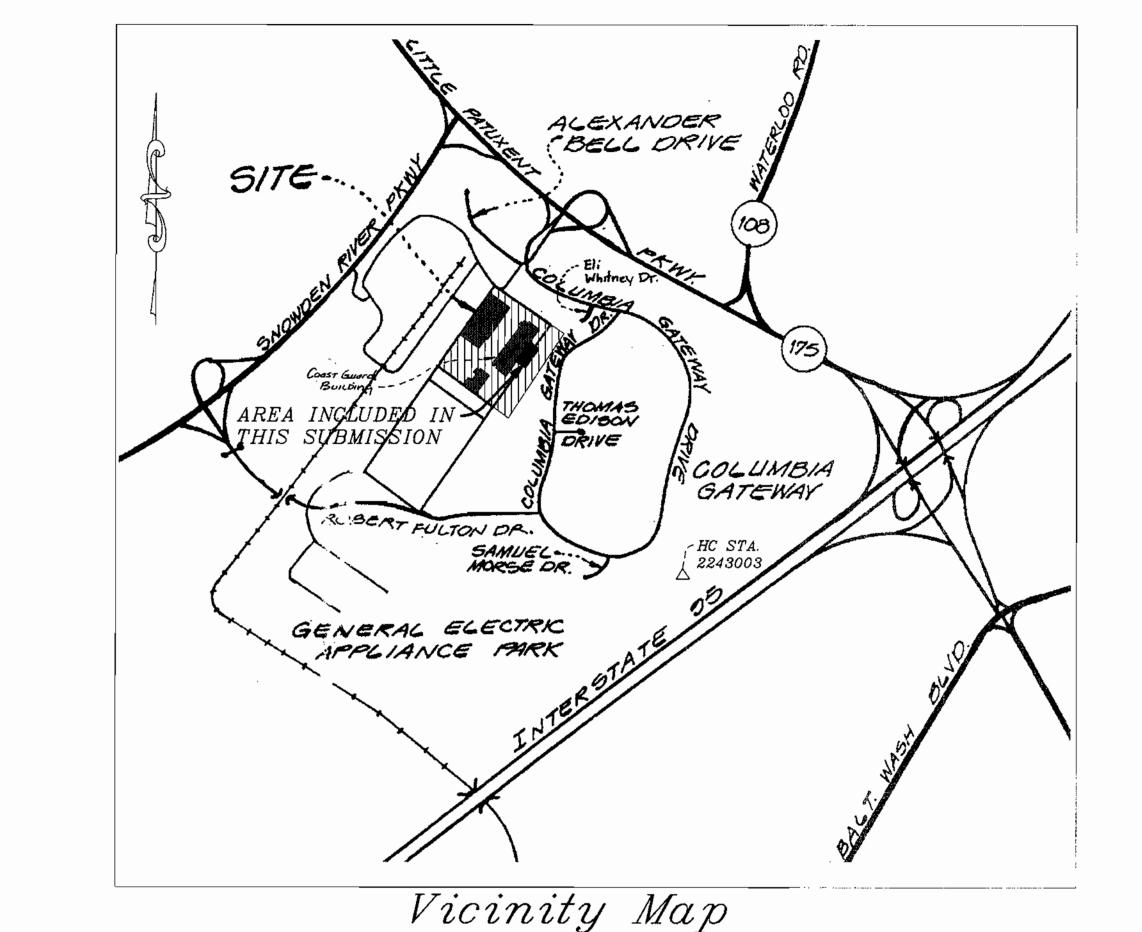
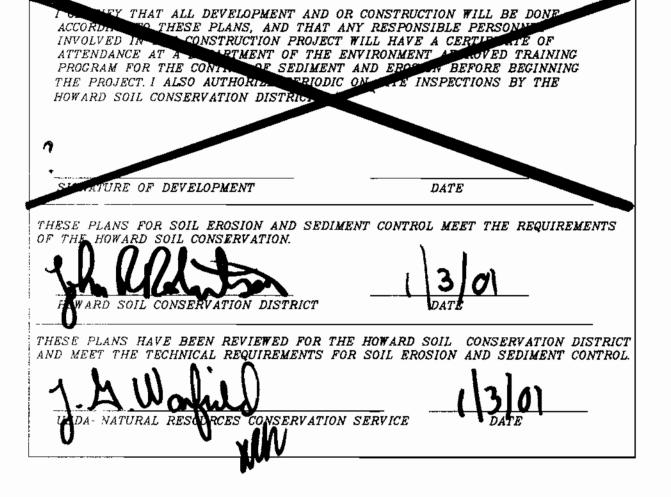
GATEWAY COMMERCE CENTER PARKING LOT ADDITION SITE DEVELOPMENT PLAN





BENCH MARKS

LOCATION NORTHWEST SIDE OF BLDG. 2 @ BUMP OUT IN BLDG.

400' SOUTH OF MAIN PERIMETER ROAD ALONG FENCE LINE, WEST SIDE OF BLDG. 2.

NORTHWEST SIDE OF BLDG. 270' SOUTH OF MAIN PERIMETER ROAD ALONG MAIN ROAD BETWEEN

BLDGS 20 & 2.

119 Almost a Chilery Htt N. By Maryland 20850

4407 Forbes (3b), William Conham, Manyland 20706

Constitution Straggion acer ok. Maryland 21701

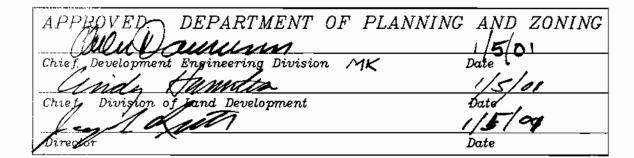
60 Indus 10 Harr 19 Jan 40 donft Maryland 20602

DESCRIPTION

B.M. #1 - " " CUT @ TIP OF CONC. WHEEL GUIDE. ELEVATION = 339.72B.M. #2 - B.B. FIRE HYDRANT #23 ELEVATION = 344.23

B.M. #3 - TRAVERSE STATION 202 ELEVATION = 343.13

GLW CONTROL STATIONS LOCATION DESCRIPTION TARVERSE STA. 202 N. 492205.747, E. 853417.434 TARVERSE STA. 986 N. 491752.767, E. 852978.408 TARVERSE STA. 987 N. 492649.894, E. 853140.859 TARVERSE STA. 201 N. 491073.595, E. 852627.446



301-948-2750 Fax: 301-948-9067 301-794-7555 Fax: 301-794-7656

301-696-1240 Fax: 301-831-4865

Internet address: http://www.loiederman.co

OIEDERMAN ASSOCIATES, INC

Divit Engineering Land Planning Land Surveying Environmental Studies

TARVERSE STA. 116 N. 491757.255, E. 855040.824

SITE ANALYSIS

- 1. TOTAL PARCEL AREA 183.03 ACRES
- 2. LIMITS OF SUBMISSION / DISTURBANCE 0.63 ACRES
- 3. ZONED : M-1

- 4. PROPOSED USE: ADDITION OF 97 PARKING SPACES
- 5. EXISTING OPEN SPACE IN SUBMISSION AREA 38,680 S.F.
- 6. PROPOSED OPEN SPACE IN SUBMISSION AREA 9,373 S.F.
- THE ADDITION OF THESE PARKING SPACES IS INTENDED TO RELIEVE OVERCROWDED CONDITIONS IN THE ADJOINING CORVIS PARKING LOT.
- 8. THERE IS NO BUILDING CONSTRUCTION INCLUDED IN THIS SUBMISSION.
- 9. PREVIOUS SDP APPROVAL 93-86
- 10. PARKING TABULATION:

a. EXISTING STANDARD b. EXISTING HANDICAP

(PER SDP 93-86) (PER SDP 93-86)

NONE

EXISTING TOTAL 300 (7 H.C. REQUIRED PER ADA)

c. PROPOSED STANDARD 97 d. TOTAL PROPOSED STANDARD 388 (291+97)

11--11--00

e. HANDICAP REQUIRED

f. HANDICAP PROVIDED (EXISTING)

g. ADDITIONAL H.C. PROPOSED

BY DATE

Checked:

REVISIONS

Technician:

CAD Standards Version:

2. SITE DEVELOPMENT PLAN

- 1. COVER SHEET
- 3. SEDIMENT CONTROL PLAN, DETAILS AND NOTES 4. STORM DRAIN PROFILES
- 5. LANDSCAPE PLAN, DETAILS AND NOTES

PLAN INDEX:

"MISS UTILITY"

