

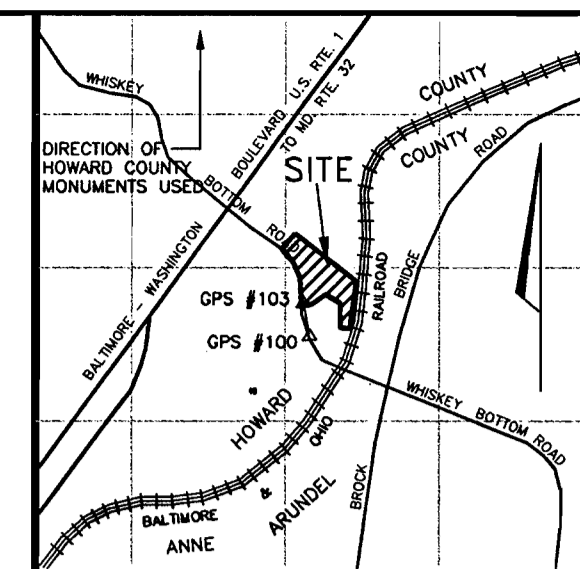
# SITE DEVELOPMENT PLAN

# ICE CREAM PARTNERS, USA LLC.

## PLANT EXPANSION PHASE I AND II

## 6th ELECTION DISTRICT

## HOWARD COUNTY, MARYLAND



### BENCHMARKS

BM #1 (HARMS) GPS #103 ELEV.= 213.23  
 BM #2 (HARMS) GPS #100 ELEV.= 203.84

THE INFORMATION SHOWN ON THESE PLANS IS BASED ON  
 NAD '83 MARYLAND COORDINATE SYSTEM AS PROJECTED  
 FROM HOWARD COUNTY CONTROL STATIONS:  
 47E4 N 535846.153 E 1355431.224  
 47C4 N 539645.669 E 1361379.362

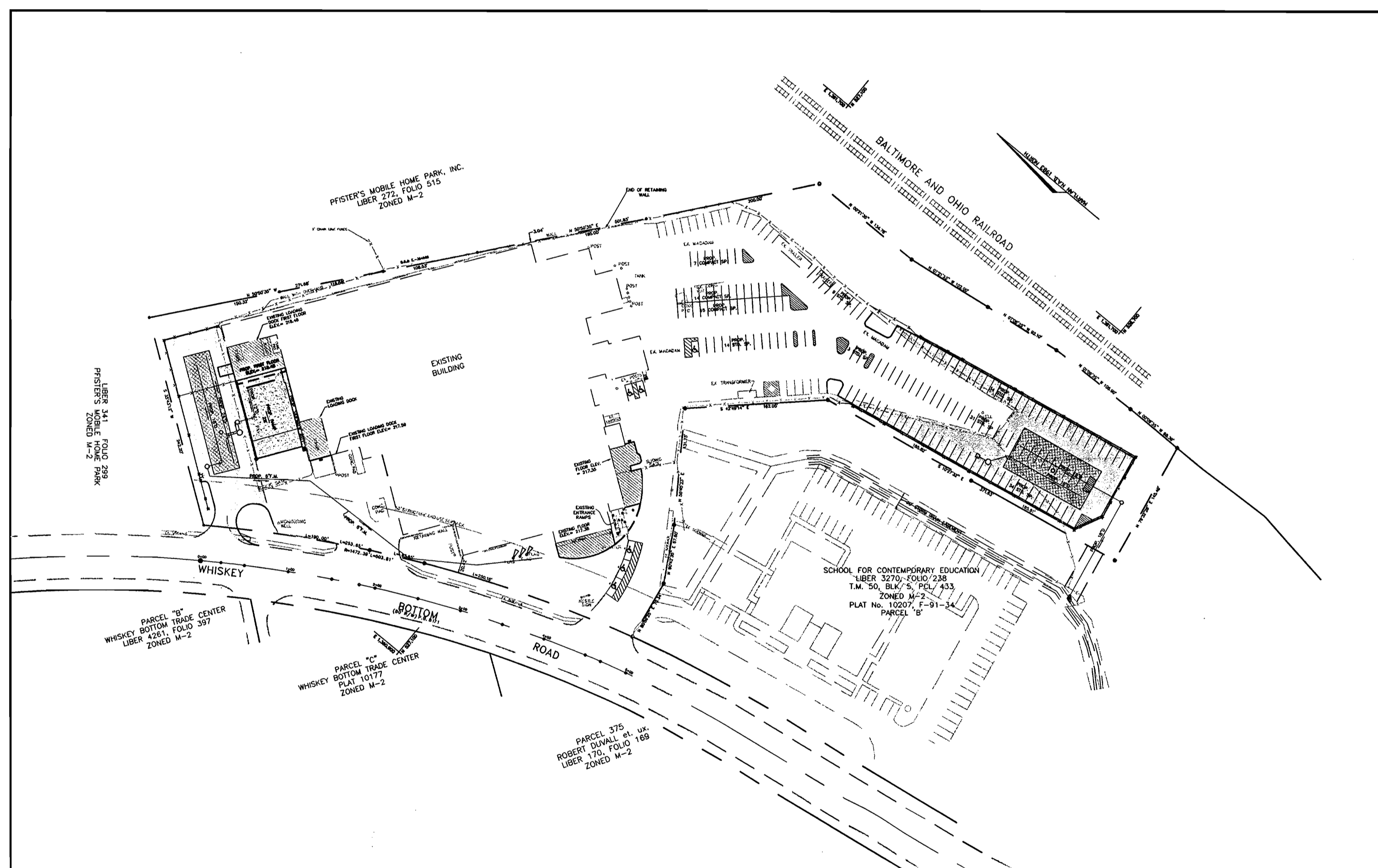
### SITE ANALYSIS

AREA OF PARCEL	7.13 Ac.±
PRESENT ZONING	M-2
PROPOSED ADDITIONS	OFFICE: WAREHOUSE
EXISTING BUILDING	100,184 s.f.
PROPOSED ADDITIONS	OFFICE SPACE WAREHOUSE SPACE
	4,218 s.f. 3,366 s.f.
TOTAL BUILDING AREA (EXISTING AND PROPOSED)	107,768 s.f.
EXISTING SPACES PROVIDED (INCLUDING 4 HANDICAPPED SPACES)	153 SP.
PROPOSED SPACES TOTAL PROVIDED	166 SP.
PROPOSED STANDARD SPACES PROVIDED	124 SP.
PROPOSED COMPACT SPACES PROVIDED	36 SP.
PROPOSED HANDICAPPED SPACES PROVIDED	6 SP.
EXISTING SPACES BEING REMOVED (DUE TO PROPOSED BUILDING ADDITIONS AND PARKING LOT EXPANSION)	129 SP.
TOTAL PARKING SPACES PHASES I & II (EXISTING SPACES TO REMAIN (24 SP.) AND PROPOSED SPACES 166 SP.)	190 SP.
TOTAL PARKING SPACES PHASE I (ONLY)	126 SP.
MAXIMUM NUMBER OF EMPLOYEES WORKING AT ONE TIME (INCLUDING SHIFT OVERLAP) = 121 EMPLOYEES	

PARKING SPACES REQUIRED PER ZONING SECTION 133.D.5.a  
 FOR 'WAREHOUSE AND DISTRIBUTION' = 0.5 SPACES PER  
 1,000 s.f.  
 107,768 s.f. (TOTAL BUILDING AREA) / 1,000 s.f. = 108  
 108 x 0.5 = 54 SPACES REQUIRED

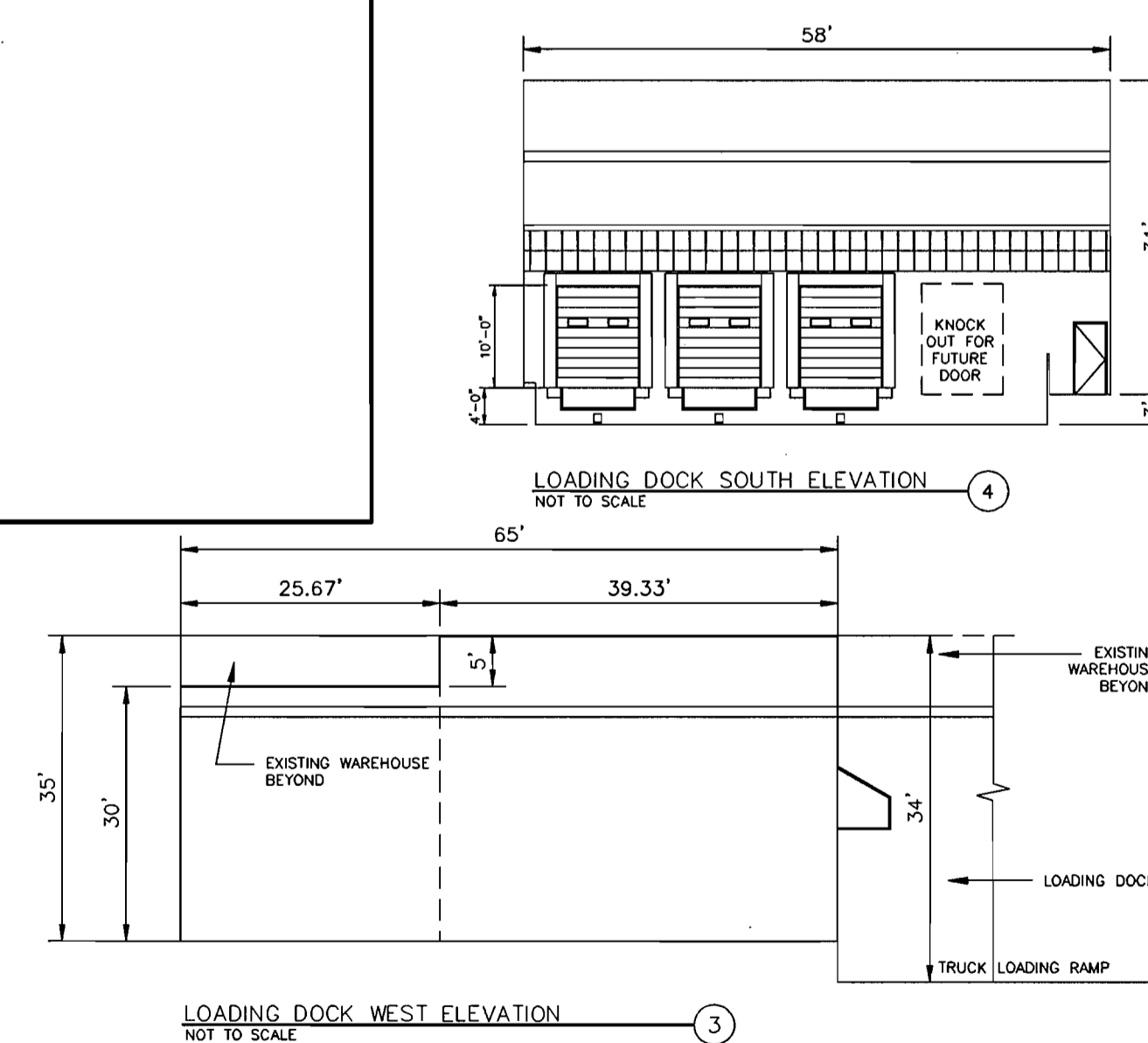
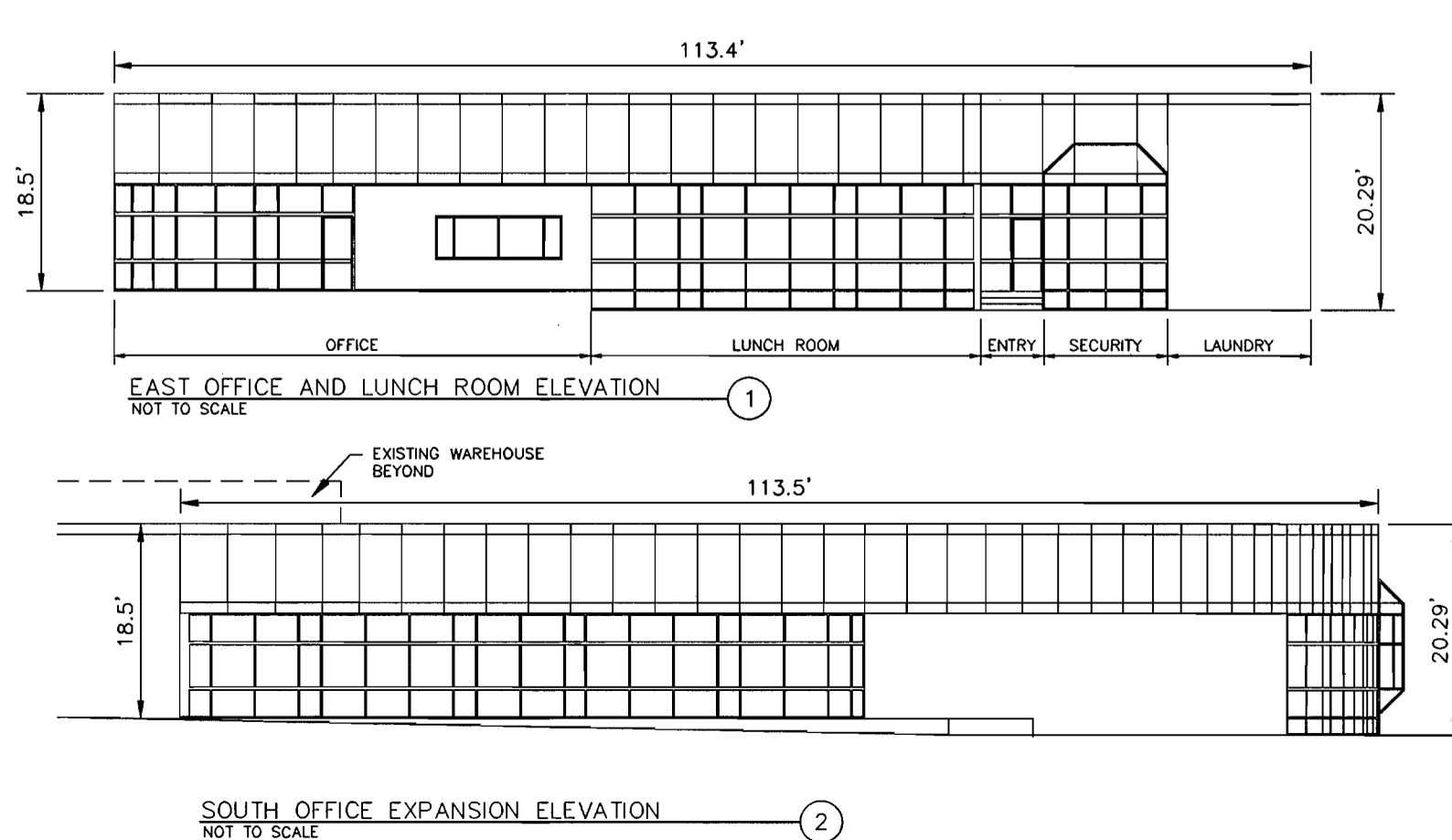
### GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE BALTIMORE GAS & ELECTRIC CO., (410) 547-6500, AND MISS UTILITY, (800)257-7777, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE CONTRACTOR SHALL NOTIFY THE BELL ATLANTIC TELEPHONE COMPANY, (410) 393-3648, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
- TOPOGRAPHY AND BOUNDARY INFORMATION SHOWN HEREON IS BASED ON AN ALTA SURVEY PREPARED BY JOHN E. HARMS JR., AND ASSOCIATES INC. DATED FEBRUARY, 1999.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- A 100-YEAR FLOODPLAIN STUDY IS NOT REQUIRED FOR THIS PROJECT BECAUSE THE DRAINAGE COURSES INTO WHICH THE SITE DISCHARGES AT THE POINT OF DISCHARGE ARE LESS THAN 30 ACRES OF DRAINAGE AREA AND THE 10 YEAR RUNOFF IS NOT GREATER THAN 100 CFS.
- THERE ARE NO WETLANDS WITHIN THE AREA OF SITE.
- A APFO STUDY FOR THIS PROJECT WAS PREPARED BY JOHN E. HARMS JR., AND ASSOCIATES INC. DATED JANUARY, 2001. COUNTY APPROVAL OF APFO STUDY WAS GRANTED ON FEBRUARY 8, 2001.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THE GEOTECHNICAL STUDY FOR THIS PROJECT WAS PREPARED BY HILLIS-CARNES ENGINEERING ASSOCIATES, INC. DATED OCTOBER, 2000.
- THIS PROPERTY WAS RECORDED AS PARCEL 'A' ON PLAT No. 10207, F-91-34 ENTITLED "THE SOUTHLAND CORPORATION PROPERTY, PARCELS A & B". BOUNDARY INFORMATION HAS BEEN SHOWN ON PLAN.
- SUBJECT PROPERTY ZONED M-2 PER COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY ENGINEER IN FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- THE COORDINATES, BEARINGS, ELEVATIONS, ETC., SHOWN ON THESE PLANS ARE REFERRED TO THE MARYLAND STATE SYSTEM OF PLANE COORDINATES AS ESTABLISHED FROM HOWARD COUNTY CONTROL STATIONS.
- WHERE UTILITY PIPES ARE TO BE PLACED ON COMPACTED FILL THE FOLLOWING SHALL APPLY:
  - PRIOR TO PLACEMENT OF COMPACTED FILL, ANY SOFT OR OTHERWISE UNSUITABLE SOILS ENCOUNTERED AT OR BELOW THE PIPE INVERT SHALL BE UNDERCUT AND REMOVED FROM THE CONSTRUCTION AREA.
  - ACCEPTABLE COMPACTED FILLS SHALL BE PLACED IN SIX-INCH THICK LOOSE LIFTS AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY DETERMINED BY A.A.S.H.T.O. METHOD T-180. COMPACTION TEST RESULTS BY AN INDEPENDENT TESTING LAB ARE TO BE SEALED BY A REGISTERED ENGINEER AND SUBMITTED TO THE COUNTY PRIOR TO PIPE INSTALLATION.
  - THE COMPACTED FILL SHALL BE BENCHED INTO THE EXISTING VIRGIN SLOPES WITH EACH LIFT PLACED TO ALLOW A SMOOTH TRANSITION FROM VIRGIN TO FILL SOILS.
- PROFILES STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL MANHOLES IN UNPAVED AREAS SHALL HAVE WATERTIGHT FRAMES AND COVERS PAINTED SAFETY YELLOW, ONE FOOT ABOVE GRADE.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
- THE PLANNING DIRECTOR GRANTED APPROVAL TO WAIVER PETITION (WP-90-60) ON MARCH 2, 1990 TO ALLOW DIRECT ACCESS FOR PARCELS A AND B (PLAT No. 10207, F-91-34) ONTO WHISKEY BOTTOM ROAD (A MINOR ARTERIAL).
- A DECLARATION OF INTENT HAS BEEN SUBMITTED SHOWING THE REMOVAL OF A TOTAL OF 0.56 AC. (APPROXIMATELY 24,394 Sq. Ft.) OF EXISTING WOODED AREA AND THEREFORE QUALIFIES FOR THE EXEMPTION SINCE THE CLEARING IS BELOW 40,000 Sq. Ft. ON A LOT WHICH WILL NOT BE FURTHER SUBDIVIDED AND HAVING A SIZE GREATER THAN 40,000 Sq. Ft..
- STORMWATER MANAGEMENT QUALITY AND QUANTITY IS BEING PROVIDED FOR THE PROPOSED IMPROVEMENTS AS SHOWN VIA 2 UNDERGROUND TRENCH DETENTION SYSTEMS AND 2 STORMCEPTOR SYSTEMS.
- ALL PROPOSED OUTDOOR LIGHTING WILL BE DIRECTED AND/OR REFLECTED AWAY FROM PUBLIC RIGHT OF WAYS AND ADJACENT PROPERTIES, IN ACCORDANCE WITH SECTION 134 OF THE ZONING REGULATIONS.



### SITE PLAN

SCALE: 1" = 100'



### ADDRESS CHART

PARCEL	PARCEL
A	9090 WHISKEY BOTTOM ROAD
SUBDIVISION NAME: THE SOUTHLAND CORPORATION	
PLAT No.: 10207	SECT./AREA: A
BLOCK No.: 5	PARCEL: A
ZONING: M-2	TAX MAP No.: 50
ELECT. DISTRICT: 6th	CENSUS TRACT: 6063
WATER CODE: C-04	SEWER CODE: 71-00800

SHT. NO.	DESCRIPTION
1	COVER SHEET
2	DRAINAGE AREA MAPS
3	EXISTING CONDITIONS PLAN
4	GRADING AND SEDIMENT CONTROL PLAN
5	SITE DEVELOPMENT PLAN
6	SOILS AREA MAP
7	SEDIMENT CONTROL NOTES/DEMOLITION PLAN VIEWS
8	SEDIMENT CONTROL DETAILS/SOIL BORING LOGS
9	SITE DETAILS
10	STORMCEPTOR DETAILS AND NOTES
11	TRENCH DETAILS AND PROFILES
12	LANDSCAPE PLAN
13	KEYSTONE RETAINING WALLS 'A' AND 'B' PLAN AND DETAILS
14	KEYSTONE RETAINING WALLS 'A' AND 'B' PROFILES
15	CONCRETE RETAINING WALL 'C' PLAN, PROFILE AND DETAILS
16	CONCRETE RETAINING WALL 'D' PLAN, PROFILE AND DETAILS
17	UTILITY PROFILES (STORM DRAIN & SEWER) AND DETAILS
18	LANDSCAPE SCHEDULES

DATE	No.	REVISION
OWNER: ICE CREAM PARTNERS, USA LLC. 9090 WHISKEY BOTTOM ROAD LAUREL, MARYLAND 20725 (301) 317-3734 ATTN: CHARLES MOENIUS		
PROJECT: ICE CREAM PARTNERS, USA LLC. PLANT EXPANSION PHASE I AND II		
"THE SOUTHLAND CORPORATION PROPERTY" PARCEL A TAX MAP No. 50, PARCEL 509 6th ELECTION DISTRICT		
AREA: TAX MAP No. 50, BLK. 5, PARCEL 509 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND CENSUS TRACT No. 6063 WATER CODE C-04 AND SEWER CODE 71-00800		
TITLE: COVER SHEET		
ENGINEERS • PLANNERS • SURVEYORS		
P.O. Box 5, Pasadena, MD 21123 Office: 410-7-6000 FAX: 410-544-8508		
DRAWN BY:	C.M.	
DESIGNED BY:	J.J.B.	
CHECKED BY:	J.J.B.	
PROJECT No.:	04-00-005A	
DATE:	OCTOBER, 2000	
SCALE:	AS SHOWN	
DRAWING No.:	1 OF 18	

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

HOWARD COUNTY HEALTH DEPARTMENT

*Dianna Matlock* 5/18/01  
COUNTY HEALTH OFFICER

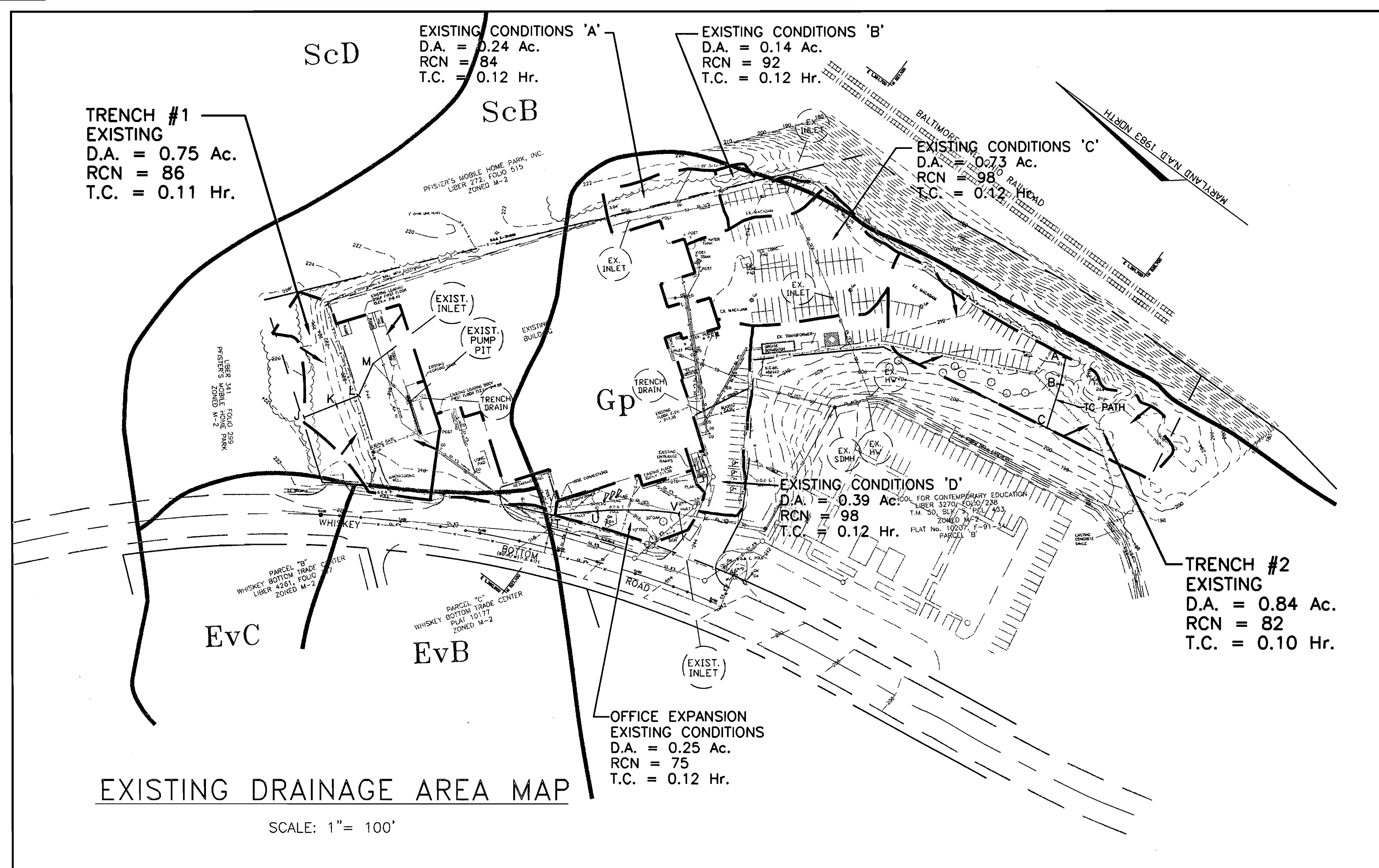
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Frank Smith* 5/21/01  
DIRECTOR

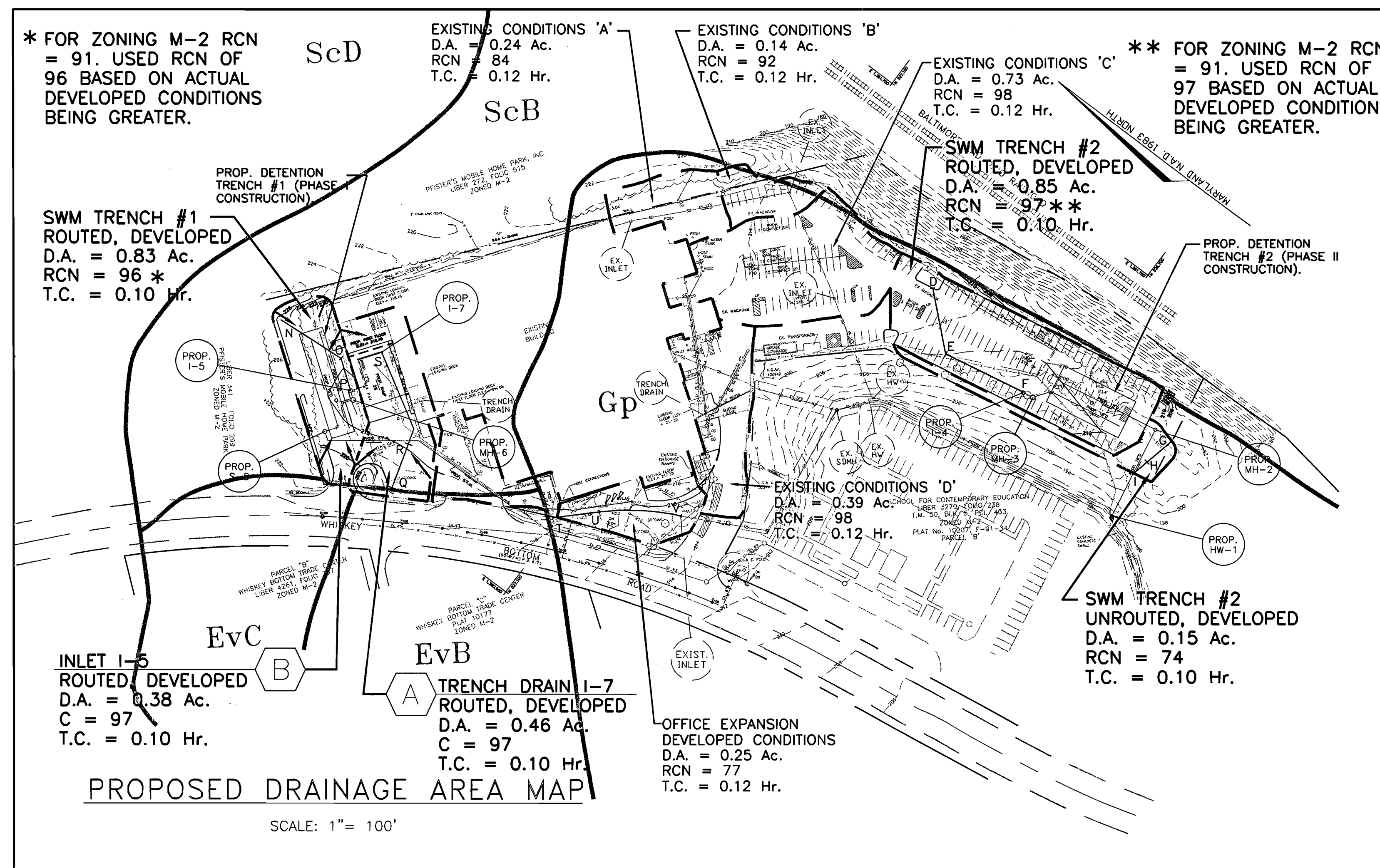
*Chad Williams* 5/14/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*Harold Bernadzikowski* 5/21/01  
CHIEF, DIVISION OF LAND DEVELOPMENT

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SEE SHEET 6 SOILS AREA MAP FOR MORE DETAILED INFORMATION ON TYPES OF SOILS.



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

*Deirdre D. Moten* 5/18/01  
COUNTY HEALTH OFFICER DATE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

*Jim Moore* 5/18/01  
NATURAL RESOURCES CONSERVATION SERVICES DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY HOWARD SOIL CONSERVATION DISTRICT.

*John P. Robertson* 5/18/01  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*John P. Robertson* 5/18/01  
DIRECTOR DATE

*John P. Robertson* 5/18/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Harold Bernard* 5/21/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	No.	REVISION

OWNER: ICE CREAM PARTNERS, USA LLC.  
9090 WHISKEY BOTTOM ROAD  
LAUREL, MARYLAND 20725  
(301) 317-3734  
ATTN: CHARLES MOENIUS

PROJECT: ICE CREAM PARTNERS, USA LLC.  
PLANT EXPANSION PHASE I AND II

"THE SOUTHLAND CORPORATION PROPERTY" PARCEL A  
TAX MAP No. 50, PARCEL 509 6th ELECTION DISTRICT

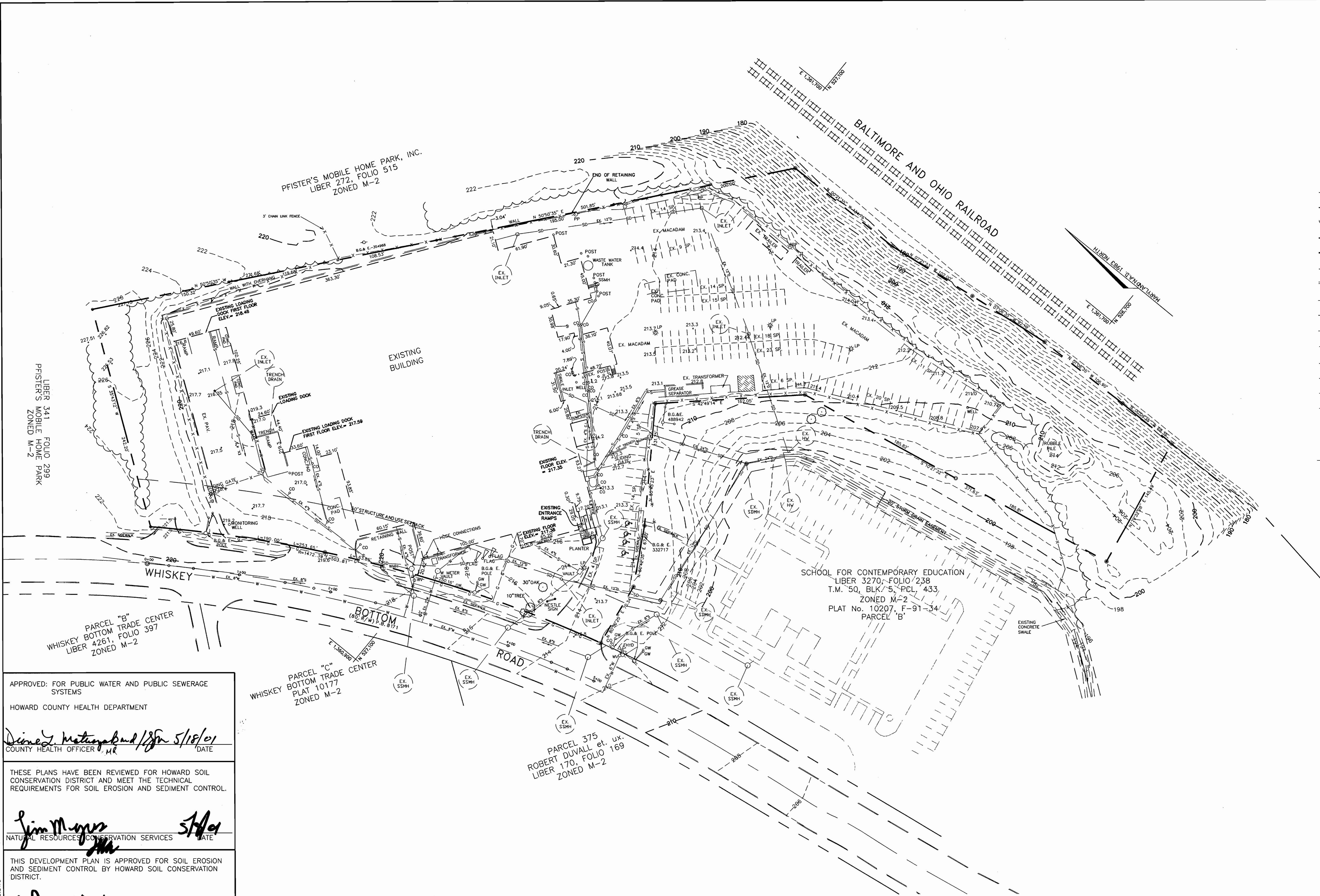
AREA: TAX MAP No. 50, BLK. 5, PARCEL 509  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
CENSUS TRACT No. 6063  
WATER CODE C-04 AND SEWER CODE 71-00800

TITLE: DRAINAGE AREA MAPS

**HARMS**  
ENGINEERS • PLANNERS • SURVEYORS  
P.O. Box 5, Potosdeno, MD 21123  
Office: 410-641-6000 FAX: 410-544-8508

DRAWN BY: C.M.  
DESIGNED BY: J.J.B.  
CHECKED BY: J.J.B.  
PROJECT No.: 04-00-005A  
DATE: OCTOBER, 2000  
SCALE: 1" = 100'  
DRAWING No. 2 OF 18

