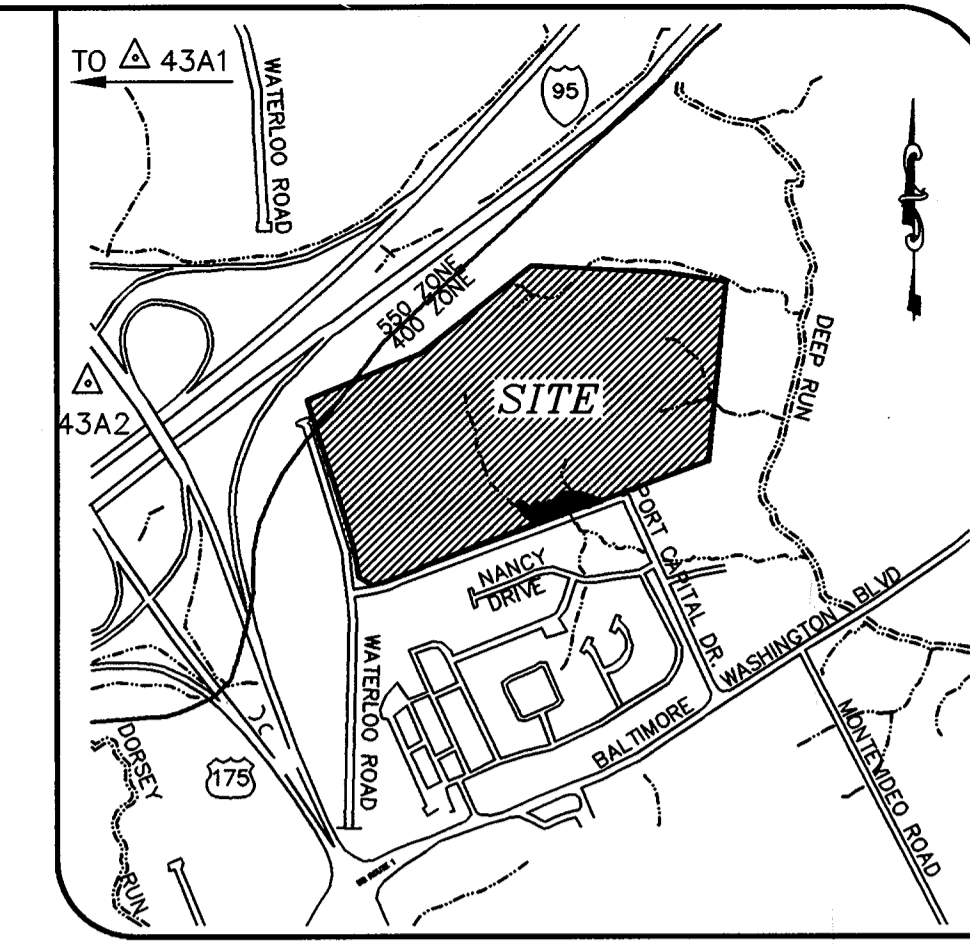


SHEET INDEX

1	TITLE SHEET
2	GRADING, SEDIMENT CONTROL AND SITE PLAN
3	GRADING, SEDIMENT CONTROL AND SITE PLAN
4	SEDIMENT CONTROL NOTES AND DETAILS
5	ROAD PROFILES
6	ROAD PROFILES
7	STORM DRAIN PROFILES
8	DRAINAGE AREA MAP
9	CONSTRUCTION DETAILS
10	LANDSCAPE PLAN
11	LANDSCAPE PLAN
12	TRAFFIC CIRCULATION
13	PARKING LAYOUT

SITE DEVELOPMENT PLAN NEW COLONY VILLAGE PHASE 6 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND



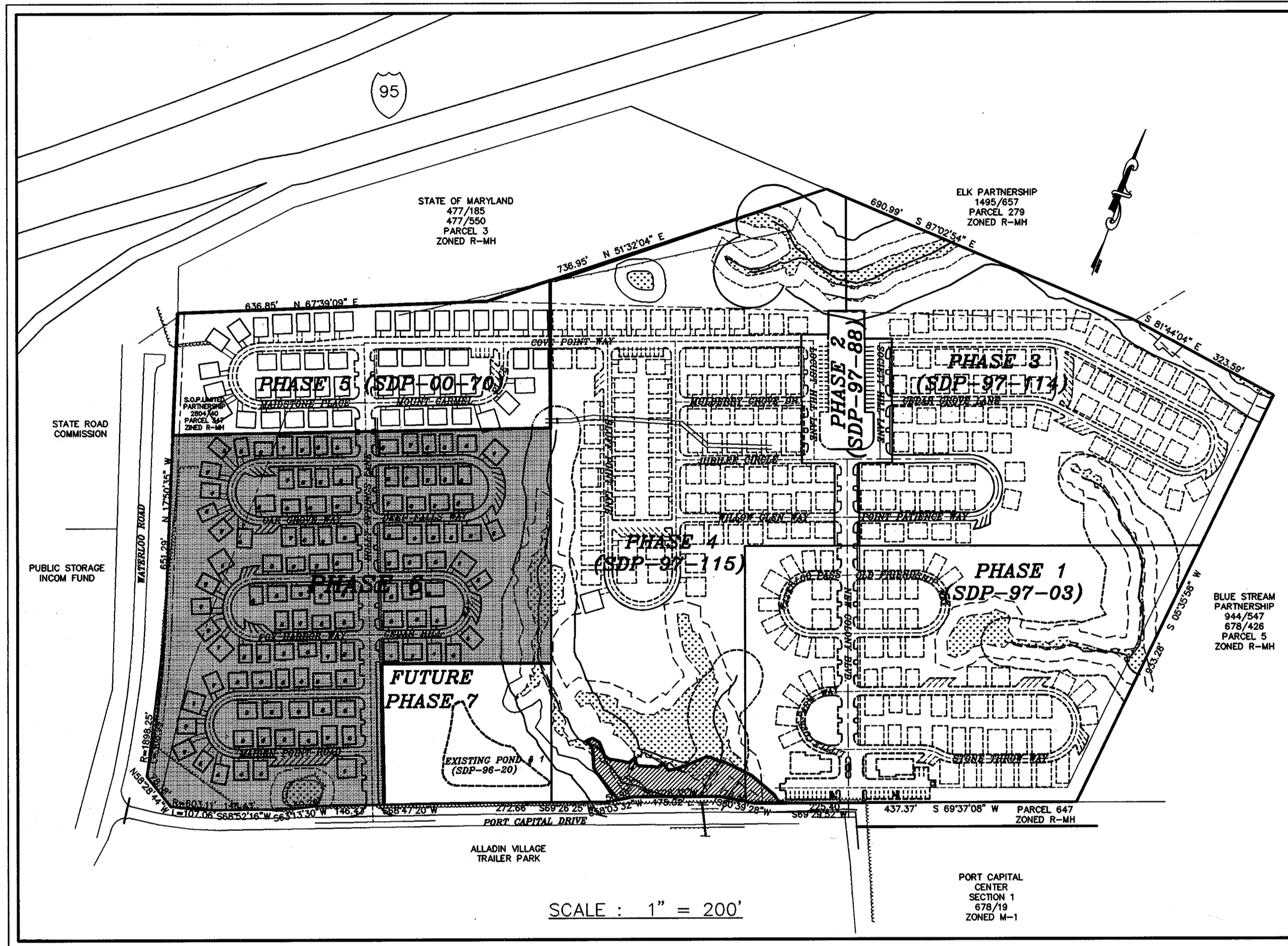
project	94044	date	NOV.2001
illustration	MMP	approval	AS SHOWN
scale	1"=100'	date	6/15/03
description	MAYBE GENERAL NOTE #35 TO INCLUDE REUSE REVISIONS 2/6/15/03 REUSE OPEN SPACE AREAS AND PARKING CALCULATIONS AND GENERAL NOTE 34.		
revisions	no.		

SITE TABULATION

	PHASE 1	PHASE 2	PHASE 3	PHASE 4	PHASE 5	PHASE 6	PHASE 7	ENTIRE SITE
AREA	9.80 Ac.	1.44 Ac.	9.36 Ac.	13.16 Ac.	4.88 Ac.	11.89 Ac.	2.28 Ac.	52.61 Ac.
PROPOSED USE	R-MH	R-MH	R-MH	R-MH	R-MH	R-MH	R-MH	R-MH
AREA OF 100 YEAR FLOODPLAIN	0.05 Ac.	0	0	0	0	0	0	0.05 Ac.
AREA OF 25% OR GREATER SLOPES	0	0	0.04 Ac.	0	0	0	0	0.04 Ac.
NET AREA	9.75 Ac.	1.44 Ac.	9.32 Ac.	12.66 Ac.	4.68 Ac.	11.89 Ac.	2.28 Ac.	52.02 Ac.
NO. OF UNITS ALLOWED	78	11	75	101	38	95	18	416 UNITS
NO. OF UNITS PROPOSED	63	0	81	86	51	111	6	404 UNITS
OPEN SPACE REQUIRED	2.45 Ac.	0	2.3 Ac.	3.29 Ac.	1.17 Ac.	3.97 Ac.	0.57 Ac.	25% GROSS AREA=13.15 Ac.
OPEN SPACE PROVIDED	2.61 Ac.	0	2.83 Ac.	6.52 Ac.	0.39 Ac.	6.02 Ac.	0.57 Ac.	19.56 Ac.
RECREATION OPEN SPACE REQUIRED	0.25 Ac.	0	0.46 Ac.	0.97 Ac.	0.21 Ac.	0.44 Ac.	0.06 Ac.	17% S.F./UNIT=1.67 Ac.
RECREATION OPEN SPACE PROVIDED	0.50 Ac.	0	0.46 Ac.	0.80 Ac.	0.12 Ac.	0.85 Ac.	0.09 Ac.	2.58 Ac.
OPEN SPA. REVISED TO SQUARE & SMALL PARS. PROVIDED	0.49 Ac.	0	0.56 Ac.	0.66 Ac.	0.08 Ac.	0.70 Ac.	0.14 Ac.	20% OPEN SPACE=2.63 Ac.
OPEN SPA. REVISED TO SQUARE & SMALL PARS. PROVIDED	0.50 Ac.	0	0.46 Ac.	0.80 Ac.	0.12 Ac.	0.70 Ac.	0.09 Ac.	2.69 Ac.
RESIDENTIAL PARKING SPACES REQUIRED	126	0	166	180	102	222	12	2 SPA/UNIT = 808
RESIDENTIAL PARKING SPACES PROVIDED	132	0	174	181	107	224	12	849
PARKING SPACES FOR SWIMMING POOL REQUIRED	13							
PARKING SPACES FOR SWIMMING POOL PROVIDED	13							
PARKING SPACES FOR REC. CENTER REQUIRED	29							
PARKING SPACES FOR REC. CENTER PROVIDED	29							

MINIMUM CELLAR ELEVATION

PAD #	MIN. CELLAR EL.	PAD #	MIN. CELLAR EL.	PAD #	MIN. CELLAR EL.
288	269.48	325	264.37	362	277.70
289	271.72	326	260.30	363	274.98
290	273.14	327	260.52	364	276.08
291	275.10	328	259.72	365	271.08
292	277.19	329	260.63	366	268.63
293	279.21	330	262.11	367	266.49
294	281.40	331	264.53	368	263.34
295	281.60	332	266.19	369	261.14
296	281.01	333	269.72	370	262.01
297	281.28	334	271.87	371	264.51
298	281.19	335	273.72	372	266.01
299	280.48	336	276.28	373	267.39
300	275.98	337	280.49	374	269.55
301	274.18	338	280.89	375	271.46
302	271.88	339	281.41	376	273.32
303	270.15	340	281.33	377	275.94
304	267.17	341	279.82	378	277.70
305	265.61	342	278.10	379	279.30
306	262.64	343	276.53	380	279.45
307	261.19	344	274.58	381	280.20
308	260.61	345	272.13	382	279.96
309	260.19	346	267.78	383	278.77
310	260.23	347	267.88	384	276.90
311	259.44	348	265.15	385	275.49
312	260.53	349	263.31	386	273.49
313	262.21	350	261.31	387	264.30
314	263.63	351	260.69	388	267.39
315	265.74	352	260.52	389	268.88
316	268.85	353	260.39	390	271.58
317	272.02	354	261.26	391	274.88
318	273.13	355	261.99	392	277.09
319	275.08	356	264.12	393	275.08
320	278.07	357	266.39	394	272.65
321	275.62	358	269.72	395	270.83
322	273.02	359	271.13	396	268.35
323	270.37	360	273.35	397	265.90
324	267.41	361	275.71	398	263.85



ADDRESS CHART

PAD #	ADDRESS	PAD #	ADDRESS	PAD #	ADDRESS
288	7365 OAK GROVE WAY	325	7344 DEEP FALLS WAY	362	7244 FOX HARBOR WAY
289	7361 OAK GROVE WAY	326	7340 DEEP FALLS WAY	363	7212 FOX HARBOR WAY
290	7357 OAK GROVE WAY	327	7336 DEEP FALLS WAY	364	7208 FOX HARBOR WAY
291	7353 OAK GROVE WAY	328	7316 DEEP FALLS WAY	365	7204 FOX HARBOR WAY
292	7349 OAK GROVE WAY	329	7312 DEEP FALLS WAY	366	7200 FOX HARBOR WAY
293	7345 OAK GROVE WAY	330	7308 DEEP FALLS WAY	367	7236 CEDAR HILL WAY
294	7341 OAK GROVE WAY	331	7304 DEEP FALLS WAY	368	7232 CEDAR HILL WAY
295	7337 OAK GROVE WAY	332	7300 DEEP FALLS WAY	369	7228 CEDAR HILL WAY
296	7333 OAK GROVE WAY	333	7296 FOX HARBOR WAY	370	7208 CEDAR HILL WAY
297	7329 OAK GROVE WAY	334	7292 FOX HARBOR WAY	371	7204 CEDAR HILL WAY
298	7325 OAK GROVE WAY	335	7288 FOX HARBOR WAY	372	7200 CEDAR HILL WAY
299	7321 OAK GROVE WAY	336	7284 FOX HARBOR WAY	373	7167 MAIDEN POINT PLACE
300	7317 OAK GROVE WAY	337	7280 FOX HARBOR WAY	374	7163 MAIDEN POINT PLACE
301	7313 OAK GROVE WAY	338	7276 FOX HARBOR WAY	375	7159 MAIDEN POINT PLACE
302	7309 OAK GROVE WAY	339	7272 FOX HARBOR WAY	376	7155 MAIDEN POINT PLACE
303	7305 OAK GROVE WAY	340	7268 FOX HARBOR WAY	377	7151 MAIDEN POINT PLACE
304	7301 OAK GROVE WAY	341	7264 FOX HARBOR WAY	378	7147 MAIDEN POINT PLACE
305	7297 OAK GROVE WAY	342	7260 FOX HARBOR WAY	379	7143 MAIDEN POINT PLACE
306	7293 OAK GROVE WAY	343	7256 FOX HARBOR WAY	380	7139 MAIDEN POINT PLACE
307	7289 OAK GROVE WAY	344	7252 FOX HARBOR WAY	381	7135 MAIDEN POINT PLACE
308	7285 OAK GROVE WAY	345	7248 FOX HARBOR WAY	382	7131 MAIDEN POINT PLACE
309	7281 OAK GROVE WAY	346	7244 FOX HARBOR WAY	383	7127 MAIDEN POINT PLACE
310	7277 OAK GROVE WAY	347	7240 FOX HARBOR WAY	384	7123 MAIDEN POINT PLACE
311	7273 OAK GROVE WAY	348	7236 FOX HARBOR WAY	385	7119 MAIDEN POINT PLACE
312	7269 OAK GROVE WAY	349	7232 FOX HARBOR WAY	386	7115 MAIDEN POINT PLACE
313	7265 OAK GROVE WAY	350	7228 FOX HARBOR WAY	387	7111 MAIDEN POINT PLACE
314	7261 OAK GROVE WAY	351	7224 FOX HARBOR WAY	388	7107 MAIDEN POINT PLACE
315	7257 OAK GROVE WAY	352	7220 FOX HARBOR WAY	389	7103 MAIDEN POINT PLACE
316	7253 OAK GROVE WAY	353	7216 FOX HARBOR WAY	390	7100 MAIDEN POINT PLACE
317	7249 OAK GROVE WAY	354	7212 FOX HARBOR WAY	391	7102 MAIDEN POINT PLACE
318	7245 OAK GROVE WAY	355	7208 FOX HARBOR WAY	392	7104 MAIDEN POINT PLACE
319	7241 OAK GROVE WAY	356	7204 FOX HARBOR WAY	393	7106 MAIDEN POINT PLACE
320	7237 OAK GROVE WAY	357	7200 FOX HARBOR WAY	394	7110 MAIDEN POINT PLACE
321	7233 OAK GROVE WAY	358	7196 FOX HARBOR WAY	395	7112 MAIDEN POINT PLACE
322	7229 OAK GROVE WAY	359	7192 FOX HARBOR WAY	396	7114 MAIDEN POINT PLACE
323	7225 OAK GROVE WAY	360	7188 FOX HARBOR WAY	397	7116 MAIDEN POINT PLACE
324	7221 OAK GROVE WAY	361	7184 FOX HARBOR WAY	398	7118 MAIDEN POINT PLACE

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) DAYS PRIOR TO THE START OF WORK.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BOUNDARY AND TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD RUN & MONUMENTED SURVEY ON OR ABOUT MARCH 1995 BY MILDENBERG, BOENDER & ASSOCIATES, INC., AND ON APPROVED SDP-96-20.
- HORIZONTAL AND VERTICAL DATUMS ARE RELATED TO THE MARYLAND STATE PLANE COORDINATE SYSTEM AS PROJECTED FROM HOWARD COUNTY CONTROL STATIONS NO. 43A1 AND 43A2.
STATION 43A2: NORTHING 550784.342654, EASTING 1372040.182420, ELEVATION 292.55
STATION 43A1: NORTHING 552081.810532, EASTING 1370625.809590, ELEVATION 306.79
- WATER AND SEWER TO BE PUBLIC. CONNECTION TO CONTRACT NO. 14-3900-D. SEE PUBLIC WATER & SEWER PLANS.
- FLOODPLAIN STUDY PREPARED BY MILDENBERG, BOENDER & ASSOCIATES, INC. ON JUNE 1995. APPROVED UNDER SDP 96-20.
- WETLAND DELINEATION PERFORMED BY HILLIS-CARNES ASSOCIATES, INC. ON AUGUST 1996. APPROVED BY US ARMY CORPS OF ENGINEERS. REF. NO. 1996-01042-3.
- TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP, INC. ON JUNE 15, 1995. APPROVED UNDER S-94-39.
- STORMWATER MANAGEMENT PROVIDED BY RETENTION POND UNDER SDP-96-20. SWM FACILITY WILL BE PRIVATELY OWNED AND MAINTAINED.
- EXISTING UTILITIES SHOWN HEREON ARE BASED ON HOWARD COUNTY AS-BUILT.
- DPZ REFERENCE NUMBERS:
S-94-39 APPROVED ON JULY 22, 1994.
WP-96-32, WAIVER TO SECTION 16.116(d), WHICH PERTAINS TO GRADING WITHIN WETLANDS AND STREAM BUFFERS, HAS BEEN SATISFIED VIA OFF-SITE REFORESTATION ON ROSEBAR PROPERTY, PRESERVATION PARCEL A, UNDER NEW COLONY VILLAGE, PHASE 4. THE REMAINING 13.78 ACRES OF REFORESTATION REQUIRED HAS BEEN DIVIDED BETWEEN THE REMAINING PHASES OF THE PROJECT, ONE-THIRD OR 4.593 ACRES OF REFORESTATION WAS REQUIRED AS PART OF EACH PHASE. THIS REQUIREMENT HAS BEEN SATISFIED VIA PAYMENT OF A FEE-IN-LIEU OF REFORESTATION OF \$60,021.33 FOR PHASE 5 (SDP-00-70), PAYMENT OF FEE-IN-LIEU OF REFORESTATION OF \$100,035.54 FOR PHASE 6 (SDP-01-121), AND \$100,035.54 FOR PHASE 7 UNDER THIS PLAN TO THE HOWARD COUNTY FOREST CONSERVATION FUND.
- ON SITE FOREST CONSERVATION EASEMENT 6.52 AC.(RETENTION) HAS BEEN PLANTED UNDER NEW COLONY VILLAGE, PHASE 4 (SDP-97-115). A THIRD OF THE 20.67 ACRES OF REFORESTATION REQUIRED (6.89 ACRES) HAS BEEN SATISFIED VIA OFF-SITE REFORESTATION ON ROSEBAR PROPERTY, PRESERVATION PARCEL A, UNDER NEW COLONY VILLAGE, PHASE 4. THE REMAINING 13.78 ACRES OF REFORESTATION REQUIRED HAS BEEN DIVIDED BETWEEN THE REMAINING PHASES OF THE PROJECT, ONE-THIRD OR 4.593 ACRES OF REFORESTATION WAS REQUIRED AS PART OF EACH PHASE. THIS REQUIREMENT HAS BEEN SATISFIED VIA PAYMENT OF A FEE-IN-LIEU OF REFORESTATION OF \$60,021.33 FOR PHASE 5 (SDP-00-70), PAYMENT OF FEE-IN-LIEU OF REFORESTATION OF \$100,035.54 FOR PHASE 6 (SDP-01-121), AND \$100,035.54 FOR PHASE 7 UNDER THIS PLAN TO THE HOWARD COUNTY FOREST CONSERVATION FUND.
- PLAT OF FOREST CONSERVATION (FOR ON-SITE RETENTION) AND PUBLIC 100 YEAR FLOODPLAIN & UTILITY EASEMENT FOR NEW COLONY VILLAGE WAS RECORDED AS PLAT #14327-14328 (F-00-168). THE OFF-SITE REFORESTATION HAS BEEN RECORDED AS REVISION PLAT FOR ROSEBAR PROPERTY, PRESERVATION PARCEL A, UNDER PLAT # 14344-14345 (F-01-11).
- SEDIMENT CONTROL APPROVED UNDER SDP-96-20
- ZONING AND SETBACK CRITERIA BASED ON R-MH WITH TRADITIONAL RESIDENTIAL NEIGHBORHOOD DESIGN. AS PER SECTION 128.0 OF ZONING REGULATION. EXISTING CONTOURS SHOWN ARE BASED ON THE APPROVED SDP-96-20. FOR MASS GRADING, STORMWATER MANAGEMENT AND FOREST CONSERVATION EASEMENT.
- NO DISTURBANCE CLEARING OR GRADING IS PERMITTED IN WETLAND, WETLAND & STREAM BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT EXCEPT AS APPROVED BY WP-96-32.
- THE ENTIRE DEVELOPMENT EXCLUDING THE UNITS WILL BE OWNED BY ONE (1) ENTITY. THE OPERATION AND MAINTENANCE OF THE COMMON FEATURES/ELEMENTS WILL BE BY THE SAME ENTITY.
- WATER AND SEWER SERVICE TO THESE UNITS WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122B OF THE HOWARD COUNTY CODE. PUBLIC WATER AND PUBLIC SEWER ALLOCATION WILL BE GRANTED AT THE TIME OF THE ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME.
- PLANS FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEM HAVE BEEN APPROVED BY THE DEPARTMENT OF THE ENVIRONMENT AND THESE FACILITIES WILL BE AVAILABLE TO ALL UNITS OFFERED FOR SALE.
- HOWARD COUNTY STANDARD R-3.01-MODIFIED COMBINATION CURB AND GUTTER WILL BE USED, UNLESS OTHERWISE NOTED.
- NOISE STUDY PREPARED BY WILDMAN ENVIRONMENTAL SERVICES DATED JANUARY 1997. NOISE BARRIER CONSISTS OF EARTH BERM AND/OR AN 10.0'± HIGH WALL. PROVIDED UNDER PHASES 3-6.
- STRUCTURAL DESIGN OF NOISE WALL PROVIDED BY HILLS CARNES ASSOCIATES, INC DATED JUNE 23, 1997.
- ALL SHC ARE 4" DIAMETER, TSHC ARE 6" DIAMETER, ALL WHC ARE 3/4" DIAMETER, TWHC ARE 1" DIAMETER UNLESS OTHERWISE NOTED.
- NO FLOODPLAIN EXISTS ON SITE.
- STORMDRAINS WILL BE PRIVATELY OWNED AND MAINTAINED.
- PROVIDE 150 WATT HPS VAPOR PENDANT FIXTURE ON A 30 FOOT POLE WITH A 12 FOOT ARM AT HOLLY SPRINGS LANE, STA. 0+20 O/S 20' RIGHT.
- UNDER THE FIRST REDLINE OF THIS SITE DEVELOPMENT PLAN, TWENTY MOBILE HOME PADS HAVE BEEN REMOVED AND REPLACED WITH TWENTY SINGLE FAMILY ATTACHED UNITS AS ALLOWED UNDER SECTION 113-B.3 OF THE ZONING REGULATIONS. DEVELOPMENT OF THESE UNITS IS SUBJECT TO SECTION 113-B.3 OF THE ZONING REGULATIONS. DEVELOPMENT OF THESE UNITS IS PROPOSED ON-SITE WILL BE CALCULATED AS PART OF ANY FUTURE SITE DEVELOPMENT PLANS FOR THE PROPERTY IN ACCORDANCE WITH SECTION 112. R-A-15 ZONING REQUIREMENTS, AS STATED IN SECTION 113.D.

