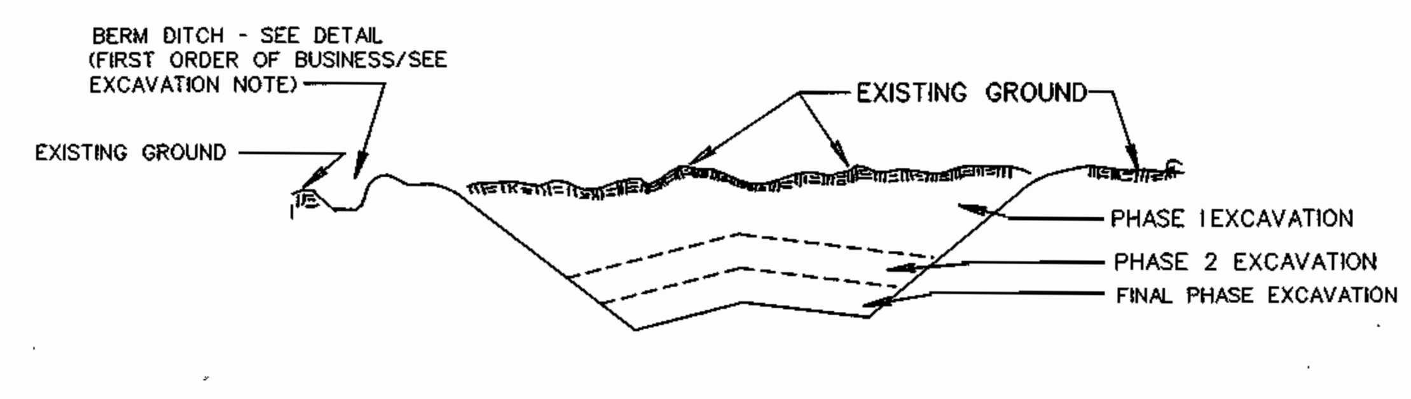


Figure 4 Incremental Stabilization - Cut

J. Incremental Stabilization of Embankments - Fill Slopes

i. Embankments shall be constructed in lifts as prescribed on the plans.

ii. Slopes shall be stabilized immediately when the vertical height of the multiple lifts reaches 15' or when the grading operation ceases as prescribed in the plans.

iii. At the end of each day, temporary berms and pipe slope drains should be constructed along the top edge of the embankment to intercept surface runoff and convey it down the slope in a non-erosive manner to a sediment trapping device.

iv. Construction Sequence: Refer to Figure 4 (below).

a. Excavate and stabilize all temporary swales, side ditches, or berms that will be used to divert runoff around the fill. Construct Slope Silt Fence on low side of ill as shown in Figure 5, unless other methods shown on the plans address this area.

b. Place phase 1 embankment, dress, and stabilize.

c. Place phase 2 embankment, dress, and stabilize.

d. Place final phase embankment, dress, and stabilize. Overseed previously seeded areas as necessary.

Note: Once excavation has begun, the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.

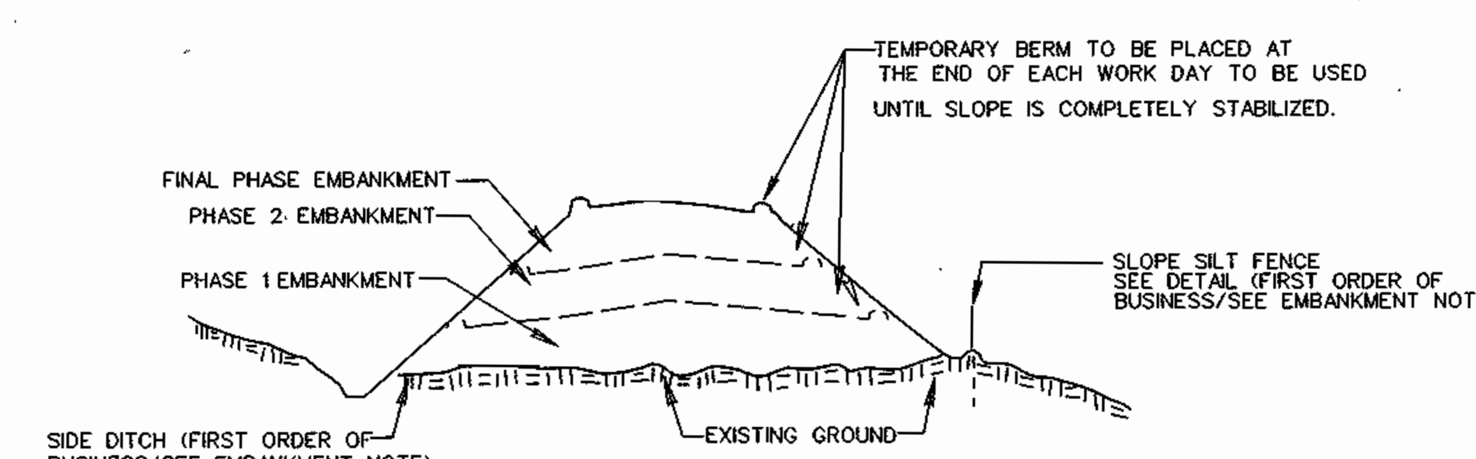


Figure 5 Incremental Stabilization - Fill

SECTION II - TEMPORARY SEEDING

Vegetation - annual grass or grain used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetative cover, Permanent Seeding is required.

SECTION III - PERMANENT SEEDING

Seeding grass and legumes to establish ground cover for a minimum period of one year on disturbed areas generally receiving low maintenance.

SECTION IV - SOD

Sod - to provide quick cover on disturbed areas (2:1 grade or flatter)

A. General Specifications

i. Class of turfgrass sod shall be Maryland or Virginia State Certified or Approved. Sod labels shall be made available to the job foreman and inspector.

ii. Sod shall be machine cut at a uniform soil thickness of 3/4", plus or minus 1/4", at the time of cutting. Measurement for thickness shall exclude top growth and thatch. Individual pieces of sod shall be cut to the suppliers width and length. Maximum allowable deviation from standard widths and lengths shall be 5 percent. Broken pads and torn or uneven ends will not be acceptable.

iii. Standard size sections of sod shall be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.

iv. Sod shall not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect it survival.

v. Sod shall be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period shall be approved by an agronomist or soil scientist prior to its installation.

B. Sod Installation

i. During periods of excessively high temperature or in areas having dry subsoil, the subsoil shall be lightly irrigated immediately prior to laying the sod.

ii. The first row of sod shall be laid in a straight line with subsequent rows placed parallel to and tightly wedged against each other. Lateral joints shall be staggered to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause air drying of the roots.

iii. Wherever possible, sod shall be laid with the long edges parallel to the contour and with staggering joints. Sod shall be rolled and tamped, pegged or otherwise secured to prevent slippage on slopes and to ensure solid contact between sod roots and the underlying soil surface.

iv. Sod shall be watered immediately following rolling or tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. The operations of laying, tamping and irrigating for any piece of sod shall be completed within eight hours.

C. Sod Maintenance

i. In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain moist soil to a depth of 4". Watering should be done during the heat of the day to prevent wilting.

ii. After the first week, sod watering is required as necessary to maintain adequate moisture content.

iii. The first mowing of sod should not be attempted until the sod is firmly rooted. No more than 1/3 of the grass leaf shall be removed by the initial cutting or subsequent cuttings. Grass height shall be maintained between 2" and 3" unless otherwise specified.

SECTION IV - TURFGRASS ESTABLISHMENT

Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance. Areas to receive seed shall be tilled by disking or other approved methods to a depth of 2 to 4 inches, leveled and raked to prepare a proper seedbed. Stones and debris over 1-1/2 inches in diameter shall be removed. The resulting seedbed shall be in such condition that future mowing of grasses will pose no difficulty.

Note: Choose certified material. Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provide a reliable means of consumer protection and assure a pure genetic line.

A. Turfgrass Mixtures

i. Kentucky Bluegrass - Full sun mixture - For use in areas that receive intensive management. Irrigation required in the areas of Central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds/1000 square feet. A minimum of three bluegrass cultivars should be chosen ranging from a minimum of 10% to a maximum of 35% of the mixture by weight.

ii. Kentucky Bluegrass/Perennial Rye - Full sun mixture - For sue in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture/1000 square feet. A minimum of three Kentucky Bluegrass Cultivars must be chosen, with each cultivar ranging from 10% to 35% of the mixture by weight.

iii. Tall Fescue/Kentucky Bluegrass - Full sun mixture - For use in drought-prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes: certified Tall Fescue Cultivars 95 - 100%; certified Kentucky Bluegrass Cultivars 0 - 5%. Seeding rate: 5 to 8 pounds/1000 square feet. One or more cultivars may be blended.

iv. Kentucky Bluegrass/Fine Fescue - Seed Mixture - For use in areas with shade in bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes: certified Kentucky Bluegrass Cultivars 30 - 40% and certified Fine Fescue 60 - 70%. Seeding rate: 1.5 to 3.0 pounds/1000 square feet. A minimum of three Kentucky Bluegrass Cultivars must be chosen, with each cultivar ranging from a minimum of 10% to a maximum of 35% of the mixture by weight.

Note Turfgrass varieties should be selected from those listed in the most current University of Maryland Publication, Agronomy Mimeo *77, Turfgrass Cultivar Recommendations for Maryland .

B. Ideal Times for Seeding

Western Maryland: March 15 to June 1 and August 1 to October 1 (Hardiness Zones - 5b, 6a)

Central Maryland: March 1 to May 15 and August 15 to October 15 ((Hardiness Zones - 6b)

Southern Maryland and Eastern Shore: March 1 to May 15 and August 15 to October 15 ((Hardiness Zones - 7a, 7b)

C. Irrigation

If soil moisture is deficient, supply new seedings with adequate water for plant growth (1/2" - 1" every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedings are made late in the planting season in abnormally dry or hot seasons or on adverse sites.

D. Repairs and Maintenance

Inspect all seeded areas for failures and make necessary repairs, replacements, and reseedings within the planting season.

i. Once the vegetation is established, the site shall have 95% groundcover to be considered adequately stabilized.

ii. If the stand provides less than 40% ground coverage, re-establish following original lime, fertilizer, seedbed preparation and seeding recommendations.

iii. If the stand provides between 40% and 94% ground coverage, overseeding and fertilizing using half of the rates original applied may be necessary.

iv. Maintenance fertilizer rates for permanent seedings are shown in Table 24. For lawns and other medium to high maintenance turfgrass areas, refer to the University of Maryland publication, Lawn Care in Maryland, Bulletin No. 171.

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

I. This practice is limited to areas having 2:1 or flatter slopes where:

a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.

b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.

c. The original soil to be vegetated contains material toxic to plant growth.

d. The soil is so acidic that treatment with limestone is not feasible.

II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

I. Topsoil salvaged from the existing site may be provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.

II. Topsoil Specifications - Soil to be used as topsoil must meet the following:

i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1½" in diameter.

spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of

ii. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.

iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be

topsoil. Lime shall be distributed uniformly over the designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

II. For sites having disturbed areas under 5 acres:

i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

III. For sites having disturbed areas over 5 acres:

i. On soil meeting Topsoil specifications, obtain test results dictating fertilized and lime amendments required to bring the soil into compliance with the following:

a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.

b. Organic content of topsoil shall be not less than 1.5 percent by weight.

c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.

d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of dissipation of phyto-toxic materials.

Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate authority, may be used in lieu of natural topsoil.

ii. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

V. Topsoil Application

i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.

ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.

iii. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.

iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall

VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

i. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5

conform to the following requirements:

a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.

b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.

c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.

iv. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding. MD-VA, Pub. *1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

24.0 MATERIALS SPECIFICATIONS

Table 27 Geotextile Fabrics

CLASS	APPARENT OPENING SIZE MM. MAX.	GRAB TENSILE STRENGTH LB. MIN.	BURST STRENGTH PSI. MIN.
A	0.30 **	250	500
B	0.60	200	320
C	0.30	200	320
D	0.60	90	145
E	0.30	90	145
F (SILT FENCE)	0.40-0.80*	90	190

** 0.50 mm max. for super silt fence

The properties shall be determined in accordance with the following procedures:

- -Apparent opening size — MSMT 323
- -Grab tensile strength — ASTM D 1682: 4x8" specimen, 1x2" clamps, 12"/min. Strain rate in both principal directions of geotextile fabric.
- -Burst strength — ASTM D 3786

* US Std. Sieve CW-02215

The fabric shall be inert to commonly encountered chemicals and hydrocarbons, and will be rot and mildew resistant. It shall be manufactured from fibers consisting of long chain synthetic polymers, and composed of a minimum of 85% by weight of polyolephins, polyesters, or polyamides. The geotextile fabric shall resist deterioration from ultraviolet exposure.

In addition, Classes A through E shall have a 0.01 cm./sec. Minimum permeability when tested in accordance with MSMT 507, and an apparent minimum elongation of 20 percent (20%) when tested in accordance with the grab tensile strength requirements listed above.

Silt Fence
Class F geotextile fabrics for silt fence shall have a 50 lb./in. Minimum tensile strength and a 20 lb./in. Minimum tensile modules when tested in accordance with MSMT 509. The material shall also have a 0.3 gal./ft.2/min. Flow rate and seventy-five percent (75%) minimum filtering efficiency when tested in accordance with MSMT 322.

Geotextile fabrics used in the construction of silt fence shall resist deterioration from ultraviolet exposure. The fabric shall contain sufficient amounts of ultraviolet ray inhibitors and stabilizers to provide a minimum of 12 months of expected usable construction life at a temperature range of 0 to 120 degrees F.

Reviewed for HOWARD SCD and meets Technical Requirements.

Jim Myers 10-2-03
USDA-Natural Resources Conservation Service — Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

John R Robertson 10-2-03
Howard SCD — Date

ENGINEER'S CERTIFICATE:

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer — Date 4/9/03
Print name below signature
RONALD E. THOMPSON

DEVELOPER'S CERTIFICATE:

"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer — Date 9/26/03
Print name below signature
BRYAN S. HALL

APPROVED: DEPT. OF PLANNING AND ZONING

Chief, Division of Land Development — Date 10/9/03
Chief, Development Engineering Divsion — Date 10/8/03
Director — Date 10/5/03

Address Chart

Lot/Parcel	Street Address
548	8550 Washington Blvd.

Permit Information Chart

Subdivision Name				Section/Area	Parcel
Columbia Junction				3	A
Plat No.	Block No.	Zone	Tax/Zone Map	Elec. Dist.	Census Tract
15807-15808	1	B-2	48	6th	6069.01
Water Code	B-03		Sewer Code	4250000	

STV Incorporated
7125 Ambassador Road, Suite 200
Baltimore, Maryland 21244-2722
(410)944-9112 fax:(410)298-2794
Engineers / Architects / Planners / Construction Managers

EXTENDED STAYAMERICA
EFFICIENCY STUDIOS
ESA MANAGEMENT, INC.