3/22/01



**LEGEND**

- 202--- EXISTING 2' CONTOUR
- 210--- EXISTING 10' CONTOUR
- ~~~~~ EXISTING TREE LINE
- PROPERTY LINE/LOT LINE
- BOUNDARY LINE
- 20' B.R.L.--- BUILDING RESTRICTION LINE
- ==== EXISTING CURB & GUTTER/SIDEWALK
- W EX. 8" W W EXISTING WATER
- S EX. 8" S S EXISTING SEWER
- SD EX. 24" D SD EXISTING STORM DRAIN
- T T EXISTING U. G. TELEPHONE LINE
- EXISTING EASEMENT
- G EXISTING GAS LINE
- TV EXISTING CABLE T.V.
- X X EXISTING FENCE
- 123x4 EXISTING SPOT ELEVATION
- [ ] EXISTING STRUCTURES
- CENTERLINE OF ROAD

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
*Diana M. Matyjaszek* 5/18/01  
 COUNTY HEALTH OFFICER DATE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.  
*Jim Myers* 5/18/01  
 NATURAL RESOURCES CONSERVATION SERVICES DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY HOWARD SOIL CONSERVATION DISTRICT.  
*John Robertson* 5/14/01  
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
*Paul Butler* 5/21/01  
 DIRECTOR DATE

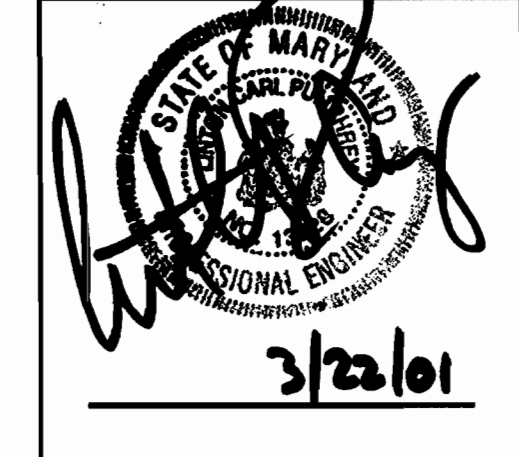
*Chris Deamann* 5/14/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Shirley Bernadette* 5/21/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	No.	REVISION
OWNER: ICE CREAM PARTNERS, USA LLC. 9090 WHISKEY BOTTOM ROAD LAUREL, MARYLAND 20725 (301) 317-3734 ATTN: CHARLES MOENIUS		
PROJECT: ICE CREAM PARTNERS, USA LLC. PLANT EXPANSION PHASE I AND II "THE SOUTHLAND CORPORATION PROPERTY" PARCEL A TAX MAP No. 50, PARCEL 509 6TH ELECTION DISTRICT		
AREA: TAX MAP No. 50, BLK. 5, PARCEL 509 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND CENSUS TRACT No. 6063 WATER CODE C-04 AND SEWER CODE 71-00800		
TITLE: EXISTING CONDITIONS PLAN		



ENGINEERS • PLANNERS • SURVEYORS  
 P.O. Box 5, Pasadena, MD 21123  
 Office: 410-544-6000 FAX: 410-544-8508

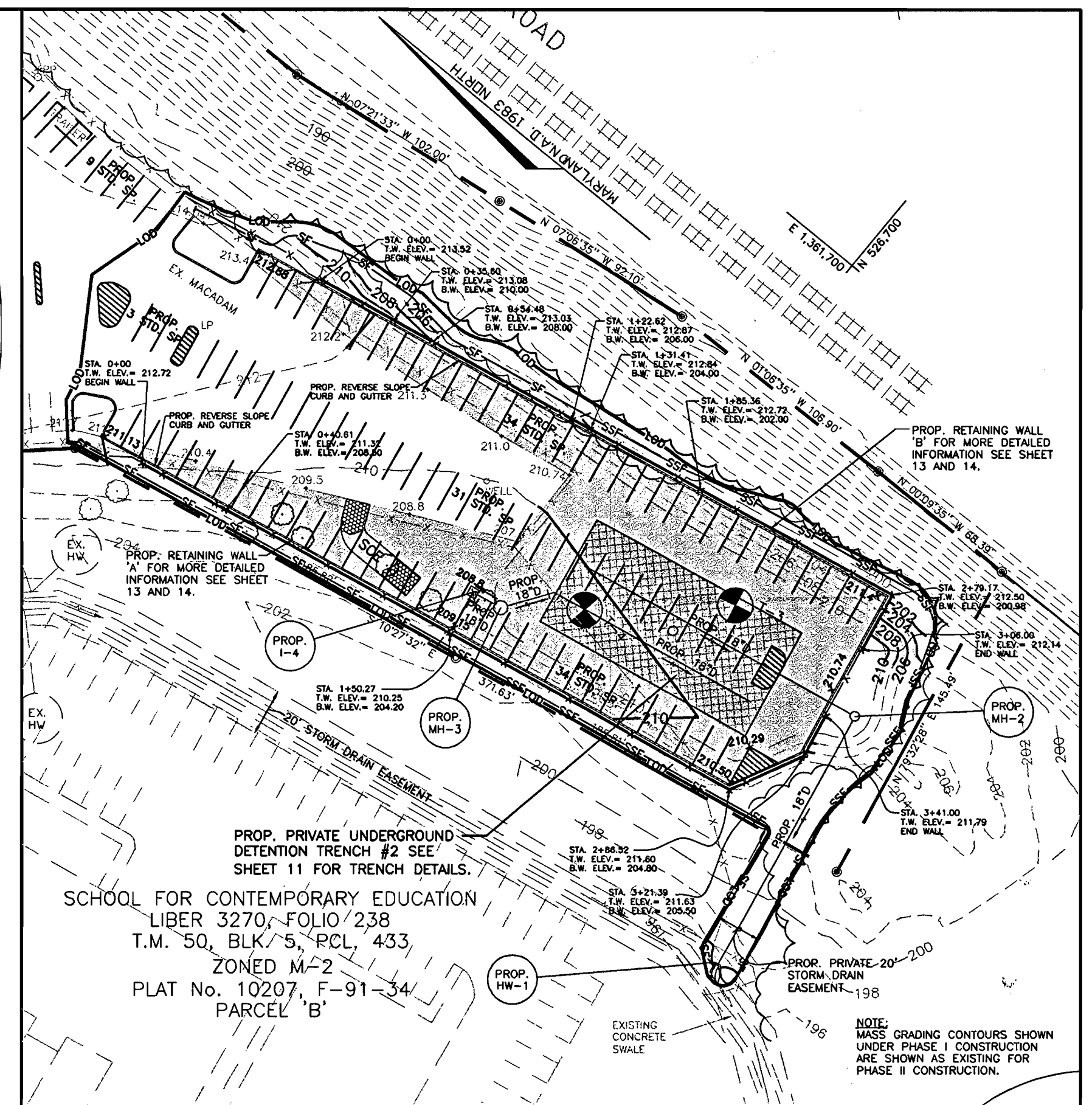
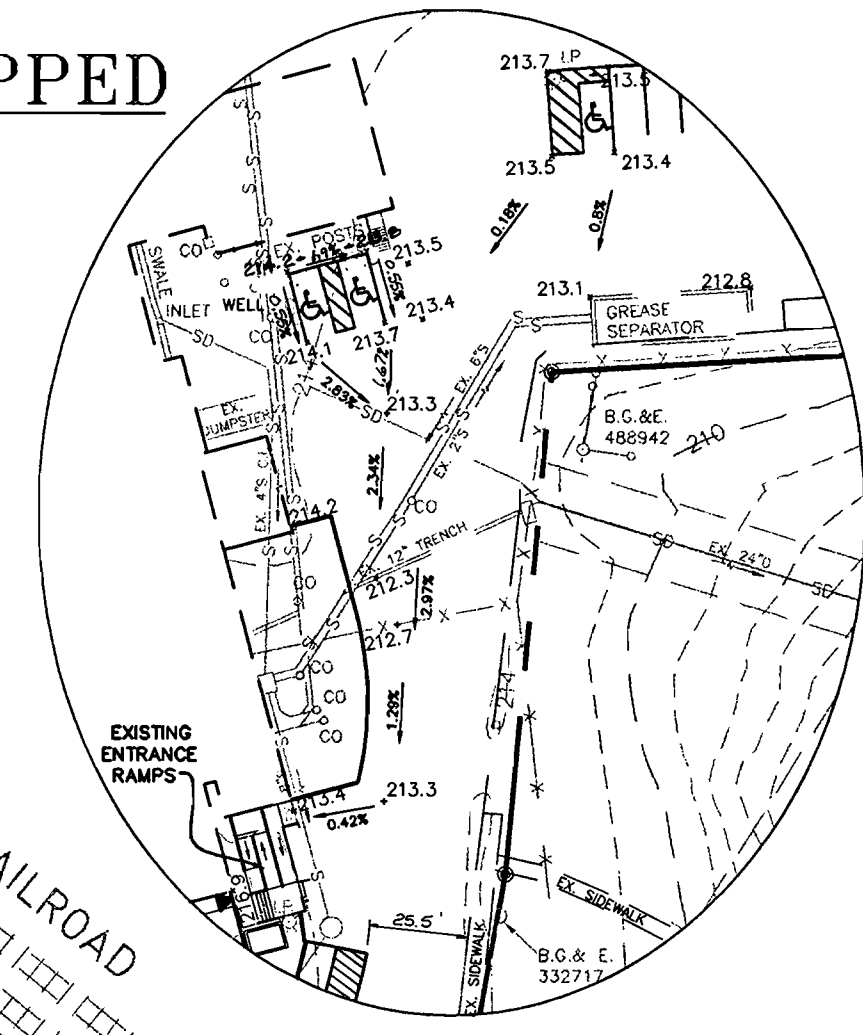


DRAWN BY: C.M.  
 DESIGNED BY: J.J.B.  
 CHECKED BY: J.J.B.  
 PROJECT No.: 04-00-005A  
 DATE: OCTOBER, 2000  
 SCALE: 1" = 50'  
 DRAWING No. 3 OF 18

BUILDING ADDITION	
AREA	DESCRIPTION
1	LOADING DOCK EXPANSION LOCATED OVER EXISTING IMPERVIOUS AREA
2	2nd. FLOOR OFFICE ADDITION LOCATED OVER EXISTING IMPERVIOUS AREA
3	OFFICE EXPANSION LOCATED OVER EXISTING GRASS AREA AND IMPERVIOUS AREA
4	LUNCH AND LINEN ROOM EXPANSION LOCATED OVER EXISTING IMPERVIOUS AREA

**NOTE:**  
FOR ALL DIMENSIONS OF PARKING,  
DRIVE AISLES AND SITE LAYOUT SEE  
SHEET 5 "SITE DEVELOPMENT PLAN".

**PROPOSED HANDICAPPED  
ACCESS SLOPES**  
SCALE: 1" = 50'

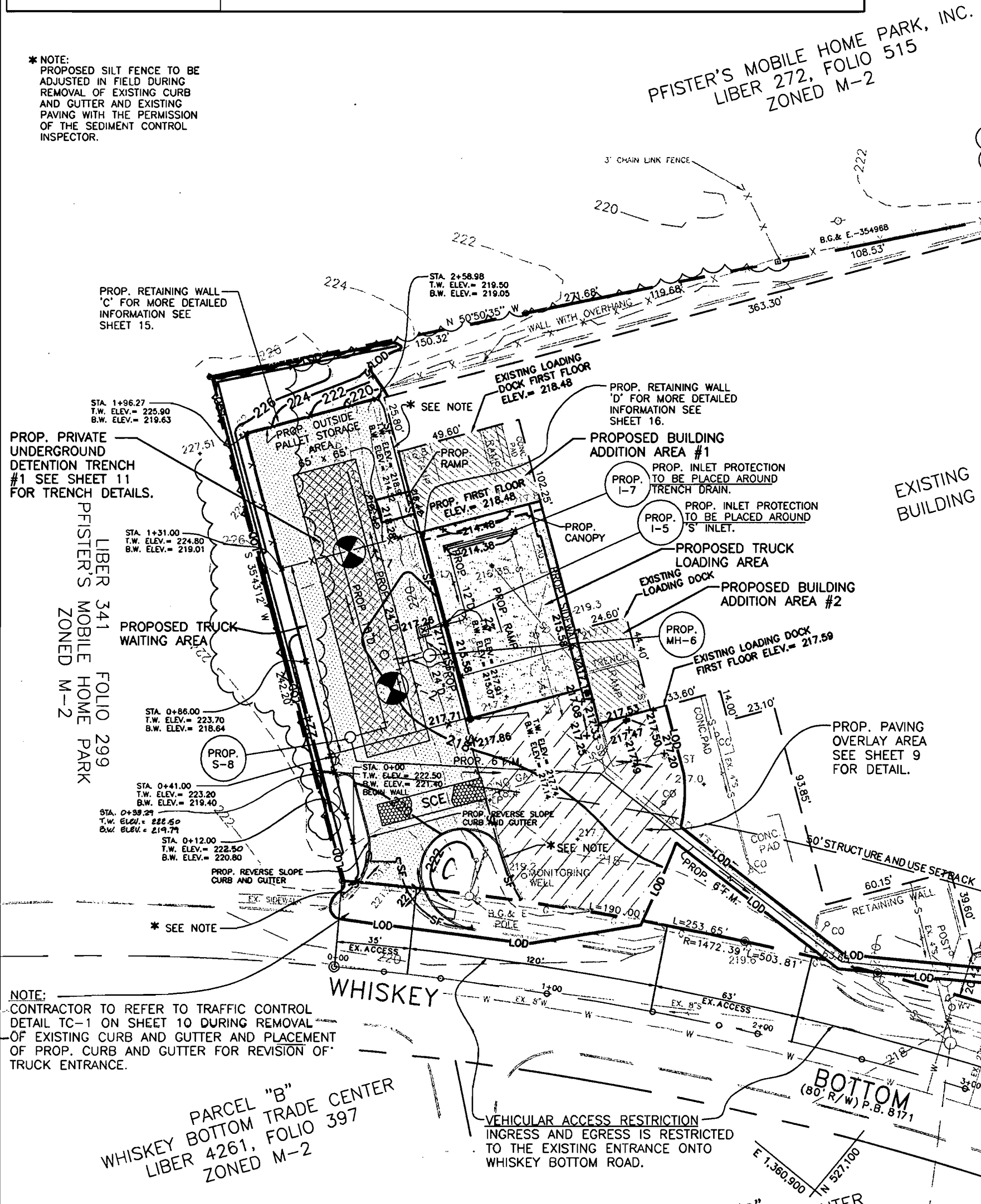


**FINAL GRADING PHASE II**  
SCALE: 1" = 50'

**NOTE:**  
DURING TRENCHING OPERATIONS ALL EXCAVATED MATERIAL IS  
TO BE PLACED ON THE UPHILL SIDE OF THE CONSTRUCTION.

**RETAINING WALL NOTES**

- ALL PROPOSED RETAINING WALL CONSTRUCTION SHALL BE PERFORMED UNDER THE OBSERVATION OF A MARYLAND REGISTERED PROFESSIONAL ENGINEER.
- FOUNDATION SOILS MUST BE EXAMINED BY THE ENGINEER/ GEOTECH TO ASSURE THE FOUNDATION SOIL STRENGTH MEETS OR EXCEEDS ASSUMED DESIGN STRENGTH.



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT  
*Diana M. Matyska* md/jgm 5/18/01  
COUNTY HEALTH OFFICER DATE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

*Jim Myers* SHC  
NATURAL RESOURCES CONSERVATION SERVICES DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY HOWARD SOIL CONSERVATION DISTRICT.  
*John Robertson* SHC  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
*Ray P. Smith* 5/21/01  
DIRECTOR DATE  
*Chris D. Williams* 5/14/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*Harold Bernadykowski* 5/21/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

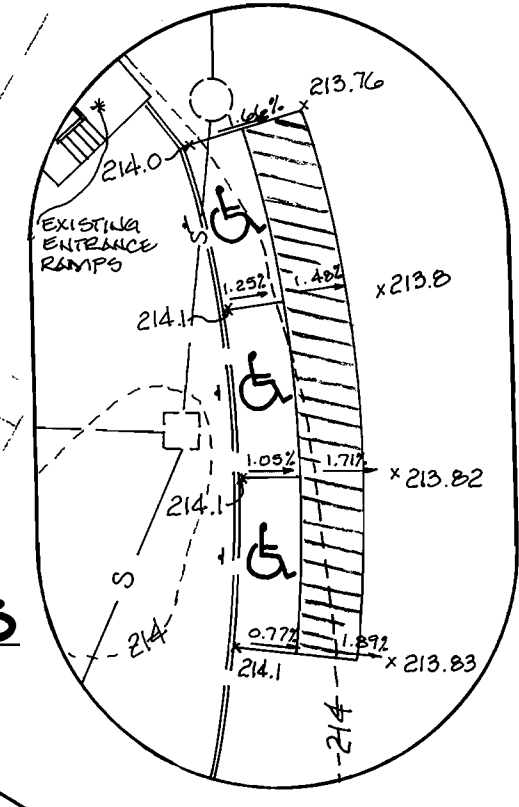
**FINAL GRADING PHASE I  
MASS GRADING PHASE I**  
SCALE: 1" = 50'

**NOTE:**  
DURING TRENCHING OPERATIONS ALL EXCAVATED MATERIAL IS  
TO BE PLACED ON THE UPHILL SIDE OF THE CONSTRUCTION.

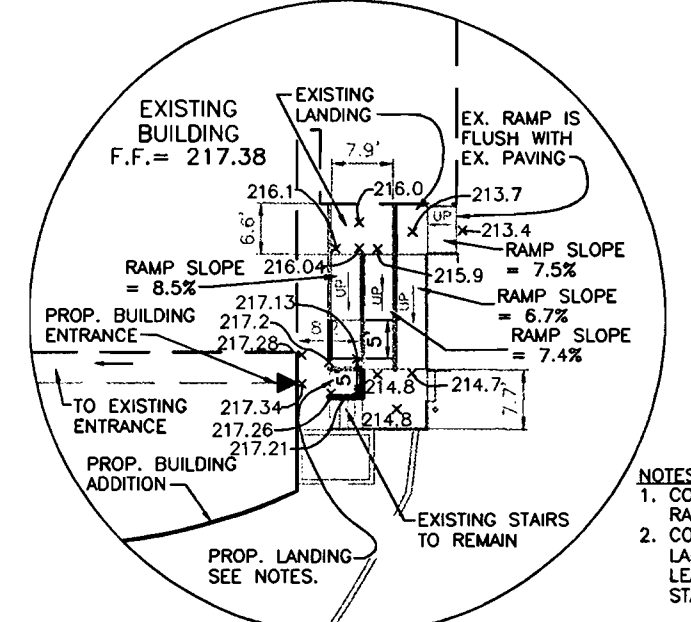
**LEGEND**

	PROPOSED CONTOUR		LIMIT OF DISTURBANCE
	PROPOSED TREE LINE		PROPOSED SILT FENCE
	PROPERTY LINE/LOT LINE		PROPOSED SUPER SILT FENCE
	BOUNDARY LINE		PROPOSED EASEMENT
	BUILDING RESTRICTION LINE		PROPOSED SPOT ELEVATION
	20' B.R.L.		EXISTING STRUCTURES
	PROPOSED CURB & GUTTER/SIDEWALK (HO. CO. DETAIL R-3.01/HO. CO. DETAIL R-3.05)		PROPOSED BUILDING ADDITION
	PROP. REVERSED CURB & GUTTER (HO. CO. DETAIL R-3.01)		PROPOSED RETAINING WALL
	PROPOSED STORM DRAIN (VARIES BY PLAN)		CENTERLINE OF ROAD
	PROPOSED SEWER (VARIES BY PLAN)		PROPOSED TENCH (#1 & #2)
	PROPOSED INLET PROTECTION		STABILIZED CONSTRUCTION ENTRANCE

**PROPOSED  
HANDICAPPED  
ACCESS SLOPES**  
SCALE: 1" = 25'



**EXISTING HANDICAPPED RAMPS**  
SCALE: 1" = 25'



**CERTIFICATION BY DEVELOPER**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT".

*Charles Moenus* 3/27/01  
CHARLES MOENUS, ENGINEERING MANAGER DATE

**CERTIFICATION BY THE ENGINEER**

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT".

*John J. Harms, Jr.* 3/27/01  
SIGNATURE - JOHN J. HARMS, JR. & ASSOC., INC. DATE

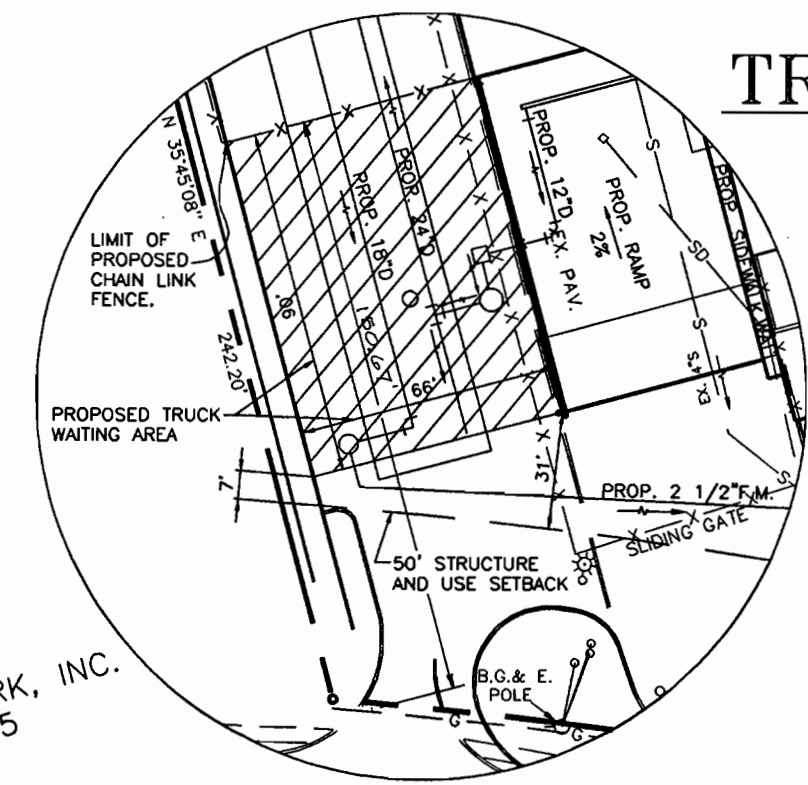
DATE	No.	REVISION
OWNER: ICE CREAM PARTNERS, USA LLC. 9090 WHISKEY BOTTOM ROAD LAUREL, MARYLAND 20725 (301) 317-3734 ATTN: CHARLES MOENIUS		
PROJECT: ICE CREAM PARTNERS, USA LLC. PLANT EXPANSION PHASE I AND II		
"THE SOUTHLAND CORPORATION PROPERTY" PARCEL A TAX MAP No. 50, PARCEL 509 6th ELECTION DISTRICT		
AREA: TAX MAP No. 50, BLK. 5, PARCEL 509 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND CENSUS TRACT No. 6063 WATER CODE C-04 AND SEWER CODE 71-00800		
TITLE: GRADING AND SEDIMENT CONTROL PLAN		



ENGINEERS • PLANNERS • SURVEYORS  
P.O. Box 5, Pasadena, MD 21123  
Office: 410-647-6000 FAX: 410-544-8508

	DRAWN BY: C.M.
	DESIGNED BY: J.J.B.
	CHECKED BY: J.J.B.
	PROJECT No.: 04-00-005A
	DATE: OCTOBER, 2000
	SCALE: 1" = 50'
	DRAWING No. 4 OF 18

BUILDING ADDITION	
AREA	DESCRIPTION
1	LOADING DOCK EXPANSION LOCATED OVER EXISTING IMPERVIOUS AREA
2	2nd. FLOOR OFFICE ADDITION LOCATED OVER EXISTING IMPERVIOUS AREA
3	OFFICE EXPANSION LOCATED OVER EXISTING GRASS AREA AND IMPERVIOUS AREA
4	LUNCH AND LINEN ROOM EXPANSION LOCATED OVER EXISTING IMPERVIOUS AREA



### TRUCK WAITING AREA

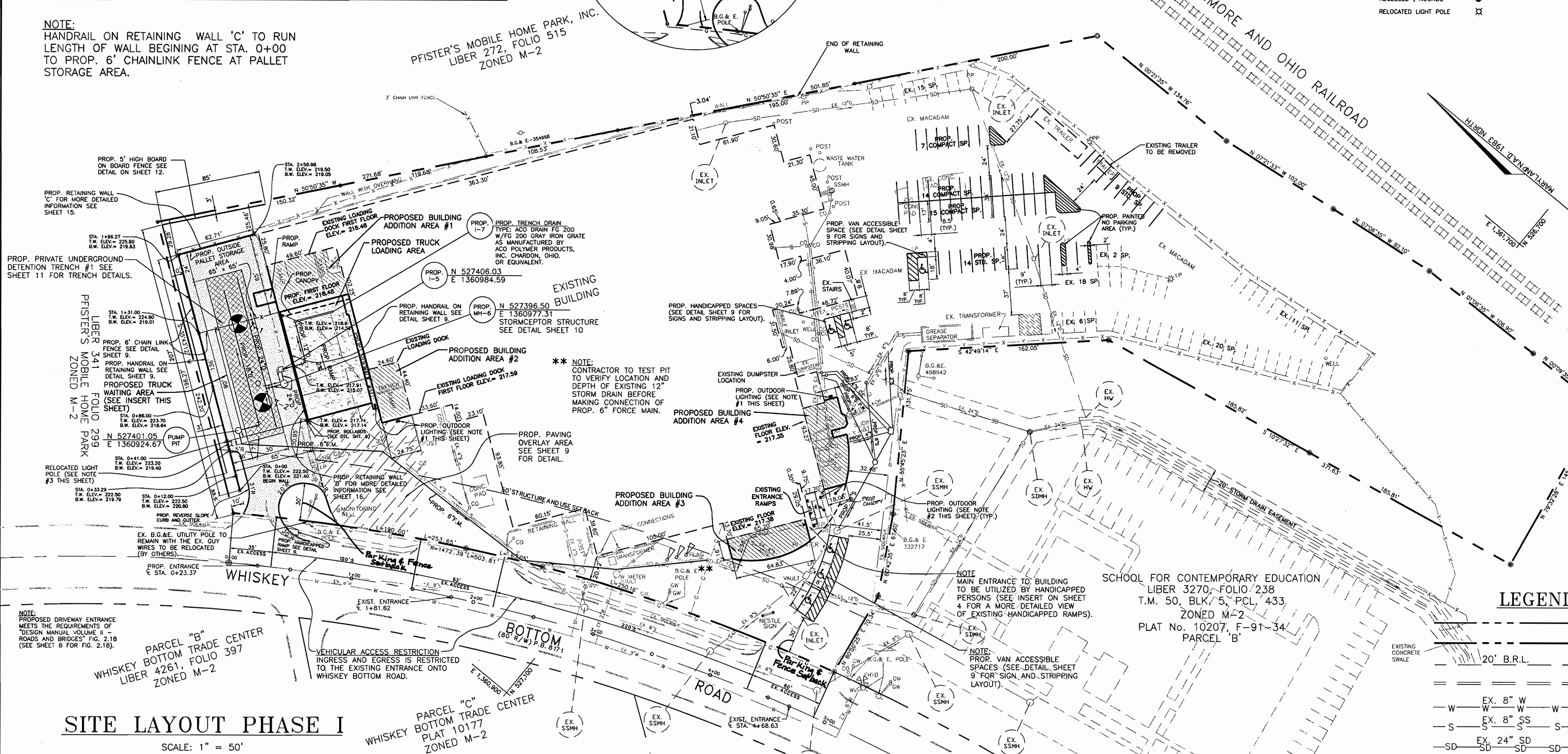
SCALE: 1" = 30'

### PROPOSED LIGHTING NOTE

- MANUFACTURER: HOLOPHANE, LIGHTOLIER, COOPER AND METALUX OR EQUAL  
LAMP TYPE: METAL HALIDE  
VOLTAGE: 120V  
TOTAL FIXTURE WATTS: 175W  
REMARKS: OUTDOOR, WALL MOUNT FIXTURE
- MANUFACTURER: COOPER, LIGHTOLIER AND METALUX OR EQUAL  
CATALOG No.: SP7V-1-100-E-120V HOUSING W/7110CL REFLECTOR, & WB TRIM  
LAMP TYPE: METAL HALIDE  
VOLTAGE: 120V  
TOTAL FIXTURE WATTS: 65W  
REMARKS: RECESSED, ROUNDS
- TYPE: 2-1000W MH-, LUMINAIR, (30 FT. POLE)  
LOCATION TO BE DETERMINED BY PLANT ENGINEER  
(LIGHTING WILL BE REFLECTED AWAY FROM THE ADJACENT PROPERTY BY A REFLECTIVE SHIELD PLACED ON THE NORTHWEST AREA OF THE LIGHT FIXTURE).

SYMBOLS USED  
 WALL MOUNTED FIXTURE  
 RECESSED, ROUNDS  
 RELOCATED LIGHT POLE

NOTE:  
HANDRAIL ON RETAINING WALL 'C' TO RUN LENGTH OF WALL BEGINNING AT STA. 0+00 TO PROP. 6" CHAINLINK FENCE AT PALLET STORAGE AREA.

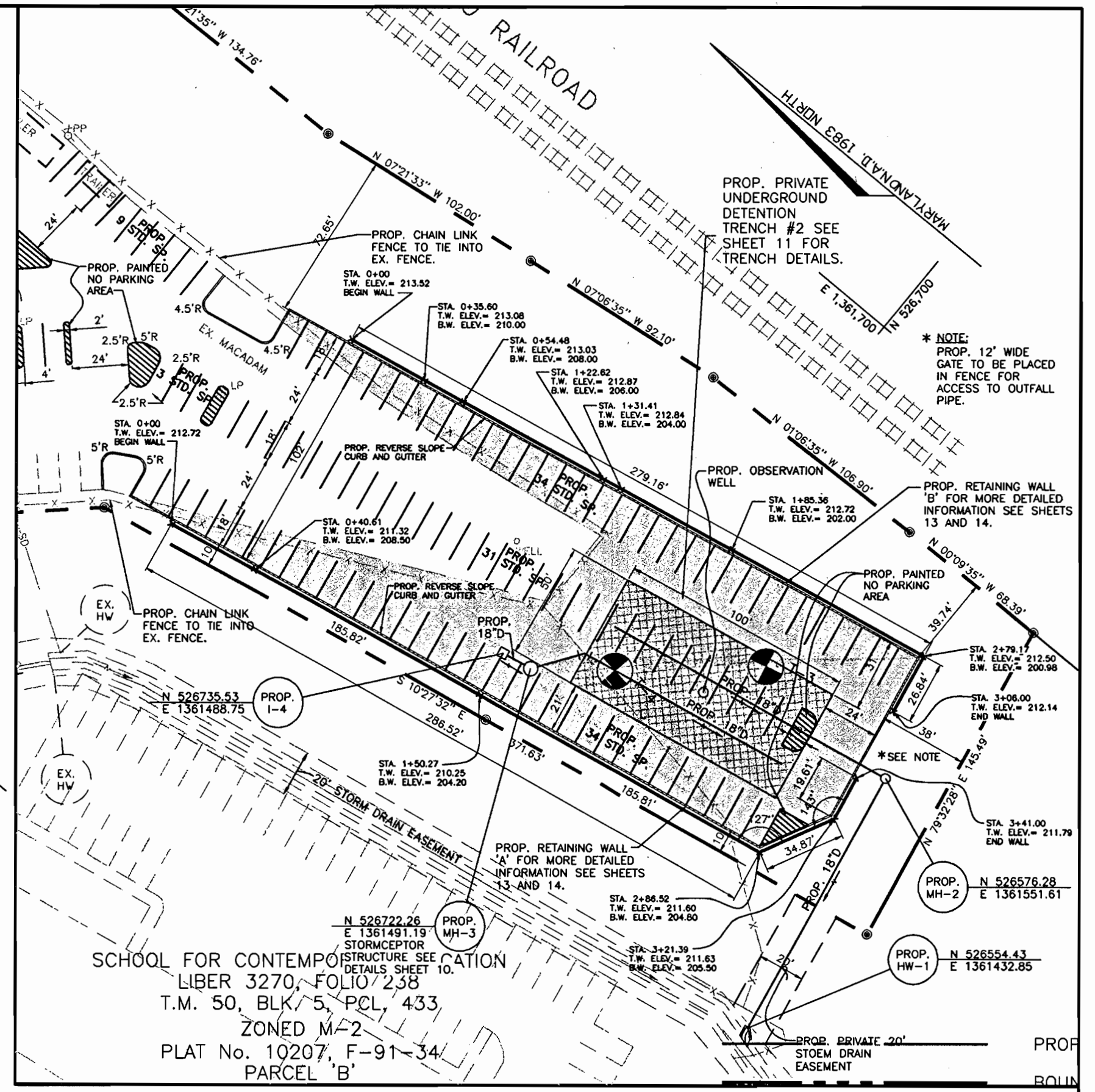


### SITE LAYOUT PHASE I

SCALE: 1" = 50'

### SITE LAYOUT PHASE II

SCALE: 1" = 50'

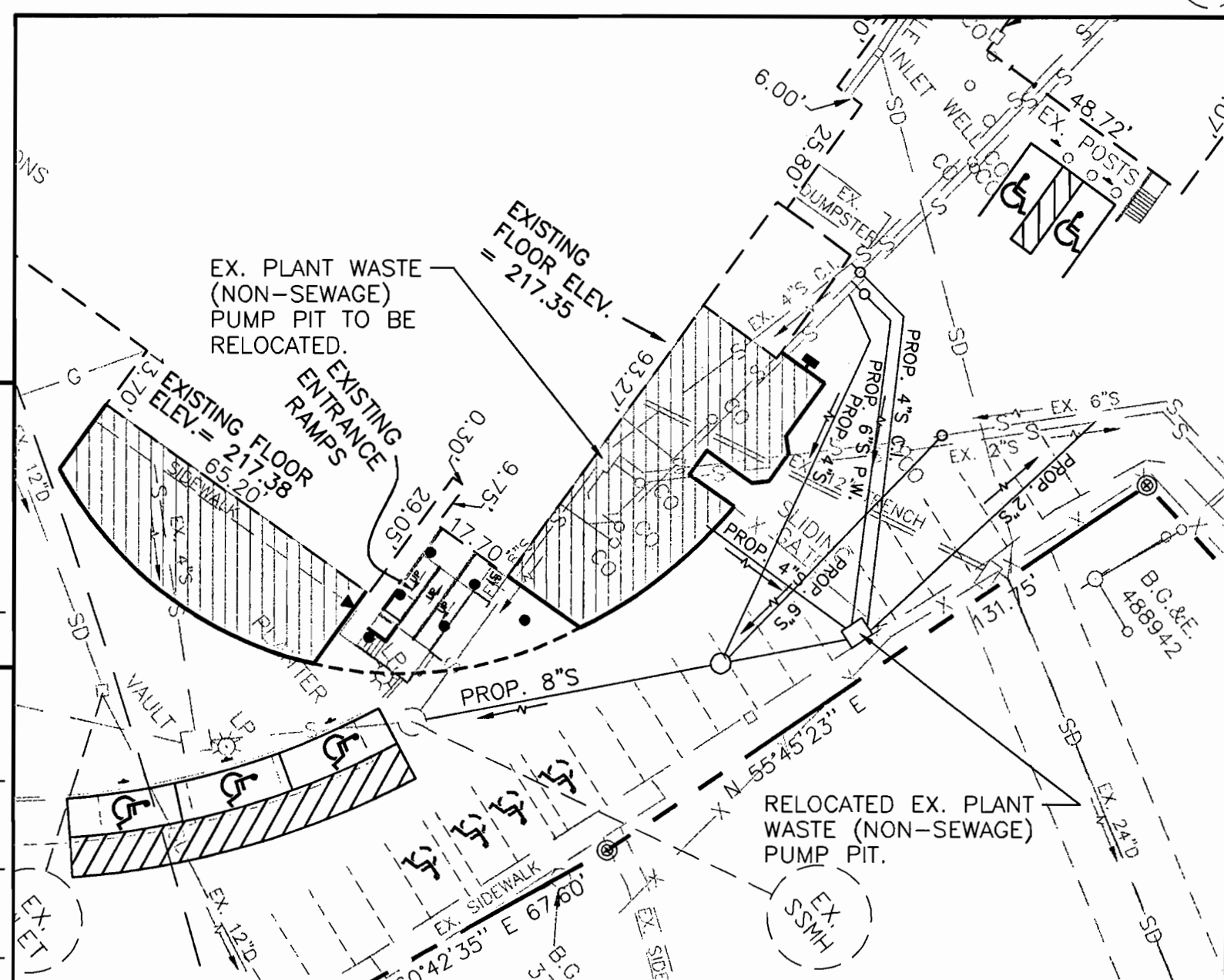


### RETAINING WALL NOTES

- ALL PROPOSED RETAINING WALL CONSTRUCTION SHALL BE PERFORMED UNDER THE OBSERVATION OF A MARYLAND REGISTERED PROFESSIONAL ENGINEER.
- FOUNDATION SOILS MUST BE EXAMINED BY THE ENGINEER/GEOTECH TO ASSURE THE FOUNDATION SOIL STRENGTH MEETS OR EXCEEDS ASSUMED DESIGN STRENGTH.

### LEGEND

- PROPERTY LINE/LOT LINE
- BOUNDARY LINE
- BUILDING RESTRICTION LINE
- EXISTING CURB & GUTTER/SIDEWALK
- EXISTING WATER
- EXISTING SEWER
- EXISTING STORM DRAIN
- PROPOSED CURB & GUTTER/SIDEWALK (HO. CO. DETAIL R-3.01/HO. CO. DETAIL R-3.05)
- PROP. REVERSED CURB & GUTTER (HO. CO. DETAIL R-3.01)
- PROPOSED STORM DRAIN (VARIES BY PLAN)
- PROPOSED SEWER (VARIES BY PLAN)
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING GAS LINE
- EXISTING FENCE
- EXISTING STRUCTURES
- PROPOSED BUILDING ADDITION
- PROPOSED RETAINING WALL
- CENTERLINE OF ROAD
- PROPOSED HEAVY DUTY PAVING
- PROPOSED PAVING
- PROPOSED TENCH (#1 & #2)
- PROPOSED PAVING OVERLAY



### UTILITY LAYOUT PHASE I

SCALE: 1" = 30'

NOTE:  
CONTRACTOR TO TEST PIT TO CONFIRM LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND RELOCATION OF SEWER LINES.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 Director: *Shirley M. Matlock* 5/18/01  
 COUNTY HEALTH OFFICER: *[Signature]* 5/18/01  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 Director: *[Signature]* 5/18/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* 5/14/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* 5/21/01

DATE	No.	REVISION

OWNER:  
ICE CREAM PARTNERS, USA LLC.  
9090 WHISKEY BOTTOM ROAD  
LAUREL, MARYLAND 20725  
(301) 317-3734  
ATTN: CHARLES MOENIUS

PROJECT:  
ICE CREAM PARTNERS, USA LLC.  
PLANT EXPANSION PHASE I AND II

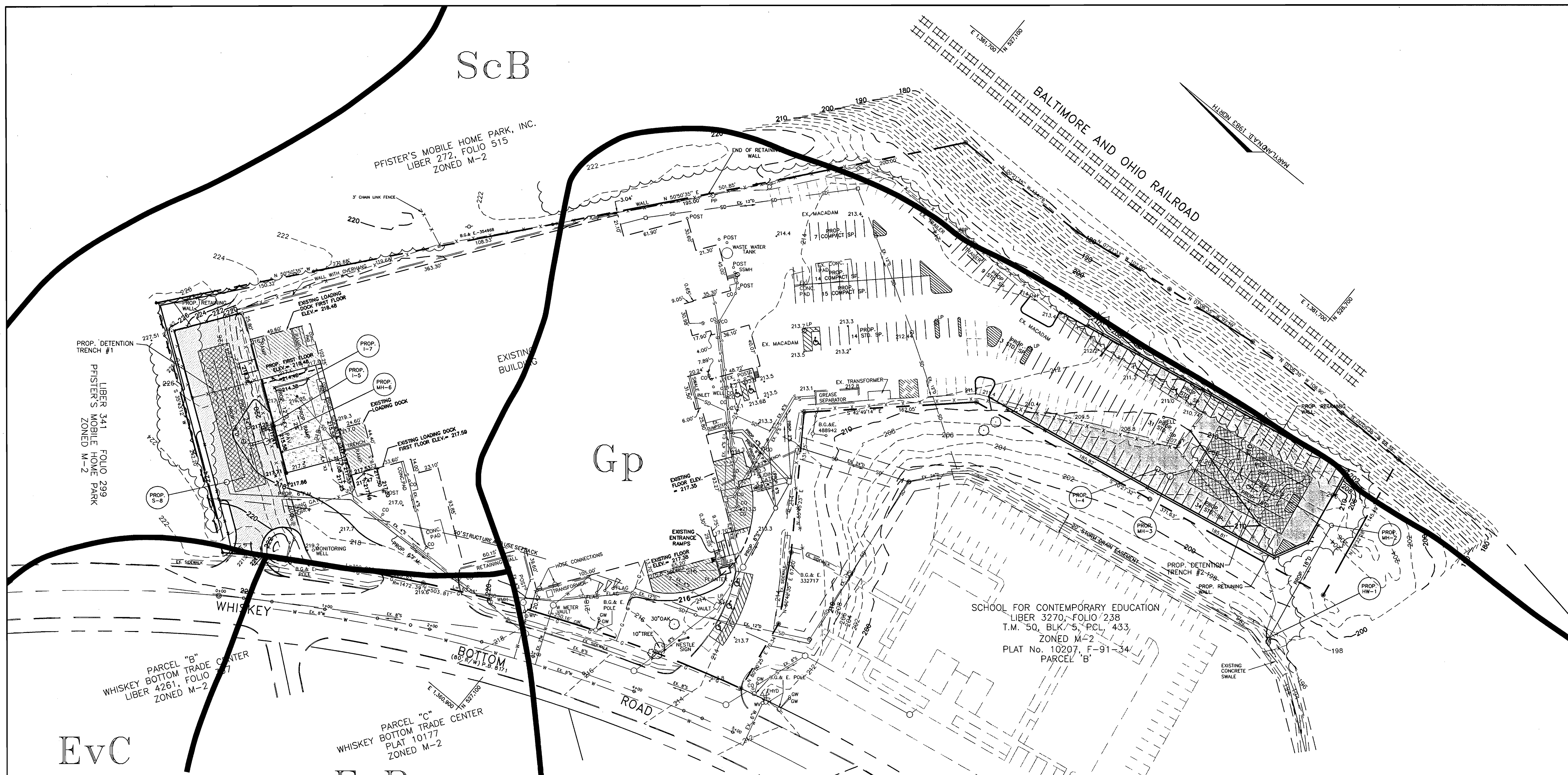
"THE SOUTHLAND CORPORATION PROPERTY" PARCEL A  
TAX MAP No. 50, PARCEL 509 6th ELECTION DISTRICT

AREA:  
TAX MAP No. 50, BLK. 5, PARCEL 509  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
CENSUS TRACT No. 6063  
WATER CODE C-04 AND SEWER CODE 71-00800

TITLE:  
SITE AND UTILITY PLAN

**HARMS**  
 ENGINEERS • PLANNERS • SURVEYORS  
 P.O. Box 5, Pasadena, MD 21123  
 Office: 410-647-7000 Fax: 410-544-8508

DRAWN BY: C.M.  
 DESIGNED BY: J.J.B.  
 CHECKED BY: J.J.B.  
 PROJECT No.: 04-00-005A  
 DATE: OCTOBER, 2000  
 SCALE: 1" = 50'  
 DRAWING No. 5 OF 18



ScB

Gp

EvC

EvB

**NOTE:**  
SOIL DELINEATIONS ARE BASED ON SOIL SURVEY FOR HOWARD COUNTY, MAP SHEET No. 31 (INSET).

**LEGEND**  
 EvC EVESBORO LOAMY SAND  
 EvB EVESBORO LOAMY SAND  
 ScB SANDY AND CLAYEY LAND  
 Gp GRAVEL PITS AND QUARRIES

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
*Diane J. Matyszek M.D.* 5/18/01  
 COUNTY HEALTH OFFICER DATE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.  
*Jim Meyer* 5/18/01  
 NATURAL RESOURCES CONSERVATION SERVICES DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY HOWARD SOIL CONSERVATION DISTRICT.  
*John Blanton* 5/18/01  
 HOWARD SOIL CONSERVATION DISTRICT DATE

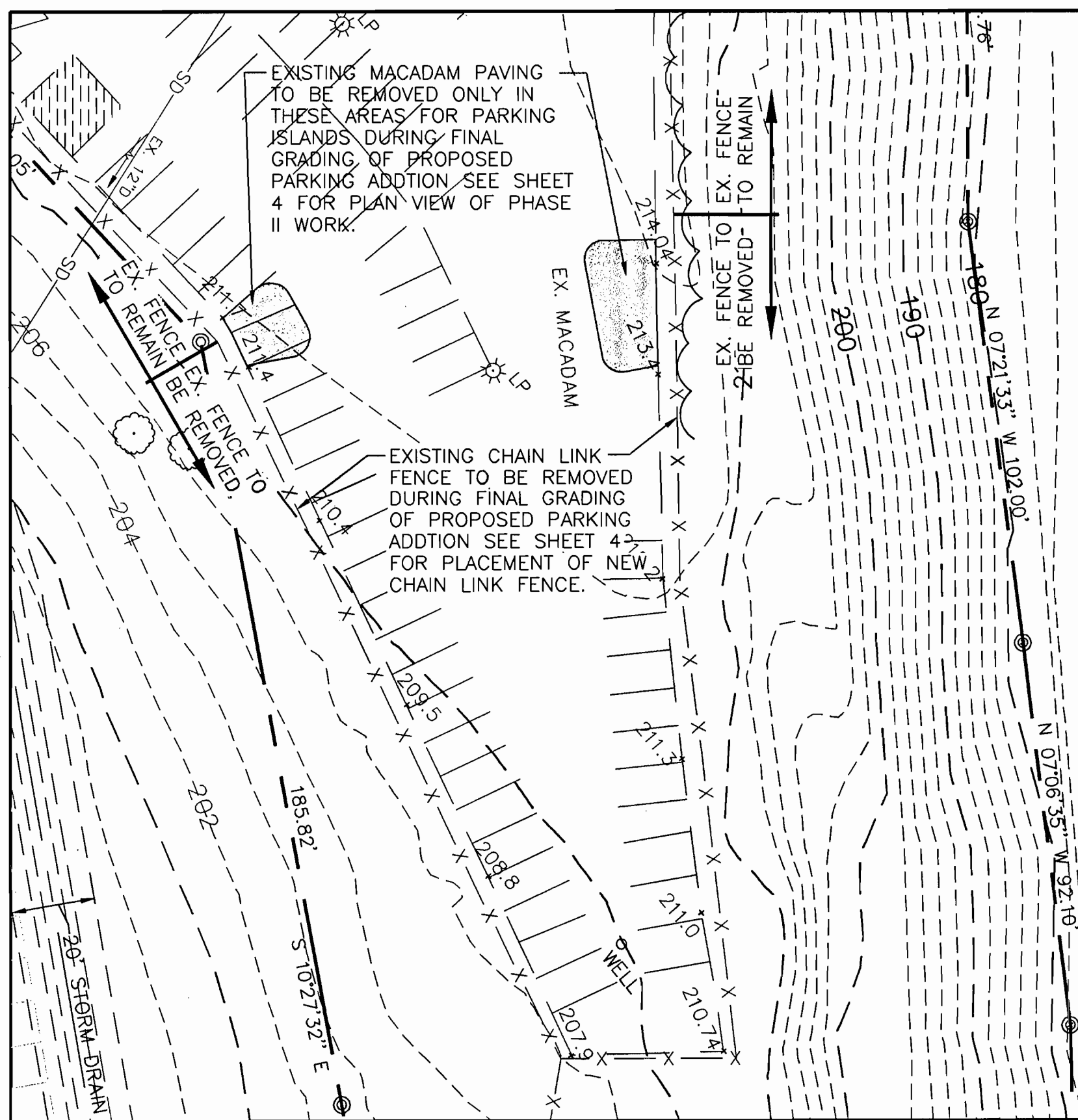
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
*Scott Butler* 5/18/01  
 DIRECTOR DATE

*William D. ...* 5/14/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Harold ...* 5/21/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

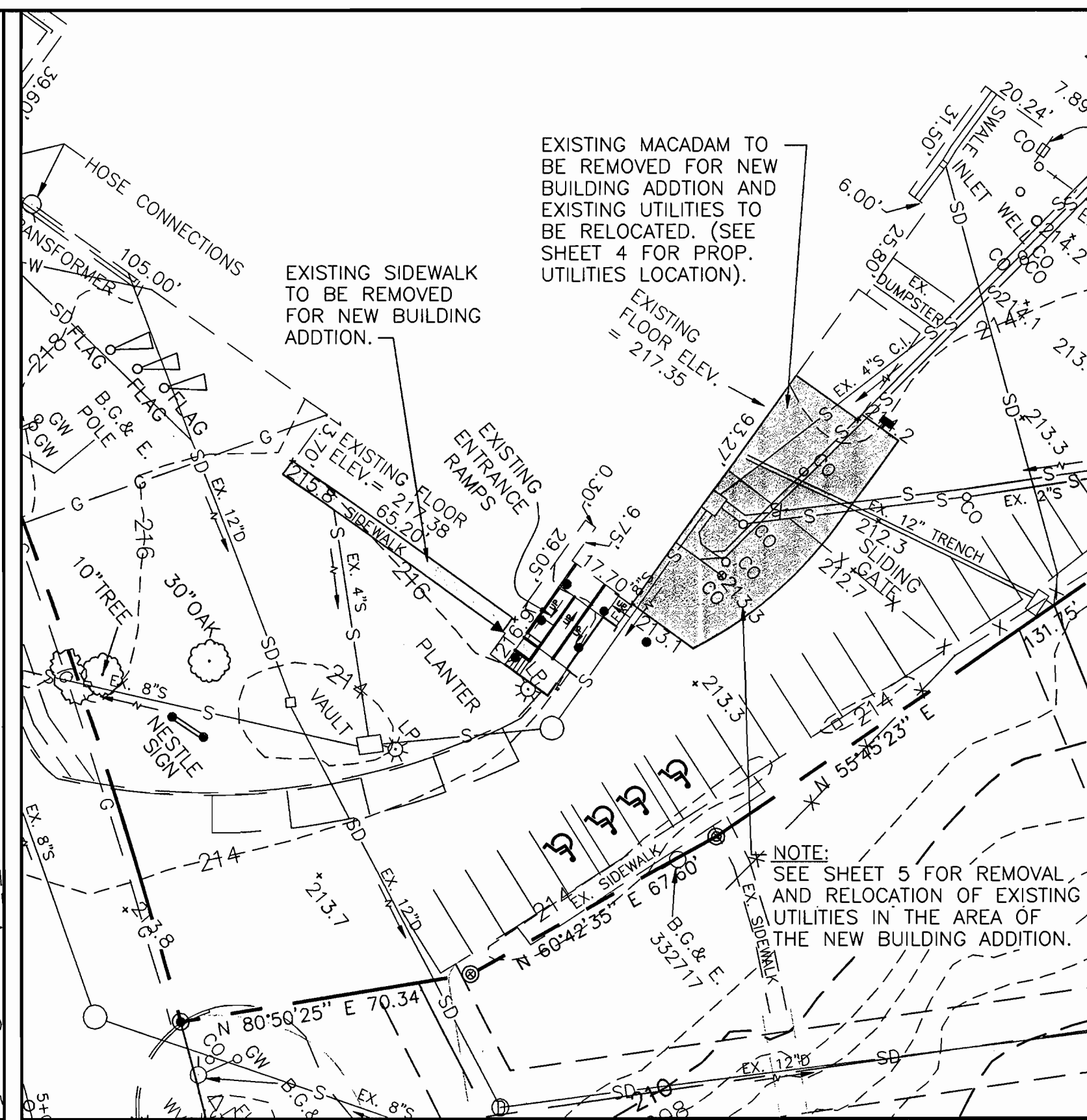
SCHOOL FOR CONTEMPORARY EDUCATION  
 LIBER 3270, FOLIO 238  
 T.M. 50, BLK. 5, PCL. 433  
 ZONED M-2  
 PLAT No. 10207, F-91-34  
 PARCEL 'B'

DATE	No.	REVISION
OWNER: ICE CREAM PARTNERS, USA LLS. 9090 WHISKEY BOTTOM ROAD LAUREL, MARYLAND 20725 (301) 317-3734 ATTN: CHARLES MOENIUS		
PROJECT: ICE CREAM PARTNERS, USA LLC. PLANT EXPANSION PHASE I AND II		
AREA: TAX MAP No. 50, BLK. 5, PARCEL 509 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND CENSUS TRACT No. 6063 WATER CODE C-04 AND SEWER CODE 71-00800		
TITLE: SOILS MAP		
<p><b>HARMS</b> ENGINEERS • PLANNERS • SURVEYORS P.O. Box 5, Pasadena, MD 21123 Office: 410-647-6000 FAX: 410-544-8508</p>		
DRAWN BY: C.M.		
DESIGNED BY: J.J.B.		
CHECKED BY: J.J.B.		
PROJECT No.: 04-00-005A		
DATE: OCTOBER, 2000		
SCALE: 1" = 50'		3/26/01 DRAWING No. 6 OF 18
DRAWING No. 6 OF 18		



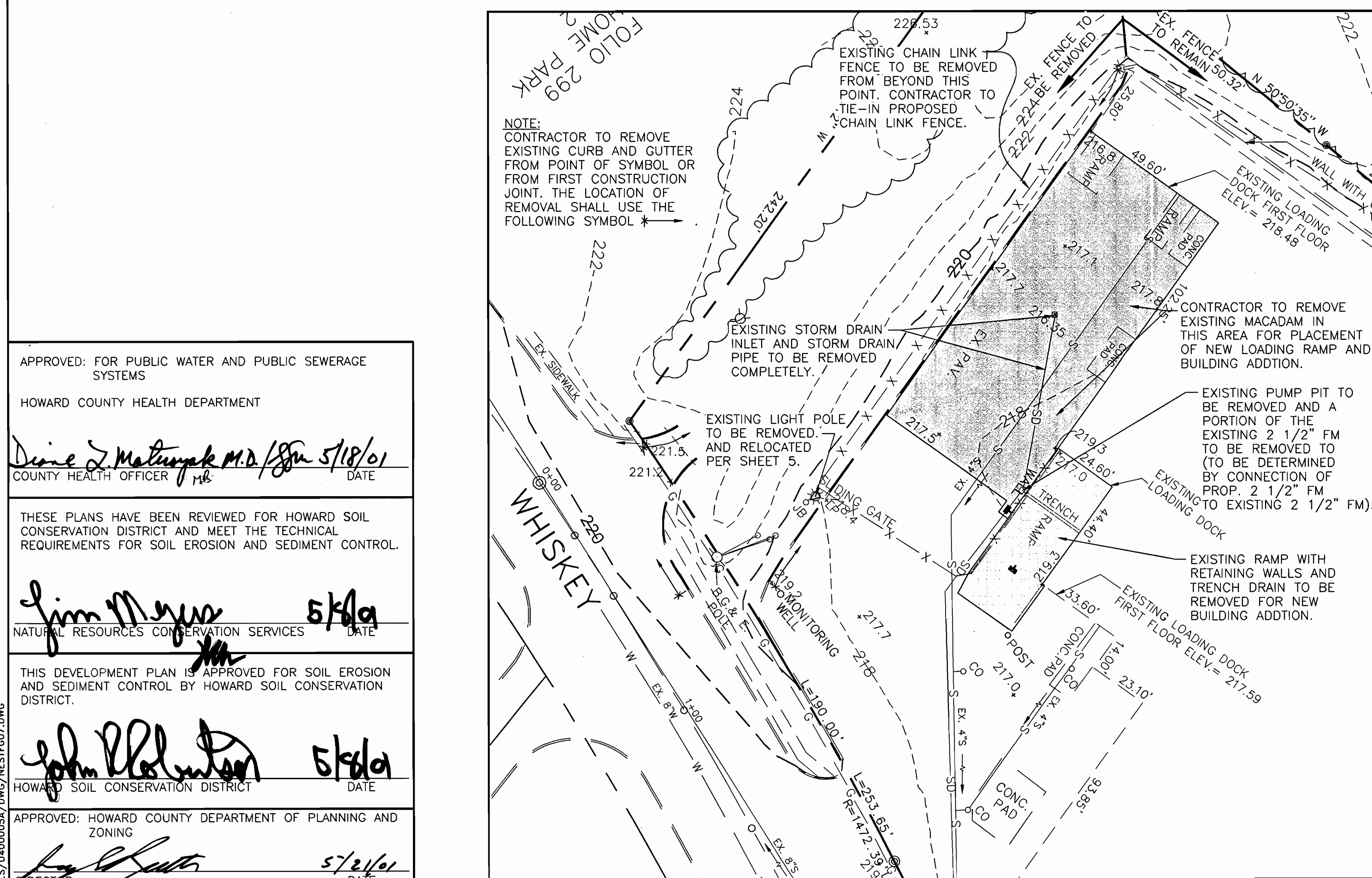
PLAN VIEW PHASE II DEMOLITION

SCALE: 1" = 30'



PLAN VIEW PHASE I DEMOLITION

SCALE: 1" = 30'



PLAN VIEW PHASE I DEMOLITION

SCALE: 1" = 30'

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 Diane J. Matyszek M.D. 5/18/01  
 COUNTY HEALTH OFFICER DATE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.  
 Jim Meyer 5/18/01  
 NATURAL RESOURCES CONSERVATION SERVICES DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY HOWARD SOIL CONSERVATION DISTRICT.  
 John Robertson 5/18/01  
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 5/21/01  
 DIRECTOR DATE

5/14/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

5/21/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

SEQUENCE OF CONSTRUCTION

- NOTE: CONSTRUCTION SHALL CONSIST OF TWO PHASES (PHASE I AND PHASE II). OBTAIN GRADING PERMIT BEFORE ANY CONSTRUCTION IS STARTED.
- PHASE I
1. AFTER OBTAINING GRADING PERMIT CONTRACTOR SHALL NOTIFY HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES INSPECTOR 48 HRS. BEFORE BEGINNING WORK. 3 DAYS
  2. CONTRACTOR SHALL CLEAR MINIMUM AREA NECESSARY FOR INSTALLATION OF SEDIMENT CONTROL MEASURES AND DEVICES. 2 DAYS
  3. AFTER NOTIFYING AND OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, BEGIN ROUGH GRADING. MAINTAIN POSITIVE DRAINAGE TO SEDIMENT CONTROL MEASURES AND DEVICES. 2 WEEKS
  4. BEGIN DEMOLITION OF EXISTING PAVING AND BUILDINGS. 2 WEEKS
  5. INSTALL STORMWATER MANAGEMENT TRENCH #1 AND CONNECTIONS FOR INLET AND OUTLET OF STORMWATER TRENCH #1. 1 WEEK
  6. INSTALL STORM DRAINS. 2 WEEKS
  7. INSTALL RETAINING WALLS 'C' AND 'D'. 1 WEEK
  8. RELOCATE EXISTING UTILITIES. 1 WEEK
  9. MASS GRADE AREA OF PROPOSED TRENCH #2 AND PARKING AREA. 1 WEEK
  10. INSTALL FOOTINGS AND FOUNDATION WALLS. CONTINUE BUILDING CONSTRUCTION. 2 WEEKS
  11. FINE GRADE PAVING BED AND LOADING AREAS AND INSTALL CURB AND GUTTER, PAVING AND CONCRETE PADS. 3 DAYS
  12. FINE GRADE AREAS OUTSIDE OF PAVED AREAS AND INSTALL LANDSCAPING. 2 DAYS
  13. WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR REMOVE SEDIMENT CONTROL MEASURES AND STABILIZE. 3 DAYS
- NOTE: ITEMS 3 THRU 13 MAY PROCEED CONCURRENTLY.
- PHASE II
1. AFTER OBTAINING GRADING PERMIT CONTRACTOR SHALL NOTIFY HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES INSPECTOR 48 HRS. BEFORE BEGINNING WORK. 2 DAYS
  2. CONTRACTOR SHALL CLEAR MINIMUM AREA NECESSARY FOR INSTALLATION OF SEDIMENT CONTROL MEASURES AND DEVICES. 2 DAYS
  3. AFTER NOTIFYING AND OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, BEGIN ROUGH GRADING. MAINTAIN POSITIVE DRAINAGE TO SEDIMENT CONTROL MEASURES AND DEVICES. 2 WEEKS
  4. INSTALL STORMWATER MANAGEMENT TRENCH #2 AND CONNECTIONS FOR INLET AND OUTLET OF STORMWATER TRENCH #2. 1 WEEK
  5. INSTALL STORM DRAINS. 2 WEEKS
  6. INSTALL RETAINING WALLS 'A' AND 'B'. 1 WEEK
  7. FINE GRADE PAVING BED AND INSTALL CURB AND GUTTER. 1 WEEK
  8. FINE GRADE AREAS OUTSIDE OF PAVED AREAS AND INSTALL LANDSCAPING. 1 WEEK
  9. WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR REMOVE SEDIMENT CONTROL MEASURES AND STABILIZE. 2 DAYS
- NOTE: ITEMS 3 THRU 9 MAY PROCEED CONCURRENTLY.

STANDARD SEDIMENT CONTROL NOTES

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES INSPECTOR PRIOR TO THE START OF ANY CONSTRUCTION (410)315-1855.
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN (A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, (B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12 OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. FOR PERMANENT SEEDING (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:  
 TOTAL AREA OF SITE: 7.13 AC.±  
 AREA DISTURBED: 2.27 AC.±  
 AREA TO BE ROOFED OR PAVED: 1.69 AC.±  
 AREA TO BE VEGETATIVELY STABILIZED: 0.58 AC.±  
 TOTAL CUT: 2,832 Cu. Yds.  
 TOTAL FILL: 3,037 Cu. Yds.  
 OFFSITE WASTE/BORROW AREA LOCATION: IN THE AREA OF SWM TRENCH #2 (DURING MASS GRADING PHASE I)
8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORK DAY, WHICHEVER IS SHORTER.

VEGETATIVE STABILIZATION PERMANENT AND TEMPORARY SEEDING, SODDING AND MULCHING

