

Legend

- SYMBOL DESCRIPTION
- BRL BUILDING RESTRICTION LINE
- 14 PARKING COUNT
- ♿ VAN HANDICAPPED PARKING
- ♿ HANDICAPPED PARKING
- 10' EXISTING 10' CONTOUR
- 2' EXISTING 2' CONTOURS
- ☐ SERVICE PAD & DUMPSTER BIN
- ↔ REVERSE CURB & GUTTER
- ↔ DEPRESSED CURB
- ↔ STANDARD CURB & GUTTER
- ④ STORM DRAIN STRUCTURE LABEL
- EXISTING SEWER
- EXISTING STORM DRAIN
- EXISTING WATER
- 18" S.D. PROPOSED STORM DRAIN
- 8" S. PROPOSED SEWER
- 8" W. PROPOSED WATER
- PROPOSED LIGHTING
- ★ 250 WATT LIGHT ON 30' BRONZE FIBERGLASS POLE (12' ARM)

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Howard Cummings 7/26/02 DATE
 CHIEF, DEVELOPMENT ENGINEERING DIVISION M1K

Clayton Horvath 7/29/02 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT H8

Lucas S. Rutter 7/30/02 DATE
 DIRECTOR

Date	No.	Revision Description
5-29-03	1	REVISE LOADING AREA, PARKING AND WATER SERVICE (CPT)

Columbia Gateway

PARCEL 'S-30' OWNER/DEVELOPER
 AAK EISENSTEIN LLC
 5850 WATERLOO ROAD
 SUITE 250
 COLUMBIA MD, 21045
 410-892-6000

DMW
 Daft · McCune · Walker, Inc.
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

200 East Pennsylvania Avenue
 Towson, Maryland 21286
 410 296 3333
 Fax 296 4705

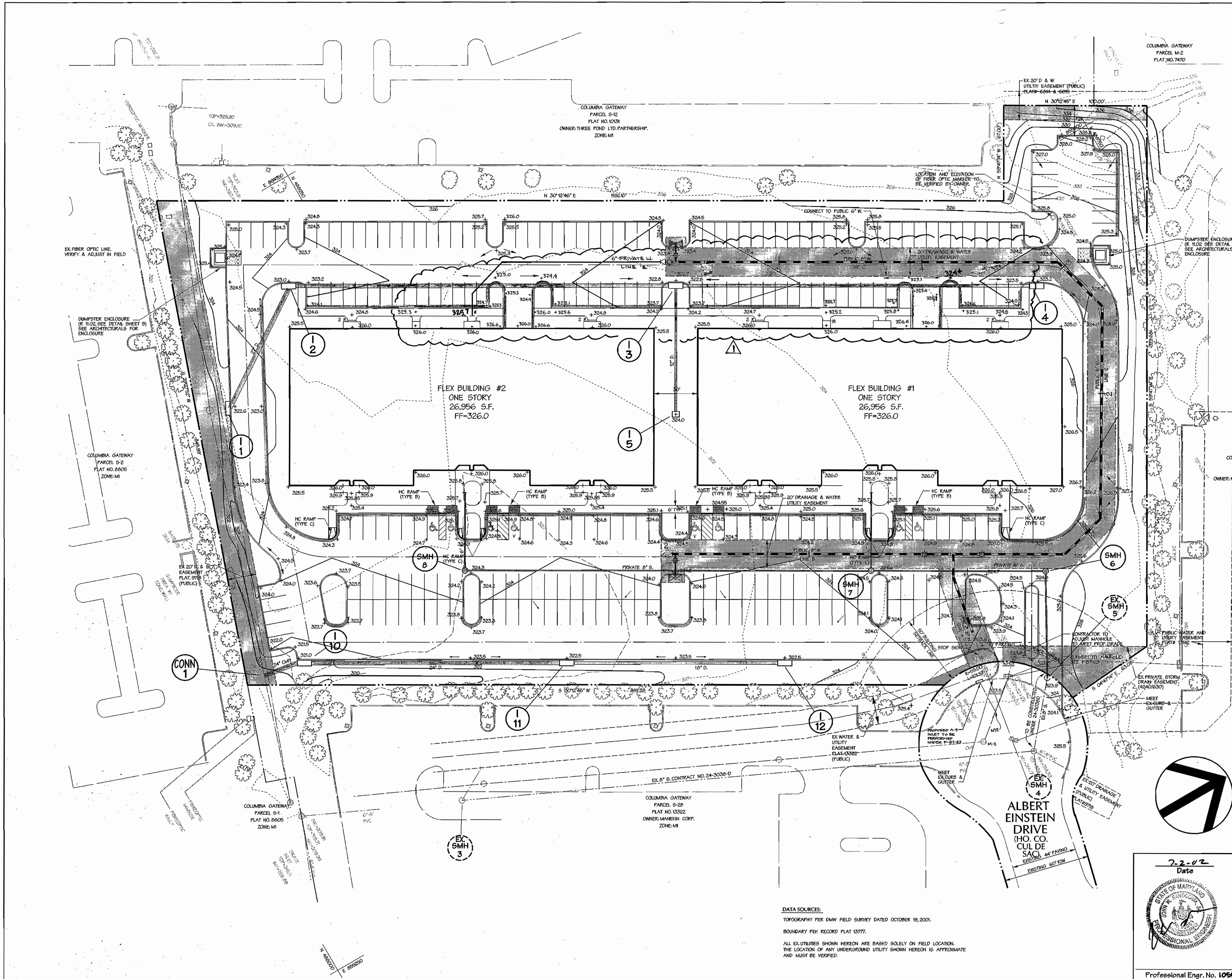
SUBDIVISION NAME COLUMBIA GATEWAY	SECTION AREA NA	DATE 7/30/02
PLAT OR LOT/BLOCK & ZONE 1852 7 MI	TAX MAP REFERENCE 43 6TH	GENERIC TRACT 6065.02
WATER CODE E08	SEWER CODE 4800000	

TITLE SITE PLAN		
Drn By: ADL, AJS	Scale: 1"=30'	Proj. No. 01095
Des By: MJP	Date: 7-03-02	2 of 11
Chk By:	Approved:	

7-2-02
Date

Professional Engr. No. 10551

DATA SOURCES:
 TOPOGRAPHY PER DMW FIELD SURVEY DATED OCTOBER 19, 2001.
 BOUNDARY PER RECORD PLAT 13777.
 ALL UTILITIES SHOWN HEREON ARE BASED SOLELY ON FIELD LOCATION.
 THE LOCATION OF ANY UNDERGROUND UTILITY SHOWN HEREON IS APPROXIMATE AND MUST BE VERIFIED.



Legend

SYMBOL	DESCRIPTION
---	BUILDING RESTRICTION LINE
○	PARKING COUNT
♿	VAN HANDICAPPED PARKING
♿	HANDICAPPED PARKING
---	EXISTING 10' CONTOUR
---	EXISTING 2' CONTOURS
□	SERVICE PAD & DUMPSTER BIN
---	REVERSE CURB & GUTTER
---	DEPRESSED CURB
---	STANDARD CURB & GUTTER
---	STORM DRAIN STRUCTURE LABEL
---	EXISTING SEWER
---	EXISTING STORM DRAIN
---	EXISTING WATER
---	PROPOSED STORM DRAIN
---	PROPOSED SEWER
---	PROPOSED WATER

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Michael J. ... 7/26/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MJK DATE

Andy ... 7/29/02
 CHIEF, DIVISION OF LAND DEVELOPMENT JB DATE

James ... 7/30/02
 DIRECTOR DATE

Date	No.	Revision Description
5-29-02	1	REV. LOADING, PARKING, GRADING, & ENTRANCES TO BLDG. REV. WATER.

Columbia Gateway

PARCEL 'S-30' OWNER/DEVELOPER: AAK EINSTEIN LLC
 5850 WATERLOO ROAD
 SUITE 250
 COLUMBIA, MD, 21045
 410-982-6000

DMW
 Daft - McCune - Walker, Inc.
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

200 East Pennsylvania Avenue
 Towson, Maryland 21286
 410 296 3333
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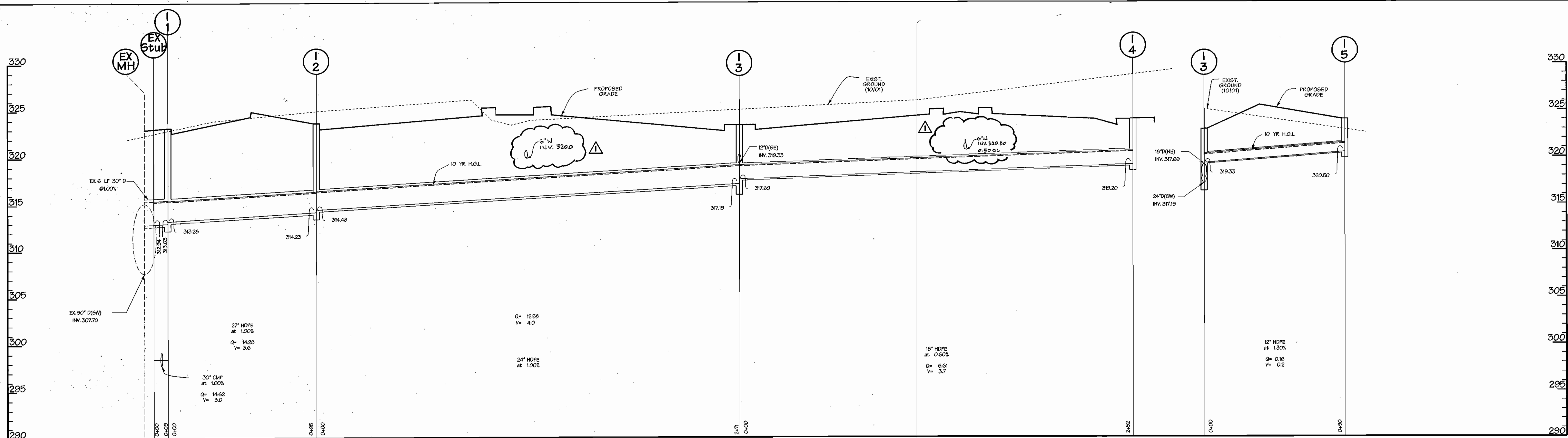
SUBDIVISION NAME	COLUMBIA GATEWAY	SECTION AREA	NA	OFFICER	PARCEL 'S-30'
PLAT NO./BLOCK # ZONE	15332 / 7 MI	TAZZONE MAP	43	ELECT. DISTRICT	6TH
WATER CODE	E06	SEWER CODE	49000000	PARCEL TRACT	6065.02

TITLE: GRADING PLAN		
Drn By: ADL	Scale: 1"=30'	Proj. No. 01095
Des By: MJP	Date: 7-03-02	3 of 11
Chk By:	Approved:	

7-2-02
Date

Professional Engr. No. 10561

DATA SOURCES:
 TOPOGRAPHY PER DMW FIELD SURVEY DATED OCTOBER 19, 2001.
 BOUNDARY PER RECORD PLAT 13777.
 ALL EX UTILITIES SHOWN HEREON ARE BASED SOLELY ON FIELD LOCATION. THE LOCATION OF ANY UNDERGROUND UTILITY SHOWN HEREON IS APPROXIMATE AND MUST BE VERIFIED.



STORM DRAIN PROFILE

SCALE: HORIZ. 1"=30'
VERT. 1"=5'

INLET SCHEDULE

NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-1	A-10	313.28	313.03	323.1	HO CO STD. SD 4.01
I-2	A-10	314.48	314.23	323.5	HO CO STD. SD 4.02
I-3	A-10	317.69	317.19	323.2	HO CO STD. SD 4.02
I-4	A-10		319.20	323.7	HO CO STD. SD 4.02
I-5	Y Inlet D=2 ft		320.50	324.0	HO CO STD. SD 4.14
I-10	A-10	312.54	305.54	321.5	HO CO STD. SD 4.02
I-11	A-10	314.88	313.38	323.0	HO CO STD. SD 4.02
I-12	A-10	316.65	316.40	323.0	HO CO STD. SD 4.02

PIPE SCHEDULE

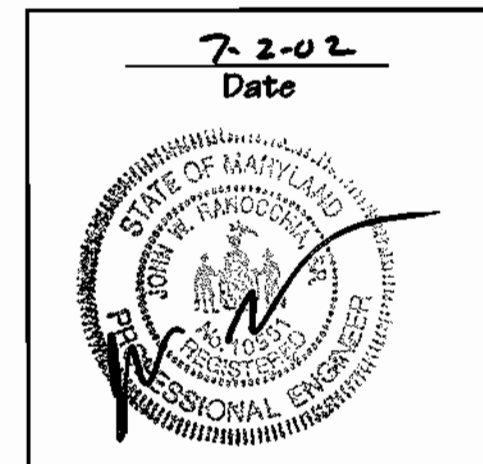
SIZE (IN)	TYPE	L (FT)
12	HDPE	90
18	HDPE	404
24	HDPE	485
27	HDPE	95
30	HDPE	9

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 [Signature] DATE 7/26/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MKK
 [Signature] DATE 7/29/02
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] DATE 7/30/02
 DIRECTOR

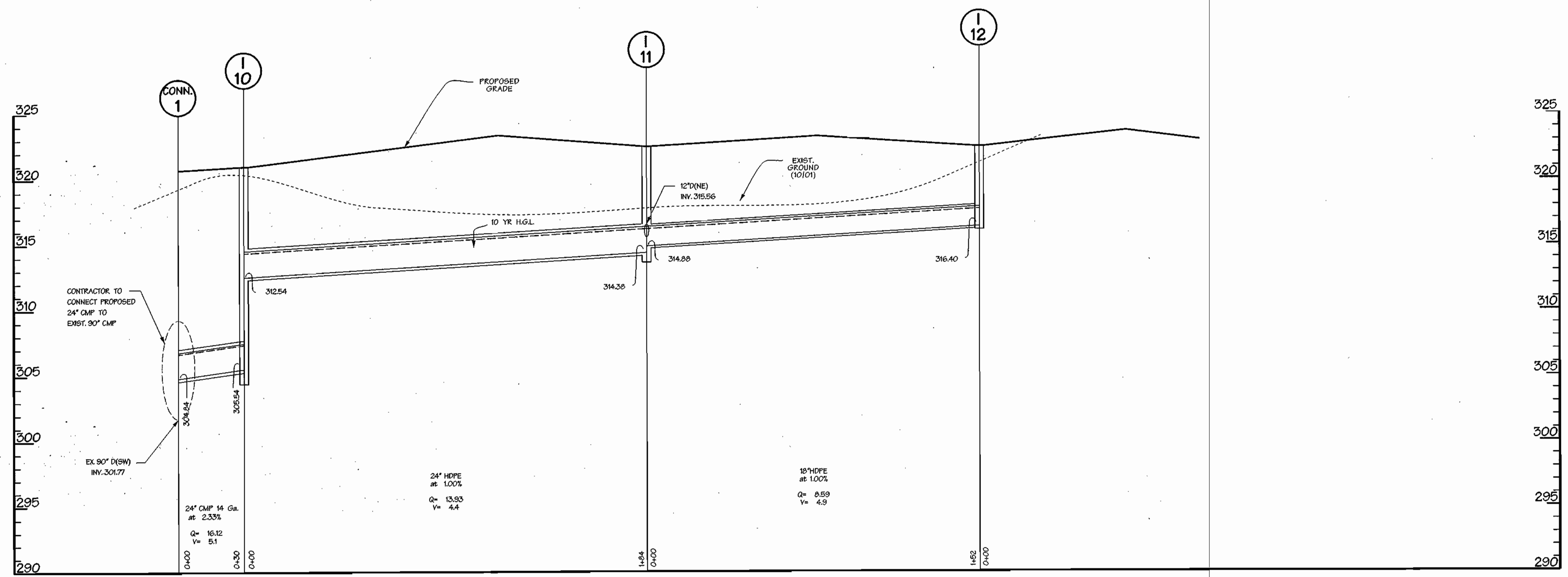
Date	No.	Revision Description
5-24-05	1	REV. WATER LOCATIONS ON SD PROFILE.

