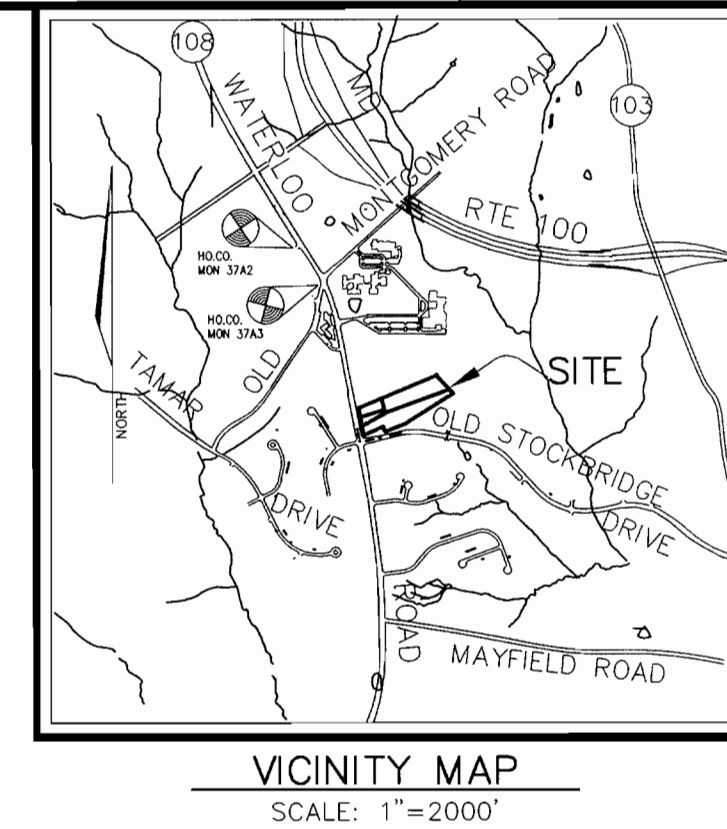


GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 - MISS UTILITY 1-800-257-7777
 - BELL ATLANTIC TELEPHONE CO. 725-9976
 - HOWARD COUNTY BUREAU OF UTILITIES: 313-2366
 - AT&T CABLE LOCATION DIVISION: 393-3553
 - B.G.&E. CO. CONTRACTOR SERVICES: 850-4620
 - B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 787-4620
 - STATE HIGHWAY ADMINISTRATION: 531-5533
- SITE ANALYSIS:
 - AREA OF SITE: 6.66 AC
 - AREA OF SUBMISSION: 6.66 AC
 - PRESENT ZONING: R-3C
 - LIMIT OF DISTURBANCE: 5.70 AC
 - PROPOSED USE OF SITE: SINGLE FAMILY ATTACHED DWELLINGS
 - TOTAL NUMBER OF UNITS: 26 (6.66X4=26.64)
 - TOTAL NUMBER OF PARCELS/LOTS: 1
 - OPEN SPACE REQUIRED: 20% (1.33 ACRES)
 - OPEN SPACE PROVIDED: 90% (6± ACRES)
 - RECREATIONAL OPEN SPACE REQUIRED AND PROVIDED: 250SF/UNIT = 6500 SF
 - BUILDING COVERAGE: 0.66 AC. (10%)
 - PARKING REQUIRED PER D.U. = 2 SPACES
 - PARKING PROVIDED PER D.U. = 2 SPACES
- PROJECT BACKGROUND:
 - LOCATION: TAX MAP: 37 PARCEL: 118,497,602, BLOCK 8
 - ZONING: R-3C AS PER THE 10-18-93 COMPREHENSIVE ZONING PLAN.
 - SUBDIVISION: STOCKBRIDGE OVERLOOK
 - DPZ REFERENCES: NONE
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- STORMWATER MANAGEMENT TO BE PROVIDED BY AN EXTENDED DETENTION FACILITY. THIS FACILITY IS PRIVATELY OWNED AND MAINTAINED BY THE CONDOMINIUM OWNERS ASSOCIATION.
- COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENTS.
- EXISTING TOPOGRAPHY IS BASED ON PLANS PREPARED BY A FIELD SURVEY PREPARED BY VOGEL & ASSOC., INC. DATED DECEMBER, 2000.
- WATER AND SEWER CONTRACT NO. 14-1108-D
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$33,630.00.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE CREATION OF A FOREST CONSERVATION (RETENTION/REFORESTATION) EASEMENT AND BY THE PAYMENT OF A FEE-IN-LIEU OF OPEN SPACE REFORESTATION FOR 0.35± ACRES. THE FOREST EASEMENT (1.03± acre Reforestation; 0.25± acre Retention) WAS RECORDED ON A PLAT OF EASEMENT, IN THE LAND RECORDS OF HOWARD COUNTY, PLAT #15210.
- NO WETLANDS, STREAMS OR THEIR BUFFERS OCCUR ON THIS SITE.
- OPEN SPACE IS OWNED AND MAINTAINED BY THE CONDOMINIUM OWNERS ASSOCIATION.
- DRIVEWAY APRONS TO BE PER HOWARD COUNTY DRIVEWAY ENTRANCE DETAIL NO. R-6.03.
- NO STEEP SLOPES WITH A CONTIGUOUS AREA OF OVER 20,000 SF OCCUR ON THIS SITE.
- NO BURIAL GROUNDS OR CEMETERIES ARE LOCATED ON THIS PROPERTY.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENT OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - A) WIDTH - 12 FEET (14 FEET IF SERVING MORE THAN ONE RESIDENCE)
 - B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING
 - C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS
 - D) STRUCTURES (CULVERTS/BRIDGES) - MUST SUPPORT 25 GROSS TON LOADING (H25 LOADING)
 - E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
 - F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
 - G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
- CURB AND GUTTER TO BE AS PER HOWARD COUNTY COMBINATION CURB AND GUTTER DETAIL NO. R-3.01. CURB AND GUTTER WITHIN MARYLAND ROUTE 108 ROW TO BE AS PER SHA DETAIL NO. A. TRANSITION BETWEEN HOWARD COUNTY STANDARD AND COMBINATION CURB AND GUTTER TO BE AS PER HOWARD COUNTY STANDARD CURB AND GUTTER DETAIL NO. 3.02.
- TRASH PICK UP TO BE PRIVATE. (AT EACH INDIVIDUAL UNIT)
- PARCELS 118, 497 AND 602 WERE COMBINED INTO A SINGLE PARCEL BY ADJOINER TRANSFER DEED, RECORDED IN THE LAND RECORDS AT LIBER 5745 FOLIO 403.
- INTERNAL ROADS ARE PRIVATE AND WILL BE MAINTAINED BY THE CONDOMINIUM OWNERS ASSOCIATION.
- ANY PROPOSED DEVELOPMENT ON OPEN SPACE MUST COMPLY WITH APPLICABLE STRUCTURE AND USE SETBACKS.

SITE DEVELOPMENT PLAN STOCKBRIDGE OVERLOOK CONDOMINIUMS HOWARD COUNTY, MARYLAND

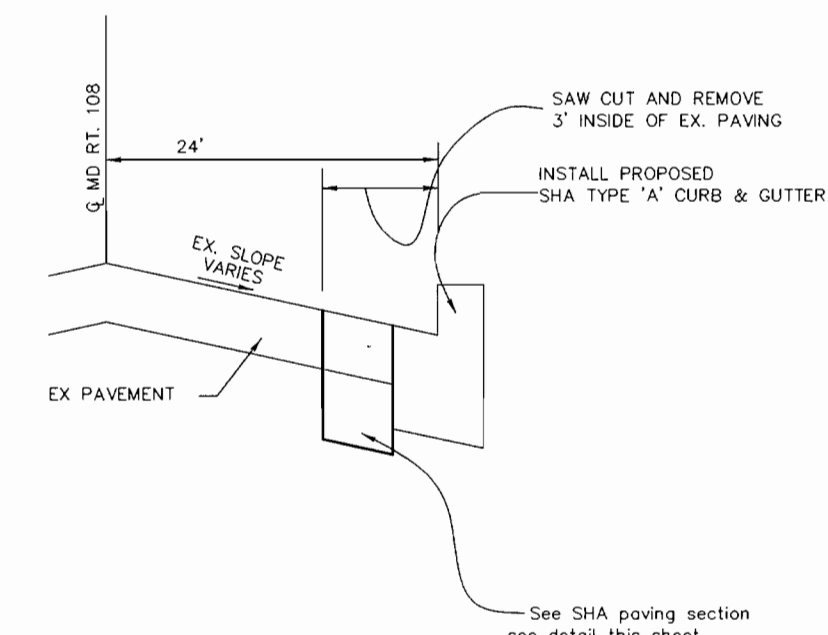
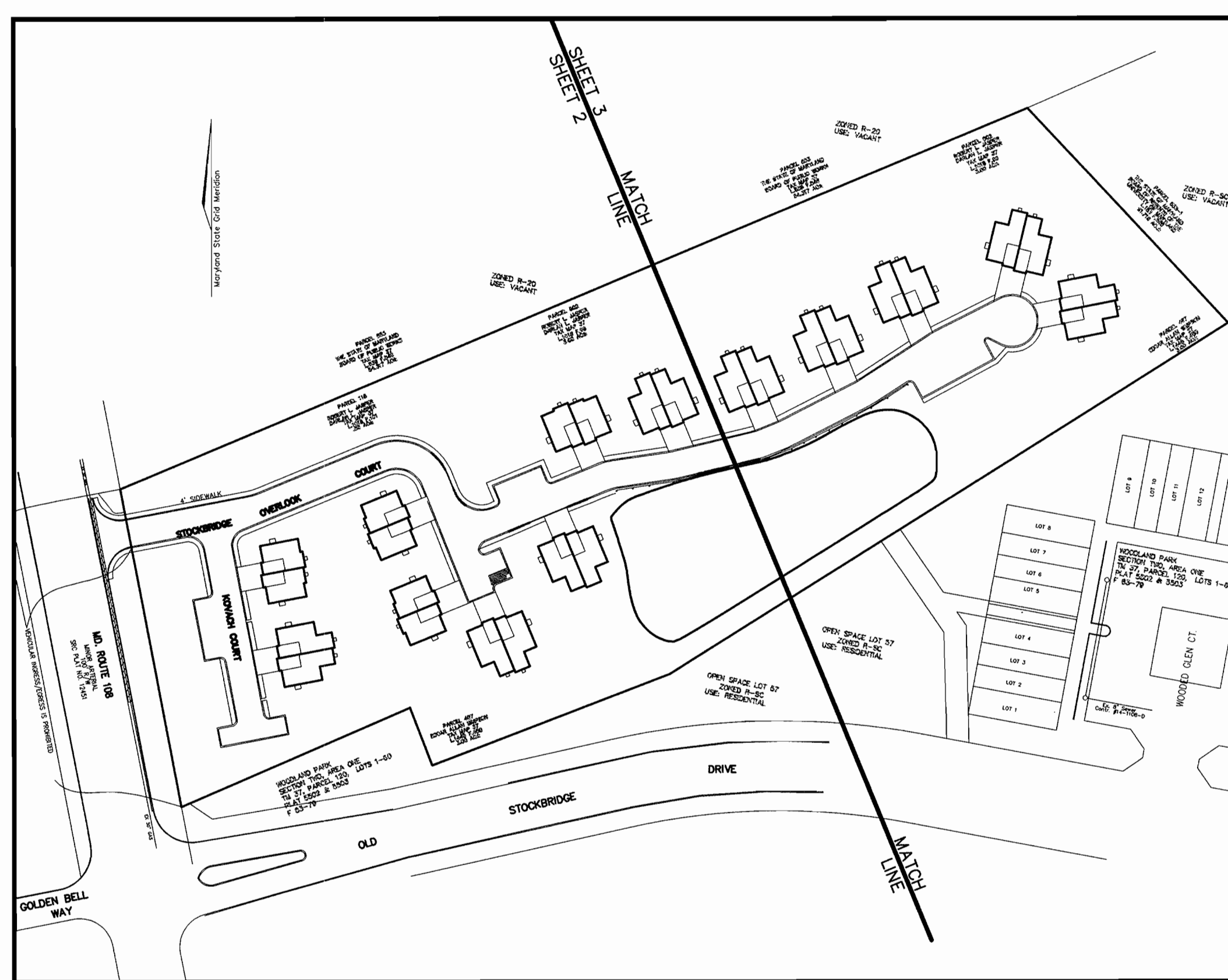


BENCHMARKS
HOWARD COUNTY GEODETIC CONTROL STATIONS

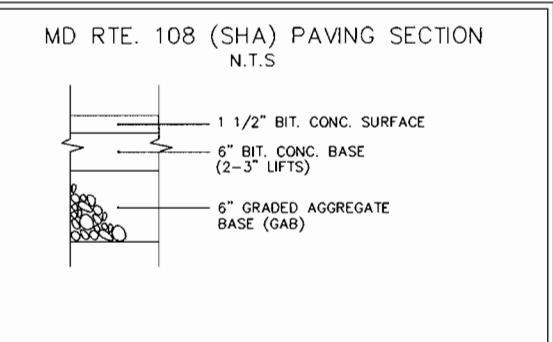
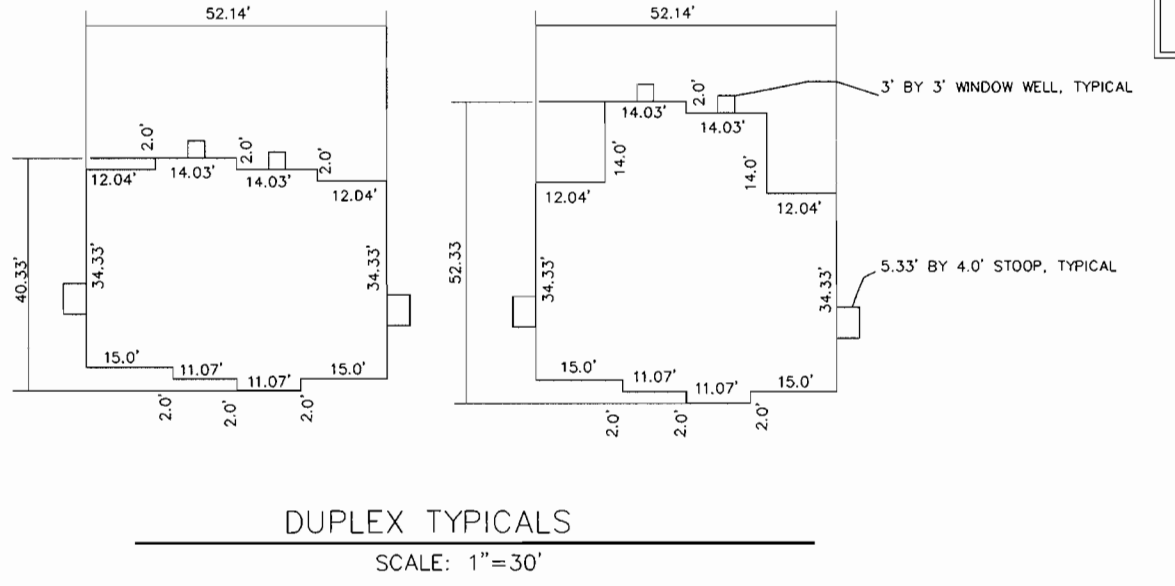
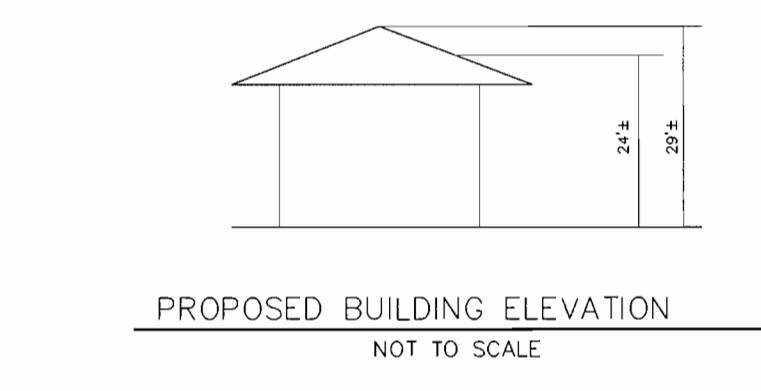
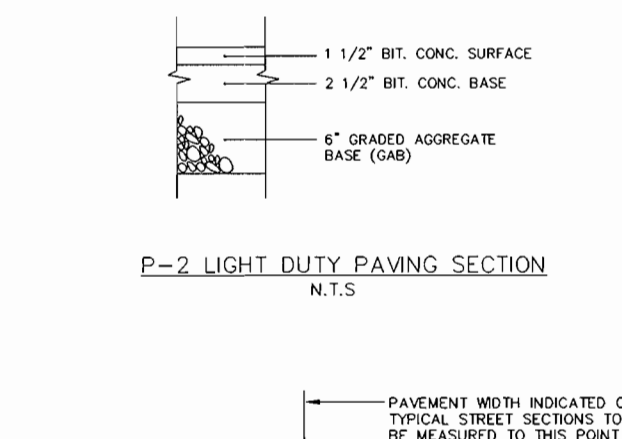
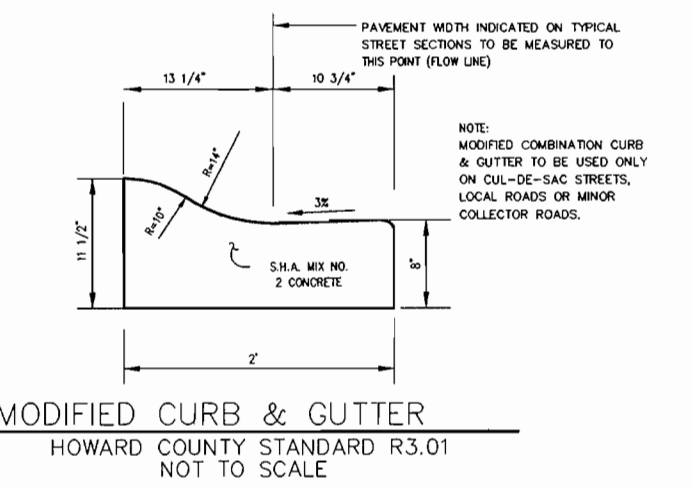
37 A2	N 501372	E 856882
37 A3	N 500382	E 857495

ADDRESS CHART

UNIT	ADDRESS
1	6101 KOVACH COURT
2	6111 KOVACH COURT
3	6121 KOVACH COURT
4	6131 KOVACH COURT
5	6210 KOVACH COURT
6	6220 STOCKBRIDGE OVERLOOK COURT
7	6230 STOCKBRIDGE OVERLOOK COURT
8	6240 STOCKBRIDGE OVERLOOK COURT
9	6250 STOCKBRIDGE OVERLOOK COURT
10	6260 STOCKBRIDGE OVERLOOK COURT
11	6270 STOCKBRIDGE OVERLOOK COURT
12	6280 STOCKBRIDGE OVERLOOK COURT
13	6301 STOCKBRIDGE OVERLOOK COURT
14	6311 STOCKBRIDGE OVERLOOK COURT
15	6321 STOCKBRIDGE OVERLOOK COURT
16	6331 STOCKBRIDGE OVERLOOK COURT
17	6341 STOCKBRIDGE OVERLOOK COURT
18	6351 STOCKBRIDGE OVERLOOK COURT
19	6361 STOCKBRIDGE OVERLOOK COURT
20	6371 STOCKBRIDGE OVERLOOK COURT
21	6381 STOCKBRIDGE OVERLOOK COURT
22	6391 STOCKBRIDGE OVERLOOK COURT
23	6401 STOCKBRIDGE OVERLOOK COURT
24	6411 STOCKBRIDGE OVERLOOK COURT
25	6410 STOCKBRIDGE OVERLOOK COURT
26	6400 STOCKBRIDGE OVERLOOK COURT



PLAN
SCALE: 1"=100'



SHEET INDEX

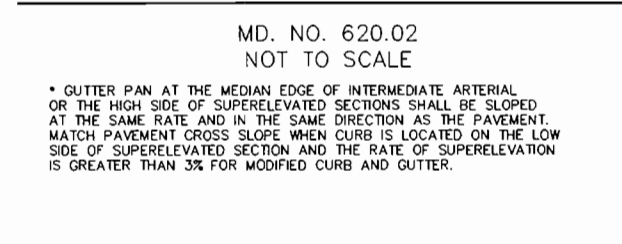
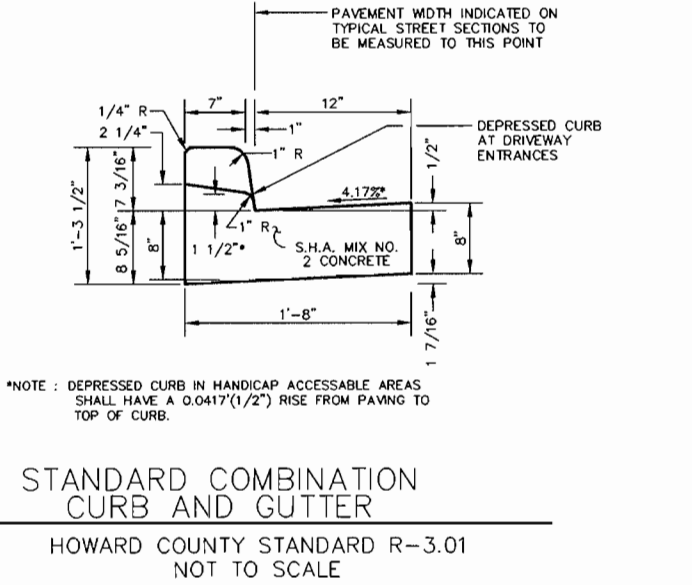
DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 12
SITE DEVELOPMENT PLAN	2 OF 12
SITE DEVELOPMENT PLAN	3 OF 12
SEDIMENT AND EROSION CONTROL PLAN	4 OF 12
SEDIMENT AND EROSION CONTROL PLAN	5 OF 12
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS	6 OF 12
STORM DRAIN DRAINAGE AREA MAP	7 OF 12
STORMWATER MANAGEMENT DETAILS AND STORM DRAIN PROFILES	8 OF 12
SEWER PROFILES	9 OF 12
LANDSCAPE PLAN	10 OF 12
FOREST STAND DELINEATION	11 OF 12
FOREST CONSERVATION PLAN	12 OF 12

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/20/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

[Signature] 2/27/02
CHIEF, DIVISION OF LAND DEVELOPMENT HB DATE

[Signature] 2/27/02
DIRECTOR DATE



OWNER/DEVELOPER
ELLICOTT CITY LANDHOLDINGS, INC.
8000 MAIN STREET
ELLICOTT CITY, MARYLAND 21043

COVER SHEET
STOCKBRIDGE OVERLOOK

TAX MAP 37 BLOCK 8
1ST ELECTION DISTRICT

PARCEL '118', '497' & '602'
HOWARD COUNTY, MARYLAND

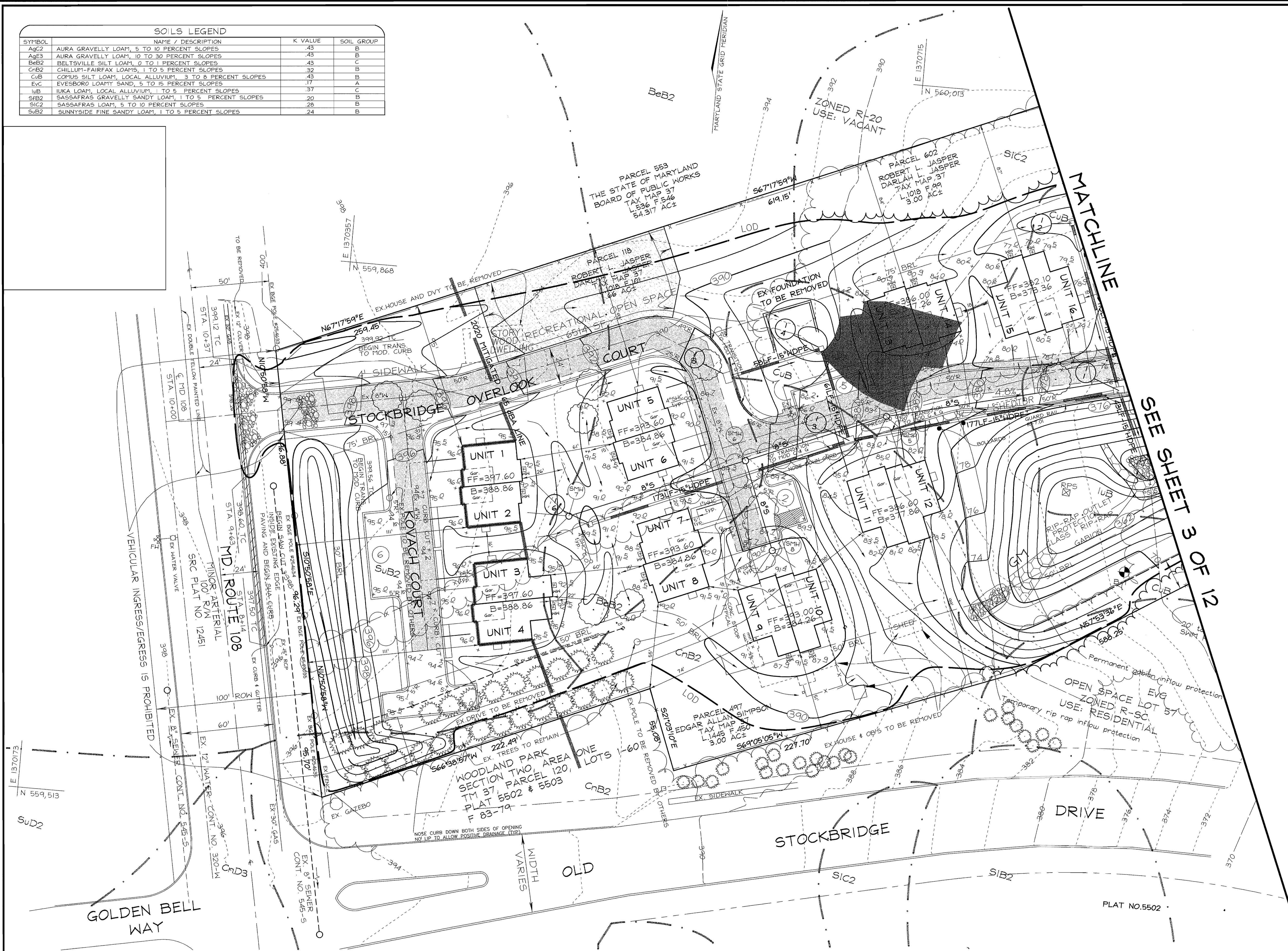
FREDERICK WARD ASSOCIATES, INC.
ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: M.H.M.
DRAWN BY: M.H.M.
CHECKED BY: R.H.V.
DATE: JAN. 14, 2002
SCALE: AS SHOWN
W.O. NO.: 00-048

1 SHEET OF 12

SOILS LEGEND			
SYMBOL	NAME / DESCRIPTION	K VALUE	SOIL GROUP
AgC2	AURA GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES	.43	B
AgE3	AURA GRAVELLY LOAM, 10 TO 30 PERCENT SLOPES	.43	B
BxH2	BELTSVILLE SILT LOAM, 0 TO 1 PERCENT SLOPES	.43	C
CnB2	CHILLUM-FAIRFAX LOAMS, 1 TO 5 PERCENT SLOPES	.32	B
CuB	COMUS SILT LOAM, LOCAL ALLUVIUM, 3 TO 8 PERCENT SLOPES	.43	B
Evc	EVESBORO LOAMY SAND, 5 TO 15 PERCENT SLOPES	.17	A
IuB	IUKA LOAM, LOCAL ALLUVIUM, 1 TO 5 PERCENT SLOPES	.37	C
SIB2	SASSAFRAS GRAVELLY SANDY LOAM, 1 TO 5 PERCENT SLOPES	.20	B
SIC2	SASSAFRAS LOAM, 5 TO 10 PERCENT SLOPES	.28	B
SuB2	SUNNYSIDE FINE SANDY LOAM, 1 TO 5 PERCENT SLOPES	.24	B

LEGEND	
Forest Conservation	
Easement Reforestation	
15%-24.9% Steep Slopes	
Soils divide	
Existing Contour	
Proposed Contour	
Spot Elevation	
Direction of Flow	
Tree Protection Fence	
Existing Trees to Remain	
Limit of Disturbance	



NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
STOCKBRIDGE OVERLOOK

TAX MAP 37 BLOCK 8 PARCEL '118', '497' & '602'
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RHW
DRAWN BY: MHP
CHECKED BY: RHW
DATE: JAN 14, 2002
SCALE: 1"=30'
W.O. NO.: 00-048

2 SHEET OF 12

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
John Deane 2/20/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE
Conrad Hanauer 2/27/02
CHIEF, DIVISION OF LAND DEVELOPMENT HP DATE
Joseph Swain 2/27/02
DIRECTOR DATE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
Jim Meyer 2/13/02
USDA-NATURAL RESOURCE CONSERVATION SERVICE DATE
THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
John A. Sullivan 2/13/02
HOWARD SOIL CONSERVATION DISTRICT DATE

DEVELOPER'S CERTIFICATE
"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A RECENT CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."
Robert H. Vogel 1-15-02
SIGNATURE OF DEVELOPER DATE

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL, REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."
Robert H. Vogel 1/14/02
SIGNATURE OF ENGINEER DATE

OWNER/DEVELOPER
ELLICOTT CITY LANDHOLDINGS, INC.
8000 MAIN STREET
ELLICOTT CITY, MARYLAND 21043

SOILS LEGEND			
SYMBOL	NAME / DESCRIPTION	K VALUE	SOIL GROUP
AgC2	AURA GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES	43	B
AgE3	AURA GRAVELLY LOAM, 10 TO 30 PERCENT SLOPES	43	B
BeB2	BELTSVILLE SILT LOAM, 0 TO 1 PERCENT SLOPES	43	C
CeB2	CHILLUM-FAIRFAX LOAMS, 1 TO 5 PERCENT SLOPES	32	B
CuB	COMUS SILT LOAM, LOCAL ALLUVIUM, 3 TO 8 PERCENT SLOPES	43	B
EvC	EVESBORO LOAMY SAND, 5 TO 15 PERCENT SLOPES	17	A
IuB	IUKA LOAM, LOCAL ALLUVIUM, 1 TO 5 PERCENT SLOPES	37	C
SfB2	SASSAFRAS GRAVELLY SANDY LOAM, 1 TO 5 PERCENT SLOPES	20	B
SfC2	SASSAFRAS LOAM, 5 TO 10 PERCENT SLOPES	28	B
SuB2	SUNNYSIDE FINE SANDY LOAM, 1 TO 5 PERCENT SLOPES	24	B

LEGEND	
Forest Conservation	
Easement Reforestation	
15%-24.9% Steep Slopes	
Soils divide	
Existing Contour	
Proposed Contour	
Spot Elevation	
Direction of Flow	
Tree Protection Fence	
Existing Trees to Remain	
Limit of Disturbance	



NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
STOCKBRIDGE OVERLOOK

TAX MAP 37 BLOCK 8 PARCEL '118', '1497' & '602'
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
7125 Riverwood Drive Columbia, Maryland 21046-2354
Phone: 410-290-9550 Fax: 410-720-6226
Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

OWNER/DEVELOPER
ELLICOTT CITY LANDHOLDINGS, INC.
8000 MAIN STREET
ELLICOTT CITY, MARYLAND 21043

DESIGN BY: RHY	
DRAWN BY: MHM	
CHECKED BY: RHY	
DATE: JAN 14, 2001	
SCALE: 1"=30'	
K.O. NO.: 00-048	3 SHEET OF 12

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK 2/20/02 DATE

 CHIEF, DIVISION OF LAND DEVELOPMENT HB 2/21/02 DATE

 DIRECTOR 2/27/02 DATE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
 USDA-NATURAL RESOURCES CONSERVATION SERVICE 2/13/02 DATE
 THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