- I. SITE PREPARATION - PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN (A) SEVEN CALENDAR DAYS AS TO THE SURFACE OF ALL SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, BERMS, DIKES, GRASSED WATERWAYS, SEDIMENT BASINS, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND (B) FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- II. SEEDBED PREPARATION AND SEEDING APPLICATION - THE TOP LAYER OF SOIL SHALL BE LOOSENEED, LIMED AND FERTILIZED BY RAKING, DISCING OR HARROWING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING. FLAT AREAS AND SLOPES UP TO 3:1 GRADE SHALL BE LOOSE AND FRAGILE TO A DEPTH OF AT LEAST 3 INCHES. SLOPES STEEPER THAN 3:1 SHALL HAVE THE TOP 1-3 INCHES OF SOIL LOOSE AND FRAGILE BEFORE SEEDING. APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL CULTIPACKER, SEEDER OR HYDROSEEDER ON A FIRM, MOIST SEEDBED.
- III. SOIL AMENDMENTS - LIME AND FERTILIZE ACCORDING TO SOIL TESTS. IN LIEU OF SOIL TEST APPLY THE FOLLOWING: DOLOMITIC LIMESTONE: 2 TONS PER ACRE OR 92 LBS/1000 SQ. FT. (PERMANENT AND SODDING) 1 TON PER ACRE OR 46 LBS/1000 SQ. FT. (TEMPORARY) FERTILIZER: 10-10-10 OR EQUIVALENT AT 1000 LBS/ACRE OR 23 LBS/1000 SQ. FT. (PERMANENT AND SODDING) 10-10-10 OR EQUIVALENT AT 500 LBS/ACRE OR 15 LBS/1000 SQ. FT. (TEMPORARY)
- IV. SEDIMENT CONTROL PRACTICES SEEDING  
 SEED: KENTUCKY 31 TALL FESCUE 60 LBS/ACRE OR 1.38 LBS/1000 SQ. FT. AND ITALIAN (ANNUAL) RYEGRASS 40 LBS/ACRE OR 92 LBS/1000 SQ. FT.  
 DATES: 2/1-10/31, 5/1-8/14 WITH IRRIGATION
- V. TEMPORARY SEEDING - PER GROWTH SEASON  
 SEED: ITALIAN OR PERENNIAL RYEGRASS 40 LBS/ACRE OR .92 LBS/1000 SQ. FT.  
 DATES: 2/1-4/30 AND 8/15-11/30  
 SEED: WILLET 40 LBS/ACRE OR .92 LBS/1000 SQ. FT.  
 DATES: 5/1-8/14
- VI. PERMANENT SEEDING  
 A. RESIDENTIAL AND HIGH MAINTENANCE AREAS  
 1. KENTUCKY BLUEGRASS, FLUSH, BERKA, PARAGE, VANTAGE, COLUMBIA, MERION, ADELPHI, SOUTH DAKOTA, KENBLUE. ANY THREE VARIETIES AT 30 LBS TO MAKE 90 LBS/ACRE OR 2 LBS/1000 SQ. FT. AND RED FESCUE, PENLAWN OR JAMESTOWN 10 LBS/1000 SQ. FT.  
 DATES: 2/1-4/30 AND 8/15-10/31  
 2. KENTUCKY 31 TALL FESCUE - 220/260 LBS/ACRE OR 5-6 LBS/1000 SQ. FT.  
 DATES: 2/1-10/31, 5/1-8/14 IRRIGATION REQUIRED.  
 B. LOW MAINTENANCE AND MISC. AREAS - KENTUCKY 31 TALL FESCUE 40 LBS/ACRE OR .92 LBS/1000 SQ. FT. AND INTERSTATE SPIRITSEED (HULLATED) 20 LBS/ACRE OR 46 LBS/1000 SQ. FT.  
 DATES: 2/1-4/30 AND 8/15-10/31  
 C. GENERAL AND LARGE ACREAGE - KENTUCKY 31 TALL FESCUE 60 LBS/ACRE OR 1.38 LBS/1000 SQ. FT.
- VII. MULCHING - ALL SEEDINGS REQUIRE MULCHING. USE MULCH ONLY DURING NON-SEEDING DATES UNTIL SEEDING CAN BE DONE. MULCH SHALL BE UNROTTED, UNCHOPPED SMALL GRASS STRAW APPLIED AT A RATE OF 1 1/2 TO 2 TONS/ACRE OR 70-100 LBS/1000 SQ. FT. (2 BALES). MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDSEEDS AND SHALL BE FREE OF PROHIBITED NOXIOUS WEEDS. SPREAD MULCH UNIFORMLY MECHANICALLY OR BY HAND. MULCH ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER MULCH PLACEMENT TO MINIMIZE LOSS BY WATER OR WIND. THIS MAY BE DONE BY MULCH NETTING, MULCH ANCHORING TOOL, REE AND THINE OR LIQUID MULCH BINDERS. LIQUID MULCH BINDER SHALL BE RAPID CURING CUTBACK ASPHALT APPLIED AT A RATE OF 200 GAL/ACRE OR 8 GAL/1000 SQ. FT. SLOPES 8 FEET OR MORE HIGH USE 348 GAL/ACRE OR 8 GAL/1000 SQ. FT.
- VIII. SODDING - CLASS OF TURFGRASS SOD SHALL BE MARYLAND OR VIRGINIA STATE CERTIFIED OR MARYLAND OR VIRGINIA STATE APPROVED SOD. SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD IS TO BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTOUR WITH STAGGERED JOINTS WITH ALL ENDS TIGHTLY ABUTTING AND NOT OVERLAPPING. SOD SHALL BE ROLLED AND THOROUGHLY WATERED WITHIN EIGHT HOURS OF INSTALLATION. DAILY WATERING TO MAINTAIN 4 INCH DEPTH OF MOISTURE FOR THE FIRST WEEK IS REQUIRED IN THE ABSENCE OF RAINFALL. SOD IS NOT TO BE APPLIED ON FROZEN GROUND.
- IX. MAINTENANCE  
 A. IRRIGATION - WHEN SOIL MOISTURE BECOMES DEFICIENT, IRRIGATE TO PREVENT LOSS OF STAND OR PROTECTIVE VEGETATION.  
 B. REPAIRS - IF STAND IS INADEQUATE FOR EROSION CONTROL, OVERSEED AND FERTILIZE USING HALF OF THE RATES ORIGINALLY APPLIED. IF STAND IS OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL RATES AND PROCEDURES.
- NOTE: USE OF THIS INFORMATION DOES NOT PRECLUDE MEETING ALL OF THE REQUIREMENTS OF THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL VEGETATIVE PRACTICES.

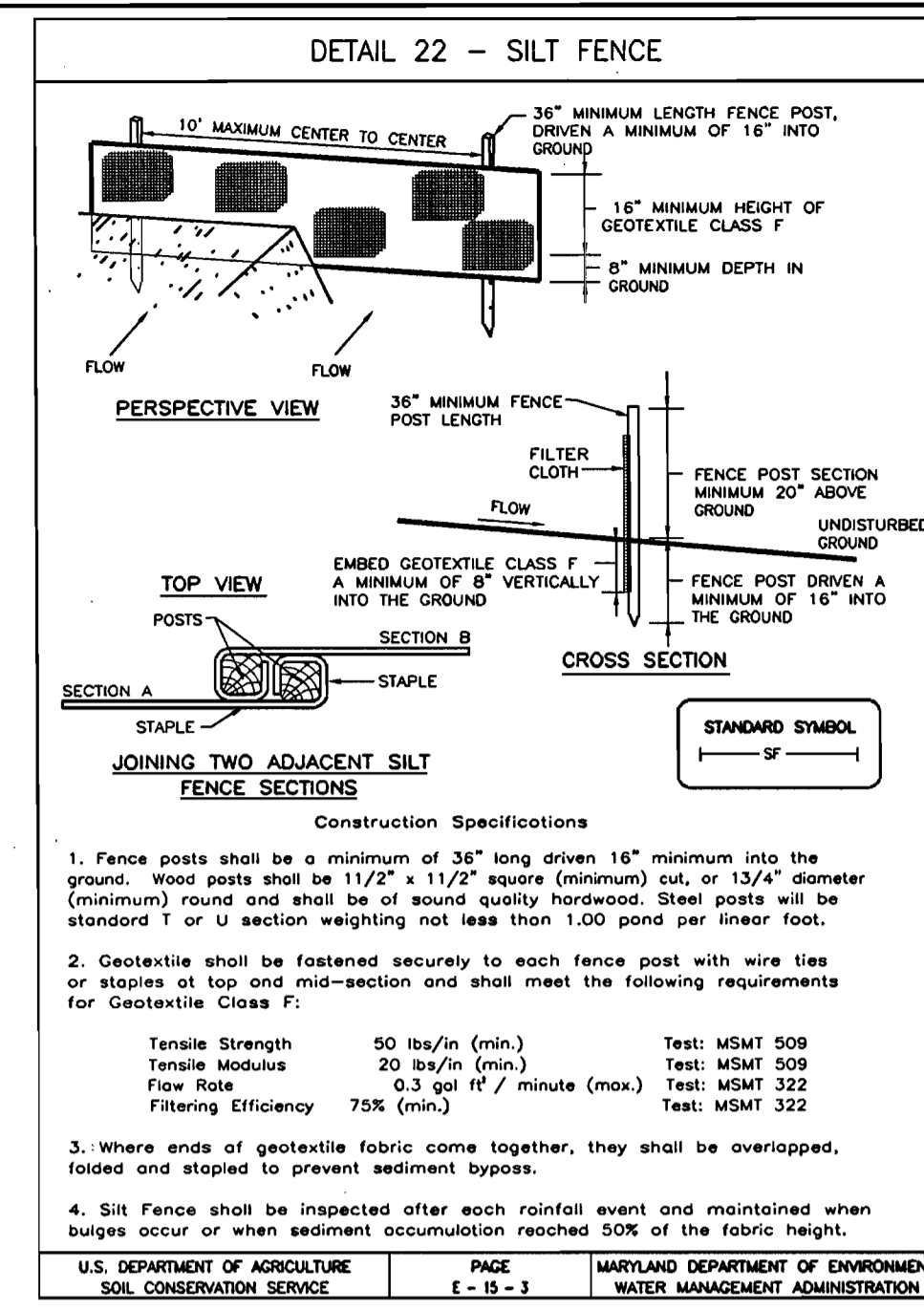
OPERATION AND MAINTENANCE SCHEDULE FOR UNDERGROUND FACILITIES

1. THE UNDERGROUND STORMWATER MANAGEMENT FACILITY IS PRIVATELY OWNED AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO PERIODICALLY INSPECT AND CLEAN THE FACILITY TO MAINTAIN ITS OPERATION AND FUNCTION.
2. THE UNDERGROUND STORMWATER MANAGEMENT FACILITY SHALL BE INSPECTED YEARLY AT A MINIMUM AND ESPECIALLY SEVERE STORM EVENTS.
3. WHEN SEDIMENT ACCUMULATION OF MORE THAN 2" IS OBSERVED OR ANY DEBRIS THAT MIGHT OBSTRUCT THE OUTFLOW IS OBSERVED, THE FACILITY SHALL BE CLEANED.
4. THE FACILITY SHALL BE CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES NOTIFYING THEM OF THE SPILL AND CLEANUP OPERATION.
5. THE SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE UNDERGROUND STORMWATER MANAGEMENT FACILITY BY VACUUM TRUCK OR OTHER MANUAL MEANS. THE OWNER SHALL FOLLOW PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIAL AND LIQUID.
6. THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST EVERY SIX (6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED AND PROPERLY DISPOSED OF.

CERTIFICATION BY DEVELOPER  
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."  
 Charles Moenius, Engineering Manager 3/21/01 DATE

CERTIFICATION BY THE ENGINEER  
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."  
 John E. Harms, Jr. & Assoc., Inc. 3/21/01 DATE

DATE	No.	REVISION
OWNER: ICE CREAM PARTNERS, USA LLC. 9090 WHISKEY BOTTOM ROAD LAUREL, MARYLAND 20725 (301) 317-3734 ATTN: CHARLES MOENIUS		
PROJECT: ICE CREAM PARTNERS, USA LLC. PLANT EXPANSION PHASE I AND II		
"THE SOUTHLAND CORPORATION PROPERTY" PARCEL A TAX MAP NO. 50, PARCEL 509 6th ELECTION DISTRICT		
AREA: TAX MAP NO. 50, BLK. 5, PARCEL 509 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND CENSUS TRACT NO. 6063 WATER CODE C-04 AND SEWER CODE 71-00800		
TITLE: SEDIMENT AND EROSION CONTROL NOTES/ DEMOLITION PLAN VIEWS		
<b>HARMS</b>		
ENGINEERS • PLANNERS • SURVEYORS P.O. Box 5, Potosdeno, MD 21123 Office: 410-647-6000 FAX: 410-544-8508		
DRAWN BY: C.M.		
DESIGNED BY: J.J.B.		
CHECKED BY: J.J.B.		
PROJECT No.: 04-00-005A		
DATE: OCTOBER, 2000		
SCALE: AS SHOWN		
DRAWING No. 7 OF 18		

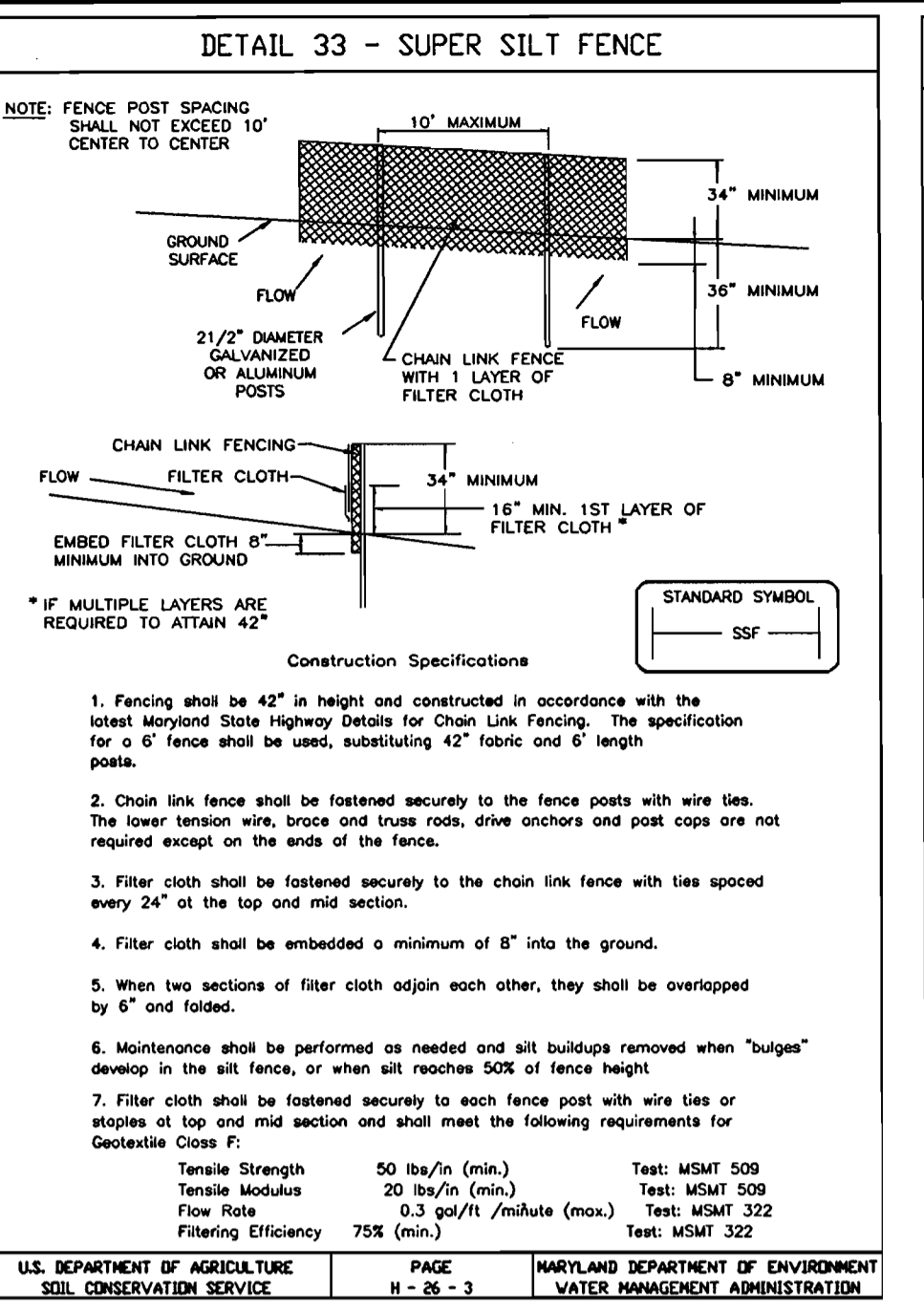
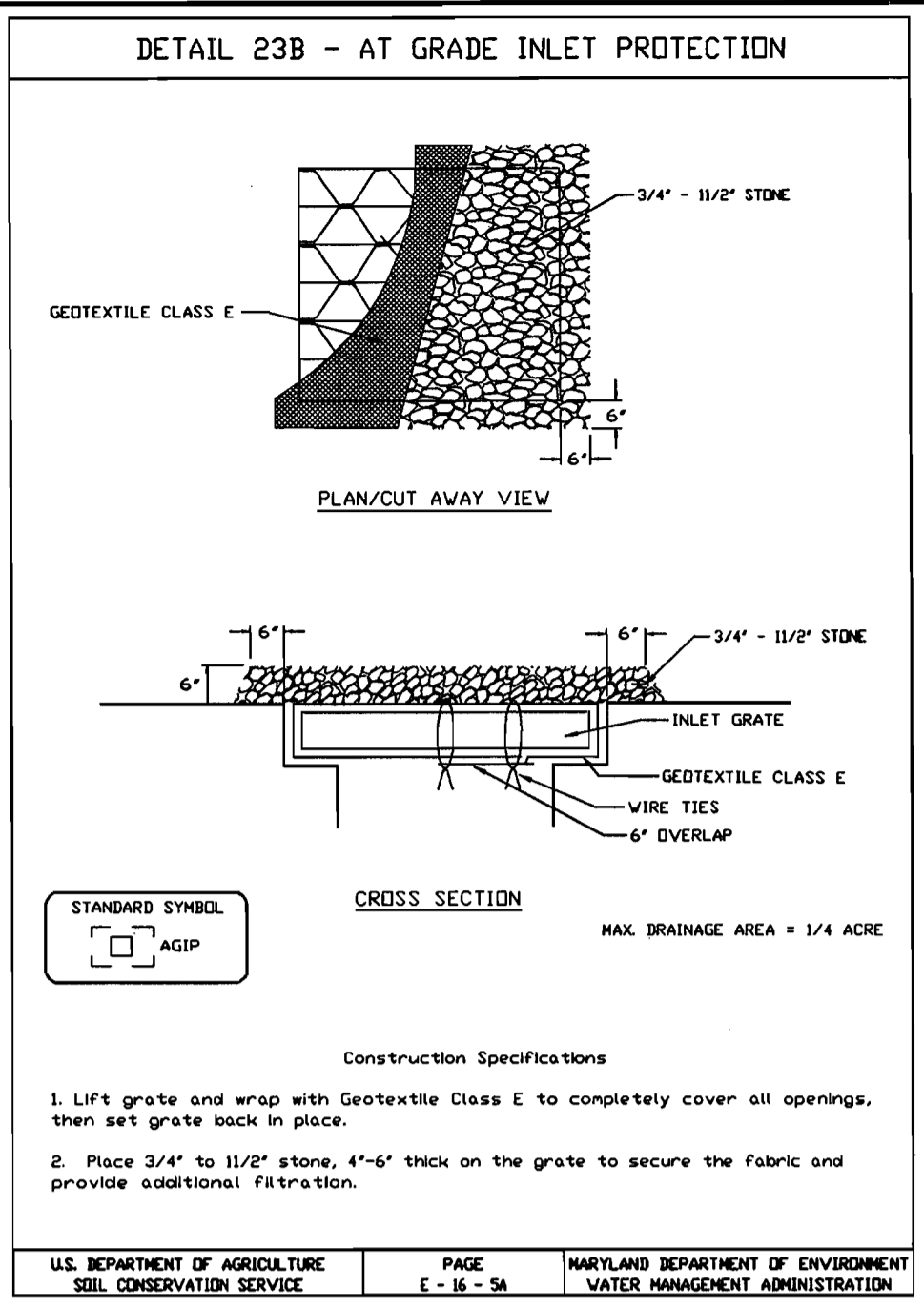


### SILT FENCE

Silt Fence Design Criteria

Slope Steepness	Slope Length (Maximum)	Silt Fence Length (Maximum)
Flatter than 50:1	Unlimited	Unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

Note: In areas of less than 2% slope and sandy soils USDA general classification system, soil Class A maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.



### SUPER SILT FENCE

Design Criteria

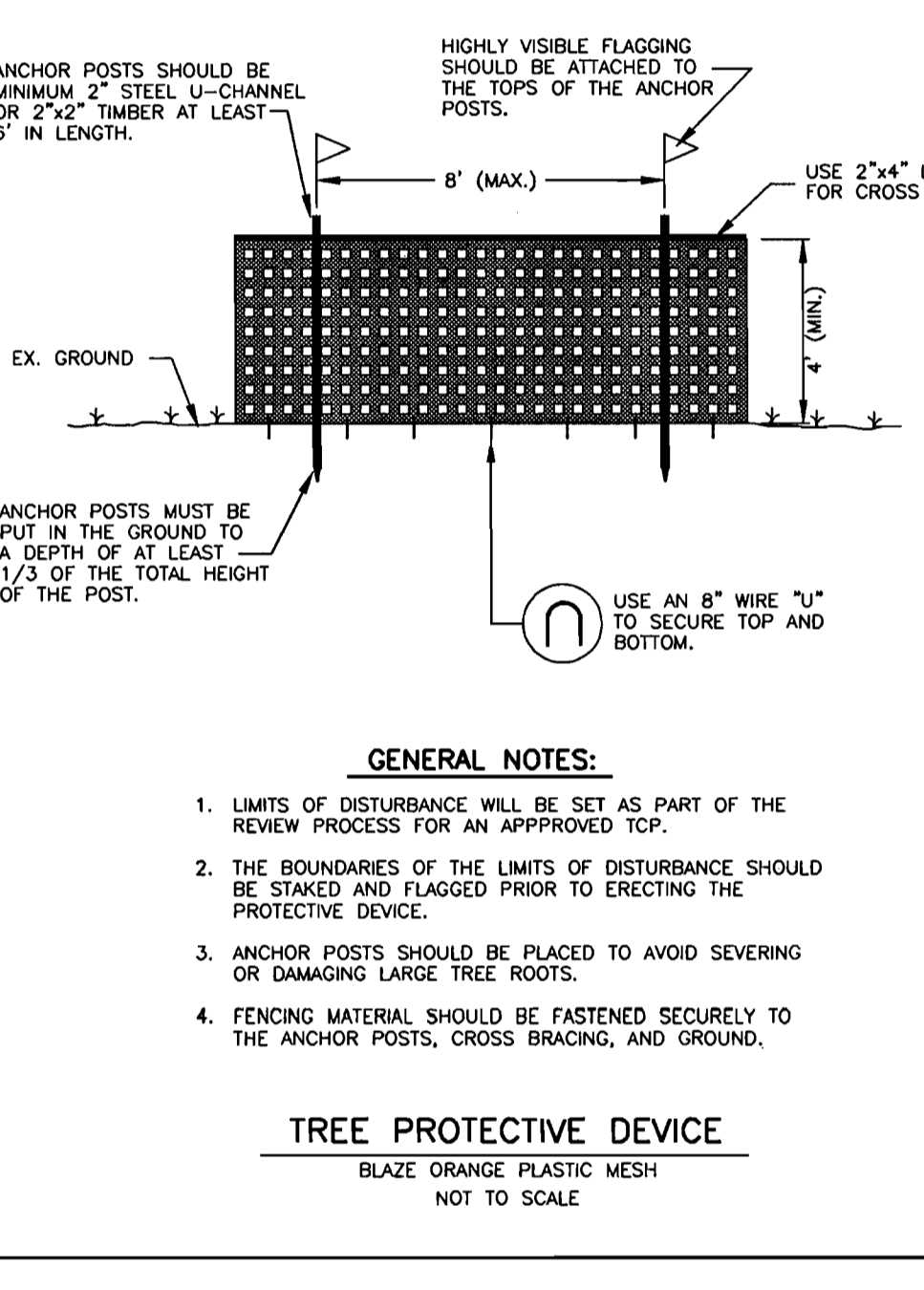
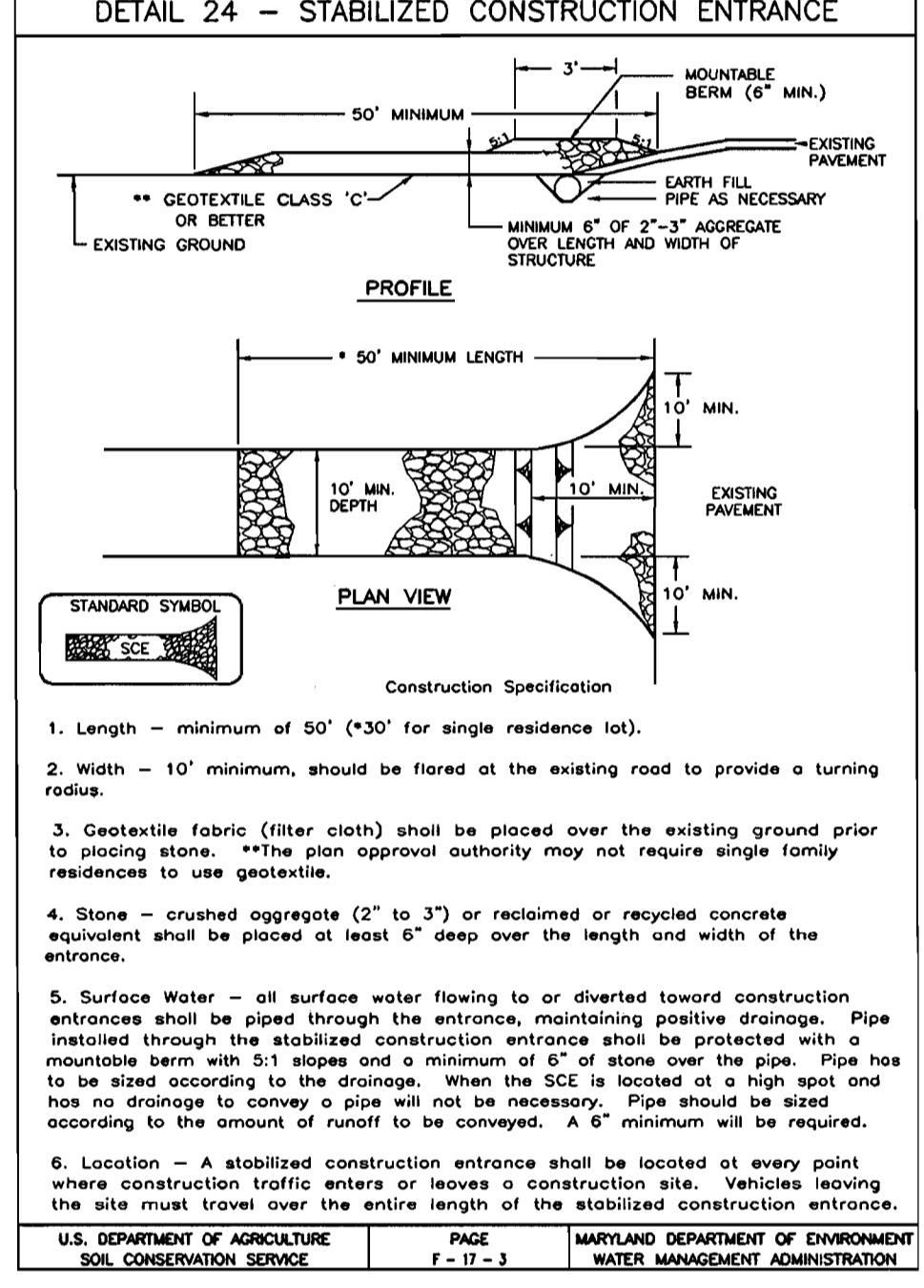
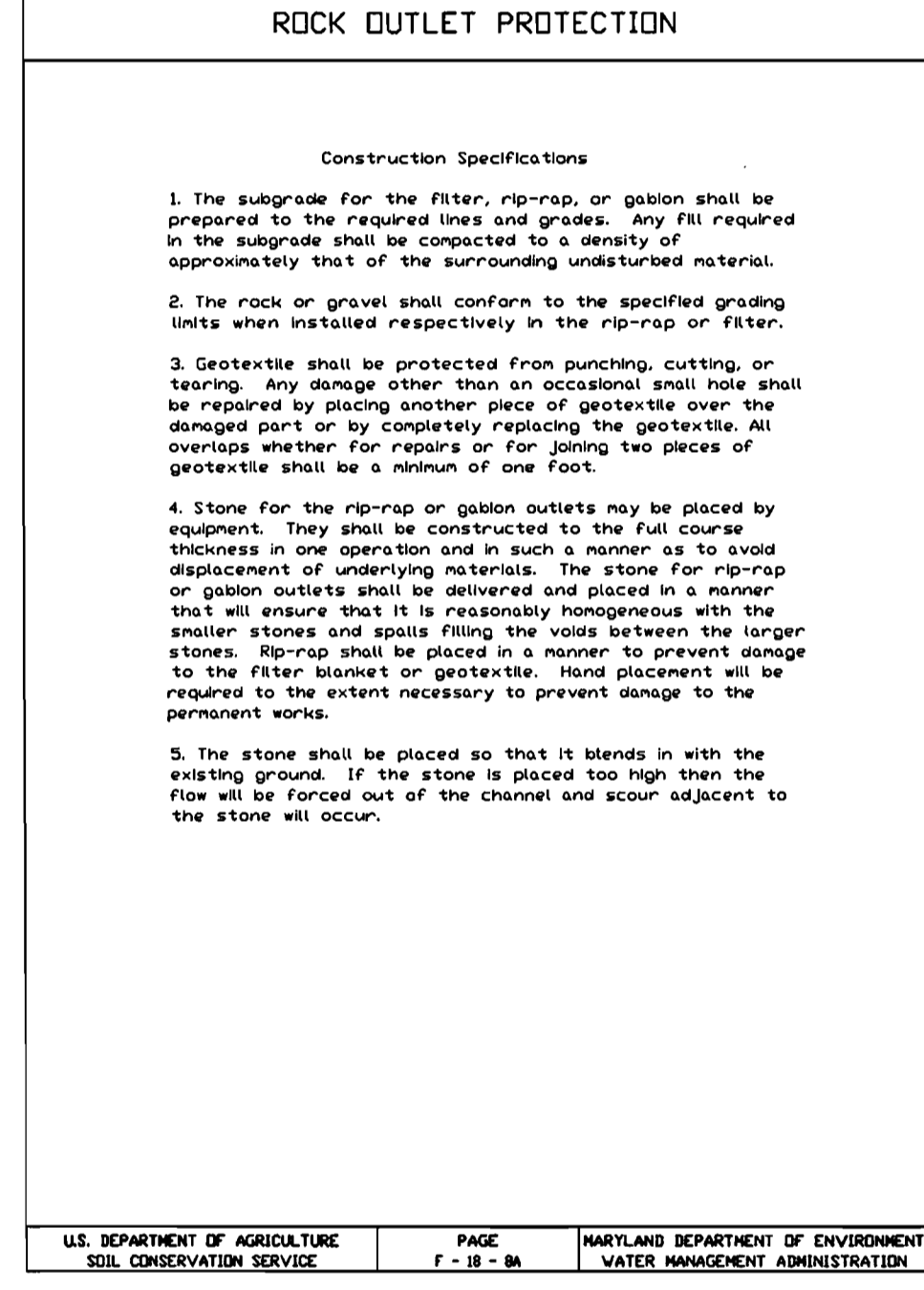
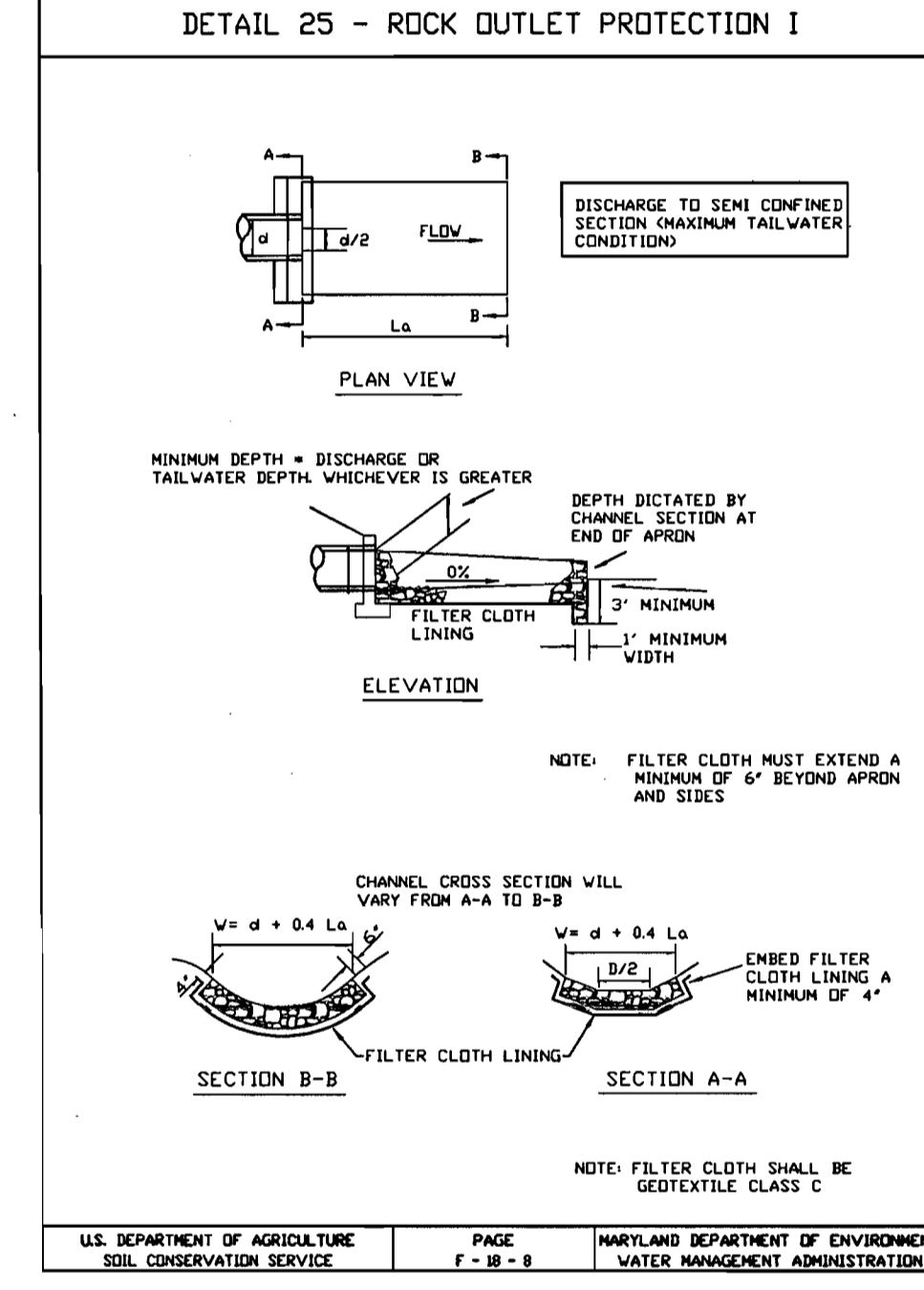
Slope	Slope Steepness	Slope Length (Maximum)	Silt Fence Length (Maximum)
0 - 10%	0 - 10:1	Unlimited	Unlimited
10 - 20%	10:1 - 5:1	200 feet	1,500 feet
20 - 33%	5:1 - 3:1	100 feet	1,000 feet
33 - 50%	3:1 - 2:1	100 feet	500 feet
50% +	2:1 +	50 feet	250 feet

### FIGURE 2.18 CHANNELIZATION OF COMMERCIAL ENTRANCES

3-CENTERED CURVE DATA

DESIGN VEHICLE	RAISE OF FLOW	MINIMUM CURVE RADIUS (ft.)	MINIMUM CURVE LENGTH (ft.)	MINIMUM CURVE WIDTH (ft.)	MINIMUM CURVE DEPTH (ft.)
P	75	85	100	25	100
BU	75	55	120	45	120
WB	75	80	120	45	120

Legend: P - PROBABLE VEHICLE, BU - BUSINESS UNIT TRUCK AND TRAILER, WB - TRUCK-TRAILER COMBINATION.



### SOIL BORING LOG

PROJECT NAME: ICE CREAM PARTNERS PLANT EXPANSION  
LOCATION: HOWARD COUNTY, MARYLAND

SOIL DESCRIPTION	DEPTH (ft.)	DIAMETER (in.)	REMARKS
GRAVEL, SAND, SILT, CLAY, LITTLE FINE SAND	0.0 - 2.0	12"	3" TOPSOIL
TAN, MOIST, HARD, SILTY CLAY, LITTLE FINE SAND	2.0 - 4.0	12"	CAVED IN AT 12.5' AT COMPLETION
BROWN AND TAN, MOIST, MEDIUM DRAINAGE, MEDIUM SAND, TRACE CLAY AND CLAY INCLUSIONS	4.0 - 7.0	12"	CAVED IN AT 9.0' AFTER 24 HRS.
DRY, CLAY, MEDIUM DRAINAGE, MEDIUM SAND, TRACE CLAY	7.0 - 10.0	12"	CAVED IN AT 11.5' AFTER 24 HRS.
DRY, CLAY, MEDIUM DRAINAGE, MEDIUM SAND, TRACE CLAY	10.0 - 12.0	12"	CAVED IN AT 11.5' AFTER 24 HRS.
TAN, MOIST, HARD, SILTY CLAY, LITTLE FINE SAND	12.0 - 15.0	12"	
TAN, MOIST, HARD, SILTY CLAY, LITTLE FINE SAND	15.0 - 17.5	12"	
TAN, MOIST, HARD, SILTY CLAY, LITTLE FINE SAND	17.5 - 20.0	12"	

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

*Diene J. Matynak M.D.* 5/18/01  
COUNTY HEALTH OFFICER DATE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

*Jim Mayes* 5/18/01  
NATURAL RESOURCES CONSERVATION SERVICES DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY HOWARD SOIL CONSERVATION DISTRICT.

*John Robertson* 5/18/01  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*John Robertson* 5/21/01  
DIRECTOR DATE

*John Robertson* 5/14/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*David Bernadichowski* 5/21/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

### SOIL BORING LOG

PROJECT NAME: ICE CREAM PARTNERS PLANT EXPANSION  
LOCATION: HOWARD COUNTY, MARYLAND

SOIL DESCRIPTION	DEPTH (ft.)	DIAMETER (in.)	REMARKS
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BROWN AND TAN, MOIST, MEDIUM DRAINAGE, MEDIUM SAND, TRACE CLAY AND CLAY INCLUSIONS	4.0 - 7.0	12"	CAVED IN AT 9.0' AFTER 24 HRS.
DRY, CLAY, MEDIUM DRAINAGE, MEDIUM SAND, TRACE CLAY	7.0 - 10.0	12"	CAVED IN AT 11.5' AFTER 24 HRS.
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### SOIL BORING LOG

PROJECT NAME: ICE CREAM PARTNERS PLANT EXPANSION  
LOCATION: HOWARD COUNTY, MARYLAND

SOIL DESCRIPTION	DEPTH (ft.)	DIAMETER (in.)	REMARKS
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BROWN AND TAN, MOIST, MEDIUM DRAINAGE, MEDIUM SAND, TRACE CLAY AND CLAY INCLUSIONS	4.0 - 7.0	12"	CAVED IN AT 9.0' AFTER 24 HRS.
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TAN, MOIST, HARD, SILTY CLAY, LITTLE FINE SAND	17.5 - 20.0	12"	

CERTIFICATION BY DEVELOPER

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."

*John E. Harms, Jr.* 5/18/01  
CHARLES E. HARMUS, ENGINEERING MANAGER DATE

CERTIFICATION BY THE ENGINEER

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

*John E. Harms, Jr.* 3/27/01  
SIGNATURE - JOHN E. HARMUS, JR. & ASSOC., INC. DATE

CERTIFICATION BY THE ENGINEER

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

*John E. Harms, Jr.* 3/27/01  
SIGNATURE - JOHN E. HARMUS, JR. & ASSOC., INC. DATE

OWNER: ICE CREAM PARTNERS, USA LLC.  
9090 WHISKEY BOTTOM ROAD  
LAUREL, MARYLAND 20725  
(301) 317-3734  
ATTN: CHARLES MOENIUS

PROJECT: ICE CREAM PARTNERS, USA LLC.  
PLANT EXPANSION PHASE I AND II

"THE SOUTHLAND CORPORATION PROPERTY" PARCEL A  
TAX MAP No. 50, PARCEL 509 6TH ELECTION DISTRICT

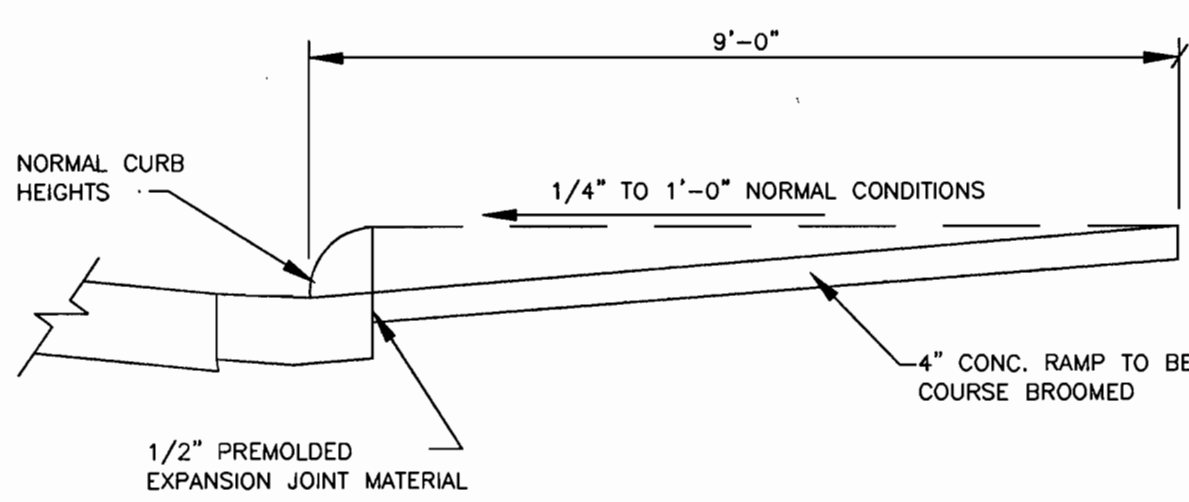
AREA: TAX MAP No. 50, BLK. 5, PARCEL 509  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
CENSUS TRACT No. 6063  
WATER CODE C-04 AND SEWER CODE 71-00800

TITLE: SEDIMENT AND EROSION CONTROL DETAILS/SOIL BORING LOGS

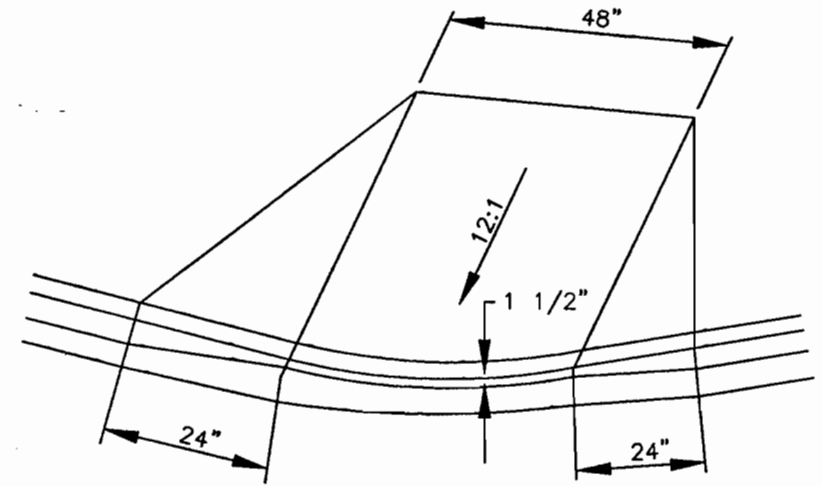
**HARMS**  
ENGINEERS • PLANNERS • SURVEYORS  
P.O. Box 5, Pasadena, MD 21123  
Office: 410-647-6000 FAX: 410-544-8508

DRAWN BY: C.M.  
DESIGNED BY: J.J.B.  
CHECKED BY: J.J.B.  
PROJECT No.: 04-00-005A  
DATE: OCTOBER, 2000  
SCALE: AS SHOWN  
DRAWING No. 8 OF 18

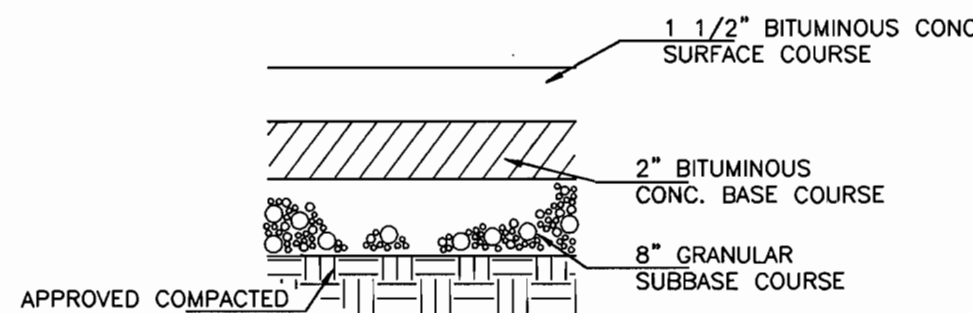




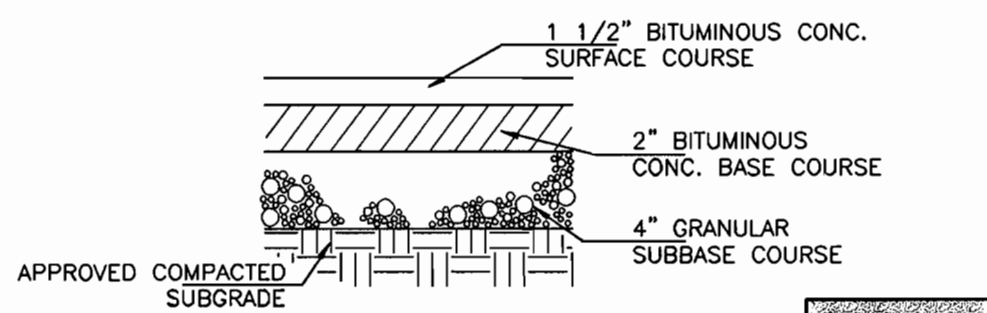
SLOPE AS NECESSARY TO CONNECT REAR EDGE OF SIDEWALK TO GUTTER.



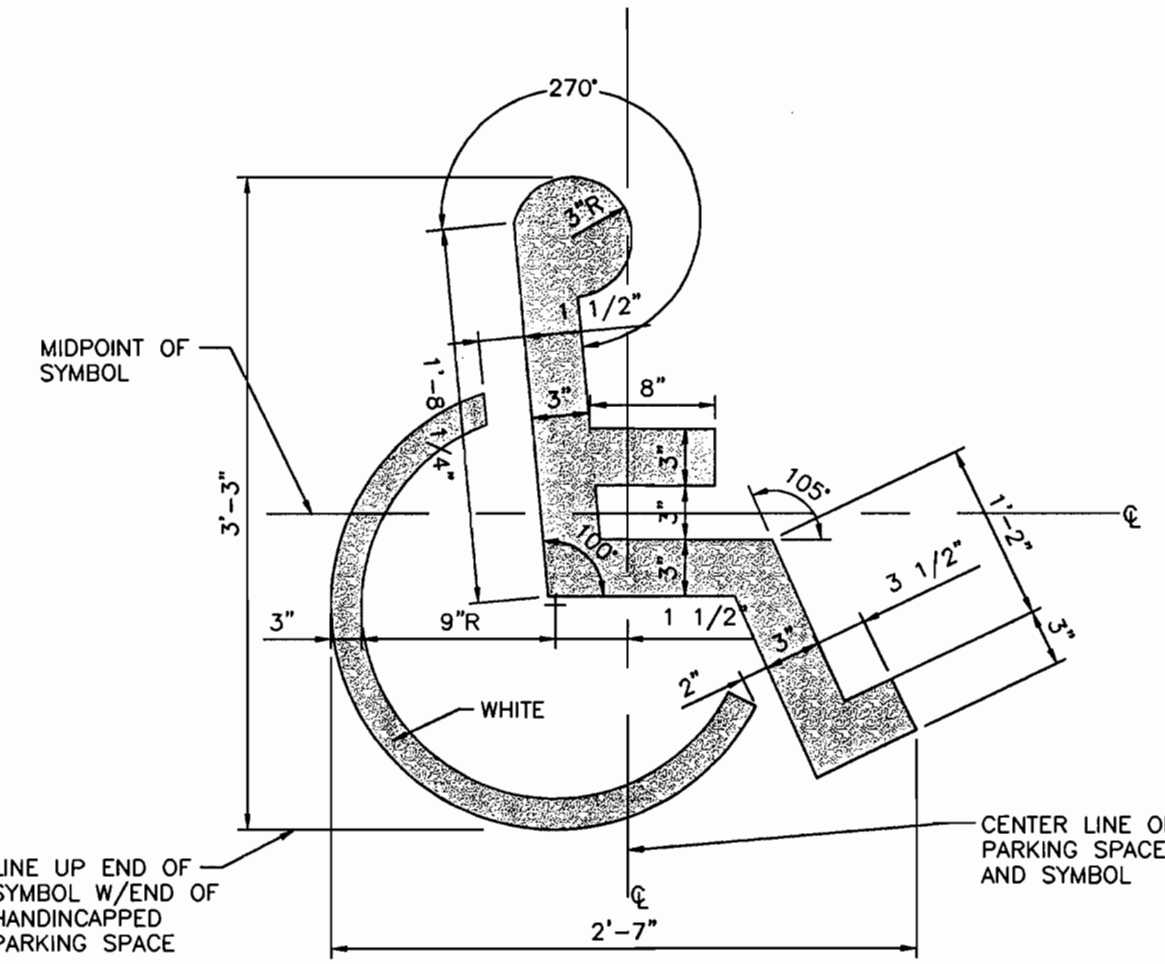
**HANDICAPPED RAMP**  
HO. CO. DETAIL R-4.02  
NOT TO SCALE



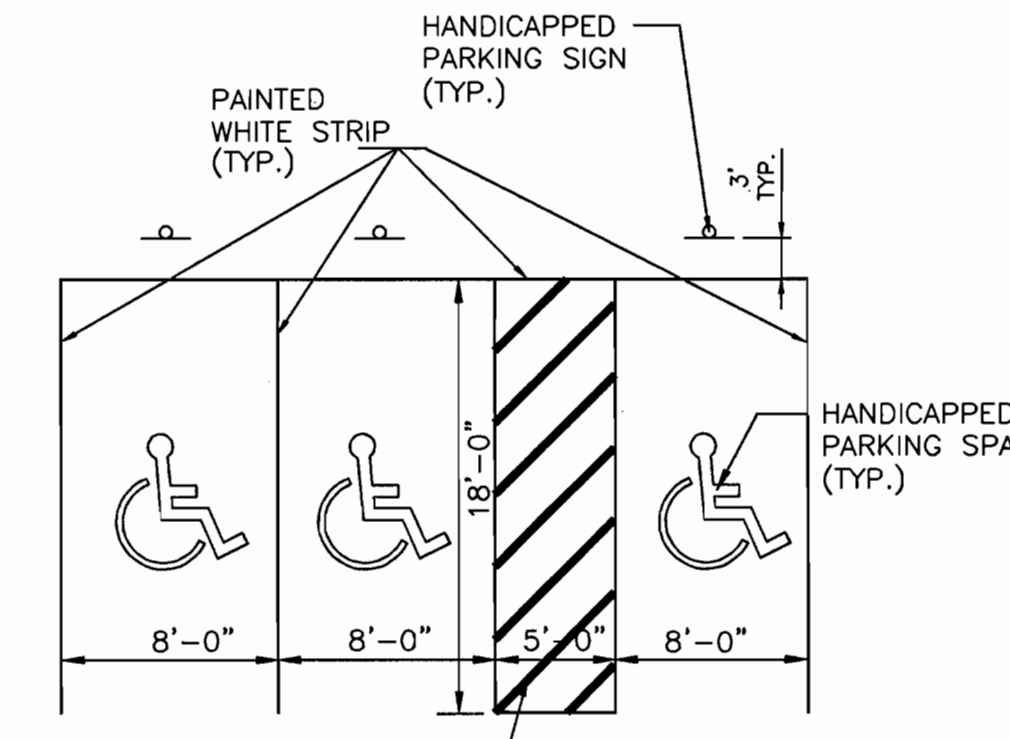
**HEAVY DUTY PAVING SECTION**  
**TRUCK TRAVEL LANES**  
NOT TO SCALE  
(SEE PLAN SHEET 4 OF 16)



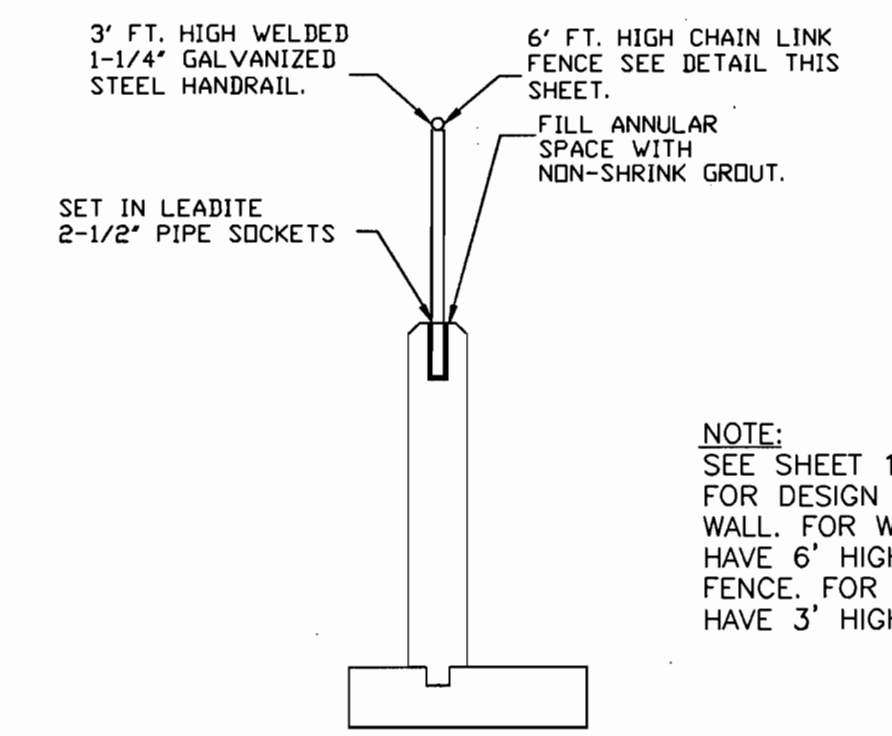
**PAVING SECTION PARKING LOTS**  
NOT TO SCALE  
(SEE PLAN SHEET 4 OF 16)



**HANDICAPPED ACCESS STENCIL LAYOUT**  
N.T.S.

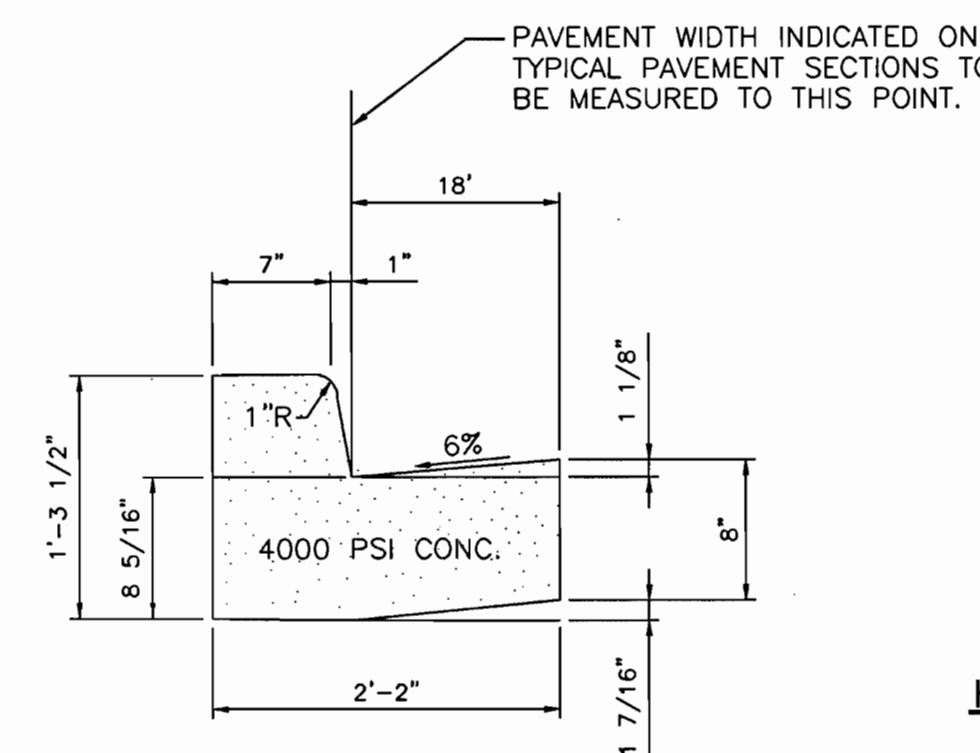


**PARKING SPACE DETAIL**  
N.T.S.

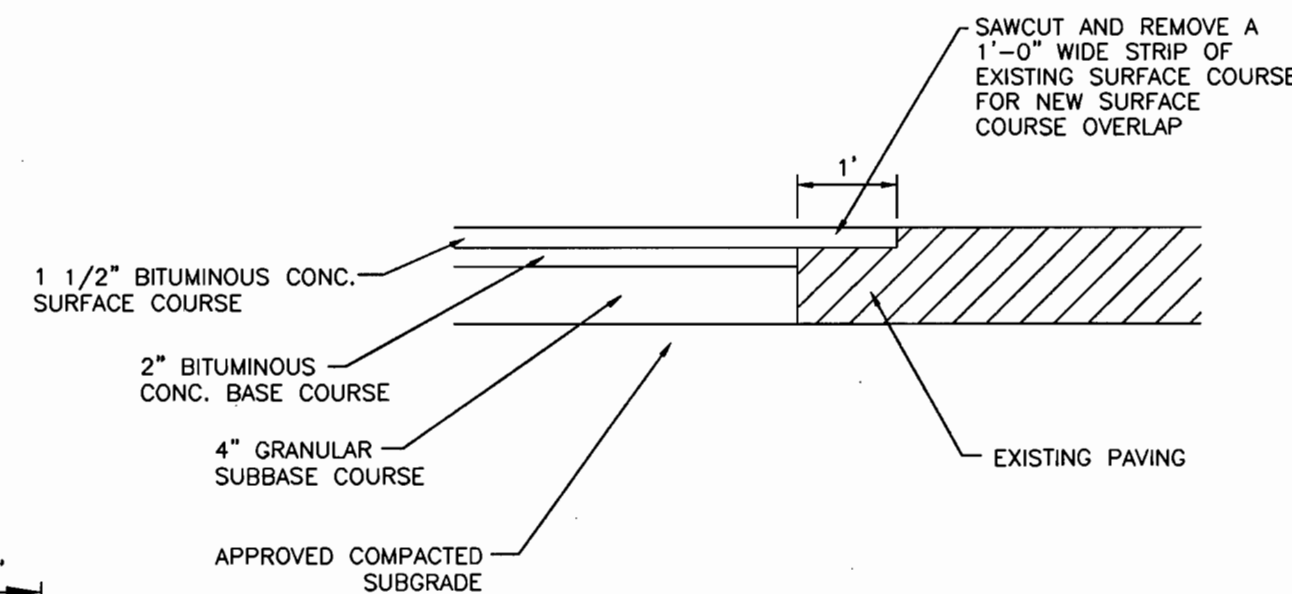


**TYPICAL SECTION W/CHAIN LINK FENCE OR HANDRAIL**  
NOT TO SCALE

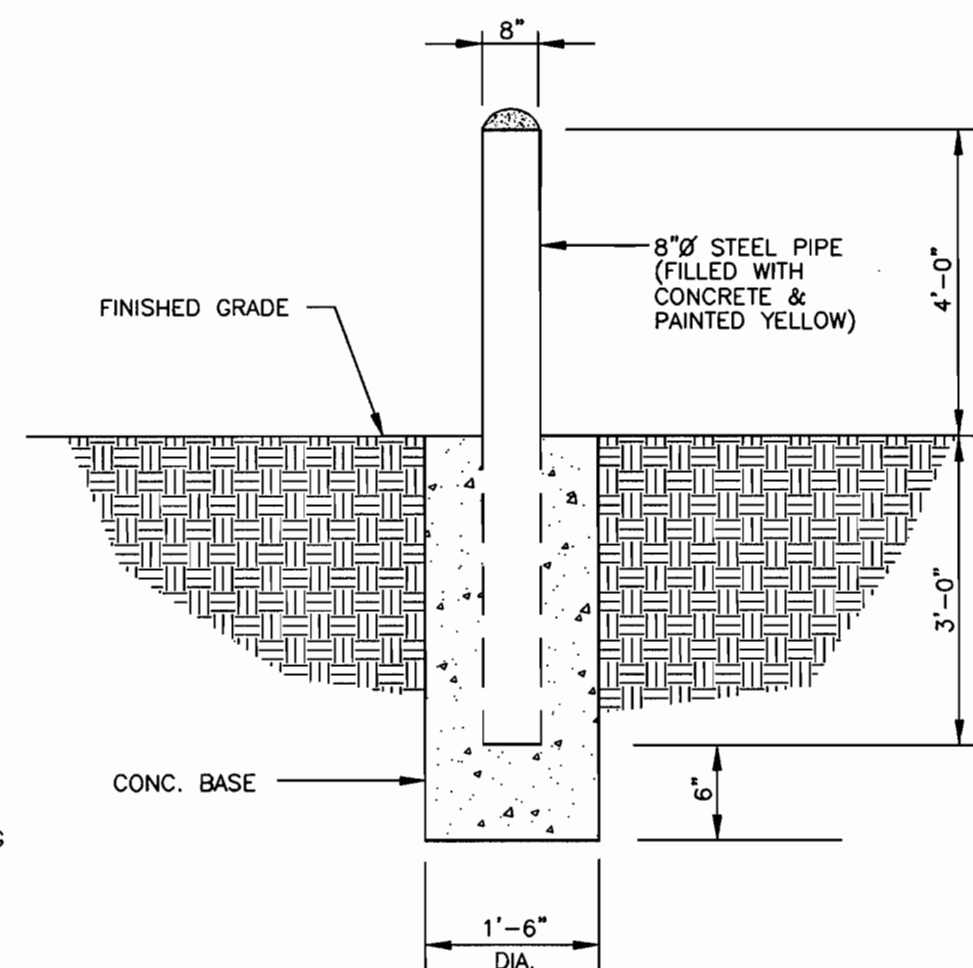
NOTE:  
SEE SHEET 15 1ND 16  
FOR DESIGN OF RETAINING  
WALL. FOR WALL 'C' TO  
HAVE 6' HIGH CHAIN LINK  
FENCE. FOR WALL 'D' TO  
HAVE 3' HIGH HANDRAIL.



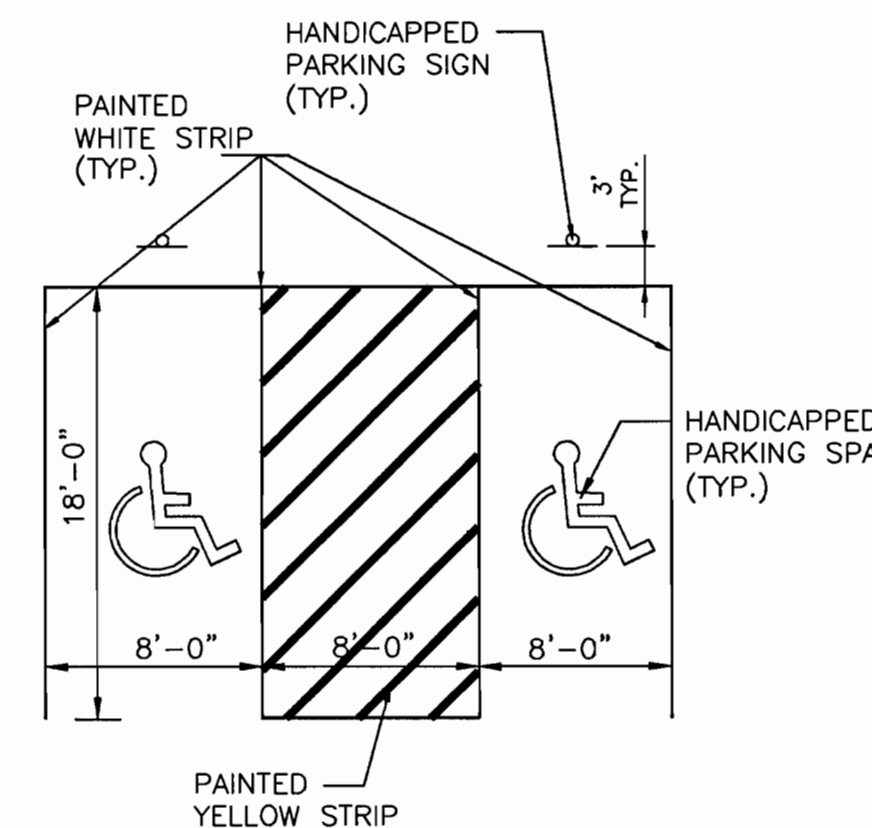
**CONCRETE SIDEWALK**  
HO. CO. DETAIL R-3.05  
NOT TO SCALE



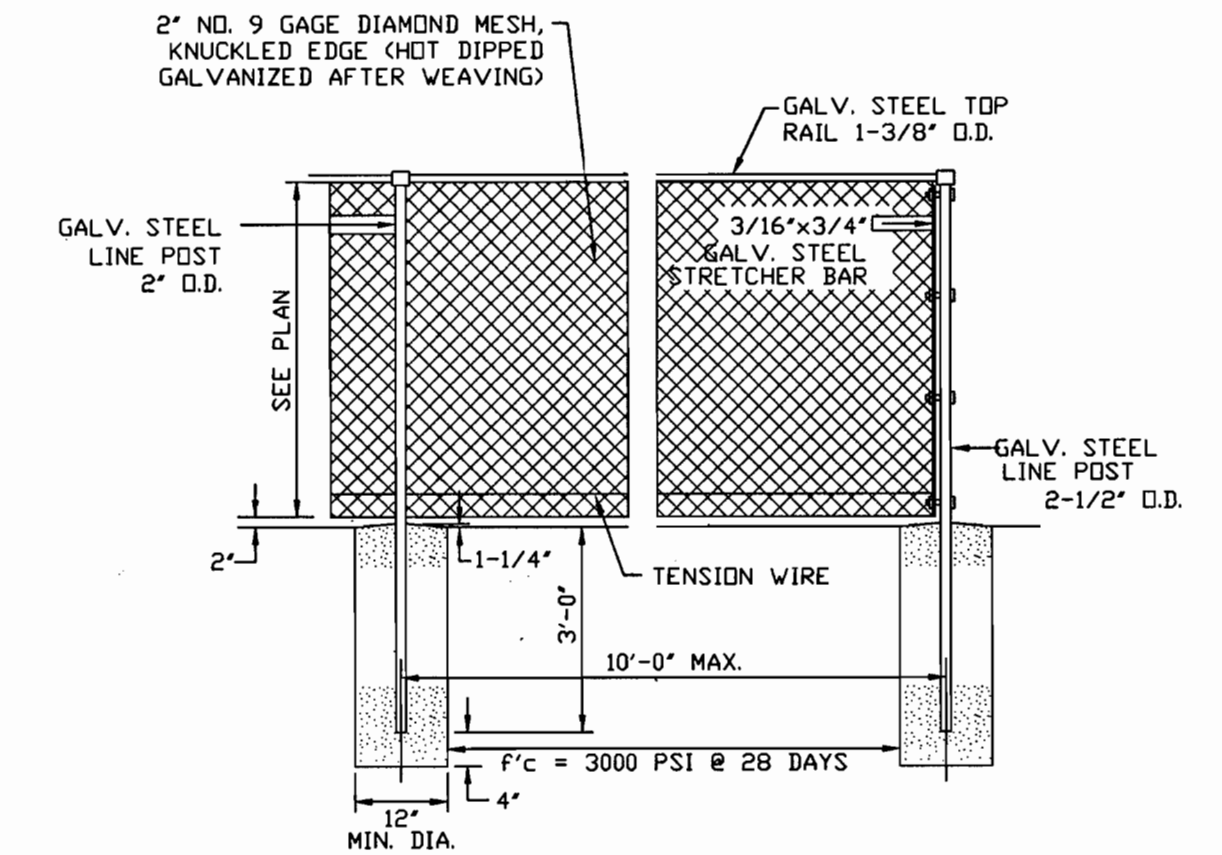
**TRANSITION NEW PAVING (PARKING LOT) TO EXISTING PAVING**  
NOT TO SCALE



**BOLLARD DETAIL**  
NOT TO SCALE



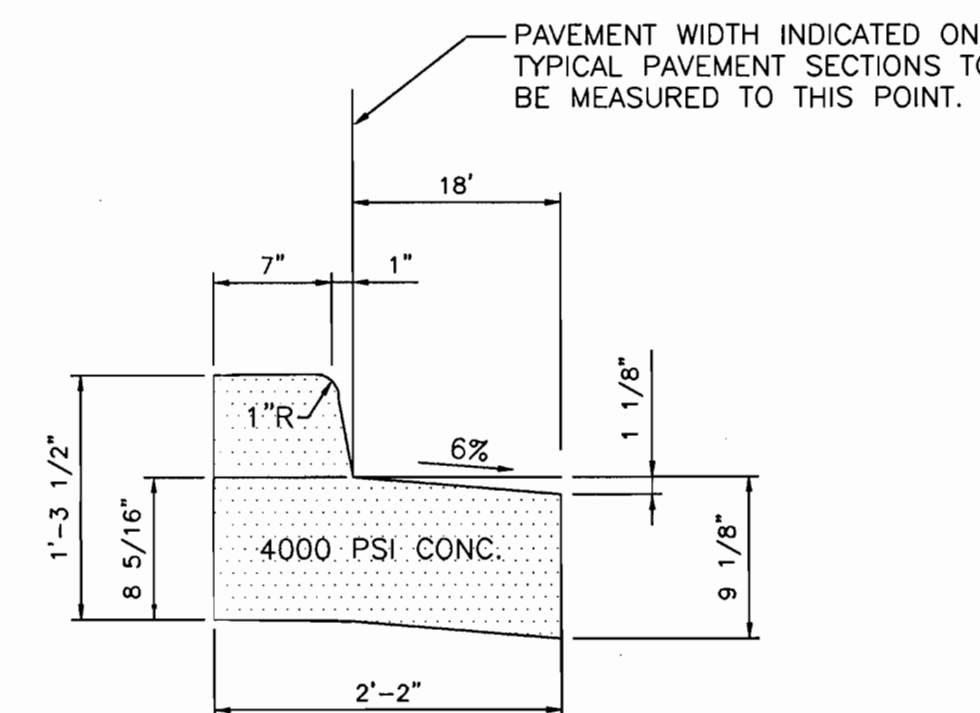
**VAN ACCESSIBLE SPACE DETAIL**  
N.T.S.



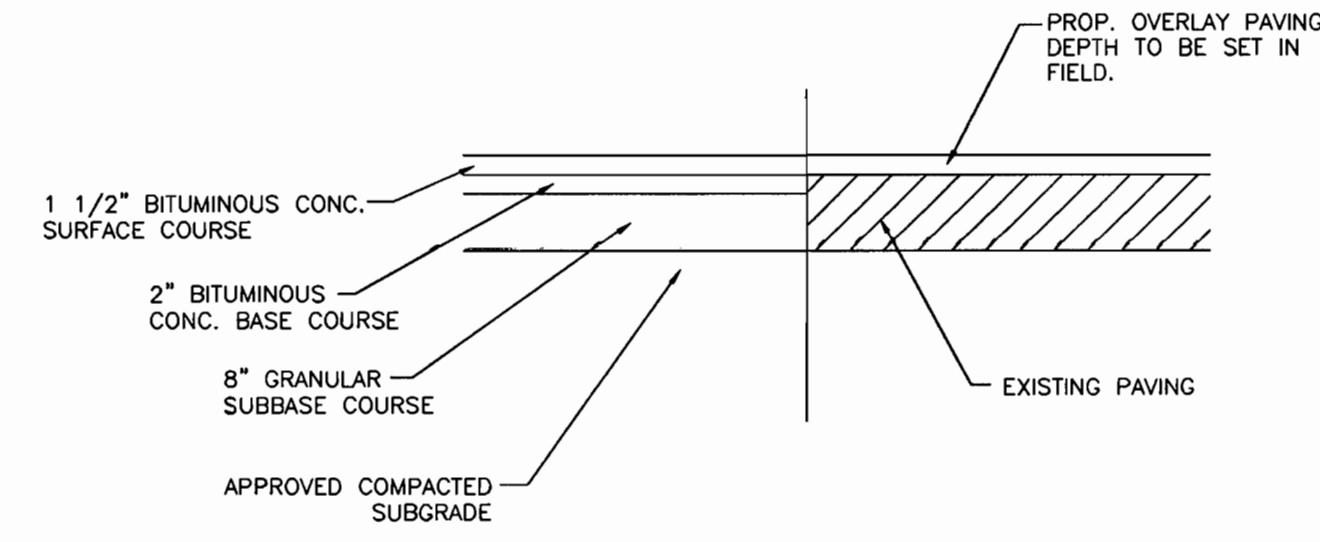
NOTE:  
GALVANIZING TO BE DONE IN ACCORDANCE WITH AASHO M-181.

**CHAIN LINK FENCE DETAIL**  
NOT TO SCALE

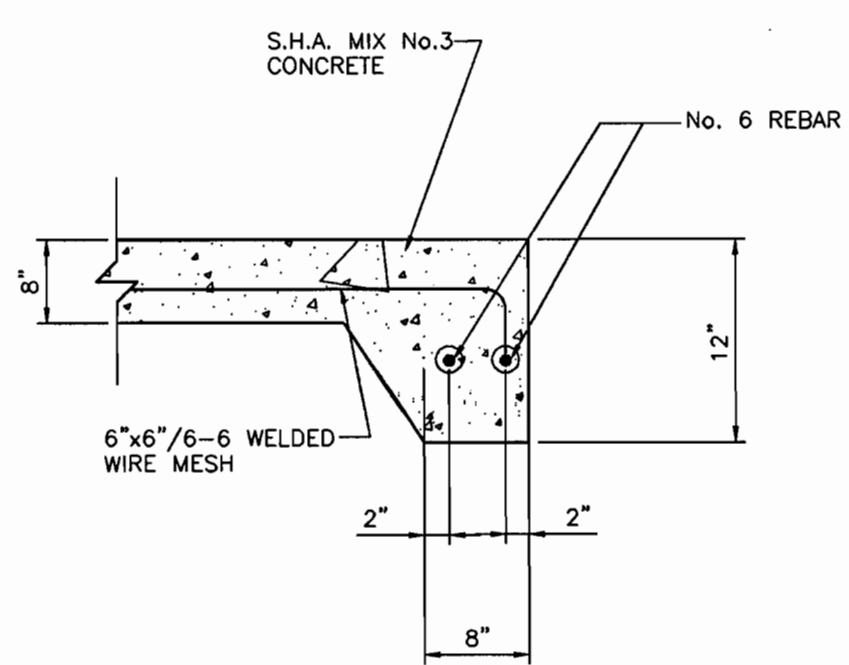
**CONCRETE COMBINATION CURB & GUTTER**  
HO. CO. DETAIL R-3.01  
NOT TO SCALE



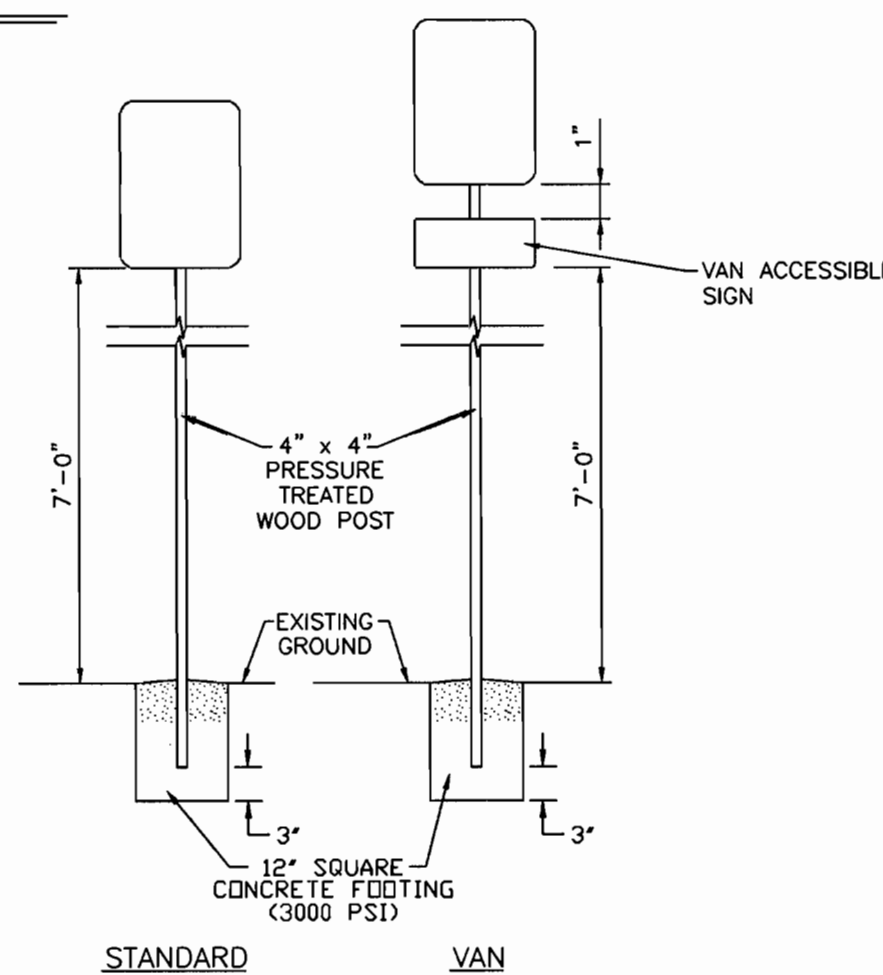
**CONCRETE COMBINATION REVERSE CURB & GUTTER**  
HO. CO. DETAIL R-3.01  
NOT TO SCALE



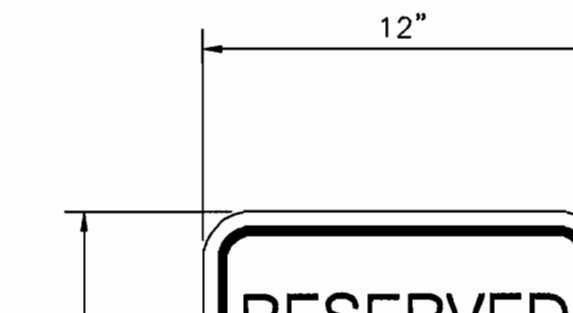
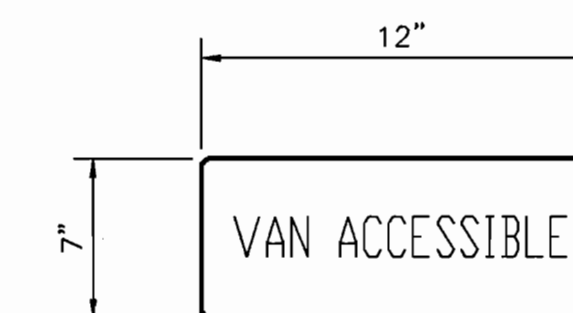
**TRANSITION NEW PAVING (HEAVY DUTY) TO EXISTING PAVING WITH OVERLAY PAVING**  
NOT TO SCALE



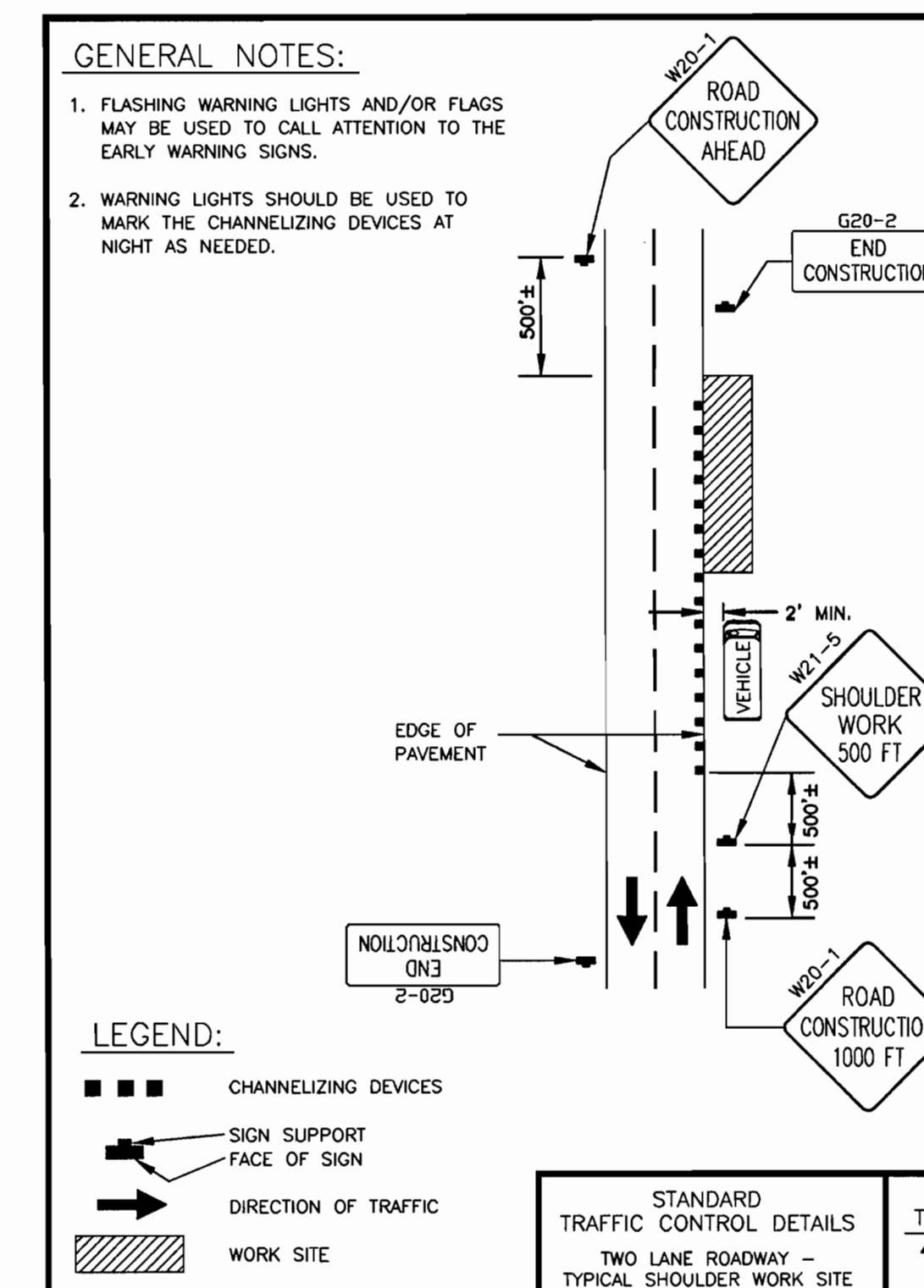
**LOADING DOCK PAD**  
NOT TO SCALE



**HANDICAPPED SIGN AND POST DETAIL**  
NOT TO SCALE



**HANDICAPPED SIGN DETAIL**  
N.T.S.



**GENERAL NOTES:**

- FLASHING WARNING LIGHTS AND/OR FLAGS MAY BE USED TO CALL ATTENTION TO THE EARLY WARNING SIGNS.
- WARNING LIGHTS SHOULD BE USED TO MARK THE CHANNELIZING DEVICES AT NIGHT AS NEEDED.

**LEGEND:**

- CHANNELIZING DEVICES
- SIGN SUPPORT FACE OF SIGN
- DIRECTION OF TRAFFIC
- WORK SITE

NOTE:  
CONTRACTOR TO USE TRAFFIC CONTROLS DURING CONSTRUCTION OF REVISED ENTRANCE LOCATED AT THE NORTHWEST CORNER OF PROPERTY.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS	
HOWARD COUNTY HEALTH DEPARTMENT	
<i>Deirdre J. Matlock M.D.</i>	5/18/01
COUNTY HEALTH OFFICER	DATE
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	
<i>Paul R. Butler</i>	5/21/01
DIRECTOR	DATE
<i>Mike Damann</i>	5/14/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>Sherrill Bernadette</i>	5/21/01
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE

DATE	No.	REVISION
OWNER: ICE CREAM PARTNERS, USA LLC. 9090 WHISKEY BOTTOM ROAD LAUREL, MARYLAND 20725 (301) 317-3734 ATTN: CHARLES MOENIUS		
PROJECT: ICE CREAM PARTNERS, USA LLC. PLANT EXPANSION PHASE I AND II		
"THE SOUTHLAND CORPORATION PROPERTY" PARCEL A TAX MAP No. 50, PARCEL 509 6th ELECTION DISTRICT		
AREA: TAX MAP No. 50, BLK. 5, PARCEL 509 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND CENSUS TRACT No. 6063		
WATER CODE C-04 AND SEWER CODE 71-00800		
TITLE: SITE DETAILS		
<b>HARMS</b>		
ENGINEERS • PLANNERS • SURVEYORS P.O. Box 5, Potosdena, MD 21123 Office: 410-5-6000 FAX: 410-544-8508		
DRAWN BY:	C.M.	
DESIGNED BY:	J.J.B.	
CHECKED BY:	J.J.B.	
PROJECT No.:	04-00-005A	
DATE:	OCTOBER, 2000	
SCALE:	AS SHOWN	
DRAWING No.:	9 OF 18	

**CSR** Hydro Conduit  
Stormceptor® Submerged Disc Detail

DR. BY: \_\_\_\_\_  
CK. BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: N.T.S.  
DWG.# \_\_\_\_\_

NOTE:  
1. TOP OF THE 6.0" INLET DROP PIPE TO BE SET AT ELEVATION OF THE WATER LEVEL.  
2. THE TOP OF THE WEIR TO BE LOCATED 8.0" ABOVE THE TOP OF 6.0" INLET DROP PIPE.  
3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181.

REV.	DESCRIPTION	BY	DATE

**CSR** Hydro Conduit  
STC 900 Precast Concrete Stormceptor® (900 US Gallon Capacity)

DR. BY: \_\_\_\_\_  
CK. BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: N.T.S.  
DWG.# \_\_\_\_\_

NOTE:  
1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.  
2. THE COVER SHOULD BE POSITIONED OVER THE OUTLET DROP PIPE AND THE OIL CLEANOUT PIPE.  