Columbia Gateway
 PARCEL 'S-30' OWNER/DEVELOPER
 AAK EINSTEIN LLC
 5650 WATERLOO ROAD
 SUITE 250
 COLUMBIA, MD, 21045
 410-892-6000

DMW
 Daft - McCune - Walker, Inc.
 A Team of Land Planners, 200 East Pennsylvania Avenue
 Landscape Architects, Towson, Maryland 21286
 Engineers, Surveyors & 410 296 3333
 Environmental Professionals Fax 296 4705

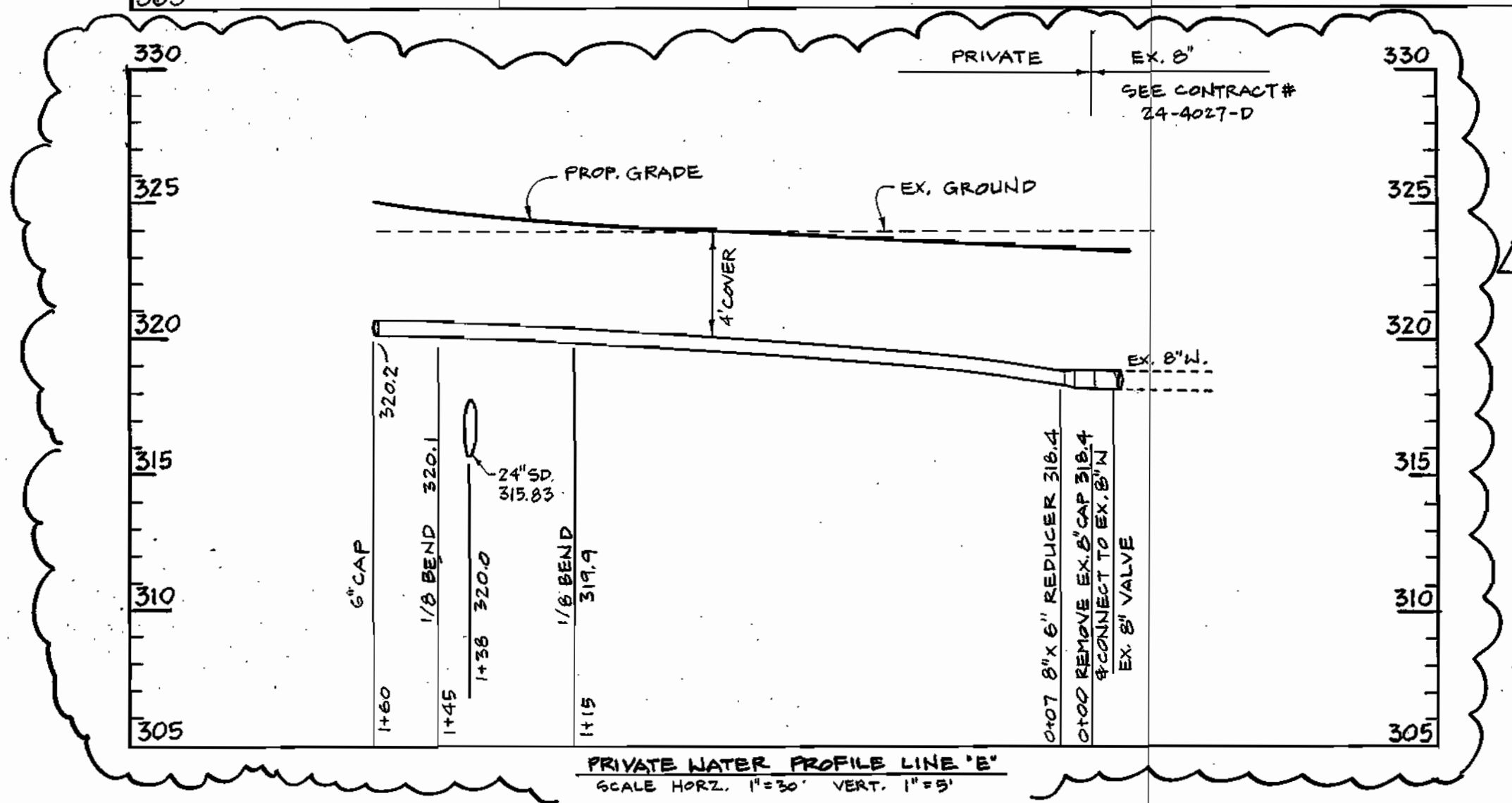
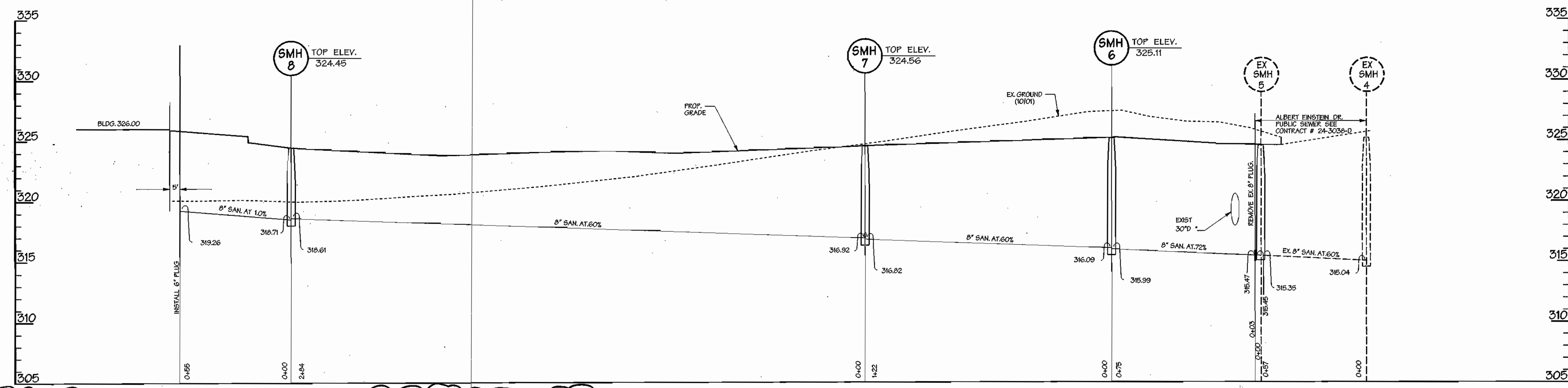
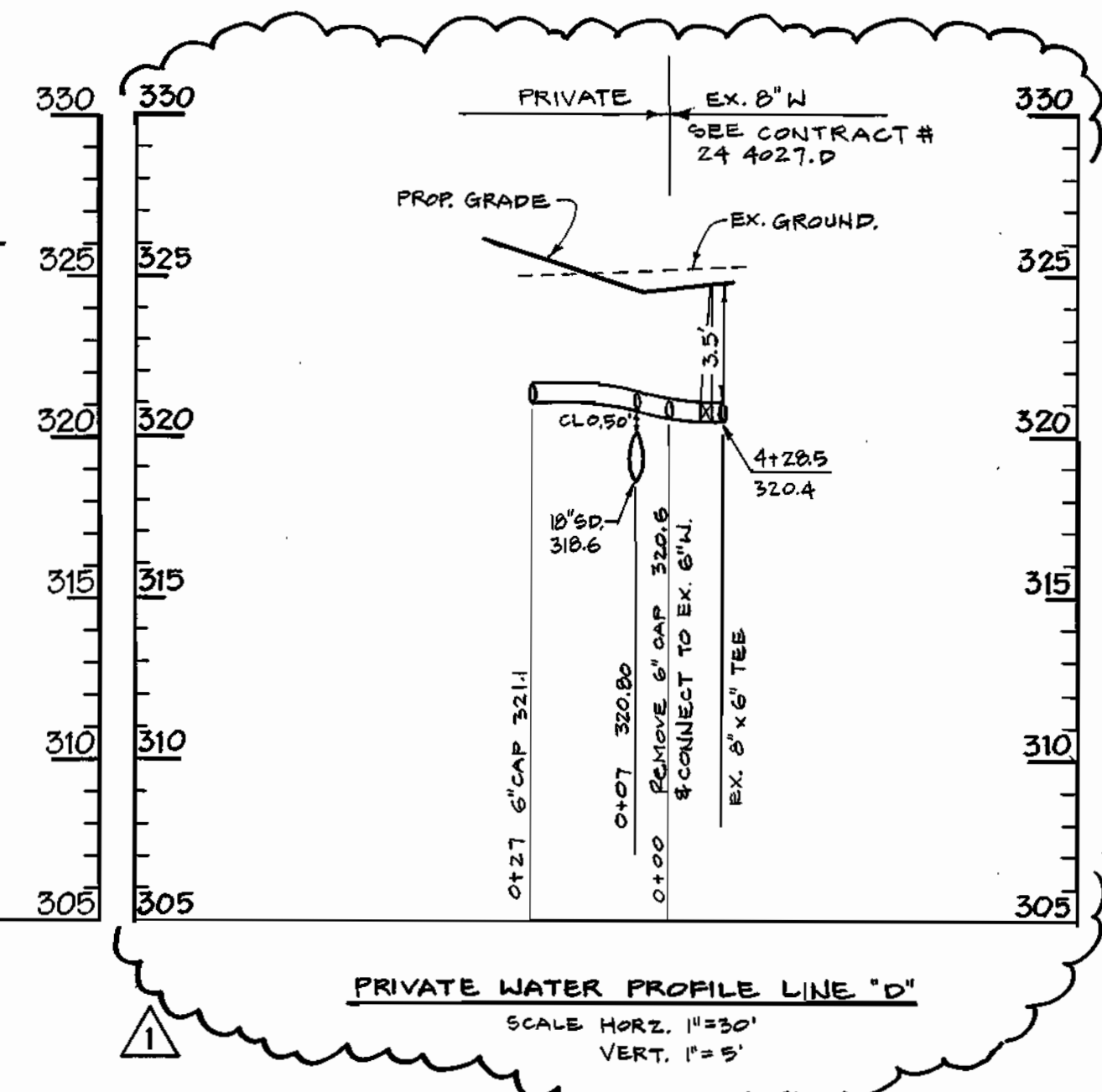
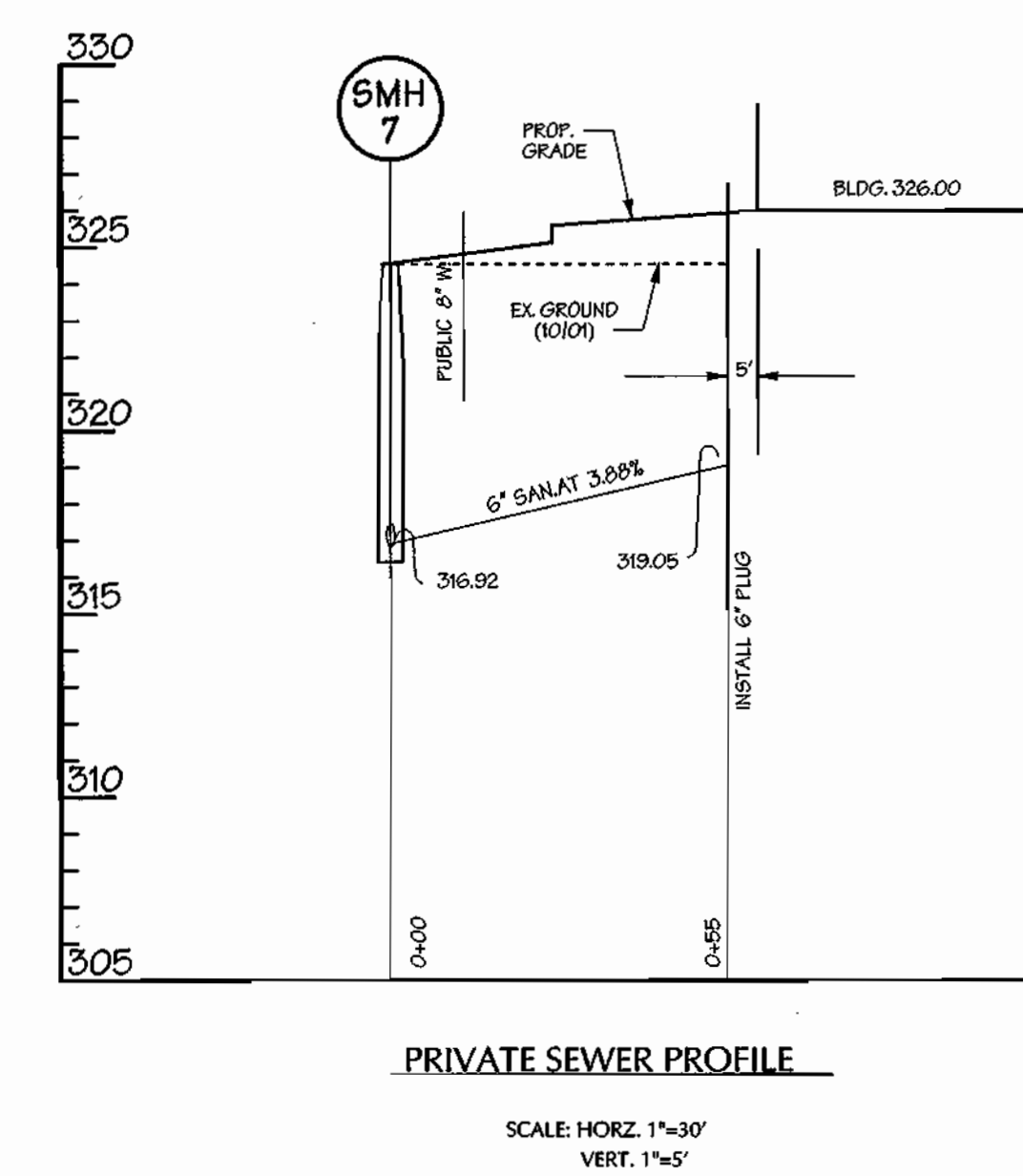
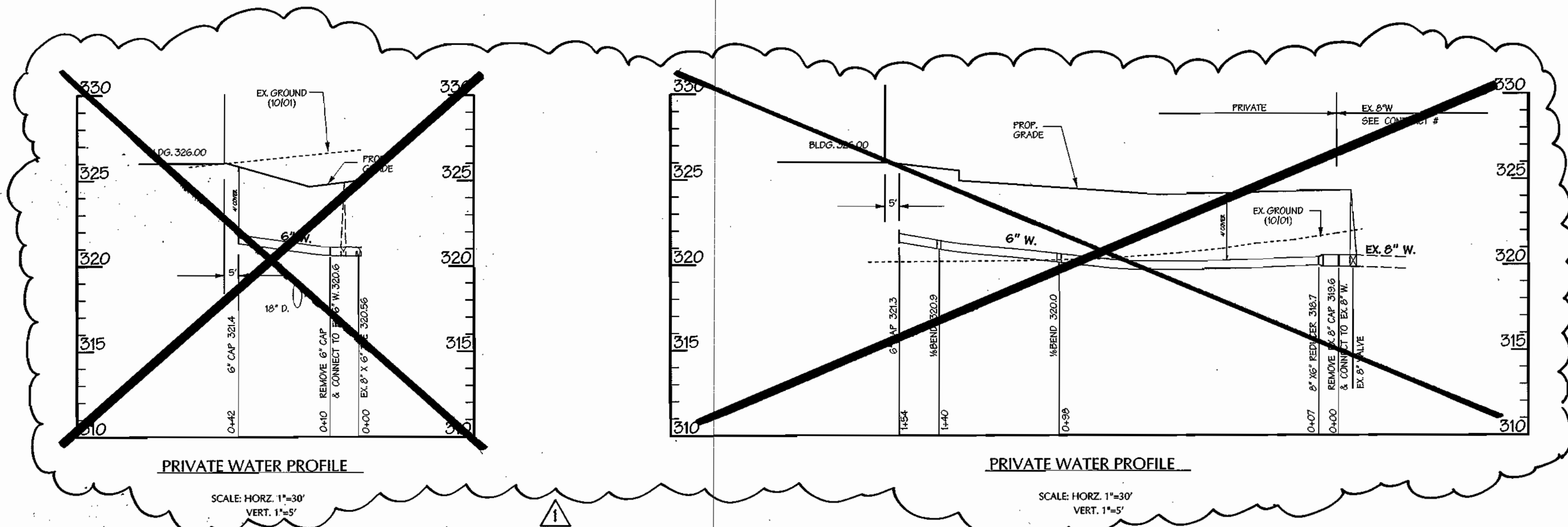