MISS UTILITY - TELEPHONE NUMBER 1-800-257-777 FOR EXISTING UTILITY LOCATIONS AT LEAST 48 HRS BEFORE BEGINNING CONSTRUCTION

EXISTING SDP 93-86

MISS UTILITY NOTE INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION, IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION, CLEARANCES LESS THAN NOTED MAY REQUIRE

ELECTRONIC FILE DISCLAIMER

THE INFORMATION CONTAINED HEREON WAS PREPARED AS AN ELECTRONIC CAD FILE BY LOIEDERMAN ASSOCIATES, INC. (LAI). WHILE ALL REASONABLE STEPS HAVE BEEN TAKEN TO ASSURE THE ACCURACY OF THE INFORMATION CONTAINED IN SAID ELECTRONIC FILE, LAI CANNOT GUARANTEE THAT CHANGES AND/OR ALTERATIONS HAVE NOT BEEN MADE. NO RELIANCE ON THE INFORMATION CONTAINED HEREON SHALL BE MADE UNLESS FIRST COMPARED TO A SIGNED ORIGINAL DOCUMENT. LAI ASSUMES NO RES-PONSIBILITY AND GRANTS NO WARRANTIES, EXPRESSED OR IMPLIED, CONCERNING THE ACCURACY OF INFORMATION THAT HAS BEEN TRANSMITTED OR RECEIVED BY COMPUTER OR OTHER ELECTRONIC MEANS. IF VERIFICATION OF THE INFORMATION CONTAINED HEREON OR IN THE ELECTRONIC FILE USED TO CREATE THIS DOCUMENT IS NEEDED, CONTACT SHOULD BE MADE DIRECTLY WITH LAS.

GENERAL NOTES

- 1. THE PROPERTY IS LOCATED ON TAX MAP 42 AS PARCEL A-74.
- 2. THE LOCATION OF EXISTING UTILITIES SHOWN HEREON ARE APPROXI-MATE ONLY. CONTRACTOR SHALL VERIFY THE EXISTING VERTICAL AND HORIZONTAL LOCATIONS. NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO BEGINNING WORK.
- 3. THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS. THE FIGURED DIMENSIONS SHALL GOVERN.
- 4. ALL WATER AND SEWER SHOWN ON THIS SITE IS PART OF A PRIVATE SYSTEM. THIS PROJECT IS LOCATED WITHIN THE METROPOLITAN
- 5. THERE ARE NO CONTIGUOUS SLOPES OF 25% OR GREATER WHICH ARE
- GREATER THAN 20,000 SQ. FT. IN THE AREA. 6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- 7. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY
- SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT. 8. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND
- 9. STORMWATER MANAGEMENT AND WATER QUALITY FOR THE ENTIRE SITE ARE PROVIDED IN AN EXISTING STORMWATER MANAGEMENT POND CONSTRUCTED BY GENERAL ELECTRIC (GE) IN 1970. A REPORT CONFIRMING THE STORMWATER QUALITY/QUANTITY CAPABILITIES OF THE EX. FACILITY TO SERVE THE SITE, WAS PREPARED BY WHITMAN. REQUARDT, AND ASSOCIATES AND APPROVED BY HOWARD COUNTY IN 1995. LOIEDERMAN ASSOCIATES ADDITIONALLY COMPUTED CHANGES IN RCN TO SHOW THAT THERE IS NO IMPACT IN THE OVERALL DRAINAGE
- AREA. THE LETTER AND COMPS ARE SHOWN ON SHEET 4. 10. EXISTING ZONING IS M-1. PROPOSED USE IS A PARKING LOT ADDITION.
- 11. EXISTING TOPOGRAPHY AND PROPOSED TOPOGRAPHY SHOWN AT 2-FOOT INTERVALS. TOPOGRAPHIC INFORMATION SUPPLIED BY MEANS OF FIELD VERIFICATION. FIELD VERIFICATION SURVEY PREPARED BY LOIEDERMAN ASSOCIATES, INC. SEPTEMBER, 2000.
- 12. THERE ARE NO 100-YEAR FLOODPLAINS OF RECORD WITHIN THE PRO-POSED PARCEL.
- 13. THIS SITE IS EXEMPT FROM THE FOREST CONSERVATION ORDINANCE IN ACCORDANCE WITH 16.1202 (b)(W A PLANNED OFFICE PARK
- 15. THERE ARE NO WETLANDS, STREAMS, OR STREAM BUFFERS EXISTING ON-SITE.
- 16. ALL PAVING SHALL BE ASPHALT PAVING WITHOUT CURB AND GUTTER; EXCEPT AS NOTED. ALL CURB AND GUTTER IS TO HOWARD COUNTY STANDARDS.
- 17. THE APPROXIMATE BUILDING AGE IS 25 YEARS.

STATE PLANE COORDINATE SYSTEM.

- 18. A TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROPOSED SITE
- 20. ALL OUTDOOR LIGHTING SHALL COMPLY WITH ZONING SEC. 134. SEE SHEET 5 OF 5 FOR DETAILS.
- 21. SITE AREA 183.03 ACRES.
- 22. THE CONTRACTOR SHALL NOTIFY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. BUREAU OF UTLITIES AT (410)-313-4900 AT LEAST FIVE WORKING DAYS PRIOR TO STARTING WORK.
- 23. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED. 24. USE TRENCH BEDDING CLASS C FOR STORM DRAINS.
- 25. PAVED AREAS INDICATED ARE PRIVATE.
- 26. RECORDING REFERENCE; PART OF PARCEL A-74, PLAT 12587, /3139+13140
- SEE DETAIL SHEET 2/5. 27. PROPOSED CURB RAMPS SHALL BE IN ACCORDANCE WITH CURRENT A.D.A.
- STANDARDS. MAXIMUM SIDEWALK CROSS SLOPE SHALL BE (2%) TWO PRECENT 28. THIS SDP RECEIVED APFO TRAFFIC TEST ON 12-07-00.
- 29. THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTOR DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT 410-313-1880.

OWNERPARCEL A-40 ASSOCIATES, LLC 8330 BOONE BOULEVARD SUITE 460 VIENNA, VIRGINIA 22182 ATTEN: MR. OLAV KOLLEVOLL JR. PHONE: (317)-636-1600

DEVELOPER

THE CORVIS CORPORATION C/O CHIP RANNO 255 PENNSYLVANIA AVE. SUITE 407 WASHINGTON, DC. 20037

PHONE: (202)-728-9800

			ADDRES	S CHART			
LOT NU	MBER		STREET ADDRESS				
PARCEL A-74			6751 ALEX	XANDER BELL DRI	IVE		
			ERMIT INFO	RMATION CHART			
			SECTION/AREA		PARCEL 4		
SUBDIVISION NAME GATEWAY (CENTER	COMMER	CE	1	/ A	PARCEL 4 A-74		
GATEWAY (CENTER	COMMER	CE	1	A BLECT. DIST	-		
			N ,		A-74		

