

**Construction Notes**

- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST 24 HOURS PRIOR TO STARTING ANY OF THE WORK SHOWN HEREON.
- ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN ANY SCALED DIMENSIONS AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- CONTRACTOR SHALL MEET ALL EXISTING IMPROVEMENTS SMOOTHLY FOR LINE, GRADE AND FINISH.
- ALL WORK SHOWN ON THESE PLANS SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AND OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND THE HOWARD COUNTY PLUMBING CODE, UNLESS OTHERWISE NOTED.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM SUCH WORK. THE COST OF SUCH WORK SHALL BE INCLUDED IN THE BASE BID.
- THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING, ETC. ARE TO BE REMOVED PRIOR TO PLACING A BID ON SUCH ITEMS.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE LOCATIONS ARE TAKEN FROM LOCATIONS. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 A MINIMUM OF 5 WORKING DAYS PRIOR TO DIGGING. THE CONTRACTOR SHALL CONFIRM TO HIS OWN SATISFACTION THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR PLACEMENT OF MATERIALS. IF ANY CONFLICT IS FOUND BETWEEN UNDERGROUND UTILITIES AND THE PROPOSED LOCATION OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT G. W. STEPHENS AND THE OWNER OF THE UTILITY IMMEDIATELY. ANY DAMAGE OR DISRUPTION OF SERVICE SHALL BE AT THE EXPENSE OF THE CONTRACTOR. RELOCATION OF ANY EXISTING UTILITIES, IF NECESSARY, SHALL BE AT THE EXPENSE OF THE OWNER. THE CONTRACTOR SHALL COORDINATE RELOCATION OF THESE FACILITIES, IF NECESSARY.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES OUTSIDE THE LIMIT OF DISTURBANCE AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS NOT SCHEDULED FOR REMOVAL OR DEMOLITION. COST OF REPAIR TO EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE BASE BID. ALL EXISTING SITE FEATURES NOT BEING RETAINED SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED LOCATION. ANY DAMAGE TO OFFSITE ROADS, RIGHTS OF WAY, OR ADJACENT PROPERTY SHALL BE REPAIRED IMMEDIATELY AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL CLEAR THE PROJECT SITE OF ALL TREES, PAVING, STRUCTURES, ETC. WITHIN THE CONSTRUCTION AREA UNLESS OTHERWISE NOTED ON THE PLAN.
- ONLY SUITABLE MATERIAL SHALL BE USED AS FILL AND ALL FILL SHALL BE PLACED AND COMPACTED AS SPECIFIED IN THE SOILS REPORT PREPARED FOR THIS SITE OR AS RECOMMENDED BY THE EXCEPTING THOSE ASSOCIATED WITH LANDSCAPE BERMING. ALL GRADING UNDER PROPOSED PAVING, AND ALL FILL AND COMPACTION SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL PROVIDE MINIMUM 4 FOOT BENCH AT EDGE OF PAVING IN FILL AREAS. MAXIMUM SLOPE OF BENCH SHALL BE 4% (1/4 IN PER FOOT).
- MAXIMUM SLOPE SHALL BE 2 HORIZONTALLY TO 1 VERTICALLY.
- CONTRACTOR SHALL PLACE 4" MINIMUM TOPSOIL IN LANDSCAPE AREAS.
- CONTRACTOR SHALL PLACE A WITNESS POST AT THE TERMINUS OF ALL UTILITY STUBS.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF 1 FOOT OF PROTECTIVE FILL OVER STORM DRAIN PIPES DURING CONSTRUCTION.

- ALL TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". ALL STREET AND REGULATORY SIGNS SHALL BE INSTALLED PRIOR TO INSTALLATION OF FINISHED PAVING.
- THE CONTRACTOR SHALL REPLACE ANY EXISTING BITUMINOUS PAVING OR SUB-BASE WHICH IS DAMAGED OR REMOVED DURING CONSTRUCTION. ALL EXCAVATED AREAS SHALL BE BACKFILLED AND IN ACCORDANCE WITH THE SOILS REPORT AND/OR AS DIRECTED BY GEOTECHNICAL ENGINEER. ANY AREAS TO BE PAVED WHICH EXHIBIT UNSTABLE SUBGRADE CONDITIONS SHALL BE EXCAVATED TO BEARING SOIL, REFILLED AND COMPACTED.
- IN AN AREA WHERE EXCAVATION IS NEEDED WITHIN THE ROAD RIGHT-OF-WAY, EXCAVATION MUST BE MADE WITHIN ONE (1) FOOT OF THE FINAL SUBGRADE.
- WHERE FILL IS PROPOSED WITHIN THE ROAD RIGHT-OF-WAY, THE FILL SHALL BE A MINIMUM OF TWO (2) FEET BELOW THE FINAL ROAD SUBGRADE.
- ALL LIGHTING TO COMPLY WITH ZONING REGULATION SPECIFICATIONS SECTION 134 OUTDOOR LIGHTING.
- ALL STORM DRAINS TO BE RCCP OR HDPE UNLESS OTHERWISE NOTED.
- STORMWATER MANAGEMENT IS EXISTING PER PRIOR SITE DEVELOPMENT PLAN SDP 79-116-C. A STORMCEPTOR WILL BE INSTALLED FOR WATER QUALITY AND WILL BE PRIVATELY MAINTAINED.
- THERE ARE NO CEMETERIES OR BURIAL GROUND LOCATED ON THIS SITE.
- THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1202 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE OF SECTIONS 16.1202b1 (1v) WHICH APPLIES TO THE PORTION OF THE PROPERTY ZONED NEW TOWN; AND SECTION 16.1202b1 (111) BECAUSE THIS PLAN DOES NOT EXPAND THE LIMIT OF DISTURBANCE FROM THE PREVIOUS SITE PLAN FOR THE M-1 ZONED PORTION OF THE PROPERTY.
- The Planning Board approved a reduction of the required parking setback from 25' to 22' along Berger Road and Oakland Mills Road, as shown hereon.

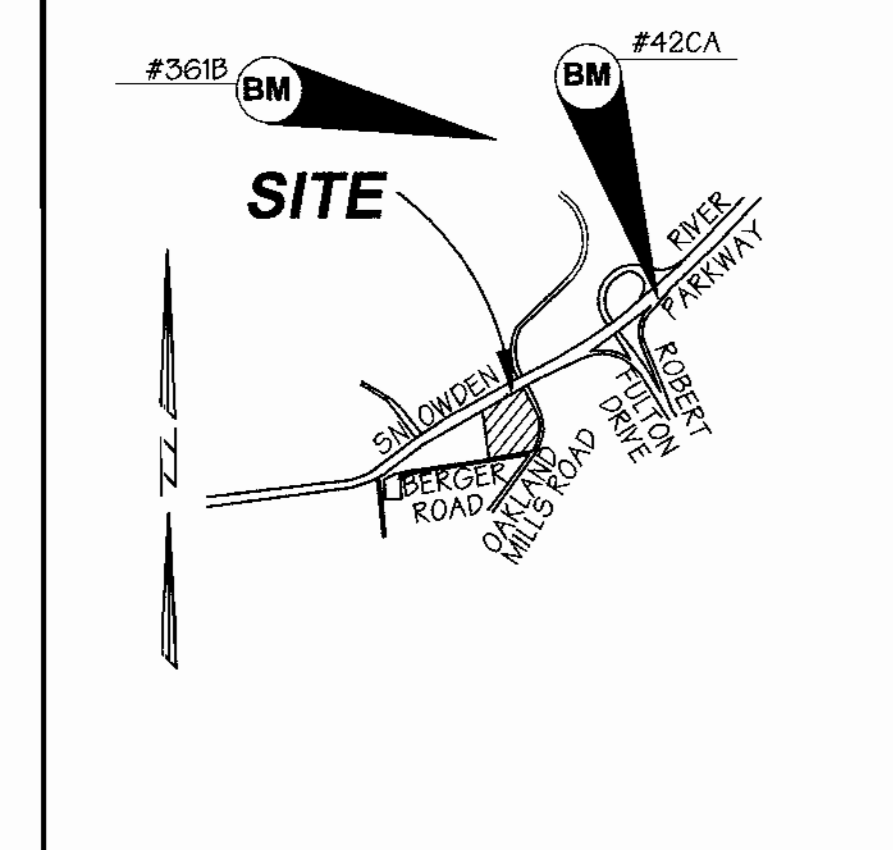
**Site Data**

- TOTAL AREA PARCEL 'A' = 288,799.04 SQ.FT. OR 6.584 AC. +/-
- TOTAL LIMIT OF SUBMISSION = 118,919 SQ. FT. OR 2.73 AC.
- EXISTING ZONING = NEW TOWN - EMPLOYMENT CENTER INDUSTRIAL ; AND M-1
- PROPERTY REFERENCE = LIBER 5260 FOLIO 0337
- EXISTING USE = EXISTING OFFICE / WAREHOUSE BUILDING 'B'
- PROPOSED USE = NEW OFFICE / WAREHOUSE BUILDING 'A'
- BUILDING COVERAGE = PROP. 29,241.64 S.F. OR 0.67 AC. BUILDING 'A', BUILDING 'A' AND 'B' 74,801.64 SQ. FT. OR 1.72 AC.
- % OF BUILDING COVERAGE = PROP. 10 % BUILDING 'A', BUILDINGS 'A' AND 'B' 26%
- FLOOR AREA = 29,241.64 S.F. OR 0.67 AC. BUILDING 'A', BUILDINGS 'A' AND 'B' 74,801.64 SQ. FT. OR 1.72 AC.
- FLOOR AREA RATIO = 28% FOR BUILDING 'A' AND BUILDING 'B'
- AREA TO BE PAVED PLUS BUILDING AREA = 65,261 FT. OR 1.49 AC. (LIMIT OF SUBMITTAL)
- OPEN SPACE = 0.00
- TOTAL AREA OF PARKING LOT = 29,621 SQ. FT. OR 0.68 AC. (LIMIT OF PROPOSED SUBMITTAL)
- % OF PARKING LOT COVERAGE = 24 % (LIMIT OF SUBMITTAL)
- NUMBER OF PARKING SPACES REQUIRED = BUILDING 'A' ONLY 59
- NUMBER OF PARKING SPACES PROVIDED = BUILDING 'A' ONLY 127 (INCLUDING 5 HANDICAPPED)
- AREA TO BE VEGETATED / LIMIT OF SUBMITTAL = 118,919 SQ. FT. OR 2.73 ACRES
- AREA TO BE VEGETATIVELY STABILIZED = 20,909 SQ. FT. OR 0.48 AC.

**BENCHMARKS**

**BENCHMARK #42CA**  
 AKA- N/A HOWARD COUNTY GEODETIC CONTROL  
 NAD 27  
 APPROXIMATE  
 N 490,946.9 E 850,088.1  
 NAD 83  
 N 551,695.745 E 1,362,506.381  
 ELEVATION = 377.179'

**BENCHMARK #361B**  
 AKA- N/A HOWARD COUNTY GEODETIC CONTROL  
 NAD 27  
 APPROXIMATE  
 N 492,599.8 E 848,386.1  
 NAD 83  
 N 553,348.652 E 1,364,085.211  
 ELEVATION = 386.377'



**Location Map**  
 SCALE 1" = 2,000'

# Site Development Plans for Village of Owen Brown Section 2, Area 3, Parcel A Owen Brown Business Center Howard County, Maryland SDP 01-087

**Index of Sheets**

- SHEET NO. 1 - COVER SHEET
- SHEET NO. 2 - EXISTING CONDITIONS PLAN
- SHEET NO. 3 - SITE PLAN
- SHEET NO. 4 - SITE PLAN DETAILS
- SHEET NO. 5 - DRAINAGE AREA MAP AND PROFILES
- SHEET NO. 6 - STORMCEPTER PLAN & DETAILS
- SHEET NO. 7 - SEDIMENT EROSION CONTROL PLAN
- SHEET NO. 8 - SEDIMENT EROSION CONTROL DETAILS & NOTES
- SHEET NO. 9 - LANDSCAPE PLAN & DETAILS

**Parking Tabulation**

**PARKING REQUIRED:**  
 PROPOSED BUILDING 'A' TOTAL SQ. FT. 29,241.64  
 100% OFFICE = 29,241.64 SQ. FT. @ 2.0 SPACES/1,000 = 59 SPACES  
 TOTAL REQUIRED = 59 SPACES

**PARKING PROVIDED = 127 SPACES (INCLUDES 5 HANDICAPPED)**

**PARKING REQUIRED:**  
 EXISTING BUILDING 'B' TOTAL SQ. FT. 45,560  
 25% OFFICE = 11,390 SQ. FT. @ 2.0 SPACES/1,000 = 23 SPACES  
 75% WAREHOUSE = 34,170 SQ. FT. @ 2.0 SPACES/1,000 = 68 SPACES  
 TOTAL REQUIRED = 91 SPACES

**PARKING PROVIDED = 127 SPACES (INCLUDES 4 HANDICAPPED)**

May 16, 2001

Reviewed for Howard SCD and meets Technical Requirements

*Jim Myers* 6/22/01  
 USDA NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

*John R. Robertson* 6/22/01  
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Howard County Department of Planning and Zoning

*Wanda Dammann* 7/5/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Candy Starnitz* 7/9/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Franklin J. DeCarroll* 7/6/01  
 DIRECTOR DATE

PREPARED BY:

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
 Civil Engineers and Land Surveyors

1020 Cromwell Bridge Road  
 Towson, Maryland 21286  
 (410) 825-8120



NOTE: The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

PREVIOUS FILE #'S: SDP 79-116-C, F 73-60, FDP 118-A-1, PART 111

**OWNER / DEVELOPER**  
 9200 BERGER BUSINESS TRUST  
 C/O  
 BAVAR PROPERTIES GROUP, L.L.C.  
 1986 GREENSPRING DRIVE SUITE # 508  
 TIMONIUM, MARYLAND 21093  
 410-560-0300

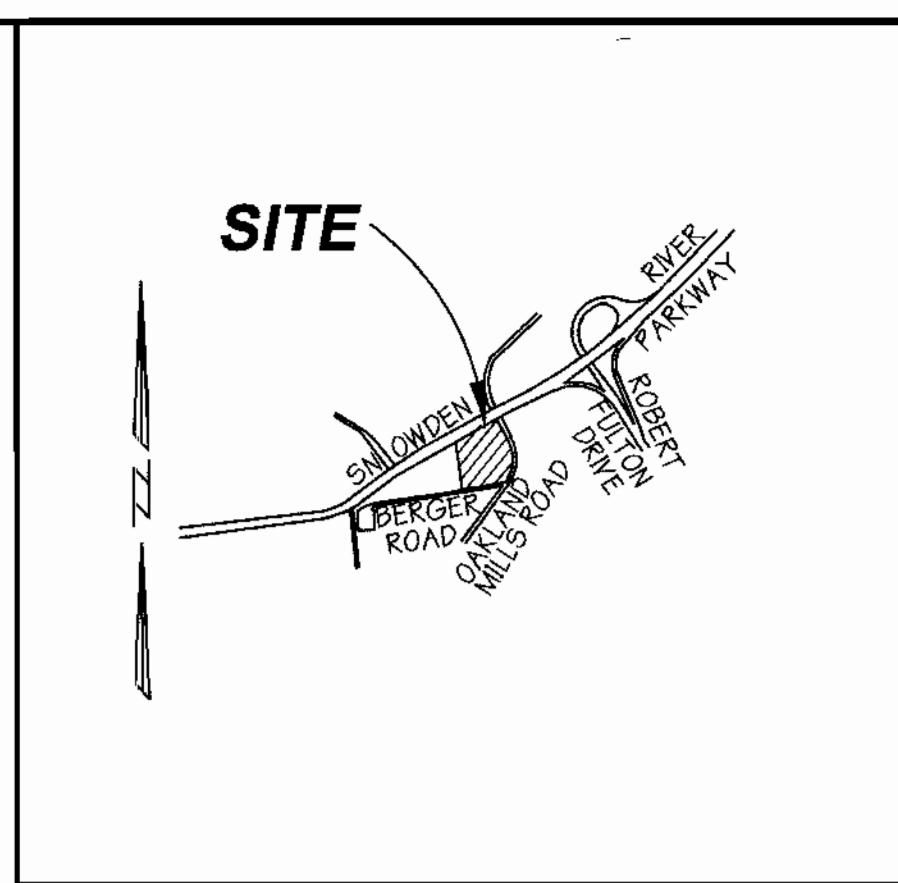
**DESIGNED BY: P.R.C.**  
 DRAWN BY: K.E.  
 CHECKED BY: P.R.C.