 HOWARD SOIL CONSERVATION DISTRICT 2/15/02 DATE

DEVELOPER'S CERTIFICATE
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

 SIGNATURE OF DEVELOPER 1-15-02 DATE

ENGINEER'S CERTIFICATE
 "I HEREBY CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

 SIGNATURE OF ENGINEER ROBERT H. VOGEL 1/14/02 DATE

SOILS LEGEND			
SYMBOL	NAME / DESCRIPTION	K VALUE	SOIL GROUP
AgC2	AURA GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES	.43	B
AgE3	AURA GRAVELLY LOAM, 10 TO 30 PERCENT SLOPES	.43	B
BaB2	BELTSVILLE SILT LOAM, 0 TO 1 PERCENT SLOPES	.43	C
CnB2	CHILLUM-FAIRFAX LOAMS, 1 TO 5 PERCENT SLOPES	.32	B
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SuB2	SUNNYSIDE FINE SANDY LOAM, 1 TO 5 PERCENT SLOPES	.24	B

LEGEND	
15%-24.9% Steep Slopes	
Soils divide	
Existing Contour	
Proposed Contour	
Spot Elevation	
Direction of Flow	
Tree Protection Fence	
Existing Trees to Remain	
Stabilized Construction Entrance	
Silt Fence	
Super Silt Fence	
Earth Dike	
Limit of Disturbance	
Rip-Rap Inflow Protection	
Erosion Control Matting	
Gabion Inflow Protection	



TEMPORARY TOP OF DAM FOR SEDIMENT CONTROL 8' WIDE, ELEVATION 369.2

Note: All swale areas are to receive ECM and permanent seed mix. -GWS 2/14/02

NO.	REVISION	DATE

SEDIMENT & EROSION CONTROL PLAN
STOCKBRIDGE OVERLOOK
 TAX MAP 37 BLOCK 8 1ST ELECTION DISTRICT
 PARCEL '118', '497' & '602' HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RHW
 DRAWN BY: MHM
 CHECKED BY: RHW
 DATE: JAN 14, 2002
 SCALE: 1"=30'
 W.O. NO.: 00-048
 4 SHEET OF 12

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief Development Engineering Division MK 2/28/02
 Chief, Division of Land Development 2/27/02
 Director 2/27/02

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
 USDA-NATURAL RESOURCES CONSERVATION SERVICE
 THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 HOWARD SOIL CONSERVATION DISTRICT

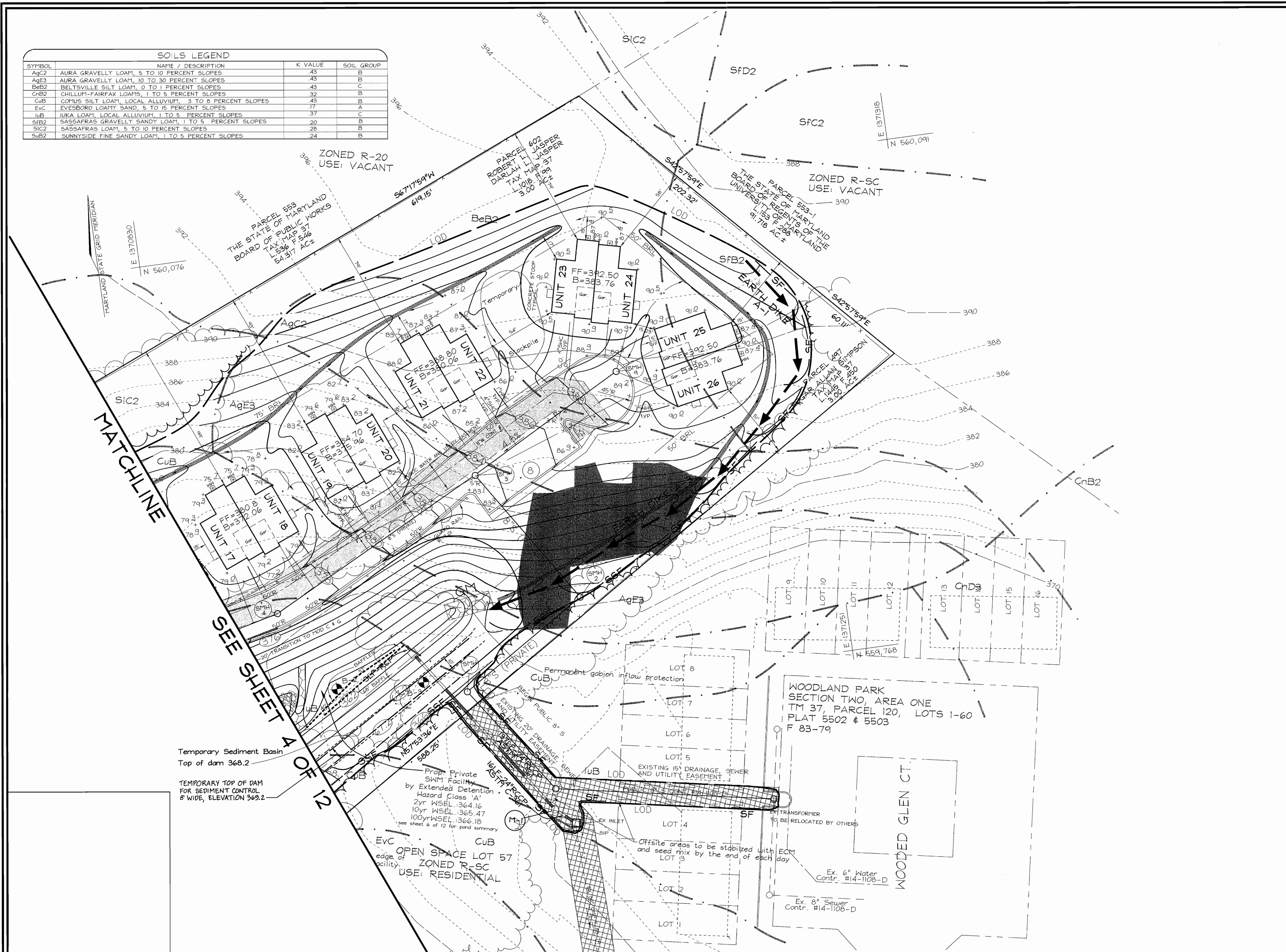
DEVELOPER'S CERTIFICATE
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."
 SIGNATURE OF DEVELOPER
 DATE 1-15-02

ENGINEER'S CERTIFICATE
 "I HEREBY CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL, REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."
 SIGNATURE OF ENGINEER
 DATE 1/14/02

OWNER/DEVELOPER
 ELLICOTT CITY LANDHOLDINGS, INC.
 8000 MAIN STREET
 ELLICOTT CITY, MARYLAND 21043

SOILS LEGEND			
SYMBOL	NAME / DESCRIPTION	K VALUE	SOIL GROUP
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EVC	EVEBORO LOAMY SAND, 5 TO 15 PERCENT SLOPES	17	A
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SfB2	SASSAFRAS GRAVELLY SANDY LOAM, 1 TO 5 PERCENT SLOPES	20	B
SfC2	SASSAFRAS LOAM, 5 TO 10 PERCENT SLOPES	28	B
SuB2	SUNNYSIDE FINE SANDY LOAM, 1 TO 5 PERCENT SLOPES	24	B

LEGEND	
15%-24.9% Steep Slopes	
Soils divide	
Existing Contour	
Proposed Contour	
Spot Elevation	
Direction of Flow	
Tree Protection Fence	
Existing Trees to Remain	
Stabilized Construction Entrance	
Silt Fence	
Super Silt Fence	
Earth Dike	
Limit of Disturbance	
Rip-Rap Inflow Protection	
Erosion Control Matting	
Gabion Inflow Protection	



NO.	REVISION	DATE

SEDIMENT & EROSION CONTROL PLAN
STOCKBRIDGE OVERLOOK
 TAX MAP 37 BLOCK 8 PARCEL '118', '497' & '602'
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

OWNER/DEVELOPER
 ELLICOTT CITY LANDHOLDINGS, INC.
 8000 MAIN STREET
 ELLICOTT CITY, MARYLAND 21043

DESIGN BY: RHW
 DRAWN BY: MHM
 CHECKED BY: RHW
 DATE: JAN. 14, 2002
 SCALE: 1"=30'
 I.C. NO.: 00-048

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Mark M. K... 2/20/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

Candy Hermitz 2/27/02
 CHIEF, DIVISION OF LAND DEVELOPMENT HB DATE

James B. R... 2/27/02
 DIRECTOR DATE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim Meyer / os 2/13/02
 USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Mell... 2/13/02
 HOWARD SOIL CONSERVATION DISTRICT DATE

DEVELOPER'S CERTIFICATE

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

Robert H. Vogel 1-15-02
 SIGNATURE OF DEVELOPER DATE

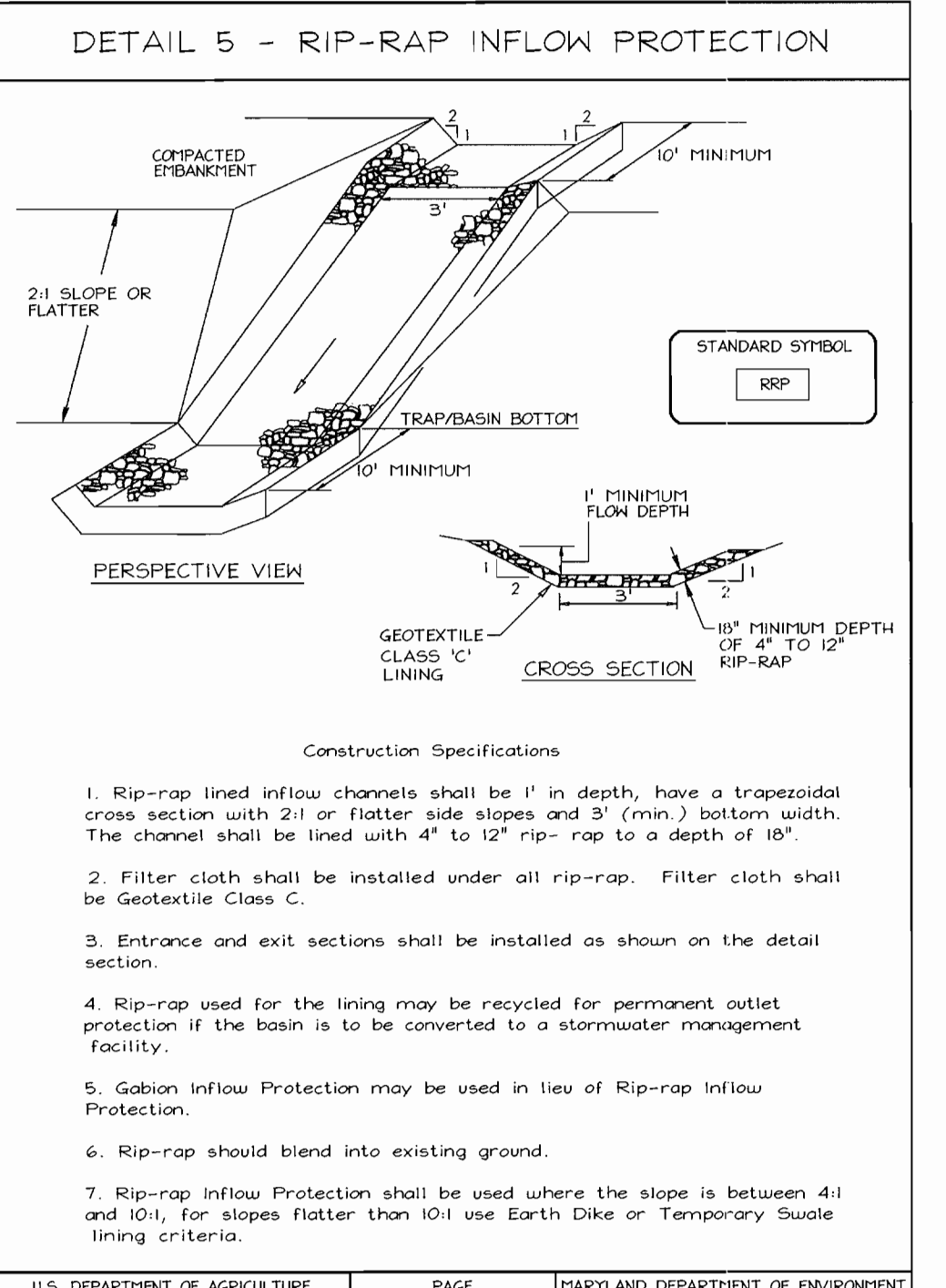
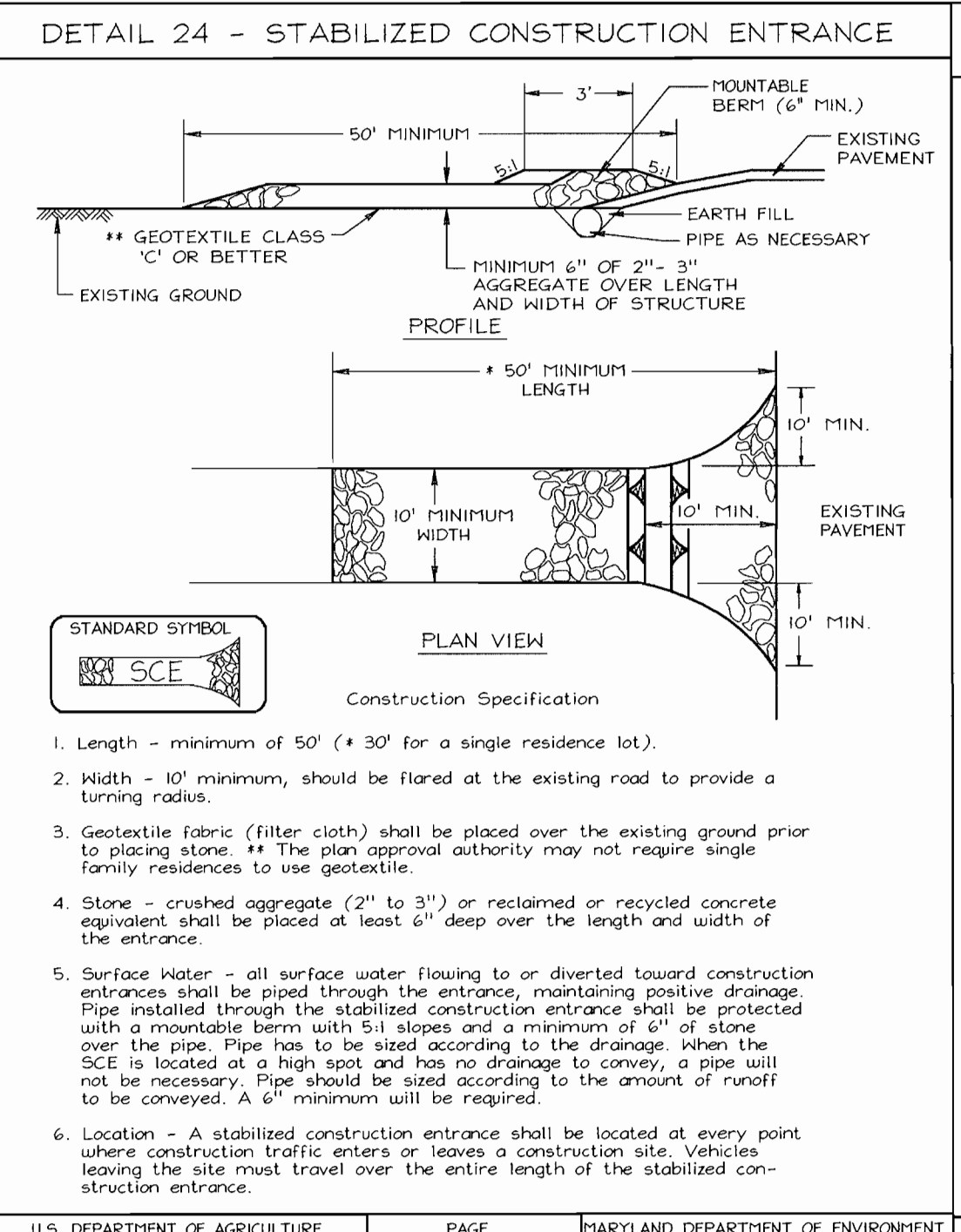
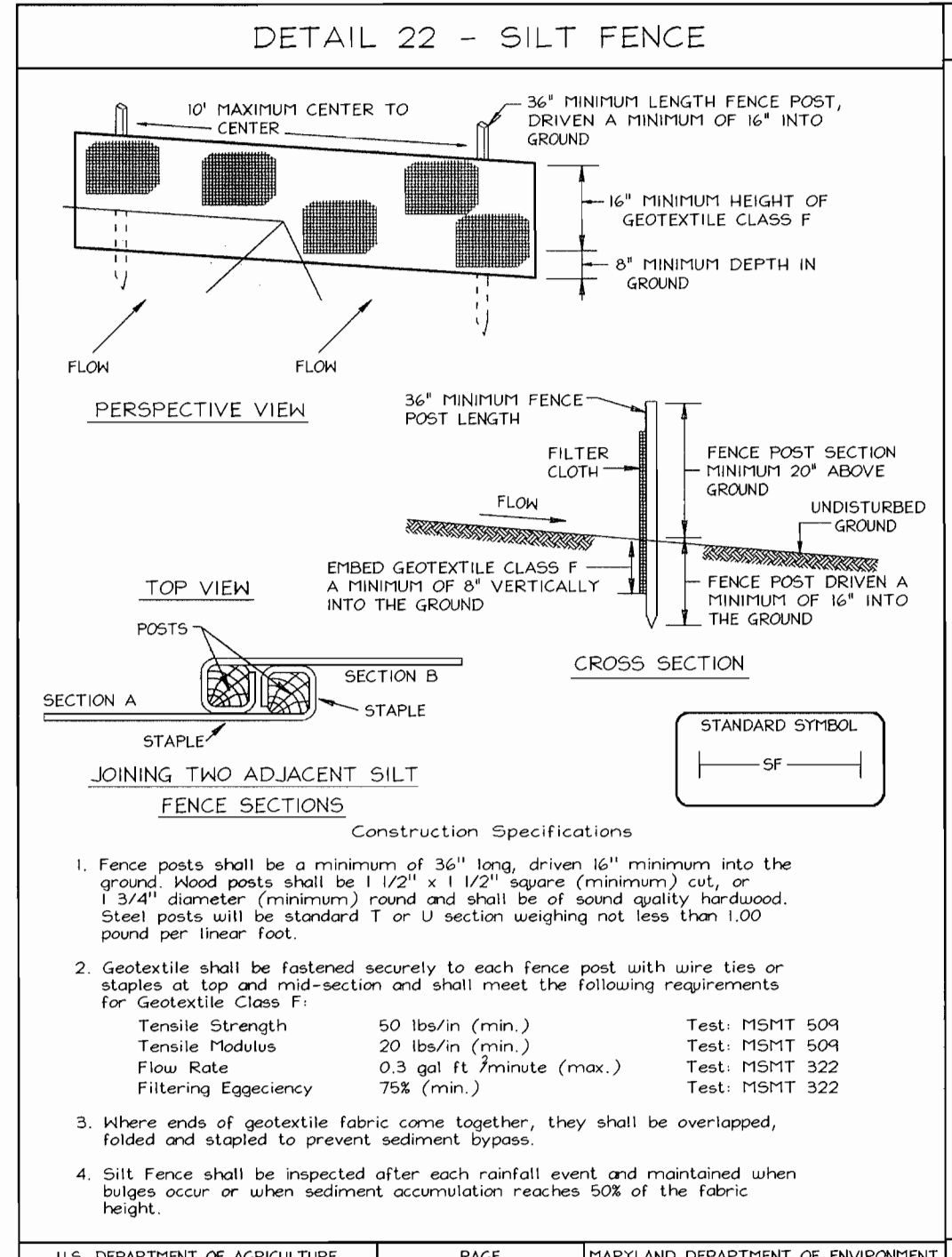
ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

Robert H. Vogel 1/14/02
 SIGNATURE OF ENGINEER DATE

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 ROBERT H. VOGEL, No. 16183

5 SHEET OF 12



PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, shearing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 sq ft) and 400 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs per acre 10-10-10 urea-form fertilizer (14 lbs/1000 sq ft).
- Acceptable - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 sq ft) and apply 1000 lbs per acre 10-10-10 fertilizer (28 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For periods March 1 thru April 30 and August 1 thru October 15, seed with 40 lbs per acre (14 lbs/1000 sq ft) of Tall Fescue. For the period May 1 thru July 31, seed with 40 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (0.9 lbs/1000 sq ft) of urea-form fertilizer. During the period of October 1 thru February 29, protect site by Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use soil. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and match with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 100 lbs/1000 sq ft) of untreated wood grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or flat areas. On slopes 5 feet or higher, use 340 gallons per acre (8 gal/1000 sq ft) of emulsified asphalt on flat areas.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and seedings.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, shearing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding.

SEEDING: For periods March 1 thru April 30 and from August 1 thru November 15, seed with 2 1/2 tons per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 15, seed with 3 lbs. per acre of vernal ryegrass (.07 lbs/1000 sq ft). For the period November 1 thru February 29, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 100 lbs/1000 sq ft) of untreated wood grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or flat areas. On slopes 5 feet or higher, use 340 gallons per acre (8 gal/1000 sq ft) of emulsified asphalt on flat areas.

REFER TO THE H&M MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition: Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose: To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, moderate to high salinity, and/or unacceptable soil gradation.

Conditions Where Practice Applies:

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

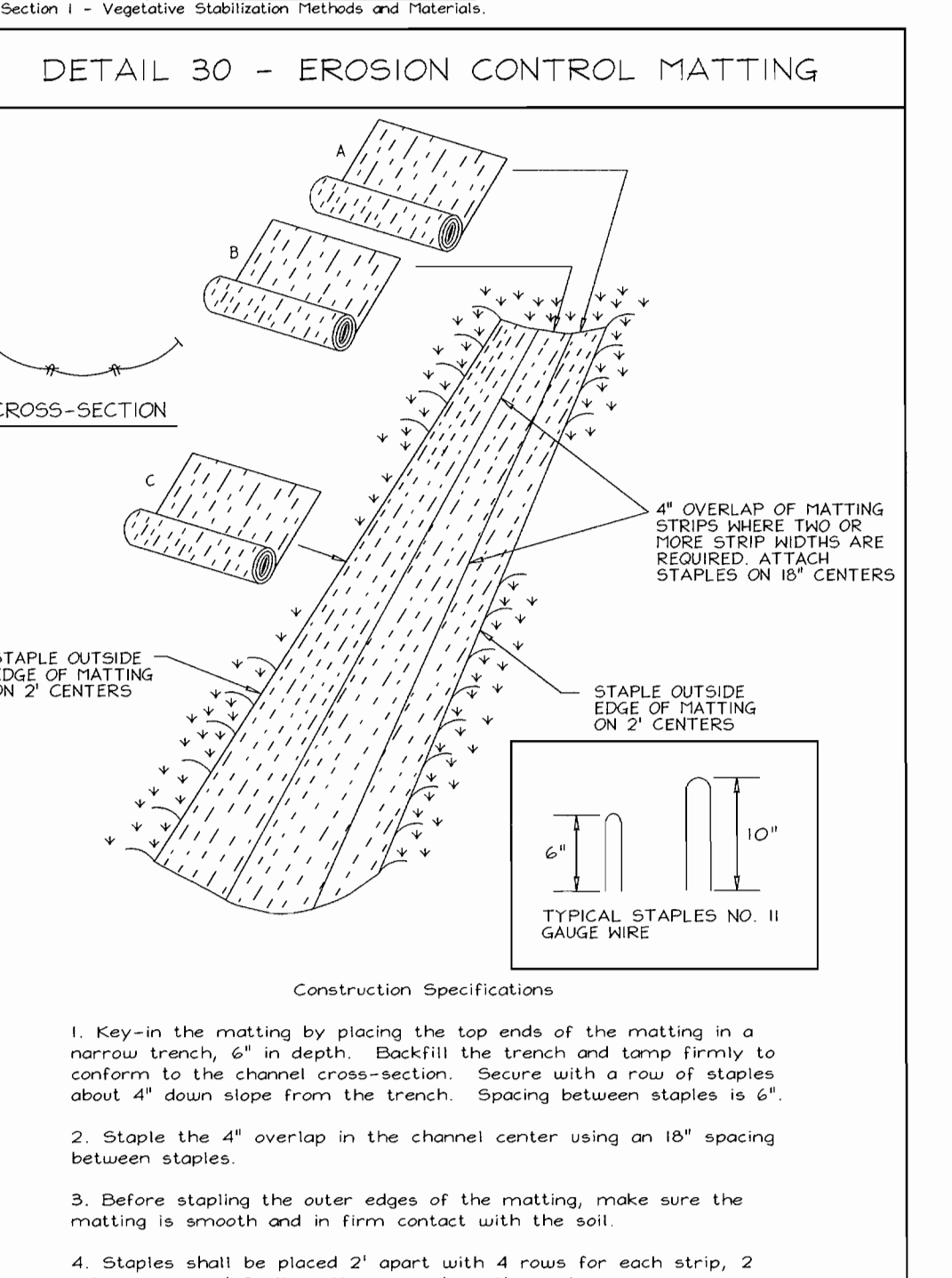
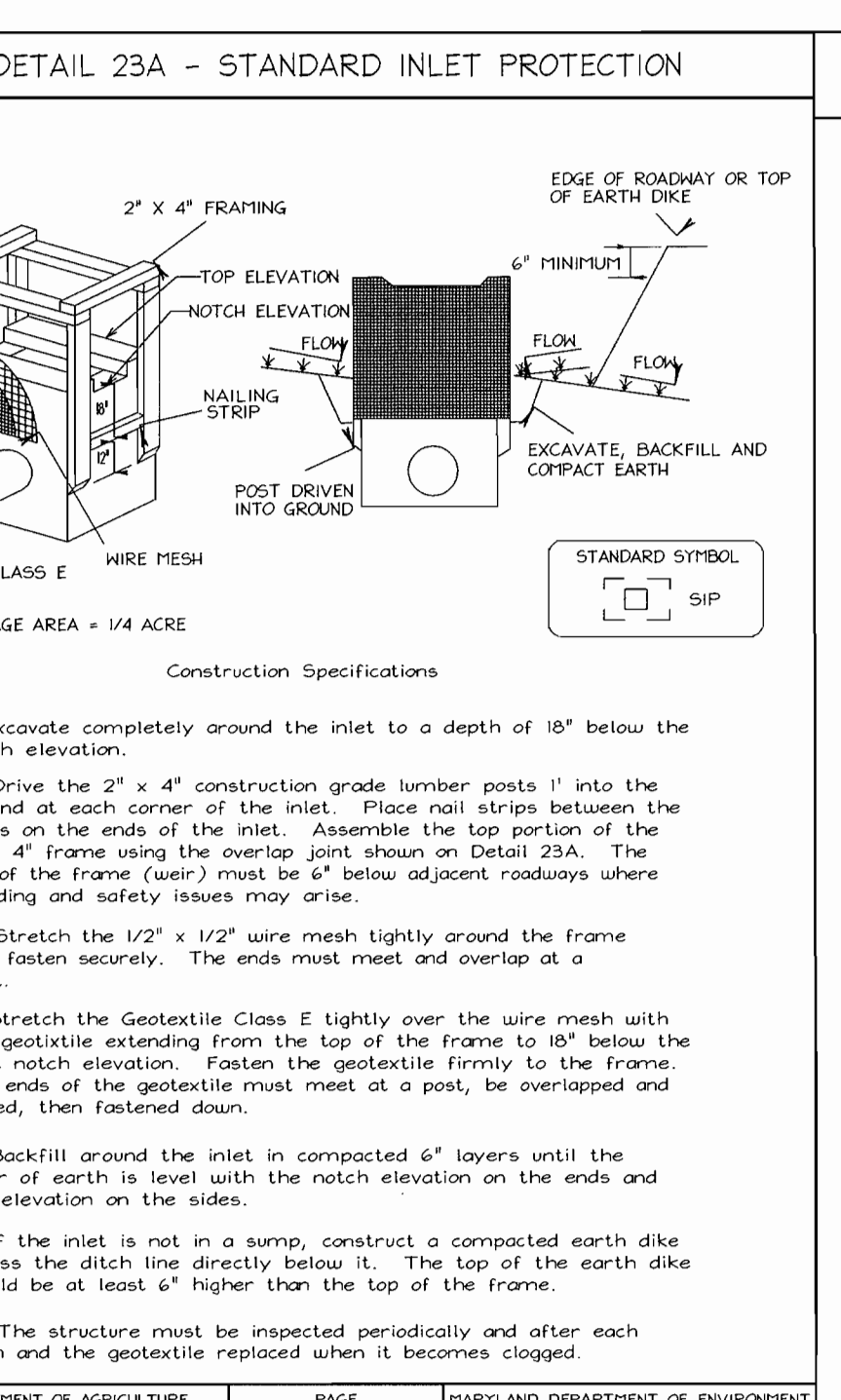
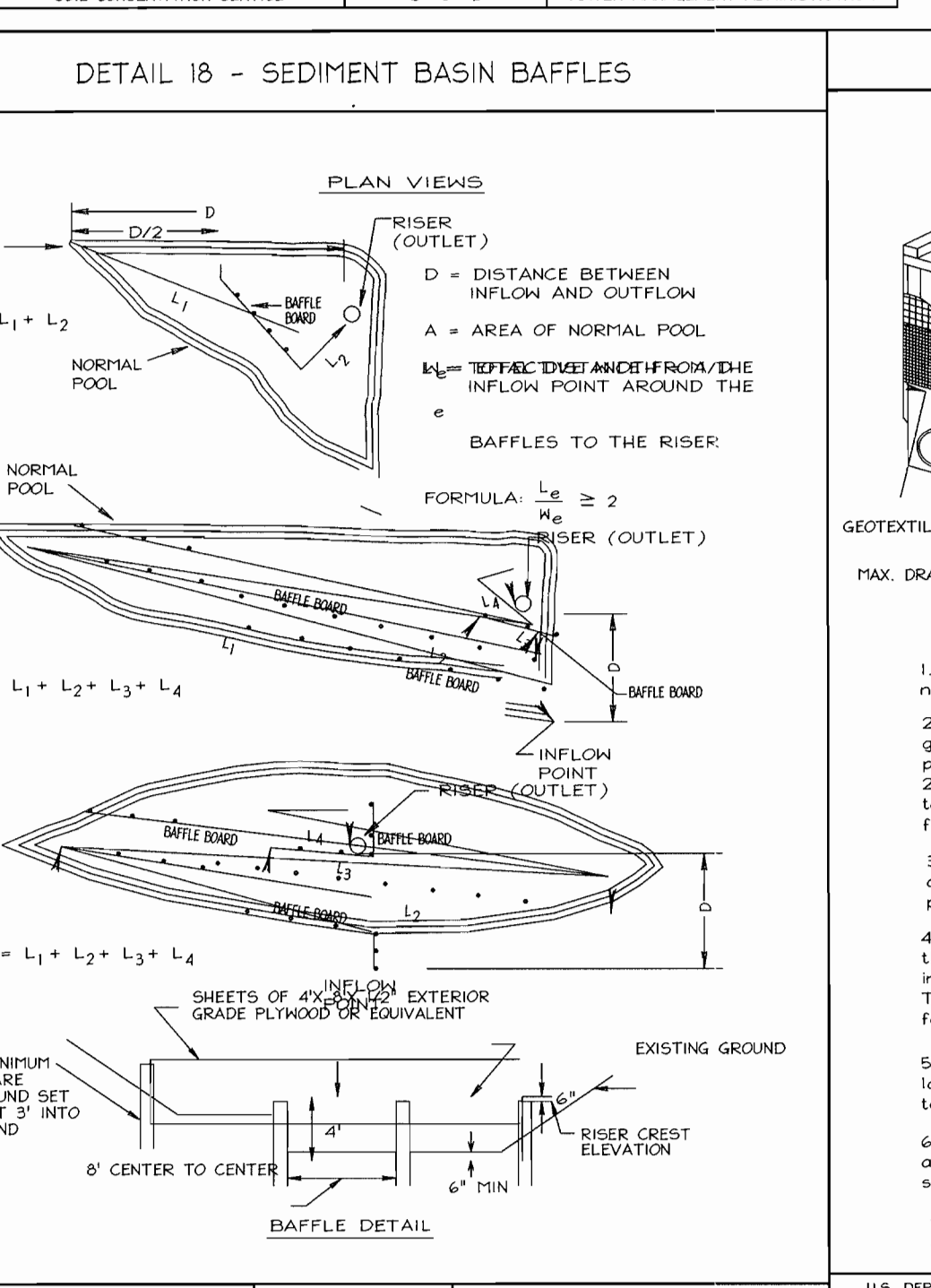
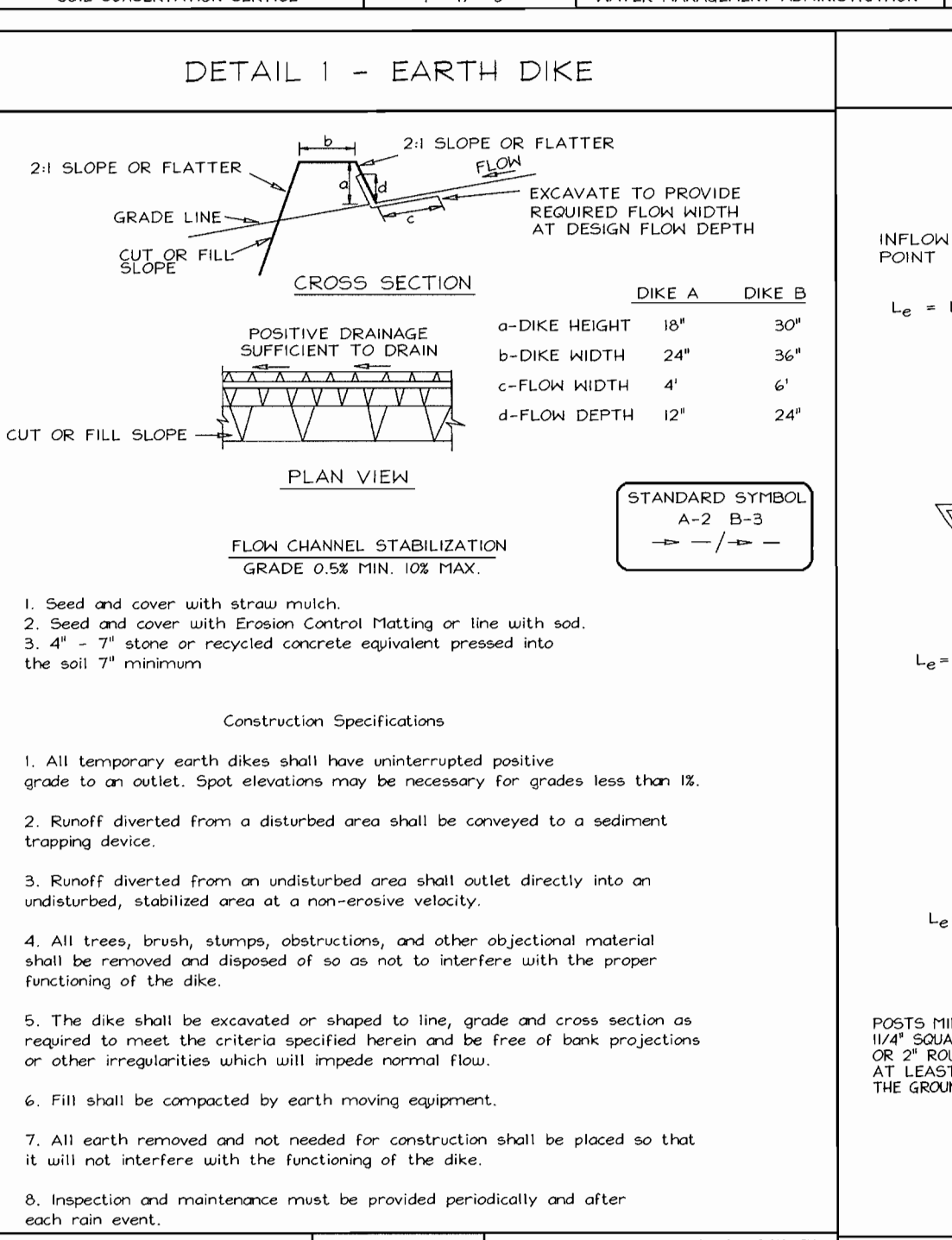
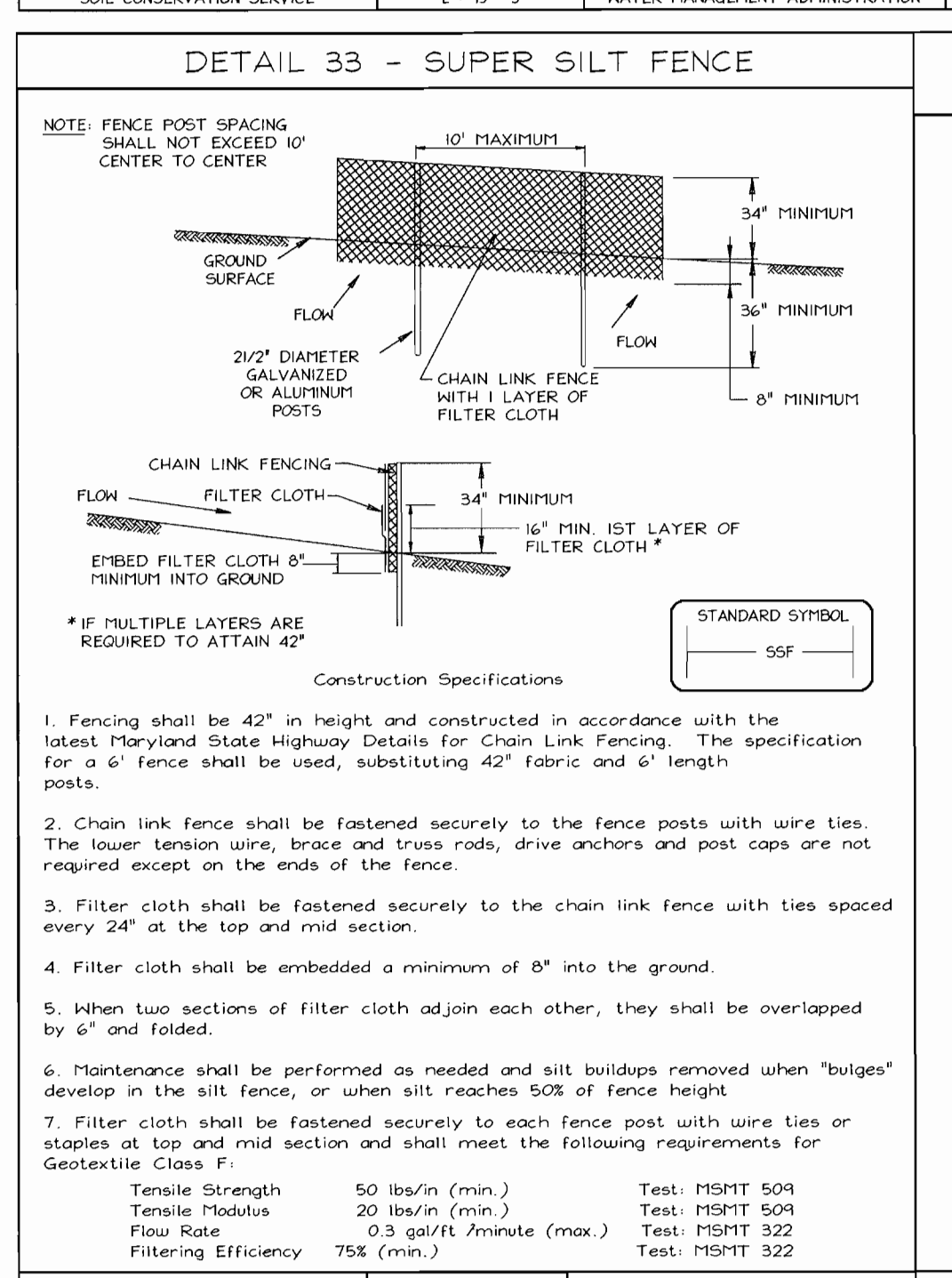
Construction and Material Specifications:

- Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications. Typically, the depth of topsoil to be applied shall be 4" to 6" (200 to 300 lbs/1000 sq ft) of the representative soil profile section in the Soil Survey published by USDA-NRCS in cooperation with Maryland Agricultural Experiment Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if approved by the appropriate authority. Regardless of soil type, the topsoil shall contain a minimum of 1% organic matter and shall contain less than 1% by volume of nodules, clumps, clods, or other materials larger than 1 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as Bermuda grass, ragweeds, johnsongrass, nutgrass, poison ivy, thistles, or others as specified.
 - If the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4.5 lbs/ton (200 lbs/1000 sq ft) prior to the placement of topsoil. Lime shall be distributed uniformly over the subsoil and worked into the soil in conjunction with tillage operations as described in the following procedures.
- For sites having disturbed areas under 5 acres:
 - On soil meeting topsoil specifications, spread test areas, including fertilizer and lime amendments required to bring the soil into compliance with the following:
 - For topsoil shall be between 6.0 and 7.5. If the test soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Organic content of topsoil shall be not less than 1% percent by weight.
 - Topsoil having soluble salt content greater than 400 parts per million shall not be used.
 - No seed or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
 - Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization-Vegetative Stabilization Methods and Materials.
- Topsoil Application:
 - When topsoiling, maintain needed erosion and sediment control practices such as diversions, grade stabilization structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
 - Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" or higher in elevation.
 - Topsoil shall be uniformly distributed in a 4" to 6" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation in the form of tillage operations in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
 - Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seed preparation.

SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits Sediment Control Division prior to the start of any construction (313-1855).
- All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in accordance with the H&M MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within (a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1, (b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shall be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the H&M MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, soil, temporary seeding, and mulching (Sec. G). Temporary stabilization with mulch alone shall be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total Area	6.66 Acres
Area Disturbed	5.20 Acres
Area to be roofed or paved	1.20 Acres
Area to be vegetatively stabilized	4.46 Acres
Total Cut	4678 CY
Total Fill	4468 CY
Offsite waste/borrow area location	
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.
- To be determined by contractor, with pre-approval of the Sediment Control Inspector with an approved and active grading permit.

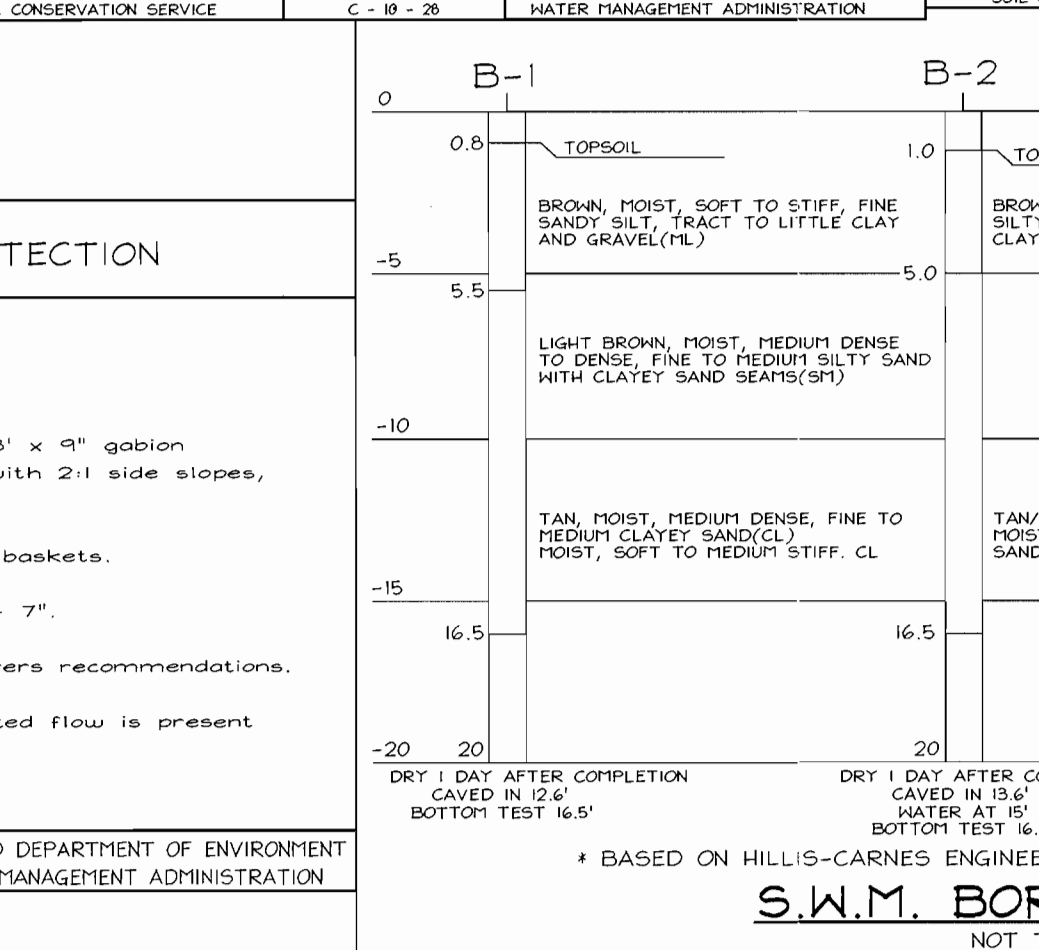
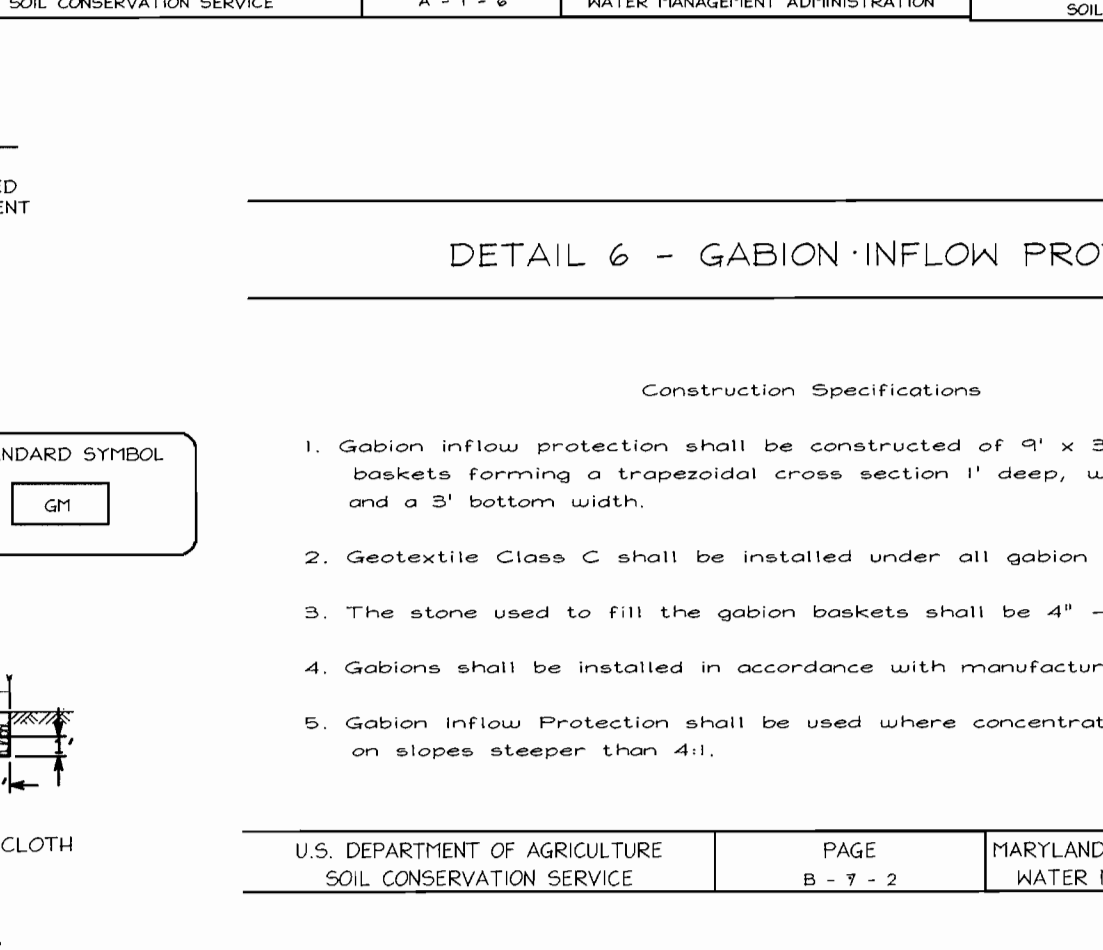
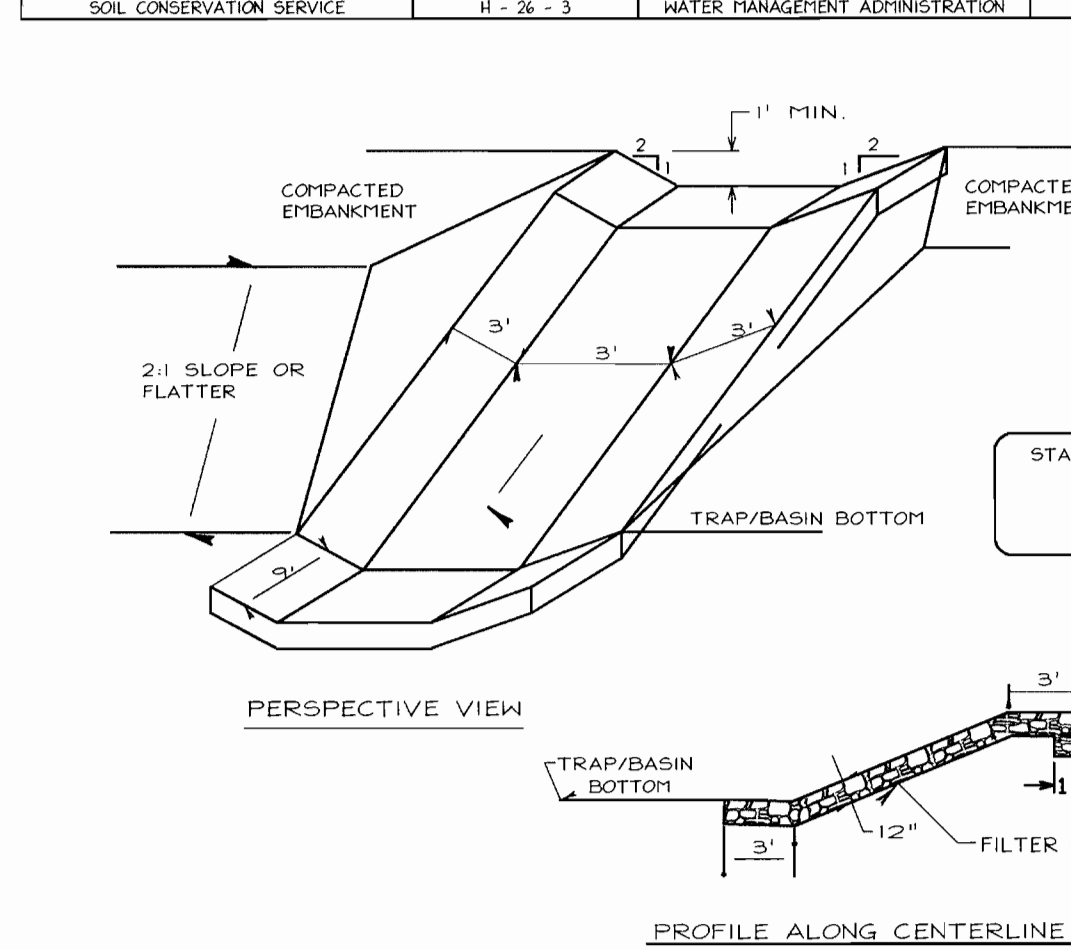


SEQUENCE OF CONSTRUCTION

- Obtain grading permit.
- Notify Howard County Bureau of Inspections and Permits at (410)313-1860 at least 24 hours before starting any work.
- Install Stabilized Construction Entrances, Silt Fence and Super Silt Fence.
- Construct Sediment Basin and Control Structures. Block wall, *Just off earth dikes*.
- With permission of sediment control inspector, rough grade site and remove existing buildings and paving (2 weeks).
- Construct Water, Sewer and any remaining utilities. (3-4 weeks)
- Construct Storm Drain System. (3-4 weeks)
- Begin construction of buildings. (6 mo. - 1 year)
- As building construction continues fine grade site (1 week)
- With permission of sediment control inspector, install curb and gutter and paving. (1 month)
- Install Landscaping (1 week)
- With permission of the inspector, flush Storm Drain System, clean Stormsewer and remove all Sediment Controls from the site. Stabilize all disturbed areas immediately. (1 week)
- With permission of sediment control inspector, Convert Sediment Basin to Final Stormwater Management Facility by Removing Temp. Blocking (3 Days)
- During grading and after each rainfall, contractor will inspect and provide necessary maintenance to the Sediment Control measures on this plan.
- Following initial soil disturbances or redistribution permanent or temporary stabilization shall be completed within:
 - A - 7 calendar days for all perimeter Sediment Control Structures, Dikes, Earth Dikes and all slopes greater than 3:1.
 - B - 14 calendar days for all other disturbed areas.

Figure 2 temporary Sediment Basin Design Data Sheet
 computed by: R. Vogel, Date: 12/26/00, Checked by: _____, Date: _____
 Project name: Stockbridge Overlook Basin #: _____
 Location: _____
 Total area framing to basin 6.6 acres (ac)
 Basin Volume Design
 Note: 1. Also see Surface Area Design #30, this form.
 2. To convert ft³ to yd³, divide ft³ by 27. To convert ft² to yd², divide ft² by 9.

1. Min required vol = 3600 ft ³ /ac x 6.6 ac, drainage = 23760 ft ³ 0.55	24. Design High Water = 367.20 ft.
2. Actual Volume of basin = 30490 ft ³	26. Min. settled top of dam = 368.20 ft.
3. Excavatio 30,000 ft ³ (1,111 yd ³) to obtain required capacity.	27. Permanent pool = 363.90 ft.
4. Vol. of dewatering elev = 1800 ft ³ /ac x 6.6 ac = 11880 ft ³ 0.27	28. Bottom of Basin = 362.00 ft.
5. Vol. of basin at cleanout = 900 ft ³ /ac x 6.6 ac = 5940 ft ³ 0.14	29. Draw-down device orifice area = 362.00 ft.
6. Elevation corresponding to min. required volume of basin (riser crest elevation) 365.30 ft.	30. Begin perfs @ 363.90
7. Permanent pool elevation 363.90 ft. wet	
8. Distance from riser crest elevation to permanent pool elevation 1.40 ft.	
9. Basin cleanout elevation 363.00 ft.	
10. Distance from riser crest elevation to cleanout elevation 2.3 ft.	



DEVELOPER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD COUNTY SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

Jim Meyer 2/13/02
 SIGNATURE OF DEVELOPER DATE

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL, REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE PROJECT AND THE REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF THE ENVIRONMENT. I HAVE HAD THE DEVELOPER ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD COUNTY SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

Robert H. Vogel 1/14/02
 SIGNATURE OF ENGINEER DATE

TEMPORARY SEDIMENT BASIN

Q2 EXIST: 3.3 cfs
 Q2 SEC: 3.3 cfs (GRADED SAND)

OWNER/DEVELOPER
 ELLICOTT CITY LANDHOLDERS, INC.
 8000 MAIN STREET
 ELLICOTT CITY, MARYLAND 21043

SEDIMENT AND EROSION CONTROL NOTES & DETAILS

STOCKBRIDGE OVERLOOK

TAX MAP 37 BLOCK 8
 1ST ELECTION DISTRICT

PARCEL 118, 497 & 602
 HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-780-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: R.H.V.
 DRAWN BY: J.C.O.
 CHECKED BY: R.H.V.
 DATE: JAN 14, 2002
 SCALE: AS SHOWN
 W.O. NO.: 00-048

6 SHEET OF 12

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Dammann 2/20/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

Cind Hamrick 2/27/02
 CHIEF, DIVISION OF LAND DEVELOPMENT HB DATE

Ray S. Hunt 2/27/02
 DIRECTOR DATE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim Meyer 2/13/02
 USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert H. Vogel 2/13/02
 HOWARD SOIL CONSERVATION DISTRICT DATE

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 SIGNATURE OF ENGINEER DATE

TEMPORARY SEDIMENT BASIN

Q2 EXIST: 3.3 cfs
 Q2 SEC: 3.3 cfs (GRADED SAND)

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SEDIMENT AND EROSION CONTROL NOTES & DETAILS

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STOCKBRIDGE OVERLOOK

TAX MAP 37 BLOCK 8
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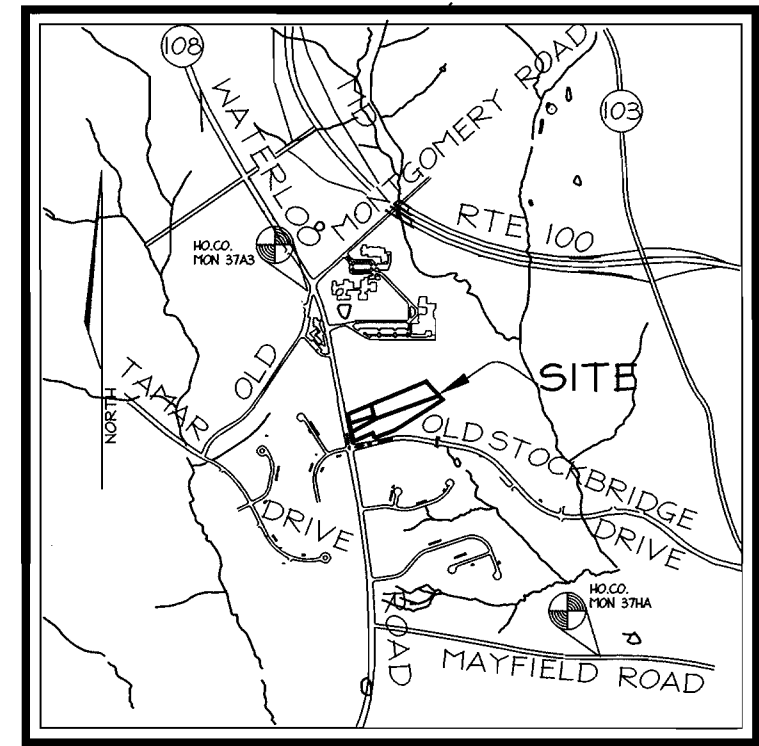
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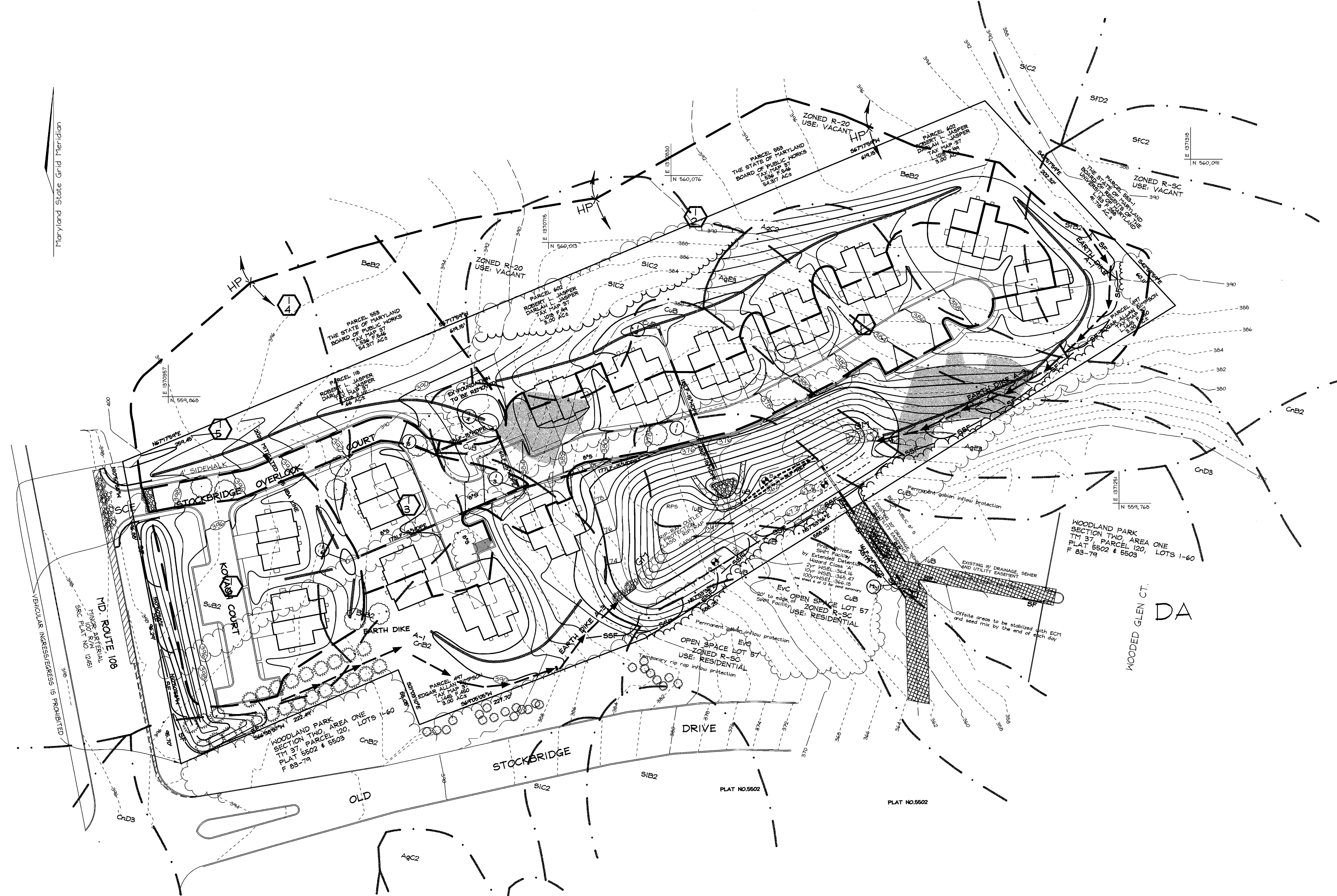
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6 SHEET OF 12

Maryland State Grid Meridian



VICINITY MAP
SCALE: 1"=2000'



DRAINAGE AREA TABULATIONS

No.	Area	'C'	% Imp.	Soil Types	Zone
1-1	1.04 Ac.	0.29	-	B and C	R-3C
1-2	1.65 Ac.	0.29	-	B and C	R-3C
1-3	0.43 Ac.	0.31	-	B and C	R-3C
1-4	1.09 Ac.	0.28	-	B and C	R-3C
1-5	0.16 Ac.	0.86	-	B and C	R-3C
1-6	0.68 Ac.	0.29	-	B and C	R-3C

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	K VALUE	SOIL GROUP
AgC2	AURA GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES	.43	B
AgE3	AURA GRAVELLY LOAM, 10 TO 30 PERCENT SLOPES	.43	B
BeB2	BELTSVILLE SILT LOAM, 0 TO 1 PERCENT SLOPES	.43	C
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/20/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

