

ADDRESS CHART	
LOT NO.	STREET ADDRESS
1	7810 TWIN STREAM DRIVE
2	7814 TWIN STREAM DRIVE
3	7818 TWIN STREAM DRIVE
4	7830 TWIN STREAM DRIVE
5	7834 TWIN STREAM DRIVE
6	7838 TWIN STREAM DRIVE
7	7842 TWIN STREAM DRIVE
8	7839 TWIN STREAM DRIVE
9	7835 TWIN STREAM DRIVE
10	7831 TWIN STREAM DRIVE

SEWER HOUSE CONNECTION		
LOT NO.	INV. @ PROPERTY LINE	MIN. CELLAR EL.
1	371.13	376.0
2	374.14	379.5
3	381.15	385.0
4	405.20	409.0
5	406.88	410.0
6	406.59	411.0
7	407.44	411.5
8	415.90	420.0
9	415.70	420.0
10	405.68	410.0

SHEET INDEX	
SHEET	TITLE
1	COVER SHEET
2	SITE DEVELOPMENT PLAN (LOTS 1-3)
3	SITE DEVELOPMENT PLAN (LOTS 4-10)
4	GENERIC DETAILS AND NOTES
5	SEDIMENT CONTROL NOTES AND DETAILS

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	LOT #	TAX/ZONE MAP	CENSUS TRACT
BONNIE BRANCH OVERLOOK		1-10		
PLAT NO. 14557-14561	BLOCK # 9	ZONE R-20	TAX/ZONE MAP 31	ELEC. DIST. 2ND
WATER CODE G01	SEWER CODE			1255000

ALL SEDIMENT CONTROL MEASURES UNDER F-00-95 TO BE UTILIZED FOR THIS SITE DEVELOPMENT PLAN.

**DEVELOPER'S CERTIFICATE**

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING OF THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: *Michael Paul President* DATE: 11/06/01

**ENGINEER'S CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: *R. J. ...* DATE: 11/6/01

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Signature: *Jim ...* DATE: 11/9/01

Signature: *John ...* DATE: 11/9/01

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: *...* DATE: 12/4/01

Signature: *...* DATE: 12/5/01

Signature: *...* DATE: 12/5/01

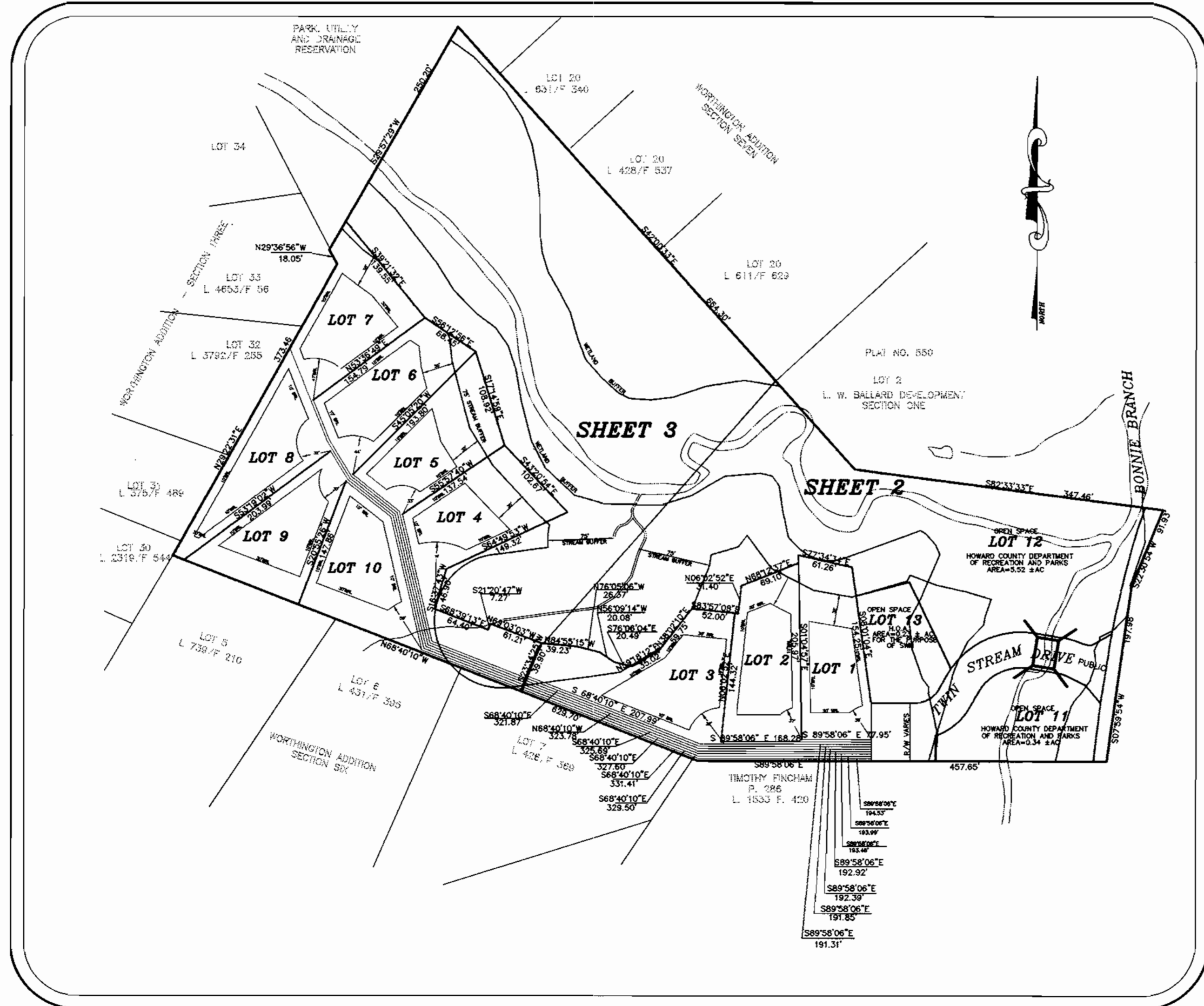
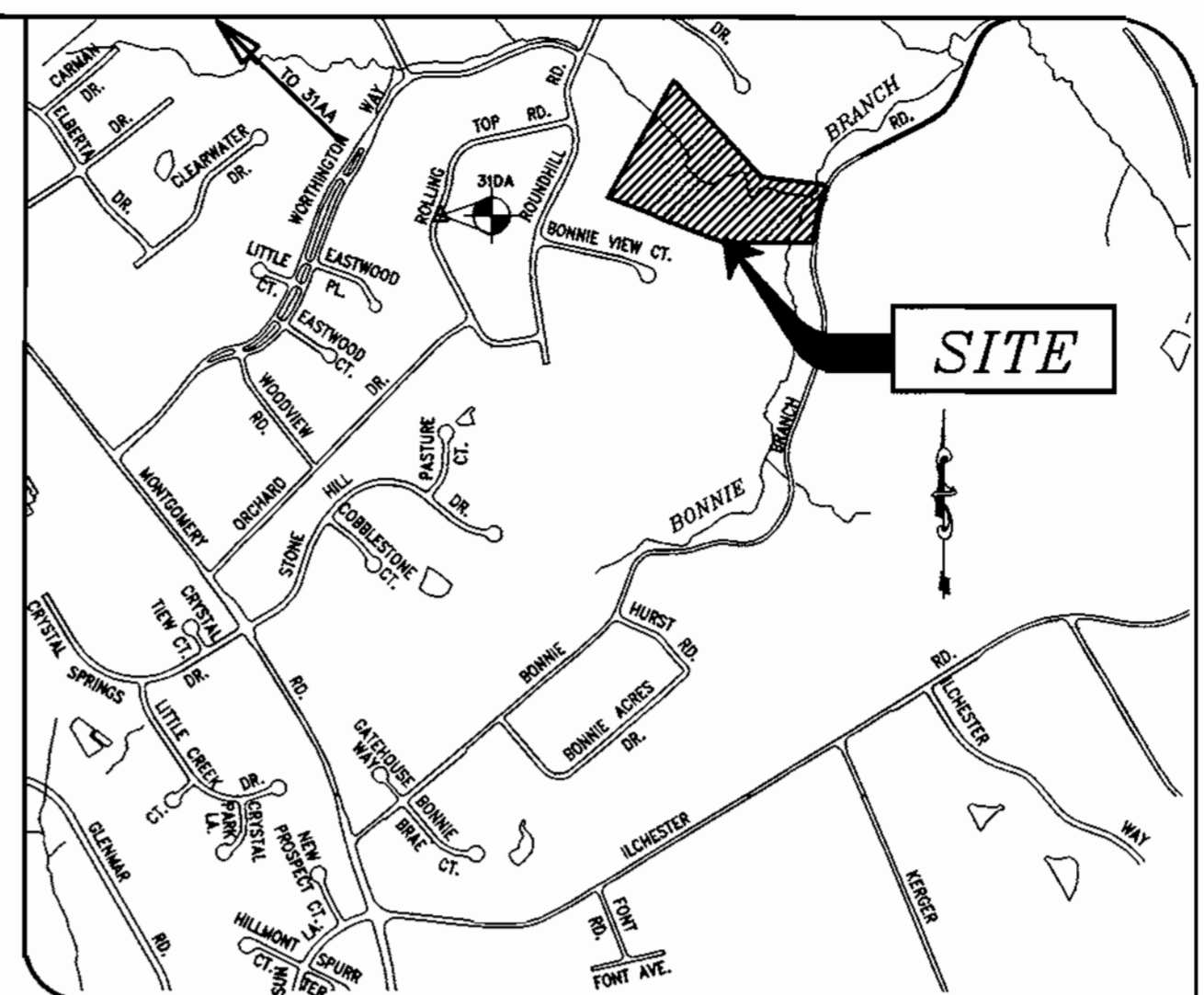
# SITE DEVELOPMENT PLAN

# BONNIE BRANCH OVERLOOK

## LOTS 1 THRU 10

## 2nd ELECTION DISTRICT

## HOWARD COUNTY, MARYLAND



**GENERAL NOTES:**

- SUBJECT PROPERTY ZONED R-20 AS PER THE 10/18/93 COMPREHENSIVE ZONING PLAN.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, AND MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION AT (410)-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:
  - LOCATION: TAX MAP 31, 2ND ELECTION DISTRICT.
  - ZONING: R-20
  - AREA: 10.27 AC.(447,274 SQ. FT.)
  - REFER TO: S-97-20, WP-98-75, P-99-03, BA 410-D, F-00-95
  - PROPOSED USE: SINGLE FAMILY DETACHED
  - OPEN SPACE ON SITE: 6.09 AC. AND 59.30% OF GROSS AREA
  - TOTAL NUMBER OF LOTS: 13
  - TOTAL NUMBER OF BUILDABLE LOTS: 10
  - TOTAL AREA OF BUILDABLE LOTS: 3.76 AC. ±
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. COUNTY MONUMENT NUMBERS 31AA AND 31BA ARE USED FOR THIS PROJECT.
 

STA No. 31AA	N 573.998.5709	EL= 500.157
	E 1,369.934.229	
STA No. 31BA	N 571.982.6701	EL= 482.35
	E 1,372.145.075	
- TOPOGRAPHIC INFORMATION ARE BASED ON AERIAL TOPOGRAPHIC SURVEY BY WINGS AERIAL MAPPING CO., INC. ON MARCH 12, 1997, AND APPROVED FINAL ROAD CONSTRUCTION PLANS UNDER F-00-95
- BOUNDARY BASED ON A FIELD RUN SURVEY PERFORMED ON OR ABOUT MARCH 1997 BY MILDENBERG, BOENDER & ASSOCIATES, INC.
- FLOODPLAIN LIMITS ARE BASED ON A STUDY PERFORMED ON OR ABOUT JULY 1998 AND UPDATED DEC. 1999 BY MILDENBERG, BOENDER & ASSOCIATES, INC.
- NO BURIAL OR CEMETERY SITES EXIST ON THE SITE.
- REFER TO CONTRACT NOS. 14-3823-D FOR WATER AND SEWER SERVICE.
- SEWER HOUSE CONNECTION ELEVATION SHOWN ARE LOCATED AT THE PROPERTY LINE.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN WETLANDS, STREAMS AND THEIR BUFFERS OR FOREST CONSERVATION AREAS. EXCEPT AS SHOWN ON APPROVED PLANS.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACK. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- PERIMETER LANDSCAPING IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL AND STREET TREES SHALL BE PROVIDED AS SHOWN ON THE APPROVED ROAD CONSTRUCTION DRAWINGS FOR F-00-95. FINANCIAL SURETY FOR THESE PLANTINGS HAS BEEN MADE A PART OF THE DEVELOPERS AGREEMENT. LANDSCAPING FOR THE TRASH PAD FOR USERS OF THE USE-IN-COMMON ACCESS EASEMENT SHALL BE PROVIDED AS SHOWN ON THE SITE DEVELOPMENT PLAN. FINANCIAL SURETY IN THE AMOUNT OF \$782.00 SHALL BE PAID AT THE TIME OF THE GRADING PERMIT APPLICATION FOR THIS SITE.
- FOREST CONSERVATION REQUIREMENTS HAS BEEN MET UNDER F-00-95
- ANY DAMAGE TO COUNTY'S RIGHT OF WAY SHALL BE CORRECTED AT THE DEVELOPERS EXPENSE. FOR DRIVEWAY DETAIL REFER TO HOWARD COUNTY DESIGN MANUAL VOLUME IV STANDARD DETAIL R-6.03.
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- JOINT PERMIT TRACKING NUMBER: 99-NT-0251/199964211.
- ALL EXISTING SUPER SILT FENCES AND SILT FENCES CONSTRUCTED UNDER F-00-95 TO REMAIN.
- HOMEOWNERS ASSOCIATION DOCUMENTS HAVE BEEN FILED WITH THE MARYLAND STATE DEPARTMENT OF TAXATION AND ASSESSMENTS AS IDENTIFICATION # 05980382 ON OCT. 23, 2000.
- FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 16.202 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL HAVE BEEN MET BY THE PLACEMENT OF 2.24 ACRES (RETENTION=1.79 AC/REFORESTATION=0.55 AC) IN EASEMENTS AS SHOWN ON THE RECORD PLAT OF THIS SITE F-00-95.
- SWM IS PROVIDED UNDER F-00-95, AND IT IS PRIVATELY OWNED AND MAINTAINED.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENT OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
  - A) WIDTH - 12 FEET (14 FEET IF SERVING MORE THAN ONE RESIDENCE)
  - B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING
  - C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 18% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS
  - D) STRUCTURES (CULVERTS/BRIDGES) - MUST SUPPORT 25 GROSS TON LOADING (H25 LOADING)
  - E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
  - F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
  - G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
- THE WALL ON LOT 6 IS PRIVATELY OWNED AND MAINTAINED BY THE OWNERS OF LOT 6.

**BUILDER:**  
TRINITY HOMES  
7320 GRACE DRIVE  
COLUMBIA, MARYLAND 21044  
(443) 324-9806

**OWNER:**  
RONALD WILLMAN  
4747 BONNIE BRANCH  
ELLICOTT CITY, MARYLAND 21043  
(410) 869-9999

**SPECIAL NOTES:**

THIS PLAN IS FOR HOUSE SITING AND LOT GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHTS-OF-WAY ON THE SDP ARE NOT TO BE USED FOR CONSTRUCTION. FOR CONSTRUCTION SEE APPROVED ROAD CONSTRUCTION PLANS F-00-95 AND APPROVED WATER & SEWER PLANS CONTRACT # 14-3823-D.

PROJECT: 96090 JULY 2001  
 ILLUSTRATION: SAA  
 SCALE: AS SHOWN  
 APPROVAL: RTH

PROJECT: BONNIE BRANCH OVERLOOK  
 LOTS 1 THRU 10  
 TAX MAP 31 - P/O PARCEL 27 - GRID 9  
 SECOND ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 COVER SHEET

**MILDENBERG, BOENDER & ASSOC., INC.**  
 Engineers Planners Surveyors  
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland, 21042  
 (410) 987-0296, Fax: (301) 621-5521, Wash. (410) 987-0288 Fax

1 OF 5

SDP-02-14

LOT #	EL. OF DRIVEWAY AT EASEMENT LINE
1	381.21
2	390.32
3	401.84

### SEDIMENT TRAP DATA (F-00-95)

TYPE: ST-1 PIPE OUTLET  
 DRAINAGE AREA: 3.22 ACRES  
 TOTAL VOLUME REQUIRED: 11,592 C.F.  
 TOTAL VOLUME PROVIDED: 15,855 C.F.  
 WET STORAGE REQUIRED: 5,796 C.F.  
 WET STORAGE PROVIDED: 6,995 C.F.  
 WET STORAGE EL.: 364.5  
 DRY STORAGE REQUIRED: 5,796 C.F.  
 DRY STORAGE PROVIDED: 7,860 F.F.  
 DRY STORAGE EL.: 366.0  
 RISER SIZE: 21"  
 BARREL SIZE: 12"

### LEGEND

- DENOTES FLOODPLAIN
- DENOTES WETLANDS
- DENOTES FOREST CONSERVATION EASEMENT
- DENOTES SLOPES OF 25% OR STEEPER.
- DENOTES SILT FENCE
- DENOTES SUPER SILT FENCE
- DENOTES STABILIZED CONSTRUCTION ENTRANCE
- DENOTES LIMIT OF DISTURBANCE
- DENOTES RETAINING WALL
- DENOTES APPROXIMATE DRY WELL LOCATION
- DENOTES PROPOSED TREES & SHRUBS UNDER F-00-95