EXTENDED STAY AMERICA
COLUMBIA JUNCTION, MD
HOWARD COUNTY, MARYLAND

STATE OF MARYLAND — RONALD EDWARD THOMPSON — No. 18417 — PROFESSIONAL ENGINEER — 4/9/03

Launch No.	5/18/01
ESA No.	2787
Permit Submittal	3/21/02
Permit Clearance	
Bid Issue	
Project No.	10725
Drawn By	AJC III
Checked By	KTL

NO.	DATE	REVISION

PROJECT: COLUMBIA JUNCTION
SECTION 3- PARCEL 'A'
(HOTEL)

LOCATION: TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: SITE DEVELOPMENT PLAN
EROSION & SEDIMENT CONTROL NOTES

DATE:	MARCH 21, 2002	DRAWING NO.	C-7.2
SCALE:	NONE	DRAWING	14 OF 20

SDP-02-95

TABLE 23 GRASS AND LEGUME PLANT CHARACTERISTICS

Common Name		Redtop	Rye	Ryegrass Italian	Sweet Clover	Sudangrass	Crown Vetch	Lespedeza Korean	Lespedeza Sericea	Ryegrass Perennial	Birdsfoot Trefoil
Botanical Name		Argostis Alba	Secale Cereals	Lolium Multiflorum	Lolium Perenne	Melilotus Alba Officinalis	Sorghum Sudanese	Coronilla Varia	Lespedeza Etipulacea	Lolium Perenne	Lotus Corniculatis
Germination Time (Days)		5 - 10	4 - 7	5 - 14	10	4 - 10	14 - 21	5 - 14	7 - 28	5 - 14	10
Growth Habitat		P, SL, B	A	A	B, 1	A	P, L, R	A	P, L, R	P, S, B	P, L
Seasons	Cool	X	X	X	X		X			X	X
	Warm				X	X	X	X	X		X
Drainage Class	Dry, Not Droughty	X	X		X	X	X	X	X		X
	Well Drained	X	X	X	X	X	X	X	X	X	X
	Moderately Well Drained	X	X	X	X	X	X	X	X	X	X
	Somewhat Poorly Drained	X		X		X		X	X	X	X
	Poorly Drained	X									
Annual Cover	Winter		X	X	X					X	X
	Summer				X	X		X			
pH Range		4.0-7.5	5.5 - 7.5	5.5 - 7.5	6.5 - 7.5	4.5 - 7.5	5.5 - 7.5	5.5 - 7.5	5.5 - 7.5	5.5 - 7.5	5.0 - 7.5
Flooding Tolerance		X		X						X	X
Erodable Areas		X	X	X	X	X	X	X	X	X	X
Waterways and Channels		X									
Shade Tolerance				X			X			X	
Foot Traffic		X									
Playgrounds, Athletic Fields, Lawns		X									
Beautify							X			X	
Levels of Mainten-ance	High				X						
	Medium	X	X	X	X		X		X	X	X
	Low					X	X	X	X	X	X

TABLE 26- TEMPORARY SEEDING RATES, DEPTHS, AND DATES (Hardiness Zone 7a)

SPECIES	MINIMUM SEEDING RATES [36]		PLANTING DEPTH	HARDINESS ZONES [37] AND SEEDING DATES [38]								
				7a and 7b			6b			6a and 5b		
	PER ACRE	LBS/1000 SQ.FT.	INCHES	2/1-4/30	5/1-8/14	8/15-11/30	3/1-4/30	5/1-8/14	8/15-11/15	3/15-5/31	6/1-7/31	8/1-10/31
CHOOSE ONE: BARLEY OATS RYE [39]	 2.5 BU.(122lbs) 3 BU.(96 lbs) 2.5 BU. (140lbs)	 2.80 2.21 3.22	 1-2 1-2 1-2	 X X X	 - - -	BY 10/15 - X	 X X X	 - - -	BY 10/15 - X	 X X X	 - - -	BY 10/1 - X
BARLEY OR RYE PLUS FOXTAIL MILLET [40]	150 lbs	3.45	1	X X	X X	10/15 X	X X	X X	10/15 X	X X	X X	10/1 X
WEEPING LOVEGRASS [41]	4 lbs	.09	1/4-1/2	-	X	-	-	X	-	-	X	-
ANNUAL RYEGRASS	50 lbs	1.15	1/4-1/2	X	-	11/1	X	-	11/1	X	-	8/15
MILLET [42]	50 lbs	1.15	1/2	-	X	-	-	X	-	-	X	-

36 APPLICABLE ON SLOPES OF 3:1 OR FLATTER
37 REFER TO FIGURE A - ADOPTED FROM USDA, ARS MISCELLANEOUS PUBLICATION •1475, JANUARY 1990
38 BETWEEN FALL AND SPRING SEEDING DATES, USE MULCH ONLY IF GROUND IS FROZED AND RESEED WHEN THAWED
39 MAY BE USED AS A NURSE CROP FOR LATE FALL / EARLY WINTER PERMANENT SEEDINGS, ADD 56 LBS./AC. TO THE PERMANENT SEEDING MIXTURE
40 MARYLAND STATE HIGHWAY ADMINISTRATION TEMPORARY SEED MIX
41 MAY BE USED AS A NURSE CROP FOR MID-SUMMER PERMANENT SEEDINGS. ADD 2 LBS./AC. TO PERMANENT SEED MIX
42 MAY BE USED AS A NURSE CROP FOR MID-SUMMER PERMANENT SEEDINGS. ADD 10 LBS./AC. TO THE PERMANENT SEEDING MIX.

NOTES:
1. FERTILIZER RATE (10-10-10) SHALL BE 600 LB/AC (15 lb/1000 SF).
2. LIME RATE SHALL BE 2 TONS/Ac. (100 lb/1000 SF).

TABLE 25 PERMANENT SEEDING FOR LOW MAINTENANCE AREAS

MIX	SEED MIX (USE CERTIFIED MATERIAL IF AVAILABLE)	PLANTING LBS/AC.	PLANTING LBS/1000 SQ.FT.	SITE CONDITIONS	USDA HARDI-NESS ZONES	3/1-5/15	3/15-6/1	5/16-8/14	6/2-7/31	8/1-10/1	8/15-10/15	8/15-11/15		FERTILIZER RATE (10-20-20) N	P205	K20	LIME RATE
1	TALL FESCUE (75%), CANADA BLUEGRASS (10%), KENTUCKY BLUEGRASS (10%), REDTOP (5%)	150	3.4	MOIST TO DRY	5b		X			X			A	90 LBS. / ACRE (2 LBS. / 1000 SF.)	175 LBS. / ACRE (4 LBS. / 1000 SF.)	175 LBS. / ACRE (4 LBS. / 1000 SF.)	2 TONS / ACRE (100 LBS. / 1000 SF.)
					6a		X			X							
					6b	X					X						
					7a	X						X					
					7b	X						X					
2	KENTUCKY BLUEGRASS (50%), CREEPING RED FESCUE OR A HARD FESCUE (40%), REDTOP (10%)	150	3.4	MOIST TO MODERATELY DRY TO DRY	5b		X			X			B				
					6a		X			X							
					6b	X					X						
3	TALL FESCUE (85%), PERENNIAL RYEGRASS (10%), KENTUCKY BLUEGRASS (5%)	125 15 10	2.9 .34 .23	MOIST TO DRY	5b		X			X			C				
					6a		X			X							
					6b	X					X						
					7a	X						X					
					7b	X						X					
4	RED FESCUE OR CHEWINGS FESCUE (80%) PERENNIAL RYEGRASS (20%)	60 60 15	.92 .92 .34	MOIST TO DRY	5b		X			X			D				
					6a		X			X							
					6b	X					X						
5	TALL FESCUE (85%) OR PERENNIAL RYEGRASS (50%) PLUS CROWNVETCH OR FLATPEA	110 20 20 20	2.5 .46 .46 .46	MOIST TO DRY	5b		X			X			E				
					6a		X			X							
					6b	X					X						
					7a	X						X					
					7b	X						X					
6	WEEPING LOVEGRASS (17%) SERECIA LESPEDEZA (83%	4 20	.09 .46	DRY TO VERY DRY	6a	X		X					F				
					7a	X		X									
					7b	X		X									
7	TALL FESCUE (83%) OR WEEPING LOVEGRASS (2%) PLUS SERECIA LESPEDEZA (15%)	110 3 20	2.5 .07 .46	DRY TO VERY DRY	5b		X		X	X			G				
					6a		X		X	X							
					6b	X		X			X						
					7a	X		X				X					
					7b	X		X				X					
8	REED CANARYGRASS (75%) REDTOP (6%) PLUS BIRDSFOOT TREEFOIL (19%)	40 3 10	.92 .07 .23	WET TO MODERATELY DRY	5b		X			X			H				
					6a		X			X							
					6b	X					X						
					7a	X						X					
					7b	X						X					
9	TALL FESCUE (85%) OR POA TRIVIALIS (7%) BIRDSFOOT TREEFOIL (7%)	125 10 10	2.9 .29 .23	WET TO MODERATELY DRY	5b		X			X			I				
					6a		X			X							
					6b	X					X						
10	TALL FESCUE (80%) HARD FESCUE (20%)	120 30	3.4 .69	WET TO DRY	5b		X			X			J				
					6a		X			X							
					6b	X					X						
					7a	X						X	K				
11	HARD FESCUE (100%)	75	1.7	WET TO DRY	5b		X			X							
					6a		X			X							
					6b	X					X						
					7a	X						X					
					7b	X						X					

A - USED BY SHA ON SLOPED AREAS. ADD A LEGUME FOR SLOPES > 3:1.
B - USED IN MEDIAN AREAS BY SHA. SHADE TOLERANT.
C - POPULAR MIX - PRODUCES PERMANENT GROUNDCOVER QUICKLY. BLUEGRASS THICKENS STAND.
D - BEST USE ON SHADY SLOPES NOT ON POORLY DRAINED CLAYS.
E - USE ON LOW MAINTENANCE, STEEP SLOPES. USE TALL FESCUE IN DRAUGHTY COND. CROWN VETCH BEST FOR 5b, 6a, 6b.
F - SUITABLE FOR SEEDING IN MID-SUMMER.
G - WEEPING LOVEGRASS MAY BE SEEDED WITH TALL FESCUE IN MID-SUMMER. SERECIA LESPEDEZA IS BEST SUITED FOR ZONES 7a AND 7b.
H - USE ON POORLY DRAINED SOILS, DITCHES OR WATERWAYS. BIRDSFOOT TREEFOILIS BEST FOR ZONES 5b, 6a ABOVE 2,000 FT.
I - USE IN AREAS OF MOIST SHADE. POA TRIVIALIS THRIVES IN WET SHADY AREAS.
J - TALL FESCUE MAY BE SEEDED ALONG. THE HARD FESCUE PROVIDES BETTER SHADE TOLERANCE AND PRODUCES A BETTER STAND.
K - LOW FERTILITY GRASS. REQUIRES INFREQUENT MOWING. GOOD COMPANION FOR WILD FLOWERS.

USDA HARDINESS ZONE:

ZONE: 7A

SEDIMENT CONTROL NOTES

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION.
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDER DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B). 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12 , OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 51) SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50), AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:

TOTAL AREA OF SITE	5.53 ACRES
TOTAL AREA DISTURBED	2.75 ACRES
AREA TO BE ROOFED OR PAVED	1.60 ACRES
AREA TO BE VEGETATIVELY STABILIZED	1.15 ACRES
TOTAL CUT	2,000 CU.YDS.
TOTAL FILL	14,000 CU.YDS.
OFFSITE BORROW	12,000 CU.YDS.

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES ARE LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

Reviewed for HOWARD SCD and meets Technical Requirements.
Jim Meyer 10-2-03
USDA-Natural Resources Conservation Service — Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John R. Robertson 10-2-03
Howard SCD — Date

ENGINEER'S CERTIFICATE:

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer — Date 4/9/03
Print name below signature
RONALD E. THOMPSON

DEVELOPER'S CERTIFICATE:

"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer — Date 9/26/03
Print name below signature
BRYAN S. HALL

APPROVED: DEPT. OF PLANNING AND ZONING

Cindy Hamilton — 10/9/03
Chief, Division of Land Development — Date

Chief, Development Engineering Divsion — Date 10/8/03

Director — Date 10/9/03

Address Chart	
Lot/Parcel	Street Address
548	8550 Washington Blvd.

Permit Information Chart					
Subdivision Name Columbia Junction			Section/Area 3		Parcel A
Plat No. 15807-15808	Block No. 1	Zone B-2	Tax/Zone Map 48	Elec. Dist. 6th	Census Tract 6069.01
Water Code	B-03		Sewer Code	4250000	

STV Incorporated
7125 Ambassador Road, Suite 200
Baltimore, Maryland 21244-2722
(410)944-9112 fax (410)298-2794
Engineers / Architects / Planners / Construction Managers

EXTENDED STAYAMERICA
EFFICIENCY STUDIOS
ESA MANAGEMENT, INC.

EXTENDED STAY AMERICA
COLUMBIA JUNCTION, MD
HOWARD COUNTY, MARYLAND

Launch No.	5/18/01
ESA No.	2787
Permit Submittal	3/21/02
Permit Clearance	
Bid Issue	
Project No.	10725
Drawn By	AJC III
Checked By	KTL

STATE OF MARYLAND — RONALD E. THOMPSON — No. 18413 — PROFESSIONAL ENGINEER — 4/9/03

NO.	DATE	REVISION

PROJECT: COLUMBIA JUNCTION
SECTION 3- PARCEL 'A'
(HOTEL)

LOCATION: TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: SITE DEVELOPMENT PLAN
EROSION & SEDIMENT CONTROL
NOTES

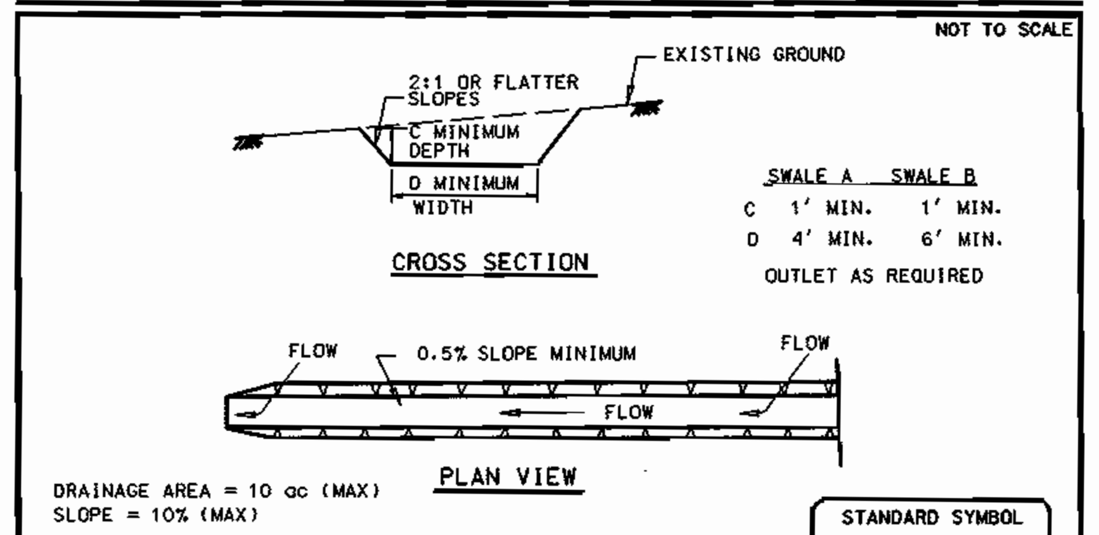
DATE:	MARCH 21, 2002	DRAWING NO.	C-7.3
SCALE:	NONE	DRAWING	15 OF 20

SDP-02-95

FILE: N:\PROJECTS\10725\sd05cjm.dgn
DATE: 08-Apr-03 10:20

TEMPORARY SWALE

NOT TO SCALE



	SWALE A	SWALE B
c	1' MIN.	1' MIN.
D	4' MIN.	6' MIN.

OUTLET AS REQUIRED

DRAINAGE AREA = 10 ac (MAX)
SLOPE = 10% (MAX)

STANDARD SYMBOL: A - 2 / B - 3

FLOW CHANNEL STABILIZATION
GRADE 0.5% MIN. 10% MAX.

1. Seed and cover with straw mulch.
2. Seed and cover with Erosion Control Matting or line with sod.
3. 4"-7" stone or recycled concrete equivalent pressed into soil in a minimum 7" layer.

Construction Specifications

1. All temporary swales shall have uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.

2. Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.

3. Runoff diverted from an undisturbed area shall outlet directly into an undisturbed stabilized area at a non-erosive velocity.

4. All trees, brush, stumps, obstructions, and other objectional material shall be removed and disposed of so as not to interfere with the proper functioning of the swale.