REVISIONS  
 Δ REVISED BUILDING 'A' TO 100% OFFICE & REUSED PARKING TABULATION BY G.W.S. DATED 10/02/01

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
A	BUILDING 'A' 9204 BERGER ROAD
A	EXISTING BUILDING 'B' 9200 BERGER ROAD
SUBDIVISION NAME	SECTION NAME
Village of Owen Brown	Section 2, Area 3
PARCEL #	A
PLAT #	BLOCK #
P.B. 25 F. 26	5
ZONE	TAX MAP
NT / M-1	42
ELECT. DIST.	CENSUS TRACT
6	6069.01
WATER CODE	SEWER CODE
E 12	5241400

**Cover Sheet**  
**VILLAGE OF OWEN BROWN**  
**SECTION 2, AREA 3, PARCEL A**  
**OWEN BROWN BUSINESS CENTER**  
 ELECTION DISTRICT : 6 SCALE : As Shown  
 HOWARD CO., MARYLAND SHT. 1 OF 9 DATE : OCTOBER 23, 2000

VEHICULAR INGRESS/EGRESS RESTRICTION  
**SNOWDEN RIVER PARKWAY**  
 (INTERMEDIATE ARTERIAL ROADWAY - MAJOR COLLECTOR)  
 N 62°09'19" E 431.26'



**Location Map**  
 SCALE 1" = 2,000'

**EXIST. ONE STORY BRICK BUILDING 'B'**  
 45,560 Sq. Ft.  
 F.F. ELEV. 389.50

**Legend**

- Ex. 2' Contours
- Ex. 10' Contours
- Prop. 2' Contours
- Prop. 10' Contours
- Ex. Curb & Gutter
- Prop. Curb & Gutter
- Bldg. Restriction Line
- Ex. Sanitary
- Ex. Storm Drain
- Ex. Water
- Prop. Sanitary
- Prop. Storm Drain
- Prop. Water
- Prop. Sidewalk

OPEN SPACE  
 LOT 336  
 PETTICOAT HILL  
 LIMITED PARTNERSHIP  
 C/O PLAT & COMPANY, INC.  
 L 4653 F 0436  
 PLAT 25 / 26

EXIST. METER VAULT  
 3" FIRE SERVICE W/  
 2" DETECTOR CHECK &  
 2" DOMESTIC METER  
 W/ 3" DOMESTIC SERVICE

DATE  
 May 16, 2001

Reviewed for Howard SCD and meets Technical Requirements

*John Meyer* 6/22/01  
 UDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

*John R. Robertson* 6/22/01  
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Howard County Department of Planning and Zoning

*Chris Stranville* 7/9/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Frank S. Deagle* 7/10/01  
 DIRECTOR DATE

PREPARED BY:

**GWS**

**GEORGE W. STEPHENS, JR.  
 AND ASSOCIATES, INC.**  
 Civil Engineers and Land Surveyors  
 1020 Cromwell Bridge Road  
 Towson, Maryland 21286  
 (410) 825-8120



**PLAN**  
 SCALE: 1" = 30'

OWNER / DEVELOPER

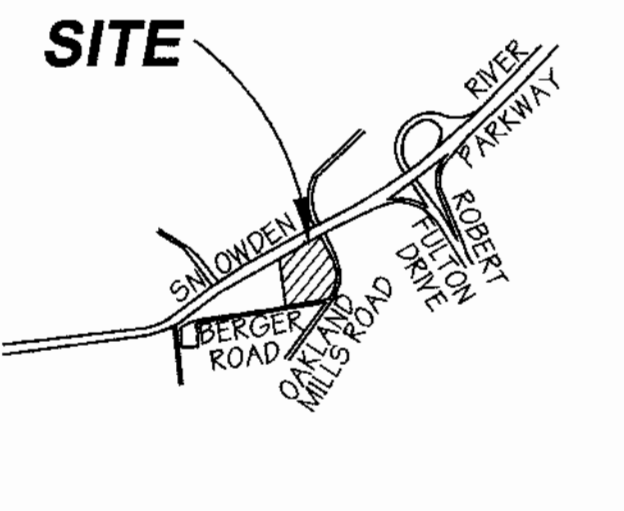
**9200 BERGER BUSINESS TRUST  
 C/O  
 BAVAR PROPERTIES GROUP, L.L.C.**  
 1966 GREENSPRING DRIVE SUITE # 508  
 TIMONIUM, MARYLAND 21093  
 410-560-0300

DESIGNED BY: P.R.C.  
 DRAWN BY: K.E.  
 CHECKED BY: P.R.C.  
 REVISIONS

ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
A	BUILDING 'A' 9204 BERGER ROAD				
A	EXISTING BUILDING 'B' 9200 BERGER ROAD				
SUBDIVISION NAME	SECTION NAME	PARCEL #			
Village of Owen Brown	Section 2, Area 3	A			
PLAT #	BLOCK #	ZONE	1/2" ZONE MAP	ELECT. DIST.	CENSUS TRACT
P.B. 25 F. 26	5	NT / M-A	42	6	6069.01
WATER CODE	E 12	SEWER CODE	5241400		

**Existing Conditions Plan**  
**VILLAGE OF OWEN BROWN**  
**SECTION 2, AREA 3, PARCEL A**  
**OWEN BROWN BUSINESS CENTER**  
 ELECTION DISTRICT: 6 SCALE: As Shown  
 HOWARD CO., MARYLAND SHT. 2 OF 9 DATE: OCTOBER 23, 2000

VEHICULAR INGRESS/EGRESS RESTRICTION  
**SNOWDEN RIVER PARKWAY**  
 (INTERMEDIATE ARTERIAL ROADWAY - MAJOR COLLECTOR)  
 N 62°09'19" E 431.26'



**Location Map**  
 SCALE 1" = 2,000'



- Legend**
- Ex. 2' Contours
  - Ex. 10' Contours
  - Prop. 2' Contours
  - Prop. 10' Contours
  - Ex. Curb & Gutter
  - Prop. Curb & Gutter
  - Bldg. Restriction Line
  - Ex. Sanitary
  - Ex. Storm Drain
  - Ex. Water
  - Prop. Sanitary
  - Prop. Storm Drain
  - Prop. Water
  - Prop. Sidewalk
  - Light Duty Paving
  - Intermediate Duty Paving
  - Prop. Parking Count
  - Prop. Handicapped Parking Space

**Typical Lighting Detail**

1. 400 W METAL HALIDE TYPE 3 OPTICS CUT OFF LUMINAIRE WITH SQUARE STRAIGHT ALUMINUM POLE (BRONZE FINISH) 277V 30' HIGH POLE
2. SINGLE 250 W METAL HALIDE TYPE 3 OPTICS CUT OFF LUMINAIRE WITH WALL BRACKET AND (BRONZE FINISH) 277V MOUNTED TO BUILDING 15' ABOVE FINISHED FLOOR
3. SINGLE 400 W METAL HALIDE WALL PACK WITH DIE CAST ALUMINUM HOUSING (DARK BRONZE FINISH) AND TEMPERED GLASS REFRACTOR 277V MOUNTED TO BUILDING 22' ABOVE GRADE

OPEN SPACE  
 LOT 336  
 PETTICOAT HILL  
 LIMITED PARTNERSHIP  
 C/O FLAT & COMPANY, INC.  
 L 4633 F 0435  
 PLAT 25/26

**Typical Lighting Detail**

LIMIT OF SUBMITTAL

Reviewed for Howard SCD and meets Technical Requirements

*Jim M. ...* 6/12/01  
 USA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

*John R. ...* 6/12/01  
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Howard County Department of Planning and Zoning

*...* 7/5/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*...* 7/19/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*...* 7/30/01  
 DIRECTOR DATE

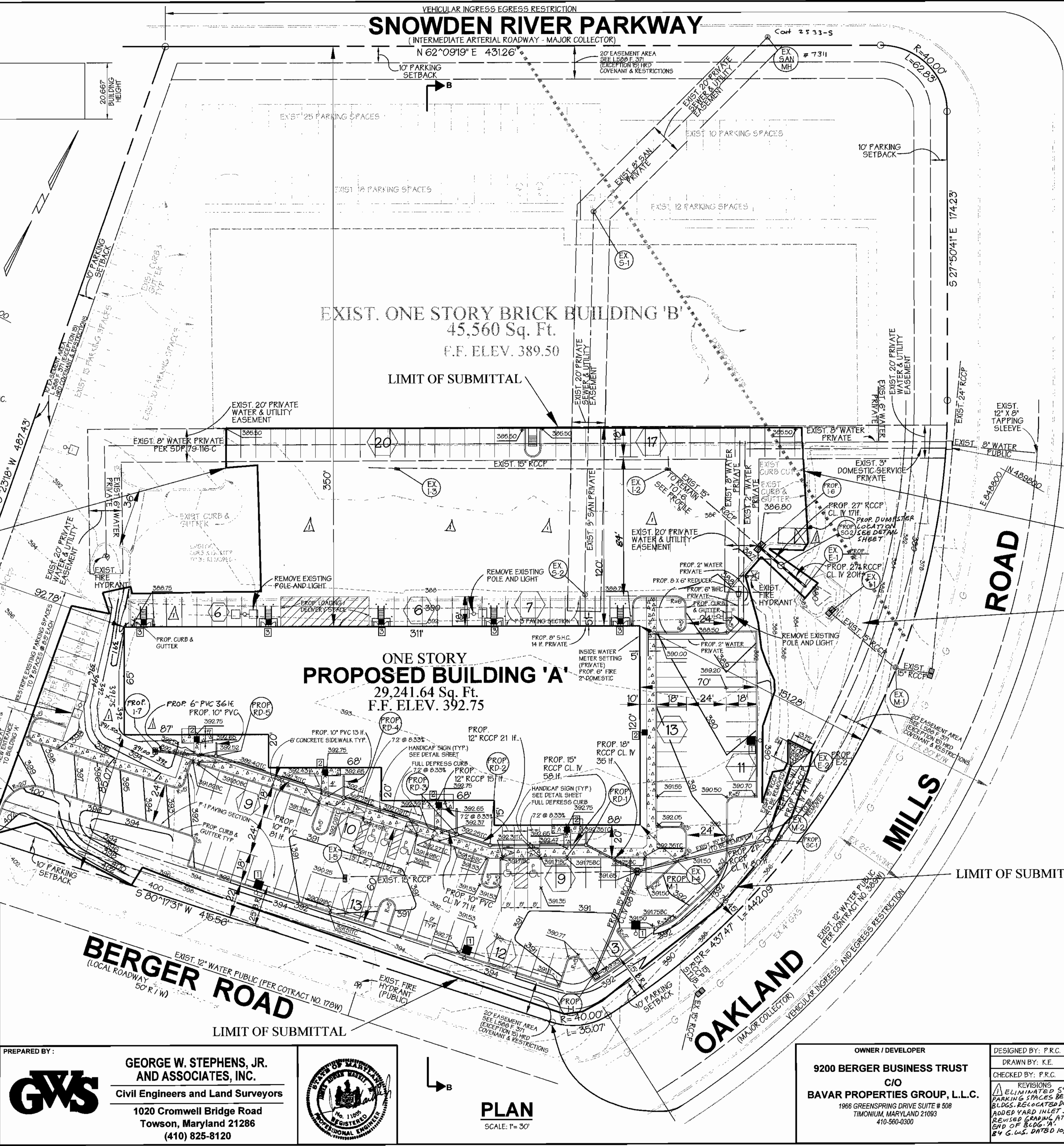
PREPARED BY:

**GWS**

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
 Civil Engineers and Land Surveyors  
 1020 Cromwell Bridge Road  
 Towson, Maryland 21286  
 (410) 825-8120



**PLAN**  
 SCALE: 1" = 30'



LIMIT OF SUBMITTAL

NOTE: STORMWATER MANAGEMENT POND IS EXISTING PER PRIOR APPROVED SITE DEVELOPMENT PLANS SDP 79-116-C

APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE **May 16, 2001**

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
A	BUILDING 'A' 9204 BERGER ROAD
A	EXISTING BUILDING 'B' 9200 BERGER ROAD