3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181.

REV.	DESCRIPTION	BY	DATE

**CSR** Precast Concrete Stormceptor® Order Request Form  
\* TO BE INCLUDED ON SWM PLAN BY DESIGNER

**CONTRACTOR INFORMATION**

Name \_\_\_\_\_  
Address \_\_\_\_\_  
City \_\_\_\_\_  
State \_\_\_\_\_  
Zip Code \_\_\_\_\_  
Contact \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_

**OWNER INFORMATION**

Name ICE CREAM PARTNERS, USA LLC  
Phone 301-317-3734  
Fax 301-776-1353

IMPERVIOUS DRAINAGE AREA FOR THIS UNIT .075 Ac.

Stormceptor® Model	Insert Size	Manhole Number	Top Elevation (ft)
450i <input type="checkbox"/>	SINGLE INLET DISC <input checked="" type="checkbox"/>	MH-6	217.38
900 <input checked="" type="checkbox"/>	MULTIPLE INLET DISC <input type="checkbox"/>	217.38	210.04
1200 <input type="checkbox"/>	CUSTOM <input type="checkbox"/>	209.94	209.94
1800 <input type="checkbox"/>			
2400 <input type="checkbox"/>			

Project Name ICE CREAM PARTNERS, USA LLC PLANT EXPANSION, PHASE I AND II  
Approximate time frame of delivery (weeks) 4  
Delivery Address: Street 9090 WHISKEY BOTTOM ROAD  
City: LAUREL State: MARYLAND Zip Code 20725  
Designer Company JOHN E. HARMS, JR. AND ASSOCIATES, INC.  
Designer Contact JOHN BANKARD Phone 410-647-6000 Fax 410-544-8508

**CSR** HYDRO CONDUIT

PLEASE FILL OUT COMPLETELY AND FAX TO:  
ATTN: DUANE THOMAS FAX: (301)698-5351, PHONE: (301)698-7373

**CSR** Precast Concrete Stormceptor® Order Request Form  
\* TO BE INCLUDED ON SWM PLAN BY DESIGNER

**CONTRACTOR INFORMATION**

Name \_\_\_\_\_  
Address \_\_\_\_\_  
City \_\_\_\_\_  
State \_\_\_\_\_  
Zip Code \_\_\_\_\_  
Contact \_\_\_\_\_  
Phone \_\_\_\_\_  
Fax \_\_\_\_\_

**OWNER INFORMATION**

Name ICE CREAM PARTNERS, USA LLC  
Phone 301-317-3734  
Fax 301-776-1353

IMPERVIOUS DRAINAGE AREA FOR THIS UNIT .082 Ac.

Stormceptor® Model	Insert Size	Manhole Number	Top Elevation (ft)
450i <input type="checkbox"/>	SINGLE INLET DISC <input checked="" type="checkbox"/>	MH-3	208.95
900 <input checked="" type="checkbox"/>	MULTIPLE INLET DISC <input type="checkbox"/>	208.95	203.93
1200 <input type="checkbox"/>	CUSTOM <input type="checkbox"/>	203.83	203.83
1800 <input type="checkbox"/>			
2400 <input type="checkbox"/>			

Project Name ICE CREAM PARTNERS, USA LLC PLANT EXPANSION, PHASE I AND II  
Approximate time frame of delivery (weeks) 4  
Delivery Address: Street 9090 WHISKEY BOTTOM ROAD  
City: LAUREL State: MARYLAND Zip Code 20725  
Designer Company JOHN E. HARMS, JR. AND ASSOCIATES, INC.  
Designer Contact JOHN BANKARD Phone 410-647-6000 Fax 410-544-8508

**CSR** HYDRO CONDUIT

PLEASE FILL OUT COMPLETELY AND FAX TO:  
ATTN: DUANE THOMAS FAX: (301)698-5351, PHONE: (301)698-7373

**CONTRACTOR INSTALLATION INSTRUCTIONS:  
PRECAST CONCRETE STORMCEPTOR**

- RECONSTRUCTION MEETING.
- STAKEOUT THE LOCATION OF THE STORMCEPTOR AND EXCAVATE HOLE. EXCAVATE ADEQUATE SPACE TO CONNECT INLET AND OUTLET PIPES TO UNIT. SECURE INSPECTOR'S APPROVAL OF SUBBASE. INSTALL A 12" DEEP (OR AS REQUIRED) LAYER OF COMPACTED AGGREGATE SUBBASE AT BOTTOM OF EXCAVATION. INSTALL TRENCH BOX OR SHORING, AS NEEDED.
- CHECK ELEVATION OF UNIT BY MEASURING ITS SECTIONS FROM BASE OF THE STORAGE CHAMBER (BOTTOM OF UNIT'S SLAB) TO THE INVERT OF STORMCEPTOR BYPASS CHAMBER INLET ELEVATION TO DETERMINE TOP OF SUBBASE ELEVATION. CHECK ELEVATION OF INSTALLED SUBBASE AND ADJUST AS NEEDED.
- SECURE INSPECTOR'S APPROVAL OF SUBBASE. ALL LIFTING APPARATUS IS TO BE PROVIDED BY THE INSTALLATION CONTRACTOR.
- INSTALL STORAGE CHAMBER. (INSTALL SCREW INSERTS INTO BASE OF STORAGE CHAMBER.) ATTACH CABLES OR CHAINS TO ALL 3 LIFTING LUGS ON THE BASE SLAB USING LARGE EQUIPMENT OR CRANE. LIFT AND PLACE THE BASE SECTION OF THE STORAGE CHAMBER IN THE EXCAVATED HOLE ON THE SUBBASE. MAKE SURE THAT THE BASE IS LEVEL. SPECIFIC ALIGNMENT OF THIS PART IS NOT REQUIRED. INSTALL RUBBER GASKET ON BASE UNIT AND COAT WITH LUBRICATING GREASE (PROVIDED IN SHIPMENT), IF NOT PRELUBRICATED. INSTALL ADDITIONAL STORAGE CHAMBER SECTIONS, AS REQUIRED (PROCEDURE IS SAME AS STEP 9).
- INSTALL BYPASS CHAMBER OF STORMCEPTOR WITH FACTORY INSTALLED STORMCEPTOR INSERT. LIFT BYPASS SECTION AND INSTALL, WHILE CHECKING ALIGNMENT AND GRADE OF INLET AND OUTLET DRAINAGE PIPES. CHECK TO MAKE SURE THE BYPASS CHAMBER IS SET FLUSH, LEVEL AND IS AT THE PROPER ELEVATION. THE BYPASS SECTION MUST BE ORIENTED SUCH THAT INLET PIPE DISCHARGES INTO THE V-SHAPED FIBERGLASS WEIRS (INSIDE INSERT). INSTALL RUBBER GASKET ON TOP OF BYPASS SECTION AND COAT WITH LUBRICATING GREASE, IF NOT PRELUBRICATED.
- INSTALL STORMCEPTOR DROP PIPES ACCORDING TO STC PIPE INSTALLATION PROCEDURE. SEE NOTES THIS SHEET.
- INSTALL RISER SECTION. LIFT RISER SECTION AND INSTALL, WHILE CHECKING THAT SECTION IS SET FLUSH AND IS AT PROPER ELEVATION AND THAT UNIT IS LEVEL. SPECIFIC ALIGNMENT OF THIS PART IS REQUIRED IF STEP (C) ARE INCLUDED. ALIGN STEPS ABOVE OUTLET INSPECTION PORT. NOTE: FOR SHALLOW INSTALLATIONS, THIS SECTION MAY NOT BE REQUIRED.
- INSTALL TOP SLAB WITH OPENING FOR STORMCEPTOR FRAME AND COVER. IF OPENING IS OFFSET (NOT CENTERED), THE TOP CAP OPENING SHOULD BE ORIENTED ABOVE THE STORMCEPTOR OUTLET INSPECTION PORT (PLUG).
- BACKFILL STORMCEPTOR WITH APPROVED BACKFILL MATERIAL (NO ORGANIC OR TOPSOIL IS TO BE USED FOR BACKFILL). BACKFILL AND COMPACT IN 8 INCH LIFTS. BACKFILL SHOULD BE COMPACTED TO MEET LOCAL/STATE REQUIREMENTS.
- INSTALL AND SET GRADE ADJUSTMENT RINGS, AS NEEDED. PLUG ALL LIFT HOLES WITH TAPERED FLEXIBLE PLUG AND KNOCK INTO PLACE. PLUGS IN STORAGE CHAMBER MUST BE GROUTED INSIDE AND OUTSIDE WITH GROUT.
- INSTALL AND SET STORMCEPTOR FRAME AND COVER.
- INSTALL INLET AND OUTLET STORM DRAIN PIPES. CONNECT INLET AND OUTLET STORM DRAIN PIPES WITH FLEXIBLE BOOTS (WHEN PROVIDED) AND WITH NON-SHRINK GROUT WHEN NO FLEXIBLE BOOTS ARE PROVIDED. THE INVERT OF THE INLET AND OUTLET PIPE IS TO MATCH WITH THE INVERT OF THE STORMCEPTOR INSERT. FLEXIBLE BOOT INSTALLATION PROCEDURES: CENTER THE PIPE IN THE BOOT OPENING. LUBRICATE THE OUTSIDE OF THE PIPE AND/OR THE INSIDE OF THE BOOT. IF THE PIPE OUTSIDE DIAMETER IS THE SAME AS THE INSIDE DIAMETER OF THE BOOT, POSITION THE PIPE CLAMP IN THE GROOVE OF THE BOOT WITH THE SCREW AT THE TOP. TIGHTEN THE PIPE CLAMP SCREW TO 60 INCH POUNDS. IF THE PIPE IS MUCH SMALLER THAN THE BOOT, LIFT THE BOOT SUCH THAT IT CONTACTS THE BOTTOM OF THE PIPE WHILE TIGHTENING THE CLAMP TO ENSURE EVEN CONTRACTION OF THE RUBBER. MOVE THE PIPE HORIZONTALLY AND/OR VERTICALLY TO BRING IT TO GRADE.
- THE STORMCEPTOR SHOULD BE PUMPED OUT WHEN THE SEDIMENT CONTROL MEASURES ARE REMOVED (SITE PERMANENTLY STABILIZED). SEDIMENT AND DEBRIS TO BE DISPOSED OF PROPERLY.
- FINAL INSPECTION.

**MAINTENANCE NOTES  
(WATER QUALITY STRUCTURE WASTE)**

- WATER QUALITY STRUCTURES WILL REQUIRE PERIODICAL CLEANING. OWNERS OF THESE FACILITIES WILL HAVE TO CLEAN THEM AS NEEDED.
- MAINTENANCE OF THESE FACILITIES WILL CONSIST OF CLEANING OUT THE STORMCEPTOR AND DISPOSAL OF THE WASTE AND THE REPAIR OF THE FACILITY AS NEEDED. PERIODIC INSPECTIONS OF THESE FACILITIES WILL BE MADE BY THE OWNER.
- THE DISPOSAL OF THE LIQUID AND SOLID MATTER SHALL BE MADE AS FOLLOWS:  
A. ALL LIQUID MATERIAL IN THE STORMCEPTOR SHALL BE PUMPED INTO A SUITABLE TANK TRUCK AND DISPOSED OF AT AN APPROVED SANITARY DISTRICT DISCHARGE MANHOLE OR BE TAKEN TO AN APPROVED SEWAGE TREATMENT PLANT FOR DISCHARGE.  
B. THE SOLID MATERIAL SHALL BE LANDFILLED IN AN APPROVED SANITARY LANDFILL.
- THE INLET PIPES, AND STRUCTURAL PARTS SHALL BE REPAIRED AS NEEDED.
- STORMCEPTOR INLET AND OUTLET ASSEMBLY SHALL BE PERIODICALLY INSPECTED. BLOCKAGES SHALL BE REMOVED AND DISPOSED OF AS REQUIRED IN 3B ABOVE.

**CONSTRUCTION NOTES:**

- SILT AND DEBRIS SHALL NOT BE ALLOWED TO ENTER THE STORMCEPTOR UNTIL CONTRIBUTING DRAINAGE AREAS HAVE BEEN PERMANENTLY STABILIZED. SILT MAY BE ALLOWED TO ENTER STORMCEPTOR IF IT IS BEING USED AS A FINAL SEDIMENT CONTROL FILTERING DEVICE.
- ALL OPENINGS TO STRUCTURES SHALL BE PROTECTED WITH THE APPROPRIATE SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
- THE STORMCEPTOR MUST BE PUMPED OUT AND CLEANED AT THE END OF THE CONSTRUCTION OF THE PROJECT.

**STC PIPE INSTALLATION PROCEDURE:**

- DROP PIPES ARE TO BE INSTALLED ONCE THE RISER SECTION CONTAINING THE INSERT HAS BEEN INSTALLED ON THE STORAGE CHAMBER.
- ENTER THE STORAGE CHAMBER AND INSTALL THE DROP PIPE FROM UNDERNEATH THE INSERT. THE INLET DROP PIPE IS EASILY IDENTIFIABLE BY THE T-SECTION FITTING. THE TEE IS ORIENTED SUCH THAT IT IS PERPENDICULAR TO THE DIRECTION OF FLOW IN THE UPSTREAM STORM SEWER. FOR THE SMALL MODELS (<2000) THE INLET DROP PIPE IS CEMENTED INTO COUPLING THAT IS PROVIDED USING THE SUPPLIED PVC CEMENT. ONCE THE INLET DROP PIPE HAS BEEN INSTALLED, THE CONNECTION SHOULD ALSO BE CAULKED USING THE SUPPLIED (CHEMREX 948 OR BULLDOG PREMIUM PL) SEALANT TO ENSURE AN OIL/WATER TIGHT CONNECTION.
- THE LARGE 24"(610mm) RISER PIPE IS INSERTED INTO THE PROVIDED OUTLET SLEEVE FROM ABOVE WHILE STANDING ON THE INSERT. A FLANGE IS PROVIDED ON THE OUTLET RISER PIPE TO PREVENT IT FROM FALLING INTO THE STORAGE CHAMBER. THE UNDERSIDE OF THE FLANGE MUST BE CAULKED WITH THE PROVIDED CHEMREX 948 SEALANT TO ENSURE AN OIL/WATER TIGHT CONNECTION.
- A 6"(150mm) COUPLING IS PROVIDED ON THE INSERT FOR THE 6"(150mm) SUPPLIED PVC VENT PIPE. THE VENT PIPE SHOULD BE ATTACHED TO THE COUPLING USING THE SUPPLIED PVC CEMENT. ONCE THE CEMENT HAS SET, THE CONNECTION SHOULD ALSO BE CAULKED USING THE SUPPLIED CHEMREX 948 SEALANT TO ENSURE AN OIL/WATER TIGHT CONNECTION.

**STORMCEPTOR NOTES AND SPECIFICATIONS**

- THE STORMCEPTOR IS PROTECTED BY ONE OR MORE U.S. PATENTS: #4985148, #5498331, #5725760, #5753115 AND #5849181.
- CAST IRON FRAME AND COVER TO BE APPROVED BY STORMCEPTOR CORPORATION "STORMCEPTOR" TO BE EMBOSSED ON COVER.
- BEDDING, BACKFILL AND GENERAL INSTALLATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER AND A PROFESSIONAL ENGINEER BASED ON SITE SPECIFIC SOIL CONDITIONS, SUBJECT TO APPROVAL OF THE REGULATORY AGENCIES.
- SIZING OF THE STORMCEPTOR SHALL BE IN ACCORDANCE WITH THE GUIDELINES PROVIDED BY STORMCEPTOR CORPORATION, SUBJECT TO THE APPROVAL OF THE REGULATORY AGENCIES.
- THE STORMCEPTOR SHOULD BE MAINTAINED ANNUALLY AND/OR IMMEDIATELY FOLLOWING ANY KNOWN SPILLS.
- THE STORMCEPTOR CONFORMS TO ASTM C 478 DESIGN SPECIFICATIONS/STANDARDS.
- MINIMUM NUMBER OF STEPS IS TO BE USED IN THE ACCESS WAY. DEPENDS UPON LOCAL REQUIREMENTS.
- COVER TO BE OFFSET 9" FROM ACCESS WALL ADJACENT TO 24" OUTLET RISER PIPE AND 6" VENT PIPE.
- NON-SMOOTH WALL O.D. PIPE TO BE GROUTED IN PLACE.
- MINIMUM OF 1" FALL FROM INLET TO OUTLET.
- FURTHER TECHNICAL INFORMATION IS AVAILABLE FROM STORMCEPTOR CORPORATION 1-(800) 909-7763.

**OPERATION AND MAINTENANCE SCHEDULE FOR  
STORMCEPTOR WATER QUALITY DEVICE**

- STORMCEPTOR WATER QUALITY STRUCTURES WILL REQUIRE PERIODIC INSPECTION AND CLEANING TO MAINTAIN OPERATION AND FUNCTION. OWNERS WILL HAVE THE STORMCEPTOR UNIT INSPECTED YEARLY OR AS REQUIRED BY HOWARD COUNTY, UTILIZING THE STORMCEPTOR INSPECTION/MONITORING FORM. INSPECTIONS CAN BE DONE BY USING A CLEAR FLEXIGLAS TUBE ("SLUDGE JUDGE") TO EXTRACT A WATER COLUMN SAMPLE. WHEN SEDIMENT DEPTHS EXCEED THE SPECIFIED LEVEL (TABLE 6 OF TECHNICAL MANUAL) THEN CLEANING OF THE UNIT IS REQUIRED.
- STORMCEPTOR WATER QUALITY STRUCTURES MUST BE CHECKED AND CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS, CONTACT APPROPRIATE REGULATORY AGENCIES.
- MAINTENANCE OF STORMCEPTOR UNITS SHOULD BE DONE BY A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN UNIT. THE PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED.
- INLET AND OUTLET PIPES MUST BE CHECKED FOR ANY OBSTRUCTIONS AND IF ANY OBSTRUCTIONS ARE FOUND THEY MUST BE REMOVED. STRUCTURAL PARTS OF THE STORMCEPTOR WILL BE REPAIRED AS NEEDED.
- OWNER SHALL RETAIN AND MAKE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE TO HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.

**NOTES:**

- BASED ON TABLE OF THE STORMCEPTOR TECHNICAL MANUAL, DATED JUNE 1996 USING STANDARD AREA.
- FOR TECHNICAL INFORMATION CALL STORMCEPTOR CORPORATION AT 1-800-909-7763.
- TO ORDER AND FOR DELIVERY CONTACT CSR-HYDRO CONDUIT, VIRGINIA PRECAST AT 1-800-909-7763 AT LEAST 4 WEEKS PRIOR TO NEEDED DELIVERY.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

*Devin J. Matson, M.D.* 5/18/01  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*John A. Smith* 5/21/01  
DIRECTOR DATE

*Chad Dammann* 5/14/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Harold Bernadette* 5/21/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	No.	REVISION

OWNER: ICE CREAM PARTNERS, USA LLC.  
9090 WHISKEY BOTTOM ROAD  
LAUREL, MARYLAND 20725  
(301) 317-3734  
ATTN: CHARLES MOENIUS

PROJECT: ICE CREAM PARTNERS, USA LLC.  
PLANT EXPANSION PHASE I AND II

"THE SOUTHLAND CORPORATION PROPERTY" PARCEL A  
TAX MAP No. 50, PARCEL 509 6th ELECTION DISTRICT

AREA: TAX MAP No. 50, BLK. 5, PARCEL 509  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
CENSUS TRACT No. 6063  
WATER CODE C-04 AND SEWER CODE 71-00800

TITLE: STORMCEPTOR DETAILS

**HARMS**  
ENGINEERS • PLANNERS • SURVEYORS  
P.O. Box 5, Potosi, MD 21123  
Office: 410-647-6000 Fax: 410-544-8508

DRAWN BY: C.M.  
DESIGNED BY: J.J.B.  
CHECKED BY: J.J.B.  
PROJECT No.: 04-00-005A  
DATE: OCTOBER, 2000  
SCALE: AS SHOWN  
DRAWING No. 10 OF 18

*3/2/01*

# DETENTION TRENCH CONSTRUCTION SPECIFICATION

## CONSTRUCTION SPECIFICATIONS

**TIMING**  
AN DETENTION TRENCH SHALL NOT BE CONSTRUCTED OR PLACED IN SERVICE UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED AND APPROVED BY THE RESPONSIBLE INSPECTOR.

**TRENCH PREPARATION**  
EXCAVATE THE TRENCH TO THE DESIGN DIMENSIONS. EXCAVATED MATERIALS SHALL BE PLACED AWAY FROM THE TRENCH SIDES TO ENHANCE TRENCH WALL STABILITY. LARGE TREE ROOTS MUST BE TRIMMED FLUSH WITH THE TRENCH SIDES IN ORDER TO PREVENT FABRIC PUNCTURING OR TEARING DURING SUBSEQUENT INSTALLATION PROCEDURES. THE SIDE WALLS OF THE TRENCH SHALL BE ROUGHENED WHERE SHEARED AND SEALED BY HEAVY EQUIPMENT.

**FABRIC LAYDOWN**  
THE FILTER FABRIC ROLL MUST BE CUT TO THE PROPER WIDTH PRIOR TO INSTALLATION. THE CUT WIDTH MUST INCLUDE SUFFICIENT MATERIAL TO CONFORM TO TRENCH PERIMETER IRREGULARITIES AND FOR A 6-INCH MINIMUM TOP OVERLAP. PLACE THE FABRIC ROLL OVER THE TRENCH AND UNROLL A SUFFICIENT LENGTH TO ALLOW PLACEMENT OF THE FABRIC DOWN INTO THE TRENCH. STONES OR OTHER ANCHORING OBJECTS SHOULD BE PLACED ON THE FABRIC AT THE EDGE OF THE TRENCH TO KEEP THE LINED TRENCH OPEN DURING WINDY PERIODS. WHEN OVERLAPS ARE REQUIRED BETWEEN ROLLS, THE UPSTREAM ROLL SHOULD LAP A MINIMUM OF 2 FEET OVER THE DOWNSTREAM ROLL IN ORDER TO PROVIDE A SHINGLED EFFECT. THE OVERLAP ENSURES FABRIC CONTINUITY AND ENSURES THAT THE FABRIC CONFORMS TO THE EXCAVATION SURFACE DURING AGGREGATE PLACEMENT AND COMPACTION.

**STONE AGGREGATE PLACEMENT AND COMPACTION**  
THE STONE AGGREGATE SHOULD BE PLACED IN LIFTS AND COMPACTED USING PLATE COMPACTORS. AS A RULE OF THUMB, A MAXIMUM LOOSE LIFT THICKNESS OF 12 INCHES IS RECOMMENDED. THE COMPACTION PROCESS ENSURES FABRIC CONFORMITY TO THE EXCAVATION SIDES, THEREBY REDUCING THE POTENTIAL FOR SOIL PIPING, FABRIC CLOGGING, AND SETTLEMENT PROBLEMS.

**OVERLAPPING AND COVERING**  
FOLLOWING THE STONE AGGREGATE PLACEMENT, THE FILTER FABRIC SHALL BE FOLDED OVER THE STONE AGGREGATE TO FORM A 6" MINIMUM LONGITUDINAL LAP. THE DESIRED FILL SOIL OR STONE AGGREGATE SHALL BE PLACED OVER THE LAP AT SUFFICIENT INTERVALS TO MAINTAIN THE LAP DURING SUBSEQUENT BACKFILLING.

**CONTAMINATION**  
CARE SHALL BE EXERCISED TO PREVENT NATURAL OR FILL SOILS FROM INTERMIXING WITH THE STONE AGGREGATE. ALL CONTAMINATED STONE AGGREGATE SHALL BE REMOVED AND REPLACED WITH UNCONTAMINATED STONE AGGREGATE.