5. The swale shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede normal flow.

6. Fill, if necessary, shall be compacted by earth moving equipment.

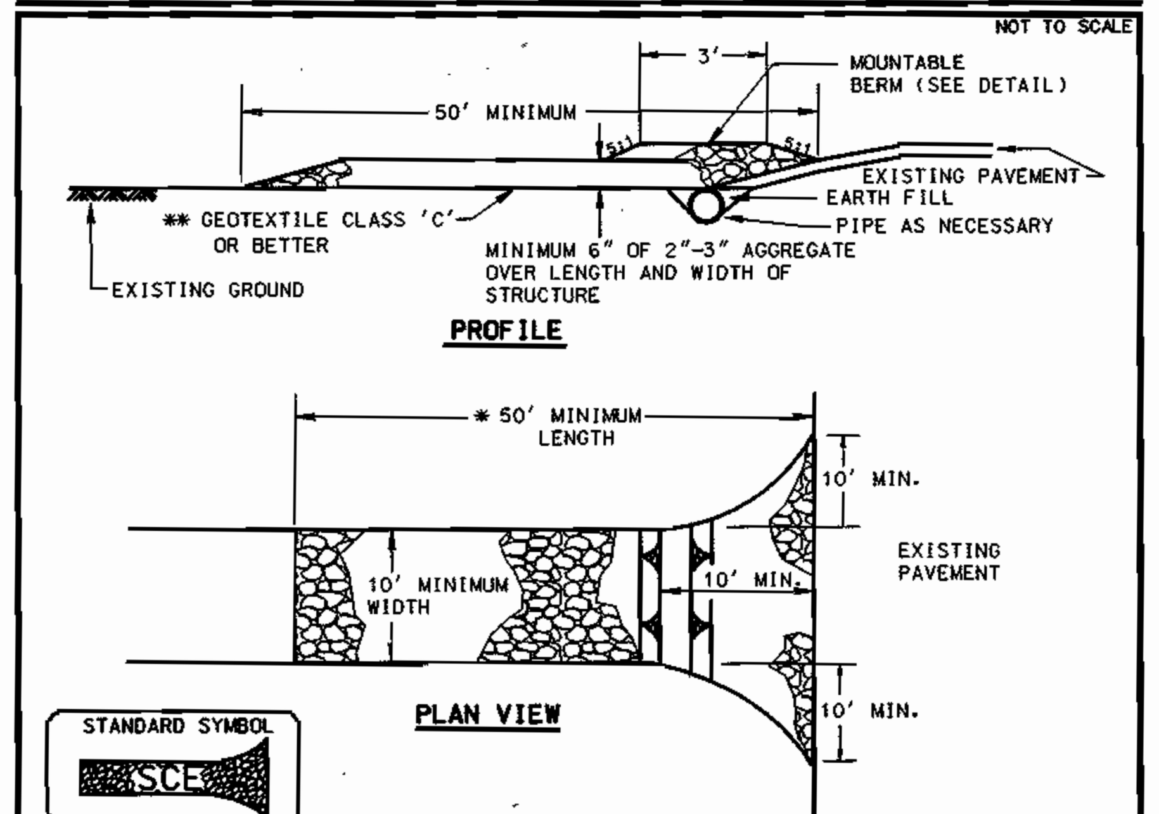
7. All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the swale.

8. Inspection and maintenance must be provided periodically and after each rain event.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE A - 2 - 4	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

STABILIZIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



Construction Specification

1. Length – minimum of 50' (*30' for single residence lot).

2. Width – 10' minimum, should be flared at the existing road to provide a turning radius.

3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.

4. Stone – crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.

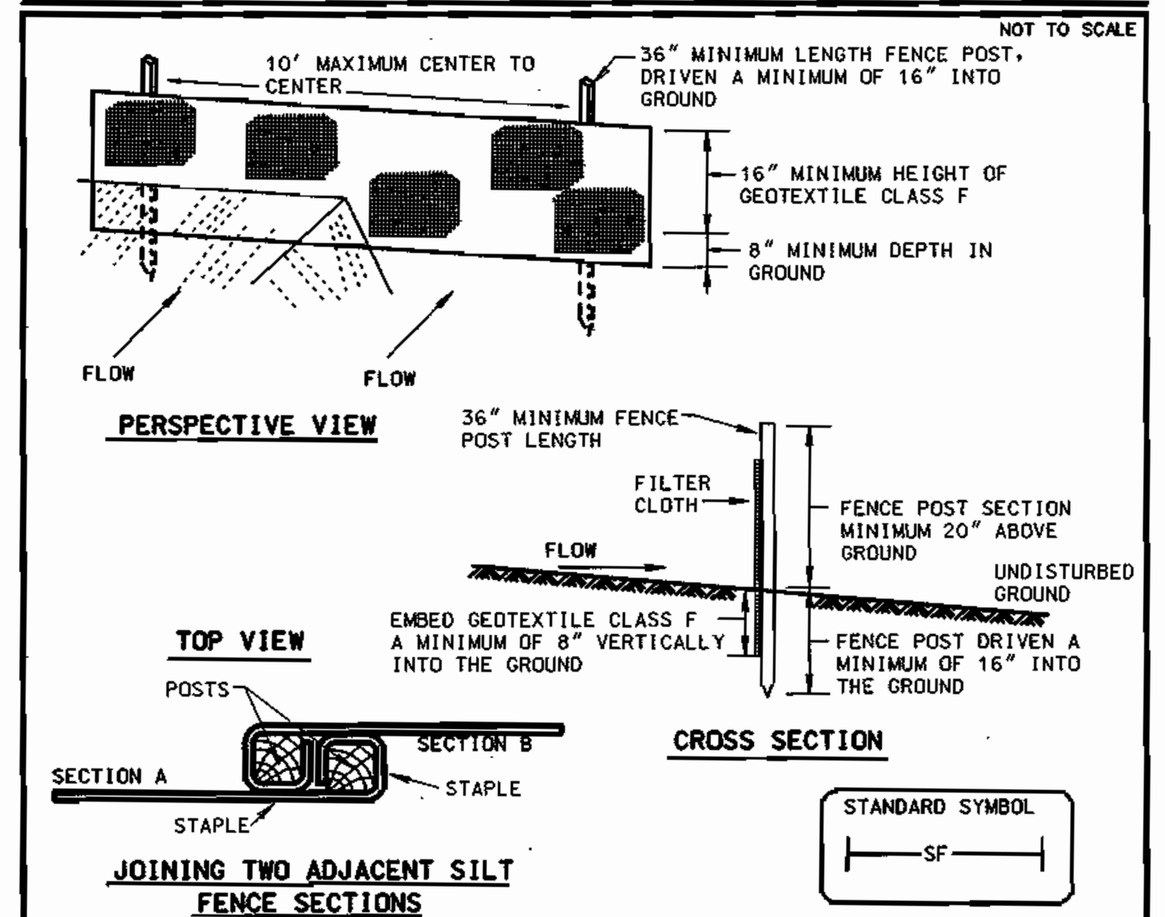
5. Surface Water – all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.

6. Location – A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE F - 17 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SILT FENCE

NOT TO SCALE



Construction Specifications

1. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1½" x 1½" square (minimum) cut, or 1¾" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pond per linear foot.

2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal ft^2/ minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

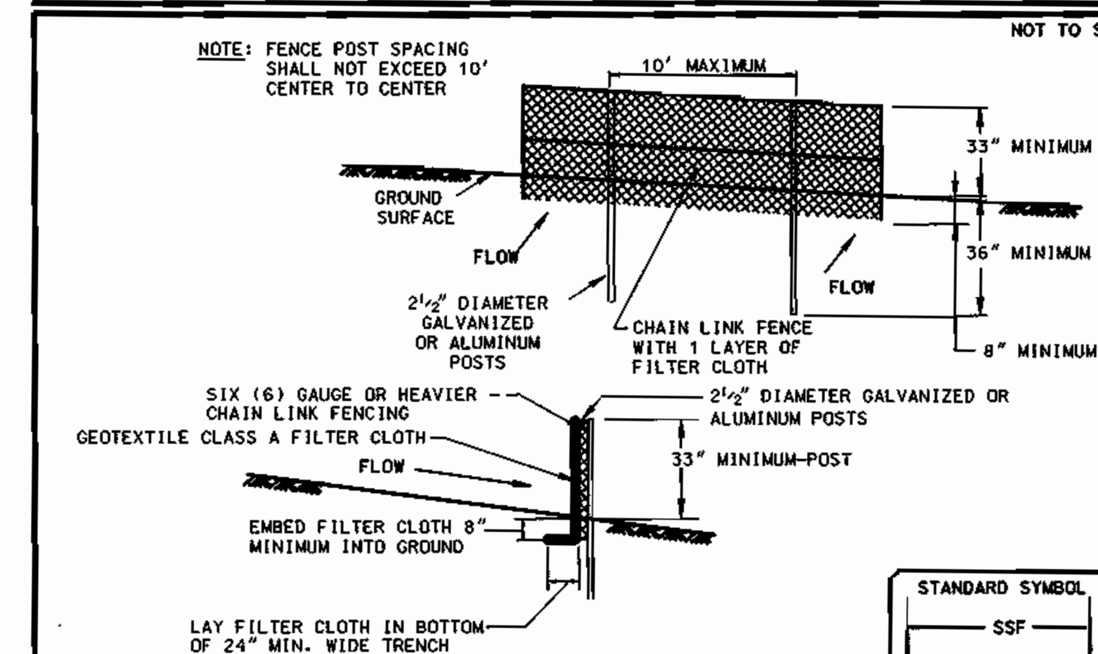
3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.

4. Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 15 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SUPER SILT FENCE

NOT TO SCALE



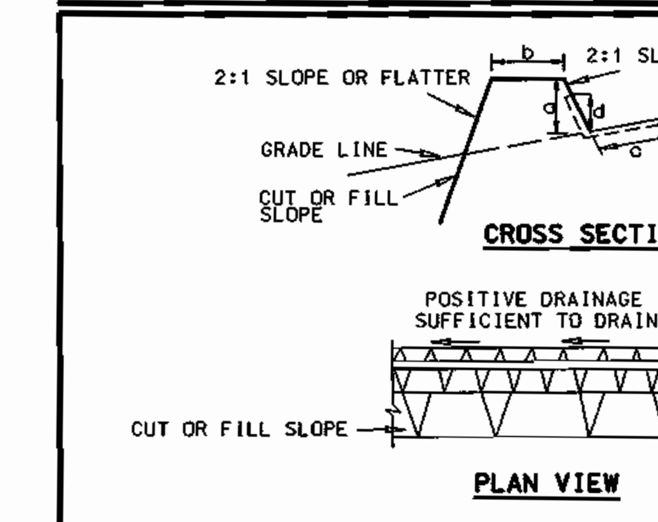
Construction Specifications

1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway (SHA) Details for Chain Link Fencing. The SHA specifications for a 6 foot fence shall be used, substituting 42 inch fabric and 6 foot length posts.
2. The posts do not need to be set in concrete.
3. Chain link fence shall be fastened securely to the fence posts with wire ties, or staples. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence. The chain link fencing shall be six (6) gauge or heavier.
4. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
5. Filter Cloth shall be embedded a minimum of 8" into the ground.
6. When two sections of geotextile fabric adjoin each other, they shall be overlapped by 6" and folded.
7. Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	MODIFIED	

EARTH DIKE

NOT TO SCALE



	DIKE A	DIKE B
a-DIKE HEIGHT	18"	30"
b-DIKE WIDTH	24"	36"
c-FLOW WIDTH	4'	6'
d-FLOW DEPTH	12"	24"

STANDARD SYMBOL: A-2 B-3

FLOW CHANNEL STABILIZATION
GRADE 0.5% MIN. 10% MAX.

1. Seed and cover with straw mulch.
2. Seed and cover with Erosion Control Matting or line with sod.
3. 4" – 7" stone or recycled concrete equivalent pressed into the soil 7" minimum

Construction Specifications

1. All temporary earth dikes shall have uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.

2. Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.

3. Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area at a non-erosive velocity.

4. All trees, brush, stumps, obstructions, and other objectional material shall be removed and disposed of so as not to interfere with the proper functioning of the dike.

5. The dike shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede normal flow.

6. Fill shall be compacted by earth moving equipment.

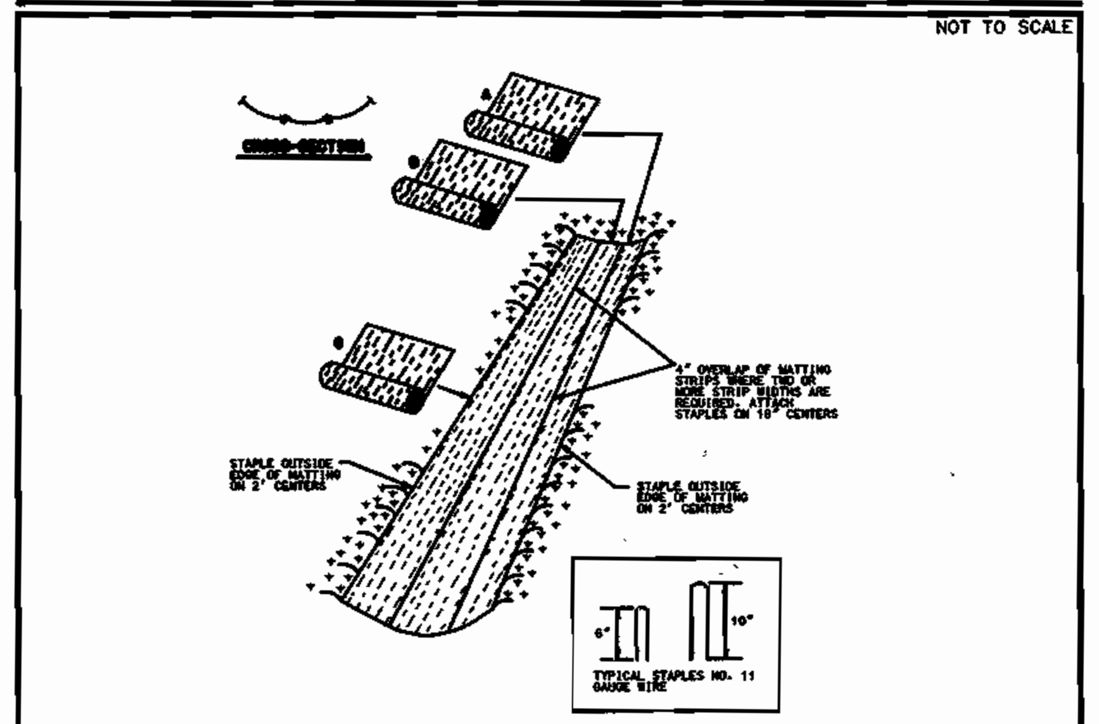
7. All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike.

8. Inspection and maintenance must be provided periodically and after each rain event.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE A - 1 - 6	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

EROSION CONTROL MATTING

NOT TO SCALE



Construction Specifications

1. Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".

2. Staple the 4" overlap in the channel center using an 18" spacing between staples.

3. Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.

4. Staples shall be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.

5. Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shiplap fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.