project	94044	date	NOV.2001
illustration	MMP	approval	AS SHOWN
scale	1"=100'	date	6/15/03
description	MAYBE GENERAL NOTE #35 TO INCLUDE REUSE REVISIONS 2/6/15/03 REUSE OPEN SPACE AREAS AND PARKING CALCULATIONS AND GENERAL NOTE 34.		
revisions	no.		

TAX MAP 43, PARCEL 347, 670 AND 4
NEW COLONY VILLAGE - PHASE 6
 1ST ELECTION DISTRICT UNITS: 288-298 HOWARD COUNTY, MARYLAND
TITLE SHEET

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsy Hall Drive, Suite 202, Ellicott City, Maryland, 21042
 (410) 987-0296 Bldg. (301) 621-5521 Wash. (410) 987-0298 Fax.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Jim Murray 2/14/02
John Klobutsky 2/14/02
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
David Cassman 2/26/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Condy Harvath 2/26/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Joseph T. Hunt 2/26/02
 DIRECTOR DATE

DEVELOPERS CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Wm. L. Leary 1/15/02
 SIGNATURE OF DEVELOPER DATE
 Wm. L. Leary
 PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE

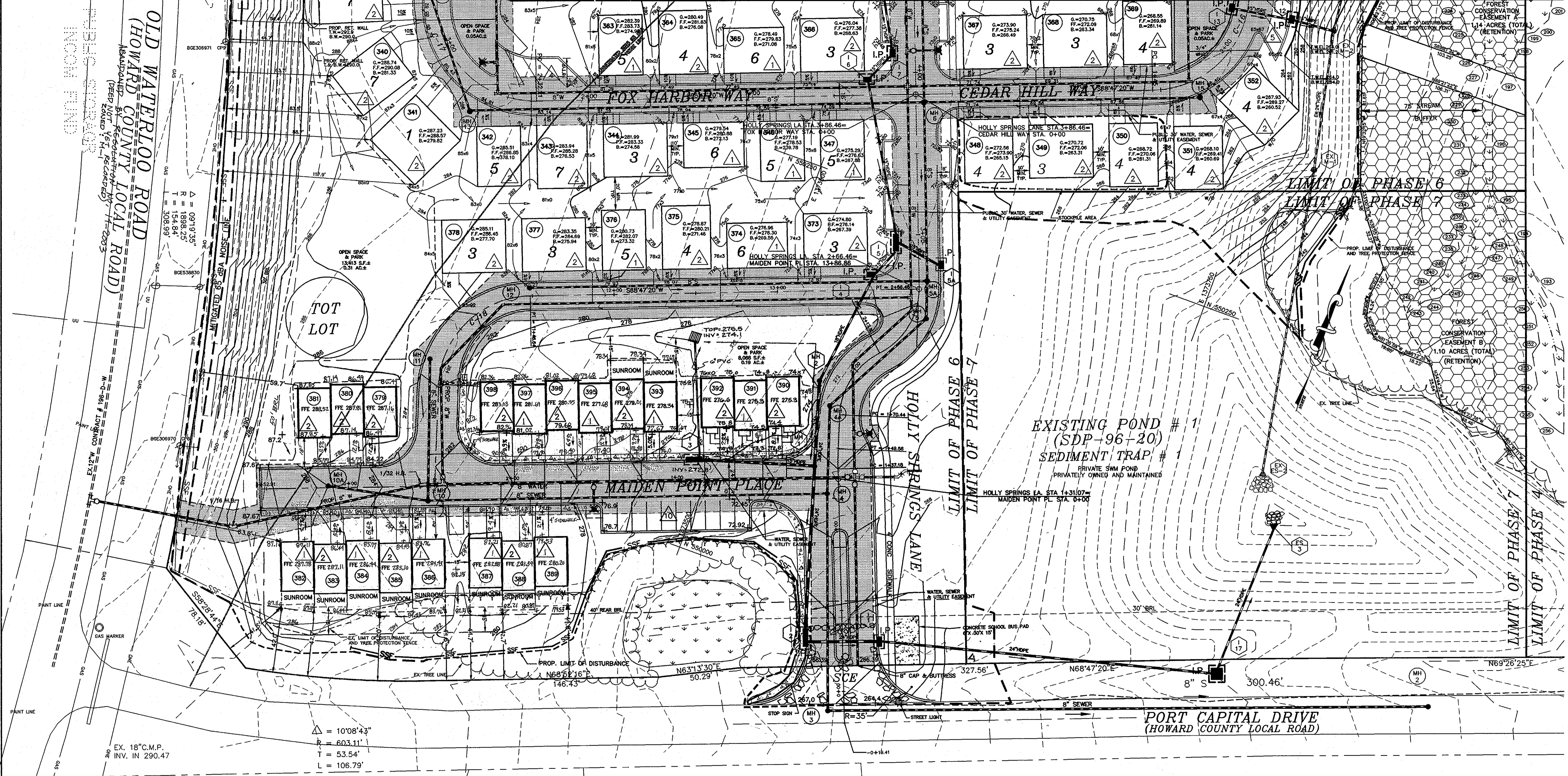
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

R. Raza HIKMAT 1/14/02
 SIGNATURE OF ENGINEER DATE
 R. Raza HIKMAT
 PRINTED NAME OF ENGINEER

THIS SHEET IS A REPLACEMENT SHEET FOR SHEET 2 OF 13, GRADING, SEDIMENT CONTROL, AND SITE PLAN, MODIFIED THROUGH THE REDLINE PROCESS.

* THE PURPOSE OF THIS REPLACEMENT SHEET IS TO ELIMINATE 20 HOUSE PADS & REPLACE WITH 20 TOWNHOME UNITS AND REVISE ASSOCIATED GRADING, DRIVEWAYS & ROADS, UNIT NUMBERS, AND TOT LOT & OPEN SPACE.

MATCH LINE SHEET - 3



date	NOV 2001	approval	RH
project	94044	illustration	MMP
revision	1	description	REVISED SITE DEVELOPMENT PLAN

revision	1	description	REVISED SITE DEVELOPMENT PLAN
revision	2	description	REVISED SITE DEVELOPMENT PLAN
revision	3	description	REVISED SITE DEVELOPMENT PLAN

TAX MAP 43, PARCEL 347, 670 AND 4
NEW COLONY VILLAGE - PHASE 6
 1ST. ELECTION DISTRICT UNITS: 288-388 HOWARD COUNTY, MARYLAND
 REVISED SITE DEVELOPMENT PLAN

MILDENBERG, & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Beloit City, Maryland 21042
 (410) 997-0286 Balt. (301) 621-5521 Wash. (410) 997-0288 For.

DEVELOPER'S CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: *[Signature]* DATE: 1/15/03
 PRINTED NAME OF DEVELOPER: **MARK L. LEVY**

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Signature: *[Signature]* DATE: 1/17/03
 UDA - NATURAL RESOURCE CONSERVATION SERVICE

Signature: *[Signature]* DATE: 1/17/03
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: *[Signature]* DATE: 1/22/03
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

Signature: *[Signature]* DATE: 1/24/03
 CHIEF, DIVISION OF LAND DEVELOPMENT

Signature: *[Signature]* DATE: 1/25/03
 DIRECTOR (Acting)

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: *[Signature]* DATE: 1/15/03
 PRINTED NAME OF ENGINEER: **R. JACOB HIKMAT**

CURVE DATA

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C-16	60.00'	188.50'	<infinite>	120.00'	S21°24'0"E	180°00'00"
C-17	60.00'	188.50'	<infinite>	120.00'	S21°12'40"E	180°00'00"
C-18	60.00'	188.50'	<infinite>	120.00'	N21°12'40"W	180°00'00"

LEGEND

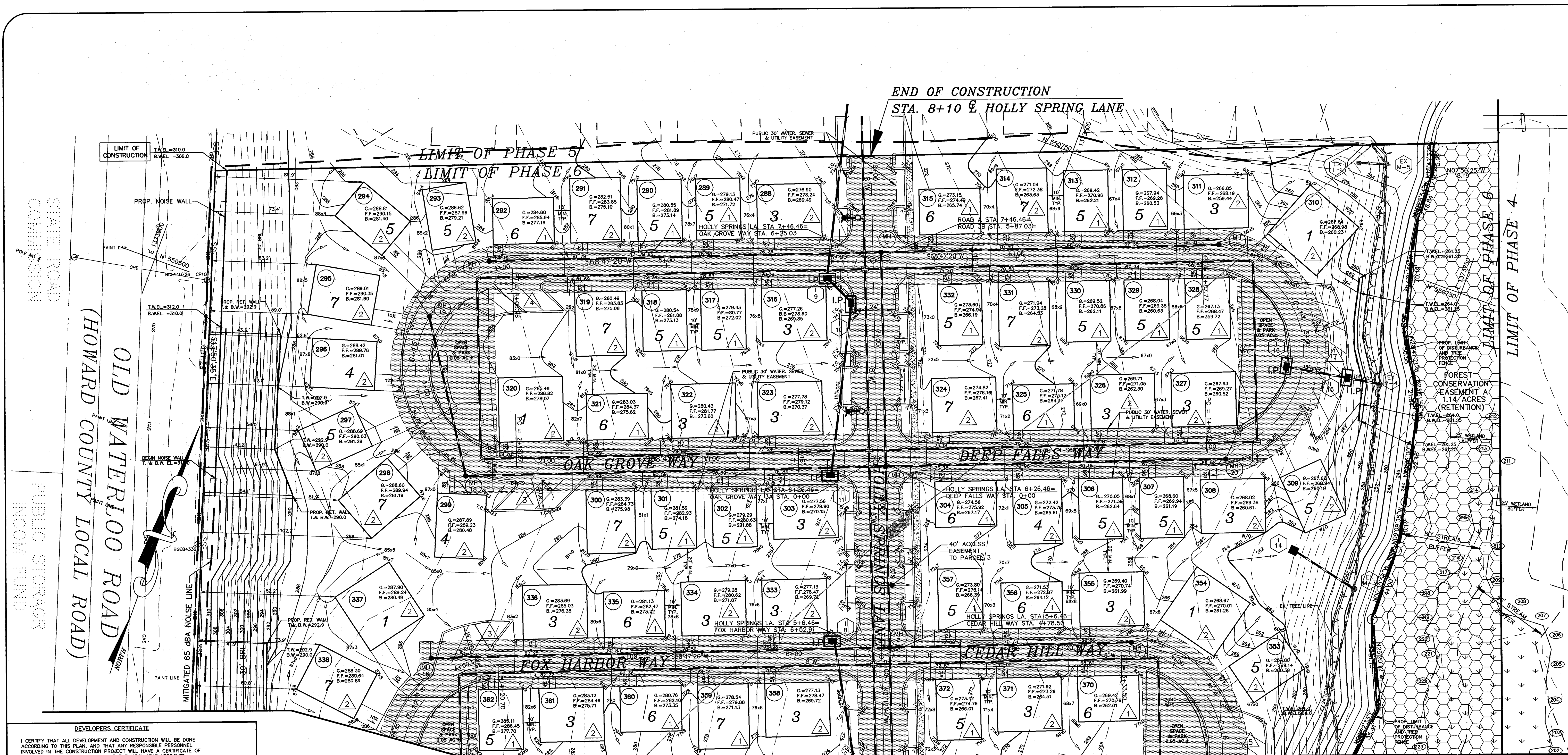
- 2 GENERIC BOX NUMBER
- 39 UNIT NUMBER
- 3 NO OF PARKING SPACES
- WETLANDS
- NEW LIMIT OF DISTURBANCE
- PRIOR LIMIT OF DISTURBANCE
- SSF--- PREVIOUSLY INSTALLED SUPER SILT FENCE
- SSF--- SUPER SUPER SILT FENCE
- [I.P.] INLET PROTECTION

NOTE: EXISTING EROSION AND SEDIMENT CONTROL MEASURES APPROVED UNDER SDP-96-20 ARE TO BE UTILIZED FOR THIS PROJECT.

NOTE: ALL STREETS WILL BE PRIVATELY OWNED AND MAINTAINED.

OWNER/DEVELOPER
 RTE 175 LLC
 C/O ROCK REALTY, INC.
 25 MAIN STREET
 REISTERTOWN, MARYLAND 21136
 (410) 526-4030

END OF CONSTRUCTION
 STA. 8+10 @ HOLLY SPRING LANE



MATCH LINE SHEET - 2

DEVELOPERS CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature of Developer: *[Signature]* DATE: 1/16/02
 Printed Name of Developer: Mike L. Beny

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature of Engineer: *[Signature]* DATE: 1/11/02
 Printed Name of Engineer: R. JACOBS HIKMAT

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY NATURAL RESOURCE CONSERVATION SERVICE AND MEETS TECHNICAL REQUIREMENTS.
 Signature: *[Signature]* DATE: 2/14/02
 USF - NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY NATURAL RESOURCE CONSERVATION SERVICE.
 Signature: *[Signature]* DATE: 2/14/02
 HOWARD COUNTY NATURAL RESOURCE CONSERVATION SERVICE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Signature: *[Signature]* DATE: 2/2/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MPP3

Signature: *[Signature]* DATE: 2/26/02
 CHIEF, DIVISION OF LAND DEVELOPMENT

Signature: *[Signature]* DATE: 2/26/02
 DIRECTOR

CURVE DATA

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C-14	60.00'	188.50'	<infinite>	120.00'	S21°12'40"E	180°00'00"
C-15	60.00'	188.50'	<infinite>	120.00'	N21°12'40"W	180°00'00"
C-16	60.00'	188.50'	<infinite>	120.00'	S21°12'40"E	180°00'00"
C-17	60.00'	188.50'	<infinite>	120.00'	S21°12'40"E	180°00'00"

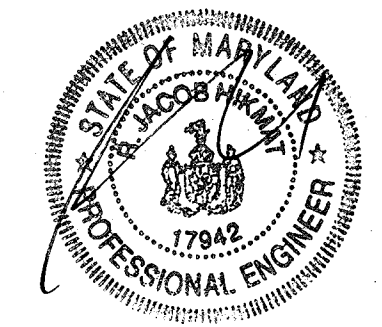
WETLANDS TABULATION CHART

LINE	DIRECTION	DISTANCE	LINE	DIRECTION	DISTANCE
194	N43°36'21"W	29.46'	227	S02°31'42"E	14.48'
195	N49°21'08"W	18.32'	228	S26°35'03"W	7.64'
196	N42°29'34"W	56.31'	229	S13°15'55"W	5.53'
197	N08°29'53"E	29.16'	230	S21°55'51"E	11.54'
198	N00°21'12"E	15.33'	231	S38°10'43"E	17.67'
199	N57°43'58"E	6.56'	232	S12°28'46"E	20.68'
200	N42°43'29"W	24.07'	233	S45°24'27"E	10.35'
201	N11°43'43"W	56.93'	234	N52°20'01"E	7.90'
202	N19°03'36"W	34.24'	235	S44°26'12"E	19.46'
203	N80°18'36"E	5.37'	236	S86°13'14"E	12.91'
204	N42°43'29"W	24.07'	237	S28°42'29"E	11.50'
205	S32°27'46"W	15.07'	238	S26°24'03"W	9.33'
206	S33°08'09"E	15.58'	239	S03°49'03"E	9.61'
207	S00°53'38"W	25.85'	240	S27°13'12"W	10.18'
208	S33°51'24"W	16.27'	241	S42°44'55"W	9.84'
209	S15°41'24"E	16.11'	242	S07°02'31"W	14.23'
210	S10°35'02"W	14.76'	243	N35°40'58"E	13.24'
211	N84°58'04"E	5.35'	244	N5°27'05"E	9.29'
212	S28°43'32"E	17.05'	245	N28°42'29"E	19.92'
213	S00°10'41"E	25.46'	246	N39°32'10"E	15.36'
214	S25°27'30"E	30.69'	247	N01°54'46"W	14.25'
215	S50°29'42"E	13.71'	248	S48°51'17"W	
216	S45°34'52"E	20.73'	249	S40°43'20"E	
217	S46°28'36"E	15.34'	250	S48°37'19"E	

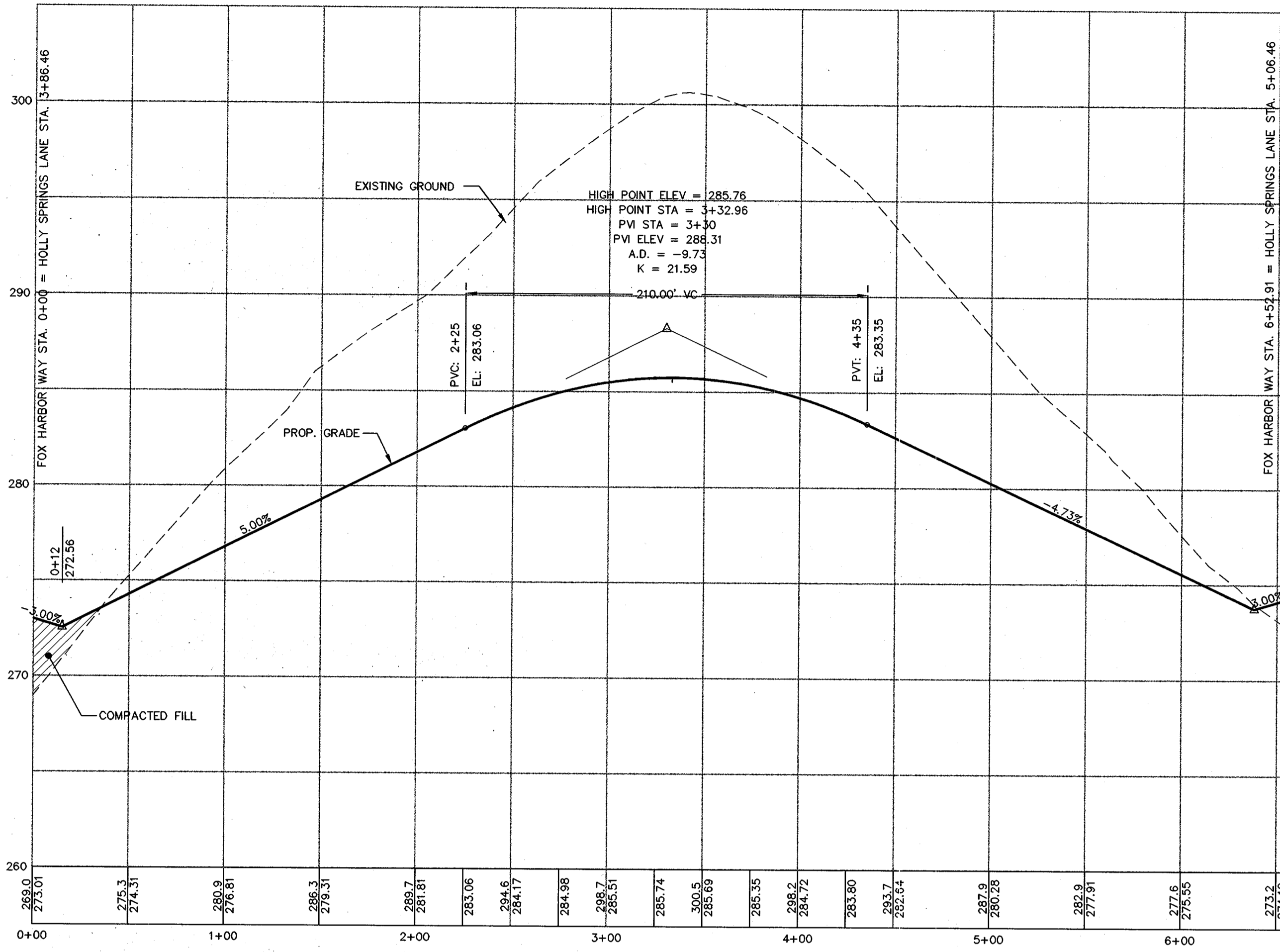
NOTE: EXISTING EROSION AND SEDIMENT CONTROL MEASURES APPROVED UNDER SDP-96-20 ARE TO BE UTILIZED FOR THIS PROJECT.