[Signature] 2/20/02
CHIEF, DIVISION OF LAND DEVELOPMENT hb DATE

[Signature] 2/27/02
DIRECTOR DATE

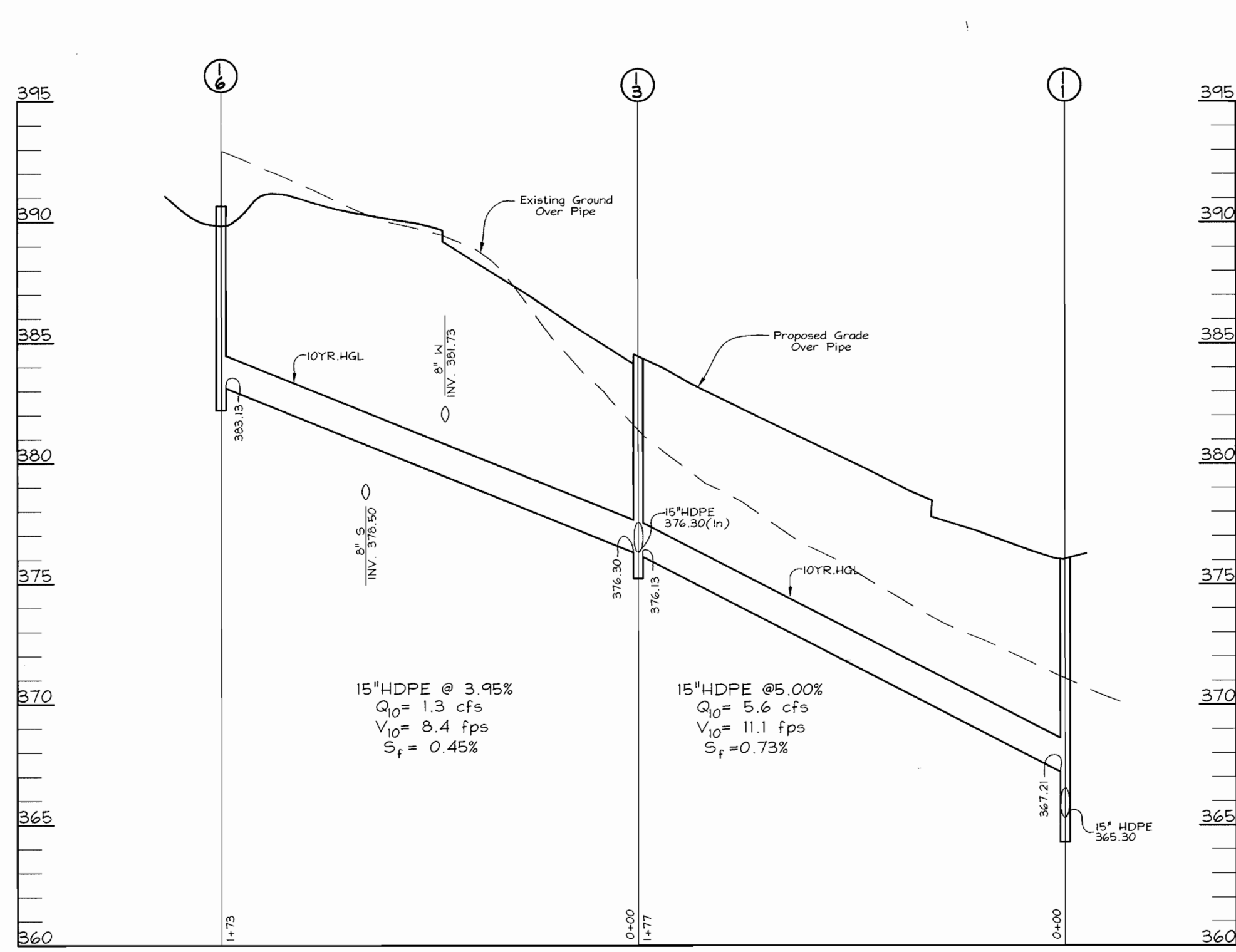
**PROPOSED CONDITIONS
STORM DRAIN
DRAINAGE AREA MAP
STOCKBRIDGE OVERLOOK**

TAX MAP 37 BLOCK 8 PARCEL '118', '497', '602'
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

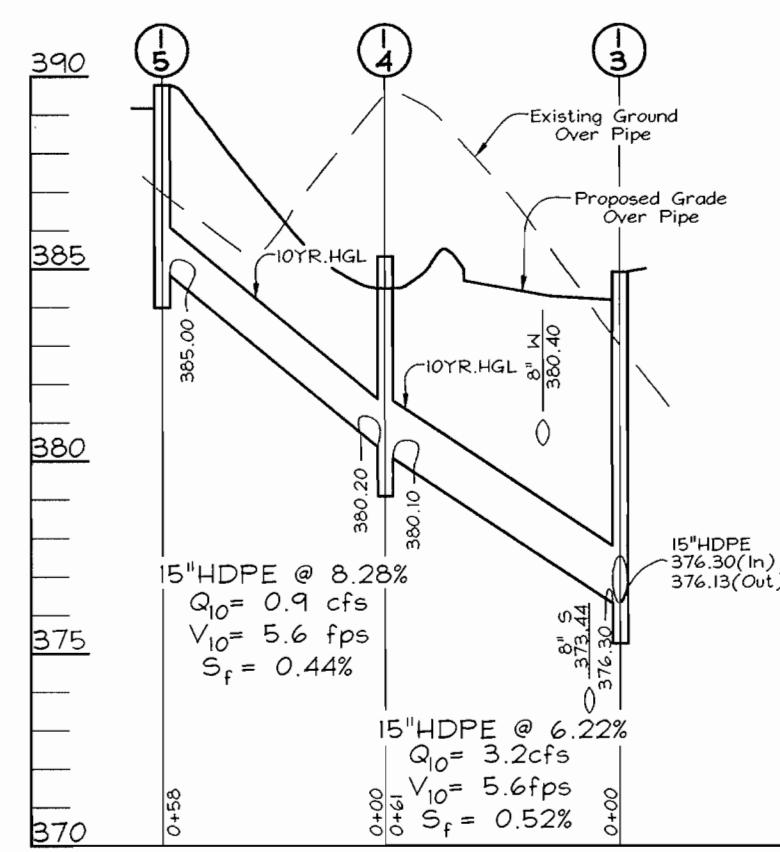
FREDERICK WARD ASSOCIATES, INC.
ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RHW
DRAWN BY: CHH
CHECKED BY: RHW
DATE: JAN. 14, 2002
SCALE: 1"=50'
W.O. NO.: 00-048

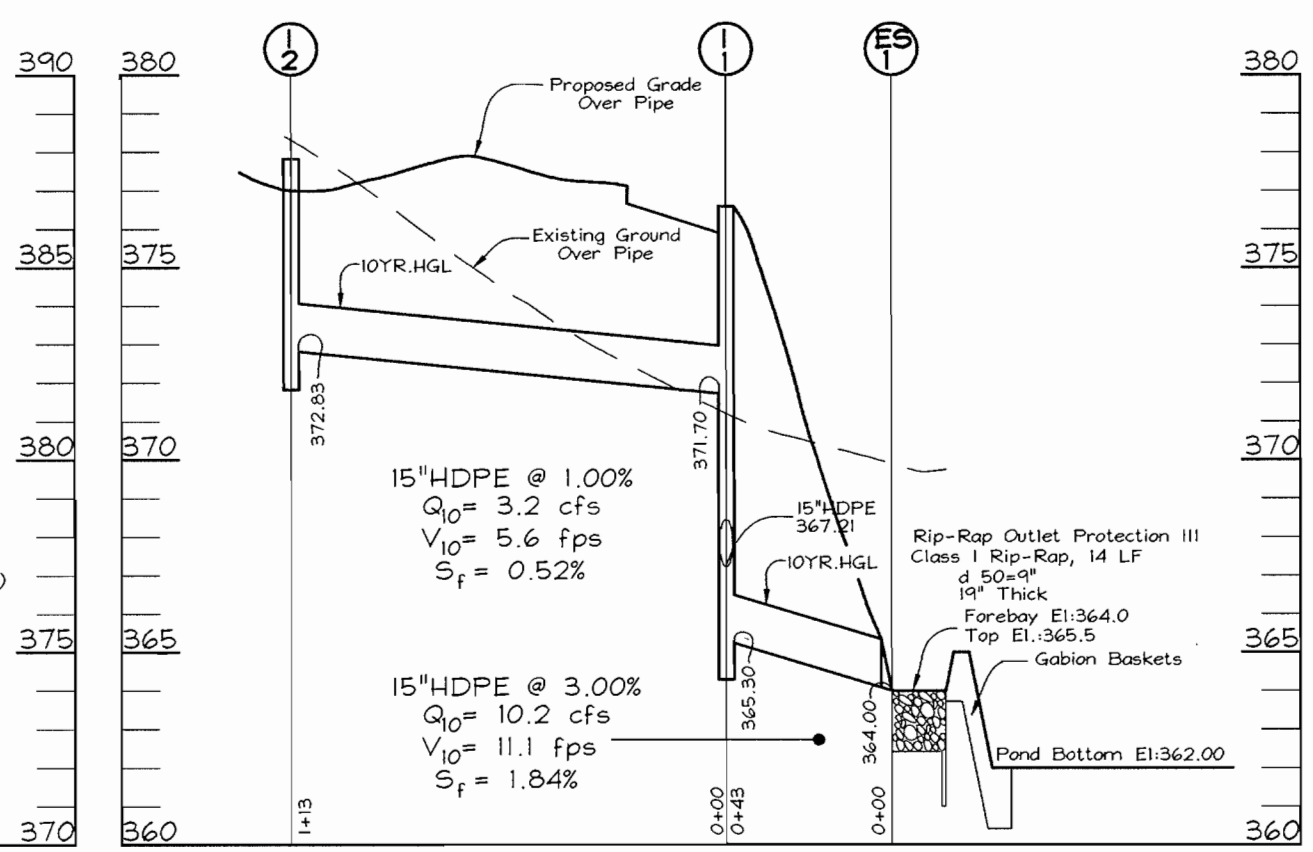
7 SHEET OF 12



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

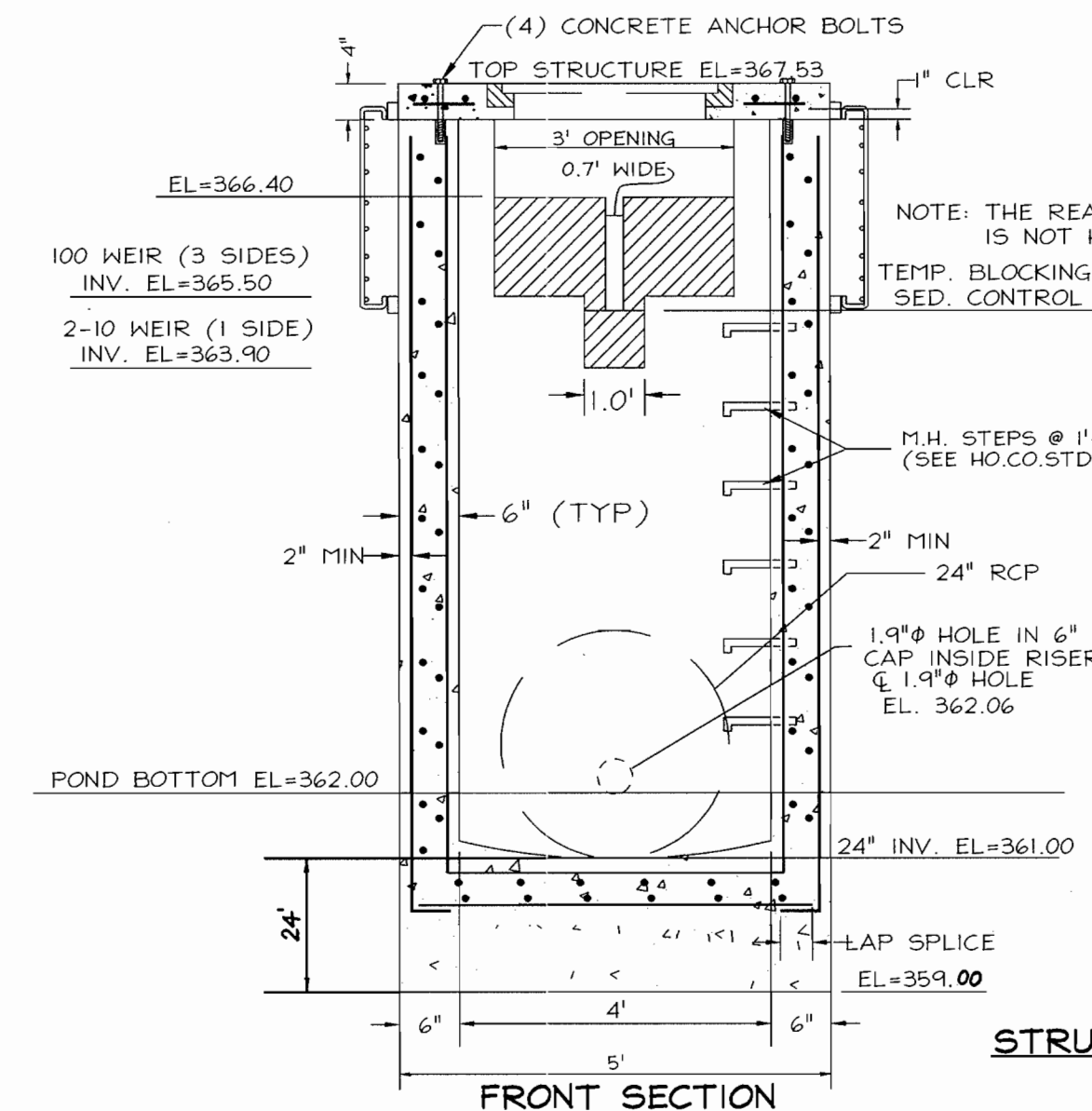


STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

PIPE SCHEDULE		
SIZE	TYPE	LENGTH
15"	HDPE	625 LF
24"	RCCP ASTM C-361	153 LF

STRUCTURE SCHEDULE						
NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	REMARKS
I-1	Precast WR Inlet	N 559827 E 1370858	376.87	371.70	365.30	SD 4.35
I-2	Precast Type 'D' Inlet	N 559933 E 1370818	377.00	-	372.83	SD 4.39
I-3	Precast WR Inlet	N 559780 E 1370688	384.92	379.49	SD 4.35	
I-4	Precast Type 'D' Inlet	N 5598381 E 1370664	384.50	380.20	SD 4.39	
I-5	Precast WR Inlet	N 559816 E 1370608	389.77	-	385.00	SD 4.35
I-6	Precast Type 'D' Inlet	N 559713 E 1370526	389.80	-	385.50	SD 4.39
M-1	Precast Manhole (4')	N 559693 E 1371047	362.50	355.52	G 5.12	
CS-1	Control Structure(See Detail)	N 559805 E 1370970	367.33	362.00	See Detail	
E-1	HDPE End Section(See Detail)	N 559788 E 1370876	365.25	-	364.00	See Detail

NOTE: 1. Top elevations are to the center of the structure at top of curb for WR Inlets, throat invert for Type 'D' Inlets and top of Manhole cover for Precast Manholes.



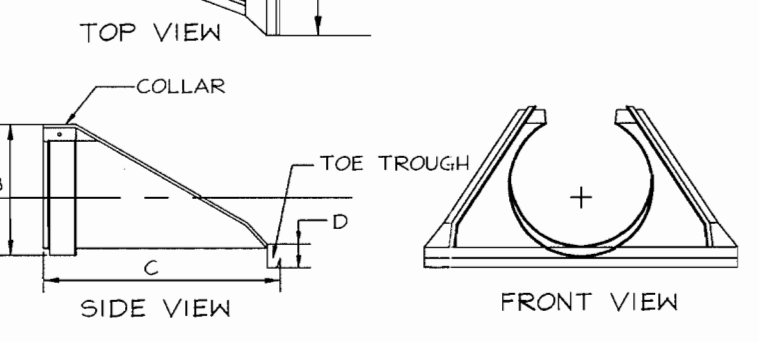
PRECAST STRUCTURE S-1 DETAIL
NOT TO SCALE

FLOWS	POND SUMMARY		
	2 YEAR	10 YEAR	100 YEAR
FLOW INTO POND	0.32 c.f.s.	19.51 c.f.s.	33.19 c.f.s.
FLOW OUT OF POND	0.65 c.f.s.	6.30 c.f.s.	25.19 c.f.s.
IN S. ELEVATION	364.16	365.47	364.10
STORAGE VOLUME	0.31 AC FT	0.36 AC FT	0.75 AC FT

OPERATION, MAINTENANCE AND INSPECTION
INSPECTION OF THE POND(S) SHOWN HEREON SHALL BE PERFORMED AT LEAST ANNUALLY, IN ACCORDANCE WITH THE CHECKLIST AND REQUIREMENTS CONTAINED WITHIN USDA, SOCS "STANDARDS AND SPECIFICATIONS FOR PONDS" (FD-375). THE POND OWNER(S) AND ANY NEIGHS, SUCCESSORS, OR ASSIGNEES SHALL BE RESPONSIBLE FOR THE SAFETY OF THE POND AND THE CONTINUED OPERATION, SURVEILLANCE, INSPECTION AND MAINTENANCE THEREOF. THE POND OWNER(S) SHALL PROMPTLY NOTIFY THE SOIL CONSERVATION DISTRICT OF ANY UNUSUAL OBSERVATIONS THAT MAY BE INDICATIONS OF DISTRESS SUCH AS EXCESSIVE SEEPAGE, TURBID SEEPAGE, SLIDING, OR SLIPPING.

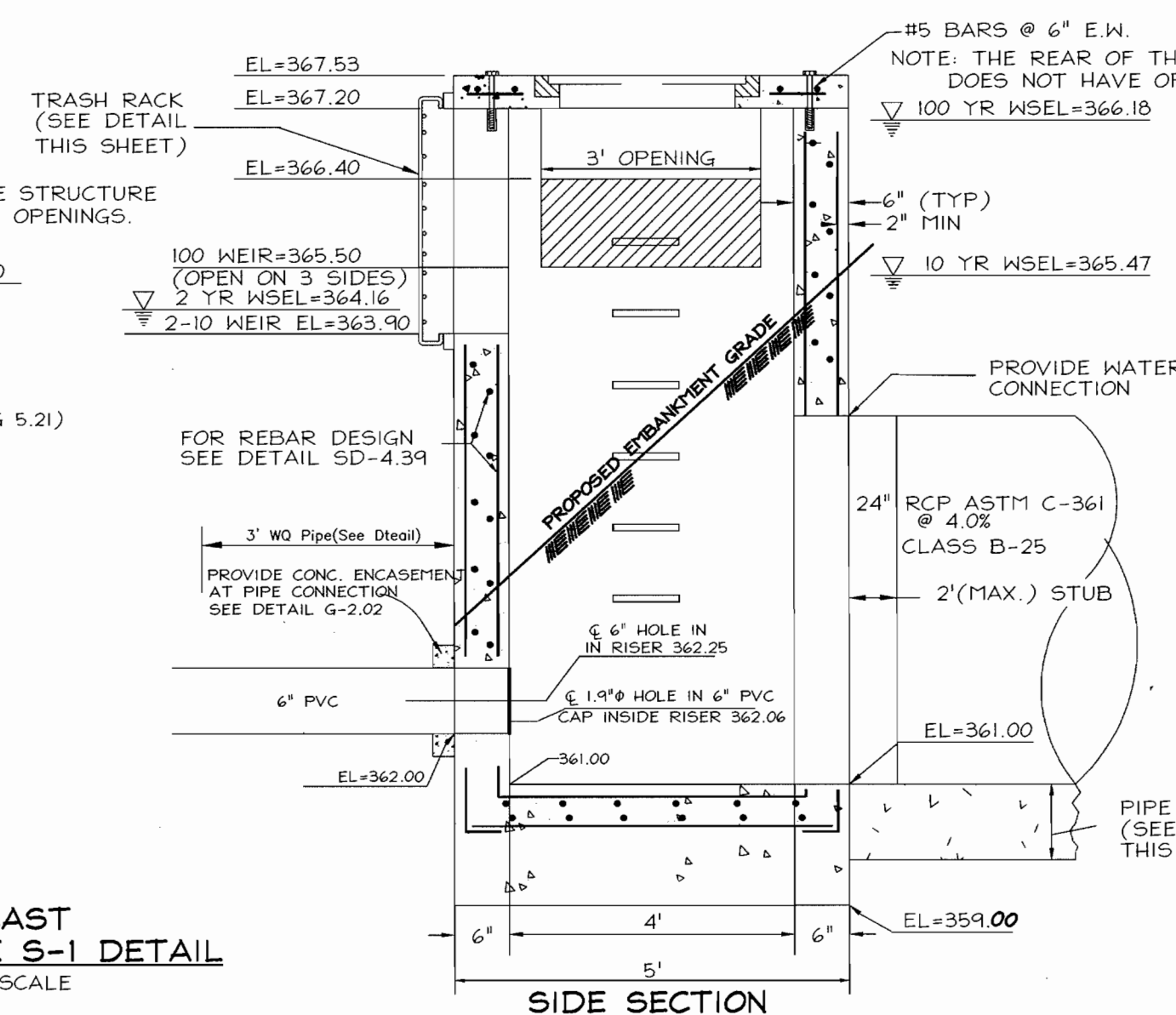
OPERATION AND MAINTENANCE SCHEDULE FOR STORMWATER MANAGEMENT DETENTION FACILITY
STORMWATER MANAGEMENT FACILITY
ROUTINE MAINTENANCE
1. FACILITY WILL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS.
INSPECTIONS SHOULD BE PERFORMED DURING WET WEATHER TO DETERMINE IF FUNCTIONING PROPERLY.
2. TOP AND SIDE SLOPES OF THE EMBANKMENT SHALL BE MOWN A MINIMUM OF TWO (2) TIMES A YEAR, ONCE IN JUNE AND ONCE IN SEPTEMBER.
OTHER SIDE SLOPES AND MAINTENANCE ACCESS SHOULD BE MOWN AS NEEDED.
3. DEBRIS AND LITTER NEXT TO THE OUTLET STRUCTURE SHALL BE REMOVED DURING REGULAR MOWING OPERATIONS AND AS NEEDED.
4. FLOTTABLE SANDS OF EROSION IN THE POND AS WELL AS RIPRAP OUTLET AREAS SHALL BE REPAIRED AS SOON AS IT IS NOTICED.
NON-ROUTINE MAINTENANCE
1. STRUCTURAL COMPONENTS OF THE POND SUCH AS THE DAM, THE RISER, AND THE PIPES SHALL BE REPAIRED UPON DETECTION OF ANY DAMAGE.
THE COMPONENTS SHOULD BE INSPECTED DURING ROUTINE MAINTENANCE OPERATIONS.
2. SEDIMENT SHOULD BE REMOVED WHEN ITS ACCUMULATION SIGNIFICANTLY REDUCES THE DESIGN STORAGE, INTERFERES WITH THE FUNCTION OF THE RISER, WHEN DEEMED NECESSARY FOR AESTHETIC REASONS, OR WHEN DEEMED NECESSARY BY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

DIMENSION	HDPE FLARED END SECTION					
	10/12	15	18	24	30	36
A	42	41	49	59/2	88	88
B	14 1/2	19	22	28	36	43
C	33	34	43	48	63 1/2	66 1/2
D	6	6	6	6	6	6

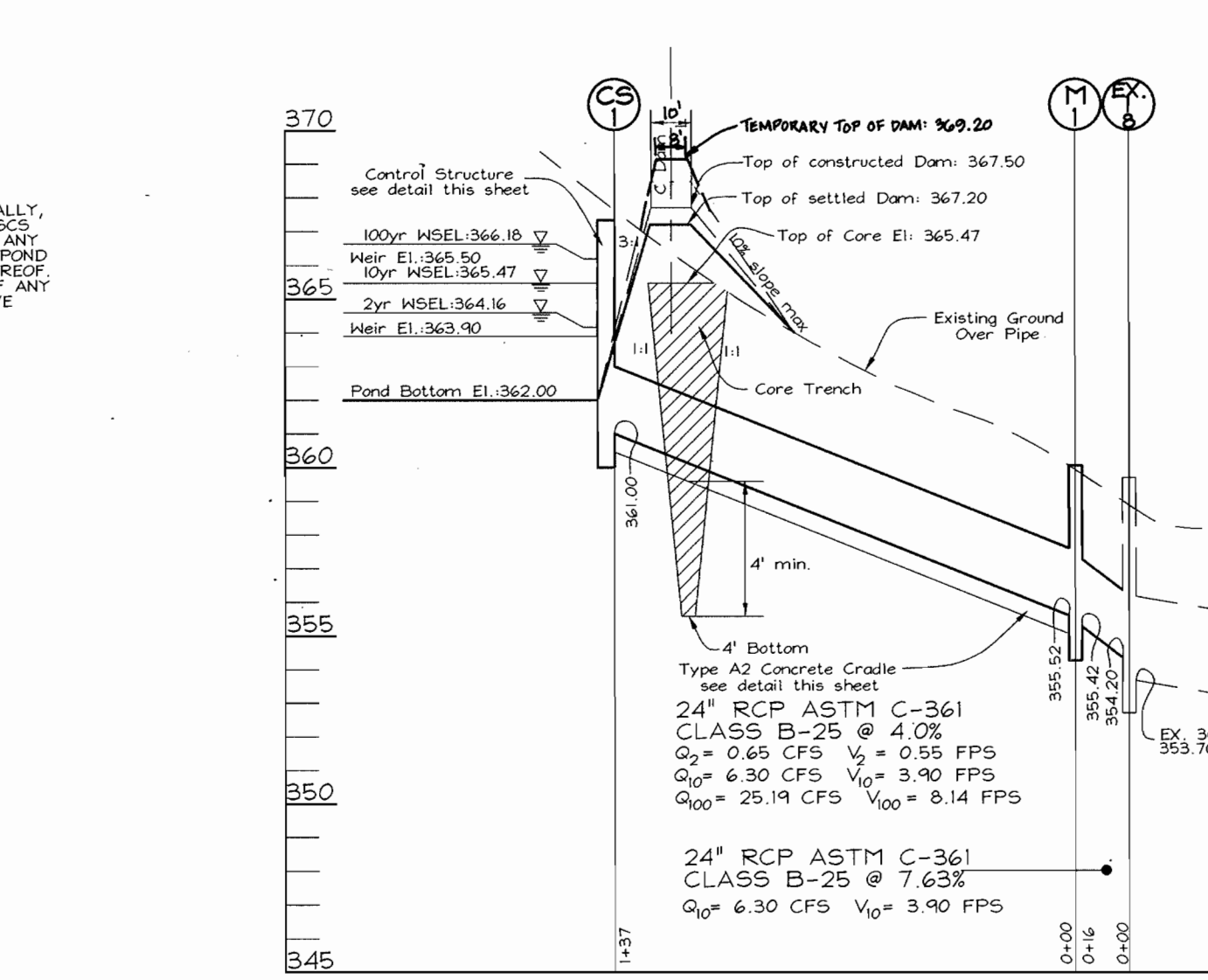


HDPE END SECTION DETAIL
NOT TO SCALE

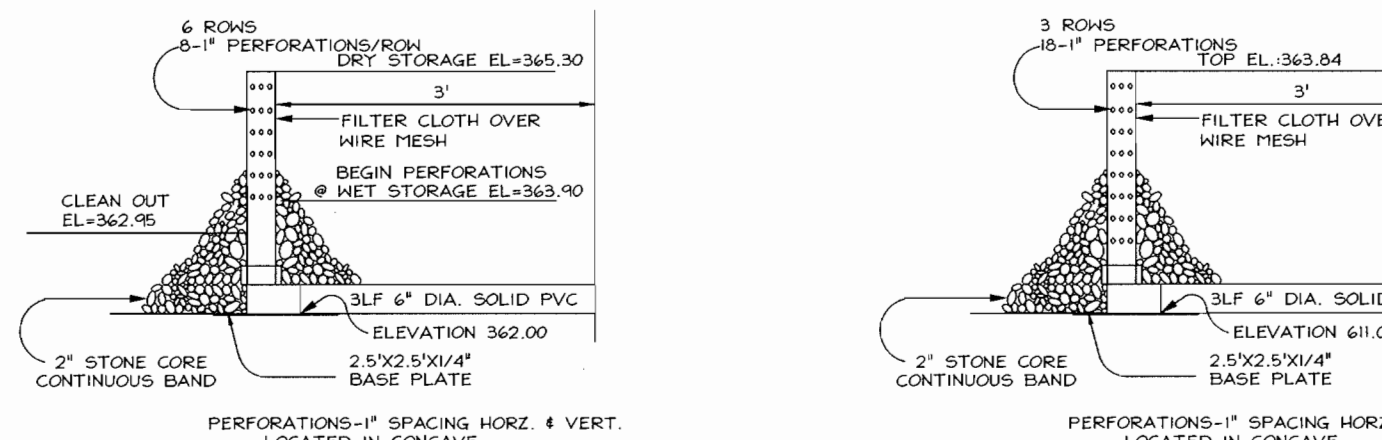
HDPE END SECTION CONSTRUCTION SEQUENCE
1. PREPARE BEDDING
Bedding material around the end section may be the same as the material around the pipe. Place a few inches of bedding material in the trench or ditch where the end section will be placed. Compact and contour this material to generally match the end section; excavate an area in the bedding where the toe trough will seat to that the end section will align to the proper grade in the finished installation.
2. PLACE END SECTION ON PIPE
Open the end section collar and seat it over the last two pipe corrugations. Once the end section is positioned, check to make sure that the invert of the end section matches the invert of the pipe and that the end section is aligned to proper grade.
3. SECURE THE END SECTION
Slip the stainless steel rod through the pre-drilled holes at the top of the collar. The rod should be between the grooves of the two corrugations at the end of the pipe. Place a washer on either end of the rod, place a nut on either end of the rod and hand tighten with a wrench until the collar is tight around the pipe. Do not over-tighten.
4. SECURE TOE TROUGH
To prevent washouts from high velocity flow, it is recommended that the toe trough be secured with concrete. Pour concrete in the trough up to the level of the trench or ditch bottom and along the entire length of the trough.
5. FINISH BACKFILL
Shovel backfill around the end section in 6-8 inch layers equally on both sides, knitting it in to eliminate voids. Tare with a small-faced compactor or other equipment suitable for small areas. Continue placing, knitting, and compacting backfill material in layers to the top of the end section to seat it well into the backfill.