SUBMITTER TITLE		SECTION AREA	DISTRICT
COLUMBIA GATEWAY		NA	PARCEL 'S-30'
PLAT OF LOTS BLOCK #	ZONE	TAZONING MAP	ELECT. DISTRICT
15332	7	43	01H
WATER CODE	SEWER CODE	GEN. TRACT	
ED6	4800000	6065.02	
TITLE			
STORM DRAIN PROFILES			
Drn By:	AD,LL	Scale:	1"=30'
Des By:	LL	Date:	7-02-02
Chk By:		Approved:	
			Proj. No. 01085
			4 of 11



STORM DRAIN PROFILE

SCALE: HORIZ. 1"=30'
VERT. 1"=5'



PRIVATE SEWER PROFILE
SCALE: HORIZ. 1"=30'
VERT. 1"=5'

* CONTRACTOR TO TEST PIPES PRIOR TO LAYING ANY PIPE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
[Signature] 7/30/02
DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION Y-1K
[Signature] 7/29/02
DATE
CHIEF, DIVISION OF LAND DEVELOPMENT HS
[Signature] 7/30/02
DATE
DIRECTOR

Date	No.	Revision Description
5-28-02	1	REV. PRIV. WATER PROFILES.

Columbia Gateway
PARCEL 'S-30' OWNER/DEVELOPER
AAK EINSTEIN LLC
5850 WATERLOO ROAD
SUITE 220
COLUMBIA, MD, 21045
410-992-6000

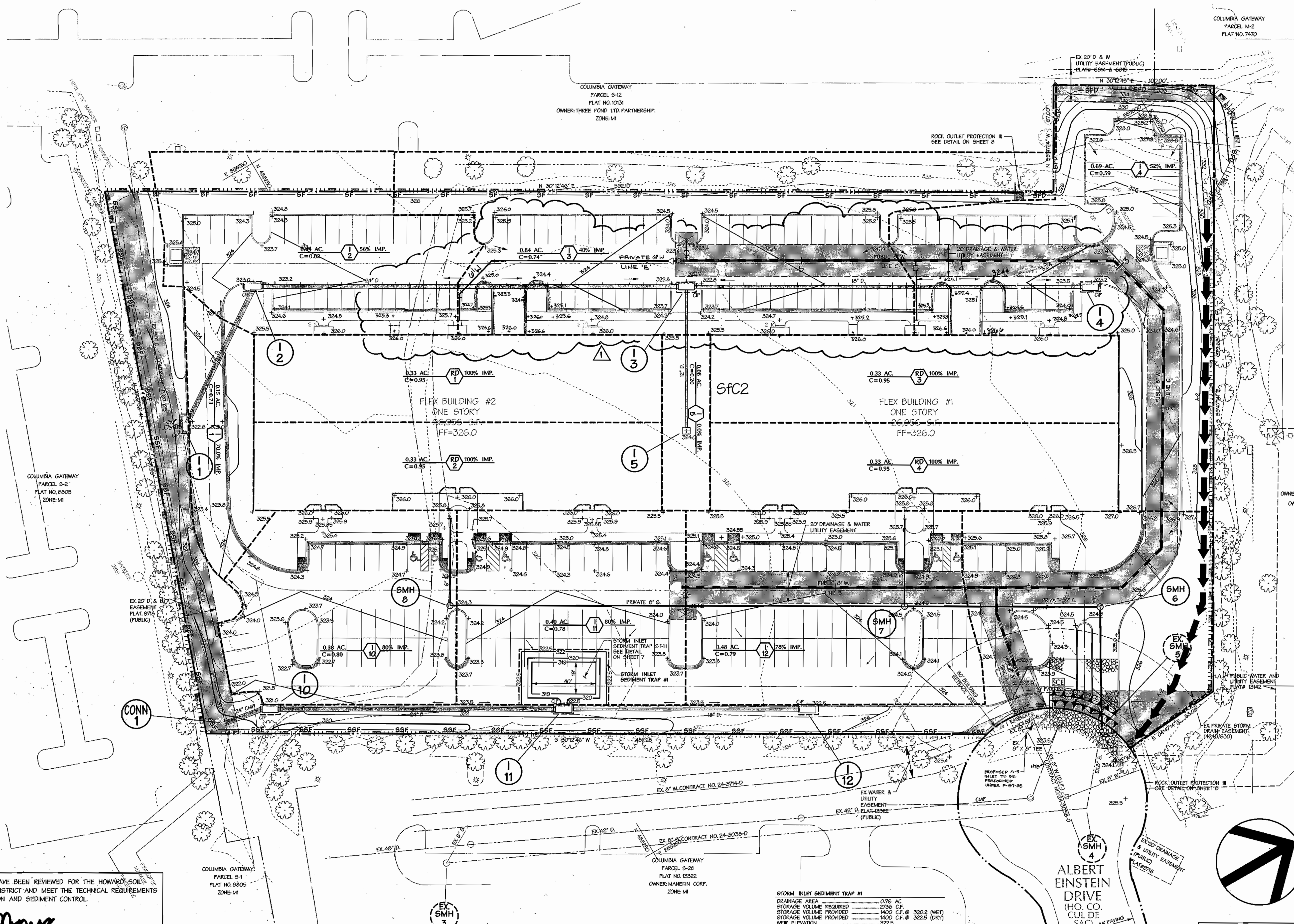
DMW
Daft · McCune · Walker, Inc.
A Team of Land Planners, 200 East Pennsylvania Avenue
Landscape Architects, Towson, Maryland 21286
Engineers, Surveyors & 410 286 3333
Environmental Professionals Fax: 286 4705

7-2-02
Date
Professional Engr. No. 10591

SUBDIVISION NAME		SECTION AREA	DIFFERENCE #
COLUMBIA GATEWAY		NA	PARCEL 'S-30'
PLAT OR MAP BLOCK #	ZONE	TAZZONE MAP	ELECT. DISTRICT
15332	7	MH	6TH
WATER CODE	SEWER CODE	GENUS TRACT	
EO6	4900000	6065.02	
TITLE			
WATER AND SEWER PROFILES			
Drn By: ADL	Scale: 1"=30'	Proj. No. 01095	
Des By: DFM	Date: 7-03-02		
Chk By:	Approved:		5 of 11

LEGEND

- SFF — SUPER SILT FENCE
- SF — SILT FENCE
- SFD — SILT FENCE DIVERSION
- CP — CURB INLET PROTECTION
- RCP — ROCK INLET PROTECTION
- A-2 — A-2 EARTH DIKE
- — — — — LIMIT OF DISTURBANCE
- — — — — STABILIZE CONSTRUCTION ENTRANCE/ MOUNTABLE BERM



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

John W. Ranocchia 7/2/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

David H. Smith 7/2/02
 CHIEF, DIVISION OF LAND DEVELOPMENT HS DATE

David H. Smith 7/30/02
 DIRECTOR DATE

Date	No.	Revision Description
5-29-03	1	REV. LOADING, PARKING, GRADING & WATER LOCATION. REV. ENTRANCES.

Columbia Gateway

PARCEL 'S-30' OWNER/DEVELOPER
 AAK ENSTEIN LLC
 5850 WATERLOO ROAD
 SUITE 230
 COLUMBIA, MD, 21045
 410-992-6000

DMW
 Daft · McCune · Walker, Inc.
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

200 East Pennsylvania Avenue
 Towson, Maryland 21286
 410 286 3333
 Fax 286 4705

SUBDIVISION NAME	SECTION AREA	DISTRICT
COLUMBIA GATEWAY	NA	PARCEL 'S-30'
PLAT NO. 15332	MI	6TH
WATER CODE	EDG	6065.02

SEDIMENT EROSION CONTROL & DRAINAGE AREA MAP

Drn By: ADL Scale: 1"=30' Proj. No. 01095
 Des By: RBW Date: 7-03-02
 Chk By: Approved: 6 of 11

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

John W. Ranocchia
 U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE
 DATE 7/1/02

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *John W. Ranocchia*
 HOWARD SOIL CONSERVATION DISTRICT
 DATE 7/1/02

PLAN NUMBER DATE

CERTIFICATION BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

John W. Ranocchia, S- 7-2-02
 DATE

CERTIFICATION BY THE DEVELOPER:

"I WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

James Alvern 6/27/02
 DATE

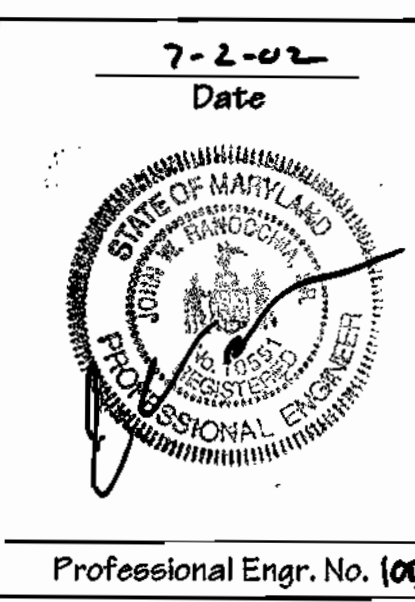
STORM INLET SEDIMENT TRAP #1

DRAINAGE AREA	0.76 AC
STORAGE VOLUME REQUIRED	2736 C.F.
STORAGE VOLUME PROVIDED	1400 C.F. @ 320.2 (WET)
STORAGE VOLUME PROVIDED	1400 C.F. @ 322.5 (DRY)
WEIR ELEVATION	322.5
BOTTOM ELEVATION	319.0
CLEARANCE ELEVATION	320.1
SIDE SLOPES	2:1
BOTTOM DIMENSIONS	20' X 40'
DEPTH	3.5
DRAWN DOWN DEVICE INVERT	320.2

DATA SOURCES:

TOPOGRAPHY PER DMW FIELD SURVEY DATED OCTOBER 18, 2001.
 BOUNDARY PER RECORD PLAT 13777.

ALL UTILITIES SHOWN HEREON ARE BASED SOLELY ON FIELD LOCATION. THE LOCATION OF ANY UNDERGROUND UTILITY SHOWN HEREON IS APPROXIMATE AND MUST BE VERIFIED.

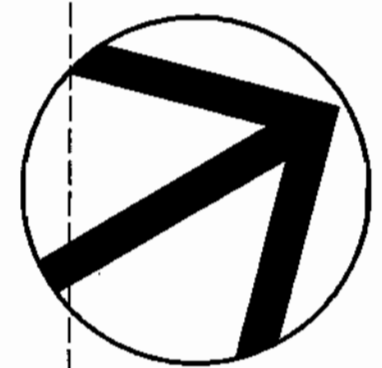
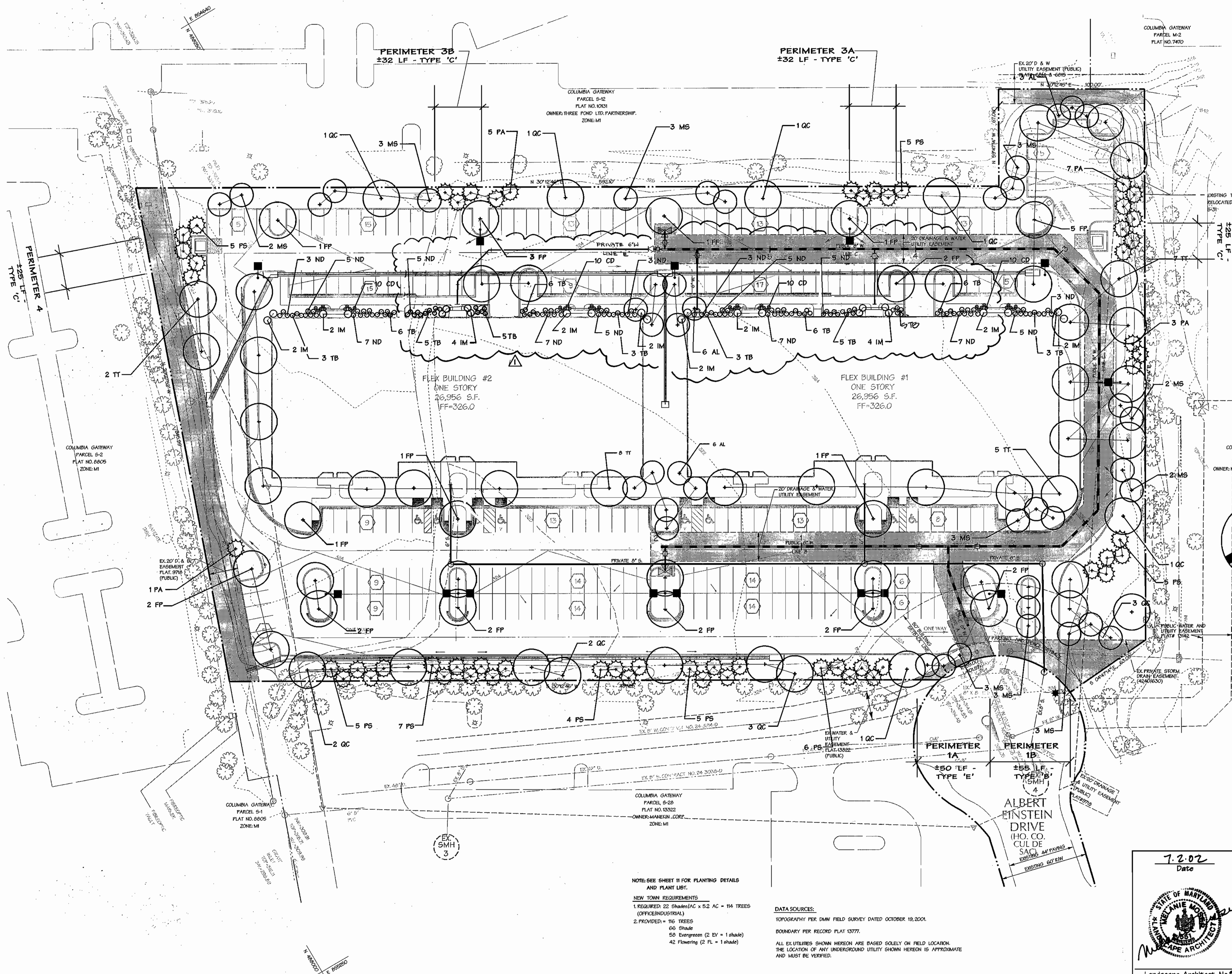