COVER SHEET

PARKING LOT ADDITION BUILDING 2 GATEWAY COMMERCE CENTER

> 6751 ALEXANDER BELL DRIVE 6th ELECTION DISTRICT

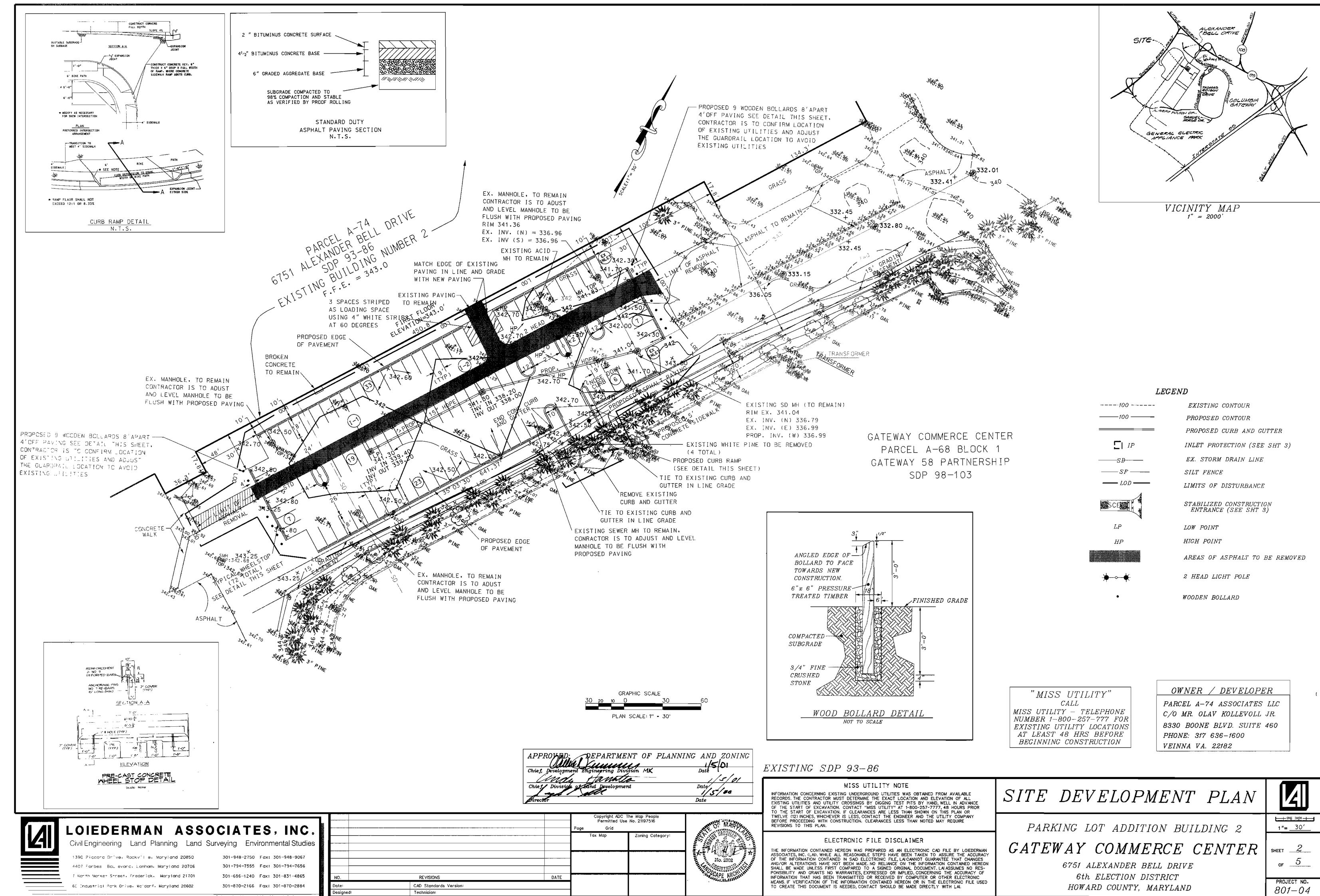
1'' = AS SHOWASHEET

HOWARD COUNTY, MARYLAND

SDP 01-62

PROJECT NO.

801 - 04



SEEDED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DIKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY

SOIL AMENDMENTS. IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 600 LBS PER ACRE 10-10-10 FERTULZER (LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPP

THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS, PER ACRU 0-0-0 UREAFORM FERTILIZER (9 LBS/1000 SQ.PT.) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE 92 LBS/1000 SC FT) AND 1000 LBS. PER ACRE 19-10-10 PERTILIZER (2 LBS /1000 SQ FT.) BEFORE SEEDING HARROW OR DISK ENTO UPPER

SEEDING - FOR THE PERIODS MARCH I TEROUGH APRIL 30, AND AUGUST 1 TEROUGH OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LB\$/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY I THROUGH JULY 31, SEEL WITH 60 LBS. KENTUCKY 31 TALL PESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS/1000 SQ. FT.) OF WEEPING LOVE GRASS. DURING THE PERIOD OF OCTOBER 16 THROUGH FEBRUARY 28, PROTECT SITE BY: OPTION (1) - 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) - USE SOD. OPTION (1) - SEED WITH 60 LES/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED

MULCHING - APPLY 1 % TO 2 TONS PER ACRE (70-90 LBS/1000 \$Q. FT.) OF MOTION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT ARBAS ON SLOPES & FEET OR HIGHER, USE 348 GALLONS PER ACRE (\$

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS.

EROSION AND SEDIMENT CONTROL NARRATIVE

THIS PROJECT IS LOCATED IN THE GATEWAY COMMERCE CENTER SUBDIVISION ADJACENT TO ROBERT FULTON DRIVE AND IS BETTER RIBED AS \$700 ROBERT FULTON DRIVE, PARCEL A-40. THIS PARCEL WAS ORMALLY PART OF THE GE WAREHOUSE CENTER. IT CONSISTS OF 48.7 ACRES WITH A 601,873 SQ. FT. BUILDING AND ASSOCIATED PAVING AND UTILITIES.
THE SITE IS BORDERED BY ROBERT FULTON DRIVE TO THE SOUTHWEST AND

TING BUILDINGS WITHIN THE SUBDIVISION ON ALL OTHER SIDES.

EXISTING CONDITIONS/STORMWATER MANAGEMENT

THE SITE IS DEVELOPED AND THE TOPOGRAPHY IS VERY FLAT. DRAINAGE FROM THE PAVED AREAS AND ROOF TOF ARE CONVEYED THROUGH AN EXISTING STORM SEWER SYSTEM AND ULTIMATELY TO AN EXISTING STORMWATER MANAGEMENT FACILITY. THIS FACILITY PROVIDES QUANTITY AND QUALITY MEASURES FOR THE ENTIRE SUBDIVISION. A REPORT ON THE STORMWATER MANAGEMENT FACILITY HAS RECENTLY BEEN REVIEWED AND APPROVED BY HOWARD COUNTY. THE REPORT INCLUDED THAT, AFTER MENT REMOVAL, THE FACILITY WOULD SATISFY HOWARD COUNTY'S STORMWATER MANAGEMENT REQUIREMENTS FOR CONTROLLING WATER QUANTITY AND QUALITY OF STORMWATER RUNOFF FROM THE DEVELOPED

SEDIMENT REMOVAL, THE FACILITY WOULD SATISFY HOWARD COUNTY'S STORMWATER MANAGEMENT REQUIREMENTS FOR CONTROLLING WATER QUANTITY AND QUALITY OF STORMWATER RUNOFF FROM THE DEVELOPED

CONTROL MEASURES

DIVERSION DIKES WILL BE USED TO LIMIT THE AMOUNT OF RUNOFF ACROSS DISTURBED AREAS AND TO DEVERT SEDIMENT LADEN RUNOF

THE SITE WILL BE PERMANENTLY SEEDED AFTER ALL CONSTRUCTION ACTIVITIES ARE COMPLETED. DISTURBED AREAS TO REMAIN UNWORKED FOR 30 DAYS WILL BE STABILIZED WITH THE PERMANENT SEEDING NOTES TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED ARE S LIKELY TO BE REDISTURBED WHERE A SHORT-TERM YEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION - LOOSEN UPPER THREE ENCHES OF SOIL BY RAKING,

DIKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY

SOIL AMENDMENTS - APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 SEEDENG - FOR PERIODS MARCH 1 THROUGH APRIL 36 AND PROM ALKISIST 15 THROUGH OCTOBER 15, SEED WITH 2 W BUSHELS PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ. FT.) FOR THE PERIOD MAY I THROUGH AUGUST 14, SEED WITH 1 LBS. FER ACRE OF WEBFING LOVE GRASS (47 LBS/1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 THROUGH FEBRUARY 28, FROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED

MULCHING -- APPLY 1 W TO 2 TONS PER ACRE (70 TO 90 LB\$ /1000 SO. FT.) OF UNROTTED WEED FREE SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING ANCHOR MULCH EMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GA. PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIF ASPHALT ON FLAT AREAS ON SLOPES 8 FEET OR HIGHER, USE 348 GAL PER

AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

REPER OF THE 1995 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS

C. Ranno

Chip Ronno

*Spoil should be directed to an area with an active grading permit

HOWARD SOIL CONSERVATION DISTRIC STANDARD SERIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DEVISION PRIOR TO THE START OF ANY CONSTRUCTION (416-J13-1855).

 ALL VECETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE START OF ANY
- ACCORDING TO THE PROVISIONS OF THIS PLAN ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSSON AND SEDIMENT CONTROL," AND REVISIONS TRERETO.

 POLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE,
 PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED
 WITHIN: A) 7 CALENDAR DAYS FOR ALL PERMATER SEDIMENT
- CONTROL STRUCTURES, DIKES, PERDMETER SLOPES AND ALL SLOPE FREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED C GRADED AREAS ON THE PROJECT SITE. ALL SEDDICENT TRAFSMASING SHOWN MEET BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. I, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM
- DRAINAGE.
 ALL DISTURBED AREAS MOST BE STABBLED WITHIN THE TIME PERSON SPECIFIED ABOVE BY ACCORDANCE WITH THE 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SUL PROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 51), SOD (SEC 54) TEMPORARY SEEDING (SEC 50), AND MULCHING (SEC 51). TEMPORARY STABILIZATION WITH MULCH ALONG CAN ONLY BE DONG WHEN ECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER
- GERMINATION AND ESTABLISHMENT OF GRASSES.
 ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN FLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN CHIADRED FROM THE HOWARD OUNTY SEDEMENT CONTROL INSPECTOR.
- 183 ACRES 0.63 ACRES 0.42 ACRES TOTAL AREA OF SITE AREA DISTURBED AREA TO BE ROOFED OR PAVED AREA TO BE VEGETATIVELY STABILIZED 0.21 ACRES
- OFFSITE WASTE

 B SQ. YD.

 ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DESIMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON
- COMPLETION OF INSTALLATION OF PERMETER ENGISEN AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNITE, THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

 TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THIRE.

WITHIN ONE WORKING DAY, WHICKEVER IS SHORTER VEGETATIVE STABILIZATION SITE PREPARATION SEEDGED PREPARATION AND SEEDING APPLICATION LOSSEN THE TOP LAYER OF THE SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT SUCH AS DISC HARRONS. CHISL, PLOWS, OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. INCOMPARATE THE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF THE SOIL &F DISCHNOOR BY OTHER SUITABLE BEANS, RECORD AREAS SHOULD NOT BE RELIED OF DRANGED SHOUTH, BUT LET' IN A ROUNGING COMPITION. STEP SUCH SHEATS AND SHOULD SUITABLE BEANS, RECORD SHEATS AND SHOULD SHEAT ADMINISTRATION OF THE SOIL SHEATS AND SHOULD SHEAT ADMINISTRATION OF THE RIPPER RESIDENCE OF THE SOIL PROPERTY OF THE S ALL SEEDINGS REQUIRE MULCHING. ALSO MULCH DURING MON-SEEDING DATES UNTIL SEEDING CAN SE DONE.

MACH SHALL SE UMPOTTED. UNCHOPPED. SMALL GRAIN STRUM APPLIED AT A RATE OF 2 TONS/ACME OR 90 LB5/1000 SO. Ft. (7 BALTS). IF A ALGO ARCHING TOOL STANDARD AND A SMALL SE FILE TO A SMALL SE FILE STANDARD AND A SMALL SE FREE OF PROHIBITED MOSILISA WEEDS. SPEAD MALCH UNIFORMLY, MECHANICALLY OR BY HAND. TO A DEPTH OF 1-2 INDERS. MALCH ANDRORNING SHALL BE ACCOMPLISHED HANDLAND ATTEMMENT OF A SMALL SHAD AND A SMALL SE ON A SMALL SMALL SE ON A SMALL SMALL SE ON A SMALL SMALL

APPLY WOOD CELLULOSE FISER AT A DRY WEIGHT OF 1.500 LBS/ACRE. IF MIXED WITH WATER, USE SO LBS OF WOOD CELLULOSE FISER PER 100 GALLONS OF WATER

LIGHID SIMMER SHOULD BE APPLIED HEAVIER AT THE EDGE. WHERE WIND CATCHES MALCH IN YALLEYS AND ON CREST OF BANKS. THE REMAINDER OF THE AREA SHOULD APPLE NATION. APPLY RATES RECOMMENDED AFTER SHOULD APPLY RATES RECOMMENDED THE MALCH ALCOHOLING TO MAMPAGITHER. THE MALCH ALCOHOLING TO MAMPAGITHER. SETTIME THE MALCH ALCOHOLING TO MAMPAGITHER.

HITROOFH 2 L85/1000 SG. FT. (87 L85/AC) P208 4 L85/1000 SG. FT. (175 L85/AC) K20 4 L85/1000 SG. FT. (175 TONS/AC) FOR LOW MAINTENANCE AREAS APPLY 150 LBS/AG UNEAFORM FERTILIZER (38-0-0) AT 3.5 LBS/1000 SG, FT, IN ADDITION TO THE ABOVE FERTILIZER AT THE TIME OF SECOND.

ORDUND LIMESTONE 2 TONS/AC

ENGINEER CERTIFICATE

"I certify that this plan for sediment and erosion control represents a pratical and workable plan based on my personal knowledge of the site conitions and that it was

Signature of Engineer (print name below signnature)

Signature of Developer (print name below signature)

1967年 - [LE - 單系] L. W. H. 跨 26 線線線 (4.20m)

prepared in accordance with the requirements of the Howard Soil Conservation District."

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan for

sediment and erosion control, and that all responsible personal involved in the construction

Training Program for the Control of Sediment and Erosion before begining the project. I also

project will have a Certificate of Attentance at a Department of the Environment Approved

authorize periodic on-site inspection by the Howard Soil Conservation District.

SEDIMENT CONTROL PRACTICE SEEDING SELECT A SECOING MIXTURE FROM TABLES 25 OR 26 IM SECTION G-20 OF THE "1994 MARYLAND STANDARDS AND SECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," DOCUMENT SECOING ON THE EROSION AND

NO. SPECIES APPLICATION SEEDING SEEDING N P205 120

V111.50001)#4

II. TOPSOIL SPECIFICATIONS

IN DIAMETER.

A. SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

TOPSOILING SPECIFICATIONS

PROVIDED THAT IT MEETS THE STANDARDS SET FORTH IN THESE

SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE

REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY

PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND

SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE

AGRICULTURAL EXPERIMENTAL STATION.

TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED

- TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN ACRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. RECARDLESS TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAC, COARSE FRACMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN !"
- 2. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, MITSEDGE, POISON IVY, THISTLE, OR OTHERS AS
- 3. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1.000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CON-JUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
- B. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
- 1. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMEND-MENTS AS SPECIFIED IN SECTION "20.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION" -SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.
- C. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
- 1. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMEND-MENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
- A. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0. SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER
- B. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
- C. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
- D. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.
- TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL
- PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN SECTION 20.0 STANDARDS AND SPECIFIC-ATIONS FOR VEGETATIVE STABILIZATION" - SECTION 1 -VEGETATIVE STABILIZATION METHODS AND MATERIALS.

TOPSOIL APPLICATION

- WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABIL-IZATION STRUCTURES. FARTH DIKES. SILT FENCE. SEDIMEN TRAPS, AND SEDIMENT BASINS.
- GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4"-8" HIGHER IN ELEVATION.
- TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"-8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREC-ULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUB-SOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUB-SOIL IS EXCESSIVELY WET, OR IN CONDITION THAT MAY OTHER-WISE BE DETRIMENTAL TO PROPER CRADING AND SEEDBED PREP-

ALTERNATIVE FOR PERMANENT SEEDING

- A. INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMM-ERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:
- COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CON-DITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES, THE COMPOST SHALL CONFORM TO THE FOLLOWING REQUIREMENTS
- ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PER-

A. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR

- CENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
- C. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.
- 2. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

SEQUENCE OF CONSTRUCTION

Notify the proper Howard County agencies 48 hours prior to the start of work and obtain a grading permit. (1 day)

Install the inlet protection devices around existing inlets and then install the Stabilized Construction Entrance (SCE). Remove pavement as required, to install SCE. (2 days)

With approval of the Sediment Control inspector, complete installation of silt fence and begin removal of pavement to

Clear remainder of site within Limit of Disturbance. Protect existing facility shown to remain. Remove curb and gutter to be removed. (5 days)

Once grading is complete, install storm drain system. (5 days)

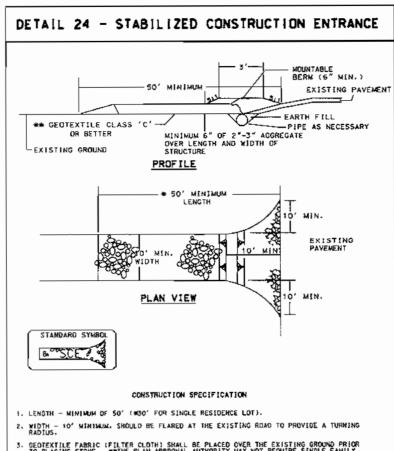
be demolished. (3 days)

(3 days)

Install curb and gutter as noted on the plan and install paving.

Install landscaping and seed and much remaining disturbed areas.