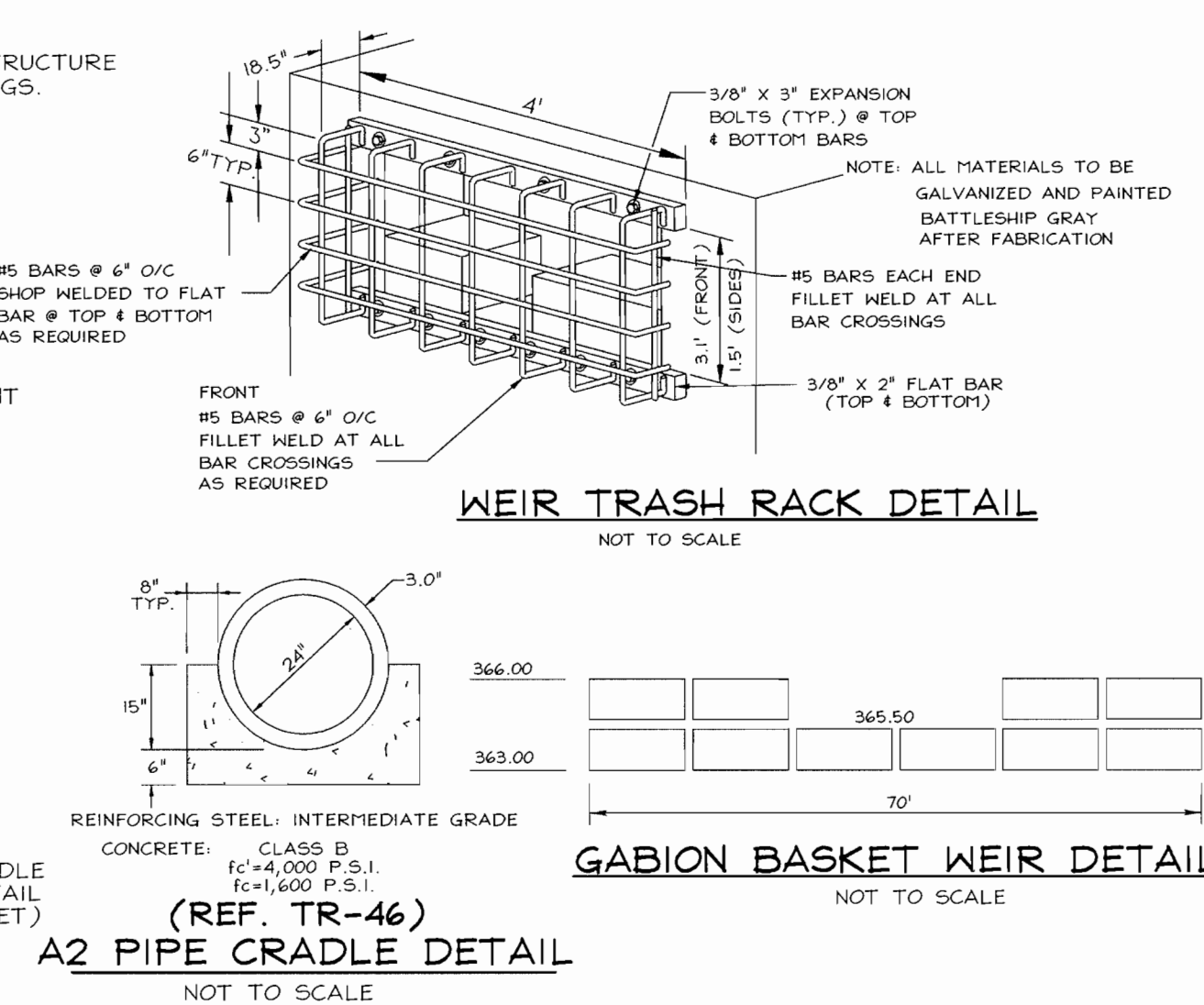
PRECAST STRUCTURE S-1 DETAIL
NOT TO SCALE



SECTION THROUGH PRINCIPAL SPILLWAY
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

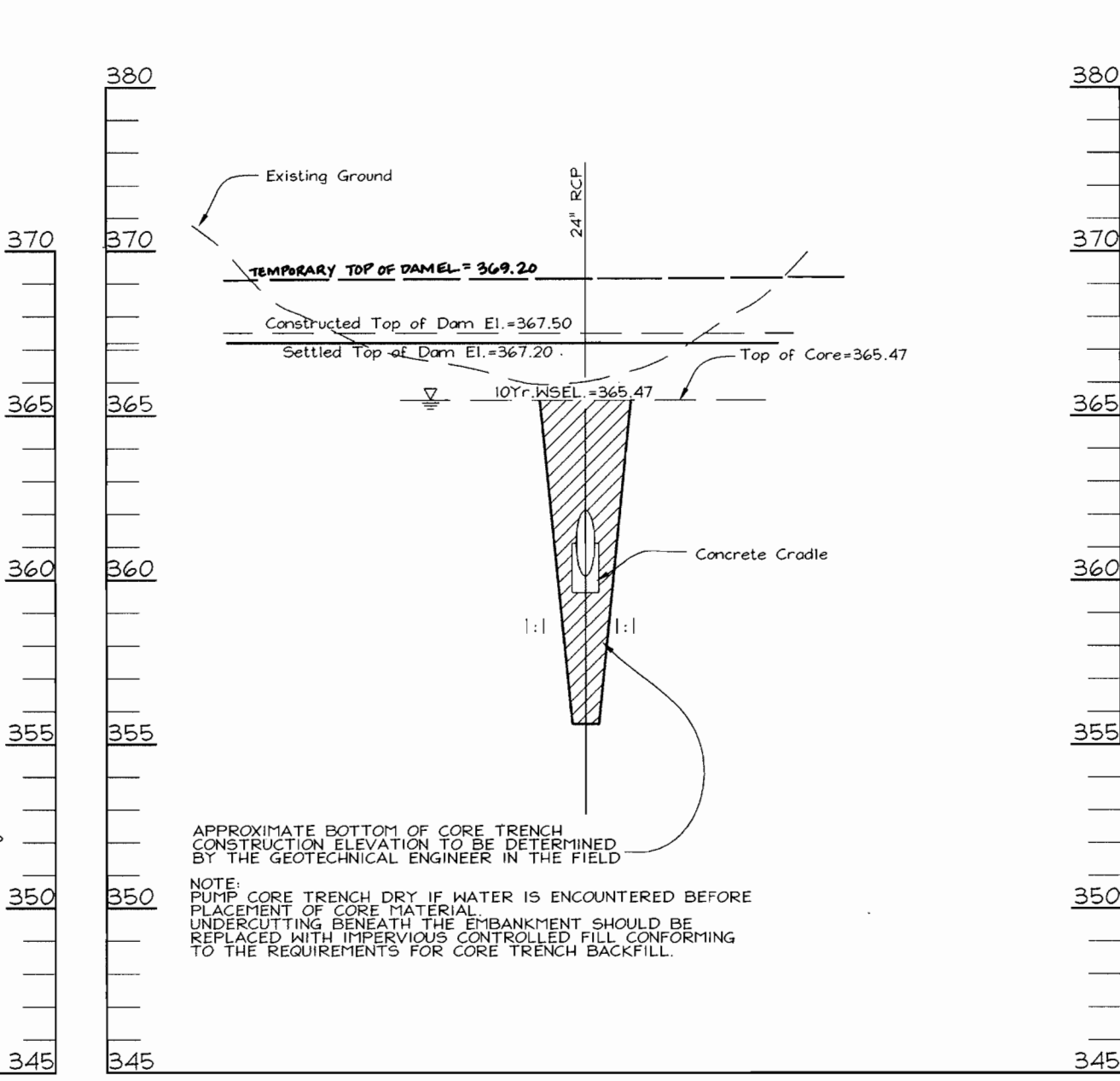


SEDIMENT BASIN DEWATERING DEVICE WITH 6\"/>

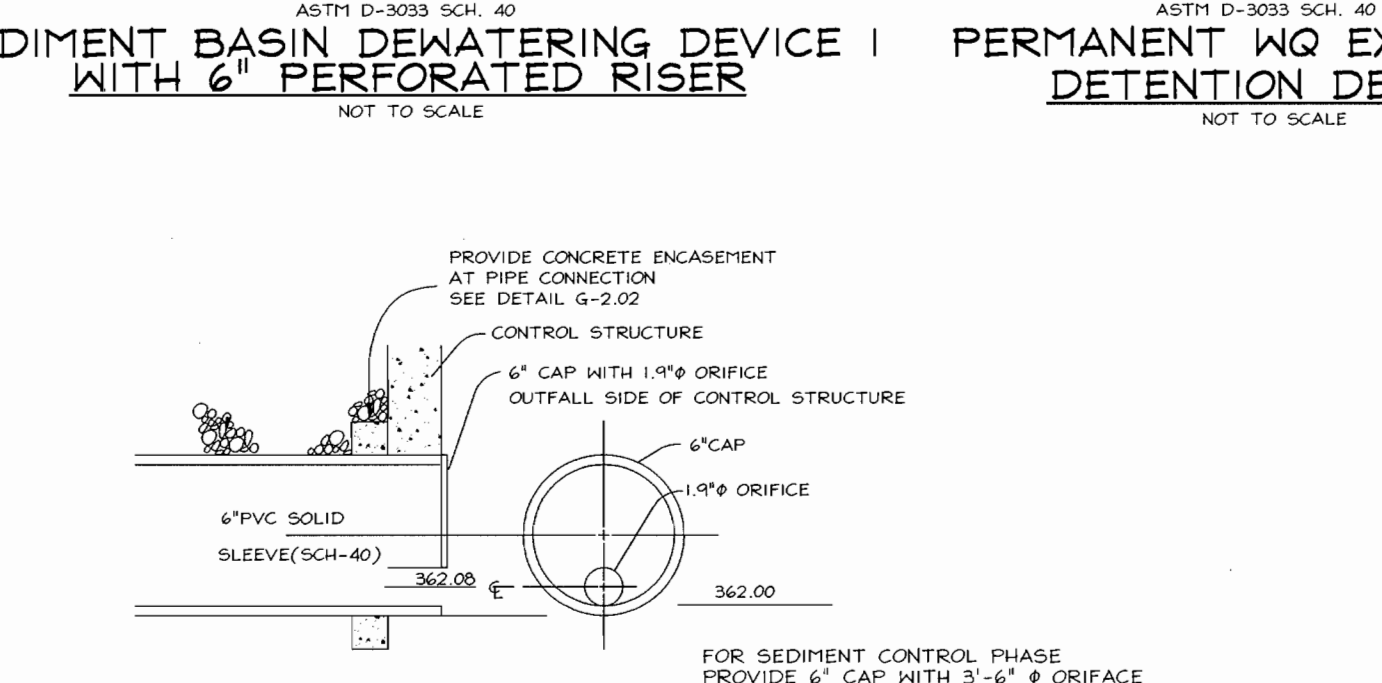


WEIR TRASH RACK DETAIL
NOT TO SCALE

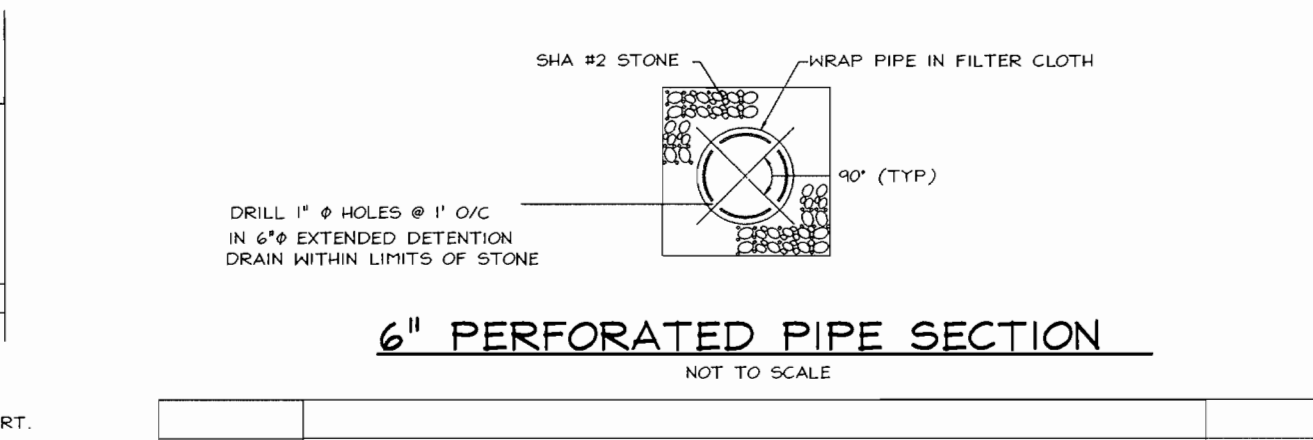
GABION BASKET WEIR DETAIL
NOT TO SCALE



SECTION ALONG EMBANKMENT
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



PERMANENT ORIFICE DETAIL IN CONTROL STRUCTURE
NOT TO SCALE



6\"/>

NO	REVISION	DATE

STORMWATER MANAGEMENT DETAILS AND STORM DRAIN PROFILES
STOCKBRIDGE OVERLOOK

TAX MAP 37 BLOCK 8
1ST ELECTION DISTRICT

PARCELS 118, 497 & 602
HOWARD COUNTY, MARYLAND

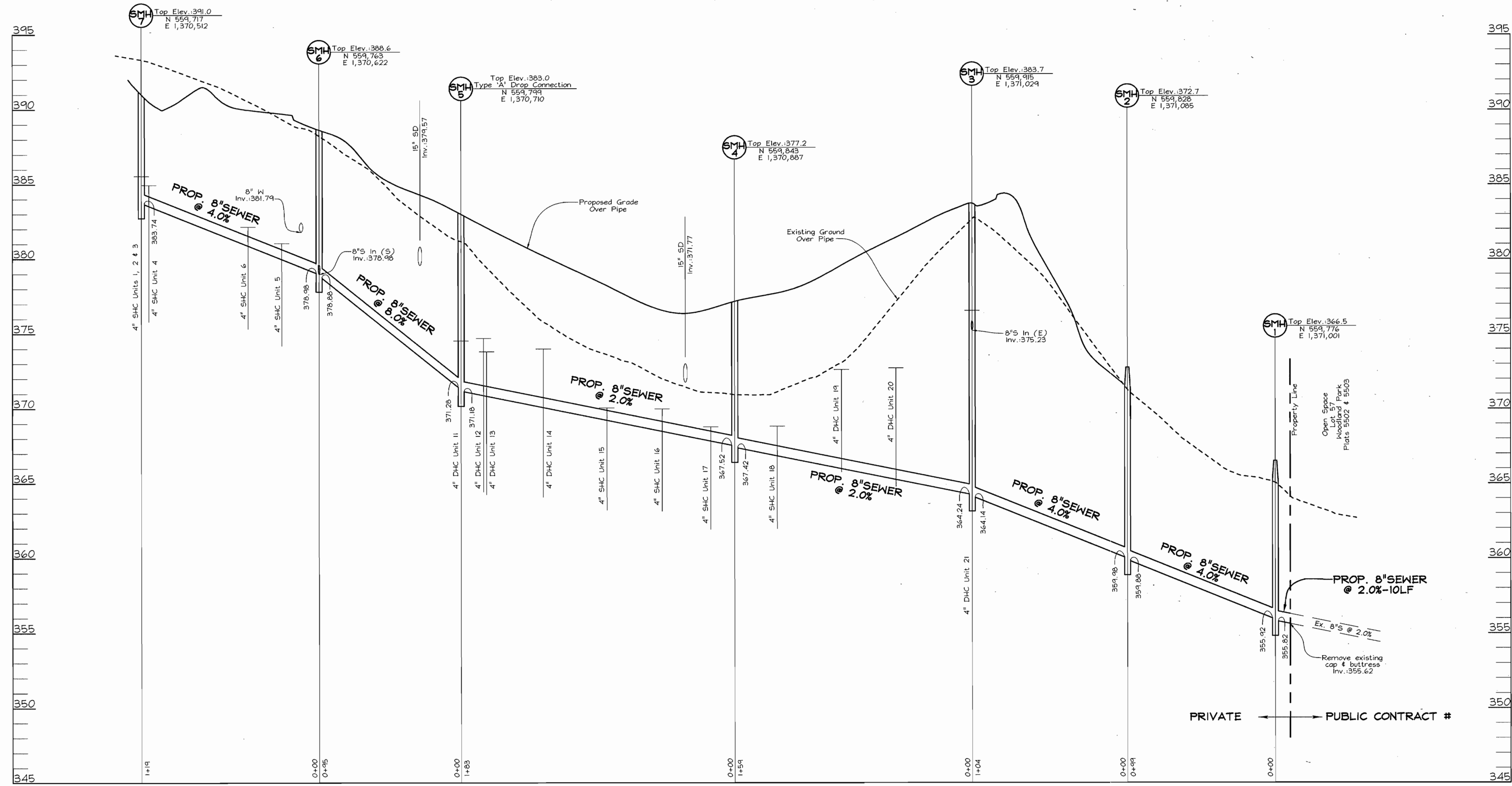
FREDERICK WARD ASSOCIATES, INC.
ENGINEERS ARCHITECTS SURVEYORS
7125 Riverwood Drive
Bel Air, Maryland

COLUMBIA, MARYLAND 21046-2354
Phone: 410-290-9550 Fax: 410-720-6226
Columbia, Maryland Warrenton, Virginia

OWNER/DEVELOPER
ELLICOTT CITY LANDHOLDINGS, INC.
8000 MAIN STREET
ELLICOTT CITY, MARYLAND 21043

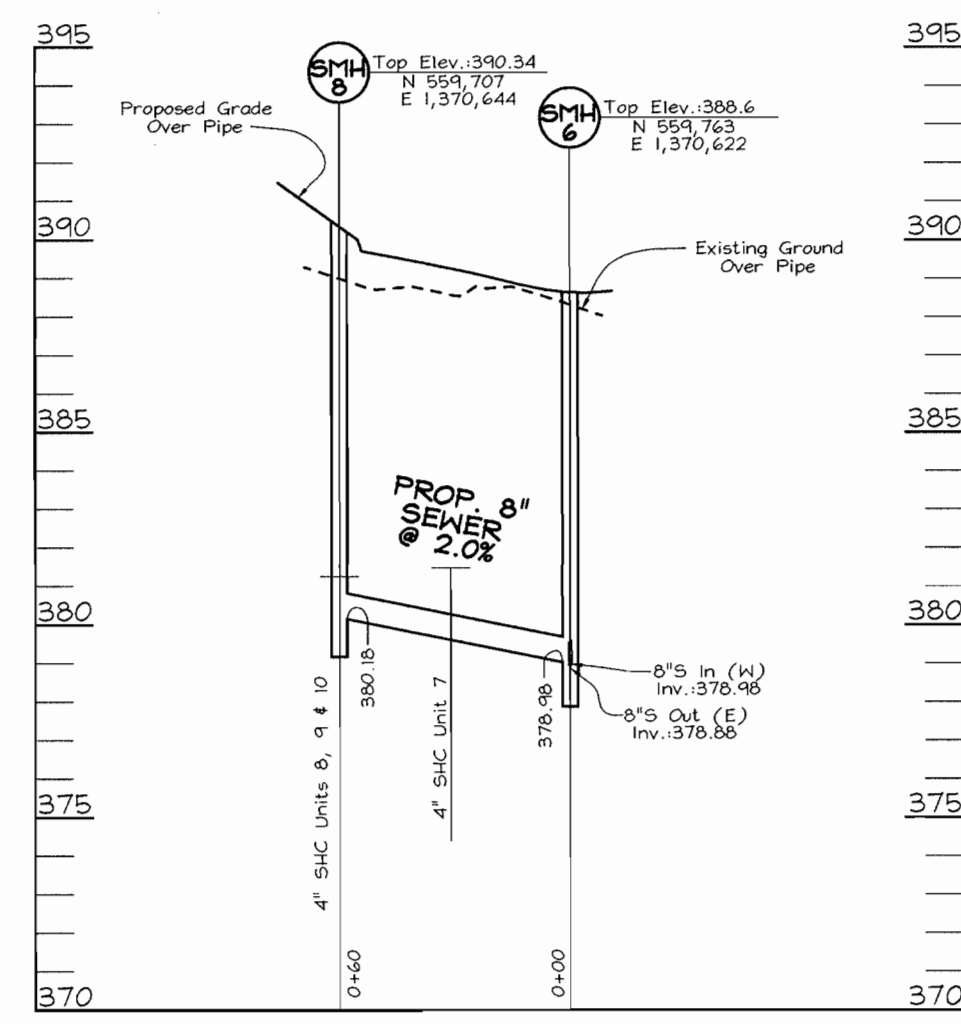
DESIGN BY: R.H.V.
DRAWN BY: J.C.O.
CHECKED BY: R.H.V.
DATE: JAN. 14, 2002
SCALE: AS SHOWN
I.D.O. NO.: 00-048

8 SHEET OF 12

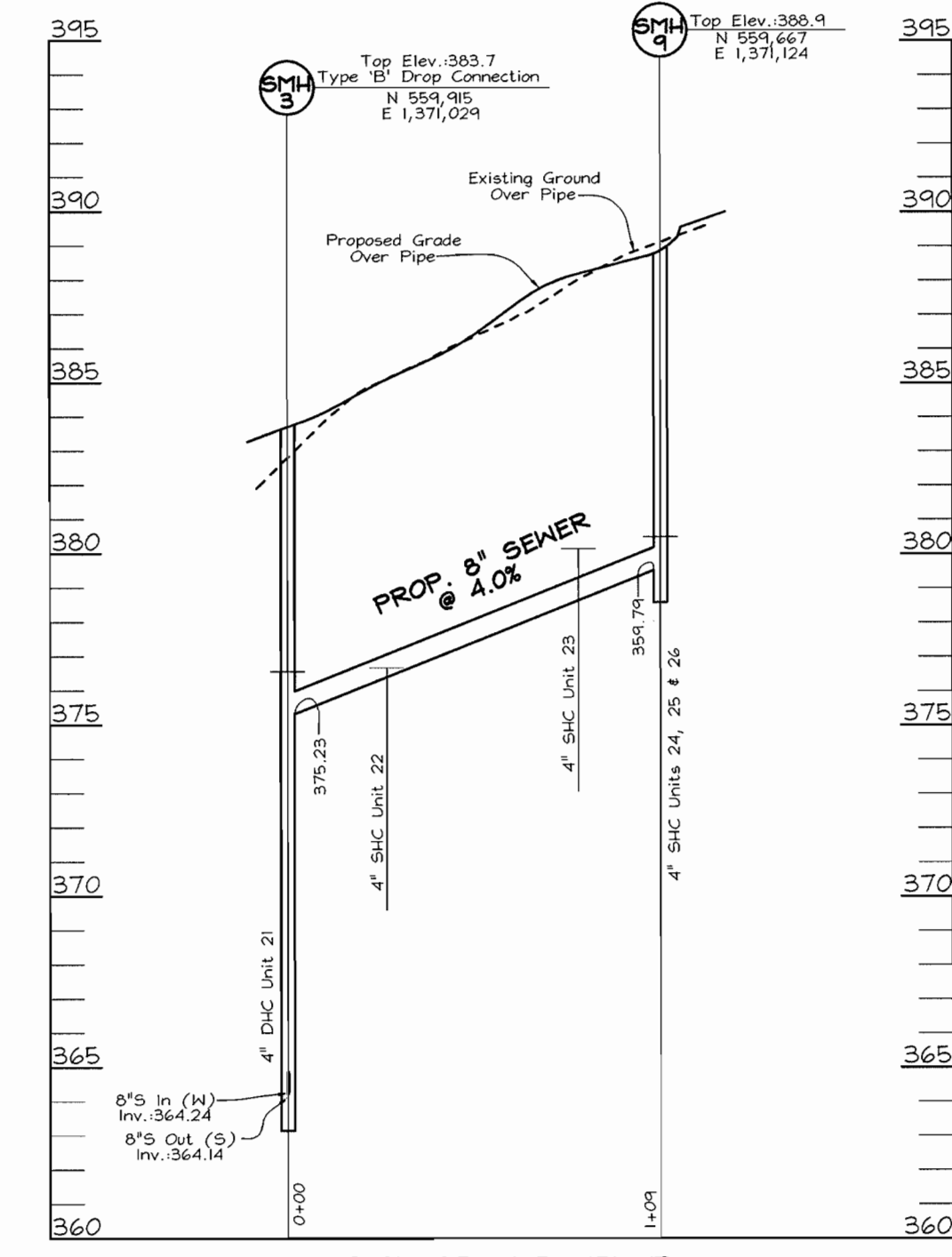


SEWER PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

SEWER HOUSE CONNECTIONS			
Unit #	Elev. @ Main	Elev. @ 5' off Building	MCE
1	385.56	386.26	388.86
2	385.56	386.26	388.86
3	385.56	386.26	388.86
4	384.96	386.26	388.86
5	381.06	382.26	384.86
6	382.16	382.26	384.86
7	381.48	382.26	384.86
8	381.25	382.26	384.86
9	381.25	381.66	384.26
10	381.25	381.66	384.26
11	374.54	375.26	377.86
12	374.72	375.26	377.86
13	373.82	374.66	377.26
14	374.00	374.66	377.26
15	370.07	370.76	373.36
16	370.00	370.76	373.36
17	368.79	369.46	372.06
18	368.83	369.46	372.06
19	372.62	373.36	375.96
20	372.73	373.36	375.96
21	376.56	377.46	380.06
22	376.68	377.46	380.06
23	380.14	381.16	383.76
24	380.49	381.16	383.76
25	380.49	381.16	383.76
26	380.49	381.16	383.76



SEWER PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



SEWER PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 2/20/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE
 [Signature] 2/27/02
 CHIEF, DIVISION OF LAND DEVELOPMENT HO DATE
 [Signature] 2/27/02
 DIRECTOR DATE

NO.	REVISION	DATE
SEWER PROFILES STOCKBRIDGE OVERLOOK		
TAX MAP 37 BLOCK 8 1ST ELECTION DISTRICT		PARCEL '118, 489 & 602' HOWARD COUNTY, MARYLAND
FREDERICK WARD ASSOCIATES, INC. ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia		
	DESIGN BY: PS DRAWN BY: PS CHECKED BY: RHW DATE: JAN 14, 2002 SCALE: 1"=50' W.O. NO.: 00-048	9 SHEET OF 12

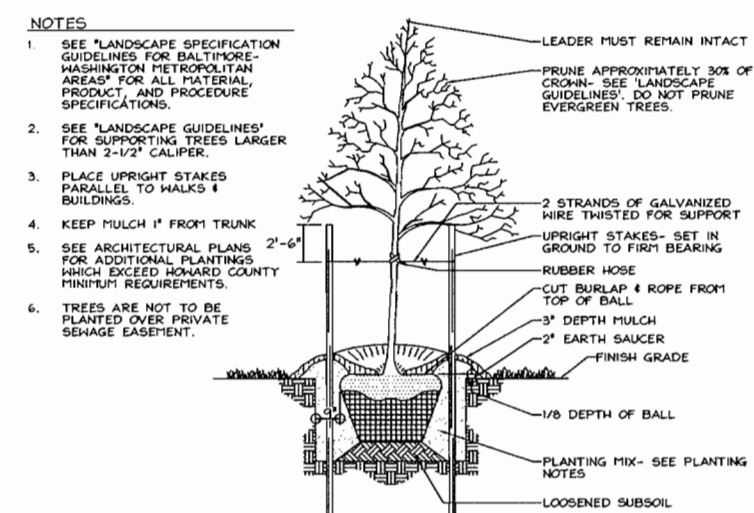
CATEGORY	ADJACENT TO ROADWAYS			ADJACENT TO PROPERTIES		
	A	B	C	A	B	C
Perimeter/Frontage Designation	4	5	6	2	3	3
Landscape Type	C	C	C	A	B	B
Linear Feet of Roadway Frontage/Perimeter	208	175	57	879	263	1094
Credit for Existing Vegetation (Yes, No, Linear Feet Describe below if needed)	No	No	No	Yes* 248'	No	Yes**
Credit for Wall, Fence or Berm*** (Yes, No, Linear Feet Describe below if needed)	No	No	Yes*** 57'	No	No	
Number of Plants Required	1:60 3	1:40 4	1:40 1	(63) 1:60 11	1:50 1	1:50 22
Shade Trees	-	1:20 9	-	-	-	1:40 27
Evergreen Trees	-	-	1:4 0	-	-	-
Number of Plants Provided						
Shade Trees	3	4	1	11	4	22
Evergreen Trees	-	-	-	-	-	18
Other Trees (2:1 Substitution)	-	-	-	-	-	-
Shrubs (10:1 Substitution)	-	-	16	-	-	-
Describe Plant Substitution Credits Below if needed)						934'

* Existing Woods to Remain ** Ex. Mature Cedars to Remain
*** For shrubs only

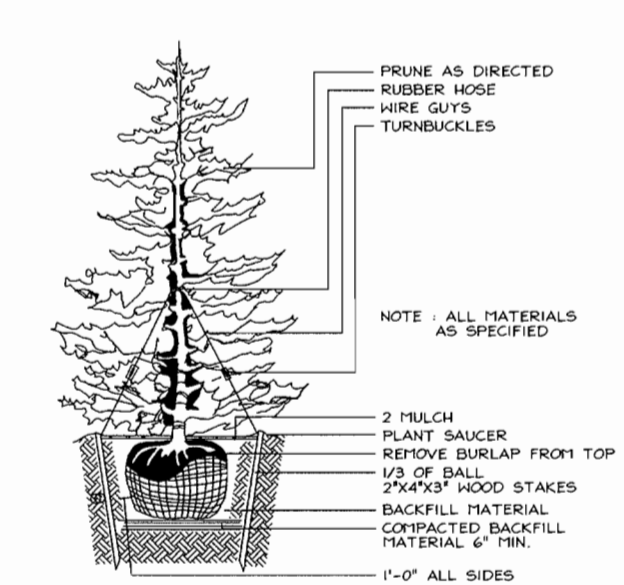
SCHEDULE C SFA INTERNAL LANDSCAPING	
Number of Dwelling Units	26
Number of trees required	26
Number of trees provided	26
Shade Trees (2:1 Substitution)	-
Other Trees	-

SCHEDULE D : STORMWATER MANAGEMENT AREA LANDSCAPING	
LINEAR FEET OF PERIMETER	740LF
CREDIT FOR EXISTING VEGETATION (NO, YES AND LINEAR FEET)	NO
CREDIT FOR OTHER LANDSCAPING (NO, YES AND %)	Yes, 28%-30%
NUMBER OF TREES REQUIRED	(460)
SHADE TREES	12 SHADE TREES
EVERGREEN TREES	23 EVERGREEN TREES
NUMBER OF TREES PROVIDED	
SHADE TREES	12 SHADE TREES
EVERGREEN TREES	23 EVERGREEN TREES
OTHER TREES (2:1 SUBSTITUTION)	0 TREES (0 SUBSTITUTION TREES)

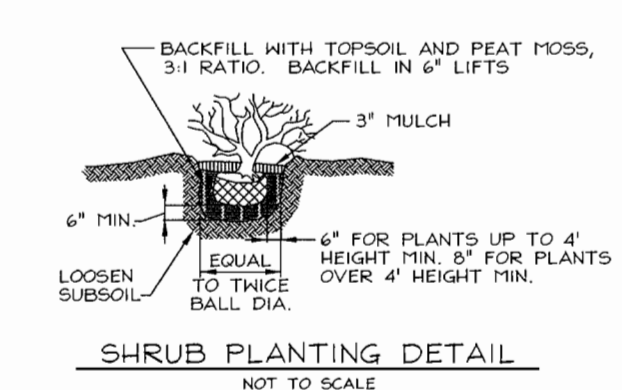
SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
Number of parking spaces	21
Number of trees and islands required	2
Number of trees and islands provided	2
Shade Trees	2
Other Trees (2:1 Substitution)	-



TREE PLANTING AND STAKING
DECIDUOUS TREES UP TO 2-1/2" CALIBER NOT TO SCALE



TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

LEGEND	
Existing Contour	--- 382
Proposed Contour	--- +82.53
Spot Elevation	+
Direction of Flow	→
Existing Trees to Remain	
Shade Trees	
Evergreen Trees	
Shrubs	
Perimeter Landscape Edge	

KEY	QUAN.	BOTANICAL NAME	SIZE	REM.
AR	16	Acer rubrum October-glory Red Maple	2 1/2" - 3" Cal.	B 4 B
FP	38	Fraxinus p. Patmore Palmore Green Ash	2 1/2" - 3" Cal.	B 4 B
PS	50	Pinus strobus Eastern White Pine	7 - 9" Ht.	B 4 B
QP	37	Quercus phellos Willow Oak	2 1/2" - 3" Cal.	B 4 B
IG	61	Ilex glabra 'Compacta' Compact Inkberry	24" - 30" Ht.	B 4 B

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AAS SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH LCAFM PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SHALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

GENERAL NOTES

- Financial Surety for the required landscaping must be posted as part of the Developer's Agreement in the amount of \$33,450.00 for 82 shade trees and 59 evergreen trees. Note that 9 of the 59 evergreen trees are existing cedars.