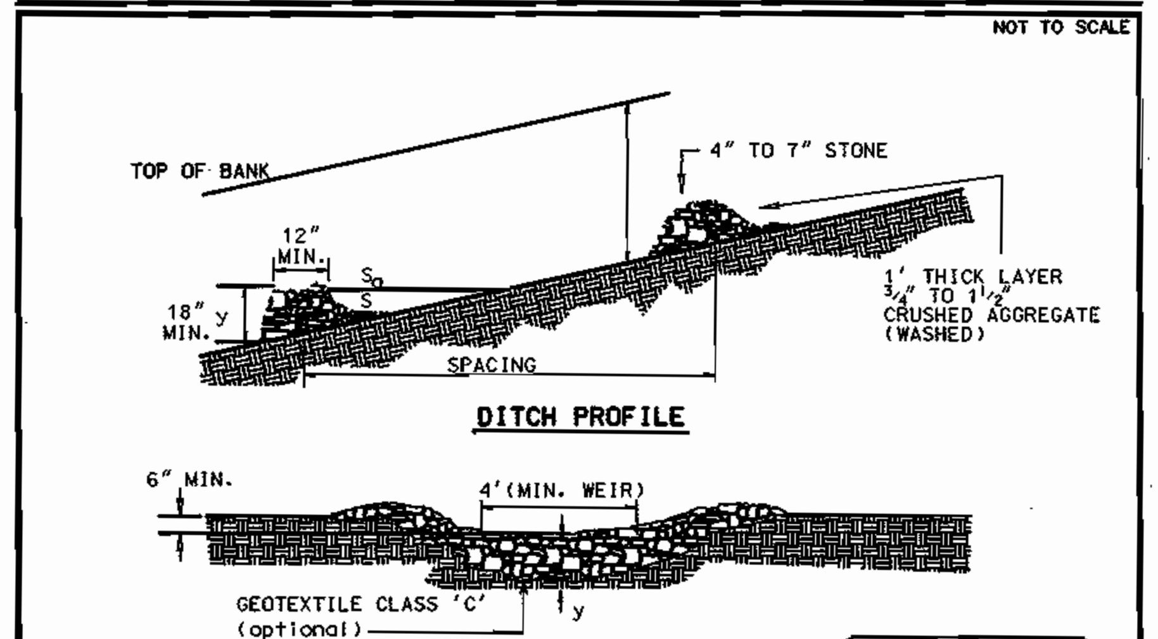
6. The discharge end of the matting liner should be similarly secured with 2 double rows of staples.

Note: If flow will enter from the edge of the matting then the area effected by the flow must be keyed-in.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE G - 22 - 2	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

STONE CHECK DAM

NOT TO SCALE



STANDARD STONE CHECK DAM DESIGN

SLOPE	SPACING
2% or less	80'
2.1% to 4%	40'
4.1% to 7%	25'
7.1% to 10%	15'
over 10%	use lined waterway design

Construction Specifications

1. Swales and ditches shall be prepared in accordance with the construction specifications described in Section A-2, Standards and Specifications for Temporary Swale.

2. The check dam shall be constructed of 4"-7" stone. The stone shall be placed so that it completely covers the width of the channel and keyed into the channel banks.

3. The top of the check dam shall be constructed so the the center is approximately 6" lower than the outer edges, forming a weir that water can flow across.

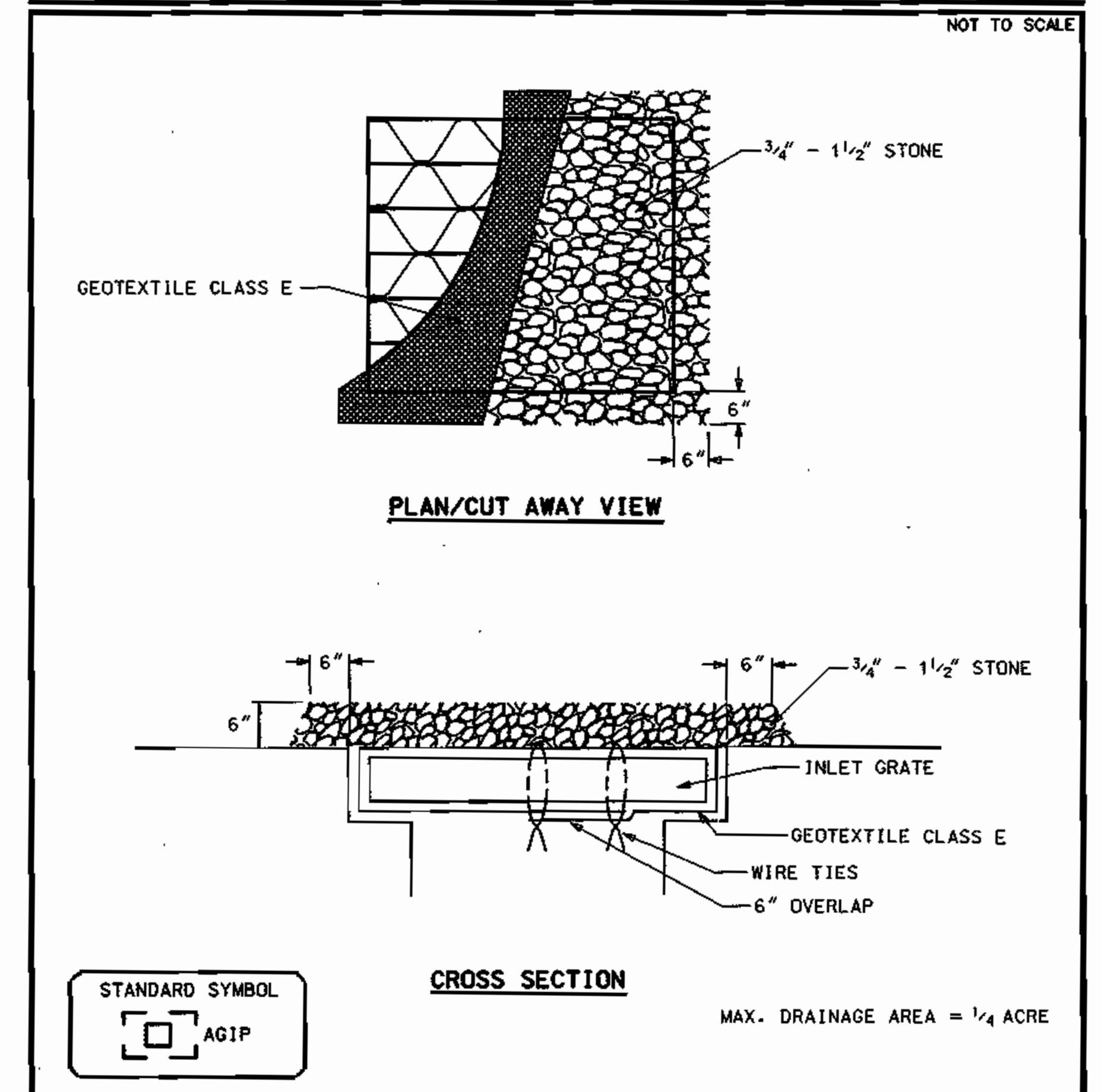
4. The maximum height of the check dam at the center shall not exced 2".

5. The upstream sideof the check dam shall be lined with approximately 1" of ¾" to 1½" crushed aggregate.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE B - 8 - 5	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

AT GRADE INLET PROTECTION

NOT TO SCALE



MAX. DRAINAGE AREA = ¼ ACRE

Construction Specifications

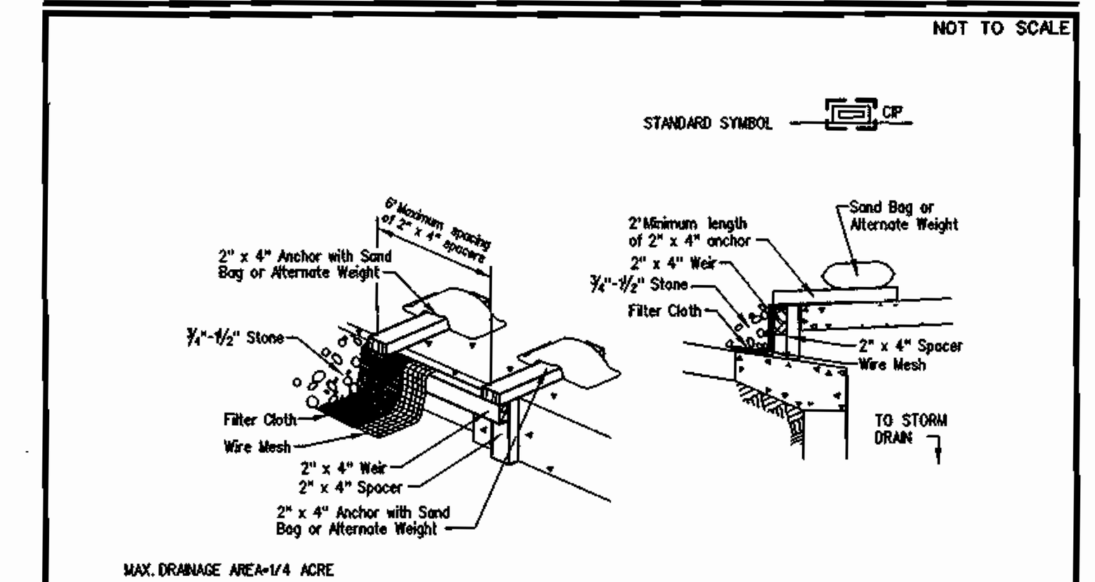
1. Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.

2. Place ¾" to 1½" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 16 - 5A	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

CURB INLET PROTECTION

NOT TO SCALE



MAX. DRAINAGE AREA=1/4 ACRE

CONSTRUCTION SPECIFICATIONS

1. ATTACH A CONTINUOUS PIECE OF WIRE MESH (30" MIN. WIDTH BY THROAT LENGTH PLUS 4') TO THE 2" X 4" WEIR (MEASURING THROAT LENGTH PLUS 2') AS SHOWN ON THE STANDARD DRAWING.
2. PLACE A CONTINUOUS PIECE OF GEOTEXTILE CLASS E THE SAME DIMENSIONS AS THE WIRE MESH OVER THE WIRE MESH AND SECURELY ATTACH IT TO THE 2" X 4" WEIR.
3. SECURELY NAIL THE 2" X 4" WEIR TO A 9" LONG VERTICAL SPACER TO BE LOCATED BETWEEN THE WEIR AND THE INLET FACE (MAX. 4' APART).
4. PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL (MINIMUM 2' LENGTHS OF 2" X 4" TO THE TOP OF THE WEIR AT SPACER LOCATIONS). THESE 2" X 4" ANCHORS SHALL EXTEND ACROSS THE INLET TOP AND BE HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHT.
5. THE ASSEMBLY SHALL BE PLACED SO THAT THE END SPACERS ARE A MINIMUM 1' BEYOND BOTH ENDS OF THE THROAT OPENING.
6. FORM THE ½" x½" WIRE MESH AND THE GEOTEXTILE FABRIC TO THE CONCRETE GUTTER AND AGAINST THE FACE OF CURB ON BOTH SIDES OF THE INLET. PLACE CLEAN ¾"x1½" STONE OVER THE WIRE MESH AND GEOTEXTILE IN SUCH A MANNER AS TO PREVENT WATER FROM ENTERING THE INLET UNDER OR AROUND THE GEOTEXTILE.
7. THIS TYPE OF PROTECTION MUST BE INSPECTED FREQUENTLY AND THE FILTER CLOTH AND STONE REPLACED WHEN CLOGGED WITH SEDIMENT.
8. ASSURE THAT STORM FLOW DOES NOT BYPASS INLET BY INSTALLING A TEMPORARY EARTH OR ASPHALT DIKE GO DIRECT FLOW TO THE INLET.

Reviewed for HOWARD SCD and meets Technical Requirements.

Jim Meyer 10-2-03
USDA-Natural Resources Conservation Service — Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

John R. Robertson 10-2-03
Howard SCD — Date

ENGINEER'S CERTIFICATE:

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer — Date 4/9/03
Print name below signature
RONALD E. THOMPSON

DEVELOPER'S CERTIFICATE:

"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer — Date 9/26/03
Print name below signature
BRYAN S. HALL

APPROVED: DEPT. OF PLANNING AND ZONING

Chief, Division of Land Development — Date 10/9/03
Chief, Development Engineering Divsion — Date 10/8/03
Director — Date 10/5/03

Address Chart

Lot/Parcel	Street Address
548	8550 Washington Blvd.

Permit Information Chart

Subdivision Name			Section/Area		Parcel
Columbia Junction			3		A
Plat No.	Block No.	Zone	Tax/Zone Map	Elec. Dist.	Census Tract
15807-15808	1	B-2	48	6th	6069.01
Water Code	B-03		Sewer Code	4250000	

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7125 Ambassador Road, Suite 200
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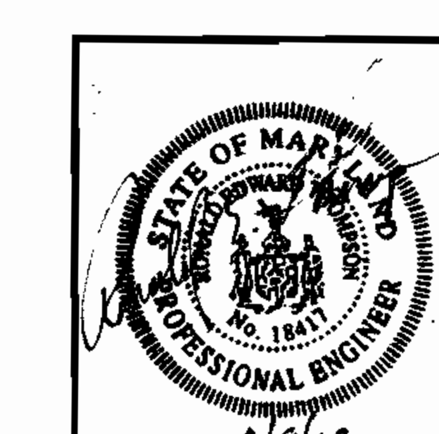

Launch No.	5/18/01
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Permit Clearance	
Bid Issue	
Project No.	10725
Drawn By	AJC III
Checked By	KTL

NO.	DATE	REVISION

PROJECT: COLUMBIA JUNCTION
SECTION 3- PARCEL 'A'
(HOTEL)

LOCATION: TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: SITE DEVELOPMENT PLAN
EROSION & SEDIMENT CONTROL
DETAILS