With the permission of the Sediment Control inspector, remove the Sediment Control devices and stabilize those areas in accordance with the permanent seeding notes. (3 days)



. STONE - CRUSHED AGGREGATE (2" TO 3") OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT SHALL BE PLACED AT LEAST 6" DEEP OVER THE LENGTH AND WIGHTH OF THE

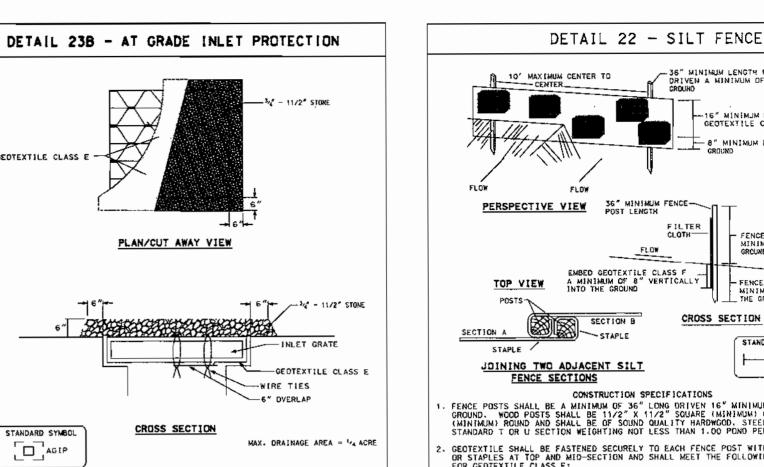
LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE, VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LEHORTH OF THE STABILIZED CONSTRUCTION ENTRANCE

U.S. DEPARTMENT OF ACRICULTURE PAGE WARYLAND DEPARTMENT OF ENVIRONMENT SOIL CONSERVATION SERVICE F - 17 - 3 WATER WANAGEMENT ADMINISTRATION

GEDTEXTILE CLASS E

STANDARD SYMBOL

AGEP



CONSTRUCTION SPECIFICATIONS 1. LIFT GRATE AND WRAP WITH GEOTEXTILE CLASS E TO COMPLETELY COVER ALL OPENINGS.

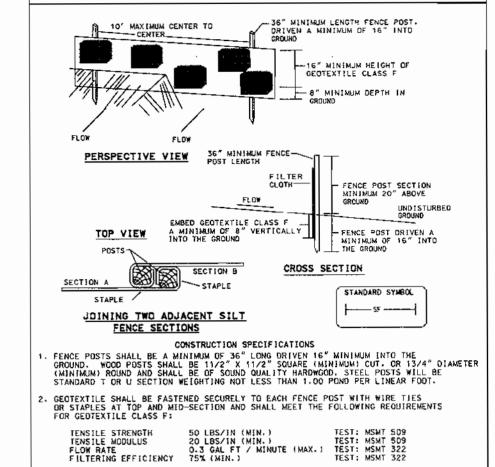
2. PLACE 34" TO 11/2" STONE, 4"-6" THICK ON THE GRATE TO SECURE THE FABRIC AND

CROSS SECTION

WIRE TIES

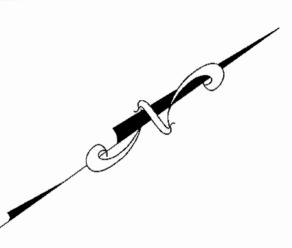
PLAN/CUT AWAY VIEW

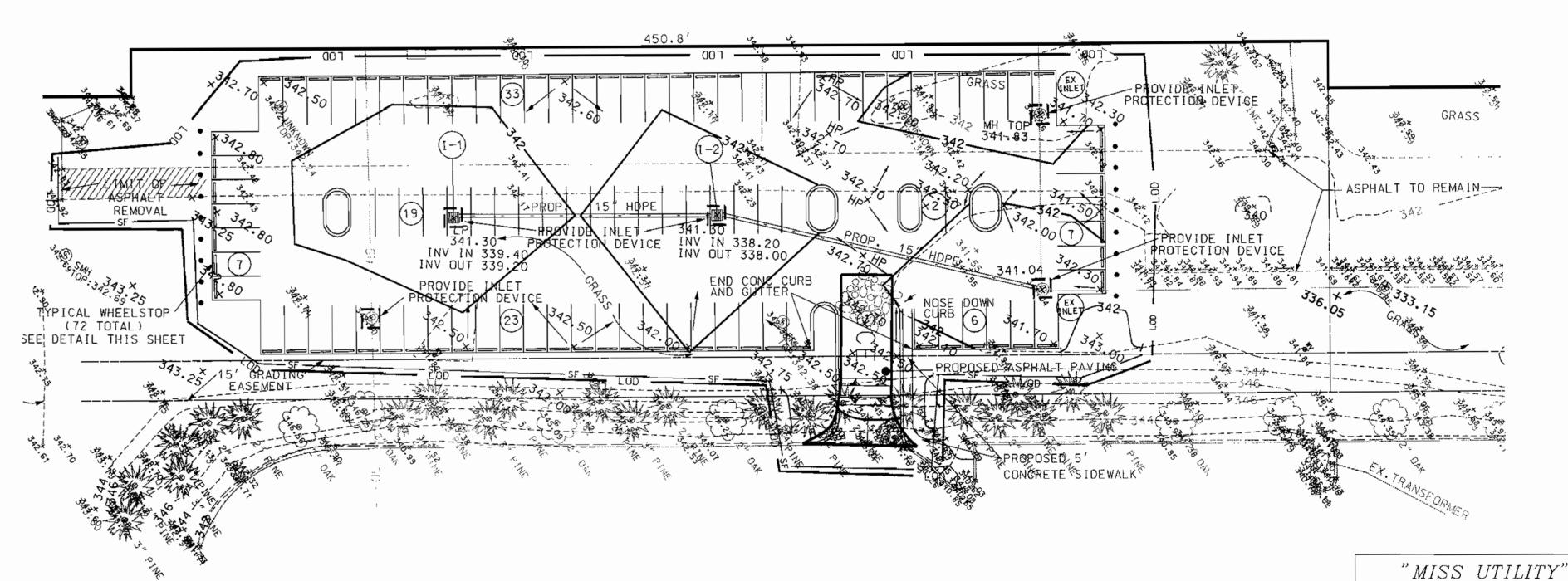
U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONMEN SOIL CONSERVATION SERVICE E - 18 ~ 5A WATER MANAGEMENT ADMINISTRATION

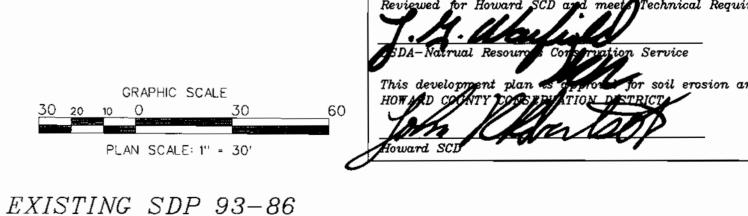


WHERE ENDS OF GEOTEXTILE FABRIC COME TOGETHER. THEY SHALL BE OVERLAPPED FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS. . SILT FENCE SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND MAINTAINED WHEN BULGES OCCUR OR WHEN SEDIMENT ACCUMULATION REACHED 50% OF THE FABRIC HEIGHT

U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONMENT SOIL CONSERVATION SERVICE E - 15 - 3 WATER MANAGEMENT ADMINISTRATION







EXISTING UTILITY LOCATIONS AT LEAST 48 HRS BEFORE BEGINNING CONSTRUCTION

OWNER / DEVELOPER PARCEL A-74 ASSOCIATES LLC

MISS UTILITY - TELEPHONE

NUMBER 1-800-257-777 FOR

C/O MR. OLAV KOLLEVOLL JR. 8330 BOONE BLVD. SUITE 460 PHONE: 317 636-1600

SEDIMENT CONTROL PLAN

VEINNA VA. 22182



DETAILS & NOTES

GATEWAY COMMERCE CENTER

6751 ALEXANDER BELL DRIVE 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ONE INCH 1"=<u>30</u>

OIEDERMAN ASSOCIATES, INC. Civil Engineering Land Planning Land Surveying Environmental Studies

390 Piccord Drive, Rockville, Maryland 20850 4407 Forbes Boulevard, Lonham, Maryland 20706

North Market Street, Frederick, Maryland 21701 industrial Park Drive, Waldorf, Maryland 20602

301-948-2750 Fax: 301-948-9067 301-794-7555 Fax: 301-794-7656 301-696-1240 Fax: 301-831-4865 301-870-2166 Fax: 301-870-2884

REVISIONS DATE CAD Standards Version:

......