**VOIDS BEHIND FABRIC**  
VOIDS CAN BE CREATED BETWEEN THE FABRIC AND EXCAVATION SIDES AND SHALL BE AVOIDED. REMOVING BouldERS OR OTHER OBSTACLES FROM THE TRENCH WALLS IS ONE SOURCE OF SUCH VOID. NATURAL SOILS SHOULD BE PLACED IN THESE VOIDS AT THE MOST CONVENIENT TIME DURING CONSTRUCTION TO ENSURE FABRIC CONFORMITY TO THE EXCAVATION SIDES. SOIL PIPING, FABRIC CLOGGING, AND POSSIBLE SURFACE SUBSIDENCE WILL BE AVOIDED BY THIS REMEDIAL PROCESS.

**UNSTABLE EXCAVATION SIDES**  
VERTICALLY EXCAVATED WALLS ARE IN VIOLATION OF THE MARYLAND OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION REGULATIONS AND SHALL NOT BE PERMITTED. LAYING BACK THE SIDE SLOPES IS MANDATORY AND SHALL BE IN ACCORDANCE WITH THE MARYLAND OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION REGULATIONS.

**VEGETATIVE BUFFER**  
A VEGETATIVE BUFFER OF AT LEAST 20 FEET (WIDER, IF POSSIBLE) IS RECOMMENDED TO INTERCEPT SURFACE RUNOFF FROM ALL IMPERVIOUS AREAS.

**TRAFFIC CONTROL**  
HEAVY EQUIPMENT AND TRAFFIC SHALL BE RESTRICTED FROM TRAVELLING OVER THE TRENCH BOTTOM AREA TO MINIMIZE COMPACTION OF THE SOIL.

**OBSERVATION WELL**  
AN OBSERVATION WELL, AS SHOWN ON THESE PLANS SHALL BE PROVIDED, THE DEPTH OF THE WELL AT THE TIME OF INSTALLATION WILL BE CLEARLY MARKED ON THE WELL CAP.

**3.3.7. MAINTENANCE**  
DETENTION TRENCHES SHALL BE DESIGNED TO MINIMIZE MAINTENANCE. HOWEVER, IT IS RECOGNIZED THAT ALL TRENCH FACILITIES ARE SUBJECT TO CLOGGING BY SEDIMENT, OIL, GREASE, GRIT, AND OTHER DEBRIS. IN ADDITION, THE PERFORMANCE AND LONGEVITY OF THESE STRUCTURES IS NOT WELL DOCUMENTED. CONSEQUENTLY, A MONITORING OBSERVATION WELL IS REQUIRED FOR ALL TRENCH STRUCTURES.

THE OBSERVATION WELL SHALL BE MONITORED PERIODICALLY. FOR THE FIRST YEAR AFTER COMPLETION OF CONSTRUCTION, THE WELL SHOULD BE MONITORED ON A QUARTERLY BASIS AND AFTER EVERY LARGE STORM. IT IS RECOMMENDED THAT A LOG BOOK BE MAINTAINED INDICATING THE RATE AT WHICH THE FACILITY DEWATERS AFTER LARGE STORMS AND THE DEPTH OF THE WELL FOR EACH OBSERVATION. ONCE THE PERFORMANCE CHARACTERISTICS OF THE STRUCTURE HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS, UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

SEDIMENT BUILD-UP IN THE TOP FOOT OF STONE AGGREGATES OR THE SURFACE INLET SHOULD BE MONITORED ON THE SAME SCHEDULE AS THE OBSERVATION WELL. A MONITORING WELL IN THE TOP FOOT OF STONE AGGREGATE WILL BE REQUIRED WHEN THE TRENCH HAS A STONE SURFACE. SEDIMENT SHALL NOT BE ALLOWED TO BUILD UP TO THE POINT WHERE IT WILL REDUCE THE RATE OF INFILTRATION INTO THE TRENCH.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

HOWARD COUNTY HEALTH DEPARTMENT

*Donna L. Matrone M.D.* 5/18/01  
COUNTY HEALTH OFFICER DATE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

*Jim Myers* 5/18/01  
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY HOWARD SOIL CONSERVATION DISTRICT.

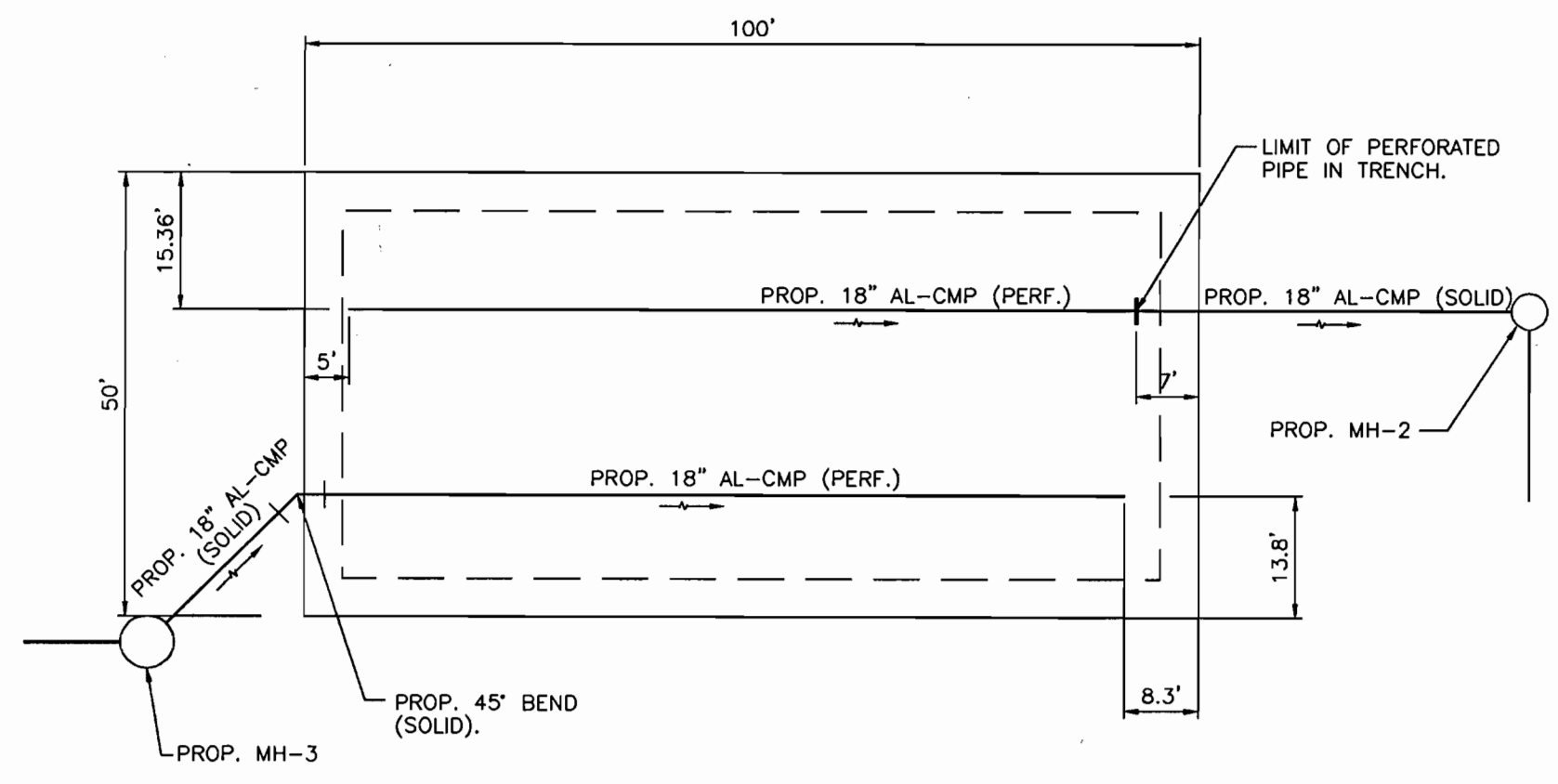
*John P. Roberts* 5/18/01  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

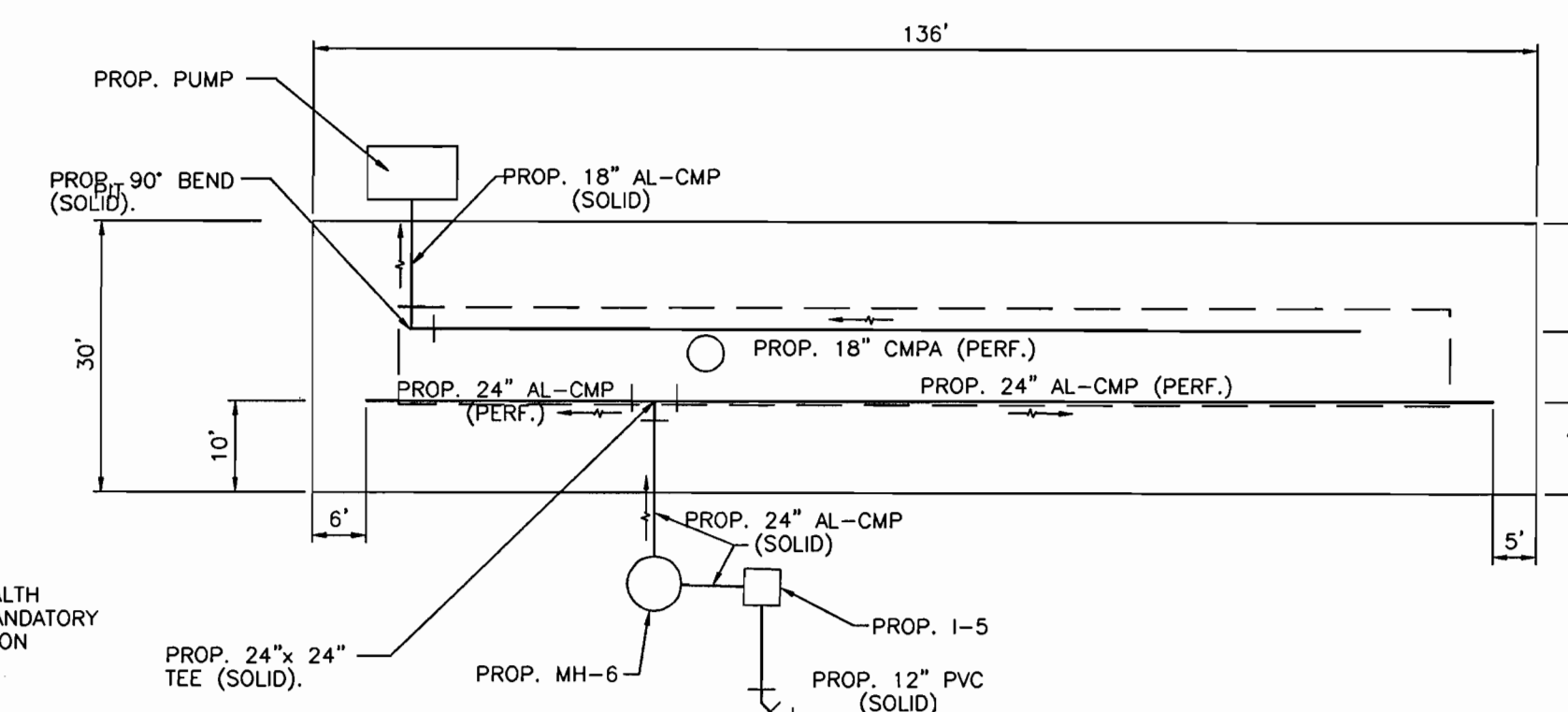
*John P. Roberts* 5/21/01  
DIRECTOR DATE

*Harold Bernhardt* 5/14/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Harold Bernhardt* 5/21/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE



PLAN VIEW TRENCH #2 (PHASE II)  
SCALE: HORZ. = 1" = 20'

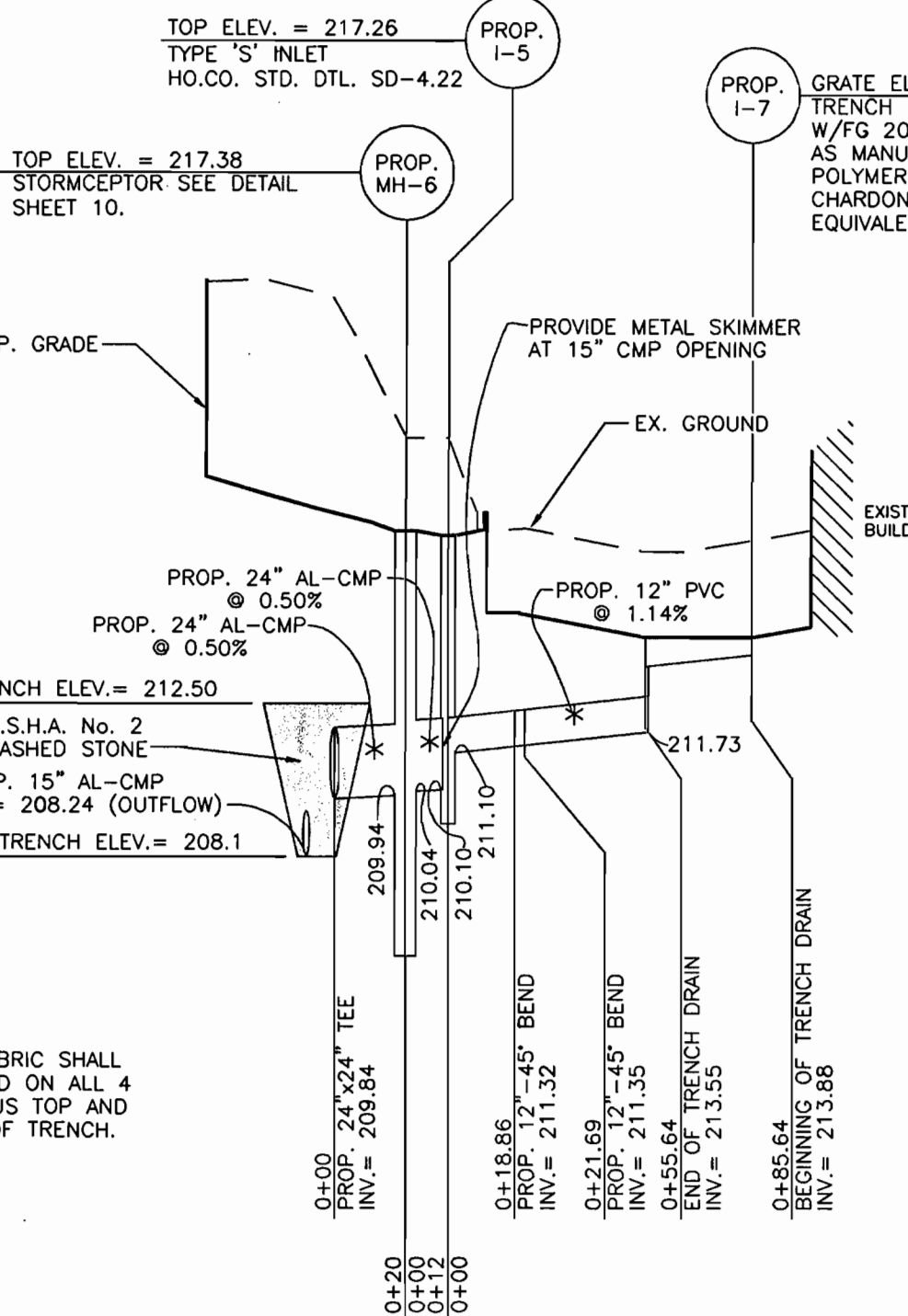


PLAN VIEW TRENCH #1 (PHASE I)  
SCALE: HORZ. = 1" = 20'

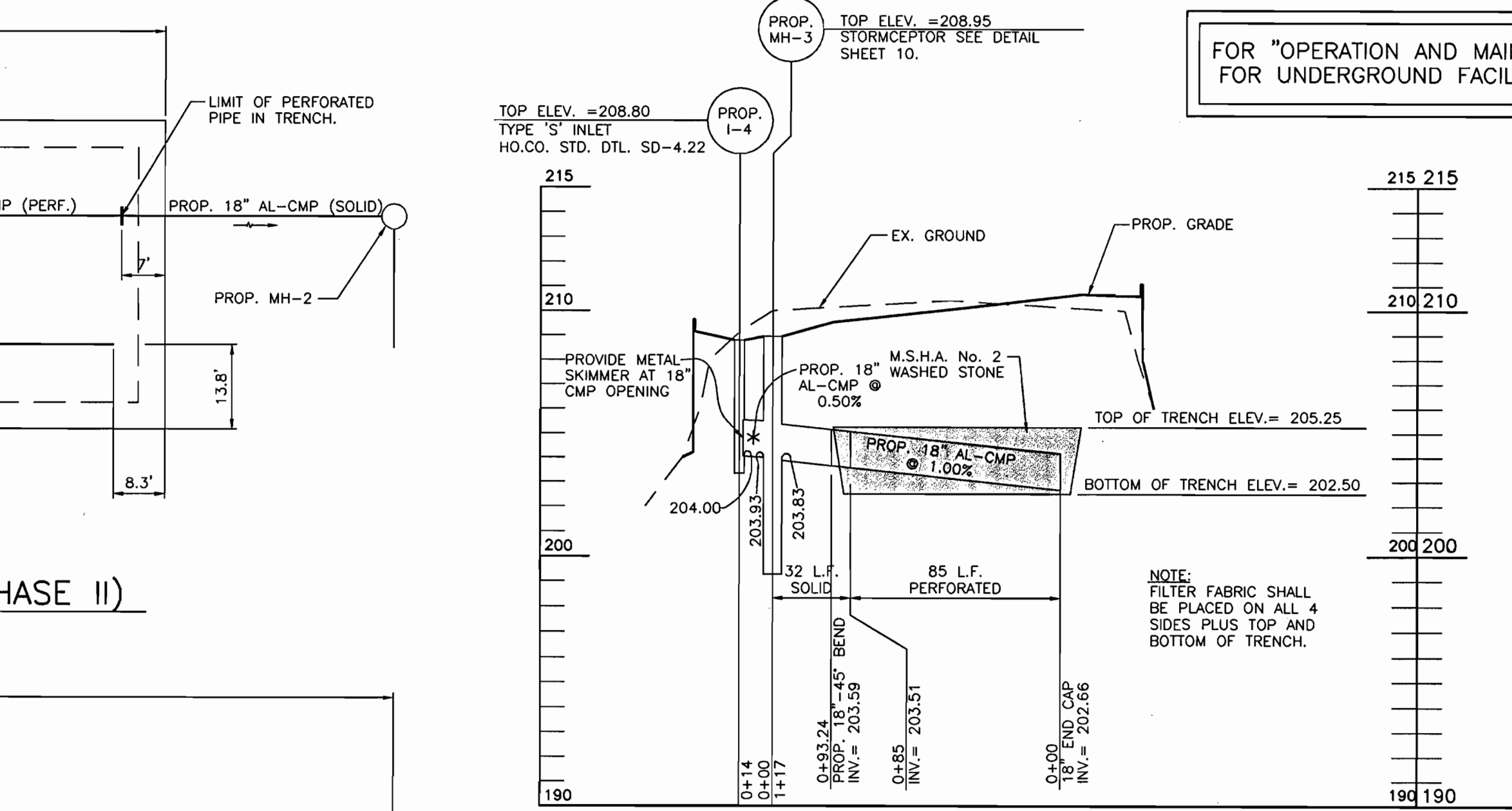
NO.	TYPE	TOP ELEV.	INVERT ELEV.	OUTLET	REMARKS
MH-1	TYPE 'A' HEADWALL CIRCULAR	197.00	-	194.00	** SEE NOTE BELOW
MH-2	STANDARD MANHOLE	210.30	202.97	202.97	MODIFIED SEE DET. THIS SHEET
MH-3	STORMCEPTOR	208.85	203.93	202.83	SEE SHEET 10 FOR DETAILS
I-4	'S' INLET	208.80	-	204.00	HO. CO. STD. DET. SD-422
I-5	'S' INLET	217.28	211.10	210.10	SEE SHEET 17 FOR DETAILS
MH-6	STORMCEPTOR	217.38	210.04	209.94	SEE SHEET 10 FOR DETAILS
I-7	TRENCH DRAIN	214.38	213.88	211.73	** SEE NOTE BELOW
S-8	PUMP PIT	219.00	-	208.18	SEE DETAIL THIS SHEET

\* PROP. TRENCH DRAIN TYPE: ACO FG 200 W/FG 200 GRAY IRON GRATE AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC. CHARDON, OHIO, OR EQUIVALENT. (SEE DETAILS ON SHEET 17).  
\*\* PROP. HEADWALL TO BE HO. CO. STD. DTL. SD-5.11 WITH MODIFICATIONS TO WING WALLS. (SEE DETAILS ON SHEET 17).

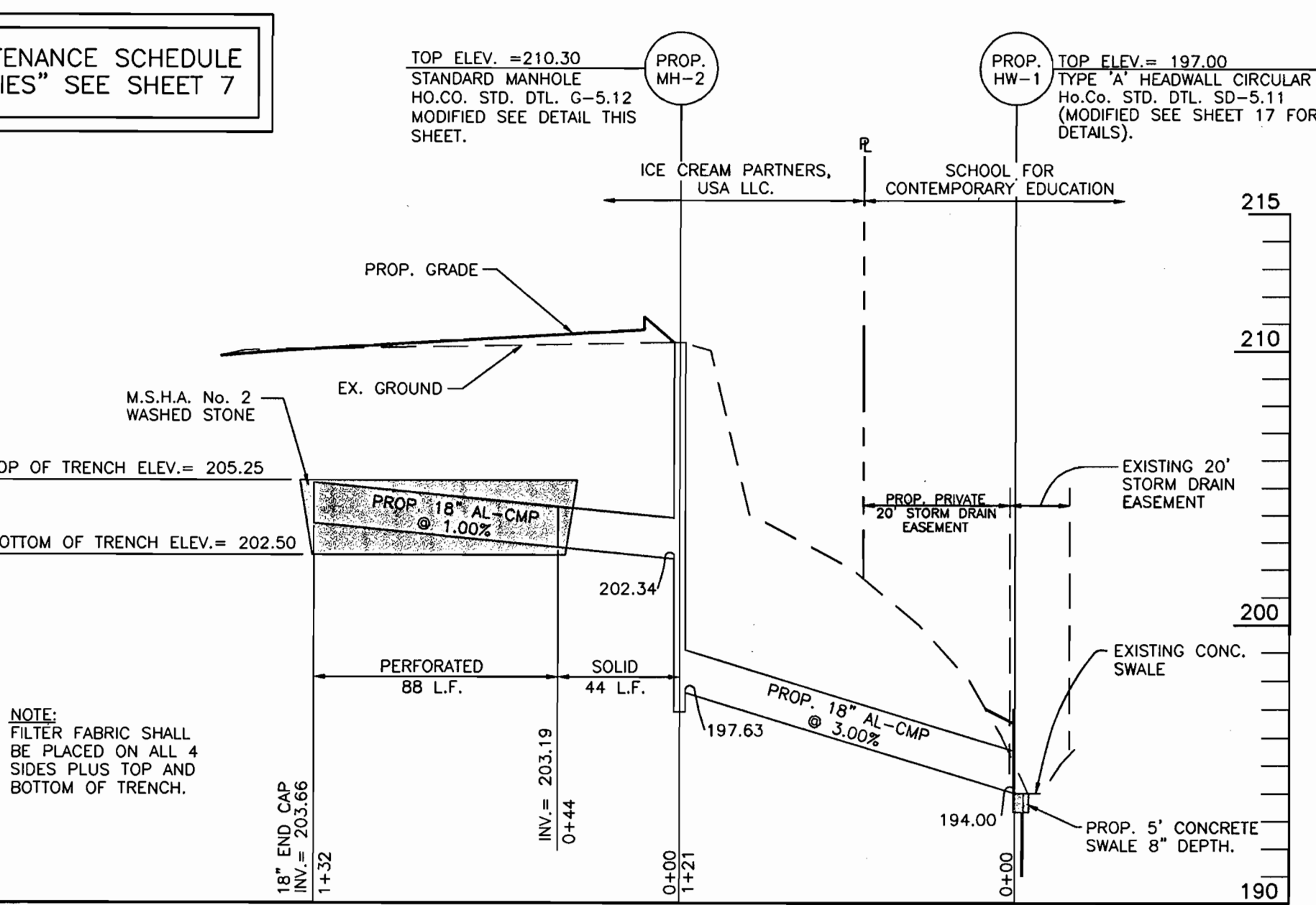
DIA.	TYPE	CLASS	LENGTH
12"	PVC	SCHEDULE 40	55 L.F.
18"	AL-CMP	16 GAUGE	514 L.F.
24"	AL-CMP	14 GAUGE	145 L.F.



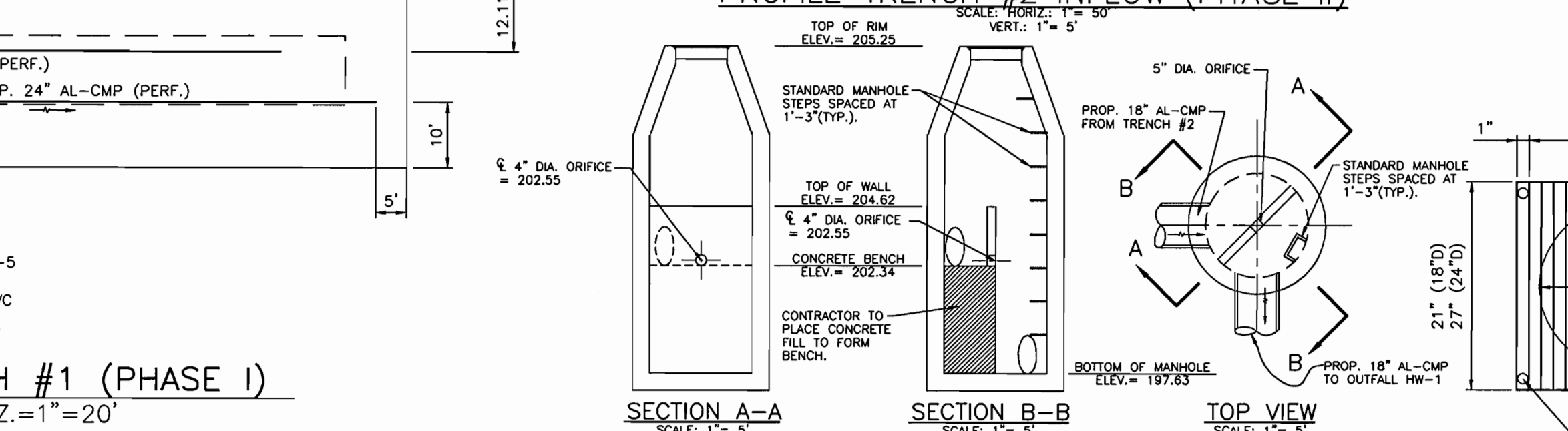
PROFILE TRENCH #1 INFLOW (PHASE I)  
SCALE: HORZ. = 1" = 50'  
VERT. = 1" = 5'



PROFILE TRENCH #2 INFLOW (PHASE II)  
SCALE: HORZ. = 1" = 50'  
VERT. = 1" = 5'



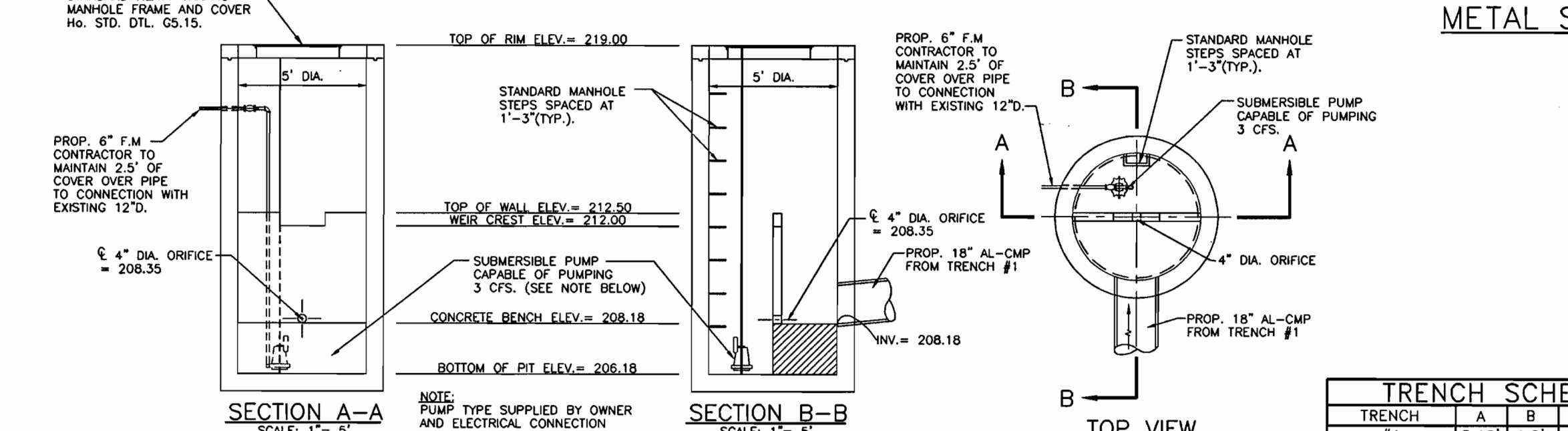
PROFILE TRENCH #2 PRINCIPAL SPILLWAY (PHASE II)  
SCALE: HORZ. = 1" = 50'  
VERT. = 1" = 5'



SECTION A-A  
SCALE: 1" = 5'

SECTION B-B  
SCALE: 1" = 5'

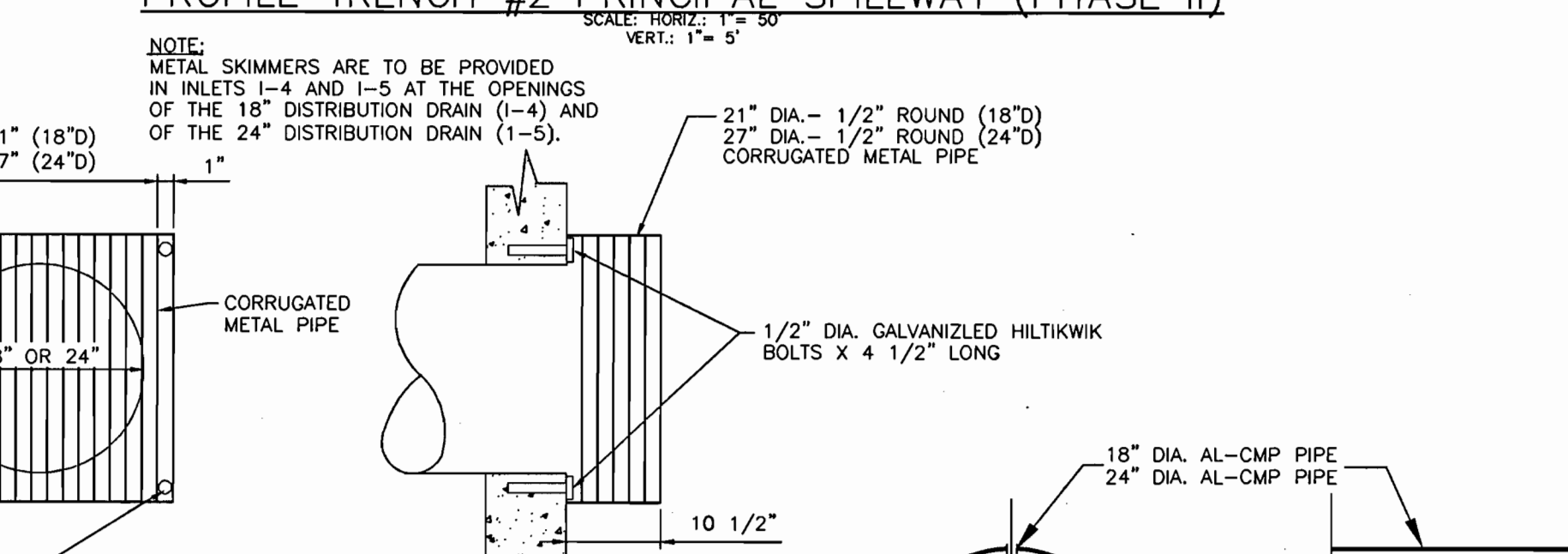
TOP VIEW  
SCALE: 1" = 5'



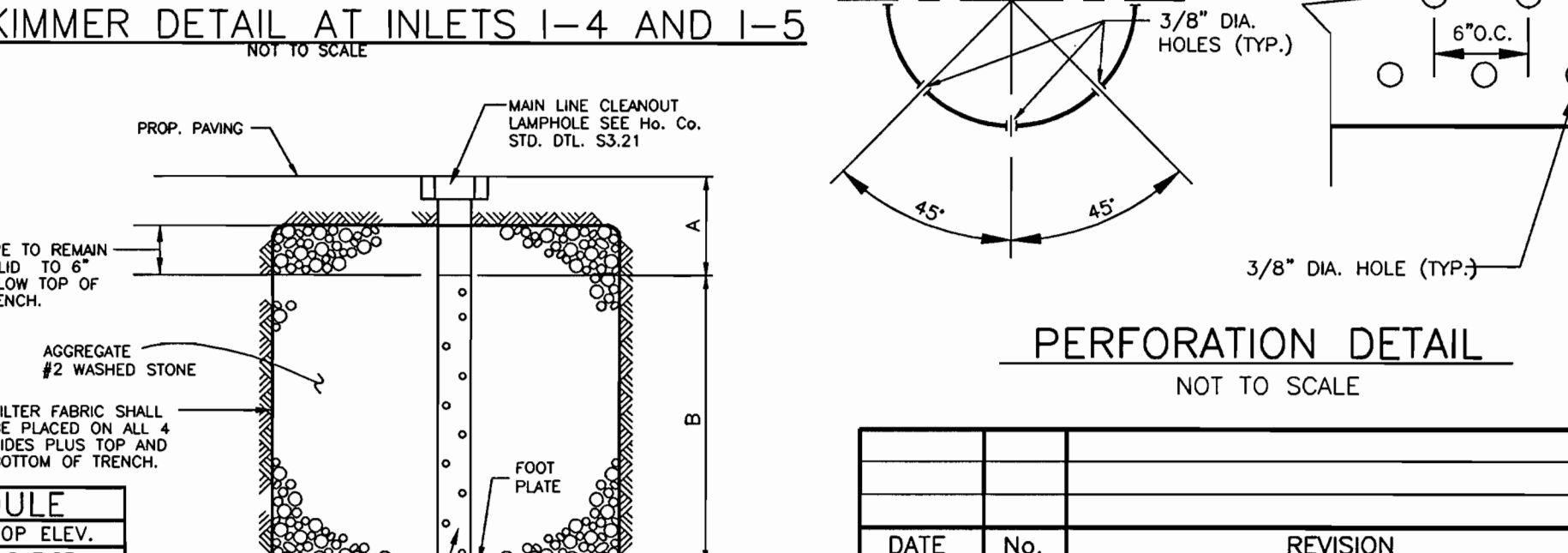
SECTION A-A  
SCALE: 1" = 5'

SECTION B-B  
SCALE: 1" = 5'

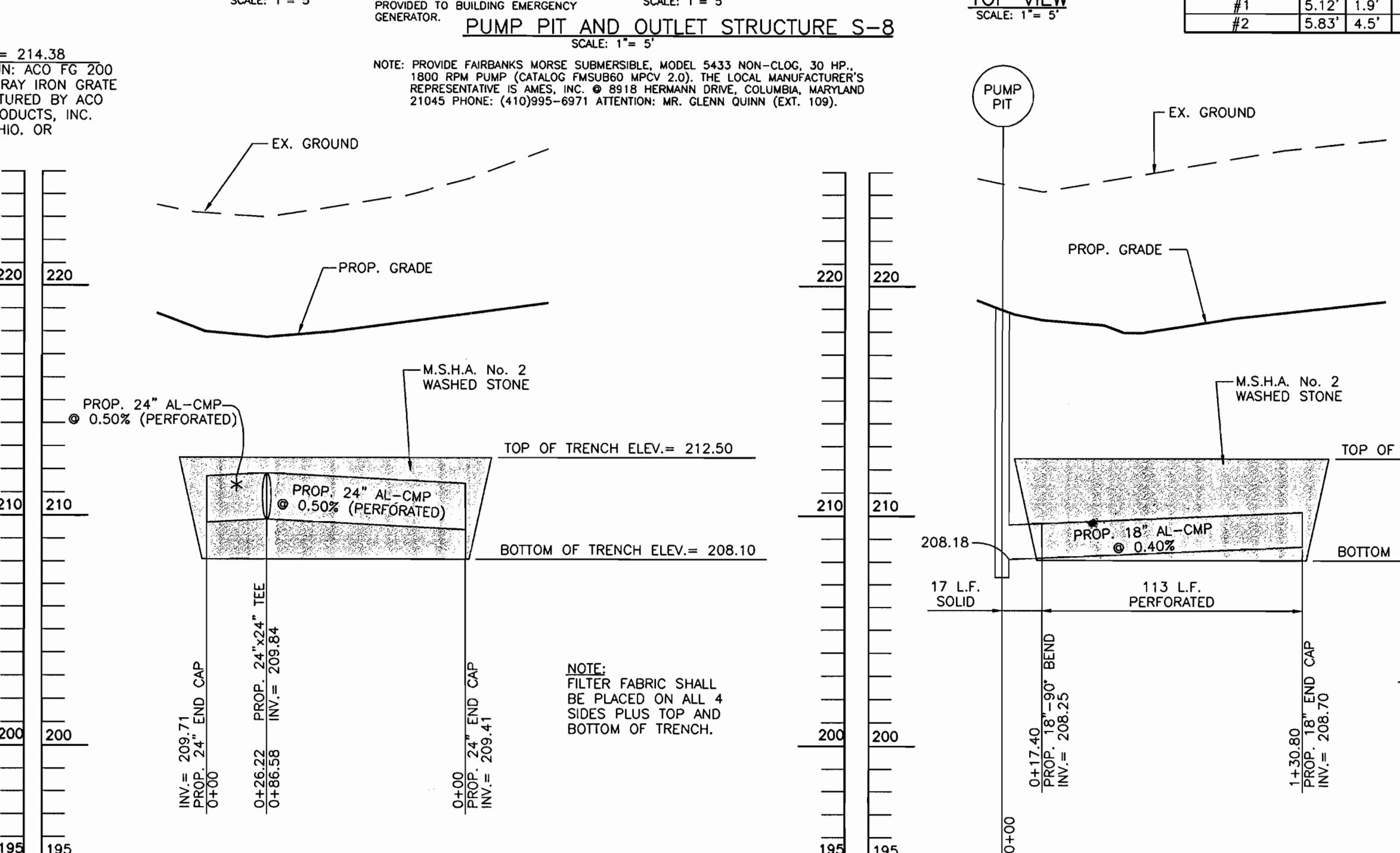
TOP VIEW  
SCALE: 1" = 5'



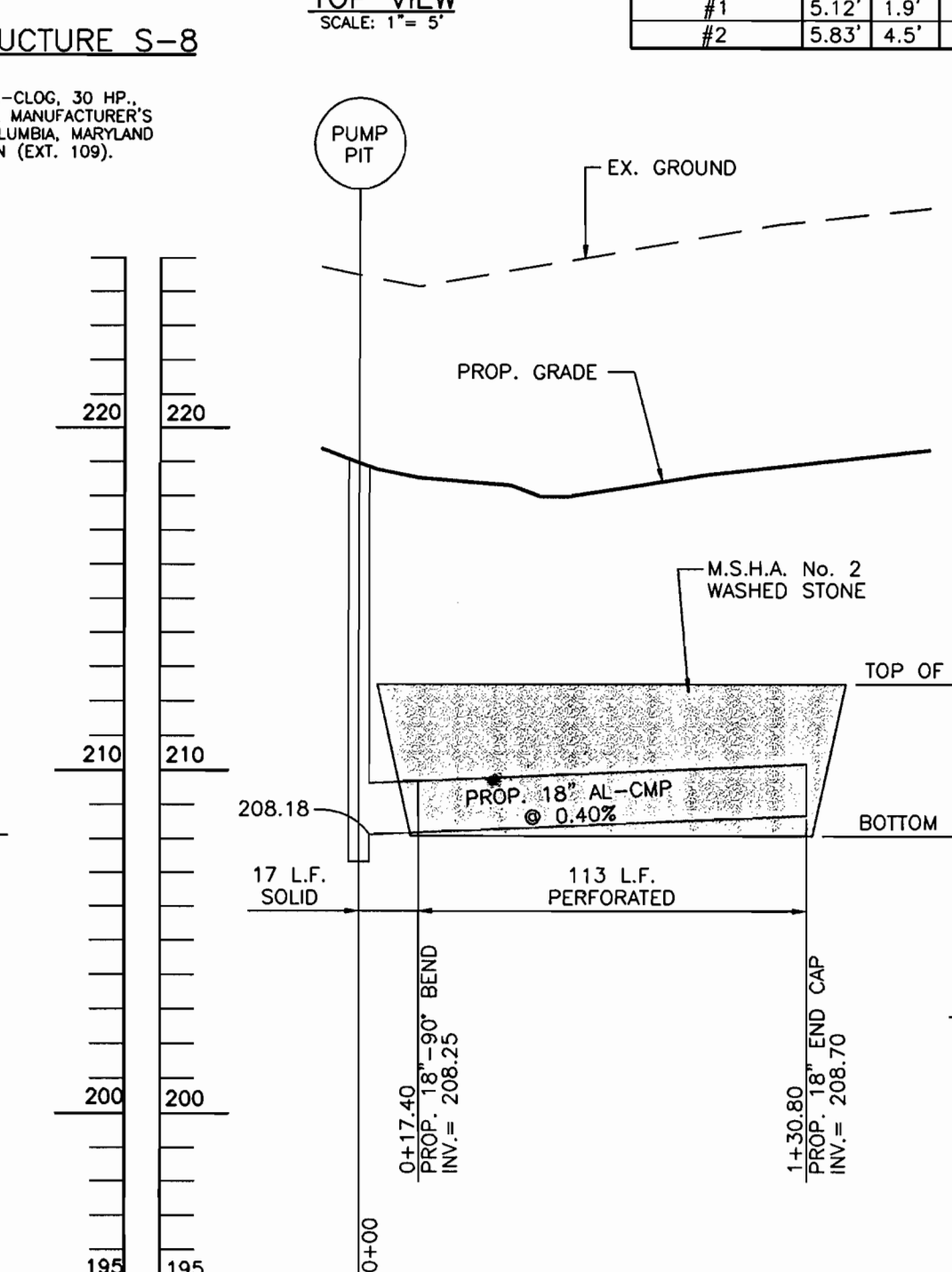
METAL SKIMMER DETAIL AT INLETS I-4 AND I-5  
NOT TO SCALE



OBSERVATION WELL  
NOT TO SCALE



PROFILE TRENCH #1 INFLOW (PHASE I)  
SCALE: HORZ. = 1" = 50'  
VERT. = 1" = 5'



PROFILE TRENCH #1 OUTFLOW (PHASE I)  
SCALE: HORZ. = 1" = 50'  
VERT. = 1" = 5'

FOR "OPERATION AND MAINTENANCE SCHEDULE FOR UNDERGROUND FACILITIES" SEE SHEET 7

DATE	No.	REVISION

OWNER: ICE CREAM PARTNERS, USA LLC.  
9090 WHISKEY BOTTOM ROAD  
LAUREL, MARYLAND 20725  
(301) 317-3754  
ATTN: CHARLES MOENIUS

PROJECT: ICE CREAM PARTNERS, USA LLC.  
PLANT EXPANSION PHASE I AND II  
"THE SOUTHLAND CORPORATION PROPERTY" PARCEL A  
TAX MAP No. 50, PARCEL 509 6TH ELECTION DISTRICT

AREA: TAX MAP No. 50, BLK. 5, PARCEL 509  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
CENSUS TRACT No. 6063  
WATER CODE C-04 AND SEWER CODE 71-00800

TITLE: S.W.M.F. TRENCH DETAILS AND PROFILES  
PHASE I AND PHASE II

ENGINEERS • PLANNERS • SURVEYORS  
P.O. Box 5, Potosi, MO 21123  
Office: 410-647-6000 FAX: 410-544-8508

DRAWN BY: D.M./C.M.  
DESIGNED BY: J.J.B.  
CHECKED BY: J.J.B.  
PROJECT No.: 04-00-005A  
DATE: OCTOBER, 2000  
SCALE: AS SHOWN  
DRAWING No. 11 OF 18

PLANT LIST

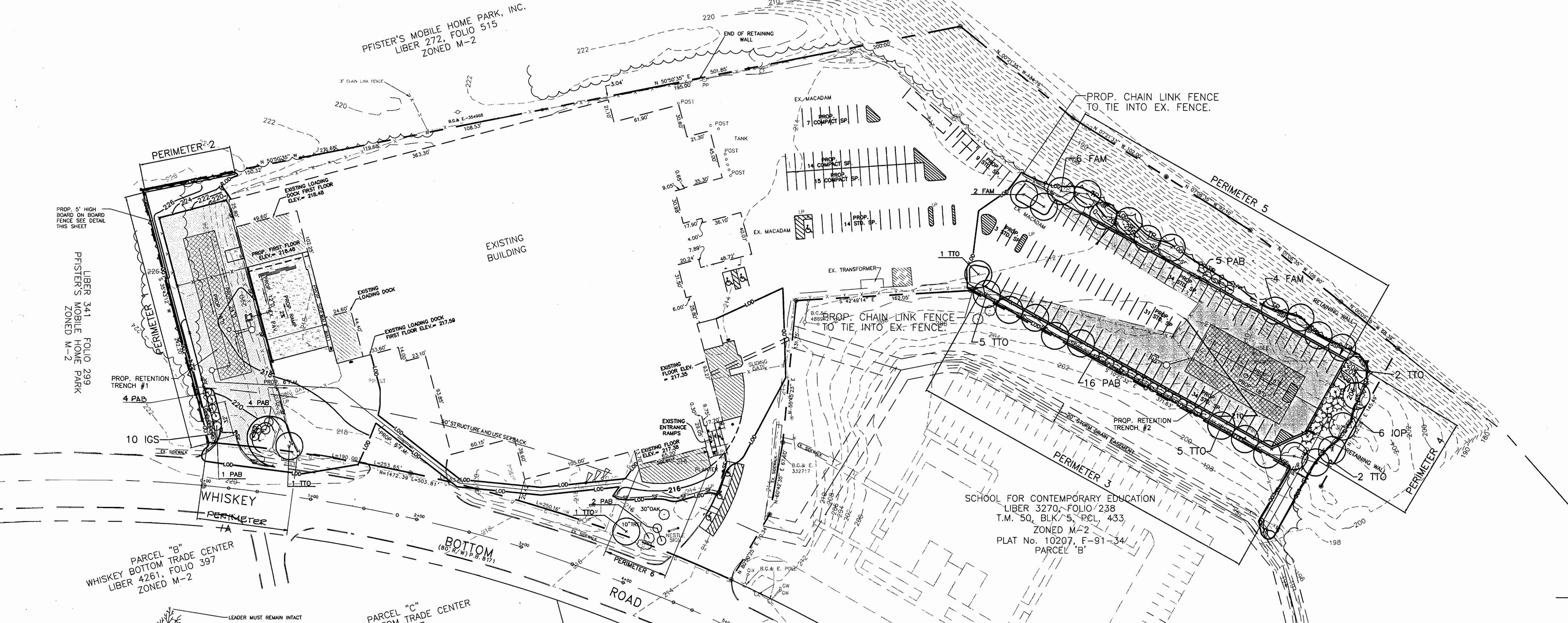
KEY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	REMARKS	QUANTITY
FAM	FRAXINUS AMERICANA "AUTUMN PURPLE"	AUTUMN PURPLE WHITE ASH	AS SHOWN	2 1/2"-3" CAL.	B&B	12
IOP	ILEX OPACA	AMERICAN HOLLY	AS SHOWN	5'-6" HT.	BB/CONT	6
PAB	PICEA ABIES	NORWAY SPRUCE	AS SHOWN	6'-8" HT.	B&B	32
TTO	TILIA TOMENTOSA	SILVER LINDEN	AS SHOWN	2 1/2" - 3" CAL.	B&B	17
IGS	ICEX GLABRA "SHAMROCK"	DWARF INKBERRY	AS SHOWN	2' HT.	CONT	10

SEE SHEET 18 FOR SCHEDULE 'A' & 'B', PERIMETER #1 THRU #6.

NOTES:  
 1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.  
 2. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DFW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$7,270.00.

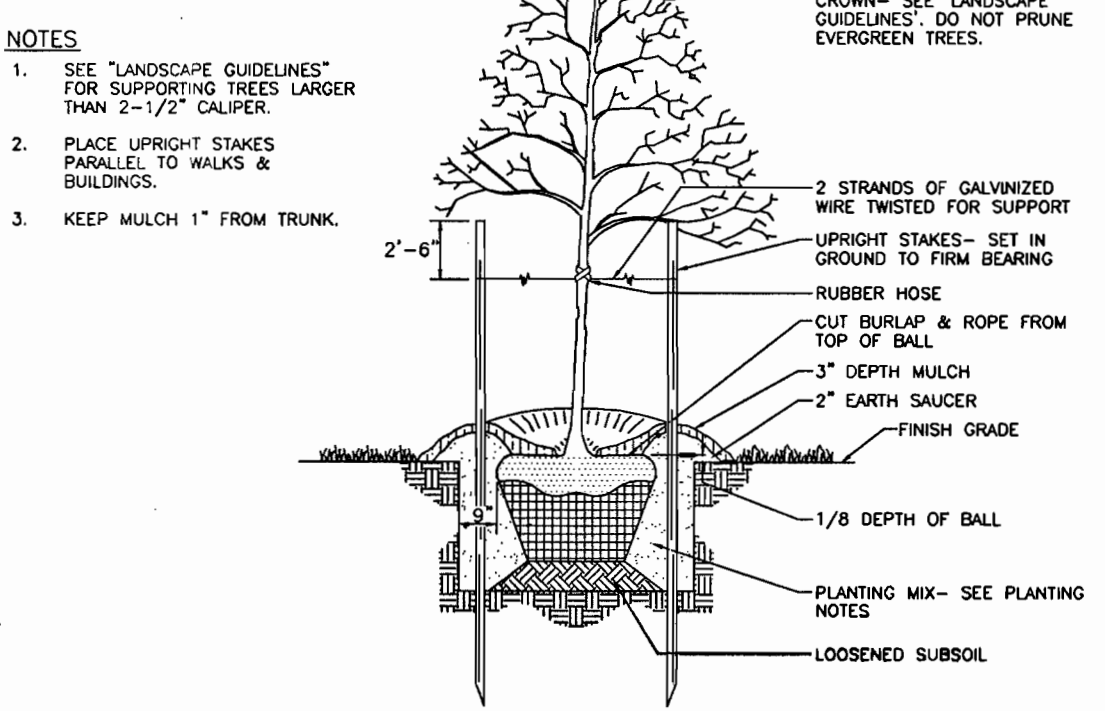
PLANTING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND "MISS UTILITY" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO UTILITIES DUE TO NON-COORDINATED WORK. CONTRACTOR MAY MAKE MINOR ADJUSTMENTS IN SPACING AND LOCATION OF PLANT MATERIAL TO AVOID CONFLICTS WITH UTILITIES.
- PLANTS, RELATED MATERIAL, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.
- PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED AND HAVE A VIGOROUS ROOT SYSTEM. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DECAY, DISTURBED ROOTS, SURFACE INJURIES, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT PEST EGGS, BOXERS, INFESTATIONS OR OBJECTIONABLE DISFIGUREMENTS. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER CRANES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. PLANTS SHALL BE FRESHLY DUG; NO HEEL-IN PLANTS OR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.
- UNLESS OTHERWISE SPECIFIED, PLANT MATERIAL SHALL CONFORM TO "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1-1990, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN, INCLUDING ALL ADDENDA.
- UNLESS OTHERWISE SPECIFIED, GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" (HEREINAFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS' ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, LATEST EDITION, INCLUDING ALL ADDENDA.
- CONTRACTOR SHALL BE REQUIRED TO GUARANTEE PLANT MATERIAL FOR A PERIOD OF ONE YEAR IN ACCORDANCE WITH THE LANDSCAPE GUIDELINES. CONTRACTOR'S ATTENTION IS DIRECTED TO THE MAINTENANCE REQUIREMENTS FOUND WITHIN THE SPECIFICATIONS INCLUDING WATERING AND REPLACEMENT OF SPECIFIED PLANT MATERIAL.
- PLANTING BEDS SHALL BE MULCHED AS SPECIFIED TO THE LIMITS OF THE PLANTING BEDS AS SHOWN ON THE PLAN AND TO THE DEPTH AS SHOWN ON THE DETAILS.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING PLANT MATERIAL IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE.
- PLANTING MIX SHALL BE AS FOLLOWS:  
 DECIDUOUS PLANTS - TWO PARTS TOPSOIL, ONE PART WELL-ROTTED COW OR HORSE MANURE, ADD 3 LBS. OF STANDARD FERTILIZER PER CUBIC YARD OF PLANTING MIX.  
 EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE PART PLUMUS OR OTHER APPROVED ORGANIC MATERIAL, ADD 3 LBS. OF EVERGREEN (ACIDIC) FERTILIZER PER CUBIC YARD OF PLANTING MIX.  
 TOPSOIL SHALL CONFORM TO THE LANDSCAPE GUIDELINES.
- THIS PLAN IS INTENDED FOR LANDSCAPE USE ONLY. SEE OTHER PLAN SHEETS FOR MORE INFORMATION ON GRADING, SEDIMENT CONTROL, UTILITIES, LAYOUT, ETC.

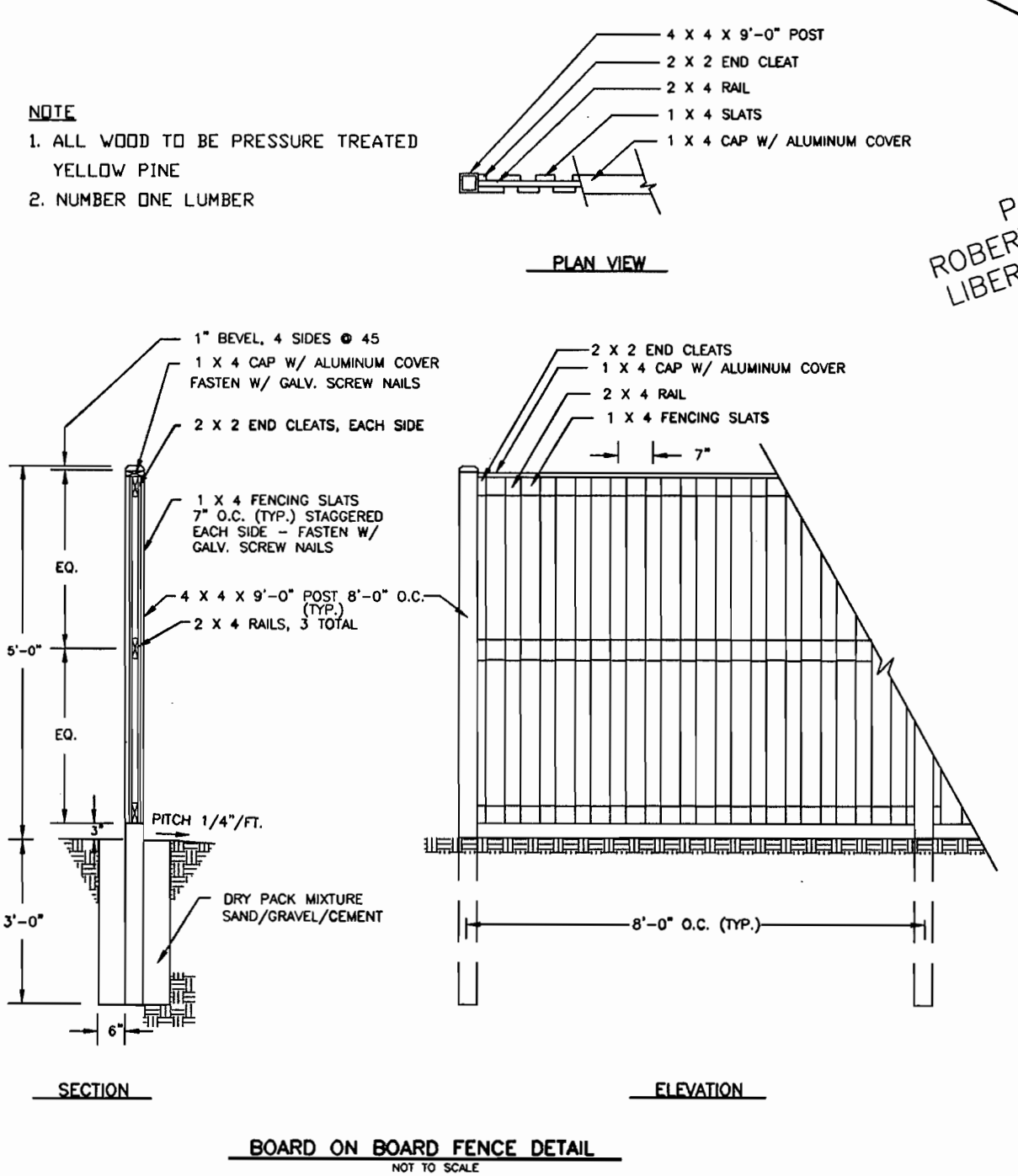


LEGEND

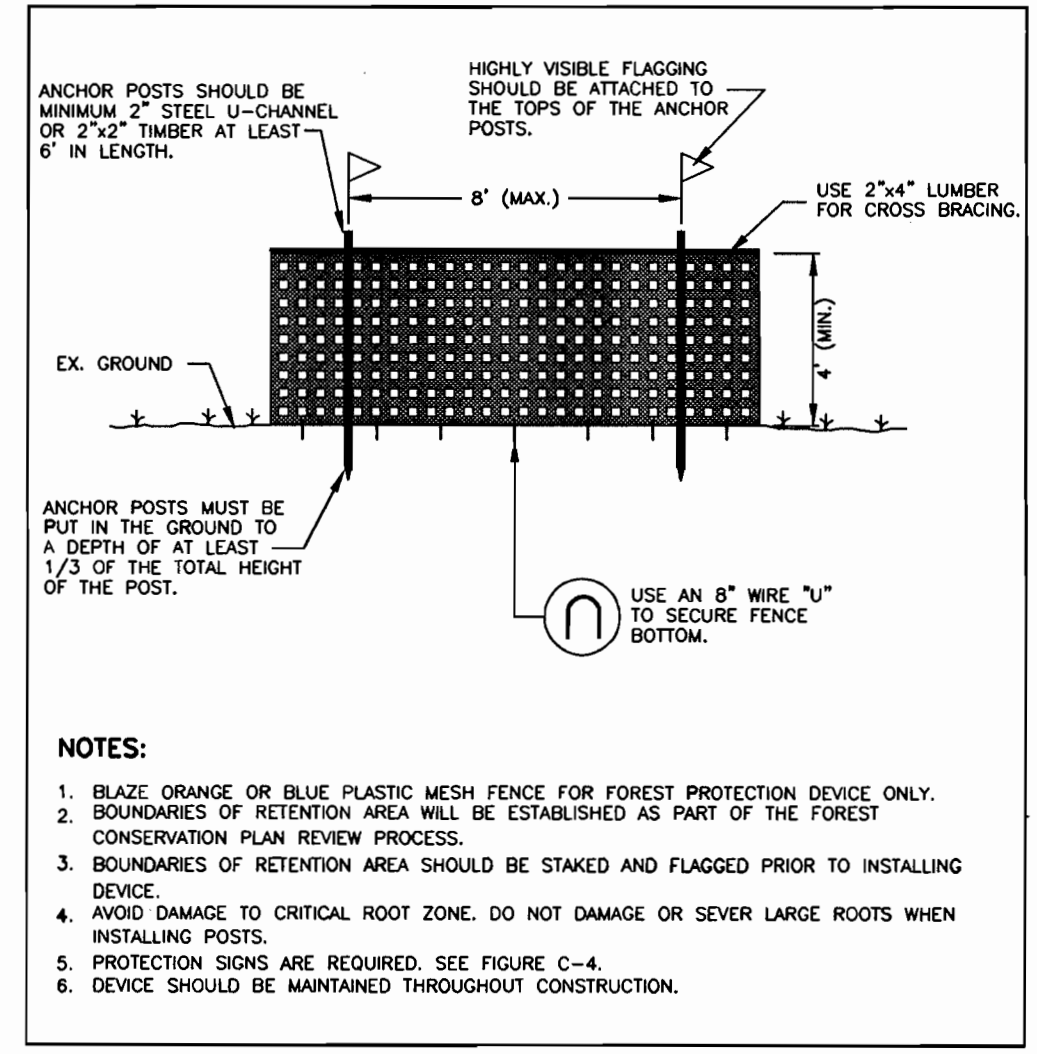
- OLD PARKING STRIPING
- NEW PARKING STRIPING
- PROP. BUILDING ADDITION
- PROP. PAVEMENT
- PROP. PAVEMENT (HEAVY DUTY)
- LOD—TP— LIMIT OF DISTURBANCE/ TREE PROTECTION FENCE



TREE PLANTING AND STAKING  
 DECIDUOUS AND EVERGREEN TREES NOT TO SCALE



BOARD ON BOARD FENCE DETAIL NOT TO SCALE

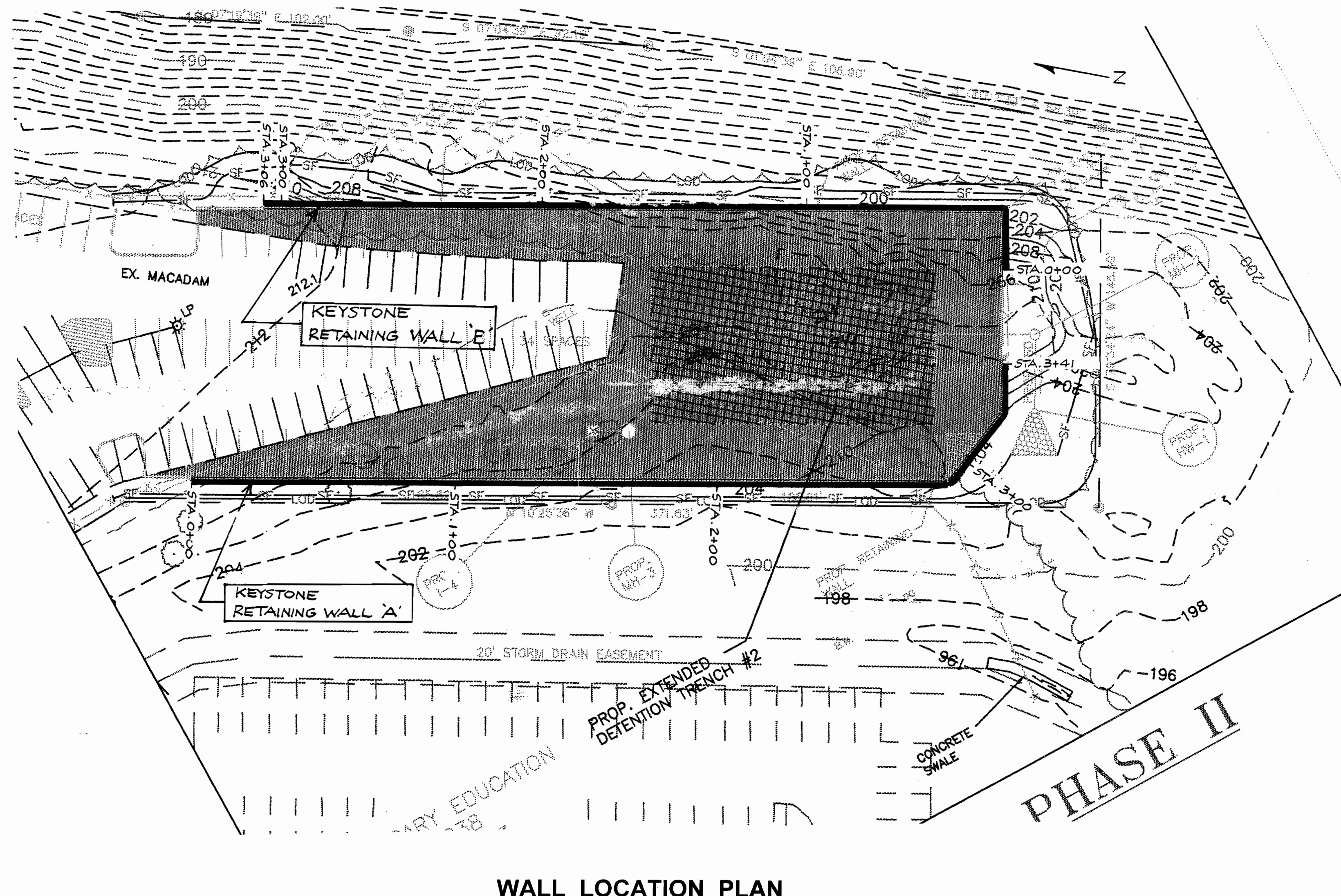


PLASTIC MESH TREE PROTECTION FENCE NOT TO SCALE

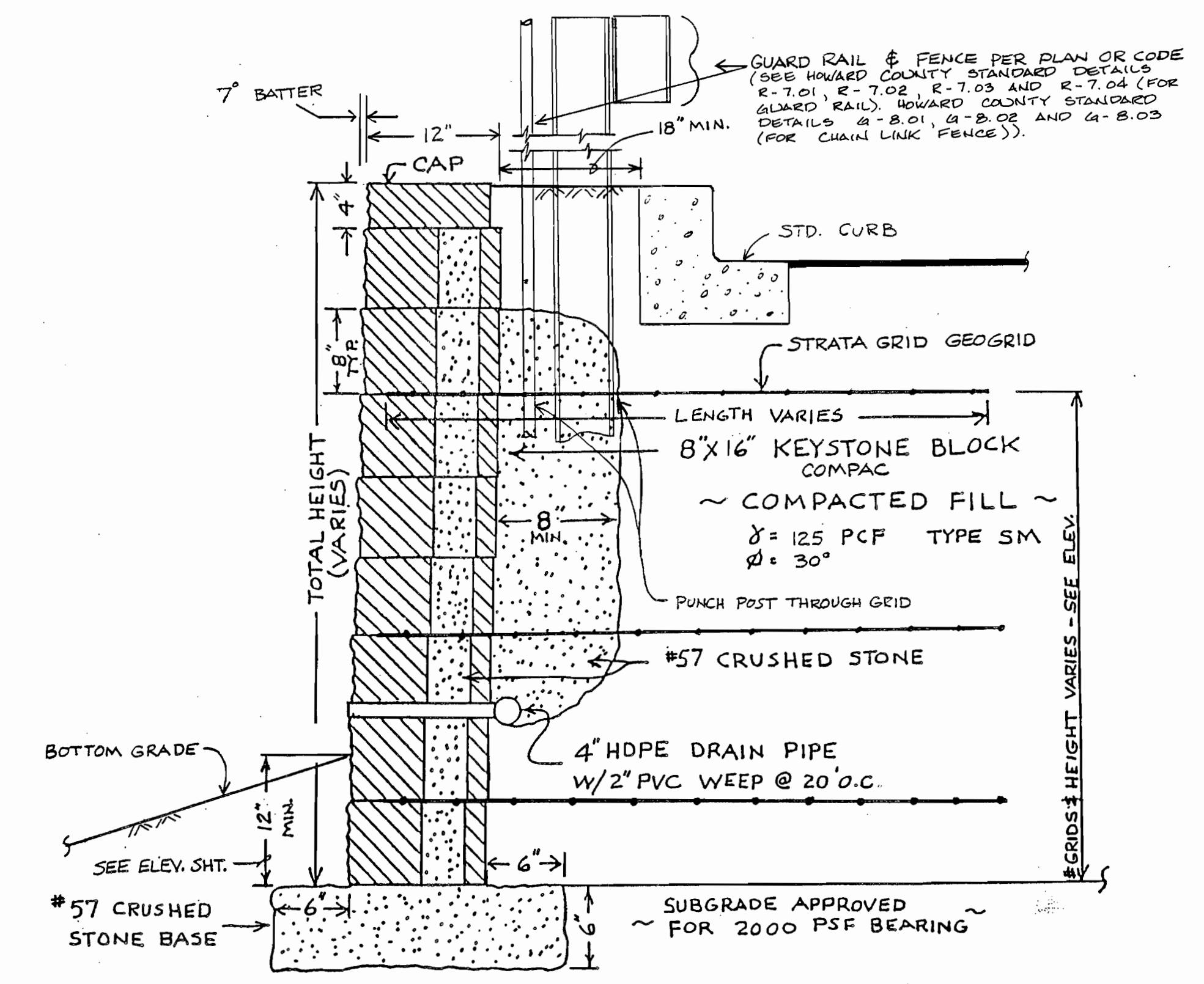
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
*Deane L. Matyske, M.D.* 5/18/01  
 COUNTY HEALTH OFFICER DATE  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 5/21/01  
 DIRECTOR DATE  
*[Signature]* 5/14/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*[Signature]* 5/21/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	No.	REVISION
OWNER: ICE CREAM PARTNERS, USA LLC. 9090 WHISKEY BOTTOM ROAD LAUREL, MARYLAND 20725 (301) 317-3734 ATTN: CHARLES MOENIUS		
PROJECT: ICE CREAM PARTNERS, USA LLC. PLANT EXPANSION PHASE I AND II		
"THE SOUTHLAND CORPORATION PROPERTY" PARCEL A TAX MAP No. 50, PARCEL 609, ELECTION DISTRICT		
AREA: TAX MAP No. 50, BLK. 5, PARCEL 509 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND CENSUS TRACT No. 6063 WATER CODE C-04 AND SEWER CODE 71-00800		
TITLE: LANDSCAPE PLAN AND DETAILS		
<b>HARMS</b>		
ENGINEERS • PLANNERS • SURVEYORS P.O. Box 5, Pasadena, MD 21123 Office: 410-647-6000 FAX: 410-544-8508		
DRAWN BY: A.N./R.E.		
DESIGNED BY: R.K.		
CHECKED BY: M.T.		
PROJECT No.: 04-00-005A		
DATE: OCTOBER, 2000		
SCALE: 1" = 50'		3/27/01
DRAWING No. 12 OF 18		SDP-01-59

ACAD FILE: L:\NESTLES\04000054\DWG\NESTEC12.DWG



**WALL LOCATION PLAN**  
1" = 30'



**TYPICAL WALL PROFILE**  
N.T.S.

**SPECIFICATION GUIDELINES**  
**KEYSTONE CONCRETE MODULAR RETAINING WALL**

**PART 1: GENERAL**

- 1.01 DESCRIPTION
  - A. Work includes furnishing and installing modular block retaining wall units to the lines and grades designated on the construction drawings and as specified herein.
  - B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit fill and backfill to the lines and grades designated on the construction drawings.
  - C. Furnishing and installing all appurtenant materials required for construction of the retaining wall as shown on the construction drawings.
- 1.02 RELATED WORK
  - A. Section 02275 - Geogrid Soil Reinforcement.
- 1.03 REFERENCE STANDARD
  - A. ASTM C90 - 85 Hollow Load Bearing Masonry Units.
  - B. ASTM C140 - 75 Sampling and Testing Concrete Masonry Units.
  - C. ASTM C145 - 85 Solid Load Bearing Concrete Masonry Units.
- 1.04 DELIVERY, STORAGE AND HANDLING
  - A. Contractor shall check the materials upon delivery to assure that proper material has been received.
  - B. Contractor shall prevent excessive mud, wet cement, epoxy, and like materials which may affix themselves, from coming in contact with the materials.
  - C. Contractor shall protect the materials from damage. Damaged material shall not be incorporated into the retaining wall structure.
- 1.05 SUBSTITUTIONS
  - A. Samples of all products used in the work of this section.
  - B. Latest edition of manufacturers specifications for proposed materials, method of installation and list of material proposed for use.
- 1.06 QUALITY ASSURANCE
  - A. Soil testing and inspection service for quality control testing during earthwork operations will be supplied by the owner.

- E. Units shall have angled sides capable of concave and convex alignment curves with a minimum radius of 3.5 feet.
  - NOTE: Where applicable, for straight walls use non-angled side cap units.
- F. Units shall be interlocked with non-corrosive fiberglass pins.
- G. Units shall be interlocked as to provide a minimum 1/4 inch setback per each course of wall height.
  - NOTE: Where applicable, zero setback or one inch setback per course options can be used.
- 2.02 FIBERGLASS CONNECTING PINS
  - A. Connecting pins shall be 1/2 inch diameter thermoset isophthalic polyester resin/pultruded fiberglass reinforcement rods.
  - B. Pins shall have a minimum flexural strength of 190,000 psi and a short beam shear of 8400 psi.
- 2.03 BASE LEVELING PAD MATERIAL
  - A. Material shall consist of compacted sand, gravel, crushed rock or leveling concrete (non-reinforced) as shown on construction drawing. The compacted leveling pad shall be a minimum 8 inches thick. When using a non-reinforced leveling concrete option, 1" to 3" thick, maintain the total leveling pad thickness.
- 2.04 UNIT FILL
  - A. Material for units shall be free draining crushed stone, 3/8" to 3/4", or coarse gravel (no more than 5% shall pass the No. 200 sieve with a maximum size of 3/4"). Gradation of the fill shall be approved by the Engineer.
  - B. Place recommended fill behind the retaining wall units.
- 2.05 BACKFILL
  - A. Material shall be inert soils when approved by the engineer unless otherwise specified in the drawings. Unavailable soils for backfill (heavy clays or organic soils) shall not be used in the backfill or in the reinforced soil mass.
  - B. Where additional fill is required contractor shall submit sample and specifications to the engineer to determine if acceptable.

**PART 3: EXECUTION**

- 3.01 EXCAVATION
  - A. Contractor shall excavate to the lines and grades shown on the construction drawings. Over excavation shall not be paid for and replacement with compacted fill and/or wall system components will be required at contractor expense. Contractor shall be careful not to disturb embankment materials beyond lines shown.
- 3.02 FOUNDATION SOIL PREPARATION
  - A. Foundation soil shall be excavated as required for footing dimensions shown on the construction drawings, or as directed by the Engineer.

- B. Foundation soil shall be examined by the Engineer to assure that the actual foundation soil strength meets or exceeds assumed design strength. Soils not meeting required strength shall be removed and replaced with acceptable material.
- C. Over-excavated areas shall be filled with approved compacted backfill material.
- 3.03 BASE LEVELING PAD
  - A. Leveling pad materials shall be placed as shown on the construction drawings, upon undisturbed inert soils, to a minimum thickness of 8 inches.