SUBDIVISION NAME	SECTION NAME	PARCEL #
Village of Owen Brown	Section 2, Area 3	A

PLAT #	BLOCK #	ZONE	TAX / ZONE MAP	ELECT. DIST.	CENSUS TRACT
P.B. 25 F. 26	5	NT / M-1	42	6	6069 01

WATER CODE	SEWER CODE
E 12	5241400

**Site Plan**  
**VILLAGE OF OWEN BROWN**  
**SECTION 2, AREA 3, PARCEL A**  
**OWEN BROWN BUSINESS CENTER**

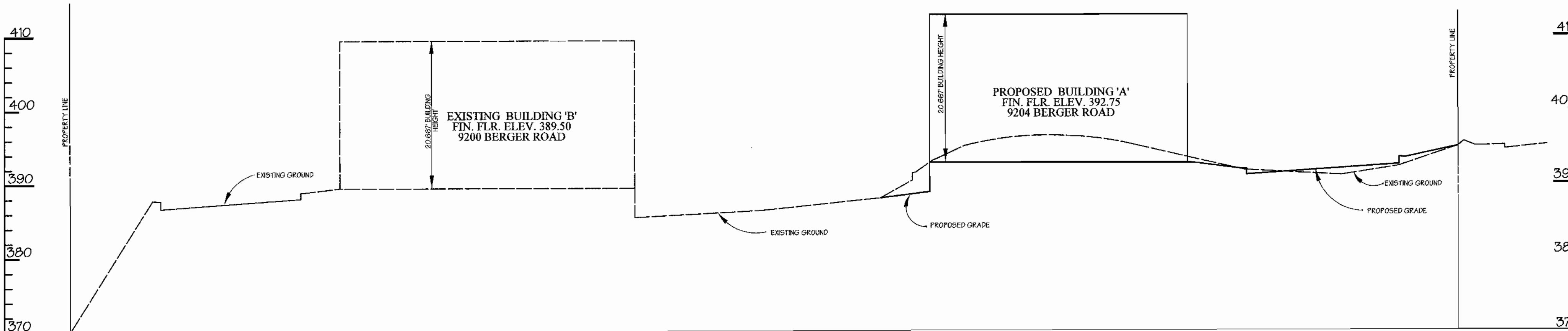
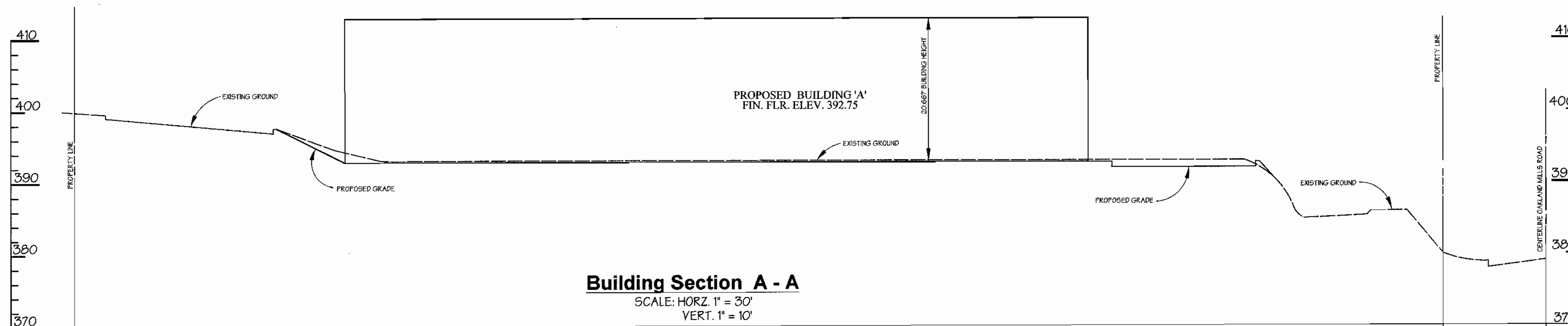
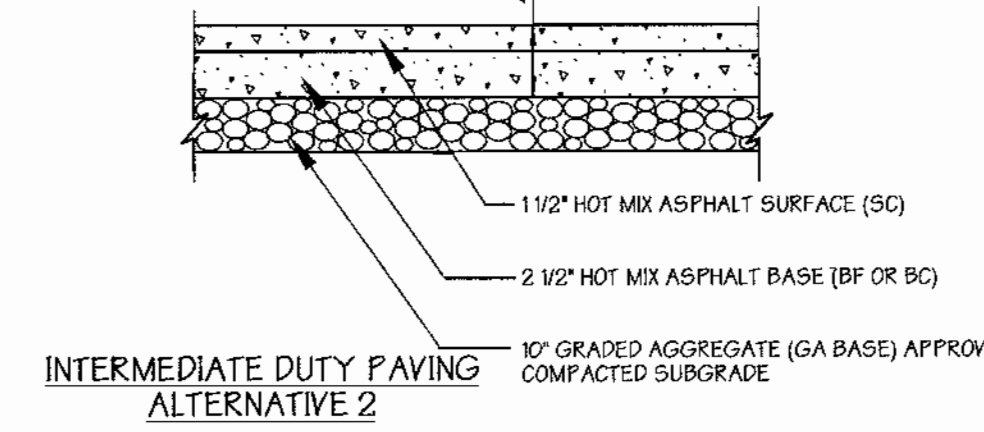
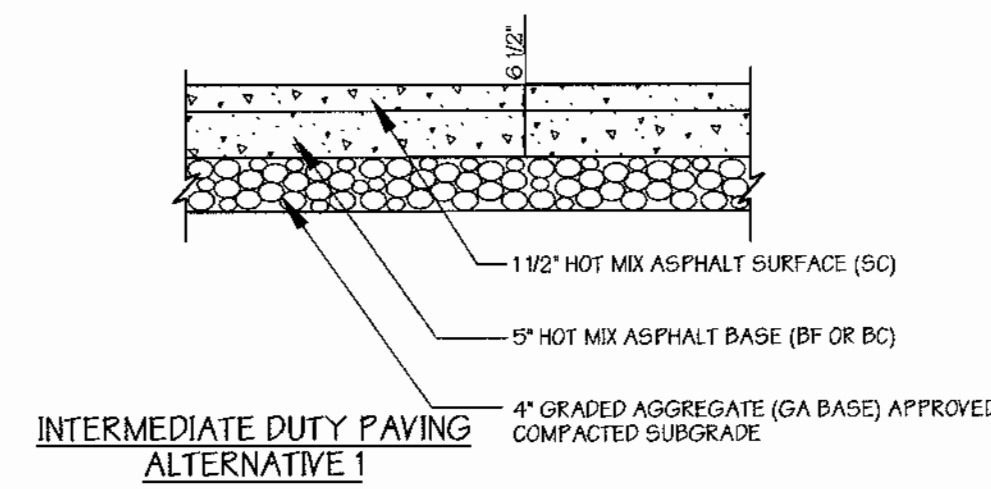
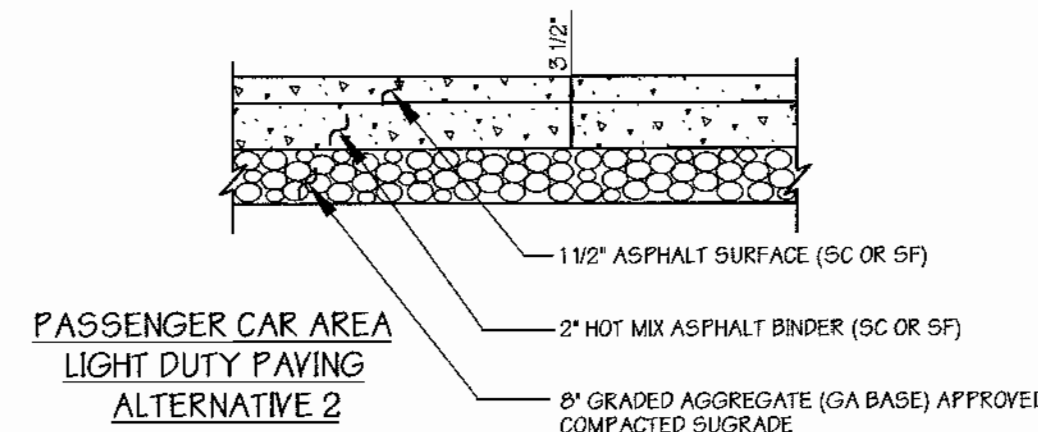
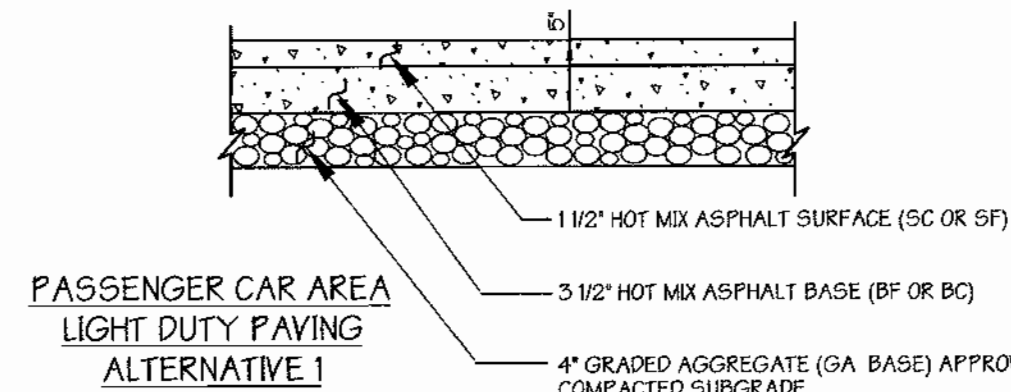
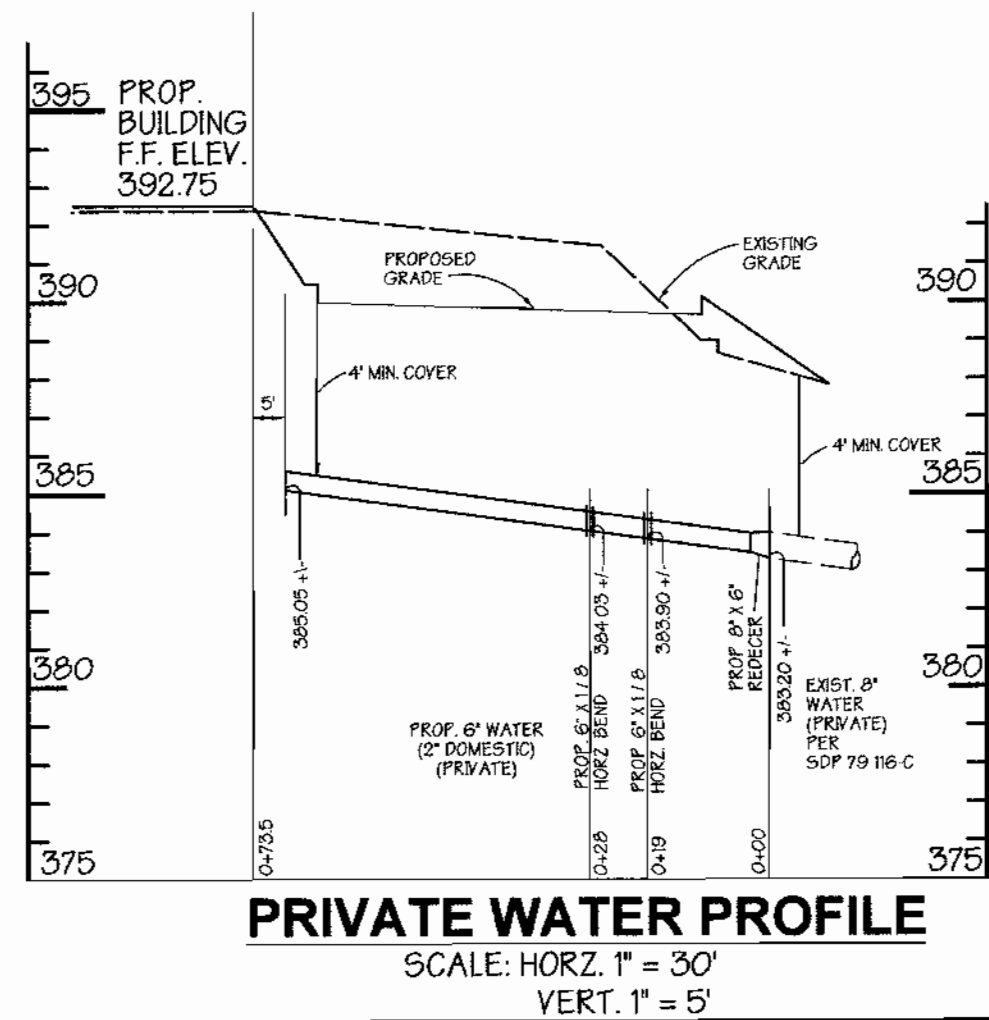
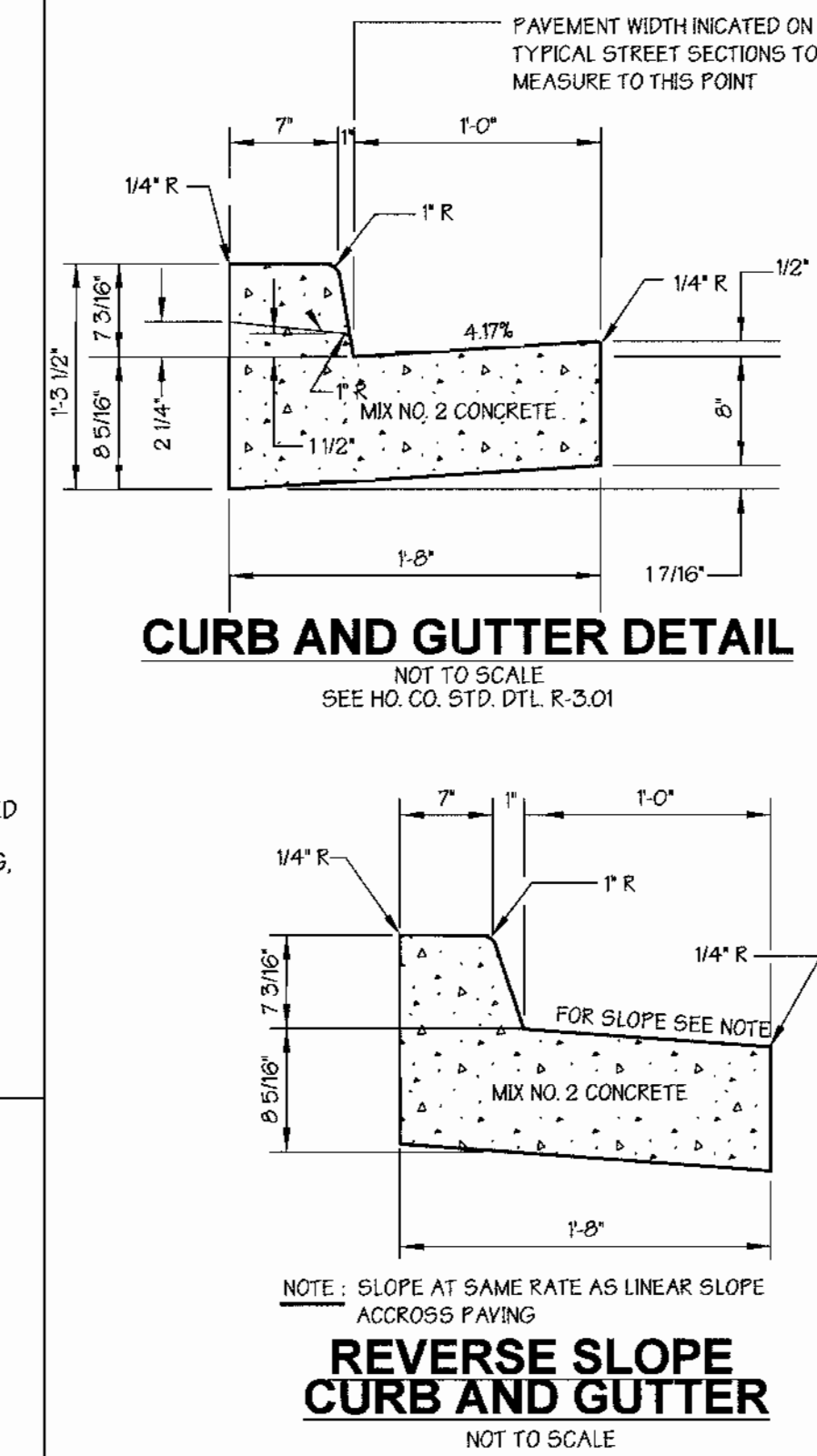
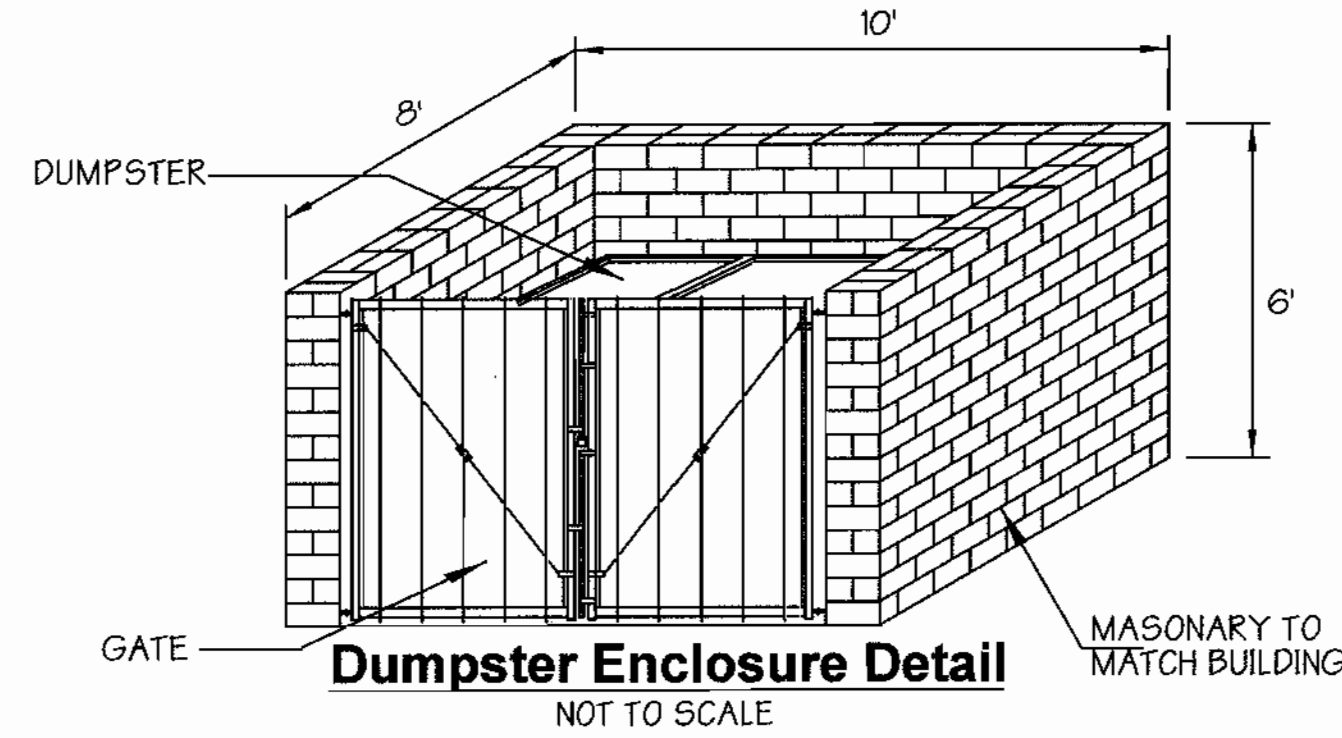
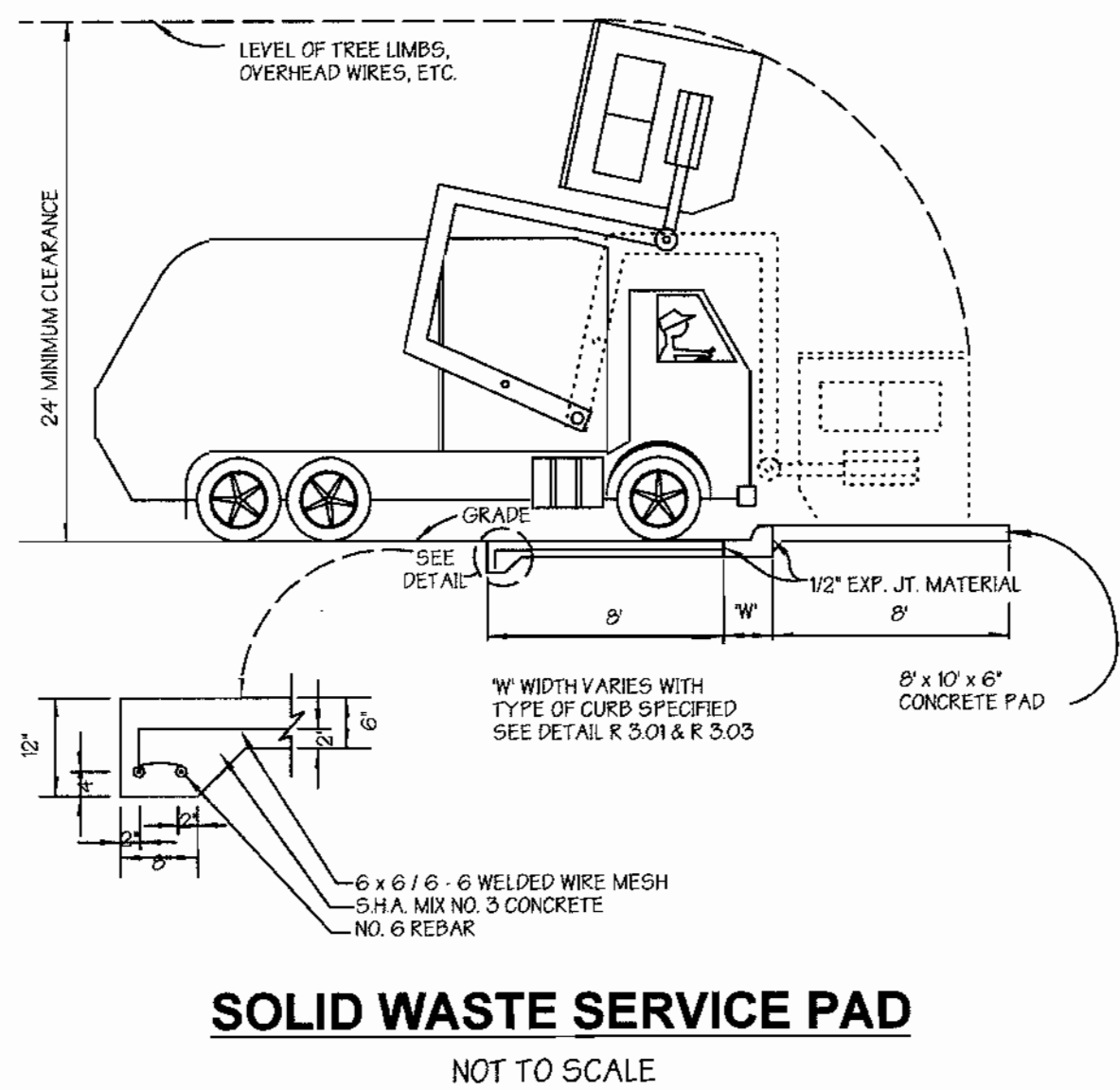
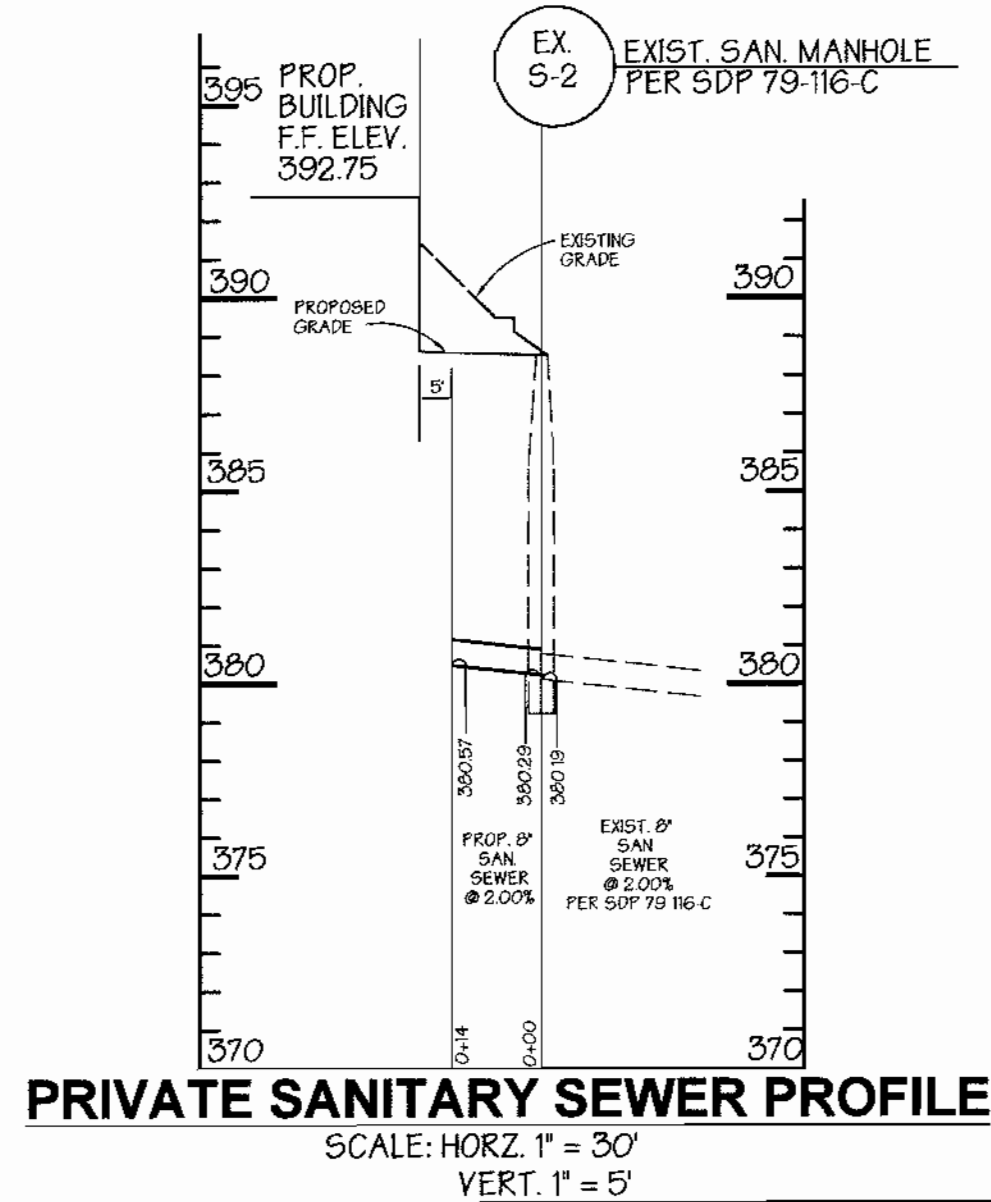
ELECTION DISTRICT: 6  
 HOWARD CO., MARYLAND SHT. 3 OF 9 DATE: OCTOBER 23, 2000

