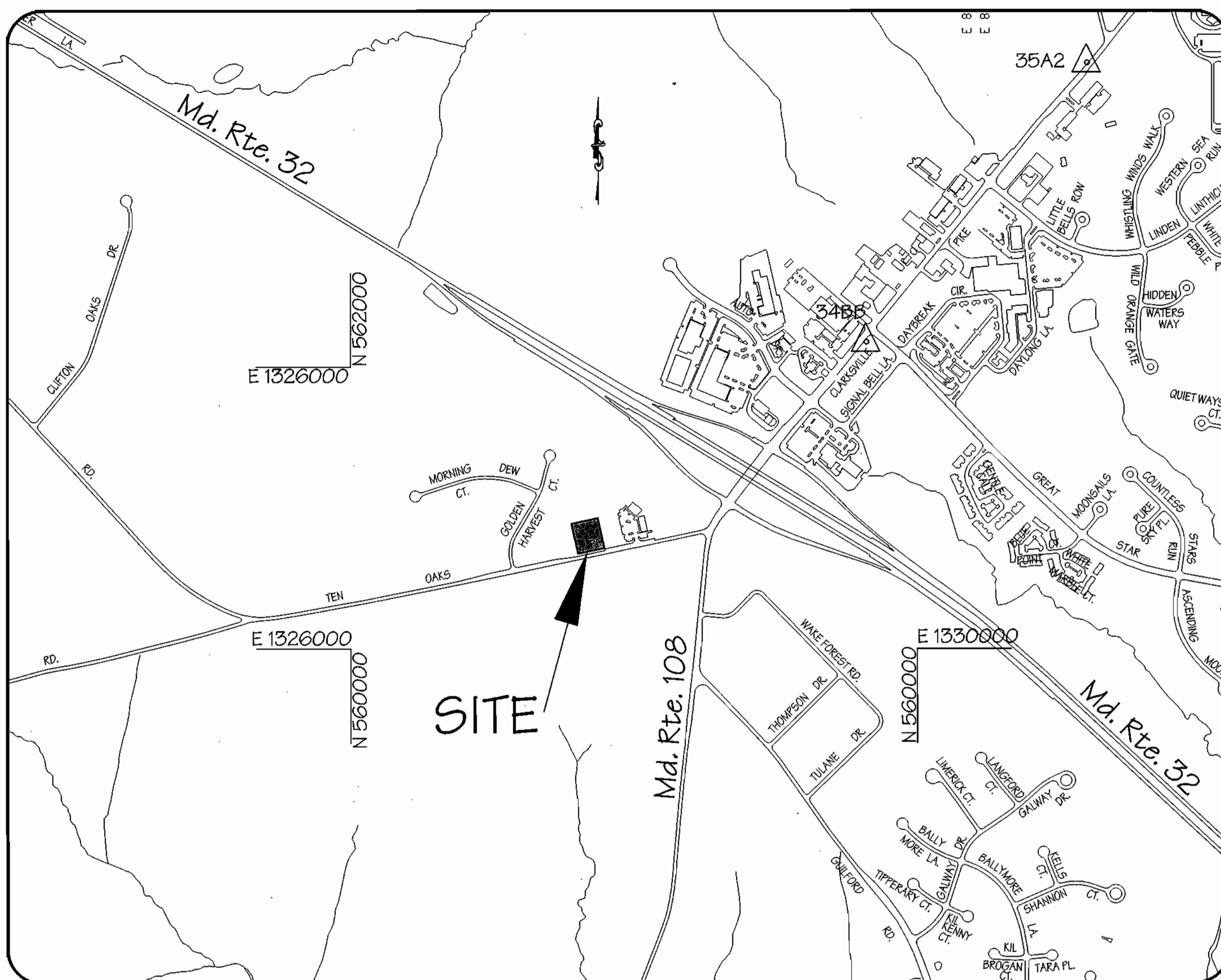


- GENERAL NOTES:**
- THE PURPOSE OF THIS SITE DEVELOPMENT PLAN IS TO PROVIDE CONSTRUCTION DOCUMENTS FOR A COMMERCIAL OFFICE BUILDING TO REPLACE AN EXISTING RESIDENTIAL STRUCTURE. IN ACCORDANCE WITH THE SITE DEVELOPMENT PLAN REGULATIONS.
 - All construction shall be in accordance with the latest standards and specifications of Howard County Design Manual Vol. IV and current MSHA standards & specifications.
 - Project Background:
 - Location: Clarksville, Maryland
 - Tax Map: Map 34
 - Tax Map Parcel: 28
 - Grid: 12
 - Election District: 5th
 - Existing zoning: B-2 (Business-General) per 10/18/03 Comprehensive Zoning Plan.
 - Current File Reference:
 - Flat No: 15693
 - The boundary shown hereon is based on a field run boundary survey performed by LDE, Inc. in October, 2001.
 - Horizontal and vertical datum is related to the Maryland State Plane Coordinate System as projected from Howard County control stations No. 348B and 35A2 (NAD 83).
 - Any damage caused by the contractor to existing public right-of-way, existing paving, existing curb and gutter, existing utilities, etc. shall be corrected at the contractor's expense.
 - The existing utilities shown hereon are located from field surveys and construction drawings of record. The contractor shall locate existing utilities to his own satisfaction and well in advance of any construction activities. Additionally, the contractor shall take all necessary precautions to protect all existing utilities and maintain uninterrupted service. Any damage incurred to utilities or existing features due to contractor's operation shall be repaired immediately at the contractor's expense.
 - There may be additional utilities not shown on these plans. The engineer assumes no responsibility for utility locations not shown and it shall be the responsibility of the contractor to verify the locations of all existing utilities within the limits of construction and notify the engineer of any discrepancies, prior to the start of construction.
 - Site Analysis Data:
 - a. Total project Area: 0.3279 Acres
 - b. Area of Plan Submission: 0.3279 Acres
 - c. Limit of Disturbed Area: 0.897 Acres
 - d. Present Use: Residential
 - e. Proposed Site and Structure Use: Commercial - Office
 - f. Building Floor Space per Use: Bldg in 100% Office Use: 30
 - g. Maximum Number of Employees: Total Building Area: 4,325' x 5' floor = 12,975 s.f. Total
 - h. Parking Required: 3.3 Spaces/1000 s.f. of Office Area = 49 Spaces
 - i. Parking Provided: 2 Van Accessible Handicap spaces + 41 Regular spaces Total Parking Provided = 43 spaces
 - j. Building Coverage of Site (Lot 1): 4,060 s.f. / 0.0939 Acres 116% of gross site area.
 - k. Applicable DFZ File Reference: F-02-25
 - l. No change in use is permitted without the prior approval of the Department of Zoning and Planning.
 - There are no wetlands on this site per an investigation by LDE, Inc.
 - The Forest Conservation Obligation of 0.15 Acres of afforestation for this site has been met via a fee-in-lieu payment of \$3,267.00 to the Howard County Forest Conservation Fund.
 - Adjustments to the sequence of construction shall be approved by the Howard County Department of Inspections, Licenses and Permits, prior to such adjustments.
 - Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
 - The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection at (410) 313-1880 at least five (5) working days prior to the start of work.
 - Public water service is available to this site in Ten Oaks Road, Contract No. 44-3483.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least forty-eight (48) hours prior to any excavation work.
 - The 0" Waterline to be extended onsite for the building sewer system and domestic service will be private. The construction of this waterline will be under a Howard County Advanced Deposit Order (ADO). The property is located within the Metropolitan District. See Contract No. 44-3483.
 - Sewer service is available to this site via the 2" low pressure force main located in Ten Oaks Road, Contract No. 30-3770.
 - Stormwater quality and quantity management for this site will be provided via an onsite dry swale facility and an infiltration trench.
 - The onsite stormwater management facilities shall be privately owned and maintained.
 - Any damage to Public "Right-of-Way" or paved public roads shall be repaired immediately at the contractor's expense in accordance with the Howard County and MSHA Standards and Specifications.
 - All fill shall be rolled to a minimum degree of compaction of 95% of the dry unit weight as determined by AASHTO T- 180.
 - Building dimensions shown hereon are approximate only. Refer to the architectural plans for building dimensions.
 - There are no existing contiguous slopes 25% or greater which are greater than 20,000 square feet within the boundaries of the site.
 - A Noise Study is not required for this Site Development Plan submission.
 - A Traffic Analysis was completed in December, 2001 by the Traffic Group as part of this Site Development Plan submission.
 - A Geotechnical Report for this site was completed by Hills Carnes Engineering Associates, Inc. as part of this Site Development Plan submission.
 - Earthwork quantities shown on this plan are estimated and should not be used for bid purposes. Contractors should perform independent earthwork analysis for bid purposes.
 - Deviations from these plans and specifications without prior written consent of the civil engineer may cause the work to be unacceptable.
 - The dimensional distances shall govern if scaled and dimensioned distances on this plan are found to be in disagreement.
 - Landscape requirement per Section 15.124 of the Subdivision and Land Development Regulations shall be provided in accordance with a landscape plan on file with this site plan. Surety in the amount of \$1,370.00 has been posted as a part of the Developer's Agreement for this site plan.
 - The existing topography shown hereon is taken from a field run survey with two foot contour intervals prepared by LDE, Inc. in October, 2001.
 - All outdoor lighting shall comply with the requirements of Zoning Section 104.
 - The existing residential structure and associated retaining walls, sidewalks and driveway shall be removed from this site. A Demolition Permit will be required from the Howard County Department of Inspections, Licenses and Permits Prior to beginning any onsite demolition activities.
 - The existing onsite septic system and well (located in the basement of the existing residential structure) shall be abandoned in accordance with the Department of Environmental Health's procedures.



LOCATION MAP
Scale: 1" = 600'

SITE DEVELOPMENT PLAN CLARKSVILLE PROFESSIONAL CENTER

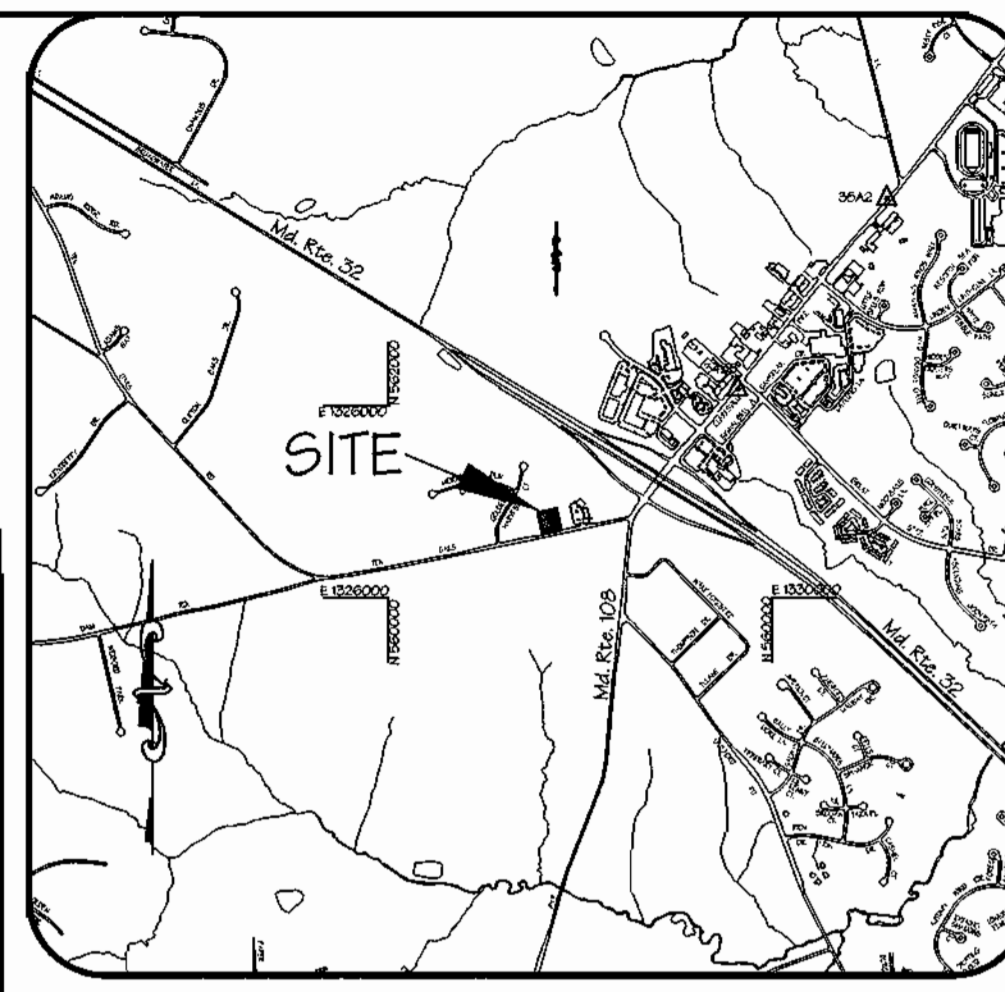
6339 Ten Oaks Road
Clarksville, Maryland 21029
Tax Map 34, Grid 12, Parcel 28
5th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

Address Chart
6339 Ten Oaks Road

BENCHMARKS:

- Howard County Survey Control Station: 348B
Standard Howard County Survey Disc set on a concrete monument. Located 15 feet south of CL intersection of Great Star Drive and Route 108, 1.3 feet behind face of curb on North Bound Lane of Route 108.
- Howard County Survey Control Station: 35A2
Standard Howard County Survey Disc set on a concrete monument. Located 93' feet from BG&E Pole #166792 and 47.2 feet from BG&E Pole #370902 along south bound lane of Route 108. Approximately 214.5 feet from CL intersection of Shepard Lane and Route 108.

Sheet Number	DESCRIPTION
1	Cover Sheet
2	Site Development Plan
3	Grading & Sediment and Erosion Control Plan
4	Grading & Sediment Control and Stormwater Management Notes & Details & Drainage Area Map
5	Stormwater Management Notes & Details
6	Construction Detail Sheet
7	Drainage Area & Soils Map
8	Private Water, Sewer & Stormceptor Notes, Details and Profiles
9	Retaining Walls - Plan View
10	Retaining Walls - Profiles
11	Retaining Walls - Details
12	Retaining Walls - Notes
13	Forest Stand Delineation/Conservation Plan
14	Landscape Plan



VICINITY MAP
Scale: 1" = 1000'



Note: The average building height between front and rear= 39.94 FT Max. allowable building height in B-2 Zoning district is 40.00'.

LEGEND

EXISTING CONTOUR	STONE DIAPHRAGM	
PROPOSED CONTOUR	————	BLOCK RETAINING WALL	
BENCH MARK		EXISTING TREE (TO REMAIN)	
BUILDING RESTRICTION LINE	- - - - -	PROPOSED STORM DRAIN	
FLOW DIRECTION	→	SOIL BORING LOCATION	
SILT FENCE	—SF—SF—	PROPOSED HOWARD COUNTY STANDARD 7" CURB & GUTTER	
SUPER SILT FENCE	—SSF—SSF—		
LIMIT OF DISTURBANCE		
DRAINAGE DIVIDE	————		
STABILIZED CONSTRUCTION ENTRANCE			

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Thomas M. Layton 4/23/03 DATE
DIRECTOR

Charles Hancock 3/26/03 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

John D. ... 3/21/03 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Jim ... 3/18/03 DATE
NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John ... 3/18/03 DATE
HOWARD SOIL CONSERVATION DISTRICT

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION CONTROL, AND SEDIMENTATION REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REGULATIONS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE OR SHE IS RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS TO SUPERVISE POND CONSTRUCTION AND POND OPERATION.

Bruce D. Burton 3/10/03 DATE
PROFESSIONAL ENGINEER

DEVELOPER'S CERTIFICATE

"I WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT." I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 90 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

James M. ... 3/10/03 DATE
DEVELOPER

STATE OF MARYLAND
PROFESSIONAL ENGINEER
Bruce D. Burton 3/7/03 DATE

REVISIONS

No.	Date	Description
1	4/2003	Revise Site Analysis Notes 11f, n & j for Larger Building

Project: Clarksville Professional Center	Sect/Area: 1	Lot No: 1
Flat No: 15693	Block No: 12	Zone: B-2
Tax Map No: 34	Election District: 5th	Census Tract: 6051.01
Water Code: I-11	Sewer Code: 6653000	

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD, 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: S.D.H.
DRAWN: J.D.R.
CHECKED: B.D.B.
DATE: 3/2003

OWNER/DEVELOPER: 6339 TEN OAKS, LLC
7970 Grace Drive, Suite A
Columbia, Maryland 21044
(301) 596-9200

CLARKSVILLE PROFESSIONAL CENTER
Flat No. 15693
Commercial Office Building
Tax Map 34, Grid 12, Parcel 28
5th Election District - Howard County, Maryland
Previous Submittals: F-03-025

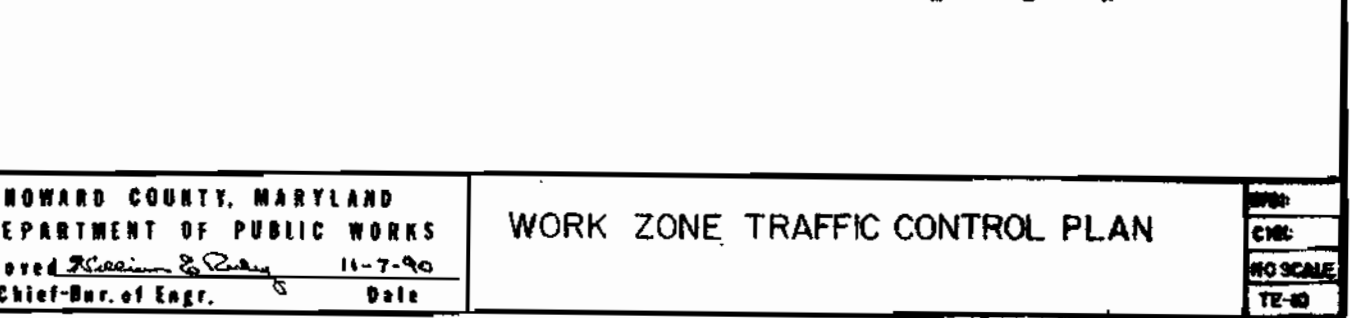
SCALE: As Shown
DRAWING: 1 of 14
JOB NO.: 01-067
FILE NO.: SDP-02-76

Street Light Legend						
Street Name	Station	Centerline	Offset	Lamp Size	Fixture	Pole Type
Ten Oaks Road	see legend	9+59	2' Right	250w. HPD	Vapor Fixture (Sag)	20' arm attached to ex. RGE Pole# Pole located 46' west of CL prop. Ent.

Note: 20' Arm shall be mounted as high as possible on ex. pole and perpendicular to the centerline of Ten Oaks Road.

SPEED (MPH)	MINIMUM DISTANCE FROM PAPER TO FIRST SIGN	ADDITIONAL SIGNS IN SERIES TO BE SPACED AT A MINIMUM	MINIMUM CONCRETE ADVANCED WARNING
A	B	C	D
0 - 25	200'	200'	600'
26 - 35	300'	300'	750'
36 - 45	500'	500'	1000'
46 - 55	600'	700'	1100'

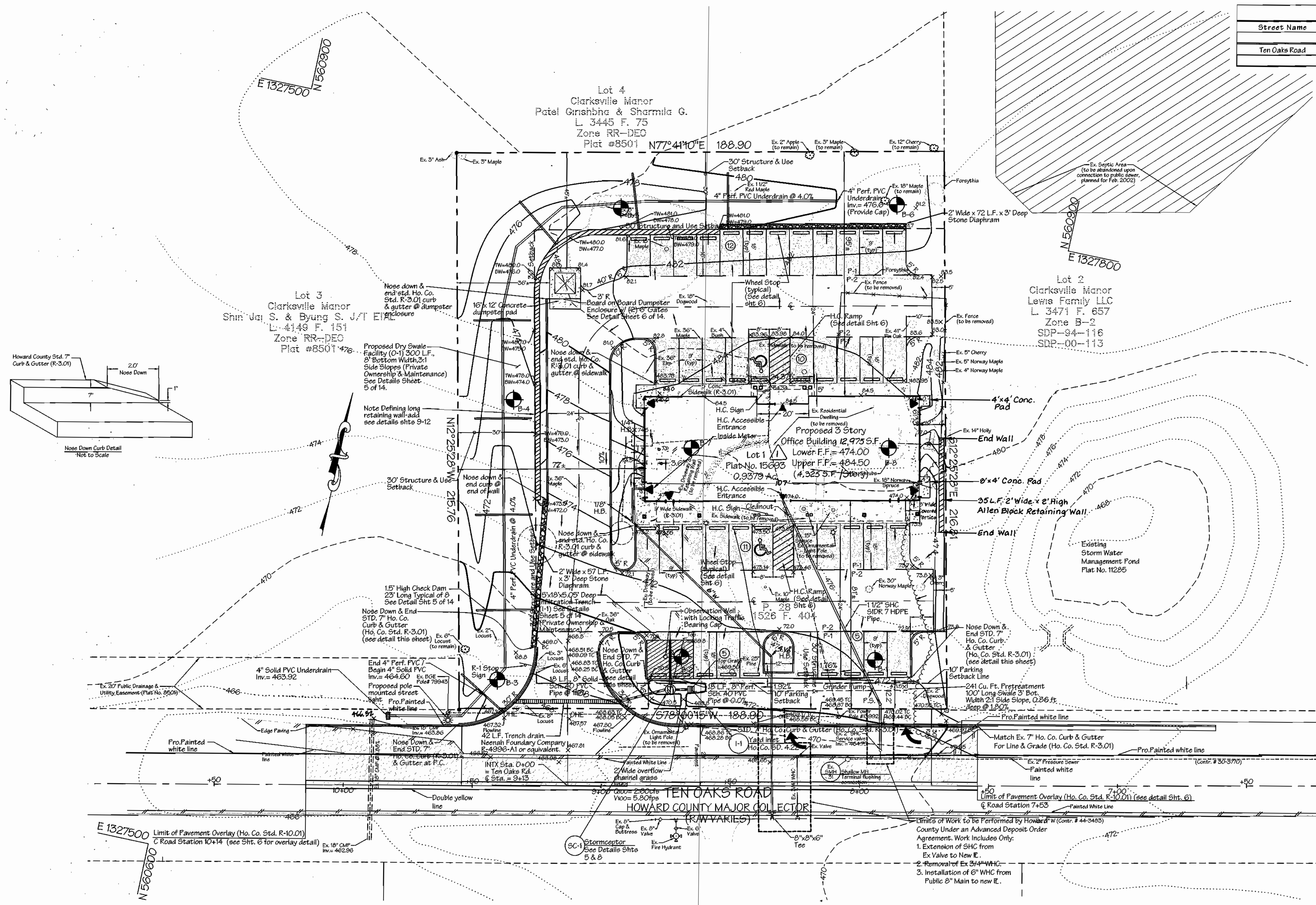
* SPEED LIMIT OR PREVALENT TRAVEL SPEED, WHICHEVER IS HIGHER.
 ** ROAD FRAMED: TWO LANES ONE-WAY ROADWAY / SPEED LIMIT IS 25 MPH / PREVALENT SPEED IS 28 MPH USE 40 MPH
 *** SPEED LIMIT OR PREVALENT TRAVEL SPEED, WHICHEVER IS HIGHER.



HOWARD COUNTY, MARYLAND
 DEPARTMENT OF PUBLIC WORKS
 APPROVED: [Signature] 11-7-03
 Chief of Dept. Date

WORK ZONE TRAFFIC CONTROL PLAN

Note: The maximum allowable impervious cover for this site is 25% and 65%, respectively for drainage areas "A" and "B". If future development exceeds the maximum allowable cover percentages for either drainage area, then additional stormwater management measures will be required for the impervious cover in excess of the allowable percentages.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Donna D. Caylor 3/23/03
 DIRECTOR DATE

Cindy Hamble 3/26/03
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

James A. Goff 3/21/03
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

John Myers/Co. 3/18/03
 NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John Myers 3/18/03
 HOWARD SOIL CONSERVATION DISTRICT DATE

ENGINEER'S CERTIFICATE

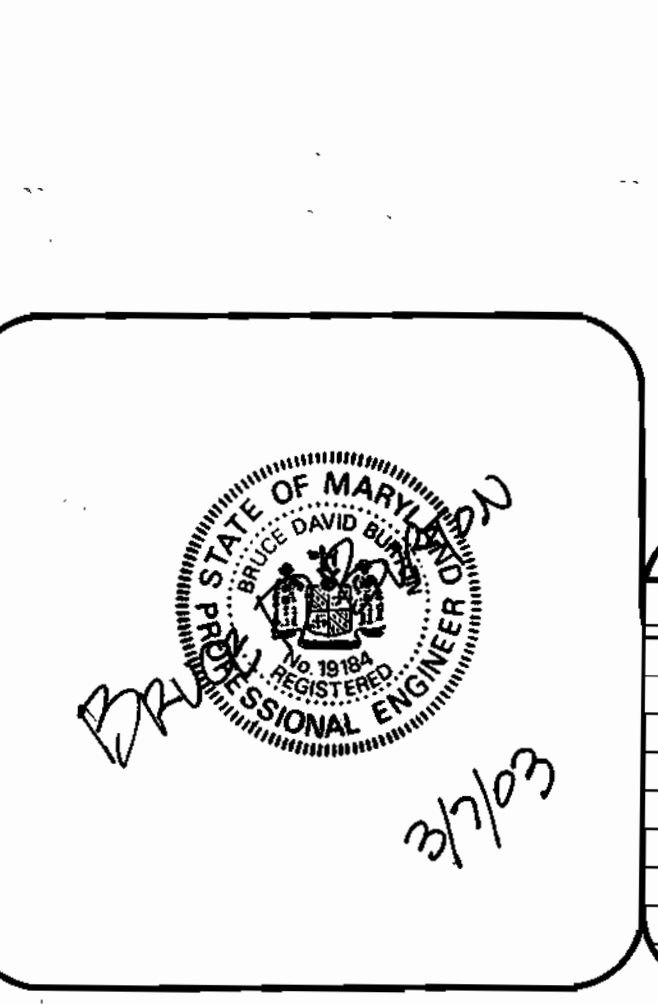
I HEREBY CERTIFY THAT THIS PLAN FOR FOND CONSTRUCTION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL AND PROFESSIONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTICED THE DEVELOPER THAT THE HOWARD SOIL CONSERVATION DISTRICT HAS APPROVED THIS PLAN FOR FOND CONSTRUCTION AND SEDIMENT CONTROL.

Bruce D. Burdick 3/18/03
 SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

James A. Goff 3/10/03
 SIGNATURE OF DEVELOPER DATE



Paving Legend

Ho. Co. P-1 Paving (Ho. Co. Std. R-2.01)

Ho. Co. P-2 Paving (Ho. Co. Std. R-2.01)

Pavement Overlay Only (Ho. Co. Std. R-2.01)

REVISIONS

No.	Date	Description
1	4/2003	Revise building length and area. Revise retaining walls, grading & utilities for larger building.

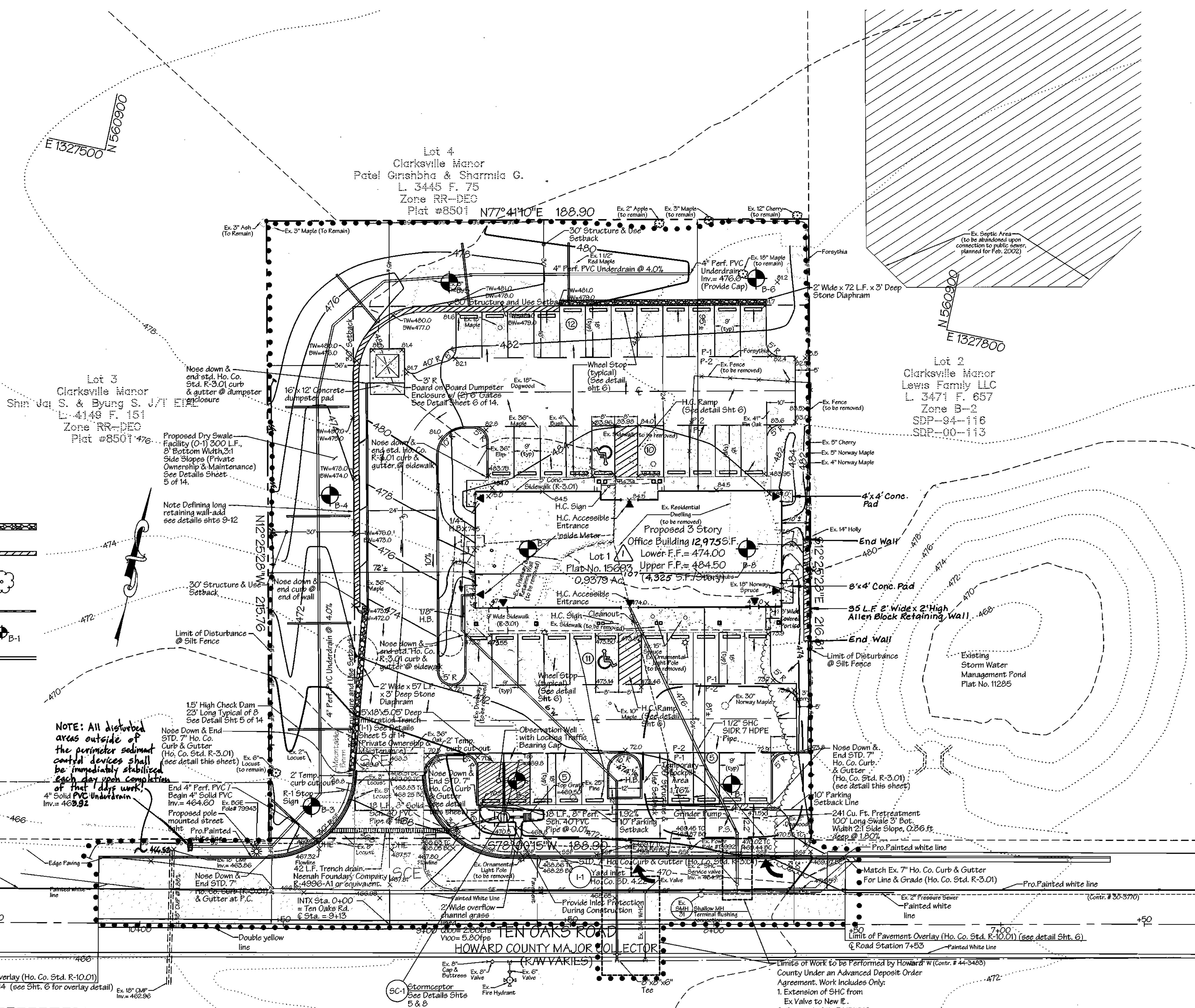
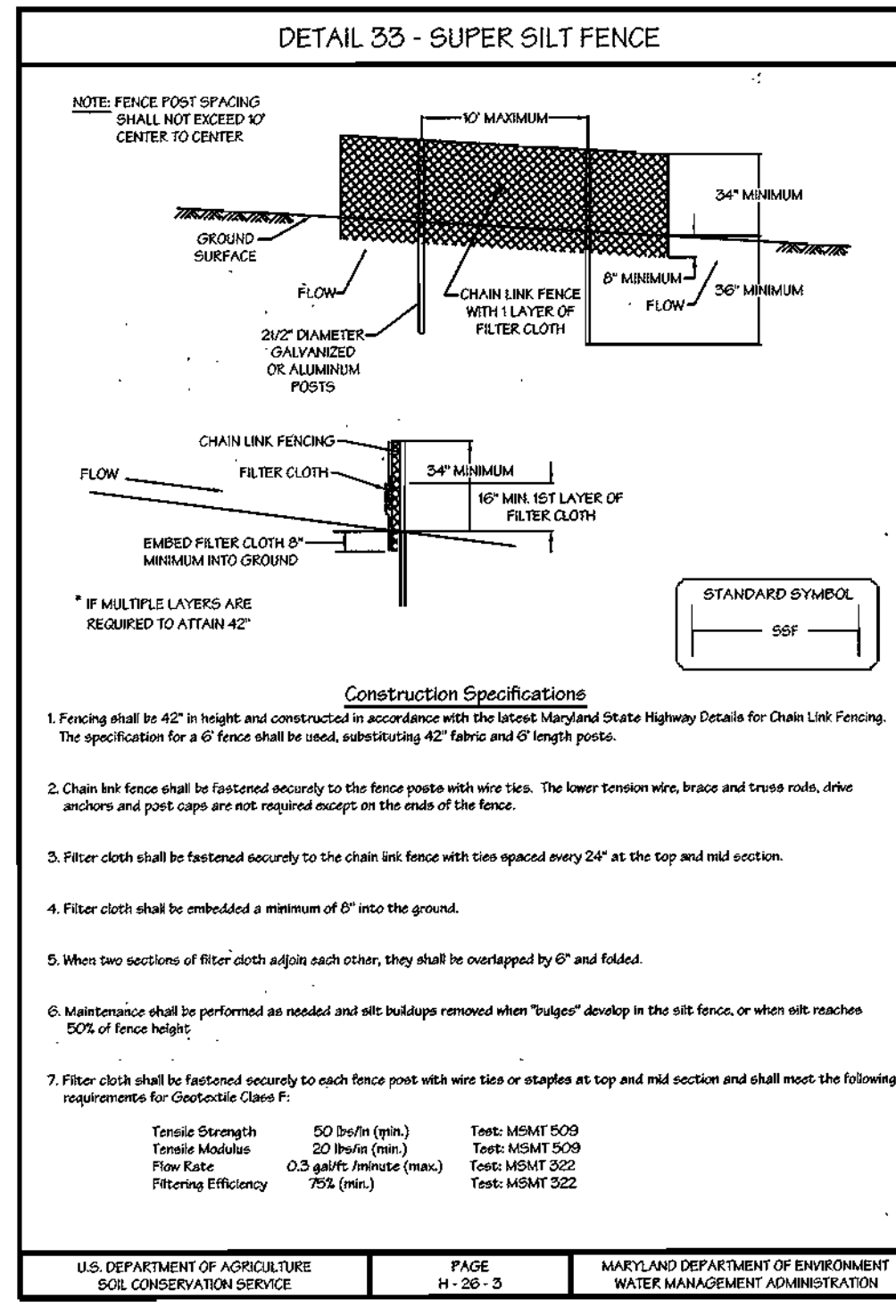
Project: Clarksville Professional Center

Block No. 12	Zone B-2	Tax Map No. 34	Election District 5th	Census Tract 6051.01
Water Code I-11	Sewer Code 6653000			

LDE, INC.
 9250 Rumsey Road, Suite 106, Columbia, MD. 21045
 (410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: S.D.H. Site Development Plan
 DRAWN: J.D.R. CLARKVILLE PROFESSIONAL CENTER
 CHECKED: B.D.B. Plat No. 15693 Commercial Office Building
 DATE: 3/2003 OWNER/DEVELOPER: 6233 TEN OAKS, LLC
 7570 Grace Drive, Suite A Columbia, Maryland 21044 (301) 596-9200

SCALE: 1"=20'
 DRAWING: 2 of 14
 JOB NO: 01-067
 FILE NO.



SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT.	1 DAY
2. NOTIFY THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT LEAST 24 HOURS PRIOR TO STARTING CONSTRUCTION.	1 DAY
3. INSTALL STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM AND SILT FENCE AT LIMIT OF DISTURBANCE SHOWN HEREON.	2 DAYS
4. REMOVE EXISTING ON-SITE TREES / SHRUBS DESIGNATED FOR REMOVAL ON THE PLAN.	2 DAYS
5. DEMOLISH AND REMOVE EXISTING HOUSE, SIDEWALKS AND DRIVEWAY. NOTE: A SEPARATE DEMOLITION PERMIT IS REQUIRED BY HOWARD COUNTY PRIOR TO CONDUCTING ANY DEMOLITION ACTIVITIES ON-SITE.	5 DAYS
6. REMOVE / ABANDON EXISTING SEPTIC SYSTEM AND WELL IN ACCORDANCE WITH HEALTH DEPARTMENT ABANDONMENT PROCEDURES.	2 DAYS
7. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, ROUGH GRADE THE SITE IN ACCORDANCE WITH THE APPROVED GRADING PLAN.	5 DAYS
8. MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON AFTER EACH RAINFALL AND ON A DAILY BASIS.	DAILY
9. CONSTRUCT LONG RETAINING WALL ALONG EDGE OF PAVING ON THE WEST SIDE OF THE SITE, AND SHORT RETAINING WALL ON WEST SIDE OF BUILDINGS.	10 DAYS
10. FINE GRADE SITE IN ACCORDANCE WITH THE APPROVED GRADING PLAN. IMMEDIATELY STABILIZE ALL AREAS NOT TO BE ROOFED OR PAVED IN ACCORDANCE WITH THE TEMPORARY SEEDING NOTES.	3 DAYS
11. INSTALL STANDARD HOWARD COUNTY CURBS AND GUTTERS ALONG TEN OAKS ROAD, ALONG COMMERCIAL ENTRANCE AND ON EAST SIDE OF LOWER PARKING AREA.	1 DAY
12. INSTALL GRAVEL PAVING BASE FOR ALL AREAS DESIGNATED TO BE PAVED.	2 DAYS
13. STABILIZE ALL REMAINING DISTURBED AREAS IN ACCORDANCE WITH THE TEMPORARY SEEDING NOTES.	1 DAY
14. INSTALL WATER AND SEWER CONNECTIONS TO BUILDING.	4 DAYS
15. CONSTRUCT BUILDING.	4 MONTHS
16. ONCE BUILDING IS COMPLETE AND HEAVY CONSTRUCTION EQUIPMENT IS NO LONGER NEEDED ON-SITE, INSTALL THE TRENCH DRAIN, 1-YARD INLET AND INFILTRATION TRENCH SYSTEM. NOTE: THE INFILTRATION SHALL NOT BECOME FUNCTIONAL UNTIL ITS ENTIRE DRAINAGE AREA IS FULLY STABILIZED.	3 DAYS
17. INSTALL CONCRETE SIDEWALKS, DOOR PADS AND STEPS.	4 DAYS
18. INSTALL BASE AND SURFACE PAVING COURSES.	2 DAYS
19. INSTALL DRY SWALE / BIOPRETENTION FACILITY WITH TIMBER CHECK DAMS.	2 DAYS
20. Install the bioretention planting, perimeter and internal landscaping in accordance with the permanent seeding notes. 1 DAY	1 DAY
21. With permission from the sediment control inspector, remove all remaining sediment control devices, stabilize any remaining disturbed areas in accordance with the permanent seeding notes. 3 DAYS	3 DAYS
22. PAINT STRIPE PARKING AREA AND INSTALL SIGNAGE.	1 DAY
TOTAL ESTIMATED TIME:	6 MONTHS

Legend

Existing contour	Stone diaphragm
Proposed contour	Block retaining wall
Bench mark	Existing tree (to remain)
Building restriction line	Proposed storm drain
Flow direction	Soil boring location
Silt fence	Proposed howard county standard 7" curb & gutter
Super silt fence	
Limit of disturbance	
Drainage divide	
Stabilized construction entrance	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

March M. Taylor 3/23/03
DIRECTOR

Chris Hamilton 3/26/03
CHIEF, DIVISION OF LAND DEVELOPMENT

Chad Primm 3/21/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Jin Nguyen 3/18/03
NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Yuhua Shy 3/18/03
HOWARD SOIL CONSERVATION DISTRICT

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR FUND CONSTRUCTION, SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL VISUAL INSPECTION OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE HOWARD COUNTY REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FUND CONSTRUCTION AND SEDIMENT AND EROSION CONTROL DISTRICT WITH AN "AS-BUILT" PLAN OF THE FUND WITHIN 90 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Bruce D. Burt 3/7/03
REGISTERED PROFESSIONAL ENGINEER

DEVELOPER'S CERTIFICATE

"WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FUND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE FUND WITHIN 90 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT."

James J. Jost 3/10/03
DATE

STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER

Bruce D. Burt 3/7/03

REVISIONS

No.	Date	Description
1	4/2003	Revise building length and area. Revise retaining walls, grading, utilities for larger building.

Project: Clarksville Professional Center	Sect/Area	Lot No: 1
Plat No: 15693	Block No: 12	Zone: B-2
Water Code: I-11	Tax Map No: 34	Election District: 5th
	Swear Code: 6653000	Consent Tract: 6051.01

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

Grading & Sediment Control Plan

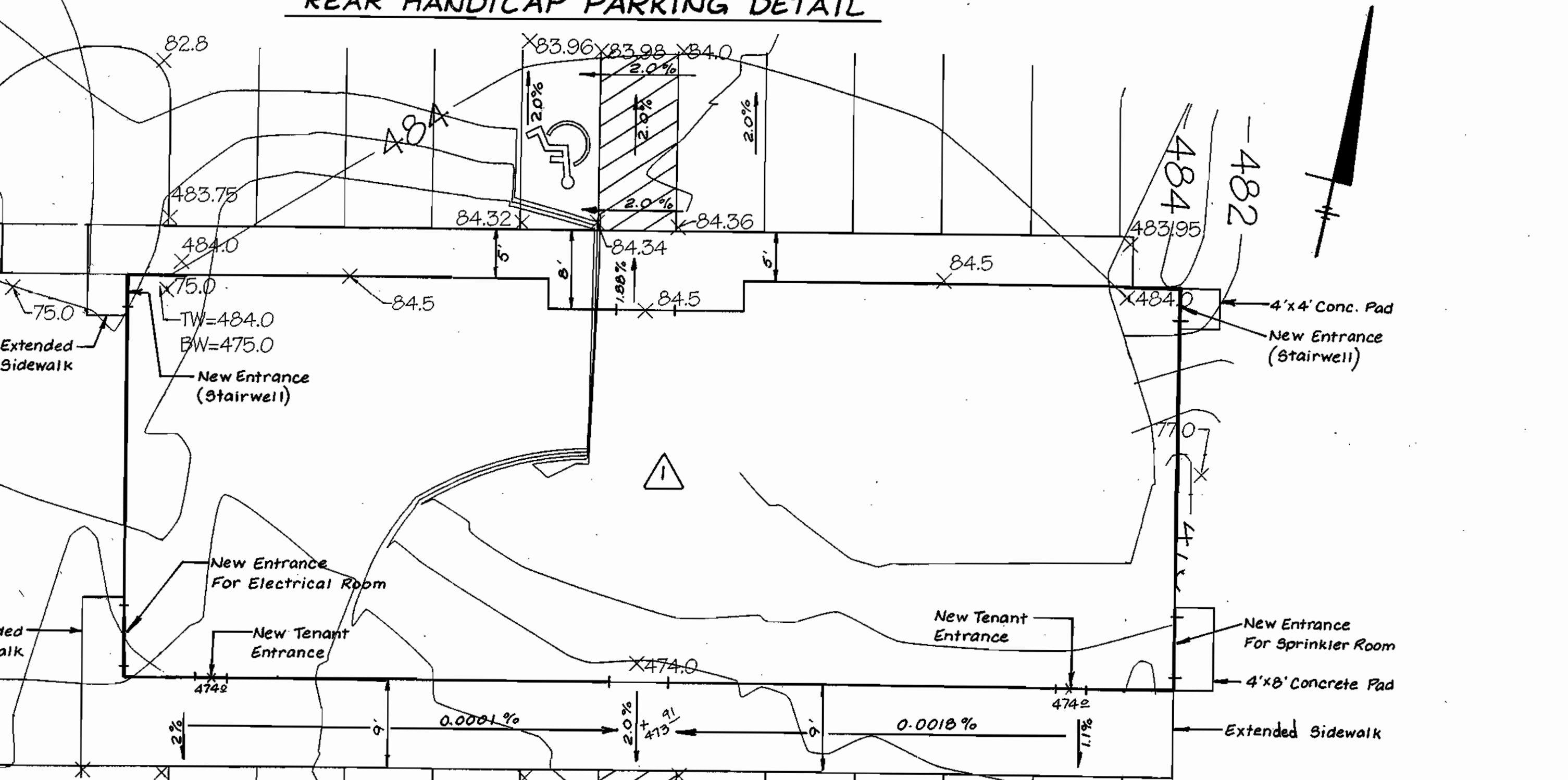
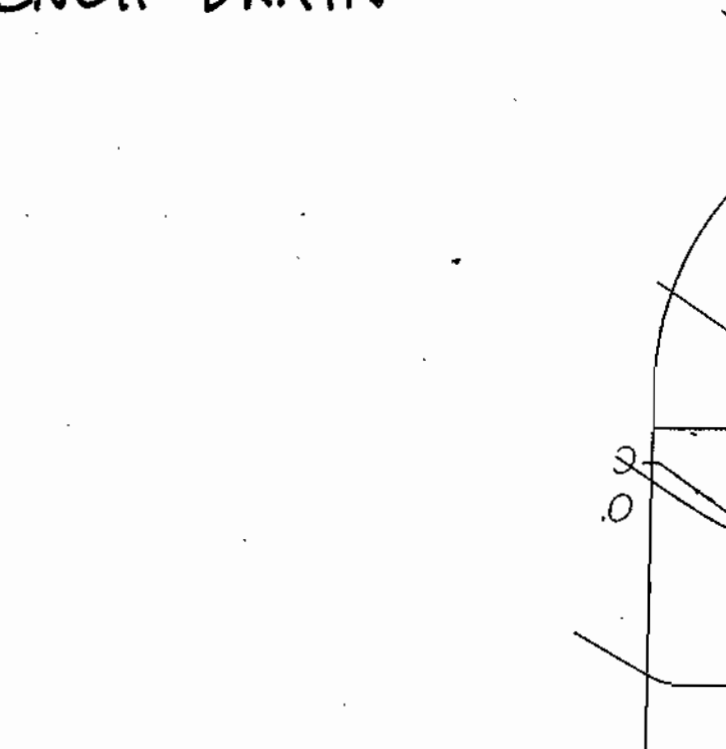
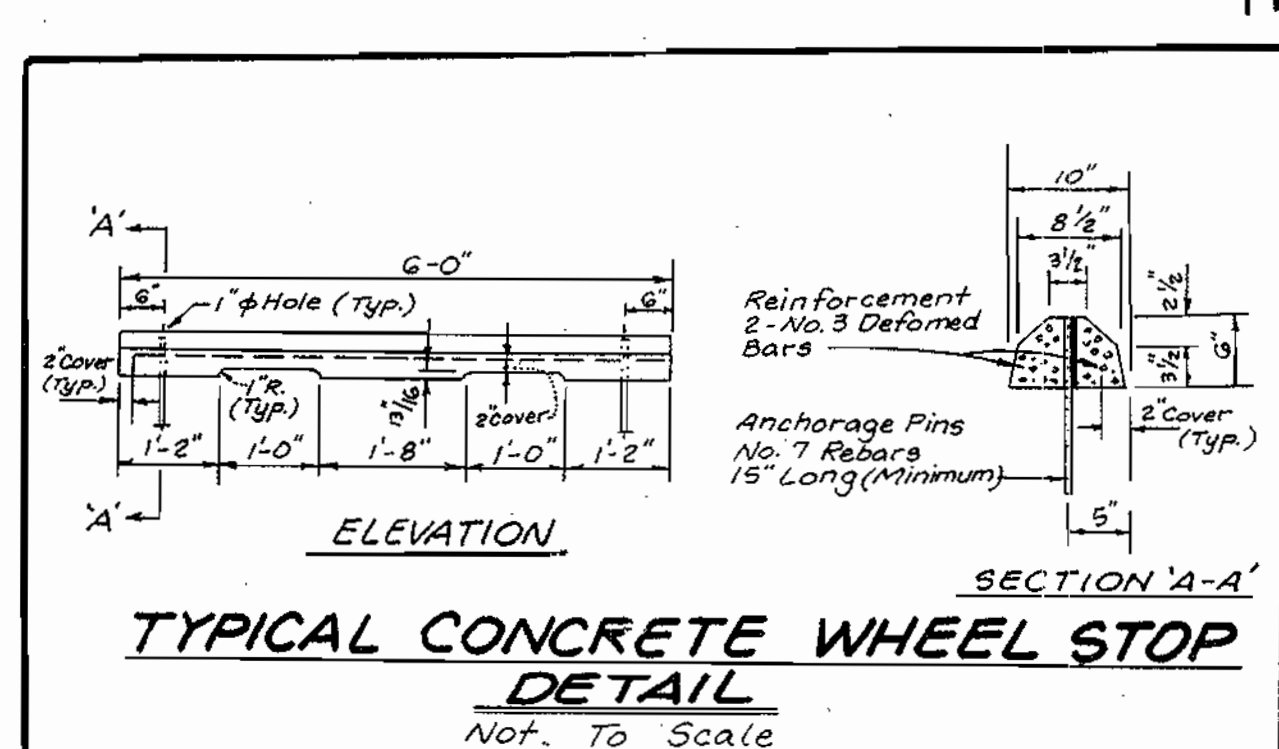
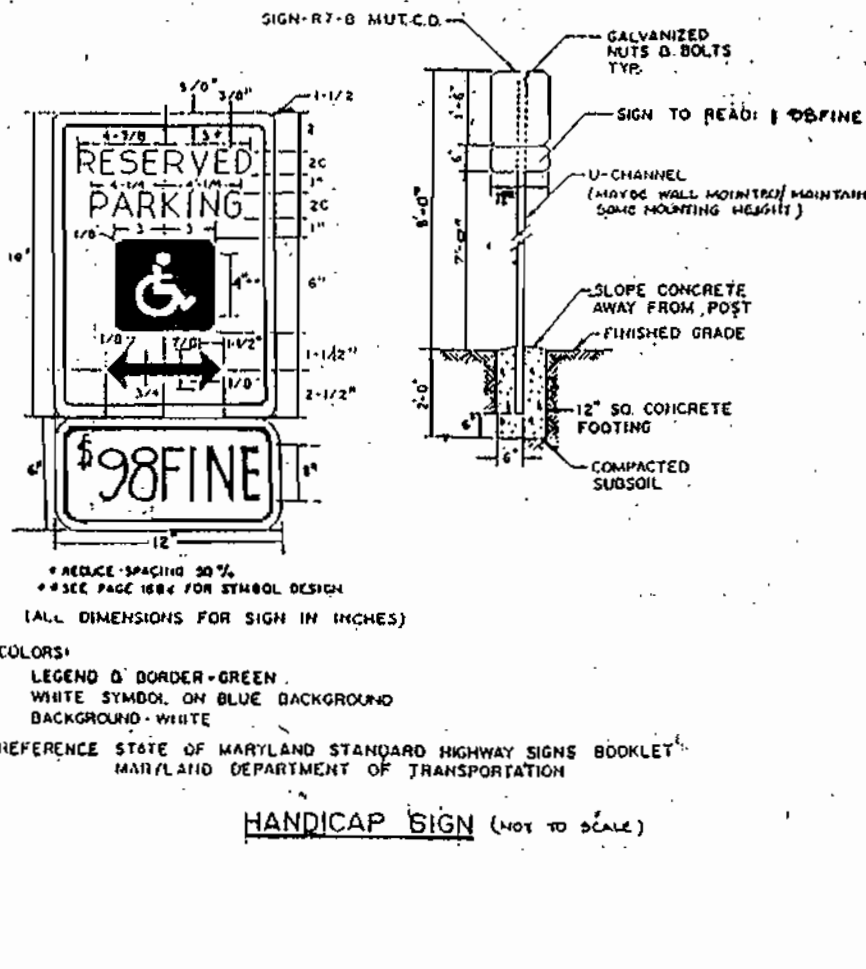
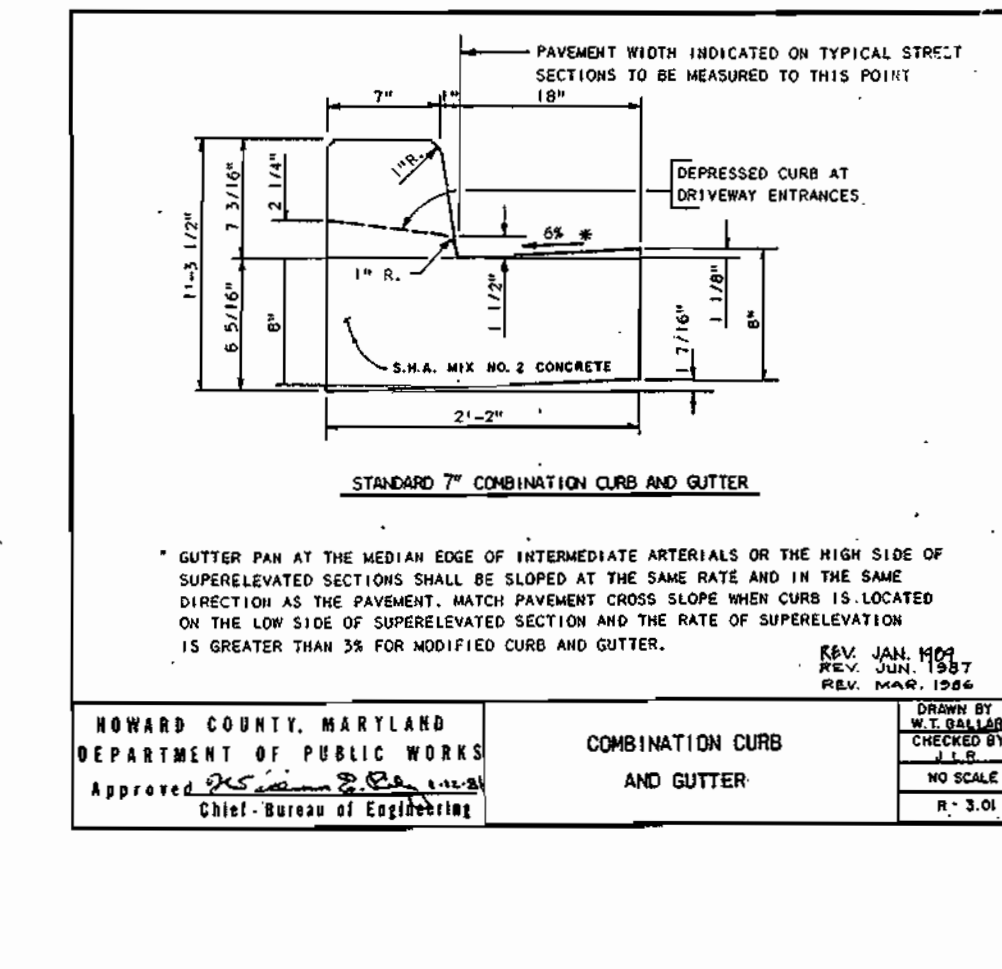
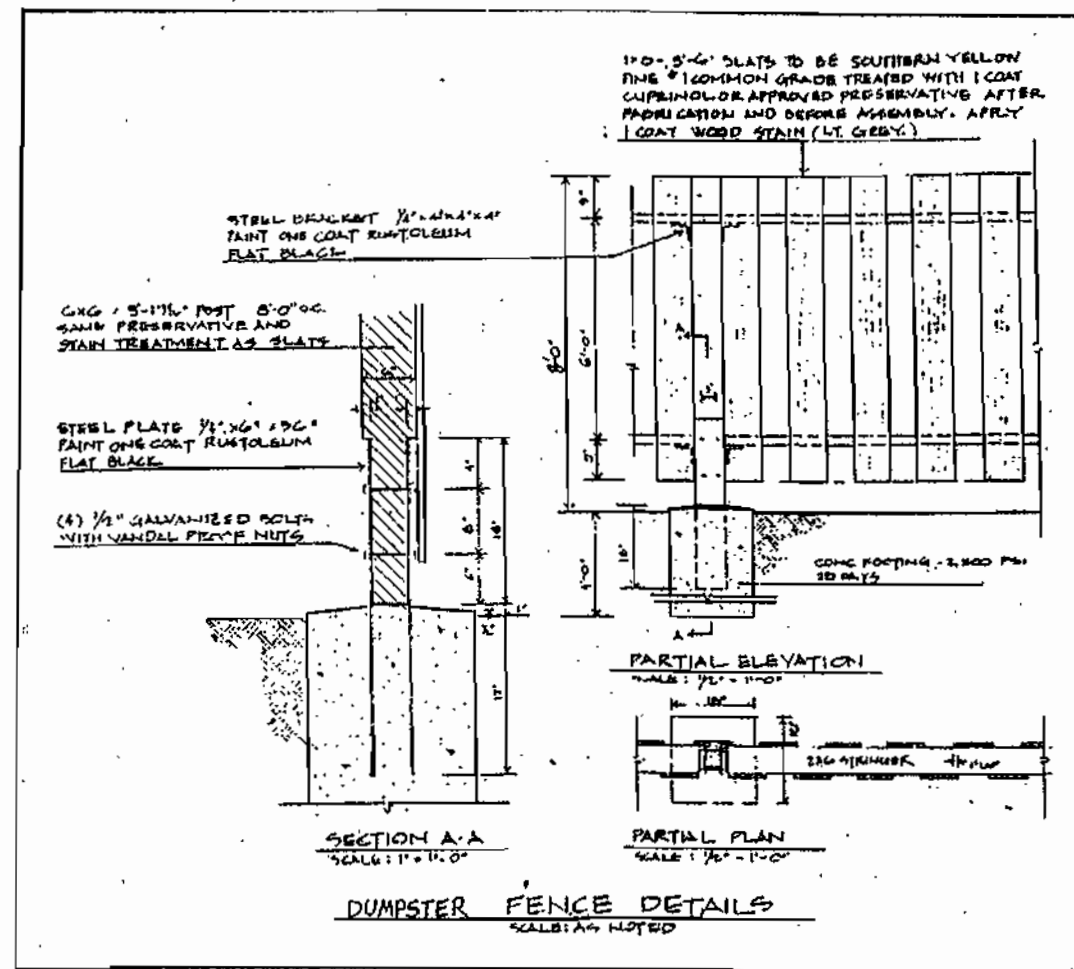
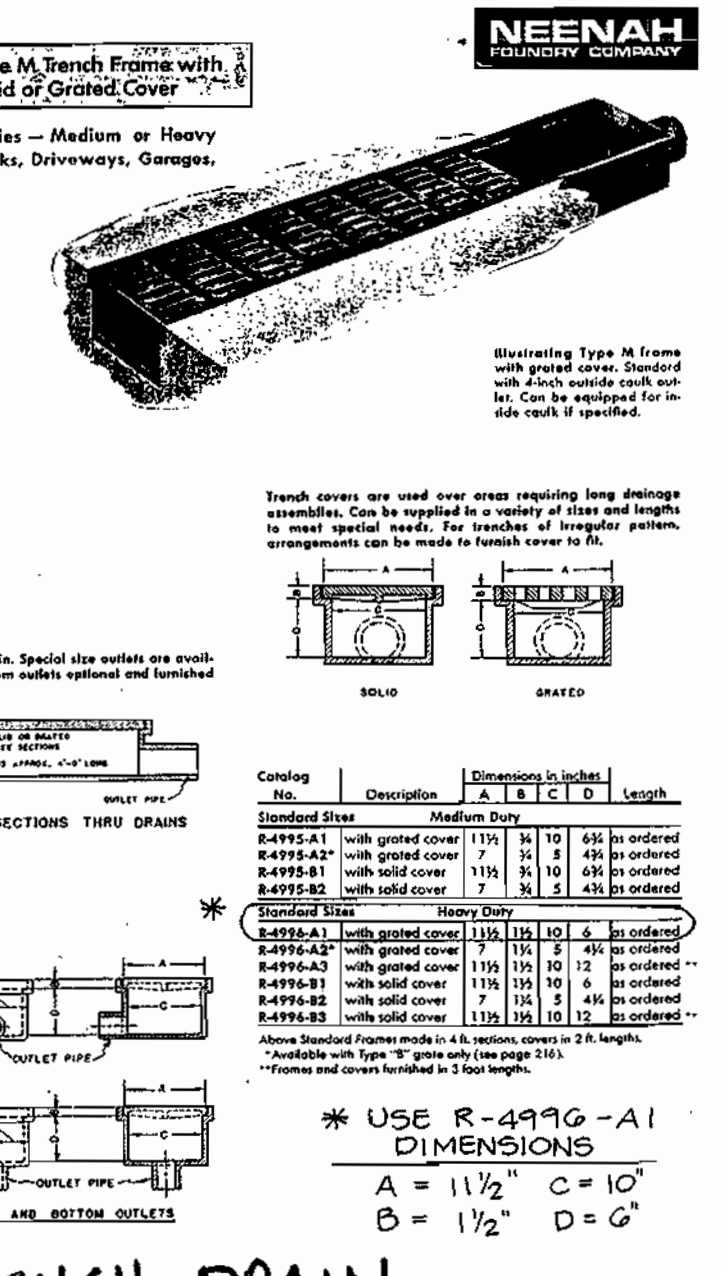
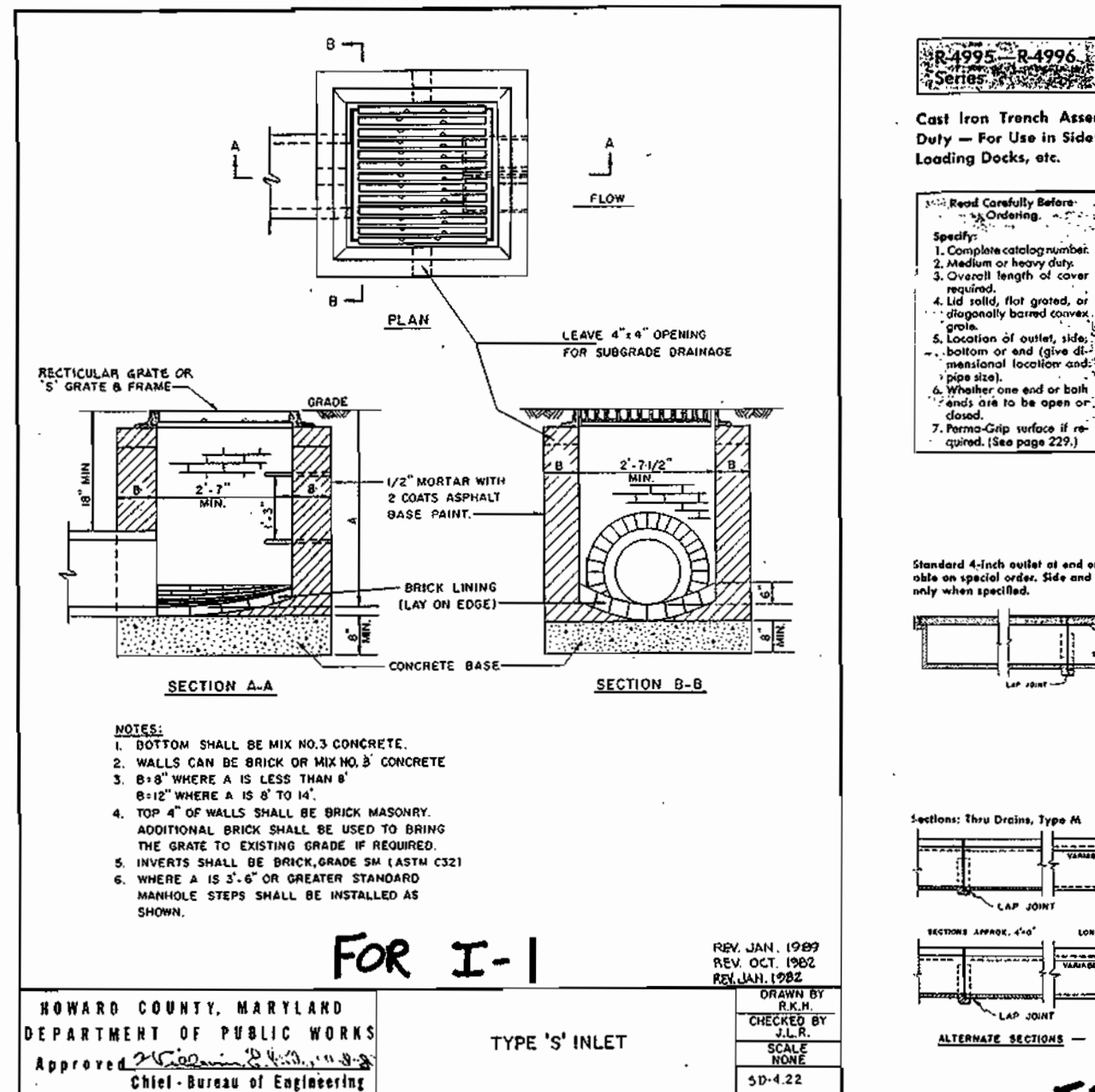
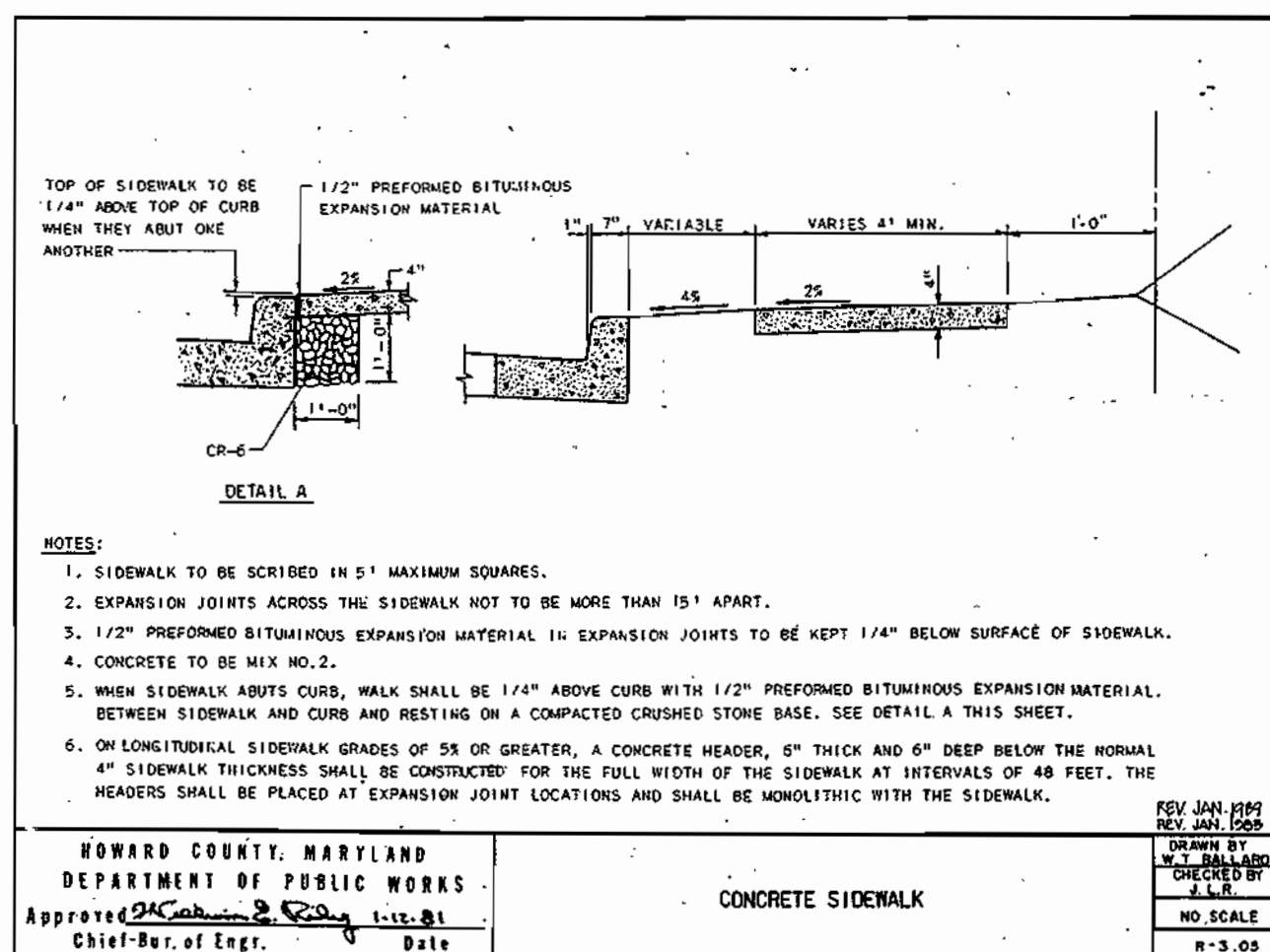
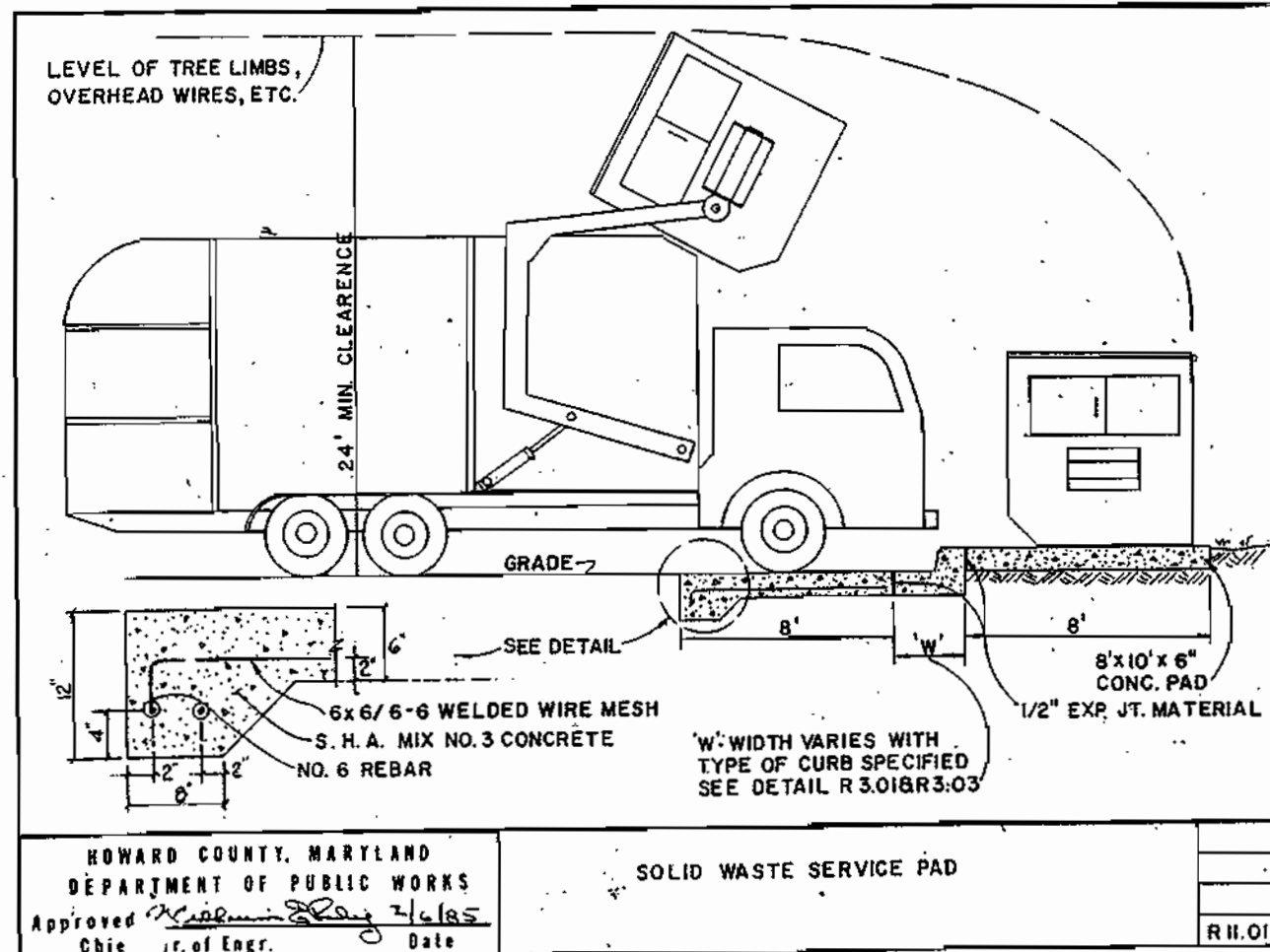
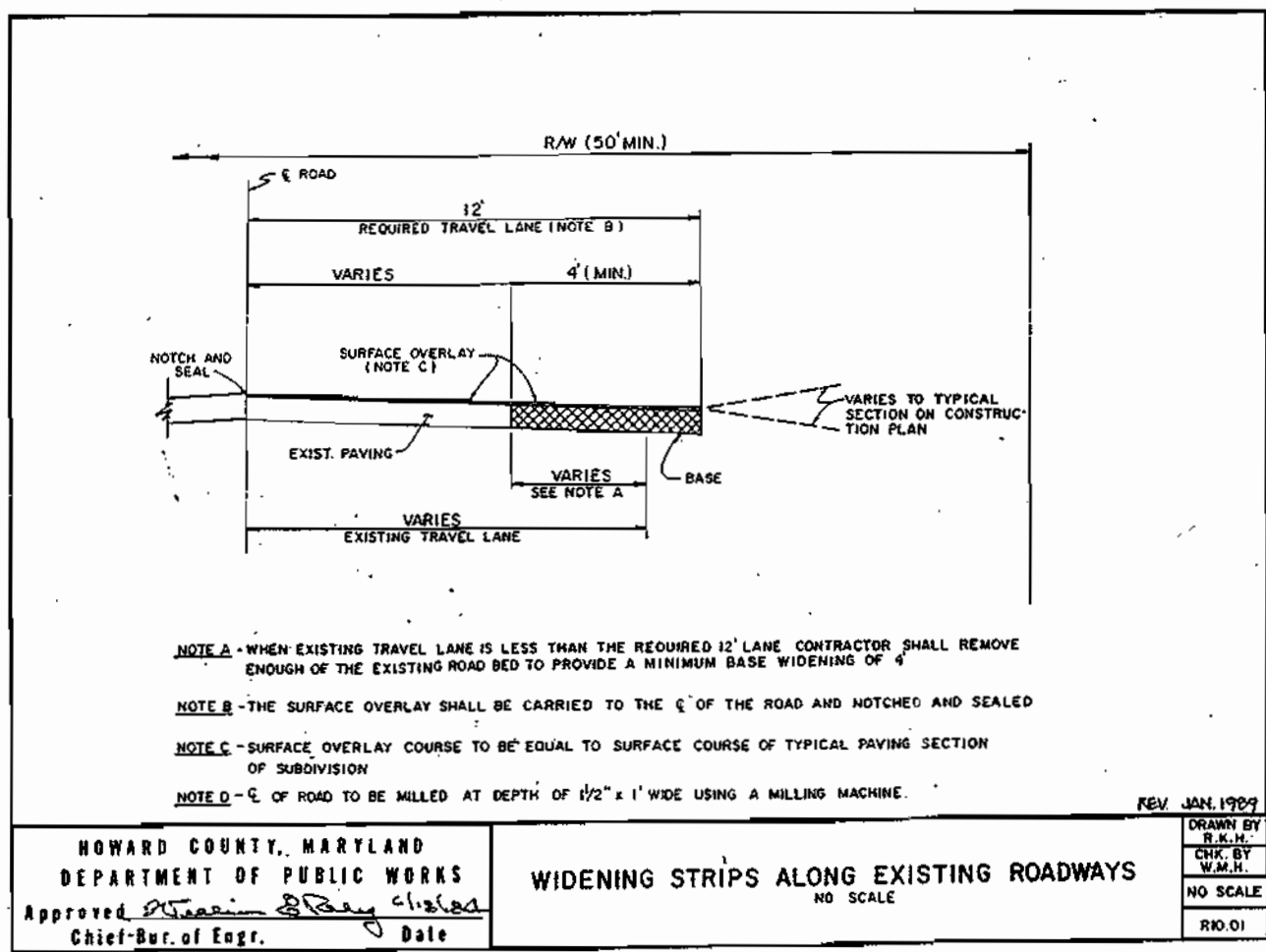
CLARKSVILLE PROFESSIONAL CENTER
Plat No. 15693
Commercial Office Building

DESIGNED: S.D.H.
DRAWN: J.D.R.
CHECKED: B.D.B.
DATE: 3/2003

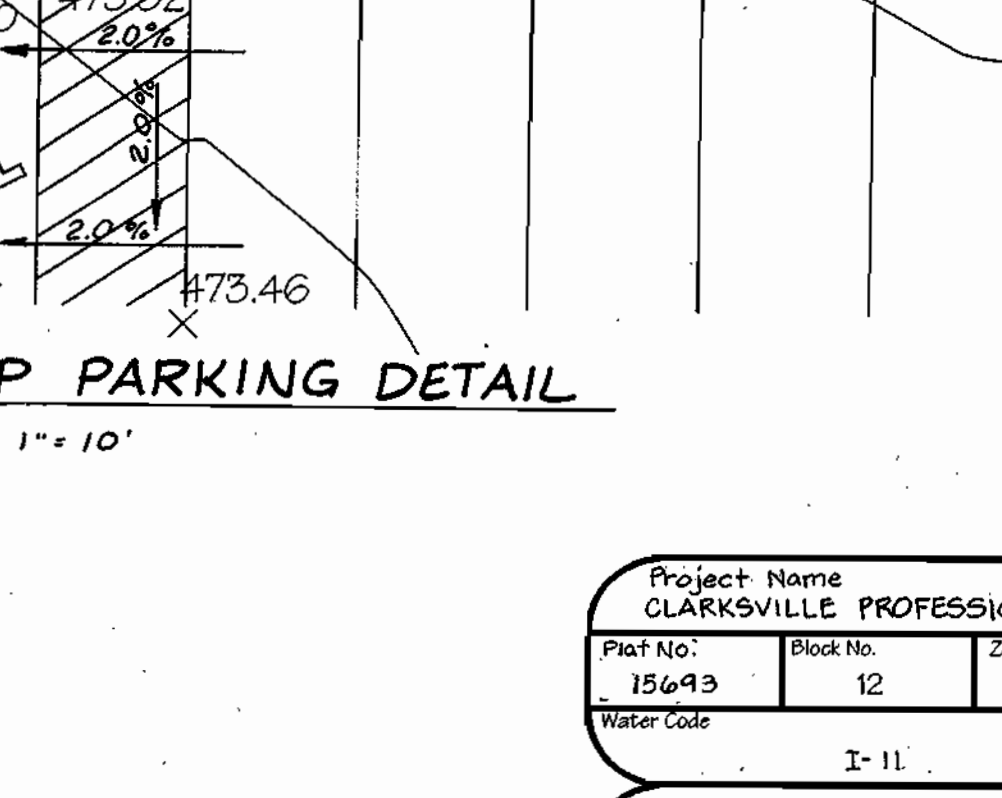
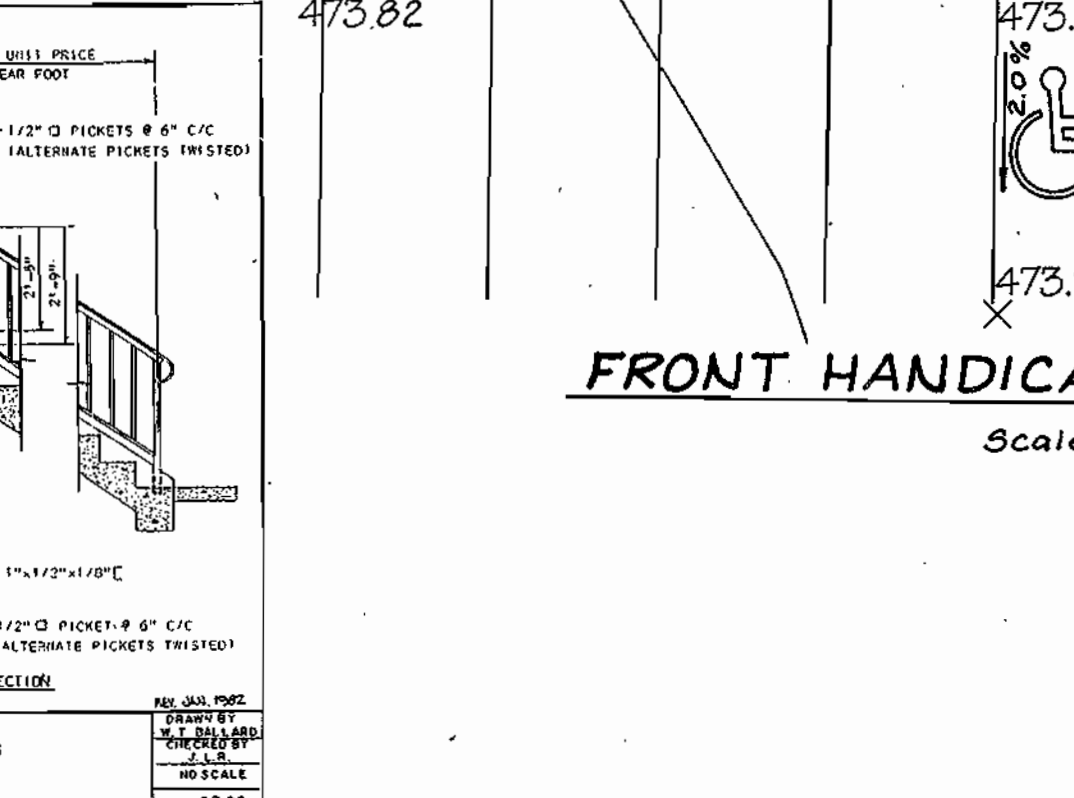
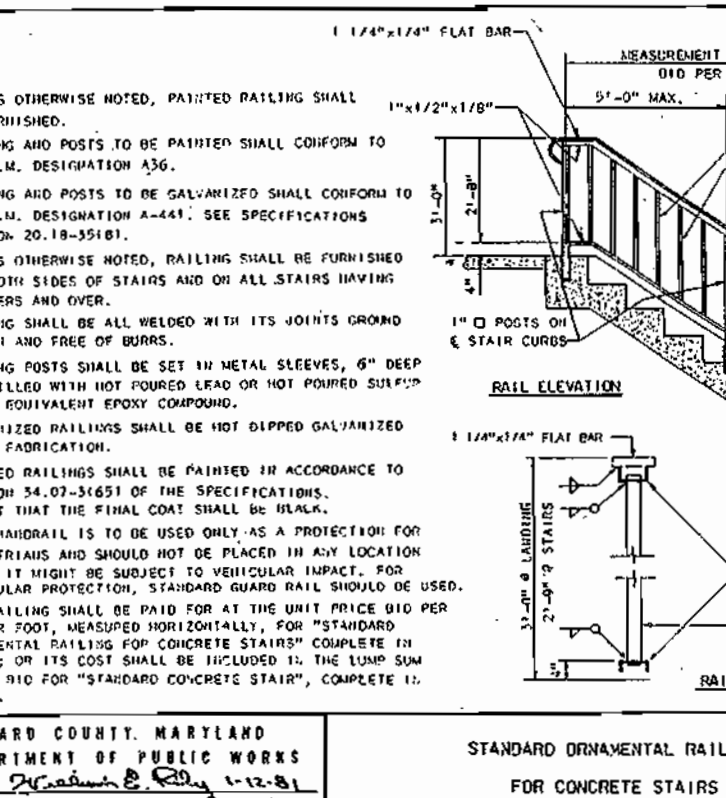
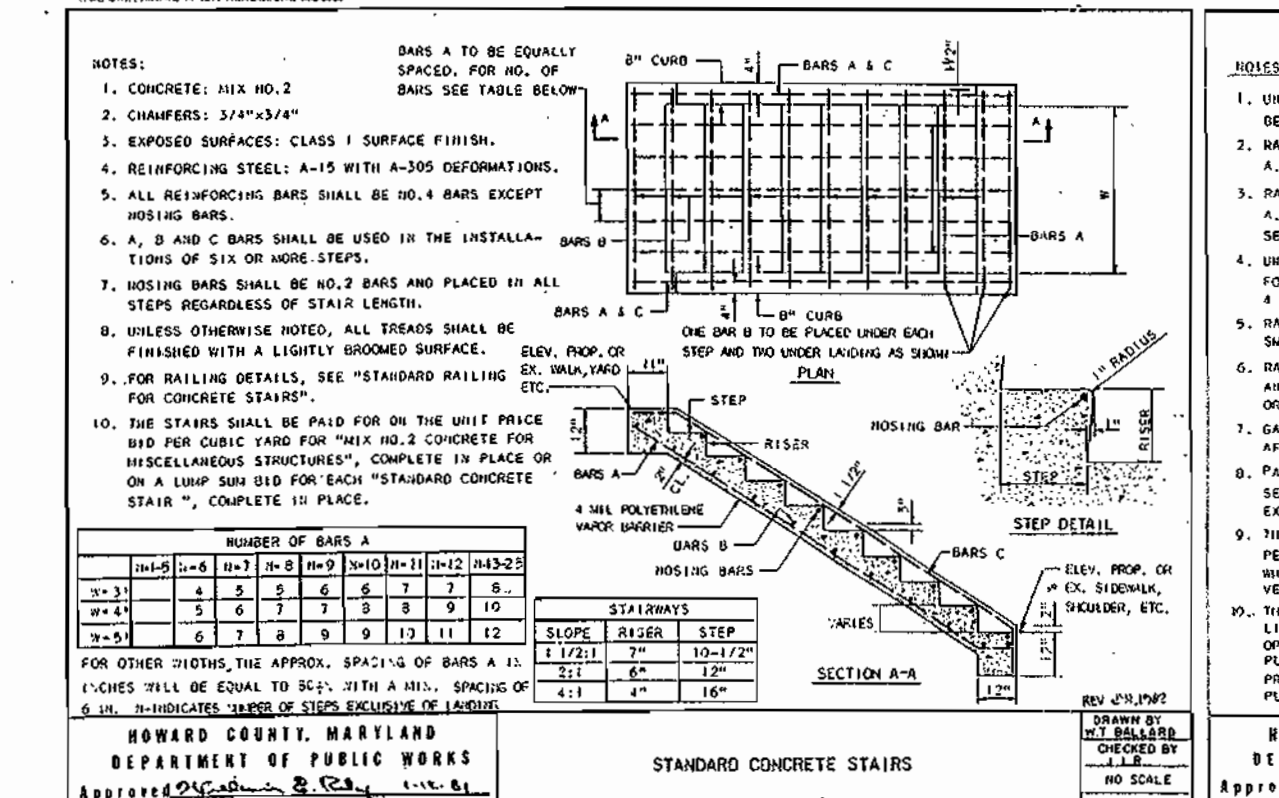
OWNER/DEVELOPER: 6339 TEN OAKS, LLC
7370 Grace Drive, Suite A
Columbia, Maryland 21044
(301) 596-9200

SCALE: 1"=20'
DRAWING: 3 of 14
JOB NO.: 01-067
FILE NO.: SDP-02-076

Filed Projects 421TEN OAKS ROAD/CLARKSVILLE PROFESSIONAL CENTER/PLAT 15693, CONTROL PLAN, 3/7/2003, 2:25:48 PM



SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVING MATERIALS	PAVING SECTIONS
P-1	PARKING BAYS APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE	P-1 THROUGH P-2
P-2	TRAVELWAYS FOR APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	1 1/2" BIT. CONC. SURFACE 5" BIT. CONC. BASE	P-1 THROUGH P-2
P-3	RESIDENTIAL ZONES LOCAL, ON-DECK, ALLEYS AND PRIVATE ROADS BEYOND PROPERTIES	1 1/2" BIT. CONC. SURFACE 5" BIT. CONC. BASE	P-1 THROUGH P-2
P-4	TRAVELWAYS FOR APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	1 1/2" BIT. CONC. SURFACE 5" BIT. CONC. BASE	P-1 THROUGH P-2



Project Name	CLARKSVILLE PROFESSIONAL CENTER	Sheet/Total	1/1
Plot No.	15693	Block No.	12
Water Code	I-11	Zone	B-2
		Tax Map No.	34
		Election District	5th
		Consent Tract	6051.01
		Sheet Code	6653000

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 3/23/03
DIRECTOR

[Signature] 3/26/03
CHIEF, DIVISION OF ZONING DEVELOPMENT

[Signature] 3/21/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION CONTROL AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL SURVEY OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REGULATIONS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE IS RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND.

[Signature] 3/27/03
SIGNATURE OF ENGINEER

DEVELOPER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 90 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 3/27/03
SIGNATURE OF DEVELOPER

PROFESSIONAL ENGINEER

[Signature] 3/27/03

REVISIONS

No.	Date	Description
1	4/2003	Revised building footprint on Handicap Detail

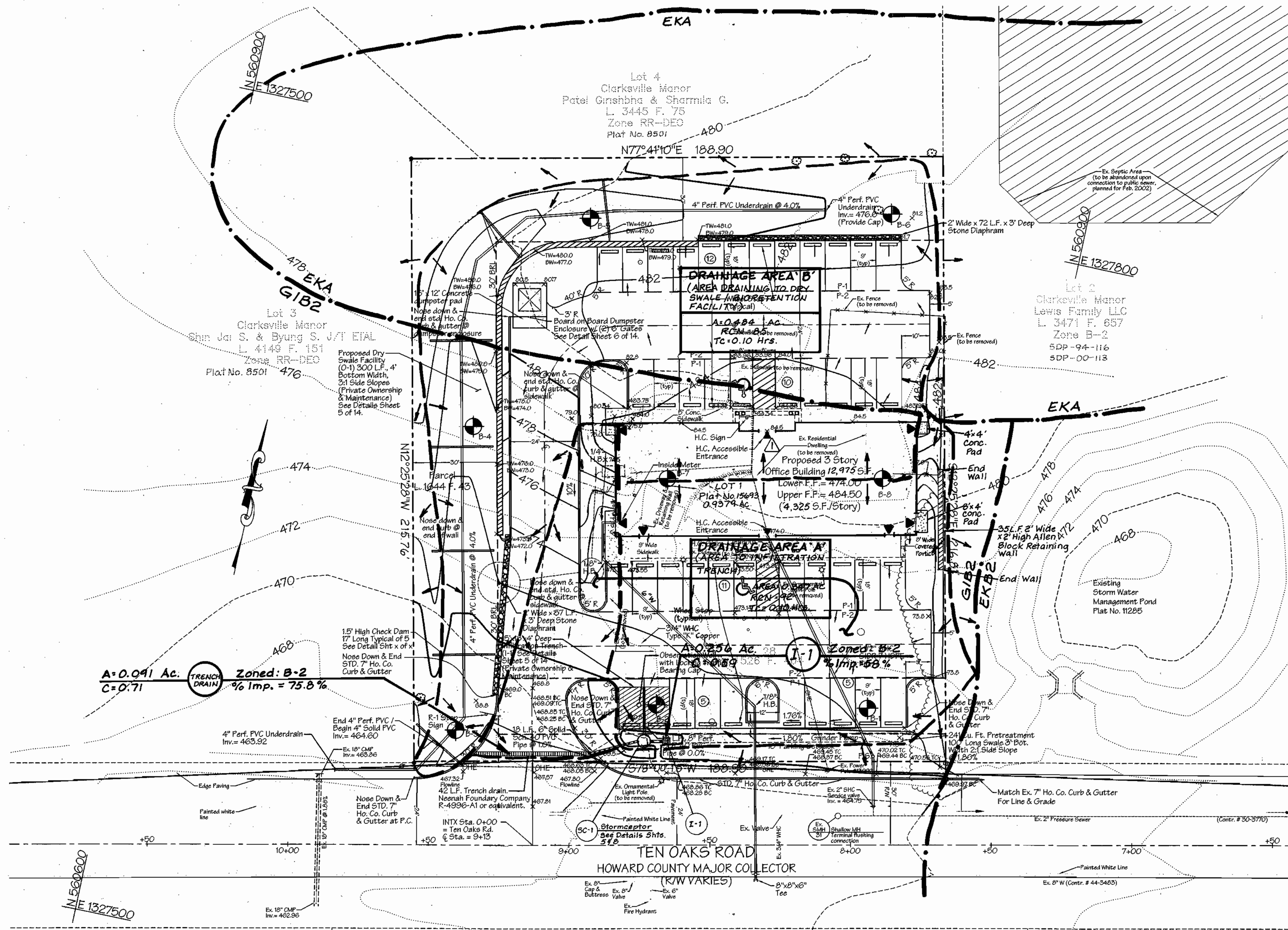
LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

CLARKSVILLE PROFESSIONAL CENTER
Plat No. 15693
Commercial Office Building

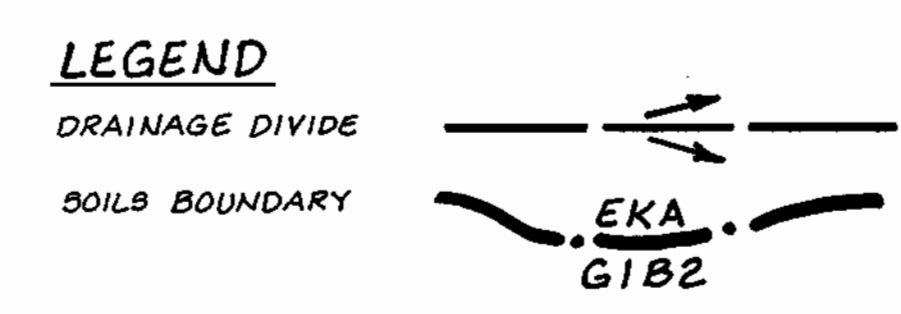
Tax Map 34, Grid 12, Parcel 28
5th Election District - Howard County, Maryland
Filing Submittals: F-20-228

OWNER/DEVELOPER: 6339 TEAL OAKS, LLC
7370 Grace Drive, Suite A
Columbia, Maryland 21044
(301) 596-9200

SCALE: As Shown
DRAWING: 6 of 14
JOB NO.: 01-067
FILE NO.: SDP-02-76



NOTE: THE MAXIMUM ALLOWABLE IMPERVIOUS COVER FOR THIS SITE IS 85% AND 65%, RESPECTIVELY FOR DRAINAGE AREAS 'A' AND 'B'. IF FUTURE DEVELOPMENT EXCEEDS THE MAXIMUM ALLOWABLE COVER PERCENTAGES FOR EITHER DRAINAGE AREA, THEN ADDITIONAL STORMWATER MANAGEMENT MEASURES WILL BE REQUIRED FOR THE IMPERVIOUS COVER IN EXCESS OF THE ALLOWABLE PERCENTAGES.



Project: Clarksville Professional Center		Sheet/Area: 1	Lot No. 1
Plot No. 15693	Block No. 12	Zone B-2	Tax Map No. 34
Election District 5th		Census Tract 6051.01	
Water Code I-11		Sewer Code 6653000	

LDE, INC.
 9250 Rumsey Road, Suite 106, Columbia, MD, 21045
 (410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: S.D.H.	SCALE: 1"=20'
DRAWN: J.D.R., S.T.B.	DRAWING: 7 of 14
CHECKED: B.D.B.	JOB NO.: 01-067
DATE: 12/20/01	FILE NO.: SDP-02-76
OWNER/DEVELOPER: 6339 TEN OAKS, LLC 7370 Grace Drive, Suite A Columbia, Maryland 21044 (301) 596-9200	

SOILS LEGEND

HYDROLOGIC SOIL GROUP	SOIL SYMBOL	DESCRIPTION	REMARKS
B	EKA	Eloak silt loam, 0% - 3% slopes	
B	G1B2	Glenelg loam, 3% - 8% slopes, moderately eroded	

REVISIONS

No.	Date	Description
1	4/2003	Revise building footprint, retaining walls, grading utilities. Revise drainage divides and drainage area information.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

David A. Taylor 3/23/02 DATE
DIRECTOR

Chris Hancock 3/28/03 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

Chris Hancock 3/21/03 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR FOND CONSTRUCTION, EXPOSURE CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL SURVEY OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REGULATIONS OF THE HOWARD COUNTY CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT THE COST OF THE REQUIRED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND THE COST OF THE REQUIRED PROFESSIONAL ENGINEER TO SUPERVISE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD COUNTY CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD COUNTY CONSERVATION DISTRICT.

Bruce D. Burton 3/7/03 DATE
SIGNATURE OF ENGINEER

DEVELOPER'S CERTIFICATE

I HAVE CERTIFIED THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL EMPLOY A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND PROMISE THE HOWARD COUNTY CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD COUNTY CONSERVATION DISTRICT.

James R. Jett shops DATE
JAMES R. JETT



Technical Design Manual Page 23

4.0 Installation Procedures

The installation of the concrete Stormceptor® should conform in general to state highway or local specifications for the construction of manholes. Selected sections of a general specification that are applicable are summarized in the following sections.

Excavation

Excavation for the installation of the Stormceptor® should conform to state highway or local specifications. Topsoil that is removed during the excavation for the Stormceptor® should be stockpiled in designated areas and should not be mixed with subsoil or other materials. Topsoil stockpiles, and the general site preparation for the installation of the Stormceptor® should conform to state highway or local specifications.

The Stormceptor® should not be installed on frozen ground. Excavation should extend a minimum of 12 inches from the precast concrete surfaces plus an allowance for shoring and bracing where required. If the bottom of the excavation provides an unstable foundation additional excavation may be required.

In areas with a high water table, continuous dewatering should be provided to ensure that the excavation is stable and free of water.

Leveling

A 6 to 12 inch layer of granular material (conforming to local or state highway backfill specifications) should be installed, compacted, and leveled at the bottom of the excavation to the proper elevation for the installation of the interior base.

Backfilling

Backfill material should conform to state highway or local specifications. Generally, backfill material should be placed in uniform layers not exceeding 12 inches in depth. Each layer should be compacted to the density required by local/state guidelines. Backfill is not to contain topsoil.

Stormceptor Corporation

Technical Design Manual Page 24

Stormceptor® Construction Sequence

The concrete Stormceptor® is installed in sections in the following sequence:

1. aggregate base
2. base slab
3. treatment chamber section(s)
4. transition slab (if required)
5. by-pass section with inlet
6. connect inlet and outlet pipes
7. riser section and/or transition slab (if required)
8. maintenance riser section(s) (if required)
9. top slab equipped with clear access to vent and 24" opening
10. frame and access cover

The precast base should be placed level at the specified grade. The entire base should be in contact with the underlying compacted granular material. Subsequent sections, complete with joint seals, should be installed in accordance with the precast concrete manufacturer's recommendations.

Adjustment of the Stormceptor® can be performed by lifting the upper sections from the precast concrete manufacturer's recommendations.

Damaged sections and gaskets should be repaired or replaced as necessary. Once the Stormceptor® has been constructed, the lift holes should be plugged and mortared inside and outside.

Down Pipe and Riser Pipe

Once the by-pass section has been attached to the lower treatment chamber, the inlet down pipe, and outlet riser pipe can be attached. To install the inlet down pipe a vent enters the lower treatment chamber through the outlet riser pipe opening (24 inch diameter) in the by-pass section.

The inlet drop pipe is installed by coating the outside of the pipe with glue and pushing the pipe into the coupling. Chemers 948 caulking should be applied to the connection once the inlet drop pipe is securely in place. The seal at the end of the inlet drop pipe must be oriented such that water which enters the treatment chamber is directed tangentially around the inside walls of the chamber.

Stormceptor Corporation

Technical Design Manual Page 25

Spills

The outlet riser pipe (24 inch diameter) should be installed from the top of the fiberglass disc by sliding the pipe that is provided into the existing 24" sleeve from above. The 24" diameter pipe is manufactured with a flange on the end. Chemers 948 caulking should be applied underneath the flange to act as a permanent seal before the pipe is secured in place. Pressure should be carefully applied to the top of the flange to ensure that the pipe is fully extended into the lower chamber (i.e. the top elevation of the flange is level with the surrounding fiberglass disc) and that the caulking evenly seals the pipe in place.

Inlet and Outlet Pipes

Inlet and outlet pipes should be securely set into the by-pass chamber using grout or approved pipe seals so that the structure is watertight. Flexible rubber boots are normally used and installed at the precast concrete plan prior to shipping. The flexible boots are applicable for pipes with an outside diameter up to 42 inches. The local Stormceptor affiliate should be notified if the pipe to be grouted in the field at the time of ordering since the boots are generally included in the price quotation.

Installation of the flexible boots should follow the manufacturer's recommendations. As previously mentioned, the boots will already be attached to the Stormceptor® at the manufacturer's plant.

Top Slab and Access Opening Installation

The final concrete piece to be installed is the top slab with the 30 inch access opening. Proper positioning of the top slab is extremely important to the proper operation and maintenance of the Stormceptor. The 30 inch opening must be positioned so the 6" vent pipe and the 24" discharge opening are both accessible from the surface opening (see drawing after page 25).

Frame and Cover Installation

Stormceptor provides a standard cast iron frame and cover with the name Stormceptor clearly embossed on it. Precast concrete adjustment units should be installed to set the frame and cover at the required elevation. The adjustment units should be laid in a full bed of mortar with successive units being joined using sealant recommended by the manufacturer. Frames for the cover should be set in a full bed of mortar at the elevation specified.

Stormceptor Corporation

Technical Design Manual Page 27

Spills

The Stormceptor® is often implemented in areas where the potential for spills is great. The Stormceptor® should be closed immediately after a spill occurs by a licensed liquid waste hauler.

Disposal

Disposal options for the sediment will probably range from disposal in a public works yard, disposal in a sanitary landfill site or incineration. It is anticipated that the sediment will be classified as hazardous waste. Residual waste products collected in the Stormceptor® (oil/chemical/fuel spills) should be removed by a licensed waste management company.

Inspection

The Stormceptor® can be easily inspected from the surface by removing the maintenance cover. The presence of oil in the interior can be determined by inserting a dipstick in the 6" (150 mm) vent tube.

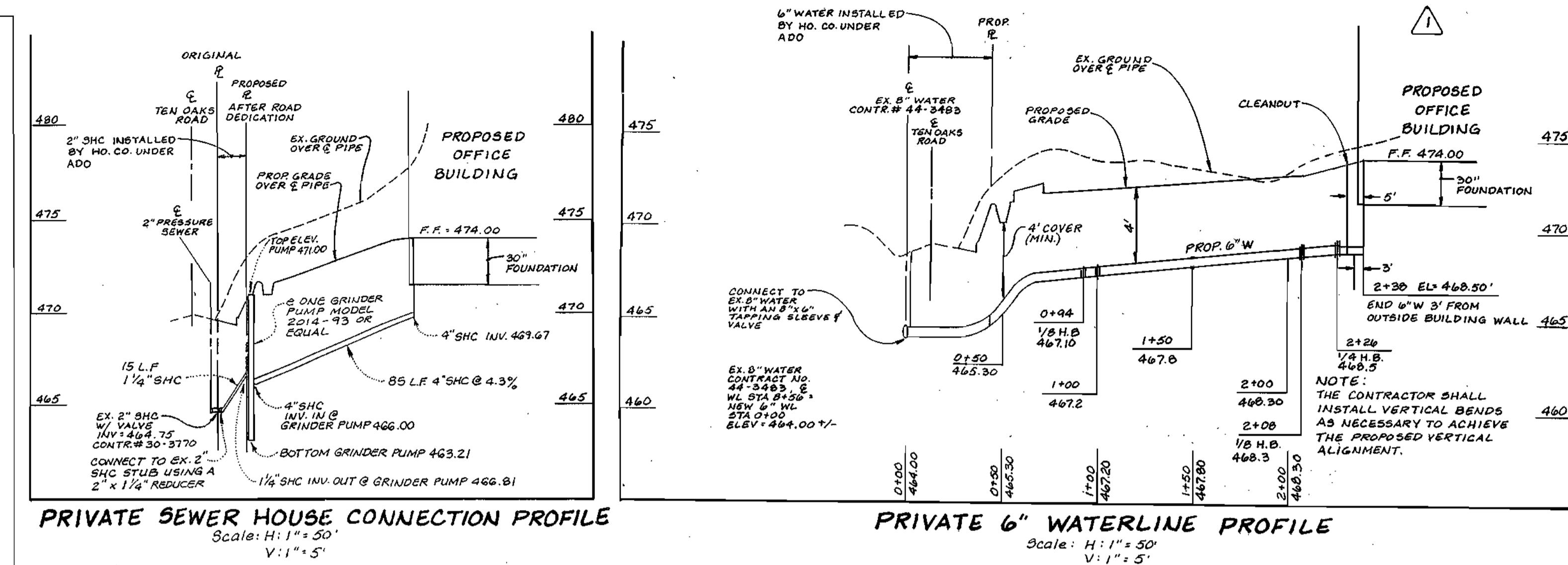
Similarly, the depth of sediment can be measured from the surface without entry into the Stormceptor® via a dipstick tube equipped with a ball valve (Stage Judge). Maintenance should be performed once the sediment depth exceeds the guideline values provided in Table 6.

Model	Sediment Depth (feet)
900	0.50
1200	0.75
1800	1.00
2400	1.00
3600	1.25
4800	1.00
6000	1.50
7200	1.25

*based on 15% of the Stormceptor's sediment storage

Any potential obstructions at the inlet can be observed from the surface. The insert has been designed as a platform for maintenance personnel in the event that obstructions need to be removed, sewer flushing needs to be performed, or camera surveys are required. See Maintenance Manual for additional information.

Stormceptor Corporation



Technical Design Manual Page 26

5.0 Maintenance Procedures

Maintenance of the Stormceptor® is performed using vacuum trucks. No entry into the unit is required for maintenance. The Vacuum Service Industry (Tank Cleaning) is a well established sector of the service industry which cleans underground tanks, sewers and catch-basins. Costs to clean the Stormceptor® vary based on the size of unit and transportation distances.

5.1 Maintenance Costs

A typical cleaning cost (equipment and personnel) is estimated to be approximately \$400 to \$600 including disposal costs. This cost is based on one Stormceptor®. Economies of scale are expected where there are multiple units for a given location. The average time to clean a Stormceptor® unit is approximately 3 hours (includes transportation/disposal).

Disposal of Stormceptor® waste is generally not hazardous and solids are denser than water and can be handled or incinerated. Maintenance costs would be incurred during the maintenance of any stormwater quality structure and not just the Stormceptor®. A recent public bid (US MidAtlantic Area) was received for \$400 per cleaning any size unit, with all services included.

5.2 Maintenance Frequency

If the Stormceptor® is sized based on the guidelines provided to Section 2.4, and treats a paved area, annual maintenance is recommended. Approximately 15% of the Stormceptor® total sediment capacity will be reduced each year based on the maximum impervious drainage area recommended in Table 4.

Although annual maintenance is recommended, long term data on the maintenance of Stormceptor® units is not available. Accordingly, it is recommended that annual maintenance be performed initially, and that the frequency of maintenance be increased or reduced based on local conditions (i.e. if the unit is filling up with sediment more quickly than projected, maintenance may be required semi-annually; conversely once the site has stabilized maintenance may only be required once every two or three years).

Stormceptor Corporation

Stormceptor® GASKET INSTALLATION INSTRUCTIONS

GUIDELINES FOR ASSEMBLING PROFILE GASKETS ON A SINGLE STEP Stormceptor® JOINT

- (1) The Stormceptor® section should be handled with care to avoid any chipping of the bell or spigot.
- (2) Carefully clean all dirt and debris from the spigot, including the step seating area of the gasket. Clean the inside area of the bell.
- (3) Place the profile gasket in the step of the "dry" spigot. Verify that the pointed end of the gasket is directed towards the seating area of the spigot.
- (4) Insert a smooth, round rod, such as a screwdriver, between the gasket and the spigot. Be careful not to cut or damage the gasket. Equalize the gasket stretch by rotating the rod around the entire circumference several times.
- (5) Apply joint lubricant to the inner surface of the bell including the leading edge. Lubricate the spigot and gasket.
- (6) Align the Stormceptor® sections (spigot with the bell). Verify that the gasket touches the lead-in taper around the entire circumference.
- (7) Gently push the joint home. Note that every Stormceptor section will not house exactly the same. (See Figure 2)

If joining problems arise, do not force the Stormceptor® sections together (cracking may occur). Contact CSR Hydro Co. immediately.

Stormceptor Corporation

Concrete Stormceptor® Order Request Form*

Contractor Information
Name: _____
Address: _____
City: _____
State: _____
Zip Code: _____
Contact: _____
Phone: _____
Fax: _____

Owner Information
Name: James M. Jett
Phone: 410-535-7200
Fax: 410-535-7204

Stormceptor® Model: _____
Insert Size: _____
Finish Top Elevation (ft) (max): 468.50
Inlet Pipe Invert (ft): 468.50
Outlet Pipe Invert (ft): 468.50
Pipe Type: 6" 4" Solid SHC 40 PVC
Pipe Inside Diam. (in) (ID): 4.00
Pipe Outside Diam. (in) (OD): 6.00

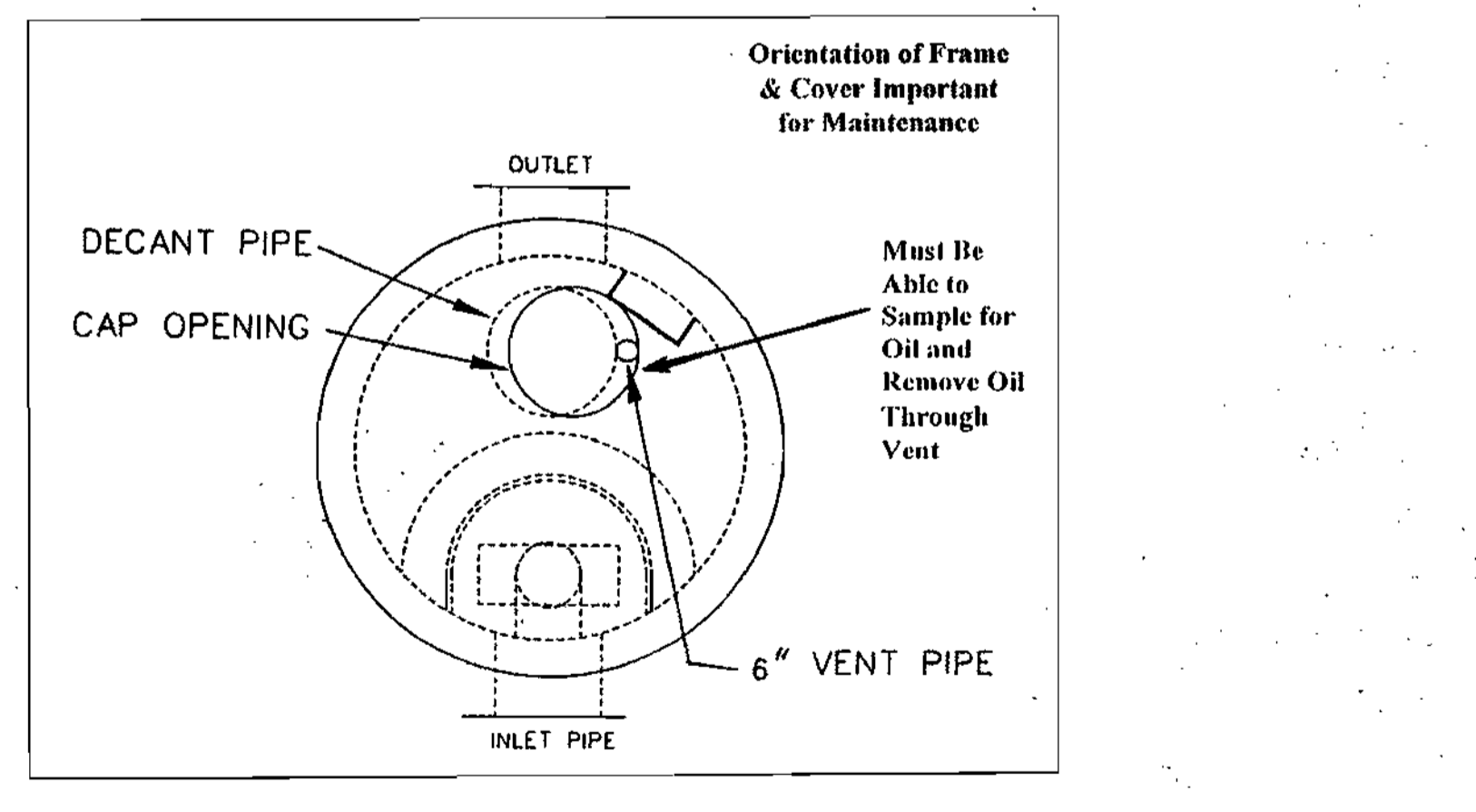
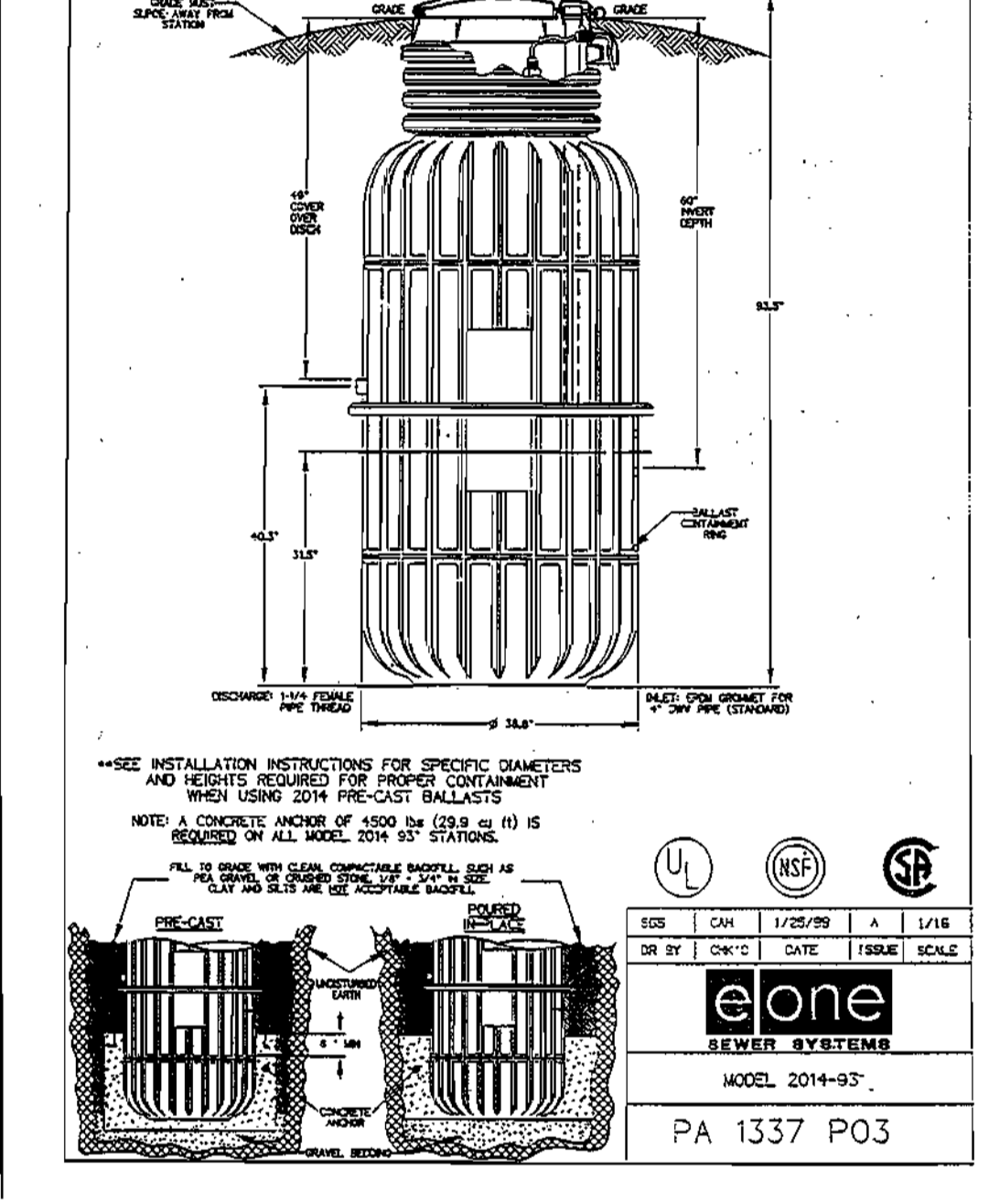
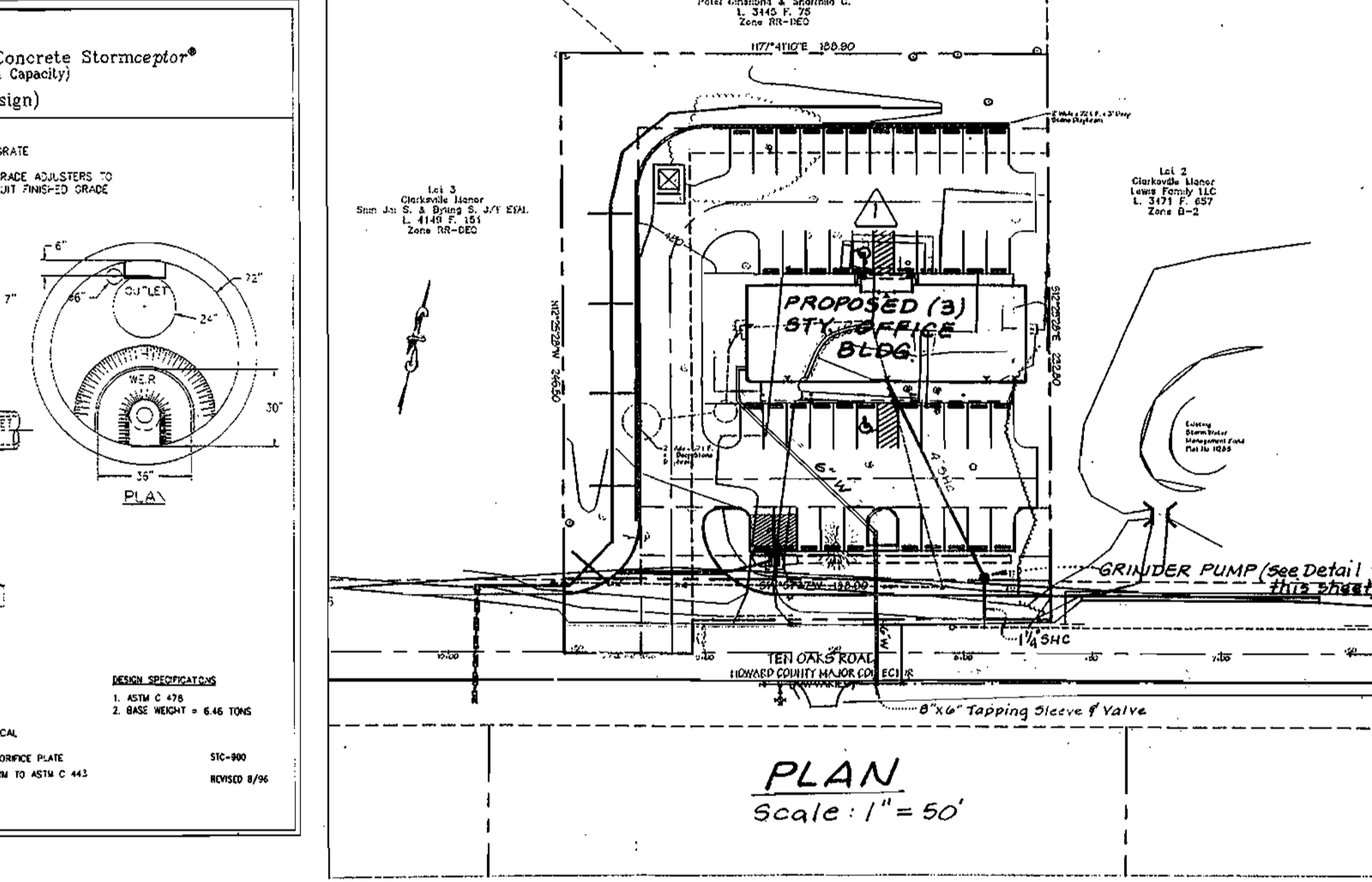
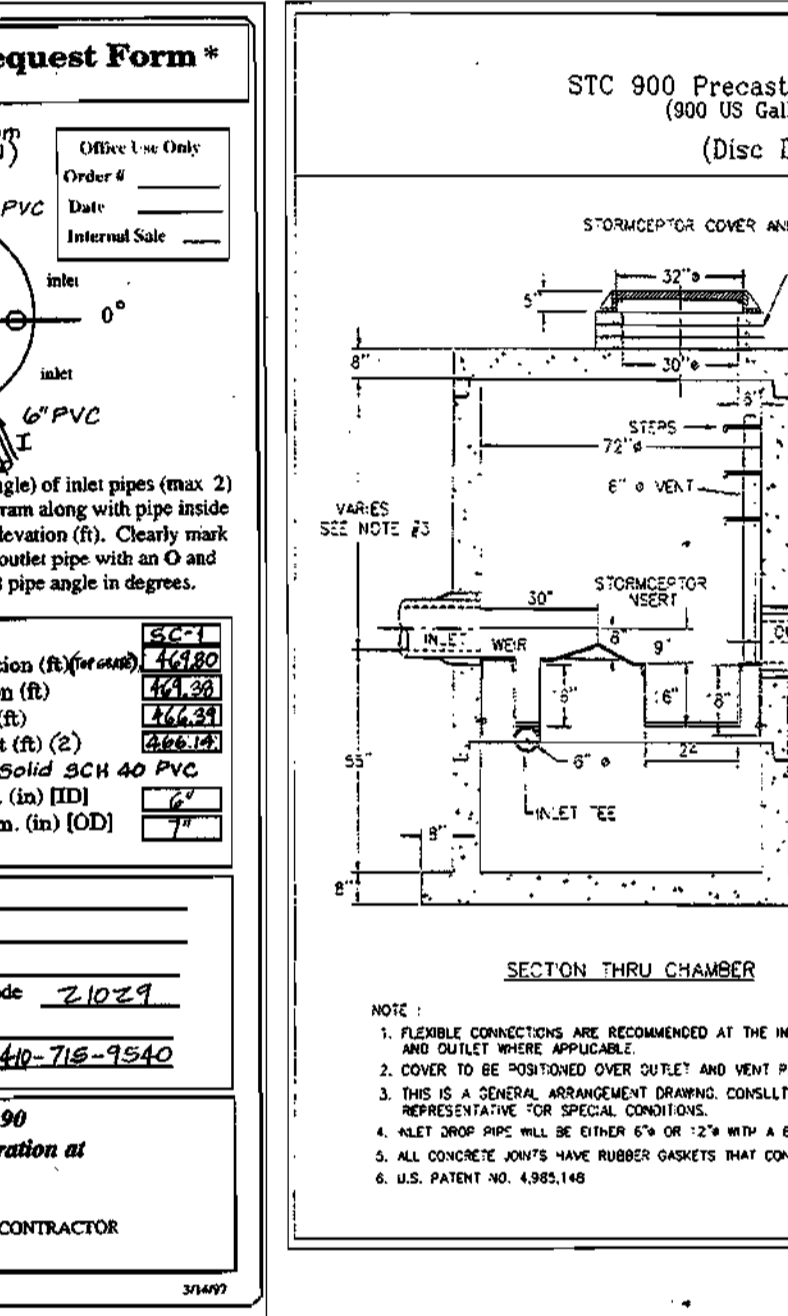
Manhole Number: _____
Please draw orientation (angle) of inlet pipes (max 2) and outlet pipe (1) on diagram along with pipe inside diameter (in) and invert elevation (ft). Clearly mark inlet pipes with an I and outlet pipe with an O and provide the inlet/outlet pipe angle in degrees.

Project Name: Clarksville Professional Center
Approximate time frame until required delivery (weeks): 2.5
Delivery Address: Street #6821 Ten Oaks Road
City: Clarksville State: Maryland Zip Code: 21029
Designer Company: LDE, Inc.
Designer Contact: Steve Heise Phone: 410-716-1070 Fax: 410-716-9540

Please fax this order to Stormceptor at (301) 762-4190
For Technical Assistance Please Call Stormceptor Corporation at (301) 762-8361 or toll free at 1 (800) 762-4703

ALL LIFTING APPARATUS TO BE PROVIDED BY THE INSTALLATION CONTRACTOR

* TO BE INCLUDED ON DESIGN PLAN BY DESIGNER



Stormceptor Pipe Installation Procedure

Frame & Cover

Top Cap

Riser Sections

Storage Chamber

Base

US Models: STC 900, STC 1200, STC 1800
Canadian Models: STC 750, STC 1000, STC 1500

US Models: STC 2400, STC 3600, STC 4800, STC 6000, STC 7200
Canadian Models: STC 2000, STC 3000, STC 4000, STC 5000, STC 6000

1. Only Pipes are to be installed once the riser section containing the vent has been installed on the storage chamber.
2. Place the Storage Chamber and install the Inlet Drop Pipe from underneath the Inlet. The Inlet Drop Pipe is easily identifiable by the T section fitting. The Inlet is oriented such that it is perpendicular to the direction of flow in the wastewater stream. For the smaller models (1200) the Inlet Drop Pipe is centered into the coupling. For the larger models (1800) the Inlet Drop Pipe is centered into the coupling. For the larger models (2400) the Inlet Drop Pipe is centered into the coupling. Once the Inlet Drop Pipe has been installed, the connection should also be covered using the supplied Chemers 948 or Bunting Pipe Sealant to ensure an effective light connection.
3. The Inlet Drop Pipe is installed from the precast cover above and stands on the top. A frame is provided on the Cover that fits around the Inlet Drop Pipe. The underside of the frame gasket will be covered with the precast Chemers 948 sealant to ensure an effective light connection.
4. A 6" (150 mm) coupling is provided on the Inlet of the (150 mm) capped PVC Vent Pipe. The Vent Pipe should be attached to the coupling using the supplied PVC cement. Once the correct hole is cut, the connection should also be covered using the supplied Chemers 948 sealant to ensure an effective light connection.

MAINTENANCE NOTES (WATER QUALITY STRUCTURE WASTE)

1. WATER QUALITY STRUCTURES WILL REQUIRE PERIODIC CLEANING. OWNERS OF THESE FACILITIES WILL HAVE TO CLEAN THEM AS NEEDED.
2. MAINTENANCE OF THESE FACILITIES WILL CONSIST OF CLEANING OUT THE STORMCEPTOR AND DISPOSAL OF THE WASTE AND REPAIR OF THE FACILITY AS NEEDED. PERIODIC INSPECTIONS OF THESE FACILITIES WILL BE MADE BY THE OWNER.
3. THE DISPOSAL OF THE LIQUID AND SOLID MATTER SHALL BE AS FOLLOWS:
A. ALL LIQUID MATERIAL IN THE STORMCEPTOR SHALL BE PUMPED INTO A SUITABLE TANK TRUCK AND DISPOSED OF AT AN APPROVED SANITARY DISTRICT DISCHARGE MANHOLE OR BE TAKEN TO AN APPROVED SEWAGE TREATMENT PLANT FOR DISCHARGE.
B. THE SOLID MATERIAL SHALL BE LANDFILLED IN AN APPROVED SANITARY LANDFILL.
4. THE INLET PIPES AND STRUCTURAL PARTS SHALL BE REPAIRED AS NEEDED.
5. STORMCEPTOR INLET AND OUTLET ASSEMBLY SHALL BE PERIODICALLY INSPECTED. BLOCKAGES SHALL BE REMOVED AND DISPOSED OF AS REQUIRED BY 3B ABOVE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

David H. Leary 3/23/03
DIRECTOR DATE

Chris Hand 3/26/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

James M. Jett 3/18/03
DATE

James M. Jett 3/18/03
DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Jim Myers 3/18/03
NATURAL RESOURCE CONSERVATION DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

James M. Jett 3/18/03
DATE

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR FOND CONSTRUCTION... REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL SURVEY OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE ENGINEERING AND PROFESSIONAL ENGINEERING ACTS OF THE STATE OF MARYLAND. I HAVE NOTIFIED THE DEVELOPER THAT THE HOWARD SOIL CONSERVATION DISTRICT HAS REVIEWED THIS PLAN AND APPROVED IT FOR SOIL EROSION AND SEDIMENT CONTROL. I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF MARYLAND AND AM LICENSED TO PRACTICE AS SUCH.

Bruce D. Burk 3/18/03
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT AND GENERAL SERVICES PROFESSIONAL ENGINEER SUPERVISOR FOND CONSTRUCTION AND FONDING PROGRAM. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND FOR THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

James M. Jett 3/18/03
DATE

REVISIONS

No.	Date	Description
1	4/2003	Revise 6" Waterline on plan view. Revise 6" water Profile for larger building footprint.

DESIGNED: S.D.H.
DRAWN: S.T.B.
CHECKED: B.D.B.
DATE: 12/2001

OWNER/DEVELOPER: 6339 TEN OAKS, LLC
7370 Grace Drive, Suite A
Columbia, Maryland 21044
(301) 596-9220

SCALE: As Shown
DRAWING: 8 of 14
JOB NO.: 01-067
FILE NO.:

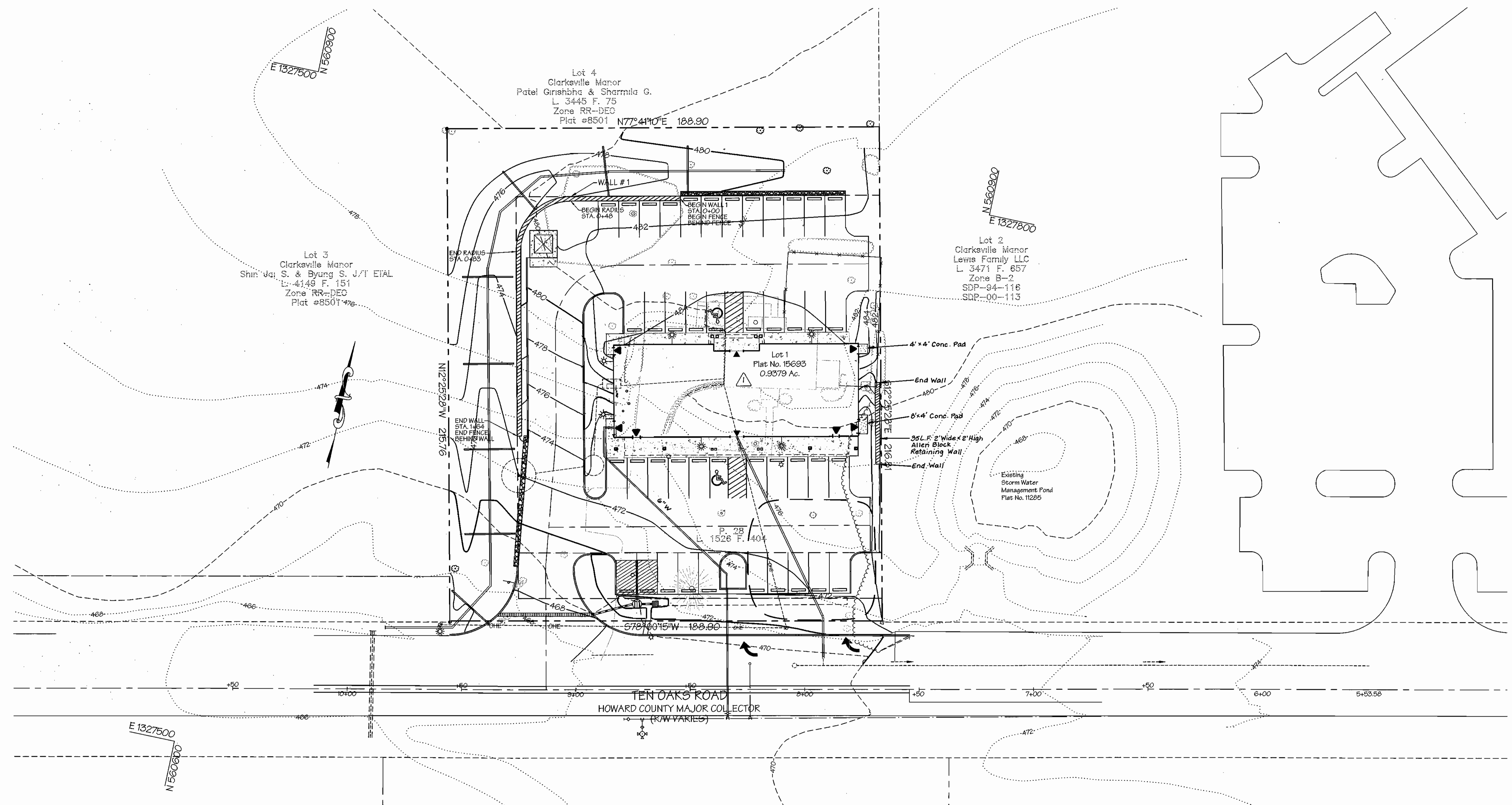
Project: Clarksville Professional Center

Plot No.	Block No.	Zone	Tax Map No.	Election District	Census Tract
156-93	12	B-2	34	5th	6051.01

Water Code: I-11
Sewer Code: 6663000

9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

CLARKSVILLE PROFESSIONAL CENTER
Plat No. 15693
Commercial Office Building
Tax Map 34, Grid 12, Parcel 28
5th Election District - Howard County, Maryland
Previous Submittals: F-03-026



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

David A. Gault 3/27/03
DIRECTOR DATE

Andy Hamata 3/26/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

John Danner 3/21/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR FOND CONSTRUCTION AND/OR RETAINING WALL CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL OBSERVATION OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REGULATIONS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT THE HOWARD COUNTY REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND/OR RETAINING WALL CONSTRUCTION WITHIN THE SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION.

BRUCE D. BURTON 3/17/03
REGISTERED PROFESSIONAL ENGINEER DATE

DEVELOPER'S CERTIFICATE

I HAVE CERTIFIED THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND PROVIDE THE HOWARD COUNTY SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

James A. Jett 3/10/03
SIGNATURE OF DEVELOPER DATE



REVISIONS

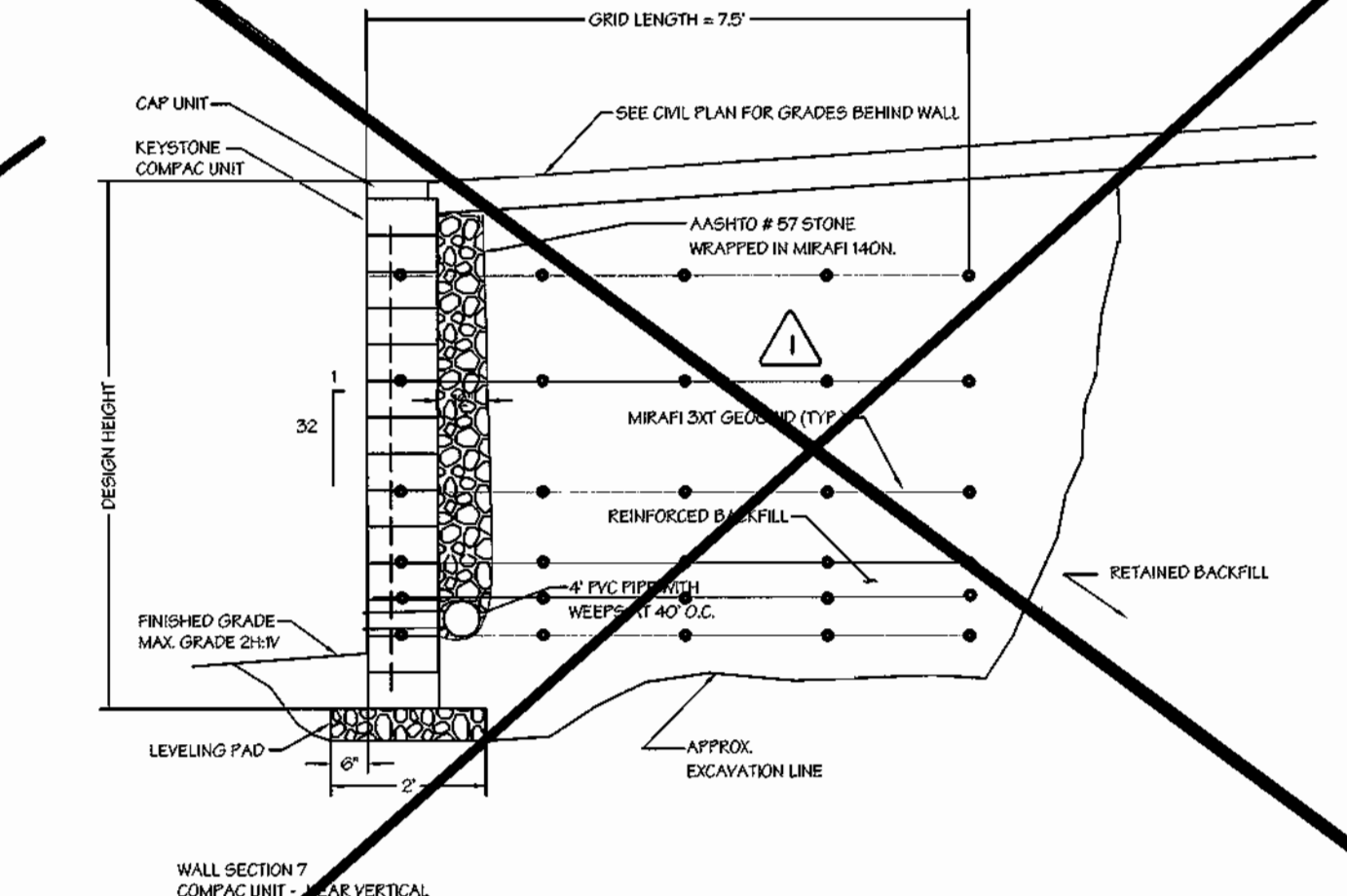
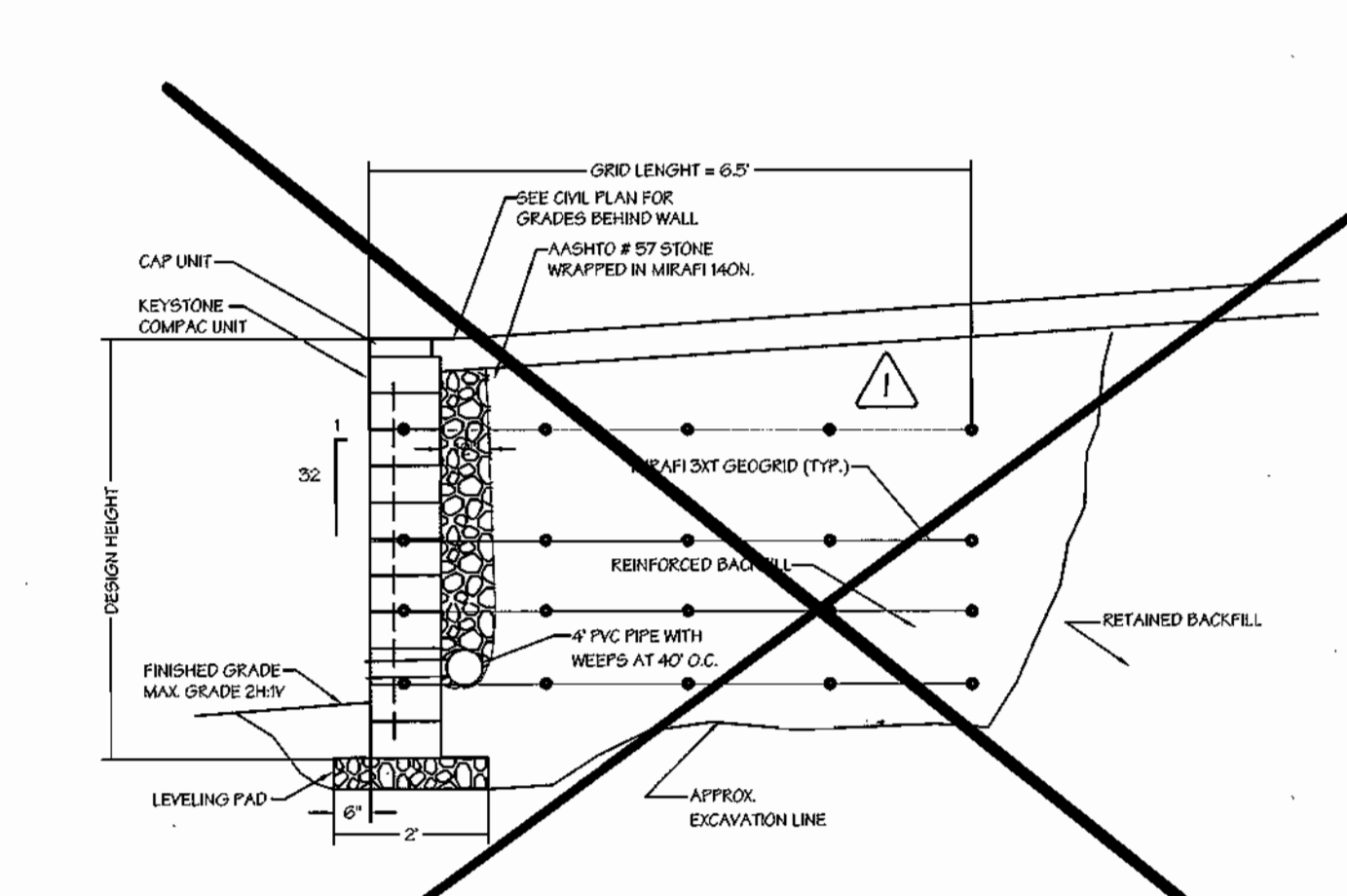
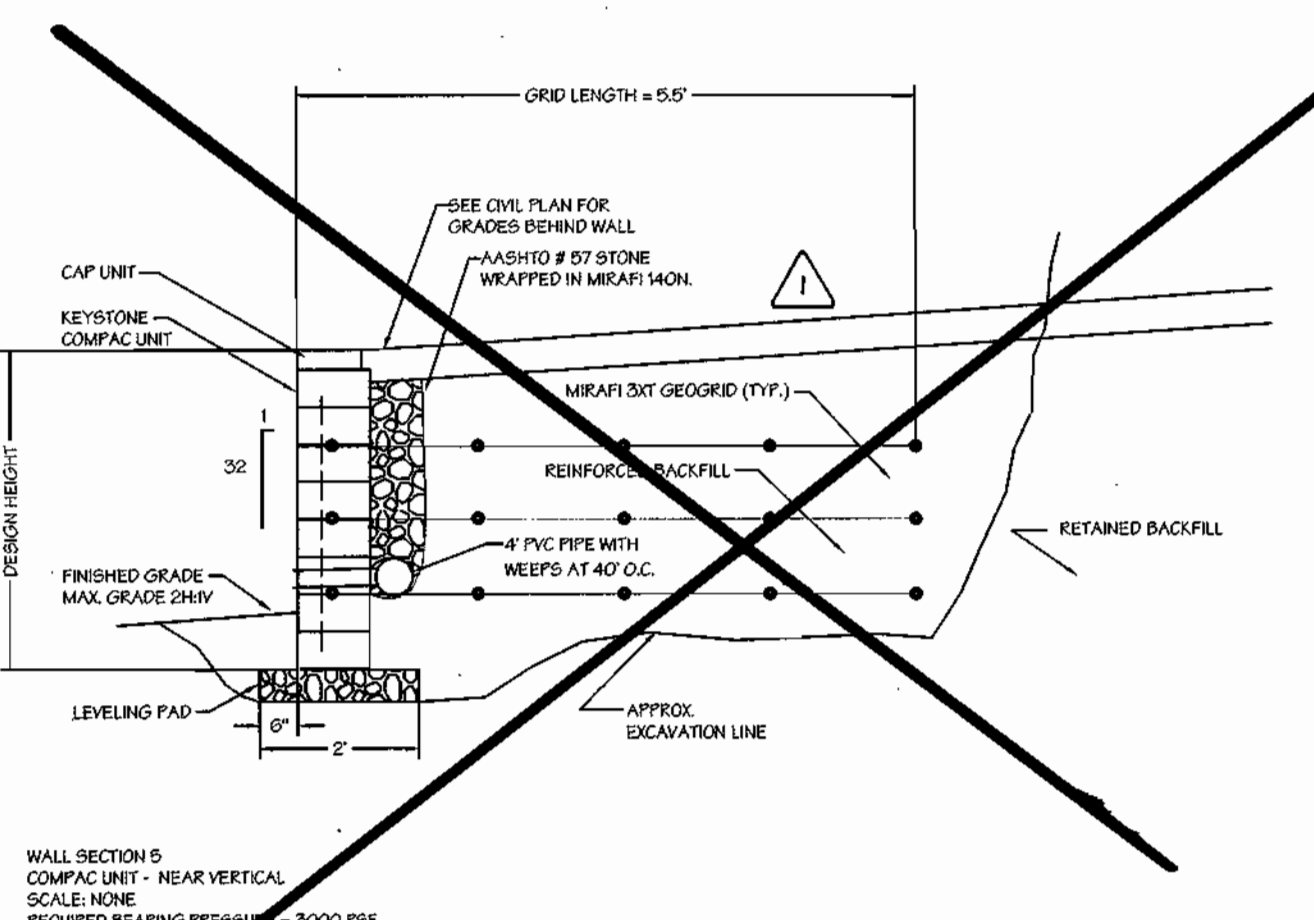
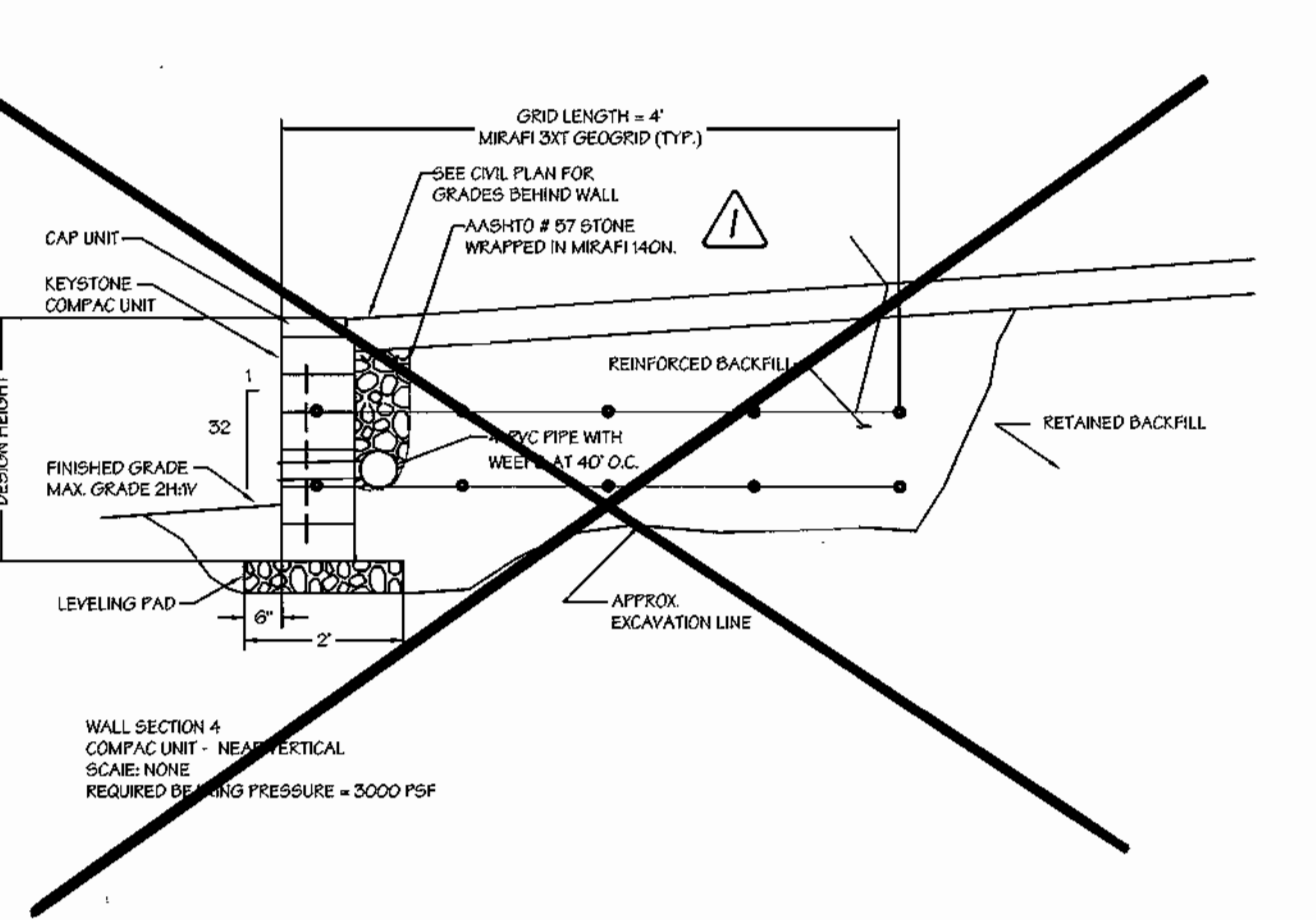
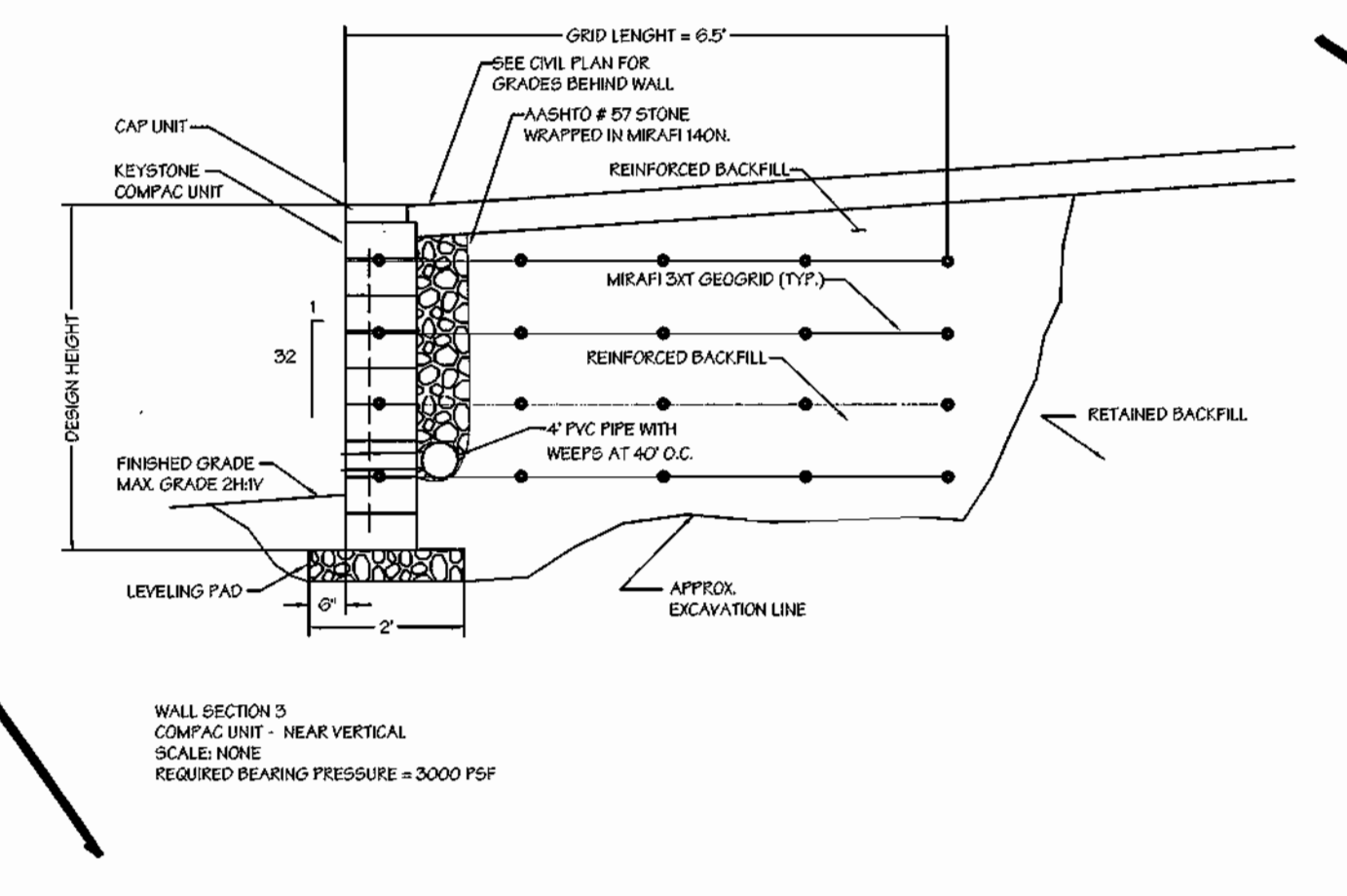
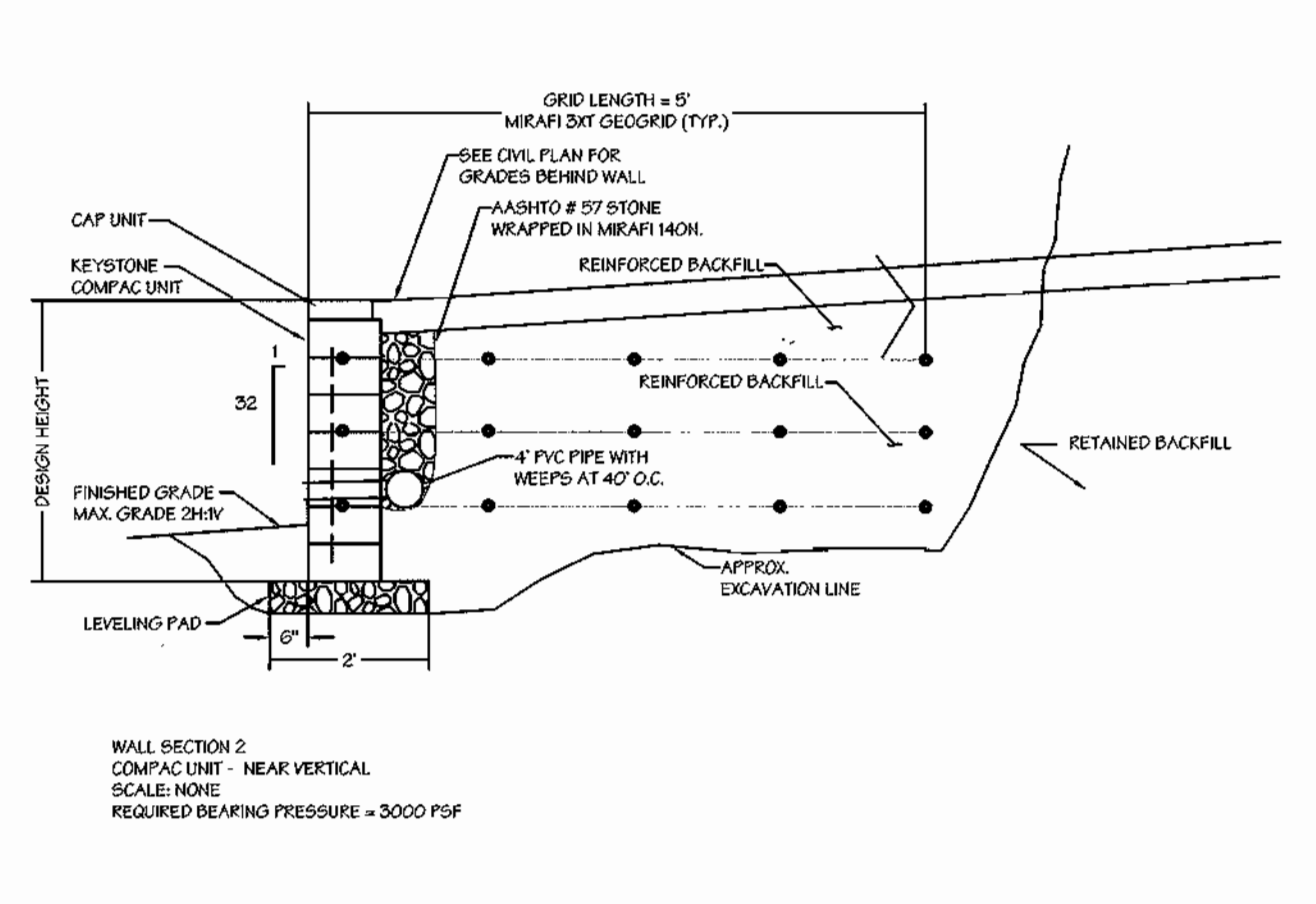
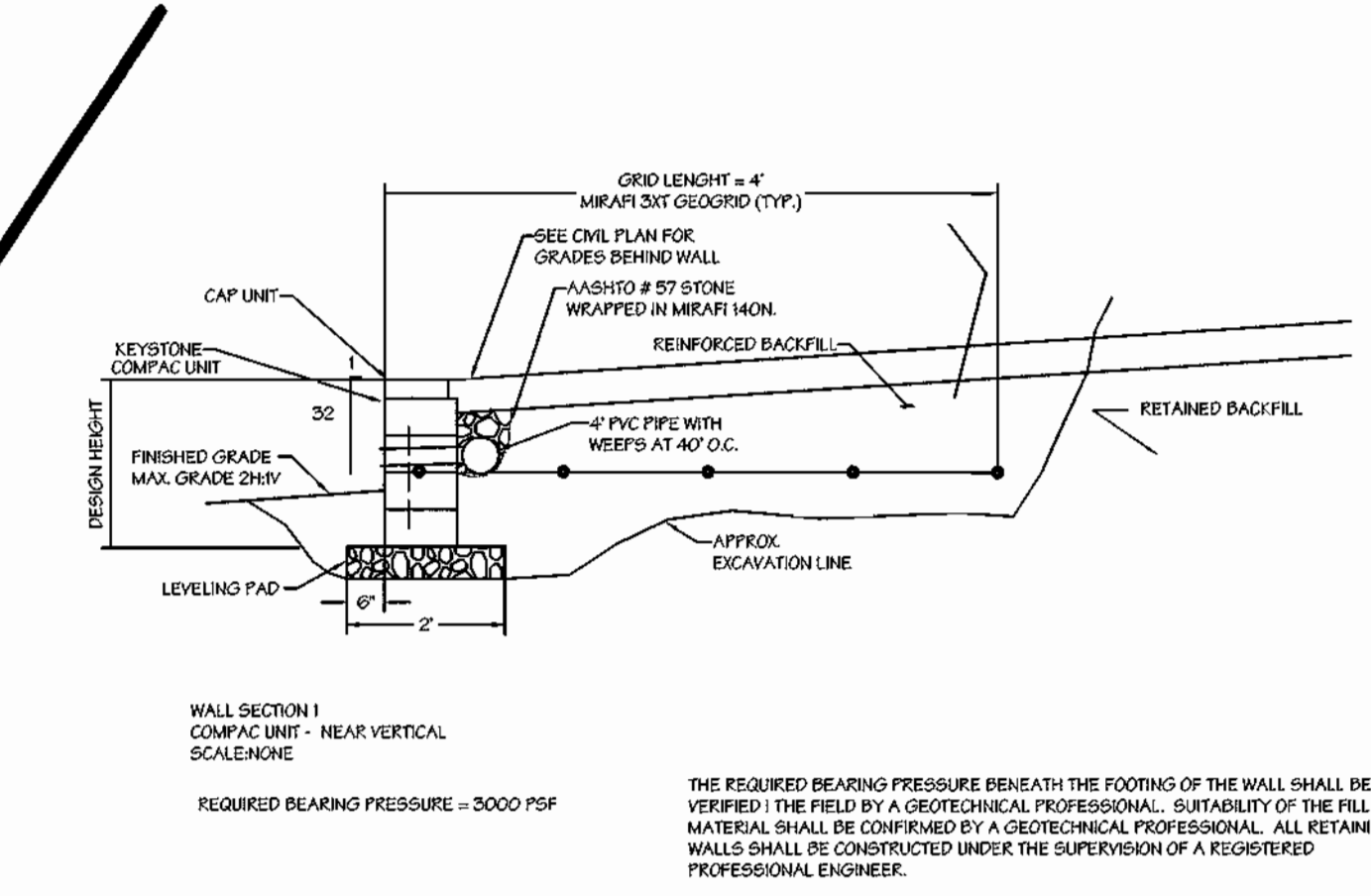
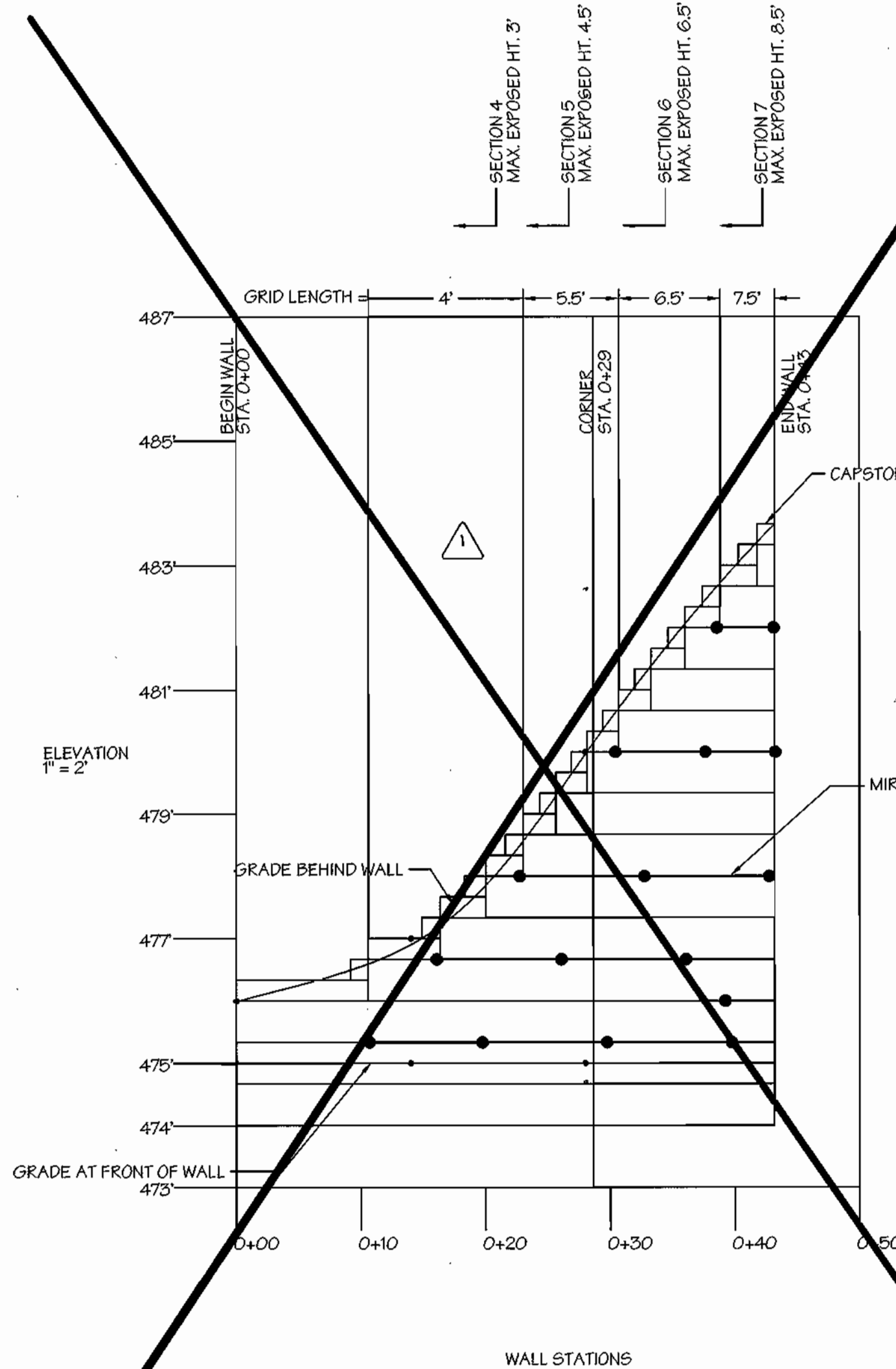
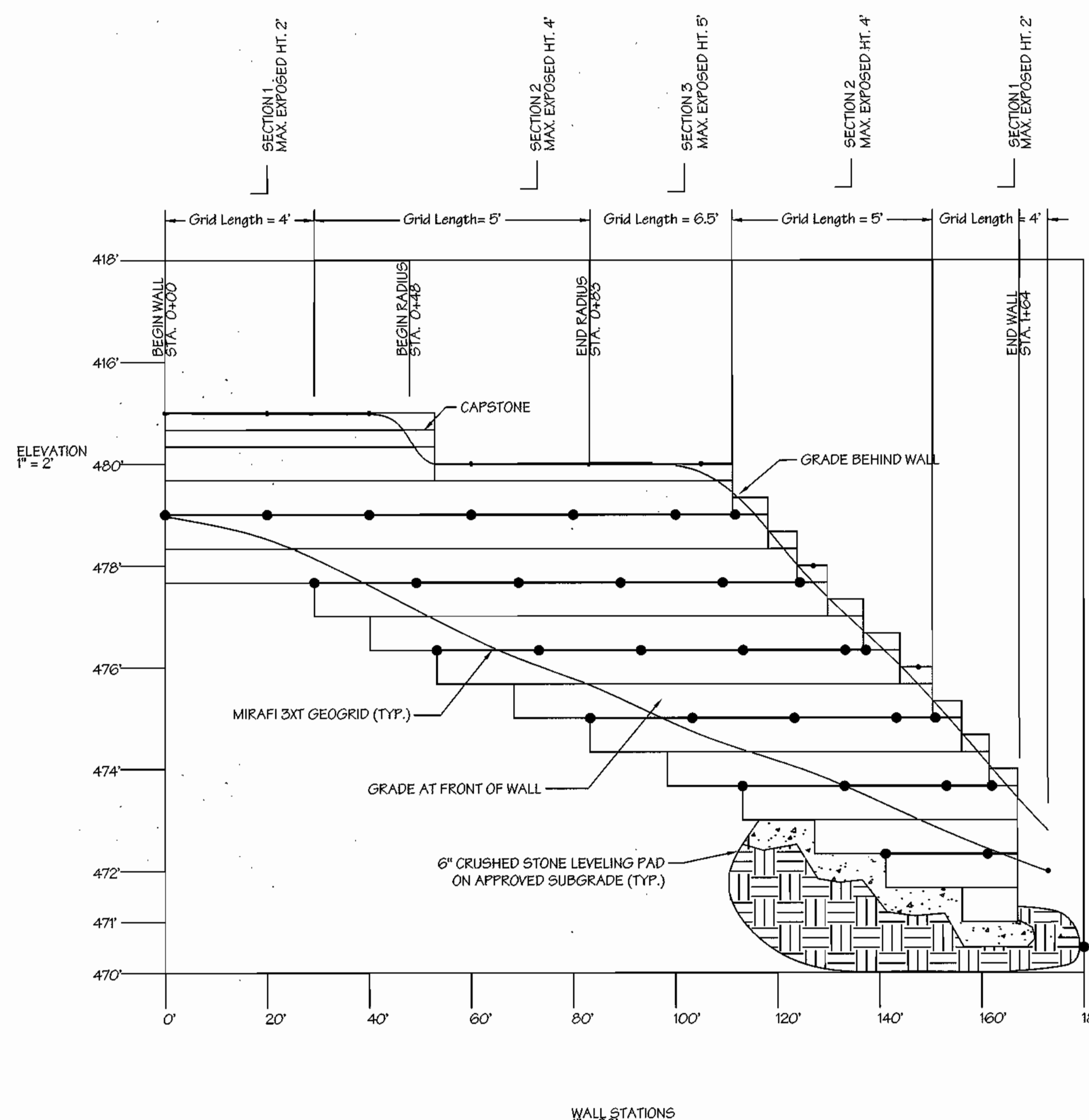
No.	Date	Description
1	4/2003	Revise building footprint, retaining walls & utilities.

OWNER/DEVELOPER: 6339 TEN OAKS, LLC
7370 Grace Drive, Suite A
Columbia, Maryland, 21044
(443) 535-9200

HILLIS-CARNES ASSOCIATES OF FREDERICK, INC.
P.O. BOX 647 NEW MARKET, MD 21774-0647
(301) 631-3960 FAX (301) 631-2166

Tax Map 34, Grid 12, Parcel 28, Plat No. 15693
COMMERCIAL OFFICE BUILDING
PROPOSED RETAINING WALLS - PLAN VIEW
CLARKSVILLE PROFESSIONAL CENTER
HOWARD COUNTY, MARYLAND
Project Submittal Form 2-5

R.H. FRASURE 4/18/02 J.D.C. 25601A 1"=10'
DRAWN BY DATE CHECKED BY JOB NO. SCALE SHEET 9 OF 14



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Debra DeAngelo 4/22/03
DIRECTOR DATE

Craig Hamble 3/26/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

John A. Galt 3/21/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REGULATIONS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT THE HOWARD COUNTY REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION SHALL BE REQUIRED TO SUBMIT AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

Prince D. Burton 4/7/03
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE

I HAVE CERTIFIED THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD COUNTY SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

John A. Galt 3/21/03
SIGNATURE OF DEVELOPER DATE



REVISIONS		
No.	Date	Description
1	4/2/03	Removed retaining wall profiles pertaining to wall # 2.

OWNER/DEVELOPER: 6339 TEN OAKS, LLC
7370 Grace Drive, Suite A
Columbia, Maryland, 21044
(410) 536-9200

HILLIS-CARNES ASSOCIATES OF FREDERICK, INC.
P.O. BOX 647 NEW MARKET, MD 21774-0647
(301) 631-3960 FAX (301) 631-2166

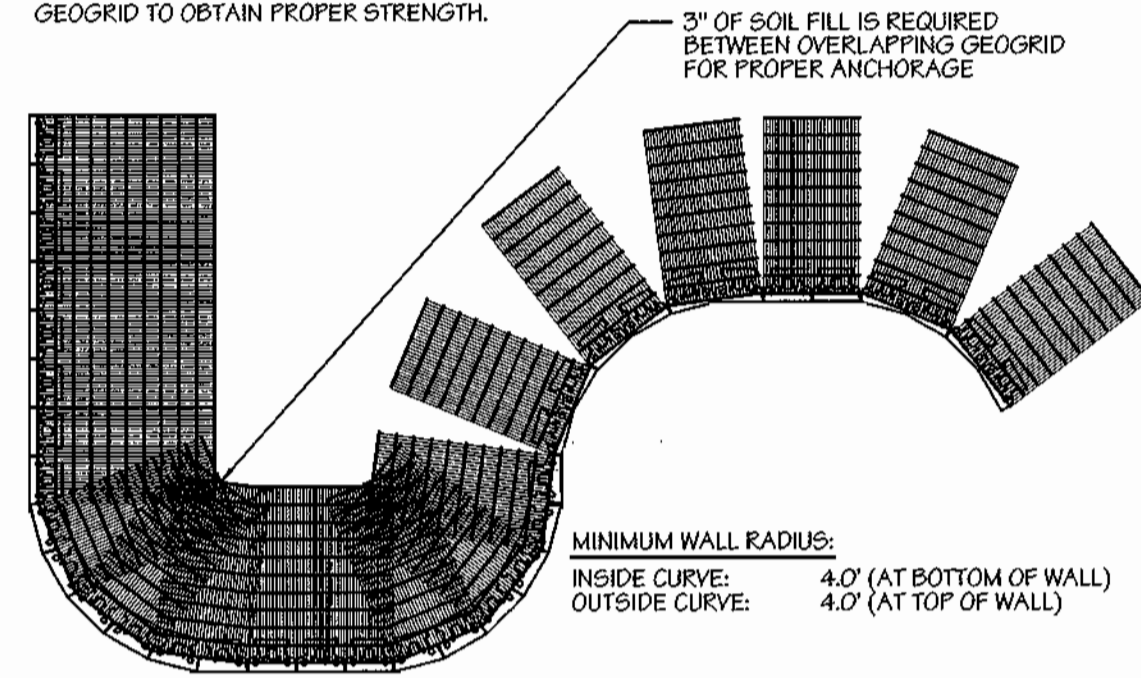
Tax Map 34, Grid 12 Parcel 28, Plat No. 15613

COMMERCIAL OFFICE BUILDING
RETAINING WALLS - PROFILES
CLARKSVILLE PROFESSIONAL CENTER
HOWARD COUNTY, MARYLAND
Review Submittal: P-03-03

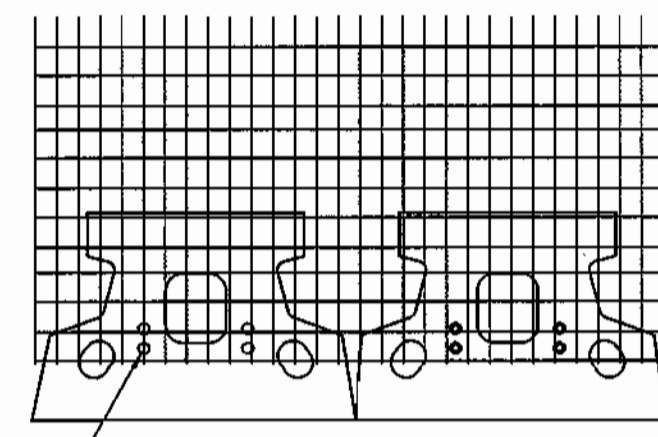
BJ TAYLOR	4/18/02	J.D.C.	2860A	As Shown	SHEET 10 OF 14
DRAWN BY	DATE	CHECKED BY	JOB NO.	SCALE	

NOTE:

- CHECK WITH MANUFACTURER SPECIFICATIONS ON CORRECT DIRECTION OF ORIENTATION FOR GEOGRID TO OBTAIN PROPER STRENGTH.



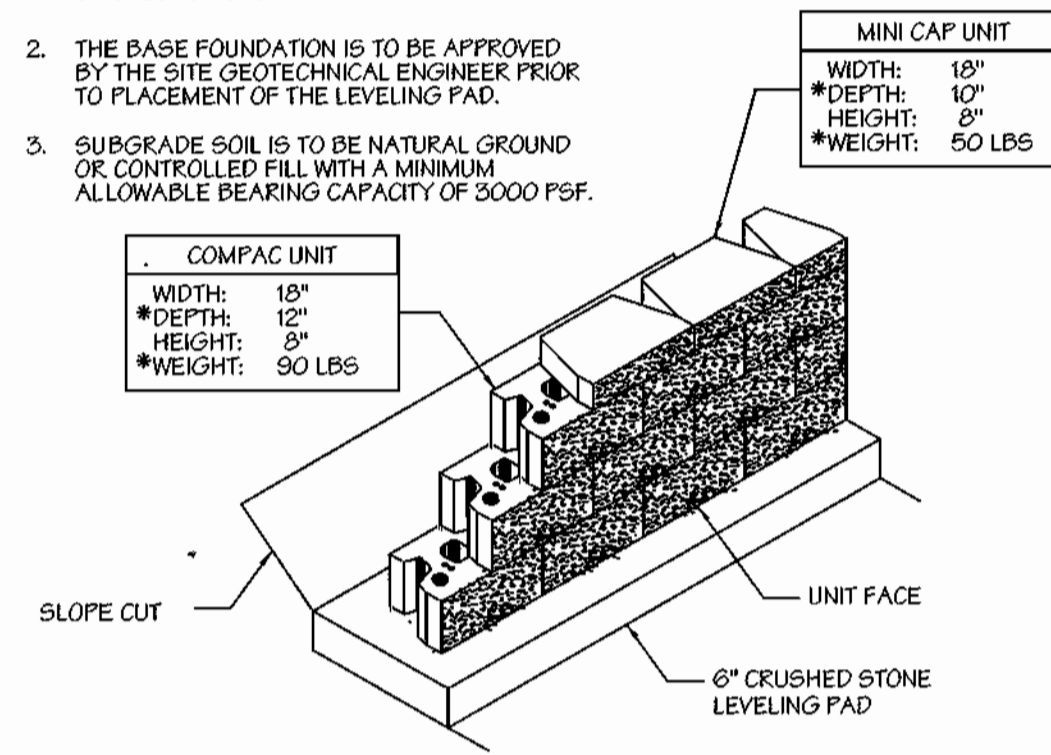
GEOGRID INSTALLATION ON CURVES
SCALE: NONE



GRID & PIN CONNECTION
SCALE: NONE

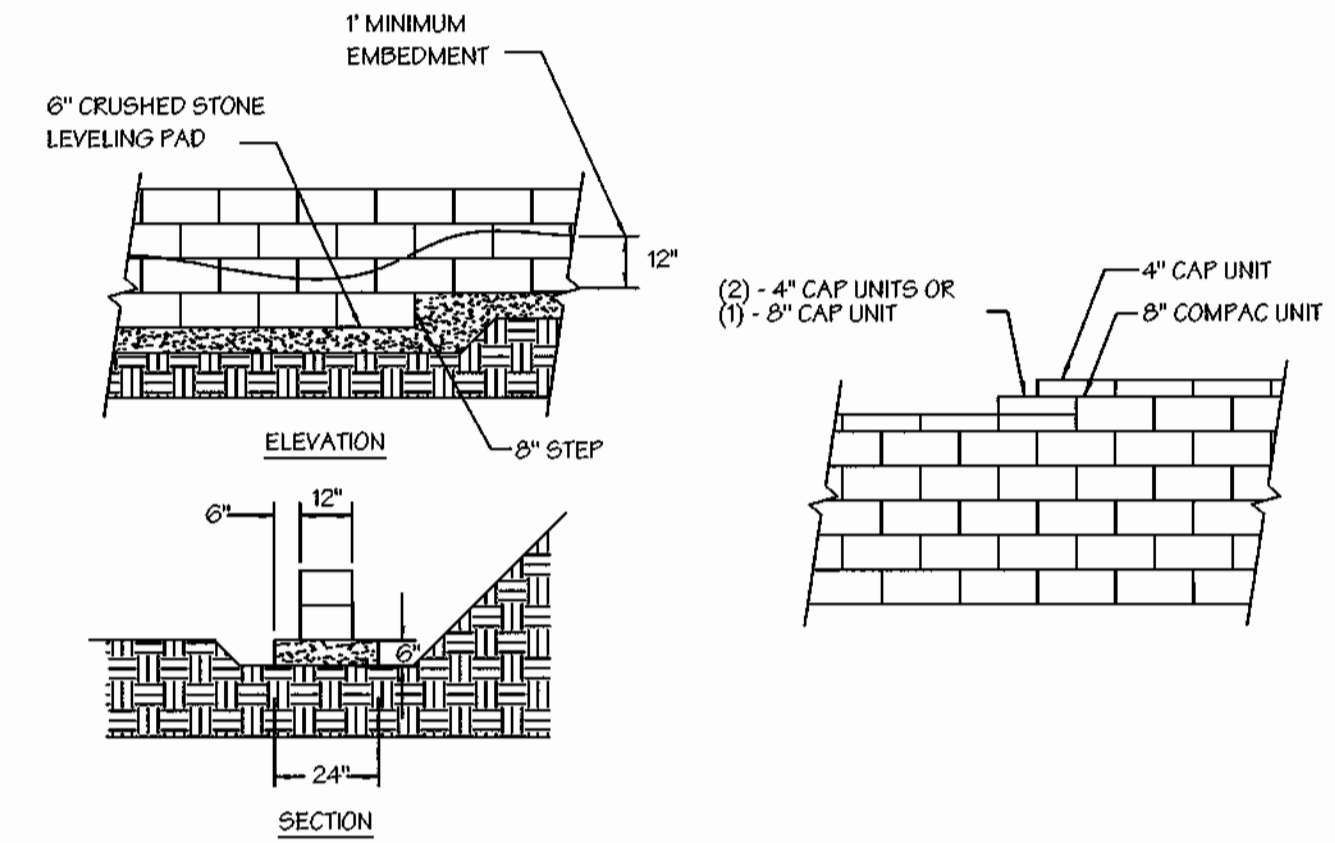
BASE LEVELING PAD NOTES:

- THE LEVELING PAD IS TO BE CONSTRUCTED OF CRUSHED STONE.
- THE BASE FOUNDATION IS TO BE APPROVED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF THE LEVELING PAD.
- SUBGRADE SOIL IS TO BE NATURAL GROUND OR CONTROLLED FILL WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 3000 PSF.



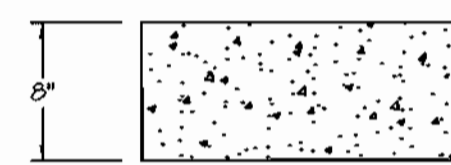
COMPAC UNIT/BASE PAD ISOMETRIC VIEW
SCALE: NONE

*DIMENSIONS & WEIGHT MAY VARY BY REGION

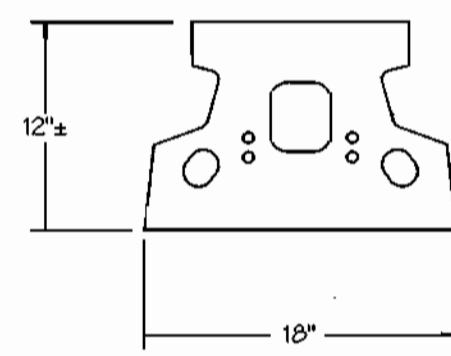


LEVELING PAD DETAIL
SCALE: NONE

TOP OF WALL STEPS
SCALE: NONE



COMPAC ELEVATION

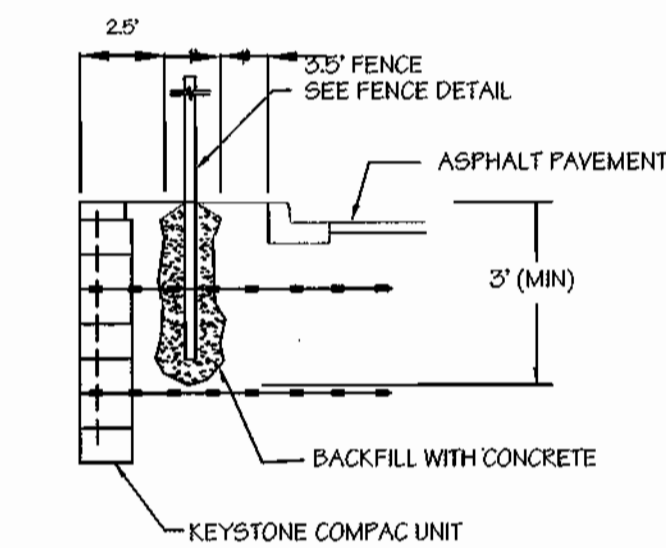


COMPAC PLAN

COMPAC UNIT
SCALE: NONE

NOTE:

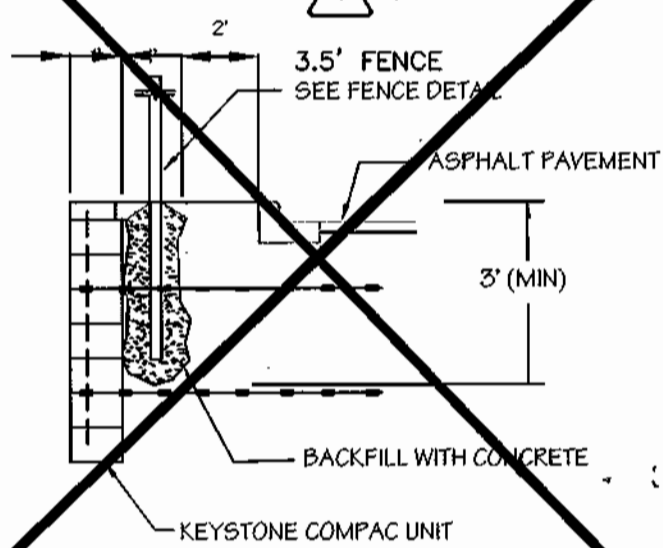
- AUGER THROUGH GEOGRID LAYERS.
- CONCRETE FENCE POSTS IN PLACE



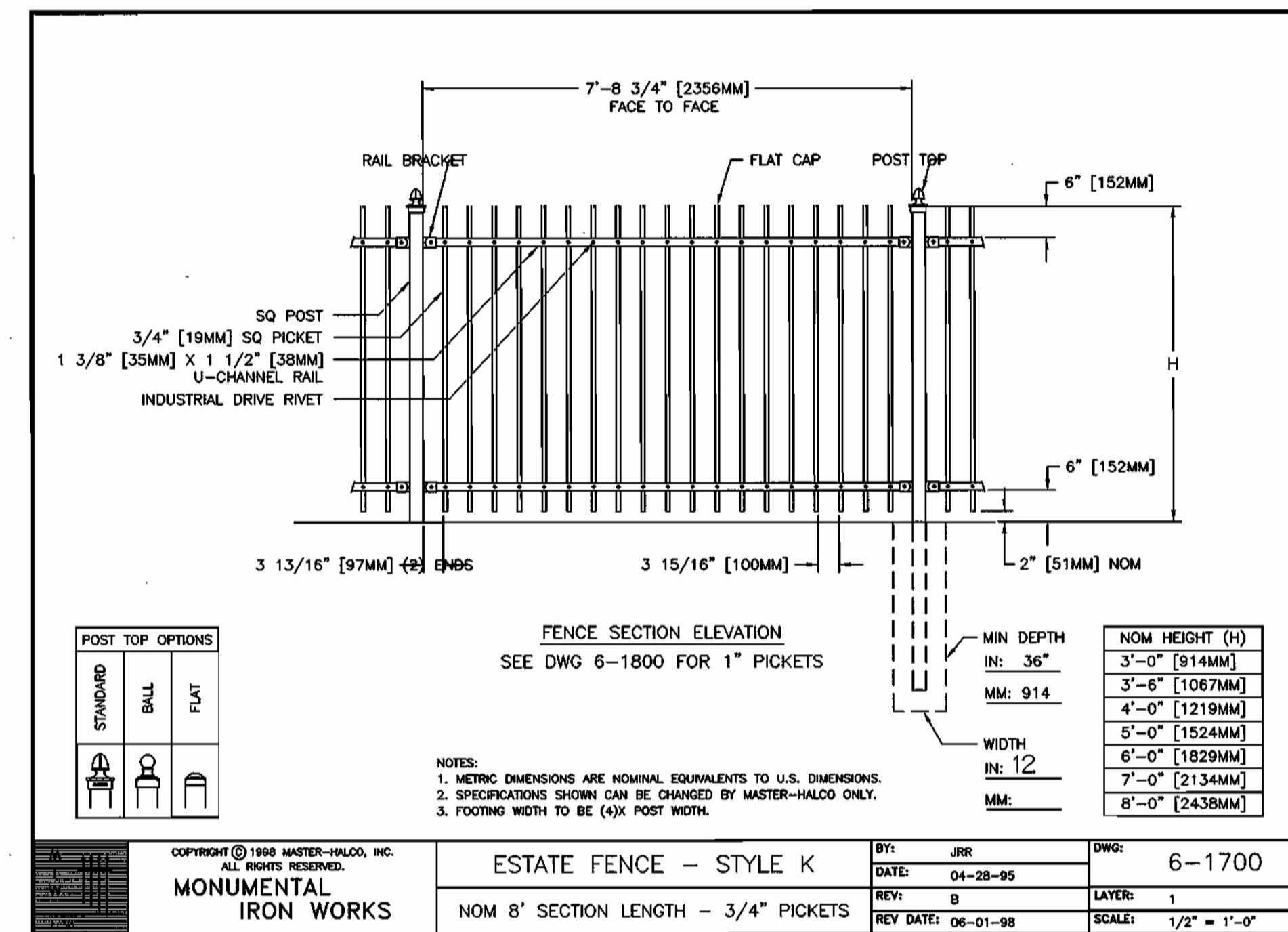
FENCE SECTION & PLAN DETAIL - WALL 1
COMPAC UNIT - NEAR VERTICAL SETBACK

NOTE:

- AUGER THROUGH GEOGRID LAYERS.
- CONCRETE FENCE POSTS IN PLACE



FENCE SECTION & PLAN DETAIL - WALL 2
COMPAC UNIT - NEAR VERTICAL SETBACK



POST TOP OPTIONS		
STANDARD	BALL	FLAT

FENCE SECTION ELEVATION
SEE DWG 6-1800 FOR 1\"/>

- NOTES:**
- METRIC DIMENSIONS ARE NOMINAL EQUIVALENTS TO U.S. DIMENSIONS.
 - SPECIFICATIONS SHOWN CAN BE CHANGED BY MASTER-VALDO ONLY.
 - FOOTING WIDTH TO BE (4)X POST WIDTH.

MIN DEPTH		NOM HEIGHT (H)	
IN:	36"	3'-0"	[914MM]
MM:	914	3'-6"	[1067MM]
		4'-0"	[1219MM]
		5'-0"	[1524MM]
		6'-0"	[1829MM]
		7'-0"	[2134MM]
		8'-0"	[2438MM]

BY: JR	DWG: 6-1700
DATE: 04-28-05	
REV: 0	LAYER: 1
REV DATE: 06-01-06	SCALE: 1/2" = 1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

David H. Taylor 3/27/03
DIRECTOR DATE

Chris Hamel 3/26/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

James M. Galt 3/10/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION...
James M. Galt 3/10/03
 REGISTERED PROFESSIONAL ENGINEER DATE

DEVELOPER'S CERTIFICATE

I WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS...
James M. Galt 3/10/03
 SIGNATURE OF DEVELOPER DATE

REVISIONS		
No.	Date	Description
Δ	4/2003	Removed Wall # 2 Detail.

OWNER/DEVELOPER: 6339 TEN OAKS, LLC
7370 Grace Drive, Suite A
Columbia, Maryland, 21044
(443) 535-9200

HILLIS-CARNES ASSOCIATES OF FREDERICK, INC.
P.O. BOX 647 NEW MARKET, MD 21774-0647
(301) 631-3960 FAX (301) 631-2166

Tax Map 34, Grid 12
Parcel 28, Plat No. 15613

COMMERCIAL OFFICE BUILDING
RETAINING WALLS - DETAILS
CLARKSVILLE PROFESSIONAL CENTER
HOWARD COUNTY, MARYLAND
Review Submittal: F-09-25

R.H. FRASURE	4/18/02	J.D.C.	2660A	Not to scale
DRAWN BY	DATE	CHECKED BY	JOB NO.	SCALE

SHEET 11 OF 14

STREET LIGHTING NOTES AND DETAILS

Higher Light Levels
The Gardco Floodlight accepts both metal halide and high pressure sodium lamp to 750W. Using these high lumen packages creates application opportunities unmatched by typical 400W products.

Uniform Light Levels
Precisely factored reflectors generate extremely uniform lighting levels of 3, 6, 61 and 121 maximum to minimum, depending on the requirements of the specific application. The mounting flexibility allows the shielding of lamp brightness in most any installation. An optional cutoff hood and internal lower system are available for critical brightness control.

Clean Pattern Appearance
Typically, HID luminaires produce streaks, striations and color separations in floodlighting patterns which are not evident in photometric reports. Gardco's precise positioning of specular reflector facets, in combination with selective use of hammer-toned material ensures clean, unstratified patterns.

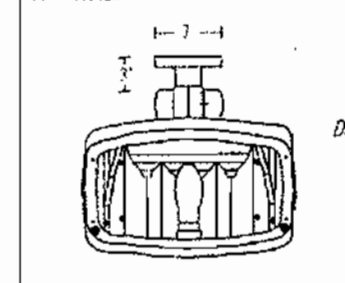
Control of Unwanted Glare
Nine optical systems are available, each providing sharp visual cutoff to the lamp and the lamp images at normal viewing angles. Luminaires are easily placed behind landscape or architectural elements, as well as on poles or walls above eye level. This mounting flexibility allows the shielding of lamp brightness in most any installation. An optional cutoff hood and internal lower system are available for critical brightness control.

DF12

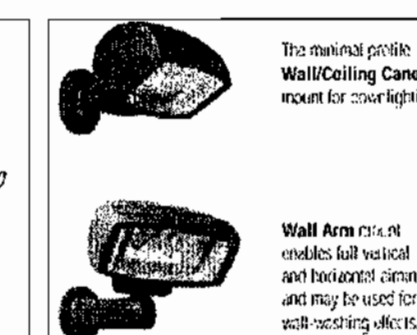
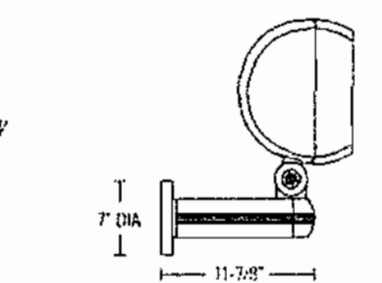


Horizontal Flood
The special system of choice for parking lots over 100 ft. lighting luminaires to horizontal surfaces at a distance of 8 to 30' or for area lighting applications of area with landscape spaces are desired. Typical applications include parking lots, parking lots, bridge piers and security lighting.

W = WALL/CEILING CANOPY MOUNT



W90 = WALL ARM MOUNT



The optional vertical Wall/Ceiling Canopy mount for wall lighting.

INSTALLATION NOTES

FINISH

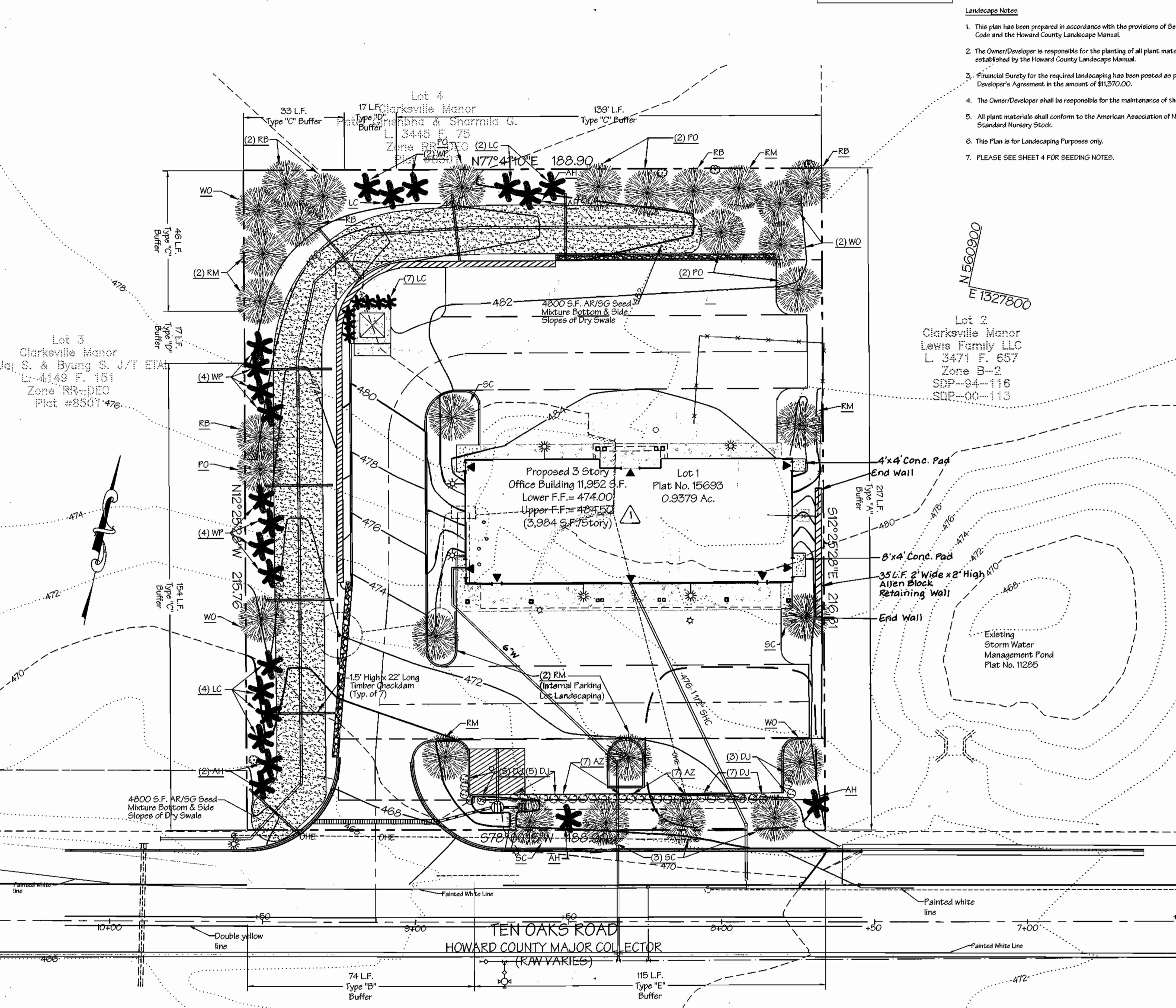
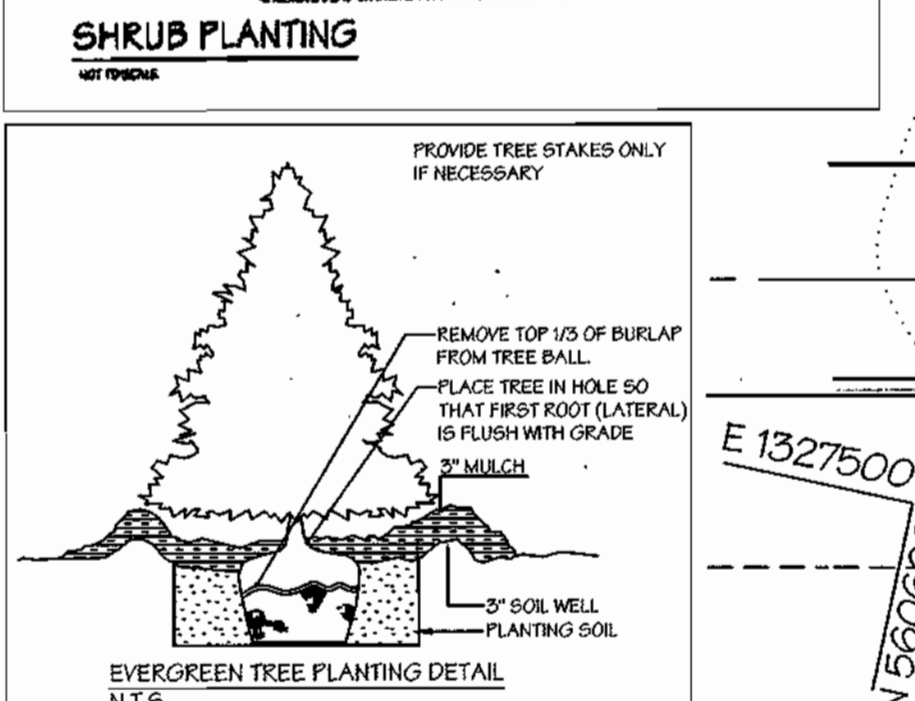
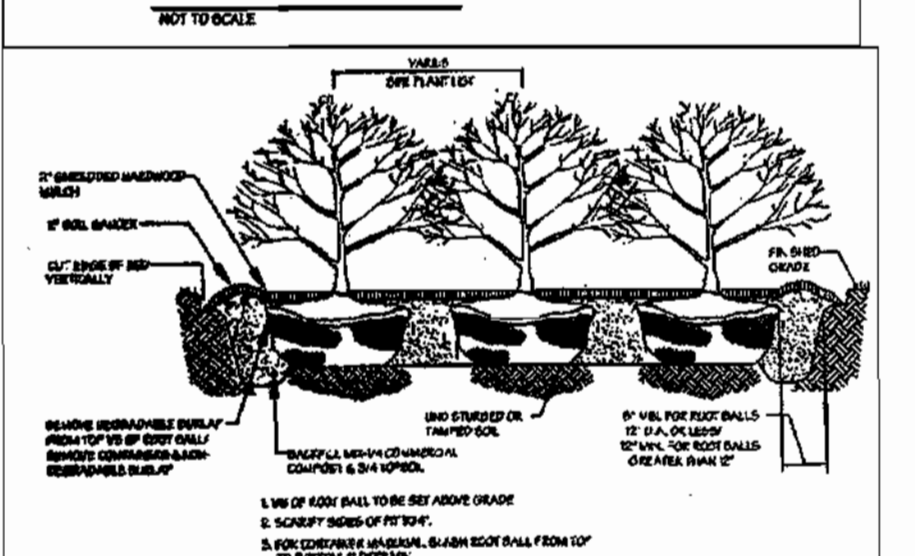
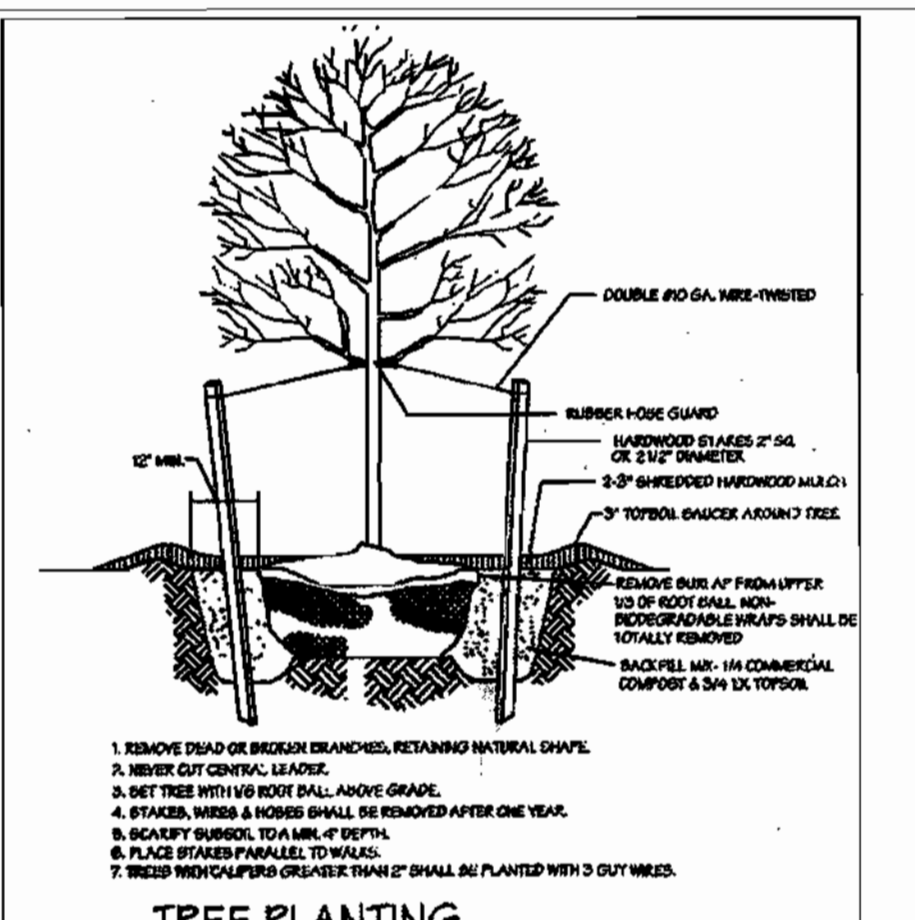
OPTIONS

ADDITIONAL ACCESSORIES

DIMENSIONS

DF12 POLE LOADING DATA

DF12 SPALICE COMPARTMENT WIRE CAPACITY



Lighting Notes

- All on-site lighting fixtures shall be Gardco DF series luminaire Horizontal Floodlights or approved equal.
- All fixtures shall be mounted on the building at heights of 10 & 20 feet.
- All lights shall be directed down & away from the adjacent properties. Shields shall be required if glare cannot be zeroed out at the property lines.
- No fixtures shall be mounted on the building within 15 L.F. of the property lines.

Landscape Notes

- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Howard County Landscape Manual.
- The Owner/Developer is responsible for the planting of all plant material required to meet the standards established by the Howard County Landscape Manual.
- Financial Surety for the required landscaping has been posted as part of the Department of Public Works Developer's Agreement in the amount of \$11,370.00.
- The Owner/Developer shall be responsible for the maintenance of the plant materials.
- All plant materials shall conform to the American Association of Nurserymen's publication, American Standard Nursery Stock.
- This Plan is for Landscaping Purposes only.
- PLEASE SEE SHEET 4 FOR SEEDING NOTES.

MASTER LANDSCAPE SCHEDULE

SYMBOL	QNTY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
SHADE TREES					
RM	7	Red Maple (October Glory)	Acer rubrum	2 1/2" - 3" Caliper	D & D
PO	6	Pin Oak	Quercus palustris	2 1/2" - 3" Caliper	B & B
WO	5	Willow Oak	Quercus phellos	2 1/2" - 3" Caliper	B & B
RB	6	Ever Birch (Heritage Charm Birch)	Betula nigra	10' - 12' Ht.	D & D
SC	6	Sargent Cherry	Prunus sargentii	1 1/2" - 2"	B & B
EVERGREEN TREES					
WP	10	Eastern White Pine	Pinus strobus	6' - 8' Ht.	D & D
LC	14	Leyland Cypress	Cupressus leylandii	5' - 6' Ht.	D & D
AH	5	American Holly	Ilex opaca	5' - 6' Ht.	D & D
SHRUBS					
DJ	20	Sargent juniper	Juniperus chinensis sargentii	24" - 30" Ht.	container
AZ	14	Azalea	Azalea sp.	24" - 30" Ht.	container

NOTE: The required landscaping includes 20 shade trees, 25 evergreen trees and 34 shrubs. Only the required landscape materials will be bonded. The remainder of the proposed landscape materials are required for the stormwater management dry water/best management facility and will be bonded under the Developer's Agreement for stormwater management.

HERBACEOUS - GRASSES (Dry Swale Only)

AR	SG	4800 s.	Annual Rye	Switchgrass	Seed Mixture

Legend

Existing contour	Stone diaphragm
Proposed contour	Block retaining wall
Bench mark	Existing tree (to remain)
Building restriction line	Proposed storm drain
Flow direction	Soil boring location
Silt fence	Proposed Howard County standard 7" curb & gutter
Super silt fence	Building Mounted Floodlight
Limit of disturbance	Pole Mounted Arm/ Light
Drainage divide	Legend
Stabilized construction entrance	Deciduous Tree
	Evergreen Tree
	Shrub
	Dry Swale
	Seed Mixture
	Check Dam

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

Number of parking spaces	43
Number of trees required 120	2 Landscape Islands / 2 Trees Required
Number of Trees Provided	2 Landscape Islands / 2 Shade Trees Provided
Other Trees (21 Substitution)	

SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Adjacent to Perimeter Properties	Dumpster Screening
Landscape Type	B - Roadway	E - Parking to Road	A - Non Residential, C - Residential, D - Dumpster
Linear Feet of Roadway Frontage / Perimeter	74 L.F.	115 L.F.	A - 217 L.F., C - 372 L.F., D - 34 L.F.
Credit for Existing Vegetation (Yes, No Linear Feet) (Describe below if needed)	NO	NO	NO
Credit for walk, fence or berm (Yes, No Linear Feet) (Describe below if needed)	NO	NO	NO
Number of Plants Required	150=1, 140=2	140=4, 160=4	140=10, 120=19, 160=1, 110=4
Number of Plants Provided	1 Shade, 2 Evergreen	4 Shade, 34 Shrubs	10 Shade, 19 Evergreen
Totals: Shadee - 30 (20 Required), Evergreen - 29 (28 Required), Shrubs - 34 (34 Required)			

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Darlene K. Leagle 3/23/03 DATE

Condy Hamilton 3/26/03 DATE

Chris Conway 3/21/03 DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR FOND CONSTRUCTION, EROSION CONTROL, SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REGULATIONS OF THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. I HAVE NOTICED THE DEVELOPER THAT HEARSAY, SOLELY AS A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND TO SUPERVISE FOND CONSTRUCTION AND TO SUPERVISE FOND CONSTRUCTION WITH AN ANNUAL PLAN OF THE FOND WITHIN 90 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

James M. Jost 3/10/03 DATE

DEVELOPER'S CERTIFICATE

I HAVE CERTIFIED THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN ANNUAL PLAN OF THE FOND WITHIN 90 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

James M. Jost 3/10/03 DATE

DEVELOPER'S/ BUILDER'S CERTIFICATE

I/ We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

James M. Jost 3/10/03 DATE

REVISIONS

No.	Date	Description
1	4/2003	Revise building footprint, revise retaining walls and utilities.

Project: Clarksville Professional Center

DESIGNED: S.D.H.

DRAWN: J.D.R., S.T.B.

CHECKED: B.D.B.

DATE: 3/2003

OWNER/DEVELOPER: 6339 TEN OAKS, LLC, 7370 Grace Drive, Suite A, Columbia, Maryland 21044 (301) 596-9200

SCALE: 1" = 20'

DRAWINGS: 14 of 14

JOB NO.: 01-067

FILE NO.:

CLARKSVILLE PROFESSIONAL CENTER

Plat No. 15693

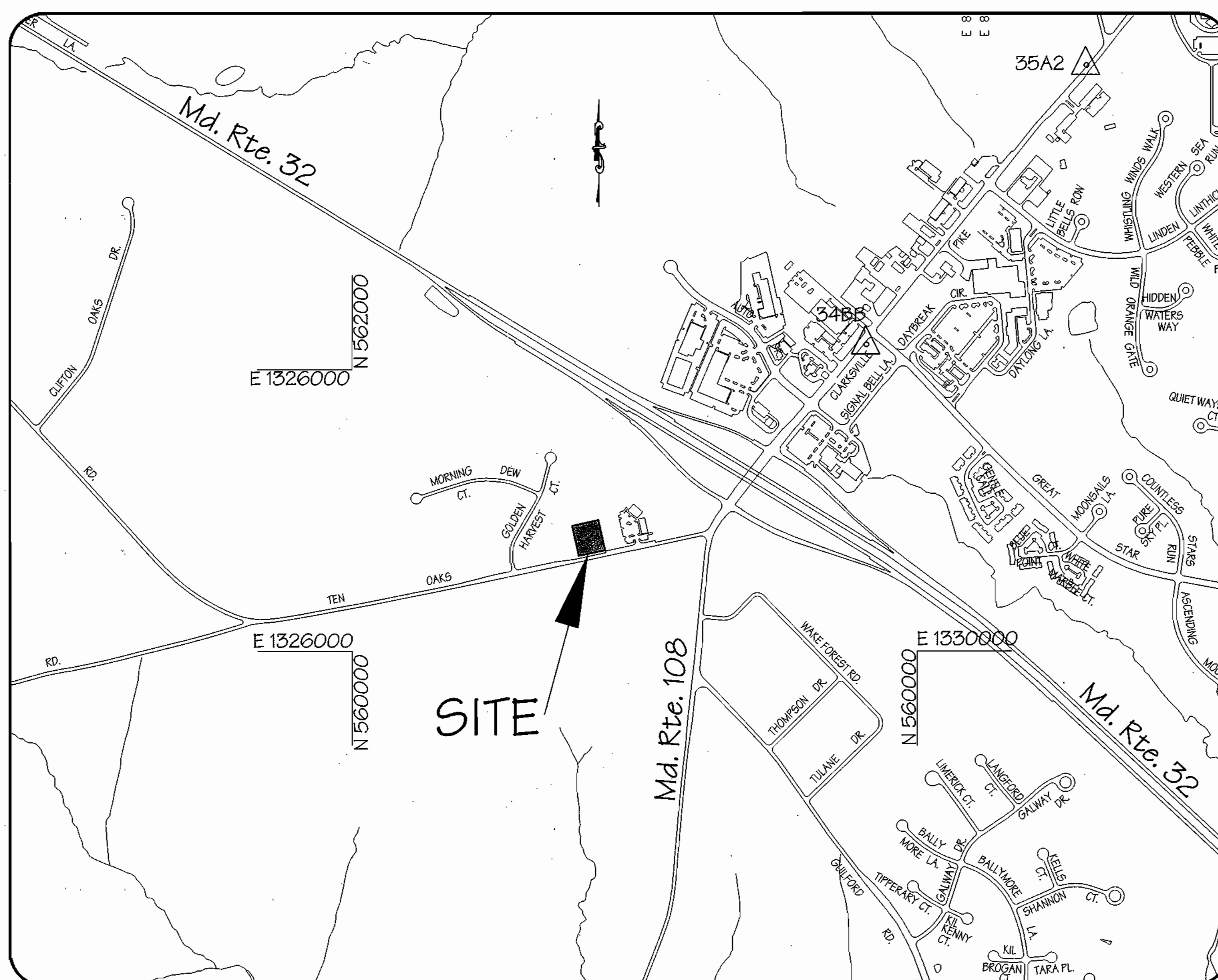
Commercial Office Building

Tax Map 34, Grid 12, Parcel 2B

5th Election District - Howard County, Maryland

Previous Submittals: F-03-025

- GENERAL NOTES**
- THE PURPOSE OF THIS SITE DEVELOPMENT PLAN IS TO PROVIDE CONSTRUCTION DOCUMENTS FOR A COMMERCIAL OFFICE BUILDING TO REPLACE AN EXISTING RESIDENTIAL STRUCTURE, IN ACCORDANCE WITH THE SITE DEVELOPMENT PLAN REGULATIONS.
 - All construction shall be in accordance with the latest standards and specifications of Howard County Design Manual Vol. IV and current MSHA standards & specifications.
 - Project Background:
 - Location: Clarksville, Maryland
 - Tax Map: Map 34
 - Tax Map Parcel: 28
 - Grid: 12
 - Election District: 5th
 - Existing zoning: B-2 (Business-General) per 10/18/93 Comprehensive Zoning Plan.
 - Current Plan Reference:
 - Plan No: SDP-02
 - The boundary shown hereon is based on a field run boundary survey performed by LDE, Inc. in October, 2001.
 - Horizontal and vertical datum's are related to the Maryland State Plane Coordinate System as projected from Howard County control stations No. 348B and 35A2 (NAD 83).
 - Any damage caused by the contractor to existing public right-of-way, existing paving, existing curb and gutter, existing utilities, etc. shall be corrected at the contractor's expense.
 - The existing utilities shown hereon are located from field surveys and construction drawings of record. The contractor shall locate existing utilities to his own satisfaction and well in advance of any construction activities. Additionally, the contractor shall take all necessary precautions to protect all existing utilities and maintain uninterrupted service. Any damage incurred to utilities or existing features due to contractor's operation shall be repaired immediately at the contractor's expense.
 - There may be additional utilities not shown on these plans. The engineer assumes no responsibility for utility locations not shown and it shall be the responsibility of the contractor to verify the locations of all existing utilities within the limits of construction and notify the engineer of any discrepancies, prior to the start of construction.
 - Site Analysis Data:
 - a. Total project Area: 0.3079 Acres
 - b. Area of Plan Submission: 0.3079 Acres
 - c. Limit of Disturbed Area: 0.3079 Acres
 - d. Present Use: Residential
 - e. Proposed Site and Structure Use: Commercial-Office
 - f. Building Floor Space per Use:
 - Site in 100% Office Use
 - Total Building Area: 4,325 s.f. / Floor = 12,975 s.f. Total
 - g. Maximum Number of Employees: 30
 - h. Parking Required: 33 Spaces/1000 s.f. of Office Area = 43 Spaces
 - i. Parking Provided: 2 Van Accessible/Handicap spaces + 44 Regular spaces
 - Total Parking Provided = 46 Spaces
 - j. Building Coverage of Site (Lot 1): 4,080 s.f. / 1,000,000 s.f. of gross site area.
 - k. Applicable SPZ File Reference: F-02-05
 - l. No change in use is permitted without the prior approval of the Department of Zoning and Planning.
 - There are no wetlands on this site per an investigation by LDE, Inc.
 - The Forest Conservation Obligation of 0.15 Acres of afforestation for this site has been met via a fee-in-lieu payment of \$2,267.00 to the Howard County Forest Conservation Fund.
 - Adjustments to the sequence of construction shall be approved by the Howard County Department of Inspections, Licenses and Permits, prior to such adjustments.
 - Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
 - The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection at (410) 313-1880 at least five (5) working days prior to the start of work.
 - Public water service is available to this site in Ten Oaks Road, Contract No. 44-3483.
 - The contractor shall notify "Miss Utility" at 1-800-287-7777 at least forty-eight (48) hours prior to any excavation work.
 - The 6" Waterline to be extended onsite for the building sprinkler system and domestic service will be private. The construction of this waterline will be under a Howard County Advanced Deposit Order (ADO). The property is located within the Metropolitan District. See Contract No. 44-3483.
 - Sewer service is available to this site via the 2" low pressure force main located in Ten Oaks Road, Contract No. 30-5770.
 - Stormwater quality and quantity management for this site will be provided via an on-site dry weather facility and an infiltration trench.
 - The onsite stormwater management facilities shall be privately owned and maintained.
 - Any damage to Public "Right-of-Way" or paved public roads shall be repaired immediately at the contractor's expense in accordance with the Howard County and MSHA Standards and Specifications.
 - All fill shall be rolled to a minimum degree of compaction of 95% of the dry unit weight as determined by AASHTO T- 150.
 - Building dimensions shown hereon are approximate only. Refer to the architectural plans for building dimensions.
 - There are no existing contiguous slopes 25% or greater which are greater than 20,000 square feet within the boundaries of the site.
 - A Noise Study is not required for this Site Development Plan submission.
 - A Traffic Analysis was completed in December, 2001 by The Traffic Group as part of this Site Development Plan submission.
 - A Geotechnical Report for this site was completed by Hillis Camera Engineering Associates, Inc. as part of this Site Development Plan submission.
 - Earthwork quantities shown on this plan are estimated and should not be used for bid purposes. Contractors should perform independent earthwork analysis for bid purposes.
 - Deviations from these plans and specifications without prior written consent of the civil engineer may cause the work to be unacceptable.
 - The dimensional distances shall govern if scaled and dimensioned distances on this plan are found to be in disagreement.
 - Landscaping requirement per Section 16.124 of the Subdivision and Land Development Regulations shall be provided in accordance with a landscape plan on file with this site plan. Surety in the amount of \$12,700.00 has been posted as a part of the Developer's Agreement for this site plan.
 - The existing topography shown hereon is taken from a field run survey with two foot contour intervals prepared by LDE, Inc. in October, 2001.
 - All outdoor lighting shall comply with the requirements of Zoning Section 154.
 - The existing residential structure and associated retaining walls, sidewalks and driveway shall be removed from this site. A Demolition Permit will be required from the Howard County Department of Inspections, Licenses and Permits prior to beginning any onsite demolition activities.
 - The existing onsite septic system and well (located in the basement of the existing residential structure) shall be abandoned in accordance with the Department of Environmental Health's procedures.



LOCATION MAP
Scale: 1" = 600'

SITE DEVELOPMENT PLAN CLARKSVILLE PROFESSIONAL CENTER

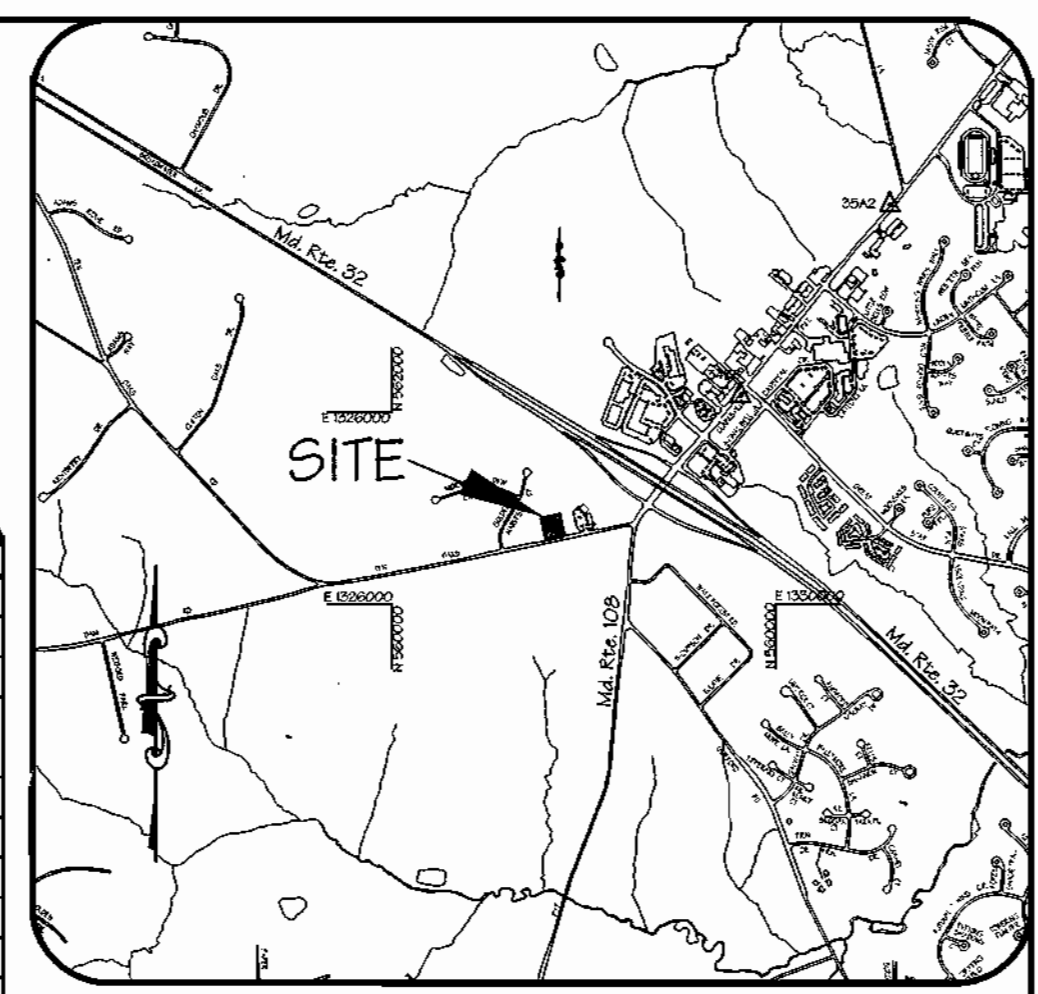
6339 Ten Oaks Road
Clarksville, Maryland 21029
Tax Map 34, Grid 12, Parcel 28
5th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

Address Chart
6339 Ten Oaks Road

BENCHMARKS:

- Howard County Survey Control Station: 348B
Standard Howard County Survey Disc set on a concrete monument. Located 15 feet south of CL intersection of Great Star Drive and Route 108, 13 feet behind face of curb on North Bound Lane of Route 108.
- Howard County Survey Control Station: 35A2
Standard Howard County Survey Disc set on a concrete monument. Located 80' feet from BG&E Pole #166792 and, 47.2 feet from BG&E Pole #370902 along south bound lane of Route 108. Approximately 214.5 feet from CL intersection of Shepard Lane and Route 108.

SHEET INDEX	
Sheet Number	Description
1	Cover Sheet
2	Site Development Plan
3	Grading & Sediment and Erosion Control Plan
4	Grading & Sediment Control and Stormwater Management Notes & Details & Drainage Area Map
5	Stormwater Management Notes & Details
6	Construction Detail Sheet
7	Drainage Area & Soils Map
8	Private Water, Sewer & Stormceptor Notes, Details and Profiles
9	Retaining Walls - Plan View
10	Retaining Walls - Profiles
11	Retaining Walls - Details
12	Retaining Walls - Notes
13	Forest Stand Delineation/Conservation Plan
14	Landscape Plan



VICINITY MAP
Scale: 1" = 1000'



Note: The average building height between front and rear is 39.94 FT Max. allowable building height in B-2 zoning district is 40.00'.

LEGEND

EXISTING CONTOUR	STONE DIAPHRAGM	
PROPOSED CONTOUR	————	BLOCK RETAINING WALL	
BENCH MARK	△	EXISTING TREE (TO REMAIN)	
BUILDING RESTRICTION LINE	-----	PROPOSED STORM DRAIN	
FLOW DIRECTION	→ → →	SOIL BORING LOCATION	⊙ B-1
SILT FENCE	—SF—SF—	PROPOSED HOWARD COUNTY STANDARD 7" CURB & GUTTER	
SUPER SILT FENCE	—SSF—SSF—		
LIMIT OF DISTURBANCE	●●●●●●●●		
DRAINAGE DIVIDE	————		
STABILIZED CONSTRUCTION ENTRANCE			

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Director: *[Signature]* 4/2/03
 Chief, Division of Land Development: *[Signature]* 3/26/03
 Chief, Development Engineering Division: *[Signature]* 3/21/03

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.
[Signature] 3/18/03
 NATIONAL RESOURCE CONSERVATION DISTRICT
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
[Signature] 3/18/03
 HOWARD SOIL CONSERVATION DISTRICT

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR FOND CONSTRUCTION, EROSION CONTROL AND SEDIMENTATION REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REGULATIONS OF THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. I HAVE NOTIFIED THE DEVELOPER THAT HE IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING DISTRICT WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.
 BRUCE D. BURTON 3/10/03
 REGISTERED PROFESSIONAL ENGINEER
DEVELOPER'S CERTIFICATE
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL EMPLOY A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.
 James M. Goff 3/10/03
 JAMES M. GOFF
 REGISTERED PROFESSIONAL ENGINEER

STATE OF MARYLAND
 BRUCE D. BURTON
 REGISTERED PROFESSIONAL ENGINEER
 3/7/03

REVISIONS

No.	Date	Description
1	4/2/03	Revise Site Analysis Notes 11f, h, j for Larger Building
2	9/2/03	Revise Site Analysis Notes 11i for the addition of (3) parking spaces.

Project: Clarksville Professional Center
 Plot No. 15693, Block No. 12, Zone B-2, Tax Map No. 34, Election District 5th, Consue Tract 6051.01
 Water Code I-11, Sewer Code 6653000

LDE, INC.
 9250 Rumsay Road, Suite 106, Columbia, MD. 21045
 (410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: S.D.H. SCALE: As Shown
 DRAWN: J.D.R. DRAWING: 1 of 14
 CHECKED: B.D.B. JOB NO.: 01-067
 DATE: 3/20/03 OWNER/DEVELOPER: 6339 TEN OAKS, LLC
 7370 Grace Drive, Suite A
 Columbia, Maryland 21044
 (301) 596-9200 FILE NO.: SDP-02-76

Street Light Legend						
Street Name	Symbol	Centerline Station	Offset	Lamp Size	Fixture	Pole Type
Ten Oaks Road	see legend	9+59	2B' Right	250w. HPS	Vapor Fixture (Sag)	20' arm attached to ex. BGE Pole# Pole located 46' west of CL prop. Ent

Note: 20' Arm shall be mounted as high as possible on ex. pole and perpendicular to the centerline of Ten Oaks Road.

SPEED MPH	MINIMUM DISTANCE FROM TAPE TO FIRST SIGN	ADDITIONAL SIGNS IN SERIES TO BE SPACED AT A MINIMUM	MINIMUM CONCRETE ADVANCED WARNING
0 - 25	300'	800'	600'
26 - 35	300'	300'	300'
36 - 45	300'	500'	350'
46 - 55	300'	700'	500'

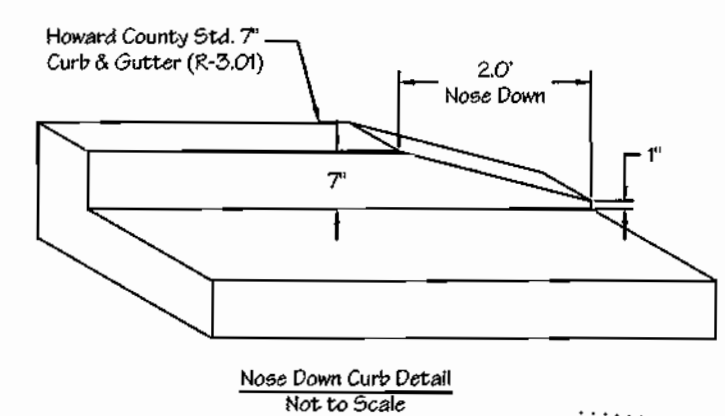
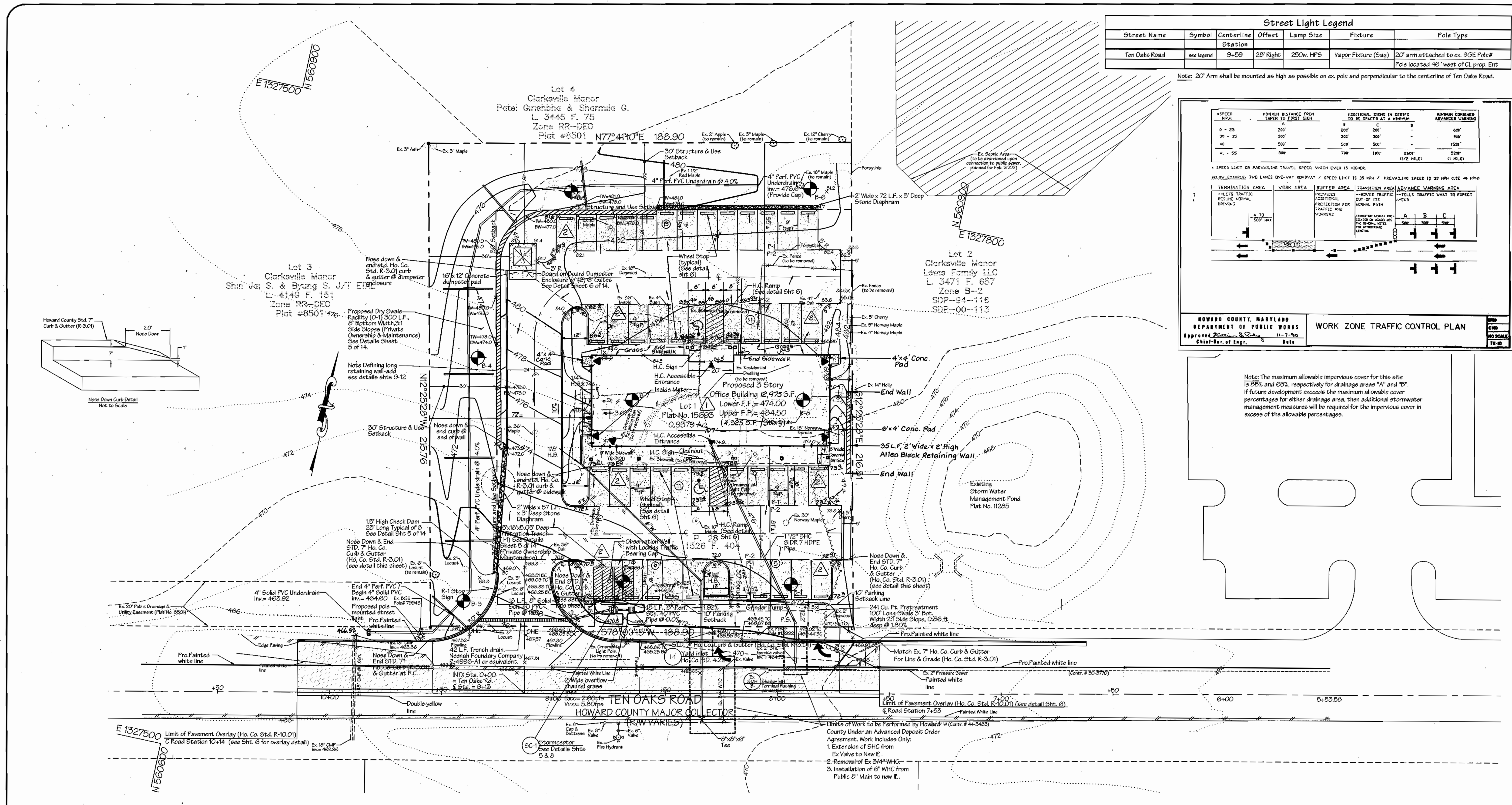
* SPEED LIMIT OF PREVALING TRAVEL SPEED WHICH EVER IS HIGHER.
 ** EXAMPLE: TWO LANES ONE-WAY ROADWAY / SPEED LIMIT IS 35 MPH / PREVALING SPEED IS 28 MPH USE 40 MPH

TERMINATION AREA	WORK AREA	BUFFER AREA	TRANSITION AREA	ADVANCED WARNING AREA
LETTS TRAFFIC BECOME NORMAL DRIVING	PREPARE ADDITIONAL PRECAUTION FOR TRAFFIC AND WORKERS	MOVES TRAFFIC OUT OF ITS NORMAL PATH	TOLLS TRAFFIC WHAT TO EXPECT AHEAD	TOLLS TRAFFIC WHAT TO EXPECT AHEAD

HOWARD COUNTY, MARYLAND
 DEPARTMENT OF PUBLIC WORKS
 APPROVED: [Signature] 11-7-03
 Chief-Of-Eng. Date

WORK ZONE TRAFFIC CONTROL PLAN
 SCALE: 1"=20'
 DATE: 11-7-03

Note: The maximum allowable impervious cover for this site is 28% and 65%, respectively for drainage areas "A" and "B". If future development exceeds the maximum allowable cover percentages for either drainage area, then additional stormwater management measures will be required for the impervious cover in excess of the allowable percentages.



Paving Legend

Ho. Co. P-1 Paving (Ho. Co. Std. R-2.01)	[Pattern]
Ho. Co. P-2 Paving (Ho. Co. Std. R-2.01)	[Pattern]
Pavement Overlay (Ho. Co. Std. R-2.01)	[Pattern]

No.	Date	Description
1	4/2003	Revise building length and area. Revise retaining walls, grading & utilities for larger building.
2	11/2003	Added(3) additional parking spaces and adjusted both front and rear parking areas to provide 12' wide landscape islands.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Director: [Signature] 4/23/03
 Chief, Division of Land Development: [Signature] 3/26/03
 Chief, Development Engineering Division: [Signature] 3/18/03

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Natural Resource Conservation Service: [Signature] 3/18/03

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Howard Soil Conservation District: [Signature] 3/18/03

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR FOND CONSTRUCTION, EROSION CONTROL, REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL OBSERVATION OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REGULATIONS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT THE HOWARD SOIL CONSERVATION DISTRICT ENGINEER TO SUPERVISE FOND CONSTRUCTION AND THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERSONS ON-SITE INSPECTING BY THE HOWARD SOIL CONSERVATION DISTRICT.

Developer's Certificate: [Signature] 3/10/03

DEVELOPER'S CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERSONS ON-SITE INSPECTING BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 3/10/03

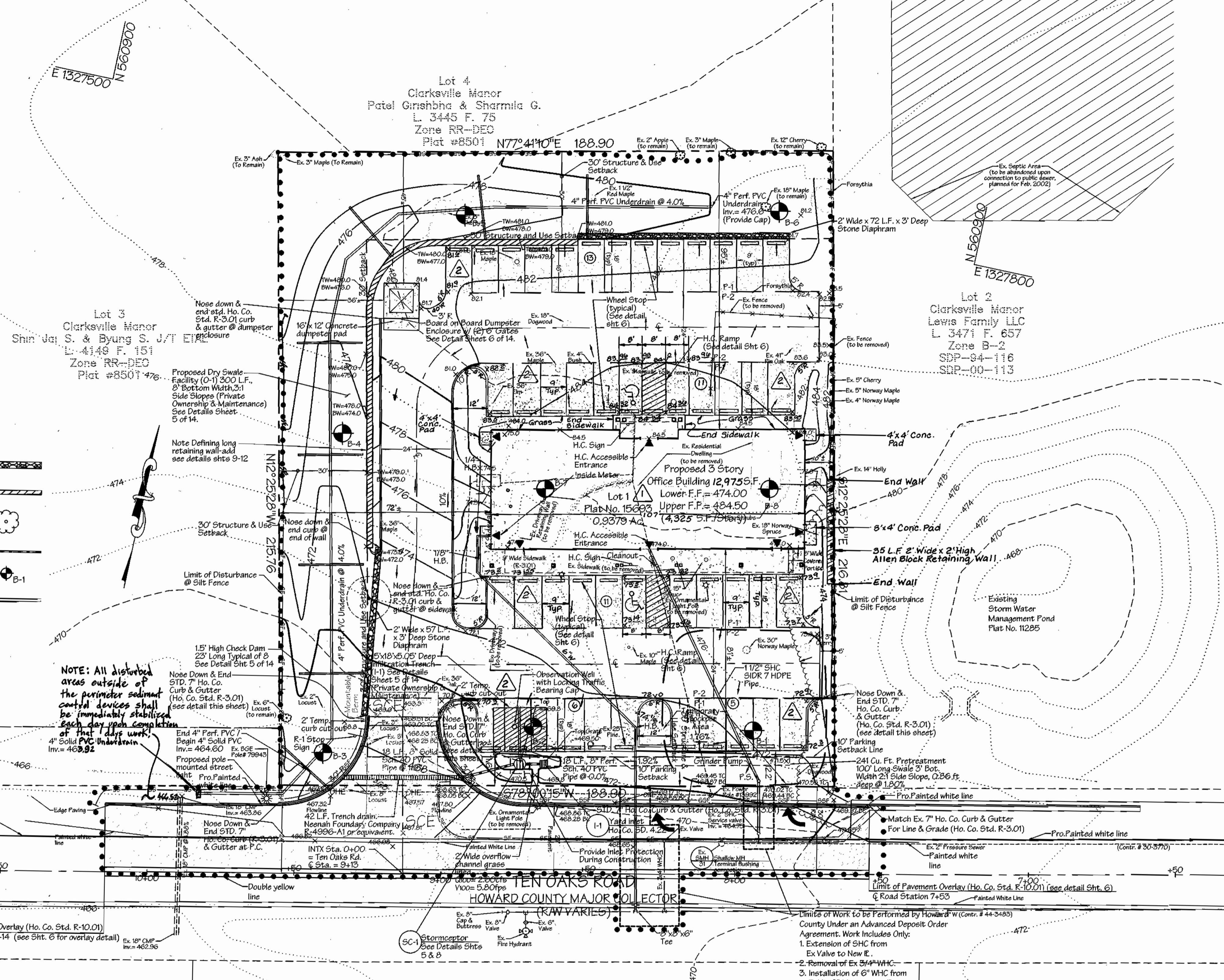
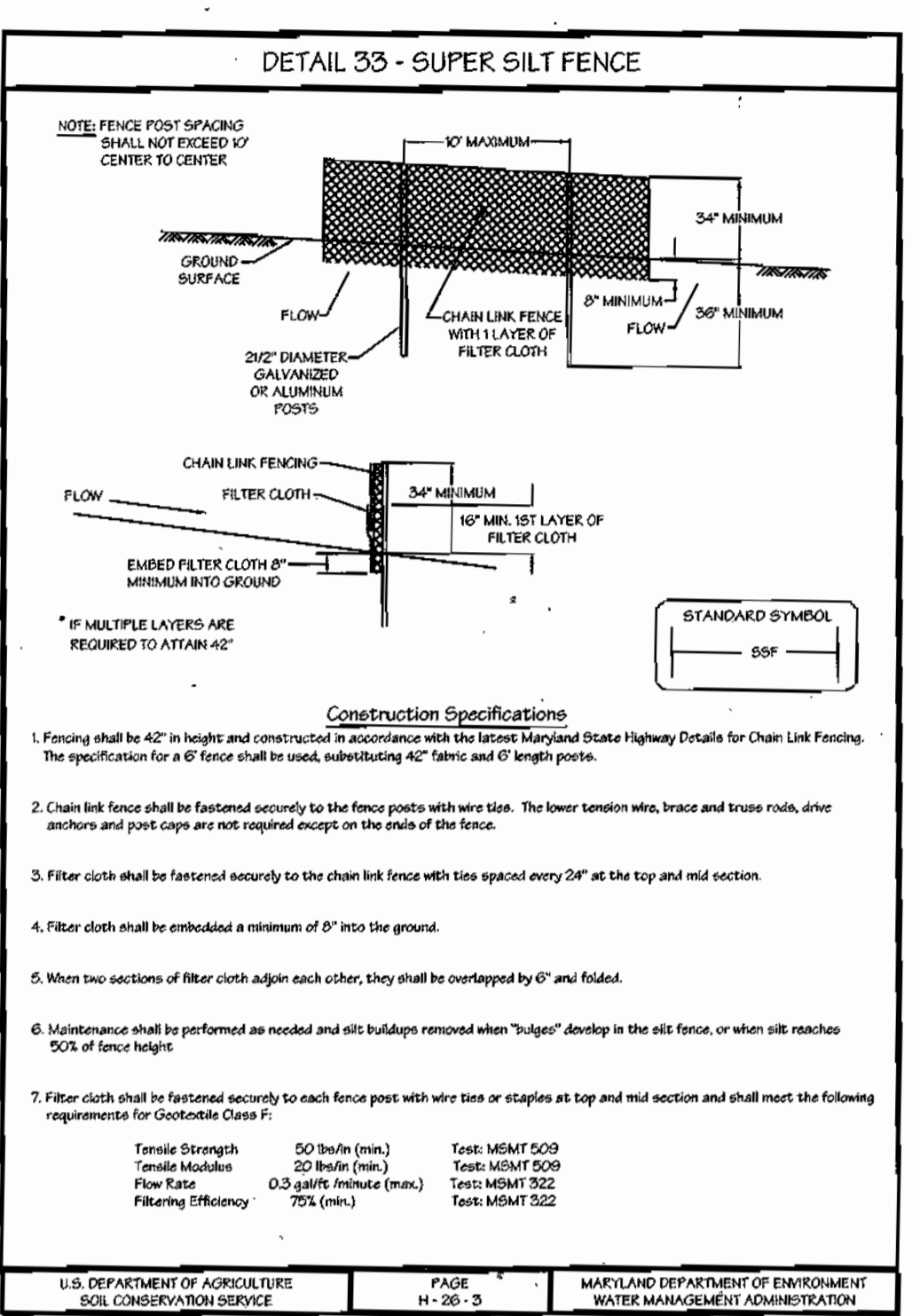
Project: Clarksville Professional Center	Sect./Area: -	Lot No: 1
Plat No. 15693	Block No. 12	Zone B-2
Tax Map No. 34	Election District 5th	Consent Tract 6051.01
Water Code I-11	Sewer Code 6653.000	

LDE, INC.
 9250 Rumeys Road, Suite 106, Columbia, MD. 21045
 (410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: S.D.H.
 DRAWN: J.D.R.
 CHECKED: B.D.B.
 DATE: 3/20/03

OWNER/DEVELOPER: 6339 TEN OAKS, LLC
 7370 Grace Drive, Suite A
 Columbia, Maryland 21044
 (301) 596-9200

SCALE: 1"=20'
 DRAWING: 2 of 14
 JOB NO.: 01-067
 FILE NO.:



SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT.	1 DAY
2. NOTIFY THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT LEAST 24 HOURS PRIOR TO STARTING CONSTRUCTION.	1 DAY
3. INSTALL STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM AND SILT FENCE AT LIMIT OF DISTURBANCE SHOWN HEREON.	2 DAYS
4. REMOVE EXISTING ON-SITE TREES / SHRUBS DESIGNATED FOR REMOVAL ON THE PLAN.	2 DAYS
5. DEMOLISH AND REMOVE EXISTING HOUSE, SIDEWALKS AND DRIVEWAY. NOTE: A SEPARATE DEMOLITION PERMIT IS REQUIRED BY HOWARD COUNTY PRIOR TO CONDUCTING ANY DEMOLITION ACTIVITIES ON-SITE.	5 DAYS
6. REMOVE / ABANDON EXISTING SEPTIC SYSTEM AND WELL IN ACCORDANCE WITH HEALTH DEPARTMENT ABANDONMENT PROCEDURES.	2 DAYS
7. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, ROUGH GRADE THE SITE IN ACCORDANCE WITH THE APPROVED GRADING PLAN.	DAILY
8. MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON AFTER EACH RAINFALL AND ON A DAILY BASIS.	DAILY
9. CONSTRUCT LONG RETAINING WALL ALONG EDGE OF PAVING ON THE WEST SIDE OF THE SITE, AND SHORT RETAINING WALL ON WEST SIDE OF BUILDING AREA.	10 DAYS
10. FINE GRADE SITE IN ACCORDANCE WITH THE APPROVED GRADING PLAN. IMMEDIATELY STABILIZE ALL AREAS NOT TO BE ROOFED OR PAVED IN ACCORDANCE WITH THE TEMPORARY SEEDING NOTES.	3 DAYS
11. INSTALL STANDARD HOWARD COUNTY CURB AND GUTTER ALONG TEN OAKS ROAD, ALONG COMMERCIAL ENTRANCE AND ON EAST SIDE OF LOWER PARKING AREA.	1 DAY
12. INSTALL GRAVEL PAVING BASE FOR ALL AREAS DESIGNATED TO BE PAVED.	2 DAYS
13. STABILIZE ALL REMAINING DISTURBED AREAS IN ACCORDANCE WITH THE TEMPORARY SEEDING NOTES.	1 DAY
14. INSTALL WATER AND SEWER CONNECTIONS TO BUILDING.	4 DAYS
15. CONSTRUCT BUILDING.	4 MONTHS
16. ONCE BUILDING IS COMPLETE AND HEAVY CONSTRUCTION EQUIPMENT IS NO LONGER NEEDED ON-SITE, INSTALL THE TRENCH DRAIN, I-1 YARD INLET AND INFILTRATION TRENCH SYSTEM. NOTE: THE INFILTRATION SHALL NOT BECOME FUNCTIONAL UNTIL ITS ENTIRE DRAINAGE AREA IS FULLY STABILIZED.	3 DAYS
17. INSTALL CONCRETE SIDEWALKS, DOOR PADS AND STEPS.	4 DAYS
18. INSTALL BASE AND SURFACE PAVING COURSES.	2 DAYS
19. INSTALL DRY SWALE / BIORETENTION FACILITY WITH TIMBER CHECK DAMS.	2 DAYS
20. Install the bio-retention plantings, perimeter and internal landscaping in accordance with the permanent seeding notes. 1 DAY with permission from the sediment control inspector remove all remaining sediment control devices, stabilize any remaining disturbed areas in accordance with the permanent seeding notes.	3 DAYS
21. PAINT STRIPE PARKING AREA AND INSTALL SIGNAGE.	1 DAY
TOTAL ESTIMATED TIME:	6 MONTHS

Legend

Existing contour	Stone diaphragm
Proposed contour	Block retaining wall
Bench mark	Existing tree (to remain)
Building restriction line	Proposed storm drain
Flow direction	Soil boring location
Silt fence	Proposed howard county standard 7" curb & gutter
Super silt fence	
Limit of disturbance	
Drainage divide	
Stabilized construction entrance	

NOTE: All disturbed areas outside of the perimeter sediment control devices shall be immediately stabilized each day upon completion of that day's work.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Frank A. Leagle 5/23/03
DIRECTOR

Cheryl Hamble 3/26/03
CHIEF, DIVISION OF LAND DEVELOPMENT

Chad D. ... 3/21/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Jill Nguyen/CS 3/18/03
NATURAL RESOURCE CONSERVATION OFFICER

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Cheryl ... 3/18/03
HOWARD SOIL CONSERVATION DISTRICT

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR FOND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY FIELD AND OFFICE SURVEY OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING ENGINEER TO SUPERVISE FOND CONSTRUCTION AND THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING DISTRICT WITH AN AS-BUILT PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Bruce D. ... 3/17/03
SIGNATURE OF ENGINEER

DEVELOPER'S CERTIFICATE

I HAVE CERTIFIED THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN AS-BUILT PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

James A. ... 3/10/03
DATE

STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER
James A. ... 3/10/03

REVISIONS

No.	Date	Description
1	4/2003	Revise building length and area. Revise retaining walls, grading & utilities for larger building.
2	11/2003	Added(2) additional parking spaces and adjusted both front and rear parking areas to provide 12' wide landscape islands.

Project:	Clarksville Professional Center	Section/Area:		Lot No.:	1
Plat No.:	15693	Block No.:	12	Zone:	B-2
Water Code:	I-11	Tax Map No.:	34	Election District:	5th
		Census Tract:		Census Tract:	6051.01
		Sewer Code:			6653000

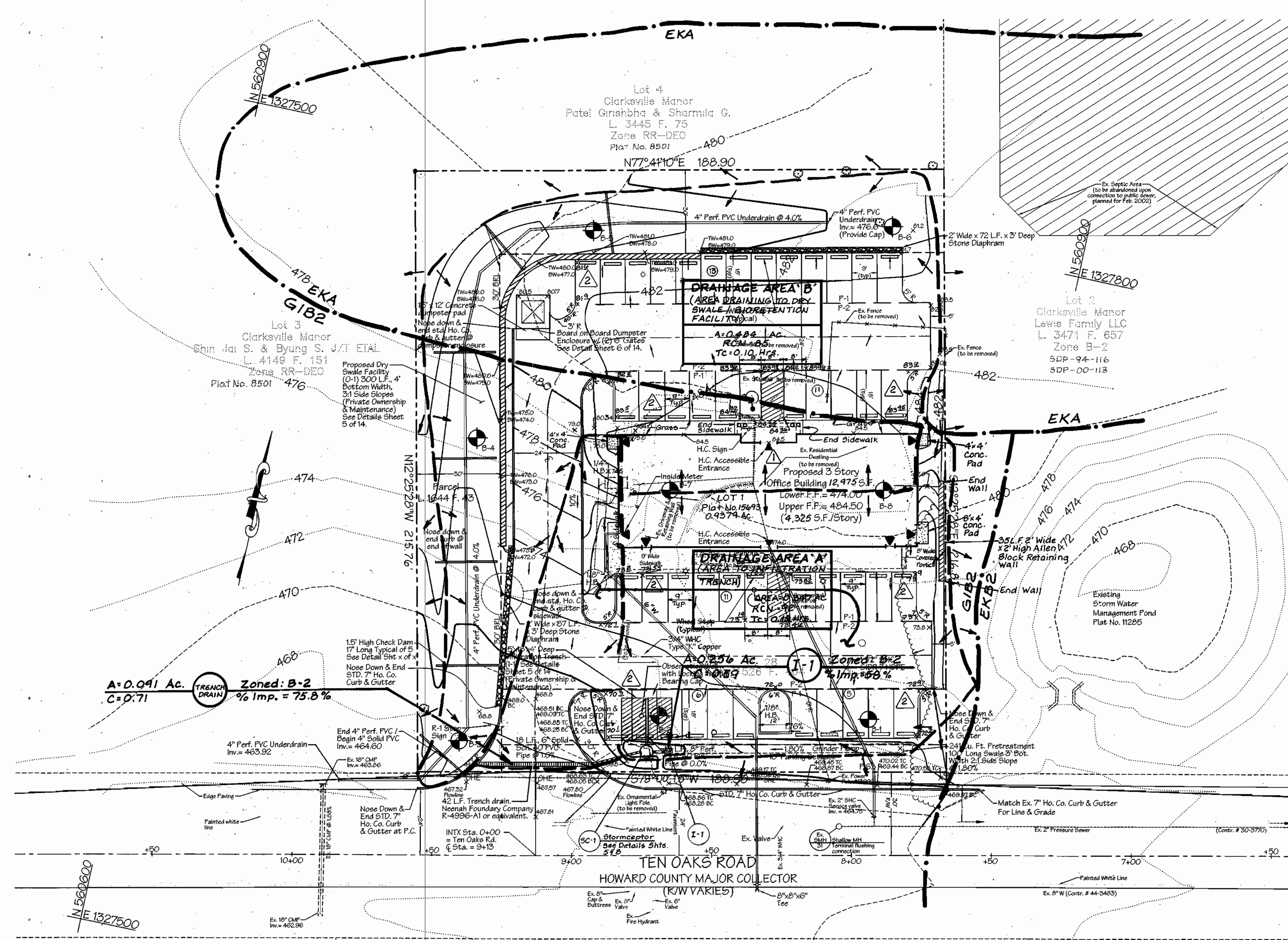
LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: S.D.H.
DRAWN: J.D.R.
CHECKED: B.D.B.
DATE: 3/2003

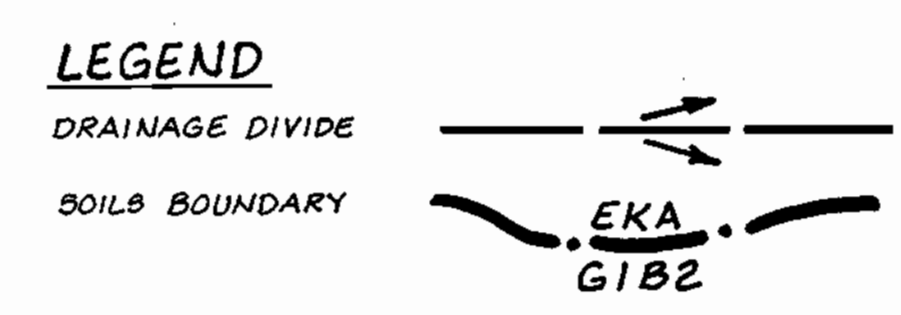
Grading & Sediment Control Plan
CLARKSVILLE PROFESSIONAL CENTER
Plat No. 15693
Commercial Office Building

SCALE: 1"=20'
DRAWING: 3 of 14
JOB NO.: 01-067
FILE NO.: SDP-02-076

OWNER/DEVELOPER:
6339 TEN OAKS, LLC
7570 Grace Drive, Suite A
Columbia, Maryland 21044
(301) 596-9200



NOTE: THE MAXIMUM ALLOWABLE IMPERVIOUS COVER FOR THIS SITE IS 85% AND 65%, RESPECTIVELY FOR DRAINAGE AREAS 'A' AND 'B'. IF FUTURE DEVELOPMENT EXCEEDS THE MAXIMUM ALLOWABLE COVER PERCENTAGES FOR EITHER DRAINAGE AREA, THEN ADDITIONAL STORMWATER MANAGEMENT MEASURES WILL BE REQUIRED FOR THE IMPERVIOUS COVER IN EXCESS OF THE ALLOWABLE PERCENTAGES.



SOILS LEGEND			
HYDROLOGIC SOIL GROUP	SOIL SYMBOL	DESCRIPTION	REMARKS
B	EKA	Eloak silt loam, 0% - 3% slopes	
B	G1B2	Glenny loam, 3% - 8% slopes, moderately eroded	

REVISIONS		
No.	Date	Description
1	4/2003	Revise building footprint, retaining walls, grading facilities. Revise drainage divides and drainage area information.
2	11/2003	Added (3) additional parking spaces and adjusted both front and rear parking areas to provide 12' wide landscape islands.

Project: Clarksville Professional Center		Sheet/Area: 1	Lot No. 1
Plot No. 156993	Block No. 12	Zone B-2	Tax Map No. 34
Water Code I-11		Elision District 5th	Census Tract 6051.01
Cover Code 6653000			

LDE, INC.
 9250 Rumsey Road, Suite 106, Columbia, MD. 21045
 (410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: S.D.H.	SCALE: 1"=20'
DRAWN: J.D.R., S.T.B.	DRAWING: 7 of 14
CHECKED: B.D.B.	JOB NO.: 01-067
DATE: 12/2001	OWNER/DEVELOPER: 6339 TEN OAKS, LLC 7370 Grace Drive, Suite A Columbia, Maryland 21044 (301) 596-9200
	FILE NO.: SDP-02-76

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

David A. Taylor 2/23/02 DATE
DIRECTOR

Chris Hanon 3/21/03 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

Chad Ramsey 3/21/03 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR FOND CONSTRUCTION, EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL OBSERVATION OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RESOURCES AND SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE OR SHE MUST OBTAIN A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Bruce D. Burton 7/03 DATE
REGISTERED PROFESSIONAL ENGINEER

DEVELOPER'S CERTIFICATE

I HAVE CERTIFIED THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL EMPLOY A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

James R. Jett 3/21/03 DATE
DATE

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 BRUCE D. BURTON
 3/7/03

STREET LIGHTING NOTES AND DETAILS

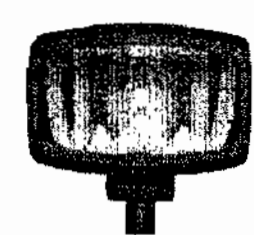
Higher Light Levels
The Gardco Floodlight accepts both metal halide and high pressure sodium lamps to 750W. Using these high lumen packages creates application opportunities unmatched by typical 400W products.

Uniform Light Levels
Precisely faceted reflectors generate extremely uniform lighting levels of 3, 6, 61 and 121 maximum to minimum, depending on the requirements of the specific application. are available for critical brightness control.

Clean Pattern Appearance
Typically, HID luminaires produce streaks, striations and color separations in floodlighting patterns which are not evident in photometric reports. Gardco's precise positioning of specular reflector facets, in combination with selective use of hammer-toned material ensures clean, unobstructed patterns.

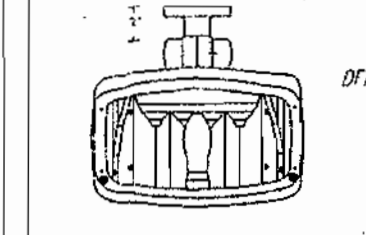
Control of Unwanted Glare
New optical systems are available, each providing sharp visual cutoff to the lamp and the lamp images at normal viewing angles. Luminaires are easily placed behind landscape or architectural elements, as well as on poles or walls above eye level. This mounting flexibility allows the shielding of lamp brightness in most any installation. An optional cutoff hood and internal baffle system are available for critical brightness control.

DF12

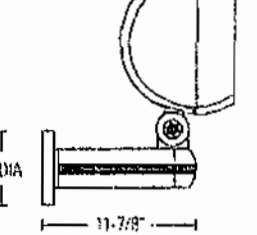


Horizontal Flood
The optical system of choice for providing broad area flood lighting illumination in fixtures with beam widths of 8 to 30 degrees for use in parking areas, sports arenas, walkways, parking lots, etc. Typical applications include 1-7 story buildings, parking lots, sports arenas and country housing.

W WALLCEILING CANOPY MOUNT



W90 WALL ARM MOUNT



W90 WALL ARM MOUNT



The mounting plate
Wall Ceiling Canopy
Mount for ceiling
mounting.
Wall Arm
The mounting plate
Wall Ceiling Canopy
Mount for ceiling
mounting.

Lighting Notes

- All outside lighting fixture shall be Gardco DF series luminaire Horizontal Floodlights or approved equal.
- All fixture shall be mounted on the building at heights of 10 & 20 feet.
- All lights shall be directed down & away from the adjacent properties. Shields shall be required if glare cannot be zeroed out at the property lines.
- No fixtures shall be mounted on the building within 15' L.F. of the property lines.

Landscape Notes

- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Howard County Landscape Manual.
- The Owner/Developer is responsible for the planting of all plant material required to meet the standards established by the Howard County Landscape Manual.
- Financial Surety for the required landscaping has been posted as part of the Department of Public Works Developer's Agreement in the amount of \$11,570.00.
- The Owner/Developer shall be responsible for the maintenance of the plant materials.
- All plant materials shall conform to the American Association of Nurserymen's publication, American Standard Nursery Stock.
- This Plan is for Landscaping Purposes only.
- PLEASE SEE SHEET 4 FOR SEEDING NOTES.

MASTER LANDSCAPE SCHEDULE

SYMBOL	QNTY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
SHADE TREES					
RM	7	Red Maple October Glory	Acer rubrum	21/2"-3" Caliper	B & B
PO	6	Pine Oak	Quercus palustris	21/2"-3" Caliper	B & B
WO	5	Willow Oak	Quercus phellos	21/2"-3" Caliper	B & B
RB	6	River Birch (Heritage Gum Birch)	Betula nigra 'Heritage'	10"-12" Ht.	B & B
SC	6	Sargent Cherry	Prunus sargentii	11/2"-2"	B & B
EVERGREEN TREES					
WP	10	Eastern White Pine	Pinus strobus	6'-8" Ht.	B & B
LC	14	Layland Cypress	Cupressus leylandii	5'-6" Ht.	B & B
AH	5	American Holly	Ilex opaca	5'-6" Ht.	B & B
SHRUBS					
DJ	20	Sargent Juniper	Juniperus chinensis sargentii	24"-30" Ht.	container 3" o.c.
AZ	14	Azalea	Azalea sp.	24"-30" Ht.	container 3" o.c.

NOTE: The required landscaping includes 20 shade trees, 25 evergreen trees and 34 shrubs. Only the required landscape materials will be bonded. The remainder of the proposed landscape materials are required for the stormwater management dry swale/boretention facility and will be bonded under the Developer's Agreement for stormwater management.

HERBACEOUS - GRASSES (Dry Swale Only)			
AR	SG	Annual Ryegrass Switchgrass	Seed Mixture
4800	4800		

Legend

Existing contour	Stone diaphragm	-----
Proposed contour	-----	Block retaining wall	=====
Bench mark	△	Existing tree (to remain)	☼
Building restriction line	---	Proposed storm drain	---
Flow direction	→	Soil boring location	⊕ B-1
Silt fence	—SF—	Proposed Howard County standard 7" curb & gutter	=====
Super silt fence	—SSF—	Building Mounted Floodlight	☼
Limit of disturbance	●●●●●	Pole Mounted Arm/ Light	⊕☼
Drainage divide	---	Legend	
Stabilized construction entrance	---	Deciduous Tree	☼
		Evergreen Tree	★
		Shrub	☼
		Dry Swale	---
		Seed Mixture	---
		Check Dam	---

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

Number of parking spaces	43
Number of trees required	120
Number of trees provided	120
Number of trees (2:1 substitution)	24

**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

Category	Adjacent to Roadways		Adjacent to Perimeter Properties		Dumpster Screening
	B - Roadway	E - Parking to Road	A - Non Residential	C - Residential	
Linear Feet of Roadway Frontage / Perimeter	74 L.F.	115 L.F.	A - 217 L.F.	C - 372 L.F.	D - 34 L.F.
Credit for Existing Vegetation (Yes, No Linear Feet) (Describe below if needed)	NO	NO	NO	NO	NO
Credit for wall, fence or berm (Yes, No Linear Feet) (Describe below if needed)	NO	NO	NO	NO	NO
Number of Plants Required	1:50=1	1:40=4	1:60=4	1:40=10	1:60=1
Shade Trees	1:40=2			1:20=19	1:10=4
Evergreen Trees					
Shrubs		1:4=34			
Number of Plants Provided	1 Shade	4 Shade	4 Shade	10 Shade	7 Evergreen
Shade Trees	2 Evergreens			19 Evergreen	
Evergreen Trees					
Other Trees (2:1 substitution)		34 Shrubs			
Shrubs (10:1 substitution)					
(Describe plant substitution credits below if needed)					

Totals: Shades - 30 (20 Required)
Evergreen - 27 (26 Required)
Shrubs - 34 (34 Required)

FINISH

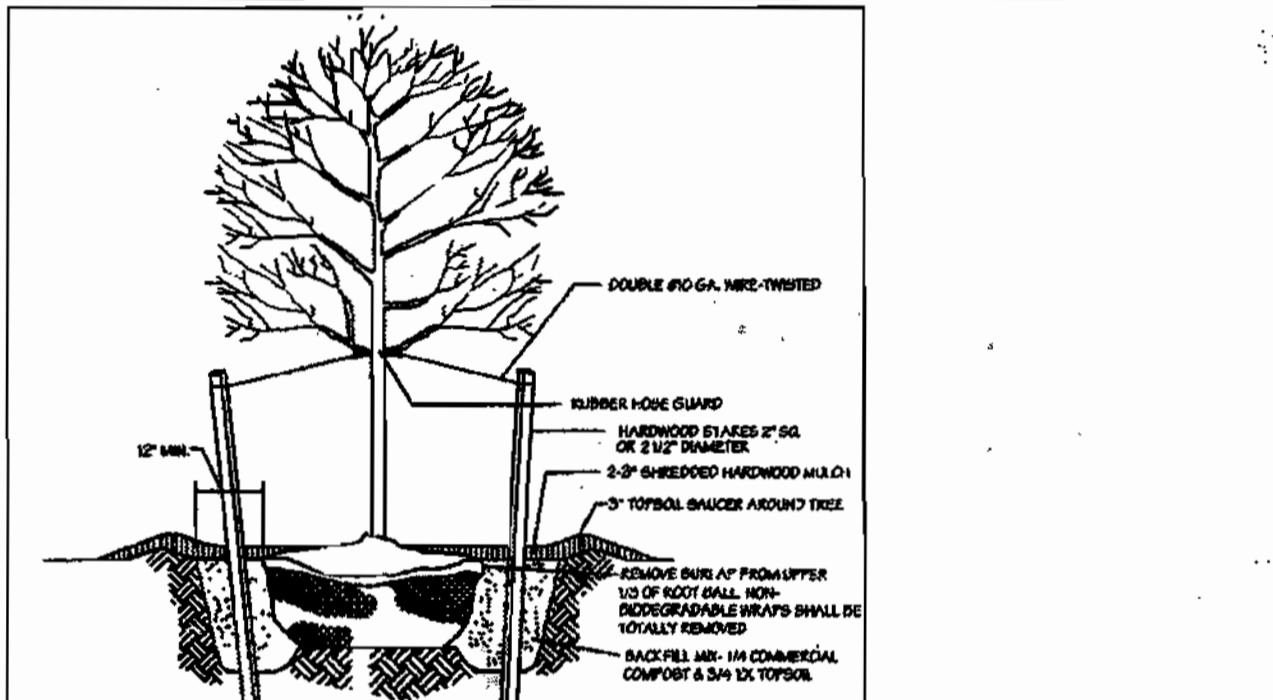
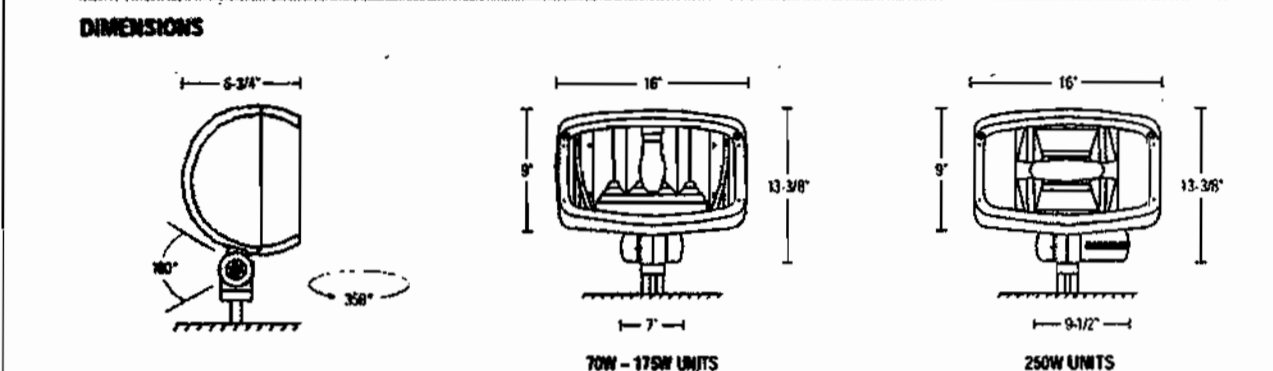
SP	Stucco
BP	Black Paint
WP	White Paint
GP	Green Paint
OP	Orange Paint
SP	Special Color Paint
SC	Special Color Paint

OPTIONS

PCB	Button Type Photocell
BC	Beam Cutoff
CR	Clear Coat
DR	Dark Grey (R) and Gold (G) Finish (CR as required)
SP	SP with SP hardware and BLP with all other hardware. Offer can be used concurrently with the Polyurethane (SP) finish.
POLY	Polyurethane (SP) finish (with or without BLP)
ESB	Extended Service Life
ESB	Extended Service Life (not available for one additional lighting pole)

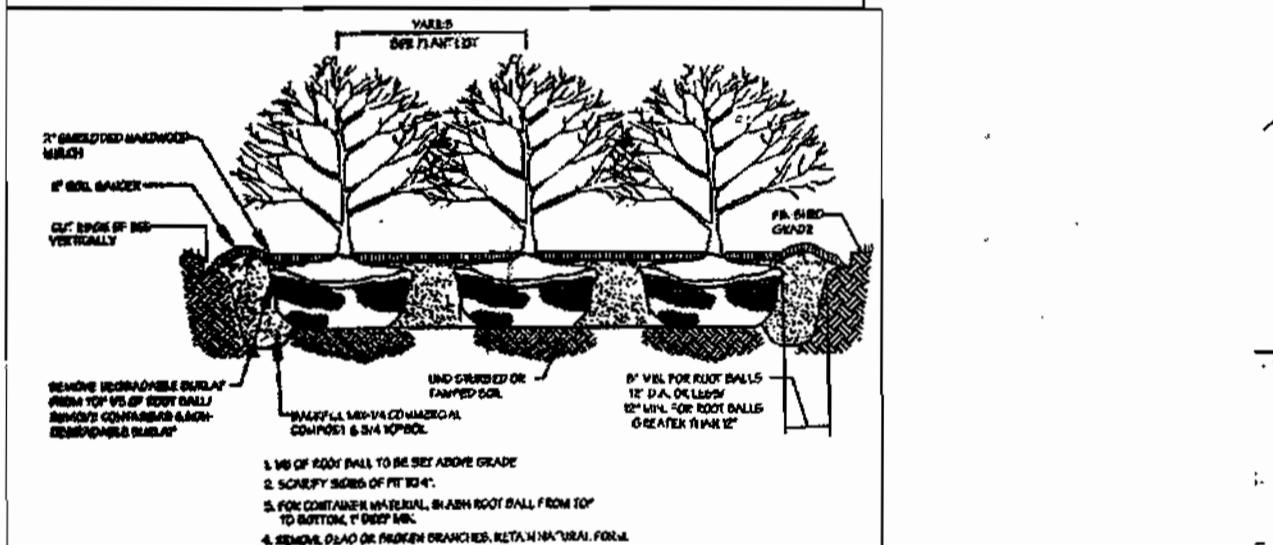
ADDITIONAL MOUNTING ACCESSORIES

ITEM	DESCRIPTION	QTY	UNIT PRICE	TOTAL
P1A	Pole top 2.0" from adapter	1	1.3	1.3
P1B	Beam bracket for use with S1 or P1A	1	1.3	1.3
P1C	Pole top 2.0" from adapter for turn back to back luminaire mounting	1	1.9	1.9
	Two Luminaires on 1" Adapter	2	2.8	5.6



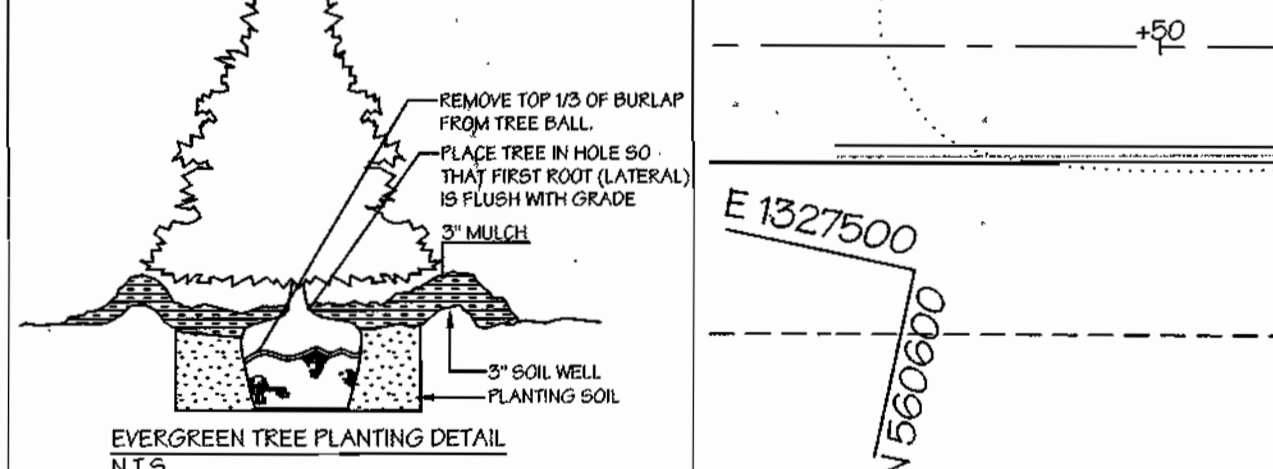
TREE PLANTING

- REMOVE DEAD OR BROKEN BRANCHES, RETAINING NATURAL SHAPE.
- NUMBER OF BRANCHES TO BE MAINTAINED.
- SET TREE WITH 1/2" ROOT BALL ABOVE GRADE.
- STAKE, WIRE & HOES SHALL BE REMOVED AFTER ONE YEAR.
- SOAKY BRANCHES TO BE REMOVED.
- PLACE OF BRANCHES TO BE MAINTAINED.
- BRANCHES TO BE MAINTAINED SHALL BE PLANTED WITH 2" DIRT MIXTURE.



SHRUB PLANTING

- REMOVE TOP 1/2" OF BURLAP FROM TREE WALL.
- PLACE TREE IN WHOLE SO THAT FIRST ROOT (LATERAL) IS FLUSH WITH GRADE.
- MULCH.
- 3" SOIL WELL PLANTING SOIL.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Mark A. Gagliardi 5/21/03
DIRECTOR

Cindy Hamilton 3/24/03
CHIEF, DIVISION OF LAND DEVELOPMENT

John J. ... 5/21/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR FOND CONSTRUCTION, EROSION CONTROL, REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT THE SEEDING ENGINEER AND PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND EROSION CONTROL SHALL BE THE SEEDING ENGINEER AND PROFESSIONAL ENGINEER WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

James M. Jost 3/10/03
SIGNATURE OF ENGINEER

DEVELOPER'S CERTIFICATE

"I" WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL EMPLOY A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

James M. Jost 3/10/03
DATE

DEVELOPER'S/ BUILDER'S CERTIFICATE

I/ We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

James M. Jost 3/10/03
DATE

REVISIONS

No.	Date	Description
1	4/2003	Revise building footprint, revise retaining walls and utilities.
2	11/2003	Revise tree plantings to accommodate expanded parking areas.

LDE, INC.
9250 Rumsley Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: S.D.H.
DRAWN: J.D.R., S.T.B.
CHECKED: B.D.B.
DATE: 3/2003

LANDSCAPE & LIGHTING PLAN
CLARKSVILLE PROFESSIONAL CENTER
Plat No. 15693
Commercial Office Building

Tax Map 34, Grid 12, Parcel 28
5th Election District - Howard County, Maryland
Previous Submittals: F-03-025

OWNER/DEVELOPER: 6339 TEN OAKS, LLC
7370 Grace Drive, Suite A
Columbia, Maryland 21044
(301) 596-9200

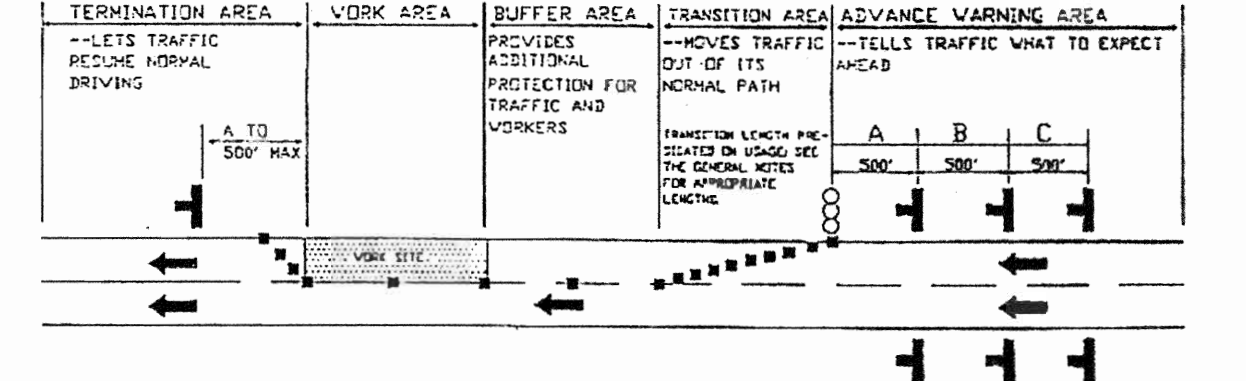
SCALE: 1" = 20'
DRAWING: 14 of 14
JOB NO.: 01-067
FILE NO.:

Street Light Legend						
Street Name	Symbol	Centerline Station	Offset	Lamp Size	Fixture	Pole Type
Ten Oaks Road	see legend	9+59	28' Right	250w. HPS	Vapor Fixture (Sag)	20' arm attached to ex. BGE Pole# Pole located 46' west of Cl. prop. Ent.

Note: 20' Arm shall be mounted as high as possible on ex. pole and perpendicular to the centerline of Ten Oaks Road.

SPEED MPH	MINIMUM DISTANCE FROM TAPER TO FIRST SIGN	ADDITIONAL SIGNS IN SERIES TO BE SPACED AT A MINIMUM	MINIMUM COMBINED ADVANCED WARNING
0 - 25	200'	200'	600'
30 - 35	300'	300'	900'
40	500'	500'	1500'
41 - 55	800'	700'	2800' (1/2 MILE)

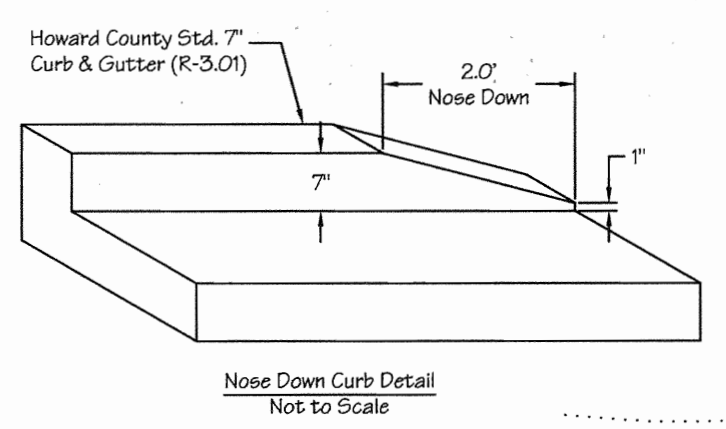
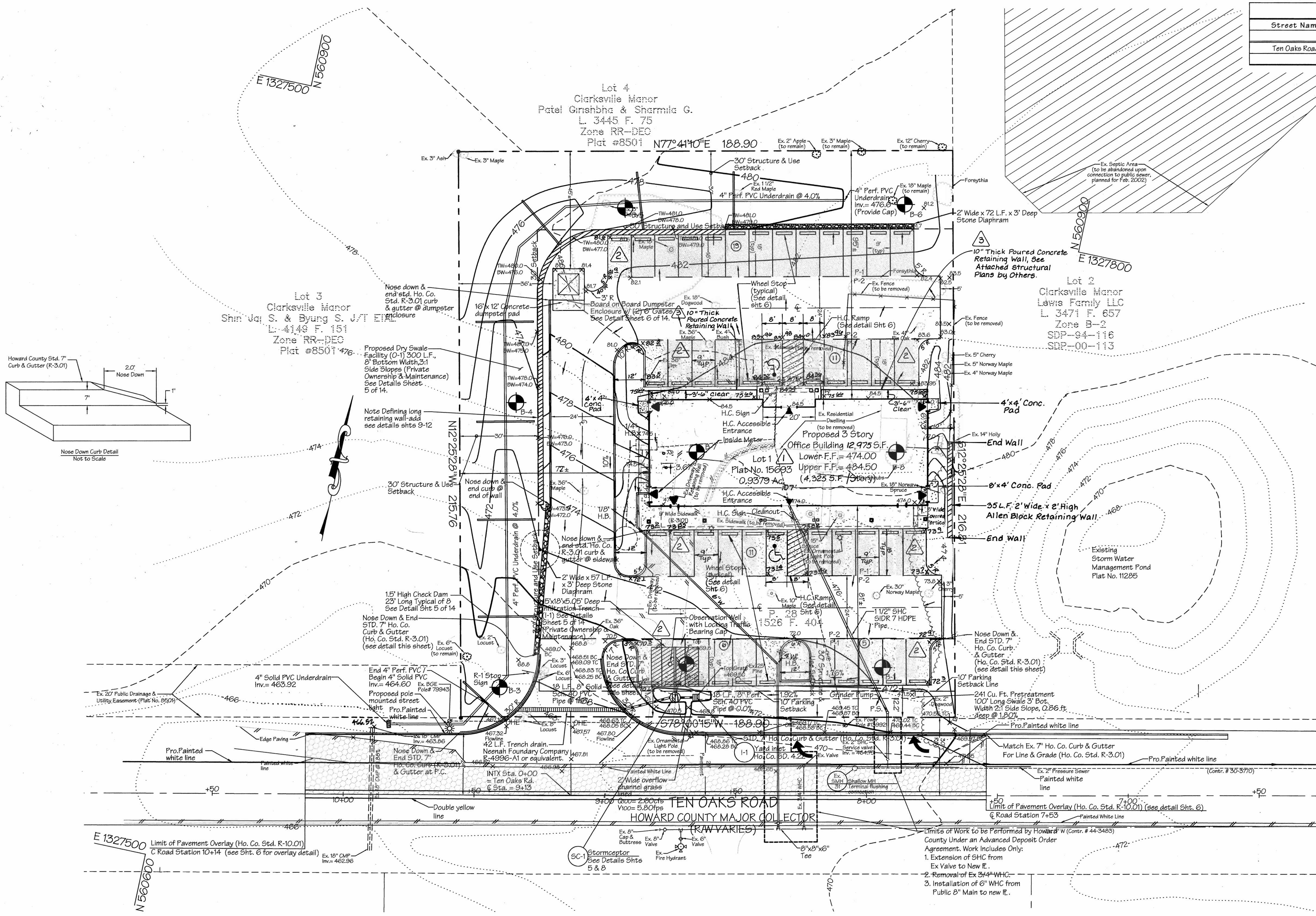
* SPEED LIMIT ON PREVAILING TRAVEL SPEED, WHICH EVER IS HIGHER.
SLOWLY EXAMPLE: TWO LANES ONE-WAY ROADWAY / SPEED LIMIT IS 35 MPH / PREVAILING SPEED IS 38 MPH USE 40 MPH



HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] 11-7-00
Chief-Of-Eng. Date

WORK ZONE TRAFFIC CONTROL PLAN

Note: The maximum allowable impervious cover for this site is 25% and 65%, respectively for drainage areas "A" and "B". If future development exceeds the maximum allowable cover percentages for either drainage area, then additional stormwater management measures will be required for the impervious cover in excess of the allowable percentages.



Paving Legend	
Ho. Co. P-1 Paving (Ho. Co. Std. R-2.01)	[Symbol]
Ho. Co. P-2 Paving (Ho. Co. Std. R-2.01)	[Symbol]
Pavement Overlay Only (Ho. Co. Std. R-2.01)	[Symbol]

REVISIONS		
No.	Date	Description
1	4/2003	Revise building length and area. Revise retaining walls, grading & utilities for larger building.
2	11/2003	Added(9) additional parking spaces and adjusted both front and rear parking area to provide 12' wide landscape islands.
3	3/2004	Added concrete retaining walls at rear of building for window wells.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

David L. ... 3/23/03 DATE
DIRECTOR

Linda Hamb... 3/26/03 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

James A. ... 3/21/03 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

John ... 3/18/03 DATE
NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John ... 3/18/03 DATE
HOWARD SOIL CONSERVATION DISTRICT

ENGINEER'S CERTIFICATE

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Bruce D. Burton 3/17/03 DATE
REGISTERED PROFESSIONAL ENGINEER

DEVELOPER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

James A. ... 3/10/03 DATE
REGISTERED PROFESSIONAL ENGINEER

James A. ... 3/7/03 DATE
REGISTERED PROFESSIONAL ENGINEER

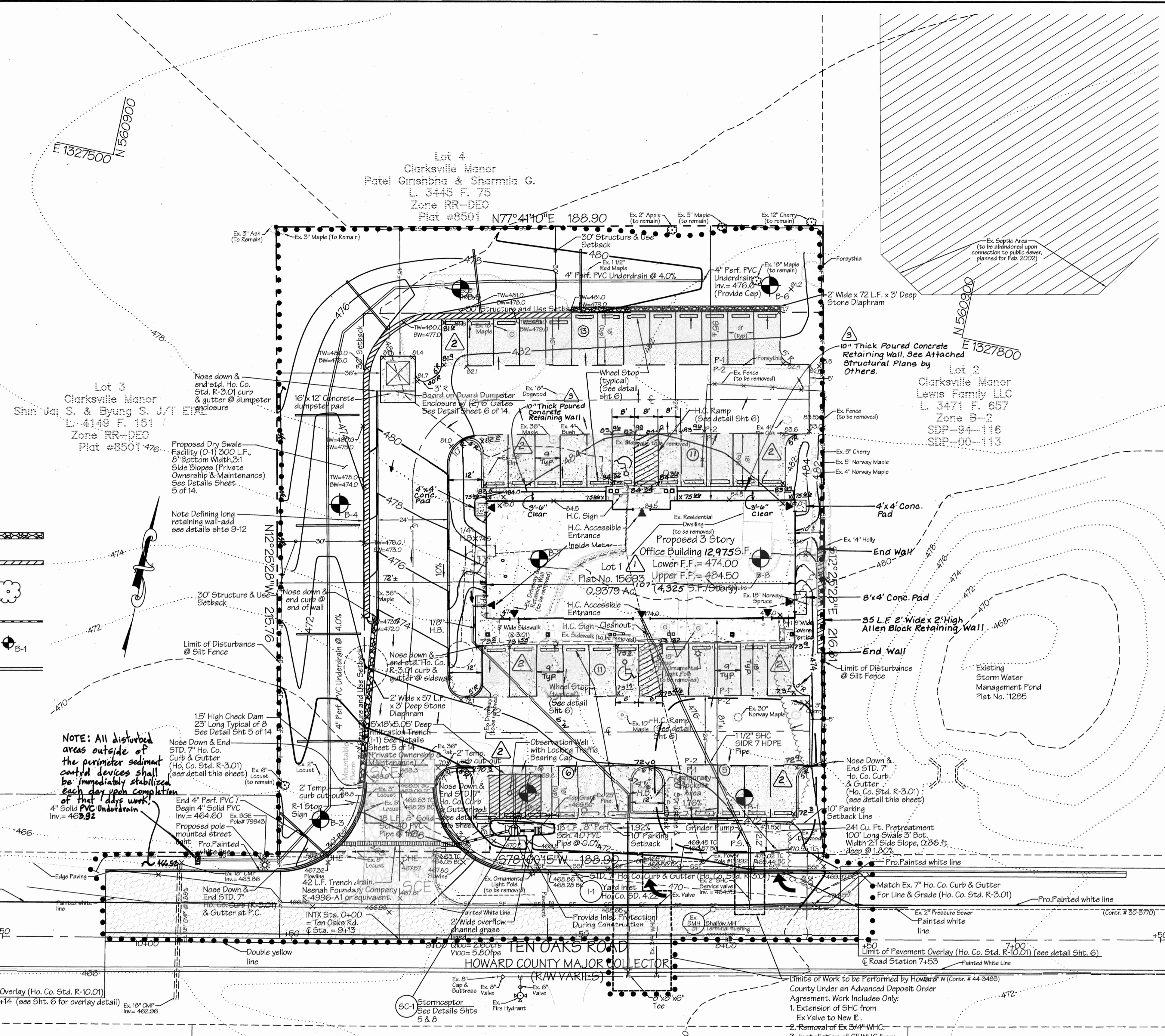
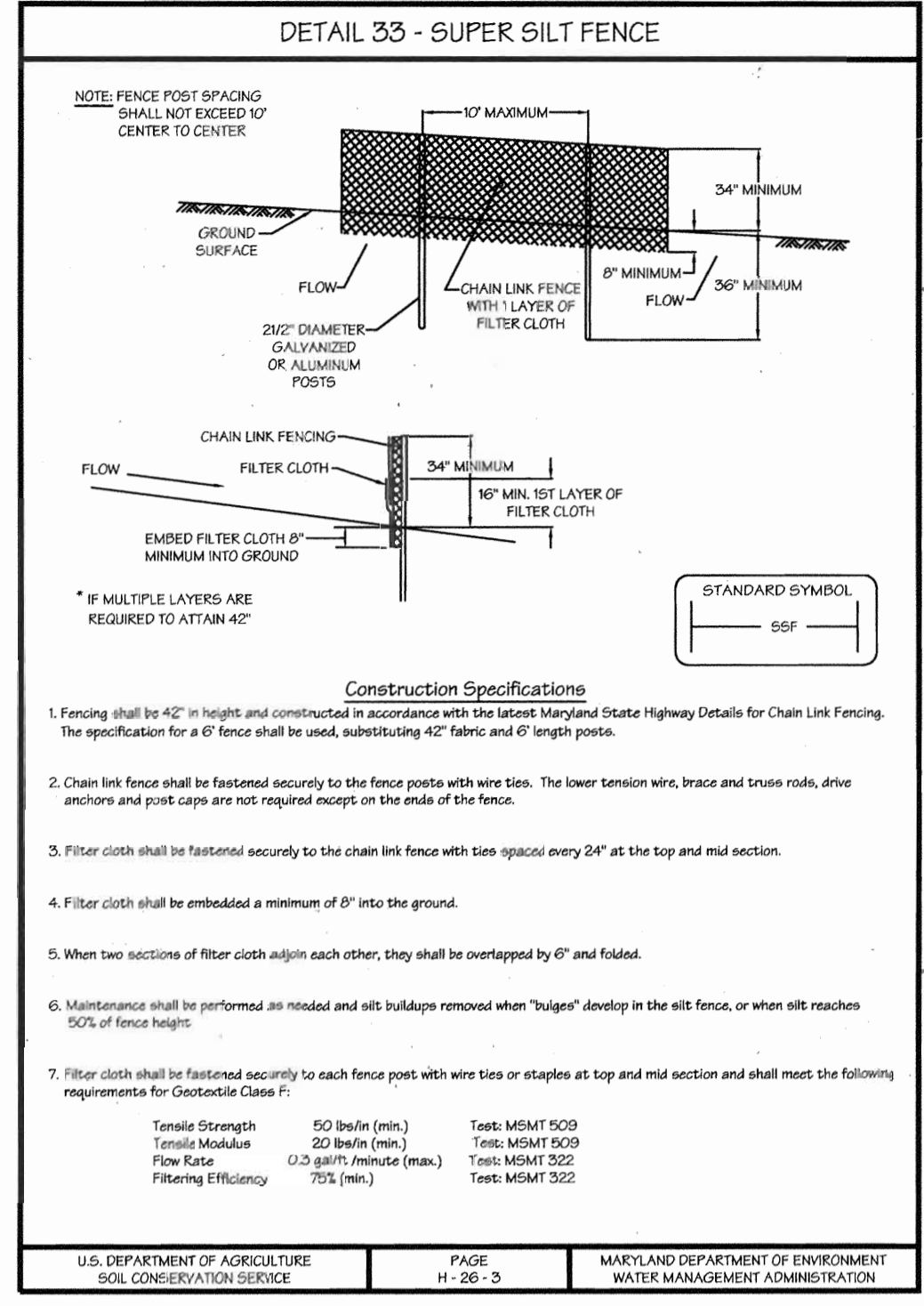
Project: Clarksville Professional Center

Plot No. 15693	Block No. 12	Zone B-2	Tax Map No. 34	Election District 5th	Census Tract 6051.01
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Water Code I-11 Sewer Code 6653000

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: S.D.H. SCALE: 1"=20'
DRAWN: J.D.R. DRAWING: 2 of 14
CHECKED: B.D.B. JOB NO.: 01-067
DATE: 3/2003 OWNER/DEVELOPER: 6339 TEN OAKS, LLC
7370 Grace Drive, Suite A Columbia, Maryland 21044 (301) 596-9200



SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT.	1 DAY
2. NOTIFY THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT LEAST 24 HOURS PRIOR TO STARTING CONSTRUCTION.	1 DAY
3. INSTALL STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM AND SILT FENCE AT LIMIT OF DISTURBANCE SHOWN HEREON.	2 DAYS
4. REMOVE EXISTING ON-SITE TREES / SHRUBS DESIGNATED FOR REMOVAL ON THE PLAN.	2 DAYS
5. DEMOLISH AND REMOVE EXISTING HOUSE, SIDEWALKS AND DRIVEWAY. NOTE: A SEPARATE DEMOLITION PERMIT IS REQUIRED BY HOWARD COUNTY PRIOR TO CONDUCTING ANY DEMOLITION ACTIVITIES ON-SITE.	5 DAYS
6. REMOVE / ABANDON EXISTING SEPTIC SYSTEM AND WELL IN ACCORDANCE WITH HEALTH DEPARTMENT ABANDONMENT PROCEDURES.	2 DAYS
7. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, ROUGH GRADE THE SITE IN ACCORDANCE WITH THE APPROVED GRADING PLAN.	5 DAYS
8. MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON AFTER EACH RAINFALL AND ON A DAILY BASIS.	DAILY
9. CONSTRUCT LONG RETAINING WALL ALONG EDGE OF PAVING ON THE WEST SIDE OF THE SITE, AND SHORT RETAINING WALL ON WEST SIDE OF BUILDING AREA.	10 DAYS
10. FINE GRADE SITE IN ACCORDANCE WITH THE APPROVED GRADING PLAN. IMMEDIATELY STABILIZE ALL AREAS NOT TO BE ROOFED OR PAVED IN ACCORDANCE WITH THE TEMPORARY SEEDING NOTES.	3 DAYS
11. INSTALL STANDARD HOWARD COUNTY CURBS AND GUTTER ALONG TEN OAKS ROAD, ALONG COMMERCIAL ENTRANCE AND ON EAST SIDE OF LOWER PARKING AREA.	1 DAY
12. INSTALL GRAVEL PAVING BASE FOR ALL AREAS DESIGNATED TO BE PAVED.	2 DAYS
13. STABILIZE ALL REMAINING DISTURBED AREAS IN ACCORDANCE WITH THE TEMPORARY SEEDING NOTES.	1 DAY
14. INSTALL WATER AND SEWER CONNECTIONS TO BUILDING.	4 DAYS
15. CONSTRUCT BUILDING.	4 MONTHS
16. ONCE BUILDING IS COMPLETE AND HEAVY CONSTRUCTION EQUIPMENT IS NO LONGER NEEDED ON-SITE, INSTALL THE TRENCH DRAIN, 1' YARD INLET AND INFILTRATION TRENCH SYSTEM. NOTE: THE INFILTRATION SHALL NOT BECOME FUNCTIONAL UNTIL ITS ENTIRE DRAINAGE AREA IS FULLY STABILIZED.	3 DAYS
17. INSTALL CONCRETE SIDEWALKS, DOOR PADS AND STEPS.	4 DAYS
18. INSTALL BASE AND SURFACE PAVING COURSES.	2 DAYS
19. INSTALL DRY SWALE / BIORETENTION FACILITY WITH TIMBER CHECK DAMS, LANDSCAPING IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES.	1 DAY
20. Install the bioretention plantings, perimeter and internal landscaping in accordance with the permanent seeding notes. 1 DAY	1 DAY
21. With permission from the sediment control inspector, remove all remaining sediment control devices, stabilize any remaining disturbed areas in accordance with the permanent seeding notes.	3 DAYS
22. PAINT STRIPE PARKING AREA AND INSTALL SIGNAGE.	1 DAY
TOTAL ESTIMATED TIME:	6 MONTHS

Legend

Existing contour	Stone diaphragm	
Proposed contour	————	Block retaining wall	
Bench mark	△	Existing tree (to remain)	
Building restriction line	- - - - -	Proposed storm drain	
Flow direction	→	Soil boring location	
Silt fence	—SF—	Proposed howard county standard 7" curb & gutter	
Super silt fence	—SSF—		
Limit of disturbance	•••••		
Drainage divide			
Stabilized construction entrance			

NOTE: All disturbed areas outside of the perimeter sediment control devices shall be immediately stabilized each day upon completion of that day's work.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Diana M. Long 5/23/03 DATE
DIRECTOR

Cindy Hamel 3/26/03 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

Chad Williams 3/21/03 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Jin Nguyen/os 3/18/03 DATE
NATURAL RESOURCE CONSERVATION OFFICER

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Chad Williams 3/18/03 DATE
HOWARD SOIL CONSERVATION DISTRICT

ENGINEER'S CERTIFICATE

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Bruce D. Butler 3/17/03 DATE
REGISTERED PROFESSIONAL ENGINEER

DEVELOPER'S CERTIFICATE

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Jamaal J. Jett 3/10/03 DATE
REGISTERED PROFESSIONAL ENGINEER

STATE OF MARYLAND

REGISTERED PROFESSIONAL ENGINEER

Bruce D. Butler 3/17/03 DATE

REVISIONS

No.	Date	Description
1	4/2003	Revise building length and area. Revise retaining walls, grading & utilities for larger building.
2	11/2003	Added(2) additional parking spaces and adjusted both front and rear parking areas to provide 12' wide landscape islands.
3	3/2004	Added concrete retaining walls at rear of building for window wells.

Project: Clarksville Professional Center				Sheet/Area	Lot No.
Plat No.	Block No.	Zone	Tax Map No.	Election District	Census Tract
15693	12	B-2	34	5th	6051.01
Water Code	I-11		Sewer Code	6663000	

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

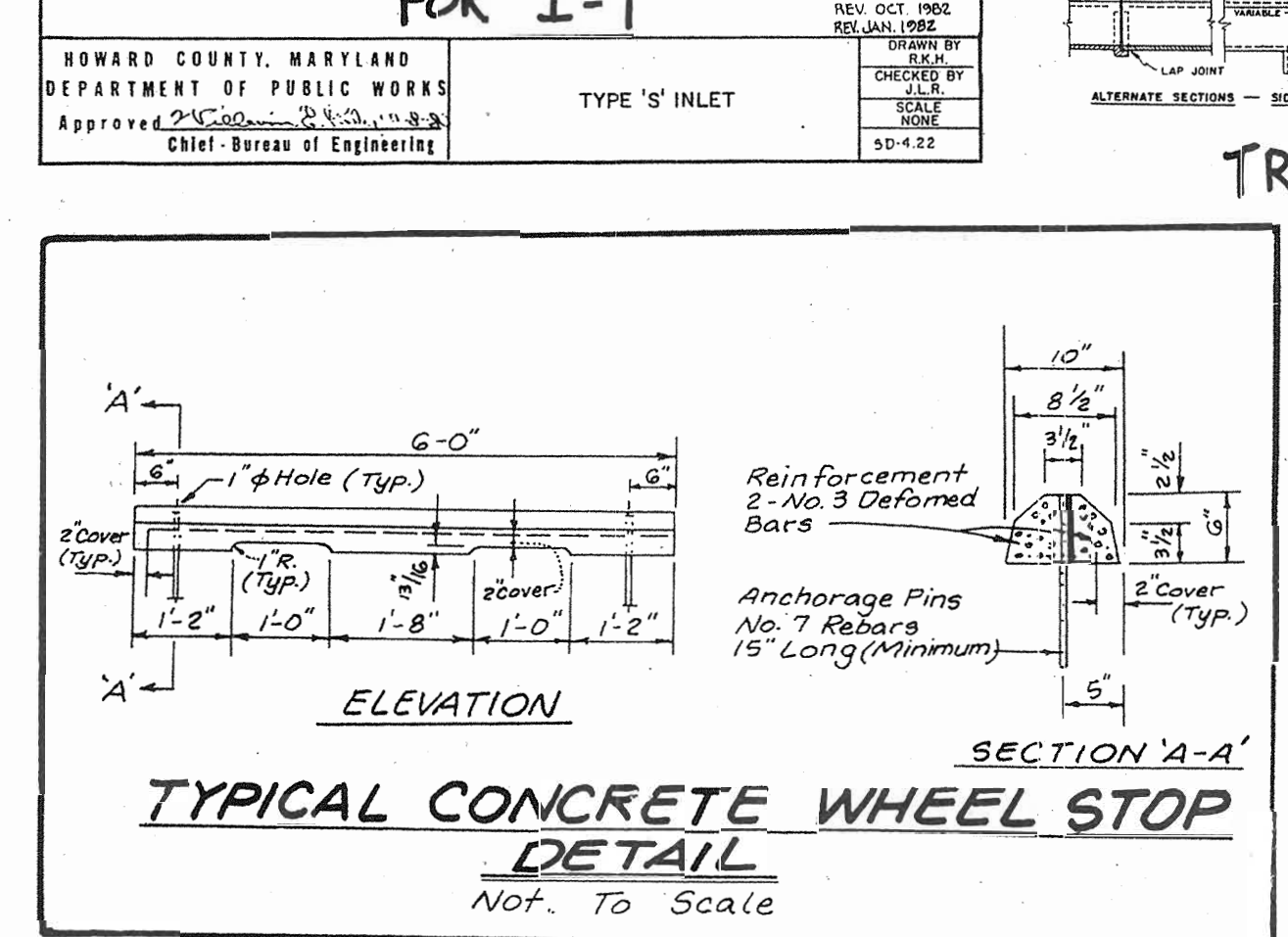
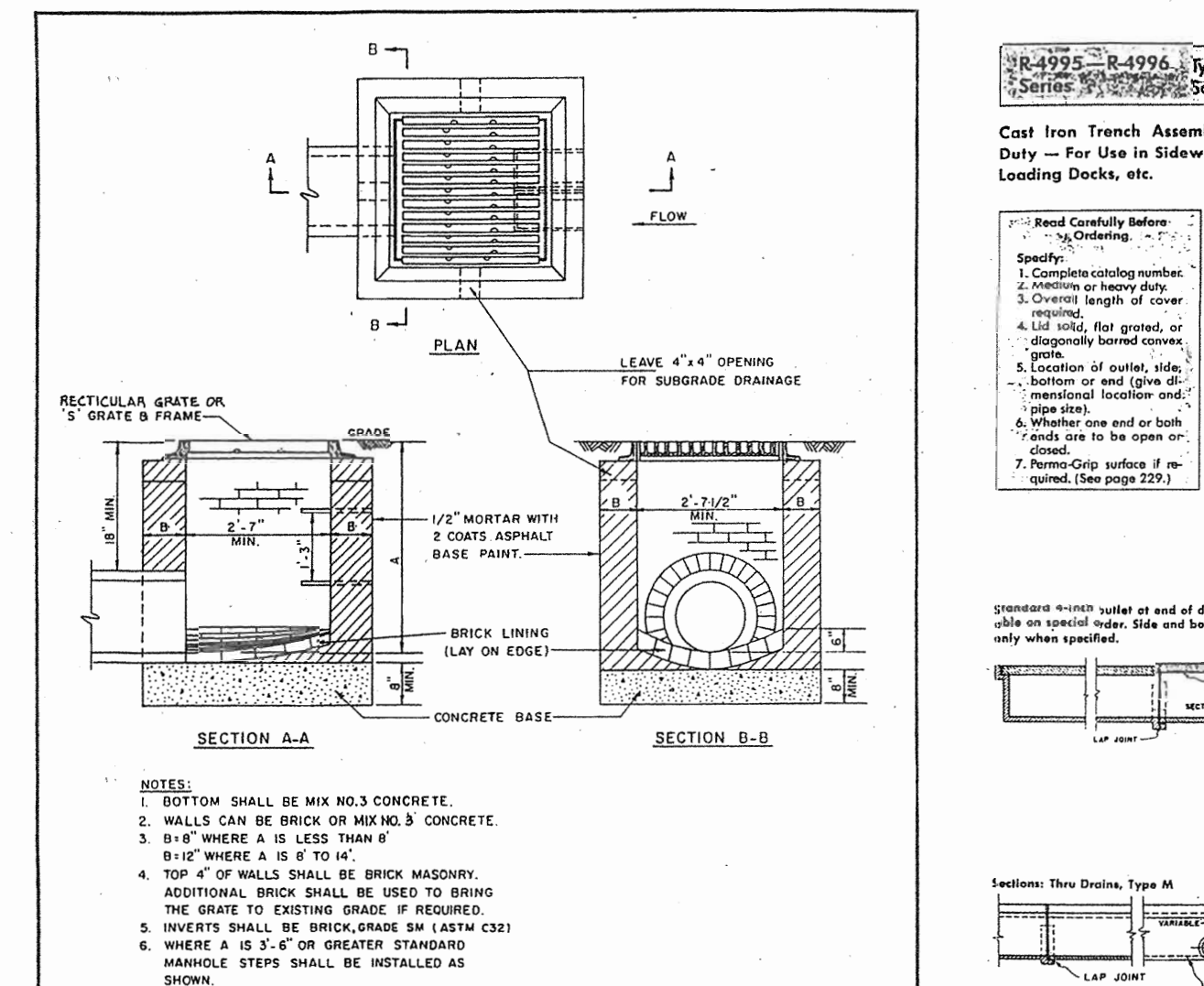
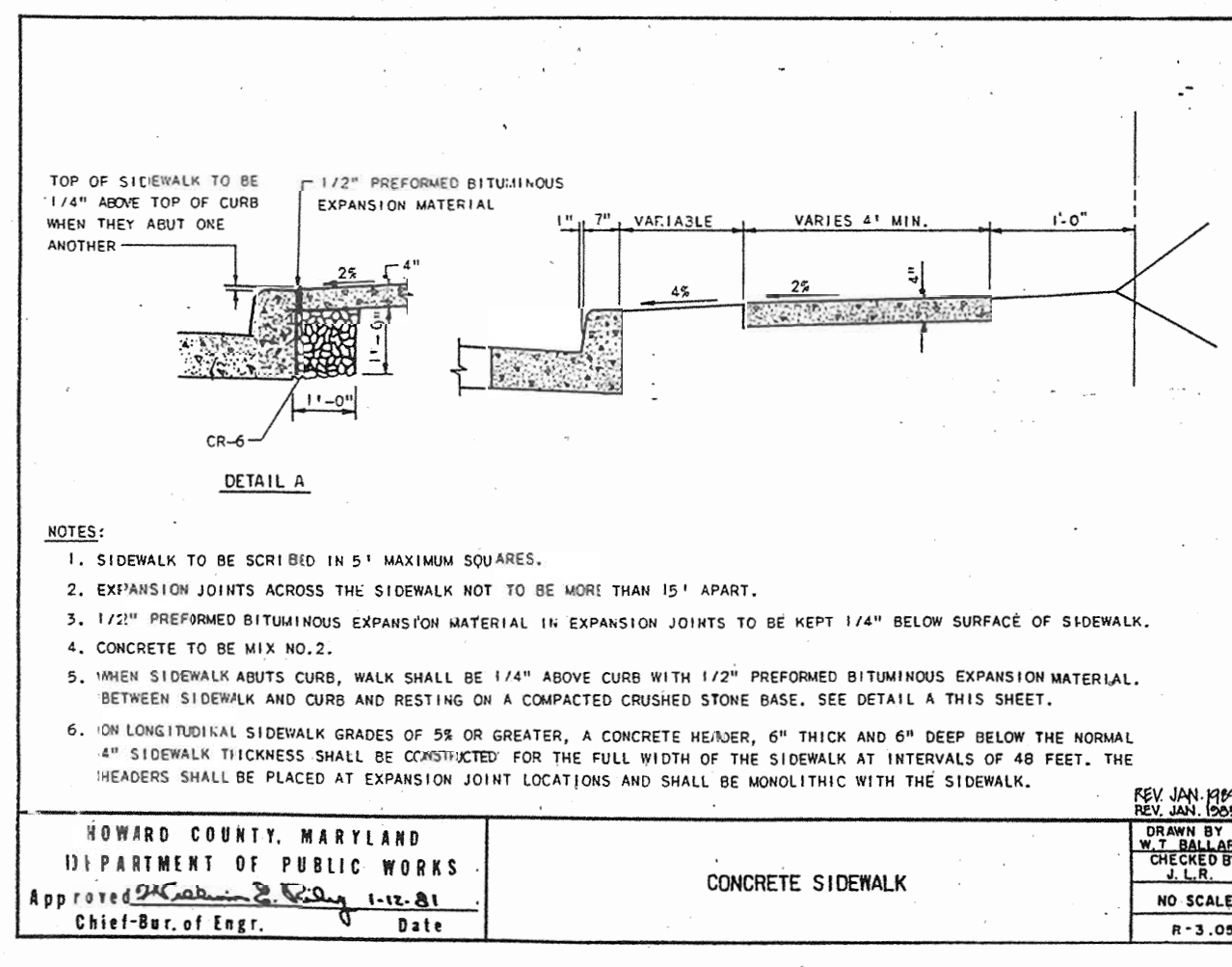
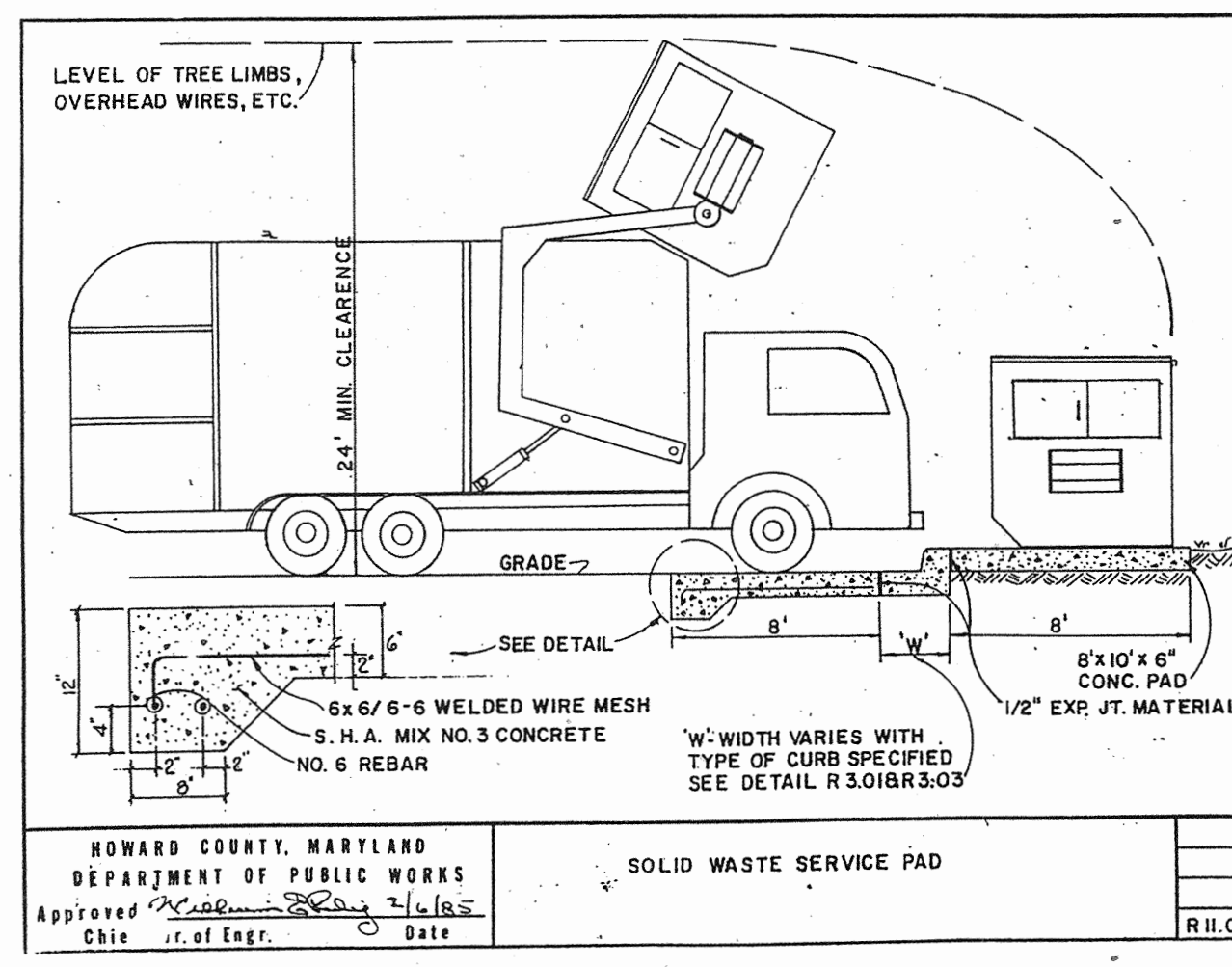
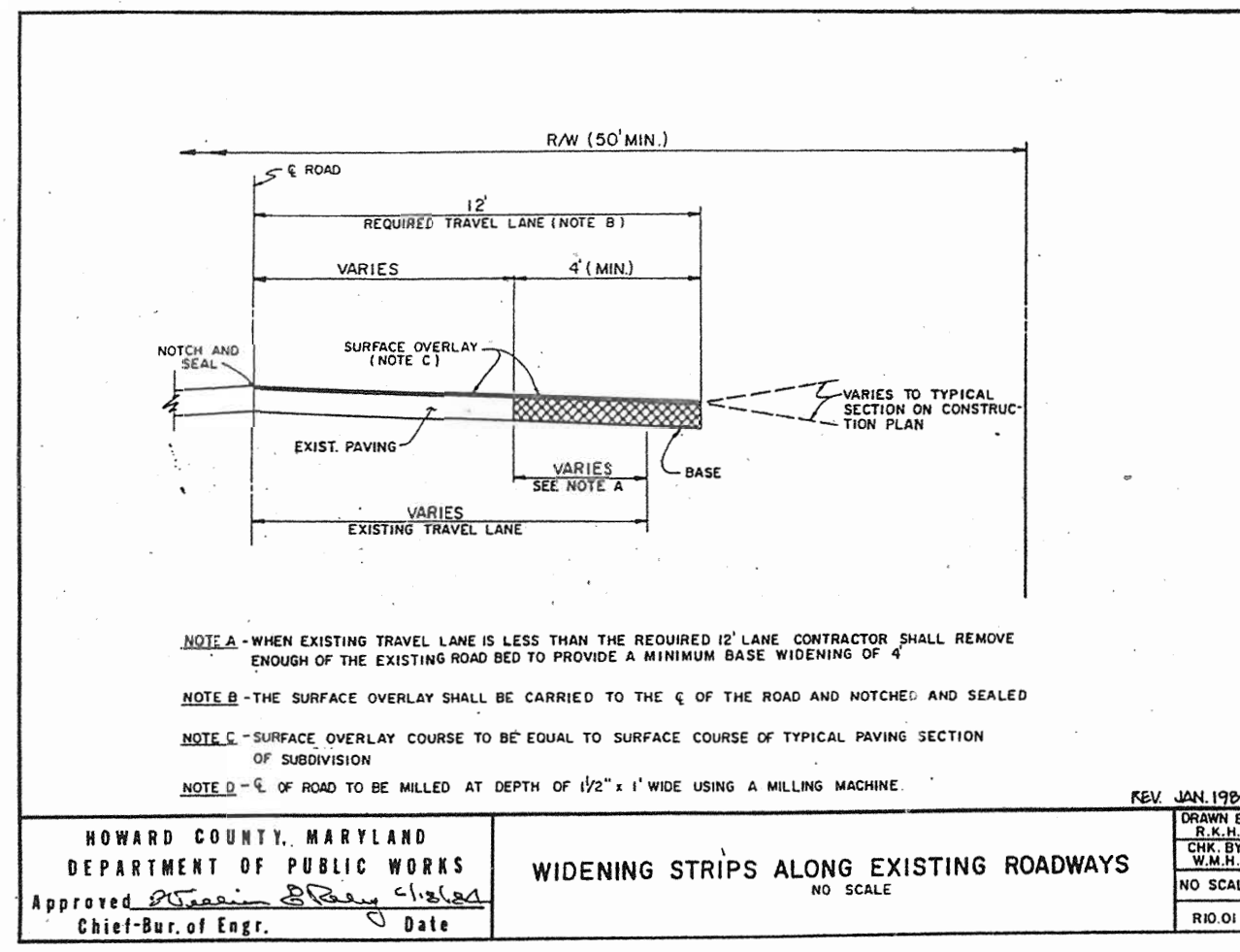
DESIGNED: S.D.H.
DRAWN: J.D.R.
CHECKED: B.D.B.
DATE: 3/2003

Grading & Sediment Control Plan
CLARKSVILLE PROFESSIONAL CENTER
Plat No. 15693
Commercial Office Building

Tax Map 34, Grid 12, Parcel 28
5th Election District - Howard County, Maryland
Previous Submittals: F-02-026

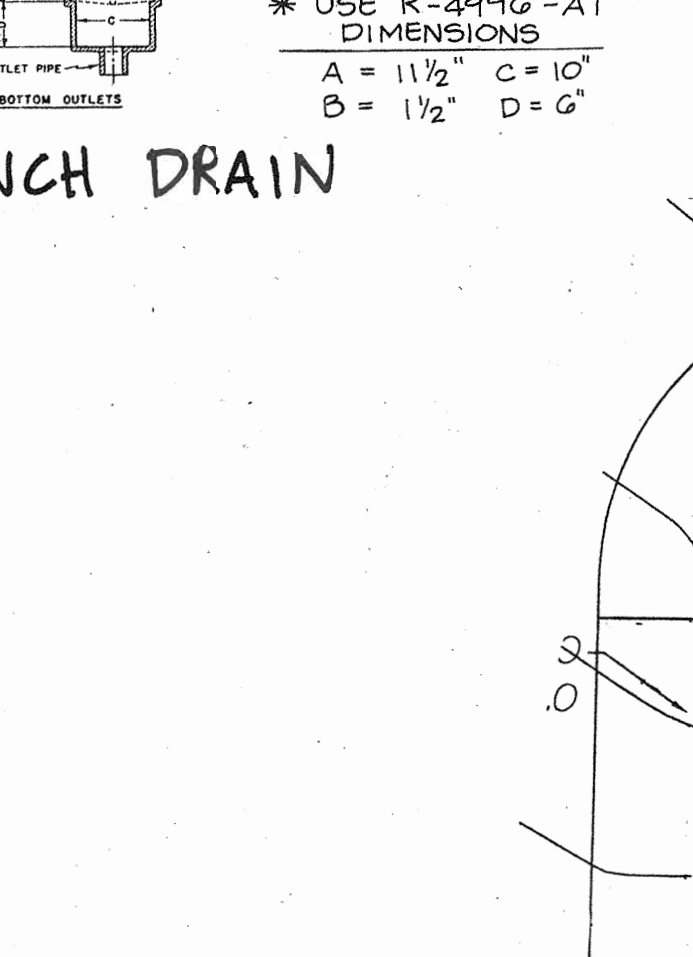
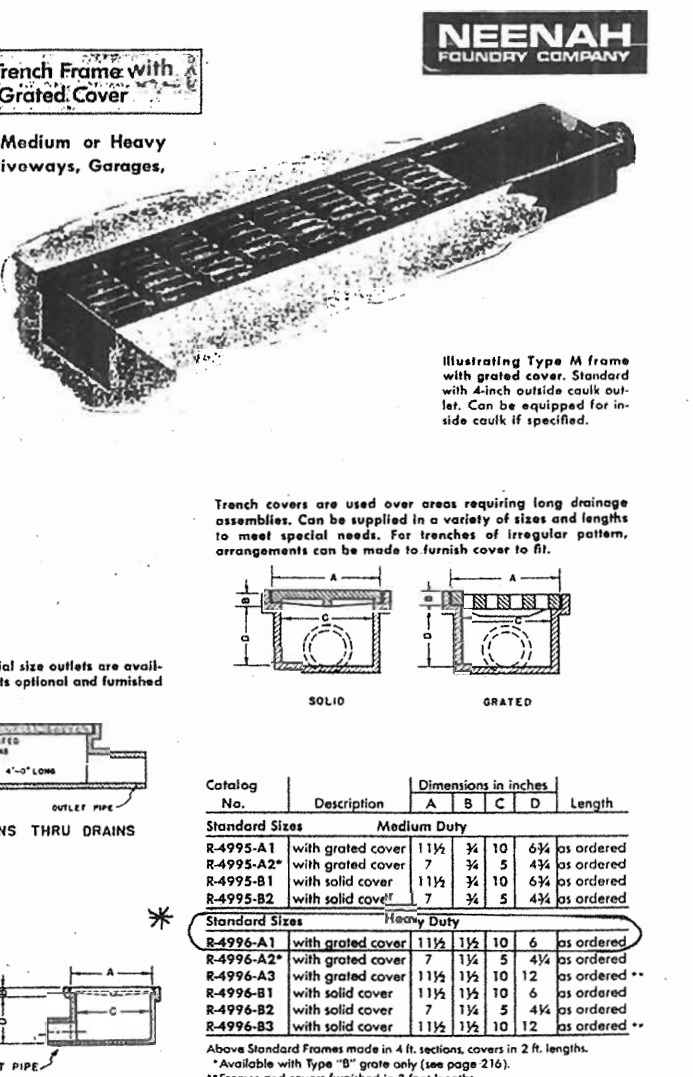
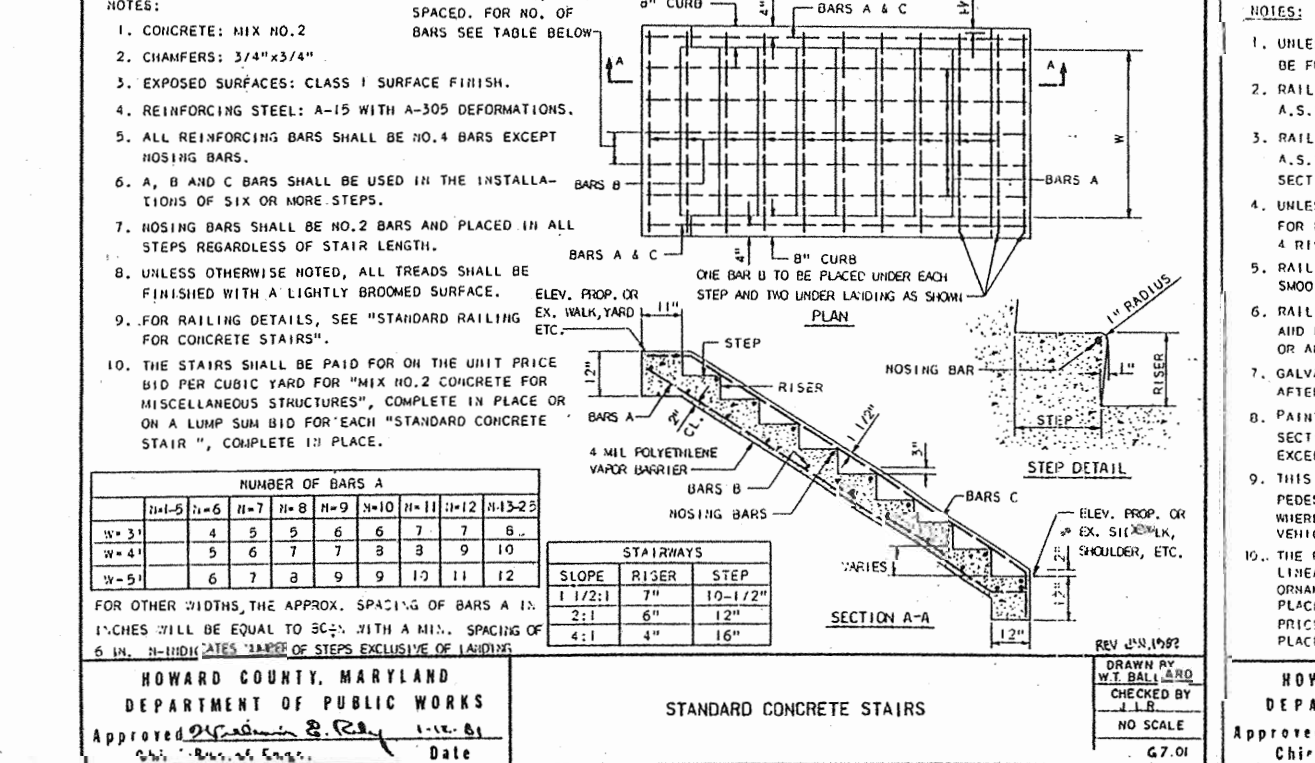
OWNER/DEVELOPER: 6339 TEN OAKS, LLC
7570 Grace Drive, Suite A
Columbia, Maryland 21044
(301) 566-9270