### SCREENING

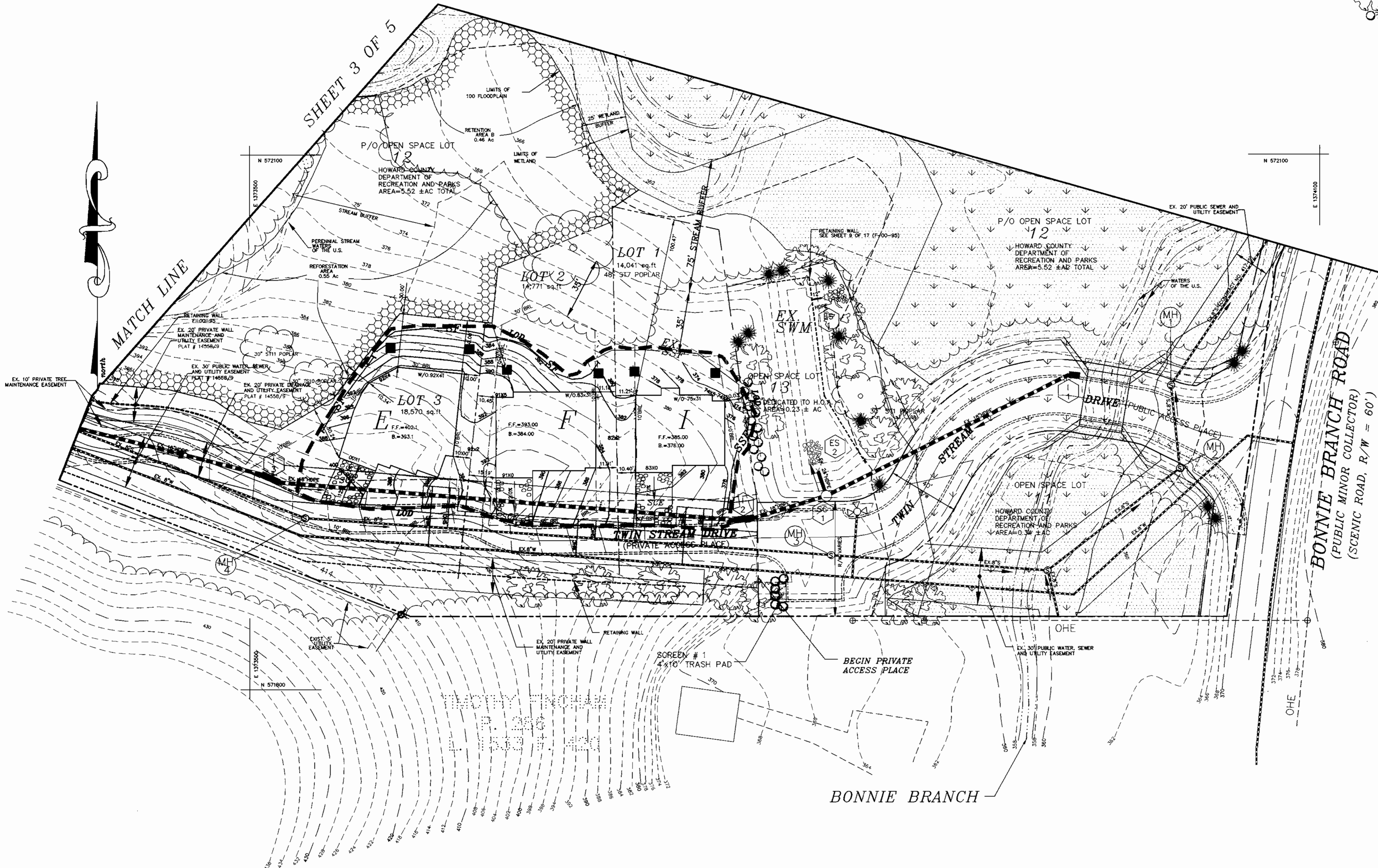
SCREEN #1  
 TRASH PAD - 18 LF - TYPE E BUFFER  
 0 SHADE TREE AND 5 SHRUBS REQUIRED  
 0 SHADE TREE AND 6 SHRUBS PROVIDED

### KEY:

- 20' PRIVATE WALL MAINTENANCE EASEMENT
- 20' PRIVATE DRAINAGE AND UTILITY EASEMENT
- 30' PUBLIC WATER, SEWER AND UTILITY EASEMENT
- 24' PRIVATE ACCESS PLACE EASEMENT
- 10' PRIVATE TREE MAINTENANCE EASEMENT

### NOTE:

FOR TYPES OF EASEMENTS REFER TO: F-00-95.  
 PLAT #5: 14557-14561



**DEVELOPER'S CERTIFICATE**  
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING OF THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

*Michael P. Hall* 11/26/01  
 SIGNATURE OF DEVELOPER DATE  
 MICHAEL P. HALL, PRESIDENT  
 PRINTED NAME OF DEVELOPER

**ENGINEER'S CERTIFICATE**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

*Jim M. Jones* 11/26/01  
 SIGNATURE OF ENGINEER DATE  
 JIM M. JONES, ENGINEER  
 PRINTED NAME OF ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

*Jim M. Jones* 11/26/01  
 SDA - NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robertson* 11/9/01  
 APPROVED SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Michael J. Williams* 12/4/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*John R. Robertson* 12/5/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
*John R. Robertson* 12/6/01  
 DIRECTOR DATE

**BUILDER**  
 TRINITY HOMES  
 7320 GRACE DRIVE  
 COLUMBIA, MARYLAND 21044  
 (443) 924-9806

**OWNER**  
 RONALD WILDMAN  
 4747 BONNIE BRANCH ROAD  
 ELLICOTT CITY, MARYLAND 21043  
 (410) 869-9999

date	JULY 2001	engineering	SAA	approval	RJH
project	96090	illustration	SAA	scale	1" = 30'

date	JULY 2001
description	revisions
no.	

**BONNIE BRANCH OVERLOOK**  
 LOTS 1 THRU 10  
 TAX MAP 31 - P/O PARCEL 27 - GRID 9  
 HOWARD COUNTY, MARYLAND  
 SECOND ELECTION DISTRICT  
 SITE DEVELOPMENT PLAN

**MILDENBERG & ASSOC., INC.**  
 Engineers Planners Surveyors  
 5072 Dorsey Hill Drive, Suite 202, Ellicott City, Maryland 21042  
 (410) 987-0296 Balt. (301) 621-5521 Wash. (410) 987-0298 Fax

LOT #	EL. OF DRIVEWAY AT EASEMENT LINE
4	419.56
5	421.34
6	424.08
7	422.09
8	425.11
9	423.37
10	422.61

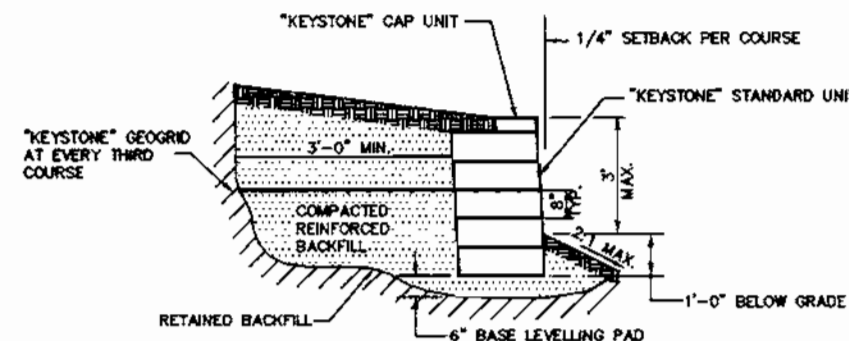
**LANDSCAPE REQUIREMENT PLANTING SCHEDULE**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
1		ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2 1/2" - 3" CAL.
2		PICEA ADRIENSIS OR EQUIVALENT	NORWAY SPRUCE	6' - 8' HT.
6		TAXUS MEDIA 'HICKSI' OR EQUIVALENT	HICKS YEW	2' - 3' HT.
<b>TOTAL</b> 9 TREES & SHRUBS (1 SHADE TREE, 2 EVERGREENS, 6 SHRUBS)				

**SCHEDULE A : PERIMETER LANDSCAPED EDGE**

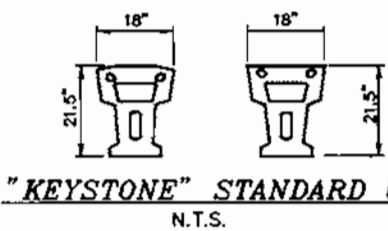
CATEGORY	ADJACENT TO ROADWAYS
LANDSCAPE TYPE	B (PERIMETER 1)
LINEAR FEET OF PERIMETER	60 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	NO
NUMBER OF PLANTS REQUIRED	1 SHADE TREE 2 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED	1 SHADE TREE 2 EVERGREEN TREES 0 SHRUBS

\$785 surety

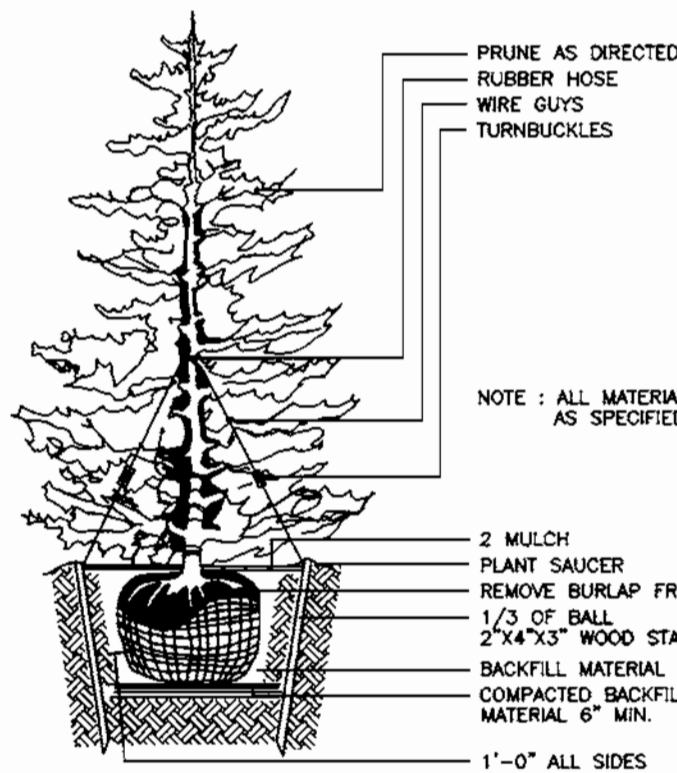


**RETAINING WALL DETAIL**

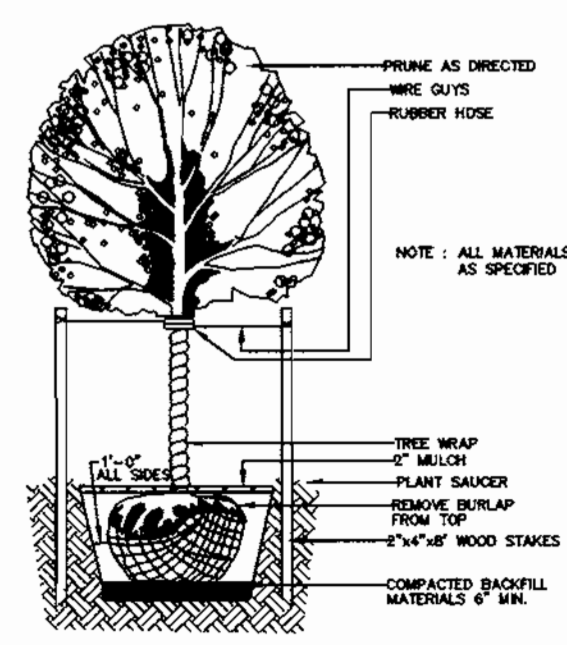
NOTE: 1. ALL FOOTING AND DESIGN SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
2. COMPACTED REINFORCED BACKFILL SHALL CONSIST OF GRAVEL OR CRUSHED STONE (1/2\"/>



**"KEYSTONE" STANDARD UNIT**  
N.T.S.



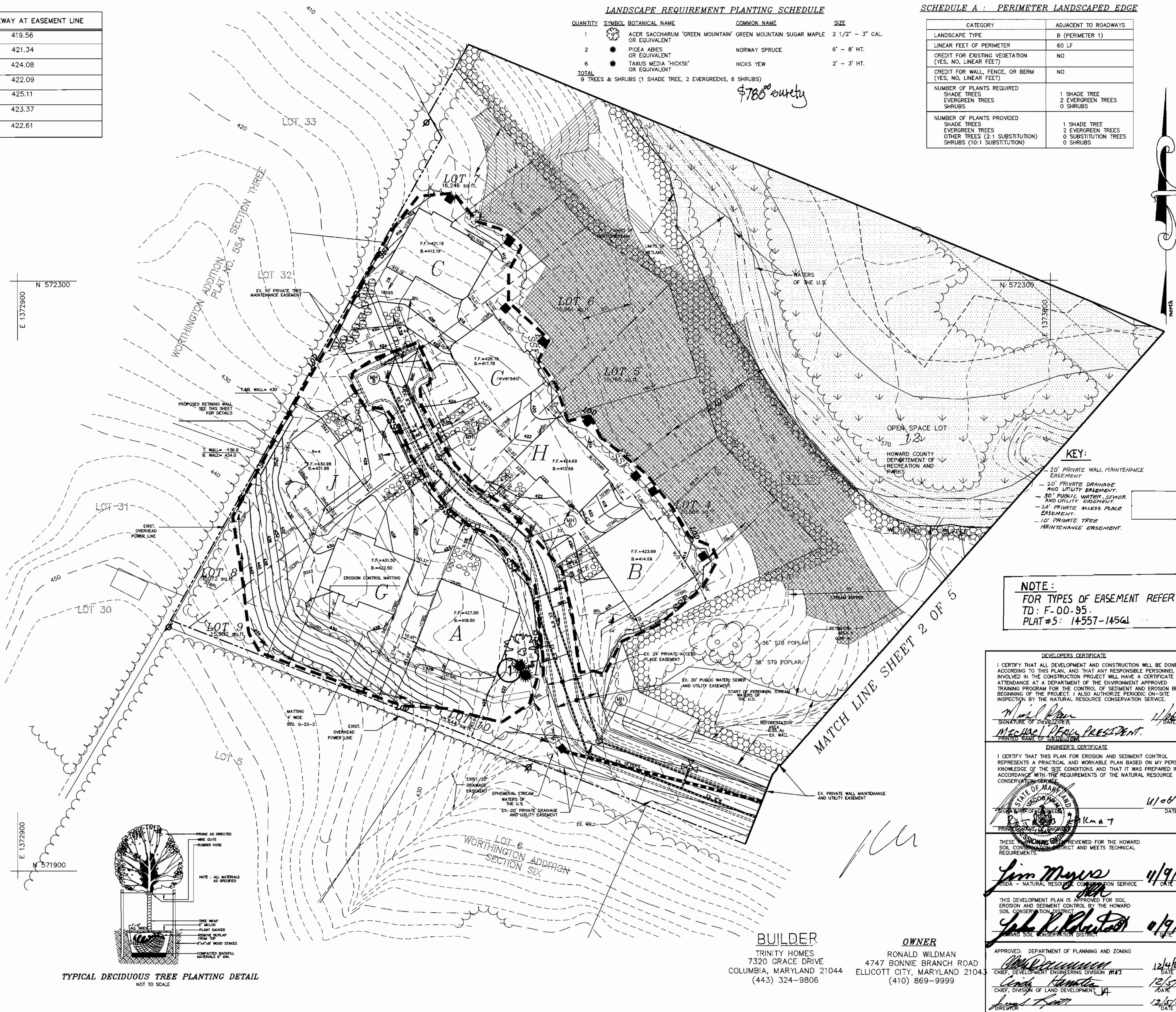
**TYPICAL EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE



**TYPICAL DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE

**LEGEND**

- DENOTES FLOODPLAIN
- DENOTES SLOPES OF 25% OR STEEPER.
- DENOTES WETLANDS
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- DENOTES SILT FENCE
- DENOTES SUPER SILT FENCE
- DENOTES SUPER SILT FENCE DIVERSION
- DENOTES EARTH DIKE
- DENOTES STABILIZED CONSTRUCTION ENTRANCE
- DENOTES LIMIT OF DISTURBANCE
- DENOTES APPROXIMATE DRY WELL LOCATION
- DENOTES PROPOSED RETAINING WALL
- DENOTES PROPOSED SHRUBS PER F-00-95



**NOTE:**  
FOR TYPES OF EASEMENT REFER  
TO: F-00-95.  
PLAT #5: 14557-14561

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*Michael Peck*  
SIGNATURE OF DEVELOPER  
**MICHAEL PECK, PRESIDENT**  
PRINTED NAME OF DEVELOPER

**ENGINEER'S CERTIFICATE**  
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*Jim Meyers*  
SIGNATURE OF ENGINEER  
**JIM MEYERS**  
PRINTED NAME OF ENGINEER

**APPROVED:** DEPARTMENT OF PLANNING AND ZONING  
*Carol Kemnitz*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
*Carol Kemnitz*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
*Director*  
DIRECTOR

**BUILDER:**  
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COLUMBIA, MARYLAND 21044  
(443) 324-9806

**OWNER:**  
RONALD WILDMAN  
4747 BONNIE BRANCH ROAD  
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(410) 869-9999

DATE: 11/06/01  
DATE: 11/06/01  
DATE: 11/06/01  
DATE: 12/4/01  
DATE: 12/5/01  
DATE: 12/5/01

DATE: JULY 2001  
PROJECT: 96090  
ILLUSTRATION: SAA  
SCALE: 1"=30'

DATE: JULY 2001  
DESCRIPTION: REVISIONS

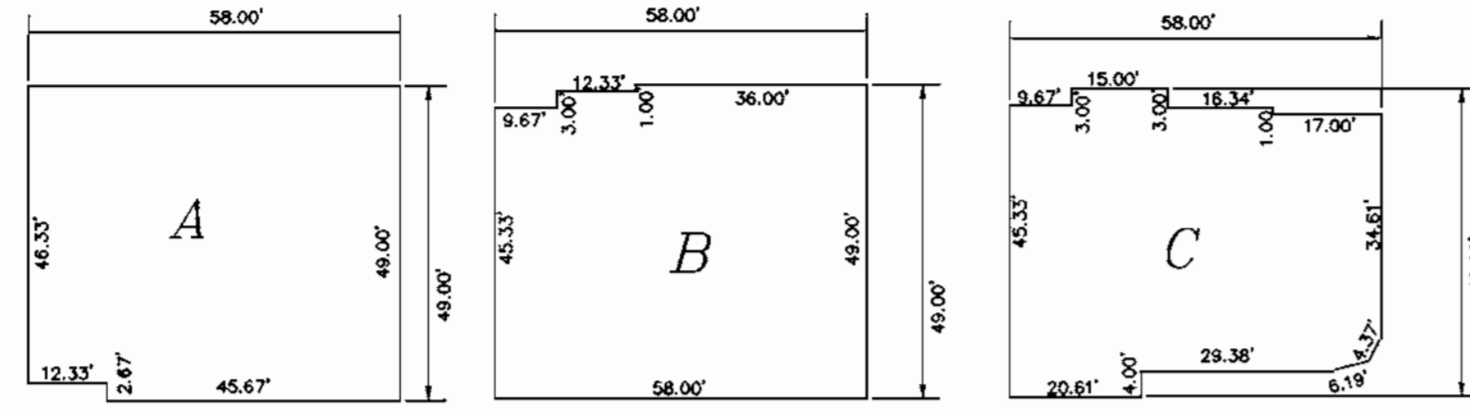
**BONNIE BRANCH OVERLOOK**  
LOTS 1 THRU 10  
TAX MAP 31 - P/O PARCEL 27 - GRID 9  
HOWARD COUNTY, MARYLAND  
SECOND ELECTION DISTRICT  
SITE DEVELOPMENT PLAN