EPARTMENT OF PLANNING AND ZONING

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MISS UTILITY NOTE

EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR O THE START OF EXCAVATION, IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY

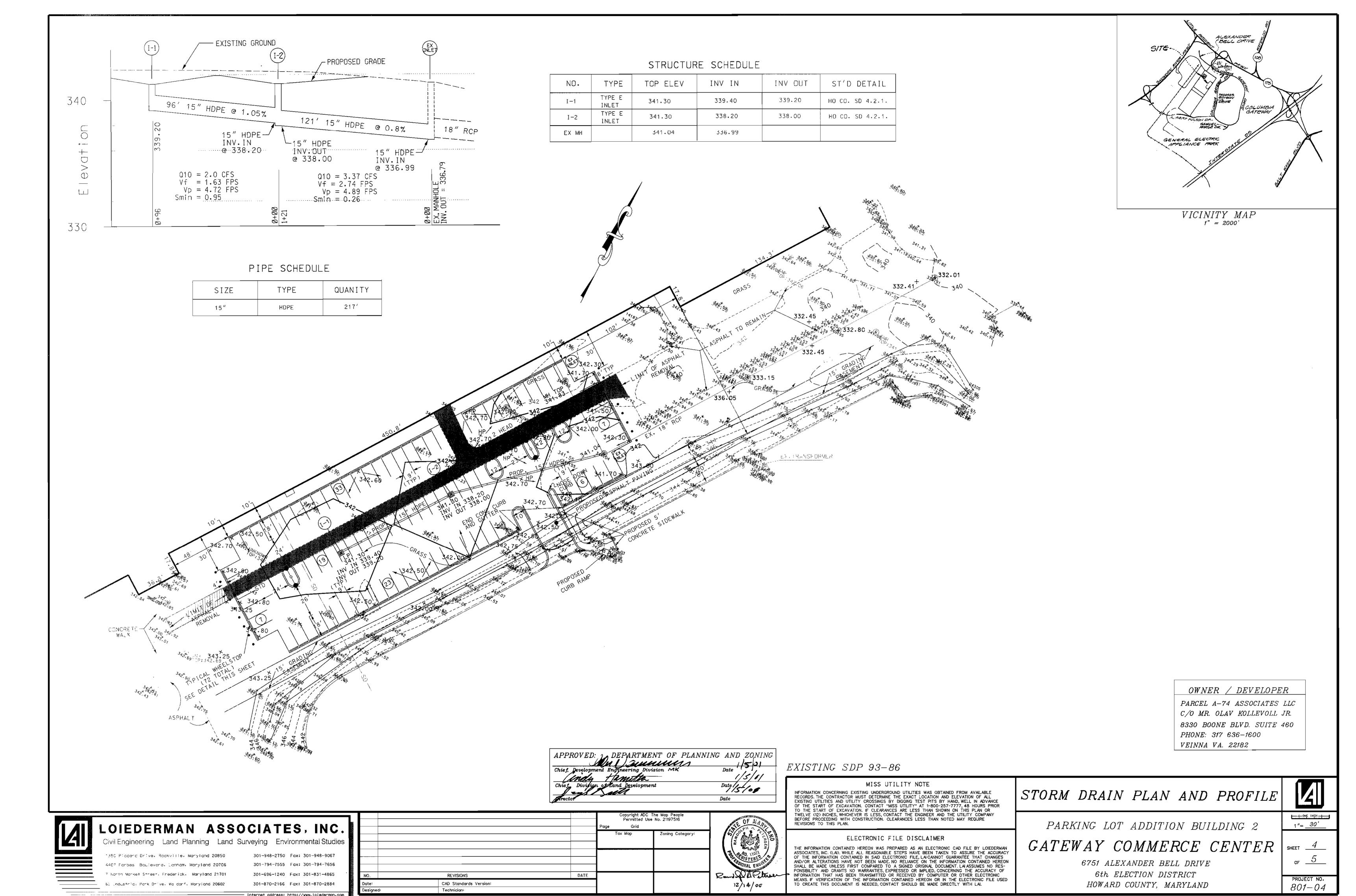
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BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

TO CREATE THIS DOCUMENT IS NEEDED, CONTACT SHOULD BE MADE DIRECTLY WITH LAI.

801-04 SDP 01-62



SDP 01-62

Magnuform® III -- RCS Series

Rectangular Cutoff Luminaire -100-400 Watt HPS and 175-400 Watt MH the Magnuform III Series offers a rectangular housing

with sharp cutoff and a variety of distributions for many applications Magniform's clear appearance and wide range of wattages and sources make it an excellent lighting solution for

these applications

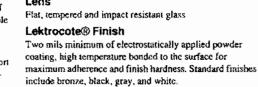
 Commercial and Industrial complexes Roadway Any area where huminaire styling contributes to the visual environment

Housing Lightweight, rugged, one piece formed and welded

Ballast is factory mounted to a galvanized steel end support which anchors to the arm for rigidity 180°C insulation, -20°F starting (40°F HPS), 60 Hz, HPF ballast, 50 Hz available consult factory.

Lens Door Frame

concealment of electrical compartment.

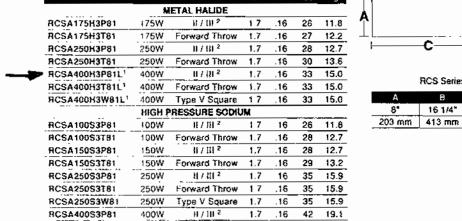


Gasketed for all weather protection, UL 1572, suitable for wet locations.CSA-NRTL/C certified for outdoor use, IP Suitability, IP55.

For use in damp or wet locations.

Heavy duty mogul base porcelain with spring loaded center

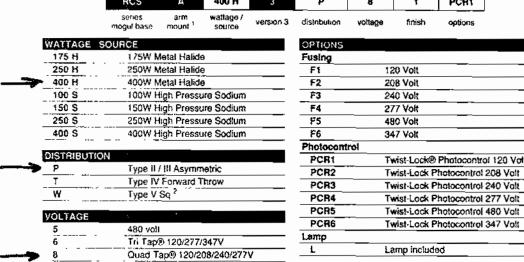
lalog Number Wattage Distribution



2 Type I'll asymmetric distribution support in P wide coverage position — socket is held adjustable.

Note: Above usin, and Cuodifface' (120/208-240/277V) For Yn Tag08 (120/277047V) change 8 to 6 for 450V, change
8 to 5 4V units with brown't Excitocole timesh. For order observable and the brown't Excitocole timesh. For order observables, change 10 black 2, Gray-1, White-4. Poles must be ordered separately. See SSP poles, on page 160 for next pole: See SAP poles on page 398 for aluminum poles.

CATALOG LOGIC



Two fixtures at 90

Verity loading, requirement based on allowable EPA.

Factory matalied, order by adding appropriate suffix

Three fixtures at 90° Four fixtures at 90° 2

Square Straight Steel Poles

Square Straight Steel Poles SSP/SSC Series The use with floodlight luminaires as well as post top and Magnu Series architectural Junimaires Square straight steel shalt One precy construction, steel tubing + 5.58 OD renons or machined side mount · Ground lug standard (3/8) 16 thread) · Bolt template included · Optional removable tenon Steel base 1 sup mece laise cover · Four .. shaped galvanized anchor bolts with two mits and two washers