  - B. Material shall be compacted so as to provide a level hard surface on which to place the first course of units. Compaction shall be to 95% of standard proctor for sand or gravel type materials. For crushed rock, material shall be densely compacted.
  - C. Leveling pad shall be prepared to insure complete contact of retaining wall unit with base.
  - D. Leveling pad materials shall be to the depths and widths shown. Contractor may opt for using reduced depth of sand, gravel or crushed rock using a concrete topping. Concrete shall be unreinforced and a maximum of 1" to 3" thick.
- 3.04 UNIT INSTALLATION
  - A. First course of concrete wall units shall be placed on the base leveling pad. The units shall be checked for level and alignment. The first course is the most important to insure accurate verticality of the wall.
  - B. Insure the units are in full contact with base.
  - C. Units are placed side by side for full length of wall alignment. Alignment may be done by means of a string line or offset from base line.
  - D. Install fiberglass connecting pins and fill all voids at units with unit fill material. Tamp fill.
  - E. Sweep all excess material from top of units and install next course. Insure each course is completely unit filled, backfilled and compacted prior to proceeding to next course.
  - F. Lay up each course insuring that pins protrude into adjoining courses above a minimum of one inch. Two pins are required per unit. Pull each unit forward, away from the embankment, against pins in the previous course and backfill as the course is completed. Repeat procedure to the extent of wall height.
  - G. As appropriate where the wall changes elevation, units can be stepped with grade or turned 90 degrees to proceed in the desired direction.
- 3.05 CAP INSTALLATION
  - A. Place Keystone Cap units over projecting pins from units below. Pull forward to set back position. Back fill and compact to finished grade.
  - B. As required, provide permanent mechanical connection to wall units with construction adhesive or epoxy. Apply adhesive or epoxy to bottom surface of cap units and install on units below.
- 3.06 GEOGRID INSTALLATION
  - A. Follow the requirements of Section 02275, GEOGRID SOIL REINFORCEMENT.

**GEOGRID SOIL REINFORCEMENT**

**PART 1: GENERAL**

- 1.01 DESCRIPTION
  - A. Work includes furnishing and installing geogrid reinforcement, wall fill, and backfill to the lines and grades designated on the construction drawings.
  - B. Work includes furnishing and installing all appurtenant materials required for construction of the geogrid reinforced soil retaining wall as shown on the construction drawings.
- 1.02 RELATED WORK
  - A. Section 02275 - KEYSTONE CONCRETE MODULAR RETAINING WALL.
- 1.03 REFERENCE STANDARDS
  - A. See specific geogrid manufacturers reference standards.
- 1.04 DELIVERY, STORAGE AND HANDLING
  - A. Contractor shall check the geogrid upon delivery to assure that the proper material has been received.
  - B. Geogrids shall be stored above -20°F.
  - C. Contractor shall prevent excessive mud, wet cement, epoxy and like materials which may affix themselves to the geogridwork, from coming in contact with the geogrid material.
  - D. Rolled geogrid material may be laid flat or stored on end for storage.
- 1.05 SUBSTITUTIONS
  - A. Samples of all products used in the work of this section.
  - B. Latest edition of manufacturers specifications for proposed materials, method of installation and list of material proposed for use.
- 1.06 QUALITY ASSURANCE
  - A. Soil testing and inspection services for quality control testing during earthwork operation will be supplied by the owner.

**PART 2: PRODUCTS**

- 2.01 DEFINITION
  - A. Geogrid products shall be high density polyethylene expanded sheet or polyester woven fiber materials, specifically fabricated for use as soil reinforcement.
  - B. Concrete retaining wall units are as detailed on the drawings and are specified under Section: 02275 - KEYSTONE CONCRETE MODULAR RETAINING WALL.
  - C. Wall fill is a free draining granular material used within the concrete units.
  - D. Backfill is the soil which is used as fill for the reinforced soil mass.
  - E. Foundation soil is the in situ soil.
- 2.02 GEOGRID
  - A. Geogrid shall be the type as shown on the drawings having the property requirements as described within the manufacturers specifications.
- 2.03 ACCEPTABLE MANUFACTURERS
  - A. A manufacturer's product shall be approved by the Engineer prior to bid opening.

**PART 3: EXECUTION**

- 3.01 FOUNDATION SOIL PREPARATION
  - A. Foundation soil shall be excavated to the lines and grades as shown on the construction drawings or as directed by the Engineer.
  - B. Foundation soil shall be examined by the Engineer to assure that the actual foundation soil strength meets or exceeds assumed design strength.
  - C. Over-excavated areas shall be filled with approved compacted backfill material.
  - D. Foundation soil shall be proof rolled prior to fill and geogrid placement.
- 3.02 WALL ERECTION
  - A. Wall erection shall be as specified under Section: 02275 - KEYSTONE CONCRETE MODULAR RETAINING WALL.
- 3.03 GEOGRID INSTALLATION
  - A. The geogrid soil reinforcement shall be laid horizontally on compacted backfill. Connect to the concrete wall units by hooking geogrid over fiberglass pins. Pull taut, and anchor before backfill is placed on the geogrid.
  - B. Stack in the geogrid at the wall unit; connections shall be removed.
  - C. Geogrid shall be laid at the proper elevation and orientation as shown on the construction drawings or as directed by the Engineer.
  - D. Correct orientation (roll direction) of the geogrid shall be verified by the contractor.
  - E. To pretension geogrid, pull pinned geogrid taut to eliminate loose folds. Stakes or secure back edge of geogrid prior to and during backfill and compaction.
  - F. Follow manufacturers guidelines relative to overlap requirements of uniaxial and biaxial geogrids.
- 3.04 FILL PLACEMENT
  - A. Backfill material shall be placed in 8 inch lifts and compacted to 95% of Standard Proctor.
  - B. Backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack or loss of pretension of the geogrid.
  - C. Only hand-operated compaction equipment shall be allowed within 3 feet of the back surface of the Keystone units.
  - D. Backfill shall be placed from the wall rearward into the embankment to insure that the geogrid remains taut.
  - E. Tracked construction equipment shall not be operated directly on the geogrid. A minimum backfill thickness of 8 inches is required prior to operation of tracked vehicles over the geogrid. Turning of tracked vehicles should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
  - F. Rubber-tired equipment may pass over the geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.

DATE	No.	REVISION

"THE BOUTLAND CORPORATION PROPERTY" PARCEL A  
TAX MAP No. 50, PARCEL 50A, 6TH ELECTION DISTRICT

AREA: TAX MAP No. 50, P.L.C. 5, PARCEL 50A  
6TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
GENESEE TRACT No. 6005  
WATER CODE: C-04 AND SEWER CODE: 71-00800

**ICE CREAM PARTNERS, USA LLC.**  
**PLANT EXPANSION PHASE I AND II**

OWNER:  
ICE CREAM PARTNERS, USA LLC.  
9090 WHISKEY BOTTOM ROAD LAUREL, MARYLAND 20725  
(301) 317-3734 ATTN: CHARLES MOENIUS

**KEYSTONE RETAINING WALL DETAILS**



**Hillis-Carnes**  
**Engineering Associates, Inc.**  
12011 Guilford Road Suite 106  
Annapolis Junction, Maryland 20701

Date	10/25/00	Design By	RWS
Project #	99038-A	Drawn By	AM
File Name	J/cad/hcea/99038-A	Checked By	RMH

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

HOWARD COUNTY HEALTH DEPARTMENT

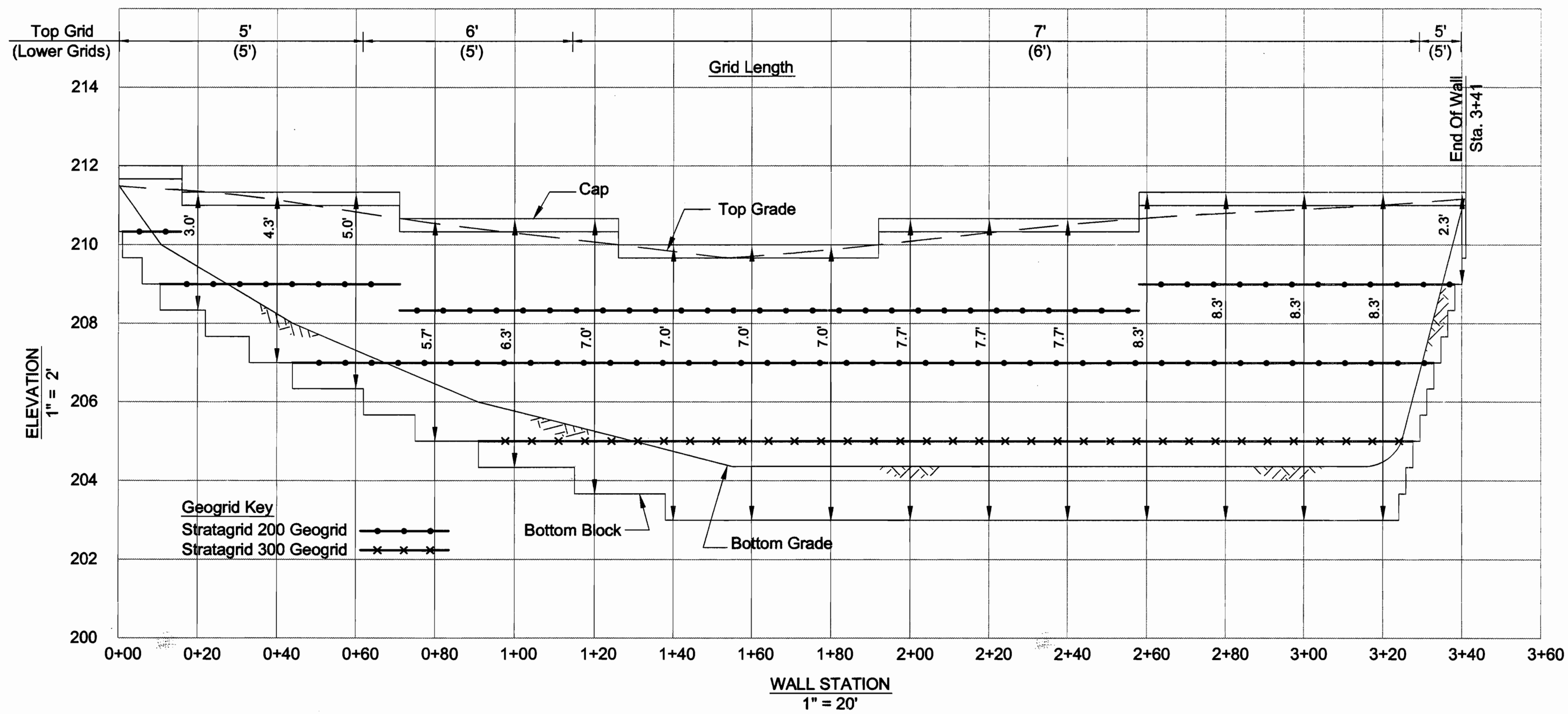
*David M. Matlock* M.D. / JRM 5/18/01  
COUNTY HEALTH OFFICER MR DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

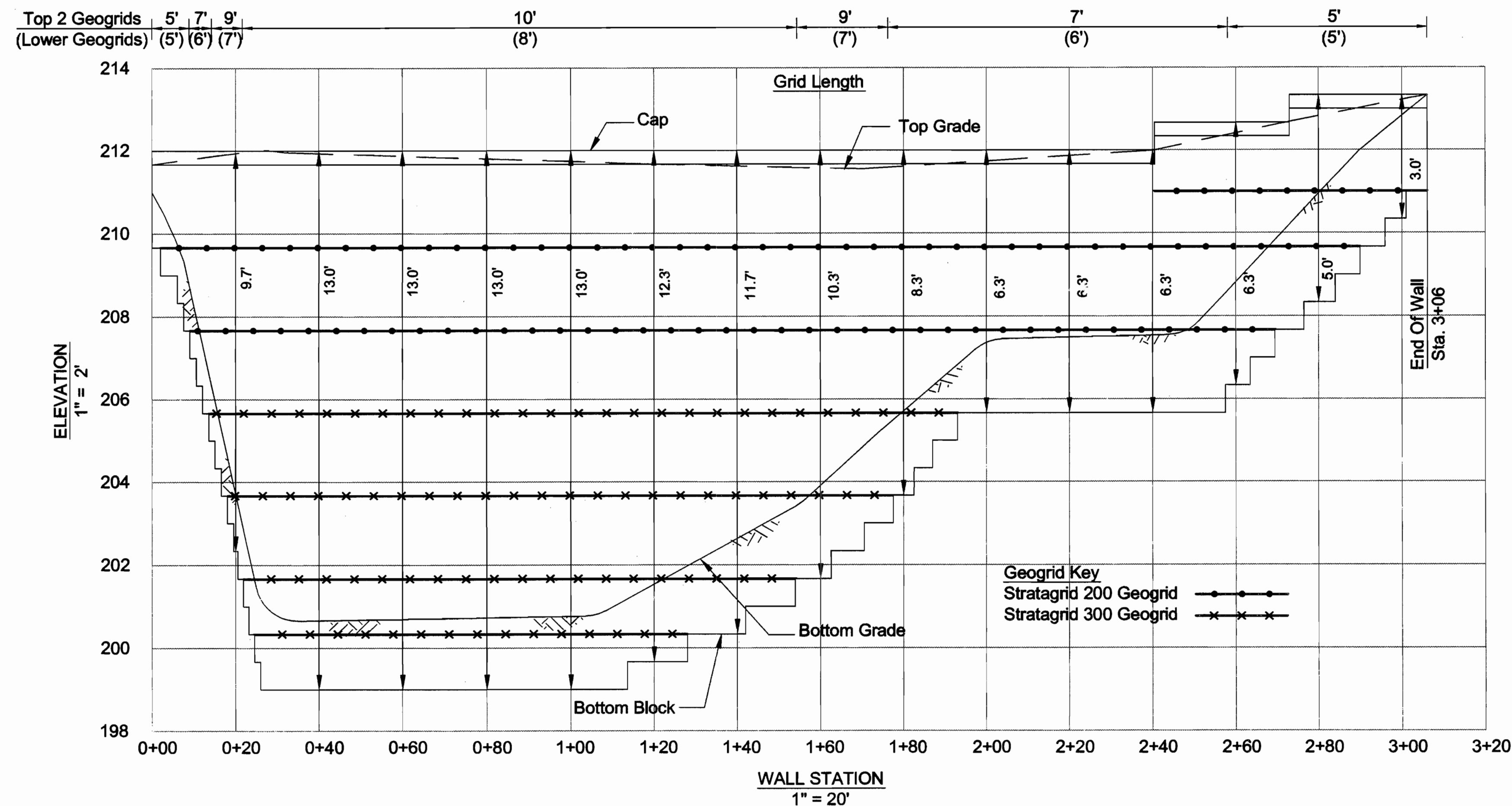
*Gregory J. Smith* 5/14/01  
DIRECTOR DATE

*Charles D. Bennett* 5/21/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE





**WALL 'A' ELEVATION**



**WALL 'B' ELEVATION**

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT

*Diane J. Mitunyak M.D. / JSM* 5/18/01  
 COUNTY HEALTH OFFICER DATE

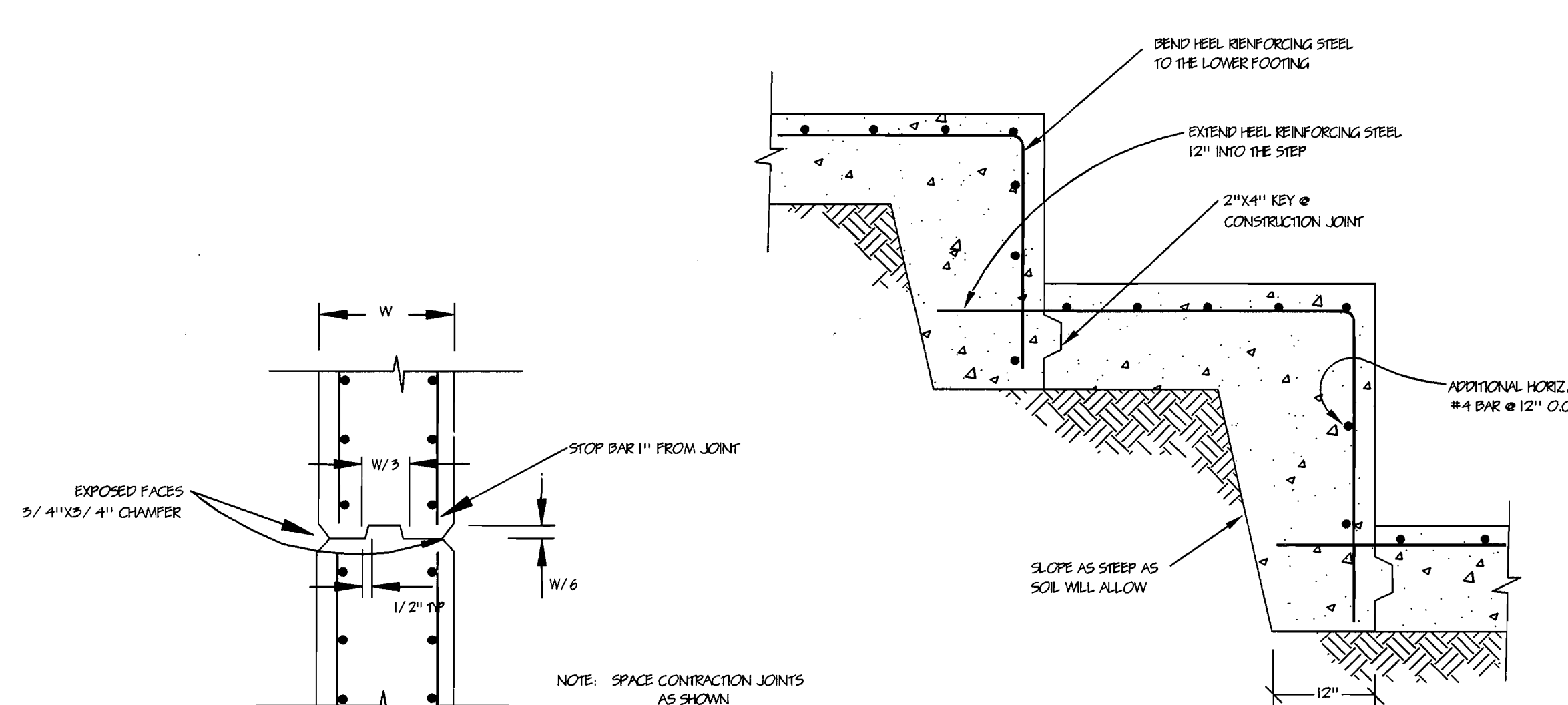
APPROVED HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 5/21/01  
 DIRECTOR DATE

*[Signature]* 5/14/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

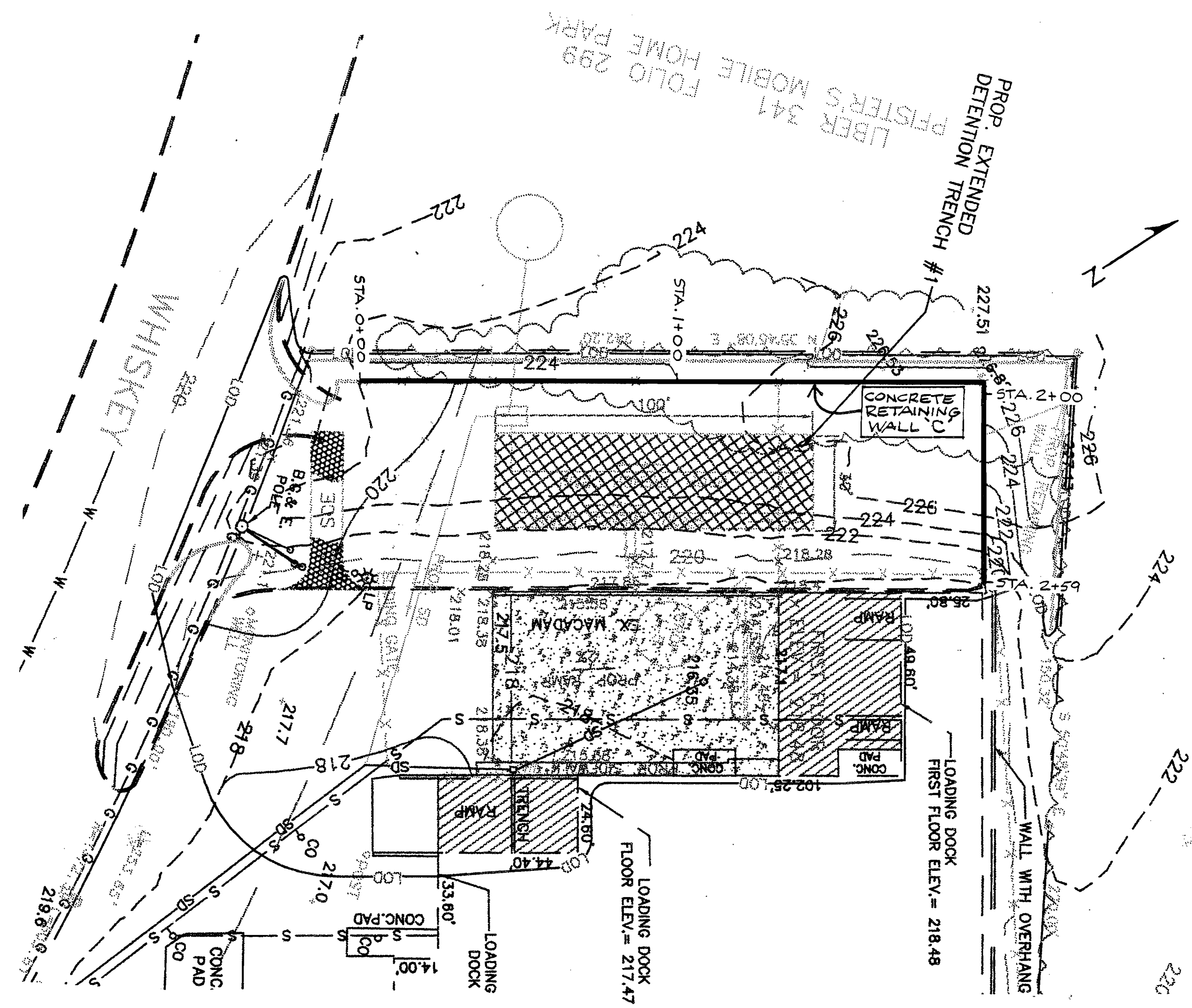
*[Signature]* 5/21/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	No.	REVISION
*THE EIGHTLAND COOPERATION PROPERTY PARCEL A TAX MAP No. 60, PARCEL 501, 6 <sup>th</sup> ELECTRICAL DISTRICT		
AREA: TAX MAP No. 60, P.L.C. 5, PARCEL 501 6 <sup>th</sup> ELECTRICAL DISTRICT HOWARD COUNTY, MARYLAND CENBUS TRACT No. 6003 WATER CODE: C-04 AND SEWER CODE: 71-00800		
<b>ICE CREAM PARTNERS, USA LLC.</b> <b>PLANT EXPANSION PHASE I AND II</b>		
OWNER: ICE CREAM PARTNERS, USA LLC. 9090 WHISKEY BOTTOM ROAD LAUREL, MARYLAND 20725 (301) 317-5734 ATTN: CHARLES MOENIUS		
<b>KEYSTONE RETAINING WALL DETAILS</b>		
<b>Hillis-Carnes</b> <b>Engineering Associates, Inc.</b> 12011 Guilford Road Suite 106 Annapolis Junction, Maryland 20701		
Date	10/25/00	Design By RWS
Project #	99038-A	Drawn By AM
File Name	J/cad/hcea/99038-A	Checked By RMH



**WALL STEP DETAIL**  
NOT TO SCALE

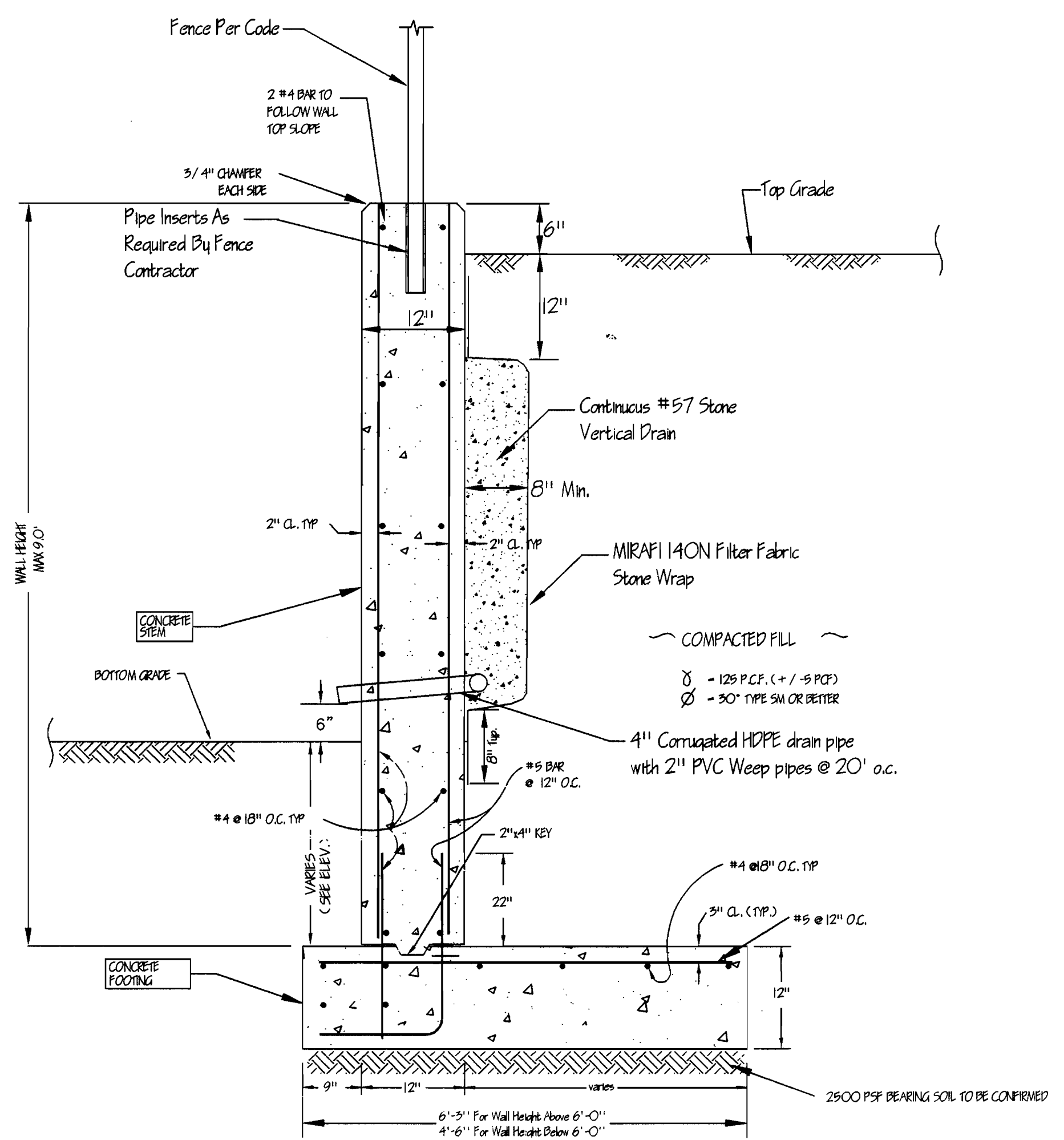
**WALL STEM VERTICAL CONTRACTION JOINT C.J. DETAIL**  
NOT TO SCALE



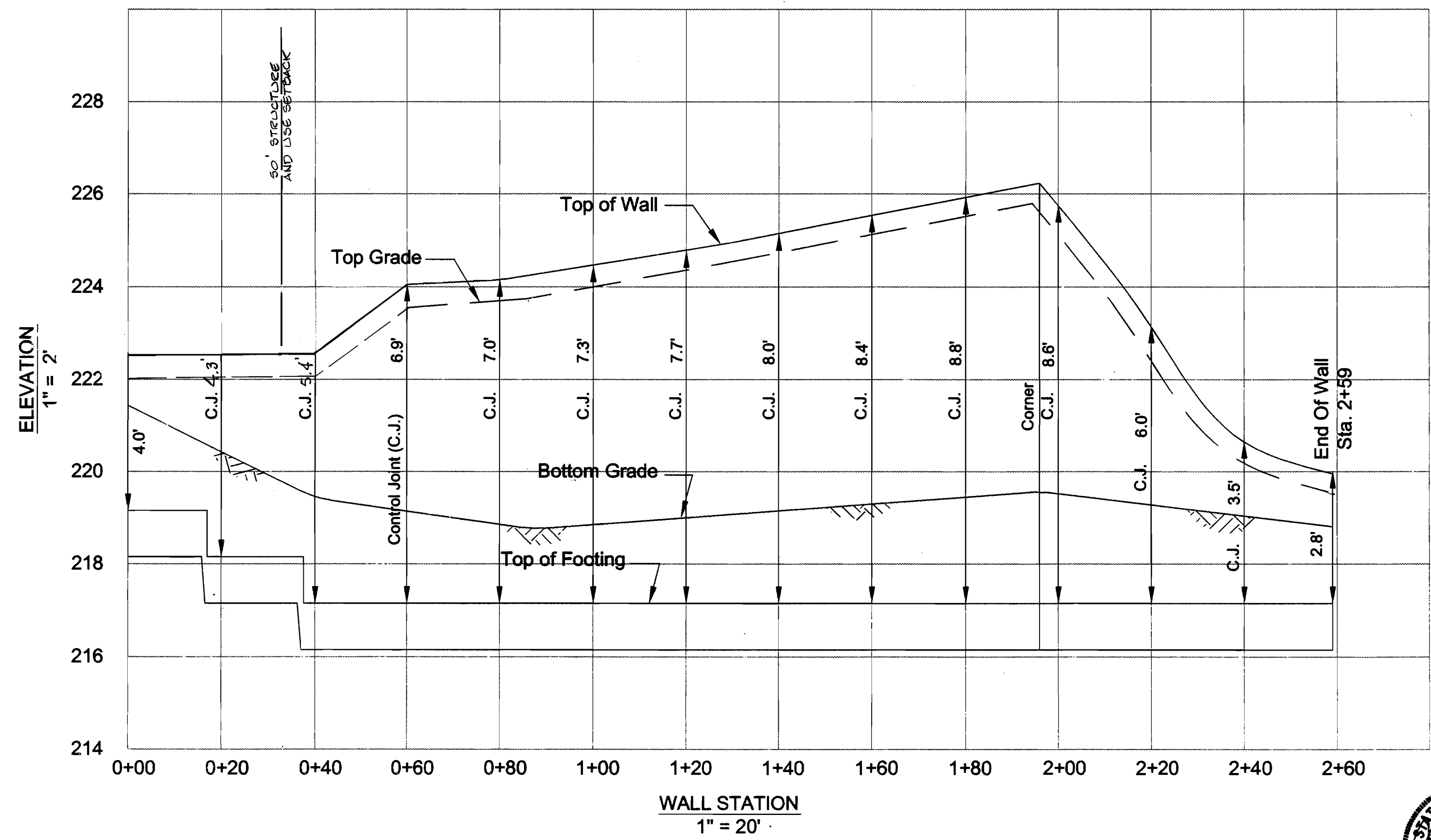
**WALL LOCATION PLAN**  
1" = 30'

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS	
HOWARD COUNTY HEALTH DEPARTMENT	
<i>Diene J. Matyniak M.S.</i>	5/18/01
COUNTY HEALTH OFFICER	DATE
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i>	5/18/01
DIRECTOR	DATE
<i>[Signature]</i>	5/14/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>[Signature]</i>	5/21/01
CHIEF DIVISION OF LAND DEVELOPMENT	DATE

- NOTES:**
- 1.) ALL RETAINING WALL CONCRETE SHALL BE 4000 PSI WITH AIR ENTRAINMENT.
  - 2.) REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE 60.
  - 3.) WALL BACKFILL SHALL BE COMPACTED TO 95% OF T-99.
  - 4.) CONCRETE WORK SHALL COMPLY WITH THE LATEST ACI 318 BUILDING CODE FOR CONCRETE STRUCTURES.
  - 5.) ALL REBAR SPLICES NOT SHOWN SHALL BE A MINIMUM 40 BAR DIAM.
  - 6.) ALL WALL EXPOSED SURFACES SHALL BE MORTAR PATCHED AND SACK-RUBBED FINISHED WITH GROUT AND BURLAP.

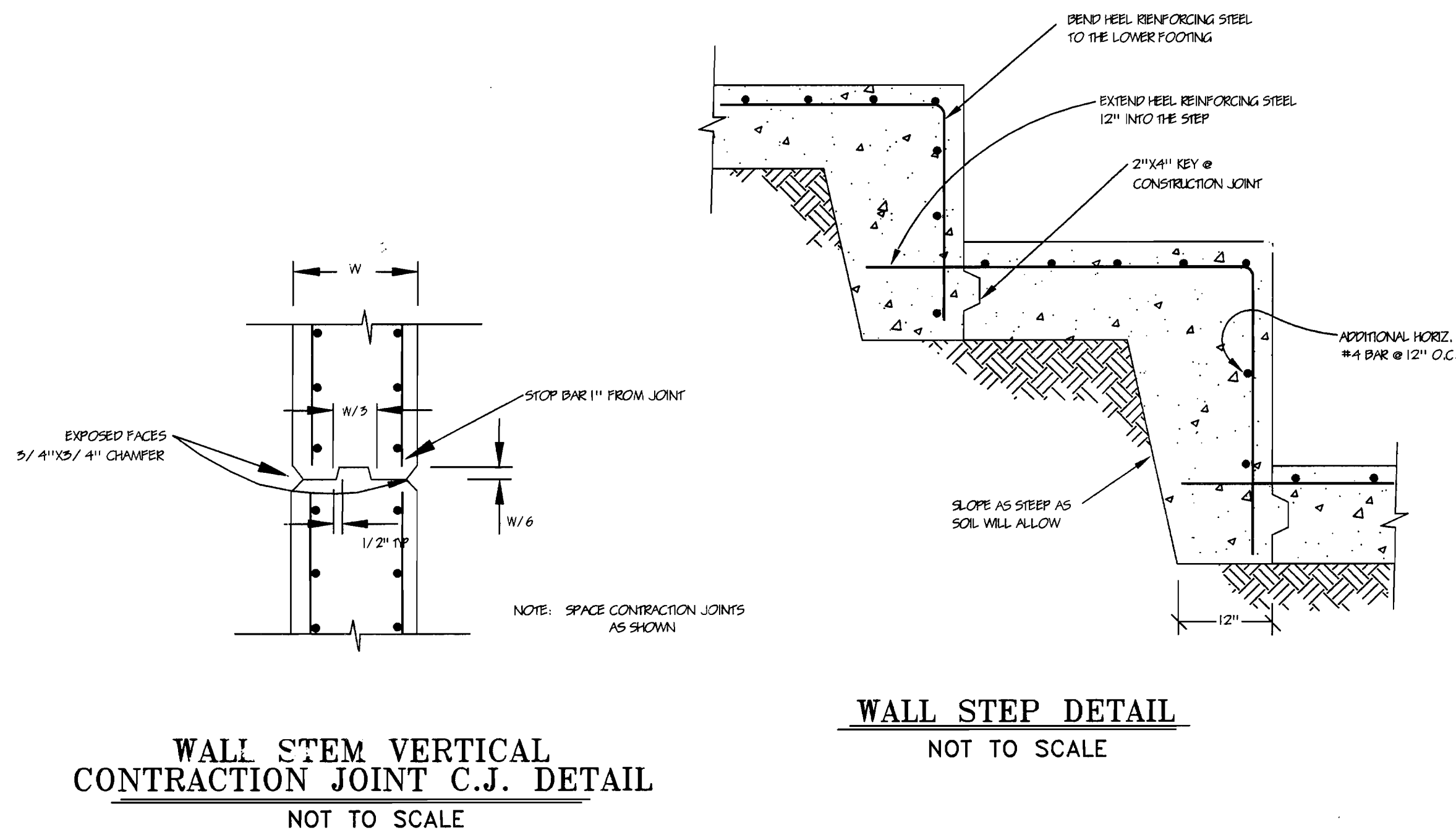


**WALL SECTION**  
NOT TO SCALE



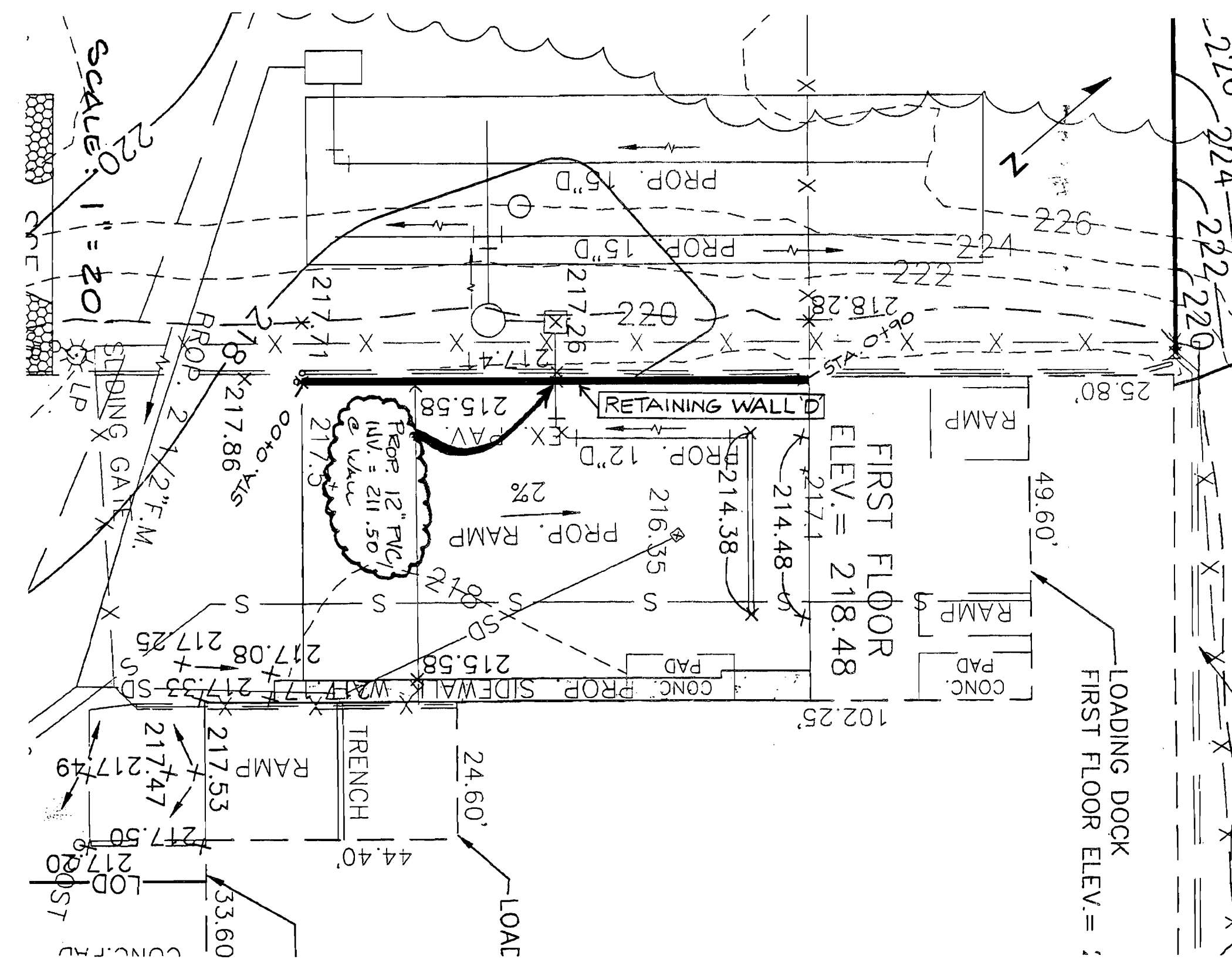
**WALL ELEVATION**  
1" = 20'

DATE	No.	REVISION
"THE GOLDLAND CORPORATION PROPERTY" PARCEL A TAX MAP No. 60, PREC. 501, 1 <sup>st</sup> ELECTION DISTRICT		
AREA: TAX MAP No. 60, B.L. 5, PREC. 501 1 <sup>st</sup> ELECTION DISTRICT HOWARD COUNTY, MARYLAND CENTER TRACT No. 6023 WATER CODE: C-04 AND SEWER CODE: 71-00800		
<b>ICE CREAM PARTNERS, USA LLC. PLANT EXPANSION PHASE I AND II</b>		
OWNER: ICE CREAM PARTNERS, USA LLC. 9090 WHISKEY BOTTOM ROAD LAUREL, MARYLAND 20725 (301) 317-3734 ATTN: CHARLES MOENIUS		
<b>RETAINING WALL 'C' DETAIL</b>		
<b>Hillis-Carnes Engineering Associates, Inc.</b> 12011 Guilford Road Suite 106 Annapolis Junction, Maryland 20701		
Date	10/25/00	Design By RWS
Project #	99038-A	Drawn By AM
File Name	J/cad/hcea/99038-A	Checked By RMH

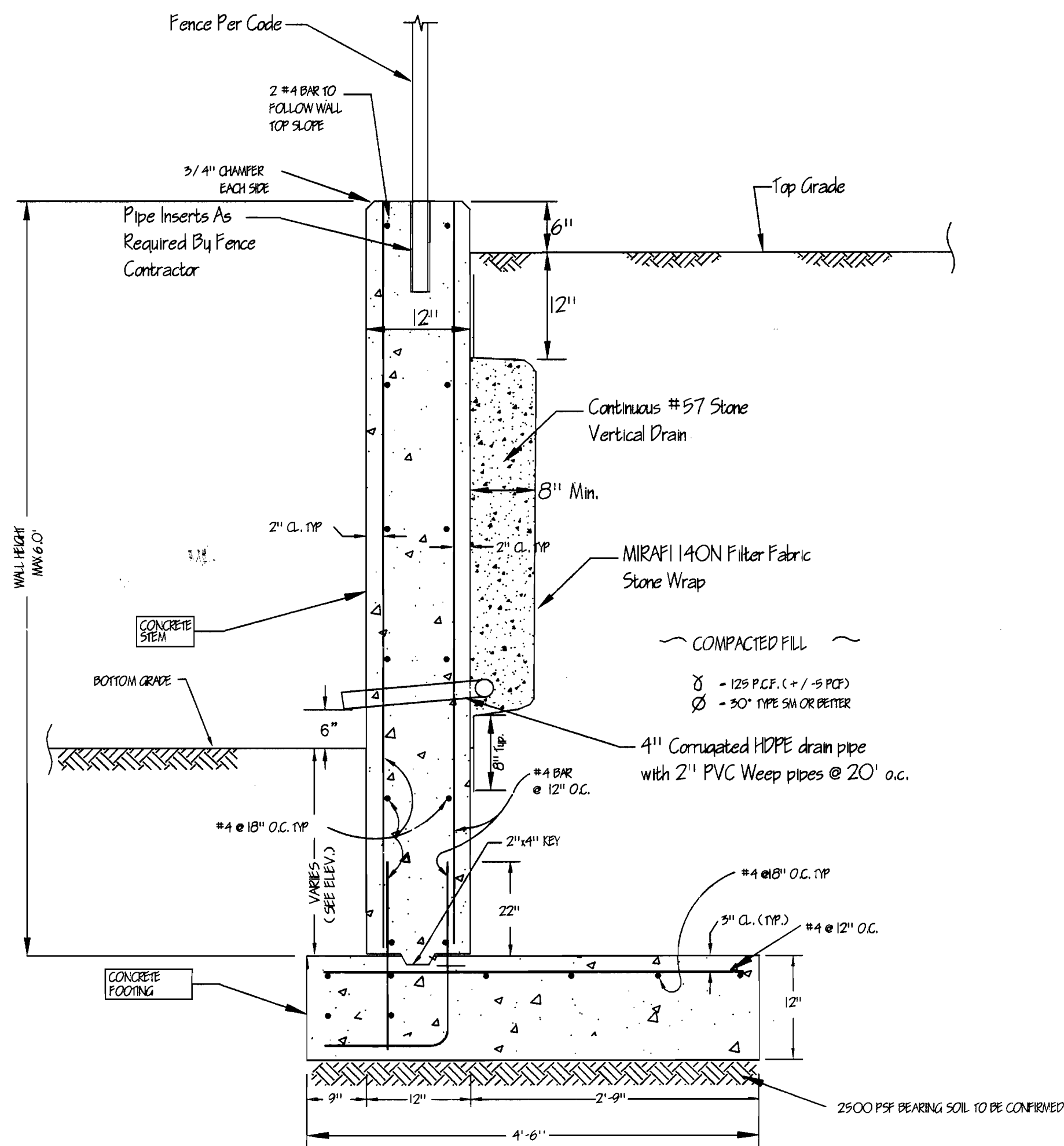


**WALL STEP DETAIL**  
NOT TO SCALE

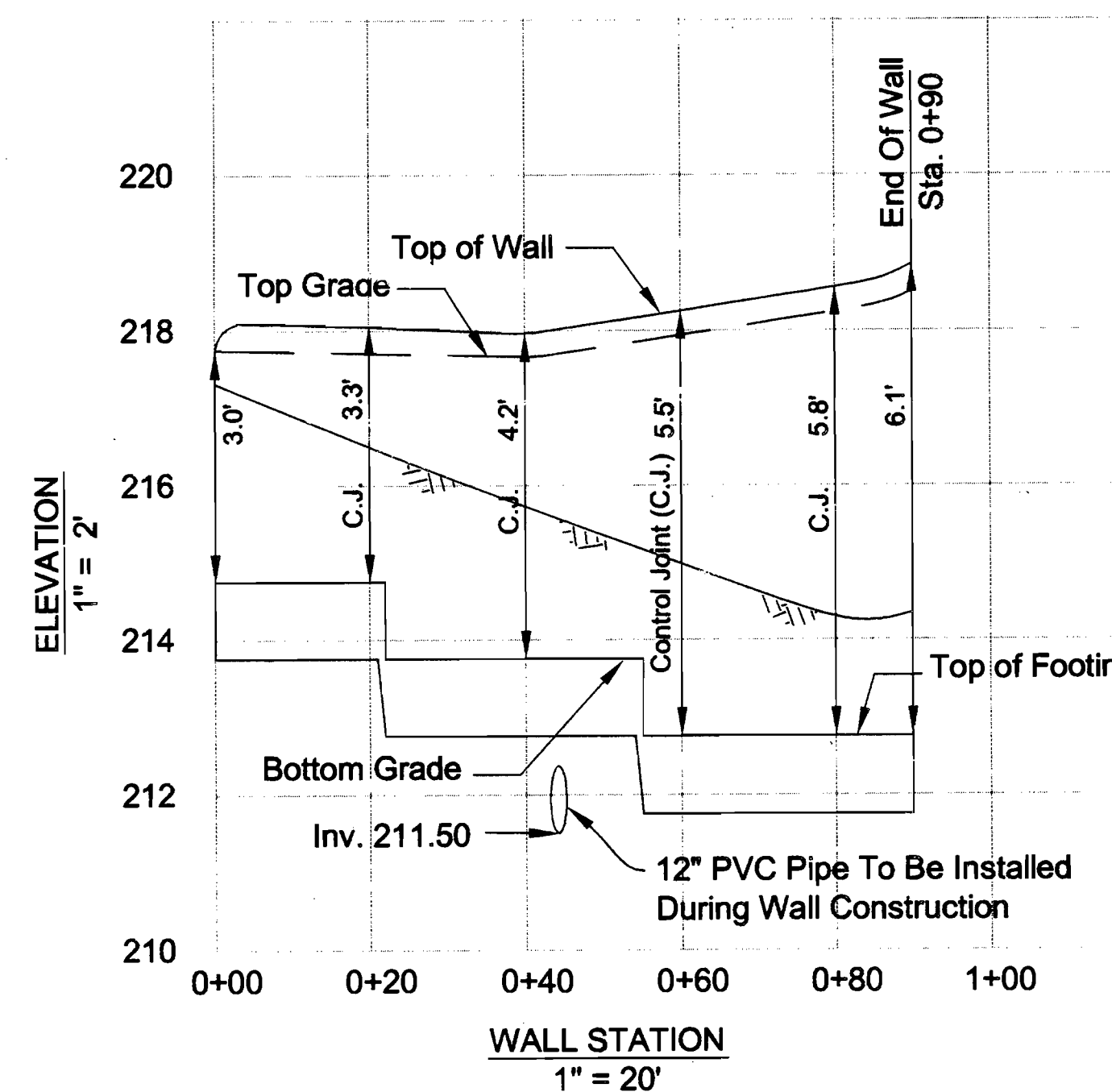
**WALL STEM VERTICAL  
CONTRACTION JOINT C.J. DETAIL**  
NOT TO SCALE



**WALL LOCATION PLAN**  
1" = 20'



**WALL SECTION**  
NOT TO SCALE



**WALL ELEVATION**  
1" = 20'

**NOTES:**

- 1.) ALL RETAINING WALL CONCRETE SHALL BE 4000 PSI WITH AIR ENTRAINMENT.
- 2.) REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE 60.
- 3.) WALL BACKFILL SHALL BE COMPACTED TO 95% OF T-99.
- 4.) CONCRETE WORK SHALL COMPLY WITH THE LATEST ACI 318 BUILDING CODE FOR CONCRETE STRUCTURES.
- 5.) ALL REBAR SPLICES NOT SHOWN SHALL BE A MINIMUM 40 BAR DIAM.
- 6.) ALL WALL EXPOSED SURFACES SHALL BE MORTAR PATCHED AND SACK-RUBBED FINISHED WITH GROUT AND BURLAP.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT  
*Deane J. Motusyak M.D.* 5/18/01  
COUNTY HEALTH OFFICER MR

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
*Joseph R. Rutter* 5/21/01  
DIRECTOR

*John D. ...* 5/14/01  
CHIEF DEVELOPMENT ENGINEERING DIVISION

*Harold ...* 5/21/01  
CHIEF DIVISION OF LAND DEVELOPMENT

DATE	No.	REVISION

"THE BETHLAND CORPORATION PROPERTY" PARCEL A  
TAX MAP No. 50, PARCEL 507 6<sup>th</sup> ELECTION DISTRICT

AREA: TAX MAP No. 50, BLK. 5, PARCEL 507  
6<sup>th</sup> ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
CENTERS TRACT No. 506'S  
WATER CODE: C-24 MID SEWER CODE: 71-00B00

**ICE CREAM PARTNERS, USA LLC.  
PLANT EXPANSION PHASE I AND II**

OWNER:  
ICE CREAM PARTNERS, USA LLC.  
9090 WHISKEY BOTTOM ROAD LAUREL, MARYLAND 20725  
(301) 317-3734 ATTN: CHARLES MOENIUS

**RETAINING WALL 'D' DETAIL**

**HARRIS**  
ENGINEERS • PLANNERS • SURVEYORS  
P.O. Box 5, Potosi, MO 63452  
Office: 417-847-4000 Fax: 417-844-0000

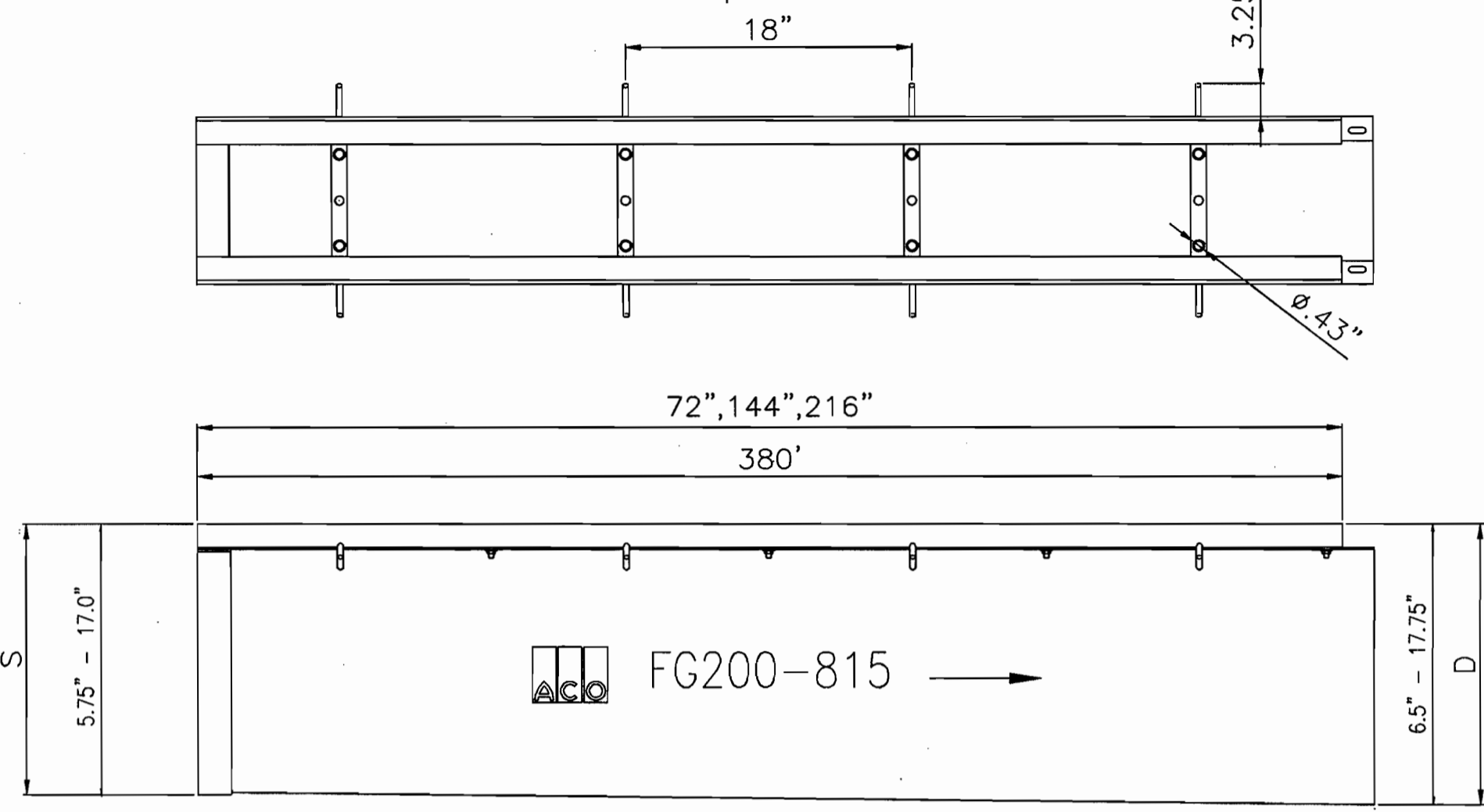
**Hillis-Carnes  
Engineering Associates, Inc.**  
12011 Guilford Road Suite 106  
Annapolis Junction, Maryland 20701

Date	10/25/00	Design By	RWS
Project #	99038-A	Drawn By	AM
File Name	J/cad/hcea/99038-A	Checked By	RMH



FG200 Trench Drain  
Top View

ACO Polymer Products  
Fiberglass Trench Drain



FG200 Channel shallow and deep end depths (in.)

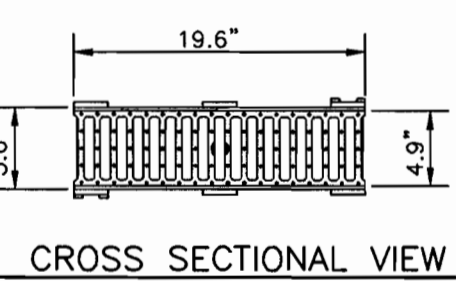
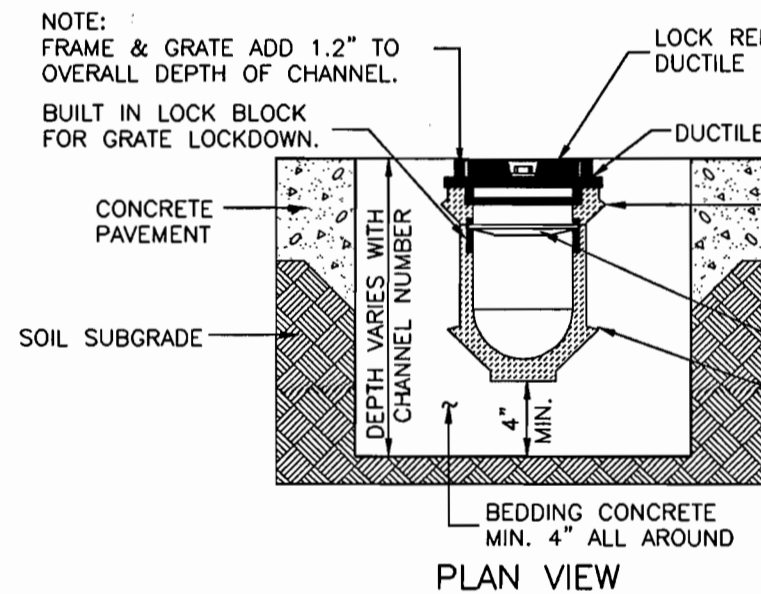
E- indicates 12" extension walls

Channel	Channel only			Channel with frame		
	S	D	Slope	S	D	Slope
801	4.13	4.88	1.04%	5.63	6.38	1.04%
801N	4.88	4.88	0%	6.38	6.38	0%
802	4.88	5.63	1.04%	6.38	7.13	1.04%
803	5.63	6.38	1.04%	7.13	7.88	1.04%
804	6.38	7.13	1.04%	7.88	8.63	1.04%
805	7.13	7.88	1.04%	8.63	9.38	1.04%
806	7.88	8.63	1.04%	9.38	10.13	1.04%
806N	8.63	8.63	0%	10.13	10.13	0%
807	8.63	9.38	1.04%	10.13	10.88	1.04%
808	9.38	10.13	1.04%	10.88	11.63	1.04%
809	10.13	10.88	1.04%	11.63	12.38	1.04%
810	10.88	11.63	1.04%	12.38	13.13	1.04%
811	11.63	12.38	1.04%	13.13	13.88	1.04%
811N	12.38	12.38	0%	13.88	13.88	0%
812	12.38	13.13	1.04%	13.88	14.63	1.04%
813	13.13	13.88	1.04%	14.63	15.38	1.04%
814	13.88	14.63	1.04%	15.38	16.13	1.04%
815	14.63	15.38	1.04%	16.13	16.88	1.04%
815N	15.38	15.38	0%	16.88	16.88	0%
816	15.38	16.13	1.04%	16.88	17.63	1.04%
801E	16.13	16.88	1.04%	17.63	18.38	1.04%
801NE	16.88	16.88	0%	18.38	18.38	0%
802E	16.88	17.63	1.04%	18.38	19.13	1.04%
803E	17.63	18.38	1.04%	19.13	19.88	1.04%
804E	18.38	19.13	1.04%	19.88	20.63	1.04%
805E	19.13	19.88	1.04%	20.63	21.38	1.04%
806E	19.88	20.63	1.04%	21.38	22.13	1.04%
806NE	20.63	20.63	0%	22.13	22.13	0%
807E	20.63	21.38	1.04%	22.13	22.88	1.04%
808E	21.38	22.13	1.04%	22.88	23.63	1.04%
809E	22.13	22.88	1.04%	23.63	24.38	1.04%
810E	22.88	23.63	1.04%	24.38	25.13	1.04%
811E	23.63	24.38	1.04%	25.13	25.88	1.04%
811NE	24.38	24.38	0%	25.88	25.88	0%
812E	24.38	25.13	1.04%	25.88	26.63	1.04%
813E	25.13	25.88	1.04%	26.63	27.38	1.04%
814E	25.88	26.63	1.04%	27.38	28.13	1.04%
815E	26.63	27.38	1.04%	28.13	28.88	1.04%
815NE	27.38	27.38	0%	28.88	28.88	0%
816E	27.38	28.13	1.04%	28.88	29.63	1.04%

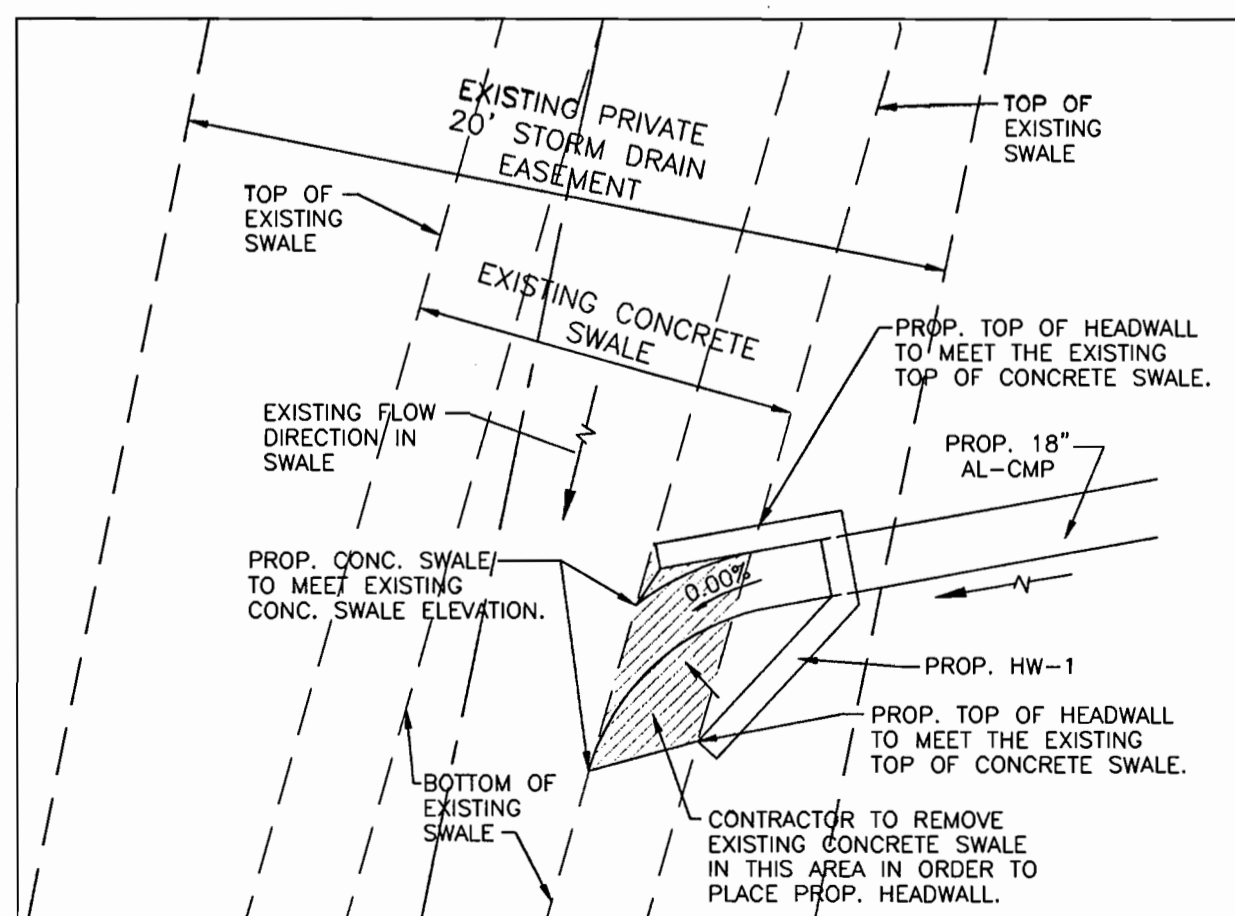
NOTES:  
The ACO FG200 8" wide trench drain system is designed for applications requiring higher volumes of fluids. The FG200 features an advanced hydraulic shape with a built-in slope of 1% and an extremely low coefficient of friction. The FG trench sections come in 6' lengths while the frames are offered in 6', 12' & 18' lengths. Polyester or Vinyl ester resins are available when chemicals are a concern.  
Frame Options:

Coated Steel	Art#	Galv. Steel	Art#	304 Stainless Steel	Art#