DATE:	MARCH 21, 2002	DRAWING NO.	C-7.4
SCALE:	AS SHOWN	DRAWING	16 OF 20

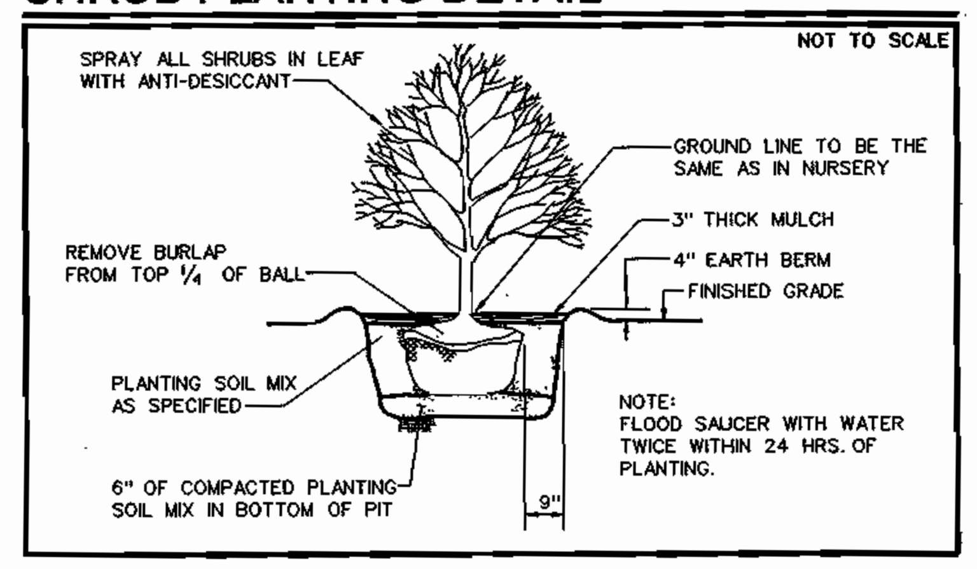
SDP-02-95

FILE: P:\PROJECTS\10725\sd02cjsn.dgn
DATE: 08-Apr-03 10:21

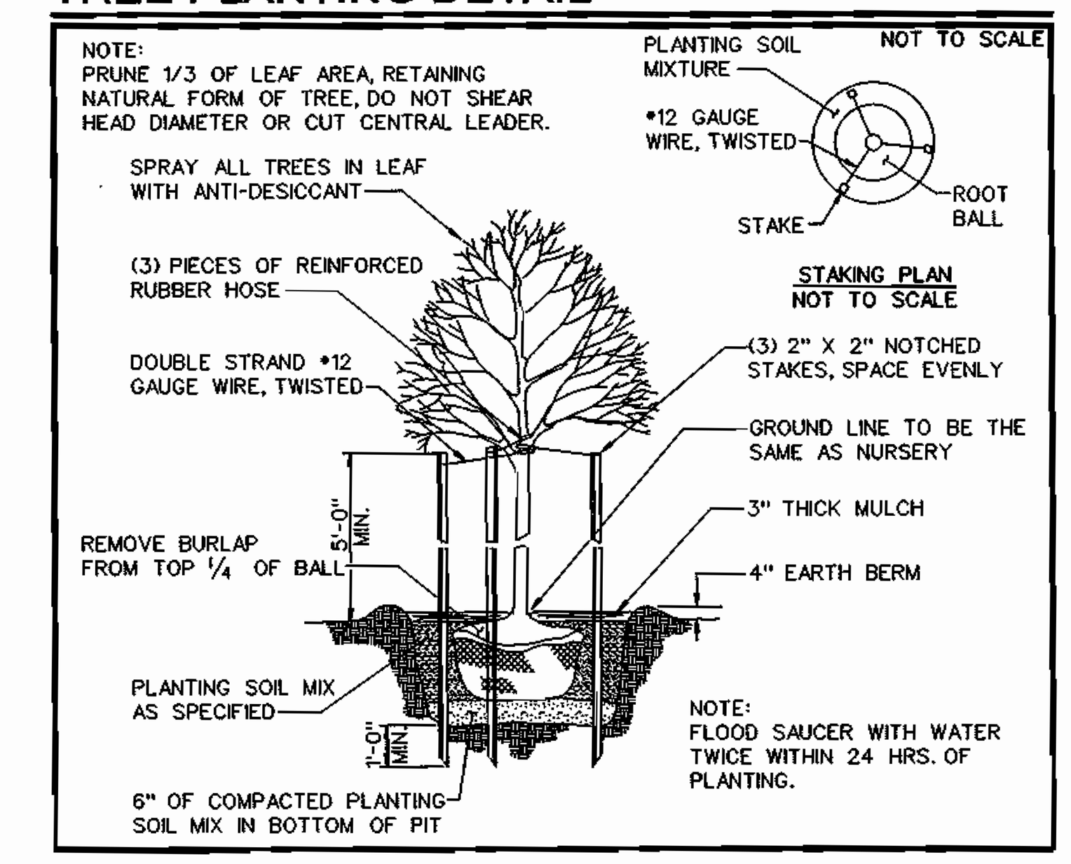
LEGEND

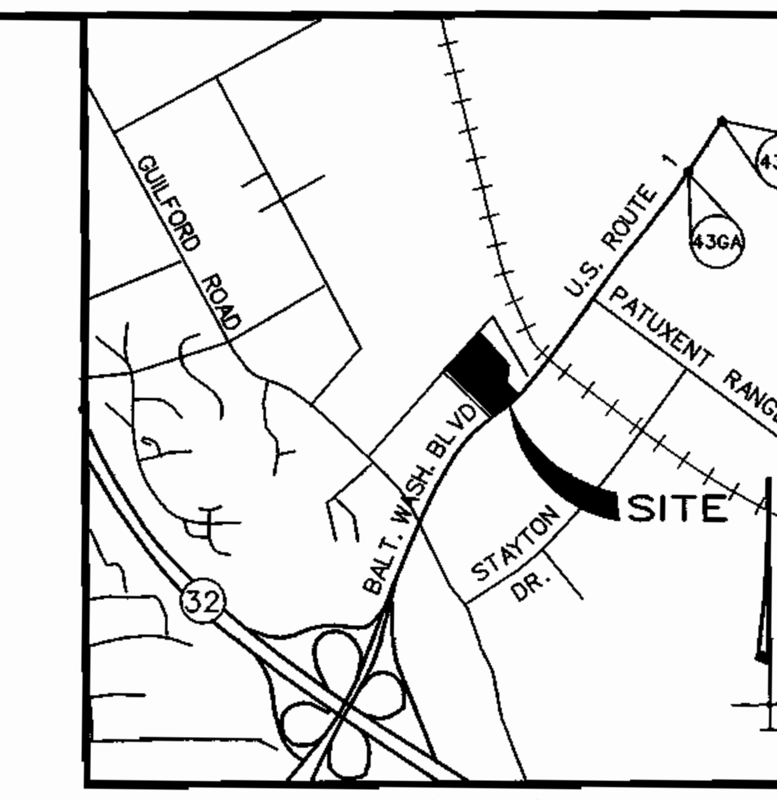
- PROPOSED SHADE TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUBS
- PROPOSED GROUNDCOVER AND/OR PERENNIALS
- PLANTING BED LINE

SHRUB PLANTING DETAIL



TREE PLANTING DETAIL





VICINITY MAP

1" = 2000'

STV Incorporated
7125 Ambassador Road, Suite 200
Baltimore, Maryland 21244-2722
(410)944-9112 fax (410)298-2794
Engineers / Architects / Planners / Construction Managers

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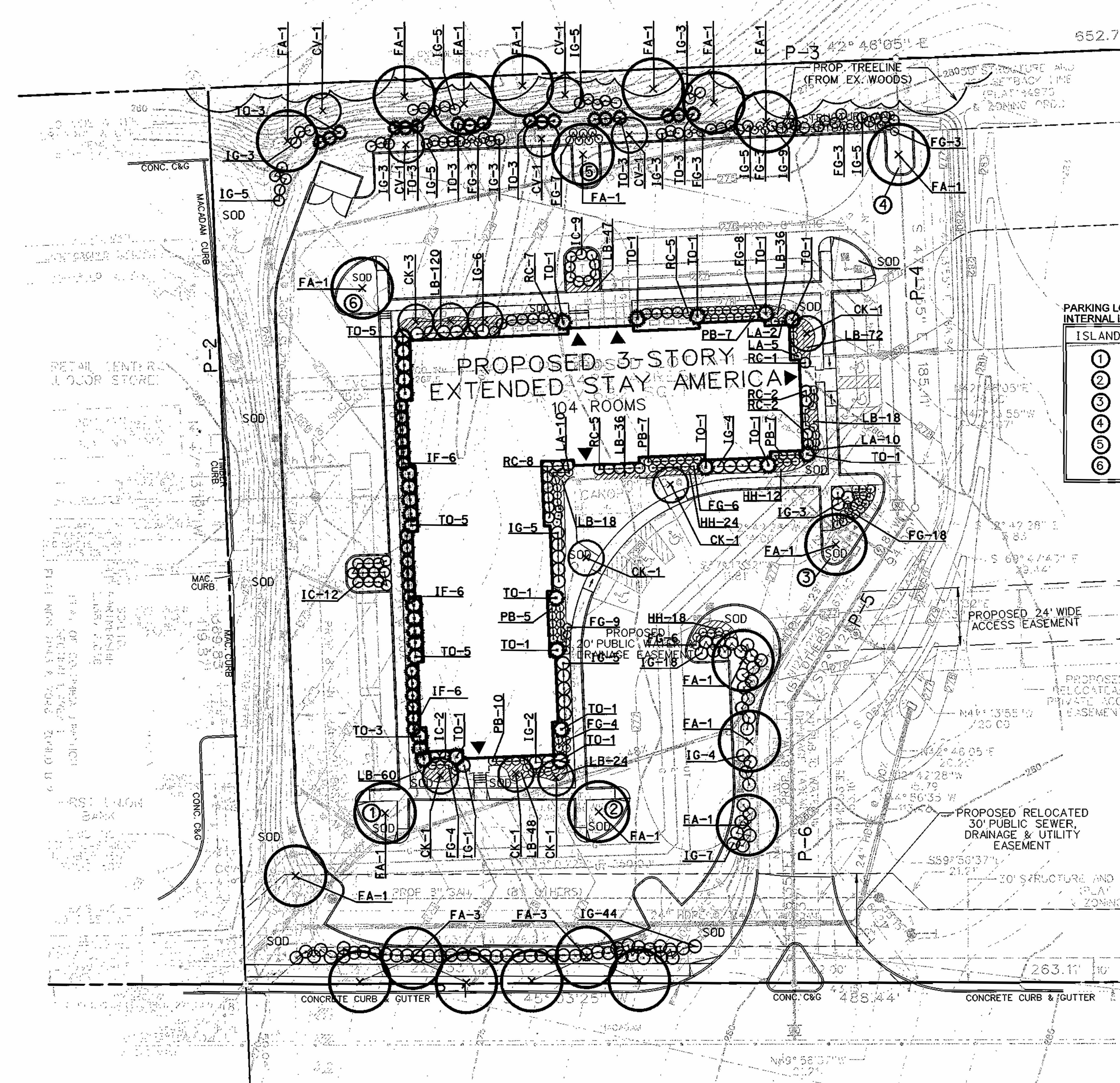


PARKING LOT INTERNAL LANDSCAPING

ISLAND	AREA	DIMENSION
1	200 SF	-
2	200 SF	-
3	500 SF	-
4	216 SF	12'x18'
5	216 SF	12'x18'
6	300 SF	-

PLANTING NOTES:

1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN, "AMERICAN STANDARDS FOR NURSERY STOCK." AND THE HOWARD COUNTY LANDSCAPE MANUAL
2. CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR COMMENCING WHEN THE FINAL INSPECTION IS COMPLETE AND APPROVED. AT THE END OF ONE YEAR, ALL PLANT MATERIAL THAT IS DEAD OR DYING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AS ORIGINALLY SPECIFIED.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING, PROPOSED AND INSTALLED UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY 'AS BUILT' LOCATION OF ALL UTILITIES.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT AND THE HOWARD COUNTY DEPT. OF PLANNING AND ZONING.
5. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHALL BE SODDED.
6. ALL SHADE TREES SHALL BRANCH A MINIMUM OF 6'-0" ABOVE GROUND LEVEL.
7. NOTHING AT AN ELEVATION GREATER THAN THE TOP OF CURB PLUS TWO (2) FEET SHALL BE ALLOWED IN ANY SIGHT TRIANGLE AREA EXCEPT SINGLE TRUNK TREES WHOSE LOWER BRANCHES ARE TO BE PRUNED TO A HEIGHT OF SEVEN (7) FEET.
8. TREES SHALL BE INSTALLED PER PLANTING DETAIL THIS PAGE.
9. SHRUBS AND PERENNIALS SHALL BE INSTALLED PER SHRUB PLANTING DETAIL THIS PAGE.
10. PLANTING SOIL MIX BACKFILL: 2/3 TOPSOIL AND 1/3 PEAT HUMUS, COMPOSTED SLUDGE OR OTHER ORGANIC MATERIAL.
11. ALL GROUNDCOVER AND SHRUB BEDS SHALL RECEIVE 3" TOPSOIL THOROUGHLY WORKED INTO THE TOP 6" OF EXISTING SOIL.
12. ALL BEDS ARE TO BE COVERED WITH WATER PERMEABLE WEED CONTROL LANDSCAPE FABRIC (PLASTICS WILL NOT BE ACCEPTED) AND MULCHED 3" DEEP WHEN PLANT INSTALLATION IS COMPLETE.
13. ALL LANDSCAPING MUST BE MAINTAINED IN A "LIVING CONDITION."
14. ALL FOUNDATION PLANTING BEDS SHOULD BE MOUNDED WITH A 3:1 SLOPE AWAY FROM THE BUILDING TO THE EDGE OF THE PLANTING BED. ALL MULCH SHALL BE TAMPED WITH A RAKE AFTER MULCHING TO PREVENT MULCH FROM SLIDING.
15. ALL PLANT PIT LOCATIONS SHALL BE EXCAVATED TO DEPTH AND DIMENSIONS INDICATED ON APPROPRIATE PLANTING DETAILS. PLANTING PITS SHALL BE BACKFILLED WITH PLANTING SOIL MIX AS SPECIFED ABOVE.
16. NO TREE PLANTINGS SHALL OCCUR WITHIN UTILITY EASEMENTS. SHRUB PLANTINGS SHALL BE LOCATED NO CLOSER THAN 5' FROM UNDERGROUND UTILITY LINE.
17. REFER TO EROSION & SEDIMENT CONTROL PLAN. ALL EROSION & SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY TREE REMOVAL.
18. NO TREES ARE PROPOSED TO BE REMOVED OFF-SITE.
19. AT THE TIME OF PLANT INSTALLATION, ALL TREES AND SHRUBS AS LISTED AND APPROVED ON THIS SITE DEVELOPMENT PLAN SHALL BE OF THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED LANDSCAPING MAY BE MADE WITHOUT RECEIVING PRIOR REVIEW AND APPROVAL FROM THE DEPT. OF PLANNING AND ZONING. ANY DEVIATIONS FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED PLANT MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE SITE DEVELOPMENT PLAN.

BENCHMARK - NAD '83

BENCHMARK #43GA: STAMPED DISC SET ON 3' CYLINDRICAL CONC. BASE 1"-2" BELOW SURFACE, 72.5' SW OF C&P POLE #178, 4.8' FROM EOP NORTHBOUND LANE OF U.S. ROUTE 1. ELEVATION = 241.665'

BENCHMARK #43G6: STAMPED DISC SET ON 3' CYLINDRICAL CONC. BASE 1"-2" BELOW SURFACE, 68.8' SW OF F.H. AT CORNER OF MOTEL, 3.5' SE OF EOP NORTHBOUND LANE OF U.S. ROUTE 1. ELEVATION = 220.142'

PLANTING REQUIREMENTS:

1. PERIMETER LANDSCAPE REQUIREMENTS:
   - A. SE PROPERTY LINE: (P-1)
     A TYPE "E" LANDSCAPE EDGE IS REQUIRED FOR PARKING LOT EDGES ADJACENT TO A ROADWAY.
     REQUIRED: 1 SHADE TREE / 40 LF @ 225 LF= 6 SHADE TREES
     1 SHRUB / 4 LF @ 225 LF= 56 SHRUBS
     PROPOSED: 6 SHADE TREES (TO BE COUNTED IN CONJUNCTION WITH MARYLAND SHA STREET TREE REQUIREMENTS)
     56 EVERGREEN SHRUBS
   - B. NE PROPERTY LINE: (P-4, P-5, P-6)
     A PERIMETER LANDSCAPE EDGE IS NOT REQUIRED AS PER HOWARD CO. LANDSCAPE MANUAL, CHAPTER IV, PAGE 17.
   - C. SW PROPERTY LINE (P-2)
     A PERIMETER LANDSCAPE EDGE IS NOT REQUIRED AS PER HOWARD CO. LANDSCAPE MANUAL, CHAPTER IV, PAGE 17.
   - D. NW PROPERTY LINE (P-3)
     A TYPE "C" LANDSCAPE EDGE IS REQUIRED FOR NON-RESIDENTIAL USE ADJACENT TO RESIDENTIAL USE.
     REQUIRED: 1 SHADE TREE / 40 LF + 1 EVERGREEN TREE/ 20 LF @ 280 LF = 7 SHADE TREES AND 14 EVERGREEN TREES
     PROPOSED: 7 SHADE TREES
     18 EVERGREEN TREES
     PLUS RETAINING MATURE EXISTING WOODS IS PROPOSED TO SATISFY THE REQUIREMENT FOR THIS BOUNDARY.
2. STREET TREES
   MARYLAND STATE HIGHWAY ADMINISTRATION (MSHA) REQUESTS PLANTING OF SHADE TREES ALONG US 1 CORRIDOR AS PART OF THE ROUTE 1 REVITALIZATION PROGRAM.
   REQUIRED: 1 SHADE TREE / 40 LF
   @225 LF = 6 SHADE TREES
   PROPOSED: 6 SHADE TREES ALONG US 1
3. INTERIOR PARKING LOT:
   REQUIRED: 1 SHADE TREE / PARKING LOT ISLAND / 20 SPACES
   115 SPACES/20= 6 SHADE TREES
   PROPOSED: 6 SHADE TREES

PLANT SCHEDULE:

KEY	QTY	BOTANICAL/COMMON NAME	SIZE	ROOT	REMARKS
		SHADE TREES			
FA	23	FRAXINUS AMERICANA 'AUTUMN PURPLE' / AUTUMN PURPLE WHITE ASH	2.5"-3" CAL.	B&B	
		ORNAMENTAL TREES			
CK	9	CORNUS KOUSA 'MILKY WAY' / MILKY WAY KOUSA DOGWOOD	8'-10' HT.	B&B	TREEFORM
CV	5	CRATAEGUS VIRIDIS 'WINTER KING' / WINTER KING HAWTHORNE	8'-10' HT.	B&B	
		EVERGREEN TREE			
TO	49	THUJA OCCIDENTALIS 'TECHNY'/TECHNY AMERICAN ARBORVITAE	6'-10' HT.	B&B	
		SHRUBS			
FG	77	FOTHERGILLA GARDENII / DWARF FOTHERGILLA	18"-24" SP.	B&B	
IC	23	ILEX CRENATA 'HELLERI' / HELLERI JAPANESE HOLLY	18"-24" SP.	3 GAL.	
IF	18	ILEX CRENATA 'FASTIGIATA' / FASTIGATE JAPANESE HOLLY	36"-48" HT.	B&B	
IG	150	ILEX GLABRA 'COMPACTA' / COMPACT INKBERRY	30"-36" HT.	3 GAL.	
LA	27	LEUCOTHOE AXILLARIS/COAST LEUCOTHOE	18"-24" SP.	2 GAL.	
PB	36	PIERIS 'BOUWER'S BEAUTY'/BOUWER'S BEAUTY PIERIS	24"-30" HT.	5 GAL.	
RC	30	RHODODENDRON CATAWBIENSE 'CHIONOIDES'/ CHIONOIDES RHODODENDRON	24"-30" HT.	B&B.	
		GROUNDCOVERS & PERENIALS			
HH	54	HEMEROCALLIS HYBRIDA 'HAPPY RETURNS'/HAPPY RETURNS DAYLILLY	1 QT.	CONT.	18" O.C.
LB	396	LIRIOPE MUSCARI 'BIG BLUE'/BIG BLUE LIRIOPE	PLUG	4" POT	12" O.C.
SOD	26,294 SF	FESCUE SOD			-

NOTE:

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF $9,480.00.