ORDERIN	•			ON:	SSI	P 56	eries	i				Ш			
Catalog Number		ole ight	80 FA		Load 100	Ratir MPH	ng ² 120 (мен	Pole Size	Base Sq.	Anc. Boll	BII	Bl1 Proj.		ole ight "
	ft	k)	EPA	wt	EPA	177	EPA	wt	VILC		Size 3		e loj.	lbs	ĸg
					GRO	<u> 1 900</u>	- 3X4	HAN	DHOL	Ε					
SSP-410X-XX	13	3 0	29 4	735	18.4	460	120	300	4.0	90"	3/4x30x3*	* 0.8	3.87	88	39.9
SSP-412X-XX	12	37	23.6	590	14.6	365	9.2	230	4.Q*	90.	3/4x30x3*	8.0*	3.87*	98	44.5
SSP-414X-XX	14	43	192	480	114	285	70	175	4.0*	9.0*	3/4x30x3	8.0*	3.87*	110	49,9
SSP-418X-XX	16	49	126	315	7 2	180	4.0	103	4 D*	90.	3/4x30x3	8.0"	3.87	122	55.3
SSP-418X XX	18	5.5	.55	255	5.4	135	2.7	67	4.0*	9.0"	3/4×30x3*	8.0"	3.87*	135	61.2
SSP-420X XX	50	6 1	B 4	210	4.0	100	15	37	40"	9 0,	3/4×30×3*	8.01	3.87*	147	66.7
SSP-425X-XX	25	76	4.5	112	10	25			4.0	9.01	3/4x30x31	8.0"	3.87	178	80.1
SSP-427X-XX	27	gı	94	135	4.2	100	12	30	4 Đ	11 O'	1x36x4"	10-12	4.12	360	162.0
SSP-430X-XX	30	9 1	5.2	30	1.3	32			4.0*	110"	1×36×4*	10-12"	4 12*	310	139.5
				-	GRO	UP I	- 3X4	HAN	DHOL	Æ					
SSP-518X-XX	- 18	5 5	30.0	756	18.2	455	114	285	5.0	11 01	1x36x4"	15.01	4.12	239	108 4
SSP-520X-XX	20	61	26.4	660	15.2	380	90	225	5.0*	11,0"	1x36x4"	11.0*	4.12"	263	119.3
SSP-525X-XX	25	7€	•9 €	450	9.4	235	4.5	115	5.0*	110*	1x36x4*	11.0*	4.12	222	146 1
SSP-530X-XX	30	91	.10	275	4.6	115			5.0*	11.0*	1x36x4"	11.0"	4.12	381	171 4
					GRO	UP II	1 - 4X6	HA	4DHO	LE	_				
\$SP-630X-XX	30	9 1	16 4	410	7.4	185	2.4	60	6.0	13.0*	1×36x4"	12.0*	4.12	458	207.7

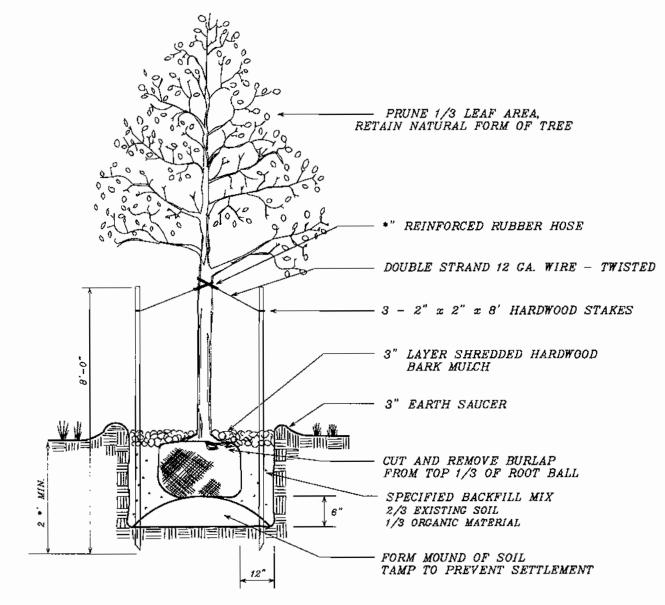
390 Piccord Orive, Rockville, Maryland 20850

Sample Catalog Number CATALOG LOGIC P -4 10 6 A 4 -M18 DS Series / MSS Series Veatherproof receptacle Bronze Lektrocote® finisi White Lektrocote® finish Gray Lektrocote® finish See Ordering Information on page 380. tubbeli Seal (internal coating) Removable tenon Mid pole luminaire bracket (34") wo fixtures at 180

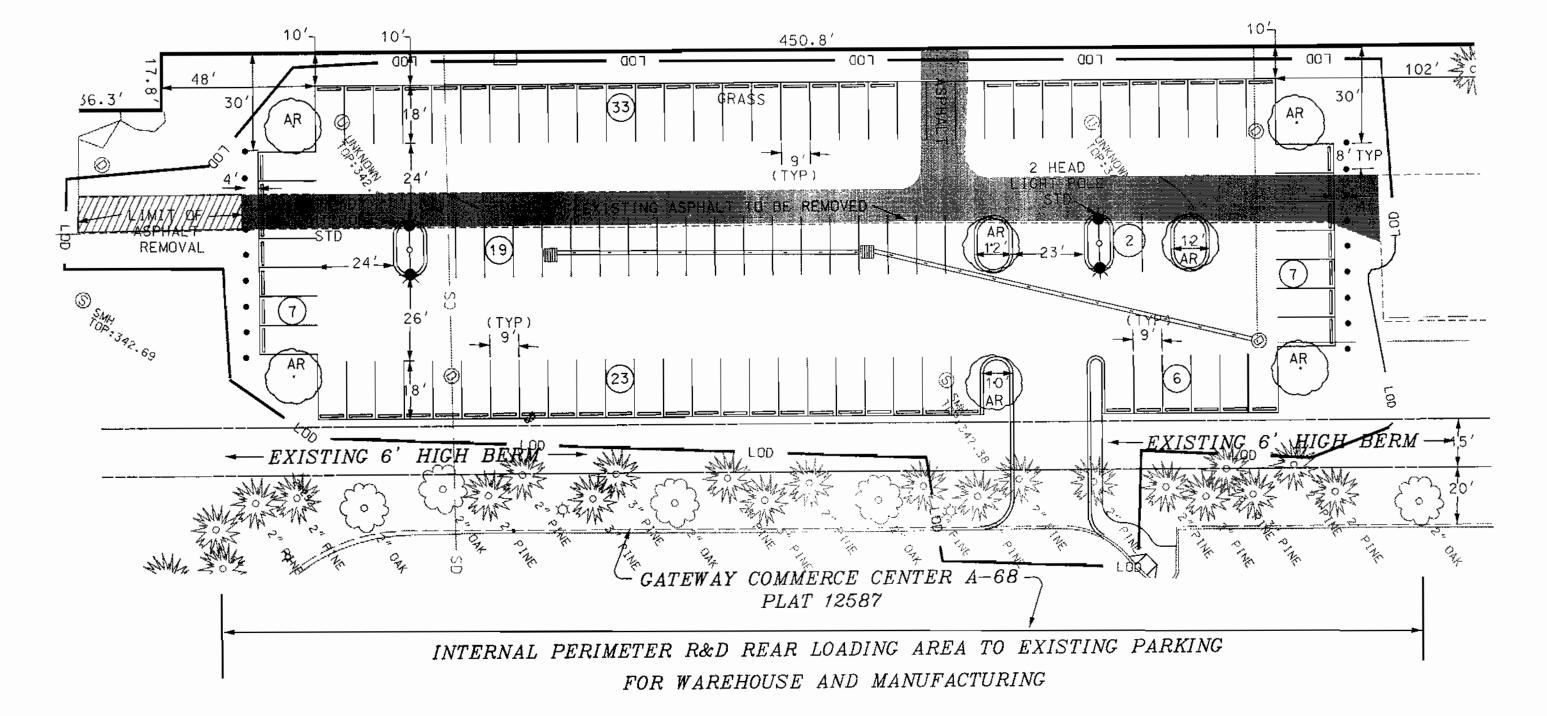
PROVIDE SEED AND MULCH BELOW TREES AS NOTED, ALL OTHER AREAS WITHIN DISTURBED AREA THAT ARE NOT NOTED PAVED, OR LANDSCAPED SHALL ALSO BE SEEDED AND MULCHED.

PLANTING SCHEDULE						
TOTAL	SYMBOL	COMMON NAME	SIZE	COMMENTS		
7	AR	RED MAPLE 2.5-3.5"CAL		B&B		

SCHEDUL PARKING LOT INTERN	
NUMBER OF SPACES	97
NUMBER OF TREES REQUIRED	5
NUMBER OF TREES PROVIDED	7



TREE PLANTING DETAIL-SHADE AND ORNAMENTAL TREES NOT TO SCALE



PLAN VIEW

PLAN SCALE: 1'' = 30'

APPROVED: DEPARTMENT OF PLANNING AND ZONING 45/01 Date ! Date /

Copyright ADC The Map People Permitted Use No. 21197516

NOTE :

A LANDSCAPE SURETY OF \$1,500.00 WILL BE POSTED WITH THE GRADING PERMIT APPLICATION.