SCALE: As Shown

OWNER / DEVELOPER  
**9200 BERGER BUSINESS TRUST**  
 C/O  
**BAVAR PROPERTIES GROUP, L.L.C.**  
 1966 GREENSPRING DRIVE SUITE # 508  
 TIMONUM, MARYLAND 21093  
 410-560-0300

DESIGNED BY: P.R.C.  
 DRAWN BY: K.E.  
 CHECKED BY: P.R.C.

REVISIONS  
 59  
 ELIMINATED 59  
 PARKING SPACES BETWEEN  
 BLDGS. RELOCATED DUMPSTER  
 ADDED YARD INLET 23'S  
 REVISED GRADING AT WEST  
 END OF BLDG. 'A'  
 BY G.W.S. DATED 10/02/01



APPROVED FOR THE VILLAGE OF OWEN BROWN  
DATE: May 16, 2001

Reviewed for Howard SCD and meets Technical Requirements  
*Jim Myers* 6/22/01  
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

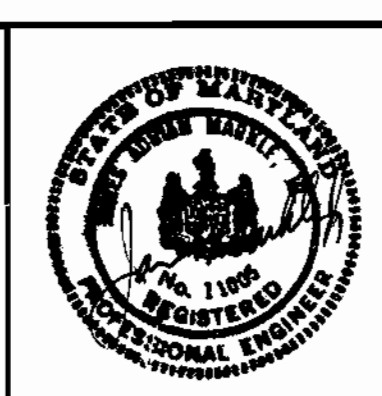
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*John R. Roberts* 6/22/01  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Howard County Department of Planning and Zoning  
*John R. Roberts* 7/6/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Conrad Stender* 7/9/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Frank W. D. Lytle* 7/11/01  
DIRECTOR DATE

PREPARED BY:  
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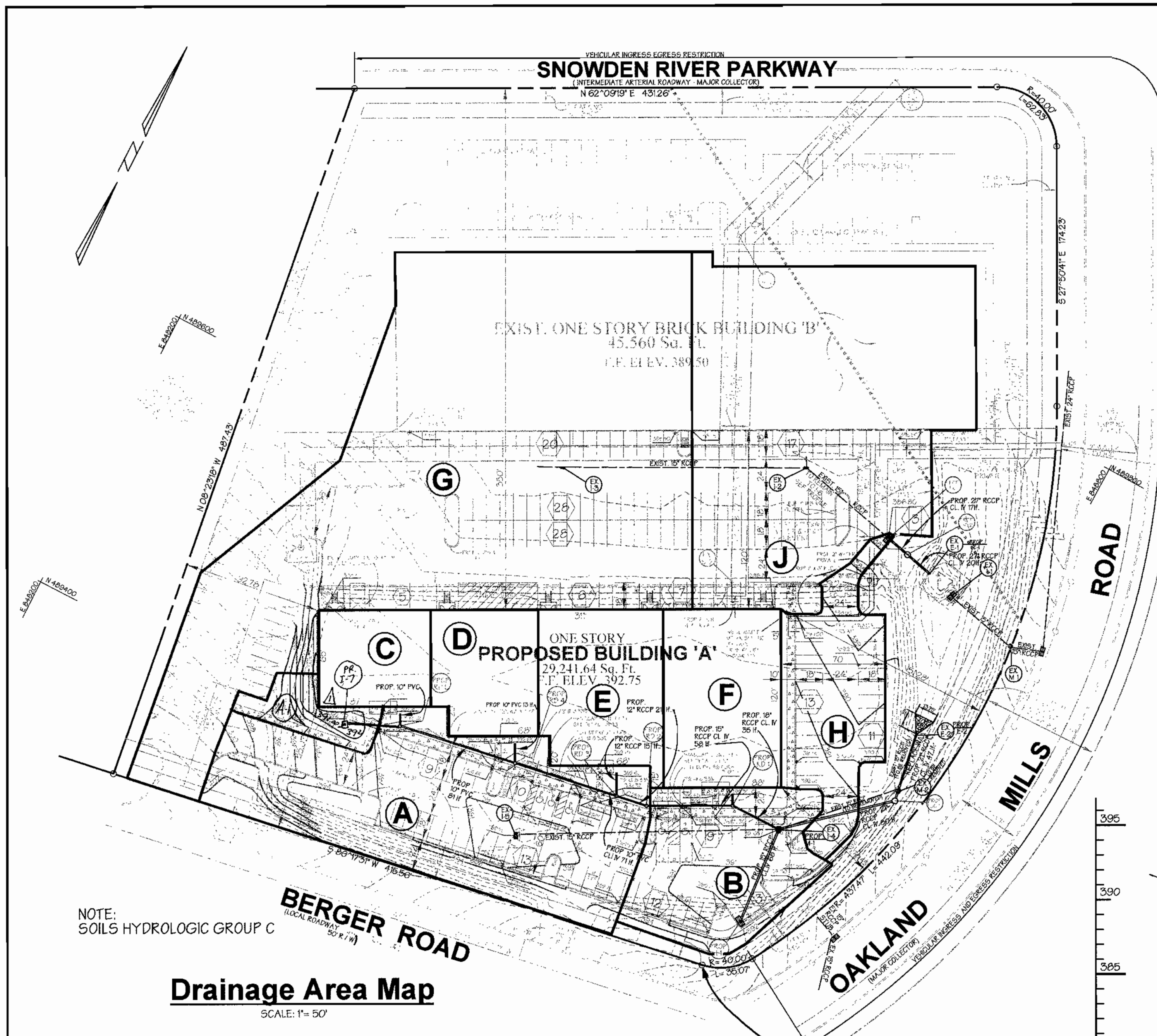


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PARCEL NO.	STREET ADDRESS				
A	BUILDING 'A' 9204 BERGER ROAD				
A	EXISTING BUILDING 'B' 9200 BERGER ROAD				
SUBDIVISION NAME	SECTION NAME	PARCEL #			
Village of Owen Brown	Section 2, Area 3	A			
PLAT #	BLOCK #	ZONE	TAX MAP	ELECT. DIST.	CENSUS TRACT
P.B. 25 F. 26	5	NT / M-1	42	6	6069.01
WATER CODE	SEWER CODE				
E 12	5241400				

**Site Plan Details**  
**VILLAGE OF OWEN BROWN**  
**SECTION 2, AREA 3, PARCEL A**  
**OWEN BROWN BUSINESS CENTER**  
ELECTION DISTRICT: 6 SCALE: As Shown  
HOWARD CO., MARYLAND SHT. 4 of 9 DATE: OCTOBER 23, 2000



**Drainage Area Map**  
SCALE: 1" = 50'

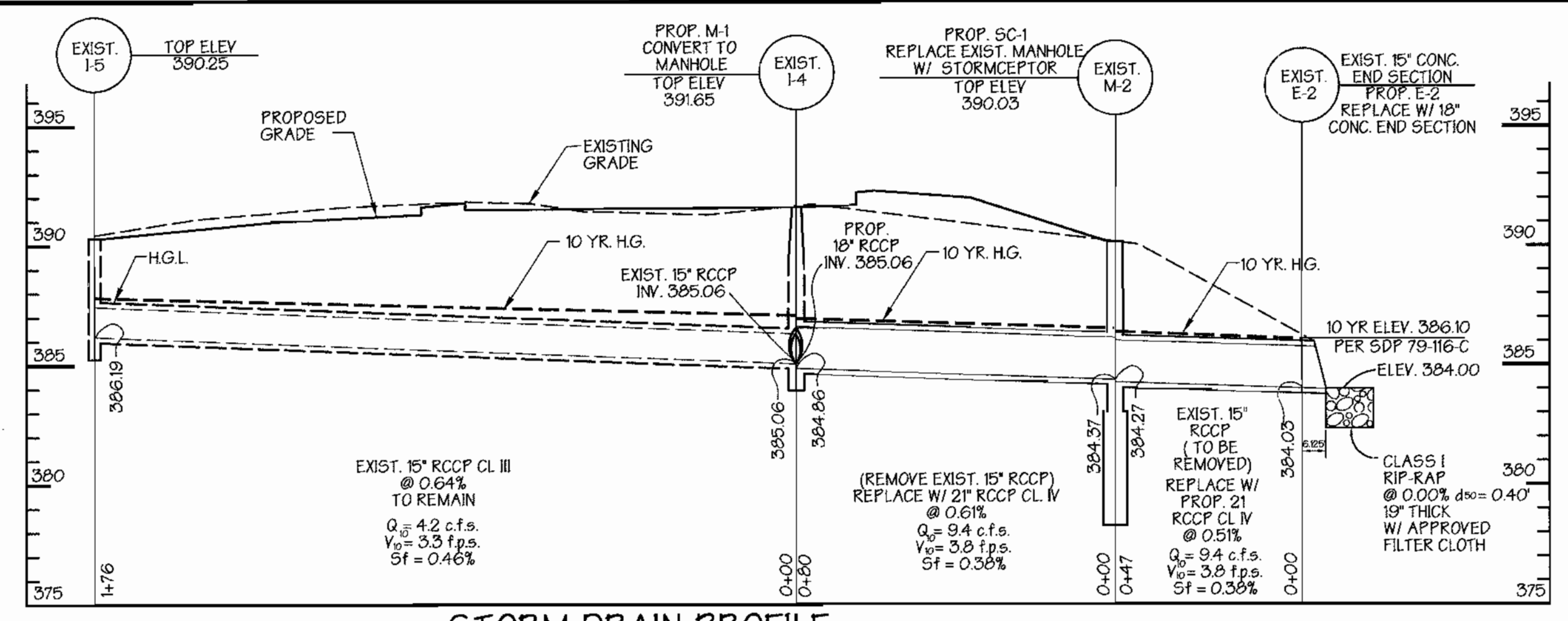
AREA	ACREAGE	'C'	% IMP.
(A-J)	0.08	0.42	25.2%
(A)	0.67	0.60	50.74%
(B)	0.26	0.68	61.54%
(C)	0.11	0.96	100%
(D)	0.16	0.96	100%
(E)	0.19	0.96	100%
(F)	0.21	0.96	100%
(G)	1.53	0.92	94.77%
(H)	0.24	0.93	95.83%
(J)	0.86	0.96	98.85%

INLET SCHEDULE						
NO.	TYPE	TOP ELEV.	INV. IN	INV. OUT	Qc.f.s.	HO. CO. DTL.
I-1	SINGLE '5'	389.93		386.19	2.2	SD 4.32
EX I-5	TYPE '5'	390.25		386.19	4.2	SD 4.22
I-6	SINGLE '5'	386.80	379.91	379.88	2.4	SD 4.32
I-7	NA	391.00		388.29	0.2	SD 4.14