SCALE: 1"=20'
DRAWING: 3 of 14
JOB NO.: 01-067
FILE NO.: SDP-02-076



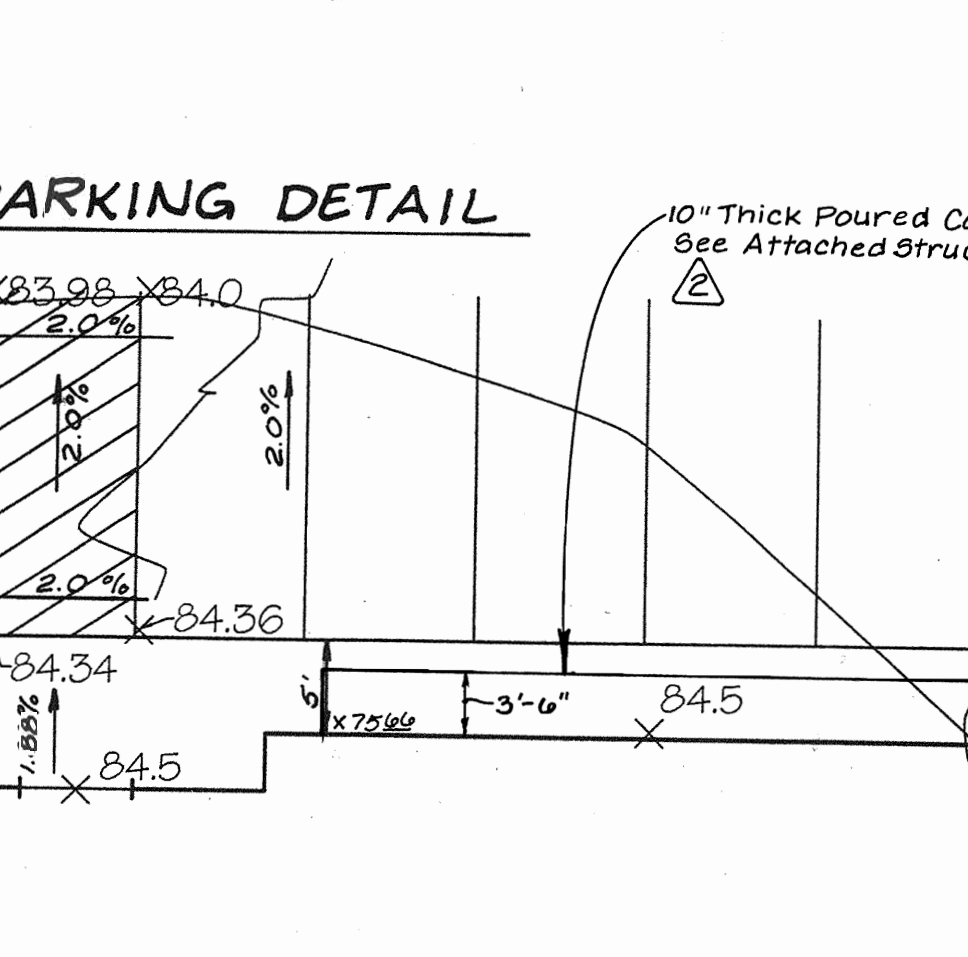
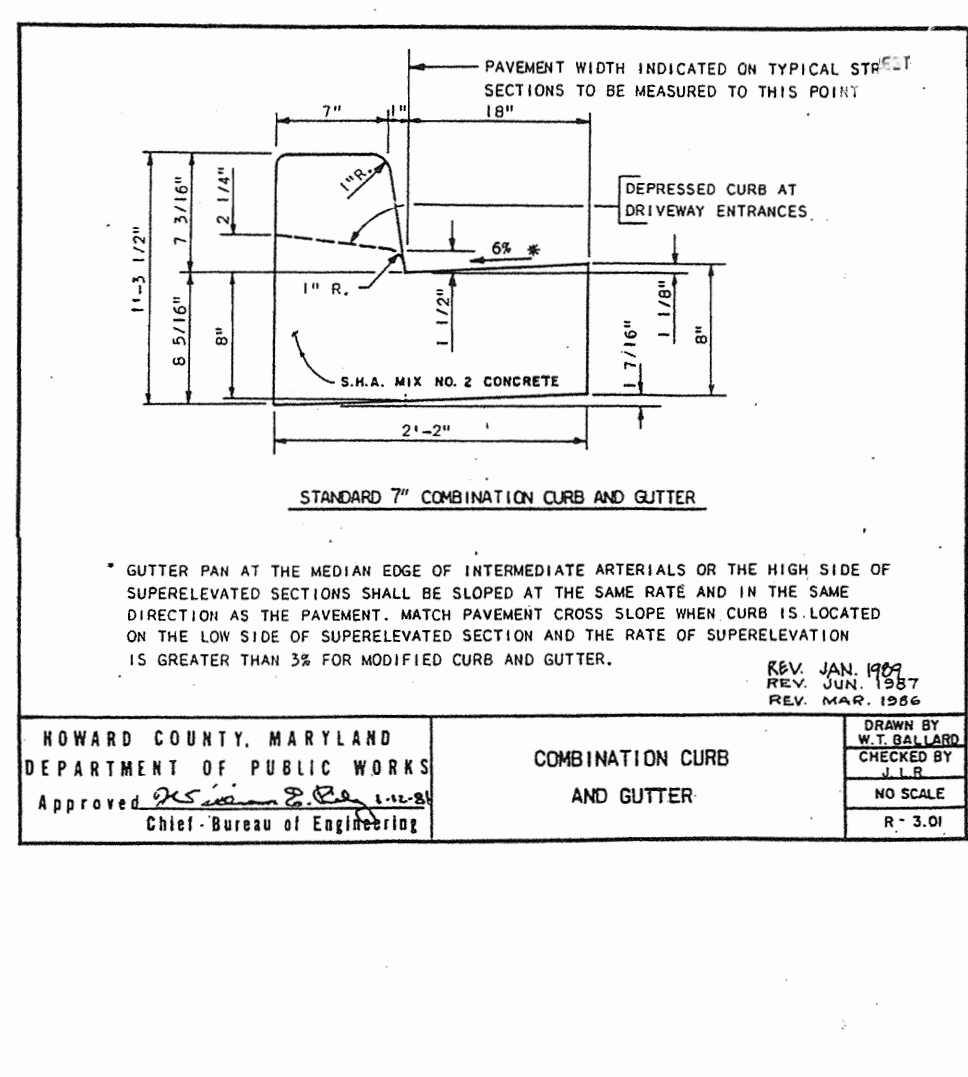
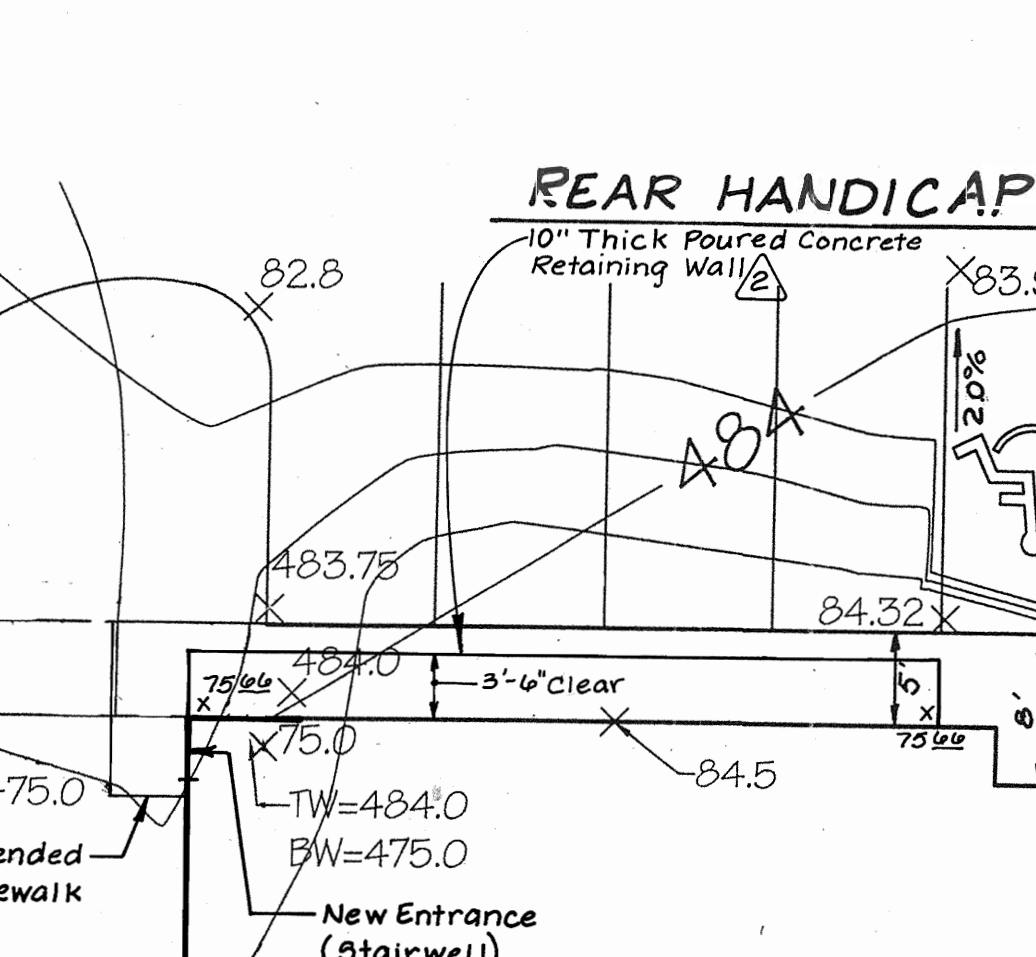
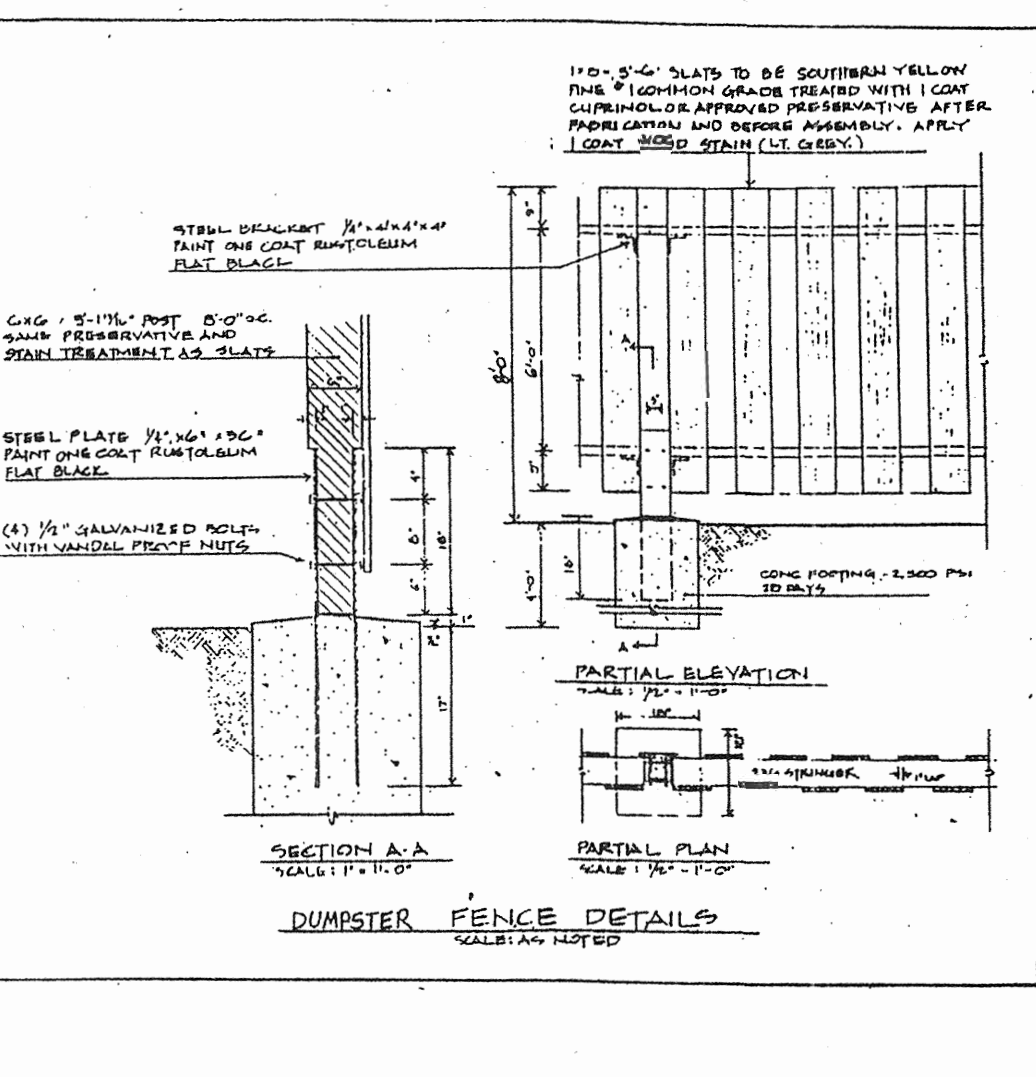
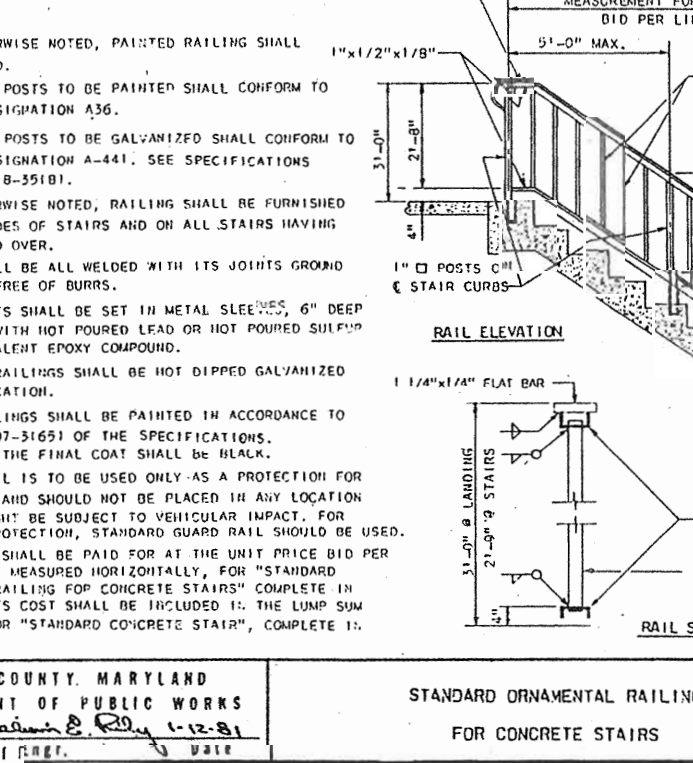
SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS
P-1	PARKING BAYS APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS TRAVELWAYS FOR APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	FULL DEPTH BIT, CONC. ALTERNATE 1" BIT, CONC. SURFACE 4" BIT, CONC. BASE 4" GRADED AGGREGATE BASE (GAB)
P-2	RESIDENTIAL ZONES LOCAL CONC. STS. ALLEYS AND PRIVATE ROADS SERVING INDIVIDUAL LOTS TRAVELWAYS FOR APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	1 1/2" BIT, CONC. SURFACE 2 1/2" BIT, CONC. BASE 6" GRADED AGGREGATE BASE (GAB)

HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] Date: [Date]
Chief-Of-Eng.



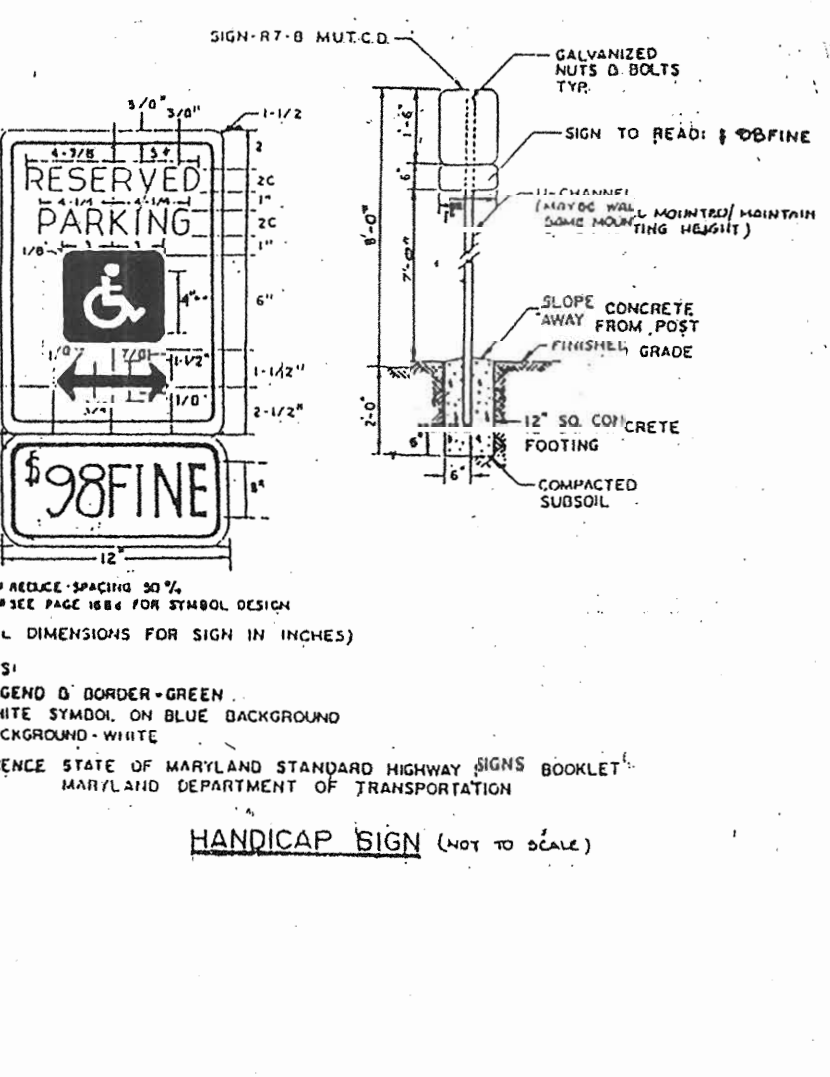
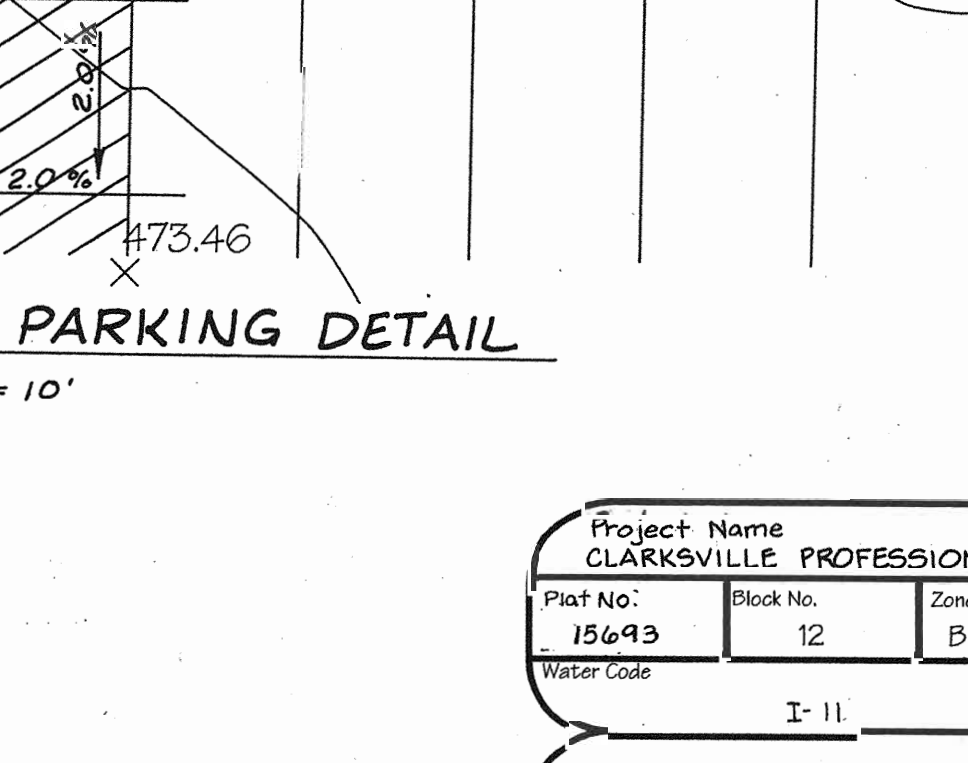
SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS
P-1	PARKING BAYS APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS TRAVELWAYS FOR APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	FULL DEPTH BIT, CONC. ALTERNATE 1" BIT, CONC. SURFACE 4" BIT, CONC. BASE 4" GRADED AGGREGATE BASE (GAB)
P-2	RESIDENTIAL ZONES LOCAL CONC. STS. ALLEYS AND PRIVATE ROADS SERVING INDIVIDUAL LOTS TRAVELWAYS FOR APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	1 1/2" BIT, CONC. SURFACE 2 1/2" BIT, CONC. BASE 6" GRADED AGGREGATE BASE (GAB)

HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] Date: [Date]
Chief-Of-Eng.



SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS
P-1	PARKING BAYS APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS TRAVELWAYS FOR APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	FULL DEPTH BIT, CONC. ALTERNATE 1" BIT, CONC. SURFACE 4" BIT, CONC. BASE 4" GRADED AGGREGATE BASE (GAB)
P-2	RESIDENTIAL ZONES LOCAL CONC. STS. ALLEYS AND PRIVATE ROADS SERVING INDIVIDUAL LOTS TRAVELWAYS FOR APARTMENTS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	1 1/2" BIT, CONC. SURFACE 2 1/2" BIT, CONC. BASE 6" GRADED AGGREGATE BASE (GAB)

HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] Date: [Date]
Chief-Of-Eng.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 3/2/03
[Signature] 3/26/03
[Signature] 3/11/03

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL, REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REGULATIONS OF THE STATE OF MARYLAND, DISTRICT OF COLUMBIA, AND FEDERAL AGENCIES. I HAVE NOTIFIED THE DEVELOPER THAT THE PROFESSIONAL ENGINEER IS SUPERVISING THE CONSTRUCTION OF THE PROJECT. I HAVE NOTIFIED THE DEVELOPER THAT THE PROFESSIONAL ENGINEER IS SUPERVISING THE CONSTRUCTION OF THE PROJECT.

[Signature] 3/1/03
DATE

DEVELOPER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEGINSING THE PROJECT. I SHALL EMPLOY A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 3/1/03
DATE

REVISIONS

No.	Date	Description
1	4/2003	Revised building footprint on Handicap Detail
2	3/2004	Added concrete retaining walls at rear of building for window wells.

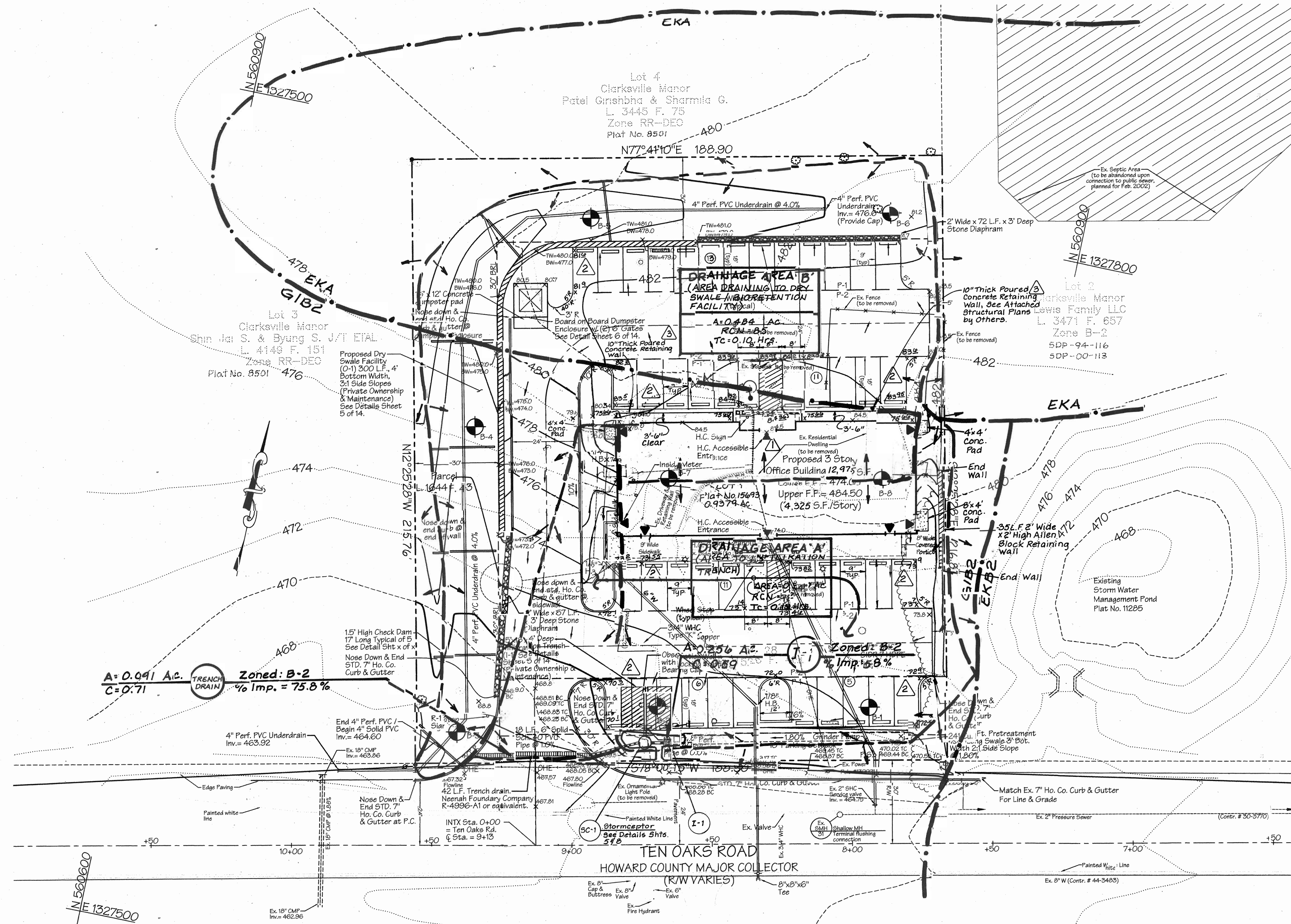
DESIGNED S.D.H.
DRAWN S.T.B.
CHECKED B.D.B.
DATE 12/2001

Project Name CLARKSVILLE PROFESSIONAL CENTER
Block No. 12
Zone B-2
Tax Map No. 34
Election District 5th
Lot No. 1
Tract 805101
Water Code I-11
POWER CODE 6653000

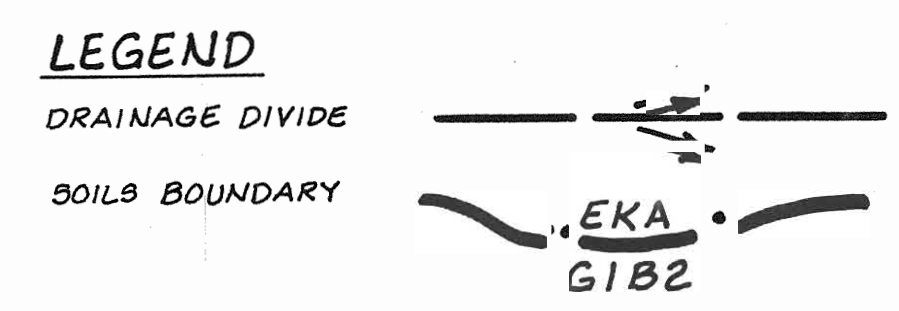
LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

CLARKSVILLE PROFESSIONAL CENTER
Plat No. 15693
Commercial Office Building
Tax Map 34, Grid 12, Parcel 2B
5th Election District - Howard County, Maryland
Pr. Map Subm. Date: 5-03-02

OWNER/DEVELOPER TEN OAKS, LLC
7370 Grace Drive, Suite A
Columbia, Maryland 21044
(703) 806-3300



NOTE: THE MAXIMUM ALLOWABLE IMPERVIOUS COVER FOR THIS SITE IS 85% AND 65%, RESPECTIVELY FOR DRAINAGE AREAS 'A' AND 'B'. IF FUTURE DEVELOPMENT EXCEEDS THE MAXIMUM ALLOWABLE COVER PERCENTAGES FOR EITHER DRAINAGE AREA, THEN ADDITIONAL STORMWATER MANAGEMENT MEASURES WILL BE REQUIRED FOR THE IMPERVIOUS COVER IN EXCESS OF THE ALLOWABLE PERCENTAGES.



SOILS LEGEND

HYDROLOGIC SOIL GROUP	SOIL SYMBOL	DESCRIPTION	REMARKS
B	EKA	Eliok silt loam, 0% - 3% slopes	
B	G1B2	Glenelg loam, 3% - 8% slopes, moderately eroded	

REVISIONS

No.	Date	Description
1	4/2003	Revise building footprint, retaining walls, grading utilities. Revise drainage divides and drainage area information.
2	11/2003	Added (3) additional parking spaces and adjusted both front and rear parking areas to provide 12' wide landscape islands.
3	3/2004	Added concrete retaining walls at rear of building for window wells.

Project: Clarksville Professional Center

Plot No. 15693	Block No. 12	Zone B-2	Subzone 34	5th	Lot No. 6051.01
Water Code I-11	6653000				

LDE, INC.
 9250 Rumsay Road, Suite 106, Columbia, MD, 21045
 (410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

Drainage Area & Soils Map
CLARKSVILLE PROFESSIONAL CENTER
 Plat No. 15693
 Commercial office building
 Tax Map 34, Grid 12, Parcel 25
 5th Election District, lot - Howard County, Maryland
 Previous Submittals: 1F-03-025
 63259 TEN OAKS, L.L.C.
 7570 Grace Drive, Suite A
 Columbia, Maryland 21044
 (301) 596-9200

SCALE: 1"=20'
 SHEET: 7 of 14
 FILE NO.: 01-067
 SDP-02-76

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Paul A. Leight 2/2/02 DATE
 DIRECTOR

Andy Hamer 3/20/03 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT

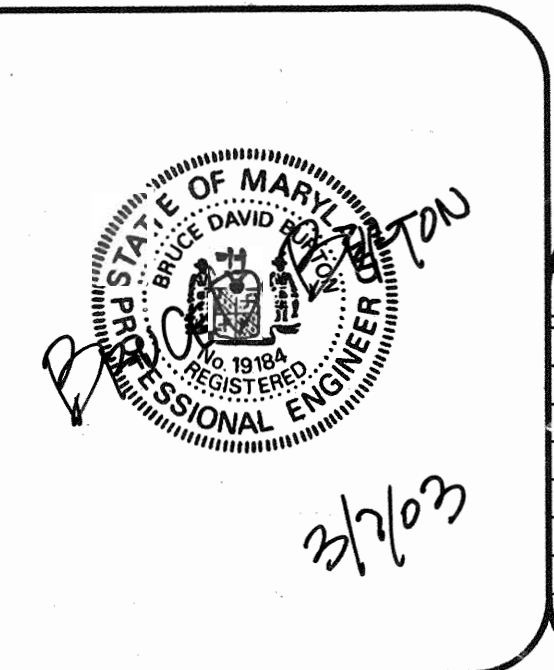
John Dunning 3/21/03 DATE
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR FOND CONSTRUCTION, EROSION CONTROL, REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL INSPECTION OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REGULATIONS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT. I HAVE NOTICED THE DEVELOPER THAT THE HOWARD COUNTY REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND EROSION CONTROL CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Bruce D. Burton 7/03 DATE
 SIGNATURE OF ENGINEER

DEVELOPER'S CERTIFICATE
 I HAVE CERTIFIED THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

James R. Jit 3/03 DATE
 SIGNATURE OF DEVELOPER



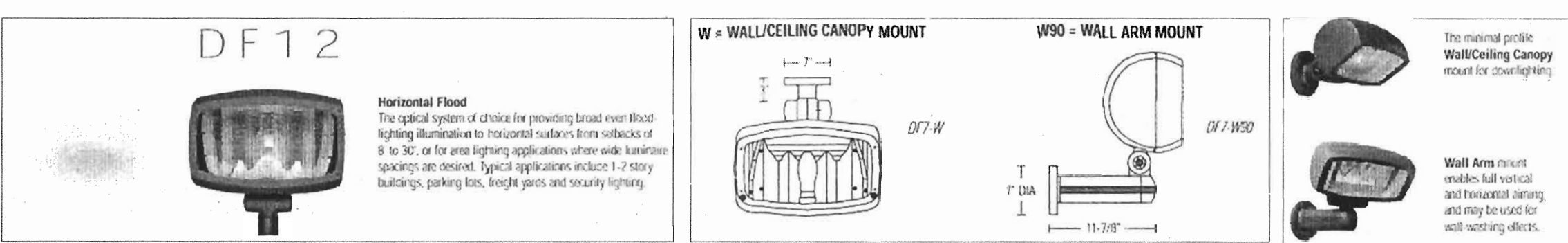
STREET LIGHTING NOTES AND DETAILS

Higher Light Levels
The Garco Floodlight accepts both metal halide and high pressure sodium lamps to 750W. Using these high lumen packages creates application opportunities unmatched by typical 400W products.

Uniform Light Levels
Precisely faceted reflectors generate extremely uniform lighting levels of 3.1, 6.1 and 12.1 maximum to minimum, depending on the requirements of the specific application. are available for critical brightness control.

Clean Pattern Appearance
Typically, HID luminaires produce streaks, striations and color separations in floodlighting patterns which are not evident in photometric reports. Garco's precise positioning of specular reflector facets, in combination with selective use of hammer-toned material ensures clean, unstratified patterns.

Control of Unwanted Glare
None optical systems are available, each providing sharp visual cutoff to the lamp and the lamp images at normal viewing angles. Luminaires are easily placed behind landscape or architectural elements, as well as on poles or walls above eye level. This mounting flexibility allows the shielding of lamp brightness in most any installation. An optional cutoff hood and internal lower the shielding are available for critical brightness control.



- Lighting Notes**
- All onsite lighting fixture shall be Garco DF series luminaire Horizontal Floodlights or approved equal.
 - All fixture shall be mounted on the building at heights of 10 & 20 feet.
 - All lights shall be directed down & away from the adjacent properties. Shields shall be required if glare cannot be zeroed out at the property lines.
 - No fixtures shall be mounted on the building within 15' LF. of the property lines.

- Landscape Notes**
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Howard County Landscape Manual.
 - The Owner/Developer is responsible for the planting of all plant material required to meet the standards established by the Howard County Landscape Manual.
 - Financial Surety for the required landscaping has been posted as part of the Department of Public Works Developer's Agreement in the amount of \$15,000.00.
 - The Owner/Developer shall be responsible for the maintenance of the plant materials.
 - All plant materials shall conform to the American Association of Nurserymen's publication, American Standard Nursery Stock.
 - This Plan is for Landscaping Purposes only.
 - PLEASE SEE SHEET 4 FOR SEEDING NOTES.

FINISH

BRP	BRONZE PAINT	POB	POUR TYPE PHOSPHORATED
BP	BLACK PAINT	BL	BLACK (SEE ABOVE 274)
AL	ANODIZED ALUMINUM	AL	ANODIZED ALUMINUM
WP	WHITE PAINT	WP	WHITE PAINT
OC	OPTIONAL COLOR PAINT	OC	OPTIONAL COLOR PAINT
SC	SPECIAL COLOR PAINT	SC	SPECIAL COLOR PAINT

OPTIONS

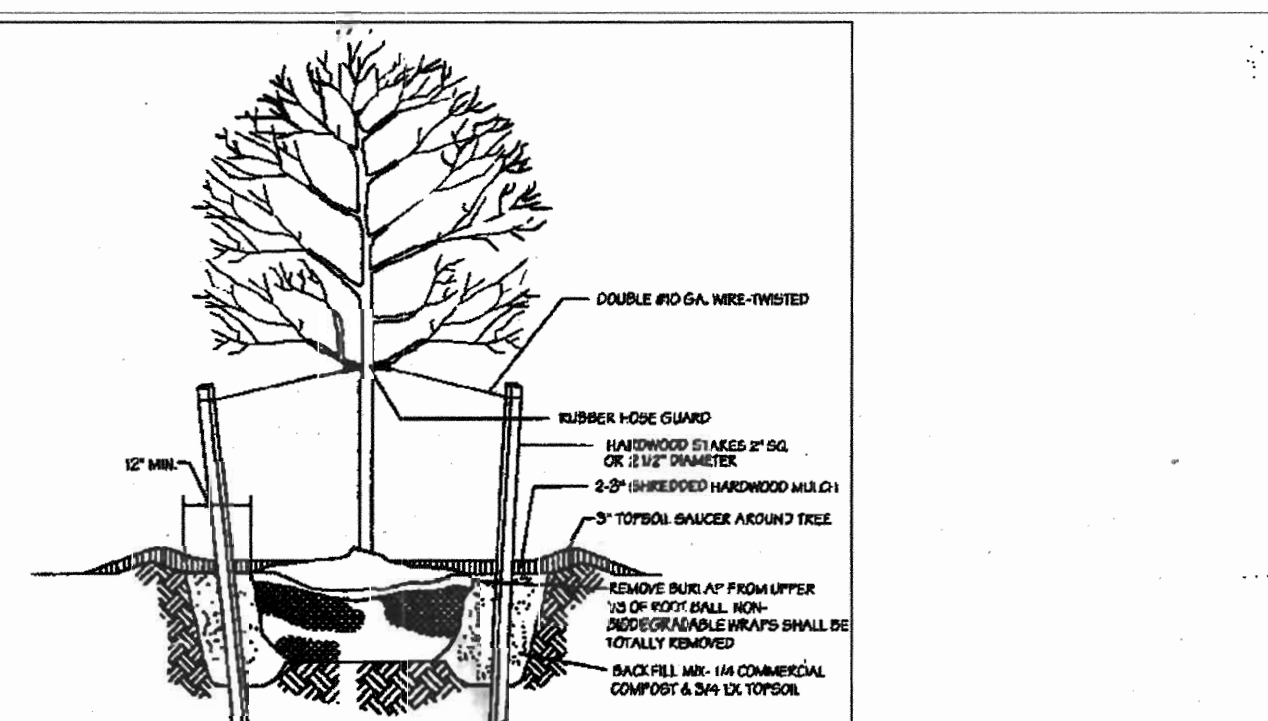
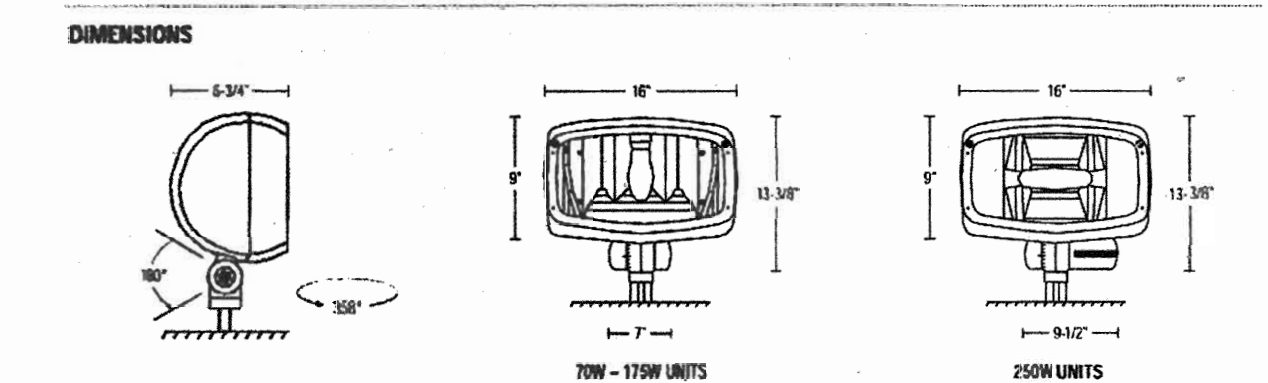
CH	CHASSIS HOOD
DR	DRIVE HOOD
IS	INTERNAL SHIELDING
ES	EXTERNAL SHIELDING

ADDITIONAL MOUNTING ACCESSORIES

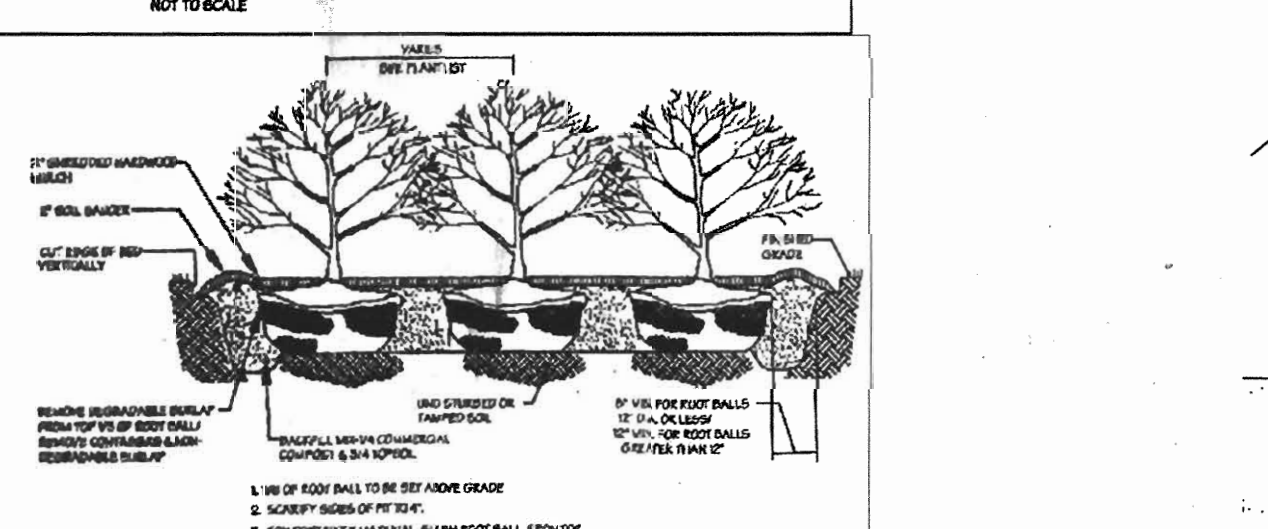
PTA	POLE TOP 2" DIA. ADAPTER	EPA 1"	EMERGENCY LIGHT
PTB	POLE TOP 2" DIA. ADAPTER FOR TWIN BACK TO BACK LUMINAIRE MOUNTING	EPA 1.5"	EMERGENCY LIGHT
PTC	POLE TOP 2" DIA. ADAPTER FOR TWIN BACK TO BACK LUMINAIRE MOUNTING	EPA 1.9"	EMERGENCY LIGHT
PTD	POLE TOP 2" DIA. ADAPTER FOR TWIN BACK TO BACK LUMINAIRE MOUNTING	EPA 2.8"	EMERGENCY LIGHT

DF1 SPICE COMPARTMENT WIRE CAPACITY

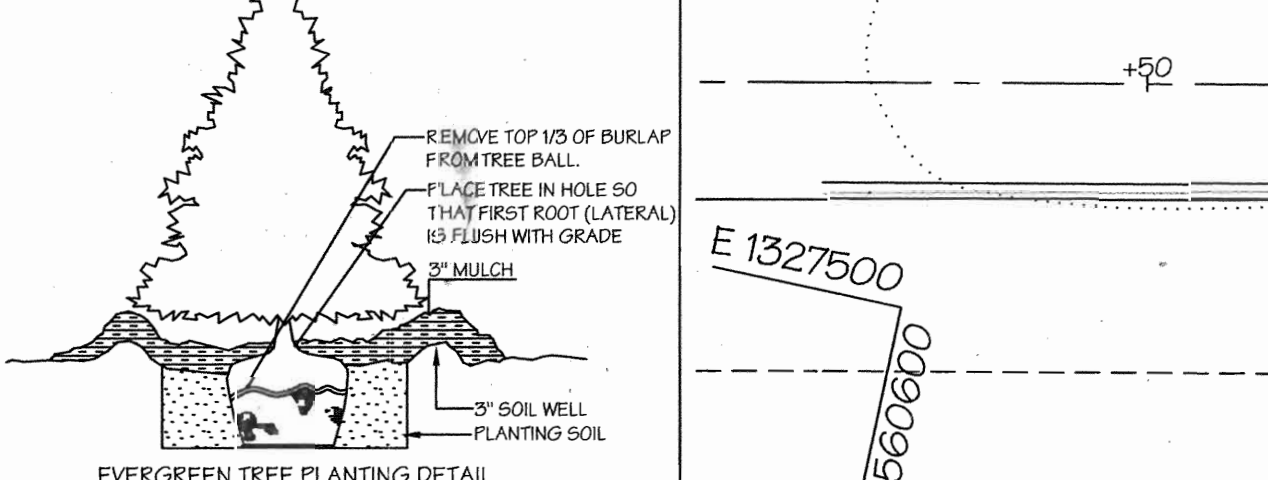
Wire Size	Number of Wires
14 AWG	3
12 AWG	2
10 AWG	1



- TREE PLANTING**
- REMOVE DEAD OR BROKEN BRANCHES, RETAINING NATURAL SHAPE.
 - REMOVE EXCESS LEAVES.
 - SET TREE WITH 1/8" ROOT BALL ABOVE GRADE.
 - STAKE: WIRE & RUBBER SHOULD BE REMOVED AFTER ONE YEAR.
 - SCAFFOLD: RUBBER SHOULD BE REMOVED AFTER 1 YEAR.
 - PLACE STAKES PARALLEL TO EACH OTHER & 2" FROM TRUNK.
 - NEED WHEN CALIPER GREATER THAN 2" SHALL BE PLANTED WITH 3" SOIL WELLS.



- SHRUB PLANTING**
- REMOVE TOP 1/8" OF BURLAP FROM TREE BALL.
 - FLUSH TREE IN HOLE SO THAT FIRST ROOT (LATERAL) IS FLUSH WITH GRADE.
 - 3" SOIL WELL PLANTING SOIL.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Director: *Darke K. Lige* 5/21/03
 Chief, Division of Land Development: *Cindy Hamilton* 3/26/03
 Chief, Development Engineering Division: *Chris Denny* 5/21/03

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR FOND CONSTRUCTION, EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE AND EXPERIENCE. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REGULATIONS OF THE HOWARD COUNTY CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT THE HOWARD COUNTY CONSERVATION DISTRICT WILL SUPERVISE FOND CONSTRUCTION AND PROVIDE THE HOWARD COUNTY CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD COUNTY CONSERVATION DISTRICT.

James M. Jost 3/10/03

DEVELOPER'S CERTIFICATE

I HAVE CERTIFIED THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE FOND CONSTRUCTION AND PROVIDE THE HOWARD COUNTY CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE FOND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD COUNTY CONSERVATION DISTRICT.

James M. Jost 3/10/03

DEVELOPER'S/ BUILDER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

James M. Jost 3/10/03

REVISIONS

No.	Date	Description
1	4/2003	Revise building footprint, revise retaining walls and utilities.
2	11/2003	Revise tree plantings to accommodate expanded parking areas.
3	3/2004	Added Concrete Retaining walls at Rear of Building for Window Wells

MASTER LANDSCAPE SCHEDULE

SYMBOL	QNTY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
SHADE TREES					
RM	7	Red Maple	<i>Acer rubrum</i>	2 1/2" - 3" Caliper	B & D
PO	6	Pin Oak	<i>Quercus palustris</i>	2 1/2" - 3" Caliper	B & D
WO	5	Willow Oak	<i>Quercus phellos</i>	2 1/2" - 3" Caliper	B & D
RB	6	River Birch (Heritage Lumo Birch)	<i>Betula nigra</i>	10" - 12" Ht.	B & D
SC	6	Sargent's Cherry	<i>Prunus sargentii</i>	1 1/2" - 2"	B & D
EVERGREEN TREES					
WP	10	Eastern White Pine	<i>Pinus strobus</i>	6" - 8" Ht.	B & D
LC	14	Layland Cypress	<i>Cupressus nana</i>	5" - 6" Ht.	B & D
AH	5	American Holly	<i>Ilex opaca</i>	5" - 6" Ht.	B & D
SHRUBS					
DJ	20	Sargent Juniper	<i>Juniperus chinensis sargentii</i>	24" - 30" Ht.	container 3" o.c.
AZ	14	Azalea	<i>Azalea sp.</i>	24" - 30" Ht.	container 3" o.c.

NOTE: The required landscaping includes 20 shade trees, 25 evergreen trees and 34 shrubs. Only the required landscape materials will be bonded. The remainder of the proposed landscape materials are required for the stormwater management dry well/bioswale facility and will be bonded under the Developer's Agreement for stormwater management.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

Number of parking spaces	43
Number of trees required	120
Number of Trees Provided	2 Landscape Islands / 2 Trees Required
Shade Trees	2 Landscape Islands / 2 Shade Trees Provided
Other Trees (21 Substitution)	

SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Adjacent to Perimeter Properties	Dumpster Screening
Landscape Type	B - Roadway	E - Parking to Road	A - Non Residential
Linear Feet of Roadway Frontage / Perimeter	74 LF.	115 LF.	A - 217 LF. C - 372 LF. D - 34 LF.
Credits for Existing Vegetation (Yes, No Linear Feet) (Describe below if needed)	NO	NO	NO
Credits for walk, fence or berm (Yes, No Linear Feet) (Describe below if needed)	NO	NO	NO
Number of Plants Required	1:50=1	1:40=4	1:60=4
Shade Trees	1:40=2	1:20=4	1:40=19
Evergreen Trees		1:4=4	1:60=1
Shrubs		1:4=4	1:40=4
Number of Plants Provided	1 Shade	4 Shade	4 Shade
Shade Trees	2 Evergreens		10 Shade
Evergreen Trees			19 Evergreen
Other Trees (21 substitution)	34 Shrubs		7 Evergreen
Shrubs (10 substitution)			
(Describe plant substitution credits below if needed)			

Totals: Shades - 30 (20 Required)
 Evergreen - 29 (28 Required)
 Shrubs - 34 (34 Required)

CLARKSVILLE PROFESSIONAL CENTER

9250 Ramsey Road, Suite 106, Columbia, MD 21045
 (410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: S.D.H.
 DRAWN: J.D.R., S.T.B.
 CHECKED: B.D.D.
 DATE: 3/20/03

OWNER/DEVELOPER: 6339 TEN OAKS, LLC
 7370 Grace Drive, Suite A
 Columbia, Maryland 21044
 (301) 596-9200