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14	RETAINING WALL PROFILES, NOTES AND DETAILS

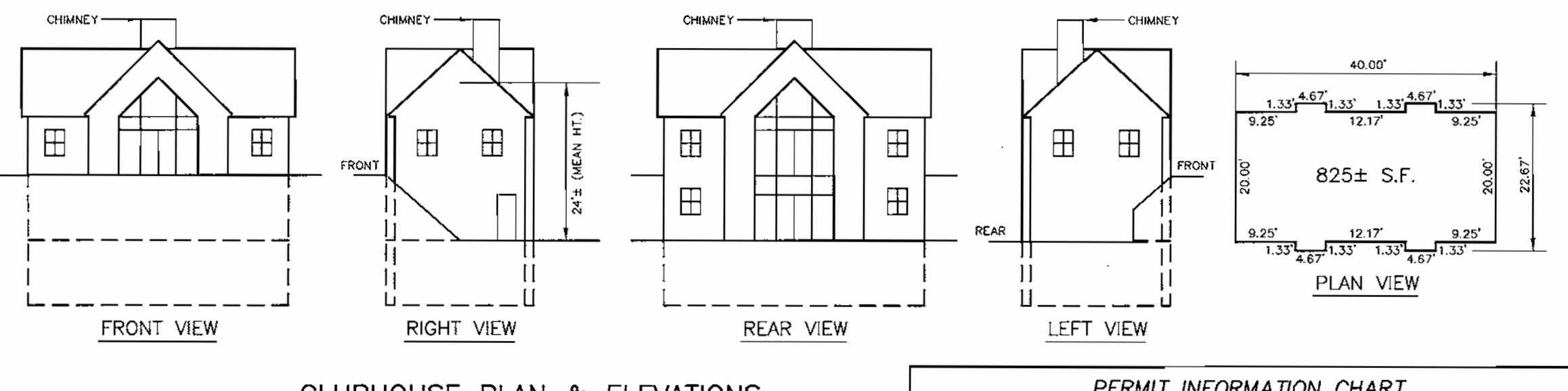
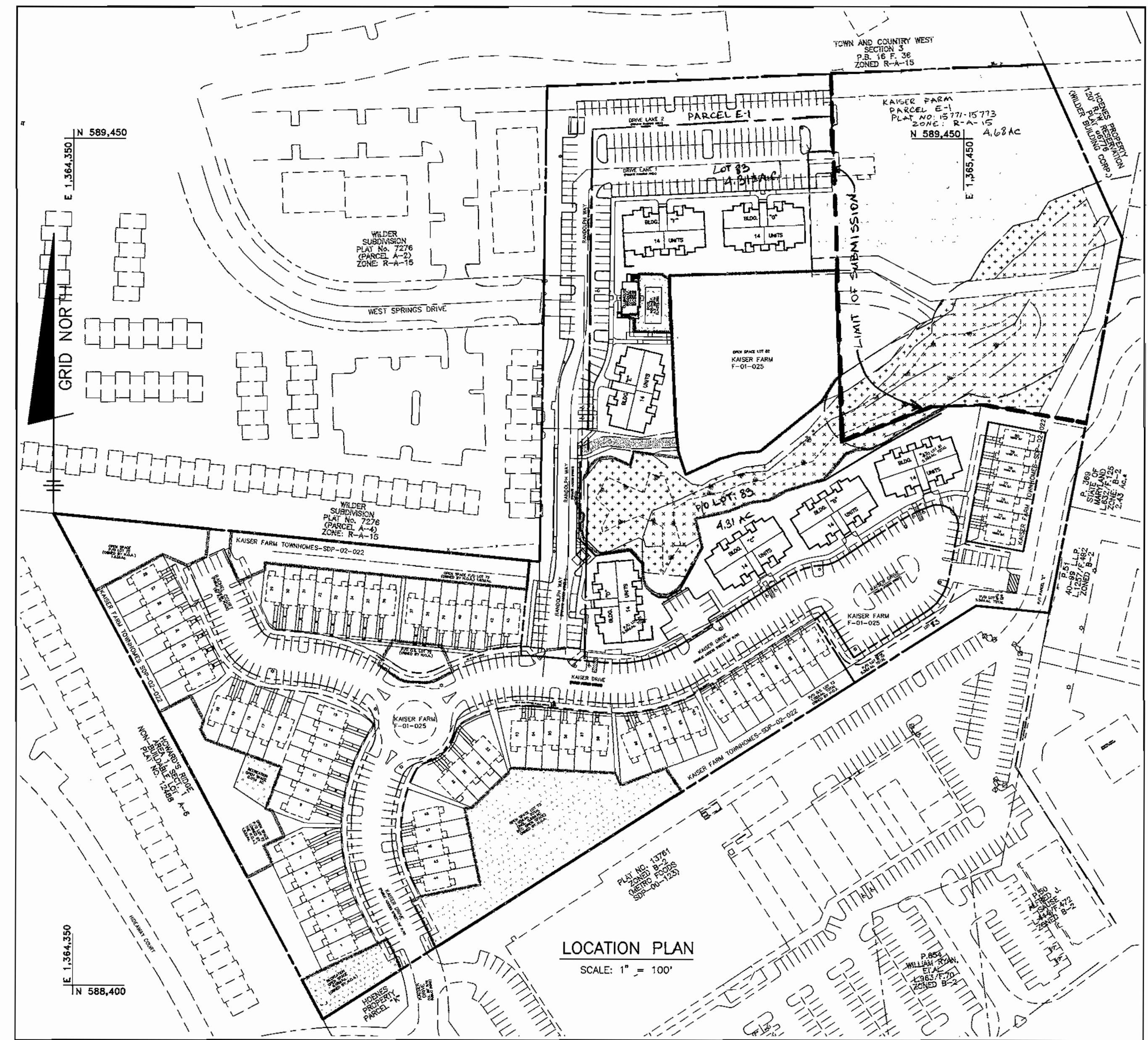
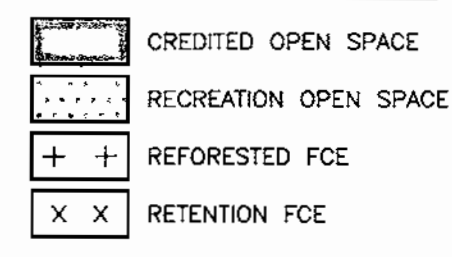
ADDRESS CHART	
LOT NO.	STREET ADDRESS
A	3295 KAISER DRIVE
B	3285 KAISER DRIVE
C	3275 KAISER DRIVE
D	8100 RANDOLPH WAY
E	8110 RANDOLPH WAY
F	8120 RANDOLPH WAY
G	8130 RANDOLPH WAY
H	8140 RANDOLPH WAY