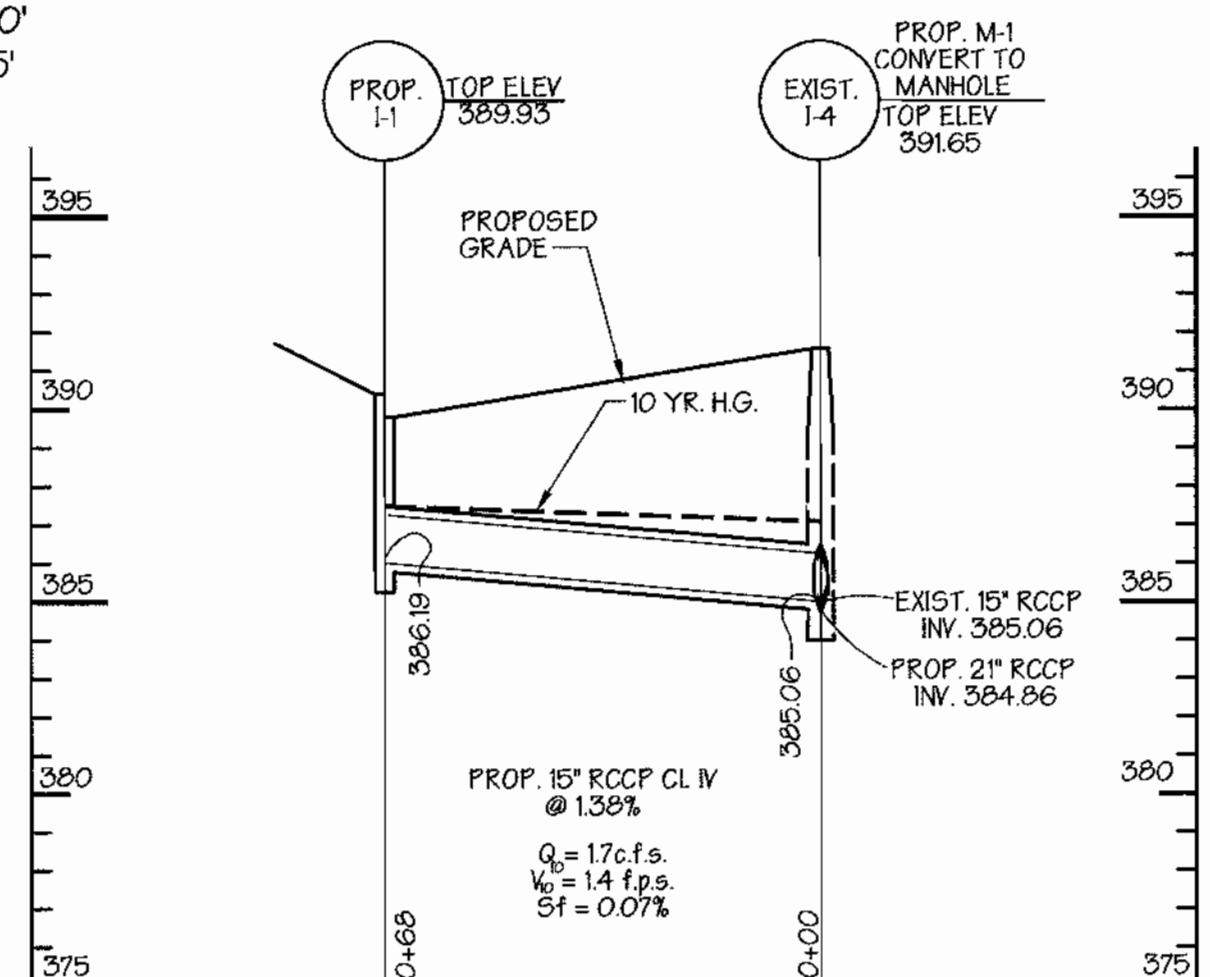
STRUCTURE SCHEDULE					
NO.	TYPE	TOP ELEV.	INV. IN	INV. OUT	HO. CO. DTL.
PROP. M-1 (EX-I-4)	STD. BRICK MANHOLE	391.65	385.06	384.86	G5.01
PROP. SC-1	STC 1800	390.03	384.37	384.27	SEE STORMCEPTOR DETAIL SHEET FOR DETAILS SEE SHEET 6 OF 9
PROP. SC-2	STC 3600	386.70	379.795	379.695	SEE STORMCEPTOR DETAIL SHEET FOR DETAILS SEE SHEET 6 OF 9
PROP. E-1 (EX-E-1)	27" CONC. END SECTION			379.60	SD 5.51
PROP. E-2 (EX-E-2)	21" CONC. END SECTION			384.03	SD 5.51

- \* CONVERT EXISTING I-4 (SINGLE '5' COMB. INLET) TO MANHOLE
- \*\* REMOVE EXISTING M-2 AND REPLACE WITH STORMCEPTOR (STC-2400)
- \*\*\* REMOVE EXISTING 15" CONCRETE END SECTION AND REPLACE WITH 21" OR 27" CONC. END SECTION

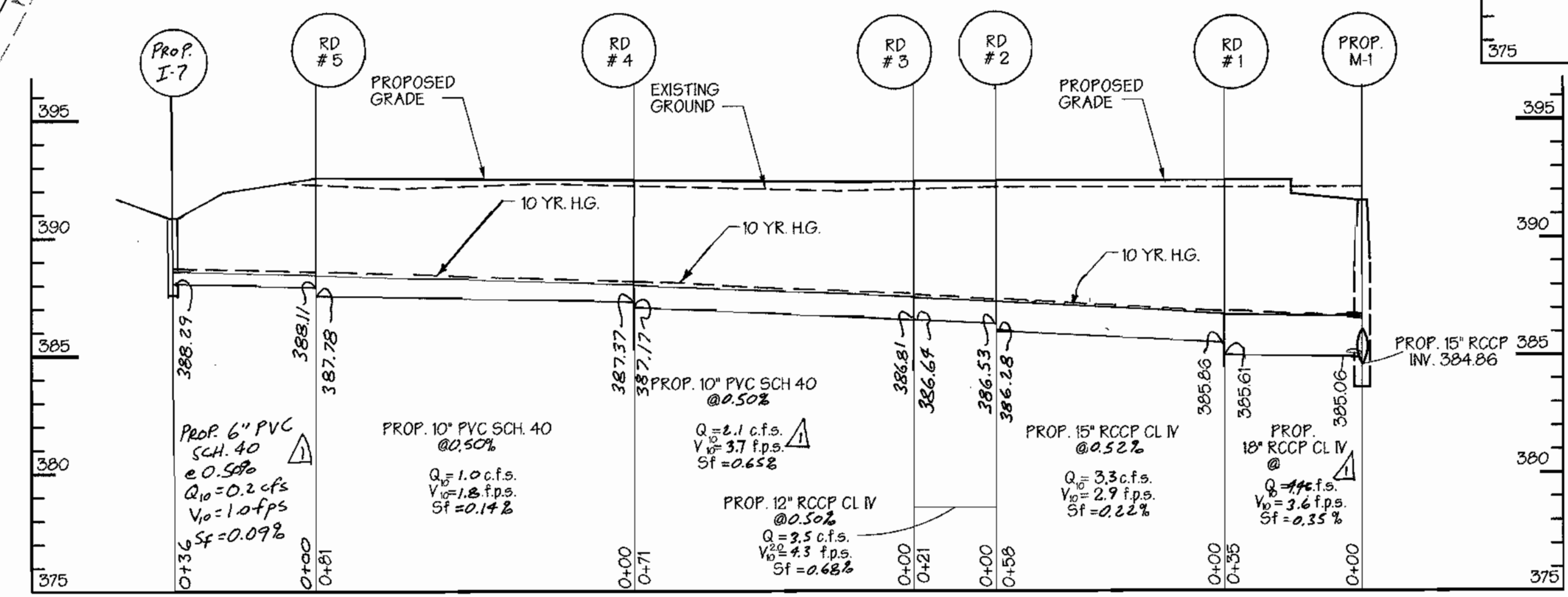
PREPARED BY:  
**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
1020 Cromwell Bridge Road  
Towson, Maryland 21286  
(410) 825-8120



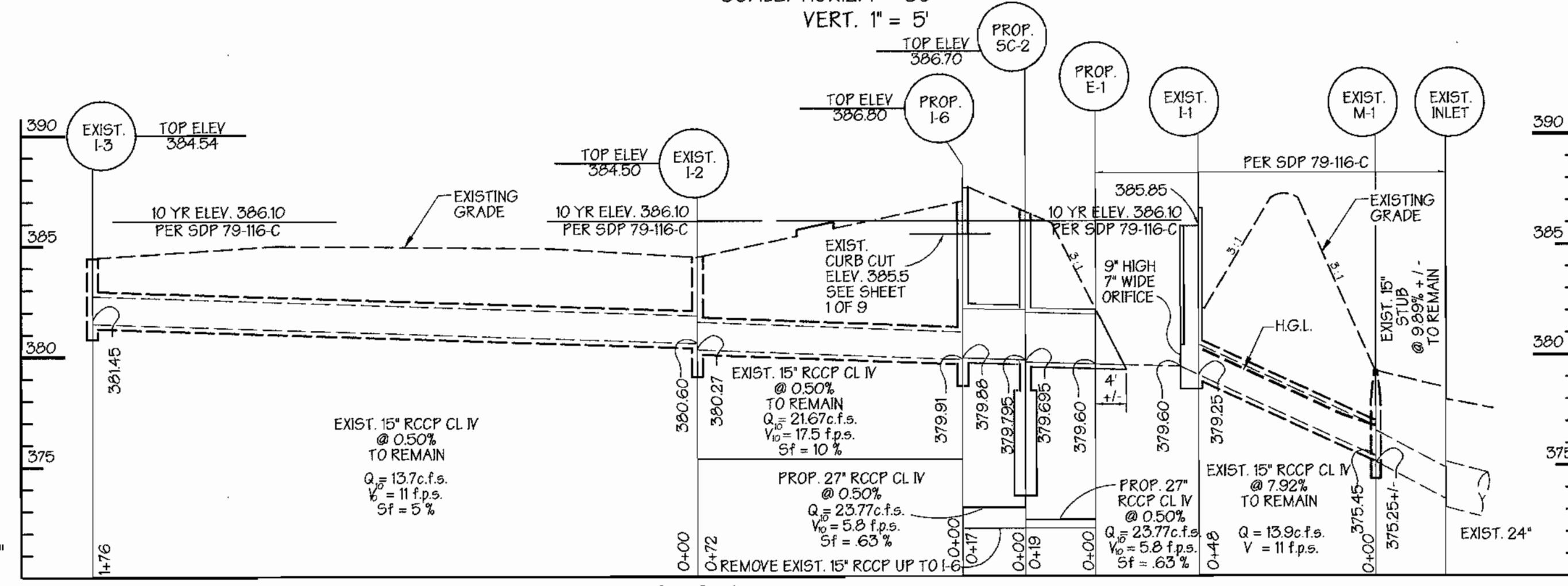
**STORM DRAIN PROFILE**  
SCALE: HORIZ. 1" = 30'  
VERT. 1" = 5'



**STORM DRAIN PROFILE**  
SCALE: HORIZ. 1" = 30'  
VERT. 1" = 5'



**STORM DRAIN PROFILE**  
SCALE: HORIZ. 1" = 30'  
VERT. 1" = 5'



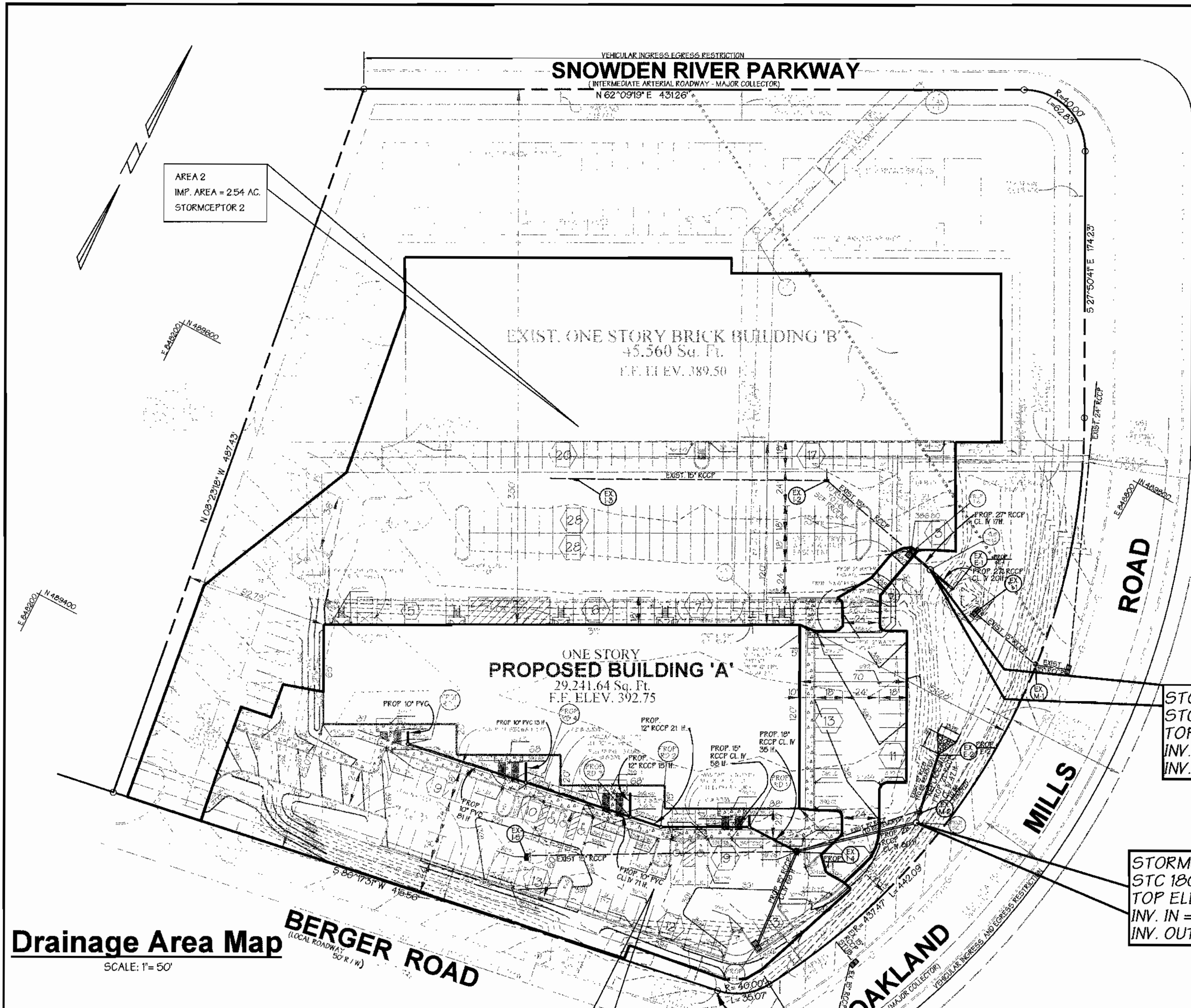
**STORM DRAIN PROFILE**  
SCALE: HORIZ. 1" = 30'  
VERT. 1" = 5'

APPROVED  
DATE **May 16, 2001**

Reviewed for Howard SCD and meets Technical Requirements  
**Jim Myers** 6/22/01  
USDA NATURAL RESOURCES CONSERVATION SERVICE DATE  
This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District  
**John K. Roberts** 6/22/01  
HOWARD SOIL CONSERVATION DISTRICT DATE  
APPROVED: Howard County Department of Planning and Zoning  
**Chris Demas** 7/5/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
**Candy Hamilton** 7/9/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
**Barbara S. DeLoe** 7/10/01  
DIRECTOR DATE

ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
A	BUILDING 'A' 9204 BERGER ROAD				
A	EXISTING BUILDING 'B' 9200 BERGER ROAD				
SUBDIVISION NAME	SECTION NAME	PARCEL #			
Village of Owen Brown	Section 2, Area 3	A			
PLAT #	BLOCK #	ZONE	TAX MAP	ELECT. DIST.	CENSUS TRACT
P.B. 25 F. 26	5	NT/M-1	42	6	608901
WATER CODE E 12		SEWER CODE 5241400			

**Drainage Area Map and Storm Drain Profiles**  
**VILLAGE OF OWEN BROWN**  
**SECTION 2, AREA 3, PARCEL A**  
**OWEN BROWN BUSINESS CENTER**  
ELECTION DISTRICT: 6 SCALE: As Shown  
HOWARD CO., MARYLAND SHT. 5 OF 9 DATE: OCTOBER 23, 2000



**Drainage Area Map**  
SCALE: 1" = 50'

- OPERATIONS AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE**
1. THE STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE PERIODICALLY INSPECTED AND CLEANED TO MAINTAIN OPERATION AND FUNCTION. THEN OWNER SHALL INSPECT THE STORMCEPTOR UNIT YEARLY AT A MINIMUM UTILIZING THE STORMCEPTOR INSPECTION/MONITORING FORM. INSPECTION SHALL BE DONE BY USING A CLEAR PLEXIGLASS TUBE ("BLUDGE JUDGE") TO EXTRACT A WATER COLUMN SAMPLE. WHEN THE SEDIMENT DEPTS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMCEPTOR TECHNICAL MANUAL, THE UNIT MUST BE CLEANED.
  2. THE STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE CHECKED AND CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES.
  3. THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN THE UNIT. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED BY THE OWNER.
  4. THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX MONTHS. IF OBSTRUCTIONS ARE FOUND THE OWNER SHALL HAVE THEM REMOVED. STRUCTURAL PARTS OF THE STORMCEPTOR UNIT SHALL BE REPAIRED AS NEEDED.
  5. THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE FOR THE HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.

Reviewed for Howard SCD and meets Technical Requirements  
*Jim Myers* 6/22/01  
USDA NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District  
*John R. Robertson* 6/22/01  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Howard County Department of Planning and Zoning  
*Cheryl Stantner* 7/5/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*Cheryl Stantner* 7/9/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
*James S. DeLoyle* 7/11/01  
DIRECTOR DATE

**DEVELOPER CERTIFICATION:**  
"I/We certify that all development and/or construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspections by the Howard Soil Conservation District."  
Signature of Developer: *Robert A. Bous* Date: 12/12/00  
Print Name: Robert A. Bous

PREPARED BY:  
**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
1020 Cromwell Bridge Road  
Towson, Maryland 21286  
(410) 825-8120



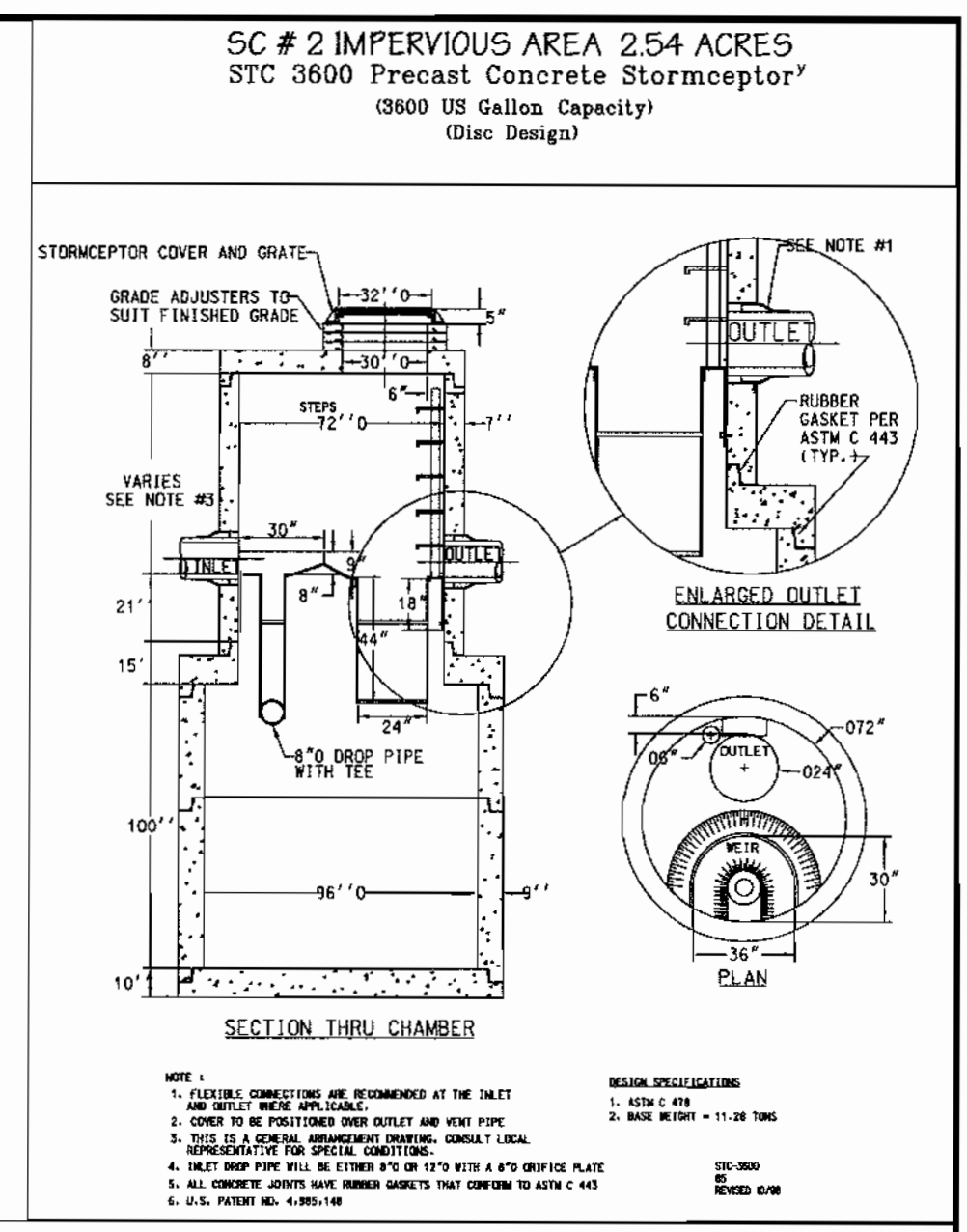
**ENGINEER CERTIFICATION:**  
"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."  
Signature of Engineer: *James A. Markle Jr.* Date: 6/11/01  
Print Name: JAMES A. MARKLE JR. PE # 11005

**STORMCEPTOR 2**  
STC 3600  
TOP ELEV. = 386.07  
INV. IN = 379.795  
INV. OUT = 379.695

**STORMCEPTOR 1**  
STC 1800  
TOP ELEV. = 390.03  
INV. IN = 384.37  
INV. OUT = 384.27

- 10 Installation Procedures**
- 11 Concrete Stormceptor® Installation**
- The installation of the concrete Stormceptor® should conform in general to state highway or local specifications for the construction of manholes. Selected sections of a general specification that are applicable are summarized in the following sections:
- Excavation**
- Excavation for the installation of the Stormceptor® should conform to state highway or local specifications. Topsoil that is removed during the excavation for the Stormceptor® should be stockpiled in designated areas and should not be mixed with subsoil or other materials. Topsoil stockpiles, and the general site preparation for the installation of the Stormceptor® should conform to state highway or local specifications.
- The Stormceptor® should not be installed on frozen ground. Excavation should extend a minimum of 12 inches from the precast concrete surfaces plus an allowance for shoring and bracing where required. If the bottom of the excavation provides an unsuitable foundation additional excavation may be required.
- In areas with a high water table, continuous dewatering should be provided to ensure that the excavation is stable and free of water.
- Leveling**
- A 6 to 12 inch layer of granular material (conforming to local or state Highway Backfill specifications) should be installed, compacted, and leveled at the bottom of the excavation to the proper elevation for the installation of the Stormceptor®.
- Backfilling**
- Backfill material should conform to state highway or local specifications. Generally, backfill material should be placed in uniform layers not exceeding 12 inches in depth. Each layer should be compacted to 95% of the maximum dry density. Backfill is not to contain topsoil.
- Stormceptor® Construction Sequence**
- The concrete Stormceptor® is installed in sections in the following sequence:
1. aggregate base
  2. base slab
  3. treatment chamber section(s)
  4. transition slab (if required)
  5. by-pass section
  6. connect inlet and outlet pipes
  7. transition slab
  8. maintenance access way
  9. frame and access cover
- The precast base should be placed level at the specified grade. The entire base should be in contact with the underlying compacted granular material. Subsequent sections, complete with joint seals, should be installed in accordance with the precast concrete manufacturer's recommendations.
- Adjustment of the Stormceptor® can be performed by lifting the upper sections free of the excavated area, re-leveling the base, and re-installing the sections. Damaged sections and gaskets should be replaced. Once the Stormceptor® has been constructed, the lift holes should be plugged with mortar.

- Down Pipe and Riser Pipe**
- Once the by-pass section has been attached to the treatment chamber the down pipe and riser pipe can be attached. To install these pipes a worker enters the treatment chamber through the central access way in the by-pass section.
- STC 1800, STC 3600
- The inlet pipe (pipe with the tee at the end) is installed by coating the outside of the end of the pipe with quick dry PVC cement and pushing the pipe into the pressure coupling provided on the underside of the by-pass section. The tee must be oriented such that water which enters the treatment chamber is directed tangentially around the inside walls of the chamber.
- The outlet riser pipe (straight pipe without the tee) is installed in a similar fashion using the quick dry PVC cement and coupling provided underneath the by-pass section near the downstream pipe.
- STC 2400
- The inlet pipe (pipe with the tee at the end) is installed by coating the outside of the end of the pipe with lubricant and pushing the pipe into the pressure coupling provided on the underside of the by-pass section. The tee must be oriented such that water which enters the treatment chamber is directed tangentially around the inside walls of the chamber.
- The outlet riser pipe (straight pipe without the tee) is installed in a similar fashion using pipe lubricant and a pressure coupling provided underneath the by-pass section near the downstream pipe.
- Inlet and Outlet Pipes**
- Inlet and outlet pipes should be securely set into the by-pass chamber using grommet or approved pipe seals so that the structure is watertight. Kor-N-Seal® boots are normally used and installed at the precast concrete plant prior to shipping. The Kor-N-Seal® boots are applicable for pipes with an outside diameter up to 46 inches. Stormceptor Corporation should be notified if the pipe is to be grommeted in the field at the time of ordering (i.e. Kor-N-Seal® boots will not be used) since the boots are generally included in the price quotations.
- Installation of the Kor-N-Seal® boots should follow the manufacturer's recommendations. As previously mentioned, the boots will already be attached to the Stormceptor® at the concrete plant. Accordingly, the following procedure should be followed to attach the inlet and outlet pipes to the Stormceptor® in the field:
1. Center the pipe in the boot opening
  2. Lubricate the outside of the pipe and/or inside of the boot if the pipe outside diameter is the same as the inside diameter of the boot
  3. Position the pipe clamp in the groove of the boot with the screw at the top
  4. Tighten the pipe clamp screw to 60 inch pounds
  5. On minimum outside diameter installations lift the boot such that it contacts the bottom of the pipe while tightening the pipe clamp to ensure even contraction of the rubber.
  6. Move the pipe horizontally and/or vertically to bring it to grade
- Frame and Cover Installation**
- Precast concrete adjustment units should be installed to set the frame and cover at the required elevation. The adjustment units should be laid in a full bed of mortar with successive units being joined using sealant recommended by the manufacturer. Frames for the cover should be set in a full bed of mortar at the elevation specified.



**Concrete Stormceptor® Order Request Form**

**Contractor Information**  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_  
State: \_\_\_\_\_  
Zip Code: \_\_\_\_\_  
Contractor: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_

**Owner Information**  
Name: BAVAR PROPERTIES GROUP, L.L.C.  
Phone: 410-560-0300

**Stormceptor® Model**  
900  3600  1200  1800  2400

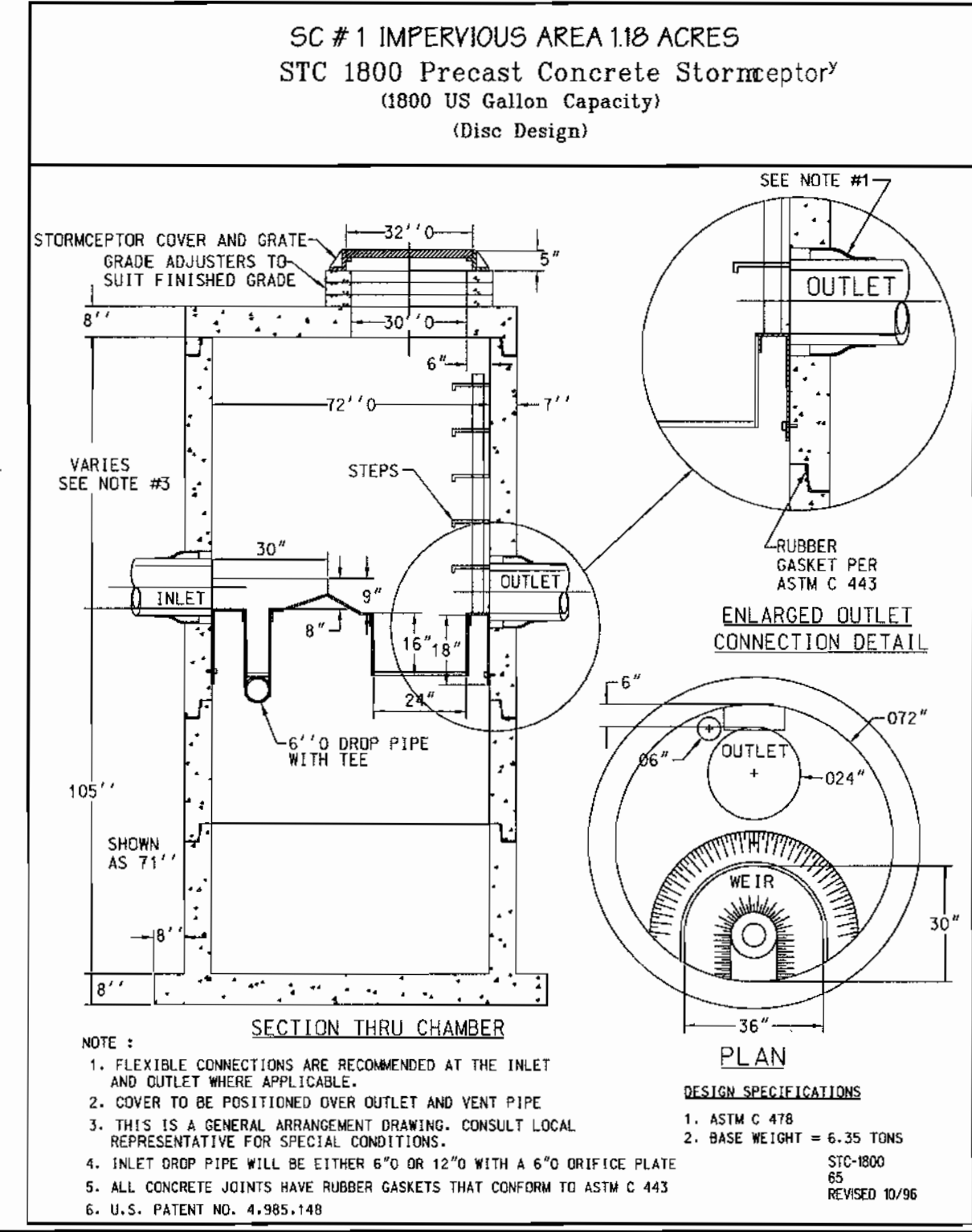
**Insert Size**  
22"  32"  44"  Custom

**Manhole Number**  
Top Elevation (ft) \_\_\_\_\_  
Inlet Pipe Invert (ft) \_\_\_\_\_  
Outlet Pipe Invert (ft) \_\_\_\_\_  
Pipe Type: RCCP    
Pipe Inside Diameter (in) (ID) \_\_\_\_\_  
Pipe Outside Diameter (in) (OD) \_\_\_\_\_

**Project Name:** OWEN BROWN BUSINESS CENTER PARCEL 'A'  
Approximate time frame until required delivery (weeks): \_\_\_\_\_  
Delivery Address: Street \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_  
Designer Company: G.W. STEPHENS JR. AND ASSOCIATES  
Designer Contact: MR. PAT CARLLO / KEVIN ENGLE Phone: 410-825-8120 Fax: 410-583-0288

Please fax this order to stormceptor at (301) 762-4190  
For Technical Assistance Please Call Stormceptor Corporation at (301) 762 - 8361 or toll free at 1 (800) 762 - 4703

ALL LIFTING APPARATUS TO BE PROVIDED BY THE INSTALLATION CONTRACTOR



**Concrete Stormceptor® Order Request Form**

**Contractor Information**  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_  
State: \_\_\_\_\_  
Zip Code: \_\_\_\_\_  
Contractor: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_

**Owner Information**  
Name: BAVAR PROPERTIES GROUP, L.L.C.  
Phone: 410-560-0300

**Stormceptor® Model**  
900  3600  1200  1800  2400

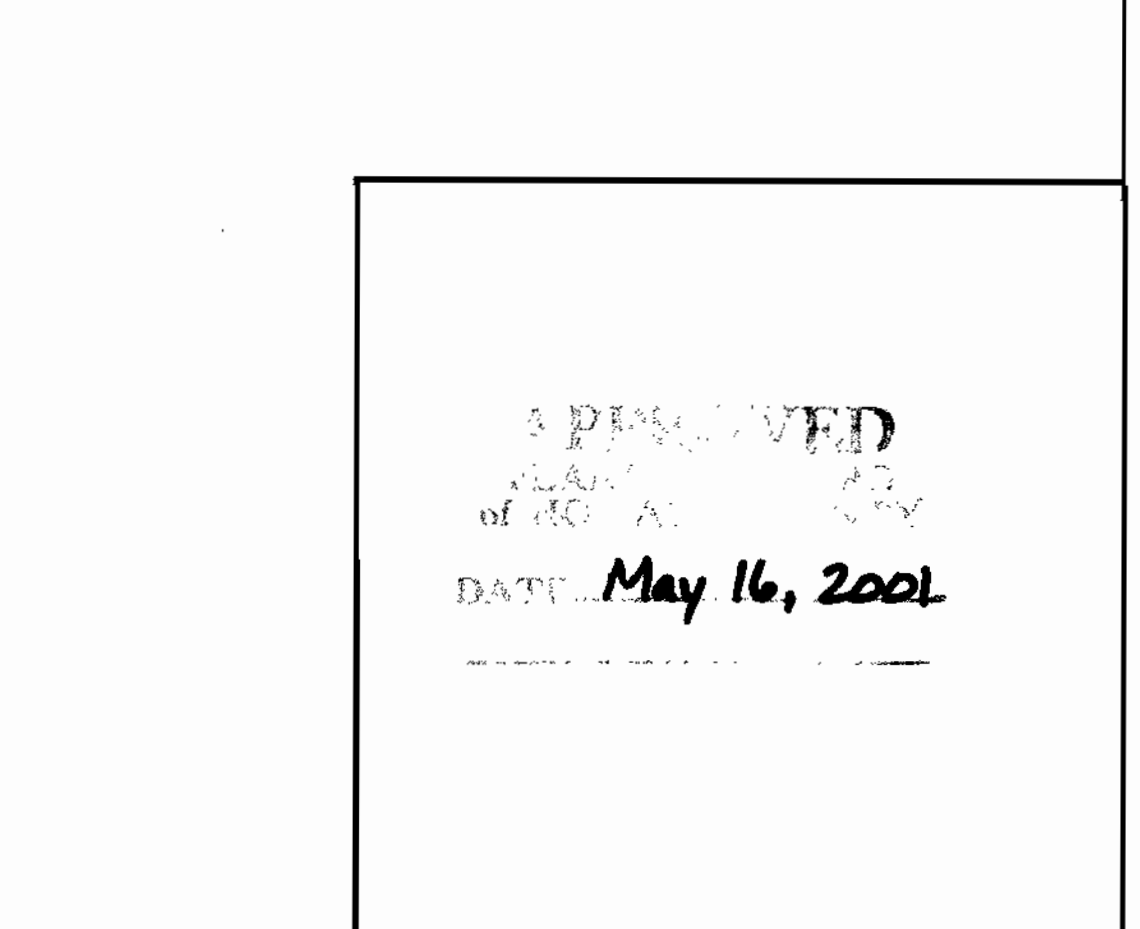
**Insert Size**  
22"  32"  44"  Custom

**Manhole Number**  
Top Elevation (ft) \_\_\_\_\_  
Inlet Pipe Invert (ft) \_\_\_\_\_  
Outlet Pipe Invert (ft) \_\_\_\_\_  
Pipe Type: RCCP    
Pipe Inside Diameter (in) (ID) \_\_\_\_\_  
Pipe Outside Diameter (in) (OD) \_\_\_\_\_

**Project Name:** OWEN BROWN BUSINESS CENTER PARCEL 'A'  
Approximate time frame until required delivery (weeks): \_\_\_\_\_  
Delivery Address: Street \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_  
Designer Company: G.W. STEPHENS JR. AND ASSOCIATES  
Designer Contact: MR. PAT CARLLO / KEVIN ENGLE Phone: 410-825-8120 Fax: 410-583-0288

Please fax this order to stormceptor at (301) 762-4190  
For Technical Assistance Please Call Stormceptor Corporation at (301) 762 - 8361 or toll free at 1 (800) 762 - 4703

ALL LIFTING APPARATUS TO BE PROVIDED BY THE INSTALLATION CONTRACTOR



**ADDRESS CHART**

PARCEL NO.	STREET ADDRESS
A	BUILDING 'A' 9204 BERGER ROAD
A	EXISTING BUILDING 'B' 9200 BERGER ROAD

**SUBDIVISION NAME** Village of Owen Brown  
**SECTION NAME** Section 2, Area 3  
**PARCEL #** A

**PLAT #** P.B. 25 F. 26  
**BLOCK #** 5  
**ZONE** NT / M-  
**WATER CODE** E 12

**ELECT. DIST.** 6  
**CENSUS TRACT** 606901

**SEWER CODE** 5241400

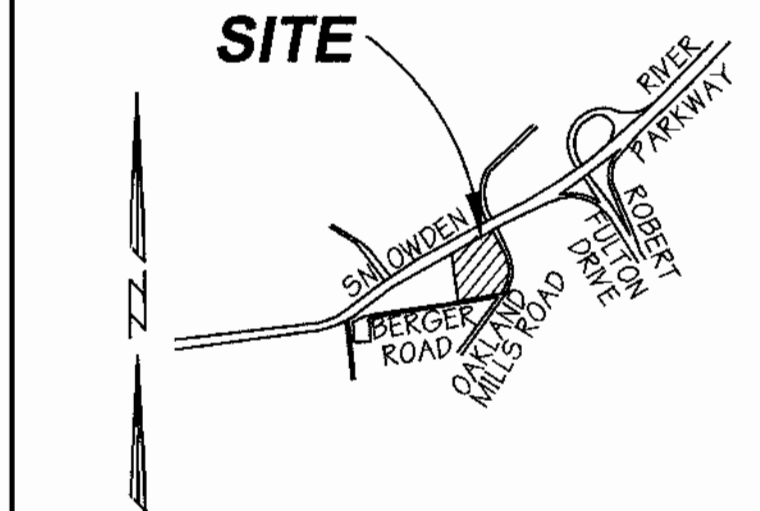
**Stormceptor Plan & Details**  
**VILLAGE OF OWEN BROWN**  
**SECTION 2, AREA 3, PARCEL A**  
**OWEN BROWN BUSINESS CENTER**  
ELECTION DISTRICT: 6  
HOWARD CO., MARYLAND  
SCALE: As Shown  
SHT. 6 OF 9 DATE: OCTOBER 23, 2000

**Sequence of Operation**

- OBTAIN GRADING PERMIT. (1 DAY)
- NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS BEFORE BEGINNING WORK. (1 DAY)
- WITH PERMISSION FROM SEDIMENT CONTROL INSPECTION, INSTALL STABILIZED CONSTRUCTION ENTRANCE. (2 DAYS)
- WITH PERMISSION FROM SEDIMENT CONTROL INSPECTOR CLEAR AND GRUB AND INSTALL SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES. (4 DAYS)
- WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB THE REMAINDER OF THE SITE. (10 DAYS)
- BEGIN BUILDING AREA GRADING ONLY. BEGIN FOOTINGS FOR THE PROPOSED BUILDING. CONTINUE BUILDING CONSTRUCTION. (15 DAYS)
- BEGIN INSTALLATION OF UTILITIES INCLUDING STORMDRAINS AND PROVIDE INLET PROTECTION AT I-1 AND EXIST. I-5. (7 DAYS)
- BEGIN GRADING REMAINDER OF SITE. PLACE STONE SUBBASE IMMEDIATELY AFTER AREA HAS BEEN GRADED AND CONTINUE BUILDING CONSTRUCTION. FINE GRADE, INSTALL STONE SUBBASE, AND CONCRETE CURB AND GUTTER. PROCEED WITH LANDSCAPING AND STABILIZATION OPERATION. (10 DAYS)
- COMPLETE REMAINING LANDSCAPING AND PERMANENT STABILIZATION. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES. (10 DAYS)
- PROCEED WITH PAVING OPERATIONS. (10 DAYS)
- LOW FLOW ORIFICE TO BE BLOCKED AND ALSO ADD REMOVABLE PUMPING STATION PRIOR TO FLUSHING STORM DRAIN SYSTEM. FLUSH STORM DRAINS OUTFALLING INTO STORMWATER MANAGEMENT POND ONCE COMPLETE REMOVE BLOCKING OF LOW ORIFICE. (3 DAYS)

**SNOWDEN RIVER PARKWAY**

N 62°09'19" E 431.26'



**Location Map**

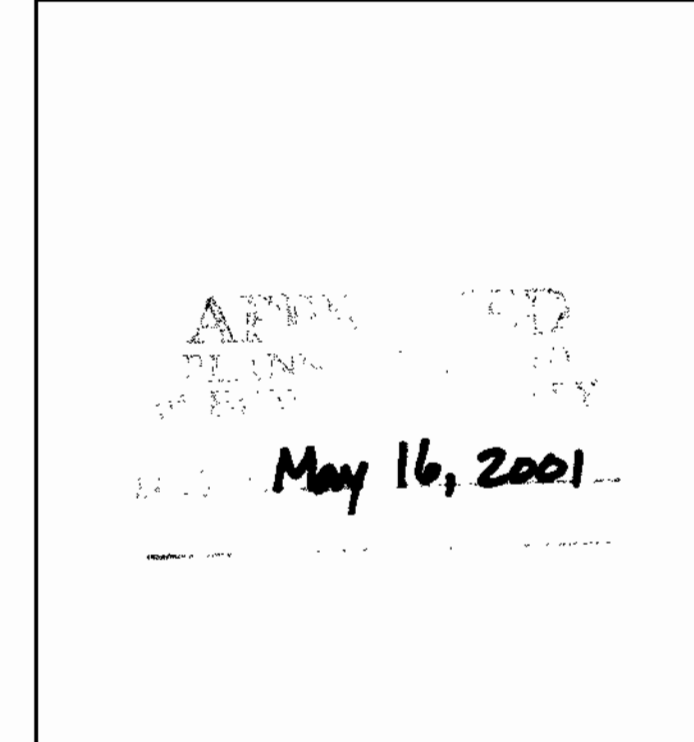
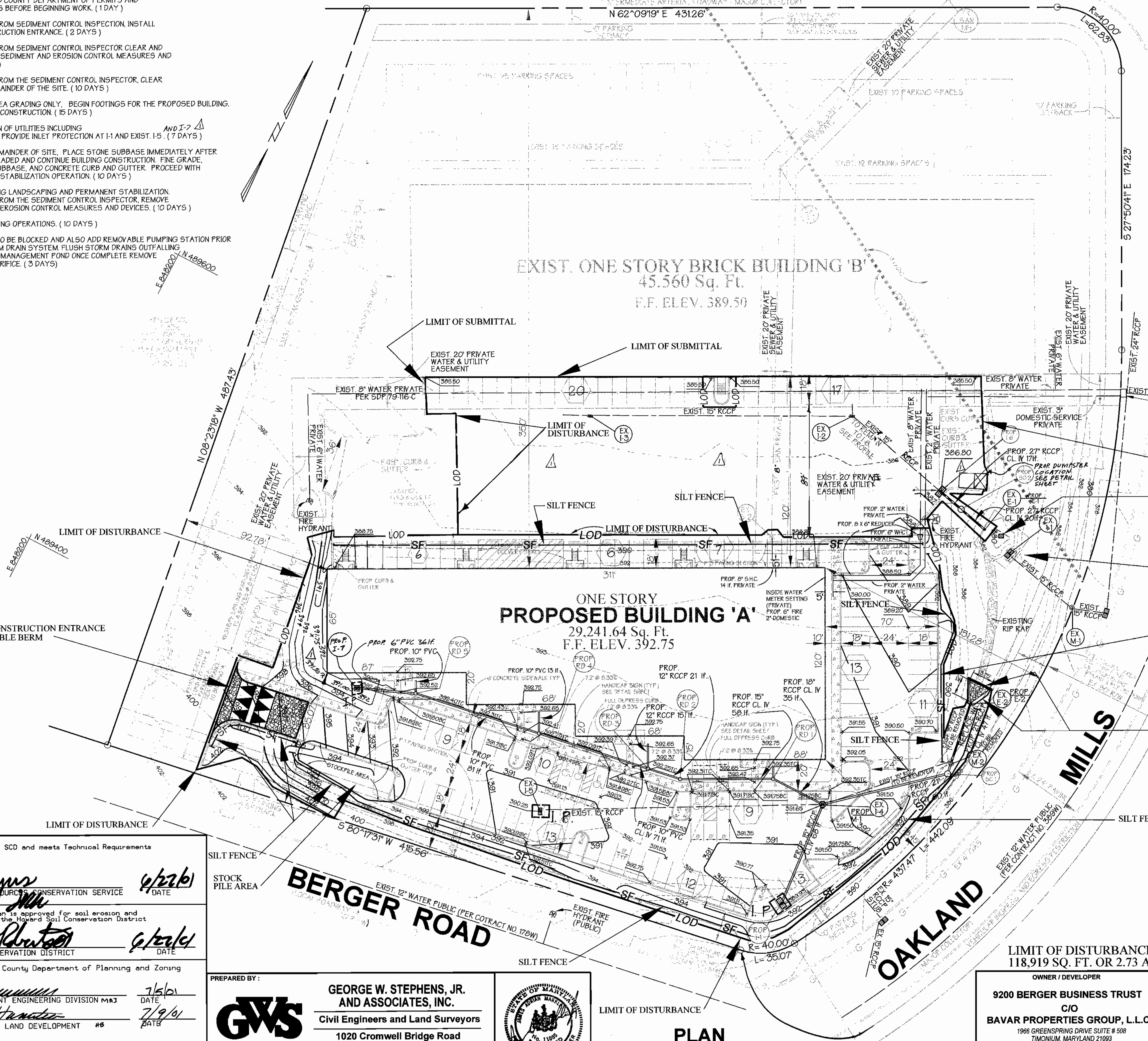
SCALE 1" = 200'

**Legend**

- Ex. 2' Contours
- Ex. 10' Contours
- Prop. 2' Contours
- Prop. 10' Contours
- Ex. Curb & Gutter
- Prop. Curb & Gutter
- Bldg. Restriction Line
- Ex. Sanitary
- Ex. Storm Drain
- Ex. Water
- Prop. Sanitary
- Prop. Storm Drain
- Prop. Water
- Prop. Sidewalk
- Light Duty Paving (P-1)
- Intermediate Duty Paving (P-3)
- Prop. Parking Count
- Handicapped Parking Space
- Limit of Disturbance
- Silt Fence
- Inlet Protection
- Stabilized Construction Entrance

EXIST. ONE STORY BRICK BUILDING 'B'  
45,560 Sq. Ft.  
F.F. ELEV. 389.50

ONE STORY PROPOSED BUILDING 'A'  
29,241.64 Sq. Ft.  
F.F. ELEV. 392.75



**ENGINEER CERTIFICATION:**  
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: *James A. Markus Jr.* Date: 6/11/01  
Print Name: James A. Markus Jr. PE # 11005

**DEVELOPER CERTIFICATION:**  
I/We certify that all development and/or construction will be done according to this plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I/also authorize periodic on-site inspections by the Howard Soil Conservation District.

Signature of Developer: *Robert A. Buss* Date: 6/10/01  
Print Name: Robert A. Buss

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
A	BUILDING 'A' 9204 BERGER ROAD
A	EXISTING BUILDING 'B' 9200 BERGER ROAD

SUBDIVISION NAME	SECTION NAME	PARCEL #
Village of Owen Brown	Section 2, Area 3	A

PLAT #	BLOCK #	ZONE	TAX /ZONE MAP	ELECT. DIST.	CENSUS TRACT
P.B. 25 F.26	5	NT/M-4	42	6	6069.01

WATER CODE	SEWER CODE
E 12	ISEWER CODE 5241400

LIMIT OF DISTURBANCE / SUBMITTAL:  
118,919 SQ. FT. OR 2.73 ACRES

OWNER / DEVELOPER  
**9200 BERGER BUSINESS TRUST**  
C/O  
**BAVAR PROPERTIES GROUP, L.L.C.**  
1966 GREENSPRING DRIVE SUITE # 508  
TIMONIUM, MARYLAND 21093  
410-560-0300

DESIGNED BY: P.R.C.  
DRAWN BY: K.E.  
CHECKED BY: P.R.C.

REVISIONS  
ELIMINATED 59 PARKING SPACES BETWEEN BLDGS. RELOCATED DUMPSTER. ADDED YARD LIGHTS. I-7 & REVISED GRADING AT WEST END OF BLDG. 'A' BY G.W.S. DATED 10/20/01

**Erosion Sediment Control Grading Plan**  
**VILLAGE OF OWEN BROWN**  
**SECTION 2, AREA 3, PARCEL A**  
**OWEN BROWN BUSINESS CENTER**  
ELECTION DISTRICT : 6  
HOWARD CO., MARYLAND  
SHT. 7 OF 9 DATE : OCTOBER 23, 2000  
SCALE: As Shown

Reviewed for Howard SCD and meets Technical Requirements

*Jim Myers* (6/22/01) DATE  
USDA-NATURAL RESOURCES CONSERVATION SERVICE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

*John R. Robertson* (6/26/01) DATE  
HOWARD SOIL CONSERVATION DISTRICT

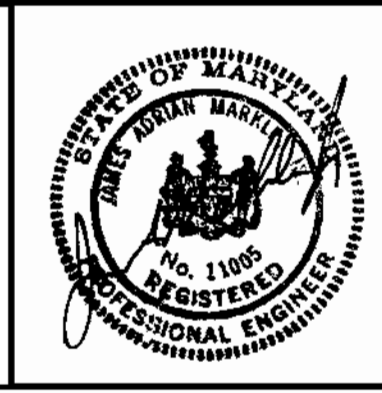
APPROVED: Howard County Department of Planning and Zoning

*David D. Williams* (7/5/01) DATE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION M&Z

*Charles H. Hester* (7/9/01) DATE  
CHIEF, DIVISION OF LAND DEVELOPMENT #5

*David V. L. Lough* (7/10/01) DATE  
DIRECTOR

PREPARED BY:  
**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
1020 Cromwell Bridge Road  
Towson, Maryland 21286  
(410) 825-8120



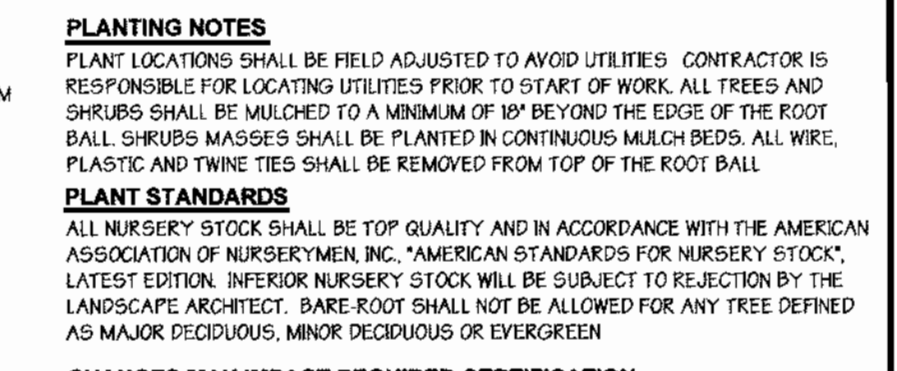
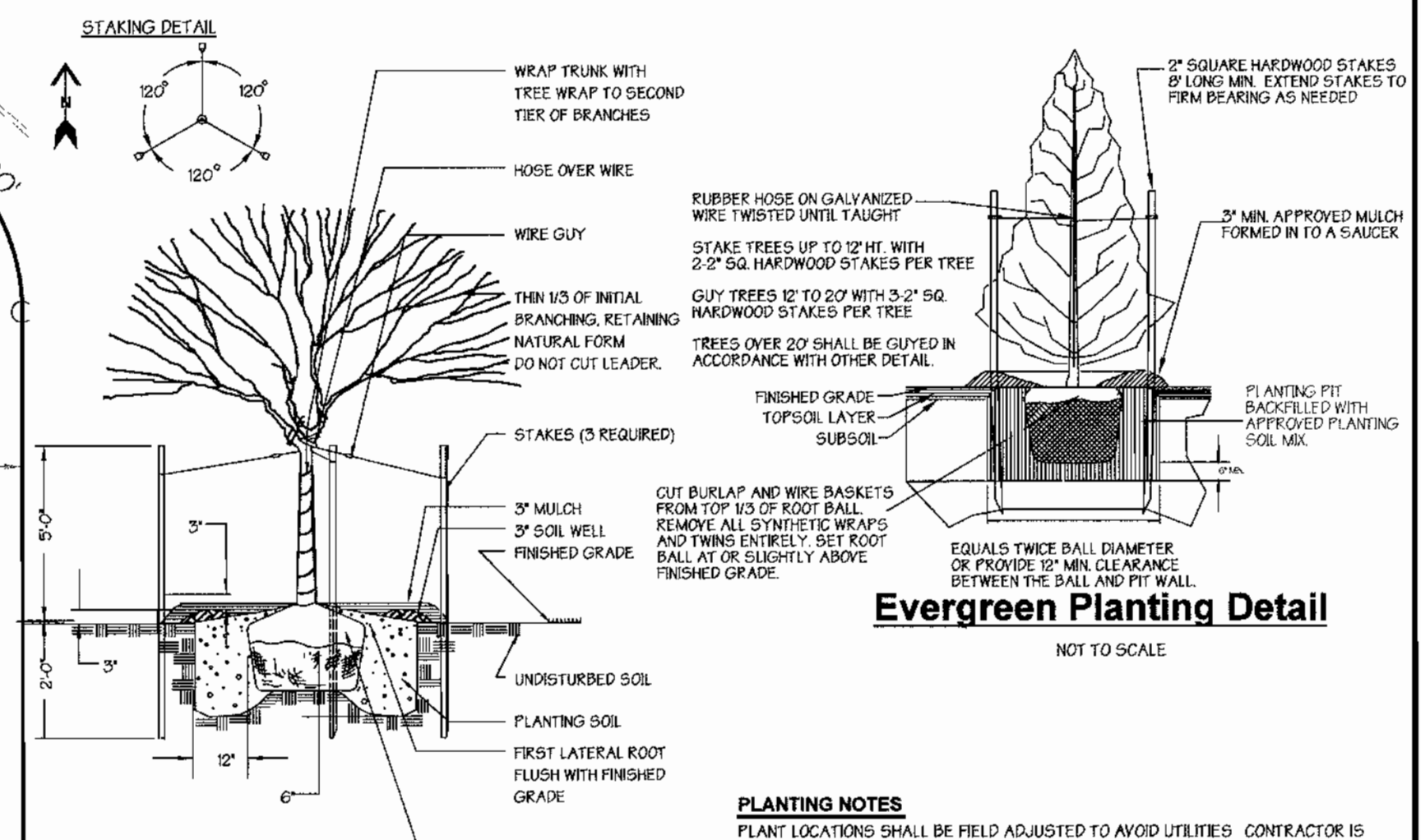
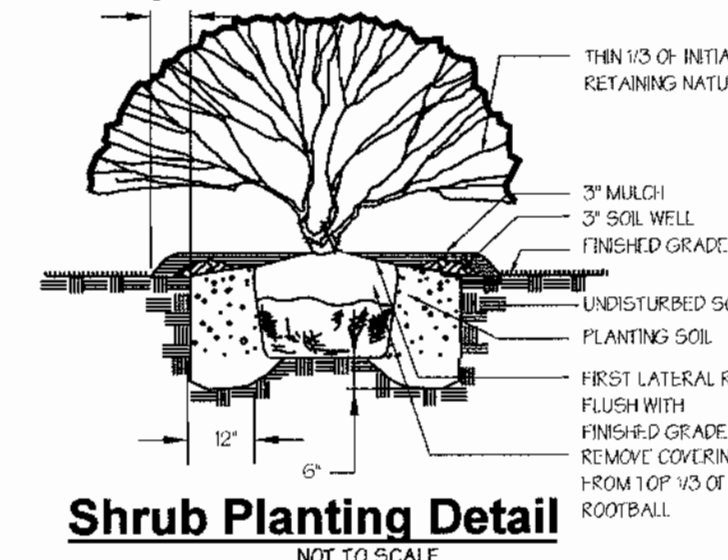
**PLAN**  
SCALE: 1" = 30'



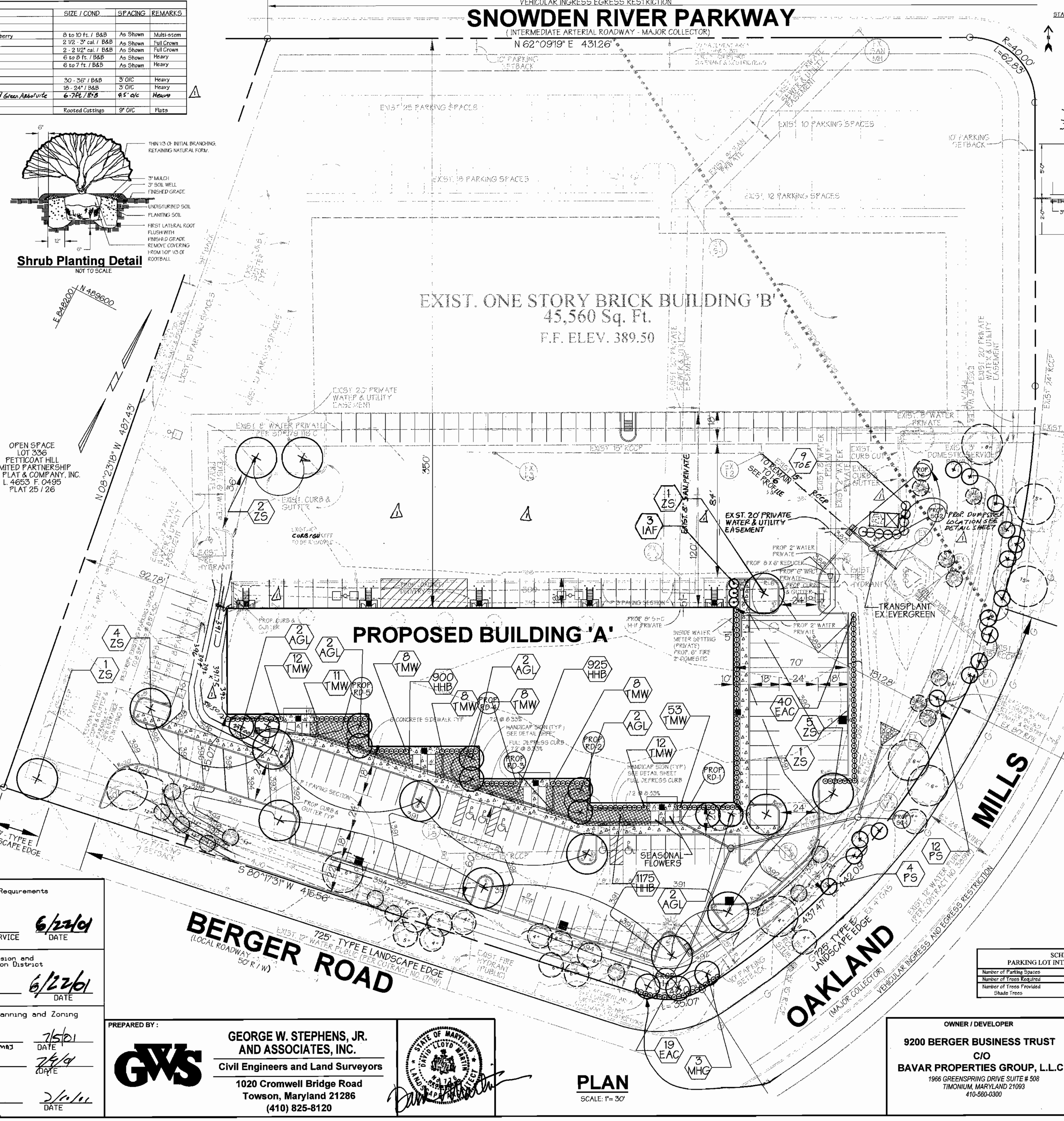


PLANT SCHEDULE	KEY	QUANT.	BOTANICAL NAME / COMMON NAME	SIZE / COND.	SPACING	REMARKS
TREES						
AGL	10		Amelanchier N. arandiflora 'Lamarkii' / Lamark's Serviceberry	8 to 10 ft. / B&B	As Shown	Multi-stem
ZS	14		Zakova serrata 'Green Vase' / Green Vase Zakova	2 1/2" - 3" cal. / B&B	As Shown	Full Crown
MHG	3		Malus Harvest Gold / Harvest Gold Crabapple	2 - 2 1/2" cal. / B&B	As Shown	Full Crown
IAX	3		Ilex attenuata 'Foster' / Foster #2 Holly	6 to 8 ft. / B&B	As Shown	Heavy
PS	16		Pinus strobus / White Pine	6 to 7 ft. / B&B	As Shown	Heavy
SHRUBS						
EAC	59		Euonymus alata compacta / Dwarf Burning Bush	30 - 36" / B&B	3' O/C	Heavy
TBR	120		Taxus media 'Warrior' / Dwarf Burning Yew	18 - 24" / B&B	3' O/C	Heavy
TpE	9		Thuja occidentalis 'Emerald Green' / Emerald Green Arborvitae	6 - 7 1/2" / B&B	6" O/C	Heavy
GROUNDCOVERS						
HHB	3,000		Hedera helix 'Baltica' / Baltic English Ivy	Rooted Cuttings	9" O/C	Plats

- Legend**
- Ex. 2' Contours
  - Ex. 10' Contours
  - Prop. 2' Contours
  - Prop. 10' Contours
  - Ex. Curb & Gutter
  - Prop. Curb & Gutter
  - Blgd. Restriction Line
  - Ex. Sanitary
  - Ex. Storm Drain
  - Ex. Water
  - Prop. Sanitary
  - Prop. Storm Drain
  - Prop. Water
  - Prop. Sidewalk
  - Light Duty Paving
  - Intermediate Duty Paving
  - Prop. Parking Count
  - Prop. Handicapped Parking Space
  - 'Baltica' English Ivy
  - Seasonal Flowers
  - Prop. Shade Tree
  - Prop. Flowering Tree
  - Prop. Evergreen Tree
  - Prop. Shrub
  - Ex. Tree To Be Saved
  - Ex. Evergreen Tree To Be Saved



NOTE: FOR LIGHTING LEGEND SEE SITE PLAN



**PLANTING NOTES**  
PLANT LOCATIONS SHALL BE FIELD ADJUSTED TO AVOID UTILITIES. CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO START OF WORK. ALL TREES AND SHRUBS SHALL BE MULCHED TO A MINIMUM OF 18" BEYOND THE EDGE OF THE ROOT BALL. SHRUBS MASSINGS SHALL BE PLANTED IN CONTINUOUS MULCH BEDS. ALL WIRE, PLANT AND TWINE TIES SHALL BE REMOVED FROM TOP OF THE ROOT BALL.

**PLANT STANDARDS**  
ALL NURSERY STOCK SHALL BE TOP QUALITY AND IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERMEN, INC. AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION. NURSERY STOCK WILL BE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT. BARE ROOT SHALL NOT BE ALLOWED FOR ANY TREE DEFINED AS MAJOR DECIDUOUS, MINOR DECIDUOUS OR EVERGREEN.

**CHANGES MAY IMPACT REQUIRED CERTIFICATION**  
PLANT TYPES (DECIDUOUS TREES, EVERGREEN, ETC.), QUANTITIES, SPACING, LOCATION, AND SPECIES SHOWN ON THE APPROVED LANDSCAPE PLAN ARE BASED ON REQUIREMENTS STATED IN THE LATEST HOWARD COUNTY LANDSCAPE MANUAL. ANY CHANGE IN THESE ITEMS MAY AFFECT THE REQUIRED APPROVAL AND CERTIFICATION OF THE INSTALLED PLANTING. OWNER IS REQUIRED TO ARRANGE AND PAY FOR CERTIFICATION BY LANDSCAPE ARCHITECT.

**LANDSCAPE SPECIFICATIONS**  
LANDSCAPE SPECIFICATION SHALL CONFORM TO LCA LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE WASHINGTON METROPOLITAN AREA, INCLUDING PLANTING PROCEDURES AND SOIL PREPARATION FOR SHRUBS AND PERENNIAL BEDS. A ONE-YEAR WARRANTY PERIOD SHALL BE REQUIRED. MAINTENANCE REQUIRED TO HONOR THE ONE-YEAR WARRANTY SHALL BE PERFORMED AS PART OF THIS CONTRACT.

**SPECIAL PROVISIONS TO LCA STANDARD SPECIFICATIONS**  
CONTRACTOR IS ENCOURAGED TO PERFORM SOIL TESTING. TEST RESULTS SHALL BE SUBMITTED 30 DAYS BEFORE PLANTING. FAILURE TO PERFORM TESTING WILL NOT VOID GUARANTEE PROVISIONS.

CONTRACTOR SHALL REVIEW AND TEST SUBSOIL DRAINAGE CHARACTERISTICS 30 DAYS PRIOR TO PLANTING AND NOTIFY OWNER UNACCEPTABLE CONDITIONS.

NO EXCEPTIONS TO THE GUARANTEE PROVISIONS ARE ALLOWED UNLESS AGREED TO IN WRITING PRIOR TO PLANTING.

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.024 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPE TREES 16 SHADE TREES, 0 EVERGREEN / FLOWERING TREES, 22 SHRUBS, IN THE AMOUNT OF \$5,460.00, IS PART OF THE DEVELOPER'S AGREEMENT.

**DEVELOPER'S / BUILDER'S CERTIFICATION**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16.024 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *John A. Bous* DATE: 12/12/00  
PRINT NAME: *John A. Bous*

SCHEDULE A PERIMETER LANDSCAPE EDGE	
LANDSCAPE TYPE	ROADWAYS
Linear Feet of Roadway Frontage Perimeter	725'
Credits for existing Vegetation	
Shade Trees	12
Evergreen Trees	16
Credits for Wall Fence, or Berm (Yes/No, Linear Feet)	N/A
Number of Plants Required	
Shade Trees	6
Evergreen Trees	22
Shrubs	22
Number of Plants Provided	
Shade Trees	6
Other Trees (21 sub)	0
Shrubs (101 sub)	22

\* 16 evergreens were credited for 160 shrubs.

NOTE: THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

DATE: May 16, 2001

Reviewed for Howard SCD and meets Technical Requirements

*Jim M. Myers* 6/22/01  
USDA-NATURAL RESOURCE CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

*John Robertson* 6/22/01  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Howard County Department of Planning and Zoning

*Mark Damann* 7/5/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Cindy Handster* 7/5/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*David C. Leight* 2/1/01  
DIRECTOR DATE

PREPARED BY:

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
1020 Cromwell Bridge Road  
Towson, Maryland 21286  
(410) 825-8120

**PLAN**  
SCALE: 1" = 30'

OWNER / DEVELOPER

**9200 BERGER BUSINESS TRUST**  
C/O BAVAR PROPERTIES GROUP, L.L.C.  
1966 GREENSPRING DRIVE SUITE # 508  
TIMONUM, MARYLAND 21093  
410-560-0300

DESIGNED BY: P.R.C.  
DRAWN BY: K.E.  
CHECKED BY: P.R.C.

REVISIONS  
ELIMINATED 59 PARKING SPACES BETWEEN BLDGS.  
RELOCATED PUMP/STATION  
ADDED YARD INLET 27" S  
REVISED GRADING AT WEST END OF BLDG. A: 84 GWS.  
DATED 10/16/01

ADDRESS CHART	
PARCEL NO.	STREET ADDRESS
A	BUILDING 'A' 9204 BERGER ROAD
A	EXISTING BUILDING 'B' 9200 BERGER ROAD

SUBDIVISION NAME	SECTION NAME	PARCEL #
Village of Owen Brown	Section 2, Area 3	A

PLAT #	P.B. #	F. #	BLOCK #	ZONE	TAX MAP	ELECT. DIST.	CENSUS TRACT
			5		42	6	6069.01

WATER CODE E 12 SEWER CODE 5241400

**Landscaping Plan**  
**VILLAGE OF OWEN BROWN SECTION 2, AREA 3, PARCEL A OWEN BROWN BUSINESS CENTER**  
ELECTION DISTRICT: 6 SCALE: As Shown  
HOWARD CO., MARYLAND SHT. 9 OF 9 DATE: OCTOBER 23, 2000