19 SHADE TREES @ $300 PER TREE = $5700
14 EVERGREEN TREES @ $150 PER TREE = $2100
56 SHRUBS @ $30 PER SHRUB = $1680

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME ____________ DATE ____________

FILE: I:\PROJECTS\10725\LS01cjun.dgn
DATE: 18-Apr-03 11:27

STREET TREE REQUIREMENTS

LINEAR FEET OF FRONTAGE	225 LF
NUMBER OF TREES REQUIRED (1/40 LF)	6
NUMBER OF TREES PROVIDED: SHADE TREES OTHER TREES (2:1 SUBSTITUTION)	 6 0

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	115
NUMBER OF TREES REQUIRED	6
NUMBER OF TREES PROVIDED: SHADE TREES OTHER TREES (2:1 SUBSTITUTION)	 6 0

SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	E	C
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	225 LF	282 LF
CREDIT FOR EXISTING VEGETATION (YES/NO, LINEAR FEET)	NO	NO
CREDIT FOR WALL, FENCE OR BERM (YES/NO, LINEAR FEET)	NO	NO
NUMBER OF PLANT REQUIRED: SHADE TREES EVERGREEN TREES SHRUBS	 6 0 56	 7 14 0
NUMBER OF PLANTS PROVIDED: SHADE TREES OTHER TREES (2:1 SUBSTITUTION) EVERGREEN TREES SHRUBS	 6 0 0 56	 7 10 18 53

APPROVED: DEPT. OF PLANNING AND ZONING

Cindy Hamilton 10/9/03
Chief, Division of Land Development — Date

10/8/03
Chief, Development Engineering Divsion — Date

10/9/03
Director — Date

Address Chart

Lot/Parcel	Street Address
548	8550 Washington Blvd.

Permit Information Chart

Subdivision Name			Section/Area		Parcel
Columbia Junction			3		A
Plat No.	Block No.	Zone	Tax/Zone Map	Elec. Dist.	Census Tract
15807-15808	1	B-2	48	6th	6069.01
Water Code	B-03		Sewer Code	4250000	

STATE OF MARYLAND — DEBRA KAY WITTLE — REGISTERED LANDSCAPE ARCHITECT NO. 955 — 4-28-03

Launch No.	5/18/01
ESA No.	2787
Permit Submittal	3/21/02
Permit Clearance	
Bid Issue	
Project No.	10725
Drawn By	AJC III
Checked By	KTL

NO.	DATE	REVISION

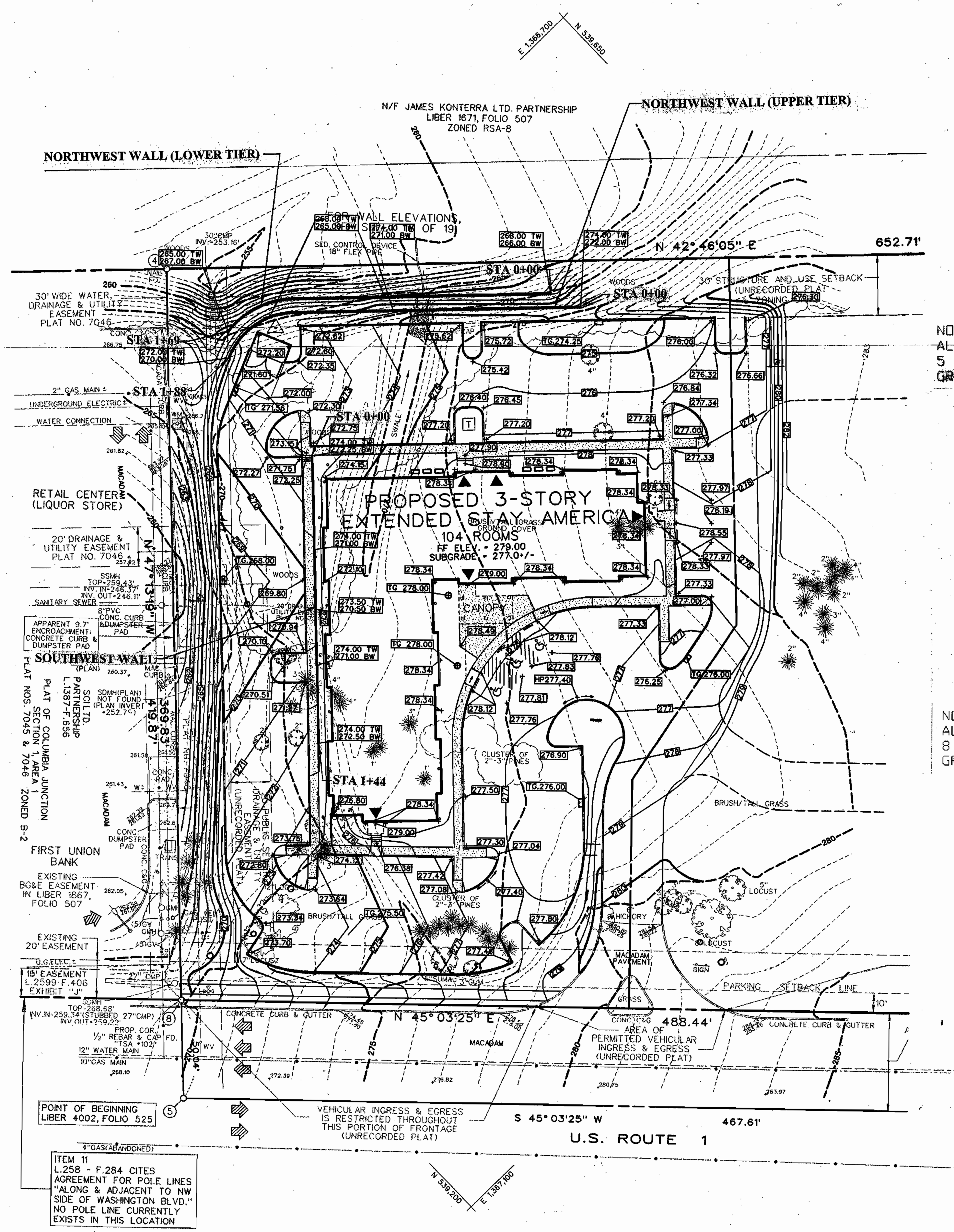
PROJECT: **COLUMBIA JUNCTION**
SECTION 3- PARCEL 'A'
(HOTEL)

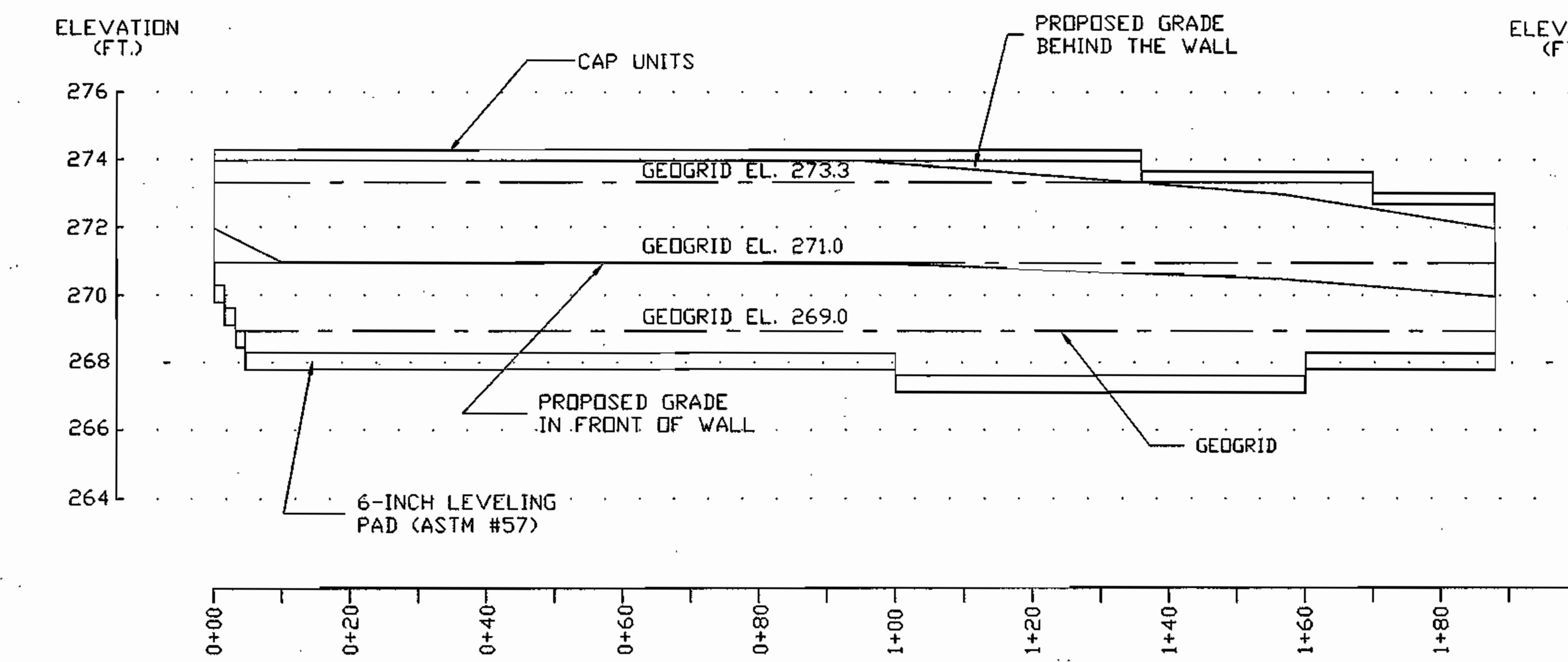
LOCATION:
TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
SITE DEVELOPMENT PLAN LANDSCAPE PLAN & DETAILS

DATE:	MARCH 21, 2002	DRAWING NO.	L-8.1
SCALE:	1" = 30'	DRAWING	17 OF 20

SDP-02-95

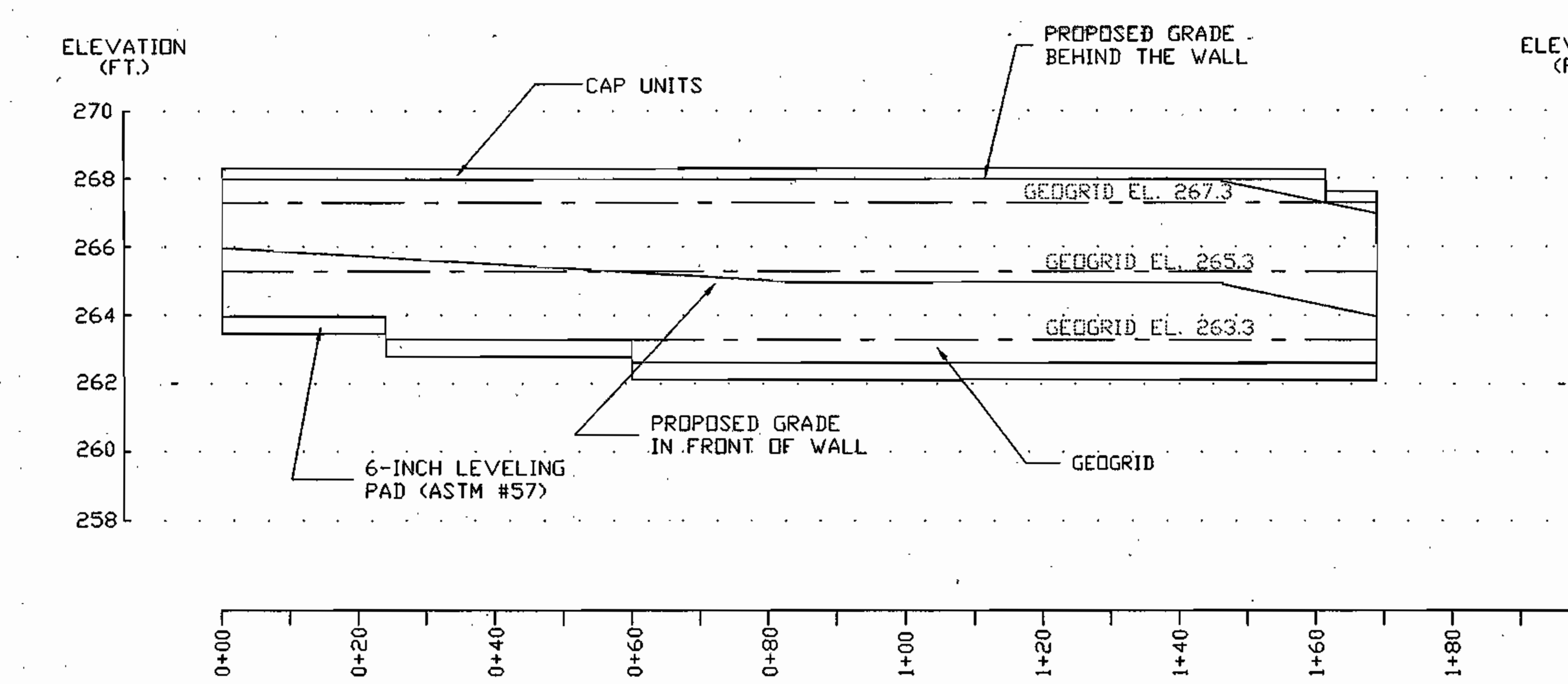




NOTE:
~~ALL GRIDS ARE~~
5 FEET LONG
GRIDS ARE SF-35

NORTHWEST (UPPER TIER) RETAINING WALL PROFILE

SCALE: HORIZ. 1"=20'
VERT. 1"= 4'



NOTE:
ALL GRIDS ARE
8 FEET LONG
GRIDS ARE SF-35

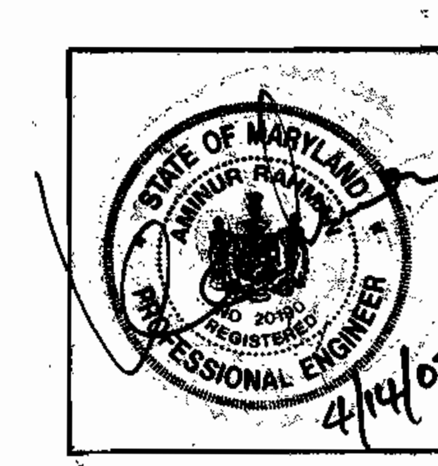
NORTHWEST (LOWER TIER) RETAINING WALL PROFILE

SCALE: HORIZ. 1"=20'
VERT. 1"= 4'

STV Incorporated
7125 Ambassador Road, Suite 200
Baltimore, Maryland 21244-2722
(410)944-9112 Fax (410)298-2794
Engineers / Architects / Planners / Construction Managers

EXTENDED STAYAMERICA
EFFICIENCY STUDIOS
ESA MANAGEMENT, INC.

