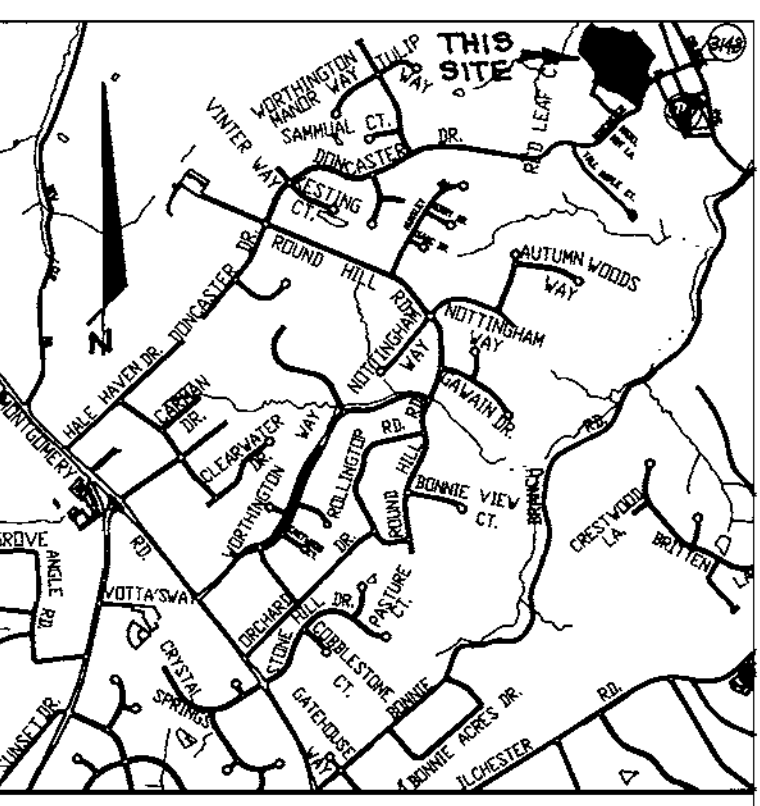


**BENCH MARKS**  
 HQ. CO. MONUMENT 16.3447 1575599.0794  
 1875801.7684  
 HQ. CO. MONUMENT No. 3148 1576015.9813  
 1575720.9364

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
158	4420 WHISPERING WILLOW DRIVE
159	4416 WHISPERING WILLOW DRIVE
160	4412 WHISPERING WILLOW DRIVE
161	4408 WHISPERING WILLOW DRIVE
162	4404 WHISPERING WILLOW DRIVE
163	4400 WHISPERING WILLOW DRIVE
164	4360 DONCASTER DRIVE
166	4405 HIDDEN HOLLOW DRIVE
167	4501 HIDDEN HOLLOW DRIVE
168	4503 HIDDEN HOLLOW DRIVE
169	4507 HIDDEN HOLLOW DRIVE
170	4513 HIDDEN HOLLOW DRIVE
171	4517 HIDDEN HOLLOW DRIVE
172	4521 HIDDEN HOLLOW DRIVE
173	4525 HIDDEN HOLLOW DRIVE
174	4529 HIDDEN HOLLOW DRIVE
175	4516 HIDDEN HOLLOW DRIVE
176	4512 HIDDEN HOLLOW DRIVE
177	4508 HIDDEN HOLLOW DRIVE
192	4404 FRAUCILO DEER DRIVE
193	4348 DONCASTER DRIVE
194	4344 DONCASTER DRIVE
195	4340 DONCASTER DRIVE
200	4315 DONCASTER DRIVE
202	4412 HUXLEY DRIVE
203	4408 HUXLEY DRIVE



**VICINITY MAP**  
SCALE: 1" = 1200'

PATTERSON NO 10' FAM.RM. EXT.  
 VICTORIA  
 ZACHARY  
 AVALON  
 BELVEDERE  
 WAVERLY

WAVERLY  
 VICTORIA  
 PATTERSON NO 10' FAM.RM. EXT.  
 ZACHARY  
 CHANDLER  
 AVALON NO SUN RM.  
 BELVEDERE

ZACHARY NO MORN. RM.  
 CHANDLER  
 VICTORIA NO MORN. RM.  
 BELVEDERE NO MORN RM

VICTORIA  
 ZACHARY  
 CHANDLER  
 BELVEDERE

VICTORIA NO OPTIONS  
 ZACHARY NO MORN. RM.  
 BELVEDERE NO MORN. RM.  
 CHANDLER NO 2' GAR. EXT.

VICTORIA NO MORN. RM. OR FAM. RM. EXT.  
 CHANDLER  
 ZACHARY  
 AVALON NO SUN. RM.  
 BELVEDERE  
 PATTERSON NO 10' FAM. RM.  
 WAVERLY

BELVEDERE NO MORN RM  
 CHANDLER NO 2' GAR. EXT.

**GENERAL NOTES:**

- SUBJECT PROPERTY IS ZONED: R-ED PER 10-18-93 COMPREHENSIVE ZONING PLAN.
- THE TOTAL AREA INCLUDED IN THIS SUBMISSION IS: 6.2 AC.A.
- THE TOTAL NUMBER OF LOTS INCLUDED IN THIS SUBMISSION IS: 26.
- IMPROVEMENT TO PROPERTY: SINGLE FAMILY DETACHED.
- SHC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.
- DEPARTMENT OF PLANNING AND ZONING REFERENCE FILE NUMBERS ARE: SP-96-15, S-99-01, P-98-10, P98-12, F-99-45, F-01-15, SP-98-12 AND WAS CONTRACT #14-3729-D, 14-3902-D.
- UTILITIES SHOWN AS EXISTING ARE TAKEN FROM APPROVED WATER AND SEWER PLANS; CONTRACT #14-3729-D, 14-3902-D AND APPROVED ROAD CONSTRUCTION PLANS; F-99-45 & F-01-15.
- ANY DAMAGE TO COUNTY OWNED RIGHTS-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- ALL ROADWAYS ARE PUBLIC AND EXISTING.
- THE EXISTING TOPOGRAPHY WAS TAKEN FROM ROAD CONSTRUCTION PLANS F-01-15, PREPARED BY MILDENBERG, BOENDER & ASSOCIATES, INC.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM - HOWARD COUNTY CONTROL STATIONS: 3147 AND 3148.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/DIVISION OF CONSTRUCTION INSPECTION AT 410-313-1000 AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- FOR DRIVEWAY ENTRANCE DETAILS, REFER TO HOWARD COUNTY DESIGN MANUAL VOLUME IV, DETAIL R.5.06.
- IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY SUPPLEMENTARY ZONING DISTRICT REGULATIONS, BAY WINDOWS OR CHIMNEYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES AND DECKS MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR SETBACKS.
- STORMWATER MANAGEMENT IS PROVIDED PER: F-99-45. CONTROL WILL BE PROVIDED BY EXTENDED DETENTION FACILITIES WHICH WILL BE PRIVATELY OWNED AND MAINTAINED BY HOME OWNER'S ASSOCIATION.
- ALL GRADING AND LIMITS OF DISTURBANCE WILL BE IN ACCORDANCE WITH THE APPROVED ROAD DRAWINGS. F-01-15.
- NO FLOODPLAINS EXIST ON SITE.
- PERIMETER LANDSCAPING AND STREET SIDE LANDSCAPING WILL BE PROVIDED AS SHOWN ON THE APPROVED ROAD DRAWINGS, F-01-15 LANDSCAPE SURETY HAS BEEN MADE A PART OF THE DEVELOPER'S AGREEMENT.
- THE FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 161200 OF THE HOWARD COUNTY FOREST CONSERVATION ACT. CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, EXCEPT AS SHOWN ON AN APPROVED ROAD CONSTRUCTION DRAWING OR SITE DEVELOPMENT PLAN. FOREST MANAGEMENT PRACTICES DESCRIBED IN THE DEED OF FOREST CONSERVATION EASEMENTS ARE PERMITTED.
- NO WETLANDS EXIST ON THIS PLAN.
- LOT 200 MUST BE DEVELOPED WITH A HOUSE THAT HAS A REAR ENTRY GARAGE AND THE FRONT FACING COLLEGE AVENUE, IN ACCORDANCE WITH PB Case 321, SP-98-12 AND F-01-15.

LEGEND	
Symbol	Description
---	Existing Contour 2' Interval
• 624	Spot Elevation
-SS- SS-	Super Silt Fence
---	Proposed Walkout
---	Existing Earth Dike
---	Existing Tree Line
---	Limit Of Disturbance
---	Existing Street Tree Taken From F-01-15

INDEX CHART	
SHEET	DESCRIPTION
SHEET 1	TITLE SHEET, NOTES AND DETAILS
SHEET 2 & 3	SITE DEVELOPMENT PLAN
SHEET 4 & 5	SEDIMENT AND EROSION CONTROL PLAN
SHEET 6	DETAIL SHEET

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10722 SALTWOOD NATIONAL PIKE  
 ELLICOTT CITY, MARYLAND 21042  
 410.461.2895



**ENGINEER'S CERTIFICATE**  
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
 Signature of Engineer: Earl D. Collins Date: 6/21/01  
**DEVELOPER'S CERTIFICATE**  
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.  
 Signature of Developer: John Lewis Date: 6/21/01

Reviewed for HOWARD SCD and meets Technical Requirements.  
 Signature: John Maylor Date: 6/21/01  
 Signature: John Robinson Date: 6/21/01  
**OWNER/DEVELOPER**  
 BONNIE BRANCH CORPORATION  
 P.O. BOX 396  
 ELLICOTT CITY, MARYLAND 21043  
**BUILDER**  
 RYAN HOMES, INC.  
 11460 CRONRIDGE DRIVE, SUITE 128  
 OWINGS MILLS, MARYLAND 21117

APPROVED DEPARTMENT OF PLANNING AND ZONING					
PROJECT	SECTION	LOTS NO.	PLAT	BLOCK NO.	ZONE
AUTUMN VIEW	4	158-164, 166-177, 192-195, 200 & 202-203	149.31 - 149.35	21, 3 & 4	R-ED
WATER CODE		SEWER CODE		ELEC. DIST.	
F-05		12B2600		SECOND	
CENSUS TR.		G027		TAX/ZONE	
25 & 31		25 & 31		25 & 31	

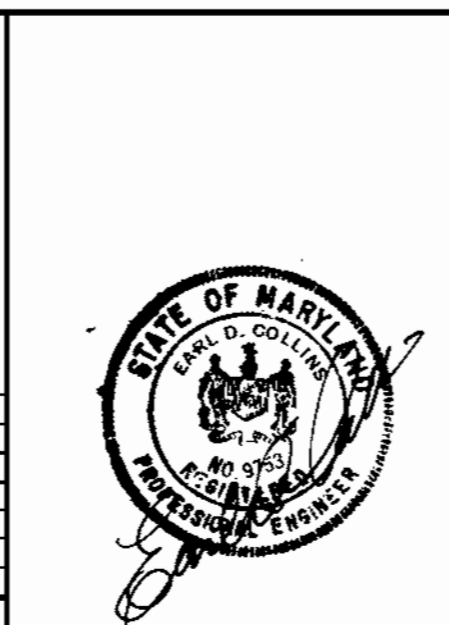
**SITE DEVELOPMENT PLAN**  
**AUTUMN VIEW**  
**SECTION 4**  
**LOTS 158-164, 166-177, 192-195, 200 & 202-203**  
 TAX MAP No: 25 & 31 P/O PARCEL: 75  
 SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 30' DATE: JUNE, 2001  
 SHEET 1 OF 6

**SDP 01-146**



**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 ELLICOTT CITY, MARYLAND 21114  
 410.461.0999

DATE	REVISIONS	DESCRIPTION
12/29/01	REV. PER P&E COMMENTS OF 9-18-01	
12/24/01	REV. HOUSE LOT 172	



**ENGINEER'S CERTIFICATE**  
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer: *Earl D. Collins* Date: *10/10/01*

**DEVELOPER'S CERTIFICATE**  
 "I/we certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer: *John Lewis* Date: *10/10/01*

Reviewed for HOWARD SCD and meets Technical Requirements.

Signature: *Jim Mauer* Date: *10/10/01*

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Signature: *John Lewis* Date: *10/10/01*

**OWNER/DEVELOPER**  
 BONNIE BRANCH CORPORATION  
 P.O. BOX 396  
 ELLICOTT CITY, MARYLAND 21143

**BUILDER**  
 RYAN HOMES, INC.  
 11460 CROWBRIDGE DRIVE, SUITE 128  
 OWINGS MILLS, MARYLAND 21117

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: *Chris Hamilton* Date: *11/6/01*  
 Chief, Division of Land Development

Signature: *William J. ...* Date: *10/10/01*  
 Chief, Development Engineering Division

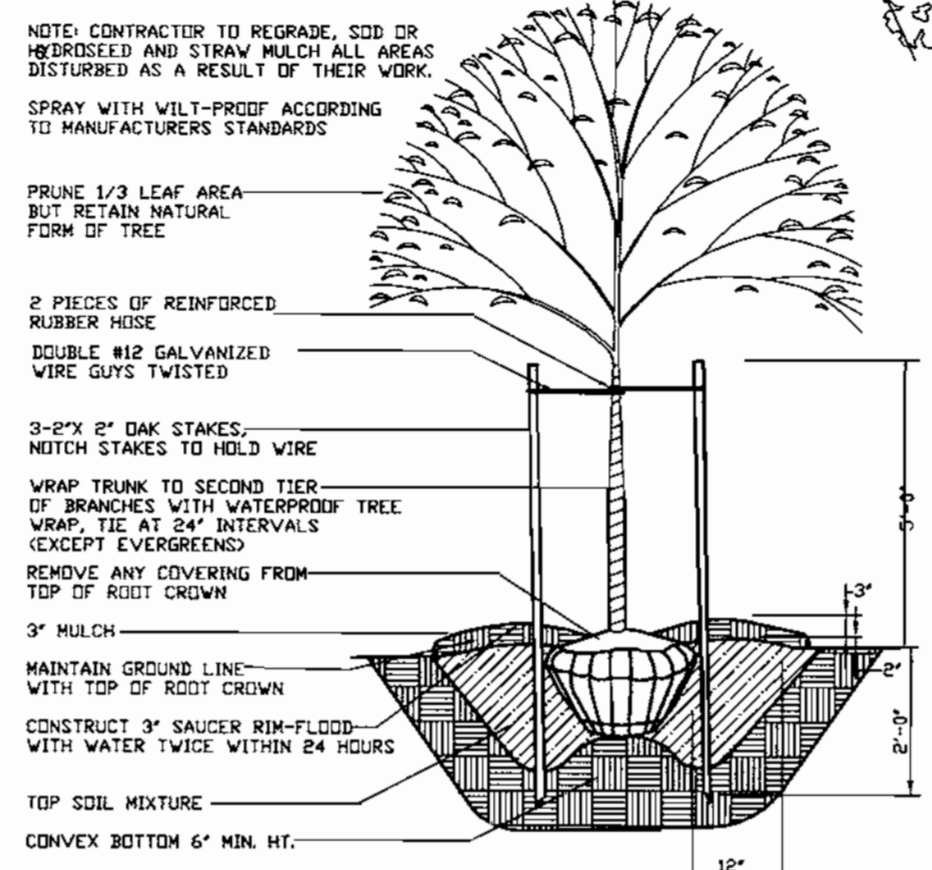
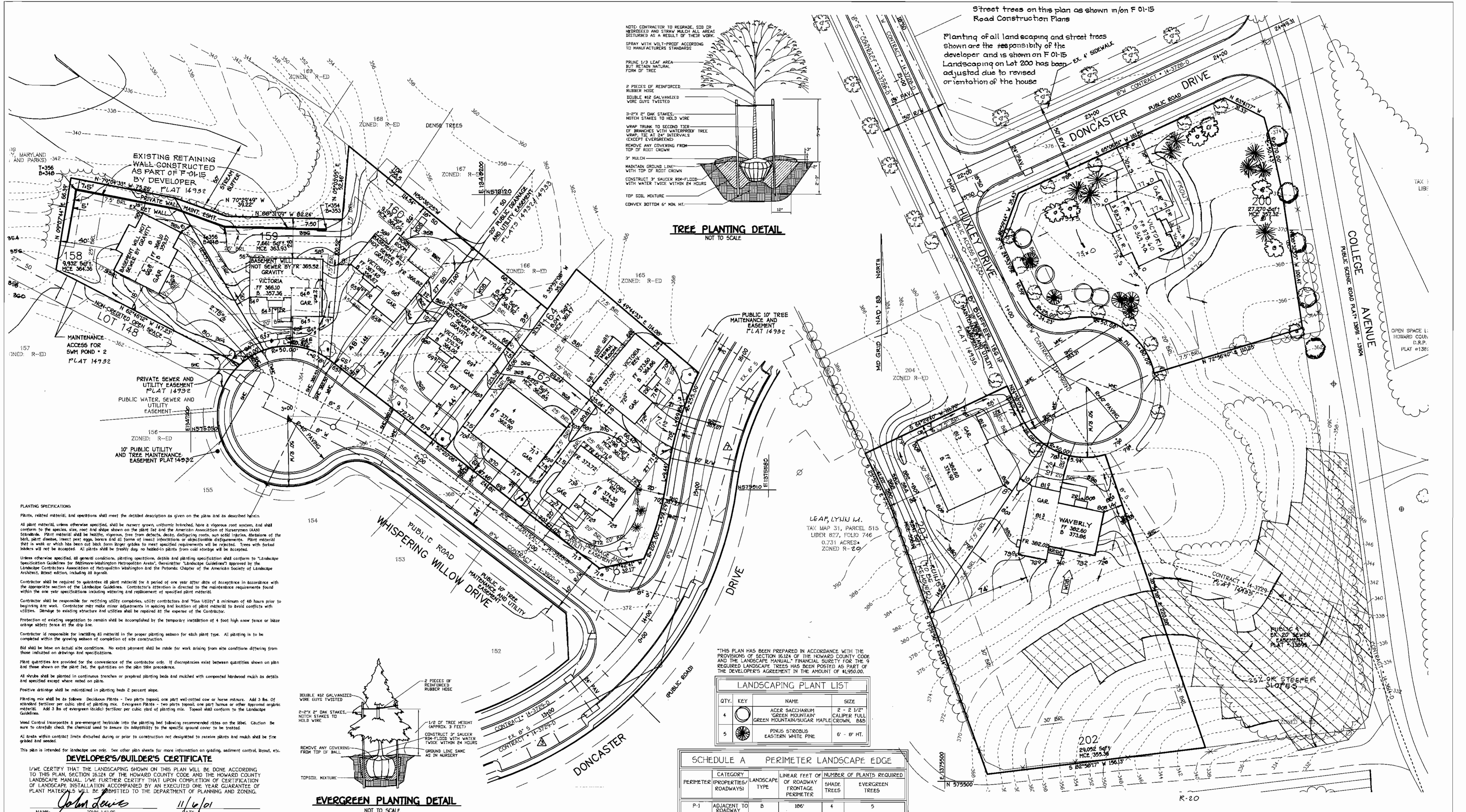
Signature: *...* Date: *11/9/01*  
 Director, Department of Planning and Zoning

PROJECT	SECTION	LOTS NO.
AUTUMN VIEW	4	150-164, 166-177, 192-195, 200 & 202-203
PLAT	BLOCK NO.	ZONE
14731-14735	21, 3 & 4	R-ED
TAX/ZONE	ELEC. DIST.	CENSUS TR.
25 & 31	SECOND	6027
WATER CODE	SEWER CODE	
F-05	1252600	

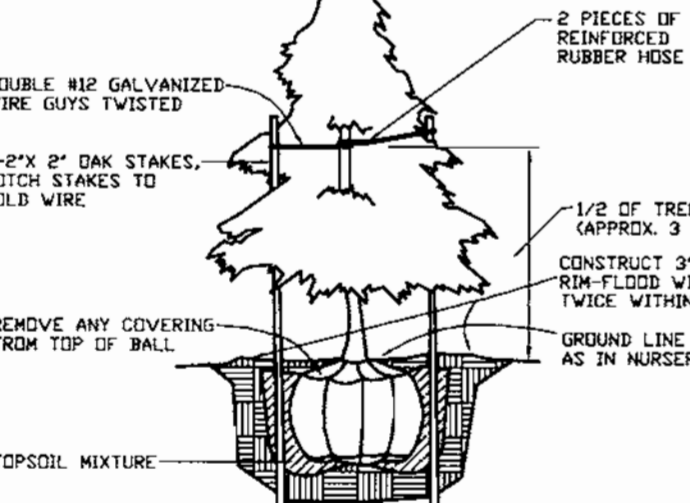
**SITE DEVELOPMENT PLAN**

**AUTUMN VIEW**  
 SECTION 4  
 LOTS 150-164, 166-177, 192-195, 200 & 202-203

TAX MAP No: 25 & 31 P/O PARCEL: 75  
 SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 30' DATE: JUNE, 2001  
 SHEET 2 OF 6



**TREE PLANTING DETAIL**  
NOT TO SCALE



**EVERGREEN PLANTING DETAIL**  
NOT TO SCALE

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE 3 REQUIRED LANDSCAPE TREES HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$1,950.00.

LANDSCAPING PLANT LIST			
QTY.	KEY	NAME	SIZE
4	(Symbol)	ACER SACCHARUM GREEN MOUNTAIN GREEN MOUNTAIN SUGAR MAPLE CROWN, BAB	2 - 2 1/2"
5	(Symbol)	PINUS STROBUS EASTERN WHITE PINE	6' - 8' HT.

SCHEDULE A PERIMETER LANDSCAPE EDGE				
PERIMETER	CATEGORY (PROPERTIES/ROADWAYS)	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY OF FRONTAGE PERIMETER	NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES
P-1	ADJACENT TO ROADWAY	B	186'	4 5

**PLANTING SPECIFICATIONS**

Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein.

All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shape shown on the plant list and the American Association of Nurserymen (AAN) standards. Plant material shall be healthy, vigorous, free from defects, decay, disfiguring roots, sun scald, injuries, diseases of the stem, trunk, or branches, and all forms of insect infestations or objectionable infestations. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will not be accepted. All plants shall be freshly dug, no holding plants from cold storage will be accepted.

Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area", Second Edition, "Landscape Guidelines" approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects, latest edition, including all amendments.

Contractor shall be required to guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.

Contractor shall be responsible for notifying utility companies, utility contractors and "Miss Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.

Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence or blaze orange safety fence at the drip line.

Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing season of completion of site construction.

Bid shall be based on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on drawings and specifications.

Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence.

All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified except where noted on plans.

Positive drainage shall be maintained in planting beds 2 percent slope.

Planting mix shall be as follows: Deciduous Plants - Two parts topsoil, one part well-rotted cow or horse manure. Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants - two parts topsoil, one part horse or other approved organic material. Add 3 lbs of evergreen (acidic) fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines.

Weed Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution: Be sure to carefully check the chemical used to assure its adaptability to the specific ground cover to be treated.

All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded and seeded.

This plan is intended for landscape use only. See other plan sheets for more information on grading, sediment control, layout, etc.

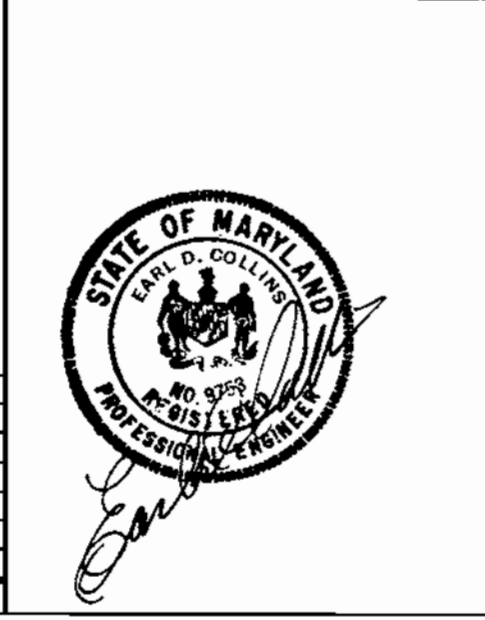
**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THIS PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION OF CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: John Lewis DATE: 11/6/01

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
200 CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PKWY  
ELLICOTT CITY, MARYLAND 21042  
4100 461 - 2855

DATE	DESCRIPTION	REVISIONS
11-7-01	REVISED PER P&Z REVIEW & REQUIREMENTS	
1-26-01	REVS PER P&Z COMMENTS OF 9-18-01	
4-24-01	REVS TO HOE, LOT 150	



**ENGINEER'S CERTIFICATE**

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: Earl D. Collins DATE: 11/6/01

**DEVELOPER'S CERTIFICATE**

I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer: John Lewis DATE: 11/6/01

Reviewed for HOWARD SCD and meets Technical Requirements.

U.S. Natural Resource Conservation Service  
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Signature: John Lewis DATE: 11/6/01

**OWNER/DEVELOPER**  
BONNIE BRANCH CORPORATION  
P.O. BOX 396  
ELLICOTT CITY, MARYLAND 21043

**BUILDER**  
RYAN HOMES, INC.  
11460 CRONRIDGE DRIVE, SUITE 128  
OWINGS HILLS, MARYLAND 21117

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: Cindy Hamata DATE: 11/6/01  
Chief, Division of Land Development

Signature: William... DATE: 10/16/01  
Chief, Development Engineering Division

Signature: ... DATE: 11/6/01  
Director, Department of Planning and Zoning

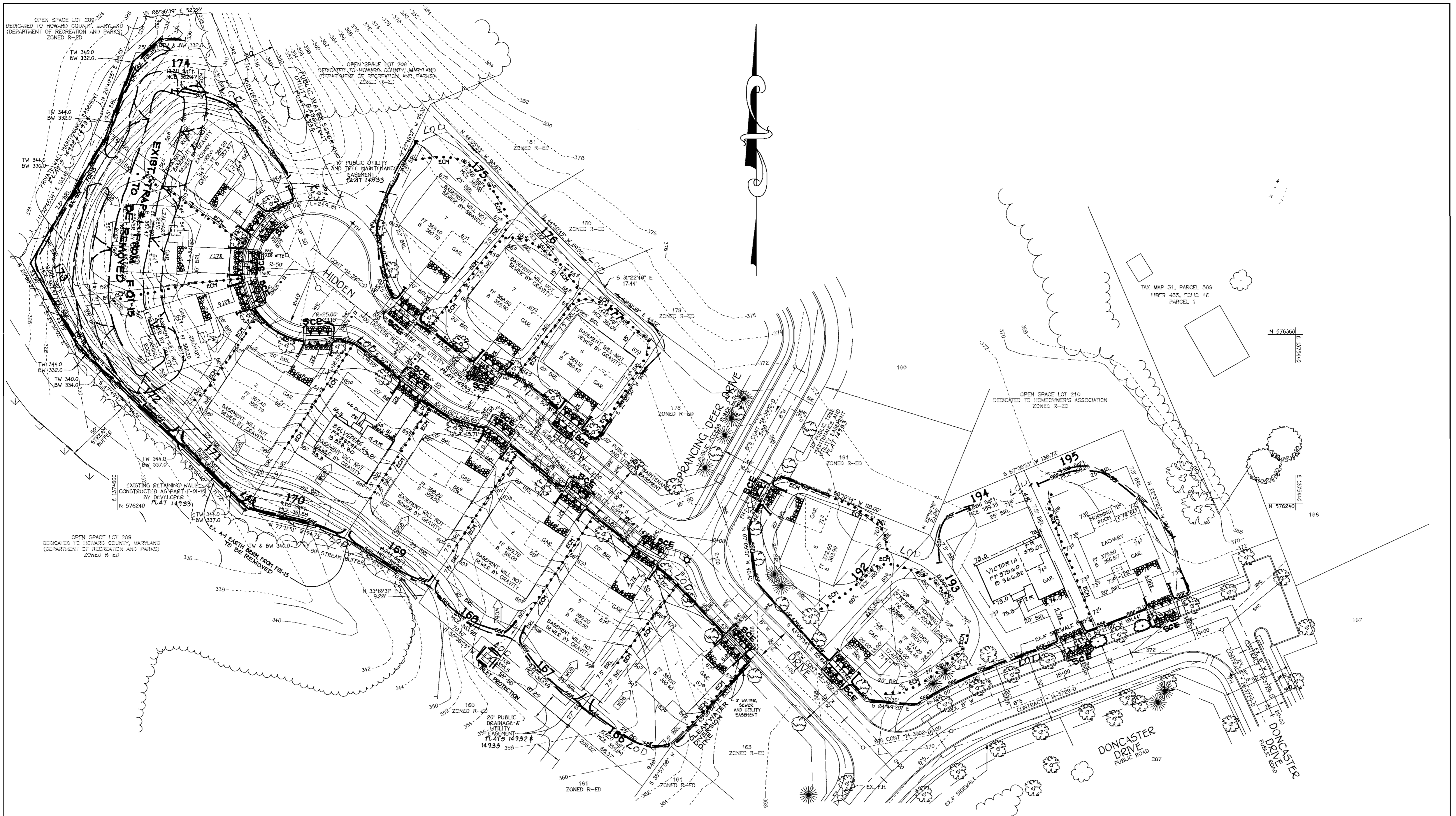
PROJECT: AUTUMN VIEW SECTION 4  
BLOCK NO. 21,344 ZONE R-ED TAX/ZONE ELEC. DIST. SECOND CENSUS TR. 14931-14935 25 & 31 6027

WATER CODE F-05 SEWER CODE 1252600

**SITE DEVELOPMENT PLAN**

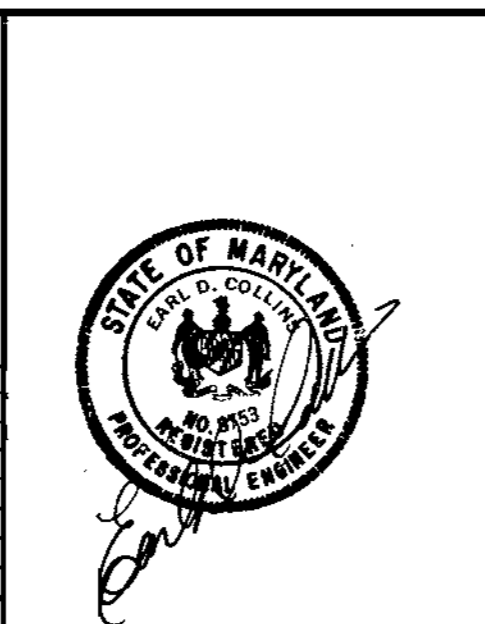
**AUTUMN VIEW**  
SECTION 4  
LOTS 150-164, 166-177, 192-195, 200 & 202-203

TAX MAP No: 25 & 31 P/O PARCEL: 75  
SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
SCALE: 1"= 30' DATE: JUNE, 2001  
SHEET 3 OF 6



**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTONIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE  
 ELICOTT CITY, MARYLAND 21042  
 (410) 461-1899

DATE	REVISIONS
9-26-01	REVS. PER REV. SITE DEVELOPMENT PLAN
	DESCRIPTION
	REVISIONS



**ENGINEER'S CERTIFICATE**  
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."  
 Signature of Engineer: *Earl O. Collins* Date: *6/21/01*  
**DEVELOPER'S CERTIFICATE**  
 "We certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."  
 Signature of Developer: *John Lewis* Date: *6/21/01*

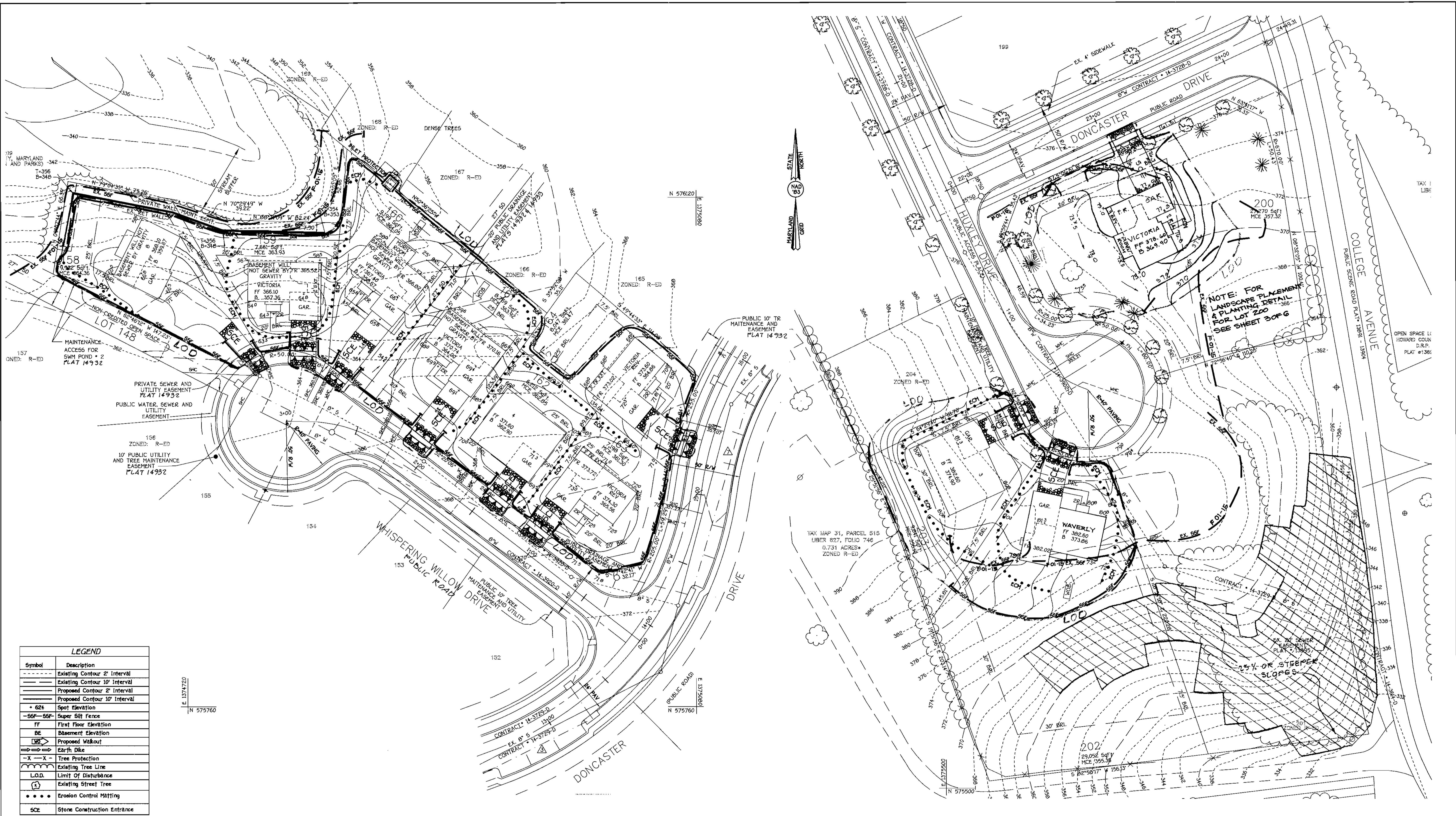
Reviewed for HOWARD SCD and meets Technical Requirements.  
 U.S.D.A. Natural Resource Conservation Service  
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.  
**OWNER/DEVELOPER**  
 BONNIE BRANCH CORPORATION  
 P.O. BOX 396  
 ELICOTT CITY, MARYLAND 21043  
**BUILDER**  
 RYAN HOMES, INC.  
 11460 CROWNDRIVE DRIVE, SUITE 128  
 OWINGS MILLS, MARYLAND 21117

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Division of Land Development  
 Chief, Development Engineering Division  
 Director, Department of Planning and Zoning

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
14931-14935	21,344	R-ED	25 & 31	SECOND	GO27

PROJECT: AUTUMN VIEW SECTION 4  
 WATER CODE: F-05 SEWER CODE: 1252600

**SEDIMENT AND EROSION CONTROL PLAN**  
**AUTUMN VIEW SECTION 4**  
**LOTS 150-164, 166-177, 192-195, 200 & 202-203**  
 TAX MAP No: 25 & 31 P/O PARCEL: 75  
 SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 30' DATE: JUNE, 2001  
 SHEET 4 OF 6



LEGEND	
Symbol	Description
--- (dashed)	Existing Contour 2' Interval
--- (solid)	Existing Contour 10' Interval
--- (dashed)	Proposed Contour 2' Interval
--- (solid)	Proposed Contour 10' Interval
+ 624	Spot Elevation
-56F-56F	Super Silt Fence
FF	First Floor Elevation
BE	Basement Elevation
[Symbol]	Proposed Walkout
[Symbol]	Earth Dike
-X-X-	Tree Protection
[Symbol]	Existing Tree Line
[Symbol]	Limit of Disturbance
[Symbol]	Existing Street Tree
•••••	Erosion Control Matting
[Symbol]	Stone Construction Entrance

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 10770 BALTIMORE NATIONAL Fwy.  
 ELICOTT CITY, MARYLAND 21042  
 (410) 461-2999

DATE	REVISIONS
9/26/01	REVISED PER REV. SITE DEVELOPMENT PLAN
	DESCRIPTION



**ENGINEER'S CERTIFICATE**  
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: *Earl D. Collins* Date: *10/10/01*  
**EARL D. COLLINS**

**DEVELOPER'S CERTIFICATE**  
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer: *John Lewis* Date: *10/10/01*  
**JOHN LEWIS**

Reviewed for HOWARD SCD and meets Technical Requirements.

Signature: *John Mayes* Date: *10/10/01*  
 U.S. D.A. - Natural Resource Conservation Service

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Signature: *John Williams* Date: *10/10/01*  
 HOWARD SCD

**OWNER/DEVELOPER**  
 BONNIE BRANCH CORPORATION  
 P.O. BOX 396  
 ELICOTT CITY, MARYLAND 21043

**BUILDER**  
 RYAN HOMES, INC.  
 11460 CROWBRIDGE DRIVE, SUITE 128  
 OWINGS HILLS, MARYLAND 21117

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: *Cynthia Khariton* Date: *11/6/01*  
 Chief, Division of Land Development

Signature: *John Williams* Date: *10/10/01*  
 Chief, Development Engineering Division

Signature: *John Williams* Date: *11/9/01*  
 Director, Department of Planning and Zoning

PROJECT	SECTION	LOTS NO.
AUTUMN VIEW	4	150-164, 166-177, 192-195, 200 & 202-203

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
14-931-14935	21, 3 & 4	R-ED	25 & 31	SECOND	'6027

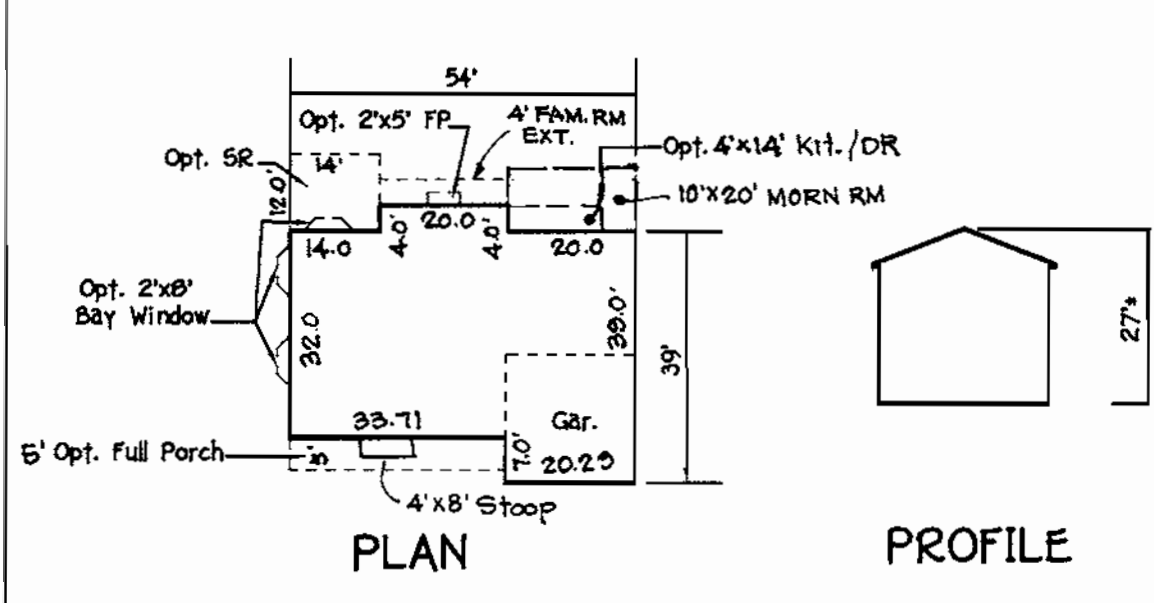
WATER CODE: F-05 SEWER CODE: 1252600

**SEDIMENT AND EROSION CONTROL PLAN**

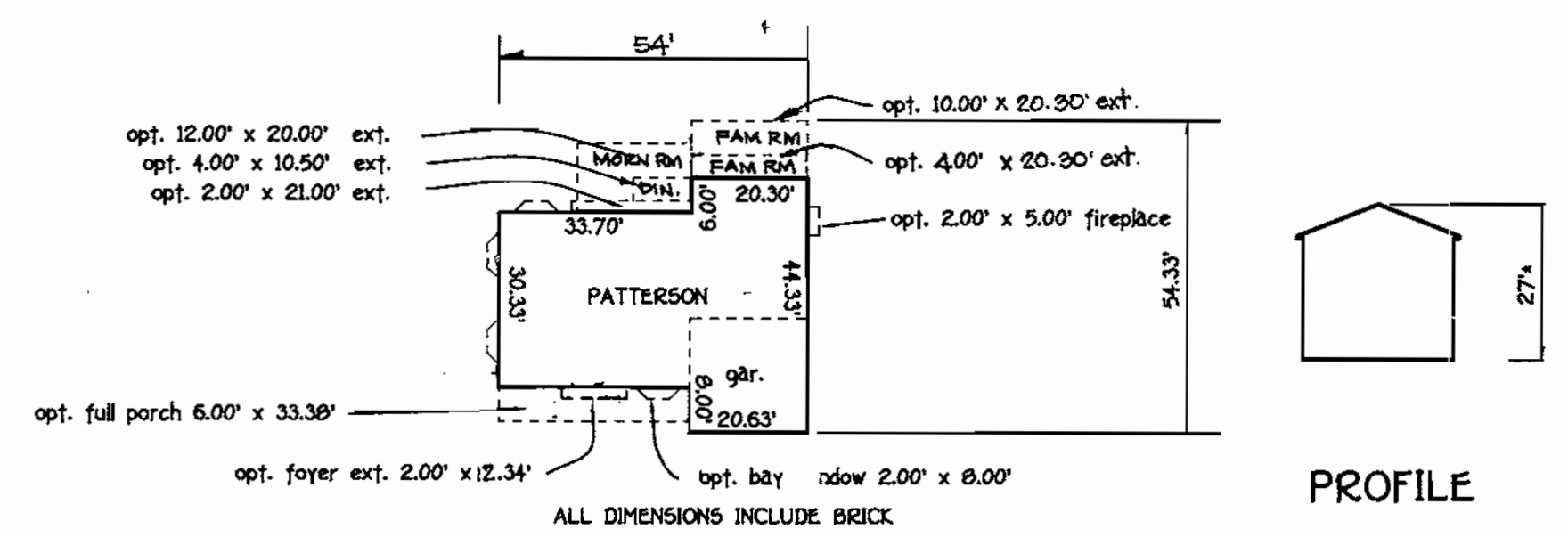
**AUTUMN VIEW SECTION 4**  
 LOTS 150-164, 166-177, 192-195, 200 & 202-203

TAX MAP No: 25 & 31 P/O PARCEL: 75  
 SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 30' DATE: JUNE, 2001  
 SHEET 5 OF 6

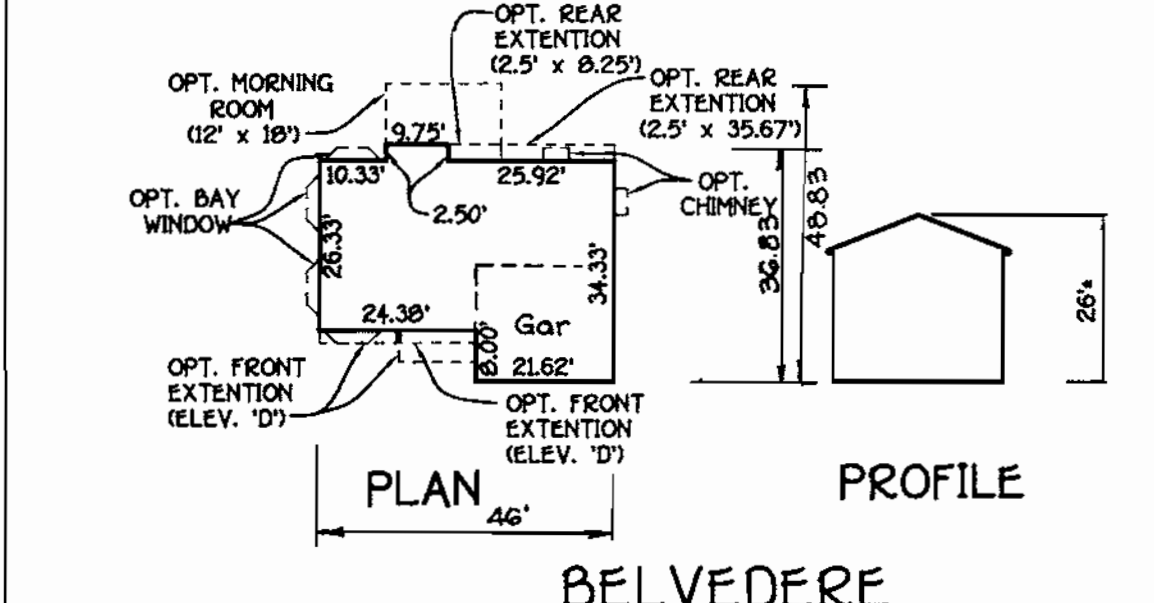




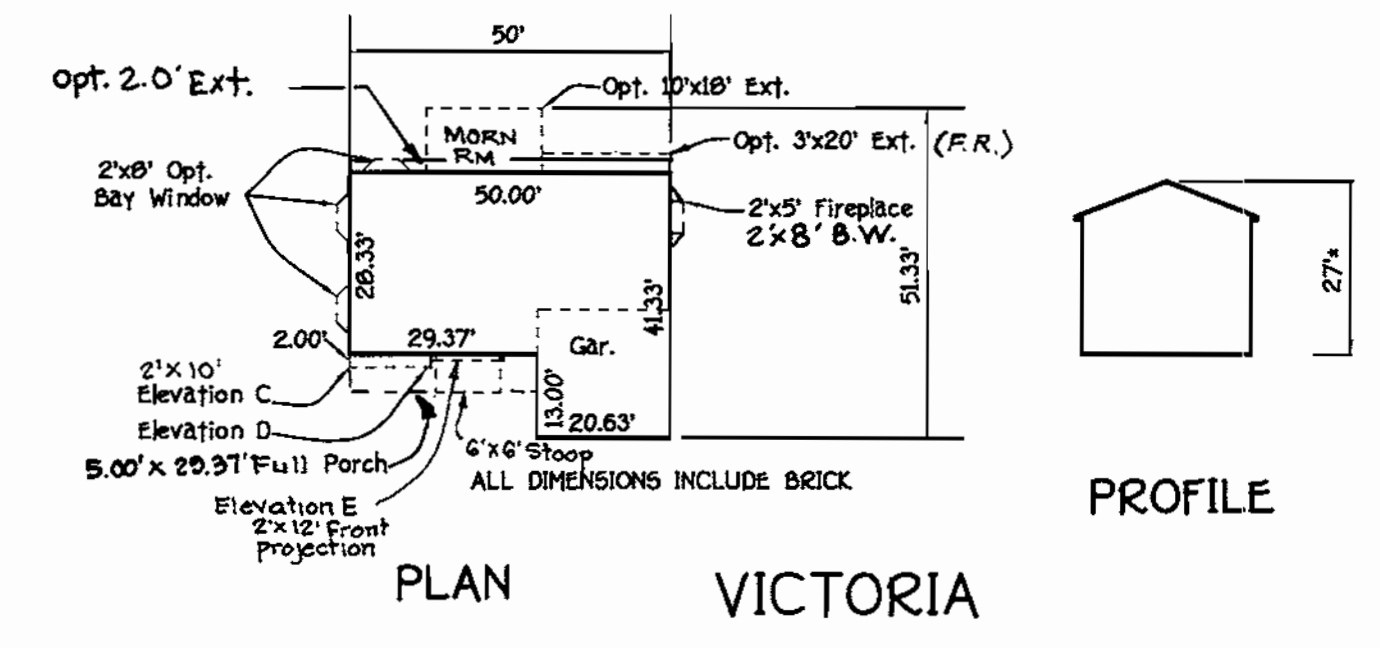
PLAN PROFILE  
AVALON



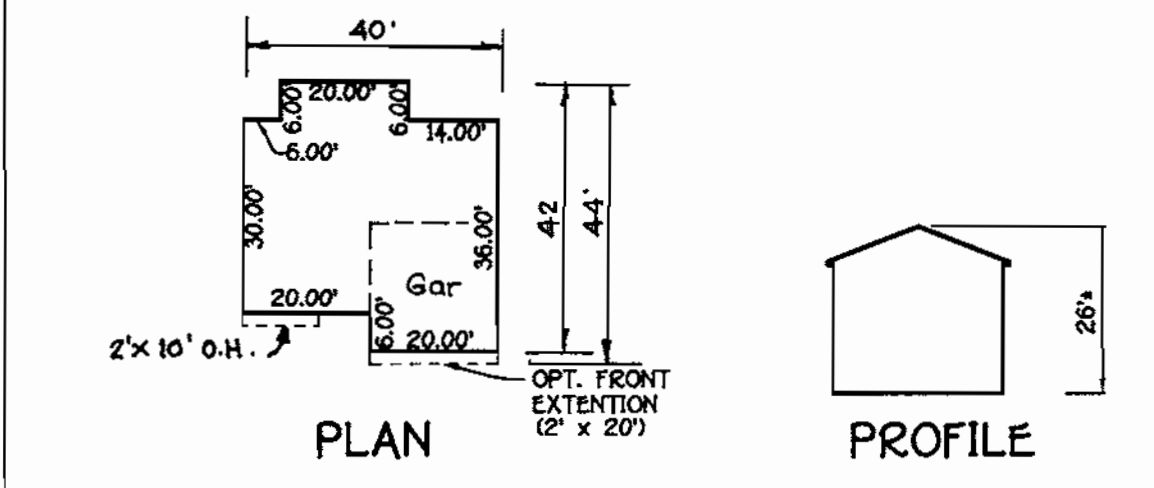
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PATTERSON



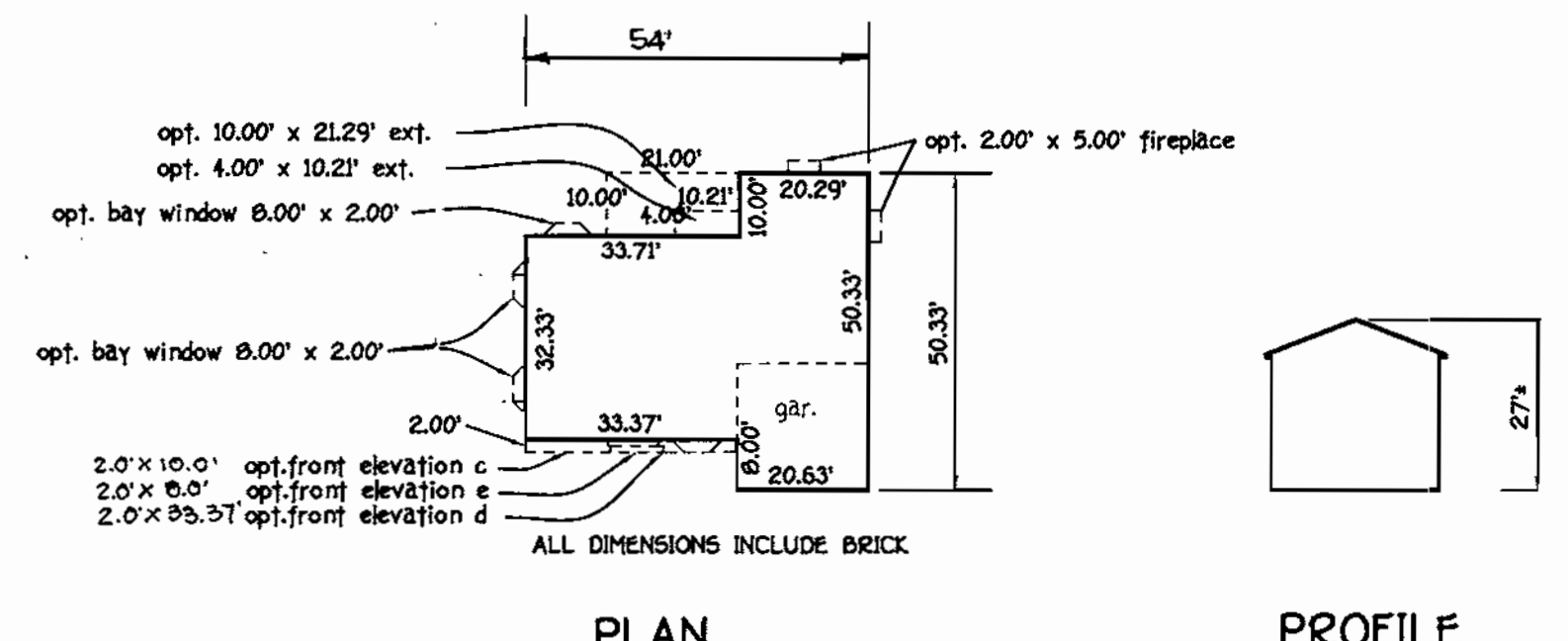
PLAN PROFILE  
BELVEDERE



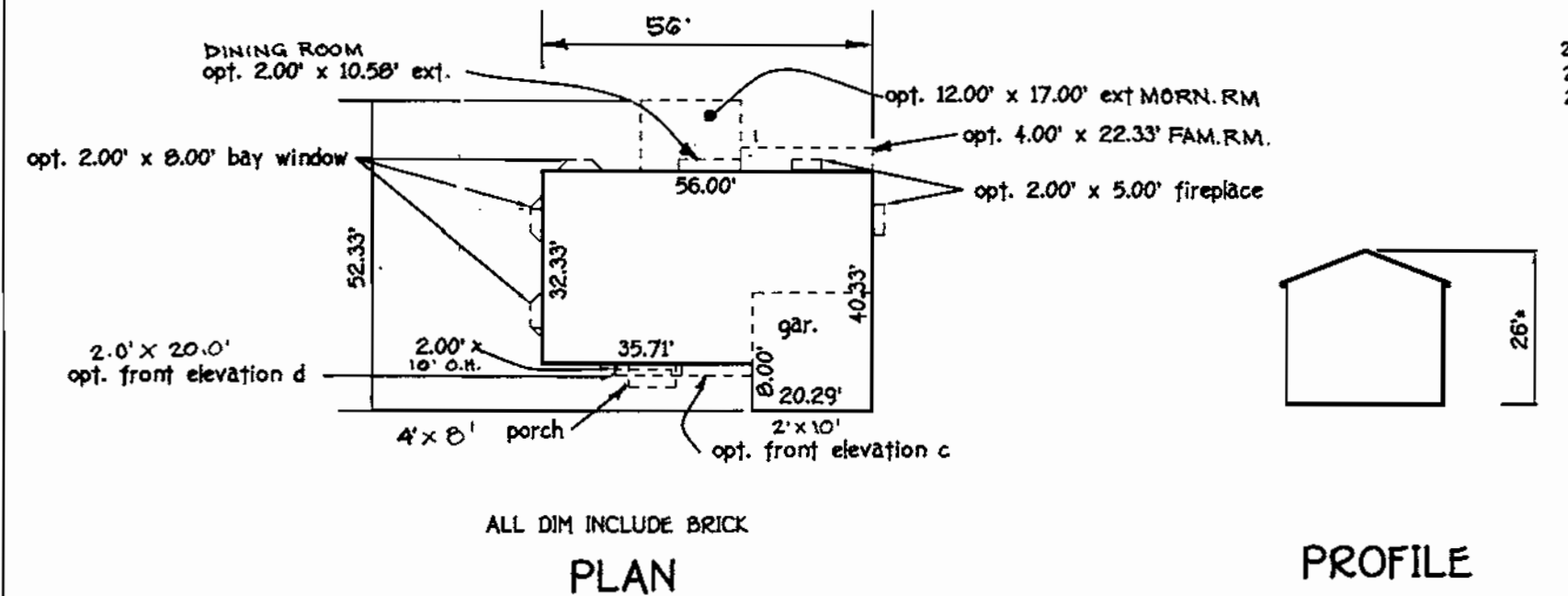
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VICTORIA



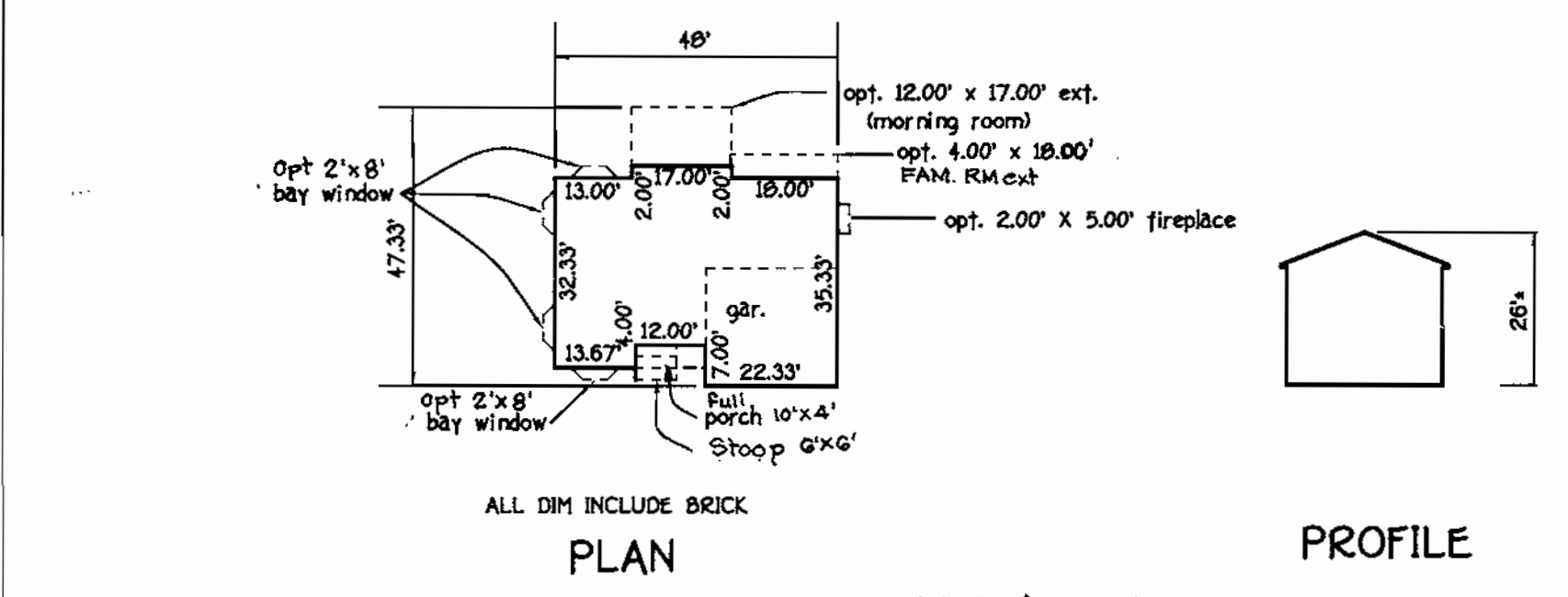
PLAN PROFILE  
CHANDLER



PLAN PROFILE  
WAVERLY



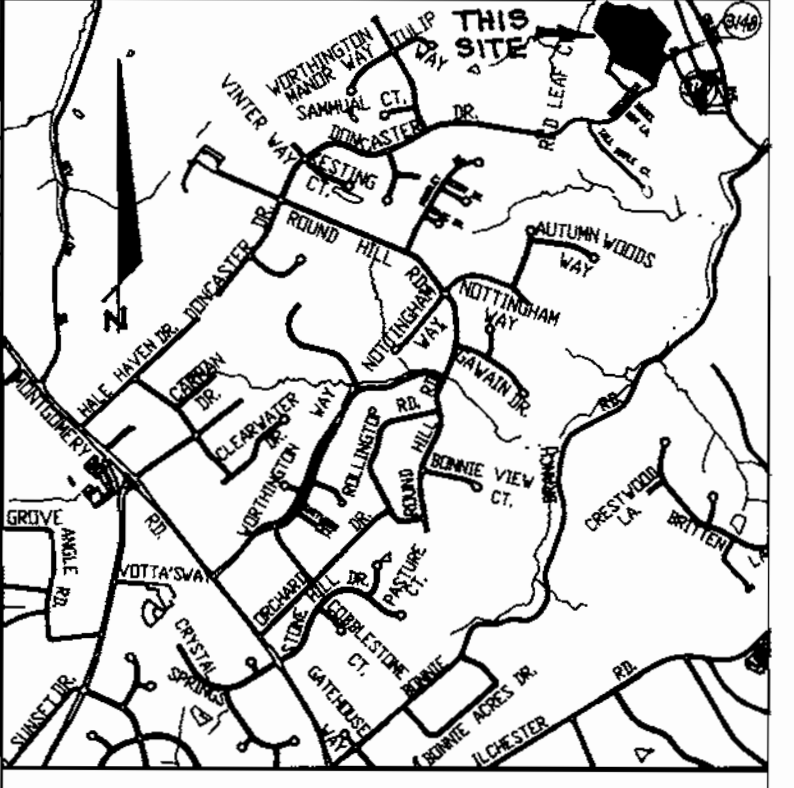
PLAN PROFILE  
COURTLAND



PLAN PROFILE  
ZACHARY

**BENCH MARKS**  
 HO. CO. MANUMENT No. 3147: 1175553B.0724  
 E 1875301.7684  
 HO. CO. MANUMENT No. 3148: 11076200.4918  
 E 1315770.4364

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
150	4420 WHISPERING WILLOW DRIVE
159	4416 WHISPERING WILLOW DRIVE
160	4412 WHISPERING WILLOW DRIVE
161	4408 WHISPERING WILLOW DRIVE
162	4404 WHISPERING WILLOW DRIVE
163	4400 WHISPERING WILLOW DRIVE
164	4360 DONCASTER DRIVE
166	4405 PRANCING DEER DRIVE
167	4501 HIDDEN HOLLOW DRIVE
168	4509 HIDDEN HOLLOW DRIVE
169	4509 HIDDEN HOLLOW DRIVE
170	4513 HIDDEN HOLLOW DRIVE
171	4517 HIDDEN HOLLOW DRIVE
172	4521 HIDDEN HOLLOW DRIVE
173	4525 HIDDEN HOLLOW DRIVE
174	4529 HIDDEN HOLLOW DRIVE
175	4516 HIDDEN HOLLOW DRIVE
176	4512 HIDDEN HOLLOW DRIVE
177	4508 HIDDEN HOLLOW DRIVE
192	4404 PRANCING DEER DRIVE
193	4400 PRANCING DEER DRIVE
194	4344 DONCASTER DRIVE
195	4340 DONCASTER DRIVE
200	4315 DONCASTER DRIVE
202	4412 HUXLEY DRIVE
203	4408 HUXLEY DRIVE



VICINITY MAP  
SCALE: 1" = 1200'

CHANDLER  
 ZACHARY NO 4' FAM. RM. EXT. OR REAR MORN. RM.  
 BELVEDERE NO MORN. RM.

PATTERSON NO 10' FAM. RM. EXT.  
 VICTORIA  
 ZACHARY  
 CHANDLER  
 AVALON NO SUN. RM.  
 BELVEDERE  
 WAVERLY

WAVERLY  
 VICTORIA  
 PATTERSON NO 10' FAM. RM. EXT.  
 ZACHARY  
 CHANDLER  
 AVALON NO SUN. RM.  
 BELVEDERE

ZACHARY NO MORN. RM.  
 CHANDLER  
 VICTORIA NO MORN. RM.  
 BELVEDERE NO MORN. RM.

VICTORIA  
 ZACHARY  
 CHANDLER  
 BELVEDERE

VICTORIA NO OPTIONS  
 ZACHARY NO MORN. RM.  
 BELVEDERE NO MORN. RM.  
 CHANDLER NO 2' GAR. EXT.

VICTORIA NO MORN. RM. OR FAM. RM. EXT.  
 CHANDLER  
 ZACHARY  
 AVALON NO SUN. RM.  
 BELVEDERE  
 PATTERSON NO 10' FAM. RM.  
 WAVERLY

BELVEDERE NO MORN. RM.  
 CHANDLER NO 2' GAR. EXT.

- GENERAL NOTES:**
- SUBJECT PROPERTY IS ZONED: R-ED PER 10-18-93 COMPREHENSIVE ZONING PLAN.
  - THE TOTAL AREA INCLUDED IN THIS SUBMISSION IS: 6.2 AC.
  - THE TOTAL NUMBER OF LOTS INCLUDED IN THIS SUBMISSION IS: 26.
  - IMPROVEMENT TO PROPERTY: SINGLE FAMILY DETACHED.
  - SHC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.
  - DEPARTMENT OF PLANNING AND ZONING REFERENCE FILE NUMBERS ARE: SP-96-15, S-99-01, S-99-10, P99-12, F-99-45, F-01-15, SP-98-12 AND WAS CONTRACT #14-3729-D, 14-3902-D.
  - UTILITIES SHOWN AS EXISTING ARE TAKEN FROM APPROVED WATER AND SEWER PLANS: CONTRACT #14-3729-D, 14-3902-D AND APPROVED ROAD CONSTRUCTION PLANS: F-99-45 & F-01-15.
  - ANY DAMAGE TO COUNTY OWNED RIGHTS-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
  - ALL ROADWAYS ARE PUBLIC AND EXISTING.
  - THE EXISTING TOPOGRAPHY WAS TAKEN FROM ROAD CONSTRUCTION PLANS F-01-15, PREPARED BY MILDENBERG, BOENDER & ASSOCIATES, INC.
  - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM - HOWARD COUNTY CONTROL STATIONS: 317 AND 318.
  - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/DIVISION OF CONSTRUCTION INSPECTION AT 410-313-1800 AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO THE START OF WORK.
  - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
  - FOR DRIVEWAY ENTRANCE DETAILS, REFER TO HOWARD COUNTY DESIGN MANUAL VOLUME IV, DETAIL R.6.06.
  - IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY SUPPLEMENTARY ZONING DISTRICT REGULATIONS, BAY WINDOWS OR CHIMNEYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS; PORCHES AND DECKS MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR SETBACKS.
  - STORMWATER MANAGEMENT IS PROVIDED PER: F-99-45. CONTROL WILL BE PROVIDED BY EXTENDED DETENTION FACILITIES WHICH WILL BE PRIVATELY OWNED AND MAINTAINED BY HOME OWNER'S ASSOCIATION.
  - ALL GRADING AND LIMITS OF DISTURBANCE WILL BE IN ACCORDANCE WITH THE APPROVED ROAD DRAWINGS. F-01-15.
  - NO FLOODPLAINS EXIST ON SITE.
  - PERIMETER LANDSCAPING AND STREET SIDE LANDSCAPING WILL BE PROVIDED AS SHOWN ON THE APPROVED ROAD DRAWINGS. F-01-15. LANDSCAPE SURETY HAS BEEN MADE A PART OF THE DEVELOPER'S AGREEMENT.
  - THE FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 15.200 OF THE HOWARD COUNTY FOREST CONSERVATION ACT. CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, EXCEPT AS SHOWN ON AN APPROVED ROAD CONSTRUCTION DRAWING OR SITE DEVELOPMENT PLAN. FOREST MANAGEMENT PRACTICES DESCRIBED IN THE DEED OF FOREST CONSERVATION EASEMENTS ARE PERMITTED.
  - NO WETLANDS EXIST ON THIS PLAN.
  - LOT 200 MUST BE DEVELOPED WITH A HOUSE THAT HAS A REAR ENTRY GARAGE AND THE FRONT FACING COLLEGE AVENUE, IN ACCORDANCE WITH PB Case 321, SP-98-12 AND F-01-15.

LEGEND	
Symbol	Description
---	Existing Contour 2' Interval
• 624	Spot Elevation
-66'-55'	Super Silt Fence
[---]	Proposed Walkout
[---]	Existing Earth Dike
[---]	Existing Tree Line
[---]	Limit of Disturbance
[---]	Existing Street Tree Taken From F-01-15

INDEX CHART	
SHEET	DESCRIPTION
SHEET 1	TITLE SHEET, NOTES AND DETAILS
SHEET 2 & 3	SITE DEVELOPMENT PLAN
SHEET 4 & 5	SEDIMENT AND EROSION CONTROL PLAN
SHEET 6	DETAIL SHEET

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK 10212 BALTIMORE NATIONAL FREE  
 ELLICOTT CITY, MARYLAND 21142  
 410.462.2855

3-11-02 Rev. Victoria Use Type  
 9-26-01 REV. PER P&E COMMENTS OF 9-18-01  
 DATE DESCRIPTION REVISIONS

**ENGINEER'S CERTIFICATE**  
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer: *Earl D. Collins* Date: \_\_\_\_\_  
 EARL D. COLLINS  
 DEVELOPER'S CERTIFICATE  
 "We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer: *John Lewis* Date: *6/21/01*  
 JOHN LEWIS

Reviewed for HOWARD SCD and meets Technical Requirements.

*John Lewis* Date: *6/21/01*  
 P.E., D.A. - Natural Resources Conservation Service  
 Signature of Engineer: *John Lewis* Date: *6/21/01*  
 JOHN LEWIS  
 HOWARD SCD

**OWNER/DEVELOPER**  
 BONNIE BRANCH CORPORATION  
 P.O. BOX 395  
 ELLICOTT CITY, MARYLAND 21143

**BUILDER**  
 RYAN HOMES, INC.  
 11460 CRONRIDGE DRIVE, SUITE 120  
 OWINGS MILLS, MARYLAND 21117

APPROVED DEPARTMENT OF PLANNING AND ZONING

*Chris Sherrill* Date: *4/16/01*  
 Chief, Division of Land Development  
*Mark Johnson* Date: *10/16/01*  
 Chief, Development Engineering Division  
*John Lewis* Date: *11/9/01*  
 Director - Department of Planning and Zoning

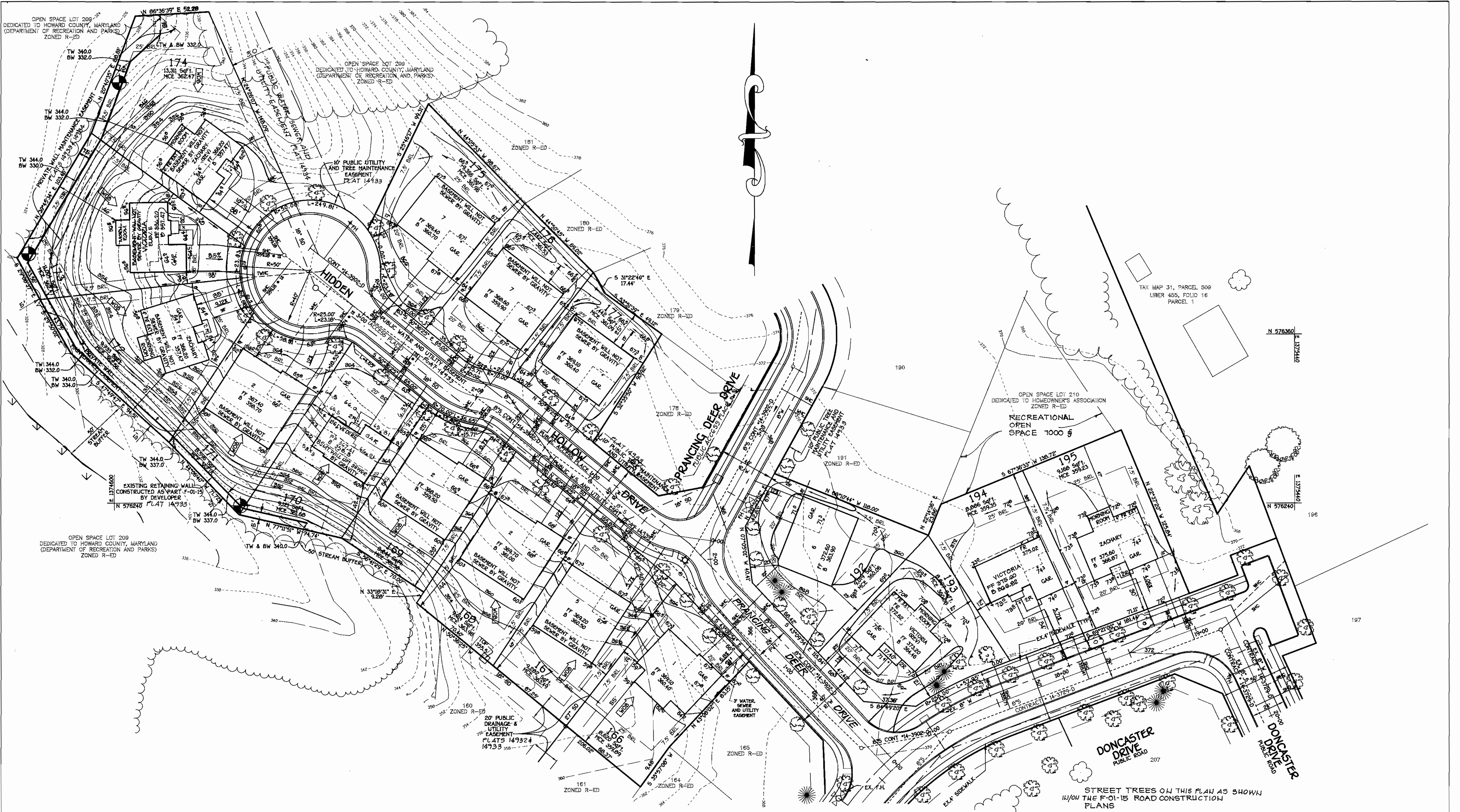
PROJECT: AUTUMN VIEW SECTION: 4 LOTS NO. 150-164, 166-177, 192-195, 200 & 202-203

PLAT: 14931-14935	BLOCK NO.: 21, 3 & 4	ZONE: R-ED	TAX/ZONE: 25 & 31	ELEC. DIST.: SECOND	CENSUS TR.: G027
WATER CODE: F-05		SEWER CODE: 1252600			

**SITE DEVELOPMENT PLAN**

**AUTUMN VIEW SECTION 4**  
 LOTS 150-164, 166-177, 192-195, 200 & 202-203

TAX MAP No: 25 & 31 P/O PARCEL: 75  
 SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 30' DATE: JUNE, 2001  
 SHEET 1 OF 6



**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK • 10772 BALTIMORE NATIONAL PIKE  
 ELLICOTT CITY, MARYLAND 21114  
 (410) 461-2995

DATE	DESCRIPTION	REVISIONS
02/24/01	REVISED L&S AND LOT LINES FROM ZACHARY TO VICTORIA	1
03/24/01	REVISED PER PER COMMENTS OF 3-15-01	2
03/24/01	REV. HOUSE LOT 172	3



**ENGINEER'S CERTIFICATE**  
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: *Earl D. Collins* Date: *11/9/01*  
**EARL D. COLLINS**  
 DEVELOPER'S CERTIFICATE

I/we certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer: *John Lewis* Date: *11/9/01*  
**JOHN LEWIS**

Reviewed for HOWARD SCD and meets Technical Requirements.

Signature of U.S.D.A. Natural Resources Conservation Service: *John Lewis* Date: *11/9/01*

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Signature of Howard SCD: *John Lewis* Date: *11/9/01*

**OWNER/DEVELOPER**  
 BONNIE BRANCH CORPORATION  
 P.O. BOX 396  
 ELLICOTT CITY, MARYLAND 21043

**BUILDER**  
 RYAN HOMES, INC.  
 11460 CROWNDRIVE DRIVE, SUITE 128  
 OWINGS MILLS, MARYLAND 21117

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: *Carla Hamilton* Date: *11/9/01*  
 Chief, Division of Land Development

Signature: *John Lewis* Date: *11/9/01*  
 Chief, Development Engineering Division

Signature: *John Lewis* Date: *11/9/01*  
 Director, Department of Planning and Zoning

PROJECT	SECTION	LOTS NO.
AUTUMN VIEW	4	158-164, 166-177, 192-195, 200 & 202-203

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
14731 - 14735	21, 344	R-ED	25 & 31	SECOND	6027

WATER CODE: F-05 SEWER CODE: 1252600

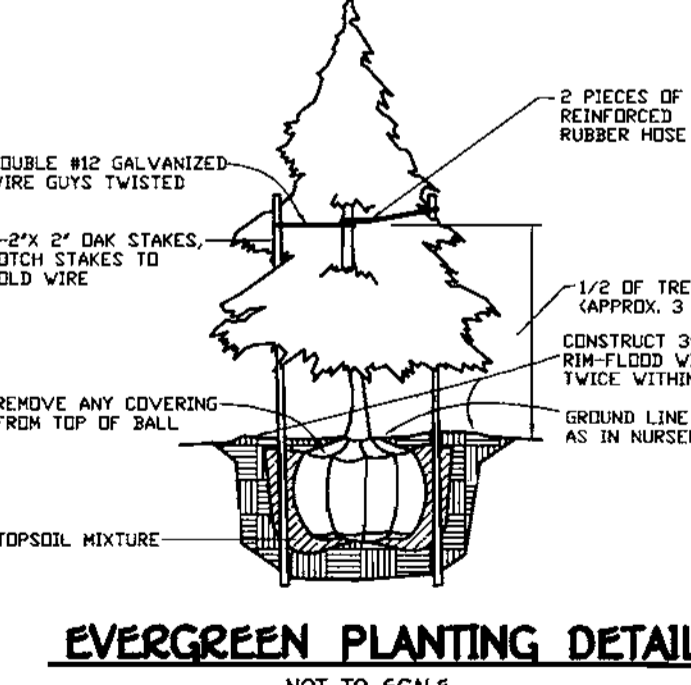
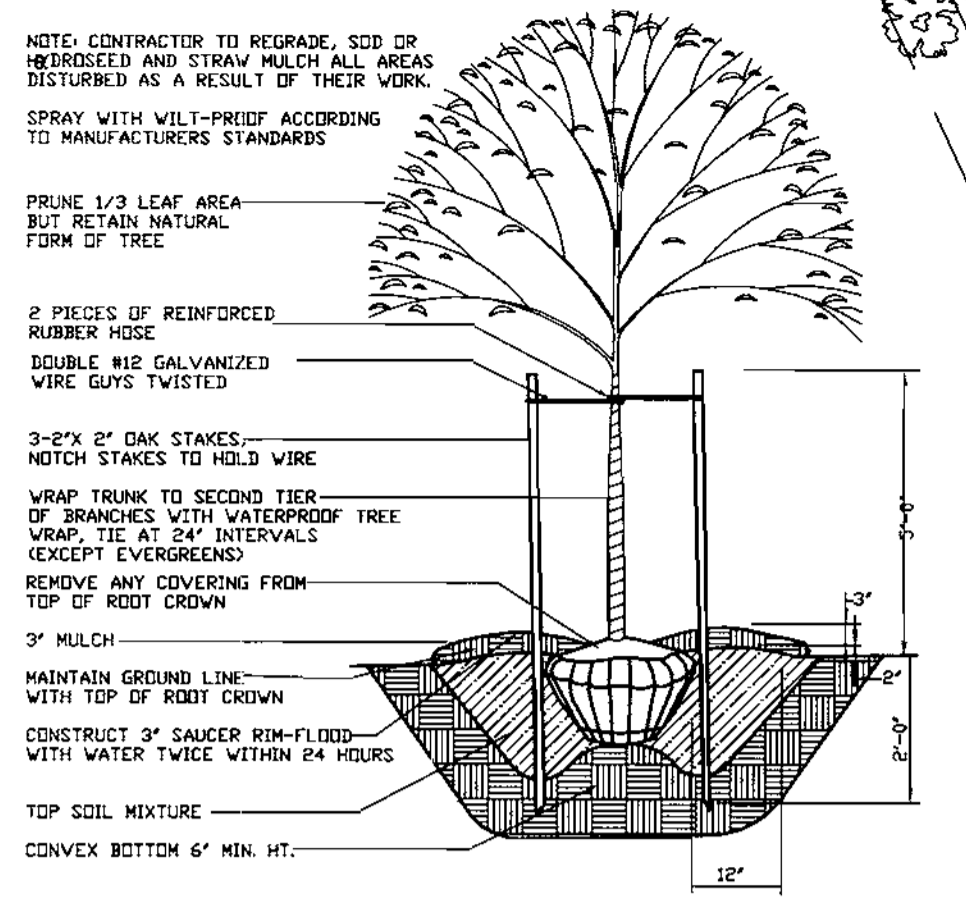
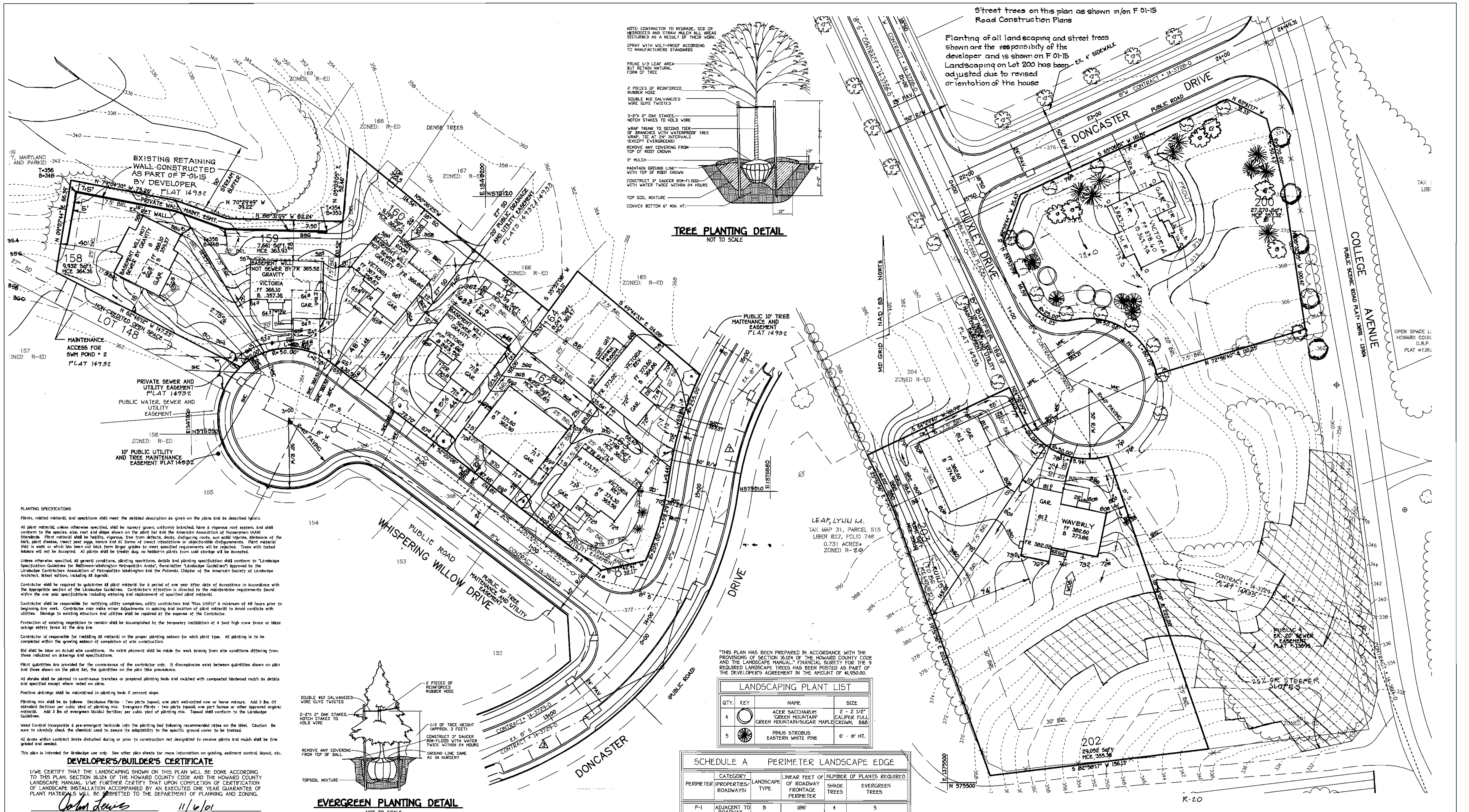
**SITE DEVELOPMENT PLAN**

**AUTUMN VIEW**  
 SECTION 4  
 LOTS 158-164, 166-177, 192-195, 200 & 202-203

TAX MAP No: 25 & 31 P/O PARCEL: 75  
 SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 30' DATE: JUNE, 2001  
 SHEET 2 OF 6

SDP 01-146





THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 36.04 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL - FINANCIAL SURVEY FOR THE 3 REQUIRED LANDSCAPE TREES HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$1,950.00.

QTY.	KEY	NAME	SIZE
4	(Symbol)	ACER SACCHARINUM GREEN MOUNTAIN GREEN MOUNTAIN SUGAR MAPLE	2 - 2 1/2" CALIPER FULL CROWN, B&B
5	(Symbol)	PINUS STROBUS EASTERN WHITE PINE	6' - 8' HT.

PERIMETER	CATEGORY (PROPERTIES/ROADWAYS)	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE PERMETER	NUMBER OF TREES	EVERGREEN TREES
P-1	ADJACENT TO ROADWAY	B	186'	4	5

**PLANTING SPECIFICATIONS**  
Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein.

All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shade shown on the plan and the American Association of Nurserymen (AAN) standards. Plant material shall be healthy, vigorous, free from defects, decay, distorting roots, and shall have no evidence of bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with staked leaders will not be accepted. All plants shall be freshly dug, no heeled-in plants from cold storage will be accepted.

Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area", hereinafter "Landscape Guidelines" Approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects, latest edition, including all addenda.

Contractor shall be required to guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.

Contractor shall be responsible for notifying utility companies, utility contractors and "Tess Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.

Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high fence or blaze orange safety fence at the drip line.

Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing season of completion of site construction.

Big shall be based on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on drawings and specifications.

Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence.

All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified except where noted on plans.

Positive drainage shall be maintained in planting beds 2 percent slope.

Planting mix shall be as follows: Deciduous Plants - two parts topsoil, one part well-rotted cow or horse manure. Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants - two parts topsoil, one part humus or other approved organic material. Add 3 lbs. of evergreen liquid fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines.

Wind Control incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution be sure to carefully check the chemical used to assure its applicability to the specific ground cover to be treated.

All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fire graded and seeded.

This plan is intended for landscape use only. See other plan sheets for more information on grading, sediment control, layout, etc.

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THIS PLAN, SECTION 36.04 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION OF CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXERCISED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: John Lewis DATE: 11/6/01

**ENGINEER'S CERTIFICATE**  
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: Earl D. Collins DATE: 11/6/01

**DEVELOPER'S CERTIFICATE**  
I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer: John Lewis DATE: 6/21/01

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief, Division of Planning and Development: Cindy Hamata DATE: 11/6/01  
Chief, Development Engineering Division: Michael... DATE: 10/16/01  
Director - Department of Planning and Zoning: ... DATE: 11/9/01

OWNER/DEVELOPER: BONNIE BRANCH COOPERATION  
P.O. BOX 356  
ELLICOTT CITY, MARYLAND 21043

BUILDER: RYAN HOMES, INC.  
11460 CROMBRIDGE DRIVE, SUITE 120  
OWINGS MILLS, MARYLAND 21117

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
14931-14935	21,314	R-ED	25 & 31	SECOND	G027

WATER CODE: F-05 SEWER CODE: 1232600

**SITE DEVELOPMENT PLAN**  
**AUTUMN VIEW**  
SECTION 4  
LOTS 150-164, 166-177, 192-195, 200 & 202-203

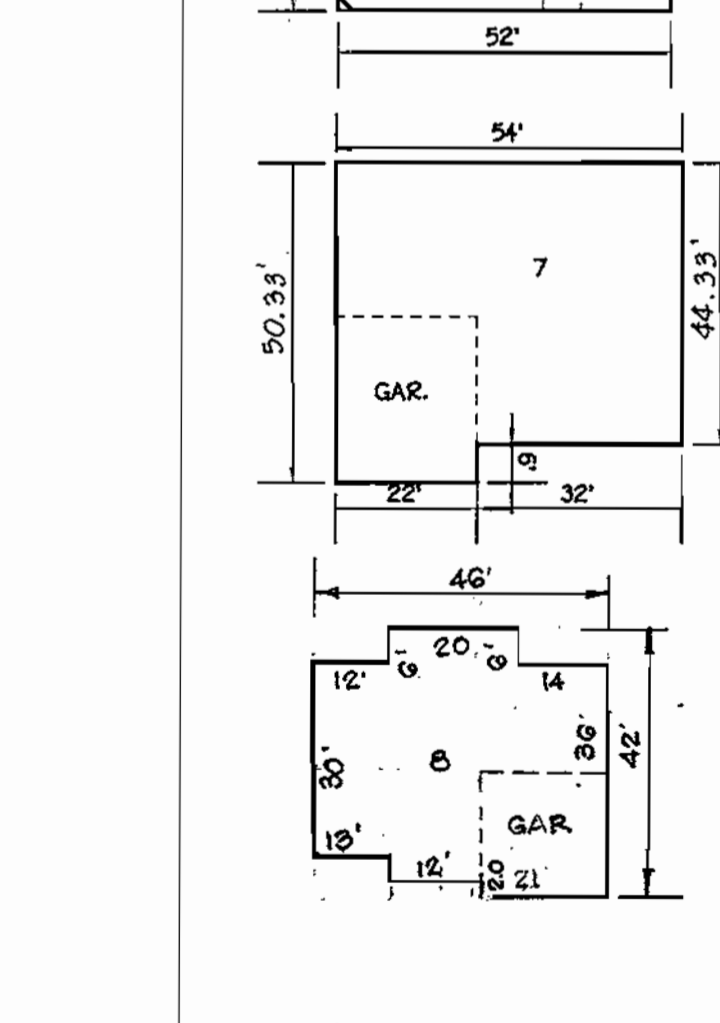
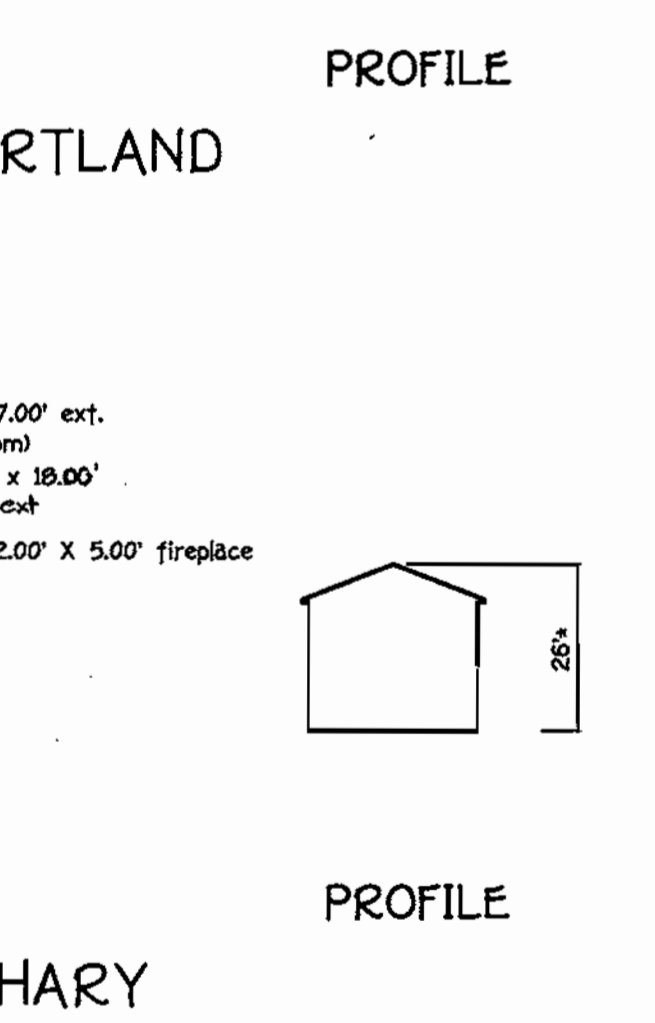
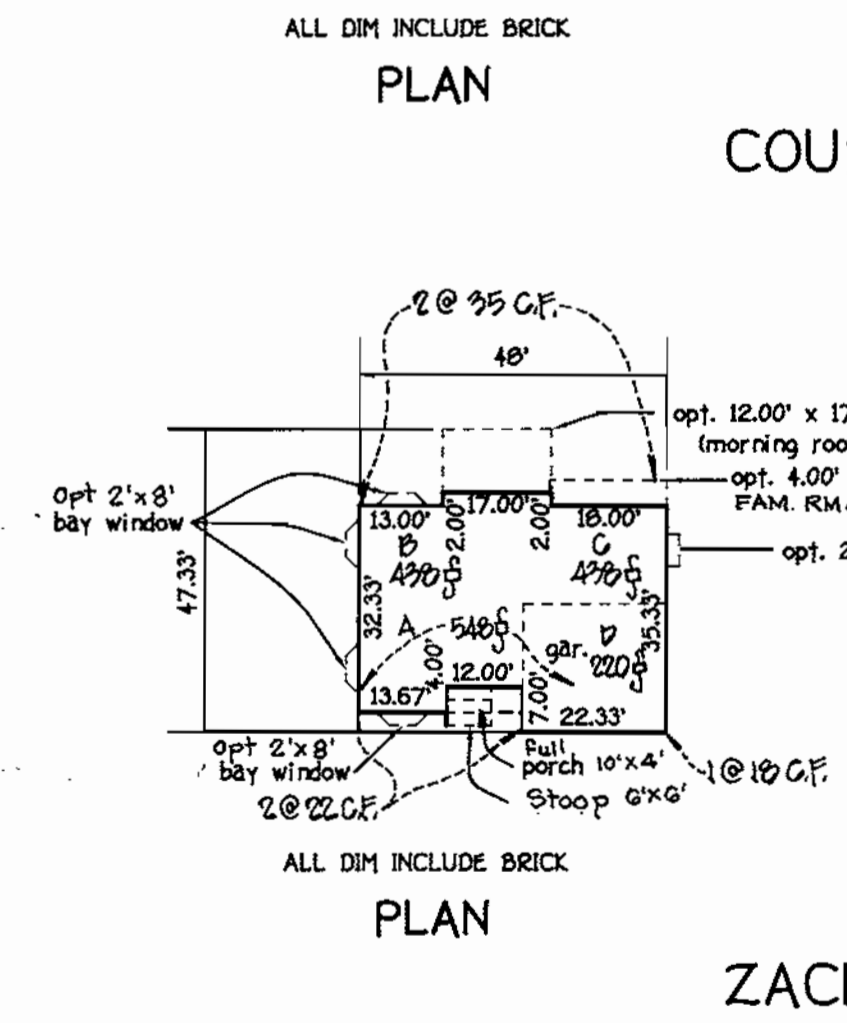
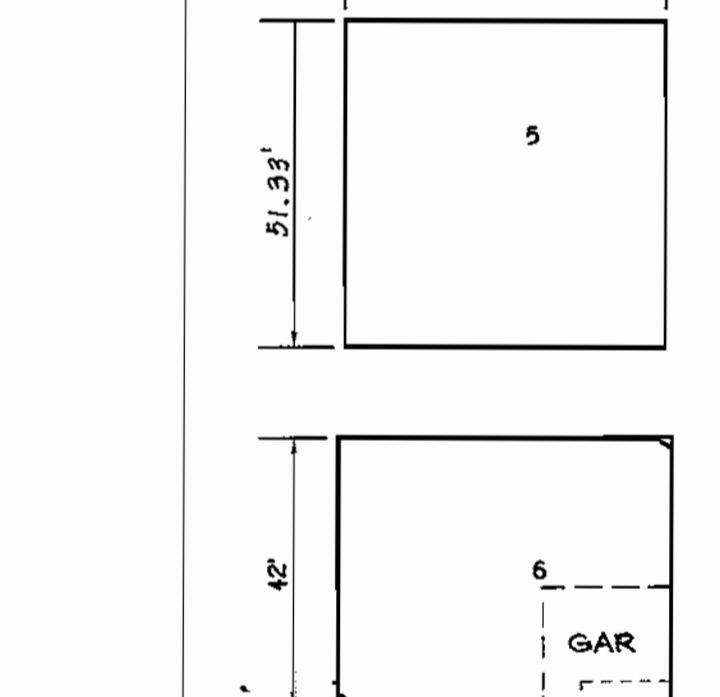
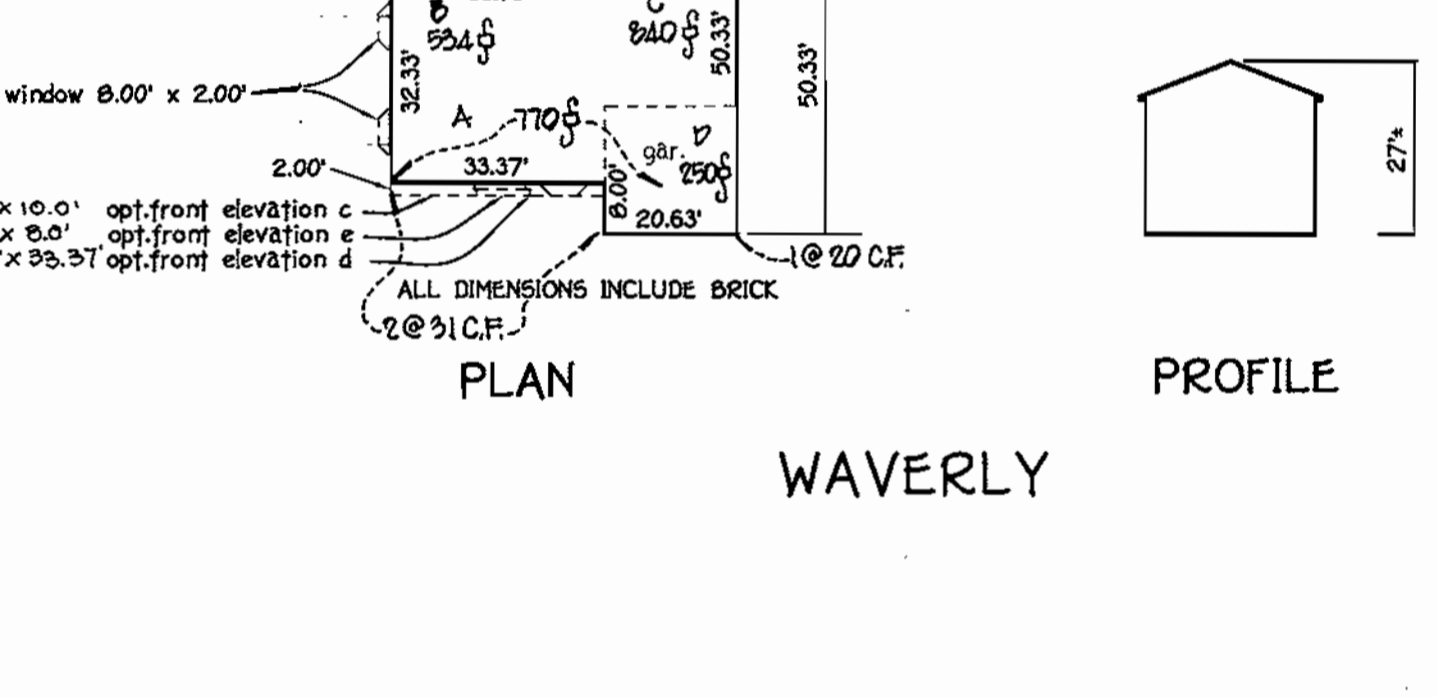
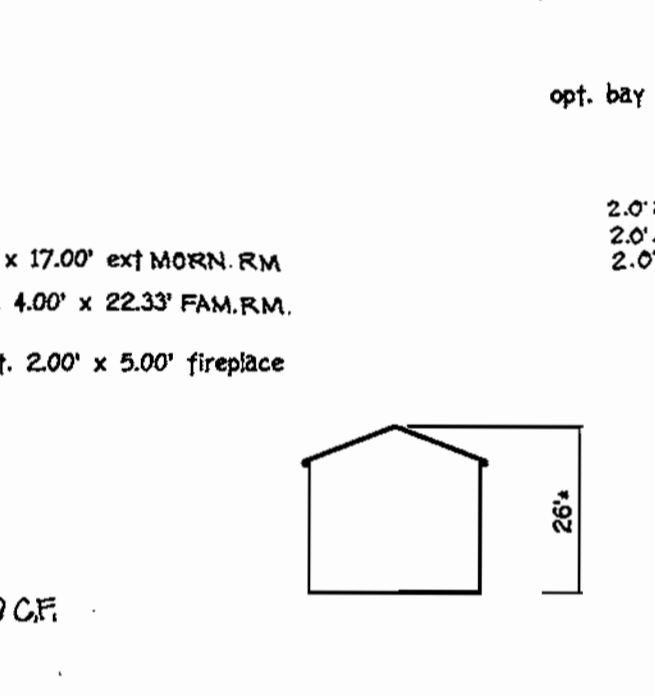
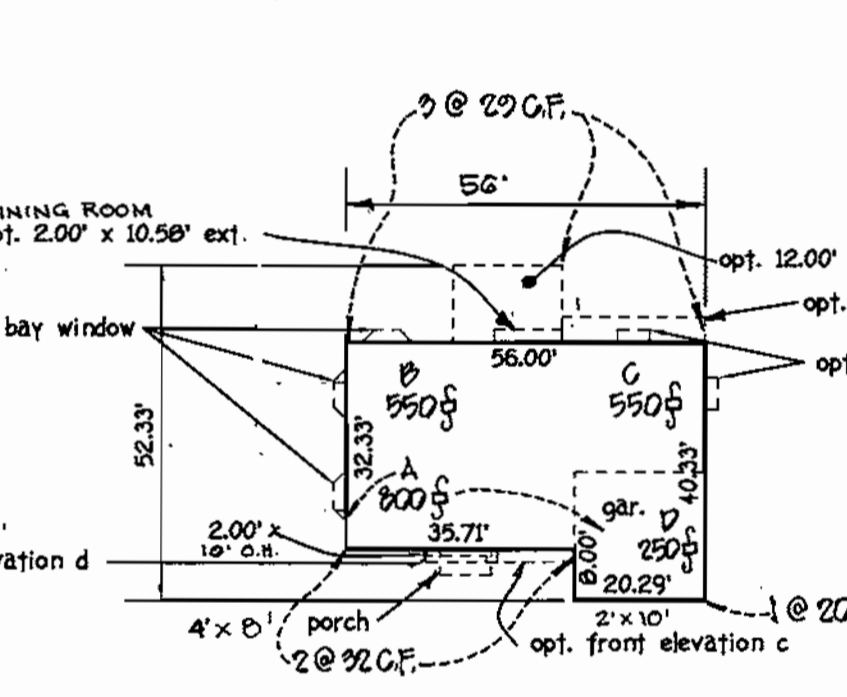
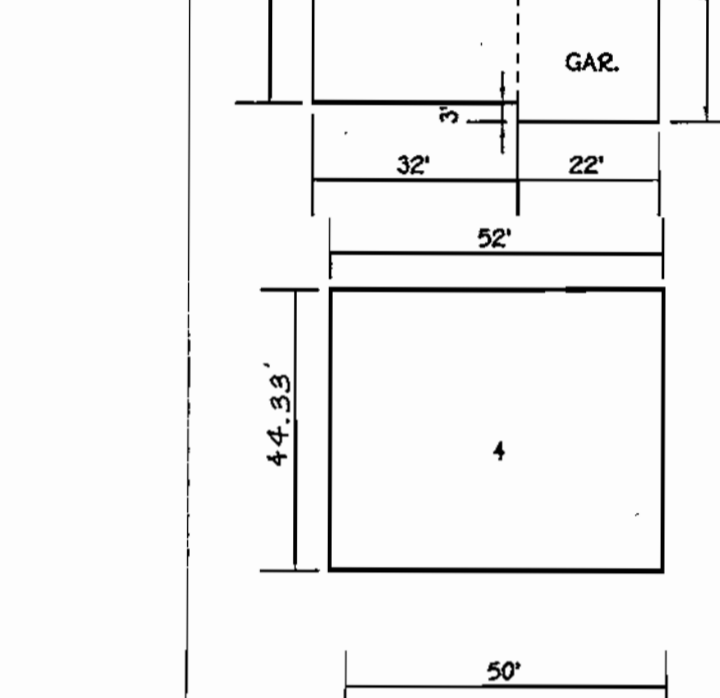
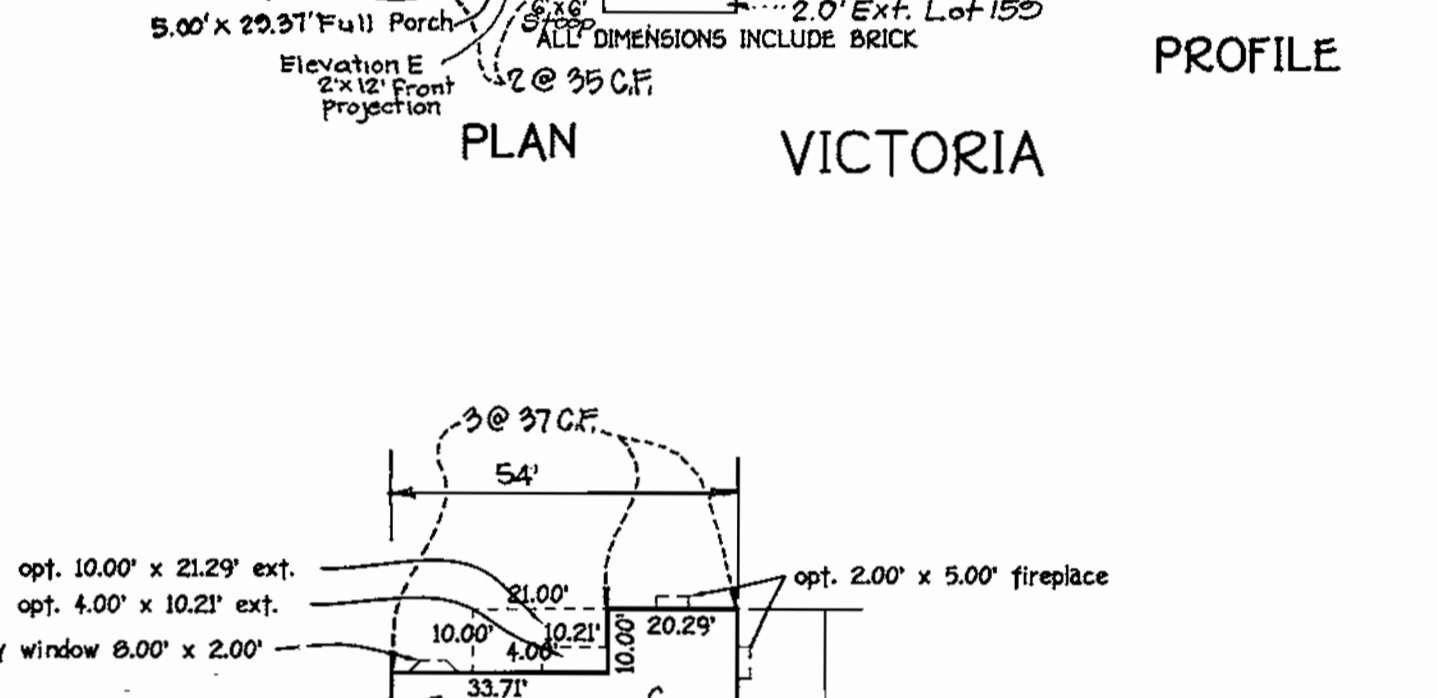
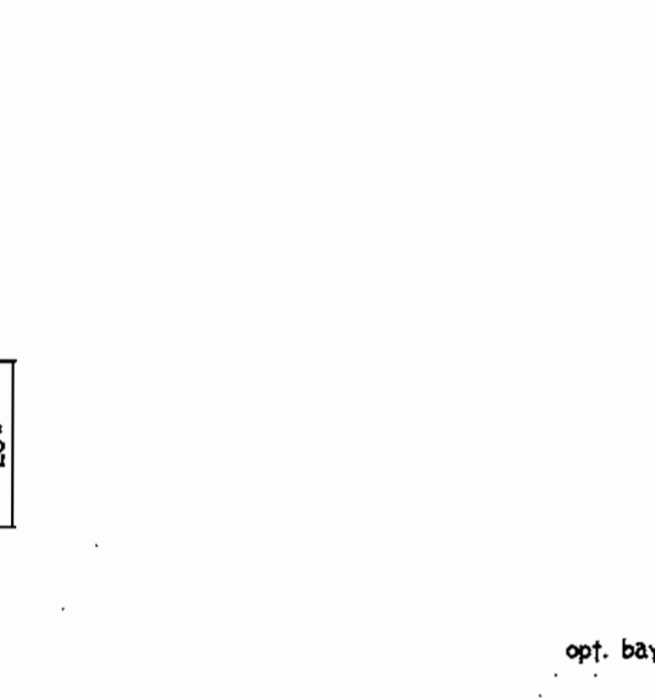
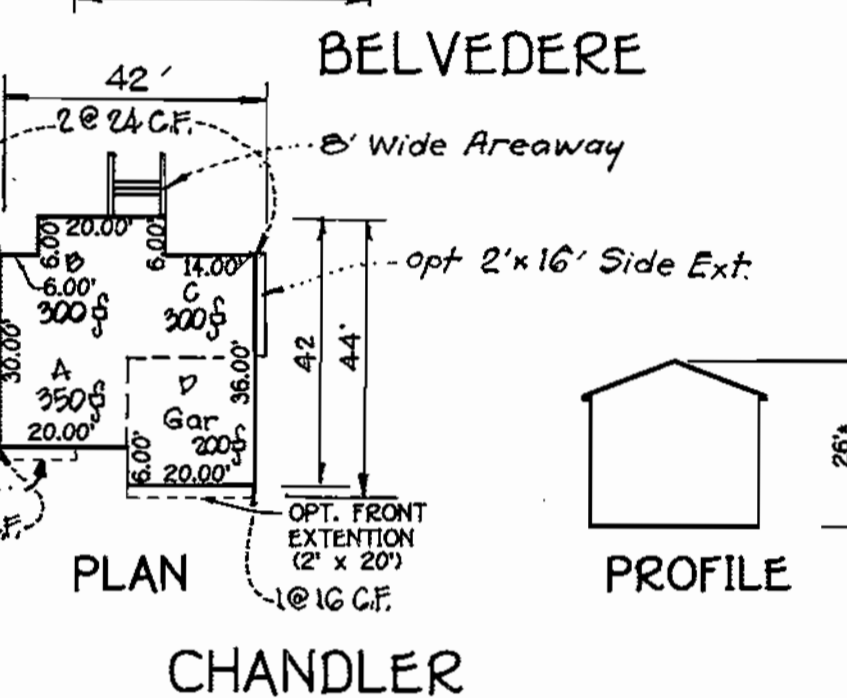
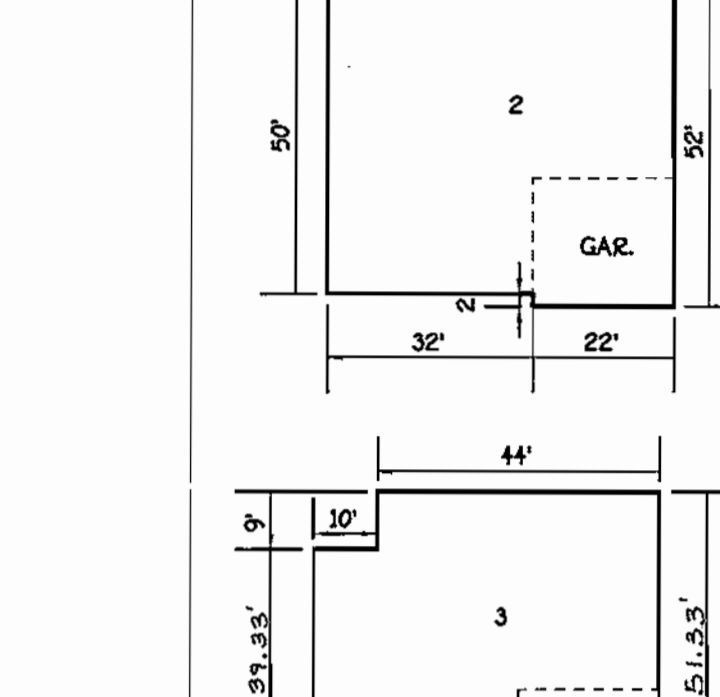
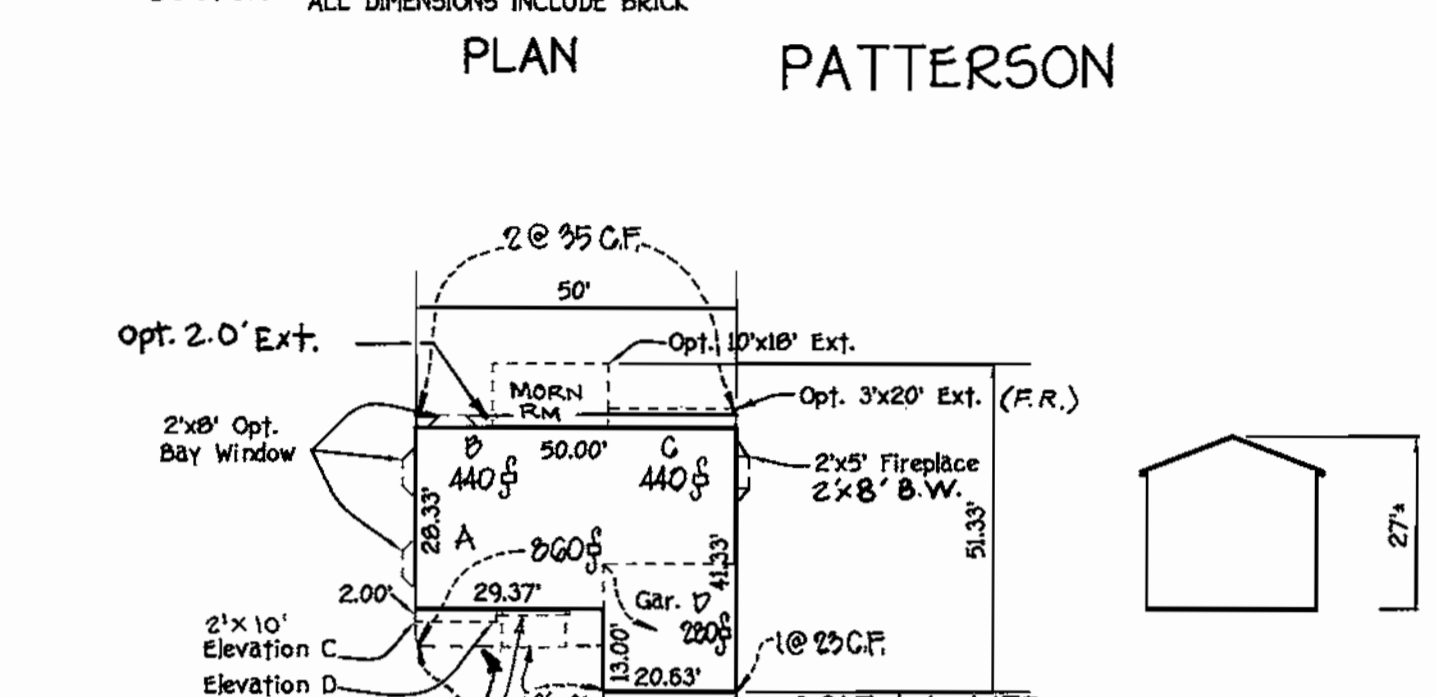
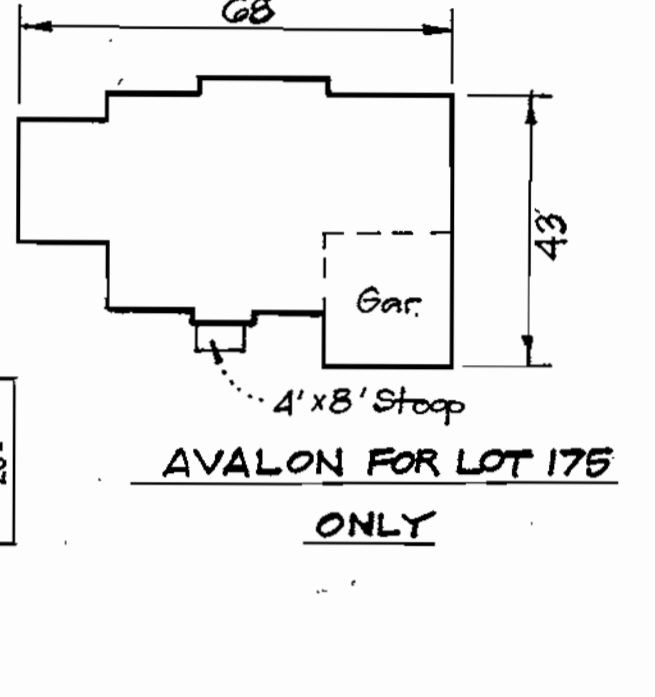
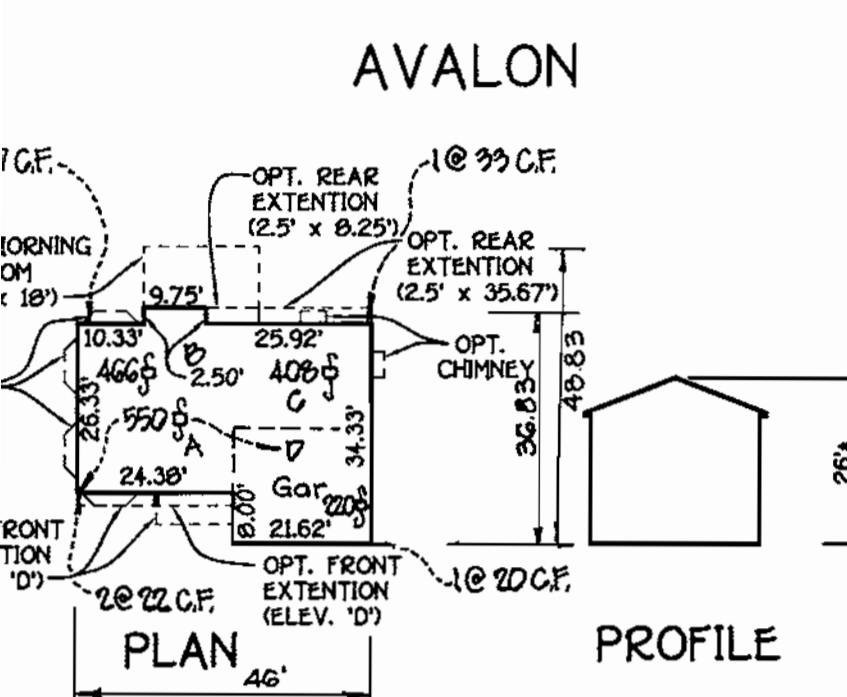
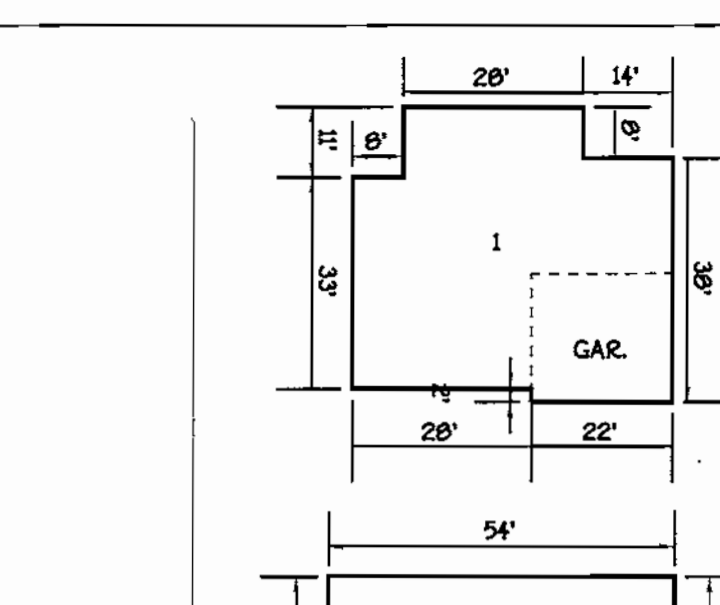
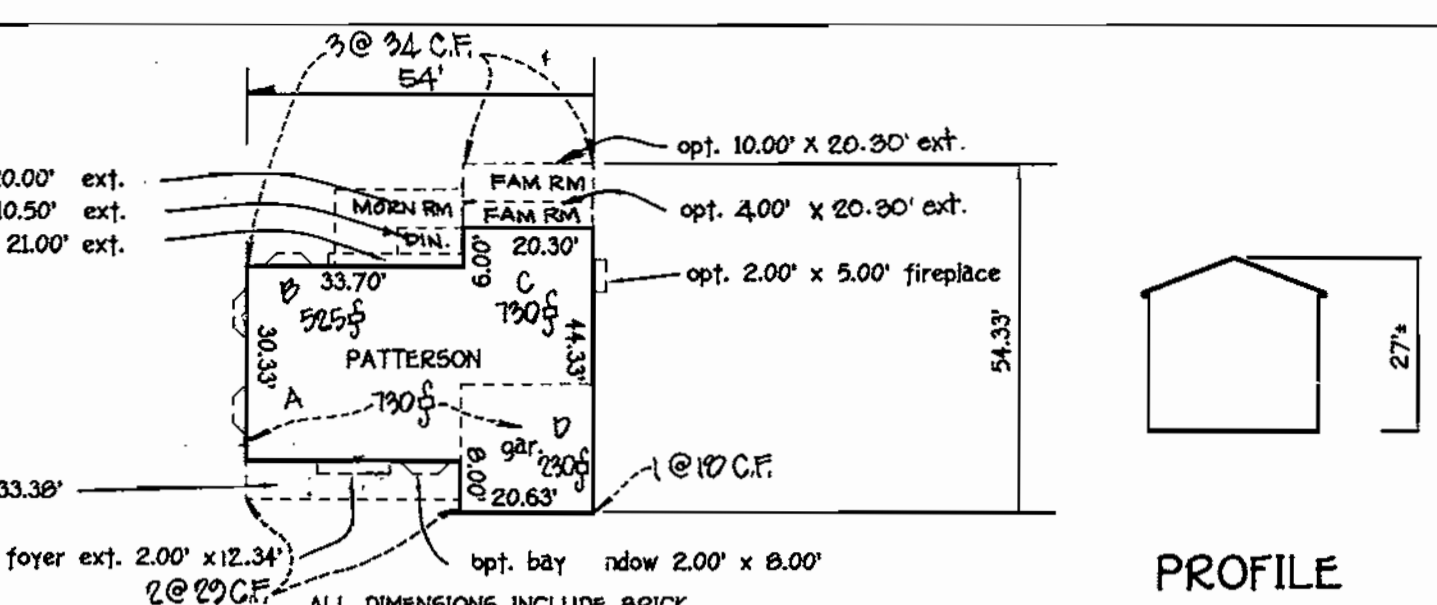
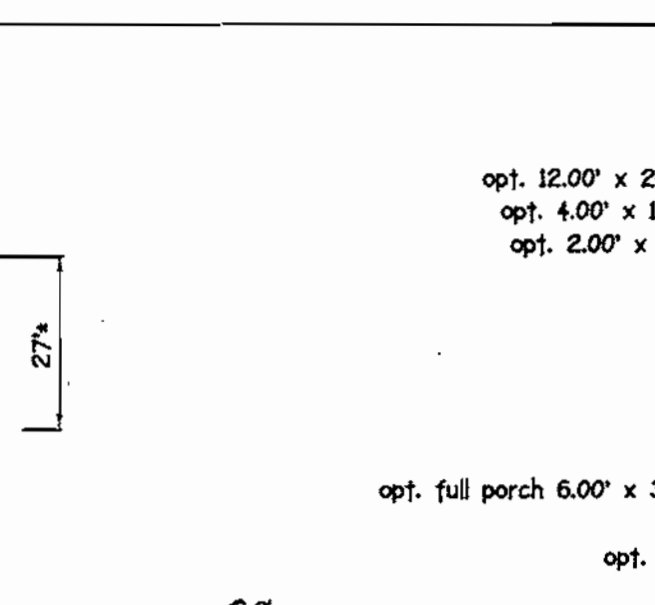
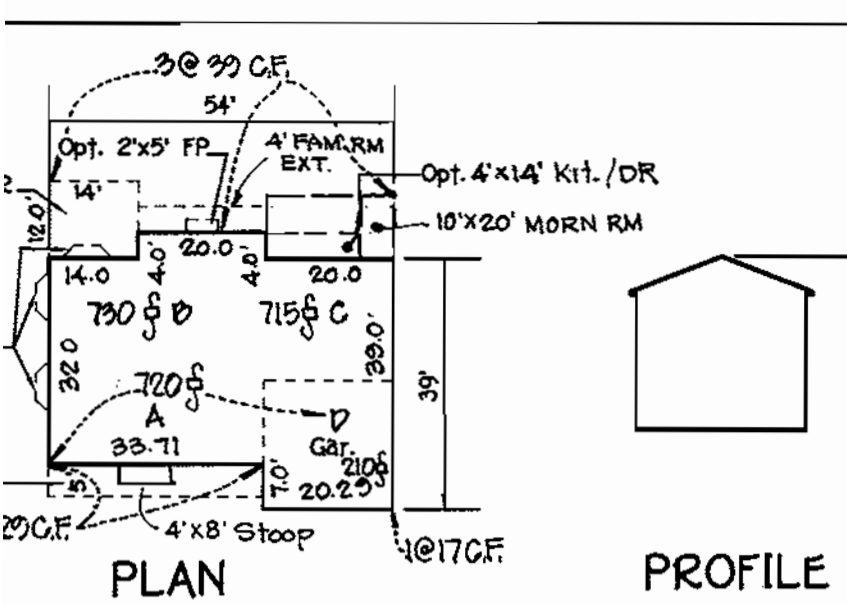
TAX MAP No: 25 & 31 P/O PARCEL: 75  
SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
SCALE: 1" = 30' DATE: JUNE, 2001  
SHEET 3 OF 6

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FREE  
ELLICOTT CITY, MARYLAND 21042  
100 W. 46 - 2000



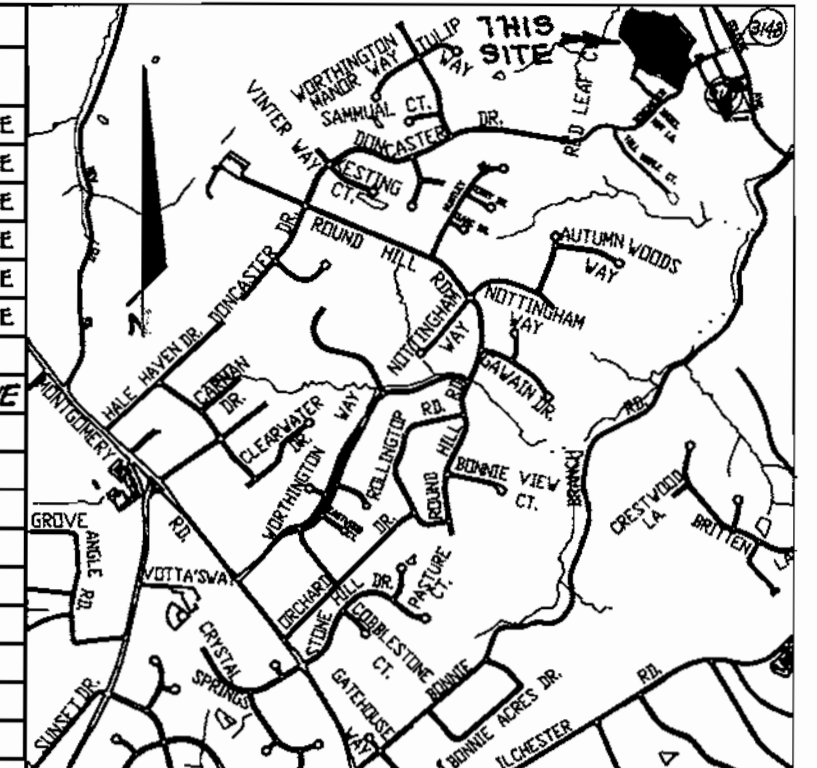
DATE	DESCRIPTION	REVISIONS
3-11-02	Rev. ord. Add 2.0' Ext. lot 161	
11-7-01	REVISED PER P&Z REVIEW & REQUIREMENTS	
9-26-01	REVISED PER P&Z CONSULTANTS OF 9-18-01	
9-24-01	REVISED TO HSB LOT 159	

**SDP 01-146**



**BENCH MARKS**  
 HO. CO. MONUMENT No. 3147: N 75° 53' 0" E 70.4'  
 E 187° 50' 1" W 6.84'  
 HO. CO. MONUMENT No. 3148: N 57° 05' 43" E 13.75'  
 E 137° 17' 0" W 4.36'

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
158	4420 WHISPERING WILLOW DRIVE
159	4416 WHISPERING WILLOW DRIVE
160	4412 WHISPERING WILLOW DRIVE
161	4408 WHISPERING WILLOW DRIVE
162	4404 WHISPERING WILLOW DRIVE
163	4400 WHISPERING WILLOW DRIVE
164	4396 DONCASTER DRIVE
166	4405 PRANCING DEER DRIVE
167	4601 HIDDEN HOLLOW DRIVE
168	4509 HIDDEN HOLLOW DRIVE
169	4507 HIDDEN HOLLOW DRIVE
170	4513 HIDDEN HOLLOW DRIVE
171	4517 HIDDEN HOLLOW DRIVE
172	4521 HIDDEN HOLLOW DRIVE
173	4525 HIDDEN HOLLOW DRIVE
174	4529 HIDDEN HOLLOW DRIVE
175	4516 HIDDEN HOLLOW DRIVE
176	4512 HIDDEN HOLLOW DRIVE
177	4508 HIDDEN HOLLOW DRIVE
192	4404 PRANCING DEER DRIVE
193	4400 PRANCING DEER DRIVE
194	4344 DONCASTER DRIVE
195	4340 DONCASTER DRIVE
200	4315 DONCASTER DRIVE
202	4412 HUXLEY DRIVE
203	4408 HUXLEY DRIVE



**VICINITY MAP**  
 SCALE: 1" = 1200'

- GENERAL NOTES:**
- SUBJECT PROPERTY IS ZONED: R-ED PER 10-10-93 COMPREHENSIVE ZONING PLAN.
  - THE TOTAL AREA INCLUDED IN THIS SUBMISSION IS: 6.2 AC.
  - THE TOTAL NUMBER OF LOTS INCLUDED IN THIS SUBMISSION IS: 26.
  - IMPROVEMENT TO PROPERTY: SINGLE FAMILY DETACHED.
  - SHC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.
  - DEPARTMENT OF PLANNING AND ZONING REFERENCE FILE NUMBERS ARE: SP-96-15, S-99-01, P-98-10, P-98-12, F-99-45, F-01-15, SP-98-12 AND WAS CONTRACT #14-3729-D, 14-3902-D.
  - UTILITIES SHOWN AS EXISTING ARE TAKEN FROM APPROVED WATER AND SEWER PLANS; CONTRACT #14-3729-D, 14-3902-D AND APPROVED ROAD CONSTRUCTION PLANS: F-99-45 & F-01-15.
  - ANY DAMAGE TO COUNTY OWNED RIGHTS-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
  - ALL ROADWAYS ARE PUBLIC AND EXISTING.
  - THE EXISTING TOPOGRAPHY WAS TAKEN FROM ROAD CONSTRUCTION PLANS F-01-15, PREPARED BY MILDENBERG, BOENDER & ASSOCIATES, INC.
  - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM - HOWARD COUNTY CONTROL STATIONS: 3147 AND 3148.
  - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/DIVISION OF CONSTRUCTION INSPECTION AT 410-313-1000 AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO THE START OF WORK.
  - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
  - FOR DRIVEWAY ENTRANCE DETAILS, REFER TO HOWARD COUNTY DESIGN MANUAL VOLUME IV, DETAIL R.S.05.
  - IN ACCORDANCE WITH SECTION 120 OF THE HOWARD COUNTY SUPPLEMENTARY ZONING DISTRICT REGULATIONS, BAY WINDOWS OR CHIMNEYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS; PORCHES AND DECKS MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR SETBACKS.
  - STORMWATER MANAGEMENT IS PROVIDED PER: F-99-45. CONTROL WILL BE PROVIDED BY EXTENDED DETENTION FACILITIES WHICH WILL BE PRIVATELY OWNED AND MAINTAINED BY HOME OWNER'S ASSOCIATION.
  - ALL GRADING AND LIMITS OF DISTURBANCE WILL BE IN ACCORDANCE WITH THE APPROVED ROAD DRAWINGS. F-01-15.
  - NO FLOODPLAINS EXIST ON SITE.
  - PERIMETER LANDSCAPING AND STREET SIDE LANDSCAPING WILL BE PROVIDED AS SHOWN ON THE APPROVED ROAD DRAWINGS. F-01-15. LANDSCAPE SURETY HAS BEEN MADE A PART OF THE DEVELOPER'S AGREEMENT.
  - THE FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 161200 OF THE HOWARD COUNTY FOREST CONSERVATION ACT. CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, EXCEPT AS SHOWN ON AN APPROVED ROAD CONSTRUCTION DRAWING OR SITE DEVELOPMENT PLAN. FOREST MANAGEMENT PRACTICES DESCRIBED IN THE DEED OF FOREST CONSERVATION EASEMENTS ARE PERMITTED.
  - NO WETLANDS EXIST ON THIS PLAN.
  - LOT 200 MUST BE DEVELOPED WITH A HOUSE THAT HAS A REAR ENTRY GARAGE AND THE FRONT FACING COLLEGE AVENUE, IN ACCORDANCE WITH PB Case 321, SP-98-12 AND F 01-15.

LEGEND	
Symbol	Description
---	Existing Contour 2' Interval
+ 624	Spot Elevation
-55F-55F	Super Silt Fence
[ ]	Proposed Walkout
[ ]	Existing Earth Dike
[ ]	Existing Tree Line
[ ]	Limit of Disturbance
[ ]	Existing Street Tree Taken From F-01-15

INDEX CHART	
SHEET	DESCRIPTION
SHEET 1	TITLE SHEET, NOTES AND DETAILS
SHEET 2 & 3	SITE DEVELOPMENT PLAN
SHEET 4 & 5	SEDIMENT AND EROSION CONTROL PLAN
SHEET 6	DETAIL SHEET

• FCM	Erosion Control Matting	L.O.D.	Limit of Disturbance
• SCE	Stone Const. Entrance	(S)	Existing Street Tree Taken From F-01-15

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i> Chief, Division of Land Development	4/16/01
<i>[Signature]</i> Chief, Development Engineering Division	10/16/01
<i>[Signature]</i> Director - Department of Planning and Zoning	4/16/01
PROJECT: AUTUMN VIEW	SECTION: 4
PLAT: 149.31 - 149.35	BLOCK NO.: 21, 3 & 4
WATER CODE: F-05	SEWER CODE: 1252.600
LOT NO.: 158-164, 166-177, 192-195, 200 & 202-203	CENSUS TR.: G027

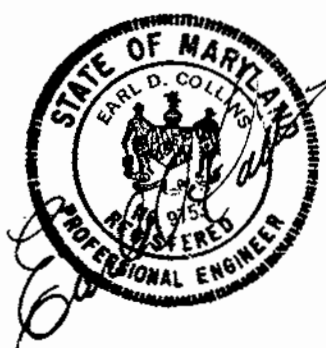
**SITE DEVELOPMENT PLAN**

**AUTUMN VIEW SECTION 4**

**LOTS 158-164, 166-177, 192-195, 200 & 202-203**

TAX MAP No: 25 & 31 P/O PARCEL: 75  
 SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 30' DATE: JUNE, 2001  
 SHEET 1 OF 6

**COLLINS & CARTER, INC.**  
 ENGINEERS, ARCHITECTS & LAND SURVEYORS  
 OFFICE: 10272 BALTIMORE NATIONAL PIKE  
 BELLEVILLE, MARYLAND 21155  
 (410) 481-2255



**ENGINEER'S CERTIFICATE**  
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*[Signature]*  
 Signature of Engineer: EARL D. COLLINS Date: 6/21/01

**DEVELOPER'S CERTIFICATE**  
 I/we certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

*[Signature]*  
 Signature of Developer: JOHN LEWIS Date: 6/21/01

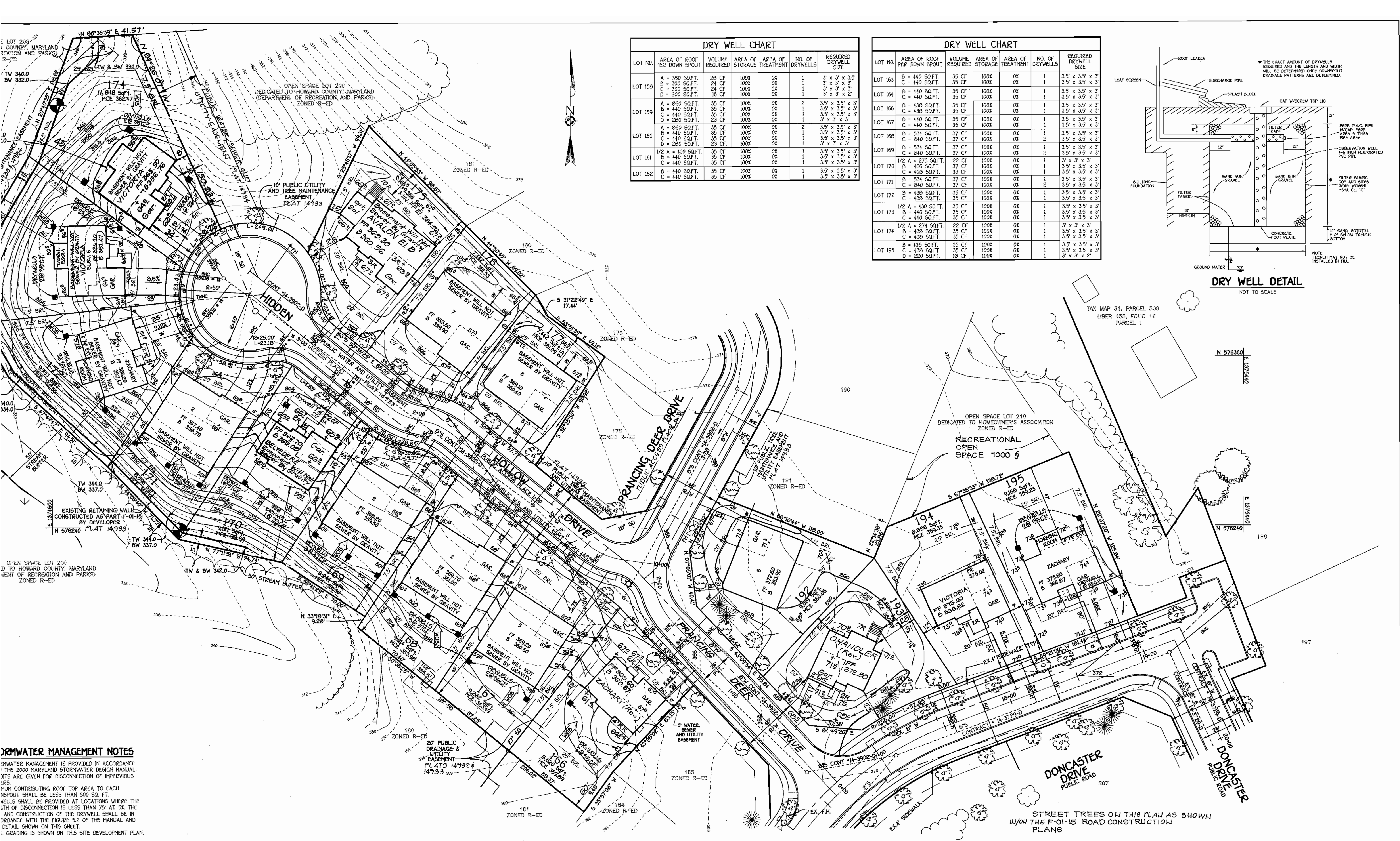
Reviewed for HOWARD SCD and meets Technical Requirements.

*[Signature]*  
 J. M. Major  
 Date: 10/16/01

*[Signature]*  
 J. K. Robinson  
 Date: 10/16/01

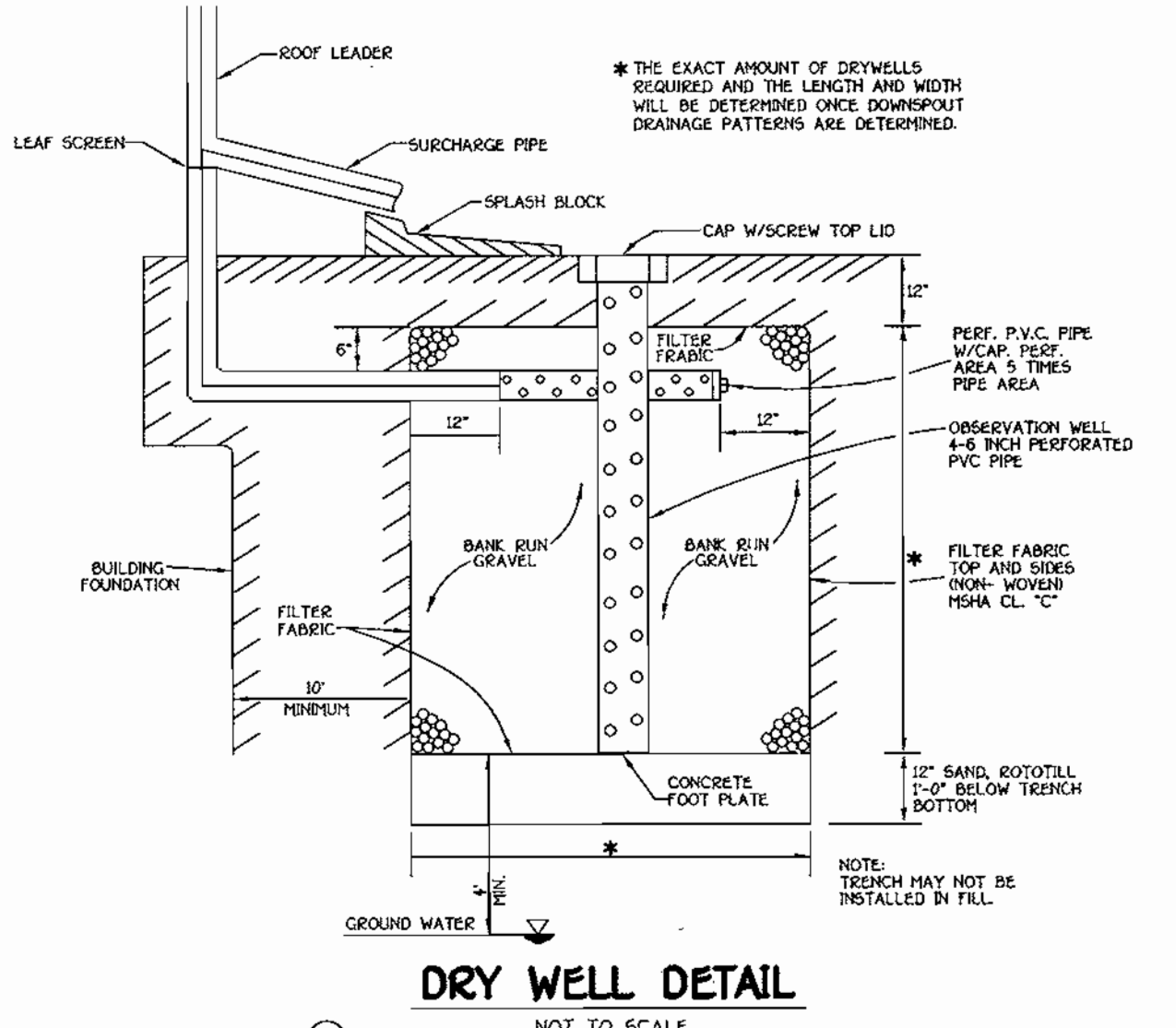
**OWNER/DEVELOPER**  
 BONNIE BRANCH CORPORATION  
 P.O. BOX 396  
 ELLICOTT CITY, MARYLAND 21043

**BUILDER**  
 RYAN HOMES, INC.  
 11460 CROWNDRIVE DRIVE, SUITE 126  
 OWINGS MILLS, MARYLAND 21117



DRY WELL CHART						
LOT NO.	AREA OF ROOF PER DOWN SPOUT	VOLUME REQUIRED	AREA OF STORAGE	AREA OF TREATMENT	NO. OF DRYWELLS	REQUIRED DRYWELL SIZE
LOT 158	A = 350 SQFT.	29 CF	100%	0%	1	3' x 3' x 3.5'
	B = 300 SQFT.	24 CF	100%	0%	1	3' x 3' x 3'
	C = 400 SQFT.	33 CF	100%	0%	1	3' x 3' x 3'
	D = 200 SQFT.	16 CF	100%	0%	1	3' x 3' x 2'
LOT 159	A = 860 SQFT.	35 CF	100%	0%	2	3.5' x 3.5' x 3'
	B = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	C = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	D = 280 SQFT.	23 CF	100%	0%	1	3' x 3' x 3'
LOT 160	A = 860 SQFT.	35 CF	100%	0%	2	3.5' x 3.5' x 3'
	B = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	C = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	D = 280 SQFT.	23 CF	100%	0%	1	3' x 3' x 3'
LOT 161	1/2 A = 430 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	B = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	C = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	D = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
LOT 162	A = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	B = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	C = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	D = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'

DRY WELL CHART						
LOT NO.	AREA OF ROOF PER DOWN SPOUT	VOLUME REQUIRED	AREA OF STORAGE	AREA OF TREATMENT	NO. OF DRYWELLS	REQUIRED DRYWELL SIZE
LOT 163	B = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	C = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	D = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
LOT 164	B = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	C = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	D = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
LOT 166	B = 438 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	C = 438 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	D = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
LOT 167	B = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	C = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	D = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
LOT 168	B = 534 SQFT.	37 CF	100%	0%	1	3.5' x 3.5' x 3'
	C = 840 SQFT.	37 CF	100%	0%	2	3.5' x 3.5' x 3'
	D = 840 SQFT.	37 CF	100%	0%	2	3.5' x 3.5' x 3'
LOT 169	B = 534 SQFT.	37 CF	100%	0%	1	3.5' x 3.5' x 3'
	C = 840 SQFT.	37 CF	100%	0%	2	3.5' x 3.5' x 3'
	D = 840 SQFT.	37 CF	100%	0%	2	3.5' x 3.5' x 3'
LOT 170	1/2 A = 275 SQFT.	22 CF	100%	0%	1	3' x 3' x 3'
	B = 466 SQFT.	37 CF	100%	0%	1	3.5' x 3.5' x 3'
	C = 408 SQFT.	33 CF	100%	0%	1	3.5' x 3.5' x 3'
LOT 171	B = 534 SQFT.	37 CF	100%	0%	1	3.5' x 3.5' x 3'
	C = 840 SQFT.	37 CF	100%	0%	2	3.5' x 3.5' x 3'
	D = 840 SQFT.	37 CF	100%	0%	2	3.5' x 3.5' x 3'
LOT 172	B = 438 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	C = 438 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	D = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
LOT 173	1/2 A = 430 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	B = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	C = 440 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
LOT 174	1/2 A = 274 SQFT.	22 CF	100%	0%	1	3' x 3' x 3'
	B = 438 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	C = 438 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
LOT 195	B = 438 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	C = 438 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	D = 438 SQFT.	35 CF	100%	0%	1	3.5' x 3.5' x 3'
	E = 220 SQFT.	18 CF	100%	0%	1	3' x 3' x 2'



**STORMWATER MANAGEMENT NOTES**

STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER DESIGN HANDBOOK. NOTES ARE GIVEN FOR DISCONNECTION OF IMPERVIOUS SURFACES.

MAXIMUM CONTRIBUTING ROOF TOP AREA TO EACH DOWNSPOUT SHALL BE LESS THAN 500 SQ. FT.

WELLS SHALL BE PROVIDED AT LOCATIONS WHERE THE PERCENTAGE OF DISCONNECTION IS LESS THAN 75% AT 5% SLOPE AND CONSTRUCTION OF THE DRYWELL SHALL BE IN ACCORDANCE WITH THE FIGURE 5.2 OF THE MANUAL AND DETAIL SHOWN ON THIS SHEET.

GRADING IS SHOWN ON THIS SITE DEVELOPMENT PLAN.

**LINS & CARTER, INC.**  
CONSULTANTS & LAND SURVEYORS

3-4-03 Rev. gr. lot 174 to show As-Built Conditions  
9-27-02 Rev. gr. lots 166, 170 & 172 to show As-Built Conditions  
7-25-02 Rev. hse. & gr. lot 175  
5-23-02 Rev. hse. & gr. lot 166  
5-10-02 Rev. hse. & gr. lot 163  
4-20-02 REVISED DRYWELLS TO LOTS 166 THRU 174 & LOT 195  
2-26-02 REV. HSE. & GR. LOT 175 FROM ZACHARY TO VICTORIA  
9-24-01 REV. PER PER COMMENTS OF 9-18-01  
9-24-01 REV. HOUSE LOT 172

**STATE OF MARYLAND**  
DEPARTMENT OF GENERAL SERVICES  
DIVISION OF LAND & WATER

**ENGINEER'S CERTIFICATE**  
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
Signature of Engineer: *Earl D. Collins* Date: *10/10/01*

**DEVELOPER'S CERTIFICATE**  
I/we certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.  
Signature of Developer: *John Lewis* Date: *10/10/01*

**OWNER/DEVELOPER**  
BONNIE BRANCH CORPORATION  
P.O. BOX 396  
ELLICOTT CITY, MARYLAND 21043

**BUILDER**  
RYAN HOMES, INC.  
1160 CROWBRIDGE DRIVE, SUITE 128  
OWINGS MILLS, MARYLAND 21117

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Carole Hamilton* 11/6/01  
Chief, Division of Land Development Date

*John Lewis* 10/16/01  
Chief, Development Engineering Division Date

*Robert Smith* 11/9/01  
Director, Department of Planning and Zoning Date

PROJECT: AUTUMN VIEW SECTION: 4 LOTS NO.: 158-164, 166-177, 192-195, 200 & 202-203

PLAT: 14731-14735 BLOCK NO.: 21, 3 & 4 ZONE: R-ED TAX/ZONE: 25 & 31 ELEC. DIST.: SECOND CENSUS TR.: 6027

WATER CODE: F-05 SEWER CODE: 1252.600

**SITE DEVELOPMENT PLAN**

**AUTUMN VIEW**

**SECTION 4**

**LOTS 158-164, 166-177, 192-195, 200 & 202-203**

TAX MAP No: 25 & 31 P/O PARCEL: 75  
SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
SCALE: 1" = 30' DATE: JUNE, 2001  
SHEET 2 OF 6