Professional Engr. No. 10651

SDP-02-63

Legend

SYMBOL	DESCRIPTION
(Symbol)	BRL BUILDING RESTRICTION LINE
(Symbol)	FARKING COUNT
(Symbol)	VAN HANDICAPPED PARKING
(Symbol)	HANDICAPPED PARKING
(Symbol)	EXISTING 10' CONTOUR
(Symbol)	EXISTING 2' CONTOURS
(Symbol)	SERVICE PAD & DUMPSTER BIN
(Symbol)	REVERSE CURB & GUTTER
(Symbol)	DEPRESSED CURB
(Symbol)	STANDARD CURB & GUTTER
(Symbol)	EXISTING SEWER
(Symbol)	EXISTING STORM DRAIN
(Symbol)	EXISTING WATER
(Symbol)	PROPOSED STORM DRAIN
(Symbol)	PROPOSED SEWER
(Symbol)	PROPOSED WATER
(Symbol)	PROPOSED LIGHTING
(Symbol)	PROPOSED EVERGREEN TREE
(Symbol)	PROPOSED ORNAMENTAL TREE
(Symbol)	PROPOSED OVERSTORY/SHADE TREE
(Symbol)	250 WATT LIGHT ON 30' BRONZE FIBERGLASS POLE (12' ARM)



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Michael J. Walker 7/26/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MKK DATE

Cindy Hamilton 7/29/02
 CHIEF, DIVISION OF LAND DEVELOPMENT HB DATE

John S. Rutter 7/30/02
 DIRECTOR DATE

Date	No.	Revision Description
5-21-02	1	REV. LOADING LOCATION, WALK LOC. & ASSOC. LANDSCAPING

Columbia Gateway

PARCEL 'S-30'

OWNER/DEVELOPER
 AAK EINSTEIN LLC
 5850 WATERLOO ROAD
 SUITE 220
 COLUMBIA, MD, 21045
 410-992-6000

DMW
 Daft · McCune · Walker, Inc.
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

300 East Pennsylvania Avenue
 Towson, Maryland 21286
 410 296 3333
 Fax 296 4705

SECTION NAME	SECTION AREA	OFF/INVOICE #
COLUMBIA GATEWAY	NA	PARCEL 'S-30'
PLAT # OF REFERENCE	ZONE	BLOCK/DISTRICT
15332	MI	6TH
GENUS TRACT	GENUS TRACT	GENUS TRACT
6065.02	6065.02	6065.02
WATER CODE	SEWER CODE	
E08	4800000	

TITLE		
LANDSCAPE PLAN		
Drn By: AJS	Scale: 1"=30'	Proj. No. 01095
Des By: MJP	Date: 7-03-02	
Chk By:	Approved:	10 of 11

7.2.02
 Date

Michael J. Walker
 LANDSCAPE ARCHITECT

Landscape Architect No. 551

NOTE: SEE SHEET 11 FOR PLANTING DETAILS AND PLANT LIST.

NEW TOWN REQUIREMENTS

1. REQUIRED: 22 Shades/AC x 5.2 AC = 114 TREES (OFFICE/INDUSTRIAL)

2. PROVIDED = 116 TREES

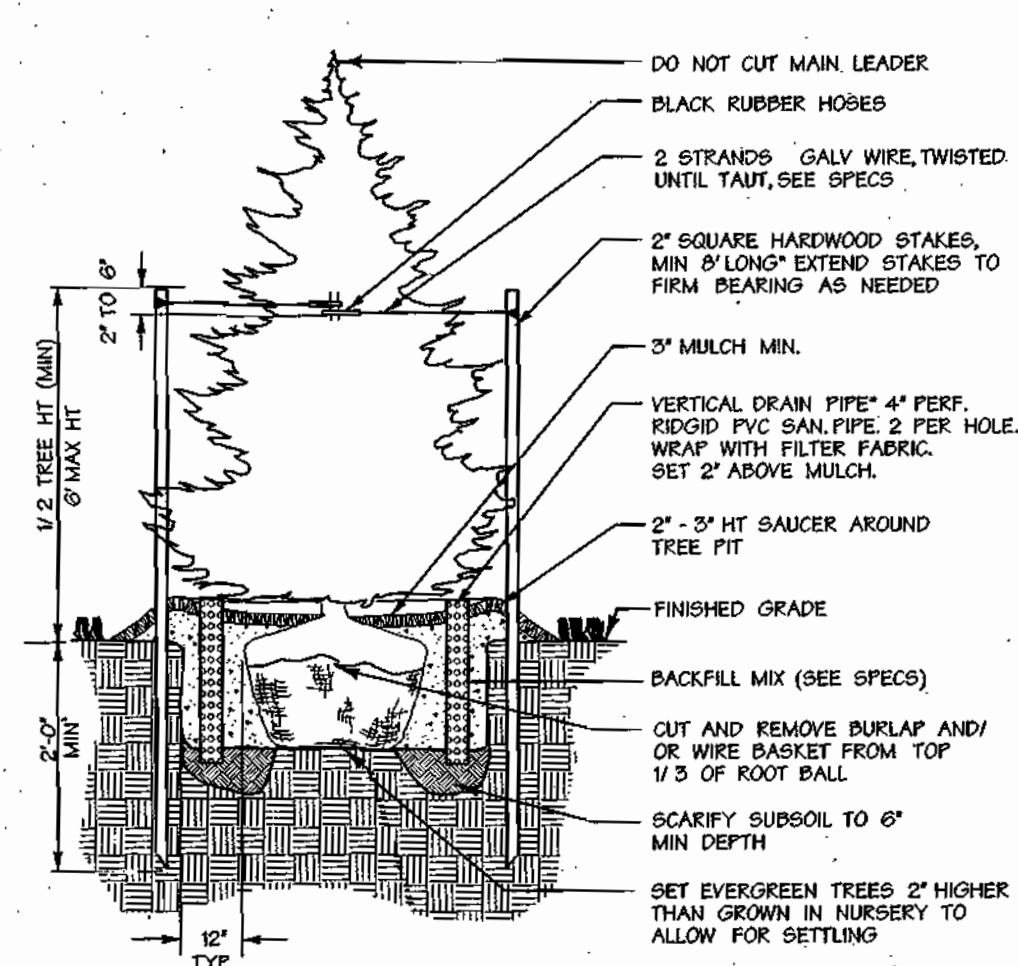
66 Shade
 68 Evergreen (2 EV = 1 shade)
 42 Flowering (2 FL = 1 shade)

DATA SOURCES:

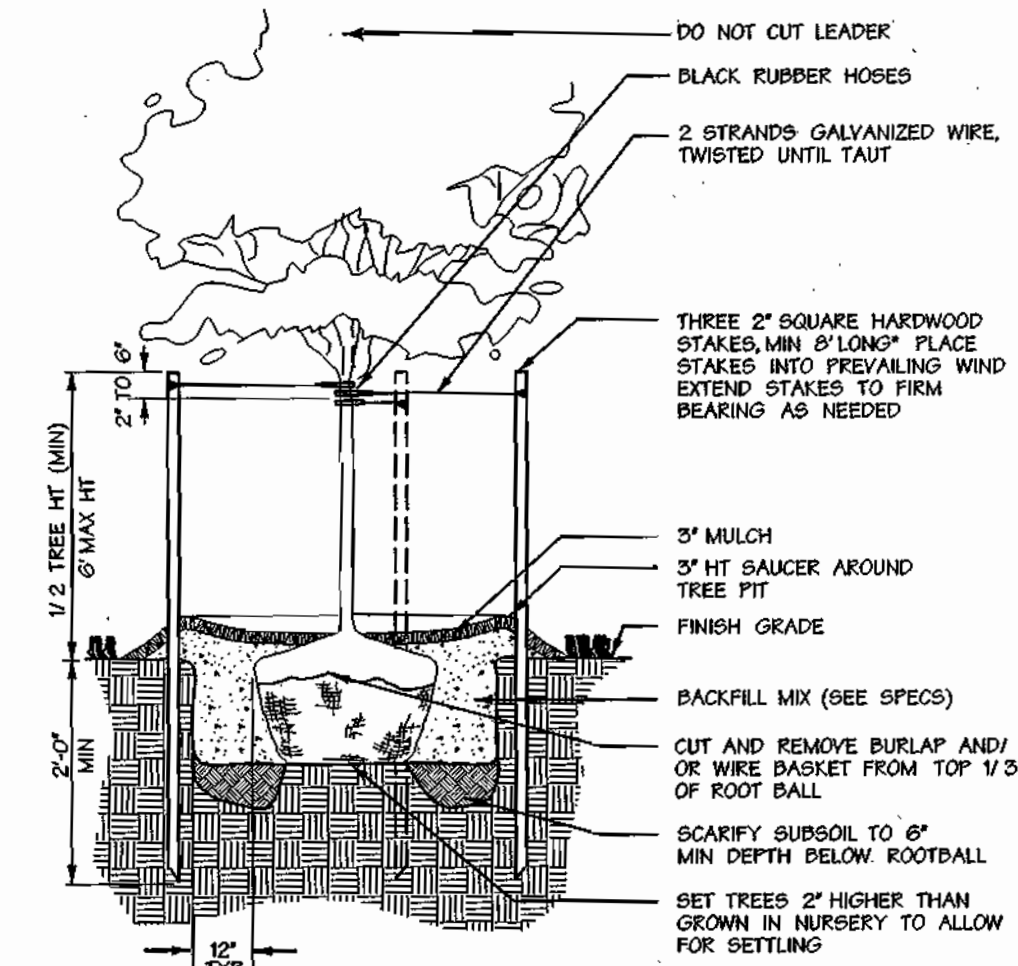
TOPOGRAPHY PER DMW FIELD SURVEY DATED OCTOBER 19, 2001.

BOUNDARY PER RECORD PLAT 13777.

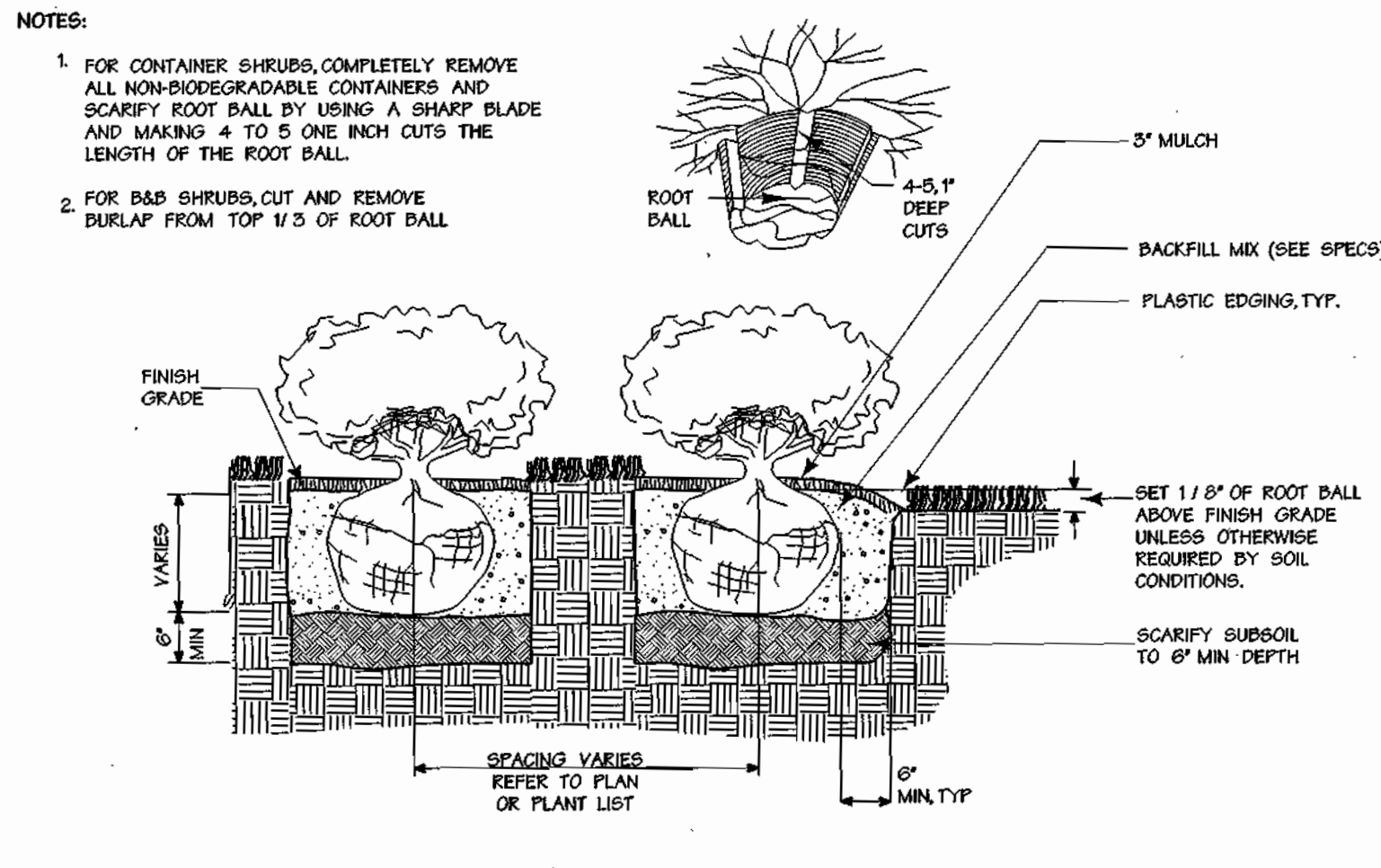
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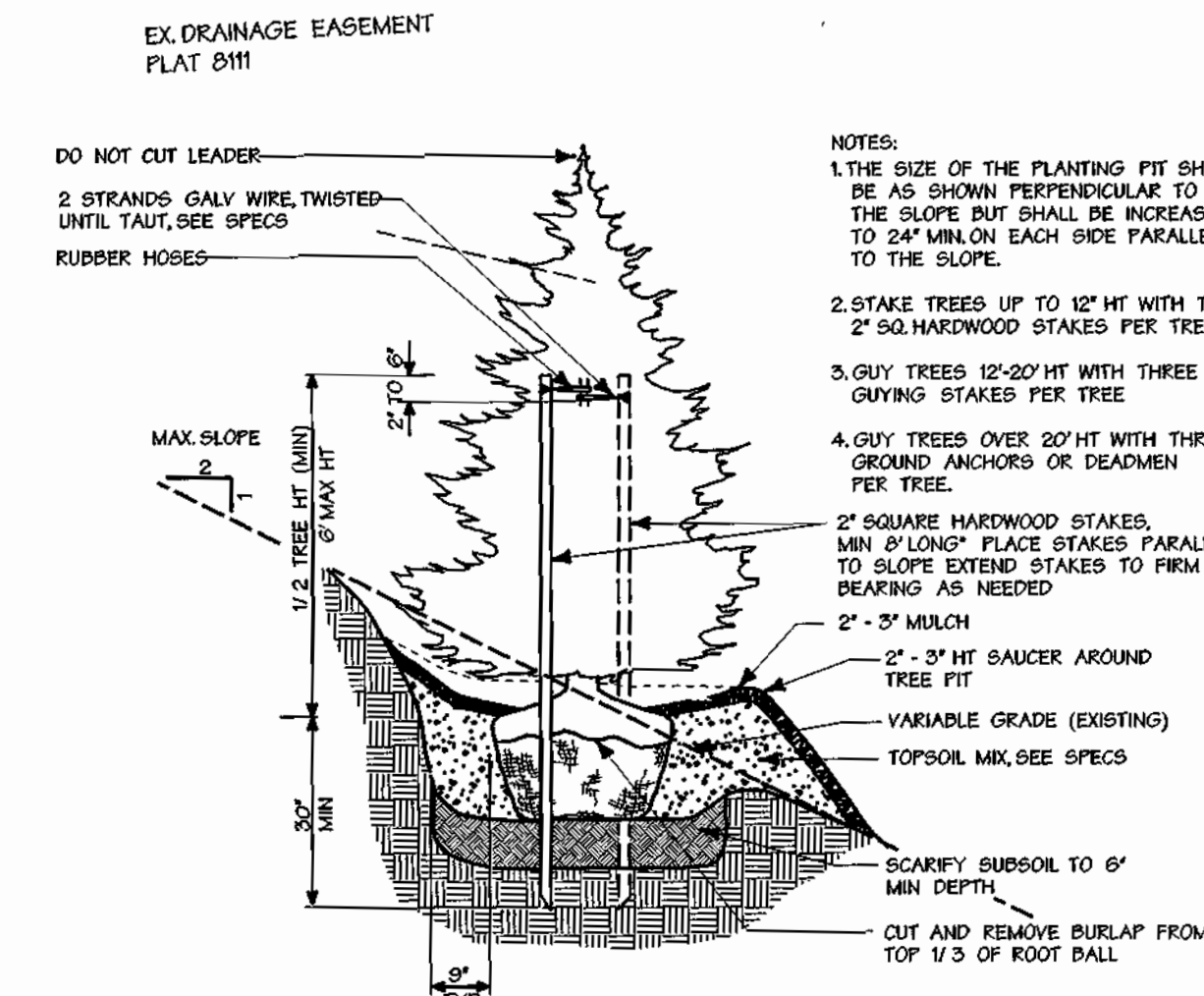
EVERGREEN TREE PLANTING
NOT TO SCALE