EXTENDED STAY AMERICA
COLUMBIA JUNCTION, MD
HOWARD COUNTY, MARYLAND



Launch No.	5/18/01
ESA No.	2787
Permit Submittal	
Permit Clearance	
Bid Issue	
Project No.	
Drawn By	
Checked By	

NO.	DATE	REVISION

GEO-TECHNOLOGY ASSOCIATES, INC.
Geotechnical and Environmental Consultants
45064 Underwood Lane, Suite A
Sterling, Virginia 20166
Phone 703-478-0055, Fax 703-478-0137

APPROVED: DEPT. OF PLANNING AND ZONING

Chief, Division of Land Development 10/9/03 Date

Chief, Development Engineering Division 10/8/03 Date

Director 10/9/03 Date

Address Chart	
Lot/Parcel	Street Address
548	8502 Washington Blvd.

Permit Information Chart						
Subdivision Name: Columbia Junction			Section/Area: 3		Parcel: A	
Plat No. 15807-15808	Block No. 1	Zone B-2	Tax/Zone Map 48	Elec. Dist. 6th	Census Tract 6069.01	
Water Code B-03			Sewer Code 4250000			

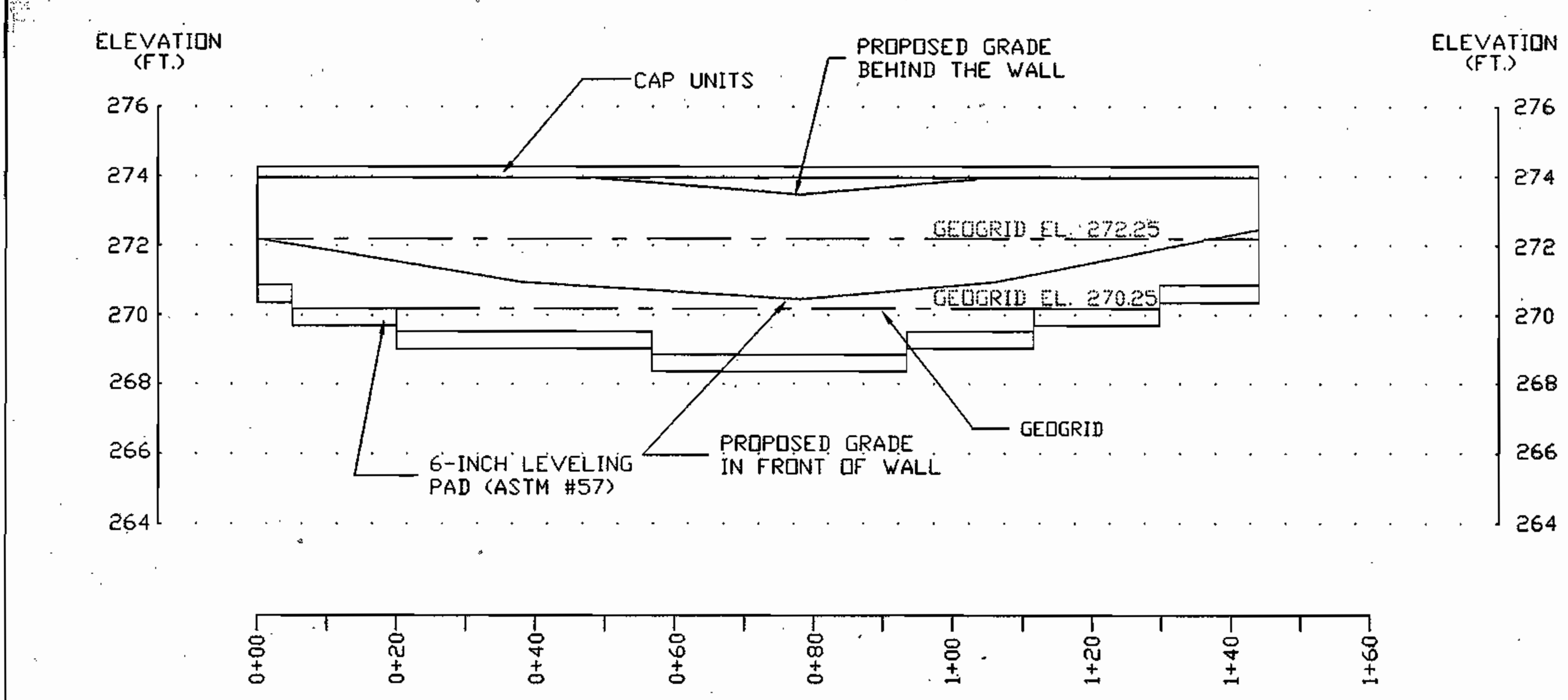
PROJECT: COLUMBIA JUNCTION
SECTION 3- PARCEL 'A'
(HOTEL)

LOCATION:
TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
SITE DEVELOPMENT PLAN
RETAINING WALL PROFILES

DATE:	MARCH 21, 2002	DRAWING NO.	C-9.1
SCALE:	AS SHOWN	DRAWING	18 OF 20

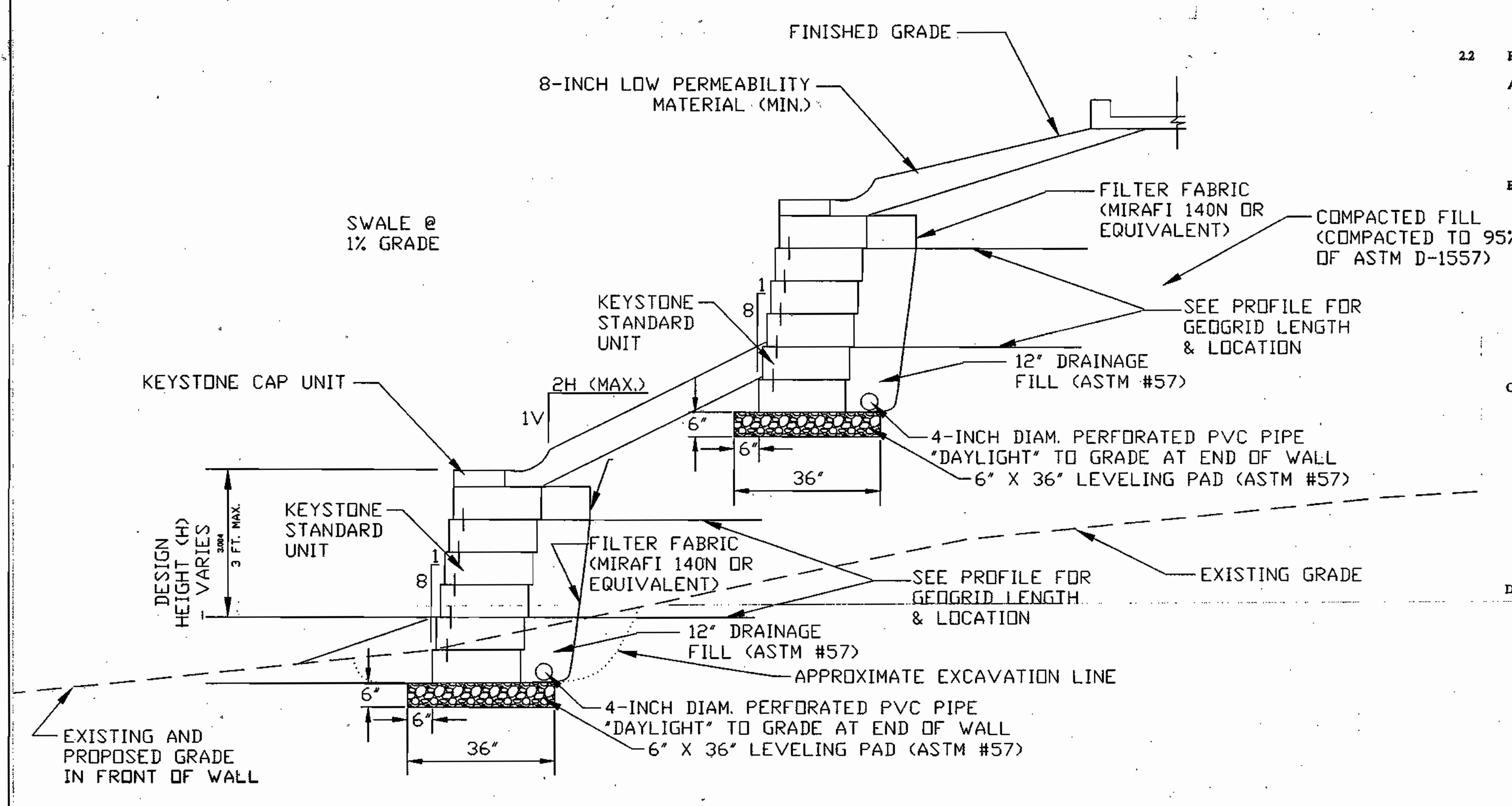
SDP-02-95



NOTE:
ALL GRIDS ARE
4 FEET LONG
GRIDS ARE SF-35

SOUTHWEST RETAINING WALL PROFILE

SCALE: HORIZ. 1"=20'
VERT. 1"= 4'



TYPICAL REINFORCED SECTION FOR TIERED RETAINING WALL

NOTE: FOR GRID TYPE AND LENGTH REFER TO WALL PROFILE.

SCALE: 1"=2'

5/20/02

ESA COLUMBIA JUNCTION
SEGMENTAL RETAINING WALL SPECIFICATIONS

PART 1 GENERAL

1.1 Work includes furnishing and installing Modular block retaining wall units to the lines and grades designated on the construction drawings and as specified herein.

1.2 REFERENCE STANDARDS

A. ASTM C90-75 (1981 rev) - Hollow Load Bearing Masonry Units
B. ASTM C140-75 (1981 rev) - Sampling and Testing Concrete Masonry Units
C. ASTM C145-75 (1981 rev) - Solid Load Bearing Concrete Masonry Units

1.3 DELIVERY, STORAGE AND HANDLING

A. Contractor should check the materials upon delivery to assure that proper material has been received.
B. Contractor should prevent excessive mud, wet cement, epoxy, and like materials which may affix themselves, from coming in contact with the materials.
C. Contractor should protect the materials from damage. Damaged material should not be incorporated into the reinforced retaining wall:

PART 2 RETAINING WALL

2.1 MATERIALS

A. Concrete Units

1. Masonry units should be Keystone Retaining Wall Standard Units as indicated on the drawings.
2. Concrete wall units should have a minimum 28 day compressive strength of 3,000 psi, in accordance with ASTM C-90. The concrete should have adequate freeze/thaw protection with a maximum moisture absorption of 6 to 8 percent.
3. Exterior dimensions may vary. Units are required to have a minimum of one square foot of face area each.
4. Units should have angled sides and capable of attaining concave and convex alignment curves in accordance with manufacturer's recommendations.
5. Units should be interlocked with non-corrosive reinforced fiberglass pins.
6. Units should be interlocked as to provide a maximum of 1-inch of setback per course of wall height.

B. Fiberglass Connecting pins

1. Thermoset isopthalic polyester resin pultruded fiberglass reinforcements rods (½" dia.).
2. Pins should have a minimum flexural strength of 128,000 psi and short beam shear of 6,400 psi.

C. Base Material

1. Material for footing should consist of compacted free-draining coarse aggregates meeting the requirements of ASTM #57 Crushed Stone aggregate (see 2.2, C.2 below). A minimum of 6 inches deep and 36 inches wide compacted base is required. The base materials should be approved by a Maryland Registered Professional Engineer.

D. Reinforced Backfill

1. Reinforced backfill soils behind the wall must be "select fill" meeting the requirements of AASHTO A-2-4 or more granular and have a friction angle of at least 30 degrees. The materials should be compacted and be approved by a Maryland Registered Professional Engineer.

2.2 RETAINING WALL INSTALLATION

A. Excavation

1. The owner's contractor should excavate to the lines and grades shown on the construction drawings. Under no circumstances should the excavation lines and grades be exceeded, except with owner's approval. The contractor should protect the excavation from sloughing by placing a membrane over the face of the excavation.

B. Foundation Soil Preparation

1. Foundation soil should be excavated as required for footing dimensions shown on the construction drawings, or as directed by the Engineer.
2. Foundation soil should be examined by the Engineer to assure that the actual foundation soil strength meets or exceeds assumed design strength. Soils not meeting required strength should be removed and replaced with controlled, compacted material.
3. Foundation soil should be examined by the Engineer to assure that it consists of natural material, or controlled, compacted fill. Existing fill is not considered adequate for direct foundation support.
4. Over-excavated areas should be filled with select material and compacted to 95 percent of maximum dry density in accordance with the Modified Proctor, ASTM D-1557.
5. Bearing capacity for natural and controlled, compacted fill soils should be at least 2,500 psf for the retaining walls.

C. Base Footing

1. The leveling pad footing should be placed as shown on the construction drawings with a minimum thickness of 6 inches. The leveling pad material should consist of crushed stone meeting the gradation requirements for ASTM #57 crushed stone or as approved by a registered professional geotechnical engineer.
2. Leveling pad footing materials should be installed upon undisturbed in-situ soils or controlled, compacted backfill.
3. Material should be compacted so as to provide a level hard surface on which to place the first course of units. Compaction should be with mechanical plate compactors to 95 percent of ASTM D-1557 (Modified Proctor).
4. Footing should be prepared to insure complete contact of retaining wall unit with base. Gaps should not be allowed.

D. Unit Installation

1. First course of concrete wall units should be placed on the footing. The units should be checked for level and alignment. The first course is the most important to insure accurate and acceptable results.
2. Insure that units are in full contact with base.
3. Units are placed side by side for full length of wall alignment. Alignment may be done by means of a string line or offset from base line.
4. Install fiberglass connector.
5. Lay up each course insuring that the connector pins are inserted through front slot of the unit, and into the receiving slot in the course beneath. Repeat procedure to the extent of wall height.
6. At the end of each course where the wall changes elevation, units should be turned into the backfill. Units should be laid as to create the minimum radius possible. A minimum of 2 feet or as shown on the drawings should be installed into the grade. Only the front face of the units should be visible from the side of the wall.
7. Keystone Standard Units should be used to make convex and concave curves in accordance with manufacturer's recommendations.
8. Cap units should be installed and bonded with construction adhesive or epoxy cement as required by manufacturer.
9. Contractor should provide positive drainage for the back of the retaining wall during construction.

GEOGRID WALL REINFORCEMENT

PART I GENERAL

1.1 Work includes furnishing and installing geogrid reinforcement, wall fill, and backfill to the lines and grades designated on the construction drawings. Also included is the furnishings and installing all appurtenant materials required for construction of the geogrid reinforced soil retaining wall as shown on the construction drawings.