CONTRACTOR SHALL ADJUST PLANTING BASED ON MISS UTILITY MARKINGS WITH APPROVAL OF THE LANDSCAPE ARCHITECT

MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR

OF THE START OF EXCAVATION. CONTACT "MISS WHILTT" AT 1-800-257-7777, 48 HOURS PRICT OF THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

ELECTRONIC FILE DISCLAIMER

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AND/OR ALTERATIONS HAVE NOT BEEN MADE, NO RELIANCE ON THE INFORMATION CONTAINED HEREON

EXISTING SDP 93-86

FOR LANDSCAPING PURPOSES ONLY

LANDSCAPE PLAN

PARKING LOT ADDITION BUILDING 2

6751 ALEXANDER BELL DRIVE 6th ELECTION DISTRICT

CONTRACTOR TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. LANDSCAPE ARCHITECT SHALL BE NOTIFIED SHOULD THE RELOCATION OF PROPOSED PLANTS BE NECESSARY. 5. ALL TREES AND SHRUBS TO BE IN MULCHED BED. MULCH TO BE SHREDDED HARDWOOD BARK. BEDS TO HAVE SMOOTHLY CONTOURED EDGES, CLEARLY DEFINED AND SHALL GENERALLY FOLLOW THE CONTOUR OF THE GROUND. TREES LOCATED WITHIN 4' OF SHRUB

6. ALL TREES TO BE LOCATED A MINIMUM OF 3' FROM BUILDINGS. ALL PLANTING SHOULD BE A MINIMUM OF 4' FROM FIRE

PLANTING NOTES

AAN STANDARDS

OWNER AT BIDDING TIME.

7. FINISHED PLANTING BEDS SHALL BE GRADED SO AS TO NOT IMPEDE DRAINAGE AWAY FROM BUILDING.

PRIOR TO CONSTRUCTION OR EXCAVATION, CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES, UTILITY RIGHT OF WAYS

NOTIFY LANDSCAPE ARCHITECT PRIOR TO BID NEGOTIATION OF ANY DISCREPANCIES IN PLANT COUNT. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED

SHALL MEET THE NORMAL REQUIREMENTS FOR THE VARIETY PER

UNIT PRICES FOR ALL MATERIAL SHALL BE SUPPLIED TO THE

CONTRACTOR TO VERIFY QUANTITIES SHOWN ON PLANT LIST TOTALS TO THOSE INDICATED ON THE PLAN. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF QUANTITITES AS DRAWN.

IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF AREAS AND PLANS, CONTRACTOR TO CONTACT OWNER FOR RESOLUTION PRIOR TO PLANT INSTALLATION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER MAY RESULT IN CONTRACTOR'S RELOCATION OF THE PLANTS AT HIS OWN EXPENSE.

ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY OWNER. OWNER SHALL RECEIVE TAG FROM EACH SPECIES AND A COMPLETE LIST OF PLANT SUPPLIERS.

10. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE OF ALL DISEASE, INSECT

11. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE FULL TOPS WHICH ARE HEALTHY AND VIGOROUS. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

12. TAGS AND TWINE ARE TO BE REMOVED AND BURLAP IS TO BE PEELED BACK FROM THE TOP OF ALL B & B PLANT MATERIAL ROOT

13. SHRUBS, GROUNDCOVERS, AND SEASONAL COLOR SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON THE PLANT LIST AND SHALL RECEIVE MULCH AS SPECIFIED IN DETAILS.

14. SHADE TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERACE HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO
THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE
CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY
TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V"
CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR

15. SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE JUDGED. FAILURE TO MEET MINIMUM SIZE ON ANY PLANT MAY RESULT IN REJECTION OF THAT

16. PLANTS SHALL BE PLANTED 1/6 HEIGHT OF ROOT BALL HIGHER (AFTER SETTLING) THAN ADJACENT POSITIVELY DRAINED GRADE.

17. WHERE TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.

18. TREE STAKING AND GUYING SHALL BE INSTALLED PER DETAILS.
CONTRACTOR SHALL BE RESPONSIBLE FOR THE TREES TO REMAIN STRAIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.

19. SUBSTITUTIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO AVAILABILITY OR CURRENT NURSERY STOCK. SUBSTITUTIONS SHALL BE EQUIVALENT IN SIZE, FORM, TEXTURE AND GENERAL QUALITY TO PLANTS SPECIFIED ON PLANT LIST.

20. ALL SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE OWNER. FAILURE TO OBTAIN APPROVAL OF SUBSTITUTIONS IN WRITING FROM THE OWNER MAY POSSIBLY RESULT IN CONTRACTOR'S LIABILITY.

21. DEAD PLANTS ARE TO BE REMOVED FROM THE JOB BY THE CONTRACTOR WEEKLY. CONTRACTOR SHALL MAINTAIN AN UPDATED, COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.

22. AT ALL PLANTED MEDIAN STRIPS AND ISLANDS CONTRACTOR TO BERM 8" HEIGHT WITH TOPSOIL SUPPLIED ON SITE. CONTACT OWNER TO INSPECT FINE GRADING OF THESE AREAS PRIOR TO SEEDING, MULCHING, PLANTING, AND TACKING.

23. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE REQUIRED TO COMPLETELY REMOVE ALL TRASH, DEBRIS, SOIL, AND EXCESS MATERIALS FROM THE WORK AREA AND THE PROPERTY (ESPECIALLY ALL CURB, GUTTERS, AND SIDEWALKS DAILY).

24. CONTRACTOR SHALL BE RESPONSIBLE TO REGRADE, HYDRO-SEED, STRAW MULCH, AND TACK ALL AREAS DISTURBED AS THE RESULT OF HIS WORK TO EQUAL OR BETTER CONDITION WITHIN 5 DAYS OF EACH AREA DISTURBED.

25. INSTALLATION OF ALL LANDSCAPE RELATED MATERIALS SHALL BE IN CONFORMANCE WITH ALCA/ASLA "LANDSCAPE SPECIFICATIONS

26. ALL PLANT MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR 12 MONTHS COMMENCING ON THE DATE OF ACCEPTANCE.

27. ALL DECIDUOUS TREES OVER 2" CALIPER AND EVERGREEN TREES SHALL BE GUYED SECURELY WITH GUY WIRES SPACED EQUALLY ABOUT EACH TREE. SEE DETAIL.

28. ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT PAVED, PLATTED, OR CALLED OUT AS SOD SHALL BE SEEDED W/KENTUCKY 31 AT A RATE OF 8 LBS./1,000 SF. AFTER THE AREAS HAVE BEEN BROUGHT TO GRADE, THE SUBGRADE, SHALL BE LOOSENED BY DISKING OR BY SCARIFYING TO A DEPTH OF AT

"MISS UTILITY" OWNER / DEVELOPER

PARCEL A-74 ASSOCIATES LLC MISS UTILITY - TELEPHONE C/O MR. OLAV KOLLEVOLL JR. NUMBER 1-800-257-777 FOR EXISTING UTILITY LOCATIONS 8330 BOONE BLVD. SUITE 460 AT LEAST 48 HRS BEFORE PHONE: 317 636-1600 BEGINING CONSTRUCTION VEINNA VA. 22182

DETAILS AND NOTES

BNE INCH 1"≖ <u>30</u>

GATEWAY COMMERCE CENTER

HOWARD COUNTY, MARYLAND

OF PROJECT NO. 801-04

SDP 01-62



· Shopping Centers Malk

> aluminum insures smooth construction and weatherproof integrity. The luminaire is pre-drilled for mounting to pole.

Extraded frame with rigid corner bracing and die cast zinc latches to permit tool-free entry for servicing. The door has high quality gasketing to seal against entry of insects, dirt, and moisture. Decorative silk screening provides for

ORDERING INFORMATION

contact for positive grip and vibration resistance. RCS Series

 RCSA400S3P81
 400W
 H / III ²
 1.7
 .16
 42
 19.1

 RCSA400S3T81
 400W
 Forward Throw
 1.7
 .16
 42
 19.1

 RCSA400S3W81
 400W
 Type V Square
 1.7
 .16
 42
 19.1

Magnuform® III — RCS Series

Sample Catalog Number RCS A 400 H 3 P 8 1 PCR1

Select desired mounting adapte

 Standard Linish Lektrocote® primer - CSA Certified uption (SSC Series)

SSP-635X-XX 35 10.7 : 3.8 270 3.0 75 6.0 13.0 1x36x4 12.0 4.12 530 240 SSP-640X-XX 40 '2.2 6.2 155 6.0 13.0 1x36x4 12.0 4.12 602 273

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BY DATE **REVISIONS** CAD Standards Version Technicion: Checked:

