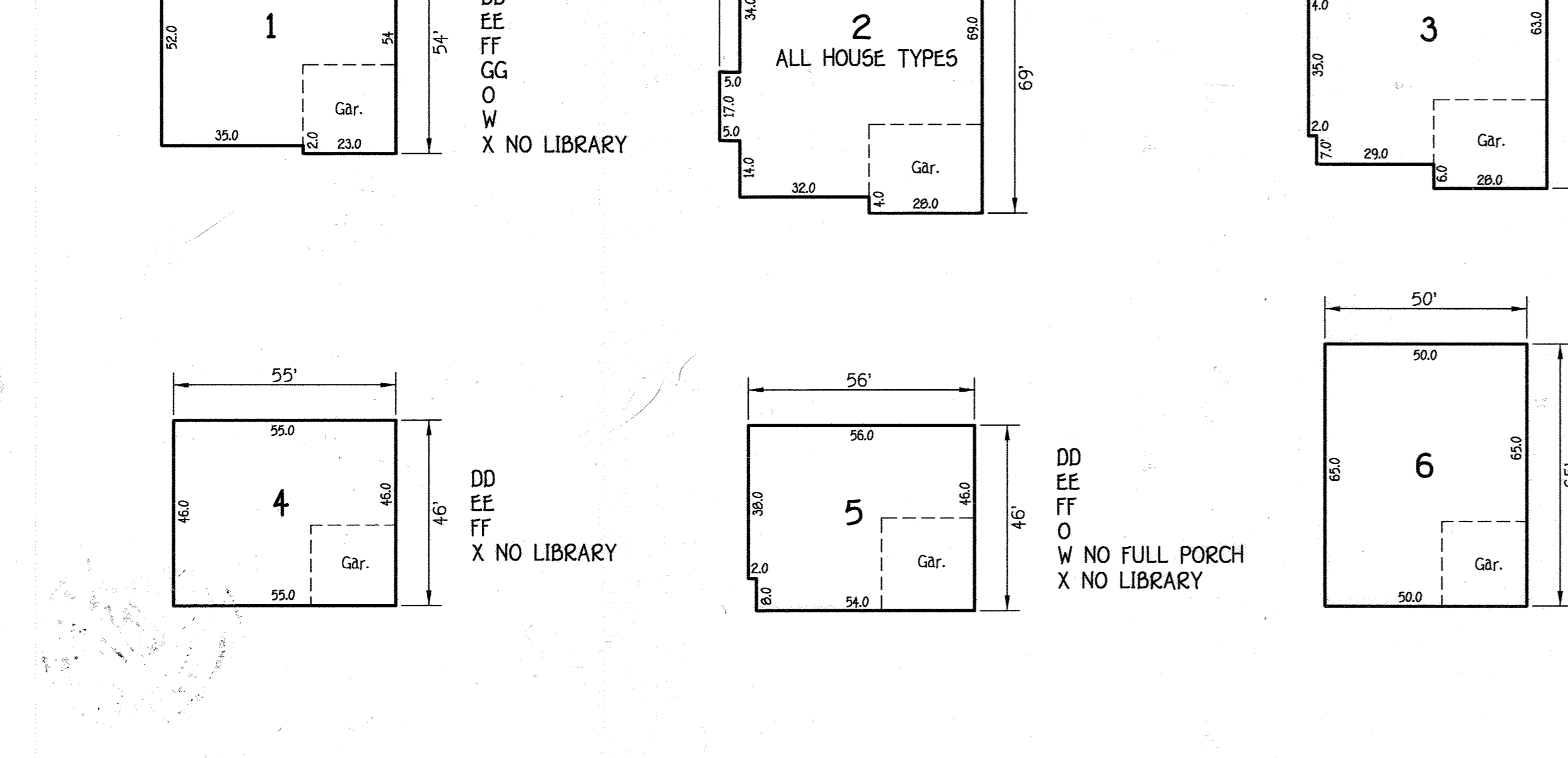
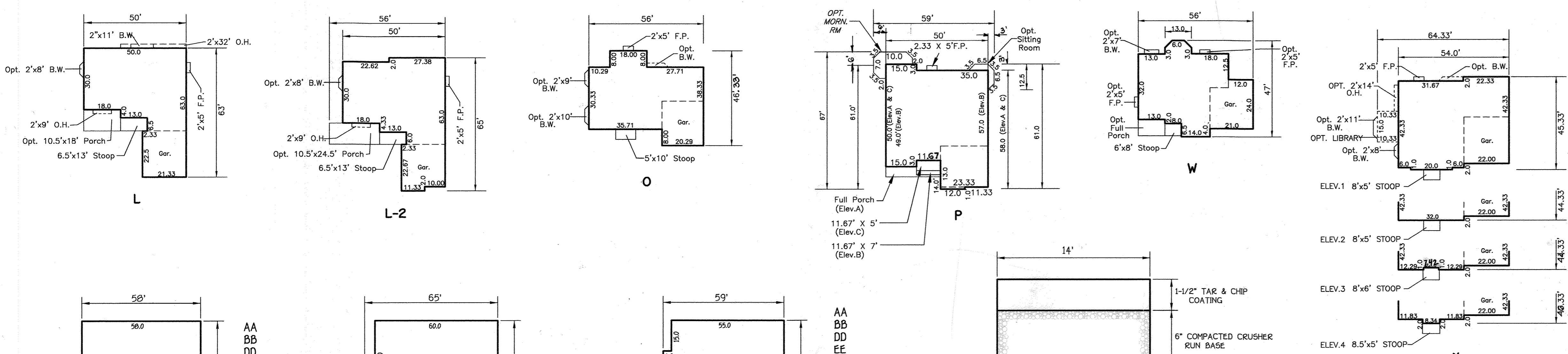
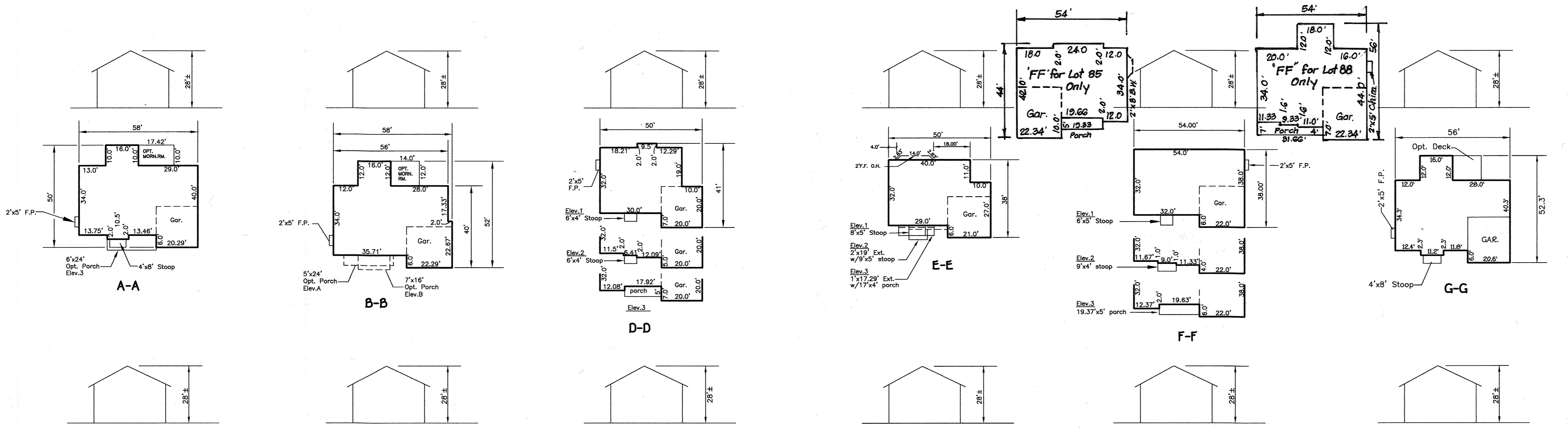


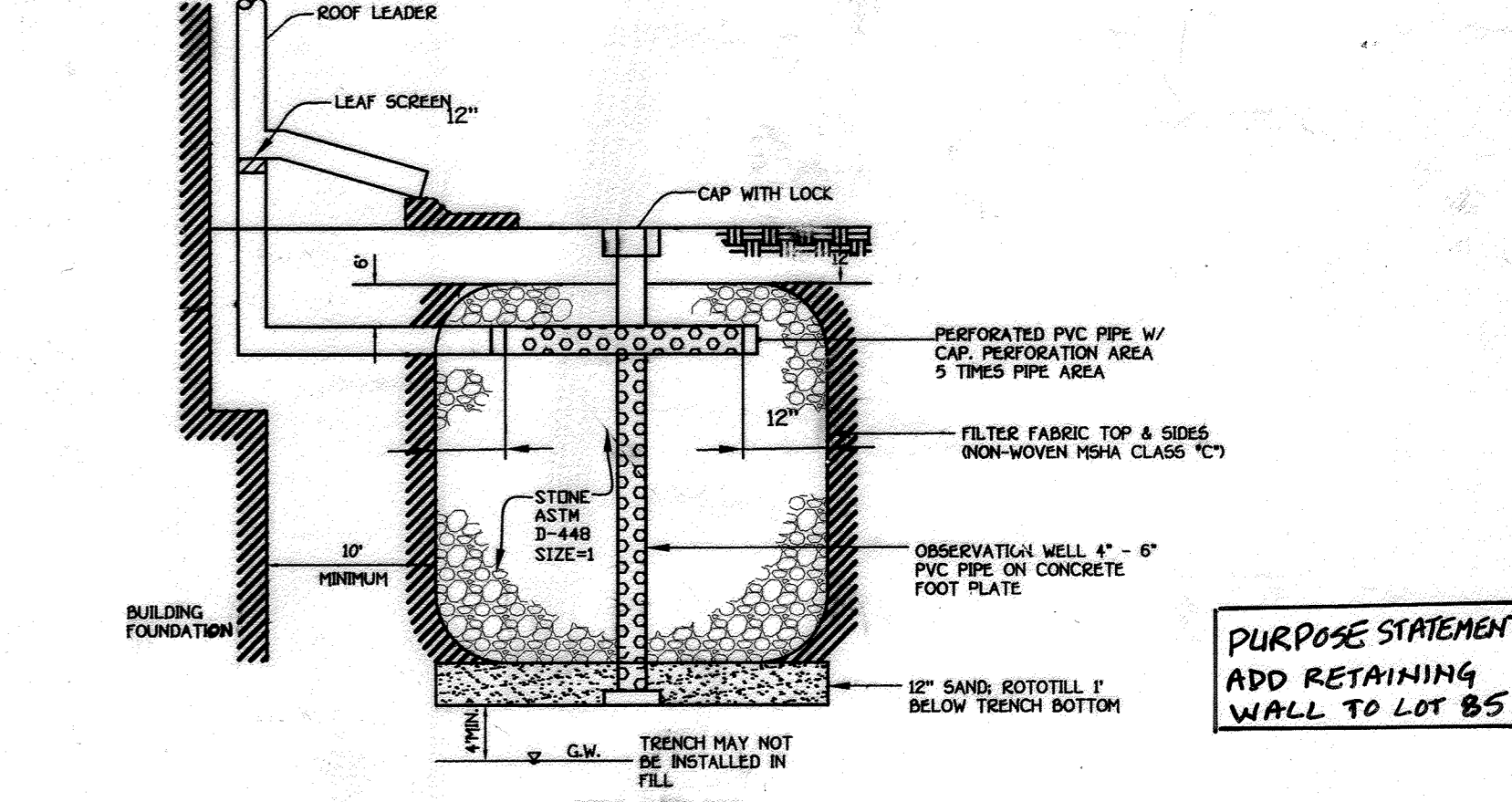
BENCH MARKS
 MON. 41A ELEV. 407.502
 N. 544,825,805
 E. 1,339,217,454
 LOC. NEAR THE INTERSECTION
 OF RTE. 29 & JOHNS HOPKINS RD.
 MON. 47AB ELEV. 399.261
 N. 540,059,232
 E. 1,350,005,025
 LOC. ALONG GORMAN ROAD
 NEAR INTERSECTION OF LEISHEAR RD.



LOT NO.	GROSS AREA	PIPESTEM AREA	MINIMUM AREA
01	14,196 SQ.FT.	195 SQ.FT.	14,001 SQ.FT.
02	14,433 SQ.FT.	432 SQ.FT.	14,001 SQ.FT.
03	14,666 SQ.FT.	665 SQ.FT.	14,001 SQ.FT.
04	15,708 SQ.FT.	894 SQ.FT.	14,014 SQ.FT.
05	14,911 SQ.FT.	906 SQ.FT.	14,005 SQ.FT.
06	14,878 SQ.FT.	878 SQ.FT.	14,000 SQ.FT.
07	14,677 SQ.FT.	676 SQ.FT.	14,001 SQ.FT.
08	14,476 SQ.FT.	475 SQ.FT.	14,001 SQ.FT.
09	14,274 SQ.FT.	273 SQ.FT.	14,001 SQ.FT.

LOT NUMBER	STREET ADDRESS
77	10404 EB WHITE COURT
78	10408 EB WHITE COURT
79	10412 EB WHITE COURT
80	10416 EB WHITE COURT
81	10420 EB WHITE COURT
82	10424 EB WHITE COURT
83	10428 EB WHITE COURT
84	10432 EB WHITE COURT
85	10436 EB WHITE COURT
86	10431 EB WHITE COURT
87	10427 EB WHITE COURT
88	10423 EB WHITE COURT
89	10419 EB WHITE COURT

- GENERAL NOTES**
- SUBJECT PROPERTY ZONED R-20 PER 10/18/93 COMPREHENSIVE ZONING PLAN.
 - TOTAL AREA OF SITE 4.35 ACRES
 - TOTAL NUMBER OF LOTS SUBMITTED 13
 - THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1890 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "M&E UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
 - THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES P-01-H, 5-99-H, F-01-28, WAS CONT. '34-392-D.
 - THIS PLAN IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT JUNE, 1999 BY DAFT MCCUNE WALKER, INC.
 - HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS.
 - HOWARD COUNTY MONUMENT 41E4 N 544,825,805 E 1,339,217,454
 - HOWARD COUNTY MONUMENT 47AD N 540,059,232 E 1,350,005,025
 - ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
 - THIS PLAN IS FOR HOUSE SITING AND GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHTS-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION. FOR CONSTRUCTION SEE APPROVED ROAD CONSTRUCTION PLANS F-01-28, AND/OR APPROVED WATER AND SEWER PLANS CONTRACT NO. 34-392-D.
 - CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION.
 - LANDSCAPING FOR LOTS 77 THRU 92 IS PROVIDED IN ACCORDANCE WITH A CERTIFIED LANDSCAPE PLAN ON FILE WITH THIS PLAN IN ACCORDANCE WITH SECTION 16.02 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SECURITY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$10,000.00.
 - STORMWATER MANAGEMENT WILL BE PROVIDED BY F-01-28.
 - THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBMISSION HAS BEEN FULFILLED BY RETENTION OF EXISTING FOREST IN THE AMOUNT OF 136 ACRES (90,559.56 SQ. FT. AT 80,000 SQ. FT. REFORESTATION IN AMOUNT OF 617 ACRES (74,952.50 SQ. FT. AT 3,702.60) AND BY THE PURCHASE OF CREDITS EQUAL TO 1.41 ACRES AT THE FOREST MITIGATION BANK LOCATED ON THE WINKLER PROPERTY. FOREST CONSERVATION SURVEY IN THE AMOUNT OF \$13,808.52 FOR RETENTION AND REFORESTATION HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT.
 - STORMWATER MANAGEMENT IS PROVIDED VIA DETENTION/FACILITY. STORMWATER MANAGEMENT WILL BE PRIVATELY OWNED AND JOINTLY MAINTAINED.
 - HOWARD COUNTY STANDARD DRIVEWAY DETAIL R-4-03 & R-6-03
 - SITE DEVELOPMENT PLAN FOR SINGLE FAMILY DETACHED UNITS.
 - DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLING TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - A) WIDTH - 12 FEET (4 FEET IF SERVING MORE THAN ONE RESIDENCE)
 - B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING
 - C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM 45-FOOT TURNING RADIUS
 - D) STRUCTURES (CULVERTS/BRIDGES) - MUST BE CAPABLE OF SUPPORTING 25 GROSS TON (025 LOADING)
 - E) DRAINAGE ELEMENTS - CAPABLE OF SAFETY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 - F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
 - G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
 - FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND THE ROAD RIGHT-OF-WAY LINE ONLY AND NOT ONTO THE FLAG OR PIPESTEM LOT DRIVEWAY.
 - FOREST STAND AND WETLAND DELINEATION PERFORMED BY ECO-SCIENCE PROFESSIONALS ON JANUARY 12, 1998.
 - OPEN SPACE LOTS 90 & 92 WILL BE CONVEYED TO THE HOMEOWNERS ASSOCIATION AND LOT 91 TO HOWARD COUNTY, MARYLAND (DEPARTMENT OF RECREATION AND PARKS).
 - NO FLOODPLAINS EXIST ON SITE.
 - IN ACCORDANCE WITH SECTION 1229 (A)(D) OF THE HO.CO. ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACK. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACKS.
 - AS A RESULT OF PRELIMINARY PLAN SUBMISSION FOR COUNTY REVIEW PRIOR TO NOVEMBER 15, 2001, THIS PLAN IS SUBJECT TO COMPLIANCE WITH THE FOURTH EDITION OF THE SUBDIVISION REGULATIONS. IN ADDITION, THIS PLAN IS SUBJECT TO COUNTY COUNTY BILL 50-2001 THAT AFFECTS PORTIONS OF THE SUBDIVISION REGULATIONS.
 - NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS, OR THEIR BUFFERS AND FOREST CONSERVATION AREAS.
 - NO LANDSCAPING MAY BE PLANTED WITHIN THE EXISTING DRAINAGE AND UTILITY EASEMENTS.



DRY WELL CHART

LOT NO.	AREA / F. ROOF PER SQ. W. (SLOPE)	VOLUME (CUBIC FEET)	AREA OF TREATMENT	NO. OF WELLS	D	L	W
LOT 81	1000	1000	1000	2	4	4	4
LOT 82	1000	1000	1000	2	4	4	4
LOT 83	1000	1000	1000	2	4	4	4
LOT 84	1000	1000	1000	2	4	4	4
LOT 85	1000	1000	1000	2	4	4	4
LOT 86	1000	1000	1000	2	4	4	4
LOT 87	1000	1000	1000	2	4	4	4
LOT 88	1000	1000	1000	2	4	4	4
LOT 89	1000	1000	1000	2	4	4	4

STORMWATER MANAGEMENT NOTES

- STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER DESIGN MANUAL. CREDITS ARE GIVEN FOR REDUCTION OF PREVIOUS CONCRETE.
- MINIMUM CONTRIBUTING ROOF TOP AREA DOWN SLOUT SHALL BE LESS THAN 500 SQ. FT.
- DETENTION SHALL BE PROVIDED AT LOCATION WHERE THE LENGTH OF DETENTION IS LESS THAN 75' AT 2% AND THE SIZE AND CONSTRUCTION OF THE DETENTION SHALL BE IN ACCORDANCE WITH THE FIGURE 52 OF THE MANUAL AND THE DETAIL SHOWN ON THIS SHEET.
- FINAL GRADING IS SHOWN ON THIS SITE DEVELOPMENT PLAN.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL FREE
 ELLICOTT CITY, MARYLAND 21042
 (410) 481-2855

NO.	REVISIONS	DATE
1	ADD RETAINING WALL LOT 05	3/20/22
2	Revise Drywell Chart	11/18/20
3	Add hse types for lots 85 & 88	2-24-03
4	ADDED DRYWELLS TO 81 THRU 86	10-4-02
5	REV. hse. & grad. lot 85	7-2-02

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of Engineer: Charles J. Crovo, Sr. P.E.
 Date: 4/18/02

DEVELOPER'S CERTIFICATE
 I/we certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer: B. James Greenfield
 Date: 4-25-02

Reviewed for HOWARD SCD and meets Technical Requirements.
 Signature: John R. Koler, P.E.
 Date: 5/8/02

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Signature: [Signature]
 Date: 5/18/02

OWNER/BUILDER/DEVELOPER
 COLUMBIA BUILDERS
 P.O. BOX 999
 COLUMBIA, MARYLAND 21044
 410-730-3940

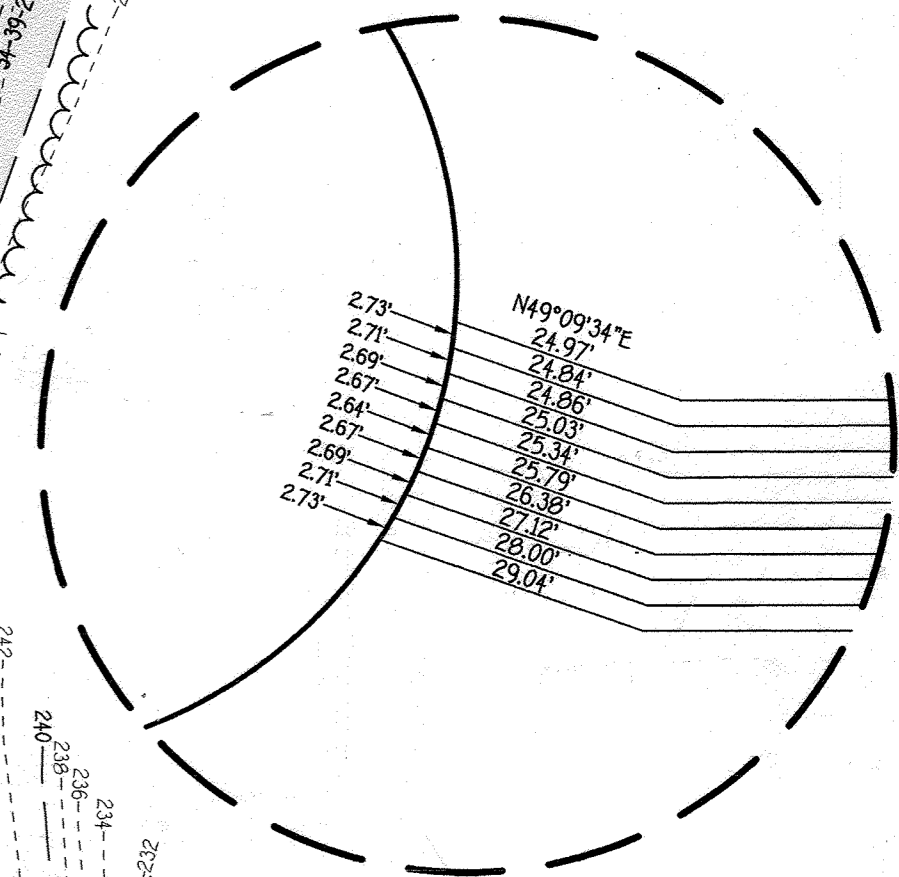
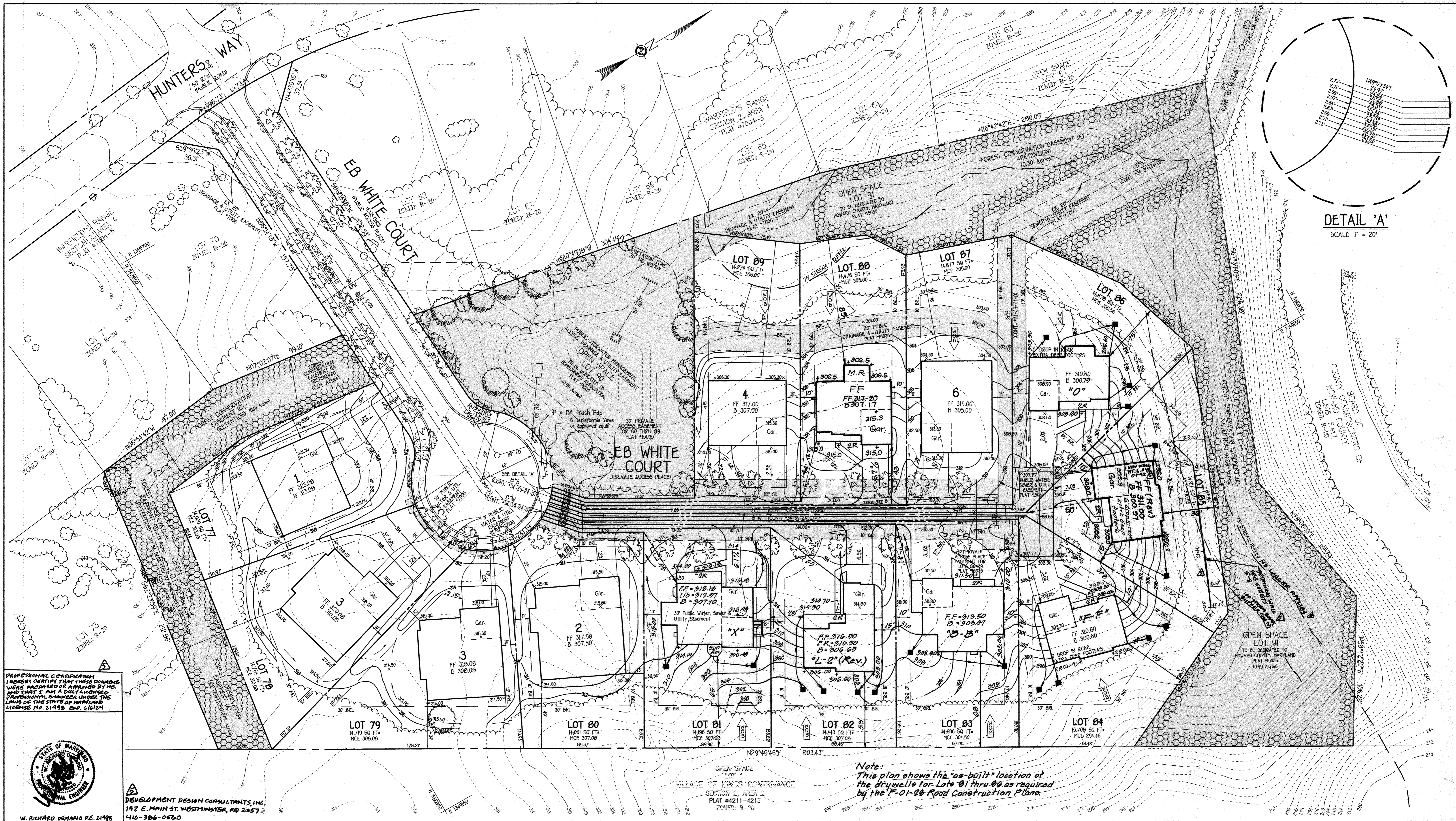
REVISSED SITE DEVELOPMENT PLAN