TREE PLANTING 2 1/2 - 3" CALIPER
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



EVERGREEN TREE PLANTING ON SLOPE
NOT TO SCALE

SCHEDULE A
PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT to ROADWAYS		ADJACENT to PERIMETER PROPERTIES				TOTAL
	P 1B		P 2	P 3A	P 3B	P 4	
LANDSCAPE TYPE "B"							
LINEAR FEET OF PERIMETER	55 LF.						
LANDSCAPE TYPE "C"							
LINEAR FEET OF PERIMETER			25 LF.	32 LF.	32 LF.	25 LF.	
LANDSCAPE TYPE "E"							
LINEAR FEET OF PERIMETER	50 LF.						
CREDIT FOR EXISTING VEGETATION (DESCRIBE BELOW IF NEEDED)	N/A	N/A	N/A	N/A	N/A	N/A	N/A
CREDIT FOR BERM (DESCRIBE BELOW IF NEEDED)	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NUMBER OF PLANTS REQUIRED							
SHADE TREES	1	1	1	1	1	1	4
EVERGREEN TREES	0	1	1	1	1	1	5
SHRUBS	15	0	0	0	0	0	15
NUMBER OF PLANTS PROVIDED							
SHADE TREES	1	1	0	0	0	0	2
EVERGREEN TREES	0	0	3	3	3	3	8
OTHER TREES (2:1 SUBSTITUTION)	3	2	0	0	0	0	5
SHRUBS (10:1 SUBSTITUTION)							
SHRUBS (10:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)							

* PERIMETER 1A,3 FLOWERING TREES ARE SUBSTITUTED FOR 13 SHRUBS
 PERIMETER 1B,1 FLOWERING TREE IS SUBSTITUTED FOR ONE EVERGREEN
 PERIMETER 2,4,2 EVERGREEN TREES ARE SUBSTITUTED FOR ONE SHADE, EACH PERIMETER
 PERIMETER 3A,3B,2 EVERGREEN TREES ARE SUBSTITUTED FOR 1 SHADE (EA PERIMETER)

General Planting Notes

- All plant material to meet A.A.N. Standards.
- Landscape Contractor to follow landscape specification guidelines for Baltimore Washington Metro area approved by LCAMW.
- No substitutions to be made without consent of Landscape Architect or Owner.
- All beds to be topped with three inches of hardwood mulch.
- Landscape Contractor to verify location of utilities with Owner before planting.
- Landscape Architect/Owner shall select, verify and/or approve all plant material. At Owner's discretion, specimen and other plant material will be selected.
- Landscape Contractor shall coordinate plant bed filling operations and plant material installation with General Contractor and Utilities Contractor. At the time of final inspection with acceptance, all electric, water, drainage, and fountain utilities, as well as all plant materials, shall remain undamaged. Likewise, Landscape Contractor and Utilities Contractor shall coordinate efforts to ensure that surface utilities are at the proper elevation relative to final grades.
- Contractor shall notify Miss Utility 72 hours prior to construction.
- The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Ho. Co. code per the new town alternative compliance method. Financial surety for the required landscaping in the amount of \$6,840.00 must be posted as part of the developer's agreement. (19 shade, 5 evergreen, 15 shrubs).
- Developer's/Builder's Certificate

We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County code and the Howard County Landscape Manual. We further certify that upon completion, a certification of landscape installation, accompanied by an executed one-year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

NAME: John Alamo DATE: 6/27/02
 AAK EINSTEIN LLC

SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	251
NUMBER OF TREES REQUIRED @ 1/20 PKG. SPACES	13
NUMBER OF TREES PROVIDED SHADE TREES OTHER TREES (2:1 SUBSTITUTION)	13
NUMBER OF ISLANDS REQUIRED @ 1 PER 20 PKG. SP.	13
NUMBER OF ISLANDS PROVIDED @ 1 PER 20 PKG. SP.	13

PLANT LIST

QTY	SYM	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
LARGE TREES				
28	FP	Fraxinus pennsylvanica 'Marshall's Seedless'	2 1/2" - 3" CAL. 12' - 14' HT.	B & B FULL HEAD
16	QC	Quercus cocinea SCARLET OAK	2 1/2" - 3" CAL. 12' - 14' HT.	B & B PRUNE UP TO 6' HT.
22	TT	Tilia tomentosa 'Green Mountain' GREEN MOUNTAIN LINDEN	2 1/2" - 3" CAL. 12' - 14' HT.	B & B FULL HEAD
EVERGREEN TREES				
16	FA	Picea abies NORWAY SPRUCE	6' - 8' HT.	B & B
42	PS	Pinus strobus AMERICAN WHITE PINE	6' - 8' HT.	B & B
FLOWERING TREES				
12	AL	Amelanchier laevis ALLEGHENY SERVICEBERRY	8' - 10' HT.	B & B
27	MS	Malus x 'Snowdrift' SNOWDRIFT CRABAPPLE	8' - 10' HT.	B & B
SHRUBS				
40	CD	Cotoneaster dammeri 'Royal Beauty' ROYAL BEAUTY COTONEASTER	18"-24" SP.	B & B
24	IM	Ilex x meserveae 'Blue Princess' BLUE PRINCESS HOLLY	3'-3 1/2' HT.	B & B 1 MALE
70	ND	Nandina domestica 'Firepower' FIREPOWER BAMBOO	15"-18" HT.	B & B
56	TB	Taxus baccata rependens DWARF SPREADING YEW	24"-30" SP.	B & B

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK 7/30/02
 CHIEF, DIVISION OF LAND DEVELOPMENT HB 7/30/02
 DIRECTOR J. S. G. S. 7/30/02

REV.	PLANT TOTALS
1	

Date No. Revision Description

Columbia Gateway

PARCEL 'S-30' OWNER/DEVELOPER
 AAK EINSTEIN LLC
 5880 WATERLOO ROAD
 SUITE 230
 COLUMBIA, MD, 21045
 410-992-6000

DMW

Daf - McCune - Walker, Inc.
 A Team of Land Planners,
 Landscape Architects,
 Engineers, Surveyors &
 Environmental Professionals
 200 East Pennsylvania Avenue
 Towson, Maryland 21286
 410 296 3333
 Fax 296 4705

SUBDIVISION NAME	SECTION AREA	LOT/TRACT
COLUMBIA GATEWAY	NA	PARCEL 'S-30'

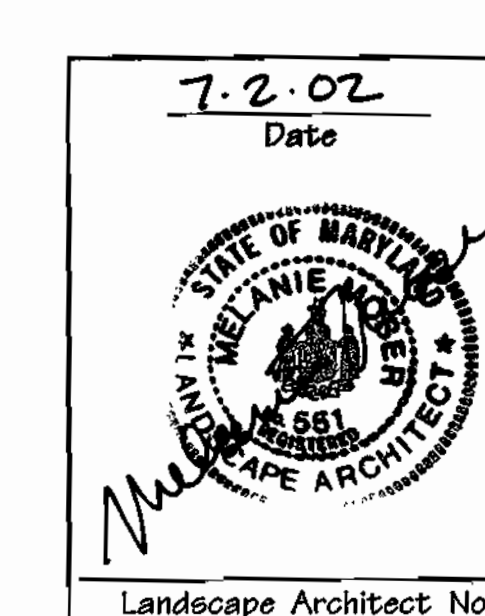
PLAT OR BLOCK #	ZONE	TAXONOMIC MAP	ELECT. DISTRICT	CORNER TRACT
15332	MI	43	6TH	EO65.02

WATER CODE	SEWER CODE
EO6	4900000

TITLE

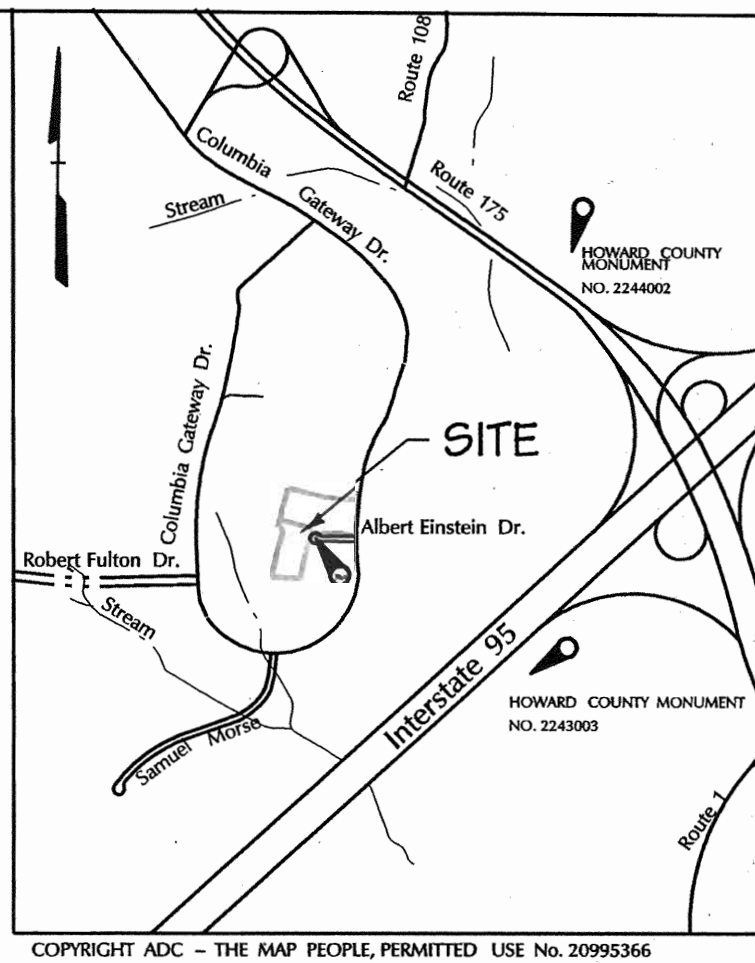
LANDSCAPE NOTES & DETAILS

Drn By: AJS	Scale: 1"=30'	Proj. No. 01095
Des By: MJP	Date: 7-03-02	11 of 11
Chk By:	Approved:	



SHEET INDEX	
SHEET	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
3	GRADING PLAN
4	STORM DRAIN PROFILES
5	WATER AND SEWER PROFILES
6	SEDIMENT EROSION CONTROL & DRAINAGE AREA MAP
7	SEDIMENT EROSION CONTROL NOTES
8	SEDIMENT EROSION CONTROL DETAILS
9	SITE DETAILS
10	LANDSCAPE PLAN
11	LANDSCAPE NOTES & DETAILS

Site Development Plan for Columbia Gateway Parcel S-30, in Columbia, Maryland



LOCATION MAP
SCALE: 1" = 2000'

BENCHMARKS

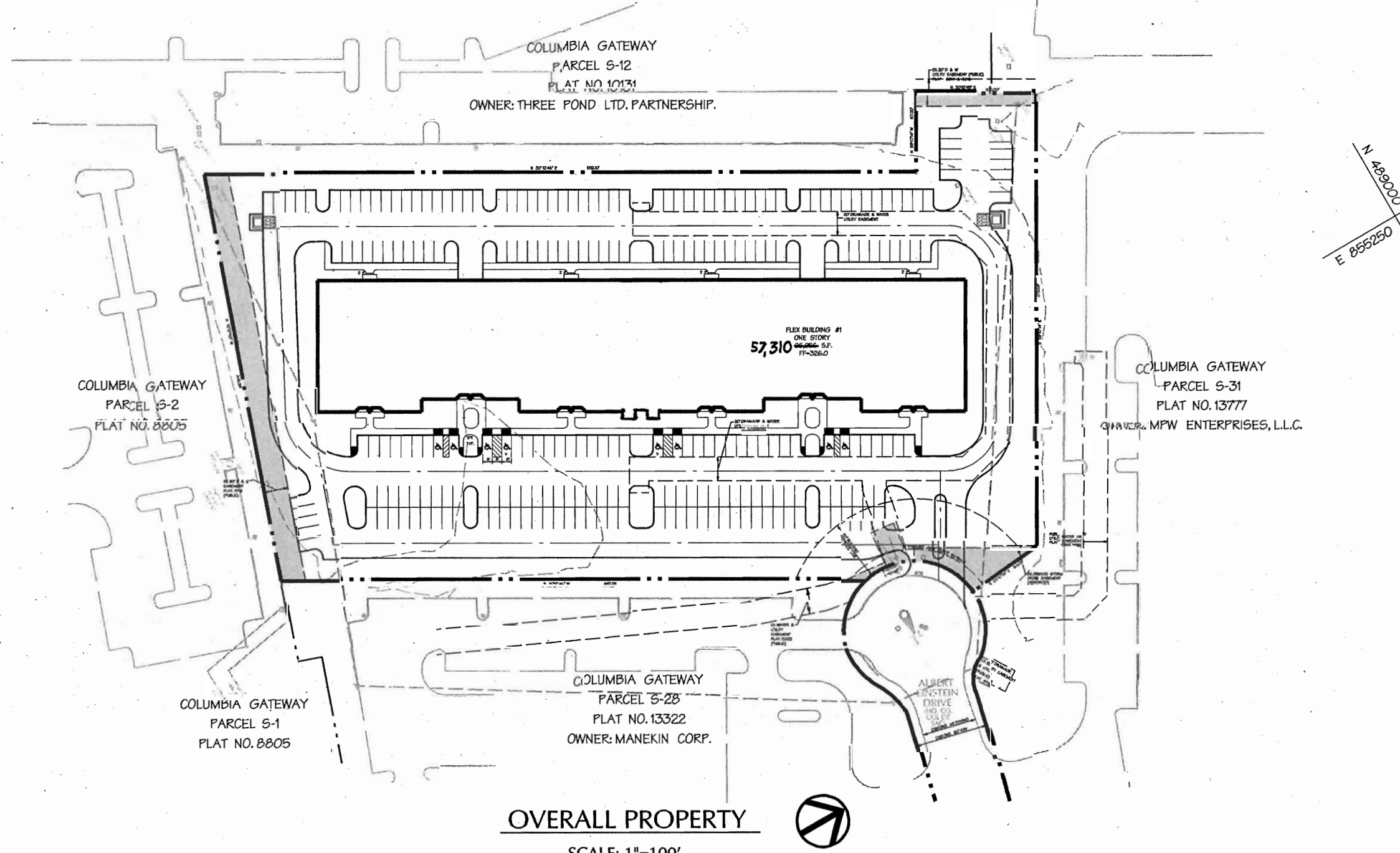
DESCRIPTION

- NO. 2244002 - HOWARD COUNTY MONUMENT
- NO. 2243003 - HOWARD COUNTY MONUMENT

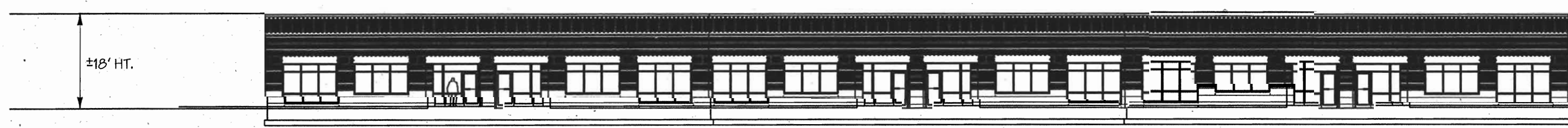
ADDRESS CHART	
BLDG. NUMBER	STREET ADDRESS
7035	ALBERT EINSTEIN DR. (Bldg. 1)

GENERAL NOTES

1. All construction shall be performed in accordance with the latest standards and specifications of Howard County, plus MSHA standards and specifications if applicable or as specified.
2. Approximate location of existing utilities are based solely on available records. Contractor shall verify the location of any utilities which may be impacted by the work. The contractor shall take all necessary precautions to protect the existing utilities and maintain uninterrupted service. Any damage incurred due to contractor's operation shall be repaired immediately at the contractor's expense.
3. The contractor shall test pit existing utilities at least five (5) days before starting work shown on these drawings to verify their location and elevation. The contractor shall notify the engineer immediately if location of utilities is other than shown.
4. The contractor shall notify 'Miss Utility' at 1-800-257-7777 at least 48 hours prior to any excavation work being done, and shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
5. Any damage caused by the Contractor to existing public right-of-way, existing paving, existing curb and gutter, existing utilities, etc. shall be repaired at the Contractor's expense.
6. Topography per field survey by DMW Inc. dated October 19, 2000. Boundary per Record Plat 13777.
7. Public water and sewer provided by contract No. S24-3039-D, 24-3714-D
8. All fill areas shall be compacted to a minimum of 95% of the maximum dry density as determined and verified in accordance with AASHTO T-180 - standard.
9. Regional stormwater management and water quality are provided in a retention facility located on Parcel S1 per GP-87-36, F-87-63, F-87-125
10. There are no wetlands, floodplains, or streams, on this site.
11. There are no steep slopes located on this site.
12. Operating existing valves, switches, services or start up of new services shall be coordinated with the owners representative.
13. The building will be provided with a sprinkler system.
14. Trench compaction for storm drains shall be in accordance with Howard County Design Manual IV, Std. No. G-2.01.
15. Unless otherwise noted, dimensions from curb are measured at face of curb.
16. Refer to architectural drawings for building dimensions.
17. The Contractor shall coordinate the location of all water, sewer, and drain house connections with the mechanical drawings.
18. The Contractor shall maintain 2.0 feet minimum cover over all utilities during construction.
19. Unless otherwise noted, all utility connections shall be capped or plugged five feet from buildings.
20. Electric, telephone, gas, cable, lighting, and retaining walls to be designed by others. Where those facilities are shown, they are for coordination purposes only.
21. All Spot Elevations are to the bottom face of curb unless otherwise noted
22. There are no known cemeteries or burial grounds on this site. However, upon discovery of any evidence of burial or graves, the developer will be subject to Section 16.1305 of the Howard County Subdivision and Land Development Regulations.
23. All exterior lighting fixtures shall be installed in compliance with Section 134 of the Zoning Regulations.
24. No clearing, grading, or construction is permitted within the required wetlands, streams, or their buffers and forest conservation easement areas.
25. Boundary information shown hereon is based upon information obtained from available records only. It does not, therefore, reflect the results of a boundary survey.
26. This project is exempt from the forest conservation requirements per Section 16.1202(b)(1)(v) of the Howard County Code because it is part of a planned business park with preliminary plan approval prior to 12/31/92
27. All curb radii are 5' unless otherwise noted.
28. This plan is subject to the Fifth Edition of the Subdivision Regulation and the new Zoning Regulation, as amended by Council Bill 50-2001.



OVERALL PROPERTY
SCALE: 1"=100'



Typical Building Elevation
Not to Scale

SITE ANALYSIS DATA CHART

1. General Site Data
 - a. Present Zoning: M-1 per the 1993 comp. Zoning Plan
 - b. Applicable DPZ File References: F-87-63, F-87-125, F-86-182, F-90-138, GP-87-36, F-87-125, F-99-36, F-98-131, F-99-197
 - c. Proposed Use of Site or Structure(s): Industrial Hybrid Office / Flex Building
 - d. Proposed Water and Sewer Systems: Public Private
2. Area Tabulation
 - a. Total Project Area: 5.2± Acres
 - b. Area of This Plan Submission: 5.2± Acres
 - c. Limit of Disturbed Area: 5.2± Acres
 - d. Building Coverage of Site: 124± Acres and 23.8% of Gross Area (Proposed)
3. Building Area
 - a. Total Building Area: 57,310 S.F.
Building 1: 57,310 S.F.
 - b. Building Coverage: 23.8 %
4. Parking Space Data
 - a. Number of Parking Spaces Required by Zoning Regulations and Criteria: 143 sp. (2.5 sp/1000 s.f.)
 - b. Total Number of Parking Spaces Provided On-Site: 251 (4.5 sp/1000 s.f.)
117 (8.5 x 18' spaces)
134 (9' x 18' spaces) (36% of Required spaces)
8 spaces (included in pka. sp. provided)
 - c. Number of Handicapped Parking Spaces Provided: 8

DATA SOURCES:
TOPOGRAPHY PER DMW FIELD SURVEY DATED OCTOBER 19, 2001.
BOUNDARY PER RECORDED PLAT 13777.
ALL UTILITIES SHOWN HEREON ARE BASED SOLELY ON FIELD LOCATION. THE LOCATION OF ANY UNDERGROUND UTILITY SHOWN HEREON IS APPROXIMATE AND MUST BE VERIFIED.

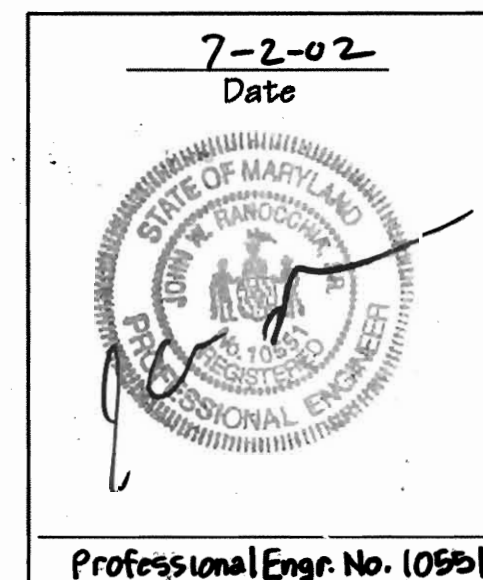
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>[Signature]</i> CHIEF DEVELOPMENT ENGINEER DIVISION MK	7/26/02 DATE
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT HB	7/29/02 DATE
<i>[Signature]</i> DIRECTOR	7/30/02 DATE
3-31-04	CONNECT BLDGS. 1 & 2
Date	No. Revision Description

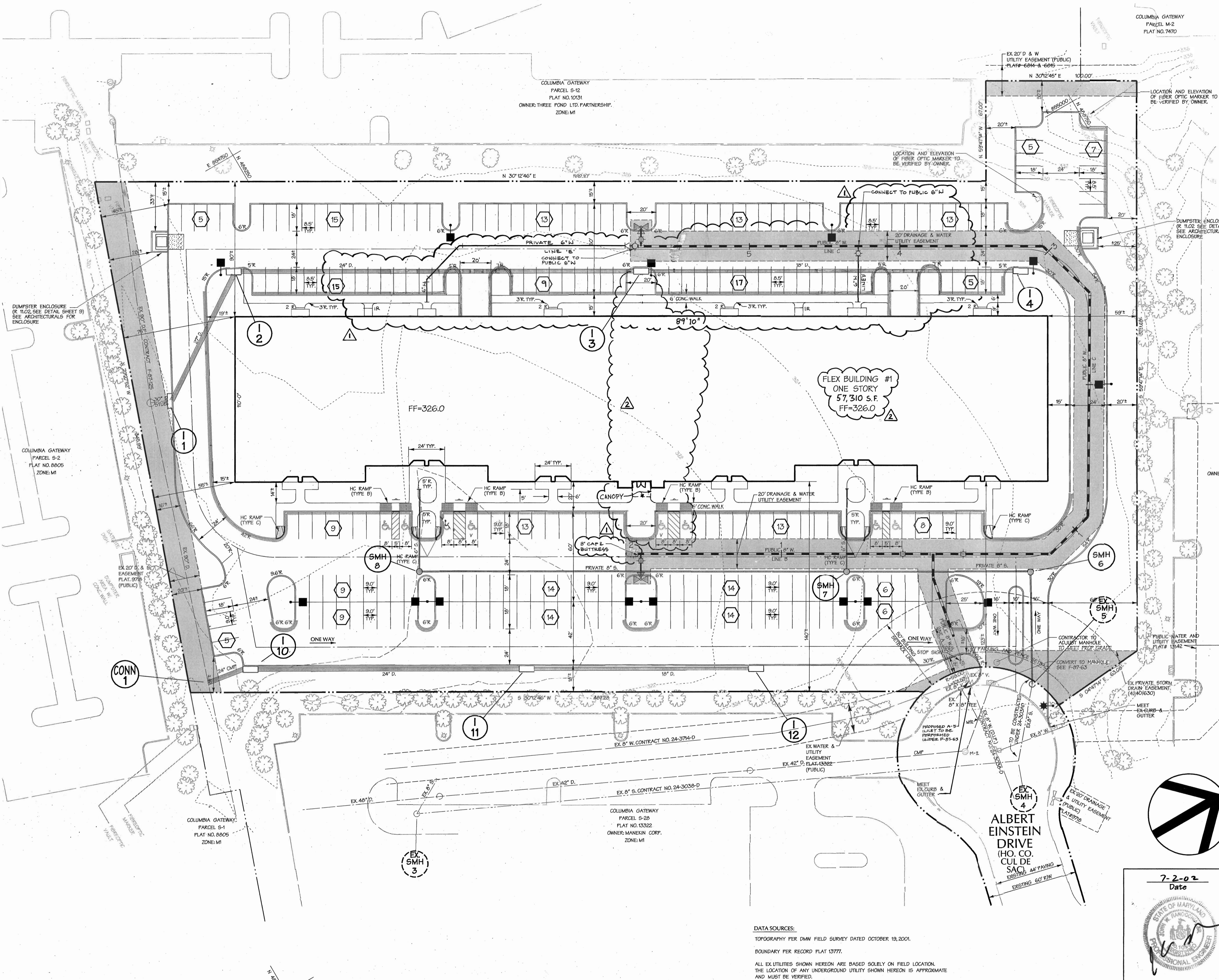
Columbia Gateway	
PARCEL 'S-30'	OWNER/DEVELOPER AAK EINSTEIN LLC 5850 WATERLOO ROAD SUITE 230 COLUMBIA, MD, 21045 410-892-6000

DMW
Daft · McCune · Walker, Inc.
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals
200 East Pennsylvania Avenue
Towson, Maryland 21286
410 296 3333
Fax 296 4705

SUBDIVISION NAME COLUMBIA GATEWAY	SECTION/AREA NA	LOT/PARCEL # PARCEL 'S-30'
PLAT # 1532	ZONE MI	TAXING MAP 61H
WATER CODE E06	SEWER CODE 4900000	GENUS TRACT 6065.02

COVER SHEET		
Drn By: AJS	Scale: 1"=100'	Proj. No. 01095
Des By: MJP	Date: 7-03-02	1 of 11
Chk By:	Approved:	





Legend

- SYMBOL DESCRIPTION
- BRL BUILDING RESTRICTION LINE
- 14 PARKING COUNT
- ♿ VAN HANDICAPPED PARKING
- ♿ HANDICAPPED PARKING
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOURS
- SERVICE PAD & DUMPSTER BIN
- ↔ REVERSE CURB & GUTTER
- ↔ DEPRESSED CURB
- ↔ STANDARD CURB & GUTTER
- 1 4 STORM DRAIN STRUCTURE LABEL
- EXISTING SEWER
- EXISTING STORM DRAIN
- EXISTING WATER
- 15" S.D. PROPOSED STORM DRAIN
- 8" S. PROPOSED SEWER
- 8" W. PROPOSED WATER
- PROPOSED LIGHTING
- ★ 250 WATT LIGHT ON 30' BRONZE FIBERGLASS POLE (12' ARM)

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Michael J. K... 7/26/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MKC DATE

Cindy H... 7/29/02
 CHIEF, DIVISION OF LAND DEVELOPMENT HB DATE

James S. R... 7/30/02
 DIRECTOR DATE

5-21-03	1	REVISE LOADING AREA, PARKING AND WATER SERVICE (PVT)
3-31-04	2	CONNECT BLDGS. 1 & 2

Date No. Revision Description

Columbia Gateway

PARCEL 'S-30' OWNER/DEVELOPER
 AAK EISEN LLC
 5850 WATERLOO ROAD
 SUITE 220
 COLUMBIA, MD, 21045
 410-992-6000

DMW
 Daft · McCune · Walker, Inc.
 A Team of Land Planners, 200 East Pennsylvania Avenue
 Landscape Architects, Towson, Maryland 21286
 Engineers, Surveyors & 410 296 3333
 Environmental Professionals Fax 296 4702

SUBDIVISION NAME	COLUMBIA GATEWAY	SECTION AREA	NA	DATE	7/26/02
PLAT OR LOT	1582	ZONE	M1	ELC. DISTRICT	6TH
WATER CODE	E06	FEWER CODE	4900000	CENSUS TRACT	6065.02

SITE PLAN

Drn By: ADL, AJB Scale: 1"=30' Proj. No. 01095
 Des By: MJP Date: 7-03-02
 Chk By: Approved: 2 of 11

7-2-02
 Date

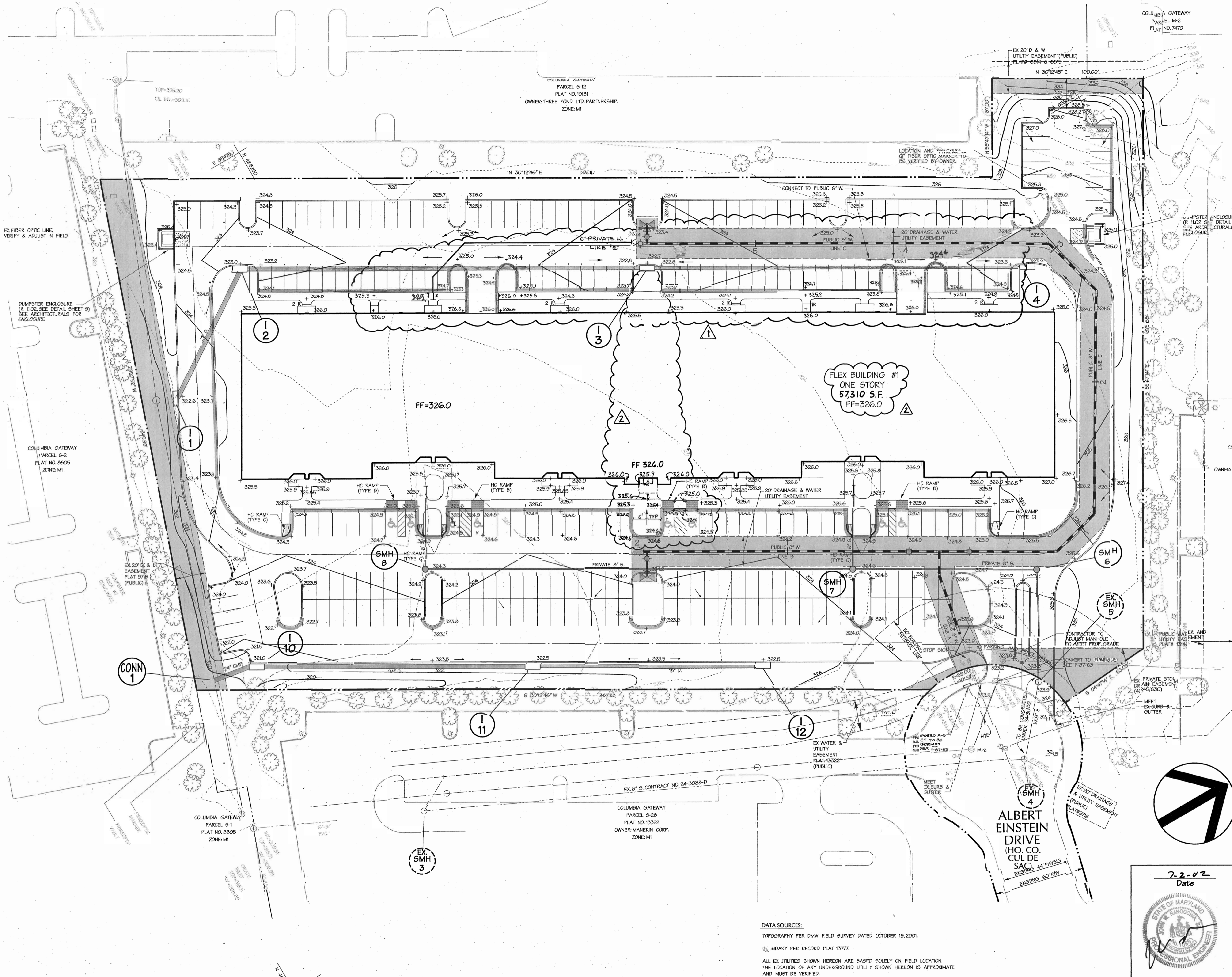


Professional Engr. No. 10551

DATA SOURCES:
 TOPOGRAPHY PER DMW FIELD SURVEY DATED OCTOBER 19, 2001.
 BOUNDARY PER RECORD PLAT 13777.
 ALL EX UTILITIES SHOWN HEREON ARE BASED SOLELY ON FIELD LOCATION.
 THE LOCATION OF ANY UNDERGROUND UTILITY SHOWN HEREON IS APPROXIMATE
 AND MUST BE VERIFIED.

Legend

- | SYMBOL | DESCRIPTION |
|--------|-------------------------------|
| --- | BRL BUILDING RESTRICTION LINE |
| ○ | PARKING COUNT |
| ♿ | VAN HANDICAPPED PARKING |
| ♿ | HANDICAPPED PARKING |
| --- | EXISTING 1' CONTOUR |
| --- | EXISTING 2' CONTOURS |
| □ | SERVICE PAD & DUMPSTER BIN |
| ↔ | REVERSE CURB & GUTTER |
| ↔ | DEPRESSED CURB |
| ↔ | STANDARD CURB & GUTTER |
| --- | STORM DRAIN STRUCTURE LABEL |
| --- | EXISTING SEWER |
| --- | EXISTING STORM DRAIN |
| --- | EXISTING WATER |
| --- | PROPOSED STORM DRAIN |
| --- | PROPOSED SEWER |
| --- | PROPOSED WATER |



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Michael J. ... 7/26/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MJK

... 7/29/02
 CHIEF, DIVISION OF PERMITS & DEVELOPMENT HB

... 7/30/02
 DIRECTOR

Date	No.	Revision Description
5-29-03	1	REV. LOADING, PARKING, GRADING, & ENTRANCES TO BLDG. REV. WATER.
3-31-04	2	CONNECT BLDGS. 1 & 2

Columbia Gateway

PARCEL 'S-30' OWNER/DEVELOPER
 AAK EINSTEIN LLC
 5850 WATERLOO ROAD
 SUITE 230
 COLUMBIA, MD, 21045
 410-982-6000

DMW
 Daft · McCune · Walker, Inc.
 A Team of Land Planners, 300 East Pennsylvania Avenue
 Landscape Architects, Towson, Maryland 21286
 Engineers, Surveyors & 410 296 3333
 Environmental Professionals Fax 296 4705

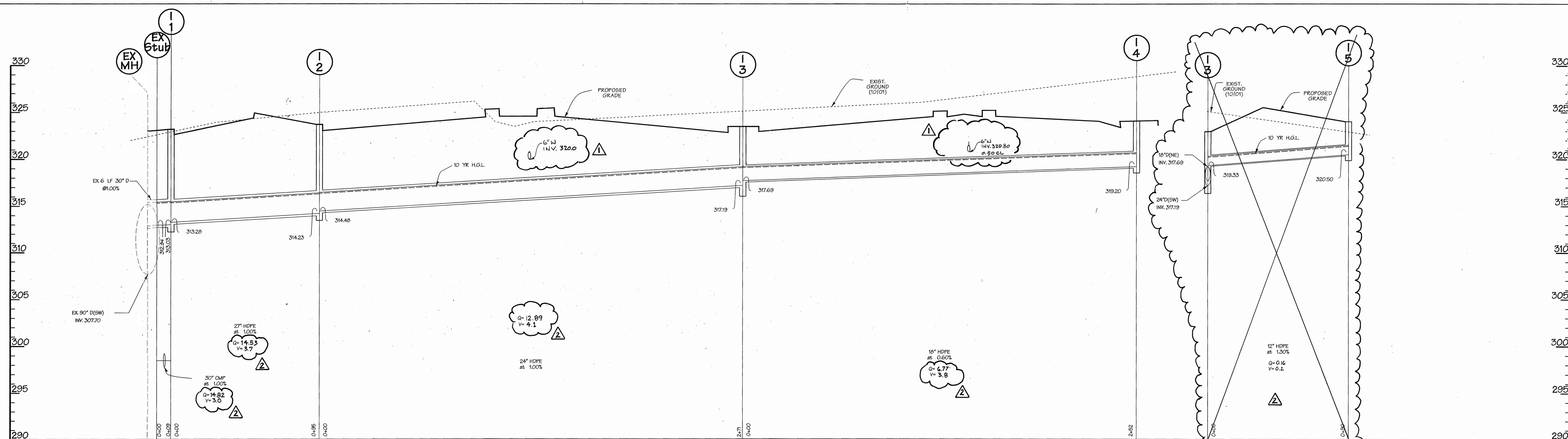
SUBDIVISION NAME	COLUMBIA GATEWAY	SECTION/AREA	NA	DATE	7-2-02
PLAT NO. OF L.P. BLOCK	15332	ZONE	M1	PARCEL #	PARCEL 'S-30'
WATER CODE	EOB	SEWER CODE	4800000	GEN. TRACT	6085.02

GRADING PLAN

Drn By: ADL Scale: 1"=30' Proj. No. 0109E
 Des By: MJF Date: 7-03-02
 Chk By: Approved: 3 of 11



DATA SOURCES:
 TOPOGRAPHY PER DMW FIELD SURVEY DATED OCTOBER 19, 2001.
 BOUNDARY PER RECORD PLAT 13777.
 ALL EX UTILITIES SHOWN HEREON ARE BASED SOLELY ON FIELD LOCATION.
 THE LOCATION OF ANY UNDERGROUND UTILITY SHOWN HEREON IS APPROXIMATE
 AND MUST BE VERIFIED.



STORM DRAIN PROFILE

SCALE: HORIZ. 1"=30'
VERT. 1"=5'

INLET SCHEDULE

NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-1	A-10	313.28	313.03	323.1	HO CO STD. SD 4.01
I-2	A-10	314.48	314.23	323.5	HO CO STD. SD 4.02
I-3	A-10	317.69	317.19	323.2	HO CO STD. SD 4.02
I-4	A-10		319.20	323.7	HO CO STD. SD 4.02
I-5	Y Inlet D-2 ft		320.50	324.0	HO CO STD. SD 4.14
I-10	A-10	312.54	305.54	321.5	HO CO STD. SD 4.02
I-11	A-10	314.88	313.38	323.0	HO CO STD. SD 4.02
I-12	A-10	316.65	316.40	323.0	HO CO STD. SD 4.02

PIPE SCHEDULE

SIZE (IN)	TYPE	L (FT)
12	HDPE	90
18	HDPE	404
24	HDPE	485
27	HDPE	95
30	HDPE	9

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MKK 7/26/02
 CHIEF, DIVISION OF LAND DEVELOPMENT 7/27/02
 DIRECTOR 7/30/02

Date	No.	Revision Description
5-29-03	1	REV. WATER LOCATIONS ON SD PROFILE
3-31-04	2	DELETE I-5 & SD TO I-3

Date No. Revision Description

Columbia Gateway

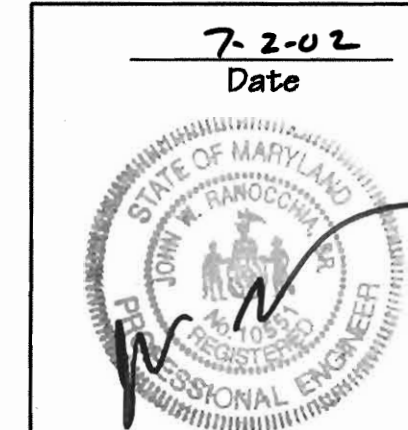
PARCEL 'S-30' OWNER/DEVELOPER
 AAK EINSTEIN LLC
 5850 WATERLOO ROAD
 SUITE 230
 COLUMBIA MD, 21045
 410-992-6000

DMW
 Daft - McCune - Walker, Inc.
 A Team of Land Planners,
 Landscape Architects,
 Engineers, Surveyors &
 Environmental Professionals
 200 East Pennsylvania Avenue
 Towson, Maryland 21286
 410 286 3333
 Fax 286 4705

SUBDIVISION NAME COLUMBIA GATEWAY	SECTION AREA NA	DATE 7-2-02
PLAT OF L&P BLOCK # 15832	ZONE MI	TAXZONE MAP 43
WATER CODE E06	SEWER CODE 4900000	PARCEL 'S-30' 6066.02

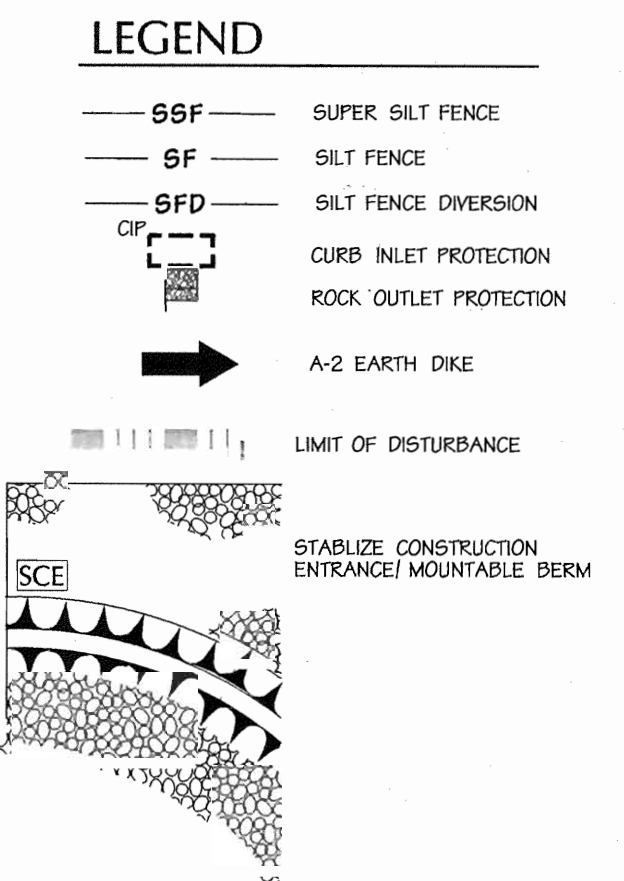
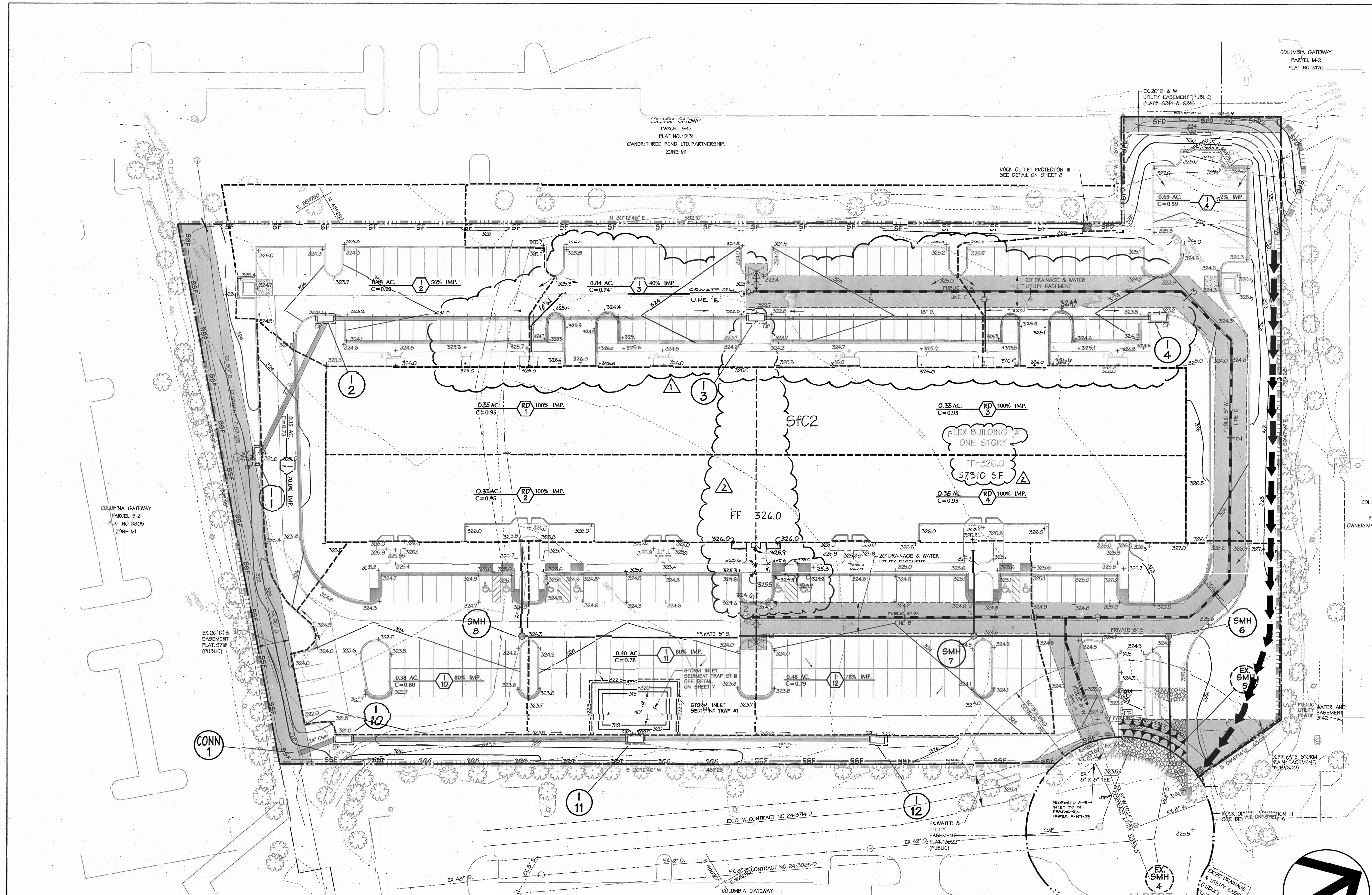
TITLE
STORM DRAIN PROFILES

Drn By: ADLL Scale: 1"=30' Proj. No. 01095
 Des By: LL Date: 7-02-02
 Chk By: Approved: 4 of 11



Professional Engr. No. 10551

SDP-02-63



THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

John M. Ranocchia, S.E.
 7/2/02
 DATE

APPROVED: *John M. Ranocchia, S.E.*
 7/2/02
 DATE

PLAN NUMBER

CERTIFICATION BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

John M. Ranocchia, S.E.
 7-2-02
 DATE

CERTIFICATION BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

John M. Ranocchia, S.E.
 6/27/02
 DATE

STORM INLET SEDIMENT TRAP #1

DRAINAGE AREA	0.76 AC
STORAGE VOLUME REQUIRED	2736 C.F.
STORAGE VOLUME PROVIDED	1400 C.F. @ 320.2 (WET)
	1400 C.F. @ 322.5 (DRY)
WEIR ELEVATION	322.5
BOTTOM ELEVATION	319.00
CLEANSOUT ELEVATION	320.1
SIZE (DIAMETER)	24"
BOTTOM DIMENSIONS	20' X 40'
DEPTH	3.5'
DRAWN DOWN DEVICE INVERT	320.2

DATA SOURCES:

TOPOGRAPHY PER DMW FIELD SURVEY DATED OCTOBER 19, 2001.
 BOUNDARY PER RECORD PLAT 13777.

ALL UTILITIES SHOWN HEREON ARE BASED SOLELY ON FIELD LOCATION. THE LOCATION OF ANY UNDERGROUND UTILITY SHOWN HEREON IS APPROXIMATE AND MUST BE VERIFIED.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

7/2/02	DATE
7/2/02	DATE
7/30/02	DATE

5-29-03	1	REV. LOADING, PARKING, GRADING & WATER
3-31-04	2	CONNECT BLDGS. 1 & 2

Date No. Revision Description

Columbia Gateway

PARCEL 'S-30'

OWNER/DEVELOPER
 AAK EINSTEIN LLC
 5050 WATERLOO ROAD
 SUITE 250
 COLUMBIA, MD, 21045
 410-982-6000

DMW
 Daft - McCune - Walker, Inc.
 A Team of Land Planners,
 Landscape Architects,
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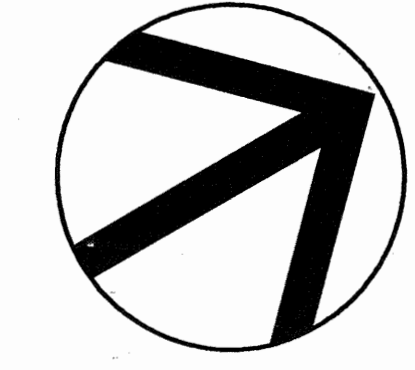
200 East Pennsylvania Avenue
 Towson, Maryland 21286
 410 286 3333
 Fax 286 4706

PROJECT NAME	COLUMBIA GATEWAY	SECTION AREA	NA	LOT/PARCEL #	PARCEL 'S-30'
PLAT NO. OF RECORD	15332	TAXASSESS. MAP	43	ELECT. DISTRICT	611H
WATER CODE	ED6	SEWER CODE	4800000	SHADE TRAIL	6065.02

TITLE: **SEDIMENT EROSION CONTROL & DRAINAGE AREA MAP**

Drn By:	ADL	Scale:	1"=30'	Proj. No.	01095
Des By:	RBW	Date:	7-03-02		
Chk By:		Approved:			6 of 11

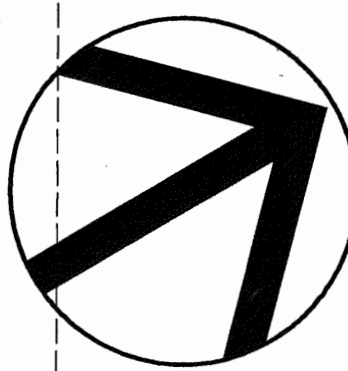
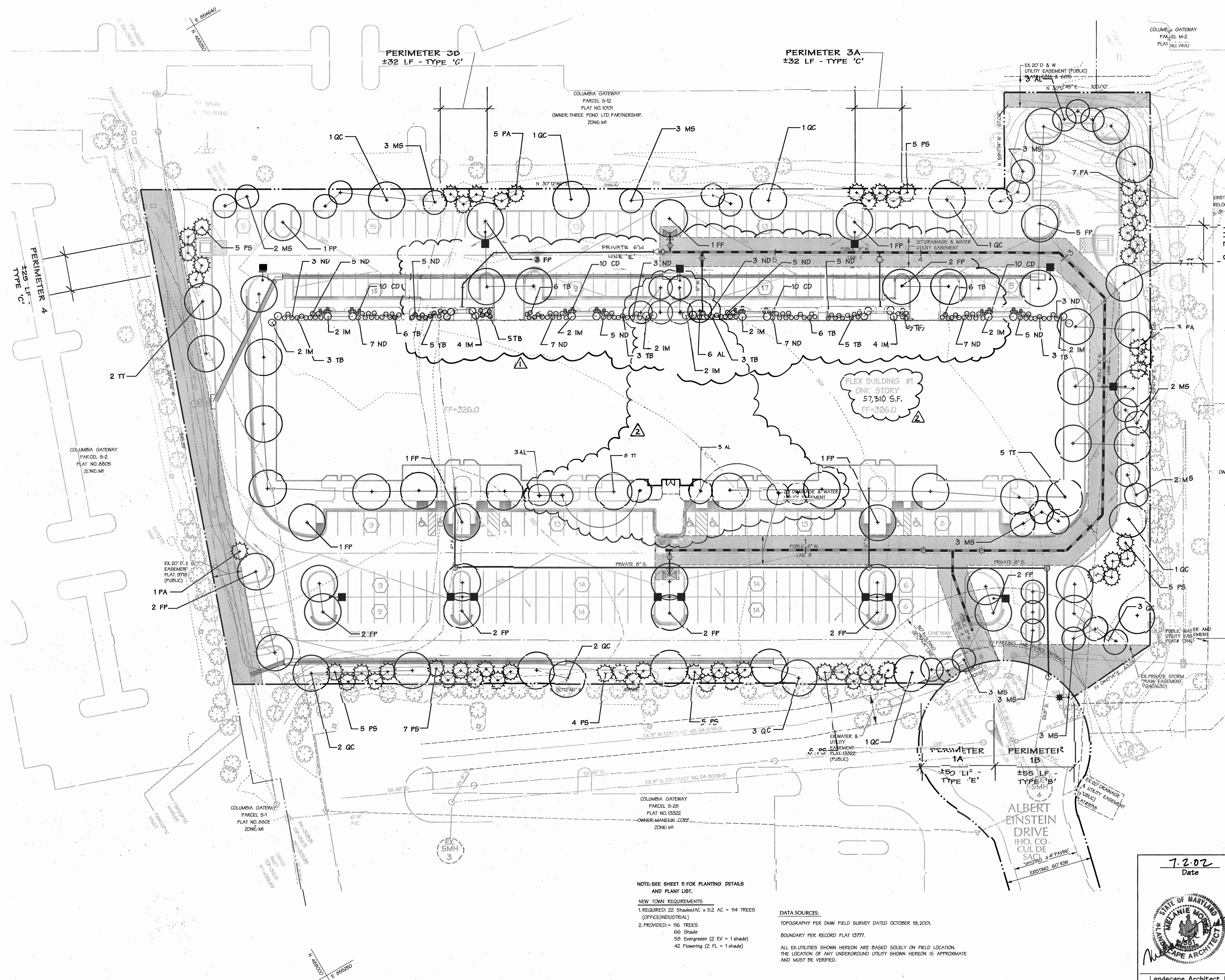
Professional Engr. No. 10551



7-2-02
 Date

Legend

SYMBOL	DESCRIPTION
(Symbol)	BRL BUILDING RESTRICTION LINE
(Symbol)	PARKING COUNT
(Symbol)	VAN HANDICAPPED PARKING
(Symbol)	HANDICAPPED PARKING
(Symbol)	EXISTING 10' CONTOUR
(Symbol)	EXISTING 2' CONTOURS
(Symbol)	SERVICE PAD & DUMPSTER BIN
(Symbol)	REVERSE CURB & GUTTER
(Symbol)	DEPRESSED CURB
(Symbol)	STANDARD CURB & GUTTER
(Symbol)	EXISTING SEWER
(Symbol)	EXISTING STORM DRAIN
(Symbol)	EXISTING WATER
(Symbol)	PROPOSED STORM DRAIN
(Symbol)	PROPOSED SEWER
(Symbol)	PROPOSED WATER
(Symbol)	PROPOSED LIGHTING
(Symbol)	PROPOSED EVERGREEN TREE
(Symbol)	PROPOSED ORNAMENTAL TREE
(Symbol)	PROPOSED OVERSTORY/SHADE TREE
(Symbol)	250 WATT LIGHT ON 30' BRONZE FIBERGLASS POLE (12' ARM)



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Howard County
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Andy Hamilton
CHIEF, DIVISION OF LAND DEVELOPMENT

John P. Roth
DIRECTOR

7/2/02
DATE

7/2/02
DATE

7/2/02
DATE

Date	No.	Revision Description
5-29-03	1	REV. LOADING LOCATION, WALK LOC. & ASSOC. LANDSCAPING
3-31-04	2	CONNECT BLDGS 1 & 2 & REVISE ASSOC. LANDSCAPING

Columbia Gateway

PARCEL 'S-30'

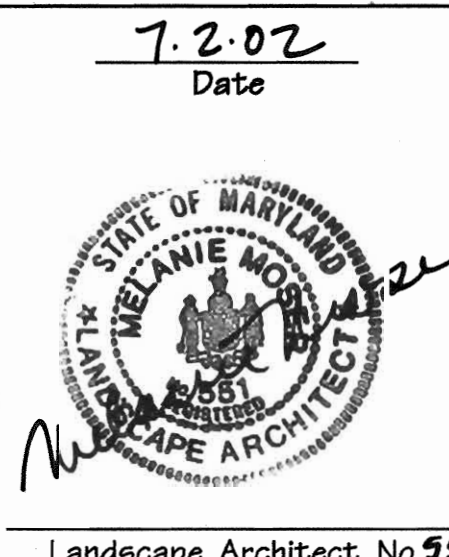
OWNER/DEVELOPER
AAK EINHORN LLC
5850 WATERLOO ROAD
SUITE 230
COLUMBIA, MD, 21045
410-992-6000

DMW
Daft McCune Walker, Inc.
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

200 East Pennsylvania Avenue
Towson, Maryland 21286
410 296 3333
Fax 296 4705

SUBDIVISION NAME COLUMBIA GATEWAY	DISTRICT AREA NA	LOT/PARCEL # PARCEL 'S-30'
PLAT NO. & DATE 15332 7 MI	TAXZONE MAP # 43	ELECT. DISTRICT 6TH
WATER CODE EDG	SEWER CODE 4800000	CENSUS TRACT 6065.02

LANDSCAPE PLAN			
Drn By: AJS	Scale: 1"=30'	Proj. No. 01095	
Des By: MJP	Date: 7-03-02		
Chk By:	Approved:		10 of 11



NOTE: SEE SHEET 11 FOR PLANTING DETAILS AND PLANT LIST.

NEW TOWN REQUIREMENTS

1. REQUIRED: 22 Shade/AC x 5.2 AC = 114 TREES (OFFICE/INDUSTRIAL)

2. PROVIDED: = 116 TREES
66 Shade
50 Evergreen (2 EV = 1 shade)
42 Flowering (2 FL = 1 shade)

DATA SOURCES:
TOPOGRAPHY PER DMW FIELD SURVEY DATED OCTOBER 19, 2001.
BOUNDARY PER RECORD PLAT 13777.

ALL EX UTILITIES SHOWN HEREON ARE BASED SOLELY ON FIELD LOCATION. THE LOCATION OF ANY UNDERGROUND UTILITY SHOWN HEREON IS APPROXIMATE AND MUST BE VERIFIED.