LANDSCAPE PLAN

STOCKBRIDGE OVERLOOK

TAX MAP 37 BLOCK 8 PARCEL '118', '497' & '602'
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.

ENGINEERS | 7125 Riverwood Drive Columbia, Maryland 21046-2354
ARCHITECTS | Phone: 410-290-9550 Fax: 410-720-6226
SURVEYORS | Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: MMH

DRAWN BY: MMH

CHECKED BY: RHV

DATE: JAN. 14, 2002

SCALE: 1"=50'

W.O. NO.: 2017048.00

10 SHEET OF 12

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Mark D. Williams 2/20/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

Chris Hamel 2/27/02
CHIEF, DIVISION OF LAND DEVELOPMENT HB DATE

James T. Scott 2/27/02
DIRECTOR DATE

DEVELOPER'S BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Van P. Ky 1-15-02
SIGNATURE OF DEVELOPER DATE

FOREST STAND ANALYSIS TABLE

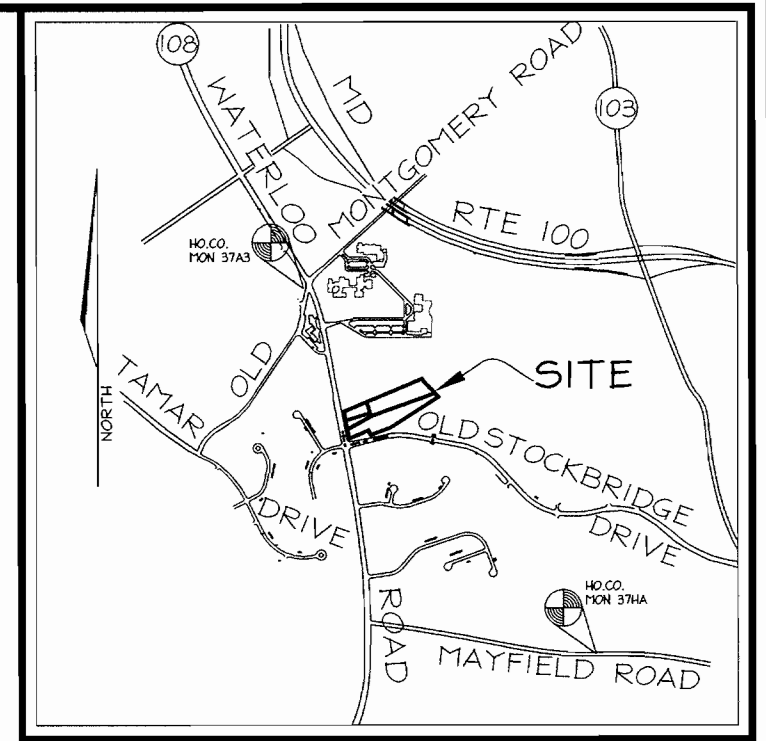
KEY	A TYPE OF COMMUNITY	B AREA	C SOILS INFORMATION			D EXISTING VEGETATION	E STAND CHARACTERISTICS			F FOREST AREA IN SEN. ENV.	G HABITAT
			1 SOILS TYPES	2 TYPICAL FOREST COVER FOR SOILS TYPE	3 WOODLAND SUITABILITY INDEX		1 SIZE (DIA)	2 AGE (YRS)	3 GENERAL CONDITION		
L 1+2	LAWN WITH HOUSES AND DRIVEWAY	3.7 Ac	NA	SEE BELOW	NA	K-31 TURF	N/A	N/A	N/A	0.00 Ac	G
T 1-3	TREE GROUP IN YARD	0.37 Ac	NA	SEE BELOW	NA	RED MAPLE, RED OAK	8"	30	GOOD	0.00 Ac	G
F-1	OLD CHERRY ORCHARD	0.89 Ac	NA	SEE BELOW	NA	CHERRY, PAULOWNIA, SASSAFRAS	24"	60	FAIR	0.00 Ac	G
B-1	BRUSH WITH SAPPLINGS	1.36 Ac	NA	SEE BELOW	NA	NA	2"	5	FAIR TO GOOD	0.00 Ac	G
H 1-6	EVERGREEN SCREENING	0.34 Ac	NA	SEE BELOW	NA	VIRGINIA PINE, SPRUCE	7"	25	GOOD	0.00 Ac	N/A

SOILS LEGEND			
SYMBOL	NAME / DESCRIPTION	K VALUE	SOIL GROUP
AgC2	AURA GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES	43	B
AgE3	AURA GRAVELLY LOAM, 10 TO 30 PERCENT SLOPES	45	B
BaB2	BELTSVILLE SILT LOAM, 0 TO 1 PERCENT SLOPES	43	C
CnB2	CHILLUM-FAIRFAX LOAMS, 1 TO 5 PERCENT SLOPES	32	B
CuB	COMUS SILT LOAM, LOCAL ALLUVIUM, 3 TO 8 PERCENT SLOPES	43	B
EvC	EVESBORO LOAMY SAND, 5 TO 15 PERCENT SLOPES	17	A
IuB	IUKA LOAM, LOCAL ALLUVIUM, 1 TO 5 PERCENT SLOPES	37	C
SfB2	SASSAFRAS GRAVELLY SANDY LOAM, 1 TO 5 PERCENT SLOPES	20	B
SfC2	SASSAFRAS LOAM, 5 TO 10 PERCENT SLOPES	26	B
SuB2	SUNNYSIDE FINE SANDY LOAM, 1 TO 5 PERCENT SLOPES	24	B

WOODLAND SUITABILITY INDEX	HABITAT
16	F
17	F
12	F
7	G
4	F
4	G
4	G
7	G
7	G

NARRATIVE

THIS SITE CONSISTS OF TWO RESIDENCES WITH ASSOCIATED YARDS, AN ORCHARD, AND HEDGEROWS. STAND F-1 IS A 0.89 ACRE OLD CHERRY ORCHARD WITH SPARSE UNDERGROWTH AND SOME EXOTIC TREES. IT IS NOT REGENERATING AND IS NOT COMPOSED OF INDIGENOUS SPECIES. IT HAS A LOW RETENTION PRIORITY. STAND B-1 IS DOMINATED BY GRASSES AND SHRUBS WITH A FEW SAPPLINGS. IT IS NOT A FOREST BUT HAS THE POTENTIAL TO MATURE INTO ONE. SINCE IT IS NOT A FOREST, STAND B-1 HAS A LOW RETENTION PRIORITY. THE REST OF THE SITE CONSISTS OF LANDSCAPING FOR THE HOMES WITH HEDGEROWS FOR PRIVACY. THE ENTIRE SITE HAS BEEN SO DISTURBED BY THE OWNERS THAT NATIVE WOODS DO NOT EXIST. RETENTION IS NOT RECOMMENDED DUE TO THE POOR QUALITY OF THE STANDS. HOWEVER, THERE IS AN OPPORTUNITY FOR NATURAL REGENERATION ENHANCED BY DIRECT SEEDING ALONG THE NORTHWEST PROPERTY LINE.



VICINITY MAP
SCALE: 1"=2000'

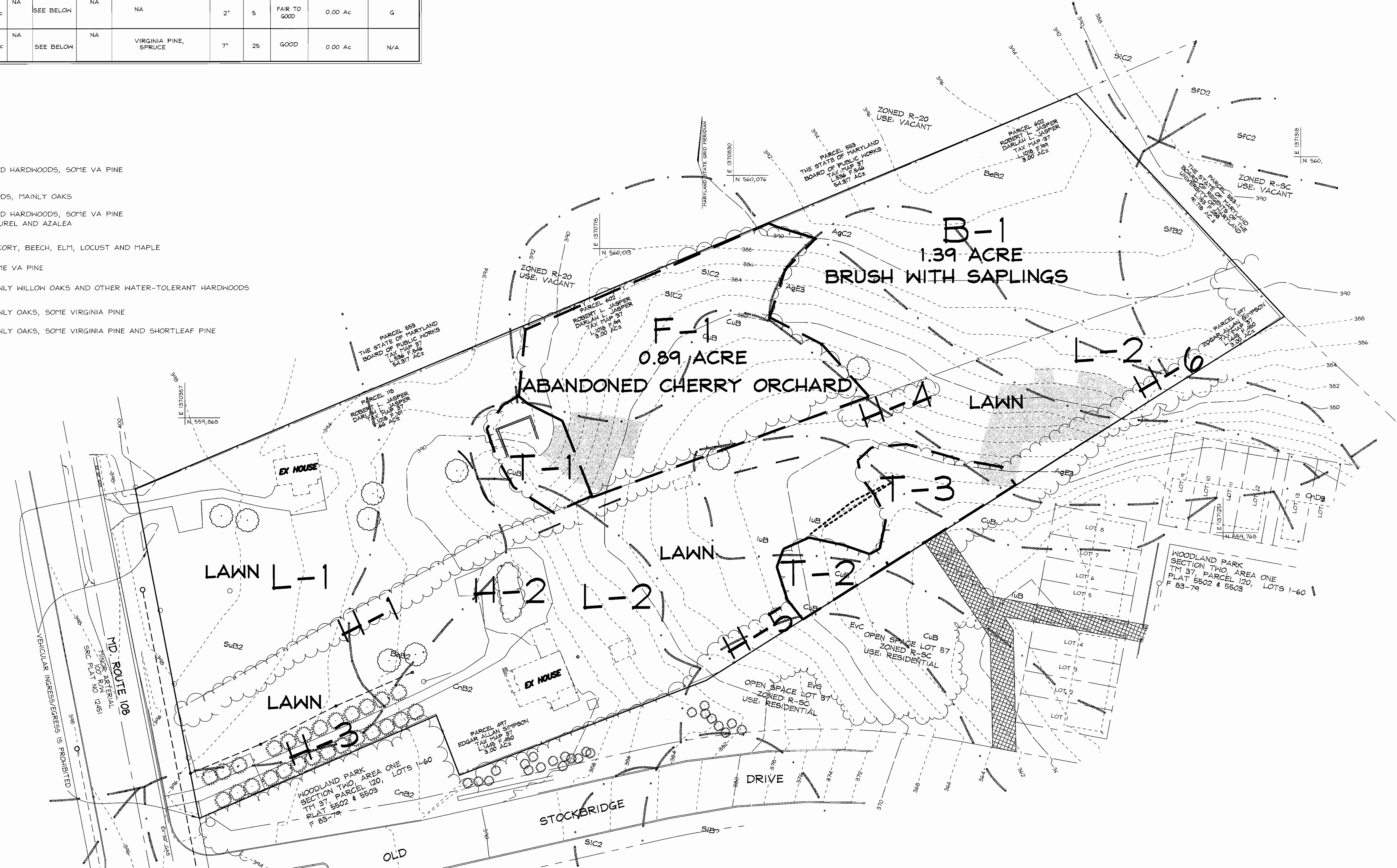
- TYPICAL FOREST COVER FOR SOILS TYPE
- AgC2 OAKS AND OTHER UPLAND HARDWOODS, SOME VA PINE
 - AgE3 OAKS AND OTHER UPLAND HARDWOODS, SOME VA PINE
 - BaB2 MIXED UPLAND HARDWOODS, MAINLY OAKS
 - CnB2 OAKS AND OTHER UPLAND HARDWOODS, SOME VA PINE, SOME HUCKLEBERRY, LAUREL AND AZALEA
 - CuB MOSTLY OAK, SOME HICKORY, BEECH, ELM, LOCUST AND MAPLE
 - EvC SCRUB HARDWOODS, SOME VA PINE
 - IuB MIXED HARDWOODS, MAINLY WILLOW OAKS AND OTHER WATER-TOLERANT HARDWOODS
 - SfB2 MIXED HARDWOODS, MAINLY OAKS, SOME VIRGINIA PINE
 - SuB2 MIXED HARDWOODS, MAINLY OAKS, SOME VIRGINIA PINE AND SHORTLEAF PINE

LEGEND

- SOILS DIVISION LINE
- ChB2 SOIL TYPE (SEE TABLE THIS SHEET)
- EXISTING CONTOUR
- EXISTING TREELINE
- PROPERTY EVIDENCE
- PROPERTY LINE
- EXISTING TREE
- AREA OF 15 TO 24.9 PERCENT SLOPES
- STAND DELINEATION LINE

NOTES

- THE PROPERTY OUTLINE IS BASED ON A FIELD RUN BOUNDARY SURVEY PERFORMED BY VOGEL AND ASSOCIATES, INC. IN DECEMBER, 2000.
- THE EXISTING FEATURES AND CONTOURS SHOWN HEREON ARE BASED ON FIELD RUN TOPOGRAPHY PERFORMED BY VOGEL AND ASSOCIATES IN DECEMBER, 2000.
- THERE IS NO 100 YEAR FLOODPLAIN ON SITE.
- THERE ARE NO WETLANDS ON SITE.
- THERE ARE NO HISTORIC SITES ON THE SUBJECT PARCEL.



FOREST STAND TOTALS

STAND L-1+2	3.7 ACRES
STAND T-1,2,3	0.37 ACRES
STAND F-1	0.89 ACRES
STAND B-1	1.36 ACRES
STAND H-1-6	0.34 ACRES
TOTAL	6.66 ACRES

SUPPLEMENTAL INFORMATION

GROSS SITE AREA	6.66 ACRES
ZONED	RESIDENTIAL
PROPOSED USE	RESIDENTIAL DEVELOPMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION MK 2/20/02
 DATE

 CHIEF, DIVISION OF LAND DEVELOPMENT 2/27/02
 DATE

 DIRECTOR 2/27/02
 DATE

OWNER/DEVELOPER

ELLCOTT CITY LANDHOLDINGS, INC.
8000 MAIN STREET
ELLCOTT CITY, MARYLAND 21043

FOREST STAND DELINEATION
STOCKBRIDGE OVERLOOK

TAX MAP 37 BLOCK 8
1ST ELECTION DISTRICT

PARCEL '118', '497' & '602'
HOWARD COUNTY, MARYLAND



FREDERICK WARD ASSOCIATES, INC.

ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia



DESIGN BY: MHM
DRAWN BY: MHM
CHECKED BY: RHV
DATE: JAN. 14, 2002
SCALE: 1"=50'
W.O. NO.: 00-048

11 SHEET OF 12

FOREST PROTECTION NOTES

PRE-CONSTRUCTION ACTIVITIES

1. Install blaze orange fence and retention signs before construction begins.
2. Fencing shall be maintained in good condition and promptly repaired or restored as the situation warrants.

CONSTRUCTION PHASE

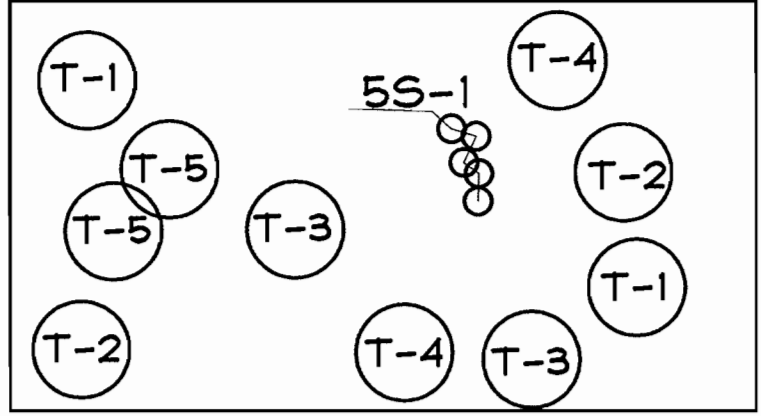
1. No disturbance or dumping is allowed inside the tree retention area.
2. No equipment shall be operated inside the tree retention area including tree canopies.
3. In the event of drought, the protected trees shall be monitored for signs of stress and watered as needed.

POST-CONSTRUCTION ACTIVITIES

1. At the direction of a qualified tree care expert, damages to retained trees shall be repaired by the contractor.
2. Fence removal and stabilization shall be as per the sediment and erosion control plan, except for the selection of grasses for stabilization.
3. Do not remove signs.

AFFORESTATION NOTES

1. AT COMPLETION OF HOUSE CONSTRUCTION, THE DISTURBED AREAS WITHIN THE CONSERVATION EASEMENT WILL BE VEGETATIVELY STABILIZED WITH ANNUAL RYE AND BIRDSFOOT TREFLOIL.
2. EXISTING TALL GRASSES WITHIN THE CONSERVATION EASEMENT SHALL BE MOWED TO A HEIGHT OF 3 INCHES.
3. RANDOMLY SPACE SEEDLINGS / WHIPS SO THAT NO MORE THAN 5 OF ANY PARTICULAR SPECIES ARE PLANTED IN SUCCESSION. PLANT 1" CAL TREES AROUND PERIMETER OF REFORESTATION AREA.
4. ALL PROPOSED PLANT MATERIAL TO BE NATIVE PLANT SPECIES. NO ORNAMENTAL CULTIVARS TO BE USED. USE LOCAL GENETIC STOCK UP TO A 100 MILE RADIUS.
5. REFORESTATION MANAGEMENT RECORDS SHOULD BE KEPT FOR HOWARD COUNTY REVIEW.
6. YEAR 1: INSPECT TREES FOR HEALTH AND VIGOR AT: A. BEGINNING OF GROWING SEASON, B. MIDSUMMER AND C. FALL. ADJUST WATERING, PEST CONTROL, WEEDING AND FEEDING AS NEEDED. AFTER ONE-YEAR REPLACE ANY 1" CAL. OR 6' HT. TREES THAT DID NOT SURVIVE DURING THE NEXT PLANTING SEASON.
7. YEAR 2: INSPECT TREES FOR HEALTH AND VIGOR IN APRIL & OCTOBER. ADJUST WATERING, PEST CONTROL, WEEDING AND FEEDING AS NEEDED. REPLACE ANY 1" CAL/6' HT TREES THAT DID NOT SURVIVE YEAR 2 DURING THE NEXT PLANTING SEASON. SEEDLINGS SHALL BE REPLACED UP TO 50 PERCENT DURING THE NEXT PLANTING SEASON.
8. CONTRACTOR TO FOLLOW ALL STATE AND COUNTY GUIDELINES FOR AFFORESTATION & REFORESTATION.
9. IN ORDER TO INSURE SURVIVABILITY, THE PERSON RESPONSIBLE FOR INSTALLATION SHALL INSPECT AND AMEND THE SOILS PRIOR TO PLANTING, PROVIDE WATER DURING DROUGHT PERIODS, AND REMOVE ANY PESTS OR WEEDS DURING THE 2 YEAR MAINTENANCE PERIOD.

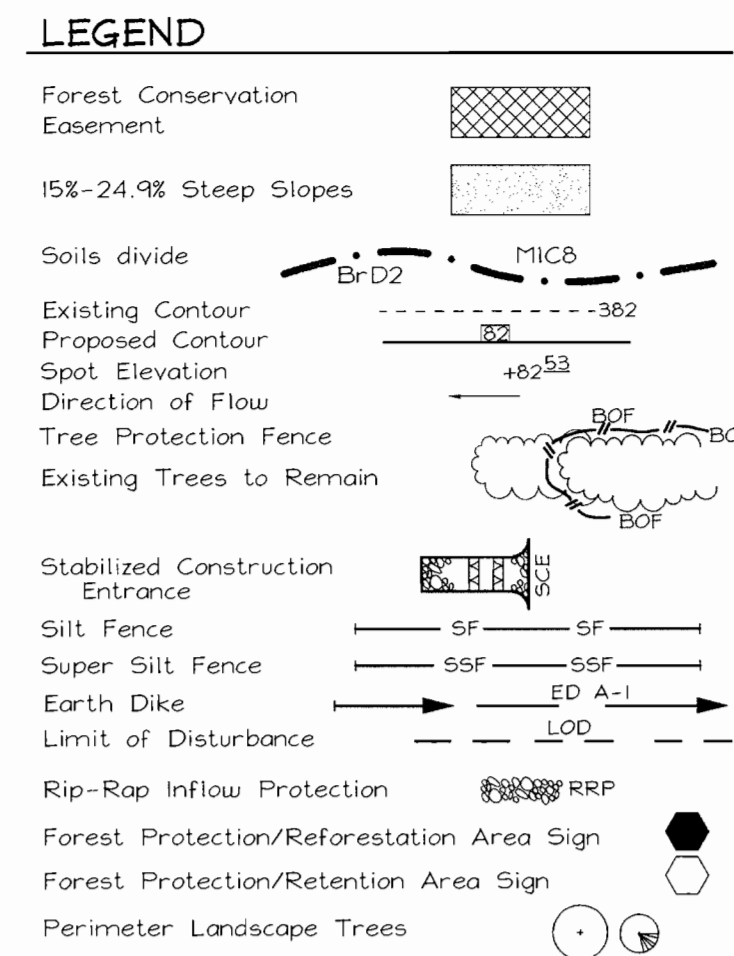


TYPICAL RANDOM PLANT SPACING DETAIL CHART

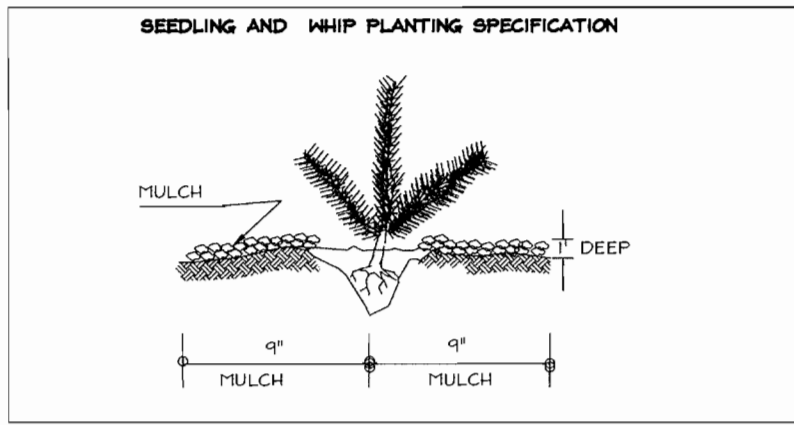
- NOTE: 1). Plant mix to be 1/3 pioneer & 2/3 mid to late successional species
 2). Plant larger stock and evergreens around perimeter to protect interior smaller stock.
 3). When shrubs are specified, plant them in clusters
 4). Do not plant trees in a grid pattern.

QUAN.	BOTANICAL NAME	SIZE	ACRES
33	Acer Rubrum Red Maple	1" Cal.	0.17
84	Acer Rubrum Red Maple	Seedlings	0.12
70	Platanus occidentalis Sycamore	Seedlings	0.10
70	Fernoxia serotina Black Cherry	Seedlings	0.10
70	Quercus palustris Pin Oak	Seedlings	0.10
70	Sassafras albidum Sassafras	Seedlings	0.10
30	Pinus strobus White Pine	6-8' Ht.	0.15
17	Perimeter Landscape Shade Trees Installed under Landscape Plan	2.5'-3' Cal.	0.156
7	Perimeter Landscape Evergreen Trees Installed under Landscape Plan	6-8' Ht.	0.036

TOTAL REFORESTATION PROVIDED = 45031 SF OR 1.03 ACRES

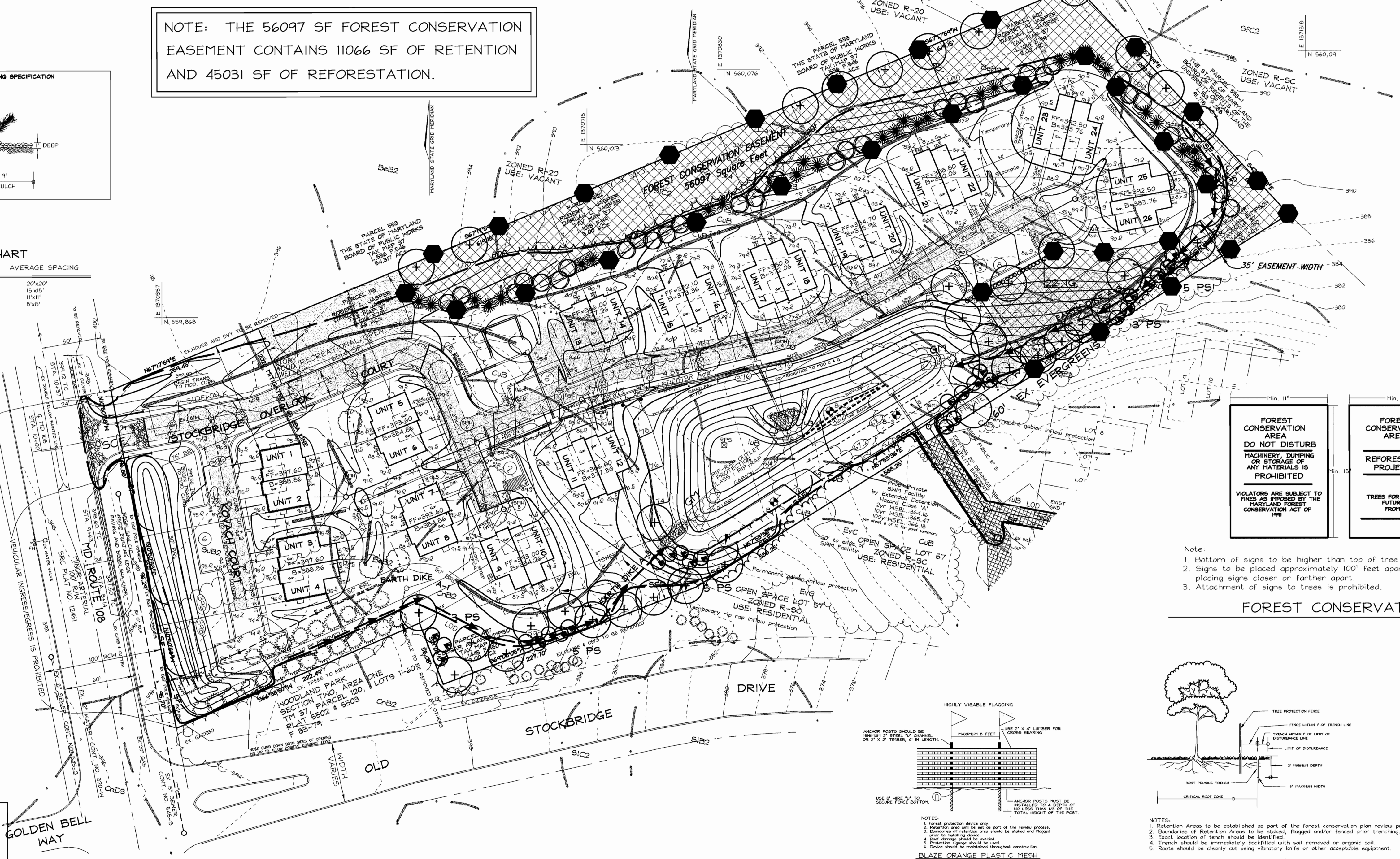


NOTE: THE 56097 SF FOREST CONSERVATION EASEMENT CONTAINS 11066 SF OF RETENTION AND 45031 SF OF REFORESTATION.



DENSITY CHART

SIZE	QTY. PER ACRE	AVERAGE SPACING
2" CALIPER	100	20'x20'
1" CALIPER	200	15'x15'
WHIPS	360	11'x11'
SEEDLINGS	700	8'x8'



ZONE: R-SC FOREST CONSERVATION WORKSHEET

NET TRACT AREA:

A. TOTAL TRACT AREA	6.66 AC
B. AREA WITHIN 100 YEAR FLOODPLAIN	0.00 AC
C. AREA TO REMAIN IN AGRICULTURAL PRODUCTION	0.00 AC
D. NET TRACT AREA	6.66 AC

LAND USE CATEGORY (FROM TABLE 3.2.1, PAGE 40, MANUAL)

INPUT THE NUMBER "1" UNDER THE APPROPRIATE LAND USE ZONING AND LIMIT TO ONLY ONE ENTRY

ARA	MDR	IDA	HDR	MPD	CIA
0	0	1	0	0	0

E. AFFOREST THRESHOLD	15% X D = 1.00 AC
F. CONSERVATION THRESHOLD	20% X D = 1.33 AC

EXISTING FOREST COVER:

G. EXISTING FOREST COVER (EXCLUDING FLOODPLAIN)	= 0.89 AC
H. AREA OF FOREST ABOVE AFFORESTATION THRESHOLD	= 0.00 AC
I. AREA OF FOREST ABOVE CONSERVATION THRESHOLD	= 0.00 AC

BREAK EVEN POINT:

J. FOREST RETENTION ABOVE THRESHOLD WITH NO MITIGATION	= 0.00 AC
K. CLEARING PERMITTED WITHOUT MITIGATION	= 0.00 AC

PROPOSED FOREST CLEARING:

L. TOTAL AREA OF FOREST TO BE CLEARED	= 0.64 AC
M. TOTAL AREA OF FOREST TO BE RETAINED	= 0.25 AC

PLANTING REQUIREMENTS:

N. REFORESTATION FOR CLEARING ABOVE CONSERVATION THRESHOLD	= 0.00 AC
P. REFORESTATION FOR CLEARING BELOW CONSERVATION THRESHOLD	= 1.28 AC
Q. CREDIT FOR RETENTION ABOVE CONSERVATION THRESHOLD	= 0.00 AC
R. TOTAL REFORESTATION REQUIRED	= 1.28 AC
S. TOTAL AFFORESTATION REQUIRED	= 0.11 AC
T. TOTAL REFORESTATION AND AFFORESTATION REQUIRED	= 1.39 AC (60,548 SqF)

OBLIGATION TO BE FULFILLED BY ON-SITE RETENTION OF 11066 SF, REFORESTATION OF 45,031 SF (1.03 AC) AND FEE-IN-LIEU FOR THE REMAINING 15,517 SF.

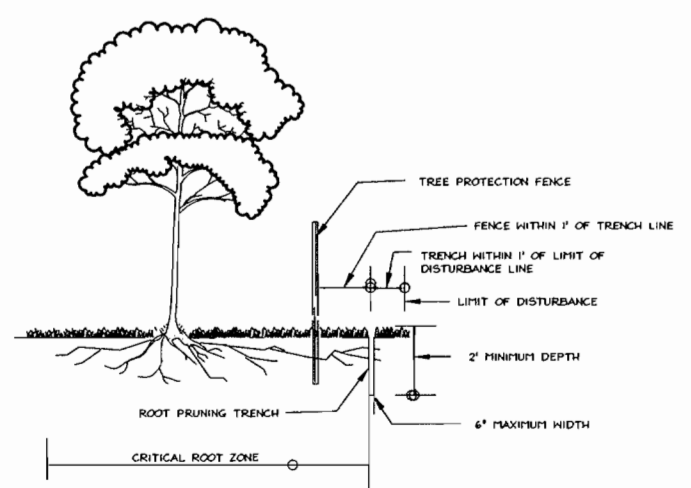
COST ESTIMATE: (For bonding purposes only)

GROSS ON-SITE REFORESTATION REQUIREMENT = 45,031 SF X 0.50 = \$22,515.50
LESS CREDIT FOR PERIMETER LANDSCAPING UP TO 20% OF REFORESTATION = 19,500 (0.44 AC) = \$9,750.00
NET ON-SITE REFORESTATION 34,536 SF X 0.50 = \$17,268.00
FEE-IN-LIEU OF REFORESTATION (60548 - 45031) 15517 SF X 0.50 = \$7,758.50
ON-SITE RETENTION: 1066 SF X 0.20 = \$213.20

SURETY NOTE
 FINANCIAL SURETY IN THE AMOUNT OF \$20,541.20 WILL BE POSTED WITH THE FC INSTALLATION AND MAINTENANCE AGREEMENT.

- NOTE:
 1. Bottom of signs to be higher than top of tree protection fence.
 2. Signs to be placed approximately 100' feet apart. Conditions on site affecting visibility may warrant placing signs closer or farther apart.
 3. Attachment of signs to trees is prohibited.