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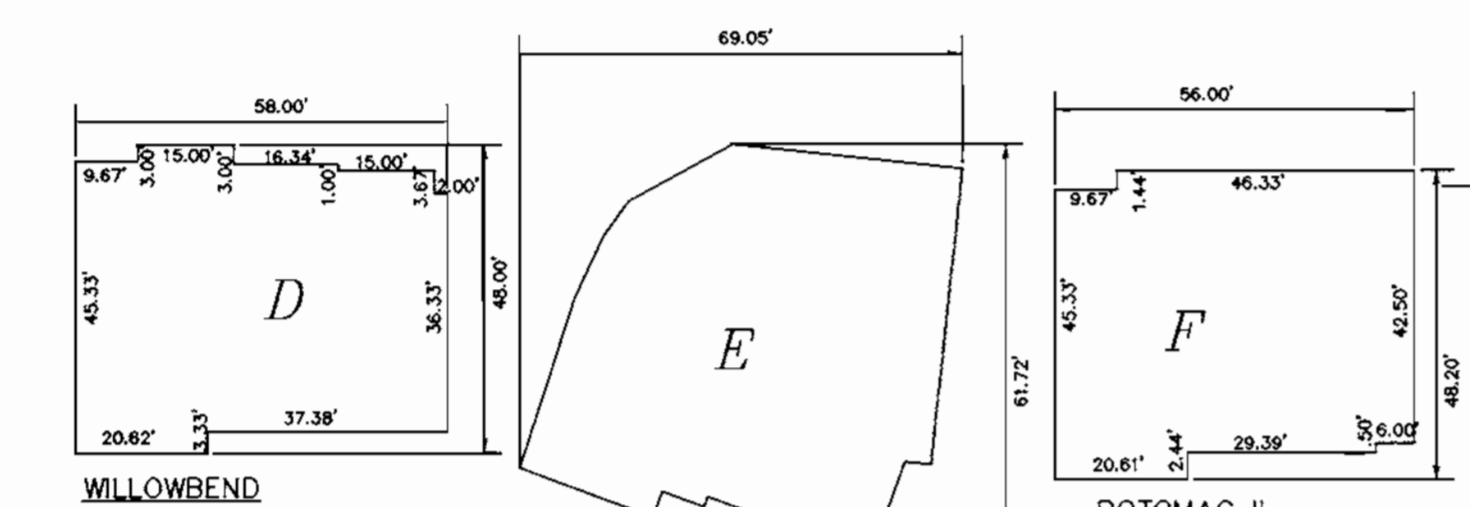
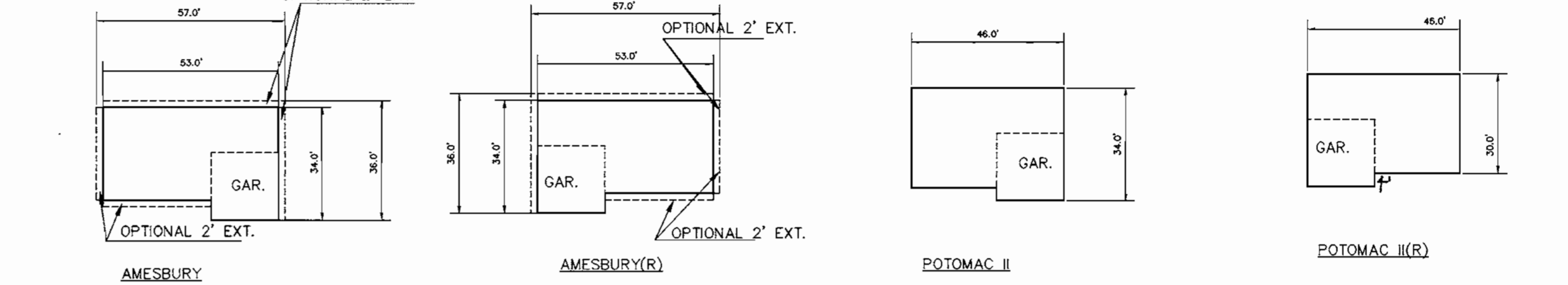
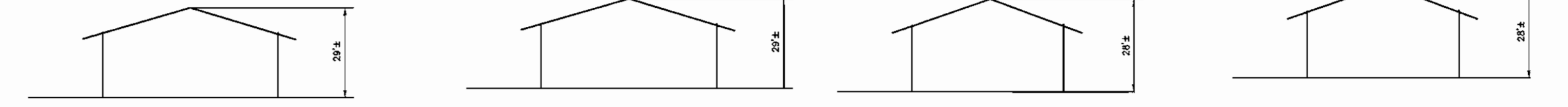
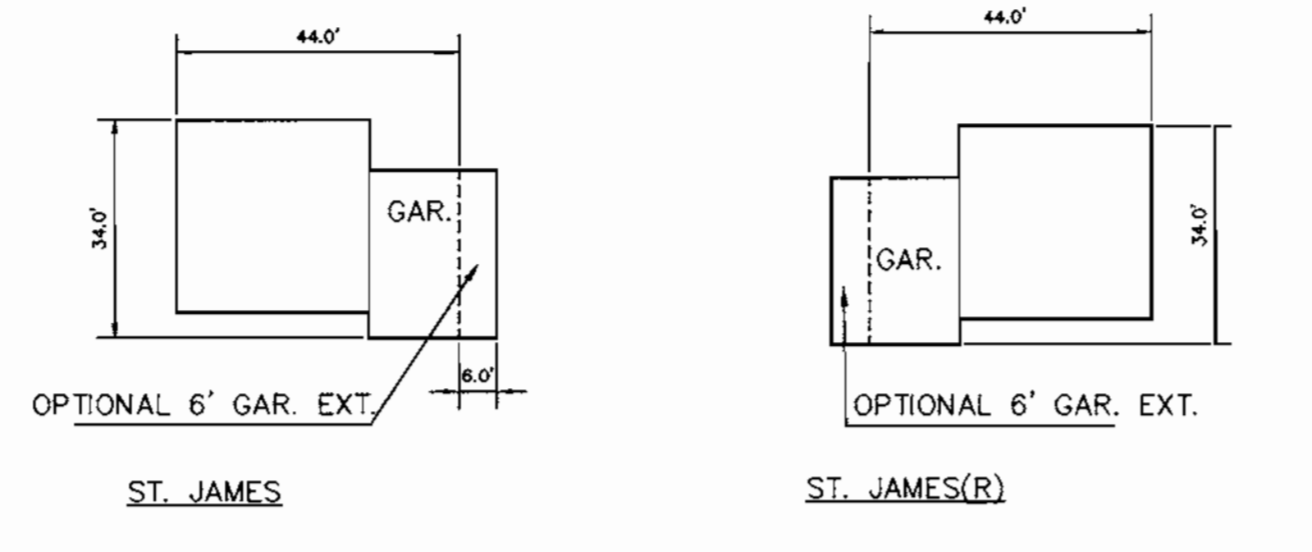
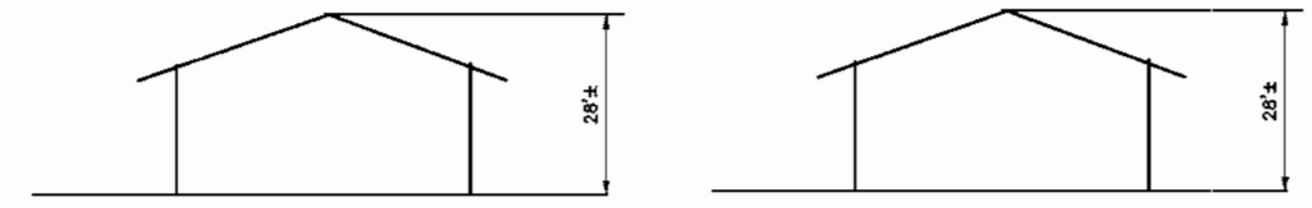
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SDP-02-14

HOUSE MODELS

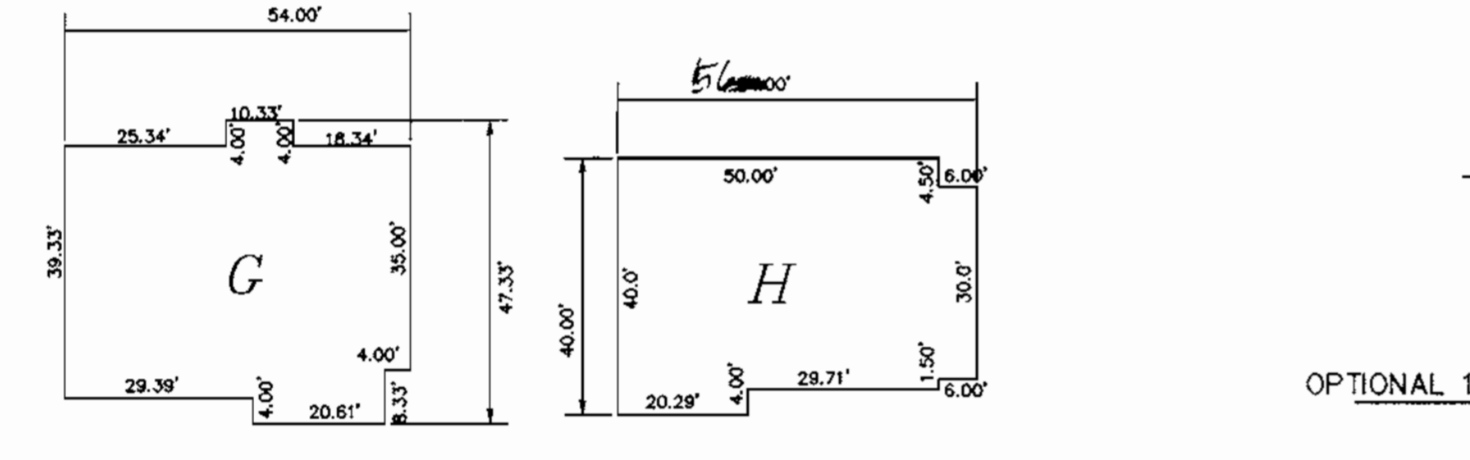
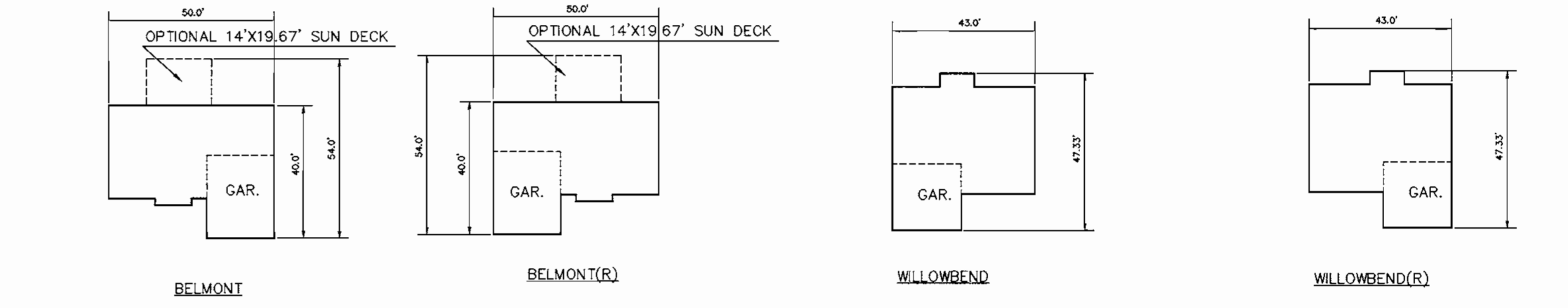
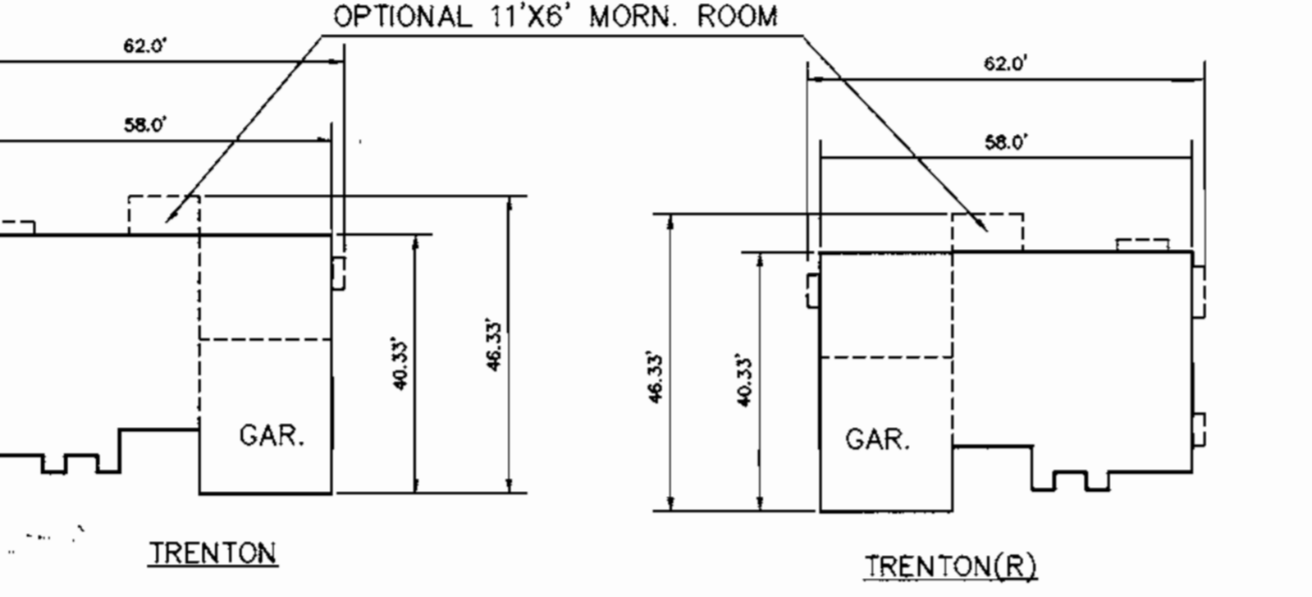
GENERIC BOXES



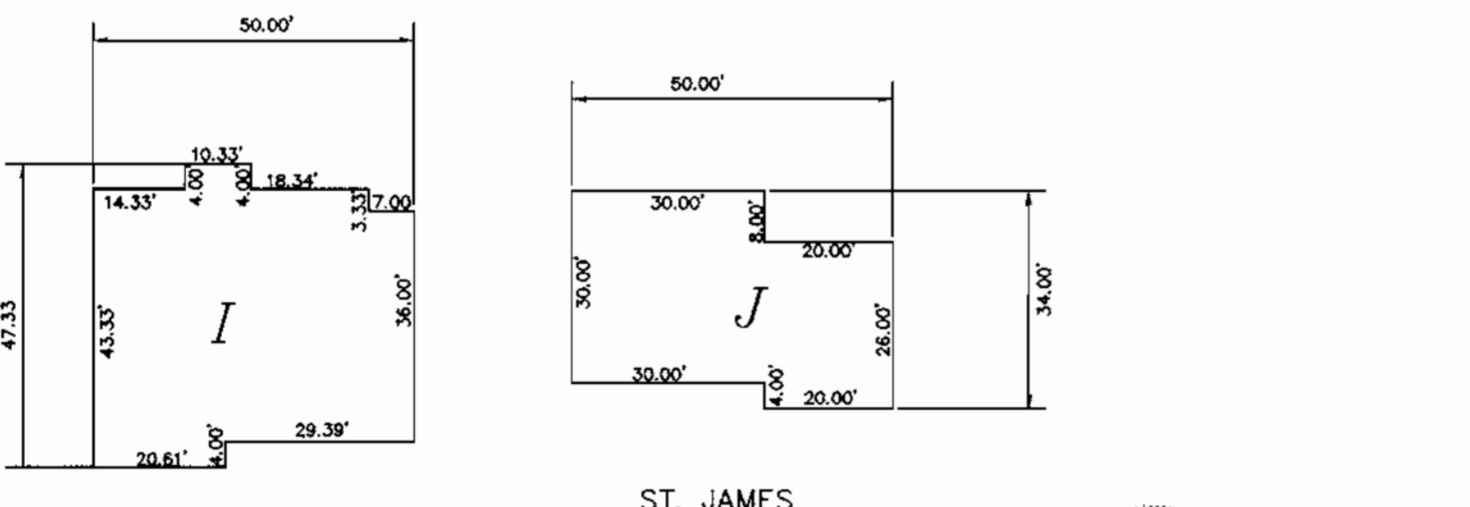
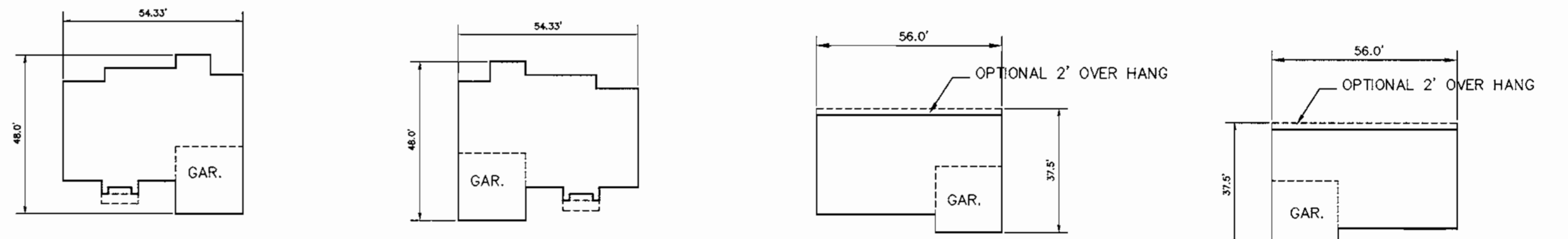
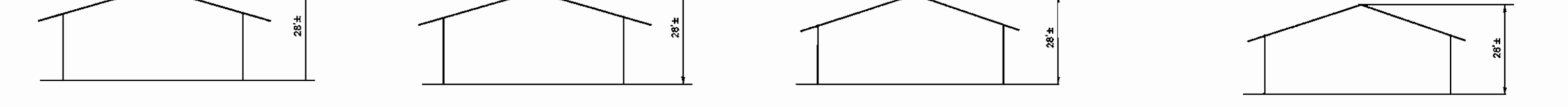
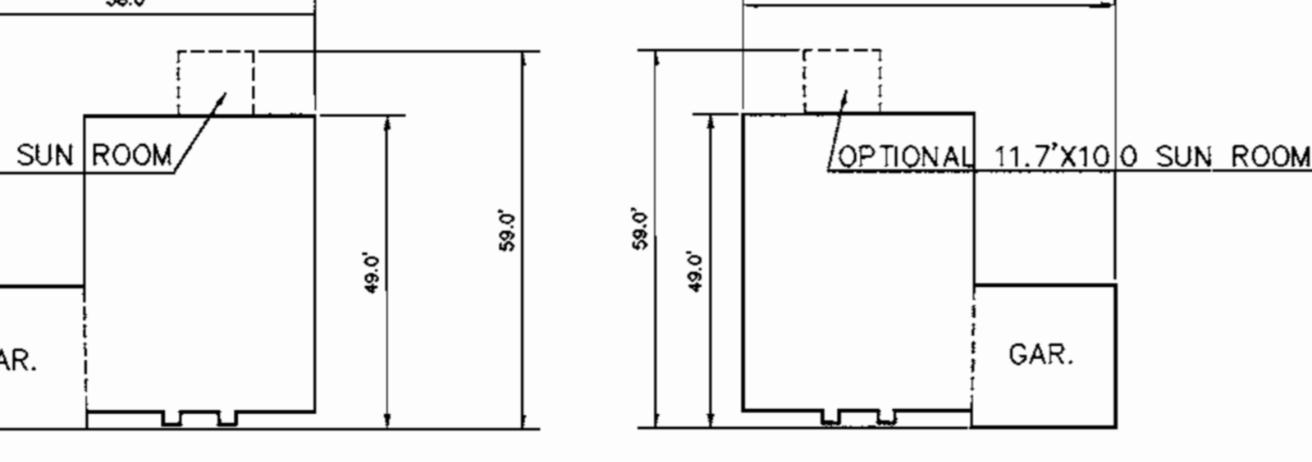
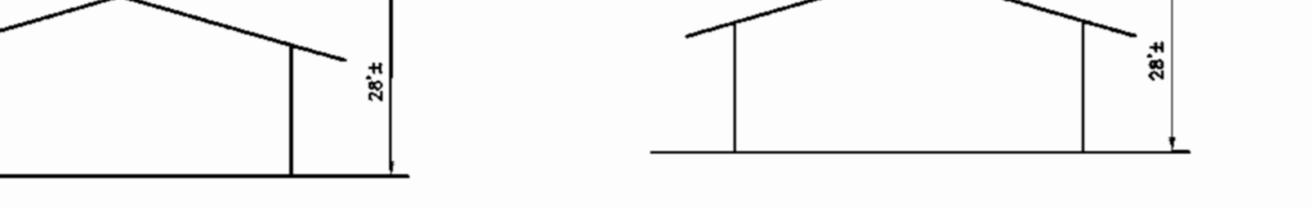
- YORKSHIRE MANOR
- WILLOWBEND(R)
- ASHLEIGH
- WINDEMERE(R)
- TRENTON
- AMESBURY
- ST. JAMES
- BELMONT
- ABBEY(R) (no sunroom)
- POTOMAC II
- STERLING