1.2 REFERENCE STANDARDS

A. ASTM D 638 - Test Method for Tensile Properties of Plastic
B. ASTM D 1248 - Specification of Polyethylene Plastics Molding and Extrusion Materials
C. ASTM D 4218 - Test Method for Carbon Black Content in Polyethylene Compounds by the Muffle Furnace Technique
D. ASTM D 1785 - Specification for Poly (Vinyl Chloride) (PVC) Plastic Pipe, Schedules 20, 40, 80 and 120

1.3 DELIVERY STORAGE AND HANDLING

A. GEOGRID

1. Contractor should check the geogrid upon delivery to assure that the proper material has been received.
2. Geogrids should be stored above -20 degrees F.
3. Contractor should prevent excessive mud, wet cement, epoxy and like materials which may affix themselves to the grid-work, from coming in contact with the geogrid.
4. Maximum geogrid spacing should be 1.33 feet or as shown on the drawings.

PART 2 MATERIALS

2.1 DEFINITIONS

A. Geogrid is a soil reinforcement grid, used in reinforced zone.
B. Concrete retaining wall units are as detailed on the drawings and are specified under PART 2-2.1-A Concrete Units.
C. Backfill is the soil which is used as fill for the reinforced soil mass.
D. Foundation soil is the in-situ soil or compacted fill at foundation level.

2.2 PRODUCTS

A. Geogrid should be Synteen SF35 or equivalent as approved by GTA.

PART 3 EXECUTION

3.1 FOUNDATION SOIL PREPARATION

A. The wall excavation should be performed as shown on the drawings.
B. Foundation soil should be proof-rolled prior to fill and geogrid placement.
C. Foundation soil should be excavated to the lines and grades as shown or as directed by the Engineer.
D. Foundation soil must be examined by the Engineer to assure that the actual foundation soil strength meets or exceeds assumed design strength.
E. Over-excavated areas should be filled with compacted granular material.

3.2 GEOGRID INSTALLATION FOR RETAINING WALLS

A. The geogrid soil reinforcement should be laid horizontally on compacted backfill, connected to the concrete wall units. Hook grid over the fiberglass connector, pull taut, and anchor before backfill is placed on the geogrid.
B. Slack in the geogrid at the wall unit connections should be removed in a manner, and to such a degree, as approved by the Engineer.
C. Geogrid should be laid at the proper elevation and orientation as shown on the construction drawings or as directed by the Engineer.
D. Correct orientation (roll direction) of the geogrid should be verified by the Contractor.
E Geogrid should be secured in-place with staples, pins, sand bags, or backfill as required by fill properties, fill placement procedures, or weather conditions, or as directed by the Engineer.
F. Overlaps
1. Uniaxial geogrid does not need to be overlapped in the across the roll direction, except to contain the fill at the slope face when wrap-around facing is used. Uniaxial grid should be overlapped a minimum of 48 inches in the roll direction, or as directed by the engineer.
2. A layer of soil a minimum of 4 inches in thickness should be spread between uniaxial geogrid layers in the area to be overlapped, or as directed.

4. FILL PLACEMENT

A. Wall backfill material should be placed in 6-inch lifts and compacted to 95 percent of ASTM D-1557 (Modified Proctor).
B. Backfill should be placed, spread, and compacted in such a manner that minimizes the development of wrinkles in and/or movement of the geogrid.
C. Only hand-operated compaction equipment should be allowed within 4 feet of the wall face.
D. Backfill should be placed from the wall outward to insure that the geogrid remains taut.
E. Tracked construction equipment should not be operated behind or above the wall.
F. Rubber-tired equipment may pass over the geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning should be avoided.

5. DRAINAGE

A. Drainage fill should be placed behind the wall to the limits shown. The drainage fill should be a minimum of 12 inches. The drainage fill should be ASTM #57 stone. The drainage fill should be wrapped in filter fabric (Mirafi 140N or equal) as shown on the drawings.
B. Positive drainage should be maintained during and after construction. Soils within the reinforced zone that become wet during construction should be dried to optimum moisture or removed.

GENERAL NOTES

PART I CONSTRUCTION CERTIFICATION

A. The required leveling pad subgrade bearing capacity should be certified by a Maryland Registered Professional Geotechnical Engineer prior to footing placement.
B. Construction of retaining wall should be performed under the observations of a Maryland Registered Professional Engineer. Conformance testing should be performed to verify material engineering properties. Upon completion of the work, the engineer should submit a signed and sealed report stating that the retaining wall was constructed in accordance with the plans, specifications, and accepted modifications (if applicable).

PART II DESIGN CRITERIA

A. Required bearing capacity is 2,500 psf, minimum
B. Design $\Phi = 30$ degrees
C. Design unit weight = 125 pcf.
D. Soils utilized for fill material behind the wall meeting AASHTO A-2-4 or more granular.
E. Retaining wall was not designed to resist hydrostatic pressure.
F. Construction will be monitored by a professional engineer.

GEO-TECHNOLOGY ASSOCIATES, INC.
Geotechnical and Environmental Consultants
45064 Underwood Lane, Suite A
Sterling, Virginia 20166
Phone 703-478-0055, Fax 703-478-0137

STV Incorporated
Engineers / Architects / Planners / Construction Managers

EXTENDED STAYAMERICA
EFFICIENCY STUDIOS
ESA MANAGEMENT, INC.

EXTENDED STAY AMERICA
COLUMBIA JUNCTION, MD
HOWARD COUNTY, MARYLAND

Launch No.	5/18/01
ESA No.	2787
Permit Submittal	
Permit Clearance	
~~Bid Issue~~	
Project No.	
Drawn By	
Checked By	

NO.	DATE	REVISION

APPROVED: DEPT. OF PLANNING AND ZONING

Chief, Division of Land Development — Date 10/9/03
Chief, Development Engineering Divsion — Date 10/8/03
Director — Date 10/9/03

Address Chart	
Lot/Parcel	Street Address
548	8502 Washington Blvd.

Permit Information Chart

Subdivision Name			Section/Area		Parcel
Columbia Junction			3		A
Plat No.	Block No.	Zone	Tax/Zone Map	Elec. Dist.	Census Tract
15807-15808	1	B-2	48	6th	6069.01
Water Code	B-03		Sewer Code	4250000	

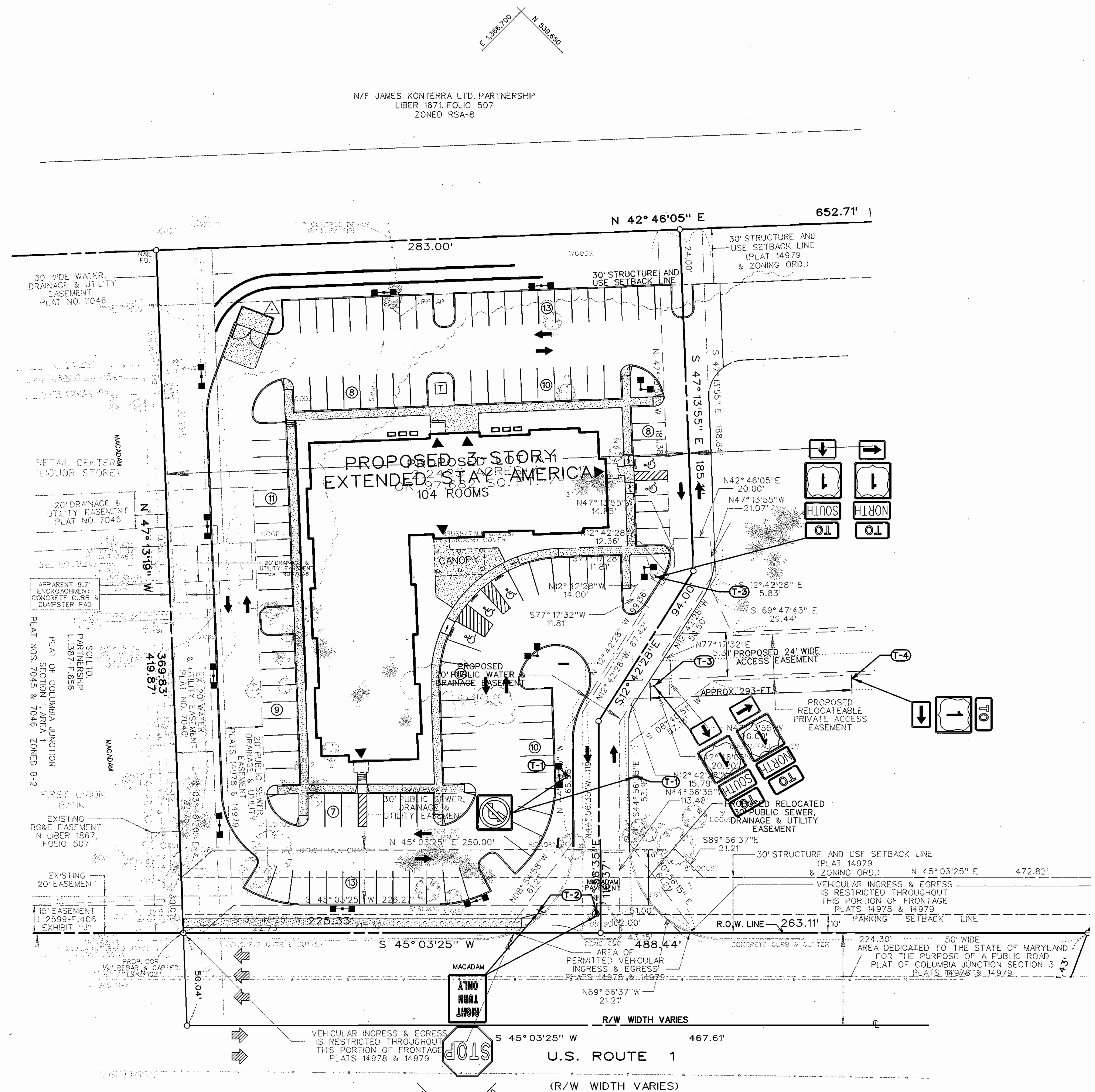
PROJECT: COLUMBIA JUNCTION
SECTION 3- PARCEL 'A'
(HOTEL)

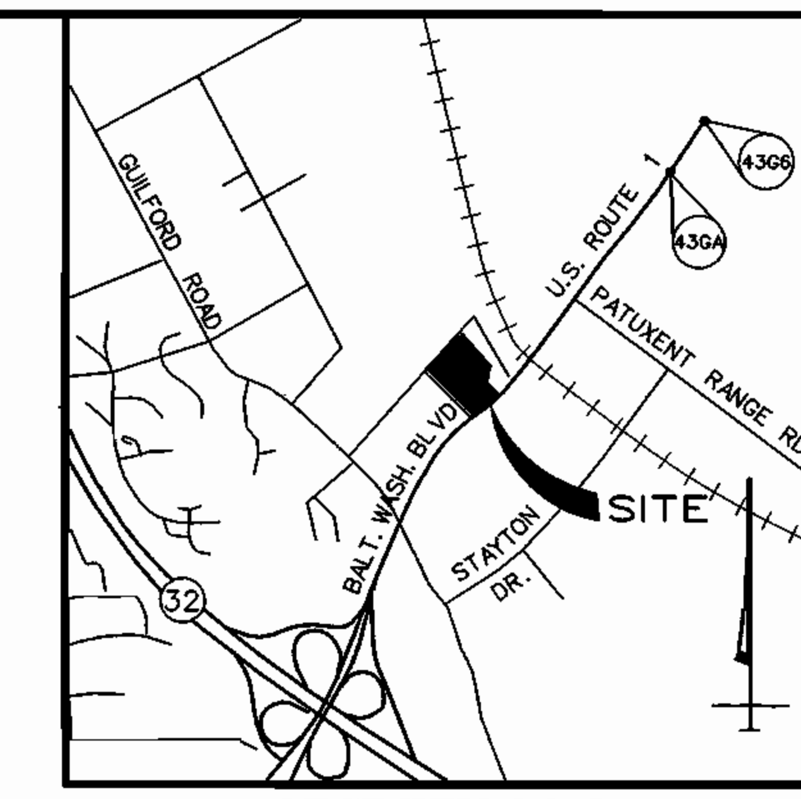
LOCATION:
TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
SITE DEVELOPMENT PLAN
RETAINING WALL DETAILS

DATE:	MARCH 21, 2002	DRAWING NO.	C-9.2
SCALE:	AS SHOWN	DRAWING	19 OF 20

SDP-02-95





VICINITY MAP
1" = 2000'

STV Incorporated
7125 Ambassador Road, Suite 200
Baltimore, Maryland 21244-2722
(410)944-9112 fax (410)298-2794
Engineers / Architects / Planners / Construction Managers

EXTENDED STAYAMERICA
EFFICIENCY STUDIOS
ESA MANAGEMENT, INC.

EXTENDED STAY AMERICA
COLUMBIA JUNCTION, MD
HOWARD COUNTY, MARYLAND

BENCHMARK - NAD '83

BENCHMARK •43GA: STAMPED DISC SET ON 3' CYLINDRICAL CONC. BASE 1"-2" BELOW SURFACE, 72.5' SW OF C&P POLE •178, 4.8' FROM EOP NORTHBOUND LANE OF U.S. ROUTE 1. ELEVATION = 241.665'

BENCHMARK •43G6: STAMPED DISC SET ON 3' CYLINDRICAL CONC. BASE 1"-2" BELOW SURFACE, 68.8' SW OF F.H. AT CORNER OF MOTEL, 3.5' SE OF EOP NORTHBOUND LANE OF U.S. ROUTE 1. ELEVATION = 220.142'

TRAFFIC NOTES:

T-1 INSTALL "NO LEFT TURN" (R3-2) GRAPHIC TRAFFIC SIGN PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND HOWARD COUNTY DESIGN MANUAL VOL. 3.

T-2 INSTALL STANDARD STOP SIGN (R1-1) WITH "RIGHT TURN ONLY" SIGN (R3-3(4)) MOUNTED BELOW STOP SIGN PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND HOWARD COUNTY DESIGN MANUAL VOL. 3.

T-3 INSTALL TRAFFIC DIRECTIONAL SIGNAGE (M4-5, M3-1 or M3-3, M1-4 AND M6-1 or M6-3) PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND HOWARD COUNTY DESIGN MAUNAL VOL. 3.

T-4 INSTALL TRAFFIC DIRECTIONAL SIGNAGE (M4-3, M 1-4 AND M 6-1) APPROX. 100 FT. FROM INTERSECTION OF ACCESS EASEMENT AND ROAD ALIGNMENT OF JUNCTION DR. PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND HOWARD COUNTY DESIGN MAUNAL VOL. 3.

STATE OF MARYLAND
RONALD EDWARD THOMPSON
No. 18417
PROFESSIONAL ENGINEER
4/9/03

Launch No.	5/18/01
ESA No.	2787
Permit Submittal	3/21/02
Permit Clearance	
Bid Issue	
Project No.	10725
Drawn By	AJC III
Checked By	KTL

NO.	DATE	REVISION

APPROVED: DEPT. OF PLANNING AND ZONING

Chief, Division of Land Development — Date 10/9/03
Chief, Development Engineering Divsion — Date 10/8/03
Director — Date 10/9/03

Address Chart	
Lot/Parcel	Street Address
548	8550 Washington Blvd.

Permit Information Chart

Subdivision Name	Section/Area	Parcel
Columbia Junction	3	A

Plat No.	Block No.	Zone	Tax/Zone Map	Elec. Dist.	Census Tract
15807-15808	1	B-2	48	6th	6069.01

Water Code	Sewer Code
B-03	4230000

PROJECT:
COLUMBIA JUNCTION
SECTION 3- PARCEL 'A'
(HOTEL)

LOCATION:
TAX MAP 48 - BLOCK 1
PARCELS 90, 91, 114 & 548
6TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:
SITE DEVELOPMENT PLAN
TRAFFIC PLAN

DATE:	MARCH 21, 2002	DRAWING NO.	C-2.1
SCALE:	1" = 30'	DRAWING	20 OF 20

SDP-02-95