KAISER FARM APARTMENTS

2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN

LOCATION PLAN - KEY



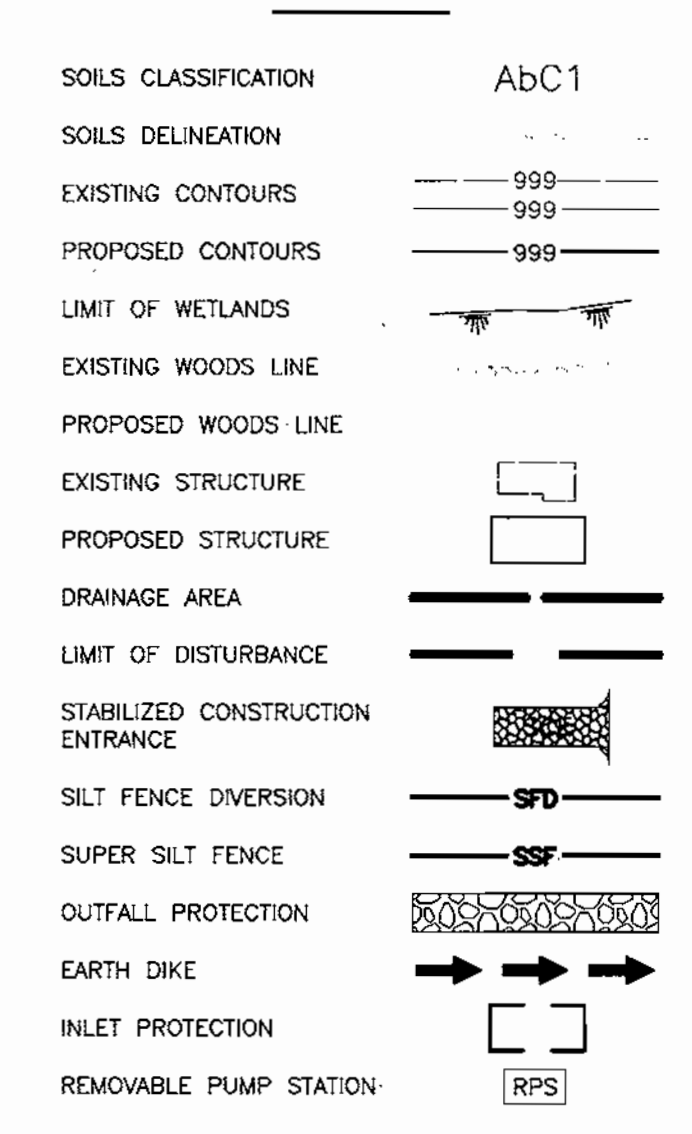
GENERAL NOTES

- THE SUBJECT PROPERTY IS ZONED R-A-15 PER THE 1993 COMPREHENSIVE ZONING PLAN.
- FOREST CONSERVATION OBLIGATIONS HAVE BEEN FULFILLED BY OFFSITE PLANTINGS (RIDGE VIEW HUNT, TAX MAP 14, PARCEL 14, PRESERVATION PARCEL B AS PREVIOUSLY INDICATED UNDER F-97-02. THIS OFFSITE AREA HAS BEEN BONDED AND IS PART OF THE DEVELOPER'S AGREEMENT FOR F-98-12 AND SDP-98-129) AND BY ON-SITE RETENTION AND REFORESTATION AREAS PROVIDED UNDER F-01-25.
- FOREST STAND DELINEATION PLAN WAS PREVIOUSLY APPROVED UNDER S-95-01a FOR PHASE 1 AND A FOREST STAND DELINEATION PLAN FOR PHASE 2 WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. DATED AUGUST 1999 AND APPROVED UNDER SP-00-03.
- WETLAND REPORT WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. DATED MARCH 1995 AND APPROVED UNDER S-95-01a AND WETLAND REPORT FOR PARCEL A-1 WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. DATED MAY 1999.
- NO GRADING SHALL OCCUR WITHIN WETLANDS, WETLANDS BUFFERS, STREAMS, STREAM BUFFERS, OR STEEP SLOPES LOCATED ON THIS SITE, EXCEPT AS APPROVED AS PART OF THIS SUBMISSION OR BY APPROVED WAIVERS.
- ALL LANDSCAPING REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL AND SECTION 16.124(b)(3)(i) OF THE SUBDIVISION REGULATIONS.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING WILL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR LOT 81 IN THE AMOUNT OF \$25,050.00.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE(5) WORKING DAYS PRIOR TO THE START OF THE WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" @ 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTOURS SHOWN HEREON HAVE BEEN TAKEN FROM FIELD RUN TOPOGRAPHIC SURVEYS AT 2' INTERVALS PREPARED BY TSA GROUP, INC. ON OR ABOUT JULY, 97 AS SHOWN ON APPROVED ROAD CONSTRUCTION PLANS F-01-025.
- VERTICAL CONTROL AND HORIZONTAL CONTROL BASED UPON HOWARD COUNTY NAD '83 CONTROL STATIONS No.1861 & No.24C2
- THIS PROPERTY IS WITHIN THE METROPOLITAN WATER AND SEWER DISTRICT.
- WATER AND SEWER FOR THIS PROJECT IS PUBLIC. CONTR.Nos. 14-3622-D & 14-3993-D. DRAINAGE AREA IS IN THE PATAPSCO WATERSHED.
- STORMWATER MANAGEMENT QUANTITY AND QUALITY CONTROL IS BEING PROVIDED BY AN EXTENDED DETENTION FACILITY. THIS FACILITY IS PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE UTILITY WAS PROVIDED UNDER F-01-25.
- AN ADEQUATE PUBLIC FACILITIES ORDINANCE TRAFFIC ANALYSIS FOR PHASE 1 WAS PERFORMED BY LEE CUNNINGHAM & ASSOC., INC. DATED AUGUST, 1997 AND APPROVED UNDER S-95-01A. F-98-012 AND SDP-98-129; AN ADEQUATE PUBLIC FACILITIES ORDINANCE TRAFFIC ANALYSIS FOR PHASE 2 WAS PERFORMED BY THE TRAFFIC GROUP, INC. DATED NOVEMBER, 1999 AND APPROVED UNDER SP-00-003.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PROPOSED EXTERIOR LIGHTING SHALL BE DIRECTED/REFLECTED AWAY FROM ALL ADJACENT PUBLIC ROADS AND RESIDENTIAL ZONING DISTRICTS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- EXISTING UTILITIES SHOWN WERE LOCATED BY RECORD DRAWINGS AND FIELD LOCATIONS.
- UNLESS NOTED AS "PRIVATE", ALL EASEMENTS ARE PUBLIC.
- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION ACTIVITY AND SHALL ADJUST ALL UTILITIES AND RIM ELEVATIONS AS NEEDED TO MATCH THIS PLAN.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BRL INDICATES BUILDING RESTRICTION LINE.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE BUILDERS EXPENSE.
- TO THE BEST OF OUR KNOWLEDGE THERE ARE NO CEMETERY LOCATIONS ON-SITE.
- THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
- PREVIOUS DEPARTMENT OF PLANNING AND ZONING REFERENCE NUMBERS INCLUDE:
S-95-01a, S-98-05, SP-00-03, P-99-017, F-97-02, F-98-91, F-98-12, F-00-102, F-01-025, F-86-160, F-86-154, SDP-98-129, SDP-02-022, F-02-138
- THERE ARE NO EXISTING STRUCTURES LOCATED ON-SITE.
- THE BOUNDARY SHOWN HEREON IS TAKEN FROM PLATS 14767-14770 (F-01-25) AND 15771-15773 (F-02-138)
- OPEN SPACE REQUIREMENTS FOR THIS PROJECT WERE MET AND APPROVED UNDER F-01-025.
- POOL CAPACITY FOR THIS PROJECT IS CALCULATED AT ONE INDIVIDUAL FOR EVERY 12 SQ. FT. OF WATER SURFACE (1/12 x 500 S.F. = 75 PERSONS) PARKING REQUIRED: 182 PER 75 PERSONS 75 PERSONS F.T.O. = 8 PARKING SPACES REQUIRED.
- THERE IS NO FLOODPLAIN ON-SITE.
- PARKING REQUIREMENTS FOR KAISER FARM ARE MET BY 243 SPACES PROVIDED UNDER APPROVED PLANS F-01-025 & SDP-02-022 AND AN ADDITIONAL 184 SPACES PROVIDED UNDER THIS PLAN FOR A TOTAL OF 427 SPACES.
- 35 THE TOTAL ACREAGE OF LOT 83 IS 4.31 AC. PER F-02-138 RECORDED IN PLATS 15771-15773

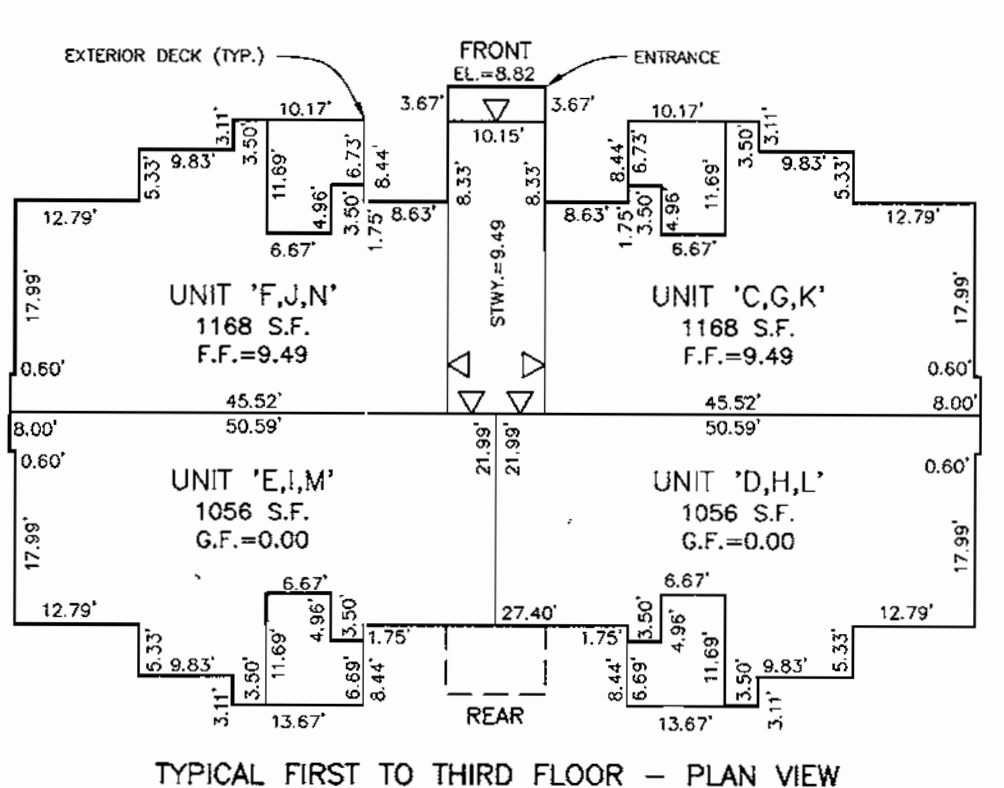
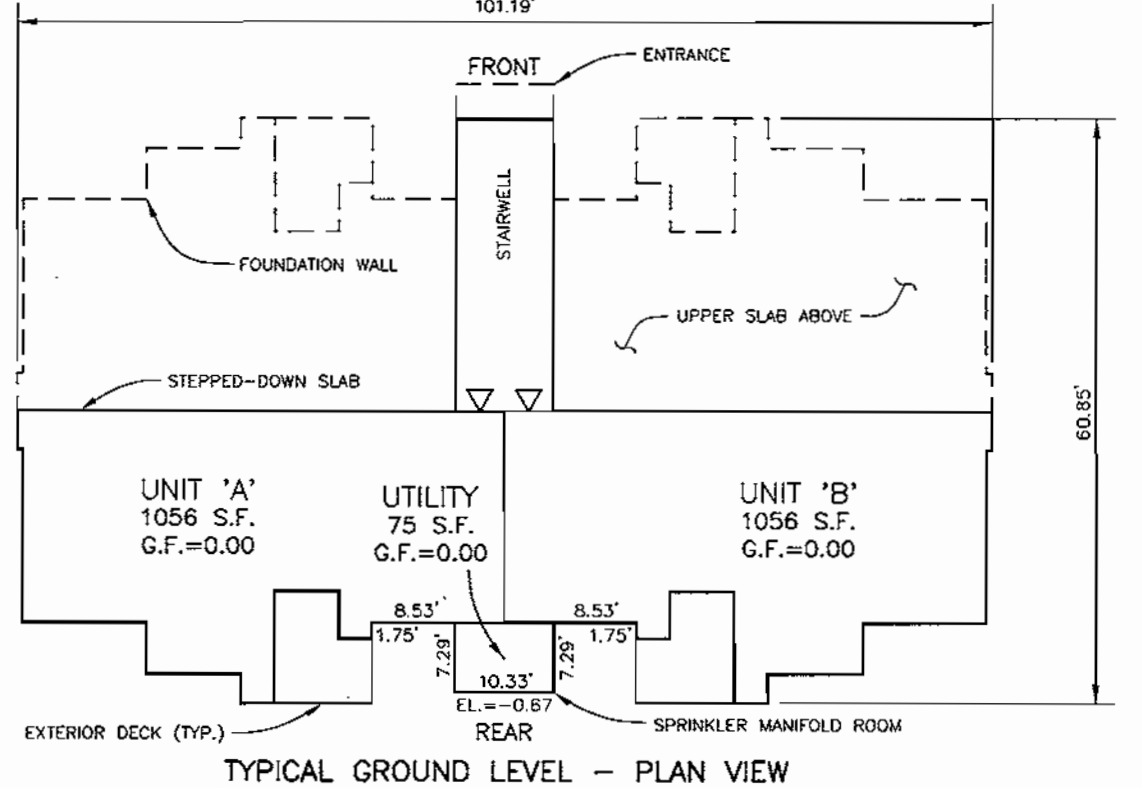
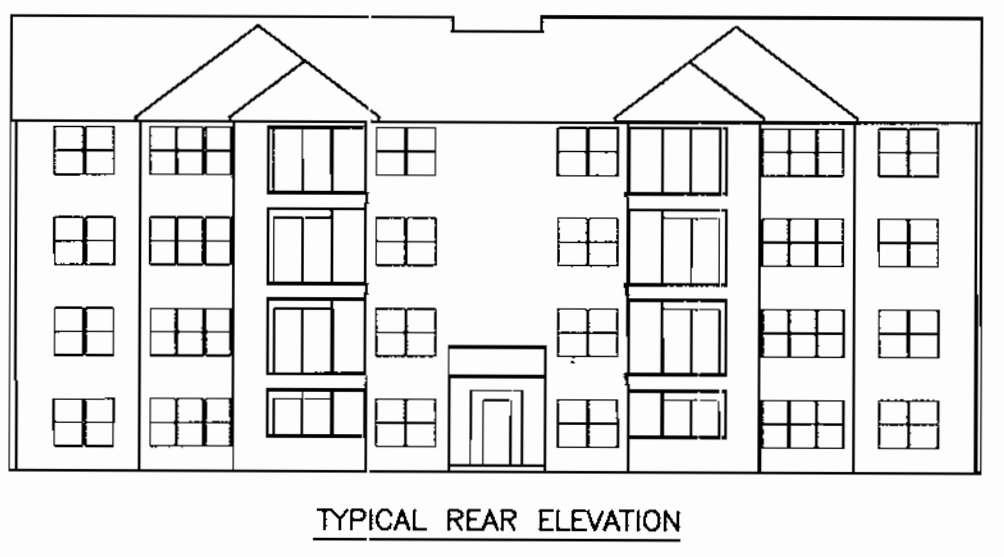
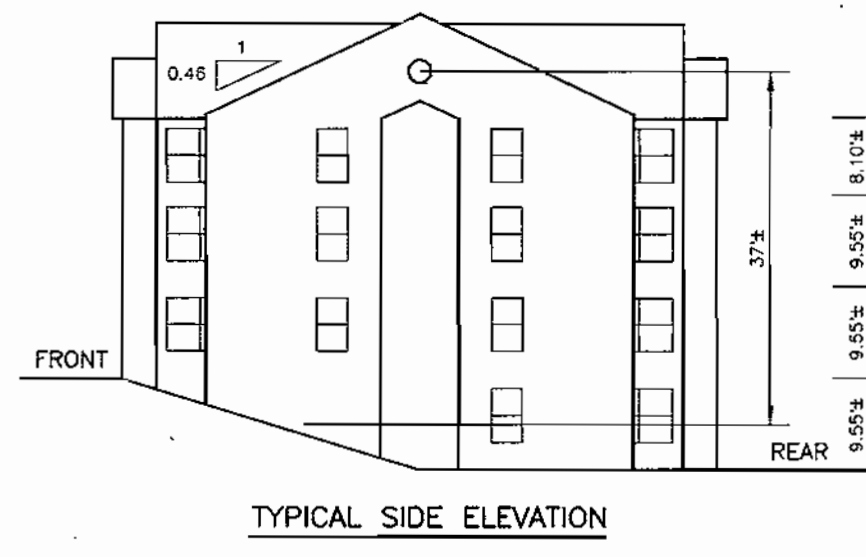
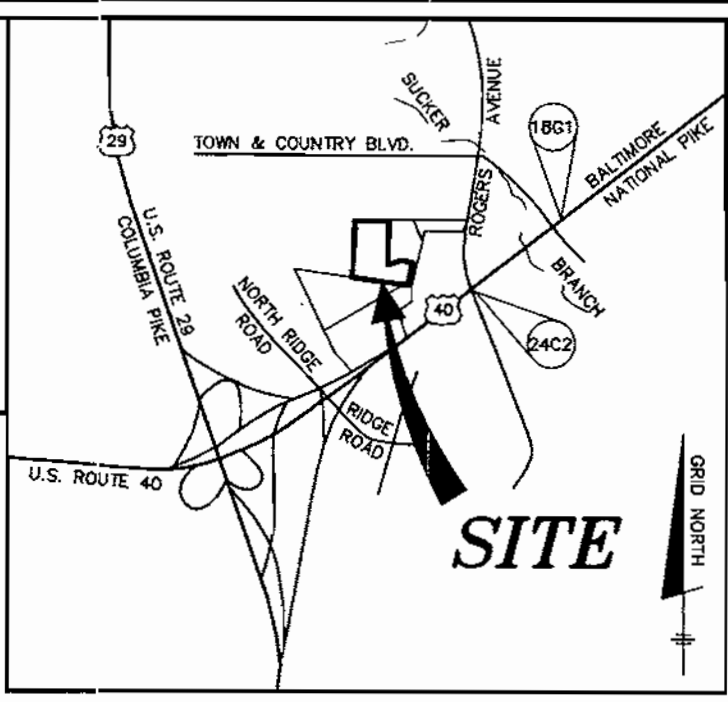
SITE ANALYSIS DATA/TABULATION

	THIS PLAN(SDP-02-024)	TOWNHOMES(SDP-02-022)	TOTAL(REQ.)
A) TOTAL PROJECT AREA.....	5.59± AC.	8.58± AC.	14.17± AC.
B) AREA OF 100YR. FLOODPLAIN.....	N/A	N/A	N/A
C) AREA OF STEEP SLOPES.....	0.02± AC.	0.14± AC.	0.16± AC.
D) NET AREA OF SITE(S).....	5.57± AC.	8.44± AC.	14.01± AC.
E) NUMBER OF UNITS ALLOWED (DENSITY=150.U./AC.)	83	127	210
F) NUMBER OF RESIDENTIAL UNITS PROPOSED.....	98	78	176
G) AREA OF PLAN SUBMISSION.....	5.59± AC.	8.58± AC.	14.17± AC.
H) LIMIT OF DISTURBED AREA.....	4.60± AC.	3.63± AC.	8.23± AC.
I) OPEN SPACE AREA REQUIRED (25% OF 14.17± AC.)	N/A	N/A	3.54± AC.
J) CREDITED OPEN SPACE AREA PROVIDED.....	0.86± AC.	2.72± AC.	3.58± AC.
K) NON-CREDITED OPEN SPACE AREA PROVIDED.....	N/A	0.95± AC.	0.95± AC.
L) TOTAL OPEN SPACE AREA PROVIDED.....	0.86± AC.	3.67± AC.	4.53± AC.
M) RECREATION OPEN SPACE AREA REQUIRED.....	1755 S.F./UNIT = 0.39± AC.	2005 S.F./UNIT = 0.36± AC.	0.75± AC.
N) RECREATION OPEN SPACE PROVIDED.....	0.07± AC.	0.78± AC.	0.85± AC.
O) PRESENT ZONING DESIGNATION.....	R-A-15	R-A-15	R-A-15
P) PROPOSED USES FOR THE SITE AND STRUCTURES	RESIDENTIAL(APARTMENT)	RESIDENTIAL(TOWNHOUSE)	
Q) FLOOR SPACE ON EACH LEVEL OF BUILDING.....	2112± S.F.(GROUND LEVEL) 475± S.F.(UPPER LEVELS)	N/A	N/A
R) MINIMUM LOT SIZE REQUIRED.....	N/A	6615 S.F./60% COVERAGE 11025 S.F. MIN. LOT SIZE	N/A
S) NUMBER OF PARKING SPACES REQUIRED BY ZONING REGULATIONS AND/OR FDP CRITERIA			
APARTMENT (2 SPACES PER UNIT)	98 x 2/UNIT = 196	N/A	196
TOWNHOMES (2 SPACES PER UNIT)	N/A	78 x 2/UNIT = 156	156
OVERFLOW (0.3 SPACES PER UNIT)	98 x 0.3/UNIT = 29	78 x 0.3/UNIT = 23	52
POOL 1/10 PERSONS	TOTAL REQ. = 253	TOTAL REQ. = 179	TOTAL = 412
T) TOTAL NUMBER OF PARKING SPACES PROVIDED ON-SITE.....	184 SPACES (THIS PLAN)	243 SPACES (F-01-025/SDP-02-022)	
TOTAL SPACES (BOTH TOWNHOMES & APARTMENTS) = 427 (INCLUDING 10 HANDICAPPED PARKINGS w/TWO VAN ACCESS)			

LEGEND



BENCH MARKS - NAD '83
 HO. CO. No.1861 EL.408.542
 CONC. MONUMENT AT SURFACE, 4' N. OF
 MAC. SHOULDER OF RT. 40 WEST
 18' W. OF YELLOW BLINKING SIGNAL
 N 589,984.9579 E 1,367,750.2376
 HO. CO. No.24C2 EL.354.930
 CONC. MONUMENT AT SURFACE 5.5' S.
 OF LEFT TURN LANE OF RT. 40 WEST
 14' E. OF EAST EDGE OF CROSSOVER
 TO RT. 98 S.
 N 588,648.3158 E 1,366,038.1347



BUILDING FOOTPRINTS

SCALE: 1" = 20'

NO.	DATE	REVISION
1	3-27-03	REVISE THE ACREAGE OF LOT 83, AND GENERAL NOTE

BENCHMARK ENGINEERING, INC.
 ENGINEERS • LAND SURVEYORS • PLANNERS
 8480 BALTIMORE NATIONAL PIKE • SUITE 418
 ELLICOTT CITY, MARYLAND 21043
 PHONE: 410-465-8105 FAX: 410-465-6844
 E-MAIL: benchmark@cois.com

APPROVED: FOR PUBLIC WATER AND SEWERAGE SYSTEMS
Penny Boverstein, M.D./RSM 6/17/02
 COUNTY HEALTH OFFICER - HO. CO./HEALTH DEPARTMENT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
John P. Bantz 6/13/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Hamant 6/24/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

John P. Bantz 6/24/02
 DIRECTOR DATE

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL			
KAISER FARM		LOT 83 / P.733			
PLAT No. 14767 TO 14770 & 15771-15773	BLOCK No. 24	ZONING R-A-15	TAX MAP 17	ELEC. DIST. 2nd	CENSUS 6026.00
WATER CODE F03	SEWER CODE 1453600				

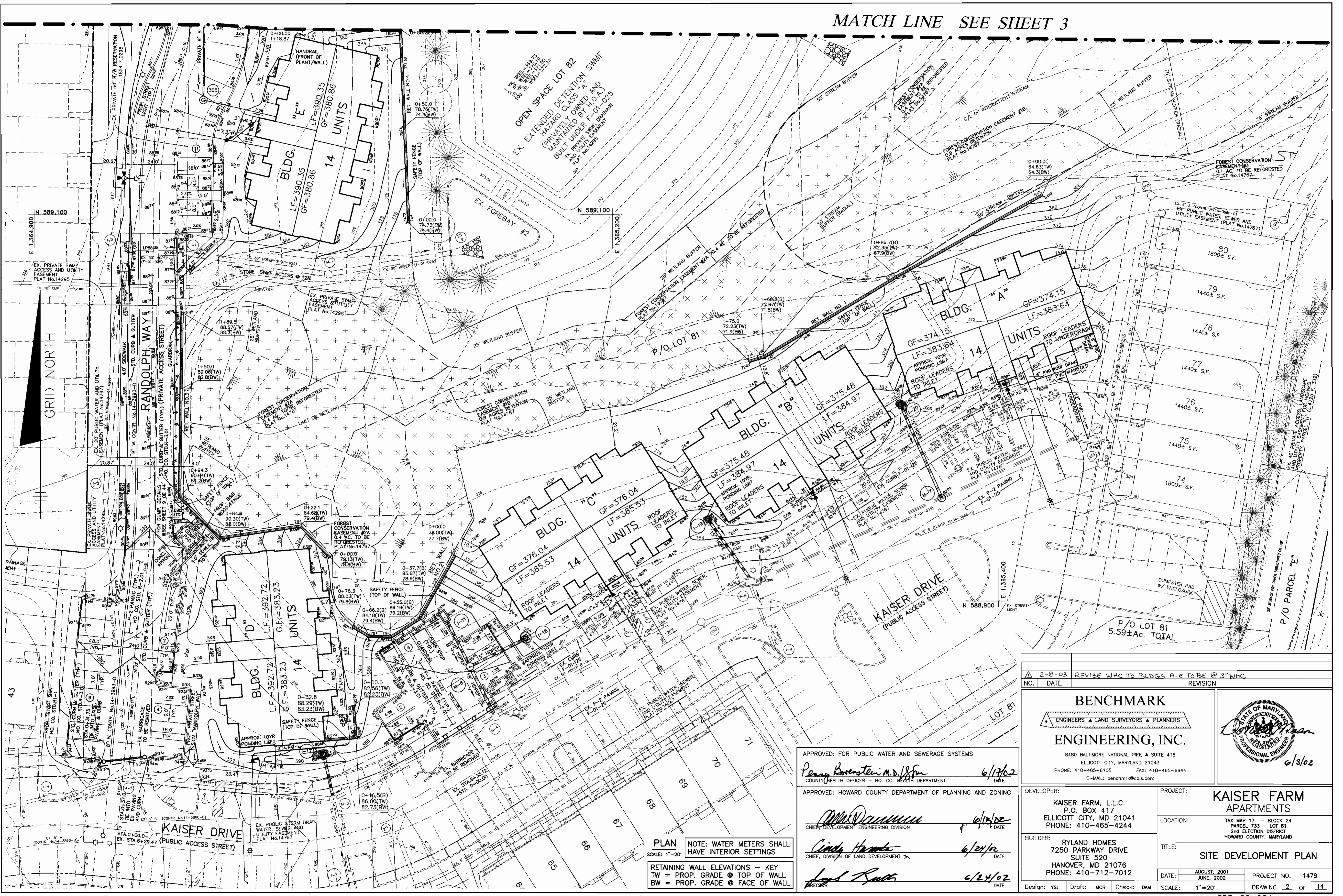
DEVELOPER: KAISER FARM, L.L.C.
 P.O. BOX 417
 ELLICOTT CITY, MD 21041
 PHONE: 410-465-4244

PROJECT: KAISER FARM APARTMENTS
 LOCATION: TAX MAP 17 - BLOCK 24
 PARCEL 733 - LOT 83
 2nd ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

BUILDER: RYLAND HOMES
 7250 PARKWAY DRIVE
 SUITE 520
 HANOVER, MD 21076
 PHONE: 410-712-7012

TITLE SHEET
 DATE: AUGUST, 2001 PROJECT NO. 1478
 JUNE, 2002
 SCALE: AS SHOWN DRAWING 1 OF 14

Design: YSL Draft: MCR Check: DAM
 SDP-02-024



NO.	DATE	REVISION
2-8-03		REVISE W/C TO BLDGS A-E TO BE @ 3" W/C

BENCHMARK ENGINEERING, INC.
 ENGINEERS • LAND SURVEYORS • PLANNERS
 8480 BALTIMORE NATIONAL PIKE • SUITE 418
 ELLICOTT CITY, MARYLAND 21043
 PHONE: 410-465-6105 FAX: 410-465-6644
 E-MAIL: benchmark@cois.com

6/3/02

APPROVED: FOR PUBLIC WATER AND SEWERAGE SYSTEMS
Penny Rosenster, M.D., R.F.P. 6/17/02
 COUNTY HEALTH OFFICER - HO. CO. HEALTH DEPARTMENT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
David Dammann 6/18/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Hamra 6/21/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Leslie Rantz 6/24/02
 RECORDED DATE

DEVELOPER: KAISER FARM, L.L.C.
 P.O. BOX 417
 ELLICOTT CITY, MD 21041
 PHONE: 410-465-4244

BUILDER: RYLAND HOMES
 7250 PARKWAY DRIVE
 SUITE 520
 HANOVER, MD 21076
 PHONE: 410-712-7012

PROJECT: KAISER FARM APARTMENTS
 LOCATION: TAX MAP 17 - BLOCK 24
 PARCEL 733 - LOT 81
 2nd ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE: SITE DEVELOPMENT PLAN

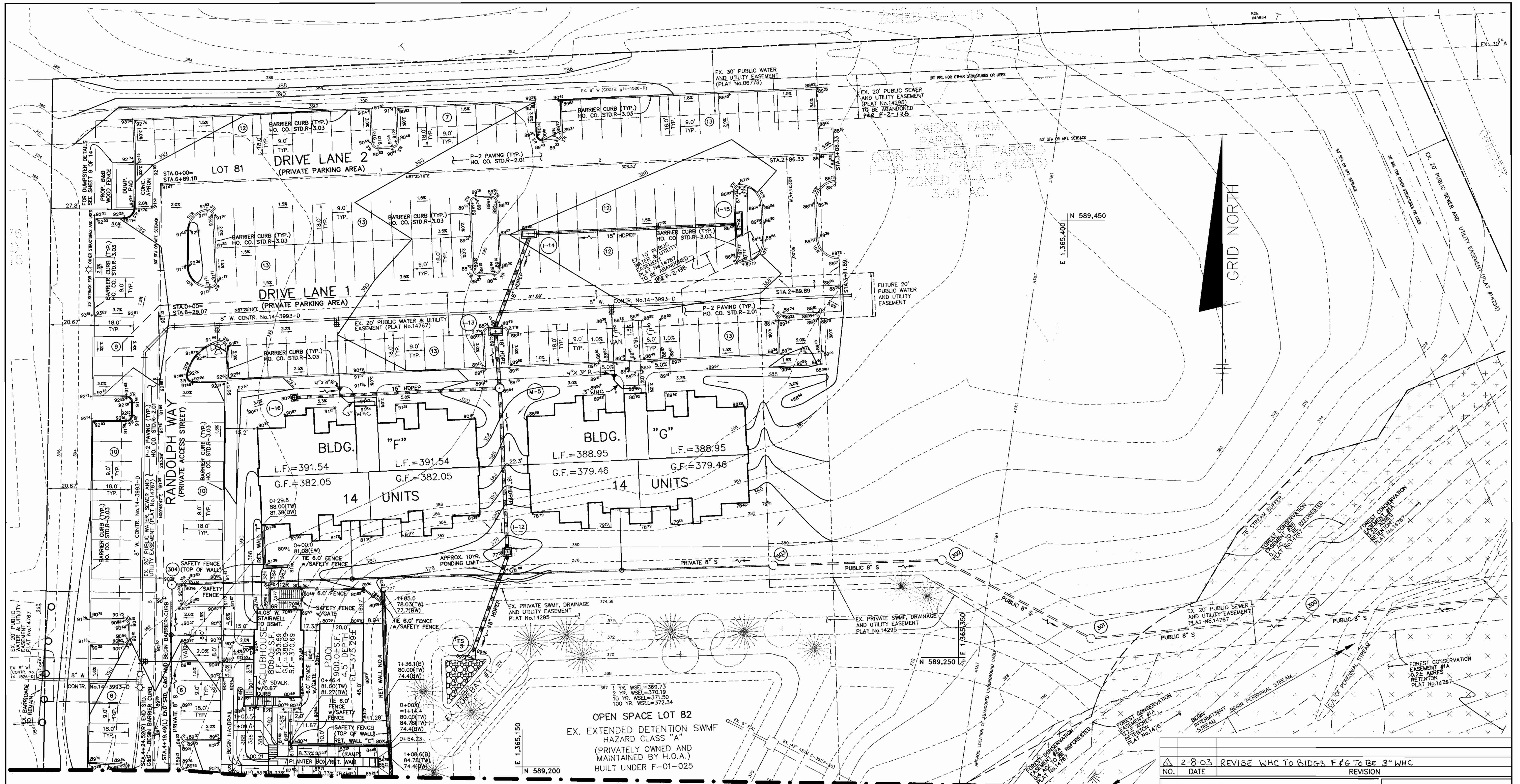
DATE: AUGUST, 2001
 JUNE, 2002 PROJECT NO. 1478

Design: YSL Draft: MCR Check: DAM SCALE: 1"=20' DRAWING 2 OF 14

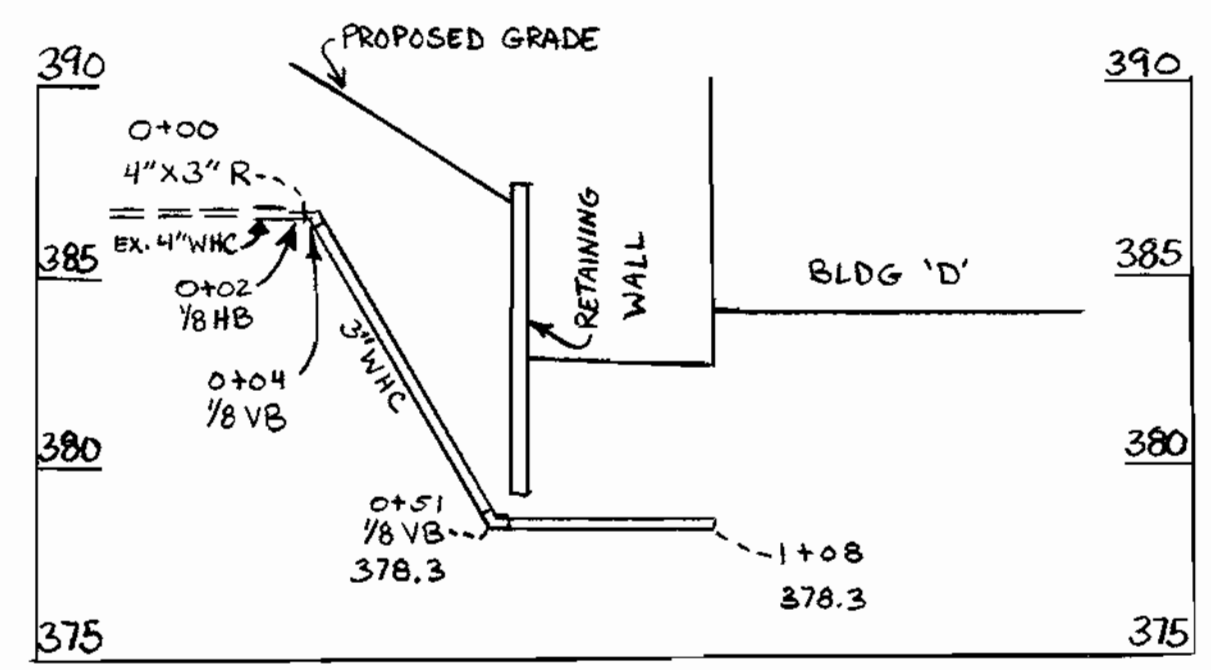
PLAN
 SCALE: 1"=20'

NOTE: WATER METERS SHALL HAVE INTERIOR SETTINGS

RETAINING WALL ELEVATIONS - KEY
 TW = PROP. GRADE @ TOP OF WALL
 BW = PROP. GRADE @ FACE OF WALL



MATCH LINE SEE SHEET 2



PLAN
 SCALE: 1"=20'

NOTE: WATER METERS SHALL HAVE INTERIOR SETTINGS
 RETAINING WALL ELEVATIONS - KEY
 TW = PROP. GRADE @ TOP OF WALL
 BW = PROP. GRADE @ FACE OF WALL

APPROVED: FOR PUBLIC WATER AND SEWERAGE SYSTEMS
Penny Boverstein M.S. 1/8/02 6/17/02
 COUNTY HEALTH OFFICER - HO. CO. HEALTH DEPARTMENT DATE

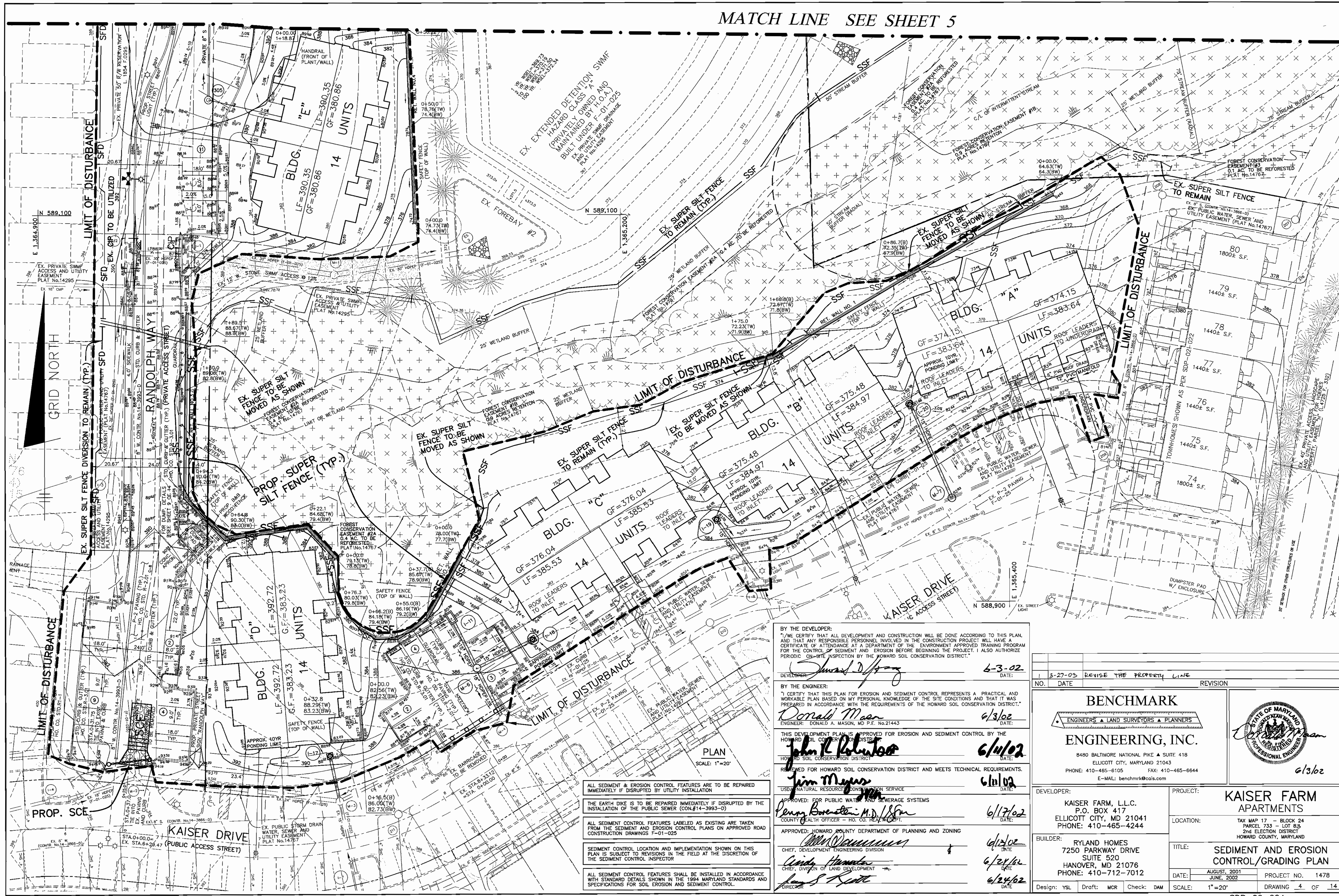
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
Mark Deussen 6/18/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Hamble 6/24/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

James R. Smith 6/24/02
 DIRECTOR DATE

NO.	DATE	REVISION
2-8-03		REVISE WHC TO BLDGS F & G TO BE 3" WHC

BENCHMARK ENGINEERING, INC. ENGINEERS • LAND SURVEYORS • PLANNERS 8480 BALTIMORE NATIONAL PIKE • SUITE 418 ELLICOTT CITY, MARYLAND 21043 PHONE: 410-465-6105 FAX: 410-465-6644 E-MAIL: benchmark@cais.com		
DEVELOPER: KAISER FARM, L.L.C. P.O. BOX 417 ELLICOTT CITY, MD 21041 PHONE: 410-465-4244	PROJECT: KAISER FARM APARTMENTS	
BUILDER: RYLAND HOMES 7250 PARKWAY DRIVE SUITE 520 HANOVER, MD 21076 PHONE: 410-712-7012	LOCATION: TAX MAP 17 - BLOCK 24 PARCEL 735 - LOT 81 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND	TITLE: SITE DEVELOPMENT PLAN
DATE: AUGUST, 2001 JUNE, 2002	PROJECT NO. 1478	
Design: YSL Draft: MCR Check: DAM	SCALE: 1"=20'	DRAWING 3 OF 14



BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER: *James D. [Signature]* DATE: 6-3-02

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER: *Donald A. Mason* DATE: 6/3/02
 DONALD A. MASON, MD P.E. No. 21443

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
 HOWARD SOIL CONSERVATION DISTRICT

John R. Roberts DATE: 6/10/02
 JOHN R. ROBERTS, DISTRICT SUPERVISOR

APPROVED FOR PUBLIC WATER AND SEWERAGE SYSTEMS
 COUNTY HEALTH OFFICER - HO. CO. HEALTH DEPT.

Penny B. [Signature] DATE: 6/17/02
 PENNY B. [Signature], COUNTY HEALTH OFFICER - HO. CO. HEALTH DEPT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Wendy [Signature] DATE: 6/12/02
 WENDY [Signature], CHIEF, DEVELOPMENT ENGINEERING DIVISION

Wanda [Signature] DATE: 6/21/02
 WANDA [Signature], CHIEF, DIVISION OF LAND DEVELOPMENT

James [Signature] DATE: 6/24/02
 JAMES [Signature], DIRECTOR

- ALL SEDIMENT & EROSION CONTROL FEATURES ARE TO BE REPAIRED IMMEDIATELY IF DISRUPTED BY UTILITY INSTALLATION
- THE EARTH DIKE IS TO BE REPAIRED IMMEDIATELY IF DISRUPTED BY THE INSTALLATION OF THE PUBLIC SEWER (CON. #14-3993-D)
- ALL SEDIMENT CONTROL FEATURES LABELED AS EXISTING ARE TAKEN FROM THE SEDIMENT AND EROSION CONTROL PLANS ON APPROVED ROAD CONSTRUCTION DRAWINGS F-01-025
- SEDIMENT CONTROL LOCATION AND IMPLEMENTATION SHOWN ON THIS PLAN IS SUBJECT TO REVISIONS IN THE FIELD AT THE DISCRETION OF THE SEDIMENT CONTROL INSPECTOR
- ALL SEDIMENT CONTROL FEATURES SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD DETAILS SHOWN IN THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

PLAN
 SCALE: 1"=20'

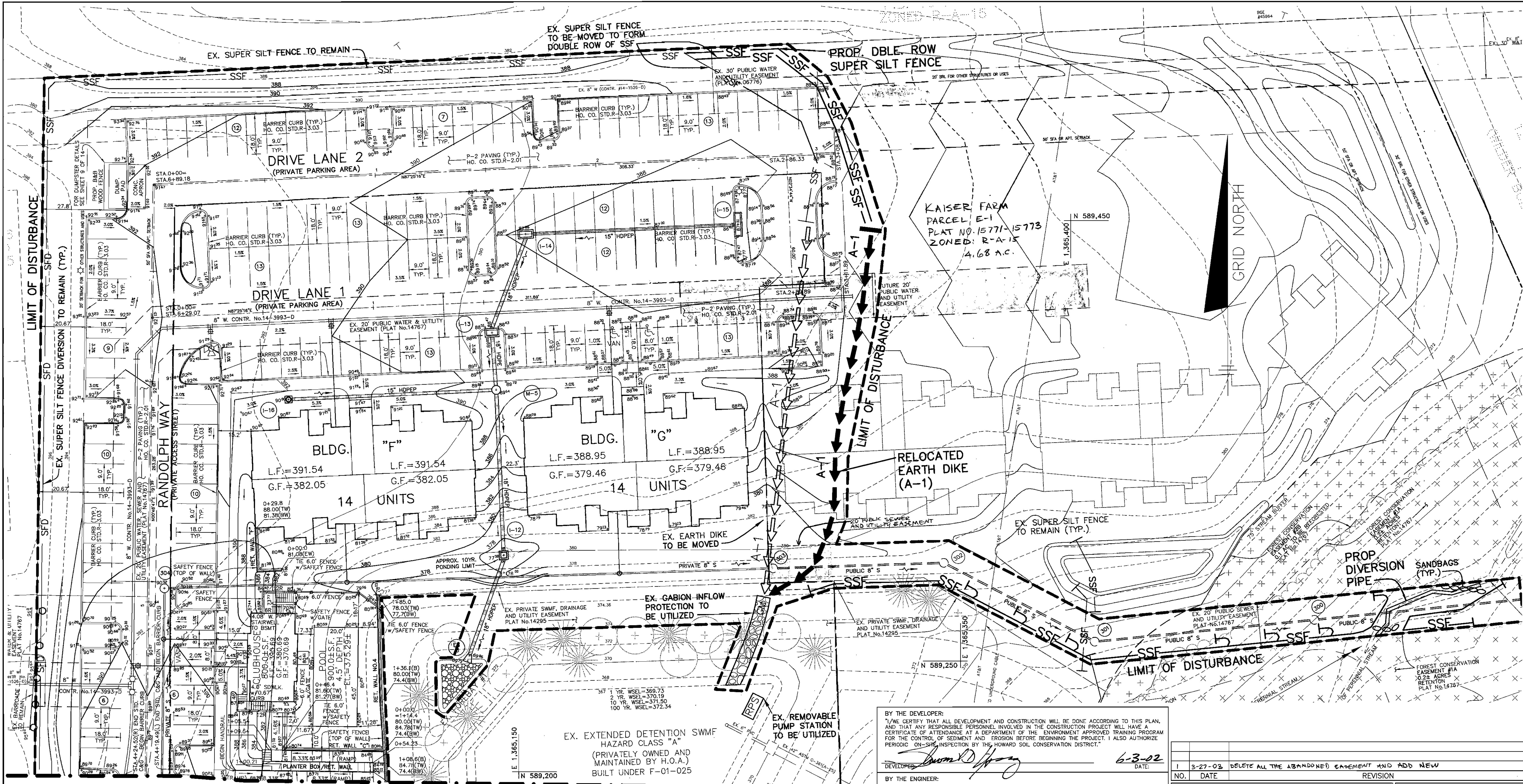
NO.	DATE	REVISION
1	3-27-03	REVISE THE PROPERTY LINE

BENCHMARK
 ENGINEERS • LAND SURVEYORS • PLANNERS

ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE • SUITE 418
 ELLICOTT CITY, MARYLAND 21043
 PHONE: 410-465-6105 FAX: 410-465-6644
 E-MAIL: benchmrk@cais.com

DEVELOPER:	KAISER FARM, L.L.C. P.O. BOX 417 ELLICOTT CITY, MD 21041 PHONE: 410-465-4244	PROJECT:	KAISER FARM APARTMENTS
BUILDER:	RYLAND HOMES 7250 PARKWAY DRIVE SUITE 520 HANOVER, MD 21076 PHONE: 410-712-7012	LOCATION:	TAX MAP 17 - BLOCK 24 PARCEL 733 - LOT B5 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE:	SEDIMENT AND EROSION CONTROL/GRADING PLAN	DATE:	AUGUST, 2001 JUNE, 2002
Design: YSL	Draft: MCR	Check: DAM	PROJECT NO. 1478 SCALE: 1"=20' DRAWING 4 OF 14



MATCH LINE SEE SHEET 4

PLAN
SCALE: 1"=20'

- ALL SEDIMENT & EROSION CONTROL FEATURES ARE TO BE REPAIRED IMMEDIATELY IF DISRUPTED BY UTILITY INSTALLATION
- THE EARTH DIKE IS TO BE REPAIRED IMMEDIATELY IF DISRUPTED BY THE INSTALLATION OF THE PUBLIC SEWER (CON.#14-3993-D)
- ALL SEDIMENT CONTROL FEATURES LABELED AS EXISTING ARE TAKEN FROM THE SEDIMENT AND EROSION CONTROL PLANS ON APPROVED ROAD CONSTRUCTION DRAWINGS F-01-025
- SEDIMENT CONTROL LOCATION AND IMPLEMENTATION SHOWN ON THIS PLAN IS SUBJECT TO REVISIONS IN THE FIELD AT THE DISCRETION OF THE SEDIMENT CONTROL INSPECTOR
- ALL SEDIMENT CONTROL FEATURES SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD DETAILS SHOWN IN THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

BY THE DEVELOPER:
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

DEVELOPER: *John R. Mason* DATE: 6-3-02

BY THE ENGINEER:
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

ENGINEER: *Donald Maan* DATE: 6/3/02

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John R. Mason DATE: 6/10/02

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
John R. Mason DATE: 6/10/02

APPROVED FOR PUBLIC WATER AND UTILITY SYSTEMS
Penny Brewster DATE: 6/17/02

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chris Williams DATE: 6/17/02

CHIEF, DEVELOPMENT ENGINEERING DIVISION
Candy Harman DATE: 6/20/02

CHIEF, DIVISION OF LAND DEVELOPMENT
Angie Rutt DATE: 6/24/02

DIRECTOR

NO.	DATE	REVISION
1	3-27-03	DELETE ALL THE ABANDONED EASEMENT AND ADD NEW

BENCHMARK ENGINEERING, INC.
ENGINEERS • LAND SURVEYORS • PLANNERS
8480 BALTIMORE NATIONAL PIKE • SUITE 418
ELLICOTT CITY, MARYLAND 21043
PHONE: 410-465-6105 FAX: 410-465-6844
E-MAIL: benchmark@cois.com

DEVELOPER: KAISER FARM, L.L.C.
P.O. BOX 417
ELLICOTT CITY, MD 21041
PHONE: 410-465-4244

PROJECT: KAISER FARM APARTMENTS

LOCATION: TAX MAP 17 - BLOCK 24
PARCEL 733 - LOT 8,3
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

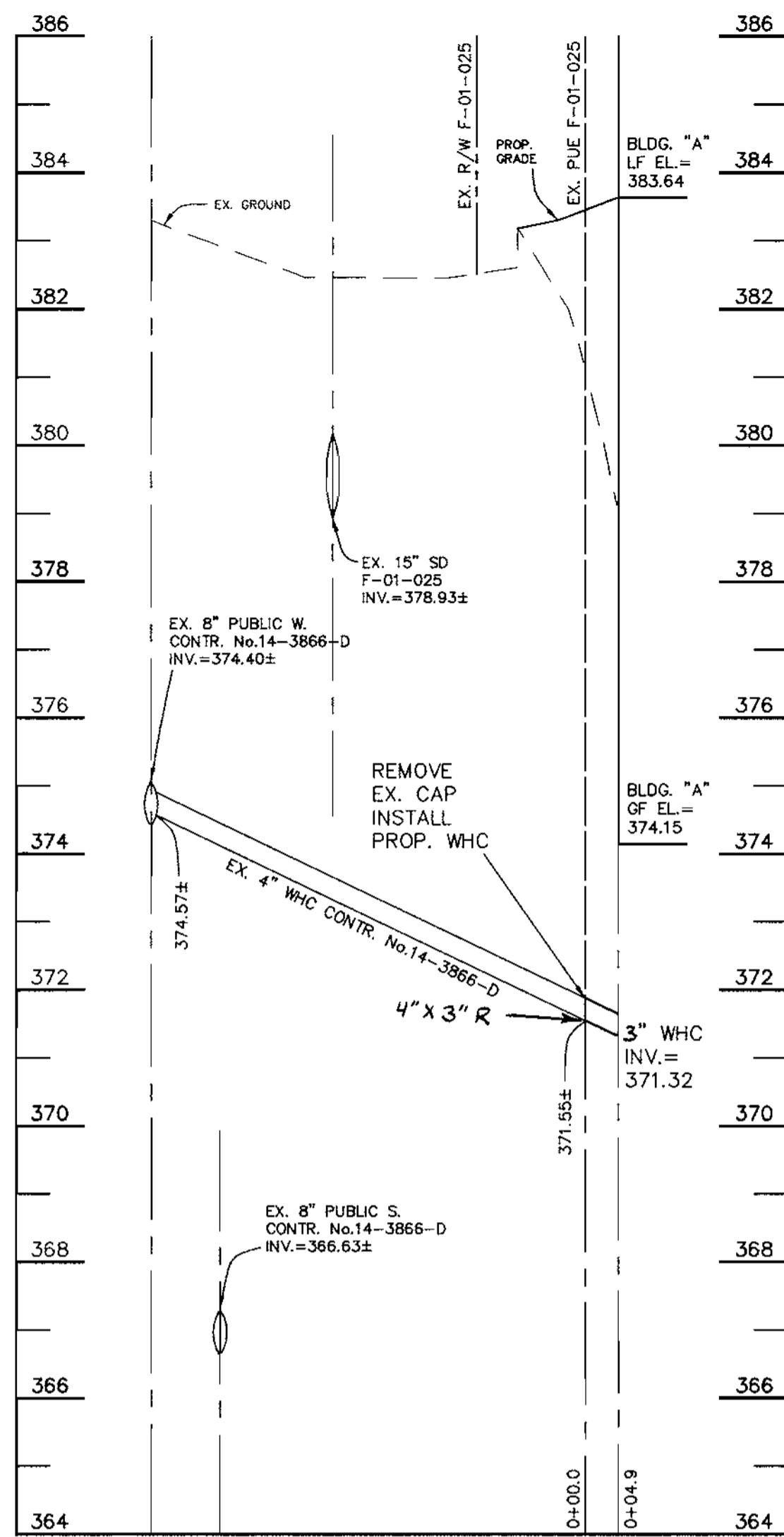
BUILDER: RYLAND HOMES
7250 PARKWAY DRIVE
SUITE 520
HANOVER, MD 21076
PHONE: 410-712-7012

TITLE: SEDIMENT AND EROSION CONTROL/GRADING PLAN

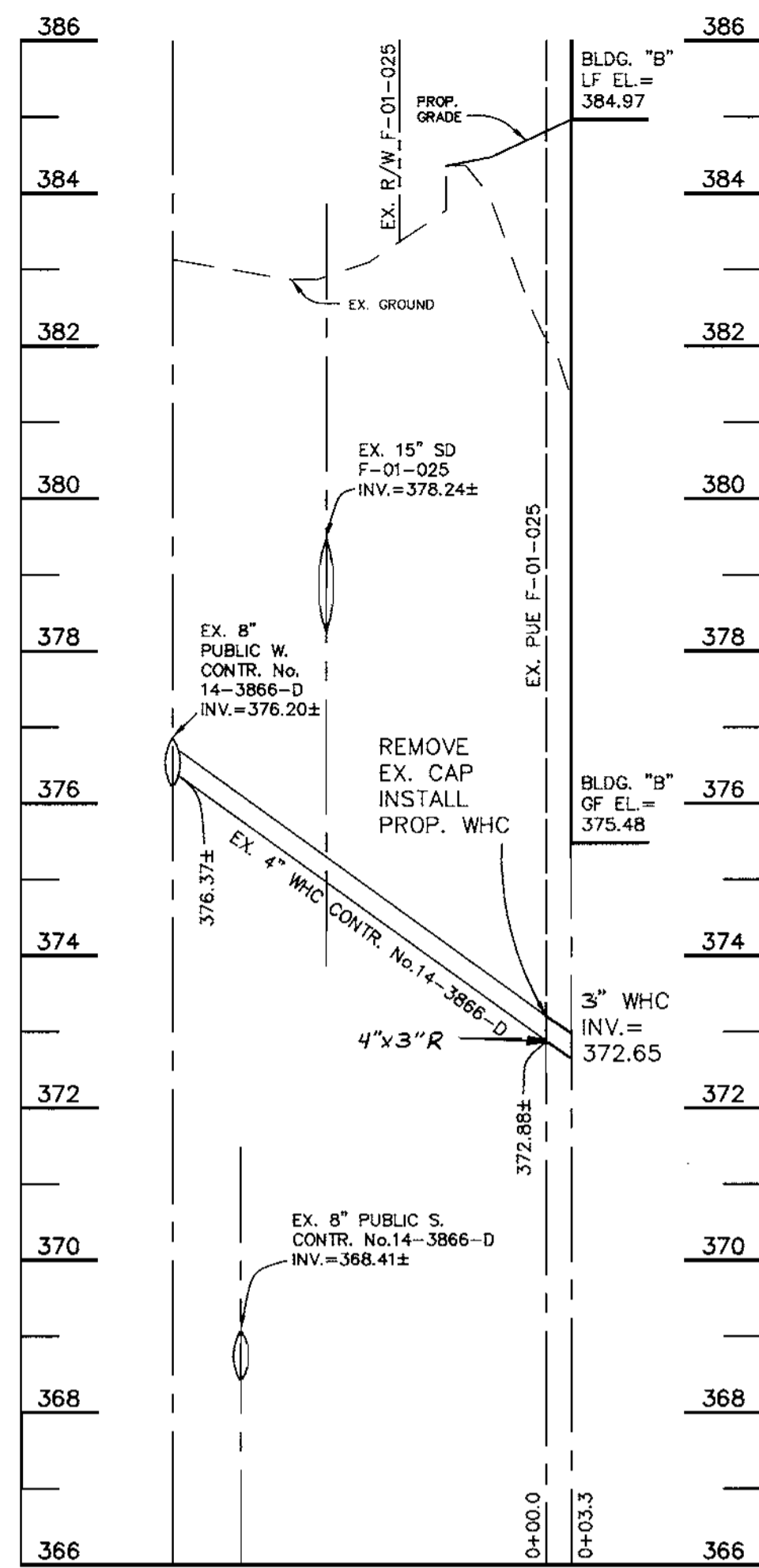
DATE: AUGUST, 2001
JUNE, 2002

PROJECT NO. 1478

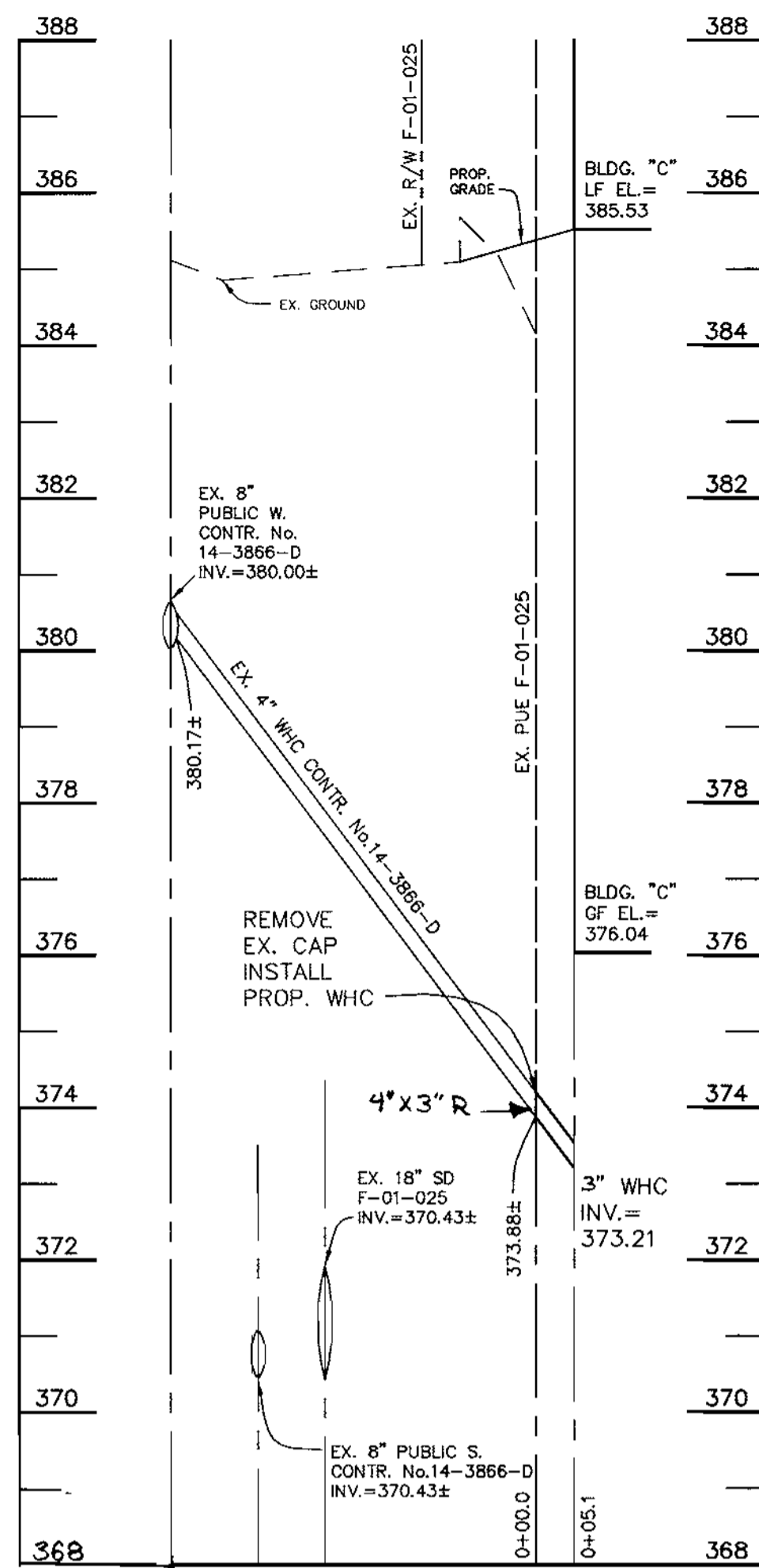
Design: ysl Draft: MCR Check: DAM SCALE: 1"=20' DRAWING 5 OF 14



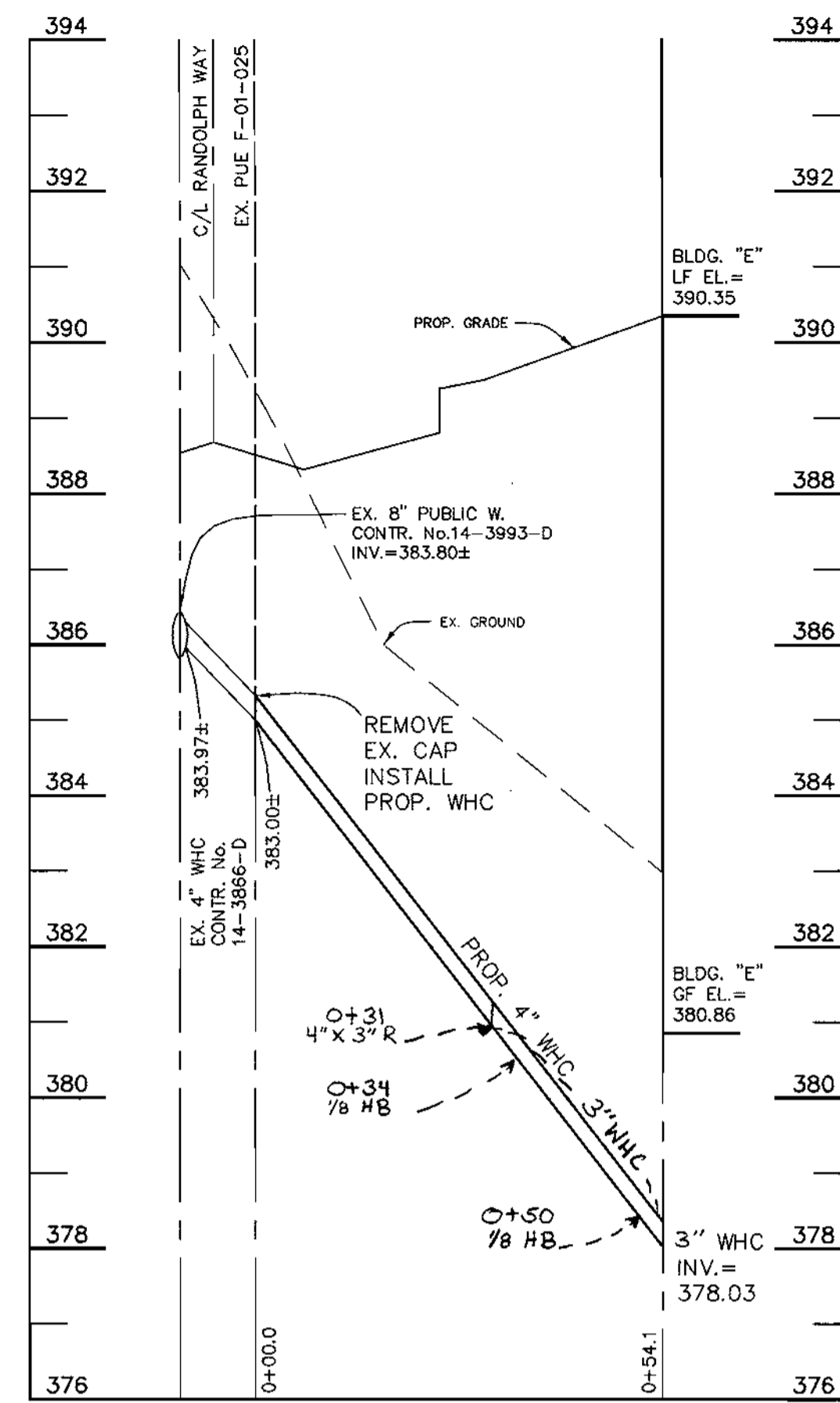
WHC - BLDG. "A"
 VERTICAL SCALE: 1"=2'
 HORIZONTAL SCALE: 1"=20'



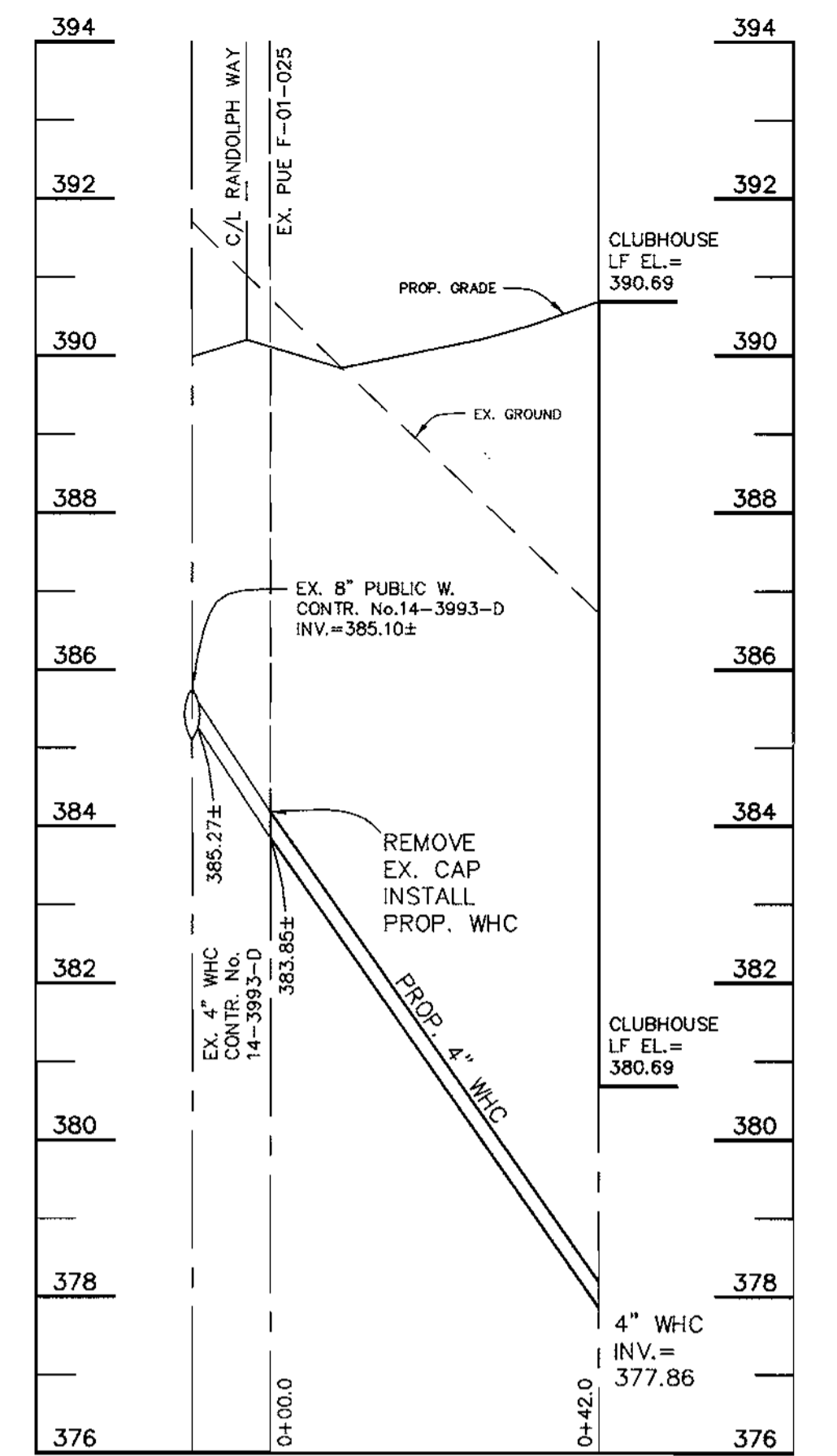
WHC - BLDG. "B"
 VERTICAL SCALE: 1"=2'
 HORIZONTAL SCALE: 1"=20'



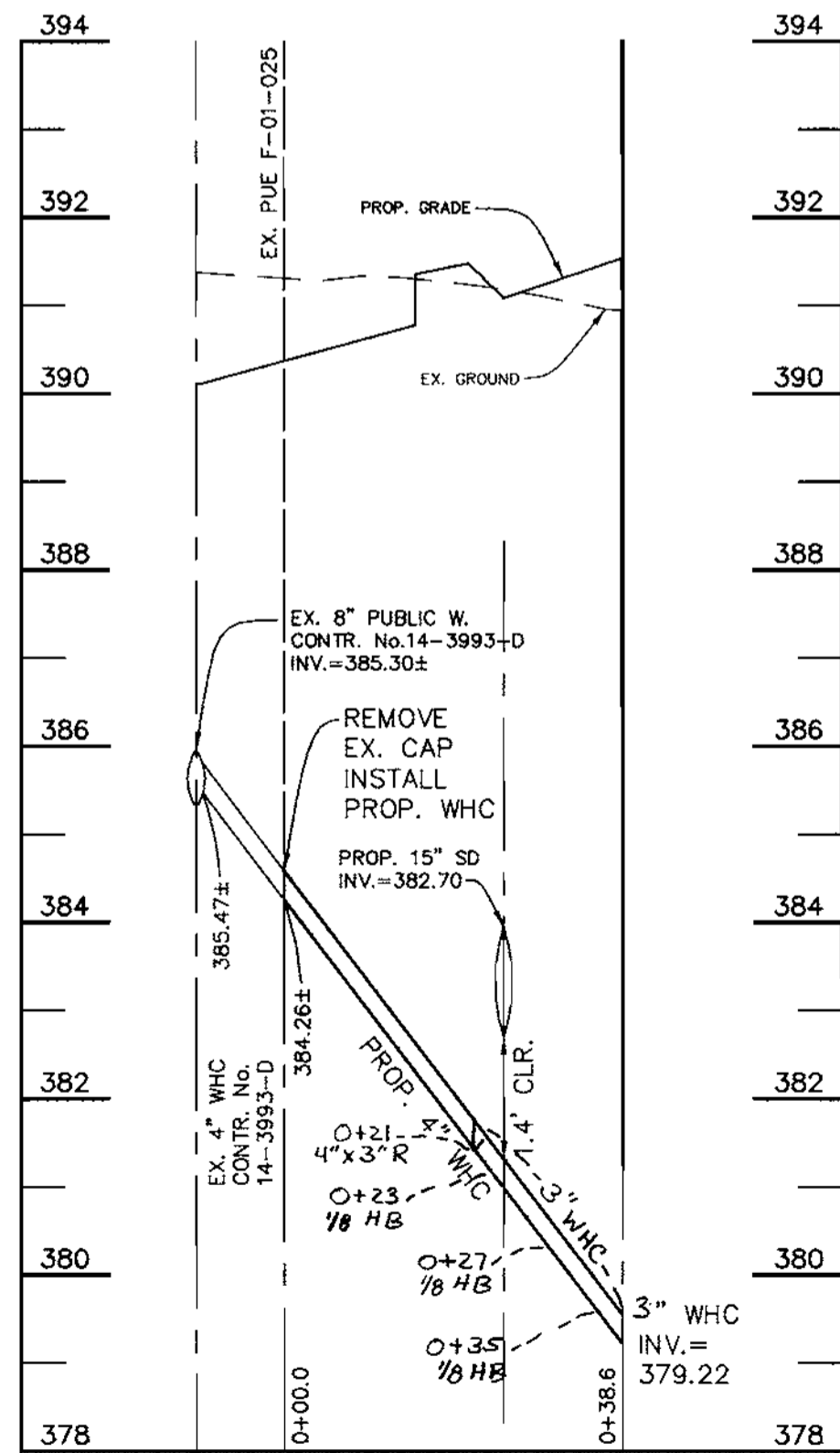
WHC - BLDG. "C"
 VERTICAL SCALE: 1"=2'
 HORIZONTAL SCALE: 1"=20'



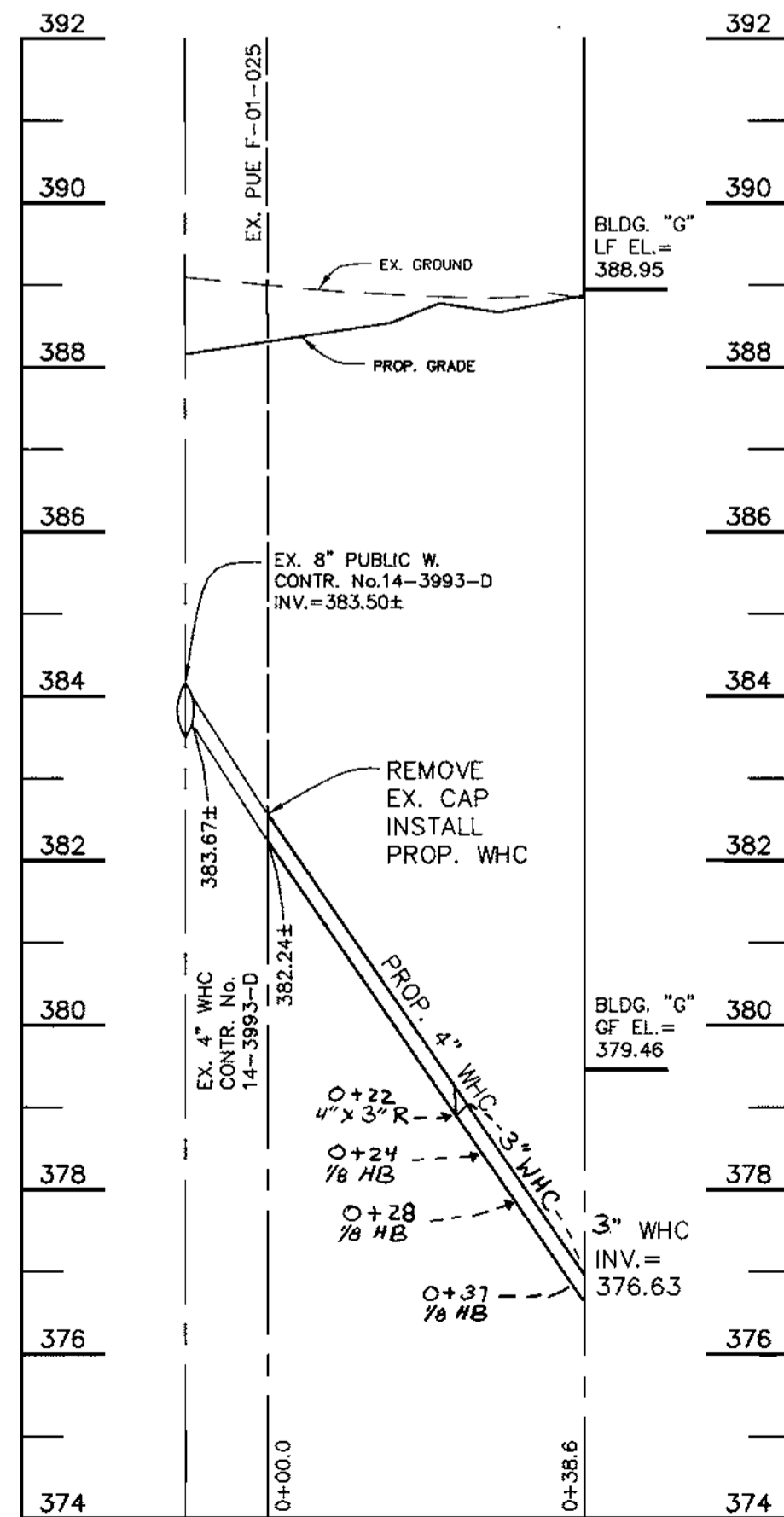
WHC - BLDG. "E"
 VERTICAL SCALE: 1"=2'
 HORIZONTAL SCALE: 1"=20'



WHC - CLUBHOUSE
 VERTICAL SCALE: 1"=2'
 HORIZONTAL SCALE: 1"=20'



WHC - BLDG. "F"
 VERTICAL SCALE: 1"=2'
 HORIZONTAL SCALE: 1"=20'



WHC - BLDG. "G"
 VERTICAL SCALE: 1"=2'
 HORIZONTAL SCALE: 1"=20'

NO.	DATE	REVISION
2-8-03		REVISE PROFILES TO SHOW 3" WHC & 4" x 3" R

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 E-MAIL: benchmark@cais.com



APPROVED: FOR PUBLIC WATER AND SEWERAGE SYSTEMS
Penny Bresten M.D. 6/17/02
 COUNTY HEALTH OFFICER - HO. CO. HEALTH DEPARTMENT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
[Signature] 6/13/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Hamilton 6/27/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 6/24/02
 DIRECTOR DATE

DEVELOPER:
 KAISER FARM, L.L.C.
 P.O. BOX 417
 ELLICOTT CITY, MD 21041
 PHONE: 410-465-4244

BUILDER:
 RYLAND HOMES
 7250 PARKWAY DRIVE
 SUITE 520
 HANOVER, MD 21076
 PHONE: 410-712-7012

PROJECT:
KAISER FARM APARTMENTS

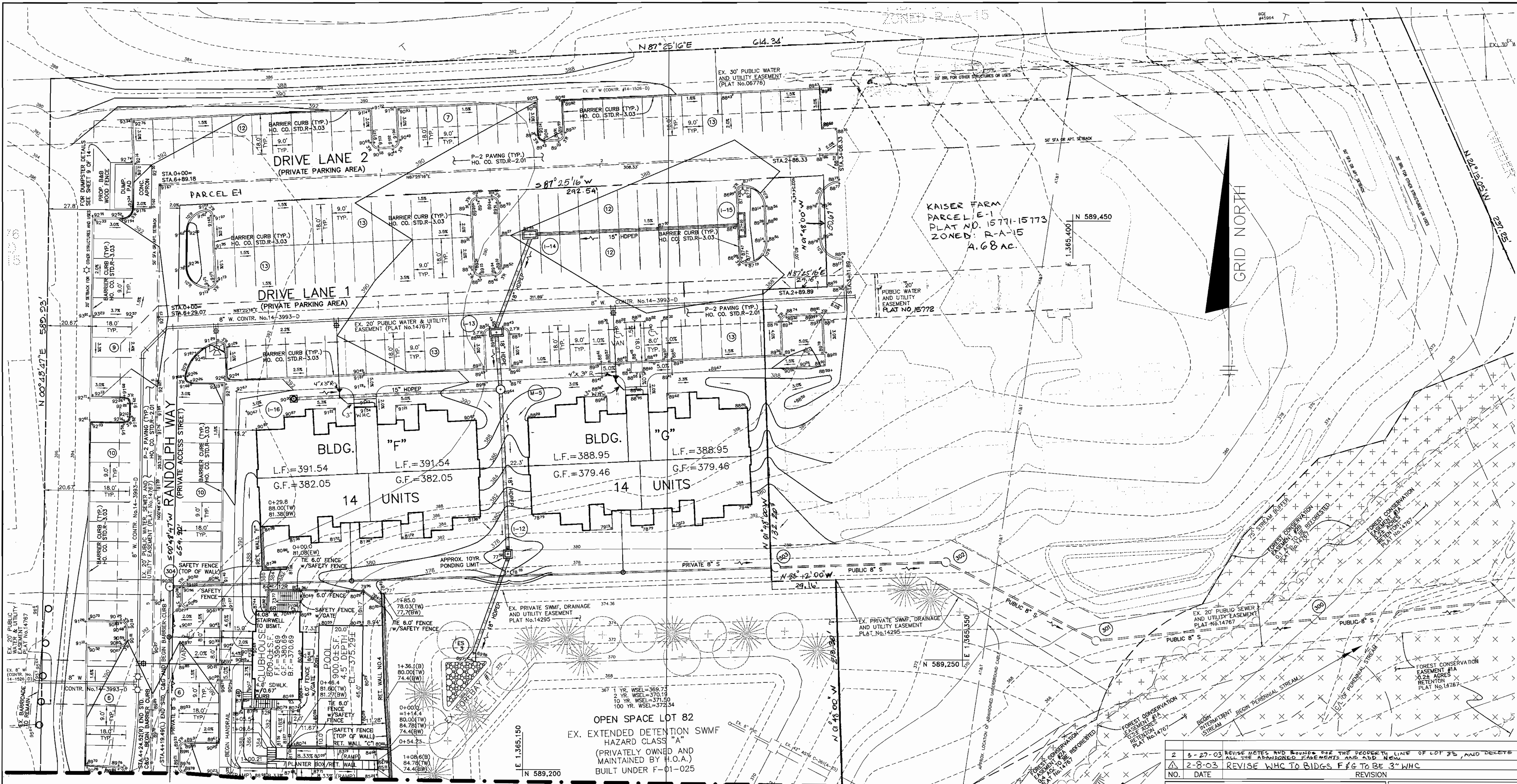
LOCATION:
 TAX MAP 17 - BLOCK 24
 PARCEL 733 - LOT 81
 2ND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE:
**WATER PROFILES,
 NOTES AND DETAILS**

DATE: AUGUST, 2001
 JUNE, 2002

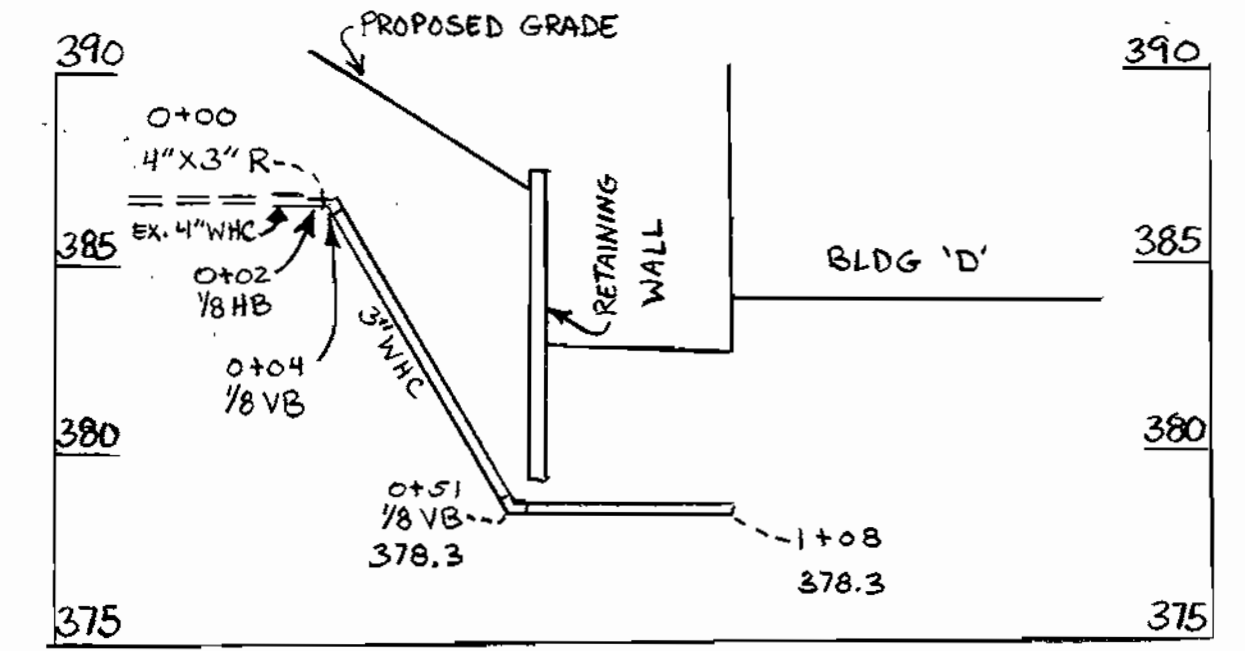
PROJECT NO. 1478

SCALE: AS SHOWN DRAWING 7 OF 14



OPEN SPACE LOT 82
 EX. EXTENDED DETENTION SWMF
 HAZARD CLASS "A"
 (PRIVATELY OWNED AND
 MAINTAINED BY H.O.A.)
 BUILT UNDER F-01-025

MATCH LINE SEE SHEET 2



W/C TO BUILDING 'D'
 SCALE: HORIZ: 1"=50'
 VERT: 1"=5'

PLAN
 SCALE: 1"=20'

NOTE: WATER METERS SHALL
 HAVE INTERIOR SETTINGS

RETAINING WALL ELEVATIONS - KEY
 TW = PROP. GRADE @ TOP OF WALL
 BW = PROP. GRADE @ FACE OF WALL

NO.	DATE	REVISION
2	5-27-03	REVISE METES AND BOUNDS FOR THE PROPERTY LINE OF LOT 25, AND DELETE ALL THE ABANDONED EASEMENTS AND ADD NEW
1	2-8-03	REVISE W/C TO BLDGS. F & G TO BE 3" W/C

BENCHMARK
 ENGINEERS • LAND SURVEYORS • PLANNERS

ENGINEERING, INC.

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 E-MAIL: benchmark@cois.com

6/3/02

APPROVED: FOR PUBLIC WATER AND SEWERAGE SYSTEMS
Penny Boverstein M.S./R.P. 6/17/02
 COUNTY HEALTH OFFICER - HO. CO. HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Cheryl Dammann 6/18/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

Cindy Hamble 6/24/02
 CHIEF, DIVISION OF LAND DEVELOPMENT

Paul Raitz 6/24/02
 DIRECTOR

DEVELOPER: KAISER FARM, L.L.C.
 P.O. BOX 417
 ELLICOTT CITY, MD 21041
 PHONE: 410-465-4244

BUILDER: RYLAND HOMES
 7250 PARKWAY DRIVE
 SUITE 520
 HANOVER, MD 21076
 PHONE: 410-712-7012

PROJECT: KAISER FARM APARTMENTS
 LOCATION: TAX MAP 17 - BLOCK 24
 PARCEL 733 - LOT 83
 2nd ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE: SITE DEVELOPMENT PLAN

DATE: AUGUST, 2001 PROJECT NO. 1478
 JUNE, 2002

Design: YSL Draft: MCR Check: DAM SCALE: 1"=20' DRAWING 3 OF 14