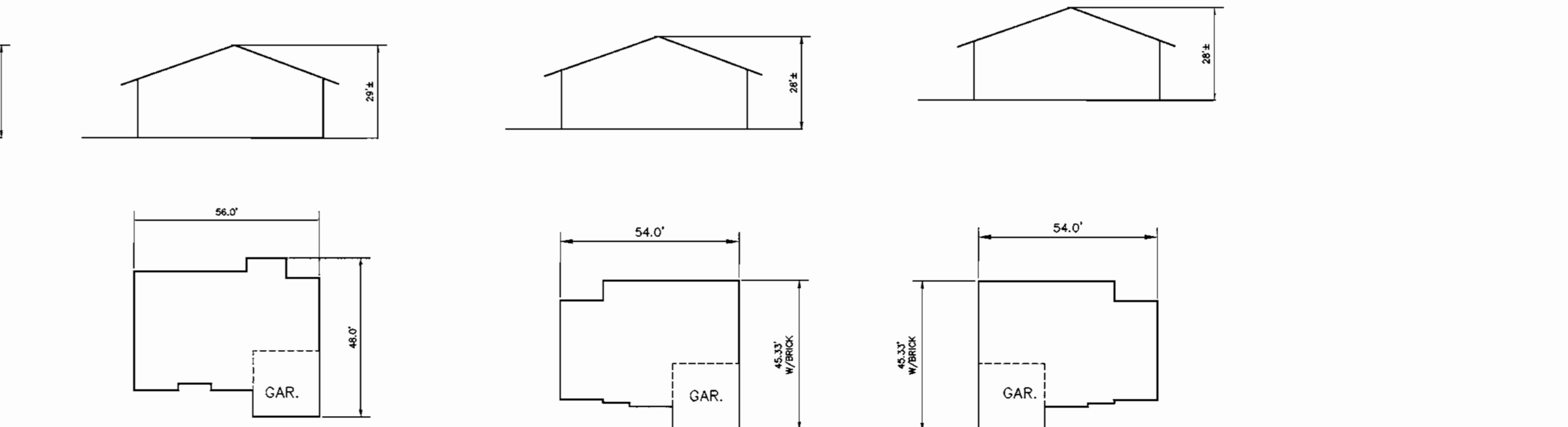
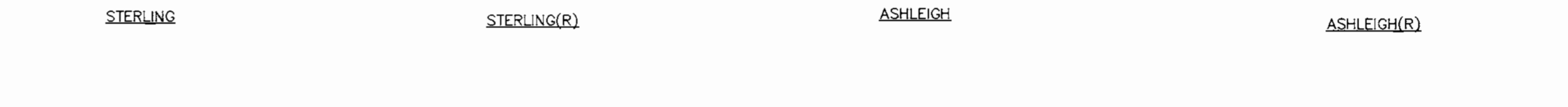
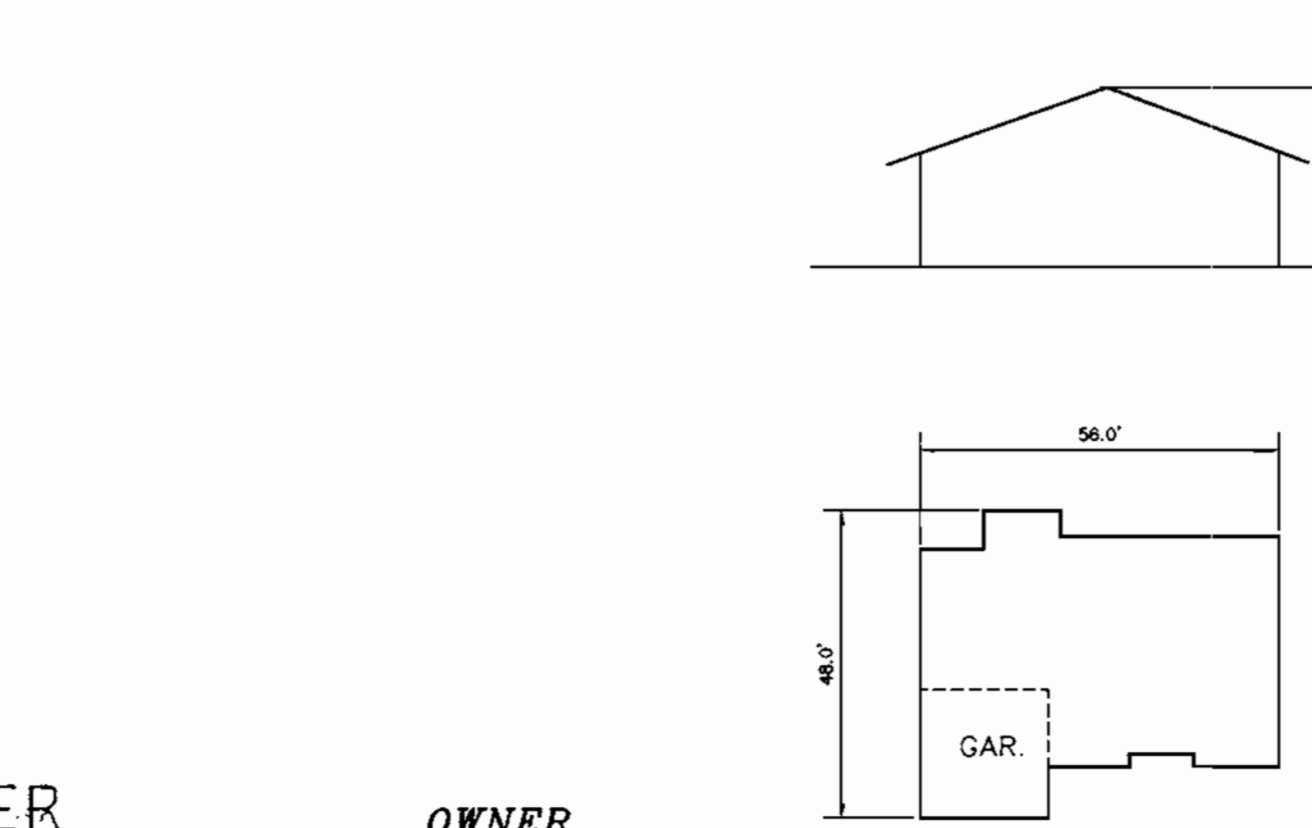
- WILLOWBEND
- YORKSHIRE MANOR(R)(with brick)
- ASHLEIGH(R)
- WINDEMERE
- TRENTON(R)
- AMESBURY(R)
- ST. JAMES(R)
- BELMONT(R)
- POTOMAC II(R)
- STERLING(R)



- WILLOWBEND(R)
- AMESBURY(NO EXTENSIONS)
- ST. JAMES
- BELMONT(NO SUNROOM)
- POTOMAC II



- POTOMAC II
- BELMONT(NO SUN ROOM)
- ST. JAMES
- WILLOWBEND



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 12/4/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 12/5/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 12/5/01  
 DIRECTOR

**BUILDER**  
 TRINITY HOMES  
 7320 GRACE DRIVE  
 COLUMBIA, MARYLAND 21044  
 (443) 324-9806

**OWNER**  
 RONALD WILDMAN  
 4747 BONNIE BRANCH ROAD  
 ELLICOTT CITY, MARYLAND 21043  
 (410) 869-9999

Project	96090	date	JULY 2001
Illustration	SA	engineering	SA
Scale	1"=30'	approval	RJH

no.	description	revisions	date

**BONNIE BRANCH OVERLOOK**  
 LOTS 1 THRU 10  
 TAX MAP 31 - P/O PARCEL 27 - GRID 9  
 SECOND ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 GENERIC DETAILS AND NOTES

**MILDENBERG, BOENDER & ASSOC., INC.**  
 Engineers Planners Surveyors  
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042  
 (410) 997-0236 Fax: (301) 621-5521 Wash. (410) 997-0298 Fax.

HOWARD SOIL CONSERVATION DISTRICT

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- 1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ.FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL AT TIME OF SEEDING. APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS./1000 SQ.FT.).
2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ.FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 15 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE 1.4 LBS./1000 SQ.FT. OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS./1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROJECT SITE BY: OPTION (1) - 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) - USE SOO. OPTION (3) - SEED WITH 60 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONE/ACRE WELL ANCHORED STRAW.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL./1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL./1000 SQ.FT.) FOR ANCHORING.

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.)

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (.07 LBS./1000 SQ.FT.). FOR THE PERIOD NOVEMBER 16 THRU NOVEMBER 28, PROJECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOO.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED WEED FREE SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL./1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GAL PER ACRE (8 GAL./1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

STANDARD SEDIMENT CONTROL NOTES

- 1) A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF NAY CONSTRUCTION. (313-1855).
2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT 'MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL', AND REVISIONS THERE TO.
3) FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4) ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5) ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC.51), SOO (SEC. 54), TEMPORARY SEEDING (SEC.52), TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7) SITE ANALYSIS:
TOTAL AREA OF SITE: 3.76 ACRES
AREA DISTURBED: 1.82 ACRES
AREA TO BE ROOFED OR PAVED: 0.68 ACRES
AREA TO BE VEGETATIVELY STABILIZED: 1.24 ACRES
TOTAL CUT: 6,500 CU. YDS.
TOTAL FILL: 6,500 CU. YDS.
TOTAL WASTE/BORROW AREA LOCATION: (NOT REQUIRED.)

THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. CONTRACTOR IS REQUIRED TO PROVIDE MEASUREMENTS.

- 8) ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9) ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
10) ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
11) TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

BY THE DEVELOPER:

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: Michael Dean, President. Date: 11/06/01

BY THE ENGINEER:

Signature: John W. Deaton, III. Date: 11/14/01

Signature: John W. Deaton, III. Date: 11/14/01

Signature: John W. Deaton, III. Date: 11/14/01

Signature: John W. Deaton, III. Date: 11/14/01

Signature: John W. Deaton, III. Date: 11/14/01

STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

- I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE
b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR CONTAINING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
d. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATION. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

- II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
i. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF COAST-TRADING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.
ii. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSON-SOON GRASS, NUTSEDEGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
iii. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, QUACK LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
iv. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
I. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.
v. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
I. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
a. PH FOR TOPSOILS SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE DESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
b. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
c. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
d. NO SOO OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14-DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.
NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
ii. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

- III. TOPSOIL APPLICATION
I. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
II. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4" - 8" HIGHER IN ELEVATION.
III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" TO 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SOODING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
iv. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

V. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:

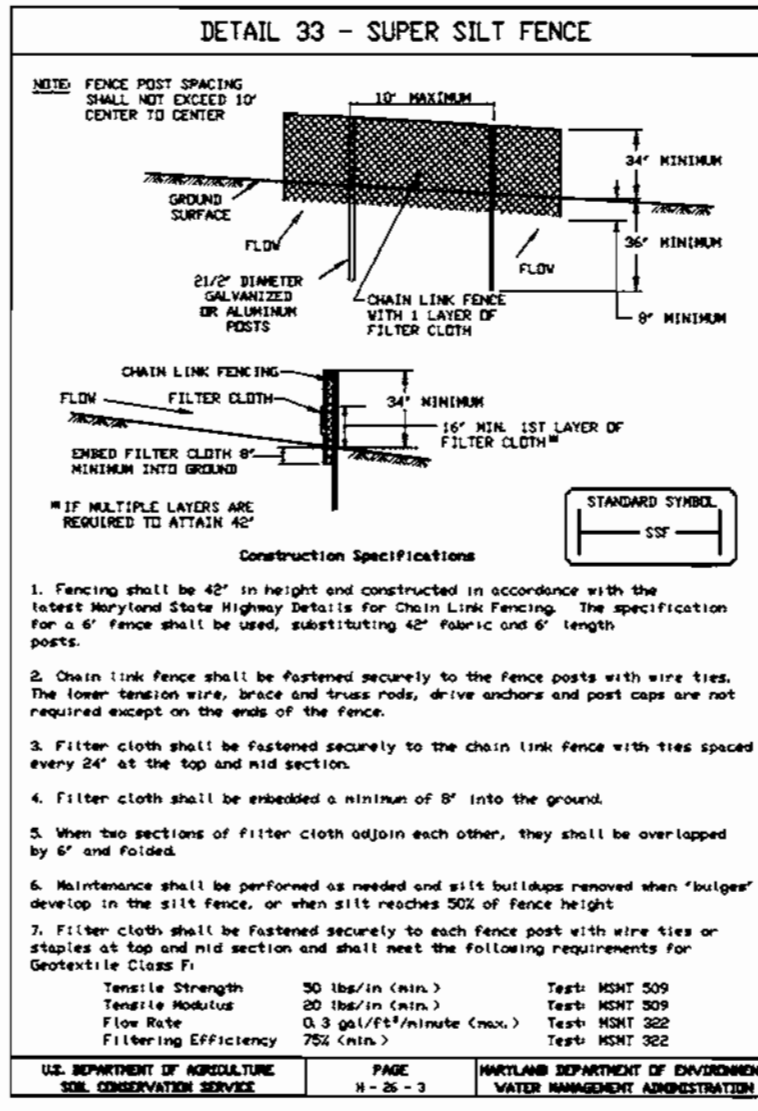
- i. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
a. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS WHO ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
b. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHOROUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
c. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.
iv. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SOODING. MD-VI, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973.

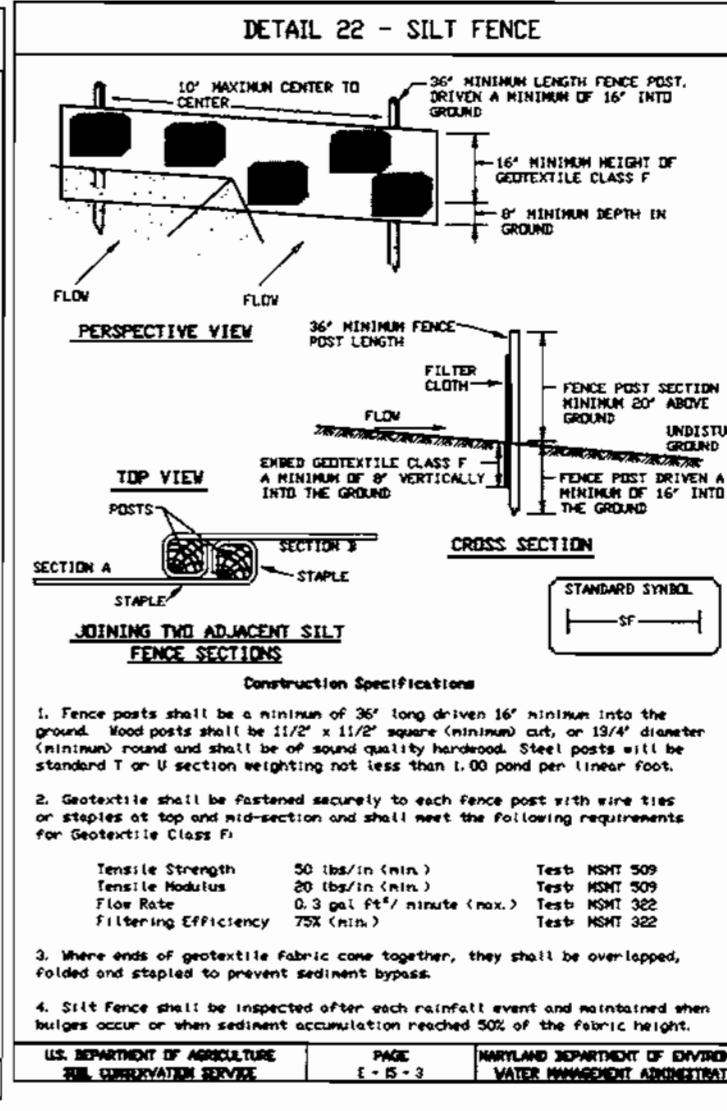
- 1. OBTAIN GRADING PERMIT
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE, WITH MOUNTABLE BERM, AT LOCATIONS SHOWN. (1 DAY)
3. CONSTRUCT PROPOSED SILT FENCES AND SUPER SILT FENCES (SILT FENCES AND SUPER SILT FENCES TO REMAIN FROM F-00-98 ARE LABELED AS EXISTING) (1 DAY)
4. BRING SITE TO GRADE. (20 DAYS)
5. STABILIZE ALL DISTURBED AREAS, BUILDER SHALL CLEAN SWM POND OF ANY ATTRIBUTED TO THIS PLAN. (3 DAYS)
6. WHEN ALL CONTRIBUTING DRAINAGE AREAS TO THE SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED, AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE ALL REMAINING AREAS. (3 DAYS)

SEQUENCE OF CONSTRUCTION

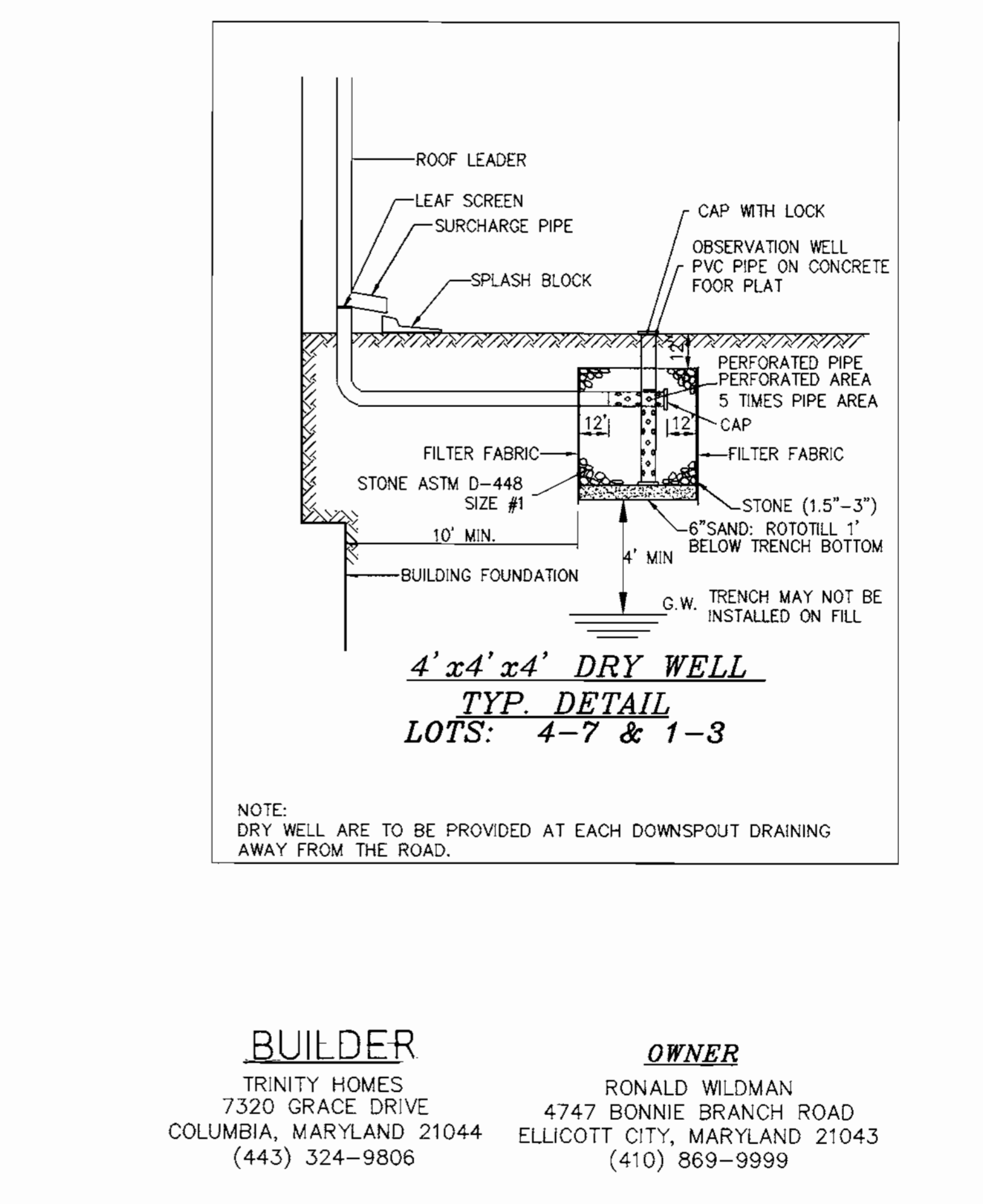
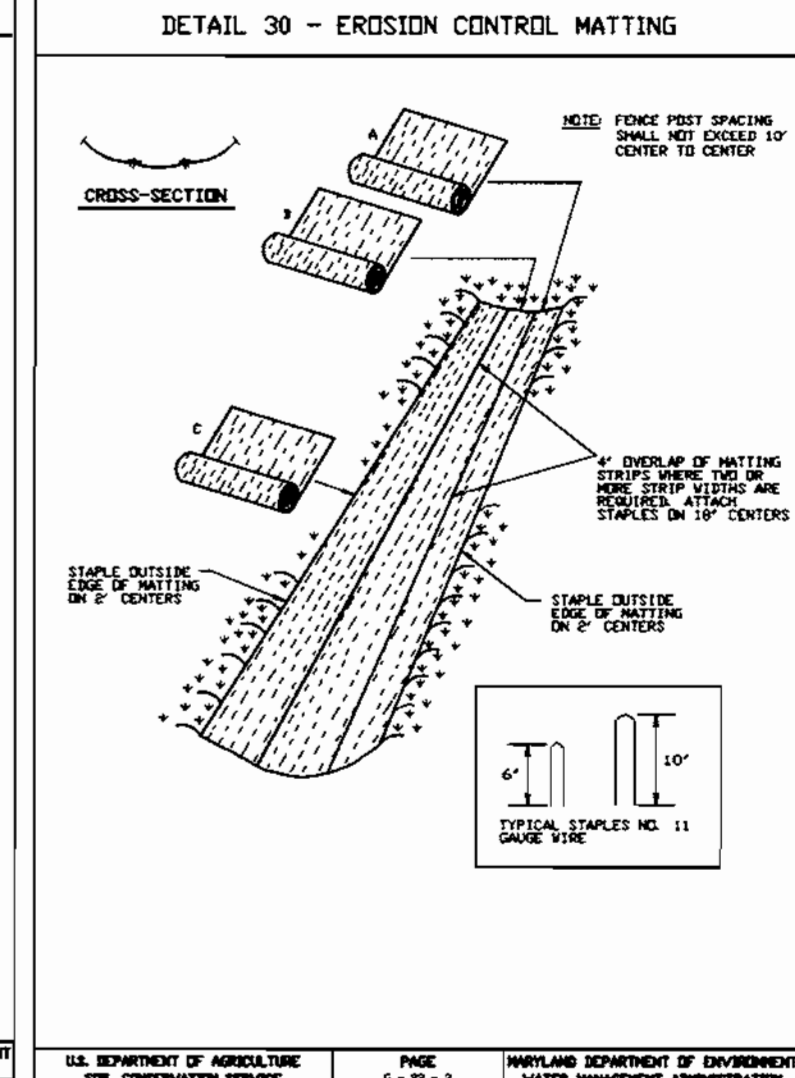
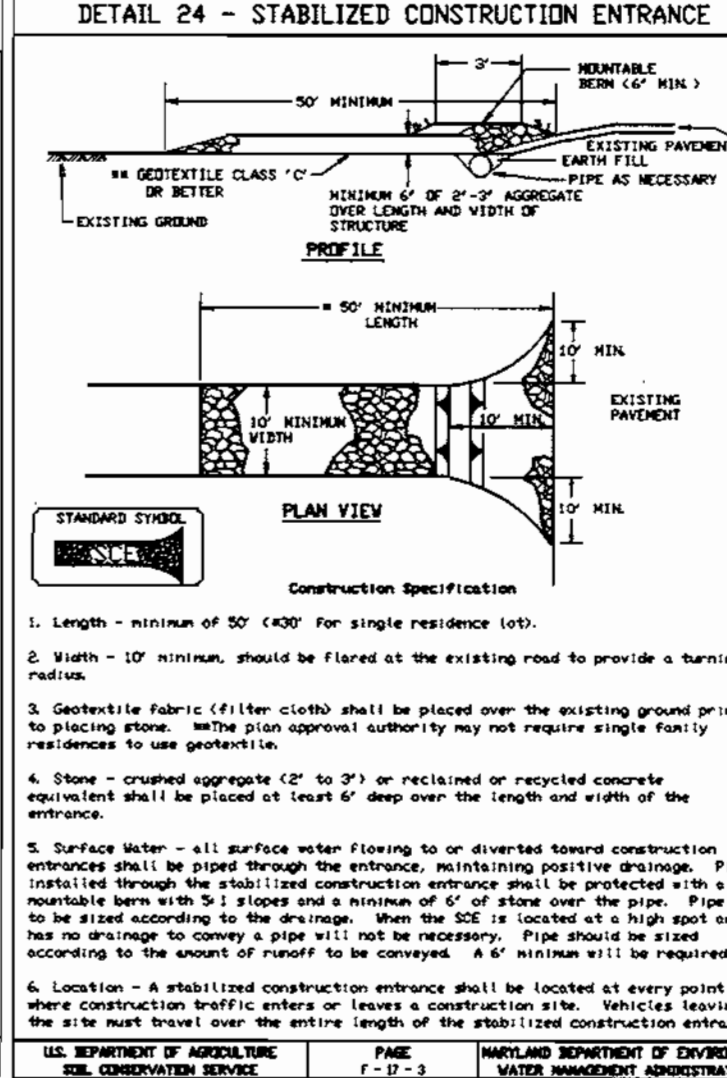
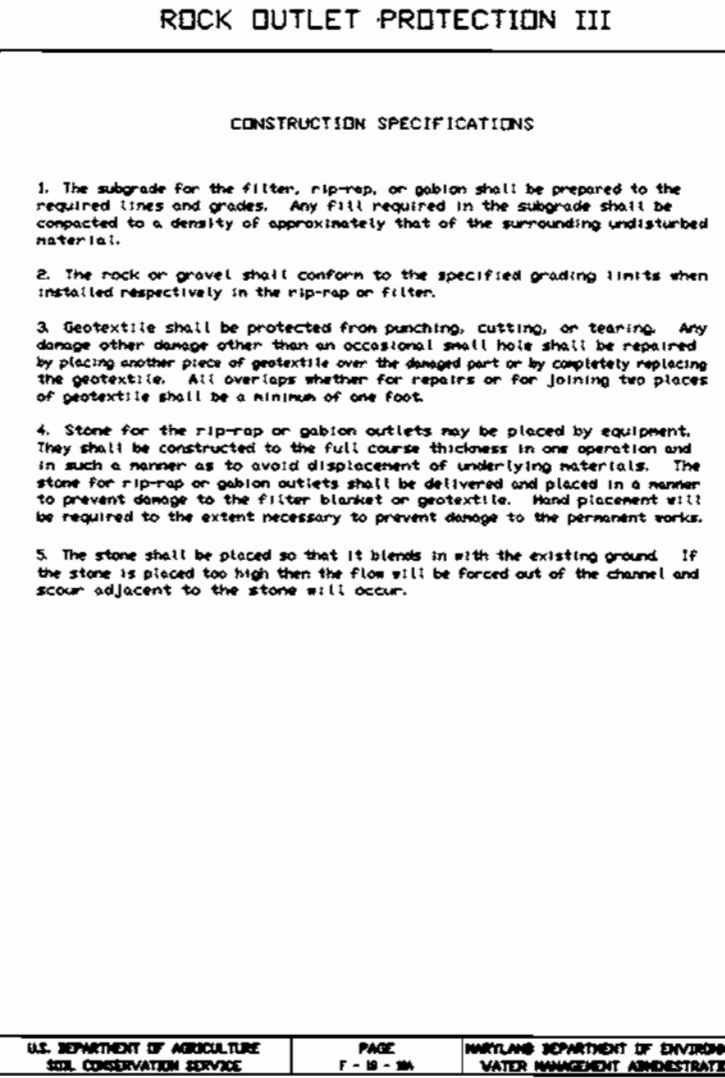
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SUPER SILT FENCE Design Criteria table with columns for Slope, Slope Steepness, Slope Length (Maximum), and Silt Fence Length (Maximum).



SILT FENCE Silt Fence Design Criteria table with columns for Slope Steepness, Slope Length (Maximum), and Silt Fence Length (Maximum).

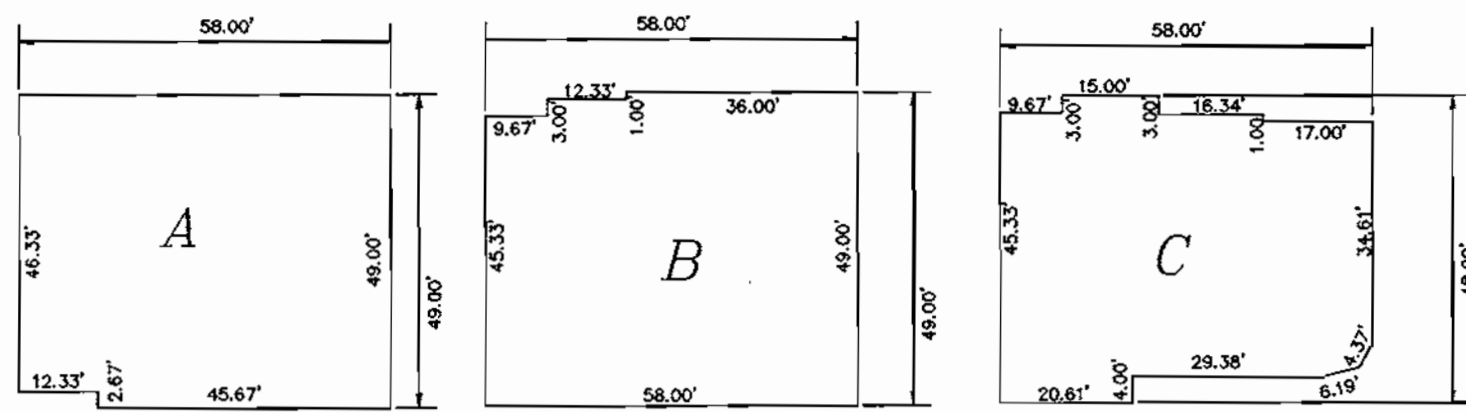


BUILDER: TRINITY HOMES, 7320 GRACE DRIVE, COLUMBIA, MARYLAND 21044, (443) 324-9806. OWNER: RONALD WILDMAN, 4747 BONNIE BRANCH ROAD, ELLICOTT CITY, MARYLAND 21043, (410) 869-9999.

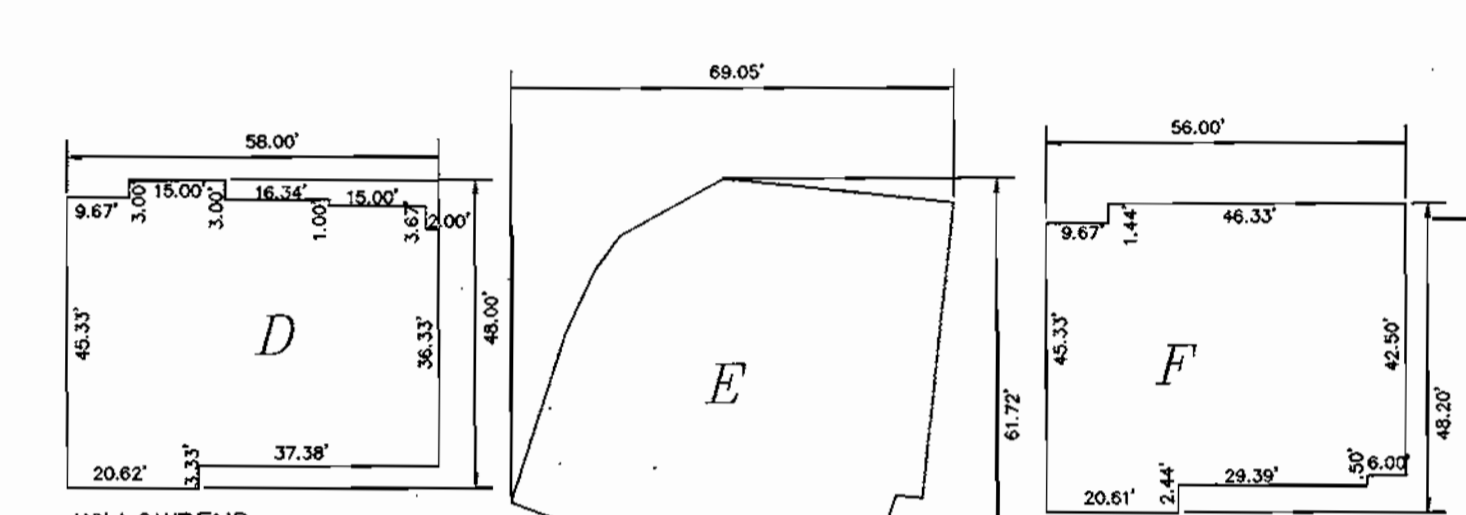
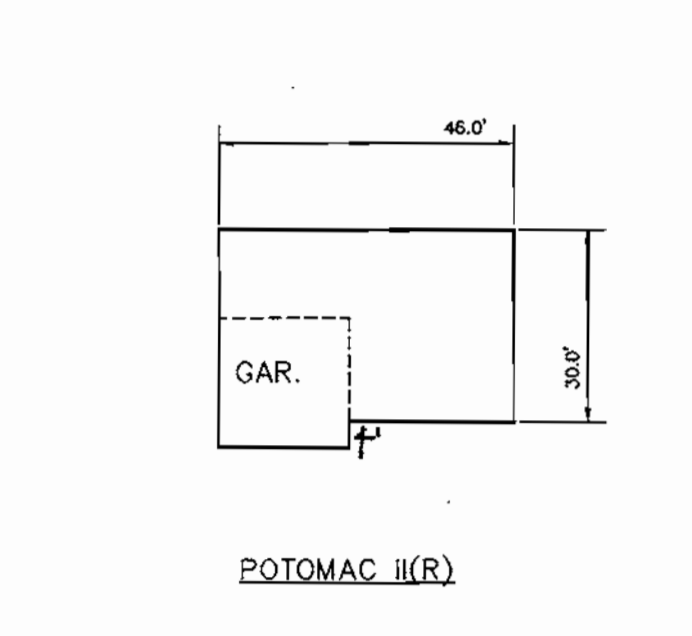
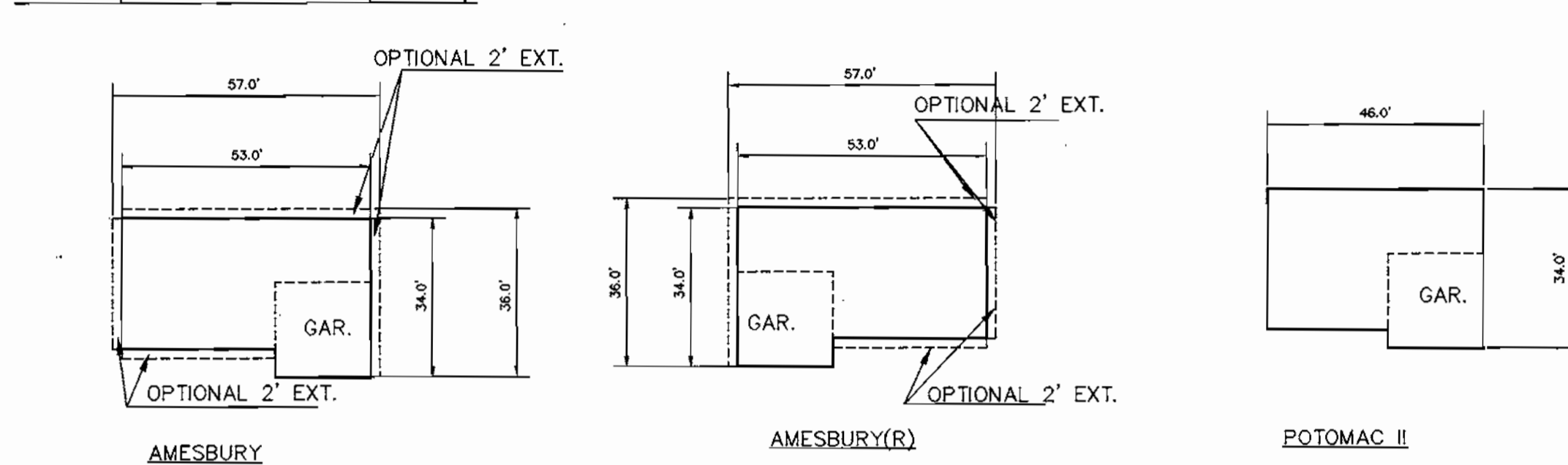
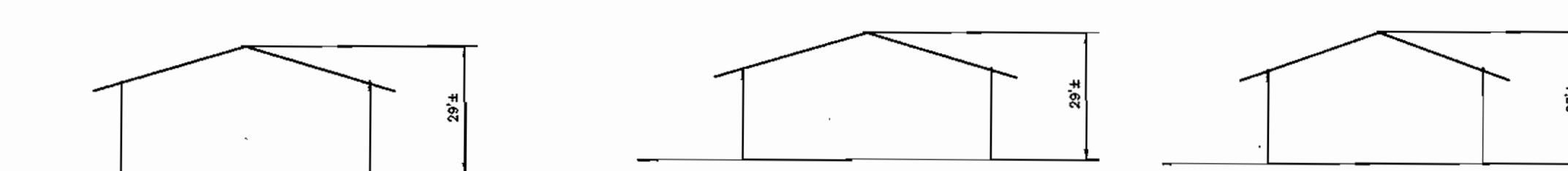
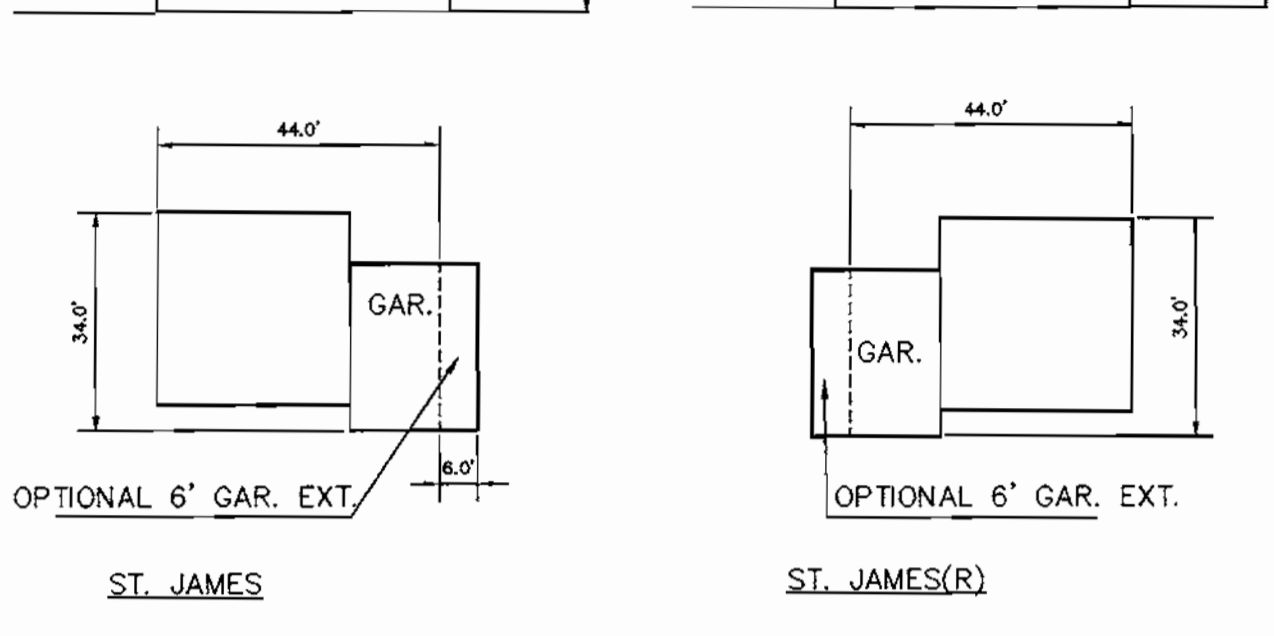
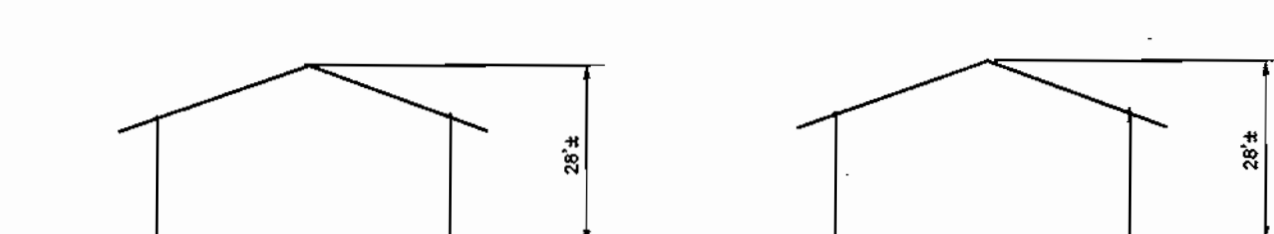
Project information including date (JULY 2001), project number (98090), project name (BONNIE BRANCH OVERLOOK), location (LOT 1 THRU 10), and contact information for MILDENBERG, BOENDER & ASSOC., INC. (Engineers, Planners, Surveyors).

HOUSE MODELS

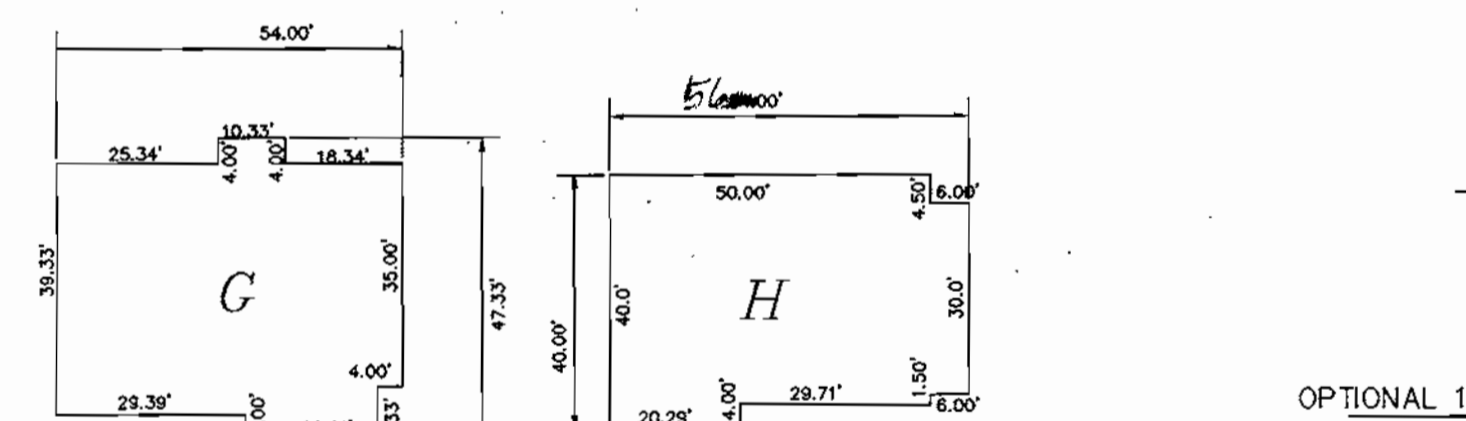
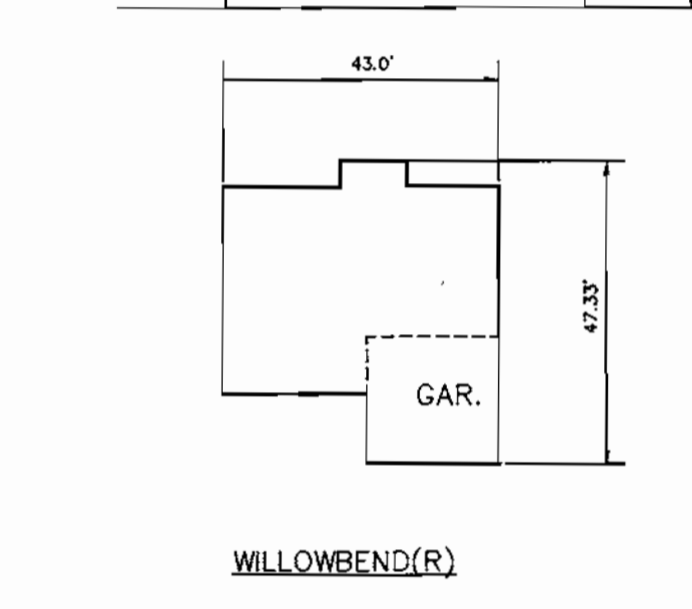
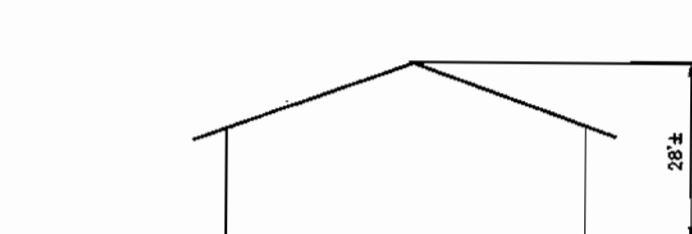
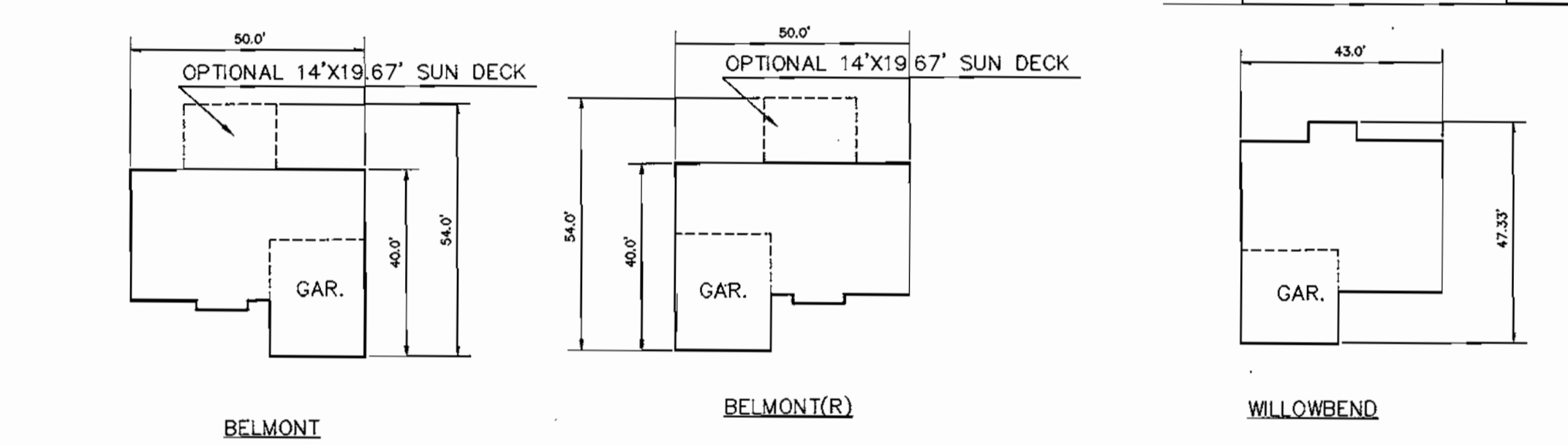
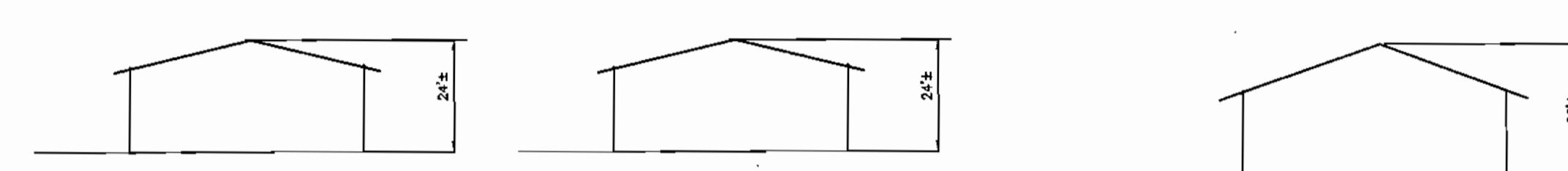
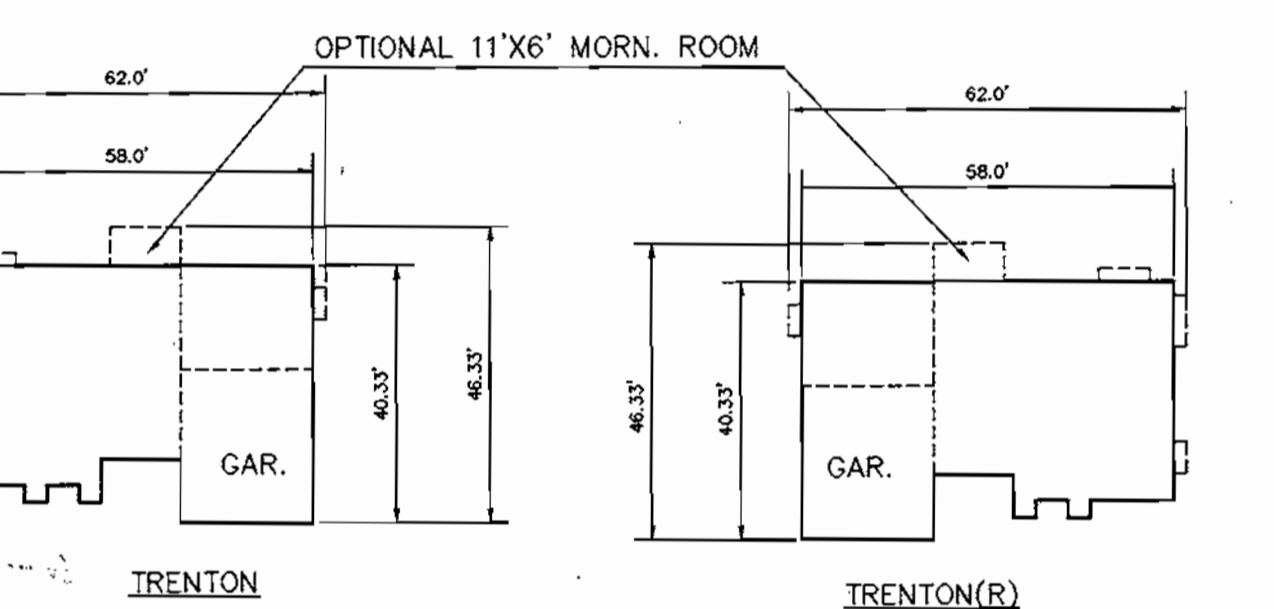
GENERIC BOXES



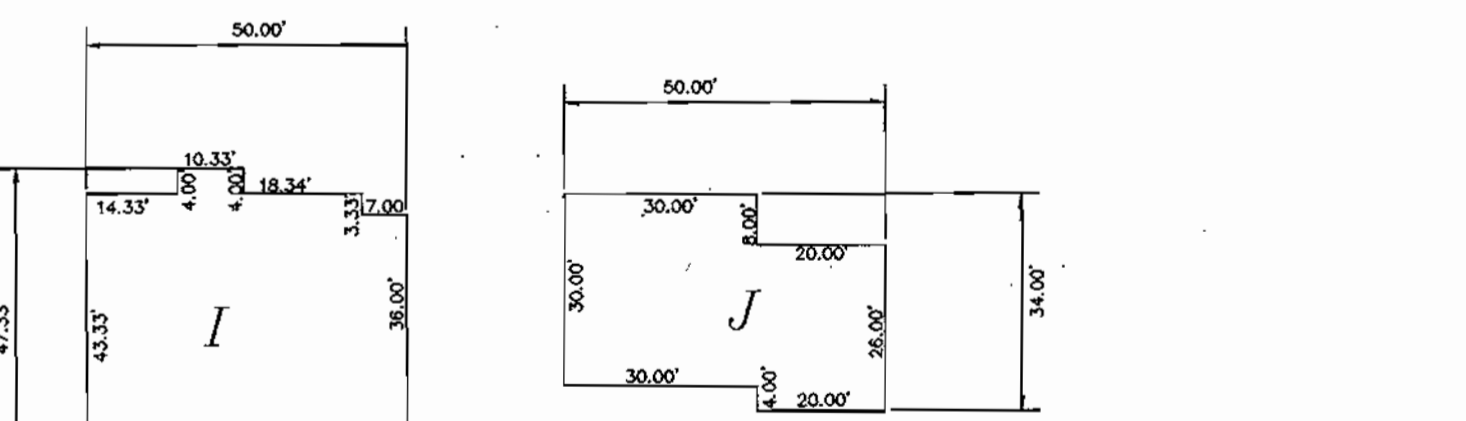
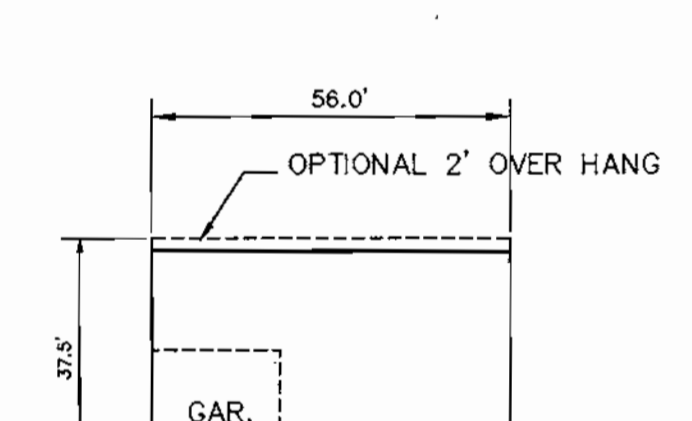
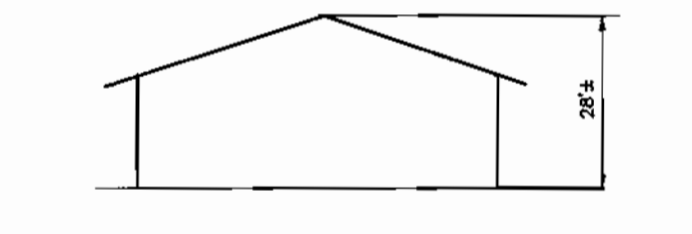
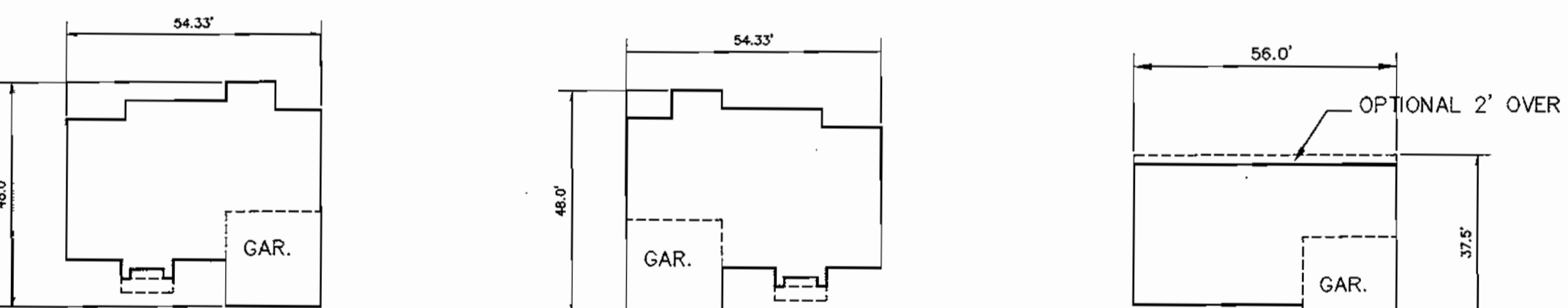
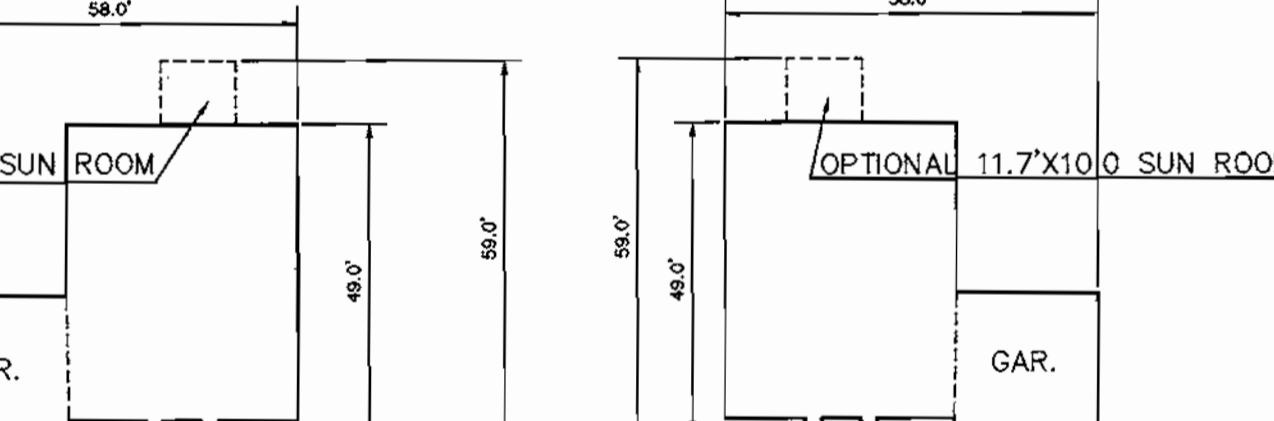
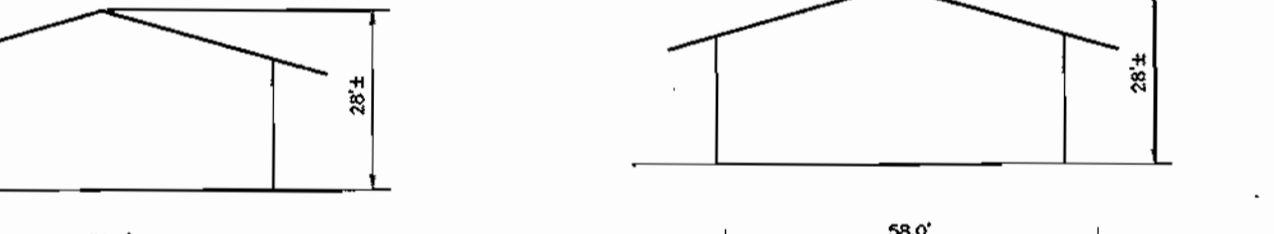
- YORKSHIRE MANOR
- WILLOWBEND(R)
- ASHLEIGH
- WINDEMERE(R)
- TRENTON
- AMESBURY
- ST. JAMES
- BELMONT
- ABBAY(R) (no sunroom)
- POTOMAC II
- STERLING
- YORKSHIRE MANOR(R)(with brick)
- WILLOWBEND
- ASHLEIGH(R)
- WINDEMERE(R)
- TRENTON(R)
- AMESBURY(R)
- ST. JAMES(R)
- BELMONT(R)
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- AMESBURY(R)
- ST. JAMES(R)
- BELMONT(R)
- POTOMAC II(R)
- STERLING(R)



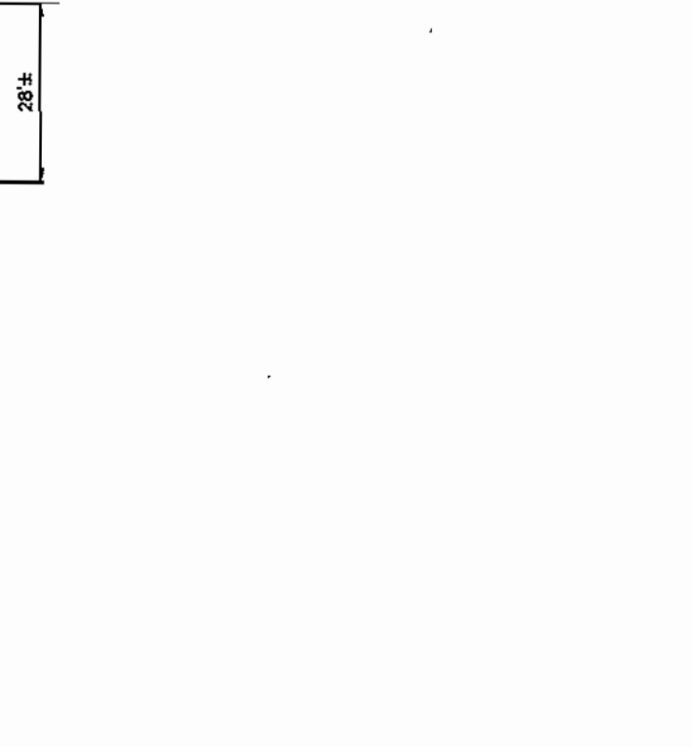
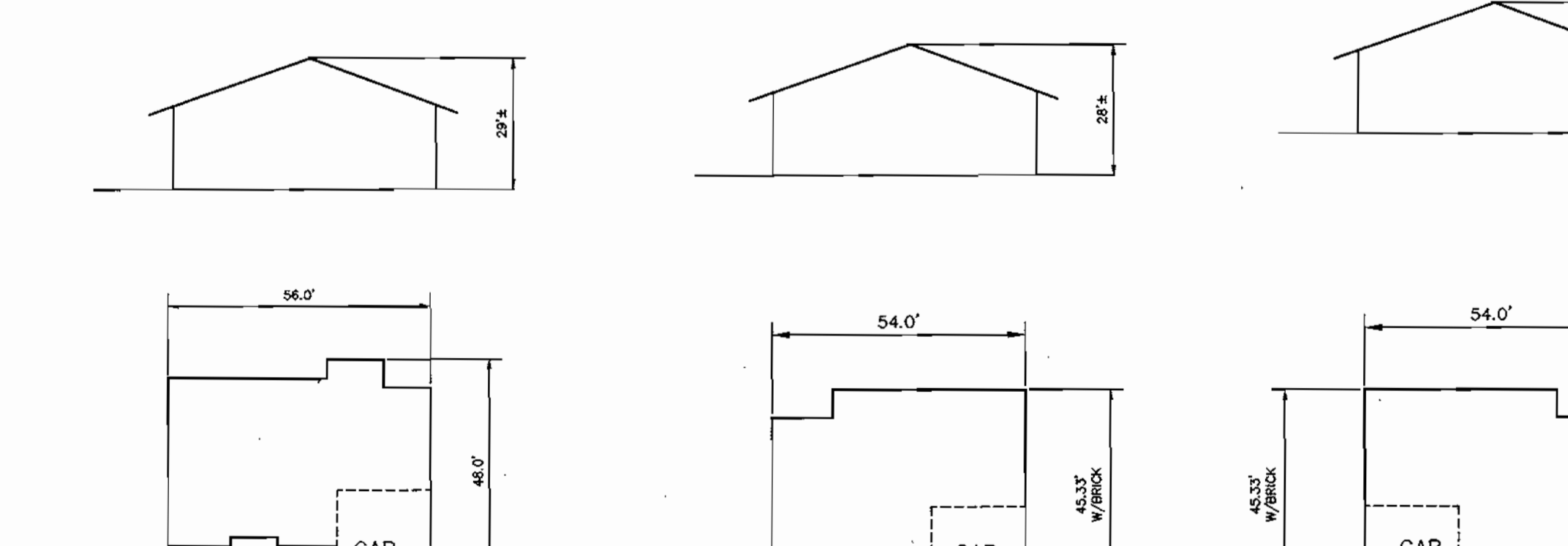
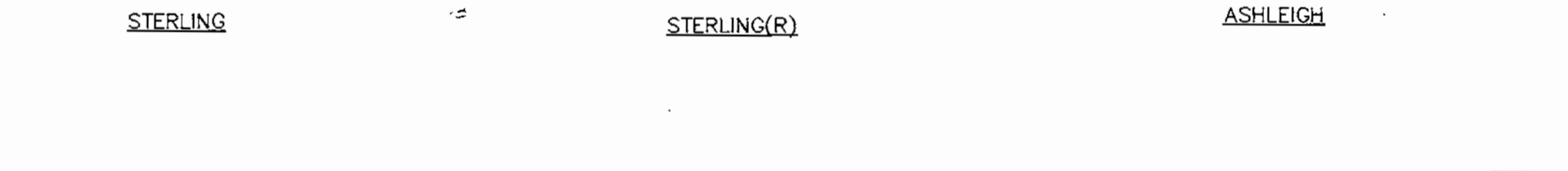
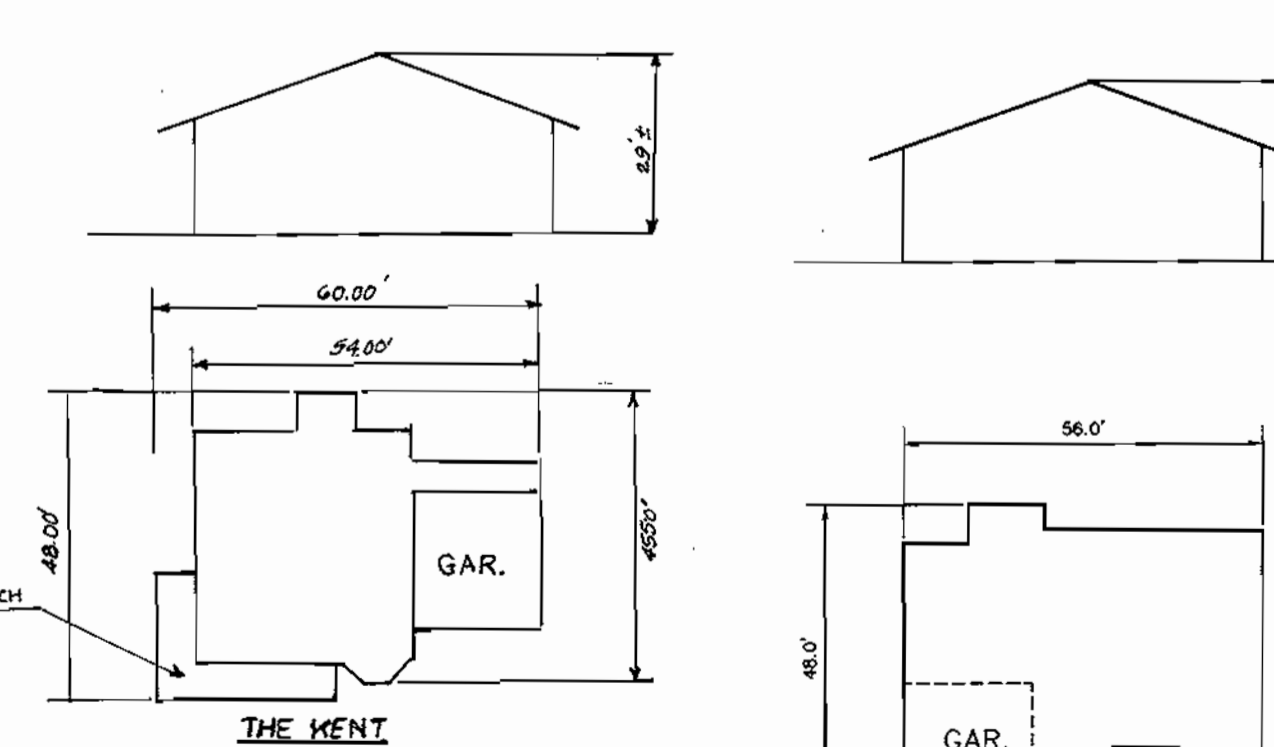
- WILLOWBEND
- YORKSHIRE MANOR(R)(with brick)
- ASHLEIGH(R)
- WINDEMERE
- TRENTON(R)
- AMESBURY(R)
- ST. JAMES(R)
- BELMONT(R)
- POTOMAC II(R)
- STERLING(R)
- POTOMAC II
- BELMONT
- ST. JAMES
- WILLOWBEND
- ASHLEIGH(R)
- AMESBURY
- ABBAY
- STERLING(R)
- YORKSHIRE MANOR(R)(with brick)
- POTOMAC II
- BELMONT
- ST. JAMES
- WILLOWBEND
- ASHLEIGH(R)
- AMESBURY
- ABBAY
- STERLING(R)
- YORKSHIRE MANOR
- WINDEMERE
- AMESBURY(with only one extension)
- TRENTON



- WILLOWBEND(R)
- AMESBURY(NO EXTENSIONS)
- ST. JAMES
- BELMONT(NO SUNROOM)
- POTOMAC II
- AMESBURY(R)(ONLY ONE SIDE EXT.)
- ST. JAMES(R)
- BELMONT(R)(NO SUNROOM)
- ASHLEIGH(R)
- POTOMAC II(R)



- POTOMAC II
- BELMONT(NO SUN ROOM)
- ST. JAMES
- WILLOWBEND
- ST. JAMES



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DIRECTOR

12/4/01  
 12/5/01  
 12/5/01

**BUILDER**  
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 7320 GRACE DRIVE  
 COLUMBIA, MARYLAND 21044  
 (443) 324-9806

**OWNER**  
 RONALD WILDMAN  
 4747 BONNIE BRANCH ROAD  
 ELLICOTT CITY, MARYLAND 21043  
 (410) 869-9999

Project: 99090  
 Illustration: SAA  
 Scale: 1"=30'  
 Date: JULY 2001  
 Engineering: SAA  
 Approval: RJH

12/26/02  
 5. ADD THE KENT MODEL TYPE  
 REVISIONS

**BONNIE BRANCH OVERLOOK**  
 LOTS 1 THRU 10  
 TAX MAP 31 - P/O PARCEL 27 - GRID 9  
 SECOND ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

GENERIC DETAILS AND NOTES

**MILDENBERG, BOENDER & ASSOC., INC.**  
 Engineers Planners Surveyors  
 5072 Drexel Hill Drive, Suite 202, Ellicott City, Maryland 21042  
 (410) 987-0296 Fax: (301) 621-5521 Wash. (410) 987-0298 Fax.

LOT #	EL. OF DRIVEWAY AT EASEMENT LINE
4	419.56
5	421.34
6	424.08
7	422.09
8	425.11
9	423.37
10	422.61

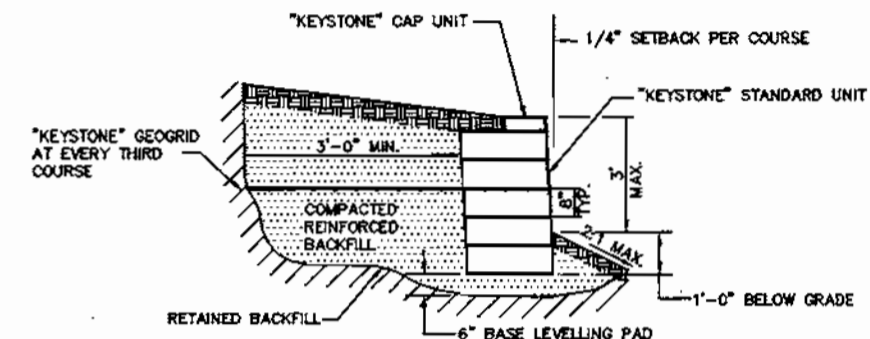
**LANDSCAPE REQUIREMENT PLANTING SCHEDULE**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
1		ACER SACCHARUM 'GREEN MOUNTAIN' OR EQUIVALENT	GREEN MOUNTAIN SUGAR MAPLE	2 1/2" - 3" CAL.
2		PICEA ABIES OR EQUIVALENT	NORWAY SPRUCE	6' - 8' HT.
6		TAXUS MEDIA 'HICKSI' OR EQUIVALENT	HICKS YEW	2' - 3' HT.
<b>TOTAL</b>				
9 TREES & SHRUBS (1 SHADE TREE, 2 EVERGREENS, 6 SHRUBS)				

\$780<sup>00</sup> surety

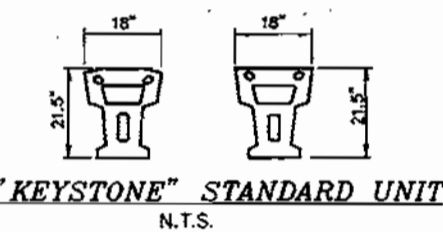
**SCHEDULE A : PERIMETER LANDSCAPED EDGE**

CATEGORY	ADJACENT TO ROADWAYS
LANDSCAPE TYPE	B (PERIMETER 1)
LINEAR FEET OF PERIMETER	60 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	NO
NUMBER OF PLANTS REQUIRED	1 SHADE TREE 2 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED	1 SHADE TREE 2 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS

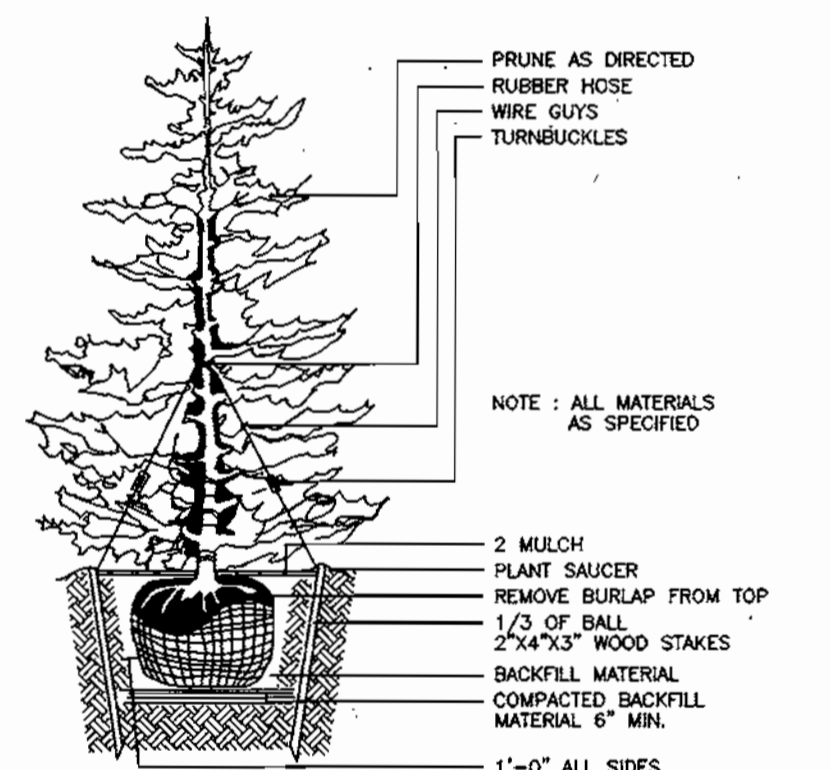


**RETAINING WALL DETAIL**

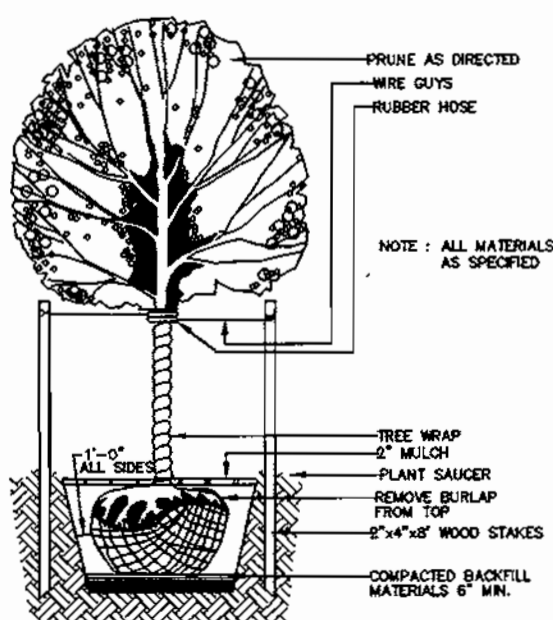
N.T.S.  
NOTE: 1. ALL FOOTING AND DESIGN SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
2. COMPACTED REINFORCED BACKFILL SHALL CONSIST OF GRAVEL OR CRUSHED STONE (1/2" TO 3/4") AT 85% STANDARD PROCTOR COMPACTION.



**"KEYSTONE" STANDARD UNIT**  
N.T.S.



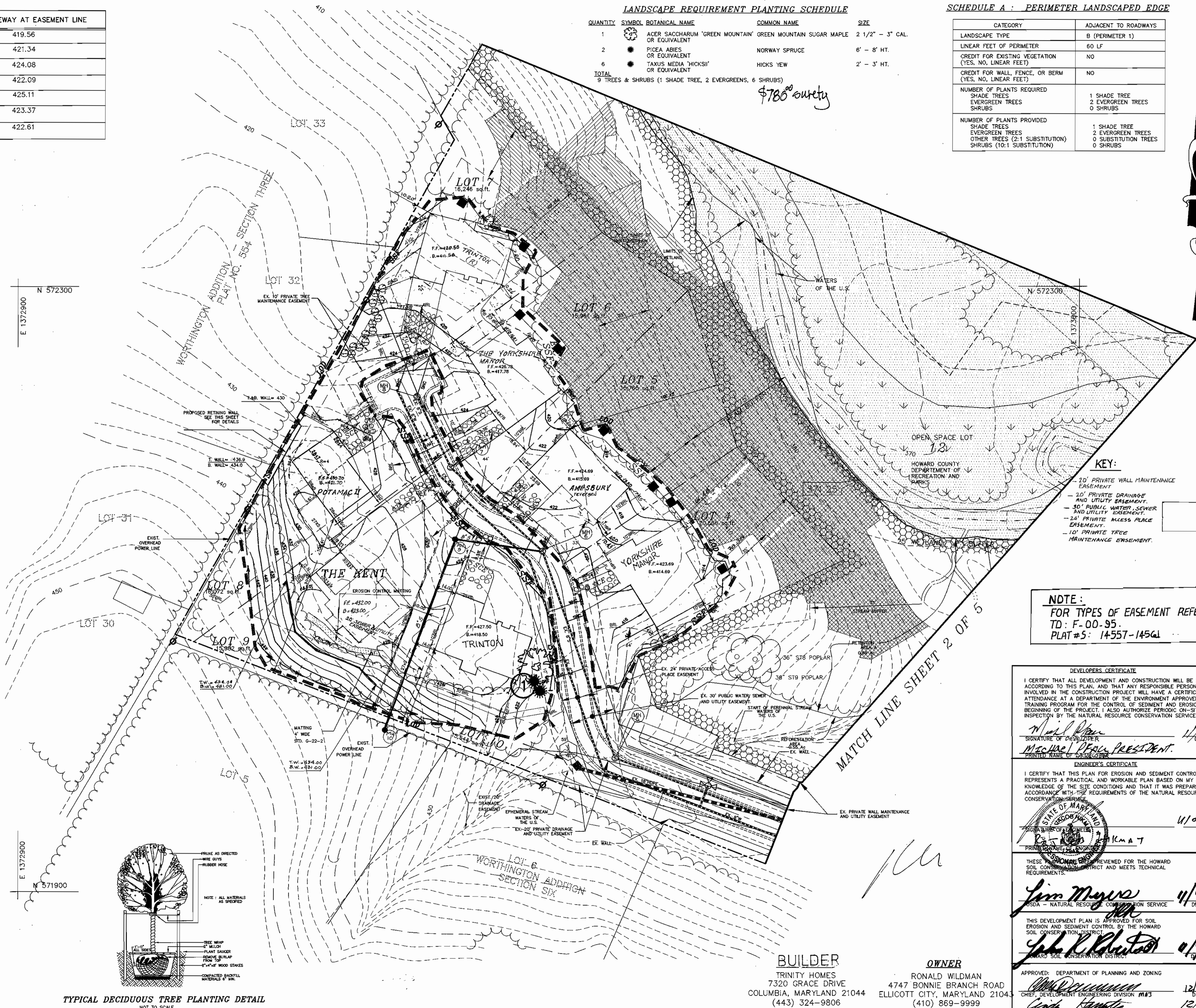
**TYPICAL EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE



**TYPICAL DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE

**LEGEND**

- DENOTES FLOODPLAIN
- DENOTES SLOPES OF 25% OR STEEPER.
- DENOTES WETLANDS
- DENOTES FOREST CONSERVATION EASEMENT
- DENOTES SILT FENCE
- DENOTES SUPER SILT FENCE
- DENOTES SUPER FENCE DIVERSION
- DENOTES EARTH DIKE
- DENOTES STABILIZED CONSTRUCTION ENTRANCE
- DENOTES LIMITED OF DISTURBANCE
- DENOTES APPROXIMATE DRY WELL LOCATION
- DENOTES PROPOSED RETAINING WALL
- DENOTES PROPOSED SHRUBS PER F-00-95



- KEY:**
- 20' PRIVATE WALL MAINTENANCE EASEMENT
  - 20' PRIVATE DRAINAGE AND UTILITY EASEMENT
  - 30' PUBLIC WATER, SEWER AND UTILITY EASEMENT
  - 24' PRIVATE ACCESS PLACE EASEMENT
  - 10' PRIVATE TREE MAINTENANCE EASEMENT

**NOTE:**  
FOR TYPES OF EASEMENT REFER TO: F-00-95.  
PLAT #5: 14557-14561

**DEVELOPER'S CERTIFICATE**  
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING OF THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

*Michael P. Boender* 11/18/01  
SIGNATURE OF DEVELOPER DATE  
**Michael P. Boender, PRESIDENT**  
PRINTED NAME OF DEVELOPER

**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

*Jim Myers* 11/18/01  
SIGNATURE OF ENGINEER DATE  
**Jim Myers** 11/18/01  
P.E. - NATURAL RESOURCE CONSERVATION SERVICE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

*John K. Rhoton* 11/19/01  
SIGNATURE OF DISTRICT ENGINEER DATE  
**John K. Rhoton** 11/19/01  
DISTRICT ENGINEER

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Michael P. Boender* 12/4/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION MJB DATE  
*John K. Rhoton* 12/5/01  
CHIEF, DIVISION OF LAND DEVELOPMENT JR DATE  
*John K. Rhoton* 12/5/01  
DIRECTOR DATE

**BUILDER**  
TRINITY HOMES  
7320 GRACE DRIVE  
COLUMBIA, MARYLAND 21044  
(443) 324-9806

**OWNER**  
RONALD WILDMAN  
4747 BONNIE BRANCH ROAD  
ELLICOTT CITY, MARYLAND 21043  
(410) 869-9999

Project: 96090 JULY 2001  
Illustration: 11/18/01  
Scale: 1" = 30'

Project: 96090 JULY 2001  
Illustration: 11/18/01  
Scale: 1" = 30'

Project: 96090 JULY 2001  
Illustration: 11/18/01  
Scale: 1" = 30'

**BONNIE BRANCH OVERLOOK**  
LOTS 1 THRU 10  
TAX MAP 31 - P/O PARCEL 27 - GRID 9  
SECOND ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
SITE DEVELOPMENT PLAN

**MILDENBERG, BOENDER & ASSOC., INC.**  
Engineers Planners Surveyors  
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland, 21042  
(410) 997-0296 Fax. (301) 621-5551 Wash. (410) 997-0298 Fax.

3 OF 5  
SDP-02-14

LOT #	EL. OF DRIVEWAY AT EASEMENT LINE
4	419.56
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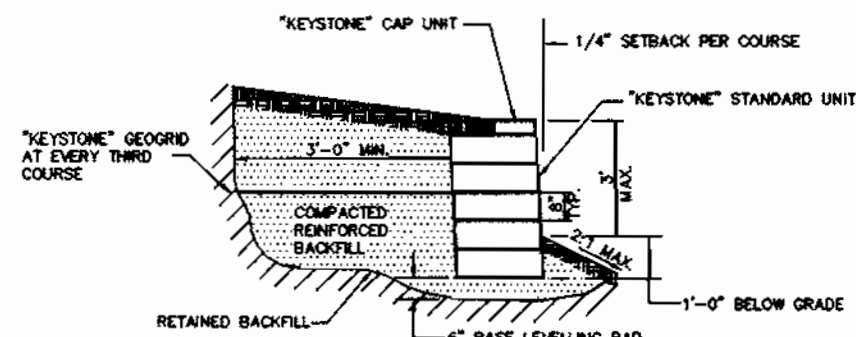
**LANDSCAPE REQUIREMENT PLANTING SCHEDULE**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
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2	(Symbol)	PICEA ABIES OR EQUIVALENT	NORWAY SPRUCE	6" - 8" HT.
6	(Symbol)	TAXUS MEDIA 'HICKSI' OR EQUIVALENT	HICKS YEW	2' - 3" HT.
<b>TOTAL</b> 9 TREES & SHRUBS (1 SHADE TREE, 2 EVERGREENS, 6 SHRUBS)				

\$780<sup>00</sup> surety

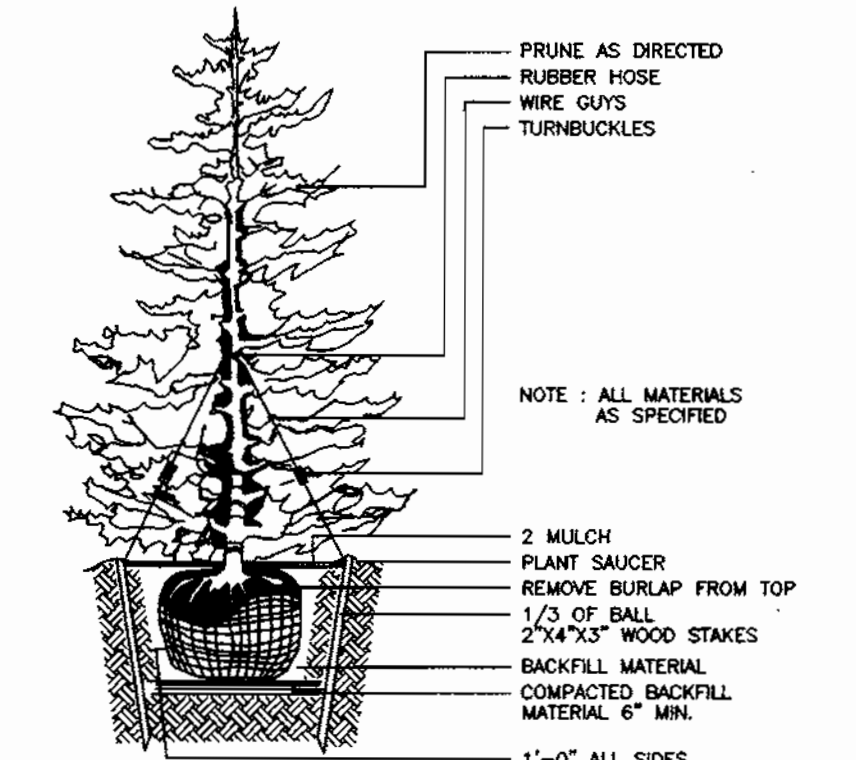
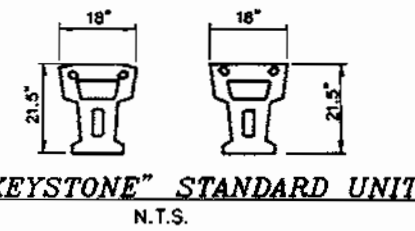
**SCHEDULE A : PERIMETER LANDSCAPED EDGE**

CATEGORY	ADJACENT TO ROADWAYS
LANDSCAPE TYPE	B (PERIMETER 1)
LINEAR FEET OF PERIMETER	60 LF
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CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	NO
NUMBER OF PLANTS REQUIRED	1 SHADE TREE 2 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED	1 SHADE TREE 2 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS



**RETAINING WALL DETAIL**

NOTE: 1. ALL FOOTING AND DESIGN SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
2. COMPACTED REINFORCED BACKFILL SHALL CONSIST OF GRAVEL OR CRUSHED STONE (1/2\"/>

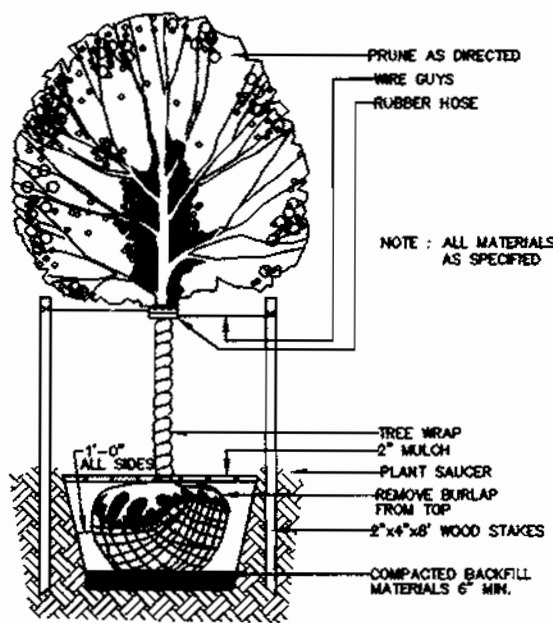


**TYPICAL EVERGREEN TREE PLANTING DETAIL**

NOT TO SCALE

**LEGEND**

- DENOTES FLOODPLAIN
- DENOTES SLOPES OF 25% OR STEEPER.
- DENOTES WETLANDS
- DENOTES FOREST CONSERVATION EASEMENT
- DENOTES SILT FENCE
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- DENOTES STABILIZED CONSTRUCTION ENTRANCE
- DENOTES LIMIT OF DISTURBANCE
- DENOTES APPROXIMATE DRY WELL LOCATION
- DENOTES PROPOSED RETAINING WALL
- DENOTES PROPOSED SHRUBS PER F-00-95



**TYPICAL DECIDUOUS TREE PLANTING DETAIL**

NOT TO SCALE



**KEY:**

- 20' PRIVATE WALL MAINTENANCE EASEMENT
- 20' PRIVATE DRAINAGE AND UTILITY EASEMENT
- 30' PUBLIC WATER, SEWER AND UTILITY EASEMENT
- 24' PRIVATE ACCESS PLACE EASEMENT
- 10' PRIVATE TREE MAINTENANCE EASEMENT

**NOTE:**  
FOR TYPES OF EASEMENT REFER TO: F-00-95.  
PLAT #5: 14557-14561

**DEVELOPER'S CERTIFICATE**  
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING OF THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: *Michael Peck*  
Signature of Developer: *Michael Peck, PRESIDENT*  
Printed Name of Developer: MICHAEL PECK  
DATE: 11/06/01

**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: *Jim Myers*  
Signature of Engineer: *Jim Myers*  
Printed Name of Engineer: JIM MYERS  
DATE: 11/06/01

THIS DEVELOPMENT PLAN IS APPROVED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Signature: *Jim Myers*  
Signature of Natural Resource Conservation Service: *Jim Myers*  
DATE: 11/9/01

Signature: *John K. Roberts*  
Signature of Howard Soil Conservation District: *John K. Roberts*  
DATE: 11/9/01

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Signature: *John K. Roberts*  
Signature of Department of Planning and Zoning: *John K. Roberts*  
DATE: 12/4/01

Signature: *John K. Roberts*  
Signature of Chief, Development Engineering Division: *John K. Roberts*  
DATE: 12/5/01

Signature: *John K. Roberts*  
Signature of Chief, Division of Land Development: *John K. Roberts*  
DATE: 12/5/01

**BUILDER**  
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**OWNER**  
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**BONNIE BRANCH OVERLOOK**  
LOTS 1 THRU 10  
P/O PARCEL 27 - GRID 9  
TAX MAP 31 - HOWARD COUNTY, MARYLAND  
SECOND ELECTION DISTRICT

**MILDENBERG, BOENDER & ASSOC., INC.**  
Engineers Planners Surveyors  
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042  
(410) 997-0296 Fax (301) 621-5821 Wash.

**SITE DEVELOPMENT PLAN**

Project	96090	date	JULY 2001
Illustration	SA	engineering	SA
Scale	1" = 30'	approval	RH
Revision	1	date	11/09/01
Revision	2	date	12/05/01
Revision	3	date	12/05/01
Revision	4	date	12/05/01
Revision	5	date	12/05/01
Revision	6	date	12/05/01
Revision	7	date	12/05/01
Revision	8	date	12/05/01
Revision	9	date	12/05/01
Revision	10	date	12/05/01

3 OF 5  
SDP-02-14