WARFIELDS RANGE II
 SECTION 2 AREA 4
 LOTS 77 THRU 89

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
15035	19	R-20	42	SIXTH	6069.02

WATER CODE: E-17
 SEWER CODE: 6360000

TAX MAP No: 42 P/O PARCEL: 454
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30'
 DATE: FEBRUARY, 2002
 SHEET 1 OF 8



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DRAWINGS
 WERE PREPARED OR APPROVED BY ME,
 AND THAT I AM A DULY LICENSED
 PROFESSIONAL ENGINEER UNDER THE
 LAWS OF THE STATE OF MARYLAND
 LICENSE NO. 21498 Exp. 6/1/24



DEVELOPMENT DESIGN CONSULTANTS, INC.
 142 E. MAIN ST. WESTMINSTER, MD 21157
 410-386-0560

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer: Charles J. Crovo, Sr. P.E.
 Date: 1/12/02

DEVELOPER'S CERTIFICATE

"I/we certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer: James Greenfield
 Date: 4-25-02

Reviewed for HOWARD SCD and meets Technical Requirements. 5/8/02
 Date: 5/8/02

Signature of Engineer: James Greenfield
 Date: 5/8/02

Signature of Developer: James Greenfield
 Date: 5/8/02

OWNER/BUILDER/DEVELOPER

COLUMBIA BUILDERS
 P.O. BOX 999
 COLUMBIA, MARYLAND 21044
 (410) 730-3940

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature of Chief, Division of Land Development: Cindy Howard
 Date: 5/13/02

Signature of Chief, Development Engineering Division: [Signature]
 Date: 5/10/02

Signature of Director, Department of Planning and Zoning: [Signature]
 Date: 5/13/02

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
15035	19	R-20	42	SIXTH	6069.02
WATER CODE		SEWER CODE			
E-17		6360000			

REVISED SITE DEVELOPMENT PLAN

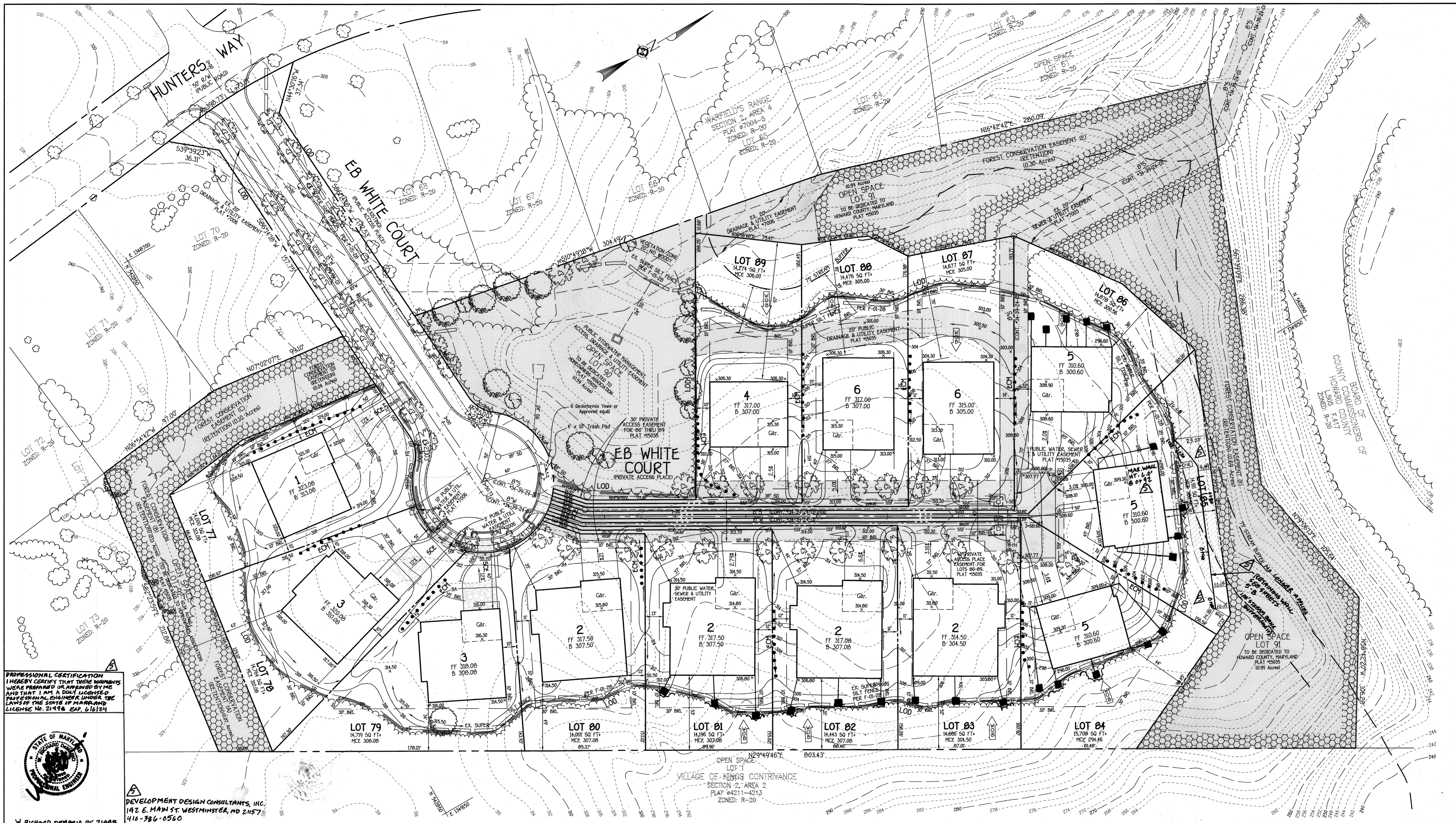
WARFIELDS RANGE II
 SECTION 2 AREA 4
 LOTS 72 THRU 89

TAX MAP No: 42 PARCEL: 454
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: FEBRUARY, 2002
 SHEET 2 OF 8

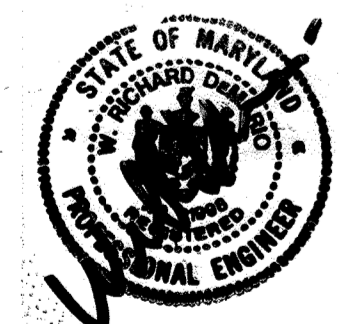
FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 5072 BALTIMORE NATIONAL PIKE
 BELLETT CITY, MARYLAND 20842
 410 461 - 2255



SOP 02-87



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED OR REVISED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 21996 EXP. 6/1/24



DEVELOPMENT DESIGN CONSULTANTS, INC.
 192 E. MAIN ST. WESTMINSTER, MD 21157
 410-386-6560

W. RICHARD DEMARIS PE 21996

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10722 SA. THORE NATIONAL PkE
 ELICOTT CITY, MARYLAND 21042
 410-481-2895

NO.	REVISIONS	DATE
1	ADD RETAINING WALL LOT 85	3/28/02
2	ADDED DRYWELLS TO 81 THRU. 86	10-4-02
1	Rev. hsc. & 9rd. lot 85	7-2-02



ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: *Charles J. Crova* Date: 4/18/02
 Charles J. Crova, Sr., P.E.

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer: *B. James Greenfield* Date: 4-25-02
 B. JAMES GREENFIELD

Approved for HOWARD COUNTY meets Technical Requirements.

Jim Myers 5/18/02
 Chief, Natural Resources Conservation Service

John R. Robertson 5/18/02
 Director, HOWARD COUNTY SOIL CONSERVATION DISTRICT

OWNER/BUILDER/DEVELOPER
 COLUMBIA BUILDERS
 P.O. BOX 999
 COLUMBIA, MARYLAND 21044
 (410) 730-3940

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

David Harris 5/18/02
 Chief, Division of Land Development

Michael Dammann 5/18/02
 Chief, Development Engineering Division

Paul Harris 5/13/02
 Director, Department of Planning and Zoning

PROJECT	SECTION/AREA	LOT NO.
WARFIELD'S RANGE II	2/4	77-89

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
15035	19	R-20	42	SIXTH	6069.02

WATER CODE	SEWER CODE
E-17	6360000

SEDIMENT/EROSION CONTROL PLAN
 REVISED SITE DEVELOPMENT PLAN

WARFIELD'S RANGE II
 SECTION 2 AREA 4
 LOTS 72 THRU 89

TAX MAP No: 42 PARCEL: 454
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: FEBRUARY, 2002
 SHEET 3 OF 8

SDP 02-87

GENERAL NOTES:

1. PROPERTIES OF STONE STRONG® RETAINING WALL FACING UNITS SHALL CONFORM TO THOSE PRESENTED IN THE STONE STRONG® PRODUCT LITERATURE.
2. GEOTEXTILE FABRIC SHALL MEET THE REQUIREMENTS OF AASHTO M-288-06, CLASS III (E.G., MIRAFI 140N OR EQUIVALENT).
3. THE WALL BASE (I.E., GRANULAR LEVELING PAD) SHALL CONSIST OF COARSE AGGREGATE, #5, 57, 67 OR 7.
4. CONSTRUCTION OF THE RETAINING WALL COMPONENTS (I.E., PRECAST CONCRETE UNITS, UNIT FILL, DRAINAGE AGGREGATE, DRAINAGE PIPES, AND BACKFILL) SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS. PRIOR TO START OF WALL CONSTRUCTION, THE CONTRACTOR SHALL REVIEW THE MANUFACTURER'S INSTALLATION MANUAL FOR PRECAST CONCRETE STONE-FILLED RETAINING WALLS.
5. THE DESIGN WAS PERFORMED USING THE STONE STRONG SYSTEMS® DESIGN SOFTWARE (VERSION 6.0), USING THE ALLOWABLE STRESS DESIGN (ASD) APPROACH.
6. THESE DRAWINGS HAVE BEEN PREPARED BY DEVELOPMENT DESIGN CONSULTANTS SOLELY FOR THE USE OF RECOMMENDED STONE STRONG® WALL INSTALLATION CONTRACTORS.
7. RETAINED BACKFILL SHALL BE PLACED IN HORIZONTAL LIFTS NOT EXCEEDING 8 INCHES IN COMPACTED LIFT THICKNESS AND COMPACTED TO A MINIMUM OF 95 PERCENT MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698 (STANDARD PROCTOR DENSITY). COMPACTION OF THE NO. 57 CRUSHED AGGREGATE, IF USED IN THE RETAINED BACKFILL ZONE, MAY BE ACHIEVED BY A MINIMUM OF TWO PASSES OF A VIBRATORY ROLLER OR UNTIL THERE IS NO VISIBLE MOVEMENT OF THE AGGREGATE, AS DETERMINED BY THE GEOTECHNICAL TESTING AGENCY. COMPACTION TESTING IS NOT REQUIRED FOR THE NO. 57 STONE BACKFILL.
8. HEAVY COMPACTION EQUIPMENT SHALL NOT BE OPERATED WITHIN THREE FEET OF THE WALL FACE. HAND OPERATED EQUIPMENT SHALL BE USED WITHIN THREE FEET OF FACING UNITS. IMPACT TYPE COMPACTORS SHALL BE KEPT CLEAR OF THE WALL FACE. A REDUCED LIFT THICKNESS OF 4 INCHES SHALL BE USED WITHIN THREE FEET OF THE WALL FACE.
9. ALL WALL DIMENSIONS, WALL STEPS, ETC. ARE APPROXIMATE. CONTRACTOR SHALL ADJUST DIMENSIONS AS REQUIRED TO MEET ACTUAL FIELD CONDITIONS.
10. THE DESIGN OF THE PRECAST BLOCK GRAVITY RETAINING WALL IS BASED ON THE TOPOGRAPHIC AND LOCATION SURVEY PROVIDED BY STONE STRONG. THE WALL CONTRACTOR SHALL CONSTRUCT THE RETAINING WALL BASED ON THE LINES, GRADES, AND DIMENSIONS SHOWN ON THE APPROVED SITE PLANS. THE CONTRACTOR SHALL ADJUST THE WALL GRADES AND DIMENSIONS TO MEET ACTUAL FIELD CONDITIONS, AS APPROVED BY THE PROJECT CIVIL ENGINEER. DEVELOPMENT DESIGN CONSULTANTS SHALL BE GIVEN THE OPPORTUNITY TO REVIEW ANY CHANGES TO THE PROPOSED GRADING IN THE VICINITY OF THE RETAINING WALL, TO DETERMINE IF REDESIGN OF THE WALL IS REQUIRED.
11. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE FOUNDATION SOILS, RETAINED BACKFILL, GRANULAR LEVELING PAD, AND DRAINAGE AGGREGATE AGAINST POTENTIAL EROSION AND SCOUR, UNTIL THE FINAL GROUND COVER (ON BOTH SIDES OF THE RETAINING WALL) HAS BEEN INSTALLED/FINISHED. STORM WATER RUNOFF SHOULD GENERALLY BE COLLECTED AND DIVERTED AWAY FROM THE RETAINING WALL AREA DURING CONSTRUCTION.
12. THE CONTRACTOR SHALL ENSURE ALL SURROUNDING STRUCTURES/EXISTING SLOPES/ROADWAYS ARE PROTECTED FROM THE EFFECTS OF WALL EXCAVATION. STABILITY OF EXISTING STRUCTURES, DURING CONSTRUCTION, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL TEMPORARY EXCAVATIONS SHALL COMPLY WITH OSHA REGULATIONS (BY OTHERS).
13. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SITE SAFETY.
14. SALVAGED AND CRUSHED CONCRETE PAVEMENTS AND CONCRETE STRUCTURES SHALL NOT BE USED AS BASE OR SUB BASE MATERIAL.
15. THE FOLLOWING SOIL PARAMETERS HAVE BEEN ASSUMED SINCE A GEOTECHNICAL ENGINEERING REPORT PREPARED WAS NOT AVAILABLE.