FOREST CONSERVATION AREA SIGNS



NOTES:
 1. Retention Areas to be established as part of the forest conservation plan review process.
 2. Boundaries of Retention Areas to be staked, flagged and/or fenced prior to treeing.
 3. Exact location of trench should be identified.
 4. Trench should be immediately backfilled with soil removed or organic soil.
 5. Roots should be cleanly cut using vibratory knife or other acceptable equipment.

ROOT PRUNING

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	K VALUE	SOIL GROUP
AgC2	AURA GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES	43	B
AgE3	AURA GRAVELLY LOAM, 10 TO 30 PERCENT SLOPES	43	B
BmB2	BELTSVILLE SILT LOAM, 0 TO 1 PERCENT SLOPES	43	C
CmB2	CHILLUM-FAIRFAX LOAMS, 1 TO 5 PERCENT SLOPES	32	B
CuB	CONIUS SILT LOAM, LOCAL ALLUVIUM, 3 TO 8 PERCENT SLOPES	43	B
Evc	EVERSBORO LOAM SAND, 5 TO 15 PERCENT SLOPES	11	A
IuB	IUKA LOAM, LOCAL ALLUVIUM, 1 TO 5 PERCENT SLOPES	37	A
SfB2	SASSAFRAS GRAVELLY SANDY LOAM, 1 TO 5 PERCENT SLOPES	20	B
Sic2	SASSAFRAS LOAM, 5 TO 10 PERCENT SLOPES	28	B
SuB2	SUNNYSIDE FINE SANDY LOAM, 1 TO 5 PERCENT SLOPES	24	B

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/20/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

[Signature] 2/27/02
 CHIEF, DIVISION OF LAND DEVELOPMENT HB DATE

[Signature] 2/27/02
 DIRECTOR DATE

FOREST CONSERVATION PLAN
STOCKBRIDGE OVERLOOK

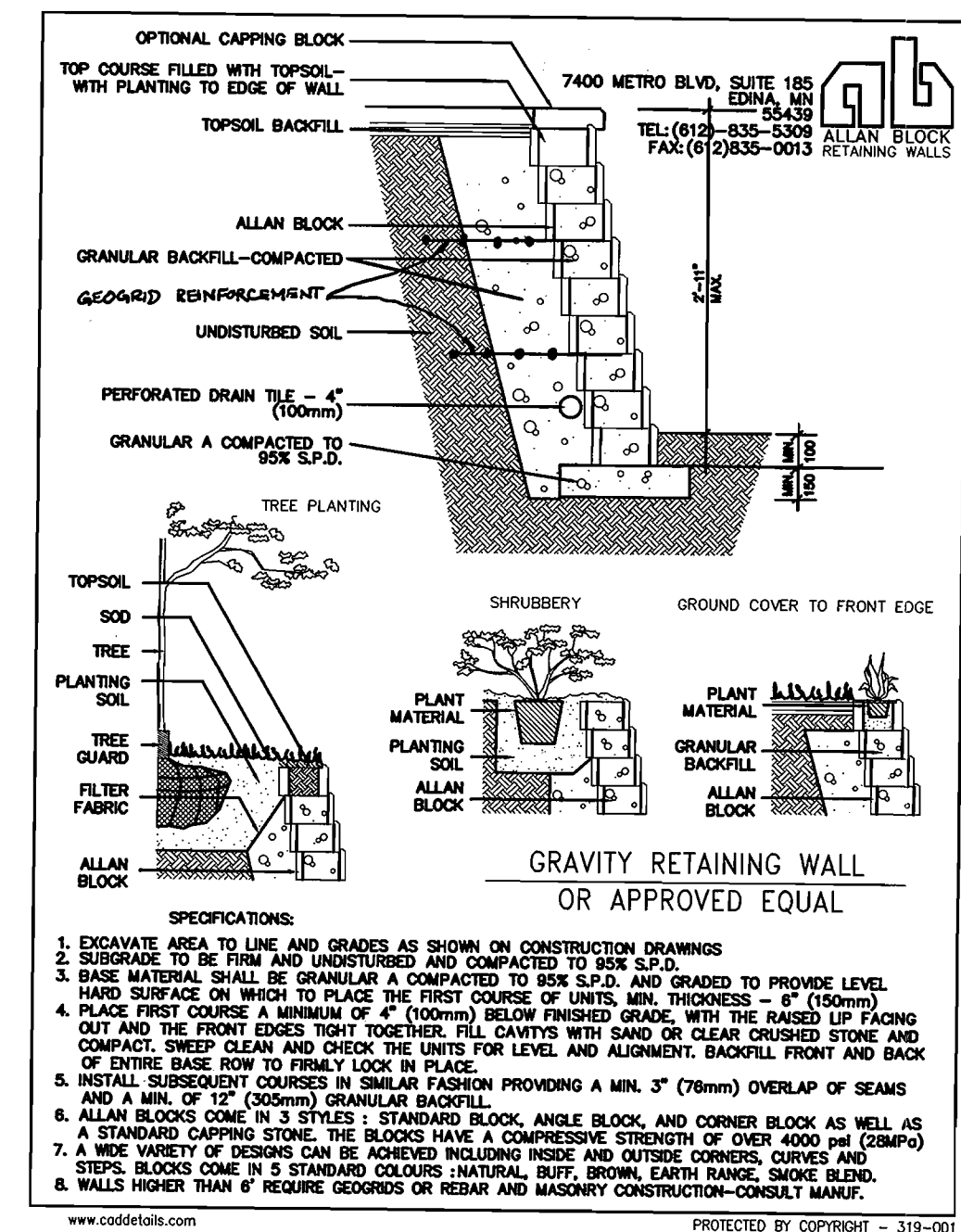
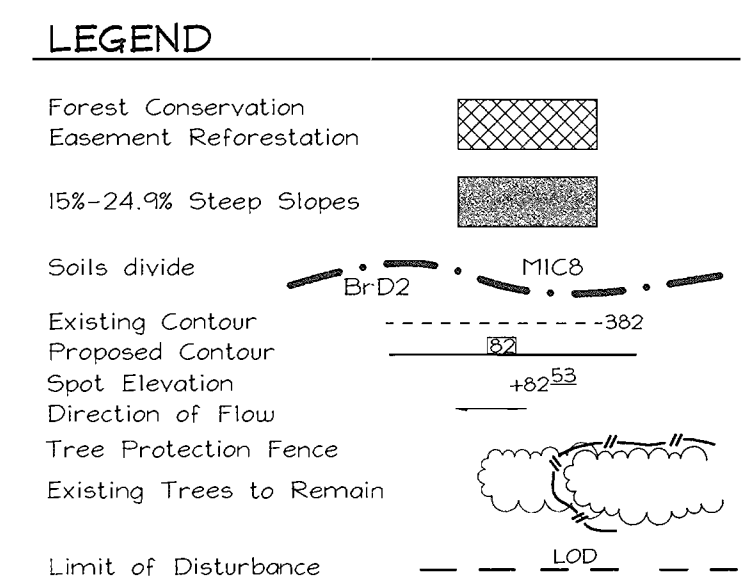
TAX MAP 37 BLOCK 8 1ST ELECTION DISTRICT PARCEL '118', '497', '602' HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: FWH
 DRAWN BY: FWH
 CHECKED BY: RHV
 DATE: JAN. 14, 2002
 SCALE: 1"=50'
 W.O. NO.: 2017048.00

12 SHEET OF 12

SYMBOL	NAME / DESCRIPTION	K VALUE	SOIL GROUP
AgC2	AURA GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES	.43	B
AgE3	AURA GRAVELLY LOAM, 10 TO 30 PERCENT SLOPES	.43	B
BwB2	BELTSVILLE SILT LOAM, 0 TO 1 PERCENT SLOPES	.43	C
ChB2	CHILLUM-FAIRFAX LOAMS, 1 TO 5 PERCENT SLOPES	.32	B
CuB	COMUS SILT LOAM, LOCAL ALLUVIUM, 3 TO 8 PERCENT SLOPES	.43	B
Evc	EVEBORO LOAMY SAND, 5 TO 15 PERCENT SLOPES	.17	A
IuB	IUKA LOAM, LOCAL ALLUVIUM, 1 TO 5 PERCENT SLOPES	.37	C
SfB2	SASSAFRAS GRAVELLY SANDY LOAM, 1 TO 5 PERCENT SLOPES	.20	B
SfC2	SASSAFRAS LOAM, 5 TO 10 PERCENT SLOPES	.28	B
Sub2	SUNNYSIDE FINE SANDY LOAM, 1 TO 5 PERCENT SLOPES	.24	B



NO.	REVISION	DATE
1	REVISE SITE GRADING	11.13.02

SITE DEVELOPMENT PLAN
STOCKBRIDGE OVERLOOK

TAX MAP 37 BLOCK 8 PARCEL '118', '497' & '602'
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/23/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

[Signature] 2/23/02
CHIEF, DIVISION OF LAND DEVELOPMENT HB DATE

[Signature] 2/27/02
DIRECTOR DATE

THESE PLANS HAVE BEEN REVIEWED FOR SOIL EROSION AND SEDIMENT CONTROL AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

USDA-NATURAL RESOURCES CONSERVATION SERVICE
DATE: 1/15/02

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 2/13/02
HOWARD SOIL CONSERVATION DISTRICT DATE

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

[Signature] 1-15-02
SIGNATURE OF DEVELOPER DATE

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

[Signature] 1/14/02
SIGNATURE OF ENGINEER DATE
ROBERT H. VOGEL

OWNER/DEVELOPER
ELLICOTT CITY LANDHOLDINGS, INC.
8000 MAIN STREET
ELLICOTT CITY, MARYLAND 21043

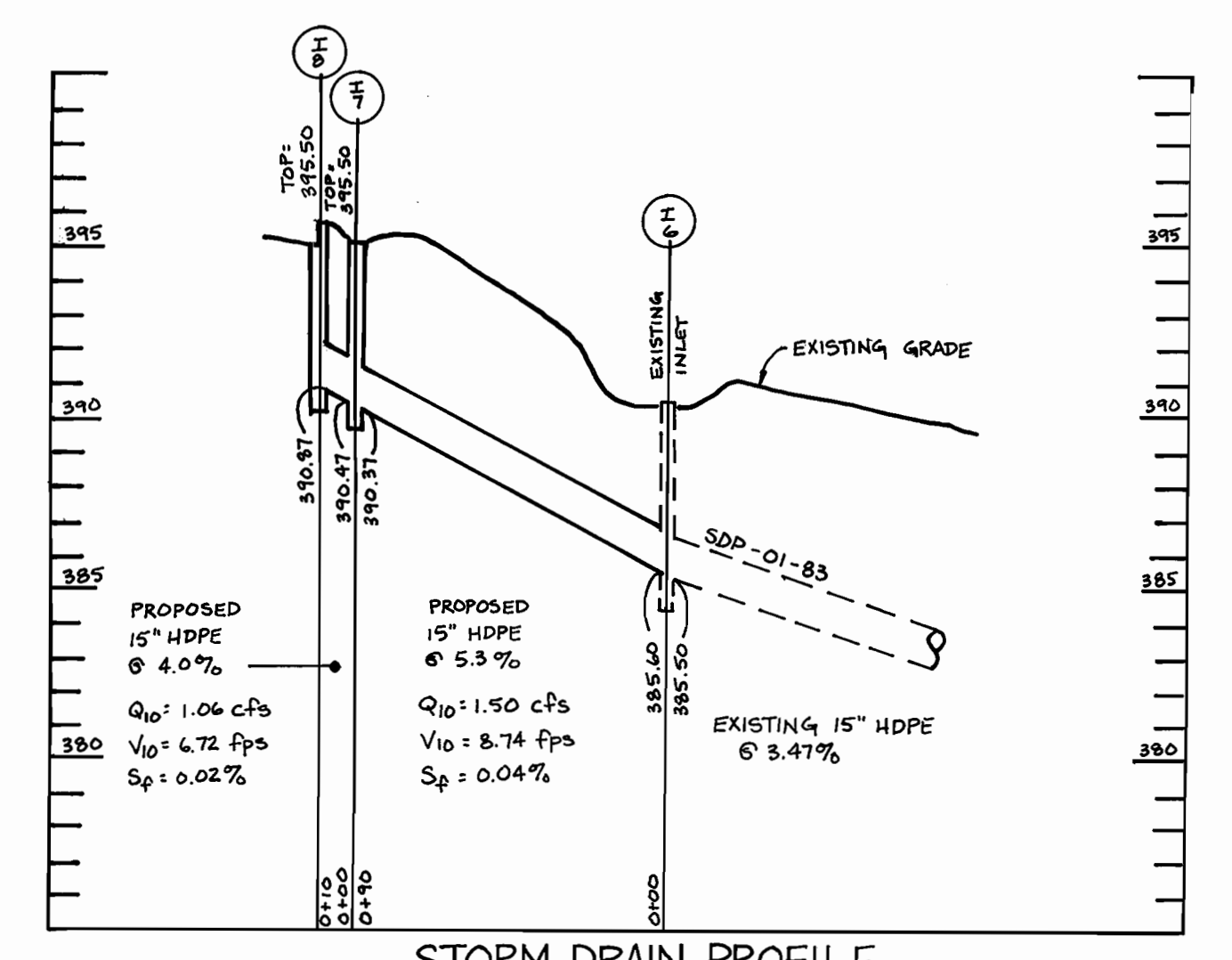
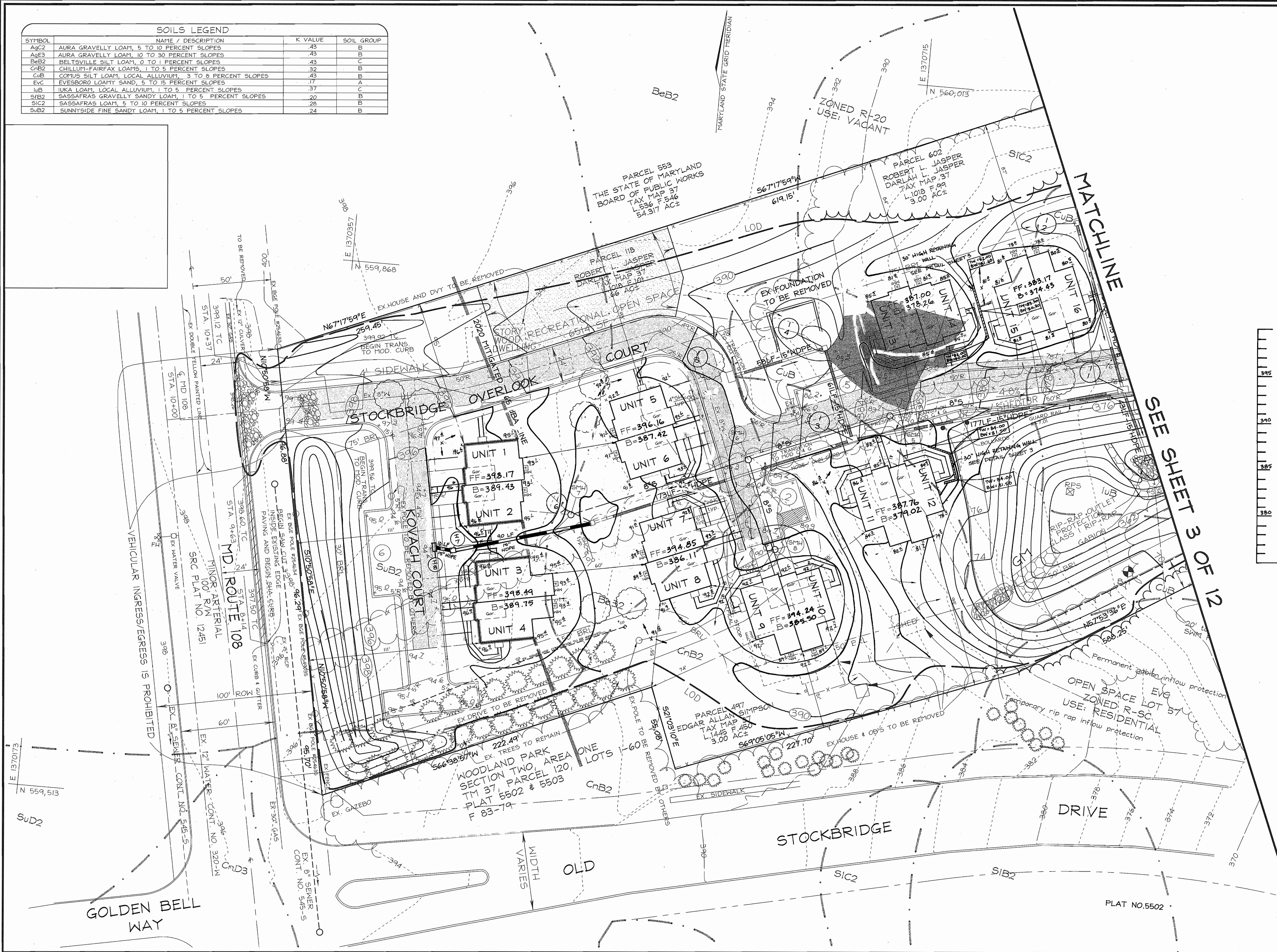
DESIGN BY: RHW
DRAWN BY: MHH
CHECKED BY: RHW
DATE: JAN. 14, 2001
SCALE: 1"=30'
W.O. NO.: 00-048

3 SHEET OF 12

SDP-01-83

SYMBOL	NAME / DESCRIPTION	K VALUE	SOIL GROUP
AgC2	AURA GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES	.45	B
AgE3	AURA GRAVELLY LOAM, 10 TO 30 PERCENT SLOPES	.45	B
BsB2	BELTSVILLE SILT LOAM, 0 TO 1 PERCENT SLOPES	.43	C
CnB2	CHILLUP-FAIRFAX LOAMS, 1 TO 5 PERCENT SLOPES	.32	B
CuB	CUMMERS SILT LOAM, LOCAL ALLUVIUM, 3 TO 8 PERCENT SLOPES	.43	B
EVC	EVESBORO LOAMY SAND, 5 TO 15 PERCENT SLOPES	.17	A
IuB	IUKA LOAM, LOCAL ALLUVIUM, 1 TO 5 PERCENT SLOPES	.37	C
SfB2	SASSAFRAS GRAVELLY SANDY LOAM, 1 TO 5 PERCENT SLOPES	.20	B
SfC2	SASSAFRAS LOAM, 5 TO 10 PERCENT SLOPES	.28	B
SuB2	SUNNYSIDE FINE SANDY LOAM, 1 TO 5 PERCENT SLOPES	.24	B

LEGEND	
Forest Conservation	
Easement Reforestation	
15%-24% Steep Slopes	
Soils divide	
Existing Contour	
Proposed Contour	
Spot Elevation	
Direction of Flow	
Tree Protection Fence	
Existing Trees to Remain	
Limit of Disturbance	



NO.	REVISION	DATE
2	REVISE SITE GRADING AND ADD INLETS 7 AND 8	11.8.02
1	REVISE HOUSE ELEVATIONS AND GRADING FOR UNITS 1-14	9.27.02

SITE DEVELOPMENT PLAN
STOCKBRIDGE OVERLOOK

TAX MAP 37 BLOCK 8
1ST ELECTION DISTRICT

PARCEL '118', '1497' & '602'
HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Dammann 2/20/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

Candy Hanover 2/27/02
CHIEF, DIVISION OF LAND DEVELOPMENT 10 DATE

Joseph Rutter 2/27/02
DIRECTOR DATE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim Mayo 2/13/02
USDA-NATURAL RESOURCE CONSERVATION SERVICE DATE

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Yaffa Selig 2/13/02
HOWARD SOIL CONSERVATION DISTRICT DATE

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

Robert H. Vogel 1-15-02
SIGNATURE OF DEVELOPER DATE

ENGINEER'S CERTIFICATE

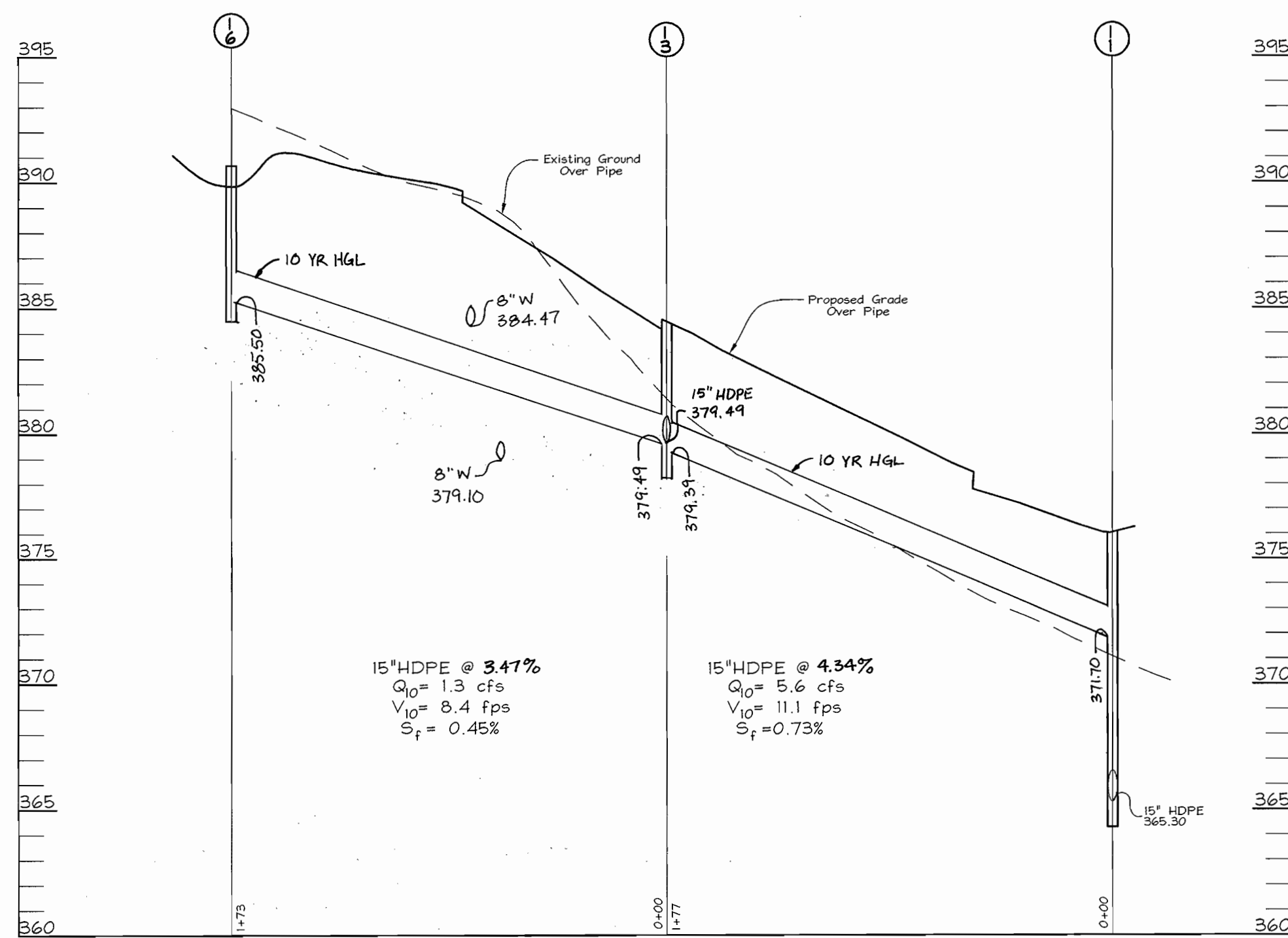
"I HEREBY CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

Robert H. Vogel 1/14/02
SIGNATURE OF ENGINEER ROBERT H. VOGEL DATE

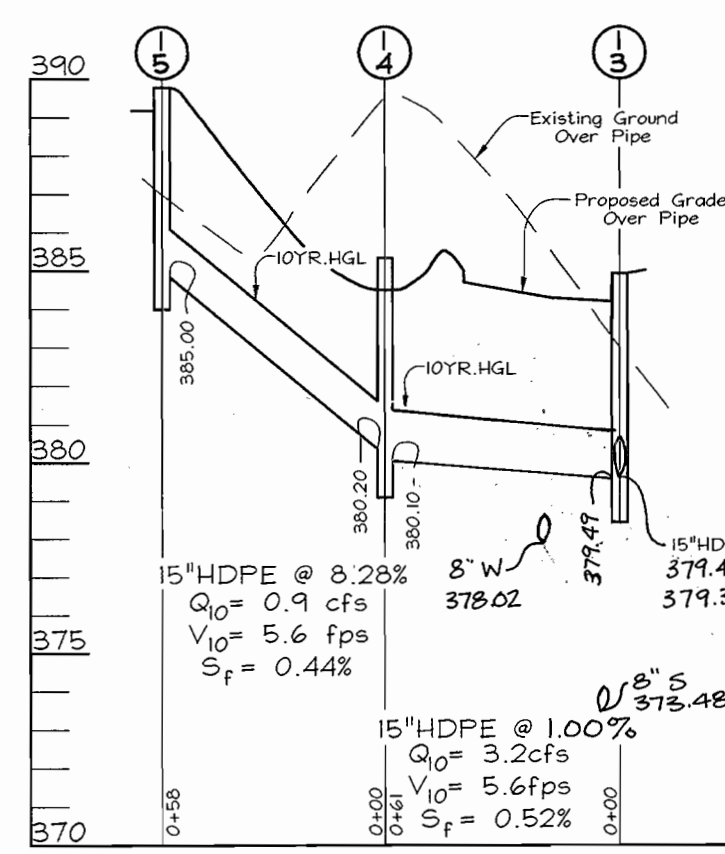
OWNER/DEVELOPER
 ELLICOTT CITY LANDHOLDINGS, INC.
 8000 MAIN STREET
 ELLICOTT CITY, MARYLAND 21043

DESIGN BY: RHV
 DRAWN BY: MHM
 CHECKED BY: RHV
 DATE: JAN. 14, 2002
 SCALE: 1"=30'
 W.O. NO.: 00-048

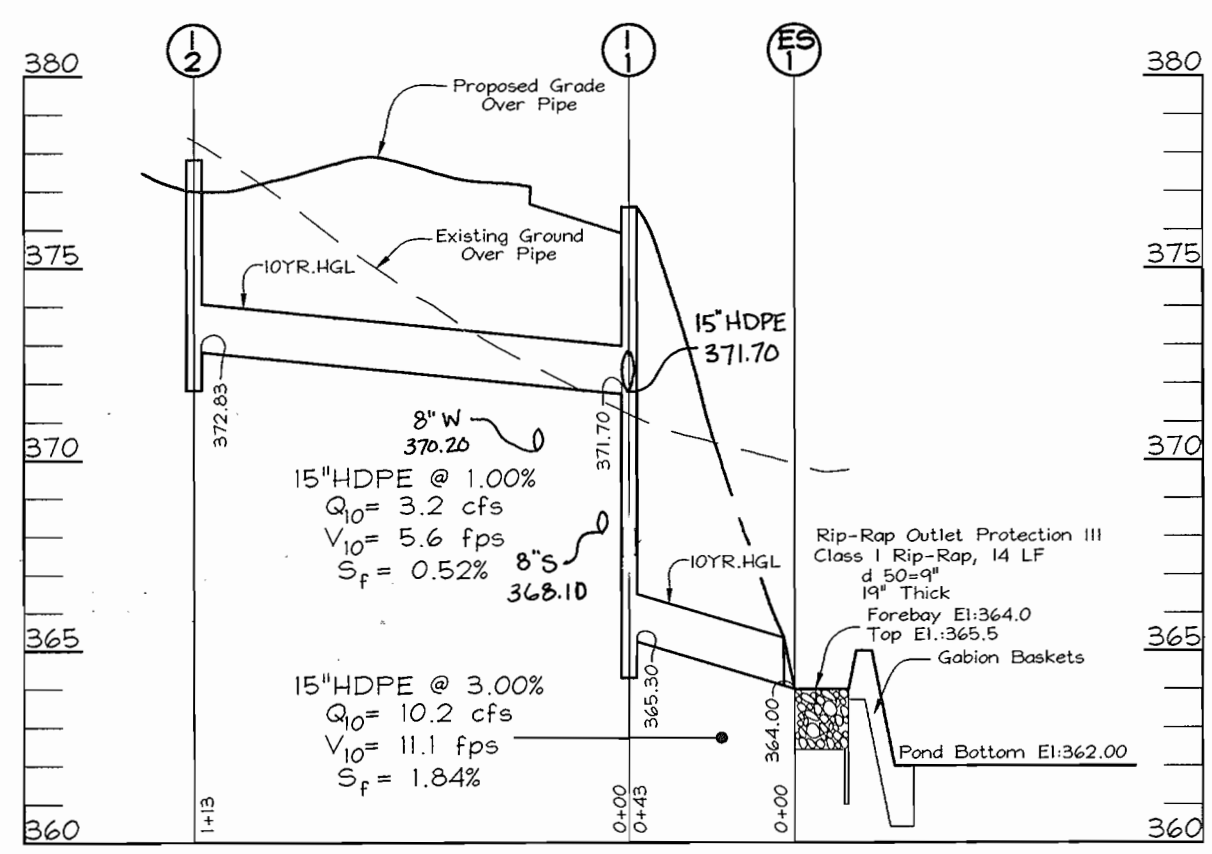
2 SHEET OF 12
SDP-01-83



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



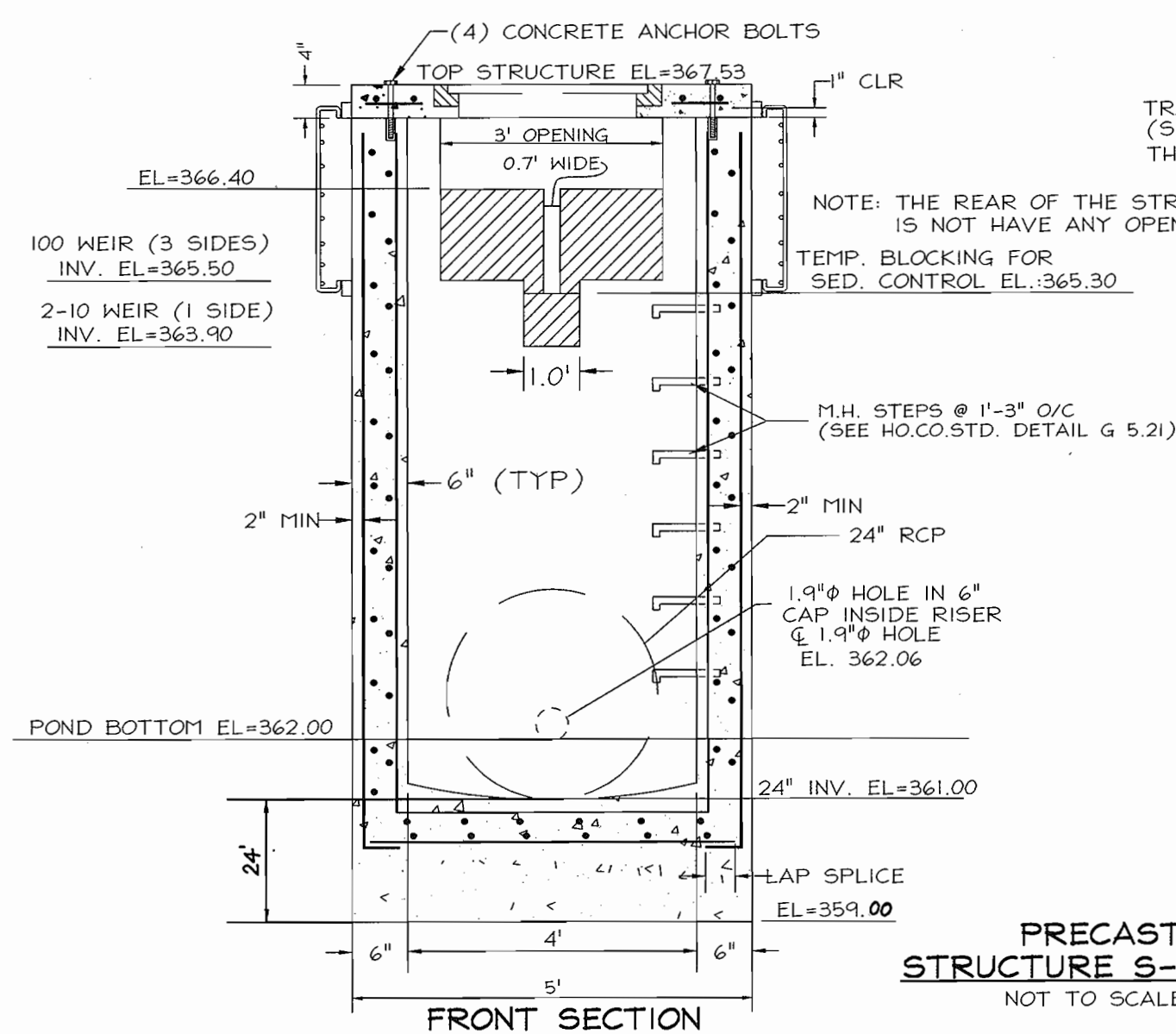
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

SIZE	TYPE	LENGTH
15"	HDPE	725 LF
24"	RCCP ASTM C-361	153 LF

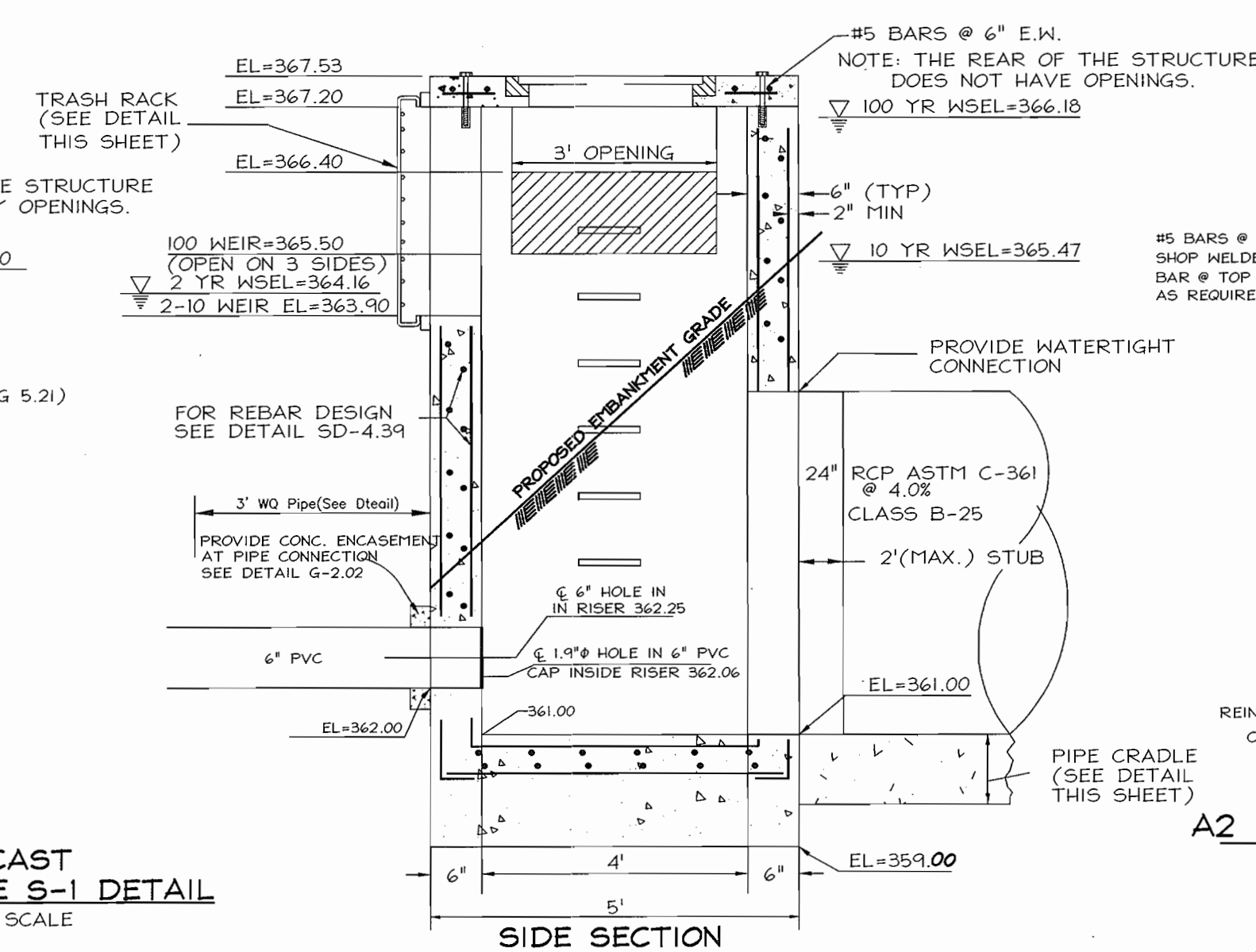
NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	REMARKS
I-1	Precast W/R Inlet	N 559827 E 1370958	376.87	371.70	365.30	SD 4.35
I-2	Precast Type 'D' Inlet	N 559433 E 1370818	377.00	-	372.83	SD 4.39
I-3	Precast W/R Inlet	N 559780 E 1370688	384.92	379.49	379.39	SD 4.35
I-4	Precast Type 'D' Inlet	N 5598381 E 1370664	384.50	380.20	380.10	SD 4.39
I-5	Precast W/R Inlet	N 559816 E 1370608	389.77	-	385.00	SD 4.35
I-6	Precast Type 'D' Inlet	N 559713 E 1370526	389.80	-	385.50	SD 4.39
M-1	Precast Manhole (4')	N 559693 E 1371047	362.50	355.52	355.42	G 5.12
CS-1	Control Structure(See Detail)	N 559805 E 1370970	367.33	362.00	361.00	See Detail
E-1	HDPE End Section(See Detail)	N 559788 E 1370876	365.25	-	364.00	See Detail

NOTE: 1. Top elevations are to the center of the structure at top of curb for W/R Inlets, throat invert for Type 'D' Inlets and top of Manhole cover for Precast Manholes.

NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	REMARKS
I-7	YARD INLET	N 559689 E 1370440	395.90	390.47	390.37	SD 4.14
I-8	TYPE 'S' COMB. INLET	N 559688 E 1370427	395.50	-	390.75	SD 4.52



PRECAST STRUCTURE S-1 DETAIL
NOT TO SCALE

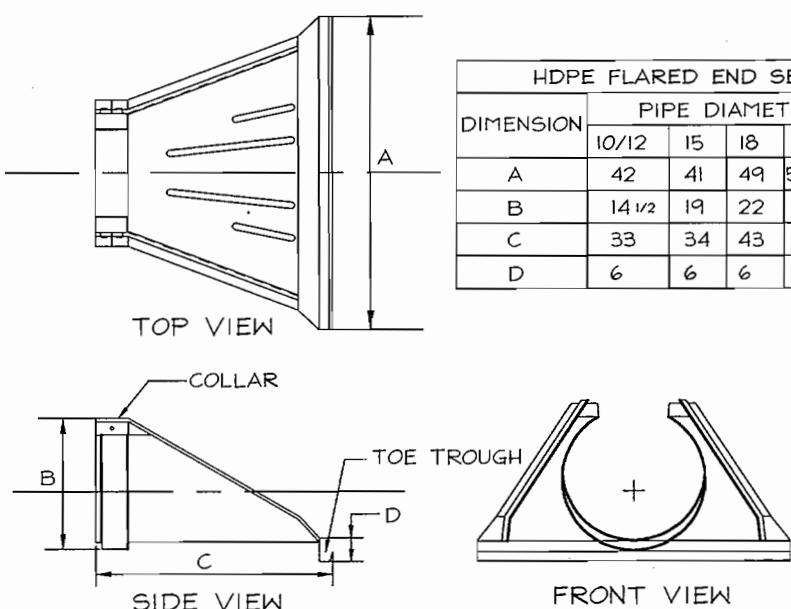


SIDE SECTION

	2 YEAR	10 YEAR	100 YEAR
FLOW INTO POND	8.32 c.f.s.	19.51 c.f.s.	33.19 c.f.s.
FLOW OUT OF POND	6.65 c.f.s.	6.30 c.f.s.	25.19 c.f.s.
W.S. ELEVATION	364.16	364.47	364.18
STORAGE VOLUME	0.31 AC FT	0.38 AC FT	0.75 AC FT

OPERATION, MAINTENANCE AND INSPECTION
INSPECTION OF THE POND(S) SHOWN HEREON SHALL BE PERFORMED AT LEAST ANNUALLY, IN ACCORDANCE WITH THE CONDITIONS AND REQUIREMENTS CONTAINED WITHIN USDA, 665 "STANDARDS AND SPECIFICATIONS FOR PONDS" (HD-376). THE POND OWNER(S) AND ANY WEIRS, STRUCTURES OR EROSION IN THE POND AS WELL AS RIPRAP OUTLET AREAS AND THE CONTINUED OPERATION, SURVEILLANCE, INSPECTION AND MAINTENANCE THEREOF, THE POND OWNER(S) SHALL PROMPTLY NOTIFY THE SOIL CONSERVATION DISTRICT OF ANY UNUSUAL OBSERVATIONS THAT MAY BE INDICATORS OF DISTRESS SUCH AS EXCESSIVE SEEPAGE, TURBID SEEPAGE, SLIDING OR SLURPING.

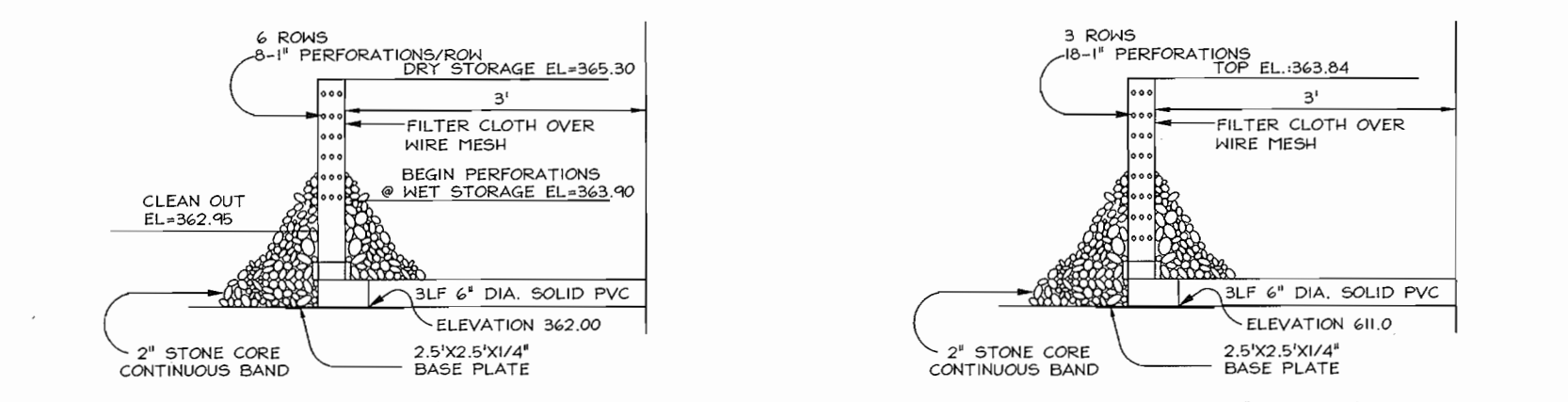
OPERATION AND MAINTENANCE SCHEDULE FOR STORMWATER MANAGEMENT DETENTION FACILITY
ROUTINE MAINTENANCE
1. FACILITY WILL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHOULD BE PERFORMED DURING WET WEATHER TO DETERMINE IF FUNCTIONING PROPERLY.
2. TOP AND SIDE SLOPES OF THE EMBANKMENT SHALL BE MOVED A MINIMUM OF TWO (2) TIMES A YEAR, ONCE IN JUNE AND ONCE IN SEPTEMBER. OTHER SIDE SLOPES AND MAINTENANCE ACCESS SHOULD BE MOVED AS NEEDED.
3. DEBRIS AND LITTER NEXT TO THE OUTLET STRUCTURE SHALL BE REMOVED DURING REGULAR HOUSING OPERATIONS AND AS NEEDED.
4. VISIBLE SIGNS OF EROSION IN THE POND AS WELL AS RIPRAP OUTLET AREAS SHALL BE REPAIRED AS SOON AS IT IS NOTICED.
NON-ROUTINE MAINTENANCE
1. STRUCTURAL COMPONENTS OF THE POND SUCH AS THE DAM, THE RISER, AND THE PIPES SHALL BE REPAIRED UPON DETECTION OF ANY DAMAGE. THE COMPONENTS SHOULD BE INSPECTED DURING ROUTINE MAINTENANCE OPERATIONS.
2. SEDIMENT SHOULD BE REMOVED WHEN ITS ACCUMULATION SIGNIFICANTLY REDUCES THE DESIGN STORAGE CAPACITY WITH THE FUNCTION OF THE RISER, WHEN DEEPEST NECESSARY FOR AESTHETIC REASONS, OR WHEN DEEPEST NECESSARY BY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.



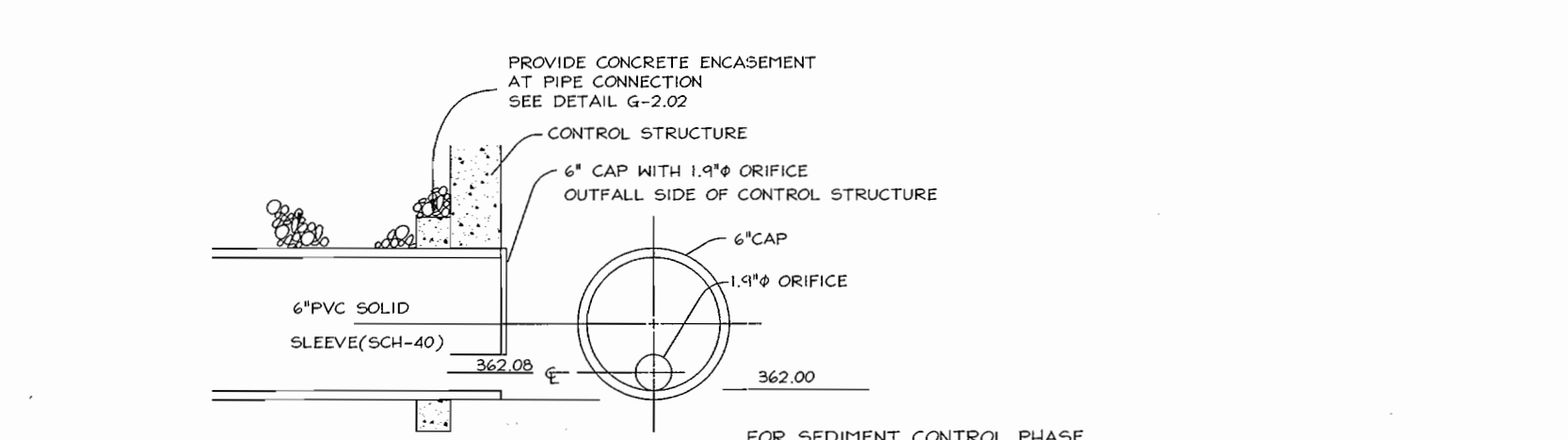
HDPE END SECTION DETAIL
NOT TO SCALE

HDPE END SECTION CONSTRUCTION SEQUENCE

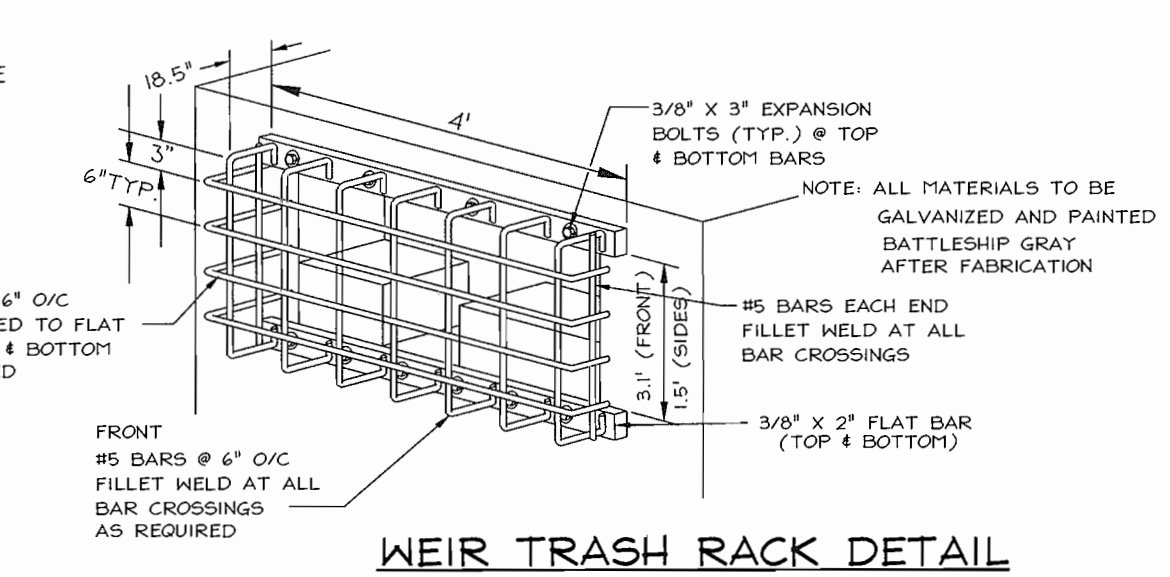
1. PREPARE BEDDING
Bedding material around the end section may be the same as the material around the pipe. Place a few inches of bedding material in the trench or ditch where the end section will be placed. Compact and contour this material to generally match the end section, excavate an area in the bedding where the toe trough will seat so that the end section will align to the proper grade in the finished installation.
2. PLACE END SECTION ON PIPE
Open the end section collar and seat it over the last two pipe corrugations. Once the end section is positioned, check to make sure that the invert of the end section matches the invert of the pipe and that the end section is aligned to proper grade.
3. SECURE THE END SECTION
Slip the stainless steel rod through the pre-drilled holes at the top of the collar. The rod should be between the corrugations of the two corrugations at the end of the pipe. Place a washer on either end of the rod and hand tighten with a wrench until the collar is tight around the pipe. Do not over-tighten.
4. SECURE TOE TROUGH
To prevent washouts from high velocity flow, it is recommended that the toe trough be secured with concrete. Pour concrete in the trough up to the level of the trench or ditch bottom and along the entire length of the trough.
5. FINISH BACKFILL
Shovel backfill around the end section in 6-8 inch layers equally on both sides, knitting it in to eliminate voids. Tamp with a small-faced compactor or other equipment suitable for small areas. Continue packing, knitting, and compacting backfill material in layers to the top of the end section to seat it well into the backfill.



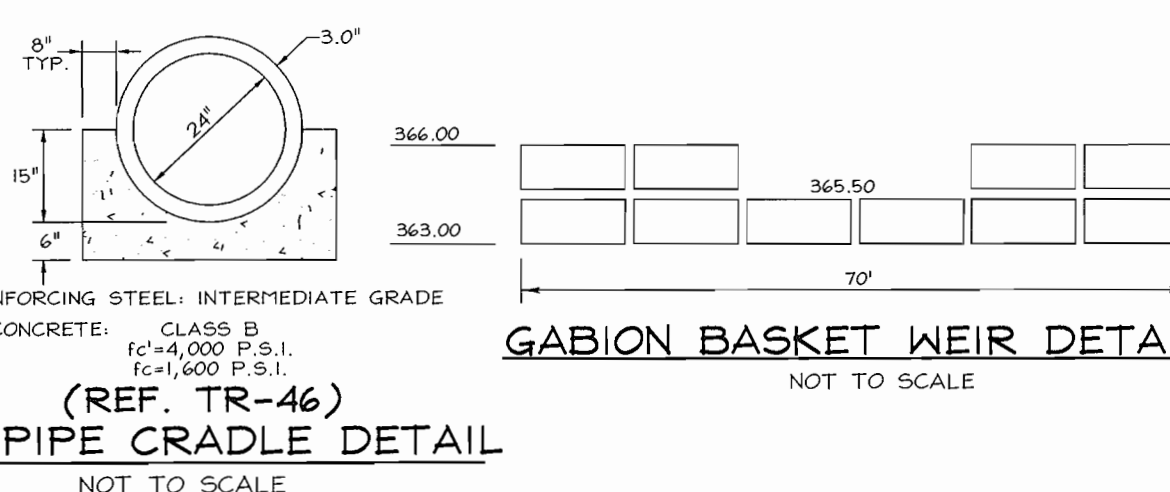
SEDIMENT BASIN DEWATERING DEVICE WITH 6" PERFORATED RISER
NOT TO SCALE



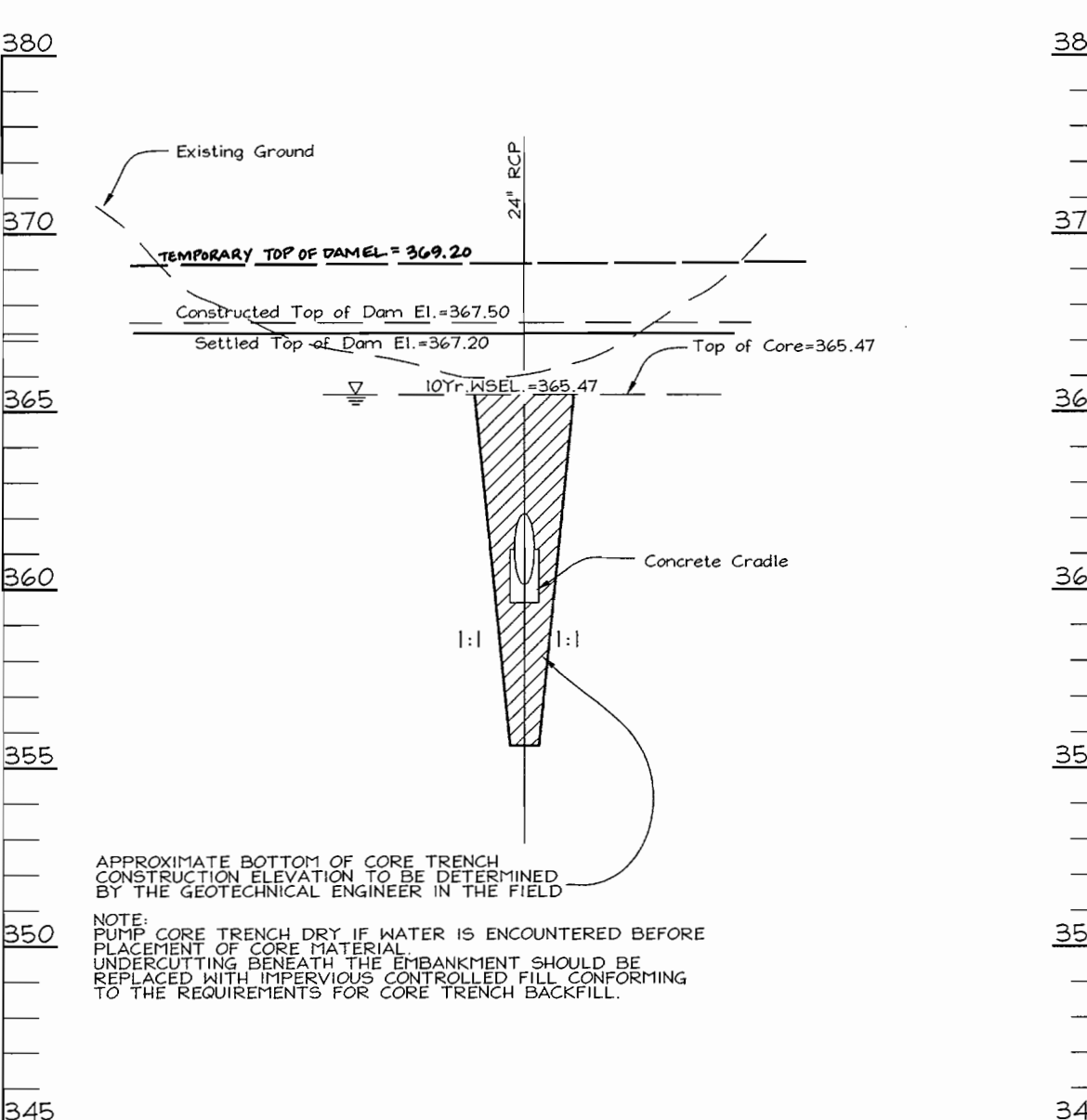
PERMANENT ORIFICE DETAIL IN CONTROL STRUCTURE
NOT TO SCALE



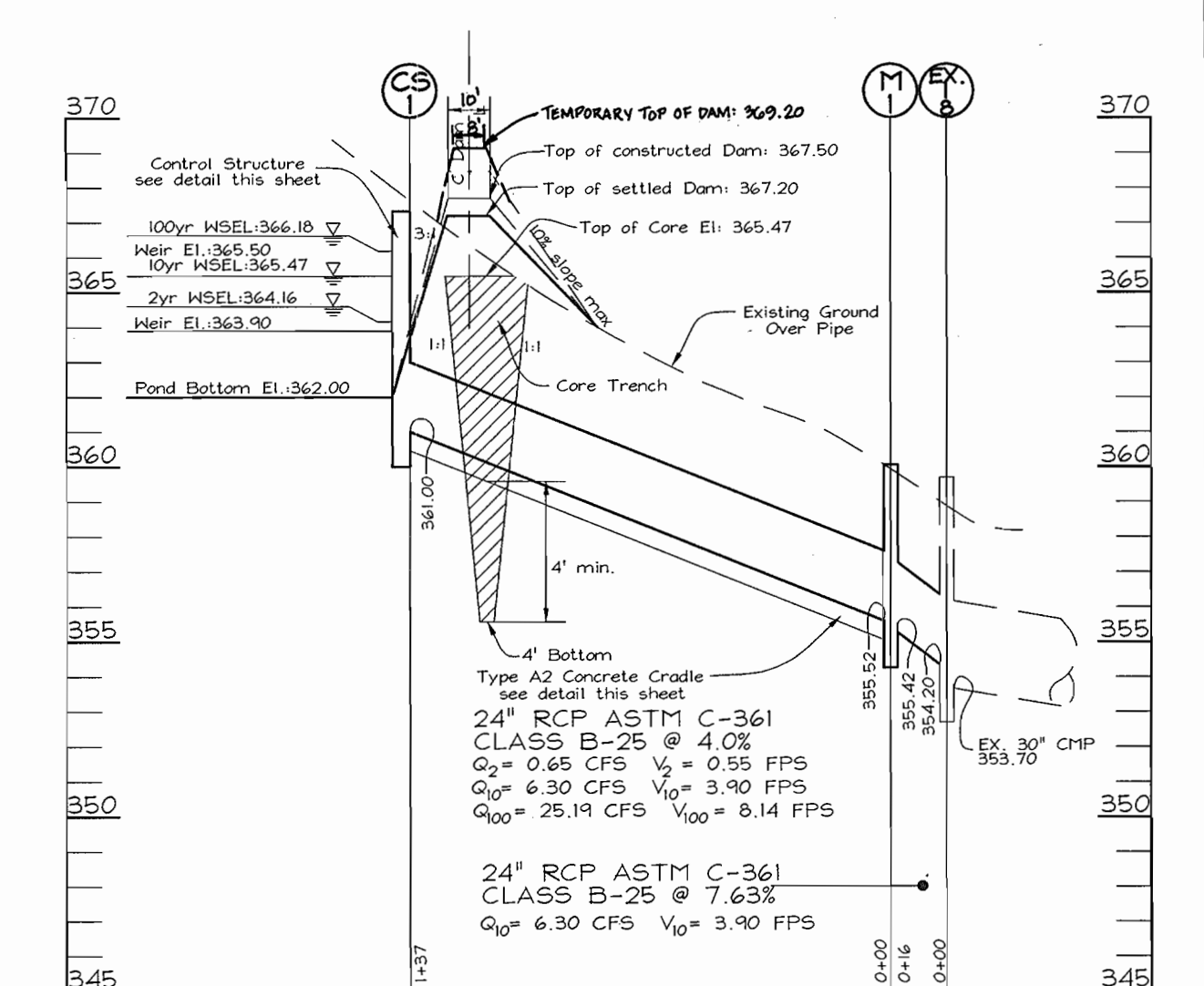
WEIR TRASH RACK DETAIL
NOT TO SCALE



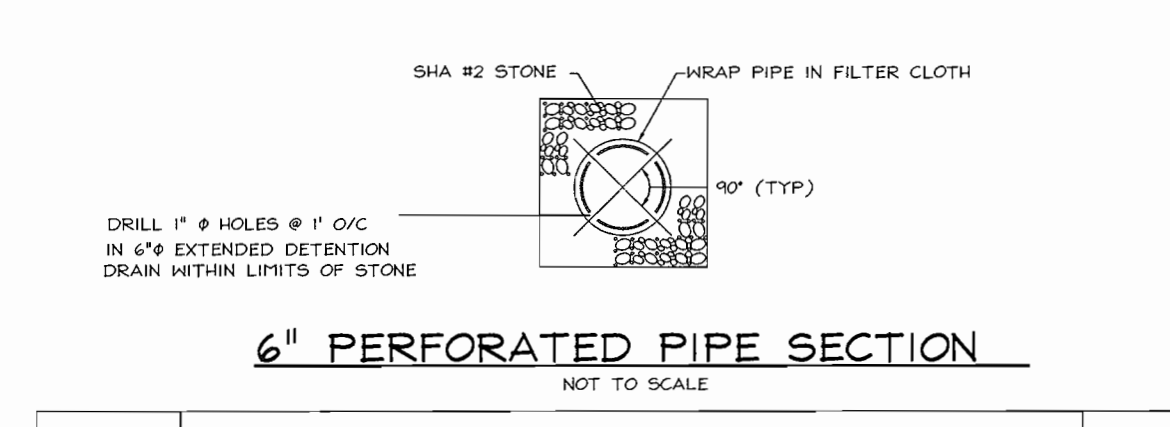
GABION BASKET WEIR DETAIL
NOT TO SCALE



SECTION ALONG EMBANKMENT
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



SECTION THROUGH PRINCIPAL SPILLWAY
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



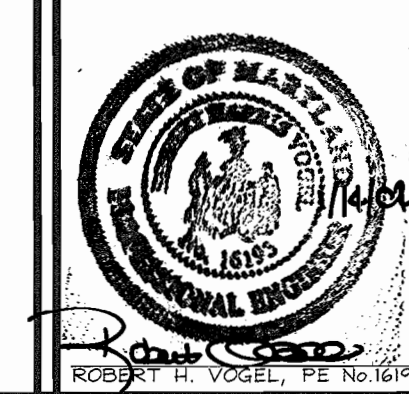
6" PERFORATED PIPE SECTION
NOT TO SCALE

NO.	REVISION	DATE
2	REVISE STRUCTURE SCHEDULE	11.18.02
1	REVISE STORM DRAIN PROFILES	3.18.02

STORMWATER MANAGEMENT DETAILS AND STORM DRAIN PROFILES
STOCKBRIDGE OVERLOOK

TAX MAP 37 BLOCK 8 PARCELS 118, 497 & 602
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

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SURVEYORS: Bel Air, Maryland Columbia, Maryland Warrenton, Virginia



DESIGN BY: R.H.V.
DRAWN BY: J.C.O.
CHECKED BY: R.H.V.
DATE: JAN. 14, 2002
SCALE: AS SHOWN
W.O. NO.: 00-048
8 SHEET OF 12