- LEGEND**
- 2 GENERIC BOX NUMBER
 - 39 UNIT NUMBER
 - 3 NO OF PARKING SPACES
 - WETLANDS
 - NEW LIMIT OF DISTURBANCE
 - PRIOR LIMIT OF DISTURBANCE
 - SSF PREVIOUSLY INSTALLED SUPER SILT FENCE
 - SSF SUPER SUPER SILT FENCE
 - I.P. INLET PROTECTION

OWNER/DEVELOPER
 RTE 175 LLC
 C/O ROCK REALTY, INC.
 25 MAIN STREET
 REISTERTOWN, MARYLAND 21136
 (410) 526-4030

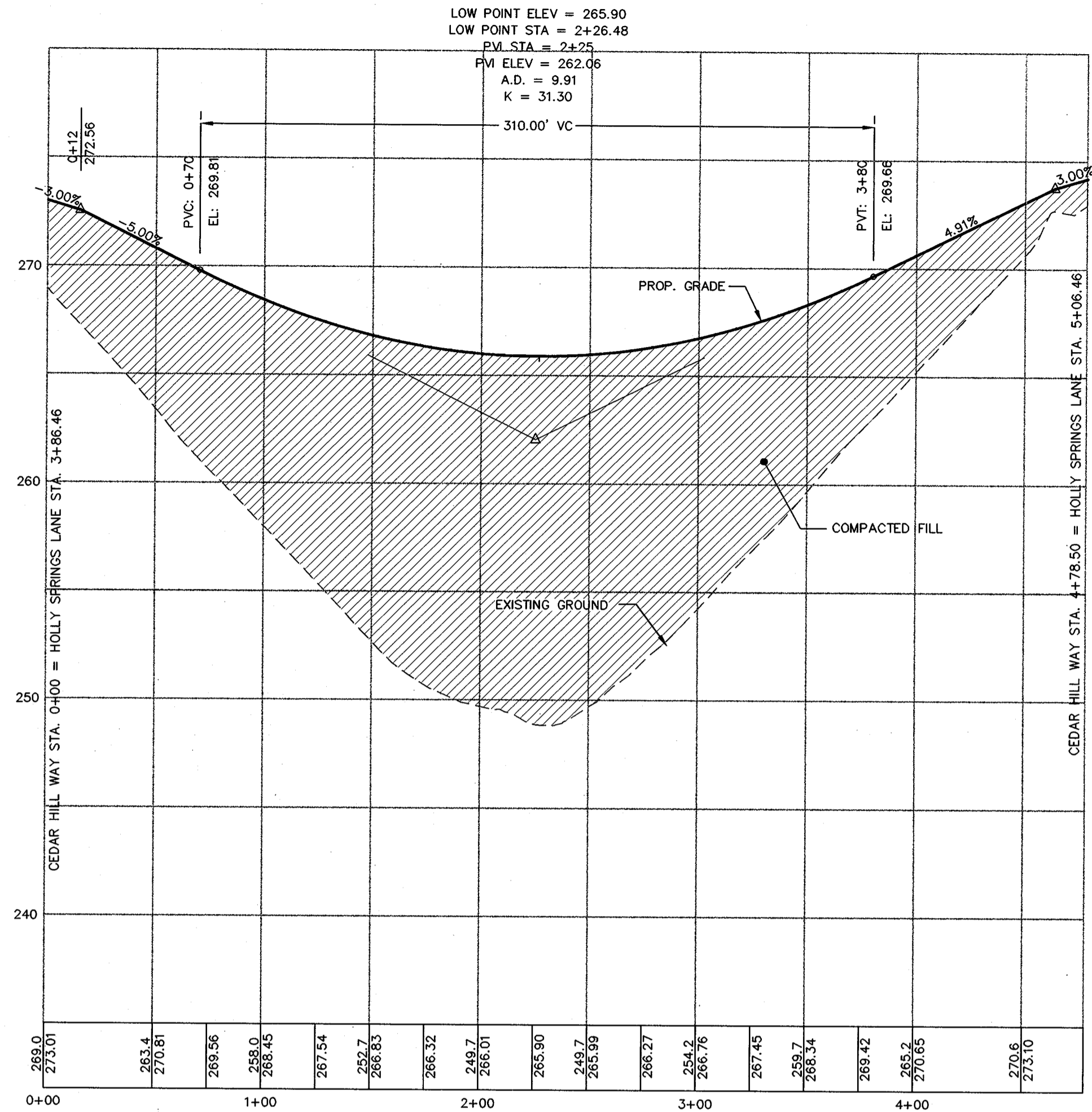


94044 DWG PHASE 6 NEW-SDP/NEW-SDP-6B



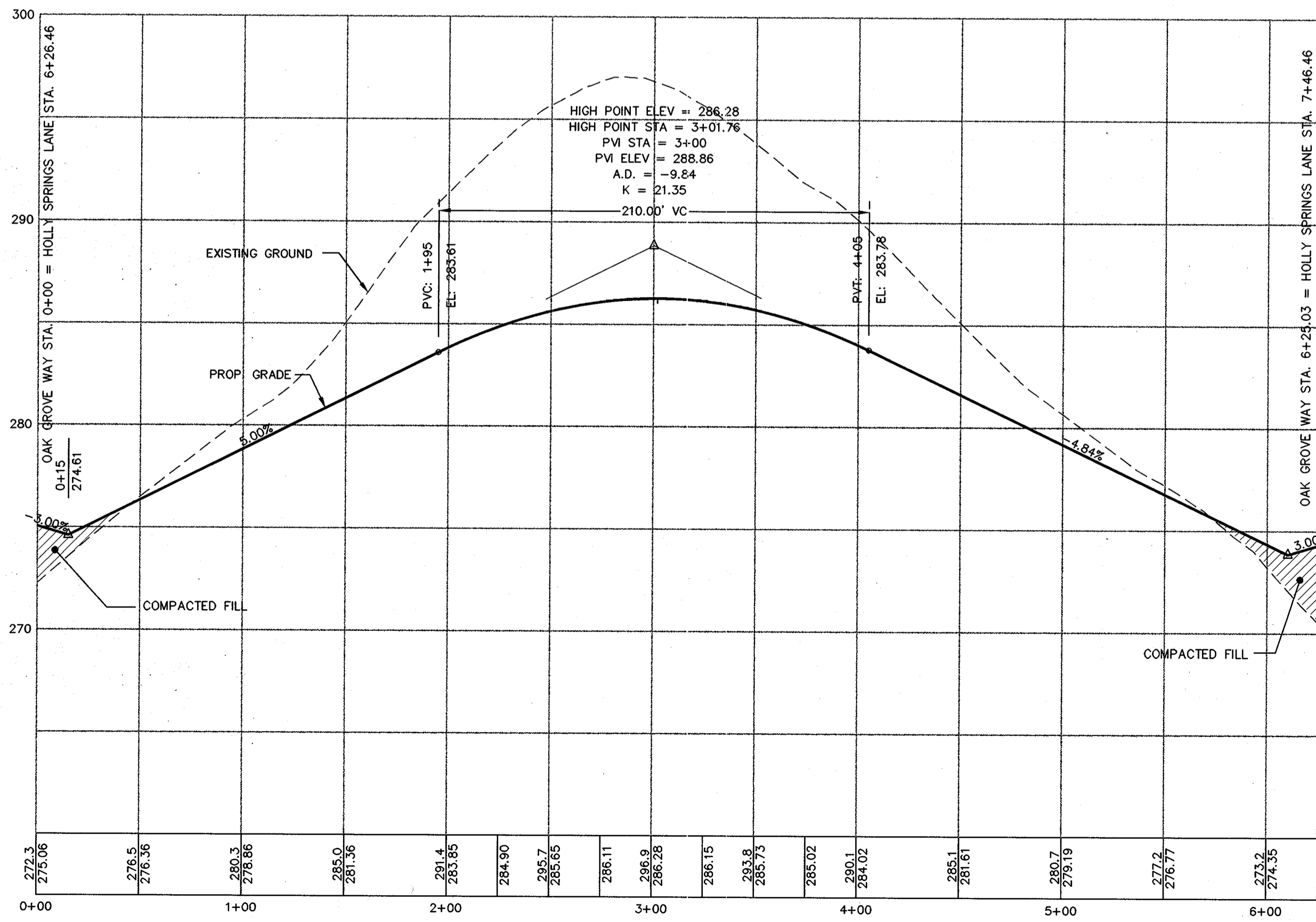
FOX HARBOR WAY PROFILE

SCALE: HOR. 1"=50'
VER. 1"=5'



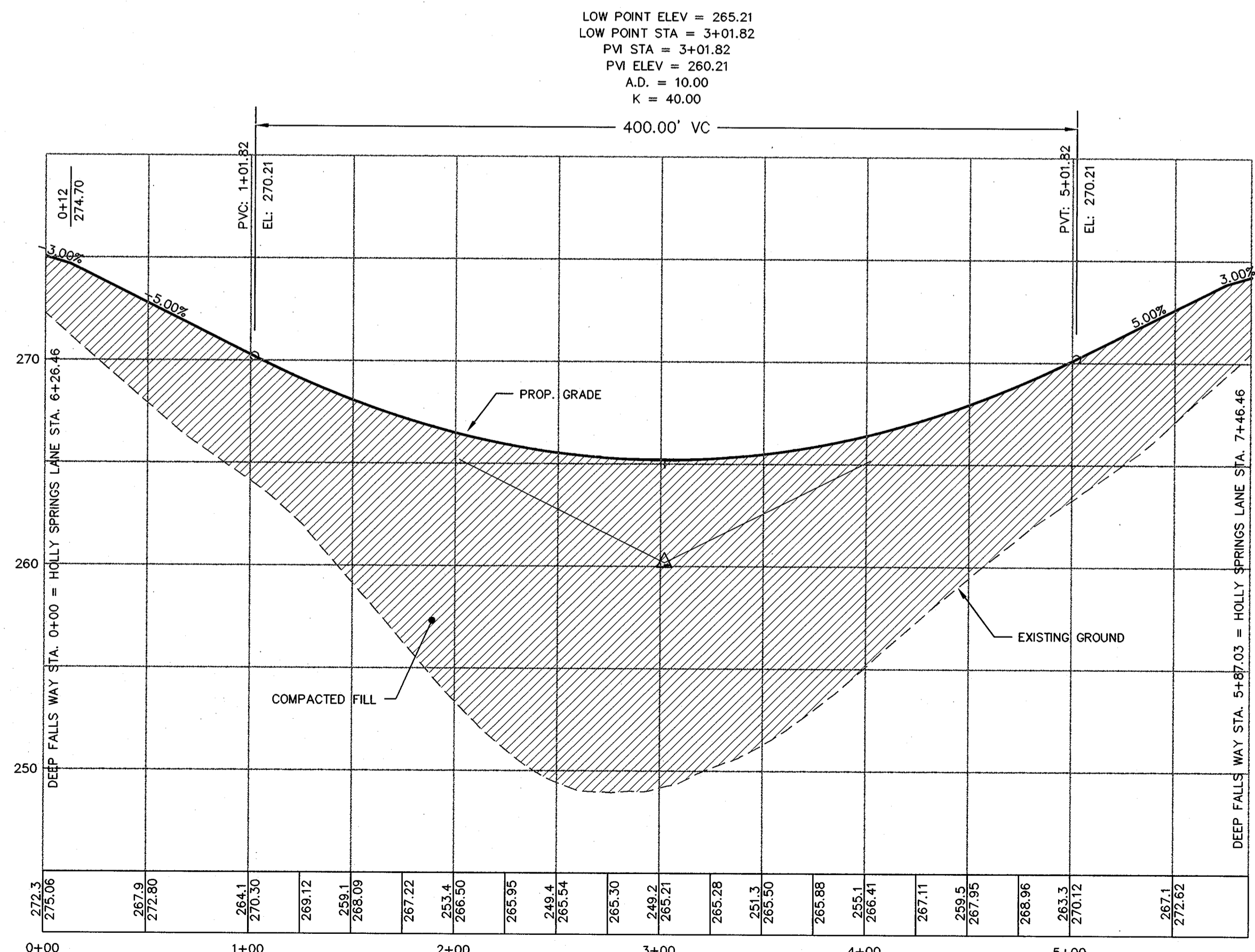
CEDAR HILL WAY PROFILE

SCALE: HOR. 1"=50'
VER. 1"=5'



OAK GROVE WAY PROFILE

SCALE: HOR. 1"=50'
VER. 1"=5'



DEEP FALLS WAY PROFILE

SCALE: HOR. 1"=50'
VER. 1"=5'

NOTE
EXISTING GROUND REPRESENTS ORIGINAL PREDEVELOPED CONDITIONS IN ORDER TO ACCURATELY REPRESENT CUT & FILL AREAS

OWNER/DEVELOPER
RTE 175 LLC
C/O ROCK REALTY, INC.
25 MAIN STREET
REISTERTOWN, MARYLAND 21136
(410) 526-4030

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/26/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 2/26/02
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 2/26/02
DIRECTOR DATE

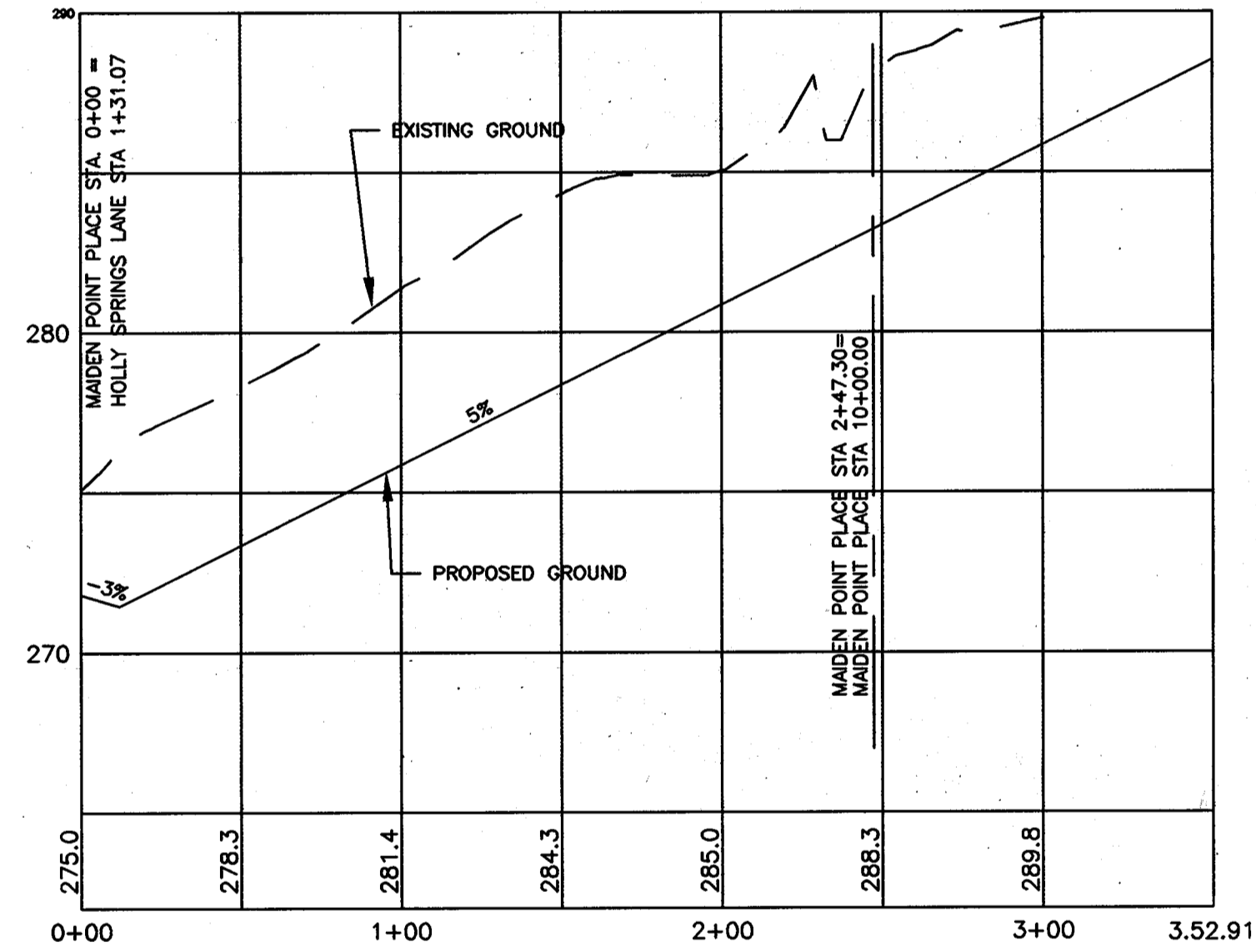
Project	94044	date	JUNE 01
Illustration	MMP	engineering	MMP
scale	1"=50'	approval	RJH
VER.	1-5		

no.	description	date
	revisions	

TAX MAP 43, PARCELS 347, 670 AND 4
NEW COLONY VILLAGE - PHASE 6
1ST. ELECTION DISTRICT UNITS: 288-398 HOWARD COUNTY, MARYLAND
ROAD PROFILES

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
(410) 997-0296 Ball. (301) 621-5521 Wash. (410) 997-0298 Fax.

94044.DWG (PHASE 5) VIEW - SDP VIEW - PROF - 6



MAIDEN POINT PLACE PROFILE
STA. 0+00 THRU 3+52.91

SCALE: HOR. 1"=50'
VER. 1"=5'



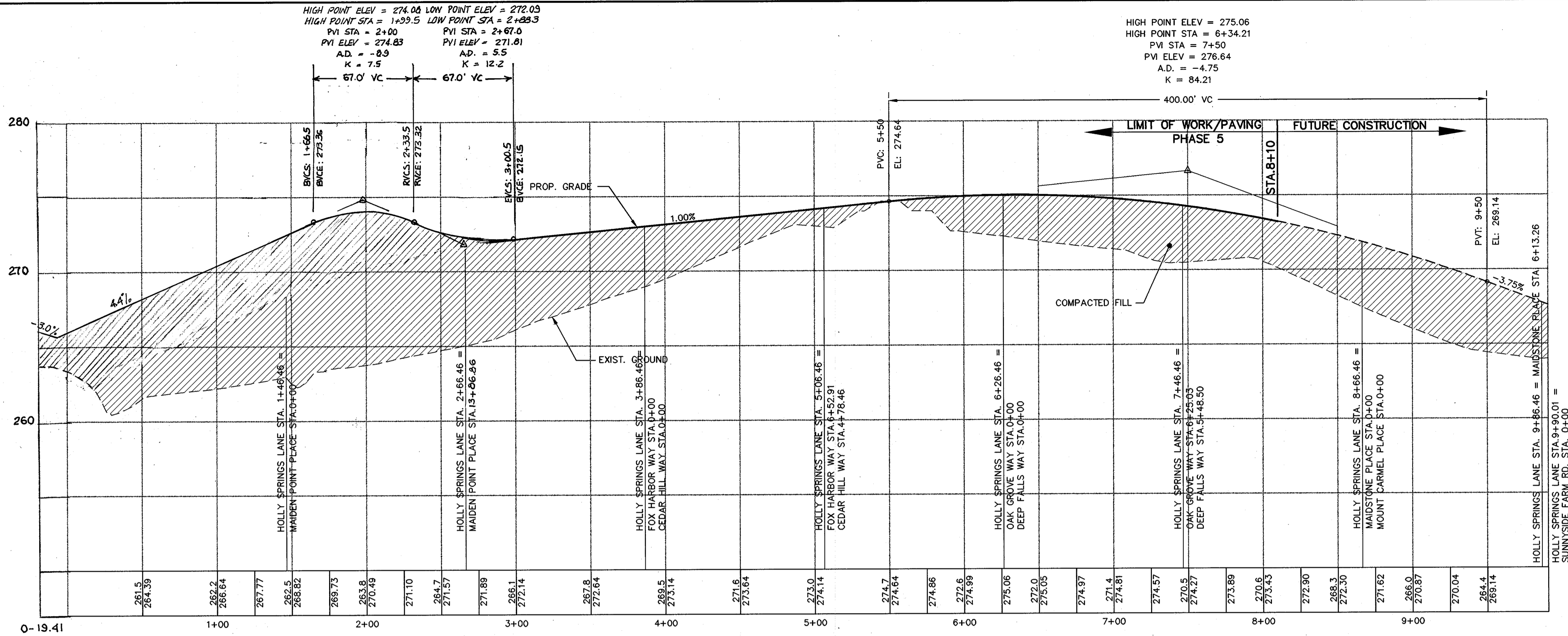
NOTE
EXISTING GROUND REPRESENTS ORIGINAL PREDEVELOPED CONDITIONS IN ORDER TO ACCURATELY REPRESENT CUT & FILL AREAS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/20/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION M&J DATE

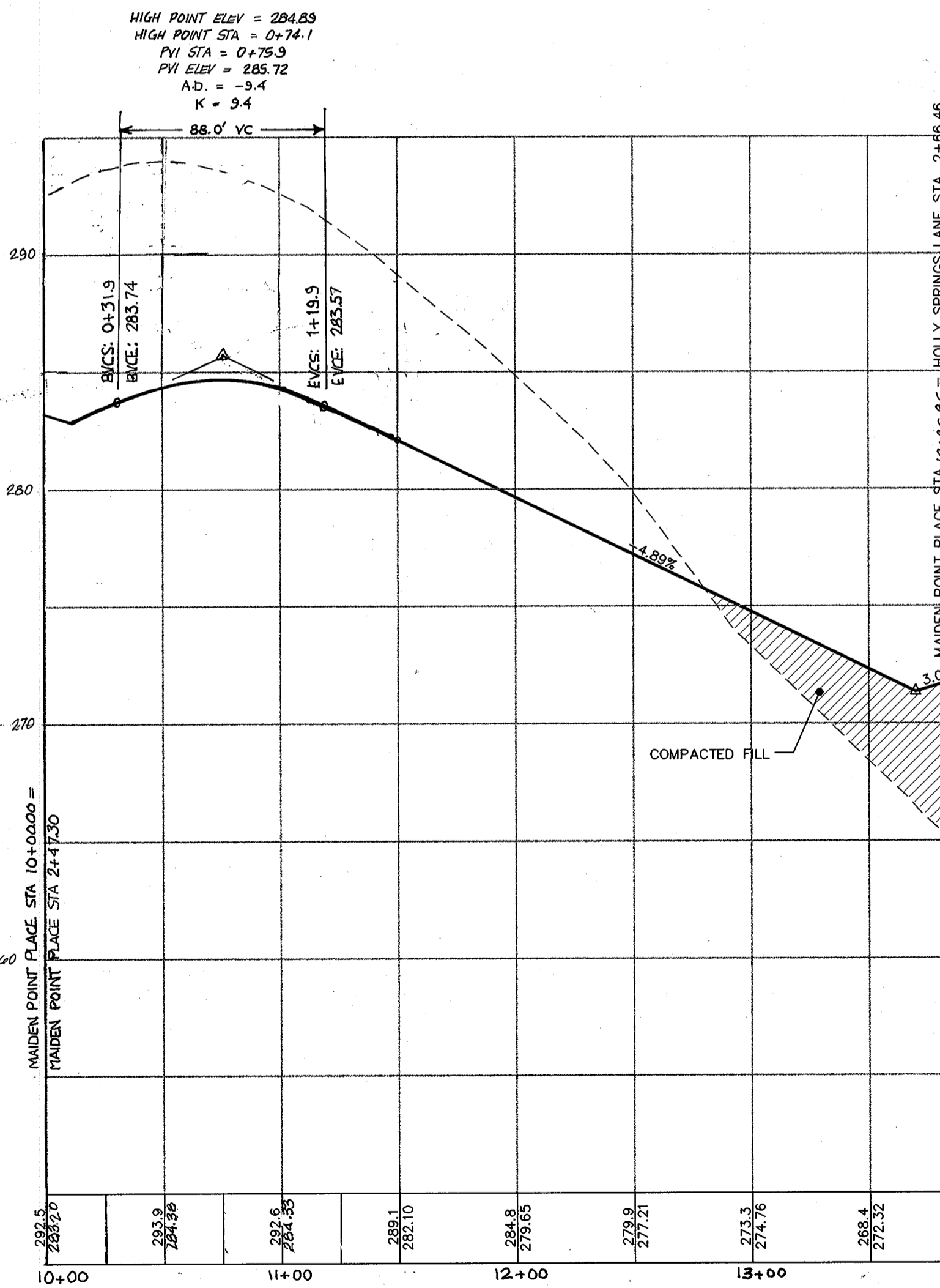
[Signature] 2/26/12
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 2/26/02
DIRECTOR DATE



HOLLY SPRINGS LANE PROFILE

SCALE: HOR. 1"=50'
VER. 1"=5'



MAIDEN POINT PLACE PROFILE STA. 10+00 THRU STA 13+86.86

SCALE: HOR. 1"=50'
VER. 1"=5'

OWNER/DEVELOPER
RTE 175 LLC
C/O ROCK REALTY, INC.
25 MAIN STREET
REISTERTOWN, MARYLAND 21136
(410) 526-4030

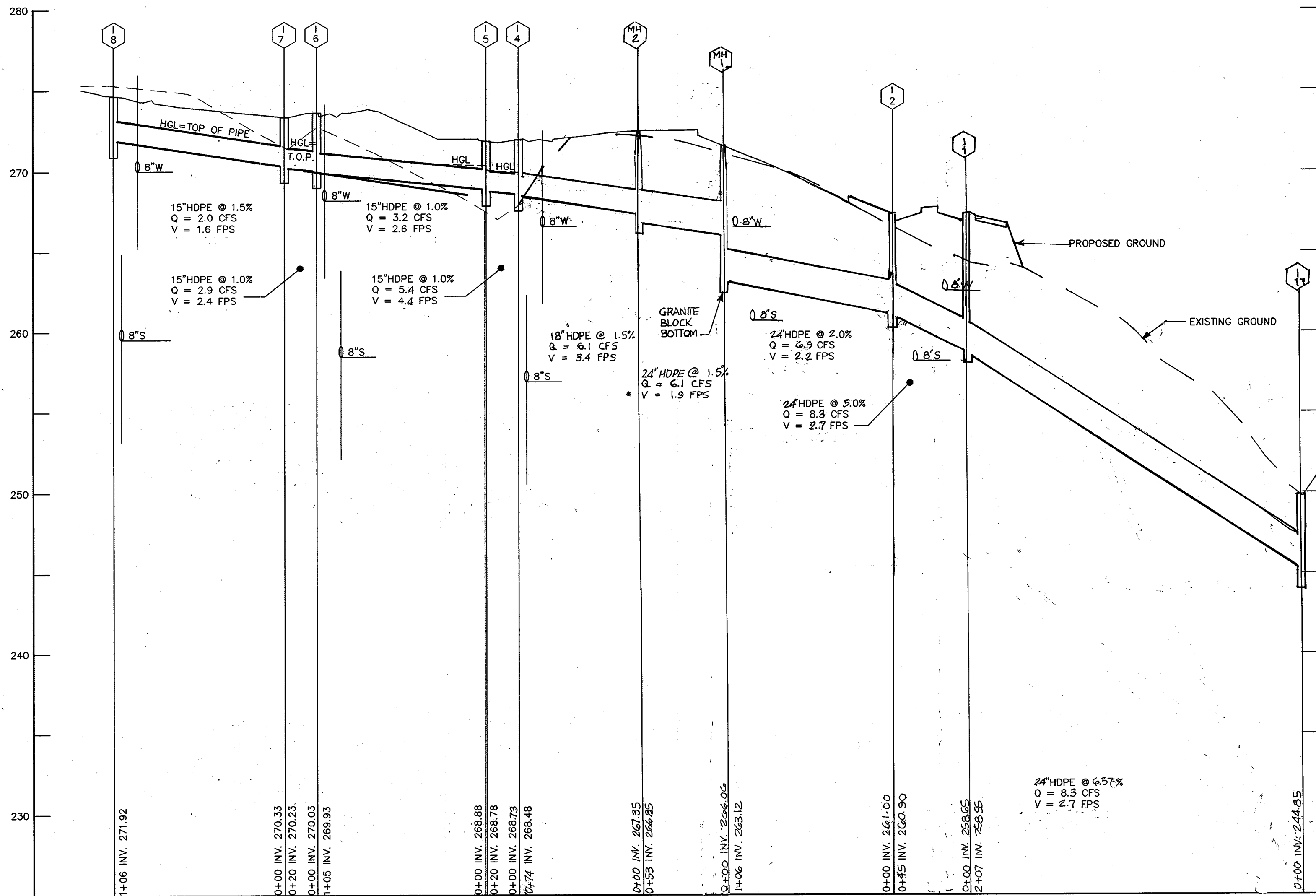
MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland, 21042
(410) 997-0206 Balt. (301) 621-5521 Wash. (410) 997-0298 Fax

TAX MAP 43, PARCELS 347, 670 AND 4
NEW COLONY VILLAGE - PHASE 6
1ST. ELECTION DISTRICT UNITS: 288-398 HOWARD COUNTY, MARYLAND

ROAD PROFILES

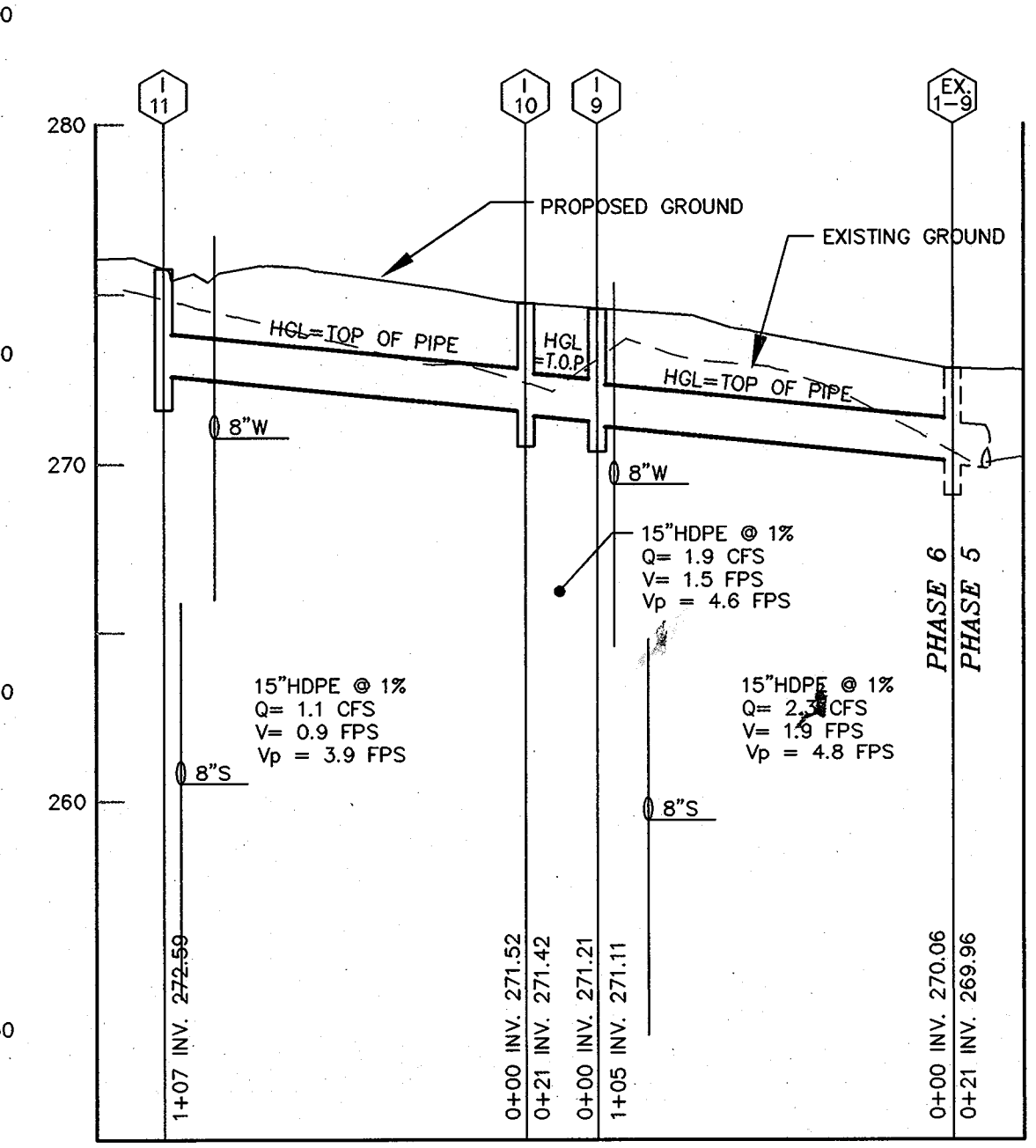
Project	date
94044	JUNE 01
Illustration	engineering
M&P	M&P
scale	approval
HOR: 1"=50'	
VER: 1"=5'	R/H

REVISION	description	date
1	REMOVE PROFILES FOR HOLLY SPRINGS LANE AND MAIDEN POINT PLACE	9/22/03



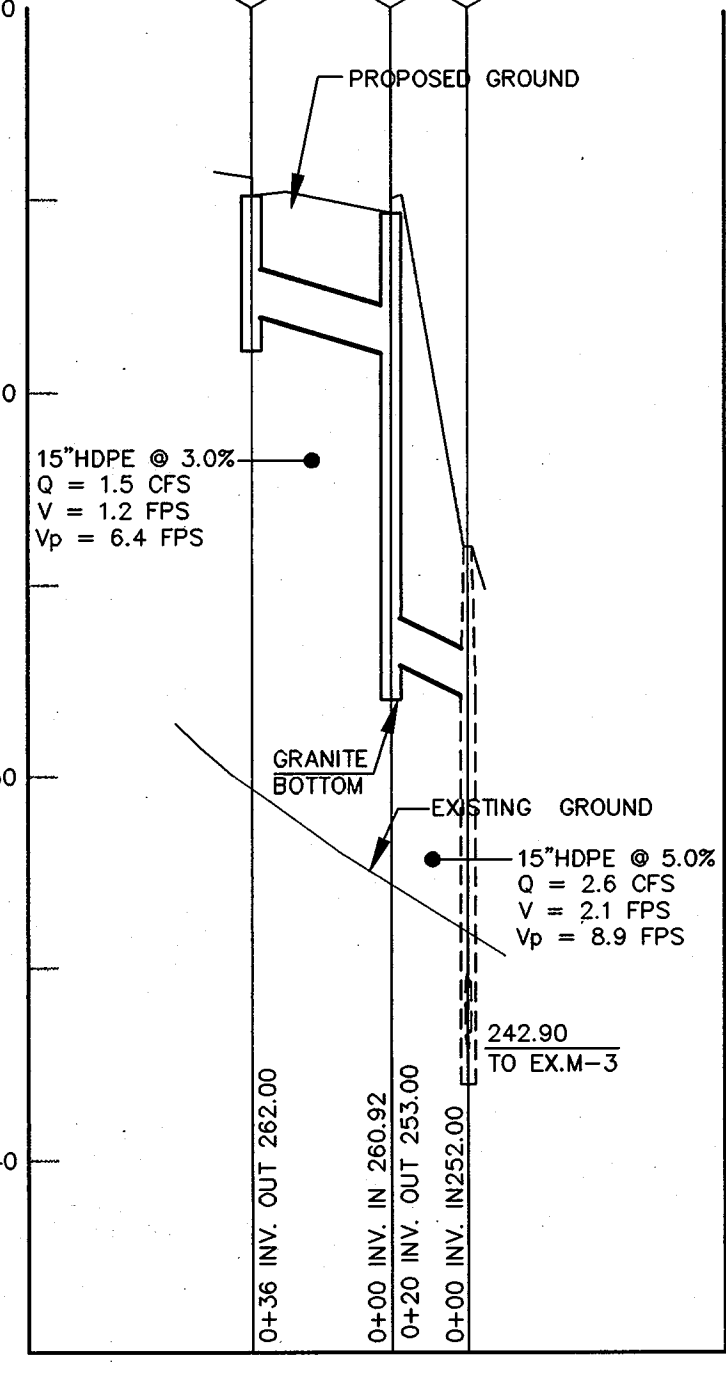
STORM DRAIN PROFILE

SCALE: HOR. 1"=50'
VER. 1"=5'



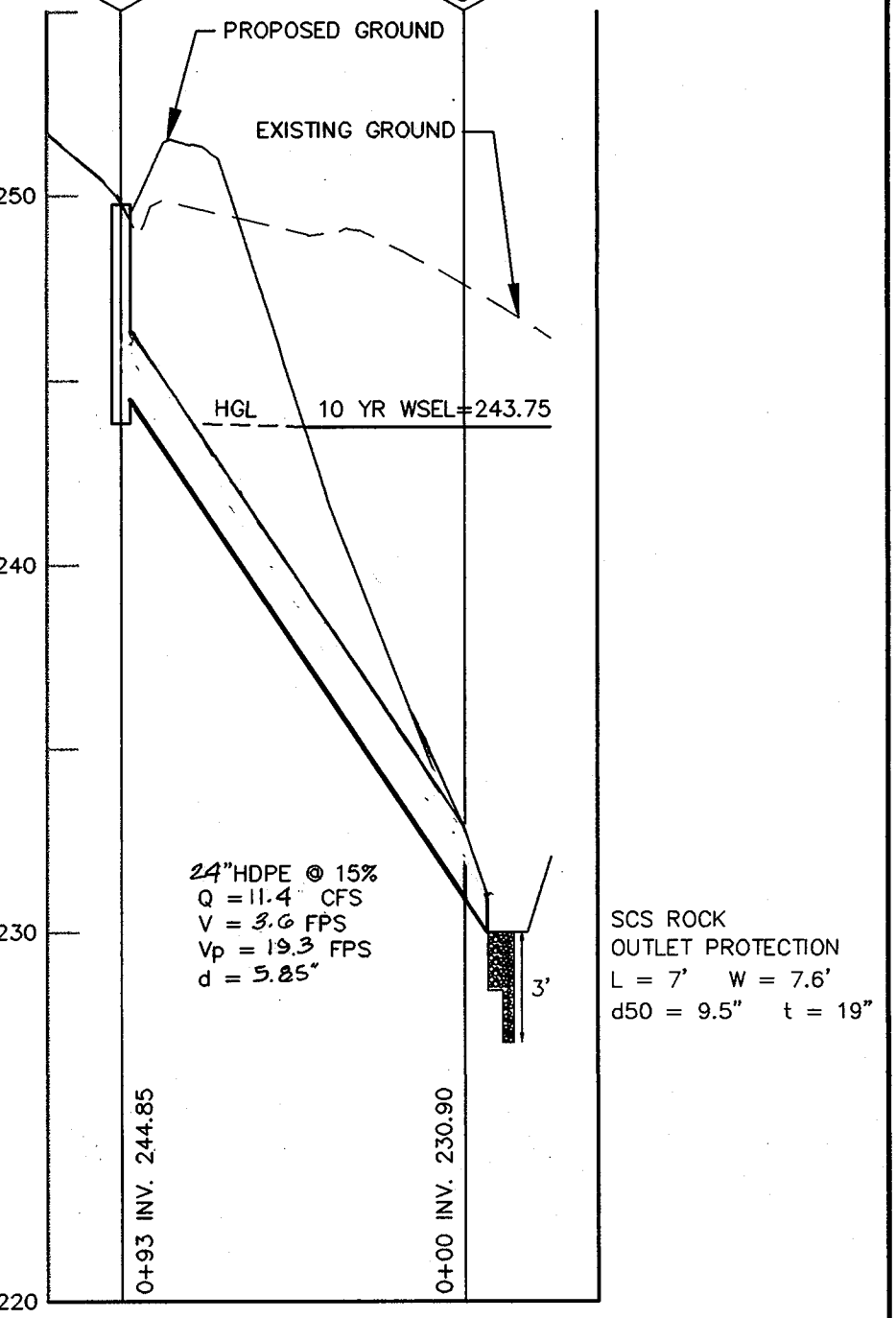
STORM DRAIN PROFILE

SCALE: HOR. 1"=50'
VER. 1"=5'



STORM DRAIN PROFILE

SCALE: HOR. 1"=50'
VER. 1"=5'

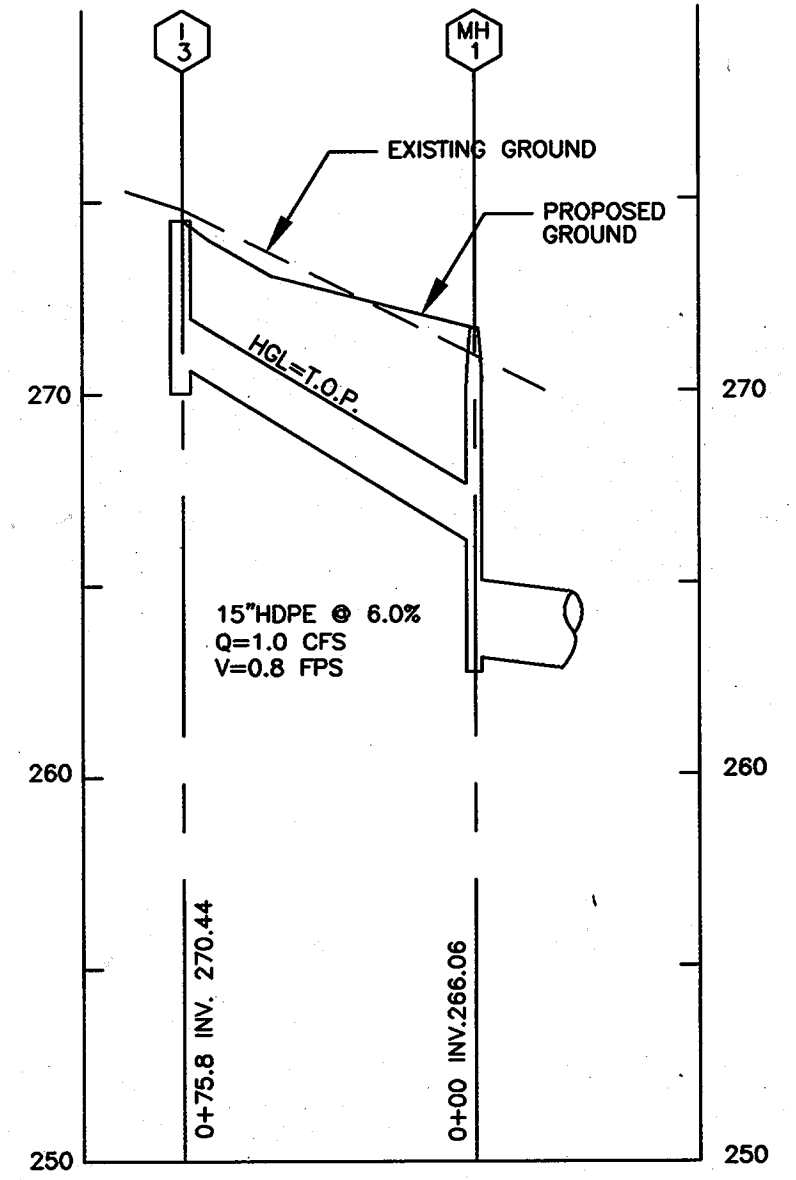


STORM DRAIN PROFILE

SCALE: HOR. 1"=50'
VER. 1"=5'

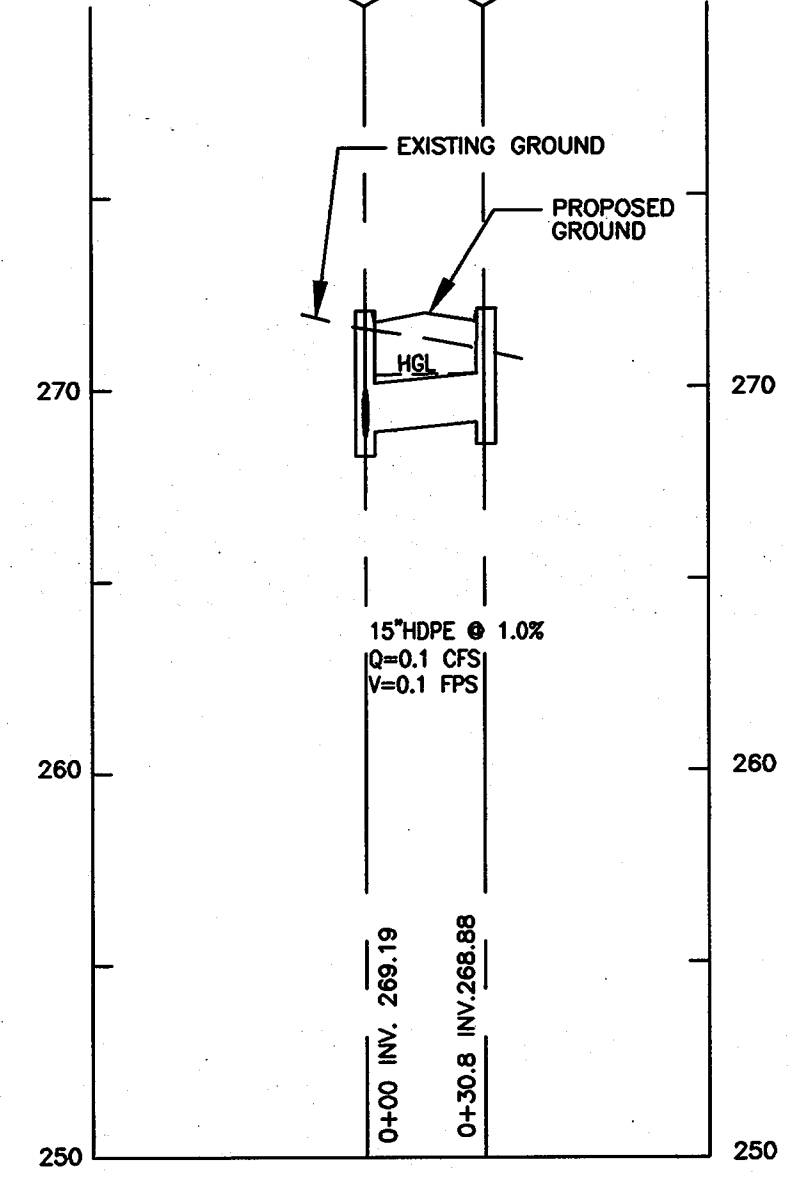
STRUCTURE SCHEDULE

NO.	LOCATION	TOP	INV. IN	INV. OUT	COMMENTS
I-1	HOLLY SPRINGS LANE-STA 0+32.24 - 21.52' RIGHT	267.30	257.55	247.45	"A-5" INLET-HO.CO. STD. SD 4.01
I-2	HOLLY SPRINGS LANE-STA 0+33.81 - 21.52' LEFT	267.30	259.86	259.51	"A-10" INLET-HO.CO. STD. SD 4.02
I-3	MAIDEN POINT PLACE-STA 0+29.76 - 12.52' RIGHT	274.50	266.68	266.58	"A-5" INLET-HO.CO. STD. SD 4.02
I-4	MAIDEN POINT PLACE-STA 13+57.85 - 8.52' LEFT	272.45	268.73	268.48	"A-5" INLET-HO.CO. STD. SD 4.01
I-5	HOLLY SPRINGS LANE-STA 2+94.5 - 12.43' LEFT	272.06	268.88	268.78	"A-10" INLET-HO.CO. STD. SD 4.02
I-6	FOX HARBOR WAY STA 0+30.2 - 8.43' RIGHT	273.67	270.03	269.93	"A-5" INLET-HO.CO. STD. SD 4.01
I-7	HOLLY SPRINGS LANE-STA 4+12.6 - 12.43' LEFT	273.43	270.33	270.23	"A-5" INLET-HO.CO. STD. SD 4.01
I-8	FOX HARBOR WAY-STA 6+22.7 - 8.43' LEFT	274.83	---	271.92	"A-10" INLET-HO.CO. STD. SD 4.02
I-9	OAK GROVE WAY-STA 5+94.9 - 8.43' RIGHT	274.95	271.21	271.11	"A-5" INLET-HO.CO. STD. SD 4.01
I-10	HOLLY SPRING LANE-STA 7+20.3 - 12.43' LEFT	274.85	271.52	271.42	"A-5" INLET-HO.CO. STD. SD 4.01
I-11	OAK GROVE WAY-STA 0+30.2 - 8.43' LEFT	275.72	---	272.59	"A-5" INLET-HO.CO. STD. SD 4.01
I-12	CEDAR HILL WAY-STA 2+26.4 - 26.43' RIGHT	265.71	262.38	250.90	"A-5" INLET-HO.CO. STD. SD 4.01
I-13	CEDAR HILL WAY-STA 2+26.4 - 8.43' LEFT	266.25	---	262.75	"A-5" INLET-HO.CO. STD. SD 4.01
I-14	DEEP FALLS WAY-STA 2+23.2 - 71.6' RIGHT	259.00	---	255.50	"YARD" INLET (SUMP)-HO.CO. STD. SD 4.14
I-15	DEEP FALLS WAY-STA 3+01.8 - 26.43' RIGHT	265.02	260.92	253.00	"A-5" INLET-HO.CO. STD. SD 4.01
I-16	DEEP FALLS WAY-STA 3+01.8 - 8.43' LEFT	265.56	---	262.00	"A-5" INLET-HO.CO. STD. SD 4.01
I-17	HOLLY SPRINGS LANE-STA 0+27.28 - 178.6' RIGHT	250.00	244.95	244.85	"YARD" INLET (SUMP)-HO.CO. STD. SD 4.14
I-5A	HOLLY SPRINGS LANE-STA 2+01.31 - 12.43' RIGHT	272.12	---	269.18	"A-5" INLET-HO.CO. STD. SD 4.01
ES-1	HOLLY SPRINGS LANE STA 1+19.90 - 193.40' RIGHT	---	---	230.83	END SECTION HO.CO. STD. SD 5.51
ES-3	HOLLY SPRINGS LANE STA 1+12.47 - 213.84' RIGHT	---	---	230.90	END SECTION HO.CO. STD. SD 5.51
M-1	HOLLY SPRINGS LANE STA 1+39.10 - 14.8' LEFT	271.70	266.06	263.12	TYPE B DROP MANHOLE HO.CO. STD. S 1.32
M-2	HOLLY SPRINGS LANE STA 1+05.70 - 16.7' LEFT	272.70	267.35	266.85	BRICK MANHOLE HO.CO. STD. G 5.01



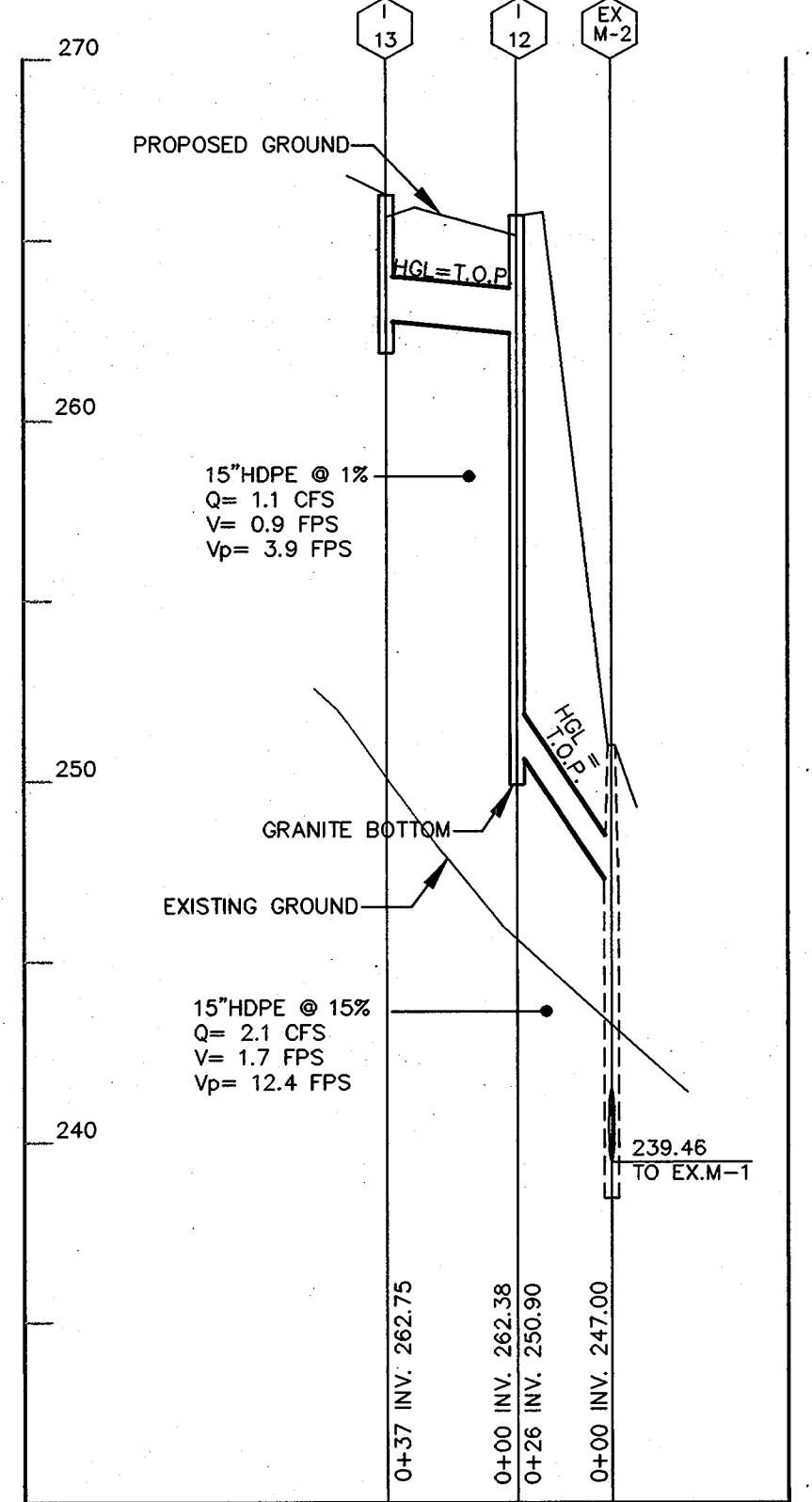
STORM DRAIN PROFILE

SCALE: HOR. 1"=50'
VER. 1"=5'



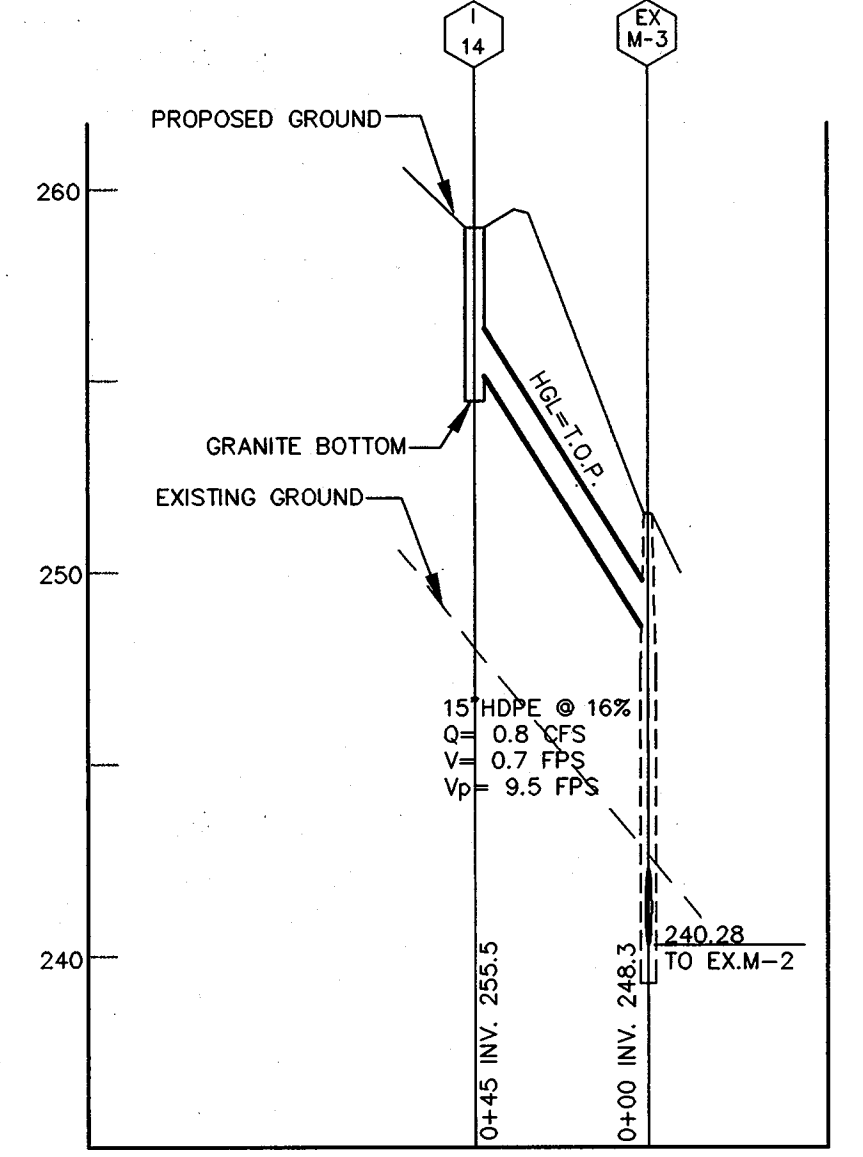
STORM DRAIN PROFILE

SCALE: HOR. 1"=50'
VER. 1"=5'



STORM DRAIN PROFILE

SCALE: HOR. 1"=50'
VER. 1"=5'



STORM DRAIN PROFILE

SCALE: HOR. 1"=50'
VER. 1"=5'



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 2/20/12
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 2/26/12
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 2/26/12
 DIRECTOR

- NOTE:**
1. ALL STATIONS AND ELEVATIONS MEASURED TO CENTER OF INLETS AND MANHOLES.
 2. PROVIDE 5' TRANSITION FROM HOWARD COUNTY STD. R-301 MODIFIED CURB AND GUTTER TO TOP OF SLAB AT ALL INLETS.
 3. FOR INLETS, TOP ELEVATION REFERS TO TOP OF CURB ELEVATION

NOTE
 EXISTING GROUND REPRESENTS ORIGINAL PREDEVELOPED CONDITIONS IN ORDER TO ACCURATELY REPRESENT CUT & FILL AREAS

OWNER/DEVELOPER
 RTE 175 LLC
 C/O ROCK REALTY, INC.
 25 MAIN STREET
 REISTERTOWN, MARYLAND 21136
 (410) 526-4030

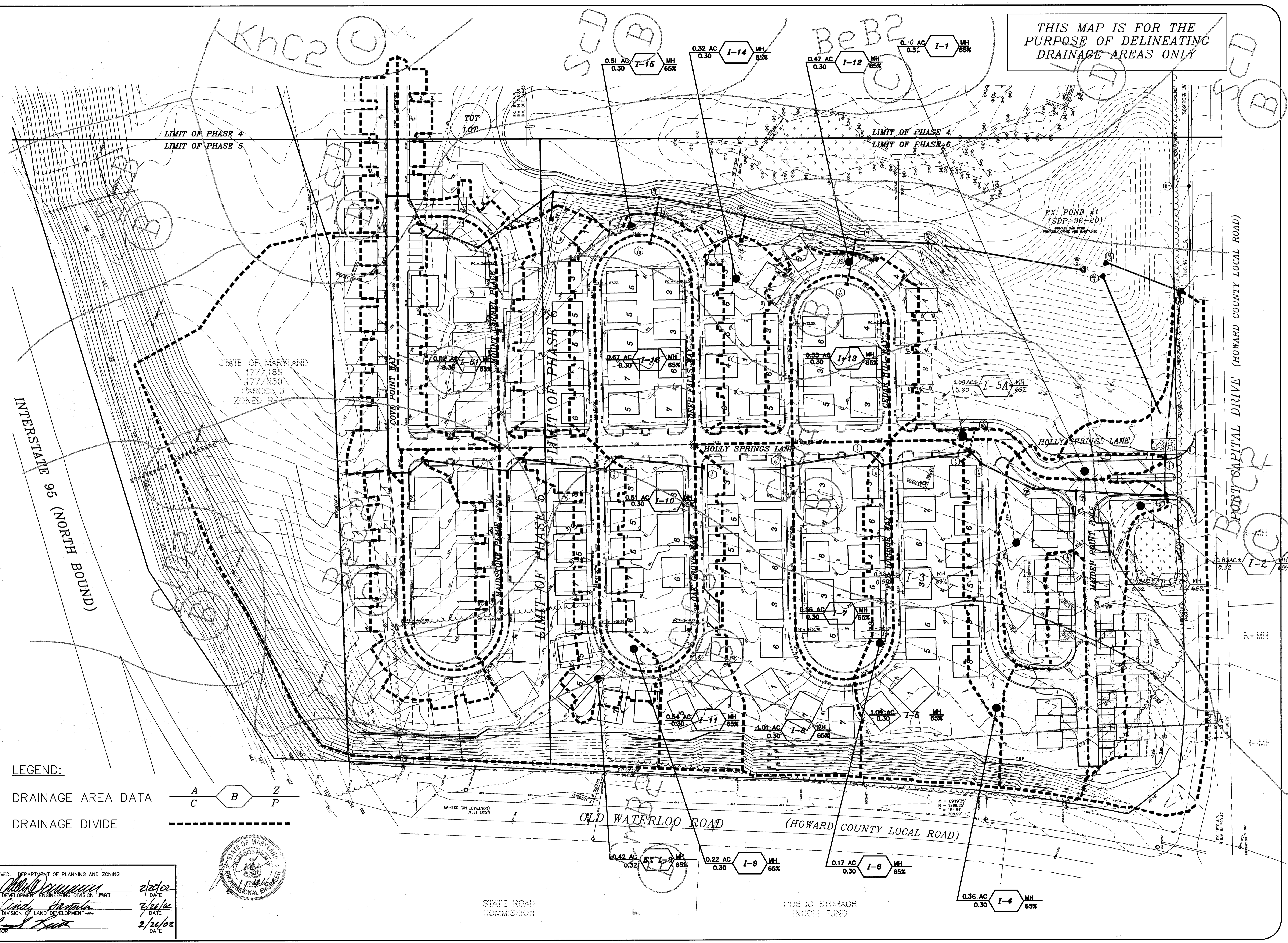
date	1-MARCH 01
project	94044 (06) 1
illustrator	MMP
scale	MMP
approval	RJH

date	01/22/09
description	ADD L-5A, M-1 & M-2, CONNECT I-1 TO I-17 AND TAKE L3 OUTLINE, REVISE PROFILES, HGL AND STRUCTURE SCHEDULE ACCORDINGLY.
revisions	

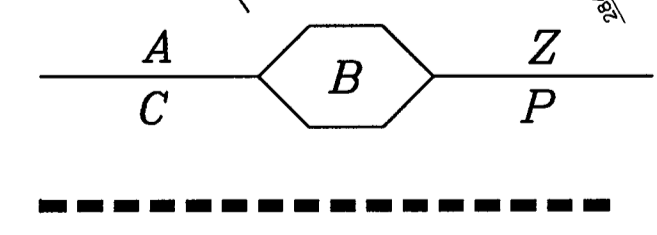
TAX MAP 43, PARCEL 347, 670 AND 4
NEW COLONY VILLAGE - PHASE 6
 1ST ELECTION DISTRICT UNITS: 288-398 HOWARD COUNTY, MARYLAND
 STORM DRAIN PROFILES

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
 (410) 997-0296 Fax. (301) 621-5521 Wash. (410) 997-0296 Fax.

THIS MAP IS FOR THE
PURPOSE OF DELINEATING
DRAINAGE AREAS ONLY



LEGEND:
DRAINAGE AREA DATA
DRAINAGE DIVIDE



APPROVED: DEPARTMENT OF PLANNING AND ZONING
Alfred [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MAR 3 2/20/02 DATE
Linda [Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT 2/26/02 DATE
[Signature]
 DIRECTOR 2/26/02 DATE



STATE ROAD COMMISSION

PUBLIC STORAGE INCOM FUND

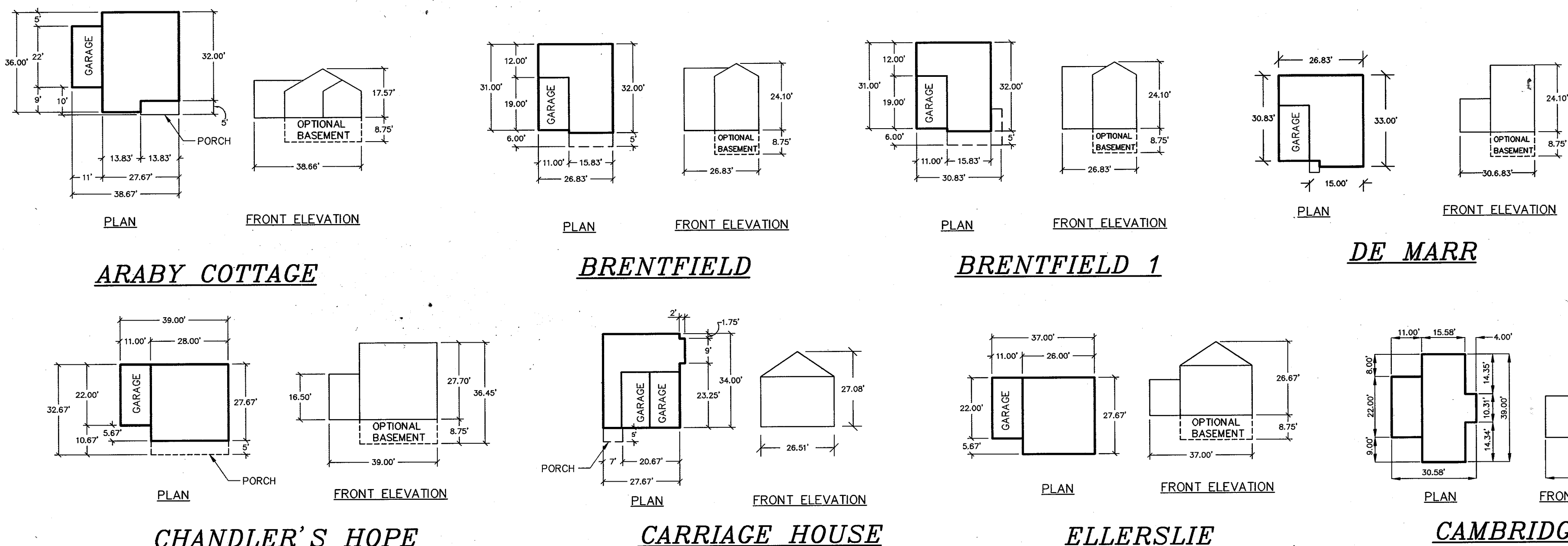
date	MARCH 01	approval	RJH
project	94044	illustration	MMP
revision	1	scale	1"=50'

no.	2	description	REVISE PROVISIONS FOR 20' TYPICAL WAYS AND SHIRT UNITS TO 30' TYPICAL WAYS AND SHIRT UNITS. REVISE GRADING, REVISE DRAINAGE AREAS AND RELocate TOT LOTS AND REVISE DRAINAGE AREAS ACCORDINGLY.	date	6/19/03
no.	1	description	REVISE PROVISIONS FOR 20' TYPICAL WAYS AND SHIRT UNITS TO 30' TYPICAL WAYS AND SHIRT UNITS. REVISE GRADING, REVISE DRAINAGE AREAS AND RELocate TOT LOTS AND REVISE DRAINAGE AREAS ACCORDINGLY.	date	6/19/03

TAX MAP 43, PARCEL 347, 670 AND 4
NEW COLONY VILLAGE - PHASE 6
 FIRST ELECTION DISTRICT UNITS: 288-398 HOWARD COUNTY, MARYLAND
 STORM DRAIN DRAINAGE AREA MAP

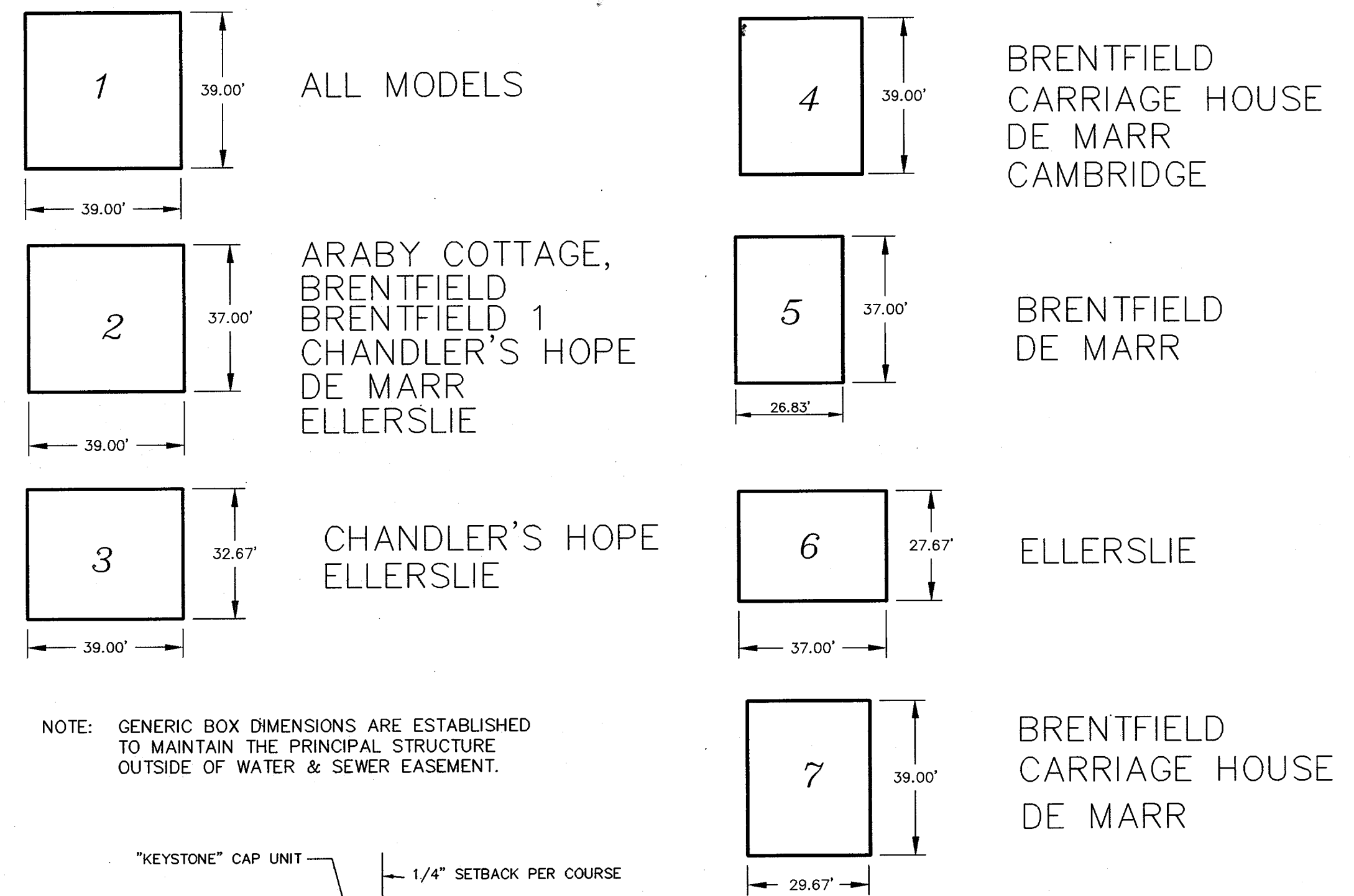
MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
 (410) 997-0296 Fax. (301) 621-5521 Wash. (410) 997-0298 Fax.

HOUSE MODELS

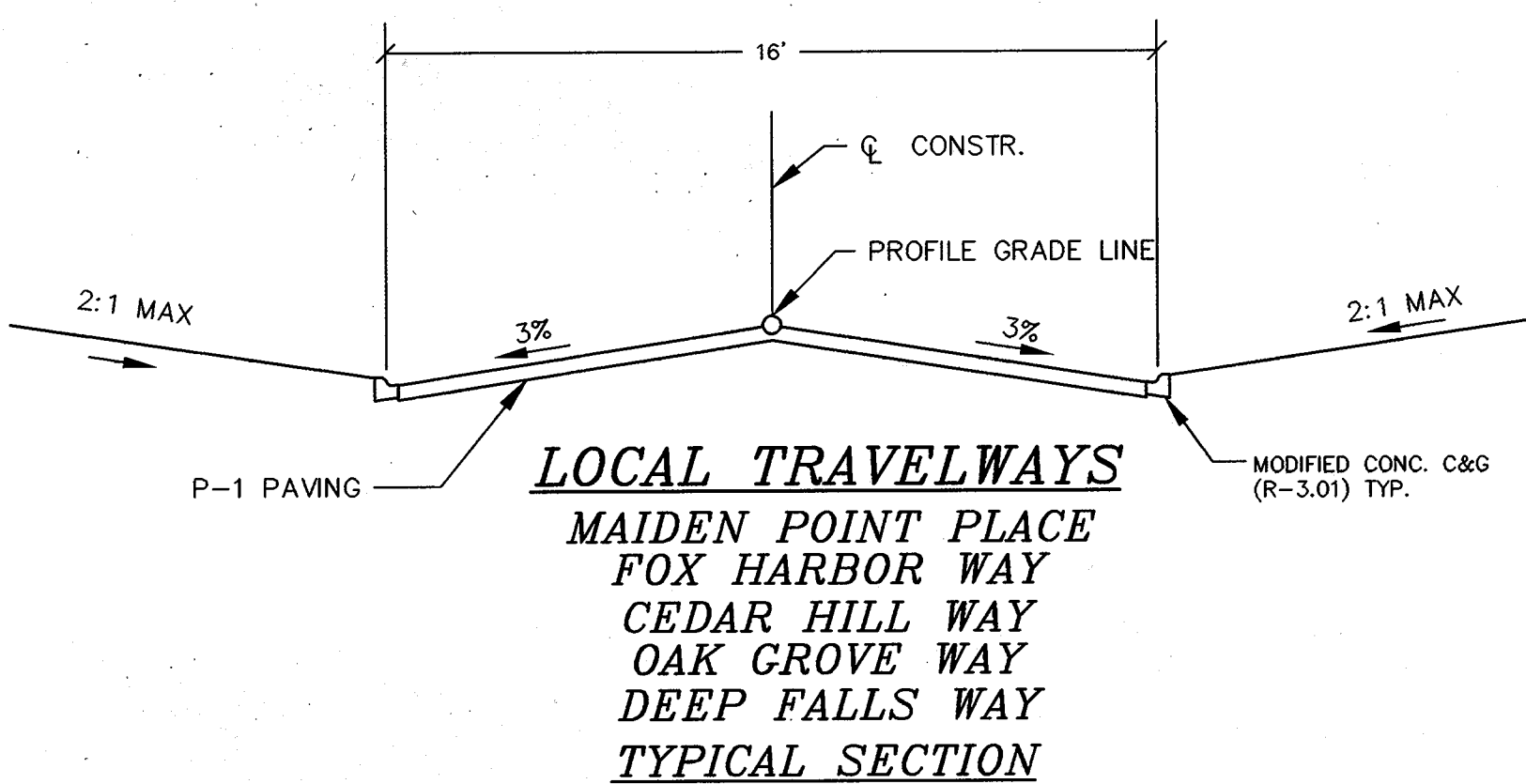


GENERIC BOXES

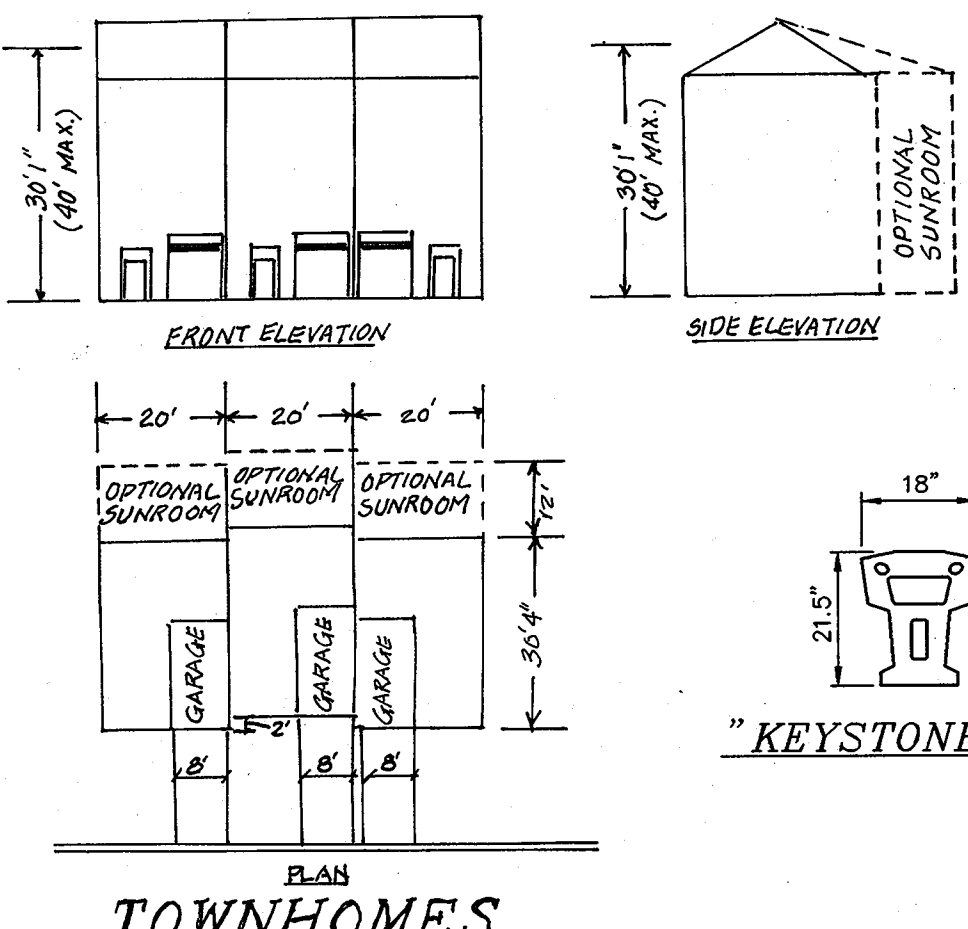
GENERIC BOXES AVAILABLE MODELS GENERIC BOXES AVAILABLE MODELS



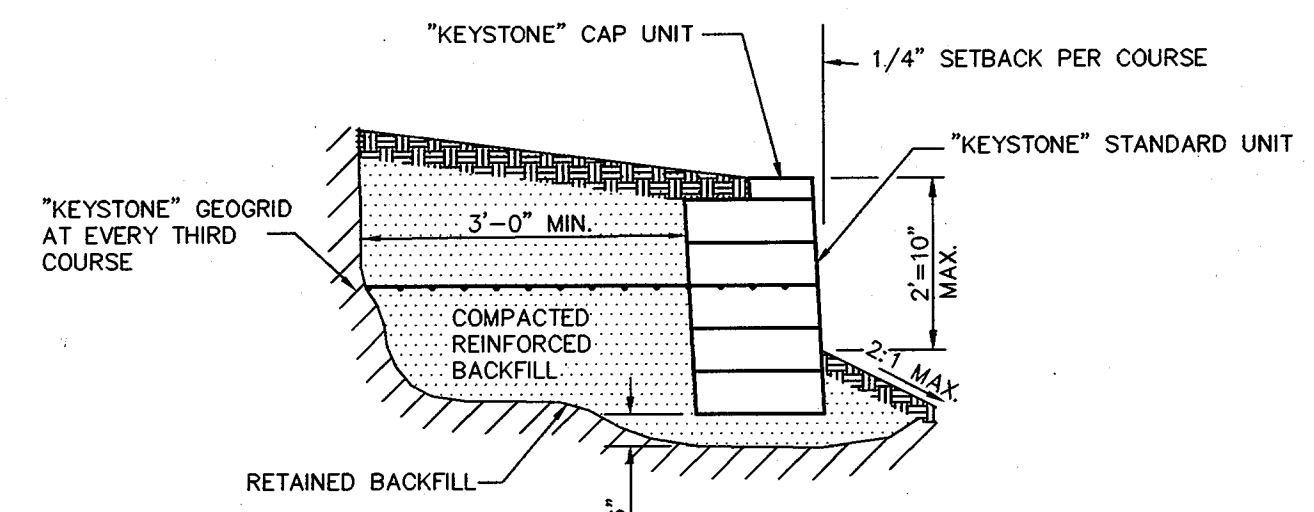
NOTE: GENERIC BOX DIMENSIONS ARE ESTABLISHED TO MAINTAIN THE PRINCIPAL STRUCTURE OUTSIDE OF WATER & SEWER EASEMENT.



FOR PAVING SECTION SEE STANDARD DETAIL THIS SHEET N.T.S.

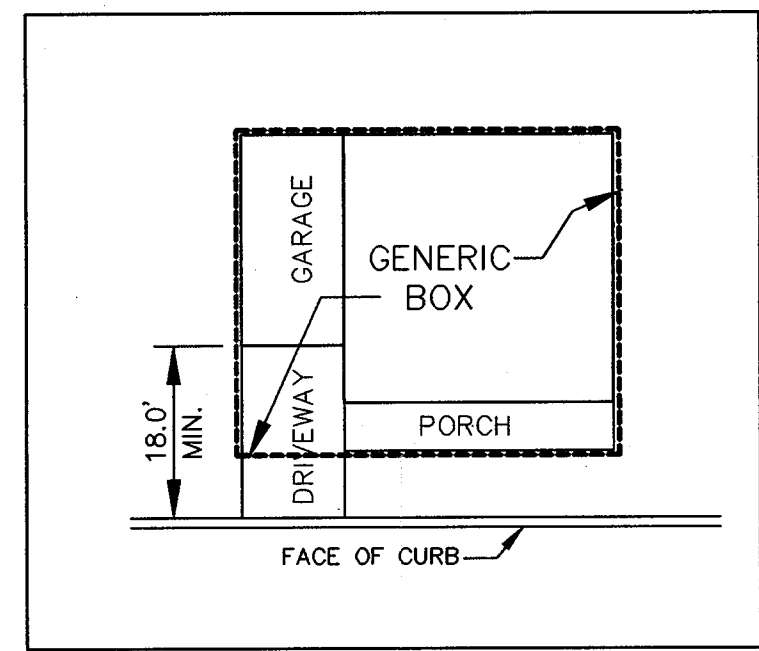


TOWNHOMES



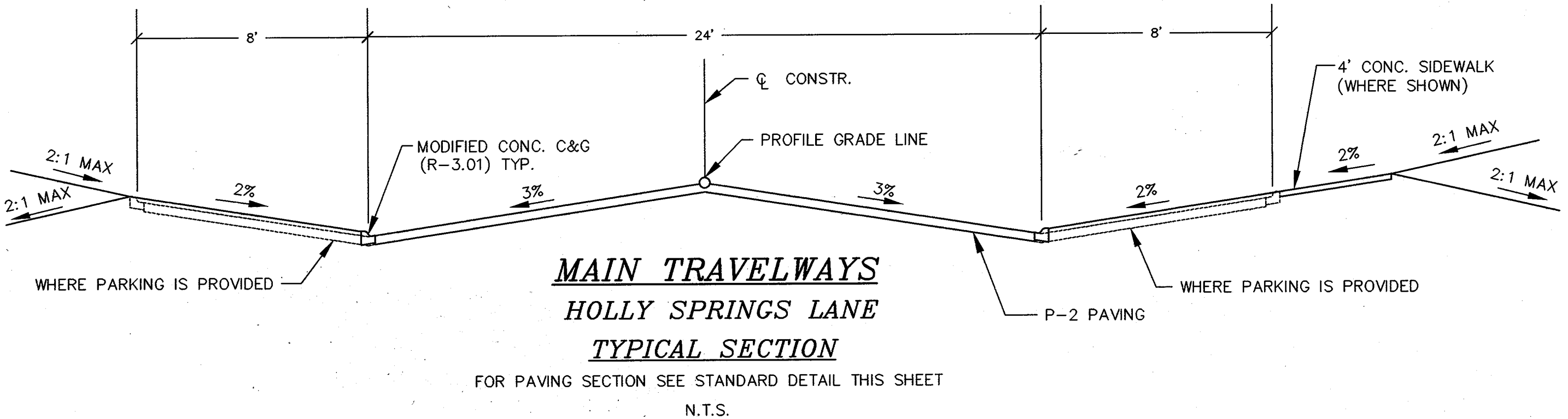
RETAINING WALL DETAIL

NOTE: ALL FOOTING AND DESIGN SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

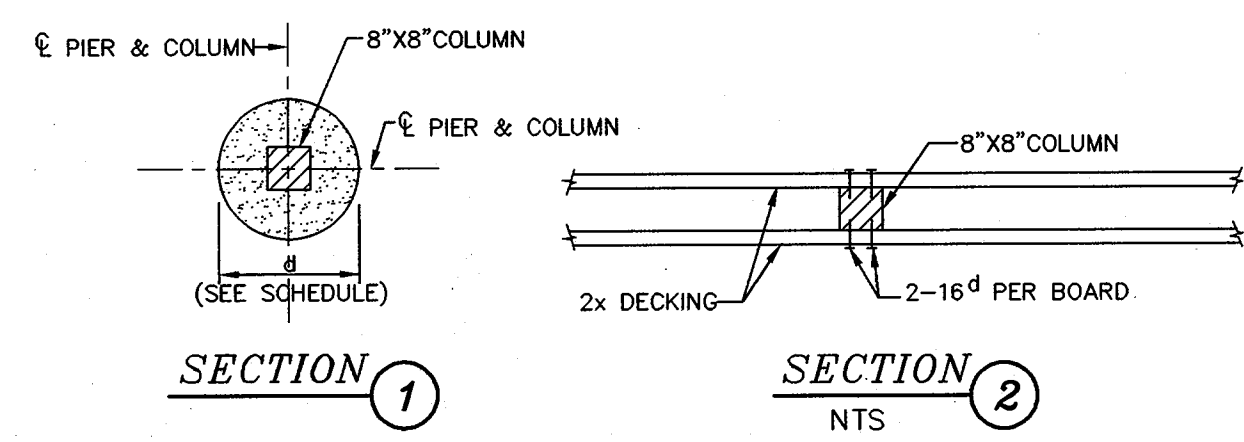


PARKING LAYOUT DETAIL

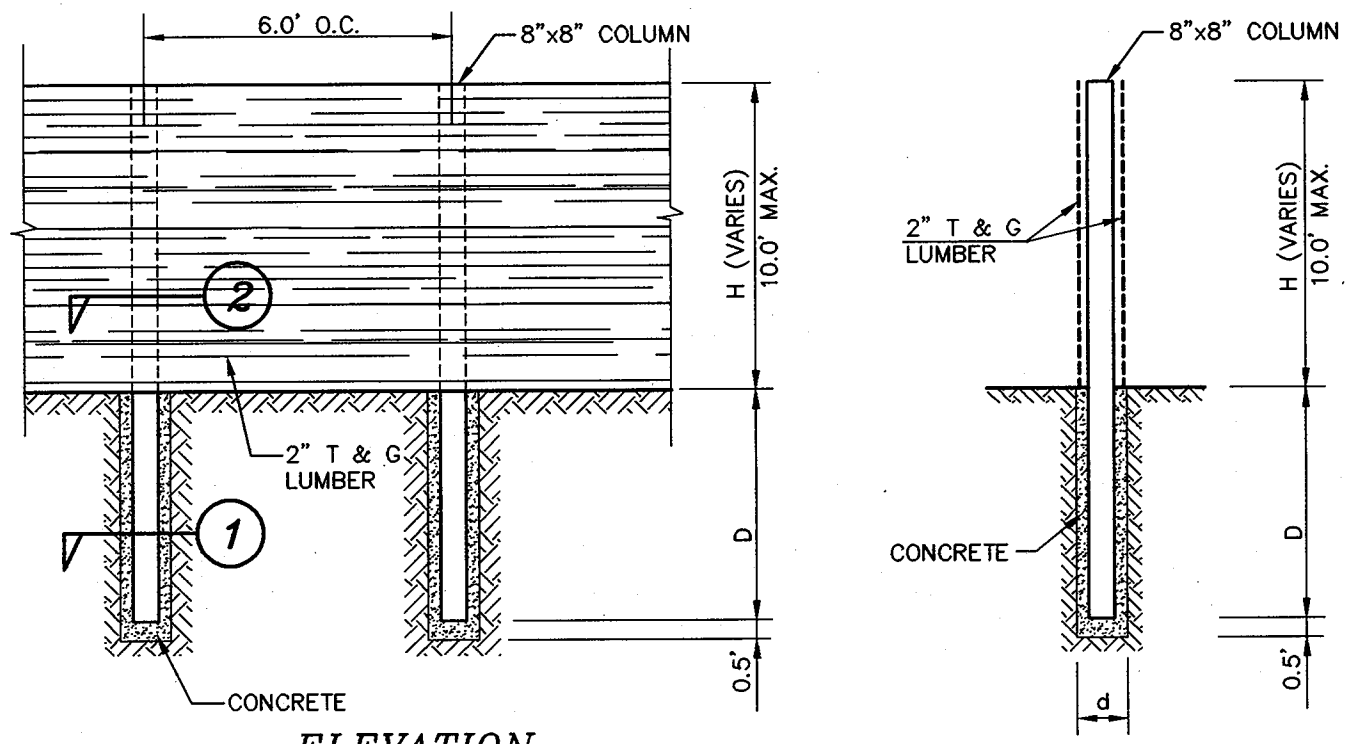
SCALE: 1" = 20'
NOTE: ALL HOUSING UNITS HAVE MINIMUM ONE PARKING SPACE IN GARAGE. HOUSING UNITS WITHOUT SUFFICIENT DRIVEWAY FOR ADDITIONAL PARKING WILL UTILIZE OFF-STREET SPACES SHOWN.



FOR PAVING SECTION SEE STANDARD DETAIL THIS SHEET N.T.S.

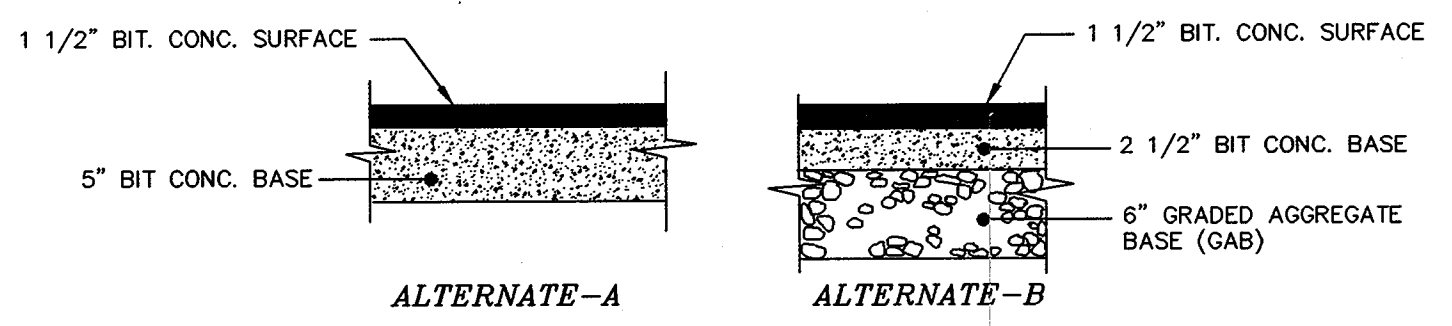


SCHEDULE				
H	S	D	d	POST SIZE
5	8'	6"	12"	4"x8"
8	8'	6"	16"	8"x8"
10	8'	8"	18"	6"x12"
15	8'	10"	24"	8"x16"
20	6'	10"	30"	10"x16"

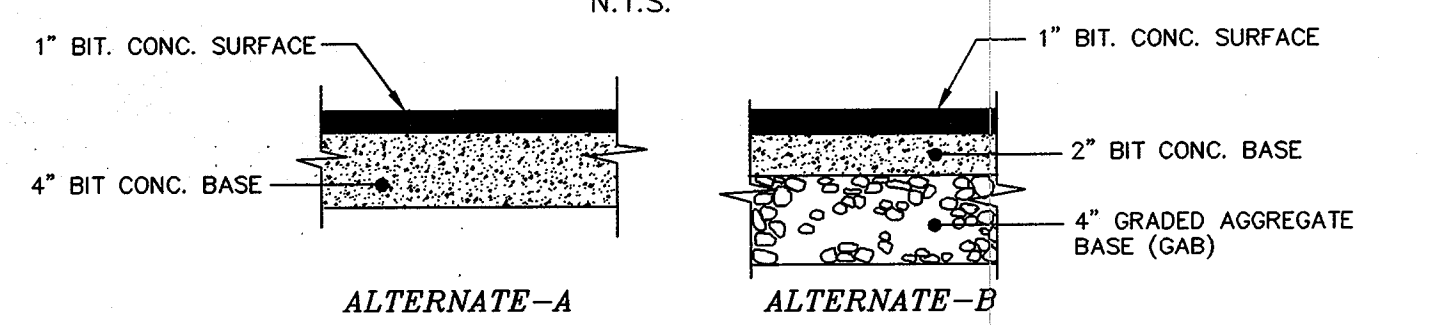


NOISE WALL DETAIL

- NOTES:
- GENERAL:
 - HEIGHT OF BARRIER SHALL BE BASED ON ACOUSTIC REQUIREMENTS.
 - BARRIER WALLS HAVING A HEIGHT (H) NOT INDICATED IN THE TABLES SHALL BE CONSTRUCTED AS SHOWN IN THE HIGHER HEIGHT CATEGORY.
 - SIDING:
 - 2 INCH WOOD SIDING MATERIAL SHALL BE UTILIZED TO SPAN HORIZONTALLY BETWEEN POSTS. DESIGN CRITERIA IS BASED ON AN ALLOWABLE BENDING STRESS OF 1400 LBS. PER SQ. IN. AND A 33 1/3% INCREASE IN STRESS FOR WIND LOADS AS CONSIDERED APPROPRIATE. SIDING SHALL BE MOIS.
 - SIDING IN CONTACT WITH THE GROUND AND FOR A DISTANCE OF 6" ABOVE GRADE SHALL BE TREATED WITH WOOD PRESERVATIVE.
 - POST:
 - WOOD POST SHALL BE UTILIZED AT THE SPACING INDICATED ON THE SCHEDULE. DESIGN CRITERIA IS BASED ON AN ALLOWABLE BENDING STRESS OF 1400 LBS. PER SQ. IN. AND A 33 1/3% INCREASE FOR WIND LOAD.
 - POST EMBEDDED IN CONCRETE SHALL BE TREATED WITH A WOOD PRESERVATIVE IN THE AREA OF EMBEDMENT AND 12" ABOVE GRADE.
 - CONCRETE:
 - CONCRETE IN THE PIERS HAVE A 28 DAY COMPRESSIVE STRENGTH OF 2500 LBS. PER SQ. FT.
 - CONCRETE SHALL BE PLACED IN DRILLED PIERS UTILIZING THE EARTH AS THE FORMS.
 - FOUNDATIONS:
 - THE DRILLED PIERS HAVE BEEN DESIGNED UTILIZING AN ALLOWABLE PASSIVE PRESSURE OF 300 LBS. PER SQ. FT. AND THE FOLLOWING FORMULA: $D = \sqrt[3]{\frac{14.52M}{P_d}}$
 - $M =$ MOMENT AT TOP OF DRILLED PIER (FT/LBS)
 - $P =$ ALLOWABLE PASSIVE PRESSURE (300 LBS PER SQ. FT.)
 - $d =$ DIAMETER OF PIER (FT.)
 - $D =$ DEPTH OF PIER (FT.)
 - ALTERNATIVE #1 (PRESERVATIVE TREATMENT) ALTERNATIVE #1 REPRESENTS THE ADDITIONAL COST FACTOR FOR TREATING THE BASIC WOOD STRUCTURE INDICATED ON THIS REFERENCE PLAN. THE NECESSITY FOR TREATMENT AND THE TYPE OF PRESERVATIVE WILL BE SUBJECT TO LOCAL CONDITIONS. ALL TREATMENTS SHALL CONFORM TO ANPA STD C-14.
 - ALTERNATIVE #2 (PAINTING) ALTERNATIVE #2 REPRESENTS THE ADDITIONAL COST FACTOR REQUIRED TO PAINT ONE SIDE OF THE BASIC WOOD STRUCTURE. STAIN SHOWN ON THIS REFERENCE PLAN. PAINTING SHALL CONSIST OF 3 APPLICATIONS OF PAINT. 2 COATS OF LATEX BASE PAINT CONFORMING TO FEDERAL SPECIFICATION TT-P-009966 SHALL BE APPLIED OVER PRIMER COAT CONFORMING TO FEDERAL SPECIFICATION TT-P-00250.
 - ALTERNATIVE #3 (STAINING) ALTERNATIVE #3 REPRESENTS THE ADDITIONAL COST FACTOR REQUIRED TO STAIN ONE SIDE OF BASIC WOOD STRUCTURE. STAIN SHALL CONSIST OF 2 COATS OF SEMI-TRANSPARENT SEALER STAIN APPLIED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

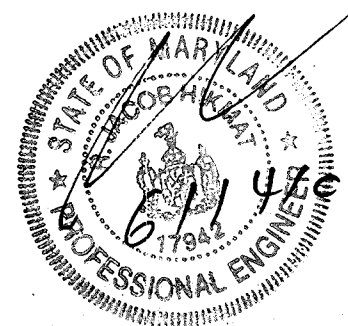


PAVING SECTIONS



PAVING SECTIONS

OWNER/DEVELOPER
RTE 175 LLC
C/O ROCK REALTY, INC.
25 MAIN STREET
REISTERTOWN, MARYLAND 21136
(410) 526-4030



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 2/20/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 2/20/02
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 2/20/02
 DIRECTOR

Project	date	illustration	engineering	approval
94044	JUNE 01	MMP	MMP	RJH
scale	AS SHOWN			

1	ADD TOWNHOME FOOTPRINT AND ELEVATIONS WITH DIMENSIONS	2/15/03	date
	description		
	revisions		

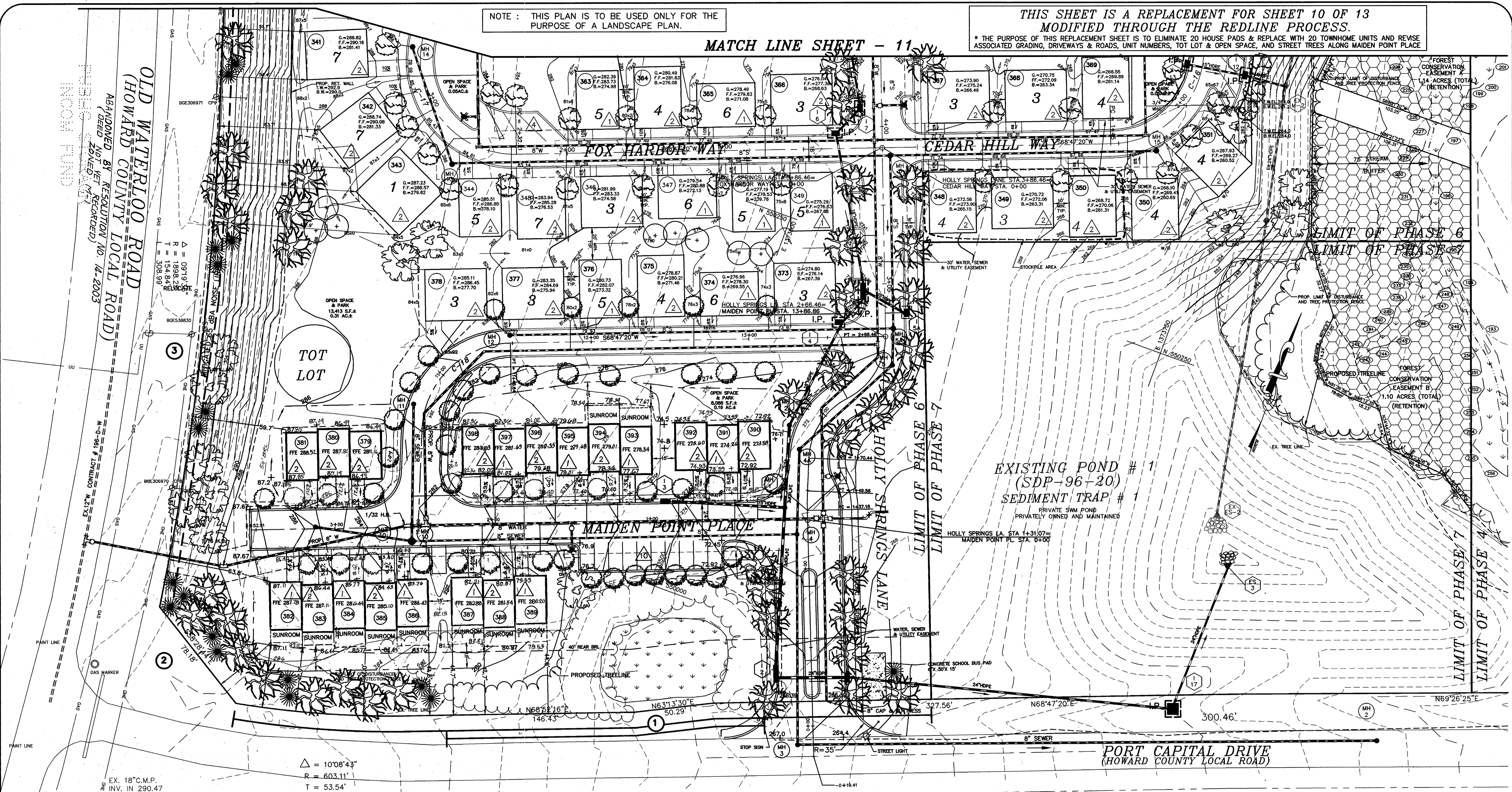
TAX MAP 43, PARCEL 347, 670 & 4
NEW COLONY VILLAGE - PHASE 6
 1ST ELECTION DISTRICT UNITS: 288-388 HOWARD COUNTY, MARYLAND
CONSTRUCTION DETAILS

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Flicott City, Maryland 21042
 (410) 997-0286 Fax (301) 621-5521 Wash. (410) 997-0288 Fax

NOTE: THIS PLAN IS TO BE USED ONLY FOR THE PURPOSE OF A LANDSCAPE PLAN.

THIS SHEET IS A REPLACEMENT FOR SHEET 10 OF 13 MODIFIED THROUGH THE REDLINE PROCESS.
 * THE PURPOSE OF THIS REPLACEMENT SHEET IS TO ELIMINATE 20 HOUSE PADS & REPLACE WITH 20 TOWNHOME UNITS AND REVISE ASSOCIATED GRADING, DRIVEWAYS & ROADS, UNIT NUMBERS, TOT LOT & OPEN SPACE, AND STREET TREES ALONG MAIDEN POINT PLACE

MATCH LINE SHEET - 11



project	94044	date	11/10/03
illustration	MAP/SID	scale	1" = 80'
revision		description	
1		REVISE ELEVATIONS OF UNITS 374 TO 381 TO REFLECT AS-BUILT FINISHES IN WALLS	
2		REVISE ELEVATIONS, GRADING, AND DRIVEWAYS FOR DEEP FALLS WAY FROM THE ROAD, REVISE STREET TREES FROM OLD MAIDEN POINT ROAD AND SIGN ABANDONMENT OF OLD MAIDEN POINT ROAD	

TAX MAP 43, PARCEL 347, 670 AND 4
NEW COLONY VILLAGE - PHASE 6
 1ST. ELECTION DISTRICT UNITS: 288-398 HOWARD COUNTY, MARYLAND
 REVISED LANDSCAPE PLAN

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Belcooth City, Maryland 21042
 (410) 997-0296 Fax: (301) 621-5521 Wash. (410) 997-0298 Fax.

10 OF 13
 SDP-01-12-1

PLANTING SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
28	(Symbol)	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.	
38	(Symbol)	AMELANCHIER CANADENSIS	SHADBLAW SERVICEBERRY	8' HT.	
75	(Symbol)	GLEDITSIA TRIACANTHOS INERMIS SHADMASTER	SHADMASTER THORNLESS HONEY LOCUST	2 1/2" - 3" CAL.	LIMB UP TO 7'
55	(Symbol)	KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	8' HT.	TREE FORM
25	(Symbol)	PRINUS STROBUS	WHITE PINE	8' HT.	DENSE BRANCHING
103	(Symbol)	PRINUS SERRULATA 'KWANZAN'	KWANZAN CHERRY	8' HT.	

TOTAL: 329 TREES (103 SHADE TREES, 201 SMALL TREES, 25 EVERGREENS)

STREET TREE CALCULATIONS

MAIDEN POINT PLACE	- 1504 / 30 = 50 SMALL TREES
FOX HARBOR WAY	- 1244 / 30 = 42 SMALL TREES
CEDAR HILL WAY	- 912 / 30 = 31 SMALL TREES
HOLLY SPRINGS LANE	- 1634 / 40 = 41 LARGE TREES
OAK GROVE WAY	- 1202 / 30 = 40 SMALL TREES
DEEP FALLS WAY	- 1126 / 30 = 38 SMALL TREES
TOTAL TREES REQUIRED =	41 LARGE TREES & 201 SMALL TREES
TOTAL TREES PROVIDED =	41 LARGE TREES & 201 SMALL TREES

SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	42
NUMBER OF PLANTING ISLANDS REQUIRED	5
NUMBER OF PLANTING ISLANDS PROVIDED	38
NUMBER OF TREES REQUIRED	5 SHADE TREES
NUMBER OF TREES PROVIDED	5 SHADE TREES
NUMBER OF TREES PROVIDED	5 SHADE TREES
OTHER TREES (2:1 SUBSTITUTION)	0 TREES

SCHEDULE C: RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING

NUMBER OF DWELLING UNITS	111
NUMBER OF TREES REQUIRED (1:DU SFA; 1:3 DU APTS)	37
NUMBER OF TREES PROVIDED	37
SHADE TREES	37
OTHER TREES (2:1 SUBSTITUTION)	0

SCHEDULE A: PERIMETER LANDSCAPED EDGE

CATEGORY	ADJACENT TO ROADWAY
LANDSCAPE TYPE	B (PERIMETER 1, 2, 3, & 4)
LINEAR FEET OF PERIMETER	1207.37 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	YES, 202 LF OF EXISTING VEGETATION
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	NO
NUMBER OF PLANTS REQUIRED	20 SHADE TREES 25 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED	20 SHADE TREES 25 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS

PERIMETER	EDGE TYPE
PERIMETER 1	
R-MH TO ROAD - 202 LF	B
EXISTING TREES TO REMAIN	
ROAD ENTRANCE - 24 LF	N/A
R-MH TO ROAD - 215.68 LF	B
1 SHADE TREE / 50 LF	4
1 EVERGREEN / 40 LF	5
PERIMETER 2	
R-MH TO ROAD - 78.18 LF	B
1 SHADE TREE / 50 LF	2
1 EVERGREEN / 40 LF	2
PERIMETER 3	
R-MH TO ROAD - 383.44 LF	B
1 SHADE TREE / 50 LF	8
1 EVERGREEN / 40 LF	10
PERIMETER 4	
R-MH TO ROAD - 328.07 LF	A
1 SHADE TREE / 50 LF	6
1 EVERGREEN / 40 LF	8
TOTAL PLANTING OBLIGATION	
SHADE TREES	20
EVERGREEN TREES	25
SHRUBS	0

- NOTES:**
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING AND PRIVATE ROAD STREET TREES HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$ 233,250.00.
 - DUE TO EASEMENT LOCATIONS, STREET TREES HAD TO BE RELOCATED TO OTHER AVAILABLE AREAS IN THE DEVELOPMENT.
 - THE FOLLOWING LIST REFERENCES WHERE STREET TREES HAVE BEEN RELOCATED FOR EACH PRIVATE ROAD:
 - 7 TREES FOR MAIDEN POINT PLACE HAVE BEEN RELOCATED TO REAR OF UNITS 389 TO 397.
 - 12 TREES FOR FOX HARBOR WAY HAVE BEEN RELOCATED TO THE REAR OF UNITS 299, 302, 303, 343, 347, & 348.
 - 6 TREES FOR CEDAR HILL WAY HAVE BEEN RELOCATED TO THE REAR OF UNIT 353, 355.
 - 5 TREES FOR DEEP FALLS WAY HAVE BEEN RELOCATED TO THE REAR OF UNITS 325 TO 333.
 - 15 TREES FOR OAK GROVE WAY HAVE BEEN RELOCATED TO THE REAR OF UNITS 294, 295, 316 TO 324, & 339.

LEGEND

- (Symbol) GENERIC BOX NUMBER
- (Symbol) UNIT NUMBER
- (Symbol) NO OF PARKING SPACES
- (Symbol) WETLANDS
- (Symbol) PERIMETER LANDSCAPE EDGE

OWNER/DEVELOPER
 RTE 175 LLC
 C/O ROCK REALTY, INC.
 25 MAIN STREET
 REISTERTOWN, MARYLAND 21136
 (410) 526-4030

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MAJ
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

DATE: 1/22/03
 DATE: 1/24/03
 DATE: 1/25/03

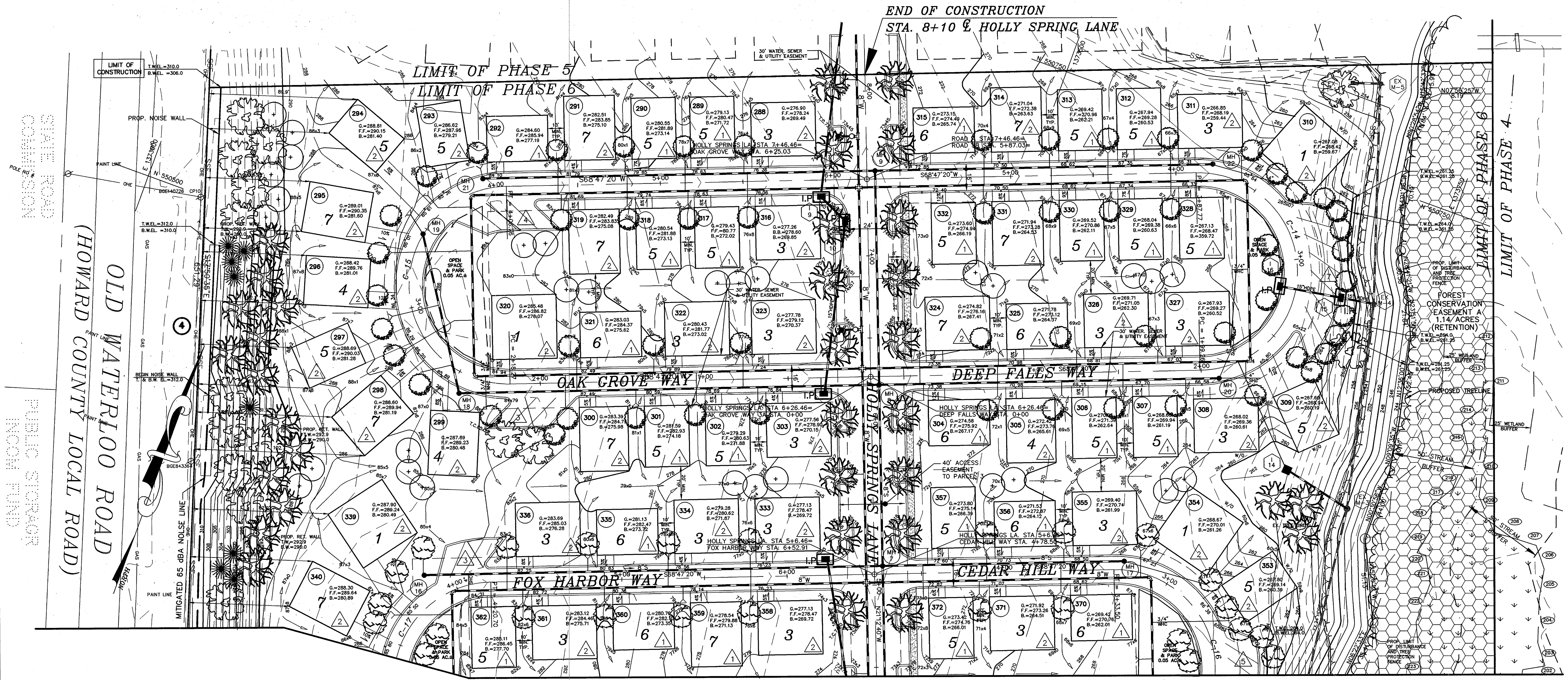
NOTE: THIS PLAN IS TO BE USED ONLY FOR THE PURPOSE OF A LANDSCAPE PLAN.

NOTES:

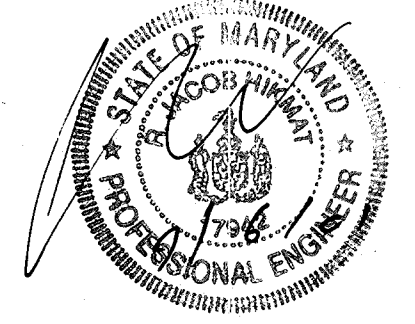
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING AND PRIVATE ROAD STREET TREES HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$ 93,750.00.
- DUE TO EASEMENT LOCATIONS, STREET TREES HAD TO BE RELOCATED TO OTHER AVAILABLE AREAS IN THE DEVELOPMENT.
- FOR PLANTING SCHEDULE, SCHEDULES A, B, & C, AND STREET TREE CALCULATIONS, SEE SHEET 10.
- THE FOLLOWING LIST REFERENCES WHERE STREET TREES HAVE BEEN RELOCATED FOR EACH PRIVATE ROAD:
 - 7 TREES FOR MAIDEN POINT PLACE HAVE BEEN RELOCATED TO REAR OF UNITS 389 TO 397.
 - 12 TREES FOR FOX HARBOR WAY HAVE BEEN RELOCATED TO THE REAR OF UNITS 299, 302, 303, 343, 347, & 348.
 - 6 TREES FOR CEDAR HILL WAY HAVE BEEN RELOCATED TO THE REAR OF UNIT 353, 355, & 343.
 - 5 TREES FOR DEEP FALLS WAY HAVE BEEN RELOCATED TO THE REAR OF UNITS 325 TO 333.
 - 15 TREES FOR OAK GROVE WAY HAVE BEEN RELOCATED TO THE REAR OF UNITS 294, 295, 316 TO 324, & 339.

LEGEND

- 2 GENERIC BOX NUMBER
- 39 UNIT NUMBER
- 3 NO OF PARKING SPACES
- WETLANDS
- PERIMETER LANDSCAPE EDGE



MATCH LINE SHEET - 10



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 2/20/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 2/20/02
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 2/20/02

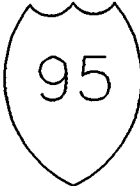
OWNER/DEVELOPER
 RTE 175 LLC
 C/O ROCK REALTY, INC.
 25 MAIN STREET
 REISTERTOWN, MARYLAND 21136
 (410) 526-4030

Project	date
94044	SBP-2001
illustration	engineering
MMP/SID	SID
scale	approval
1"=90'	RH

no.	description	date

TAX MAP 43, PARCEL 347, 670 AND 4
NEW COLONY VILLAGE - PHASE 6
 1ST. ELECTION DISTRICT UNITS: 288-398 HOWARD COUNTY, MARYLAND
 LANDSCAPE PLAN

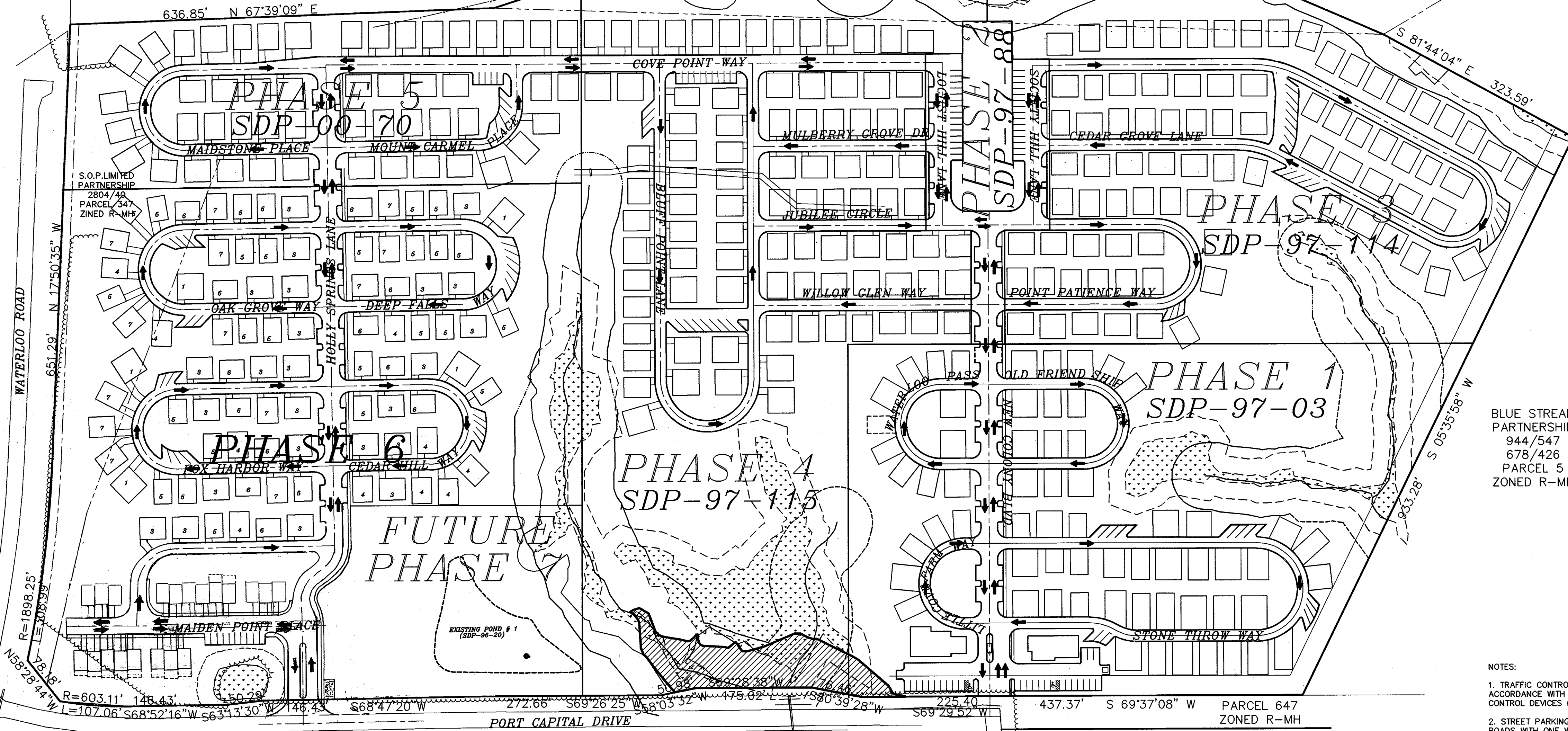
MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland, 21042
 (410) 997-0296 Fax. (301) 621-5521 Wash. (410) 997-0298 Fax.



STATE OF MARYLAND
477/185
477/550
PARCEL 3
ZONED R-MH

ELK PARTNERSHIP
1495/657
PARCEL 279
ZONED R-MH

BLUE STREAM
PARTNERSHIP
944/547
678/426
PARCEL 5
ZONED R-MH



ALLADIN VILLAGE
TRAILER PARK

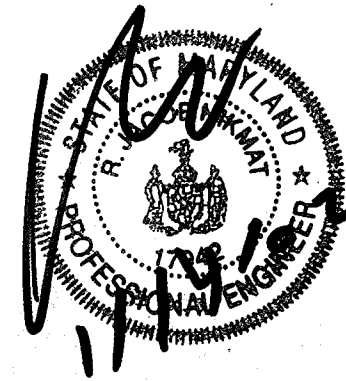
PORT CAPITAL
CENTER
SECTION 1
678/19
ZONED M-1

NOTES:

1. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. STREET PARKING WILL BE ALLOWED ON ONE SIDE OF THE ROAD AT LOOP ROADS WITH ONE WAY TRAFFIC.
3. NO PARKING WILL BE ALLOWED ON THE OUTER SIDE OF THE "ONE WAY" LOOP ROADS AND THE TURNING CURVE AT THE END OF THE LOOP. STANDARD SIGNS TO THAT EFFECT WILL BE PROVIDED.
4. EACH "ONE WAY" LOOP ROAD WILL HAVE THE FOLLOWING SIGNS:
 - A. TWO "DO NOT ENTER" SIGN LOCATED AT THE EXIT FROM EACH LOOP FACING THE MAIN ROAD.
 - B. TWO "STOP" SIGNS LOCATED AT THE EXIST FROM EACH LOOP FACING THE INSIDE.
 - C. TWO "NO PARKING" SIGNS ON THE OUTSIDE OF THE LOOP AND AT THE INSIDE AT THE TURNING CURVES AT THE END OF THE LOOP.
5. TRAFFIC ENFORCEMENT AND SECURITY WILL BE PROVIDED PRIVATELY BY THE MANAGEMENT COMPANY.
6. THE ENTRANCE GATE WILL BE MANNED 24 HOURS A DAY.
7. TWO LANE ENTRANCE IS PROVIDED AT THE GATE. RESIDENTS WILL BE ABLE TO ENTER EITHER BY USING MAGNETIC SECURITY CARDS OR WITH THE ASSISTANCE OF THE GUARD. VISITORS MUST BE CLEARED BY THE GUARD.
8. FOR WORK ZONE TRAFFIC CONTROL PLEASE SEE SHA DETAIL MD 104.04 & 104.31

OWNER/DEVELOPER
RTE 175 LLC
C/O ROCK REALTY, INC.
25 MAIN STREET
REISTERTOWN, MARYLAND 21136
(410) 526-4030

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Mr. Damiano 2/20/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Candy Harris 2/26/02
CHIEF, DIVISION OF LAND DEVELOPMENT
David S. Smith 2/26/02
DIRECTOR

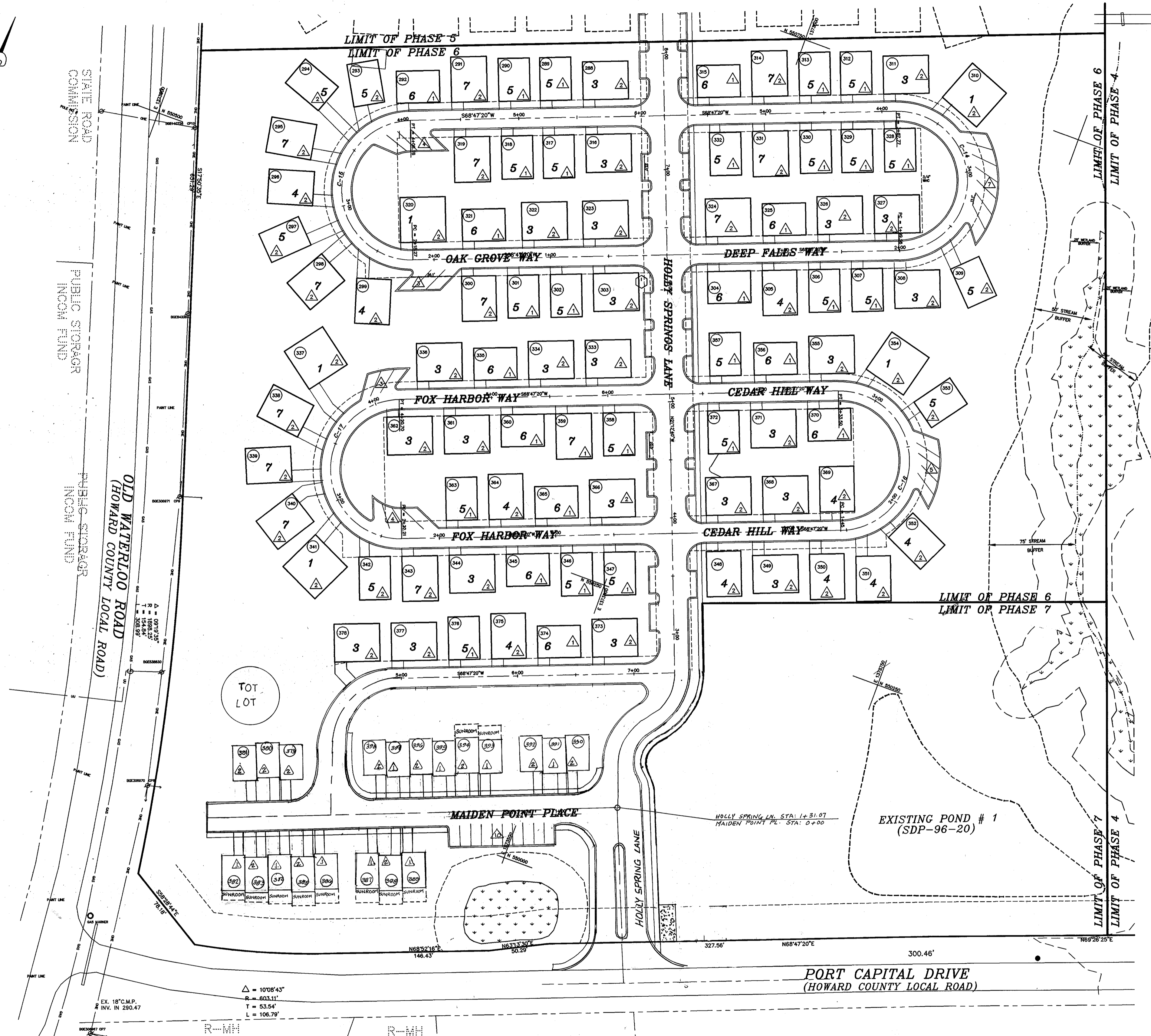
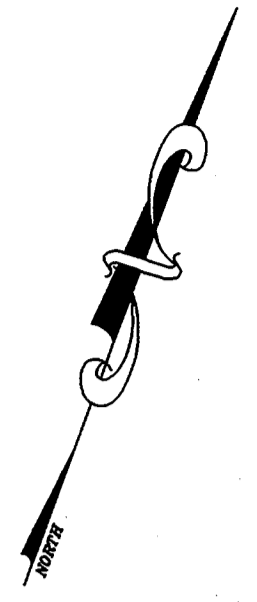


project	94044	date	JUNE 01
illustration	MMP	engineering	MMP
scale	1"=100'	approval	RH

no.	2	date	6/15/05
description	REVISE DRAWING FOR 20 TOWNHOME UNITS AND SHIFTS UNITS 582 TO 583 2 HOSE FEET AWAY FROM THE ROAD ELIMINATE 20 HOUSE PAD & REPLACE WITH 20 TOWNHOME UNITS & REVISE DRIVEWAYS & ROADS		
revisions	1	description	01/31/03

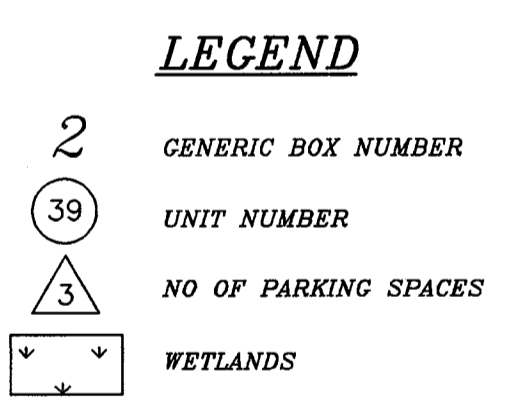
TAX MAP 43, PARCEL 347, 670 AND 4
NEW COLONY VILLAGE - PHASE 6
1ST. ELECTION DISTRICT UNITS: 288-398 HOWARD COUNTY, MARYLAND
TRAFFIC CIRCULATION

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
(410) 997-0296 Fax: (410) 627-5521 Wash. (410) 997-0298 Fax



THIS PLAN TO BE USED
FOR PARKING EXHIBIT ONLY

RESIDENTIAL PARKING SPACES REQUIRED: 2 SPA PER UNIT = 2x111=222 SPACES
RESIDENTIAL PARKING SPACES PROVIDED: 224 SPACES



- NOTES**
- ALL UNITS ARE PROVIDED WITH 2 PARKING SPACES WITHIN 200'.
 - ON PADS LABELLED FOR 2 ON-SITE PARKING SPACES (1 CAR IN GARAGE AND 1 CAR ON DRIVEWAY), MODELS MUST BE LOCATED TO ALLOW MINIMUM 18" ON THE DRIVEWAY IN ORDER TO PARK ONE CAR WHILE NOT OVERHANGING THE CURB AND WHILE MAINTAINING THE MINIMUM REQUIRED 20' DISTANCE BETWEEN REARS OF UNITS.
 - ON PADS LABELLED AS HAVING 1 ON-SITE PARKING SPACE (1 CAR IN GARAGE), NO CREDITED 2ND PARKING SPACE IS PERMITTED IN DRIVEWAYS BECAUSE CARS WOULD OVERHANG THE CURB. THE REQUIRED SECOND SPACE HAS BEEN PROVIDED WITHIN 200 FEET OF THE ENTRANCE OF EACH RESIDENTIAL UNIT.
 - ON-STREET PARKING IS NOT PERMITTED.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 DATE: 2/20/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 2/20/02
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 2/20/02

OWNER/DEVELOPER
 RTE 175 LLC
 C/O ROCK REALTY, INC.
 25 MAIN STREET
 REISTERTOWN, MARYLAND 21136
 (410) 526-4030

project	94044	date	SBP-2001
illustration	MMP	engineering	MMP
scale	1"=50'	approval	RH

no.	description	date
2	REVISE DRIVEWAYS FOR 20 TOWHANE LOTS, AND SHIFT UNITS 382 TO 391 2 FEET AWAY FROM THE ROAD	6/18/03
1	REVISE DRIVEWAYS AND UNIT LOCATIONS, TOWHANE LOTS, REVISE DRIVEWAYS AND UNITS, REVISE UNIT NUMBERS & RELOCATE TEST LOT.	6/18/03

TAX MAP 43, PARCEL 347, 670 AND 4
NEW COLONY VILLAGE - PHASE 6
 FIRST ELECTION DISTRICT UNITS: 288-388 HOWARD COUNTY, MARYLAND
 PARKING LAYOUT

MILDENBERG, BOENDER & ASSOC., INC.
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