SOIL DESIGN PARAMETERS PRECAST BLOCK GRAVITY WALLS						
MATERIAL	DESCRIPTION	γ (PCF)	ϕ (DEGREES)	C (PSF)	MAX. APPLIED WALL BEARING PRESSURE	COMMENTS
Foundation Soils	Firm/Approved Natural Granular Soils, or Approved Compacted Granular Structural Fill (Note c.)	115±	$\phi=32$	0	3,500 psf	Assumed
Retained Backfill	Compacted Granular Fill (SC, SM, SP, or more Granular per ASTM D-2487) LL < 40, PI < 20	120±	$\phi=30$	0	Use Unit Fill No On Site Material is Permitted Unless Approved By Design Engineer	No Geotechnical Report Was Provided For This Project.
Unit Fill	#5, 57, 67 OR 7 Crushed Aggregate, or Equivalent Free-Draining Material	108.8	$\phi=39$	0		

16. ALTERNATIVE COMPLIANCE APPROVAL (WP-22-048) WAS APPROVED ON JANUARY 27, 2022 WITH RESPECT TO SECTION 16.116(a)(2)(iii) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO CONSTRUCT A 6' HIGH RETAINING WALL AND FENCE IN THE REAR YARD WITHIN THE 100' STREAM BANK BUFFER SUBJECT TO THE FOLLOWING CONDITIONS:
 1. A redline revision to the Site Development Plan (SDP-02-087) shall be submitted to add the proposed retaining wall to the plan set. Structural computations shall be submitted with the redline as the height of the wall exceeds 3 feet. All proposed grading for the wall shall be shown and the Limit of Disturbance shall be identified. The redline revision shall be approved, changes drafted on the originals and the retaining wall sheets added to the plan set prior to issuance of a building permit for the proposed retaining wall. Refer to comments from the Development Engineering Division dated January 12, 2022.
 2. The applicant shall plant a minimum of 7 native shade trees at least 2-inch caliper onsite within the 100' stream bank buffer. The locations, species and planting specifications (including deer protection) shall be included in the redline revision to SDP-02-087.
 3. Native shrubs shall be planted at the base of the retaining wall between the drain outfalls and the rear property line to prevent erosion within the stream buffer. The locations, species and planting and maintenance specifications (including deer protection) shall be included in the redline revision to SDP-02-087.
 4. Any existing downspouts in the rear yard shall be retrofitted with rip-rap stone at the outfalls (2' x 2' minimum) to prevent additional erosion within the stream buffer. Any drain outlet pipes proposed below the retaining wall shall be stabilized with rip-rap stone at the outfalls. Details shall be included on the redline revision to SDP-02-087.
 5. The proposed retaining wall shall be constructed in the location shown on the alternative compliance plan exhibit. The height of the wall cannot exceed 6 feet within the 10' rear setback for accessory structures in accordance with Sections 108.0.D.4 and 128.0.A.9 of the Zoning Regulations.
 6. No removal of existing vegetation or trees is permitted within the 100' stream bank buffer.
 7. All disturbed areas shall be stabilized and seeded after construction is complete.
 8. The applicant shall comply with all building permit requirements from the Department of Inspections, Licenses & Permits and all requirements in the R-20' Zoning District Regulations.

NOTES:

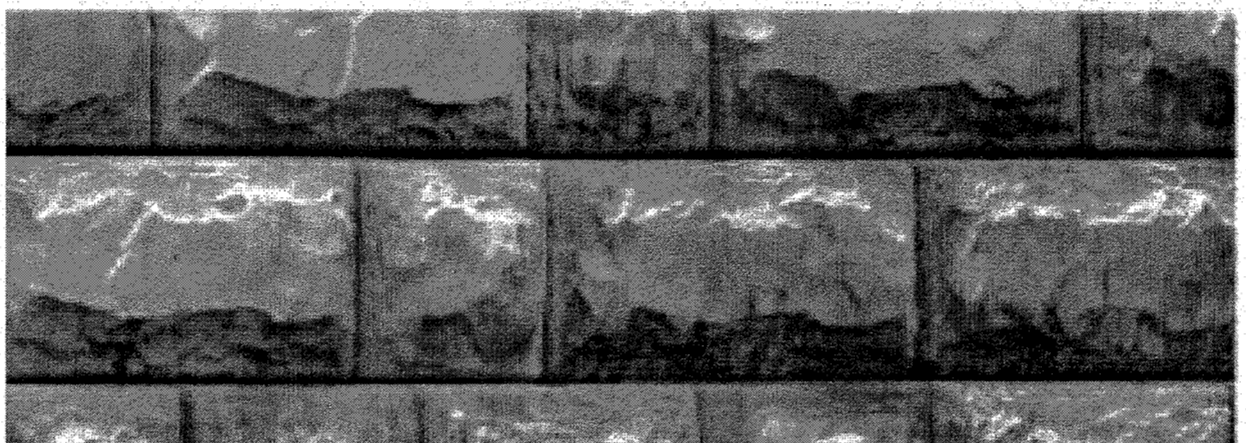
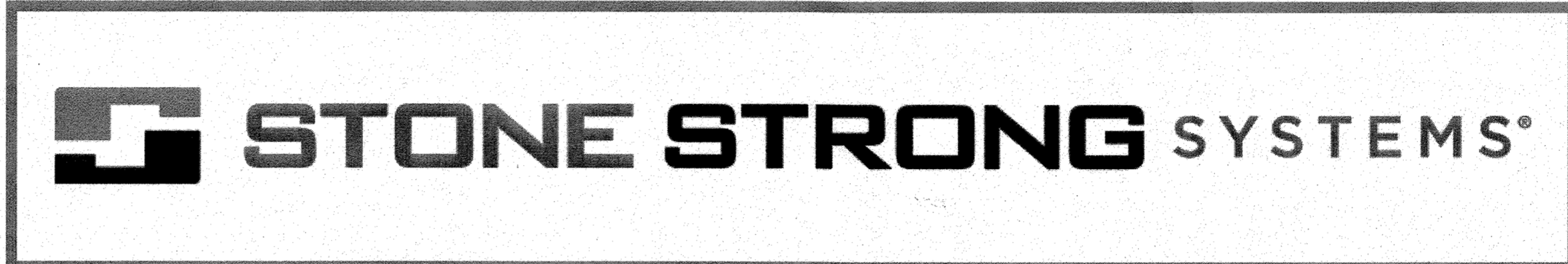
- A. DESIGN PARAMETERS FOR THE ON-SITE SOILS AND BACKFILL PROVIDED IN THE CLIENT PROVIDED GEOTECHNICAL REPORT
- B. C = COHESION, ϕ = FRICTION ANGLE, γ = MOIST UNIT WEIGHT, N/A = NOT APPLICABLE, LL = LIQUID LIMIT, AND PI = PLASTICITY INDEX.
- C. MODERATELY TO HIGH PLASTIC CLAY AND SILT SOILS (CLASSIFIED AS CL/ML & CH/MH PER ASTM D-2487, WITH A LL > 45), IF ENCOUNTERED AT THE WALL'S FOUNDATION SUBGRADE, SHALL BE UNDERCUT A MINIMUM OF 18 INCHES (BELOW THE BOTTOM OF THE GRANULAR WALL BASE/LEVELING PAD) AND REPLACED WITH A COMPACTED GRANULAR MATERIAL, AS DETERMINED BY THE OWNER'S GEOTECHNICAL ENGINEER/TESTING AGENCY.
- D. THE RETAINED BACKFILL MATERIALS SHALL BE SUBSTANTIALLY FREE OF SHALE OR OTHER SOFT, POOR DURABILITY PARTICLES. IF PROCESSED MATERIAL/AGGREGATE IS USED, THE MATERIAL SHALL HAVE A MAGNESIUM SULFATE SOUNDNESS LOSS OF LESS THAN 30 PERCENT AFTER FOUR (4) CYCLES, AS DETERMINED BY ASTM C88-13.
- E. DEVELOPMENT DESIGN CONSULTANTS SHALL BE NOTIFIED IMMEDIATELY IF THE ACTUAL SOIL CONDITIONS IN THE FIELD ARE NOT AS INDICATED BY THE ABOVE TABLE, OR IF UNSUITABLE/SOFT/LOOSE SOILS ARE ENCOUNTERED IN THE FIELD, AS DETERMINED BY THE OWNER'S/DEVELOPER'S GEOTECHNICAL TESTING AGENCY.
- F. THE MAXIMUM APPLIED VERTICAL WALL BEARING PRESSURE(S) IS INDICATED ON THE WALL ELEVATION(S). BEARING CAPACITY AND SETTLEMENT OF THE FOUNDATION SOILS IS THE RESPONSIBILITY OF THE OWNER'S/DEVELOPER'S GEOTECHNICAL ENGINEER.
- G. DESIGN IS BASED ON THE FOLLOWING MINIMUM SAFETY FACTORS:
SLIDING = 1.50 OVERTURNING = 1.50 GLOBAL STABILITY = 1.30

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 6/22/22 DATE
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 6/22/22 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 6/22/22 DATE
 DIRECTOR OF PLANNING AND ZONING

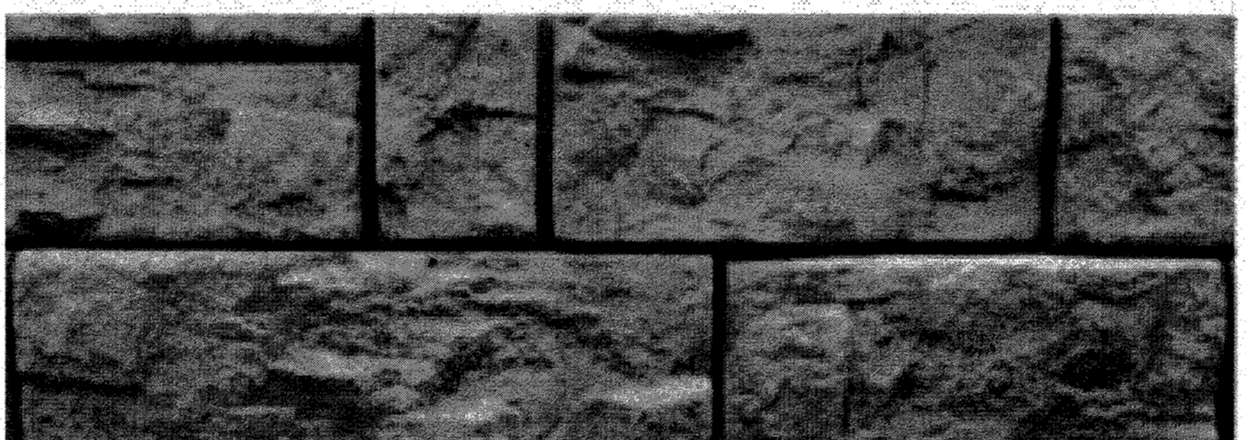
WARFIELDS RANGE II 10435 WHITE COURT STONE STRONG® RETAINING WALL SYSTEM

HOWARD COUNTY, MD

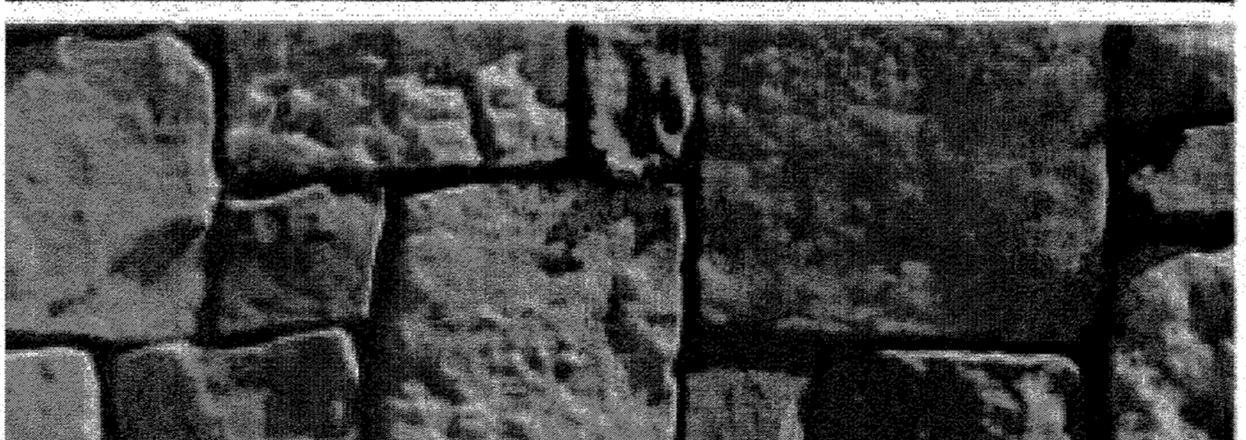
OWNER ADDRESS: Christopher & Julie Kwak, 10435 White Court, Laurel MD 20723-5709
 DEVELOPER ADDRESS: Same As Owner
 SITE ADDRESS: 10435 White Court, Laurel, MD 20723



CHISELED GRANITE
 Derived from blocks hand-chiseled by artisans, the pattern is intended to match the classic look of natural, chiseled stone.



FRACTURED LEDGE
 Created from actual fractured ledge stone, the highly defined pattern offers the most natural look to match most any application.



POTOMAC
 Smooth and broken up, this pattern was produced to replicate actual original cobblestone from the East Coast cities.



TENNESSEE FOOTHILLS
 Sharp and well defined, the pattern was developed by laser-mapping actual retaining walls in the Smoky Mountains.

Block Type	Style	Stain	Owner Selections
Chiseled Granite	Battered	Recommended	Yes w/o Stain
Chiseled Granite	Vertical	Recommended	No
Fractured Ledge	Vertical	Optional	No
Potomac	Vertical	Required	No
Tennessee Foothills	Battered	Optional	No

CONTRACTOR MUST VERIFY SOIL BEARING CAPACITY OF 3,500psi and Report Findings To Engineer BEFORE Installation of Base Course.

DDC inc.
 Development Design Consultants
 Planners, Surveyors, Engineers, Landscape Architects
 192 East Main Street, Westminster, MD 21157
 410.386.0560
 410.386.0564 (Fax)
 DDC@DDCinc.us
 www.DDCinc.us

OWNER: Chris & Julie Kwak, 10435 White Court, Laurel MD 20723
 DEVELOPER: Same As Owner
 SITE ADDRESS: 10435 WHITE COURT, LAUREL, MD 20723
 REVISED SITE DEVELOPMENT PLAN

10435 WHITE COURT
 WARFIELDS RANGE II
 SECTION 2, AREA 4, LOT 85
COVER SHEET

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA.

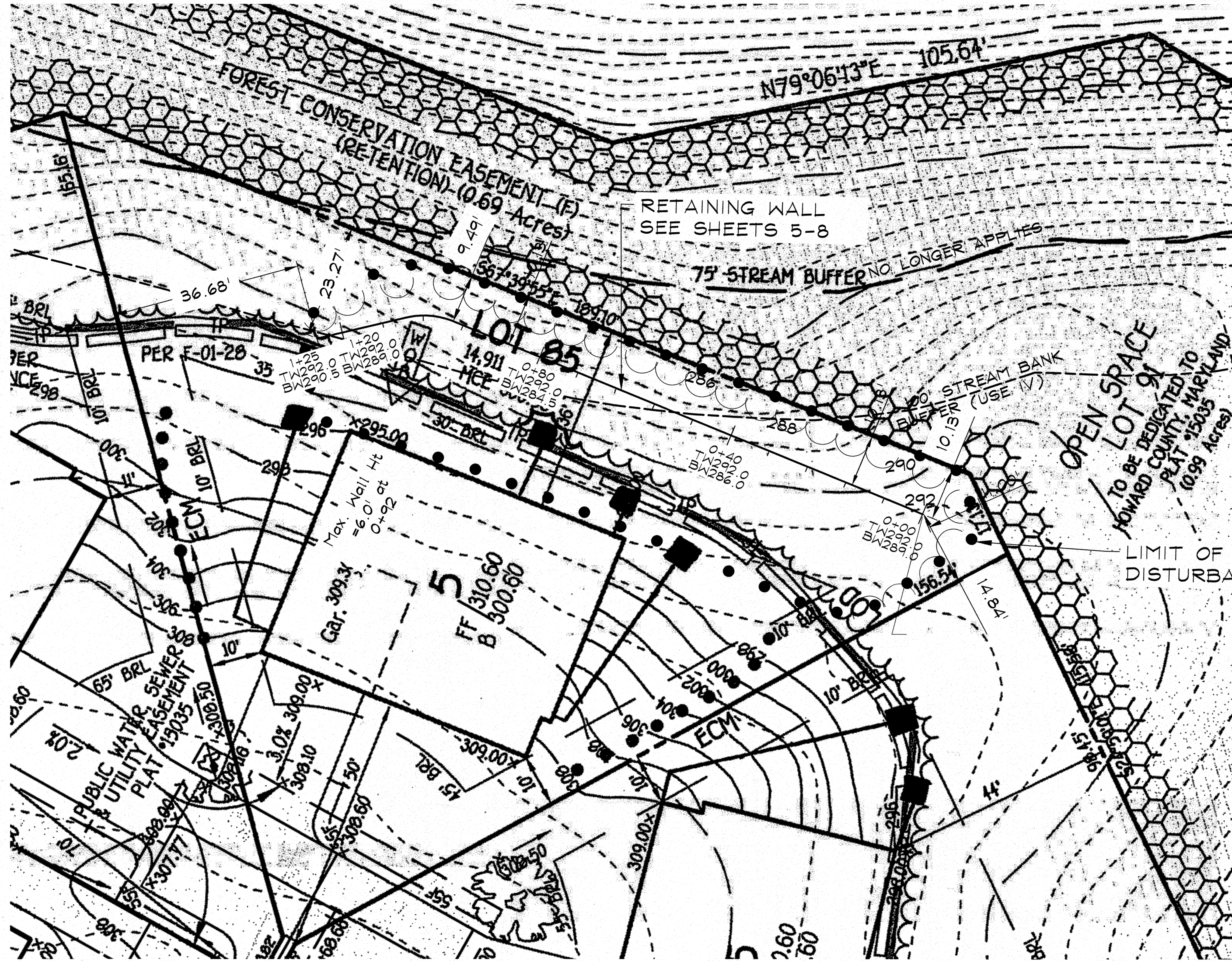
LICENSE NO. 21998, EXPIRATION DATE: JUNE 6, 2024

5/25/2022 DATE
 [Professional Engineer Seal]
 W. RICHARD DEMARIO
 PROFESSIONAL ENGINEER NO. 21998

6TH ELECTION DISTRICT HOWARD COUNTY MD	
REVISIONS	
NO.	DESCRIPTION OF CHANGES
CO. FILE # SDP-02-087	DES. BY: WRD
TAX ACC. # 06-566006	DRN. BY: CEB
TAX MAP: 41	CHK. BY:
BLOCK / GRID: 24	DATE: 5/25/2022
PARCEL # 454	DDC JOB#: 17041.59
ZONE / USE: R-20	SHEET NUMBER:
DWG. SCALE: AS SHOWN	5 of 8

CODES:

THE DESIGN AND DETAILING OF THE RETAINING WALL(S) WERE GENERALLY BASED ON THE IBC-2015, AND THE NCMA DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS (3RD EDITION, 2010).



DATA SOURCES:

DDC
Development Design Consultants

Planners
Surveyors
Engineers
Landscape Architects

192 East Main Street
Westminster, MD 21157
410.386.0560
410.386.0564 (Fax)
DDC@DDCinc.us
www.DDCinc.us

OWNER: Chris & Julie Kwak
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Laurel MD 20723

DEVELOPER: Same as Owner

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LAUREL, MD 20723

REVISED SITE DEVELOPMENT PLAN

10435 WHITE COURT
RETAINING WALL FINAL
WARFIELDS RANGE II
SECTION 2, AREA 4, LOT 85
PLAN

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6TH ELECTION DISTRICT HOWARD COUNTY MD				
REVISIONS				
NO.	DESCRIPTION OF CHANGES	DRN.	REV.	DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 6/2/22

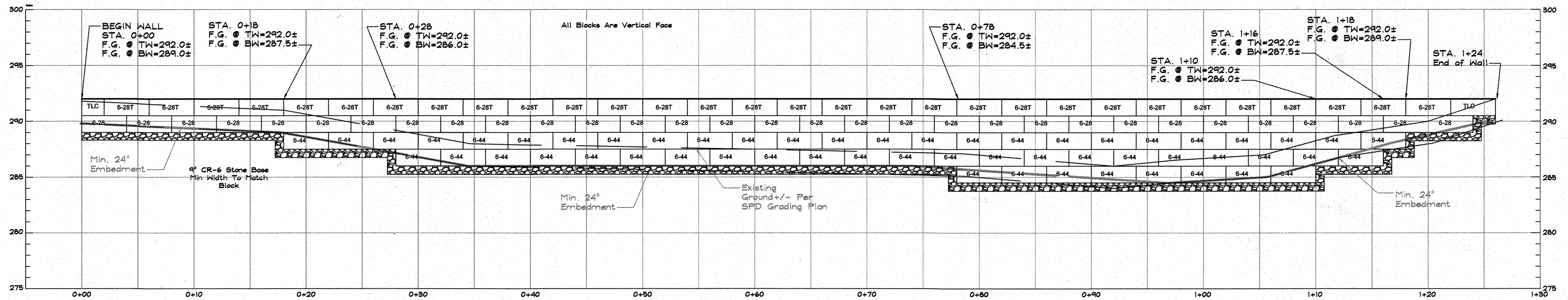
CHIEF, DIVISION OF LAND DEVELOPMENT

 DATE: 6/2/22

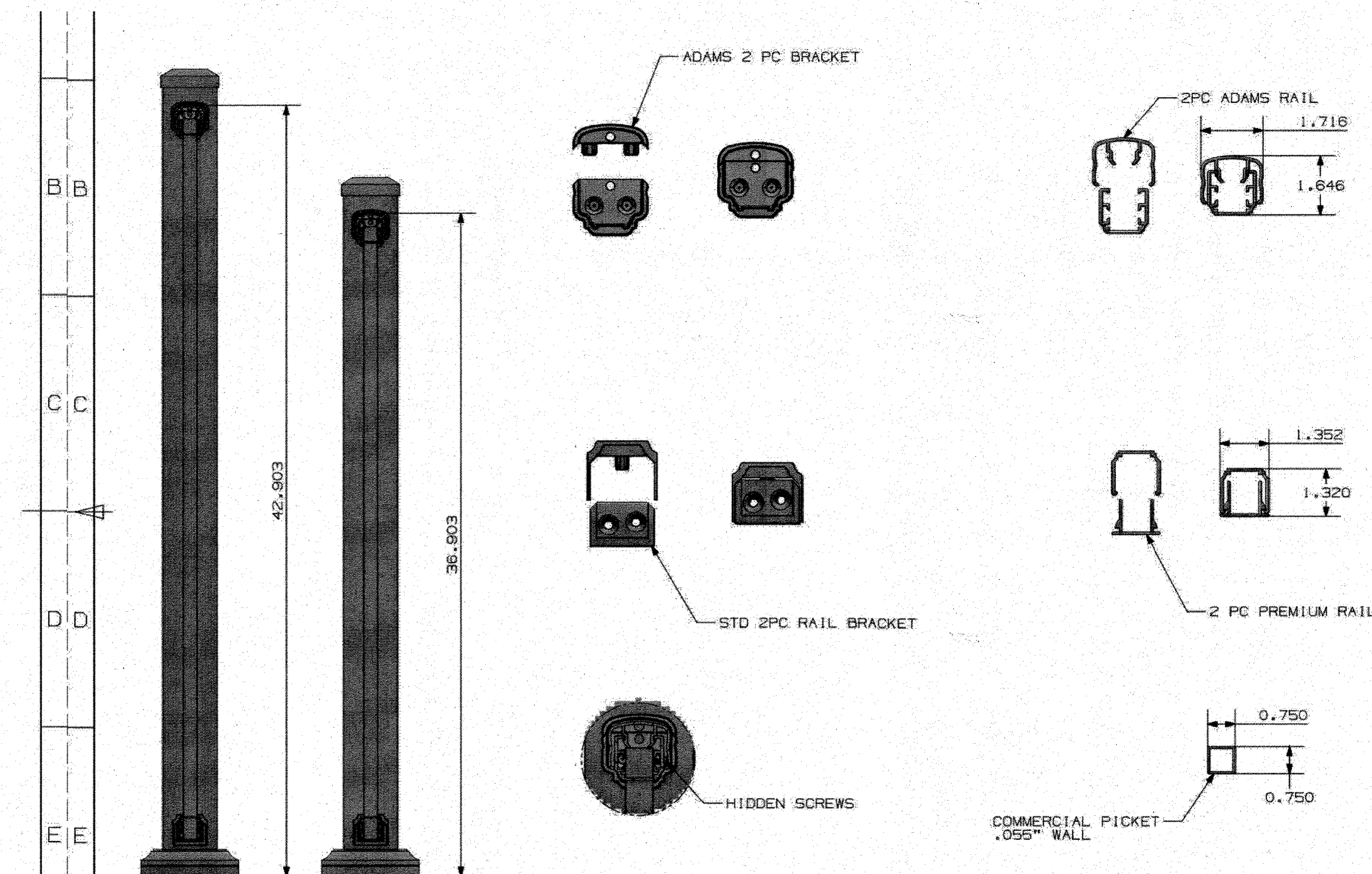
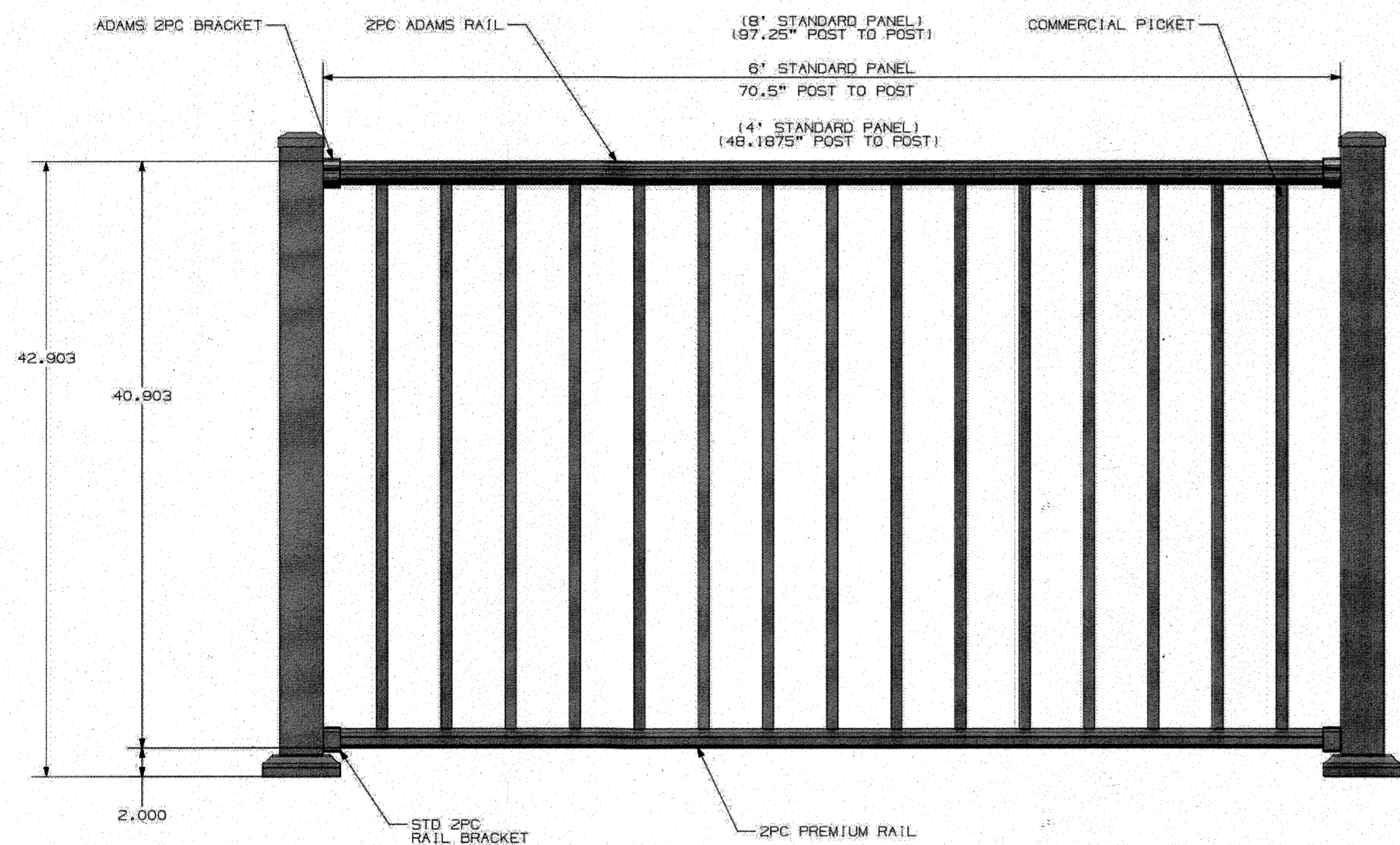
DIRECTOR OF PLANNING AND ZONING

 DATE: 6/2/22

PLAN
SCALE: 1"=10'



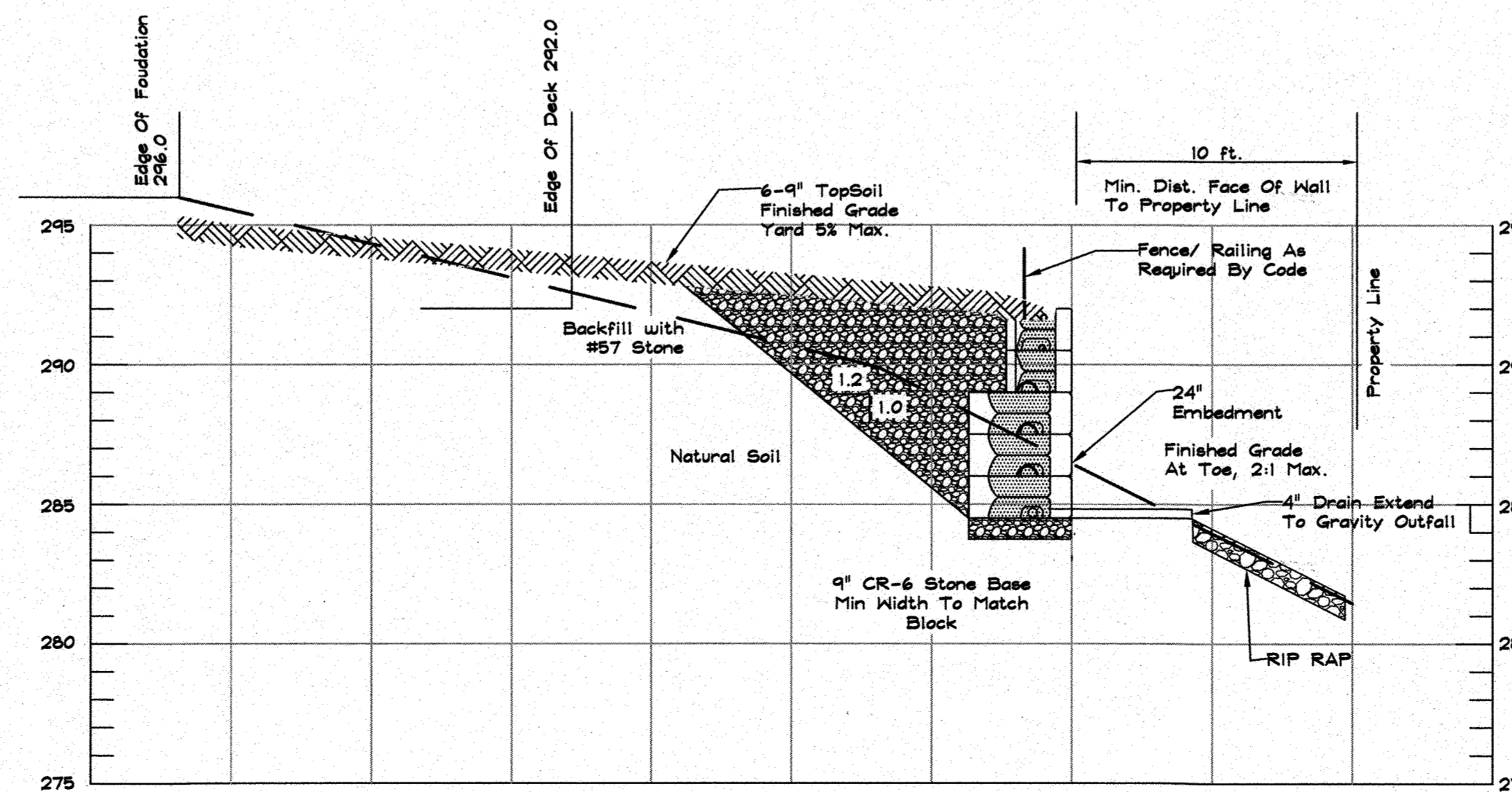
PROFILE
SCALE: 1"=5'



PANEL SIZE	RAIL LENGTH	FULL SIZE PICKET HEIGHT	NUMBER OF FULL SIZE PICKETS
36" X 4"	47 11/16"	34 1/16"	10
36" X 6"	70.00"	34 1/16"	15
36" X 8"	93 3/4"	34 1/16"	21
42" X 4"	47 11/16"	40 1/16"	10
42" X 6"	70"	40 1/16"	15
42" X 8"	93 3/4"	40 1/16"	21

ULTRA FENCING-RAILING	
FIRST ISSUED	TITLE SIGNATURE RAILING
DRAWN BY	ADAMS TOP RAIL
CHECKED BY	ADAMS TOP RAIL
APPROVED BY	ADAMS TOP RAIL
SIZE: 11 X 17	SCALE: 1/4" = 1'-0"

ULTRA FENCING-RAILING	
FIRST ISSUED	TITLE SIGNATURE RAILING
DRAWN BY	ADAMS TOP RAIL
CHECKED BY	ADAMS TOP RAIL
APPROVED BY	ADAMS TOP RAIL
SIZE: 11 X 17	SCALE: 1/4" = 1'-0"



RETAINING WALL For Battered Style
SECTION at 0+78 to 1+10
SCALE 1" = 5'

DATA SOURCES:

Planners
Surveyors
Engineers
Landscape Architects

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10435 WHITE COURT
RETAINING WALL FINAL
WARFIELDS RANGE II
SECTION 2, AREA 4, LOT 85
PROFILE

6TH ELECTION DISTRICT HOWARD COUNTY MD

REVISIONS			
NO.	DESCRIPTION OF CHANGES	DRN.	REV. DATE
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TAX ACC. #	06-566006	DRN. BY:	CEB
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ZONE / USE:	R-20	SHEET NUMBER:	7 of 8
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LICENSE NO. 21998 EXPIRATION DATE: JUNE 6, 2024

5/25/2022
DATE

W. RICHARD DEMARIO
PROFESSIONAL ENGINEER NO. 21998

APPROVED: DEPARTMENT OF PLANNING AND ZONING

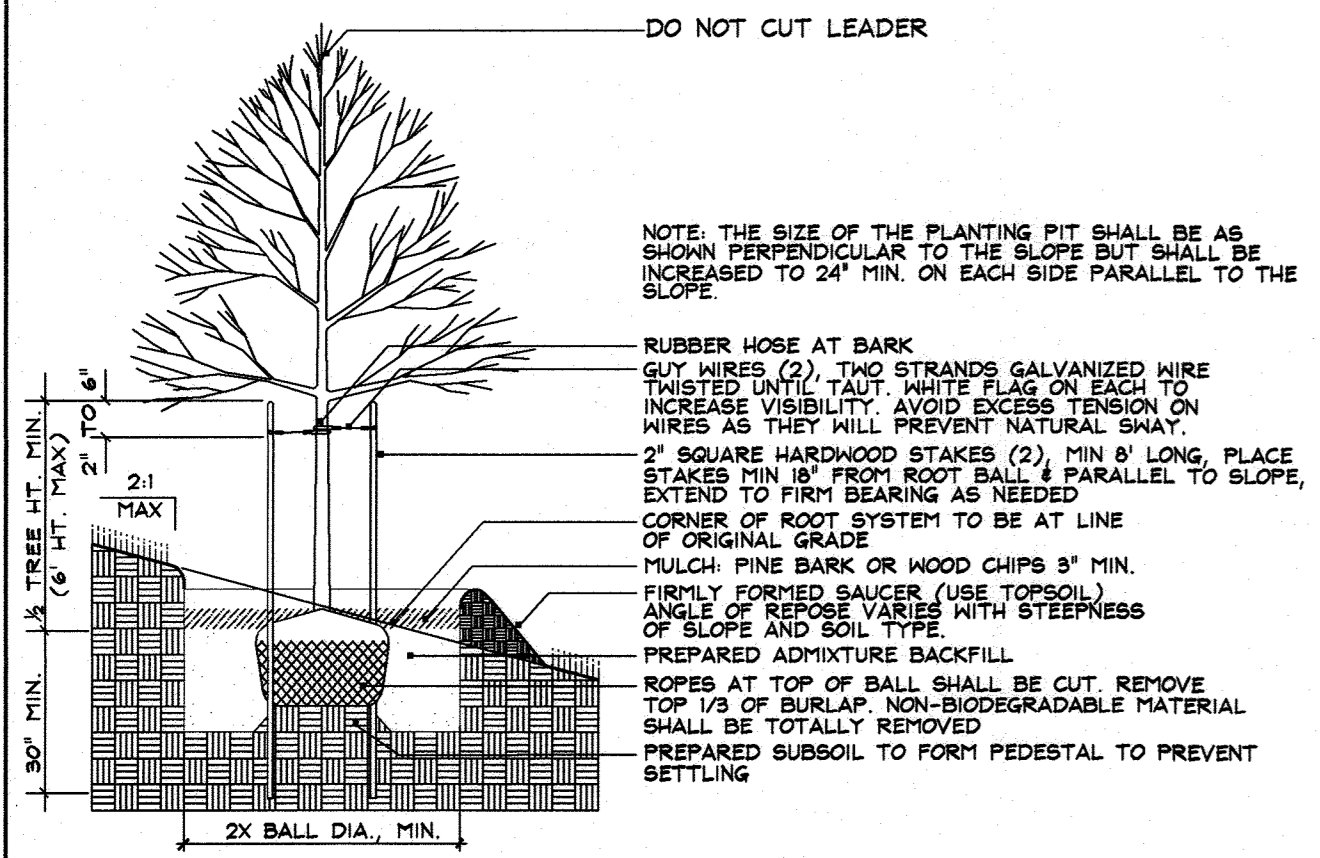
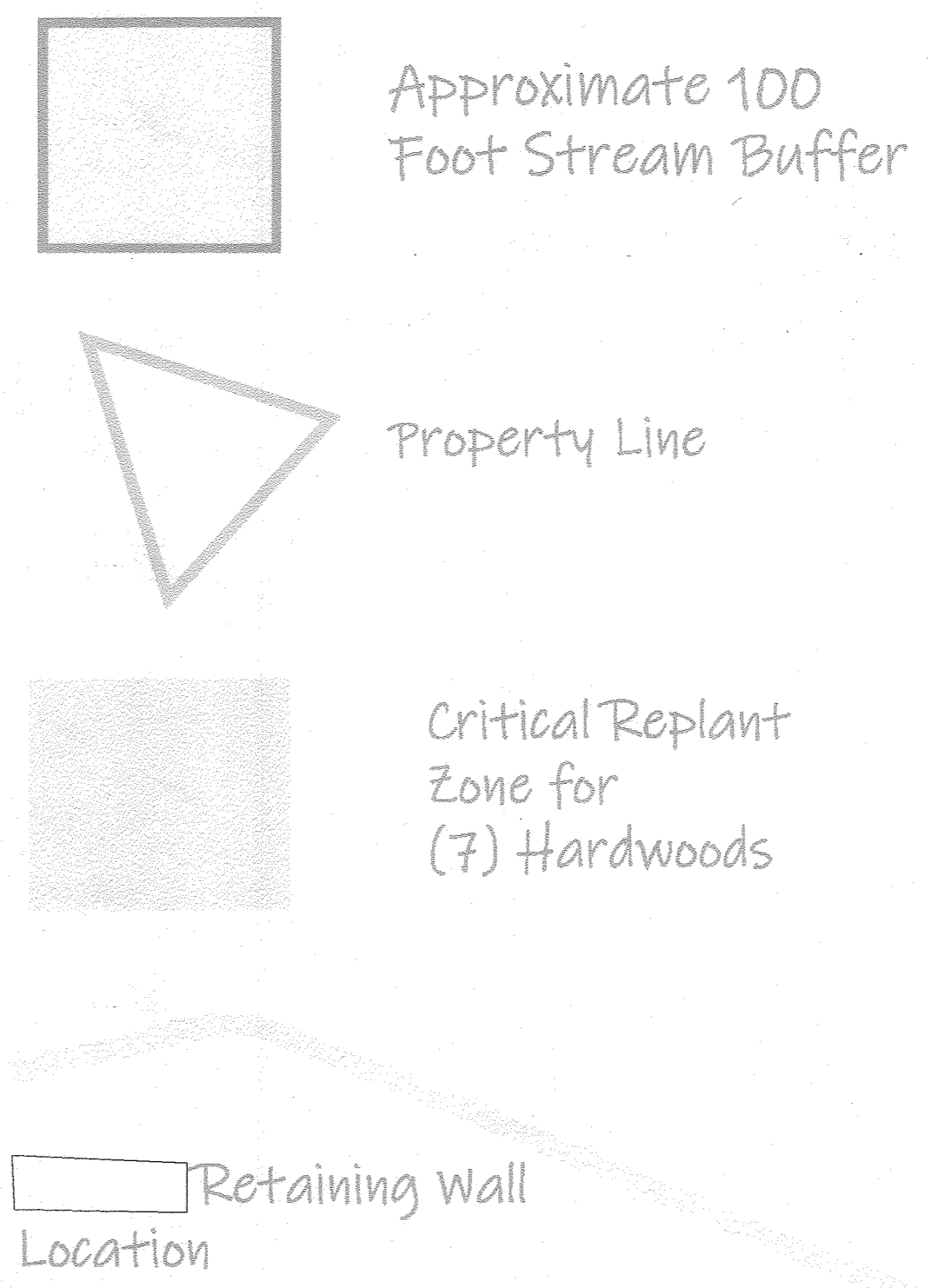
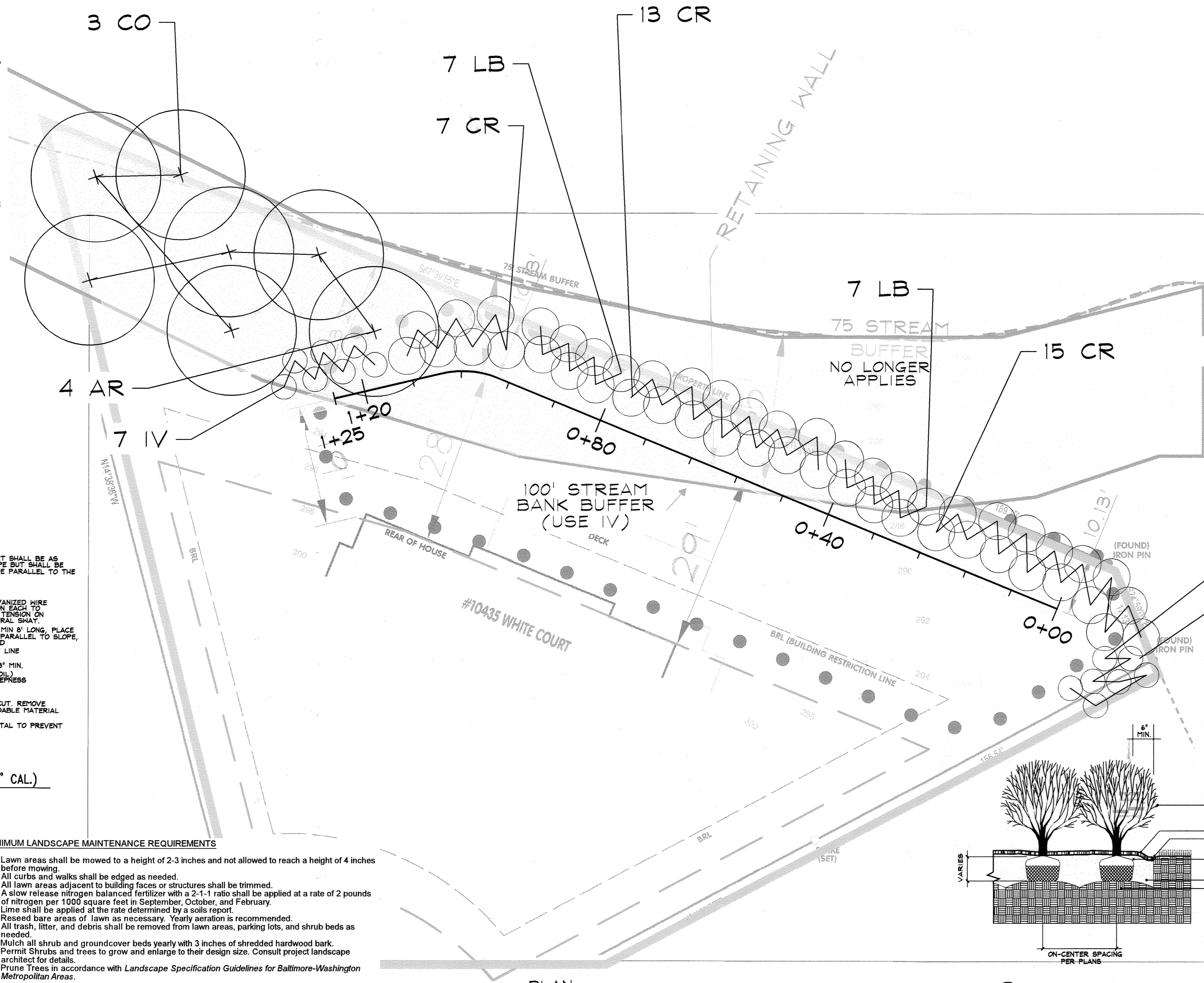
[Signature] 6/22/22
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 6/22/22
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 6/22/22
DIRECTOR OF PLANNING AND ZONING DATE

ALTERNATIVE COMPLIANCE APPROVAL (WP-22-048) WAS APPROVED ON JANUARY 27, 2022 WITH RESPECT TO SECTION 16.116(a)(2)(iii) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO CONSTRUCT A 6' HIGH RETAINING WALL AND FENCE IN THE REAR YARD WITHIN THE 100' STREAM BANK BUFFER SUBJECT TO THE FOLLOWING CONDITIONS:

1. A redline revision to the Site Development Plan (SDP-02-087) shall be submitted to add the proposed retaining wall to the plan set. Structural computations shall be submitted with the redline as the height of the wall exceeds 3 feet. All proposed grading for the wall shall be shown and the Limit of Disturbance shall be identified. The redline revision shall be approved, changes drafted on the originals and the retaining wall sheets added to the plan set prior to issuance of a building permit for the proposed retaining wall. Refer to comments from the Development Engineering Division dated January 12, 2022.
2. The applicant shall plant a minimum of 7 native shade trees at least 2-inch caliper onsite within the 100' stream bank buffer. The locations, species and planting specifications (including deer protection) shall be included in the redline revision to SDP-02-087.
3. Native shrubs shall be planted at the base of the retaining wall between the drain outfalls and the rear property line to prevent erosion within the stream buffer. The locations, species and planting and maintenance specifications (including deer protection) shall be included in the redline revision to SDP-02-087.
4. Any existing downspouts in the rear yard shall be retrofitted with rip-rap stone at the outfalls (2 x 2' minimum) to prevent additional erosion within the stream buffer. Any drain outlet pipes proposed below the retaining wall shall be stabilized with rip-rap stone at the outfalls. Details shall be included on the redline revision to SDP-02-087.
5. The proposed retaining wall shall be constructed in the location shown on the alternative compliance plan exhibit. The height of the wall cannot exceed 6 feet within the 10' rear setback for accessory structures in accordance with Sections 108.0.D.4 and 128.0.A.9 of the Zoning Regulations.
6. No removal of existing vegetation or trees is permitted within the 100' stream bank buffer.
7. All disturbed areas shall be stabilized and seeded after construction is complete.
8. The applicant shall comply with all building permit requirements from the Department of Inspections, Licenses & Permits and all requirements in the R-20' Zoning District Regulations.



NOTE: THE SIZE OF THE PLANTING PIT SHALL BE AS SHOWN PERPENDICULAR TO THE SLOPE BUT SHALL BE INCREASED TO 24" MIN. ON EACH SIDE PARALLEL TO THE SLOPE.

RUBBER HOSE AT BARK
GUY WIRES (2) 3/8" THRO STRANDS GALVANIZED WIRE TWISTED UNTIL TIGHT. WHITE FLAG ON EACH TO INCREASE VISIBILITY. AVOID EXCESS TENSION ON WIRES AS THEY WILL PREVENT NATURAL SHAFT.

2" SQUARE HARDWOOD STAKES (2) PER 1/2" LONG PLACE STAKES 18" FROM ROOT BALL. PARALLEL TO SLOPE. EXTEND TO FIRM BEARING AS NEEDED.

CORNER OF ROOT SYSTEM TO BE AT LINE OF ORIGINAL GRADE.

MULCH: PINE BARK OR WOOD CHIPS 3" MIN.

FIRMLY FORTIFY SAUCER (USE TOPSOIL)

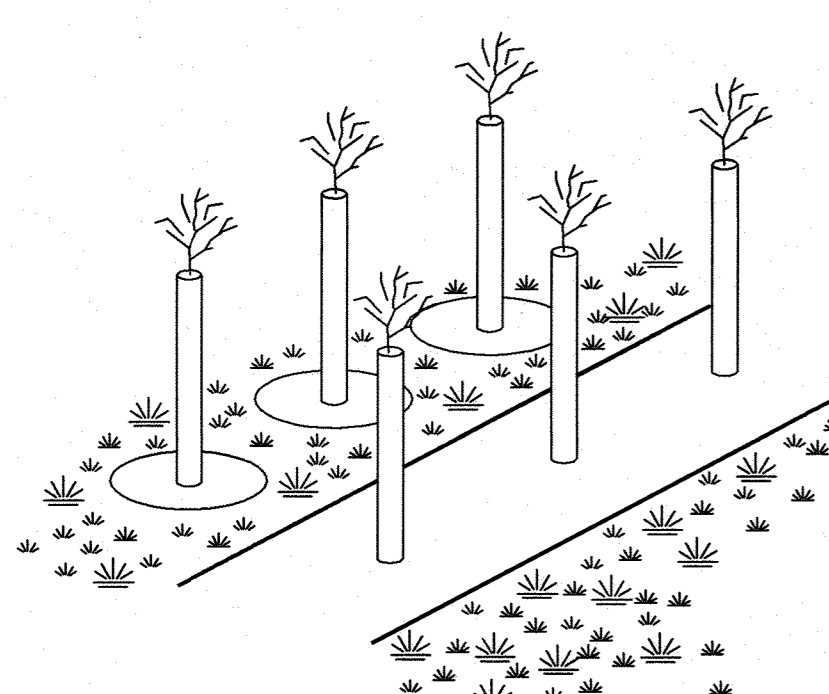
ANGLE OF REPOSE VARIES WITH STEEPNESS OF SLOPE.

PREPARED ADMIXTURE BACKFILL.

ROPE AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/3 OF BURLAP. NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED.

PREPARED SUBSOIL TO FORM PEDESTAL TO PREVENT SETTLING.

DECIDUOUS TREE PLANTING ON SLOPE (LESS THAN 3" CAL.)
N.T.S.



- MINIMUM LANDSCAPE MAINTENANCE REQUIREMENTS**
1. Lawn areas shall be mowed to a height of 2-3 inches and not allowed to reach a height of 4 inches before mowing.
 2. All curbs and walks shall be edged as needed.
 3. All lawn areas adjacent to building faces or structures shall be trimmed.
 4. A slow release nitrogen balanced fertilizer with a 2-1-1 ratio shall be applied at a rate of 2 pounds of nitrogen per 1000 square feet in September, October, and February.
 5. Lime shall be applied at the rate determined by a soils report.
 6. Reseed bare areas of lawn as necessary. Yearly aeration is recommended.
 7. All trash, litter, and debris shall be removed from lawn areas, parking lots, and shrub beds as needed.
 8. Mulch all shrub and groundcover beds yearly with 3 inches of shredded hardwood bark.
 9. Permit Shrubs and trees to grow and enlarge to their design size. Consult project landscape architect for details.
 10. Prune Trees in accordance with Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas.

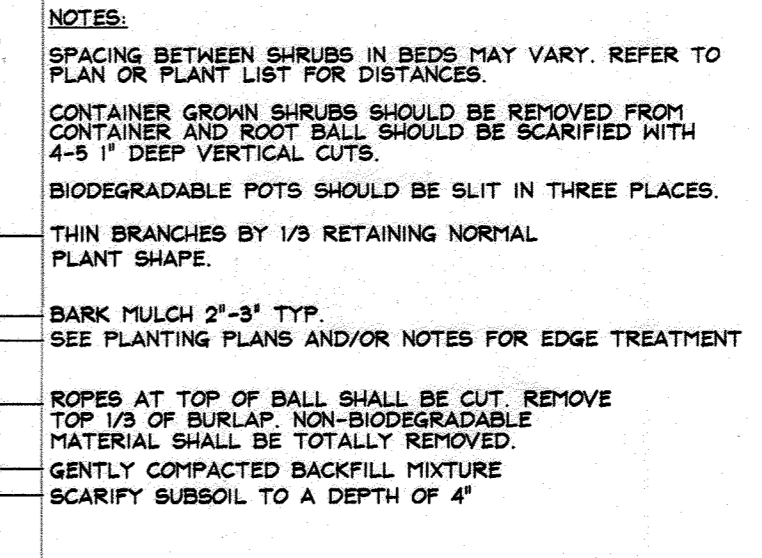
- TREE PROTECTION NOTES**
1. The Contractor shall employ the services of an arborist certified by the International Society of Arboriculture.
 2. Tree protection measures shall be implemented as shown on the landscape plan. Where the drawings differ from the tree protection notes, the measures providing the greatest degree of tree protection shall be implemented during construction.
 3. Any trees to be preserved as part of the landscape plan shall be marked in the field and protection measures shall be installed prior to the issuance of a grading permit.
 4. Protective measures shall be installed in order to preserve the critical root zone of trees to be preserved. Isolated trees shall be protected with individual measures. Groups of trees may be encircled as they stand to a point approximating the critical root zone of the outermost tree. Protection measures shall remain in place until construction is completed, per the approved construction sequence.
 5. Grading, filling, trenching, tunneling or other construction activity and the damaging or removal of tree bark, roots, or limbs, is prohibited unless otherwise noted on the landscape plan.
 6. The storage, disposal or placement of construction materials, operating or storing construction machinery, or driving or parking of vehicles is prohibited unless otherwise noted on the landscape plan.
 7. Roots, or portions of roots, within the critical root zone of trees to be preserved that may interfere with construction activity shall be located and pruned per the root pruning detail provided in the Baltimore County Forest Conservation Manual.
 8. Prior to beginning any construction activity, the Project Arborist shall identify limbs of trees to be preserved that may be completed by the Project Arborist, according to ANSI A300-1995 standards, using a sharp saw or hand pruners. In no case shall more than 25 percent of a tree's canopy be removed.
 9. If any existing trees are to be relocated, an individual maintenance plan designed to assist the tree in survival is required.
 10. Trees to be preserved shall be watered throughout the duration of construction, at a rate of one inch of water over the undisturbed critical root zone area per week, or as directed by the project arborist.
 11. Any trees inadvertently damaged through construction shall be repaired if survival is expected. If it is determined that any part of a tree is in an unsafe or dangerous condition, then that part of the tree shall be removed. If the entire tree is affected, it shall be removed in its entirety. If the hazardous condition is questionable, then the Project Arborist shall inspect the tree and certify that the condition of the tree is not a hazard and is not expected to be a hazard in the foreseeable future. Trees damaged by the contractor that must be removed shall be replaced by the contractor at no additional expense to the owner.

- GENERAL LANDSCAPE PLAN NOTES**
1. The Contractor shall coordinate with the general, lighting, & irrigation contractors regarding timing and installation of plant material. At the time of final inspection with acceptance, all electric, water & drainage utilities, as well as plant material, shall remain undamaged. Likewise, the Landscape Contractor and utilities contractors shall coordinate efforts to ensure that surface utilities are at the proper elevation relative to final grades.
 2. Contractor shall notify Miss Utility at, 1 (800) 257-7777, 72 hours prior to construction. The contractor is responsible for verifying the location of all existing utilities. If utility lines are encountered in the excavation of tree pits, other locations for trees shall be made by the contractor without additional compensation. No changes of location shall be made without the approval of the Landscape Architect.
 3. In the event of a variation between quantities shown on the plant list and the plans, the plans shall govern. The Contractor is responsible for verifying all plant quantities prior to the commencement of work. No quantity takeoffs are the responsibility of the Contractor. All discrepancies shall be reported to the Landscape Architect for clarification prior to bidding. The Contractor shall furnish plant material in sizes specified in the plant list.
 4. All plant material (nursery stock) to conform to American Nursery & Landscape Association's (A.N.L.A.) latest edition of "American Standard for Nursery Stock" (ANSI Z60.1), particularly with regard to size, growth, size of ball, and density of branch structure.
 5. All plants shall be identified in accordance with "Hortus Third, by the Staff of the L. H. Bailey Hortorium, Cornell University, 1976.
 6. No substitutions shall be made without written consent of the Owner and/or Landscape Architect and Howard County, MD.
 7. The Contractor is to follow specification guidelines for Baltimore & Washington Metropolitan Area as approved by the L.C.A. of Maryland, Washington D.C., & Virginia and described in "Landscape Specification Guidelines, 5th Edition." Note: planting details and specifications on these plans that differ from those in "Landscape Specification Guidelines, 5th Edition" shall be followed in lieu of those contained in the specification guidelines.
 8. All trees shall be guaranteed for twelve (12) months from the date of acceptance. All shrubs and ground covers shall be guaranteed for twelve (12) months from the date of acceptance.

PLANT LIST

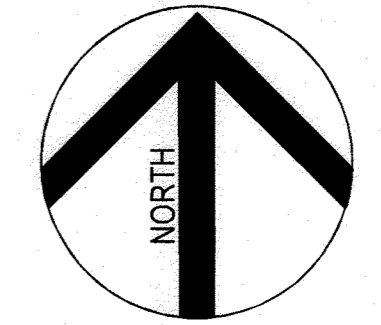
QTY	SYM	BOTANICAL NAME/ COMMON NAME	SIZE	REMARKS
LARGE TREES				
4	AR	ACER RUBRUM RED MAPLE	12' - 14' HT. 2 1/2" CAL.	B & B
3	CO	CELTIS OCCIDENTALIS HACKBERRY	12' - 14' HT. 2 1/2" CAL.	B & B
SHRUBS				
35	CR	CORNUS RACEMOSA GREY DOGWOOD	18" HT.	2 GAL.
14	IV	ILEX VERTICILLATA WINTERBERRY HOLLY	18" HT.	2 GAL.
14	LB	LINDERA BENZOIN SPICEBUSH	18" HT.	2 GAL.

SHRUB PLANTING - CONTINUOUS BED
N.T.S.



NOTES:
SPACING BETWEEN SHRUBS IN BEDS MAY VARY. REFER TO PLAN OR PLANT LIST FOR DISTANCES.
CONTAINER GROWN SHRUBS SHOULD BE REMOVED FROM CONTAINER AND ROOT BALL SHOULD BE SCARIFIED WITH 4-5 1" DEEP VERTICAL CUTS.
BIODEGRADABLE POTS SHOULD BE SLIT IN THREE PLACES.
THIN BRANCHES BY 1/3 RETAINING NORMAL PLANT SHAPE.
BARK MULCH 2"-3" TYP. SEE PLANTING PLANS AND/OR NOTES FOR EDGE TREATMENT.
ROPE AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/3 OF BURLAP. NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED.
GENTLY COMPACTED BACKFILL MIXTURE. SCARIFY SUBSOIL TO A DEPTH OF 4"

APPROVED: DEPARTMENT OF PLANNING AND ZONING
6-8-22
DATE
6/1/22
DATE
6/22/22
DATE



03/24/2022
DATE
ANDREW J. STINE
LANDSCAPE ARCHITECT NO. 3222

DDC
Development Design Consultants

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SECTION 2, AREA 4, LOT 85
LANDSCAPE PLAN
6TH ELECTION DISTRICT HOWARD COUNTY MD

NO.	DESCRIPTION OF CHANGES	DRN	REV.	DATE
CO. FILE #	SDP-02-087	DES. BY:	AJS	
TAX ACC. #	06-5666006	DRN. BY:	WRD	
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