6'	6509	6'	6726	6'	5914
12'	4082	12'	6745	12'	5916
18'	5952	18'	6746	18'	5917

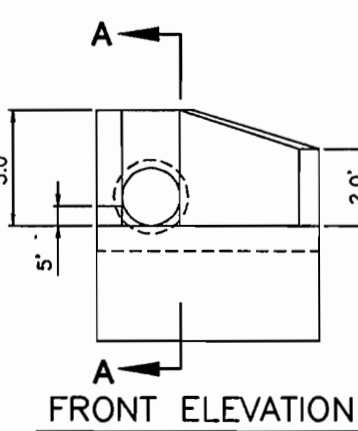
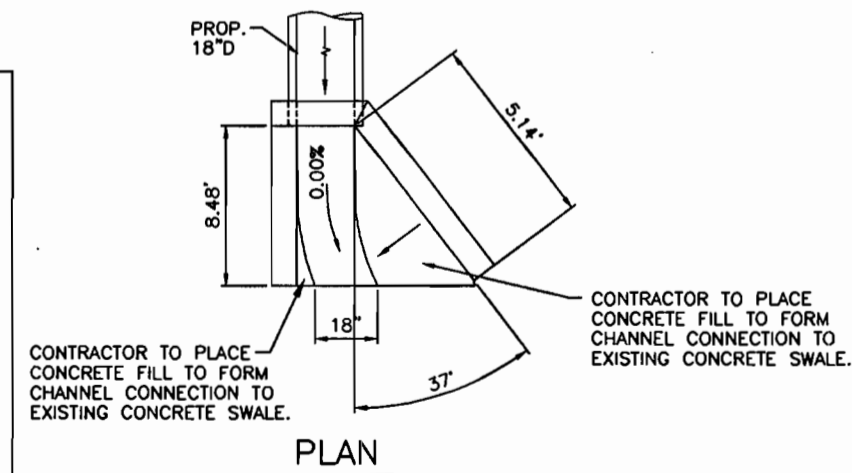
NOTES:  
Grate/ Load Class  
Gray Iron Load Class D-(450psi)  
Grate Length 18"  
Art# 5907



TRENCH DRAIN DETAIL  
NOT TO SCALE

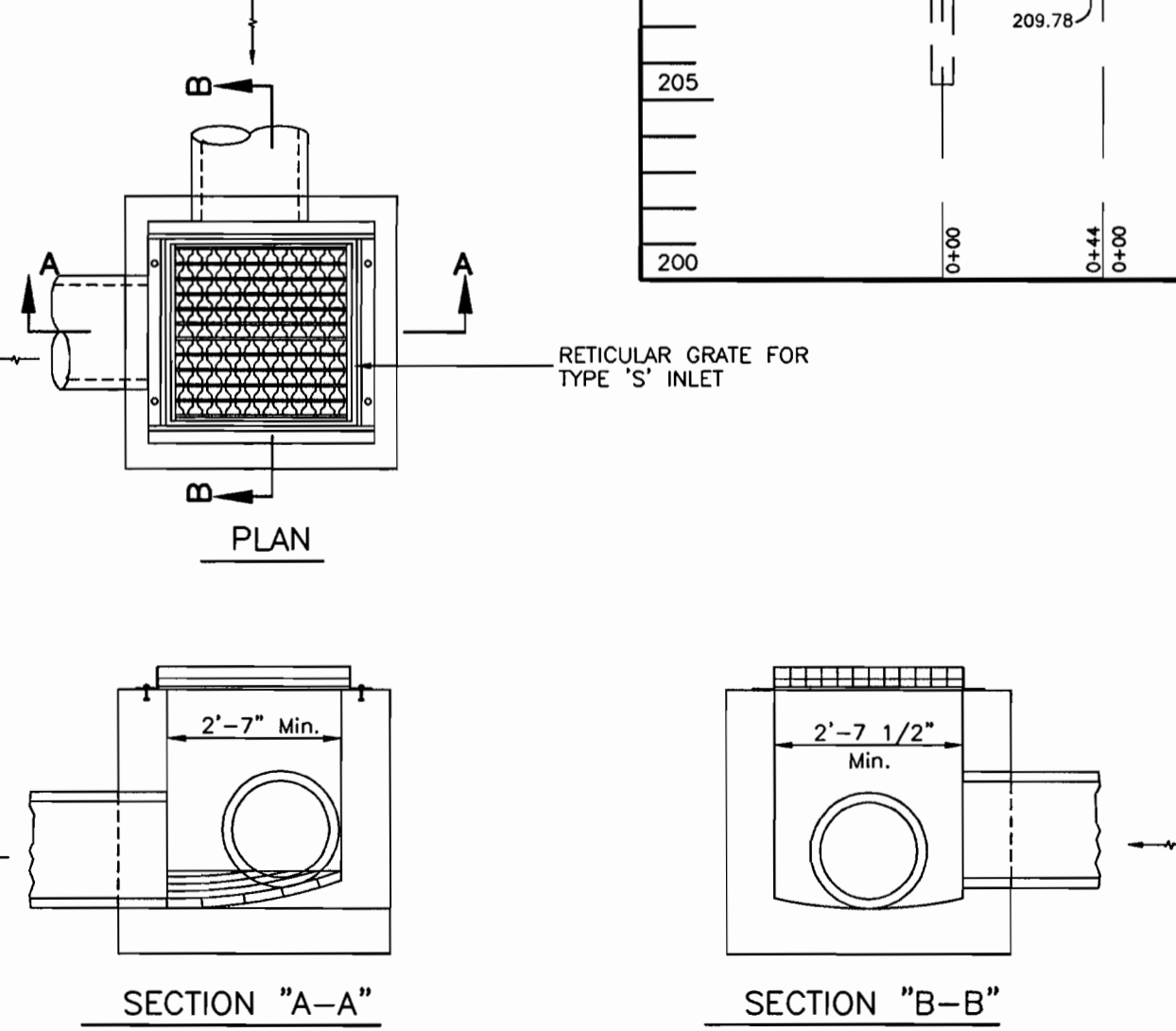


PROP. HW-1 PLAN VIEW  
SCALE: 1" = 10'



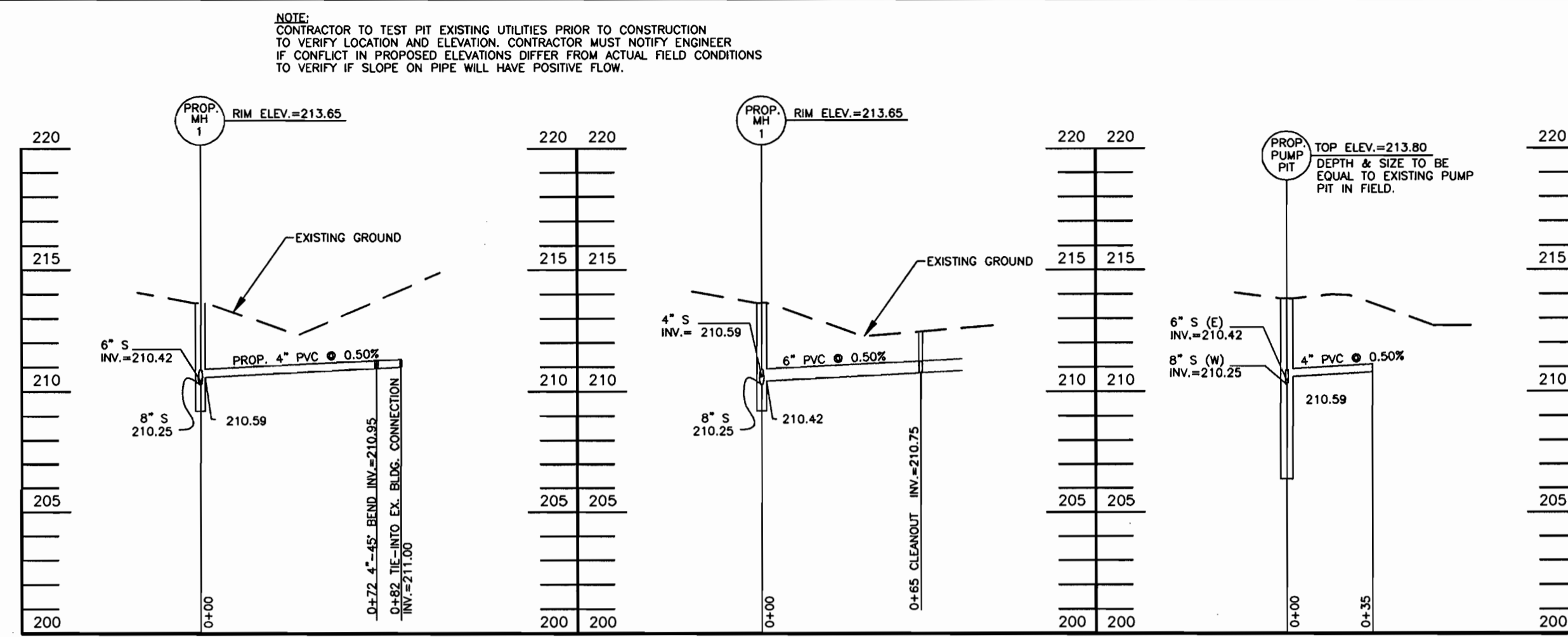
TYPE 'A' HEADWALL MODIFIED  
NOT TO SCALE

(HOWARD COUNTY STANDARD DETAIL SD-5.11 TYPE 'A' HEADWALL CIRCULAR, MODIFIED WING WALLS TO CONNECT TO EXISTING CONCRETE SWALE).

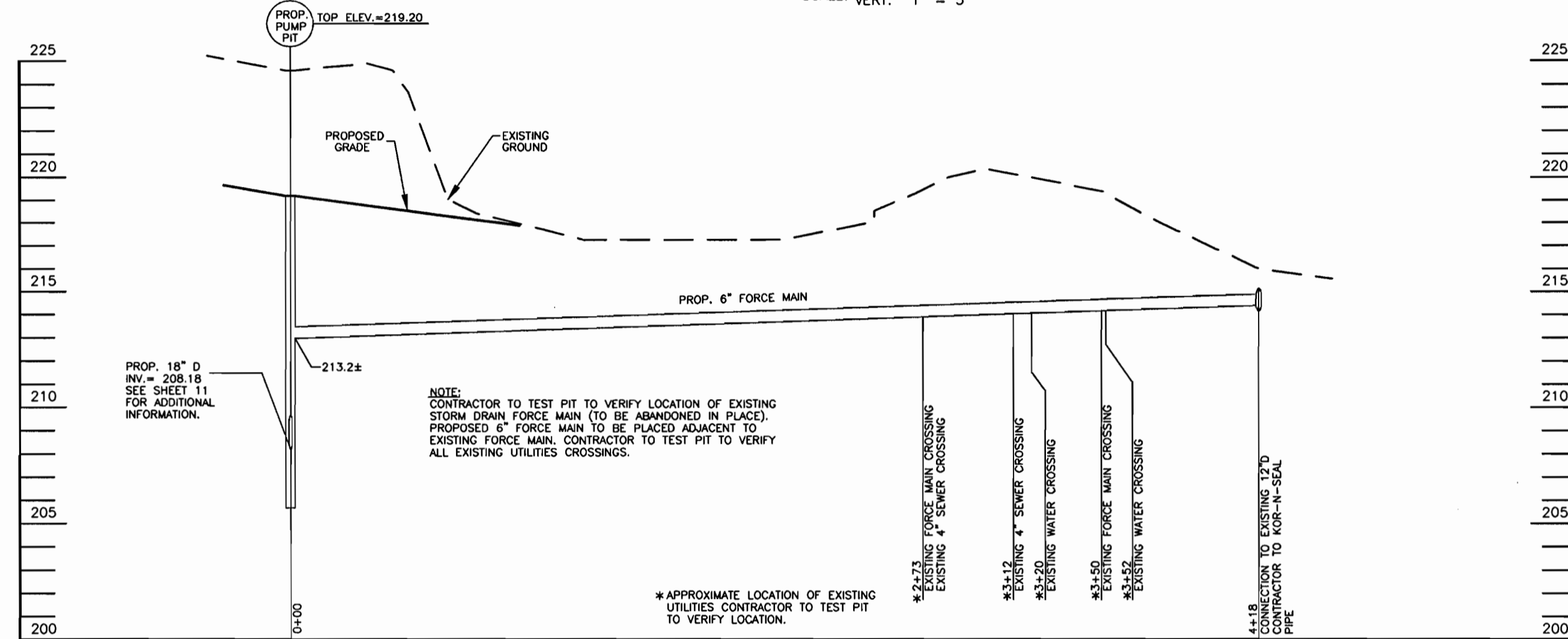


TYPE 'S' INLET MODIFIED  
NOT TO SCALE

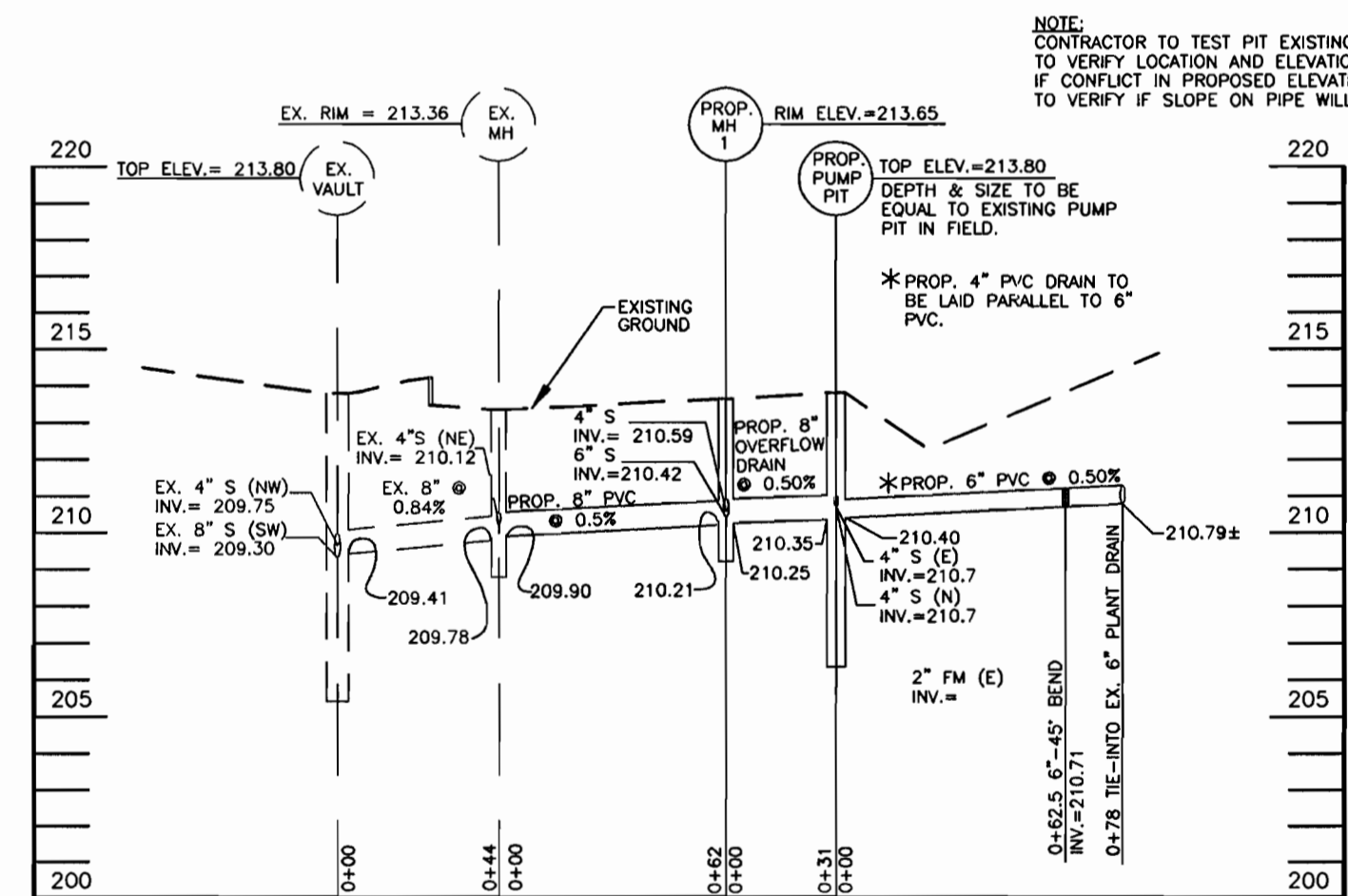
(HOWARD COUNTY STANDARD DETAIL SD-4.22 TYPE 'S' INLET MODIFIED TO INCLUDE AN ADDITIONAL INFLOW (12") PIPE).



SEWER PROFILE  
HORIZ. 1" = 50'  
SCALE: VERT. 1" = 5'



FORCE MAIN PROFILE  
HORIZ. 1" = 50'  
SCALE: VERT. 1" = 5'



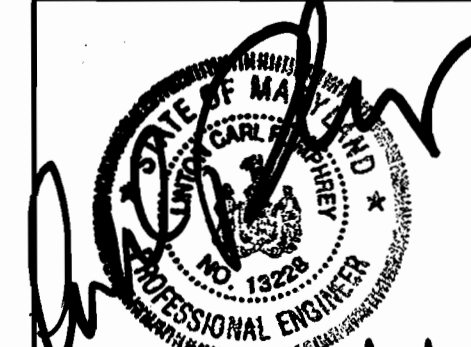
SEWER PROFILE  
SCALE: HORIZ. 1" = 50'  
SCALE: VERT. 1" = 5'

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT  
*Diene J. Matysak M.D.* / 5/10/01  
COUNTY HEALTH OFFICER  
THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.  
*Jim Meyer* / 5/10/01  
NATURAL RESOURCES CONSERVATION SERVICE  
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY HOWARD SOIL CONSERVATION DISTRICT.  
*John R. Roberts* / 5/10/01  
HOWARD SOIL CONSERVATION DISTRICT  
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
*Scott A. Smith* / 5/21/01  
DIRECTOR  
*David P. Williams* / 5/14/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
*Arnold Bernadski* / 5/21/01  
CHIEF, DIVISION OF LAND DEVELOPMENT

DATE No. REVISION  
OWNER: ICE CREAM PARTNERS, USA LLC.  
9090 WHISKEY BOTTOM ROAD  
LAUREL, MARYLAND 20725  
(301) 317-3734  
ATTN: CHARLES MOENIUS  
PROJECT: ICE CREAM PARTNERS, USA LLC.  
PLANT EXPANSION PHASE I AND II  
"THE SOUTHLAND CORPORATION PROPERTY" PARCEL A  
TAX MAP No. 50, PARCEL 509 509 6th ELECTION DISTRICT  
AREA: TAX MAP No. 50, BLK. 5, PARCEL 509  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
CENSUS TRACT No. 6063  
WATER CODE C-04 AND SEWER CODE 71-00800  
TITLE: UTILITY PROFILES (STORM DRAIN & SEWER) AND DETAILS



ENGINEERS • PLANNERS • SURVEYORS  
P.O. Box 5, Poadena, MD 21123  
Office: 410-647-6000 FAX: 410-544-8508



DRAWN BY: C.M.  
DESIGNED BY: J.J.B.  
CHECKED BY: J.J.B.  
PROJECT No.: 04-00-005A  
DATE: JANUARY, 2001  
SCALE: AS SHOWN  
DRAWING No. 17 OF 18

**SCHEDULE 'A'**  
**PERIMETER # 1 & #1A**

CATEGORY	PERIMETER 1A ADJACENT TO ROADWAY	PERIMETER 1 ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	TYPE 'D'	TYPE 'D'
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	85 L.F.	242 L.F.
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED) <i>CREDIT FOR EXISTING ENTRANCE</i>	YES 30 L.F.	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	YES, 207 L.F.
NUMBER OF PLANTS REQUIRED		
SHADE TREE	1	1
EVERGREEN TREES	5	4
SHRUBS	N / A	N / A
NUMBER OF PLANTS PROVIDED		
SHADE TREES	1	0
EVERGREEN TREES	5	4
SHRUBS	N / A	N/A
OTHER TREES (2:1 SUBSTITUTION)	N/A	* 10
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)		

PROVIDING 5' HIGH BOARD ON BOARD FENCE ALONG PROPERTY.  
\* PROVIDING 10 EVERGREEN SHRUBS FOR 1 SHADE TREE.

**SCHEDULE 'A'**  
**PERIMETER # 2**

CATEGORY	ADJACENT TO ROADWAY	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	N / A	TYPE 'C'
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	N / A	85 L.F.
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	N/A	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	N/A	YES, 85 L.F.
NUMBER OF PLANTS REQUIRED		
SHADE TREE	N / A	N/A
EVERGREEN TREES	N / A	N/A
SHRUBS	N / A	N / A
NUMBER OF PLANTS PROVIDED		
SHADE TREES	N / A	N / A
EVERGREEN TREES	N / A	N / A
OTHER TREES (2:1 SUBSTITUTION)	N / A	N / A
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)		

PROVIDING 5' HIGH BOARD ON BOARD FENCE ALONG PROPERTY.

**SCHEDULE 'A'**  
**PERIMETER # 3**

CATEGORY	ADJACENT TO ROADWAY	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	N / A	N/A TO SAME SUBDIVISION
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	N / A	372 L.F.
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	N/A	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	N/A	NO
NUMBER OF PLANTS REQUIRED		
SHADE TREE	N / A	N/A
EVERGREEN TREES	N / A	N / A
SHRUBS	N / A	N / A
NUMBER OF PLANTS PROVIDED		
SHADE TREES	N / A	10
EVERGREEN TREES	N / A	16
OTHER TREES (2:1 SUBSTITUTION)	N / A	N / A
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)		

**SCHEDULE 'A'**  
**PERIMETER # 4**

CATEGORY	ADJACENT TO ROADWAY	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	N / A	N/A TO SAME SUBDIVISION
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	N / A	145 L.F.
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO
NUMBER OF PLANTS REQUIRED		
SHADE TREE	N / A	N/A
EVERGREEN TREES	N / A	N / A
SHRUBS	N / A	N / A
NUMBER OF PLANTS PROVIDED		
SHADE TREES	N / A	4
EVERGREEN TREES	N / A	6
OTHER TREES (2:1 SUBSTITUTION)	N / A	N / A
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)		

**SCHEDULE 'A'**  
**PERIMETER # 5**

CATEGORY	ADJACENT TO ROADWAY	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	N / A	TYPE 'A'
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	N / A	365 L.F.
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	N/A	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	N/A	NO
NUMBER OF PLANTS REQUIRED		
SHADE TREE	N / A	6
EVERGREEN TREES	N / A	N / A
SHRUBS	N / A	N / A
NUMBER OF PLANTS PROVIDED		
SHADE TREES	N / A	10
EVERGREEN TREES	N / A	5
OTHER TREES (2:1 SUBSTITUTION)	N / A	N / A
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)		

**SCHEDULE 'B'**  
**PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF PARKING SPACES	102
NUMBER OF SHADE TREES REQUIRED	5
NUMBER OF TREES PROVIDED SHADE TREES OTHER TREES (2:1 SUBSTITUTION)	3 N / A
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	

FOR THE PROPOSED PARKING AREA, TREES HAVE BEEN PROVIDED IN THE ISLANDS CREATED BETWEEN THE EXISTING AND PROPOSED PARKING AREAS. AS SHOWN ON SCHEDULE 'A' FOR PERIMETERS 3, 4 AND 5, ADDITIONAL LANDSCAPING OVER THE MINIMUM REQUIRED HAS BEEN PROVIDED IN LIEU OF ADDITIONAL LANDSCAPED ISLANDS IN THE REMINDER OF THE PROPOSED PARKING LOT ADDITION. A TOTAL OF 5 SHADE TREES ARE REQUIRED PER THE LANDSCAPE MANUAL. WE ARE PROPOSING 3 WITHIN THE PARKING LOT (BETWEEN THE EXISTING AND PROPOSED LOT) AS WELL AS 18 SHADE TREES AND 27 EVERGREEN TREES ABOVE THE MINIMUM REQUIRED ALONG PERIMETERS 3, 4 AND 5. WE BELIEVE THAT THE 3 TREES PROVIDED IN THE PROPOSED PARKING LOT (60% OF REQUIRED) AND THE ADDITIONAL PLANTINGS OF 18 SHADE TREES AND 27 EVERGREEN TREES ABOVE THE MINIMUM REQUIRED FOR PERIMETER PLANTING AREAS 3, 4 AND 5 (THESE PERIMETER PLANTINGS BEING ADJACENT TO THE PROPOSED PARKING LOT) ADEQUATELY ADDRESSES THE INTENT OF THE LANDSCAPE MANUAL AND PROVIDES A MORE DENSE LANDSCAPING BUFFER TO THE ADJACENT PROPERTIES THAN PROVIDING THE ADDITIONAL 2 SHADE TREES WITHIN THE PROPOSED PARKING LOT IN LIEU OF THE ADDITIONAL PLANTINGS PROVIDED.

NOTED:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$7,270.00.

**SCHEDULE 'A'**  
**PERIMETER # 6**


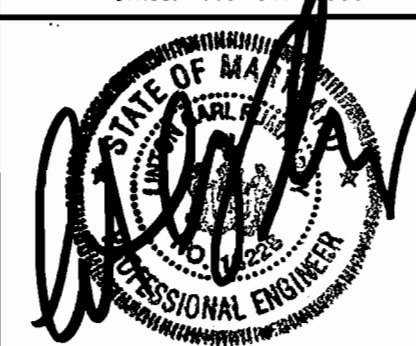
CATEGORY	ADJACENT TO ROADWAY	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	TYPE 'B'	N / A
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	65 L.F.	N / A
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	N/A
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	N/A
NUMBER OF PLANTS REQUIRED		
SHADE TREE	1	N / A
EVERGREEN TREES	2	N / A
SHRUBS	N / A	N / A
NUMBER OF PLANTS PROVIDED		
SHADE TREES	1	N/A
EVERGREEN TREES	2	N/A
OTHER TREES (2:1 SUBSTITUTION)	N / A	N / A
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)		

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT  
*Debra L. Matyszek, M.D.* 5/18/01  
COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
*Ray M. Smith* 5/21/01  
DIRECTOR DATE

*William D. ...* 5/14/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Harold ...* 5/21/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	No.	REVISION
OWNER: ICE CREAM PARTNERS, USA LLC. 9090 WHISKEY BOTTOM ROAD LAUREL, MARYLAND 20725 (301) 317-3734 ATTN: CHARLES MOENIUS		
PROJECT: ICE CREAM PARTNERS, USA LLC. PLANT EXPANSION PHASE I AND II		
"THE SOUTHLAND CORPORATION PROPERTY" PARCEL A TAX MAP No. 50, PARCEL 509 6th ELECTION DISTRICT		
AREA: TAX MAP No. 50, BLK. 5, PARCEL 509 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND CENSUS TRACT No. 6063 WATER CODE C-04 AND SEWER CODE 71-00800		
TITLE: LANDSCAPE PLAN DETAILS		
 <b>HARMS</b> ENGINEERS • PLANNERS • SURVEYORS P.O. Box 5, Pasadena, MD 21123 Office: 410-647-7000 FAX: 410-544-8508		
DRAWN BY: A.N./R.E.		 3/21/01
DESIGNED BY: R.K.		
CHECKED BY: M.T.		
PROJECT No.: 04-00-005A		
DATE: JANUARY, 2001		
SCALE: AS SHOWN		DRAWING No. 18 OF 18
DRAWING No. 18 OF 18		

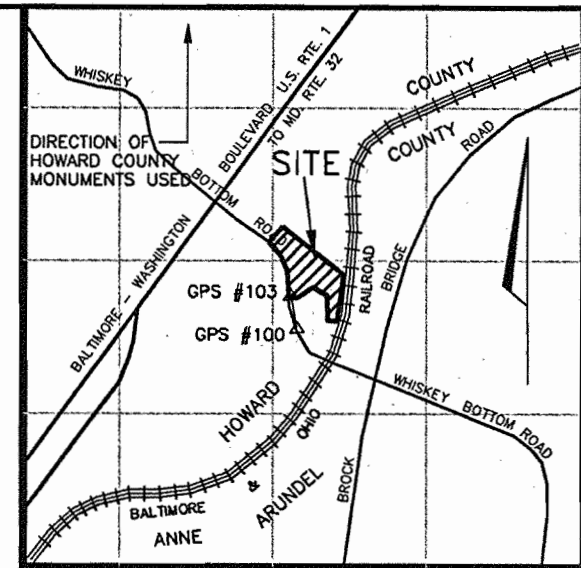
# SITE DEVELOPMENT PLAN

# ICE CREAM PARTNERS, USA LLC.

## PLANT EXPANSION PHASE I AND II

## 6th ELECTION DISTRICT

## HOWARD COUNTY, MARYLAND



**BENCHMARKS**  
 BM #1 (HARMS) GPS #103 ELEV.= 213.23  
 BM #2 (HARMS) GPS #100 ELEV.= 203.84

THE INFORMATION SHOWN ON THESE PLANS IS BASED ON  
 NAD '83 MARYLAND COORDINATE SYSTEM AS PROJECTED  
 FROM HOWARD COUNTY CONTROL STATIONS:  
 47E4 N 535846.153 E 1355431.224  
 47C4 N 539645.669 E 1361379.362

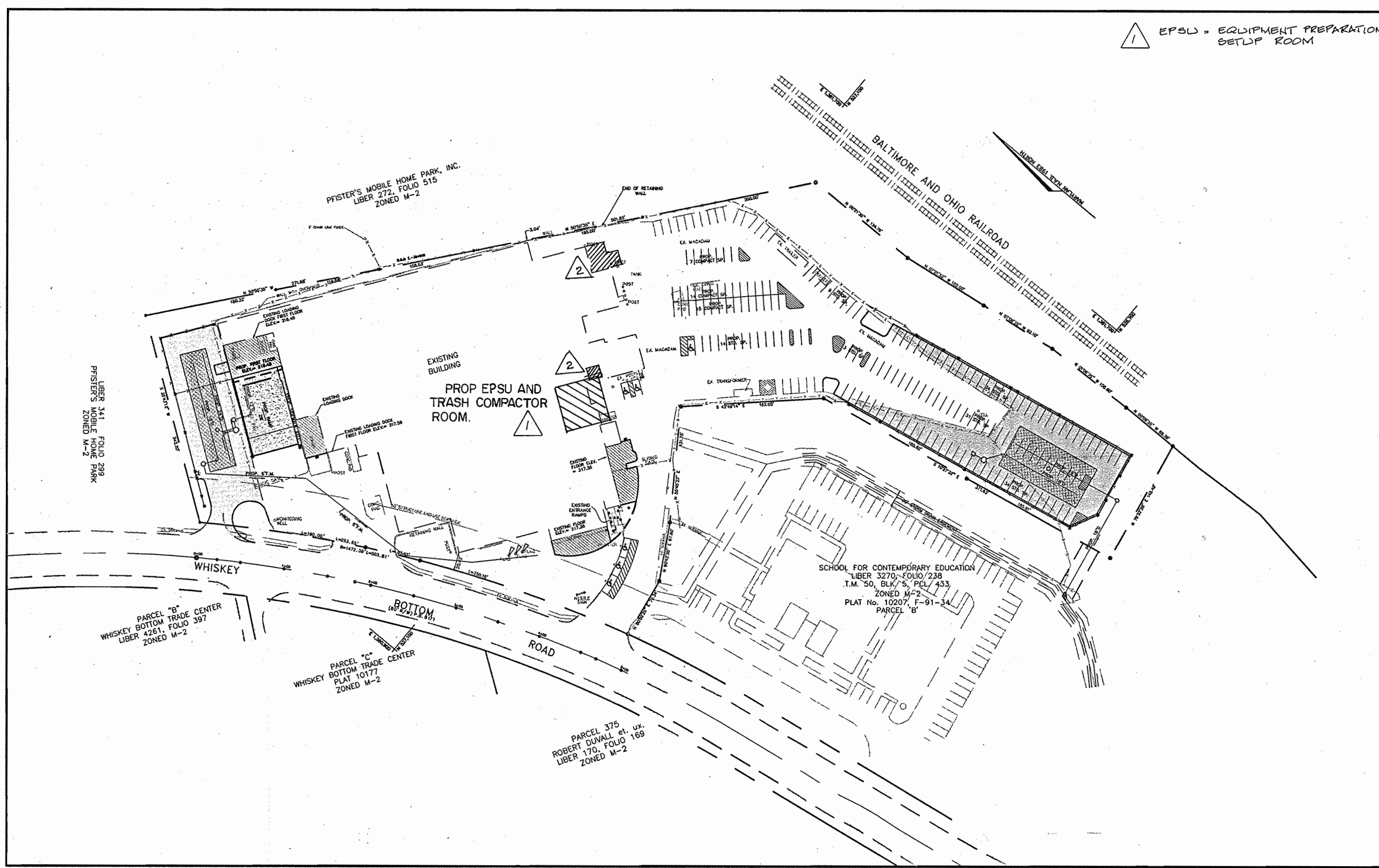
**GENERAL NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY THE BALTIMORE GAS & ELECTRIC CO., (410) 547-6500, AND MISS UTILITY, (800)257-7777, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
4. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
5. THE CONTRACTOR SHALL NOTIFY THE BELL ATLANTIC TELEPHONE COMPANY, (410) 393-3648, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
6. ALL PLAN DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
7. TOPOGRAPHY AND BOUNDARY INFORMATION SHOWN HEREON IS BASED ON AN ALTA SURVEY PREPARED BY JOHN E. HARMS JR., AND ASSOCIATES INC. DATED FEBRUARY, 1999.
8. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
9. A 100-YEAR FLOODPLAIN STUDY IS NOT REQUIRED FOR THIS PROJECT BECAUSE THE DRAINAGE COURSES INTO WHICH THE SITE DISCHARGES AT THE POINT OF DISCHARGE ARE LESS THAN 30 ACRES OF DRAINAGE AREA AND THE 10 YEAR RUNOFF IS NOT GREATER THAN 100 CFS.
10. THERE ARE NO WETLANDS WITHIN THE AREA OF SITE.
11. A APFO STUDY FOR THIS PROJECT WAS PREPARED BY JOHN E. HARMS JR., AND ASSOCIATES INC. DATED JANUARY, 2001. COUNTY APPROVAL OF APFO STUDY WAS GRANTED ON FEBRUARY 8, 2001.
12. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
13. THE GEOTECHNICAL STUDY FOR THIS PROJECT WAS PREPARED BY HILLIS-CARNES ENGINEERING ASSOCIATES, INC. DATED OCTOBER, 2000.
14. THIS PROPERTY WAS RECORDED AS PARCEL 'A' ON PLAT No. 10207, F-91-34 ENTITLED "THE SOUTHLAND CORPORATION PROPERTY, PARCELS A & B". BOUNDARY INFORMATION HAS BEEN SHOWN ON PLAN.
15. SUBJECT PROPERTY ZONED M-2 PER COMPREHENSIVE ZONING PLAN.
16. ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
17. THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
18. CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS AND PROGRAMS.
19. PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY ENGINEER IN FIELD.
20. NO PIPE SHALL BE Laid UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
21. THE COORDINATES, BEARINGS, ELEVATIONS, ETC., SHOWN ON THESE PLANS ARE REFERRED TO THE MARYLAND STATE SYSTEM OF PLANE COORDINATES AS ESTABLISHED FROM HOWARD COUNTY CONTROL STATIONS.
22. WHERE UTILITY PIPES ARE TO BE PLACED ON COMPACTED FILL THE FOLLOWING SHALL APPLY:  
 A.) PRIOR TO PLACEMENT OF COMPACTED FILL, ANY SOFT OR OTHERWISE UNSUITABLE SOILS ENCOUNTERED AT OR BELOW THE PIPE INVERT SHALL BE UNDERCUT AND REMOVED FROM THE CONSTRUCTION AREA.  
 B.) ACCEPTABLE COMPACTED FILLS SHALL BE PLACED IN SIX-INCH THICK LOOSE LIFTS AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY DETERMINED BY A.A.S.H.T.O. METHOD T-180. COMPACTION TEST RESULTS BY AN INDEPENDENT TESTING LAB ARE TO BE SEALED BY A REGISTERED ENGINEER AND SUBMITTED TO THE COUNTY PRIOR TO PIPE INSTALLATION.  
 C.) THE COMPACTED FILL SHALL BE BENCHED INTO THE EXISTING VIRGIN SLOPES WITH EACH LIFT PLACED TO ALLOW A SMOOTH TRANSITION FROM VIRGIN TO FILL SOILS.
23. PROFILES STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
24. ALL MANHOLES IN UNPAVED AREAS SHALL HAVE WATERTIGHT FRAMES AND COVERS PAINTED SAFETY YELLOW, ONE FOOT ABOVE GRADE.
25. ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
26. THE PLANNING DIRECTOR GRANTED APPROVAL TO WAIVER PETITION (WP-90-60) ON MARCH 2, 1990 TO ALLOW DIRECT ACCESS FOR PARCELS A AND B (PLAT No. 10207, F-91-34) ONTO WHISKEY BOTTOM ROAD (A MINOR ARTERIAL).
27. A DECLARATION OF INTENT HAS BEEN SUBMITTED SHOWING THE REMOVAL OF A TOTAL OF 0.56 AC. (APPROXIMATELY 24,394 Sq. Ft.) OF EXISTING WOODED AREA AND THEREFORE QUALIFIES FOR THE EXEMPTION SINCE THE CLEARING IS BELOW 40,000 Sq. Ft. ON A LOT WHICH WILL NOT BE FURTHER SUBDIVIDED AND HAVING A SIZE GREATER THAN 40,000 Sq. Ft..
28. STORMWATER MANAGEMENT QUALITY AND QUANTITY IS BEING PROVIDED FOR THE PROPOSED IMPROVEMENTS AS SHOWN VIA 2 UNDERGROUND TRENCH DETENTION SYSTEMS AND 2 STORMCEPTOR SYSTEMS.
29. ALL PROPOSED OUTDOOR LIGHTING WILL BE DIRECTED AND/OR REFLECTED AWAY FROM PUBLIC RIGHT OF WAYS AND ADJACENT PROPERTIES, IN ACCORDANCE WITH SECTION 134-104 OF THE HOWARD COUNTY ZONING REGULATIONS.

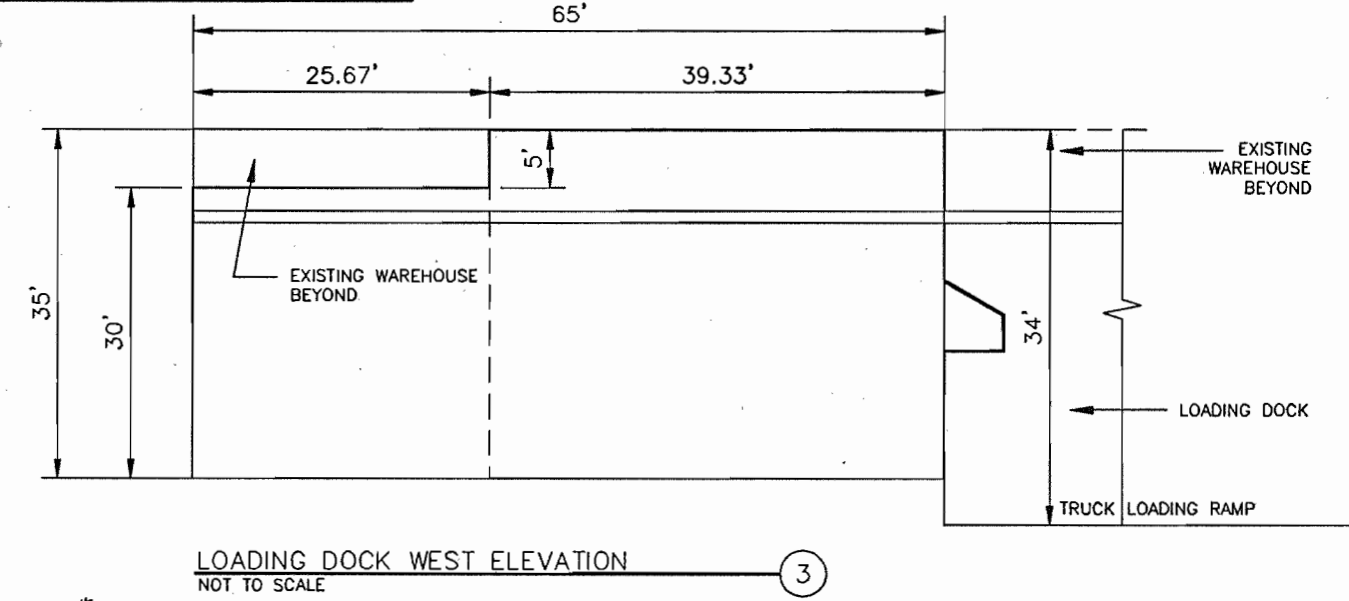
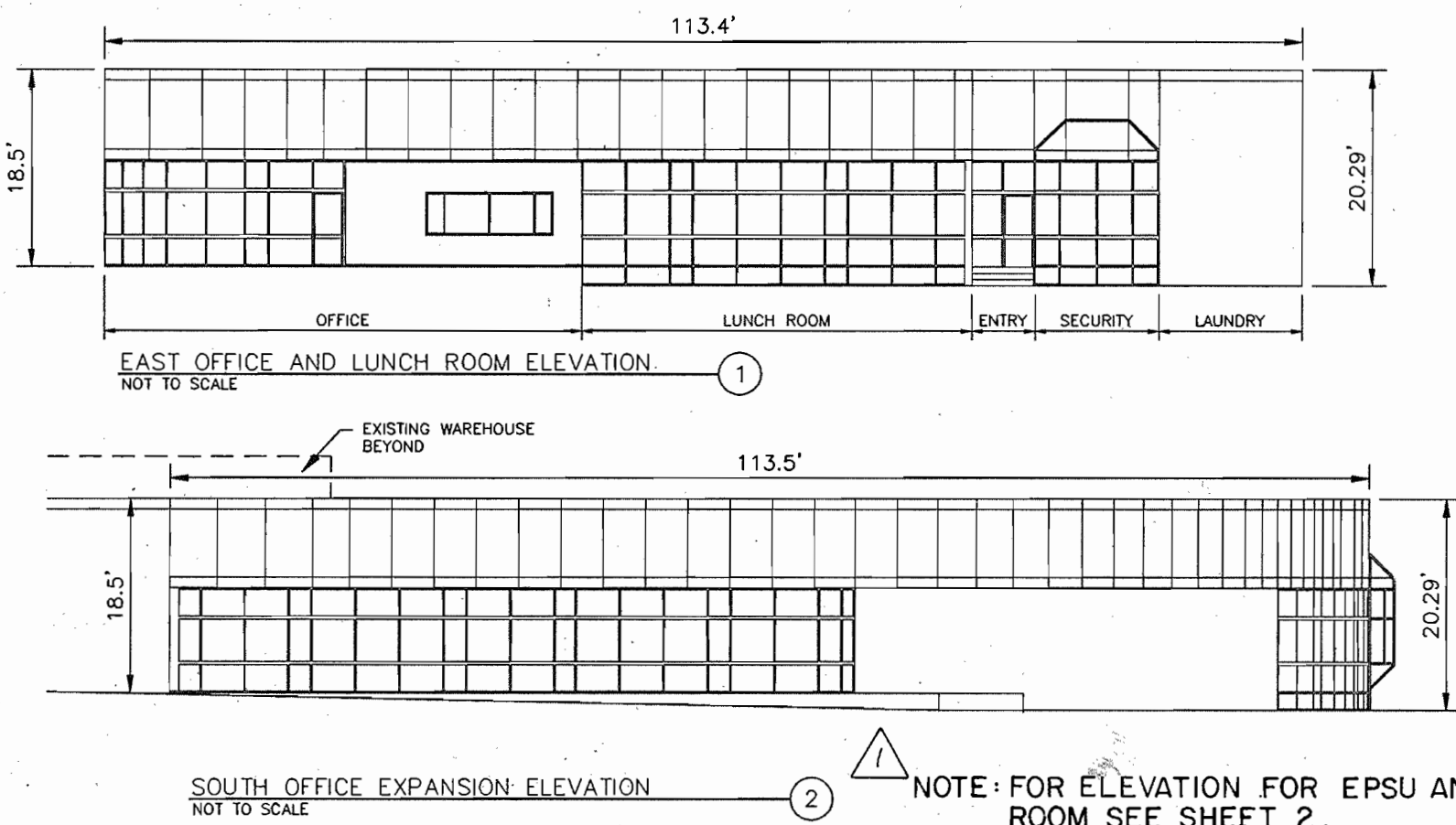
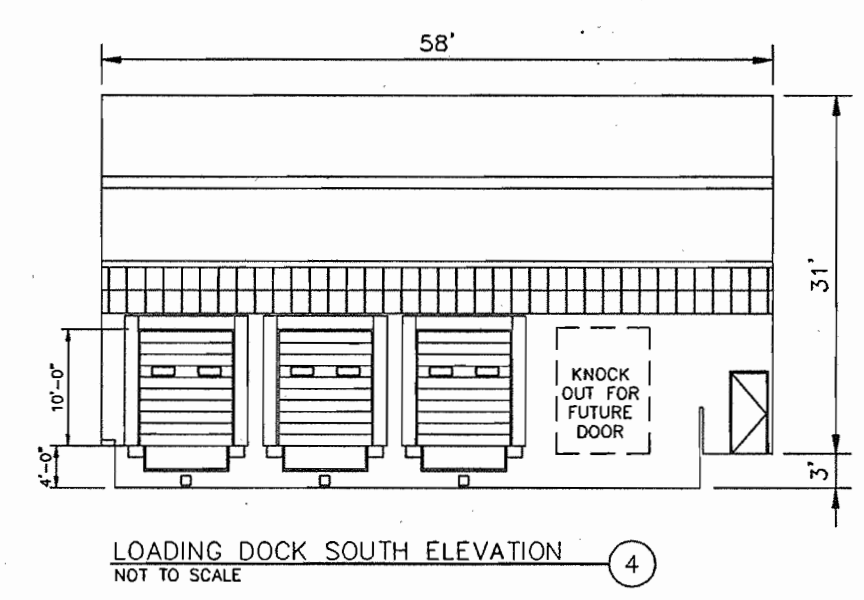
**SITE ANALYSIS**

AREA OF PARCEL	7.13 Ac.±
PRESENT ZONING	M-2
PROPOSED ADDITIONS	OFFICE WAREHOUSE
EXISTING BUILDING (EXCLUDES 403s.f. TO BE REMOVED FOR TRASH COMP. ROOM)	92,952 s.f.
PROPOSED ADDITIONS	
OFFICE SPACE	4,218 s.f.
WAREHOUSE SPACE	3,366 s.f.
EPSU/TRASH COMPACTOR ADDITION	2,799 s.f.
TOTAL BUILDING AREA (EXISTING AND PROPOSED)	103,335 s.f.
EXISTING SPACES PROVIDED (INCLUDING 4 HANDICAPPED SPACES)	154 SP.
PROPOSED SPACES TOTAL PROVIDED	164 SP.
PROPOSED STANDARD SPACES PROVIDED	122 SP.
PROPOSED COMPACT SPACES PROVIDED	36 SP.
PROPOSED HANDICAPPED SPACES PROVIDED	6 SP.
EXISTING SPACES BEING REMOVED (DUE TO PROPOSED BUILDING ADDITIONS AND PARKING LOT EXPANSION)	130 SP.
TOTAL PARKING SPACES PHASES I & II (EXISTING SPACES TO REMAIN (24 SP.) AND PROPOSED SPACES 164 SP.)	188 SP.
TOTAL PARKING SPACES PHASE I (ONLY)	122 SP.
MAXIMUM NUMBER OF EMPLOYEES WORKING AT ONE TIME (INCLUDING SHIFT OVERLAP) =	121 EMPLOYEES

PARKING SPACES REQUIRED PER ZONING SECTION 133.D.5.a FOR 'WAREHOUSE AND DISTRIBUTION' = 0.5 SPACES PER 1,000 s.f.  
 103,335 s.f. (TOTAL BUILDING AREA) / 1,000 s.f. = 104  
 104 x 0.5 = 52 SPACES REQUIRED  
 NOTE: NO ADDITIONAL PARKING REQUIRED FOR THE EPSU/TRASH COMPACTOR ROOMS BASED ON NO INCREASE IN THE NUMBER OF EMPLOYEES.



**SITE PLAN**  
 SCALE: 1" = 100'



SHT. NO.	DESCRIPTION
1	COVER SHEET
2	DRAINAGE AREA MAPS
3	EXISTING CONDITIONS PLAN
4	GRADING AND SEDIMENT CONTROL PLAN
5	SITE DEVELOPMENT PLAN
6	SOILS AREA MAP
7	SEDIMENT CONTROL NOTES/DEMOLITION PLAN VIEWS
8	SEDIMENT CONTROL DETAILS/SOIL BORING LOGS
9	SITE DETAILS
10	STORMCEPTOR DETAILS AND NOTES
11	TRENCH DETAILS AND PROFILES
12	LANDSCAPE PLAN
13	KEYSTONE RETAINING WALLS 'A' AND 'B' PLAN AND DETAILS
14	KEYSTONE RETAINING WALLS 'A' AND 'B' PROFILES
15	CONCRETE RETAINING WALL 'C' PLAN, PROFILE AND DETAILS
16	CONCRETE RETAINING WALL 'D' PLAN, PROFILE AND DETAILS
17	UTILITY PROFILES (STORM DRAIN & SEWER) AND DETAILS
18	LANDSCAPE SCHEDULES

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 Diana Matosok, County Health Officer, dated 5/18/01

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 [Signature], Director, dated 5/21/01

APPROVED: CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature], dated 5/14/01

APPROVED: CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature], dated 5/21/01

OWNER: ICE CREAM PARTNERS, USA LLC.  
 9090 WHISKEY BOTTOM ROAD  
 LAUREL, MARYLAND 20725  
 (301) 317-3734  
 ATTN: CHARLES MOENIUS

PROJECT: ICE CREAM PARTNERS, USA LLC.  
 PLANT EXPANSION PHASE I AND II

"THE SOUTHLAND CORPORATION PROPERTY" PARCEL A  
 TAX MAP No. 50, PARCEL 509 6TH ELECTION DISTRICT

AREA: TAX MAP No. 50, BLK. 5, PARCEL 509  
 6th ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 CENSUS TRACT No. 6063  
 WATER CODE C-04 AND SEWER CODE 71-00800

TITLE: COVER SHEET

**HARMS**  
 ENGINEERS • PLANNERS • SURVEYORS  
 Office: 410-544-7600, P.O. Box 5, Poolesville, MD 21123, FAX: 410-544-8508

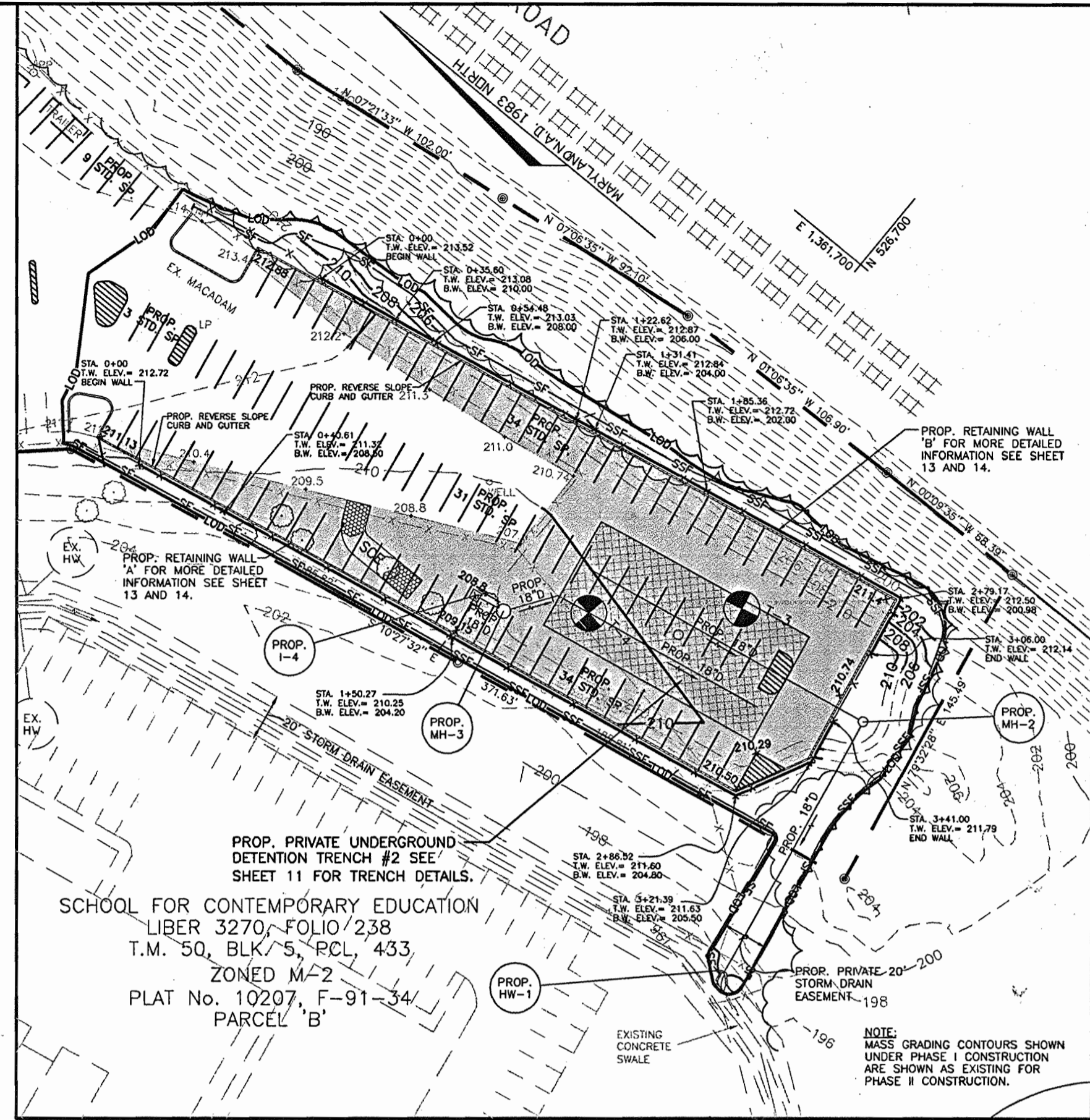
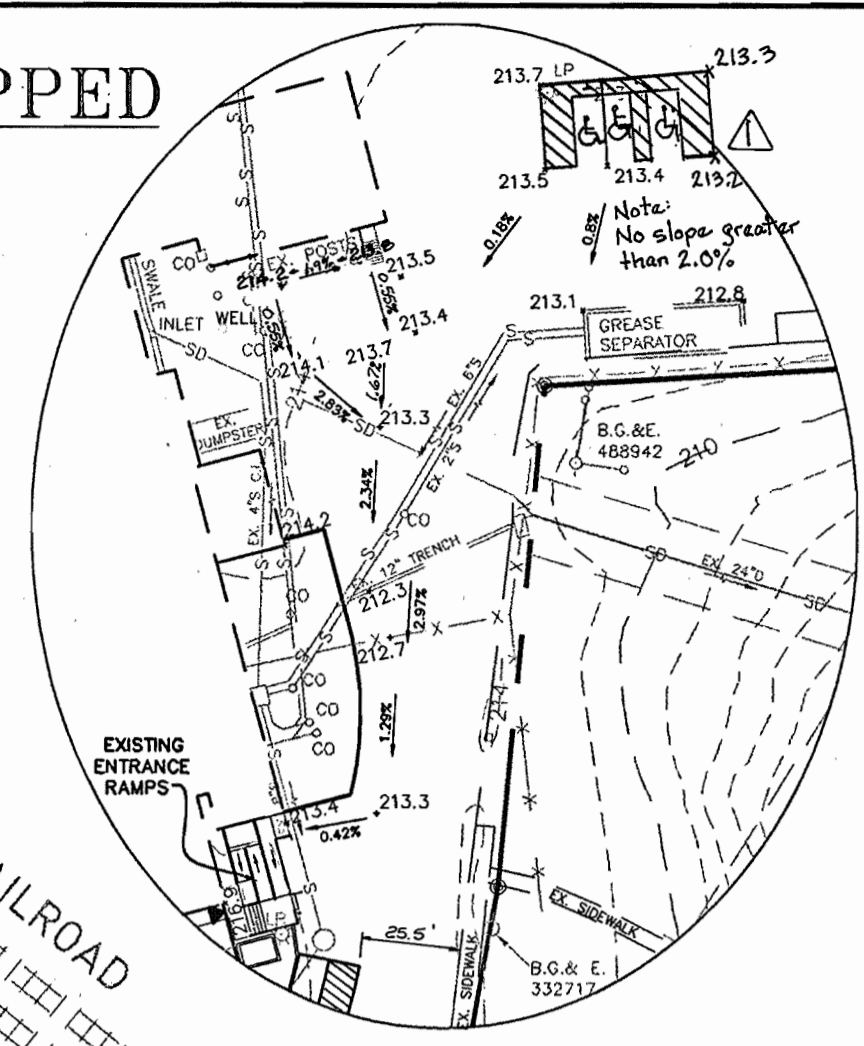
DRAWN BY: C.M.  
 DESIGNED BY: J.J.B.  
 CHECKED BY: J.J.B.  
 PROJECT No.: 04-00-005A  
 DATE: OCTOBER, 2000  
 SCALE: AS SHOWN  
 DRAWING No. 1 OF 18

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BUILDING ADDITION	
AREA	DESCRIPTION
1	LOADING DOCK EXPANSION LOCATED OVER EXISTING IMPERVIOUS AREA
2	2nd. FLOOR OFFICE ADDITION LOCATED OVER EXISTING IMPERVIOUS AREA
3	OFFICE EXPANSION LOCATED OVER EXISTING GRASS AREA AND IMPERVIOUS AREA
4	LUNCH AND LINEN ROOM EXPANSION LOCATED OVER EXISTING IMPERVIOUS AREA
5	EPSU Room and Trash Compactor Room

**NOTE:**  
FOR ALL DIMENSIONS OF PARKING,  
DRIVE AISLES AND SITE LAYOUT SEE  
SHEET 5 "SITE DEVELOPMENT PLAN".

**PROPOSED HANDICAPPED  
ACCESS SLOPES**  
SCALE: 1" = 50'



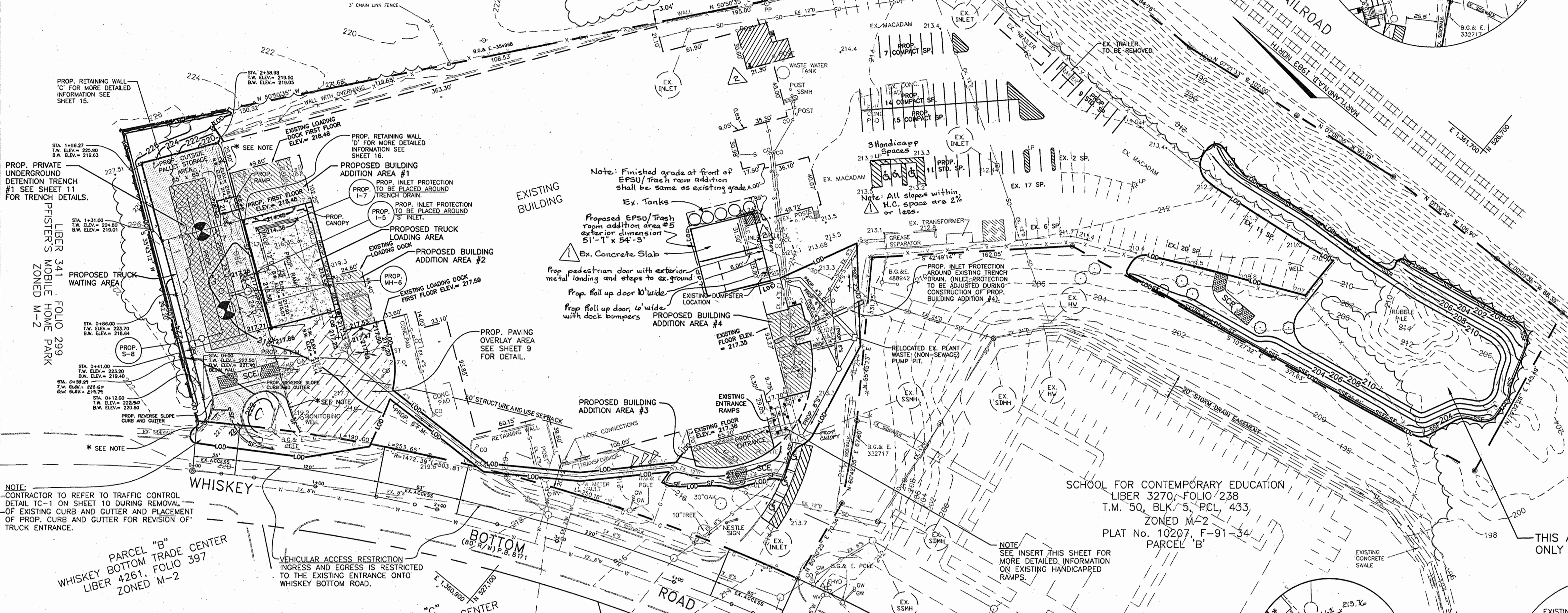
**FINAL GRADING PHASE II**  
SCALE: 1" = 50'

**NOTE:**  
DURING TRENCHING OPERATIONS ALL EXCAVATED MATERIAL IS  
TO BE PLACED ON THE UPHILL SIDE OF THE CONSTRUCTION.

**RETAINING WALL NOTES**

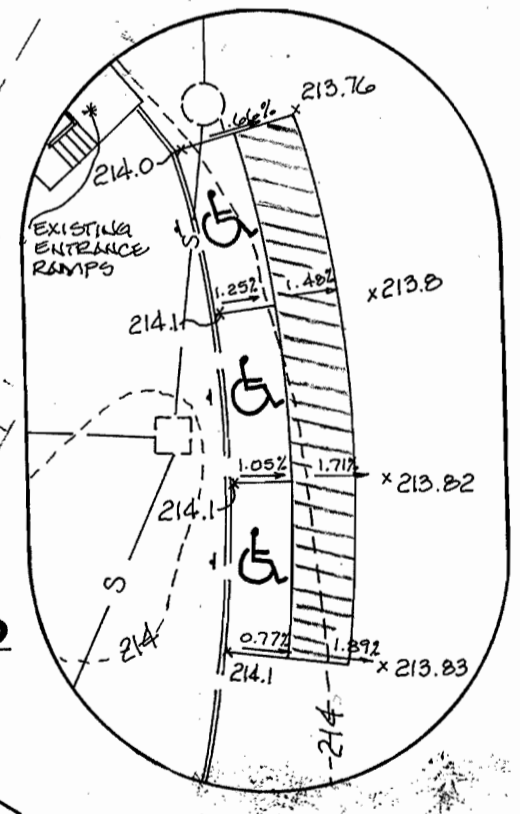
- ALL PROPOSED RETAINING WALL CONSTRUCTION SHALL BE PERFORMED UNDER THE OBSERVATION OF A MARYLAND REGISTERED PROFESSIONAL ENGINEER.
- FOUNDATION SOILS MUST BE EXAMINED BY THE ENGINEER/ GEOTECH TO ASSURE THE FOUNDATION SOIL STRENGTH MEETS OR EXCEEDS ASSUMED DESIGN STRENGTH.

**NOTE:**  
PROPOSED SILT FENCE TO BE ADJUSTED IN FIELD DURING REMOVAL OF EXISTING CURB AND GUTTER AND EXISTING PAVING WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR.

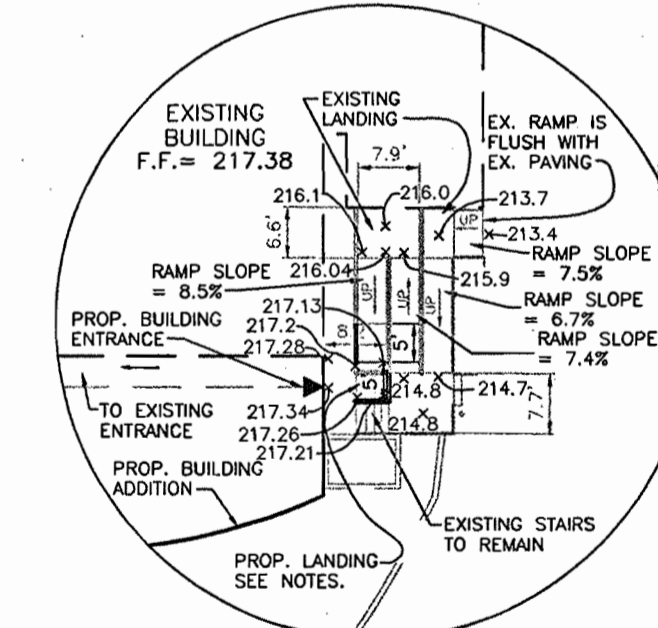


SCHOOL FOR CONTEMPORARY EDUCATION  
LIBER 3270, FOLIO 238  
T.M. 50, BLK. 5, PCL. 433  
ZONED M-2  
PLAT No. 10207, F-91-34  
PARCEL 'B'

**PROPOSED HANDICAPPED  
ACCESS SLOPES**  
SCALE: 1" = 25'



**EXISTING HANDICAPPED RAMPS**  
SCALE: 1" = 25'



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT  
*Director, Matthew...* 5/18/01  
COUNTY HEALTH OFFICER

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

*Jim Myers* 5/14/01  
NATURAL RESOURCES CONSULTATION SERVICES

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY HOWARD SOIL CONSERVATION DISTRICT.

*John R...* 5/14/01  
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
*...* 5/21/01  
DIRECTOR

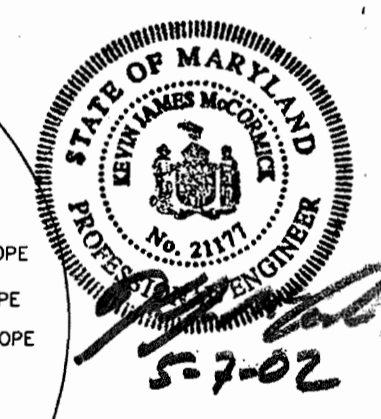
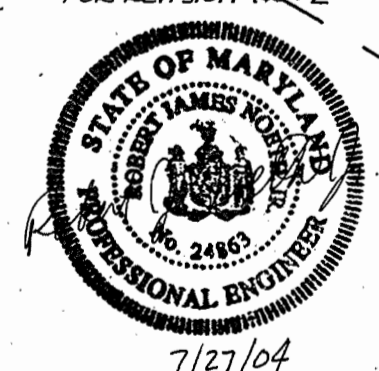
*Harold Bernad...* 5/21/01  
CHIEF, DIVISION OF LAND DEVELOPMENT

**FINAL GRADING PHASE I  
MASS GRADING PHASE I**  
SCALE: 1" = 50'

**NOTE:**  
DURING TRENCHING OPERATIONS ALL EXCAVATED MATERIAL IS  
TO BE PLACED ON THE UPHILL SIDE OF THE CONSTRUCTION.

**LEGEND**

	PROPOSED CONTOUR		LIMIT OF DISTURBANCE
	PROPOSED TREE LINE		PROPOSED SILT FENCE
	PROPERTY LINE/LOT LINE		PROPOSED SUPER SILT FENCE
	BOUNDARY LINE		PROPOSED EASEMENT
	BUILDING RESTRICTION LINE		PROPOSED SPOT ELEVATION
	PROPOSED CURB & GUTTER/SIDEWALK (HO. CO. DETAIL R-3.01/HO. CO. DETAIL R-3.05)		EXISTING STRUCTURES
	PROP. REVERSED CURB & GUTTER (HO. CO. DETAIL R-3.01)		PROPOSED BUILDING ADDITION
	PROPOSED STORM DRAIN (VARIES BY PLAN)		PROPOSED RETAINING WALL
	PROPOSED SEWER (VARIES BY PLAN)		CENTERLINE OF ROAD
	PROPOSED INLET PROTECTION		PROPOSED PAVING OVERLAY
			PROPOSED HEAVY DUTY PAVING
			PROPOSED PAVING
			PROPOSED TRENCH (#1 & #2)
			STABILIZED CONSTRUCTION ENTRANCE



**CERTIFICATION BY DEVELOPER**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THIS CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT THE DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."  
*Charles Moenius* 3/27/01  
CHARLES MOENIUS, ENGINEERING MANAGER

**CERTIFICATION BY THE ENGINEER**  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."  
*John R. Harms, Jr.* 3/27/01  
SIGNATURE - JOHN R. HARMS, JR. & ASSOC., INC.

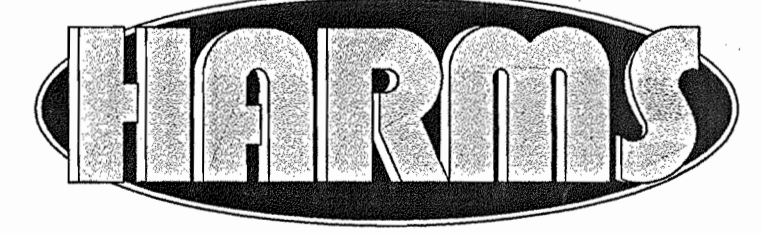
DATE	NO.	REVISION
March 2002	1	Added EPSU/Trash Room addition and 5' exterior H.C. gutter. Revised 15'-0" x 5'-0" concrete pad and 15' x 15' concrete pad.

OWNER: ICE CREAM PARTNERS, USA LLC.  
9090 WHISKEY BOTTOM ROAD  
LAUREL, MARYLAND 20725  
(301) 317-3734  
ATTN: CHARLES MOENIUS

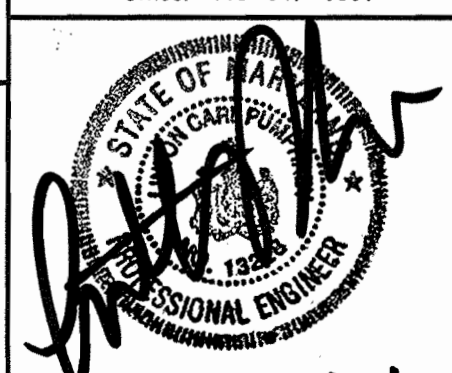
PROJECT: ICE CREAM PARTNERS, USA LLC.  
PLANT EXPANSION PHASE I AND II

AREA: TAX MAP No. 50, BLK. 5, PARCEL 509  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
CENSUS TRACT No. 6063  
WATER CODE C-04 AND SEWER CODE 71-00800

TITLE: GRADING AND SEDIMENT CONTROL PLAN



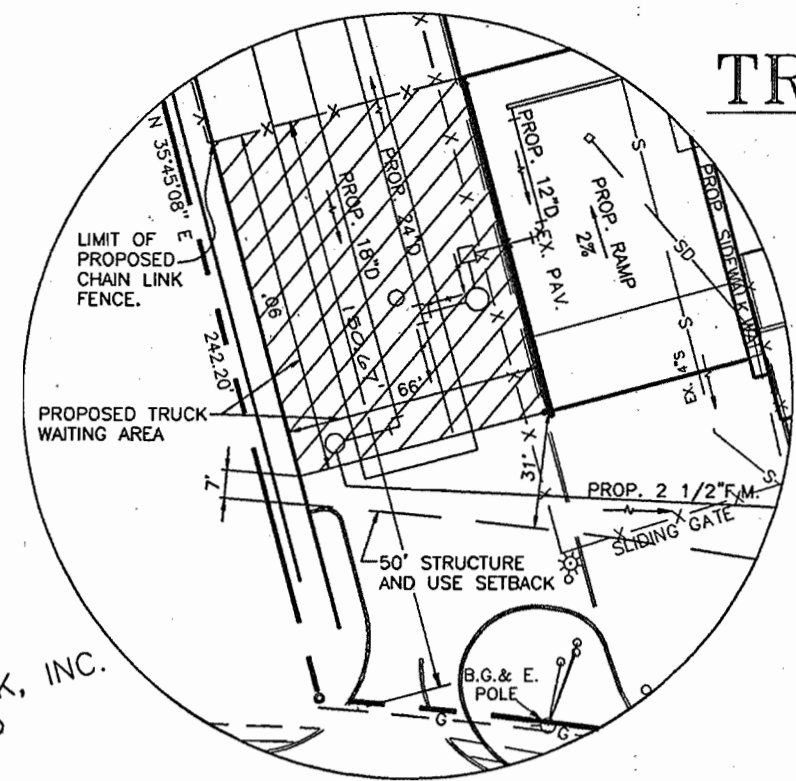
ENGINEERS • PLANNERS • SURVEYORS  
P.O. Box 5, Pasadena, MD 21123  
Office: 410-647-6000 FAX: 410-544-8508



DRAWN BY: C.M.  
DESIGNED BY: J.J.B.  
CHECKED BY: J.J.B.  
PROJECT No.: 04-00-005A  
DATE: OCTOBER, 2000  
SCALE: 1" = 50'  
DRAWING No. 4 OF 18

BUILDING ADDITION	
AREA	DESCRIPTION
1	LOADING DOCK EXPANSION LOCATED OVER EXISTING IMPERVIOUS AREA
2	2nd. FLOOR OFFICE ADDITION LOCATED OVER EXISTING IMPERVIOUS AREA
3	OFFICE EXPANSION LOCATED OVER EXISTING GRASS AREA AND IMPERVIOUS AREA
4	LUNCH AND LINEN ROOM EXPANSION LOCATED OVER EXISTING IMPERVIOUS AREA
5	EPSU Room and Trash Compactor Room

NOTE:  
HANDRAIL ON RETAINING WALL 'C' TO RUN LENGTH OF WALL BEGINNING AT STA. 0+00 TO PROP. 6" CHAINLINK FENCE AT PALLET STORAGE AREA.



### TRUCK WAITING AREA

SCALE: 1" = 30'

### PROPOSED LIGHTING NOTE

- MANUFACTURER: HOLOPHANE, LIGHTOLIER, COOPER AND METALUX OR EQUAL  
CATALOG NO.: WL2K-175MH-12-B2-U  
LAMP TYPE: METAL HALIDE  
VOLTAGE: 120V  
TOTAL FIXTURE WATTS: 175W  
REMARKS: OUTDOOR, WALL MOUNT FIXTURE
- MANUFACTURER: COOPER, LIGHTOLIER AND METALUX OR EQUAL  
CATALOG NO.: SP7VF-1-100-E-120V HOUSING W/7110CL REFLECTOR, & WB TRIM  
LAMP TYPE: METAL HALIDE  
VOLTAGE: 120V  
TOTAL FIXTURE WATTS: 65W  
REMARKS: RECESSED, ROUNDS
- TYPE: 2-1000W MH, LUMINAIR, (30 FT. POLE)  
LOCATION TO BE DETERMINED BY PLANT ENGINEER  
(LIGHTING WILL BE REFLECTED AWAY FROM THE ADJACENT PROPERTY BY A REFLECTIVE SHIELD PLACED ON THE NORTHWEST AREA OF THE LIGHT FIXTURE).

#### SYMBOLS USED

- WALL MOUNTED FIXTURE
- RECESSED, ROUNDS
- RELOCATED LIGHT POLE

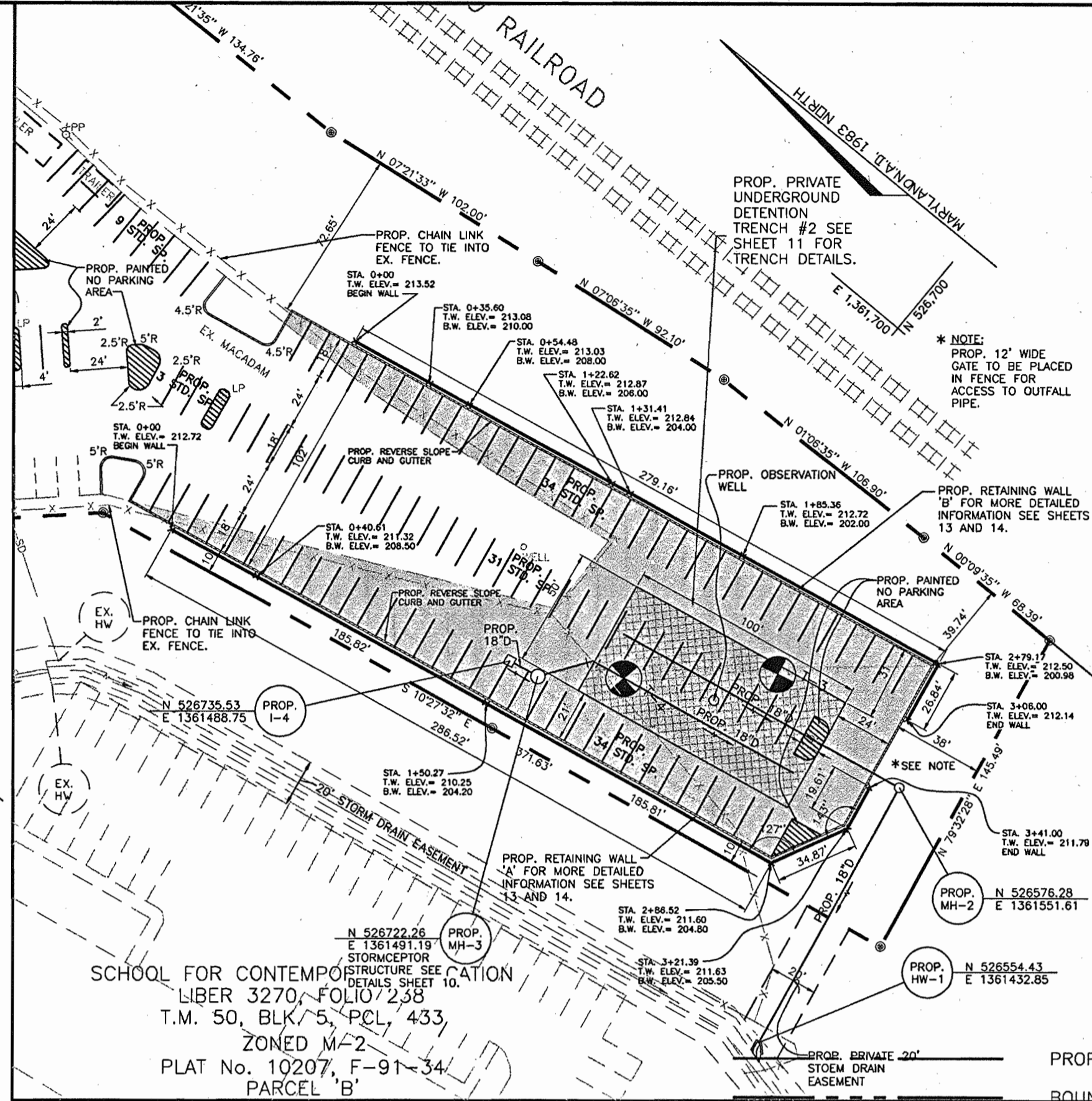


### SITE LAYOUT PHASE I

SCALE: 1" = 50'

### SITE LAYOUT PHASE II

SCALE: 1" = 50'

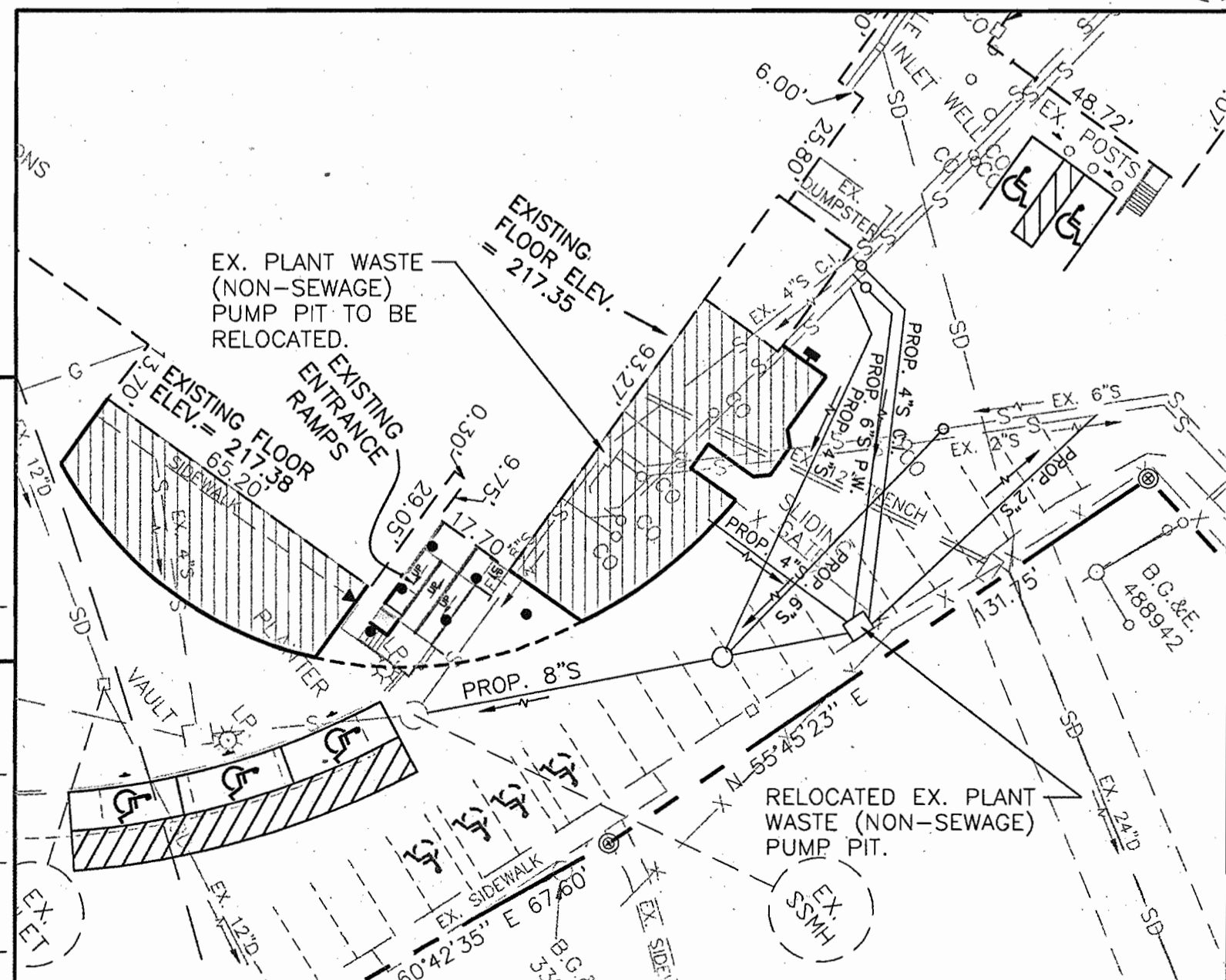


#### RETAINING WALL NOTES

- ALL PROPOSED RETAINING WALL CONSTRUCTION SHALL BE PERFORMED UNDER THE OBSERVATION OF A MARYLAND REGISTERED PROFESSIONAL ENGINEER.
- FOUNDATION SOILS MUST BE EXAMINED BY THE ENGINEER/ GEOTECH TO ASSURE THE FOUNDATION SOIL STRENGTH MEETS OR EXCEEDS ASSUMED DESIGN STRENGTH.

#### LEGEND

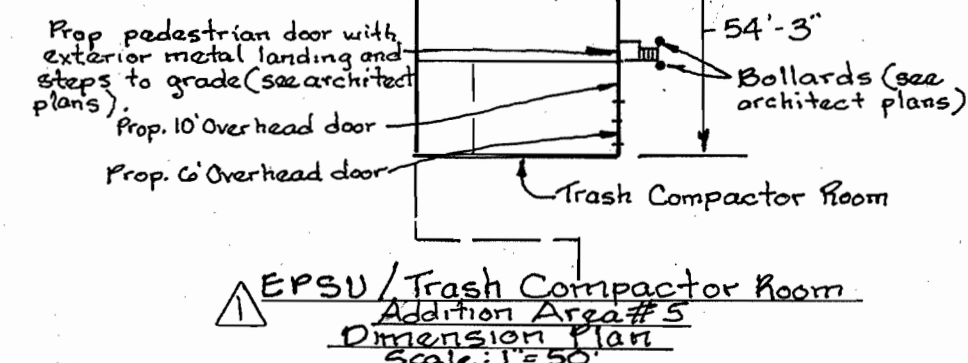
- PROPERTY LINE/LOT LINE
- BOUNDARY LINE
- BUILDING RESTRICTION LINE
- EXISTING CURB & GUTTER/SIDEWALK
- EXISTING WATER
- EXISTING SEWER
- EXISTING STORM DRAIN
- PROPOSED CURB & GUTTER/SIDEWALK (HO. CO. DETAIL R-3.01/HO. CO. DETAIL R-3.05)
- PROPOSED REVERSED CURB & GUTTER (HO. CO. DETAIL R-3.01)
- PROPOSED STORM DRAIN (VARIES BY PLAN)
- PROPOSED SEWER (VARIES BY PLAN)
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING GAS LINE
- EXISTING FENCE
- EXISTING STRUCTURES
- PROPOSED BUILDING ADDITION
- PROPOSED RETAINING WALL
- CENTERLINE OF ROAD
- PROPOSED HEAVY DUTY PAVING
- PROPOSED PAVING
- PROPOSED TENCH (#1 & #2)
- PROPOSED PAVING OVERLAY



### UTILITY LAYOUT PHASE I

SCALE: 1" = 30'

NOTE: CONTRACTOR TO TEST PIT TO CONFIRM LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION AND RELOCATION OF SEWER LINES.

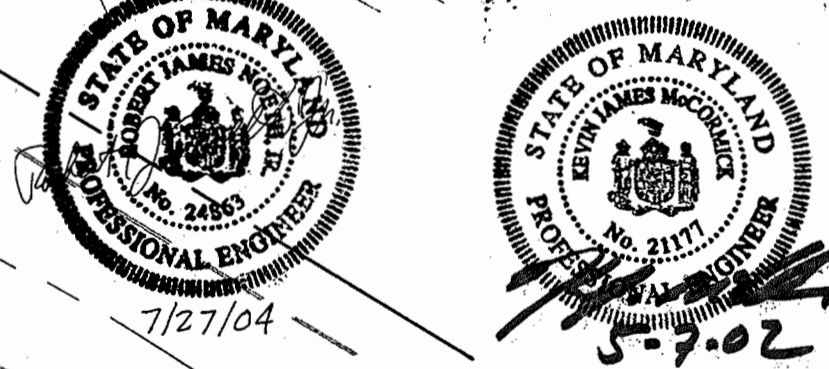


APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT  
*Diane J. Matlock* / *Jm* 5/18/01  
COUNTY HEALTH OFFICER / DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
*David J. Smith* 5/21/01  
DIRECTOR / DATE

*Chris D. Williams* 5/14/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION / DATE

*Shirley B. Williams* 5/21/01  
CHIEF, DIVISION OF LAND DEVELOPMENT / DATE



DATE	NO.	REVISION
June 2002	2	PROP. BLDG. ADDITION AND DEMOLITION OF STORAGE ROOM SIDE PROPOSED EXISTING TRAILER.
March 2002	1	Added EPSU/Trash compactor room, addition area #5, addition plan & revised the parking spaces & bldg. addition area.

OWNER:  
ICE CREAM PARTNERS, USA LLC.  
9090 WHISKEY BOTTOM ROAD  
LAUREL, MARYLAND 20725  
(301) 317-3734  
ATTN: CHARLES MOENIUS

PROJECT: ICE CREAM PARTNERS, USA LLC.  
PLANT EXPANSION PHASE I AND II  
"THE SOUTHLAND CORPORATION PROPERTY" PARCEL A  
TAX MAP No. 50, PARCEL 509 8th ELECTION DISTRICT

AREA: TAX MAP No. 50, BLK. 5, PARCEL 509  
6th ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
CENSUS TRACT No. 6063  
WATER CODE C-04 AND SEWER CODE 71-00800

TITLE:  
SITE AND UTILITY PLAN

**HARMS**  
ENGINEERS • PLANNERS • SURVEYORS  
P.O. Box 5, Potosi, MD 21123  
Office: 410-647-2000 FAX: 410-544-8508

DRAWN BY: C.M.  
DESIGNED BY: J.J.B.  
CHECKED BY: J.J.B.  
PROJECT No.: 04-00-005A  
DATE: OCTOBER, 2000  
SCALE: 1" = 50'  
DRAWING No. 5 OF 18



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT

*Dione J. Metzger, M.D.* 5/18/01  
 COUNTY HEALTH OFFICER DATE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

*Jim Meyer* 5/18/01  
 NATURAL RESOURCES CONSERVATION SERVICES DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY HOWARD SOIL CONSERVATION DISTRICT.

*John D. Hester* 5/18/01  
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
*Ray W. Smith* 5/18/01  
 DIRECTOR DATE

*John P. ...* 5/14/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Charles Bernard ...* 5/21/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

NOTE:  
 SOIL DELINEATIONS ARE BASED ON SOIL SURVEY FOR HOWARD COUNTY, MAP SHEET No. 31 (INSET).

LEGEND  
 EvC EVESBORO LOAMY SAND  
 EvB EVESBORO LOAMY SAND  
 ScB SANDY AND CLAYEY LAND  
 Gp GRAVEL PITS AND QUARRIES

June 2000	2	AREA BUILDING ADDITION AND DELETION OF STORAGE
March 2000	1	Added EPSD / Trash Compactor room. Relocate HC spaces
DATE	No.	REVISION

OWNER:  
 ICE CREAM PARTNERS, USA LLS.  
 9090 WHISKEY BOTTOM ROAD  
 LAUREL, MARYLAND 20725  
 (301) 317-3734  
 ATTN: CHARLES MOENIUS

PROJECT: ICE CREAM PARTNERS, USA LLC.  
 PLANT EXPANSION PHASE I AND II  
 "THE SOUTHLAND CORPORATION PROPERTY" PARCEL A  
 TAX MAP No. 50, PARCEL 509 6th ELECTION DISTRICT

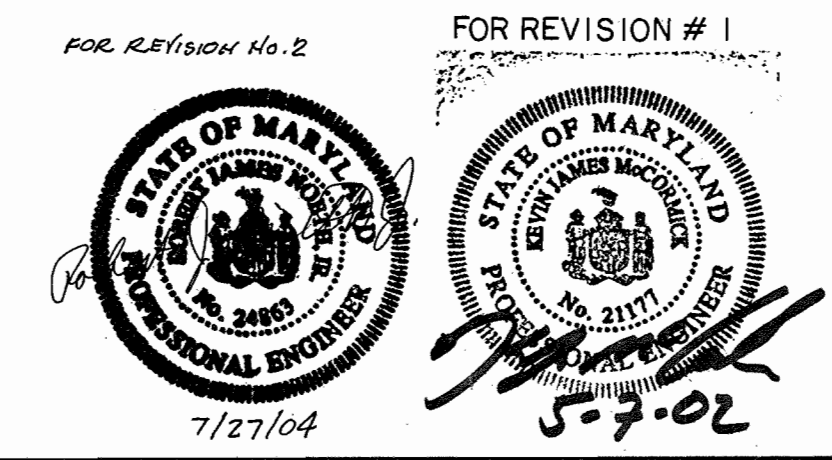
AREA: TAX MAP No. 50, BLK. 5, PARCEL 509  
 6th ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 CENSUS TRACT No. 6063  
 WATER CODE C-04 AND SEWER CODE 71-00800

TITLE: SOILS MAP



ENGINEERS • PLANNERS • SURVEYORS  
 P.O. Box 5, Posedona, MD 21123  
 Office: 410-647-6000 FAX: 410-644-8508

<i>[Signature]</i> 3/26/01	DRAWN BY: C.M.
	DESIGNED BY: J.J.B.
	CHECKED BY: J.J.B.
	PROJECT No.: 04-00-005A
	DATE: OCTOBER, 2000
	SCALE: 1" = 50'
	DRAWING No. 6 OF 18



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PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	REMARKS	QUANTITY
FAM	FRAXINUS AMERICANA "AUTUMN PURPLE"	AUTUMN PURPLE WHITE ASH	AS SHOWN	2 1/2"-3" CAL.	B&B	12
IOP	ILEX OPACA	AMERICAN HOLLY	AS SHOWN	5'-6" HT.	BB/CONT	6
PAB	PICEA ABIES	NORWAY SPRUCE	AS SHOWN	6'-8" HT.	B&B	32
TTO	TILIA TOMENTOSA	SILVER LINDEN	AS SHOWN	2 1/2" - 3" CAL.	B&B	17
IGS	ICEX GLABRA "SHAMROCK"	DWARF INKBERRY	AS SHOWN	2' HT.	CONT	10

SEE SHEET 18 FOR SCHEDULE 'A' & 'B', PERIMETER #1 THRU #6.

NOTES:  
 1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.  
 2. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$7,270.00.

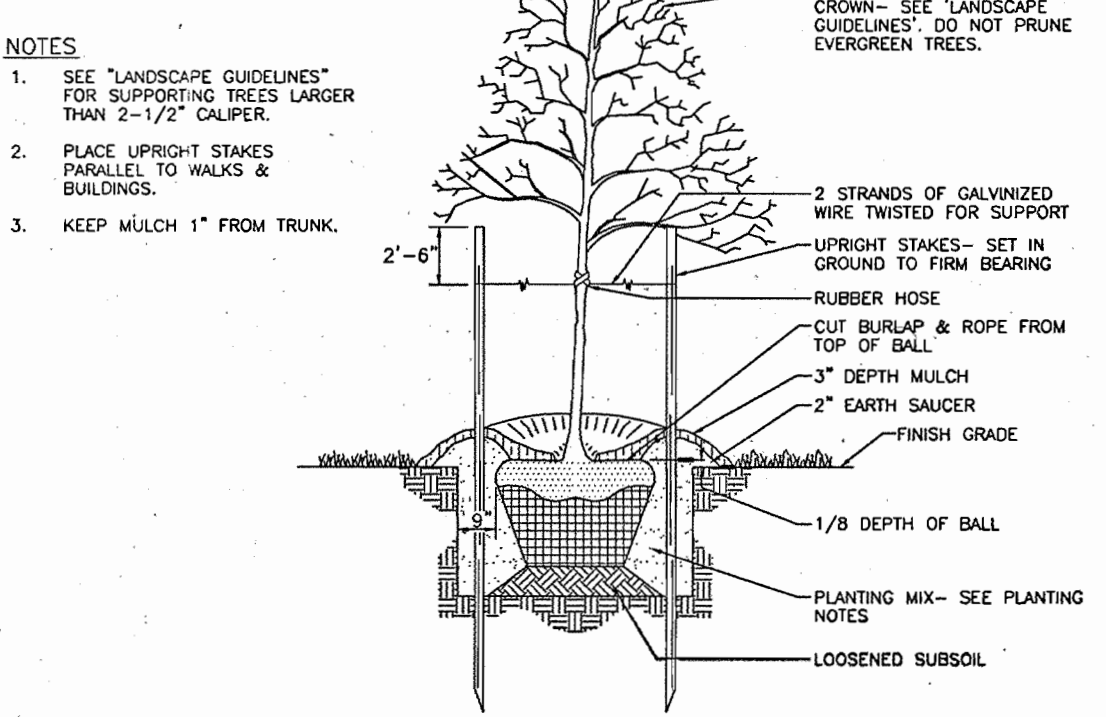
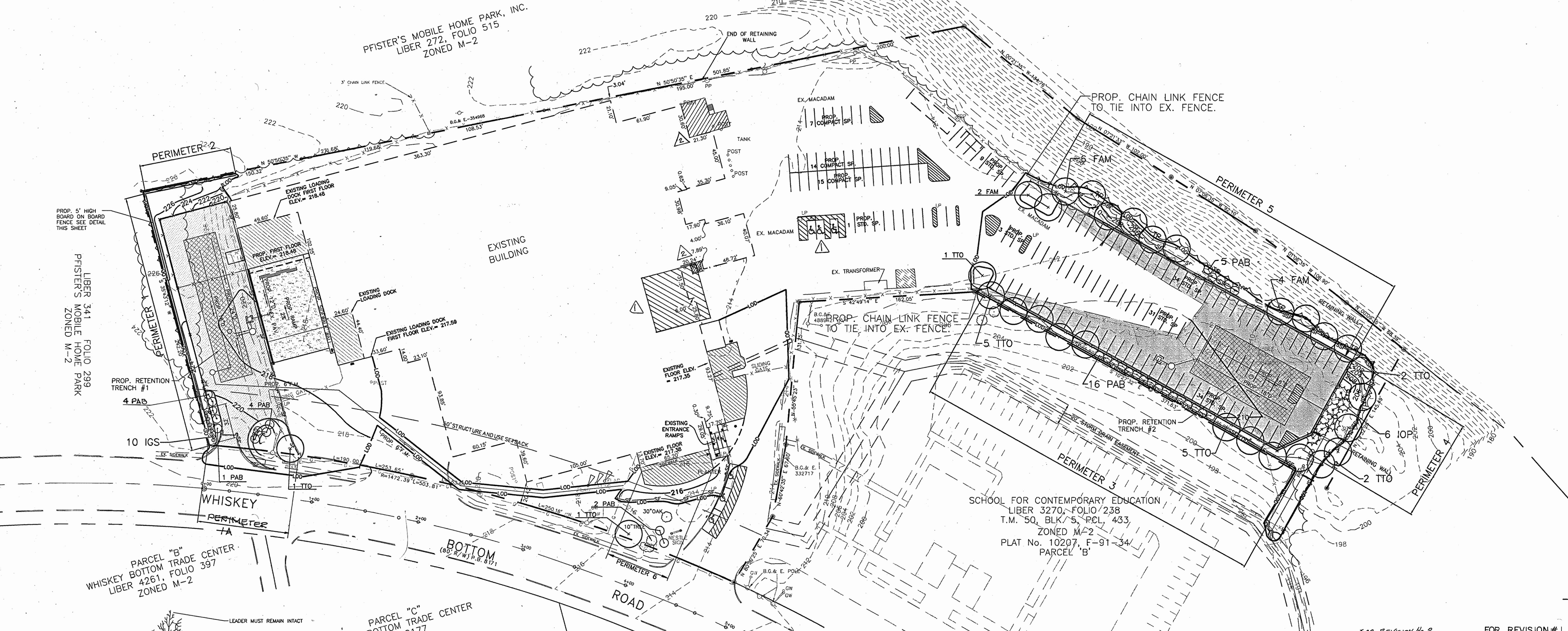
PLANTING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND "MISS UTILITY" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR CHANGE TO UTILITIES DUE TO NON-COORDINATED WORK. CONTRACTOR MAY MAKE MINOR ADJUSTMENTS IN SPACING AND LOCATION OF PLANT MATERIAL TO AVOID CONFLICTS WITH UTILITIES.
- PLANTS, RELATED MATERIAL, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.
- PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED AND HAVE A WOODROUS ROOT SYSTEM. PLANT MATERIAL SHALL BE HEALTHY, WOODROUS PLANTS FREE FROM DEFECTS, DECAY, DISFORMING ROOTS, SUNSCALD WOUNDS, ABSCISSIONS OF THE BARK, PLANT DISEASE, INSECT PEST EGGS, BOXERS, INFESTATIONS OR OBJECTIONABLE DISFIGUREMENTS. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. PLANTS SHALL BE FRESHLY DUG; NO HEELED-IN PLANTS OR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.
- UNLESS OTHERWISE SPECIFIED, PLANT MATERIAL SHALL CONFORM TO "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1-1990, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN, INCLUDING ALL ADDENDA.
- UNLESS OTHERWISE SPECIFIED, GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS", (HEREINAFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS' ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, LATEST EDITION, INCLUDING ALL ADDENDA.
- CONTRACTOR SHALL BE REQUIRED TO GUARANTEE PLANT MATERIAL FOR A PERIOD OF ONE YEAR IN ACCORDANCE WITH THE LANDSCAPE GUIDELINES. CONTRACTOR'S ATTENTION IS DIRECTED TO THE MAINTENANCE REQUIREMENTS FOUND WITHIN THE SPECIFICATIONS INCLUDING WATERING AND REPLACEMENT OF SPECIFIED PLANT MATERIAL.
- PLANTING BEDS SHALL BE MULCHED AS SPECIFIED TO THE LIMITS OF THE PLANTING BEDS AS SHOWN ON THE PLAN AND TO THE DEPTH AS SHOWN ON THE DETAILS.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING PLANT MATERIAL IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE.
- PLANTING MIX SHALL BE AS FOLLOWS:  
 DECIDUOUS PLANTS - TWO PARTS TOPSOIL, ONE PART WELL-ROTTED COW OR HORSE MANURE. ADD 3 LBS. OF STANDARD FERTILIZER PER CUBIC YARD OF PLANTING MIX.  
 EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE PART HUMUS OR OTHER APPROVED ORGANIC MATERIAL. ADD 3 LBS. OF EVERGREEN (ACIDIC) FERTILIZER PER CUBIC YARD OF PLANTING MIX.  
 TOPSOIL SHALL CONFORM TO THE LANDSCAPE GUIDELINES.
- THIS PLAN IS INTENDED FOR LANDSCAPE USE ONLY. SEE OTHER PLAN SHEETS FOR MORE INFORMATION ON GRADING, SEDIMENT CONTROL, UTILITIES, LAYOUT, ETC.

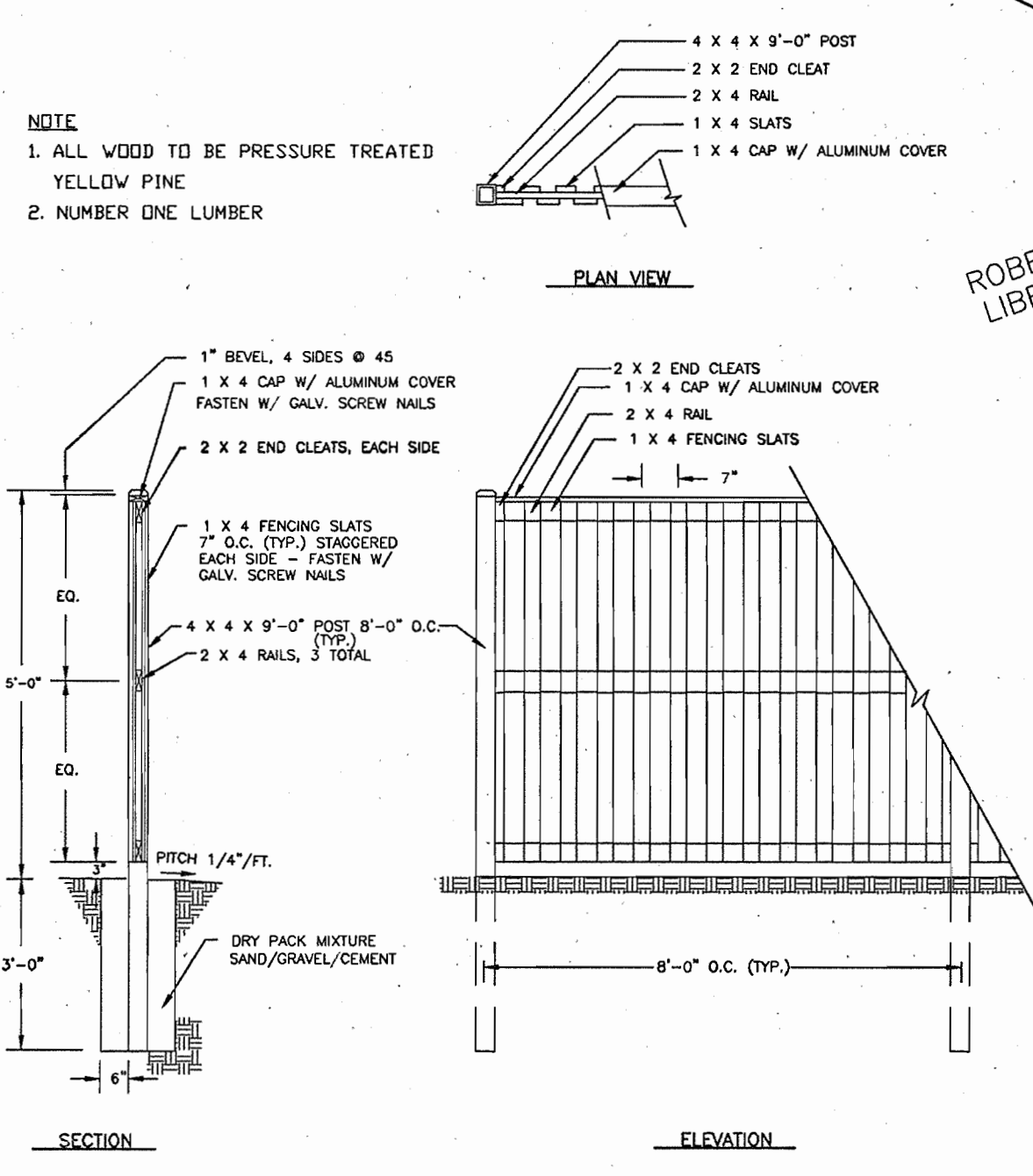
LEGEND

- OLD PARKING STRIPING
- NEW PARKING STRIPING
- PROP. BUILDING ADDITION
- PROP. PAVEMENT
- PROP. PAVEMENT (HEAVY DUTY)

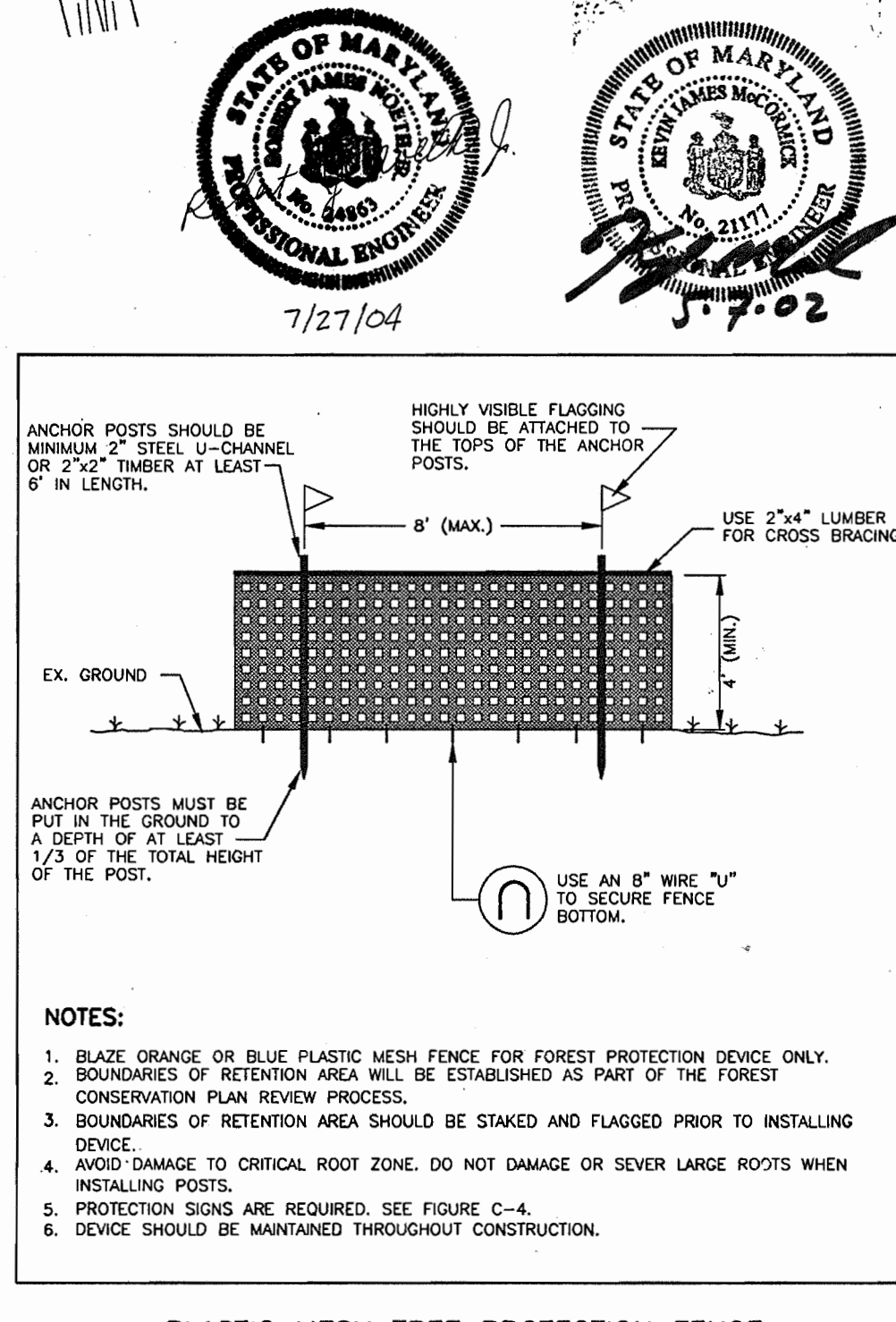
— LOD — TP — LIMIT OF DISTURBANCE/ TREE PROTECTION FENCE



TREE PLANTING AND STAKING  
 DECIDUOUS AND EVERGREEN TREES  
 NOT TO SCALE



BOARD ON BOARD FENCE DETAIL  
 NOT TO SCALE



PLASTIC MESH TREE PROTECTION FENCE  
 NOT TO SCALE

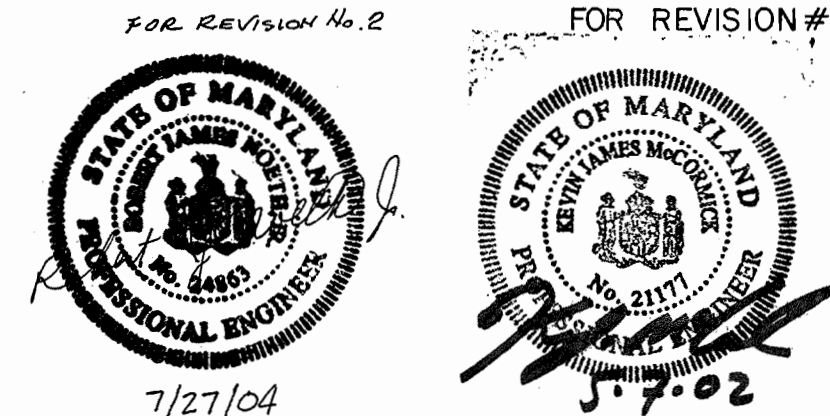
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
*Dianna L. Matlock* M.D. / *8/18/01*  
 COUNTY HEALTH OFFICER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
*Michael R. Smith* / *5/21/01*  
 DIRECTOR DATE

*Michael R. Smith* / *5/14/01*  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Shorel Bernadette Kowalski* / *5/21/01*  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

PARCEL 375  
 ROBERT DUVALL et. ux.  
 LIBER 170, FOLIO 169  
 ZONED M-2



DATE	No.	REVISION
June 2004	2	PROP. BUILDING ADDITION AND DEMOLITION OF STORAGE
March 2002	1	Added EPCN/Trash compactor room addition. Revised H.C. space location.

OWNER: ICE CREAM PARTNERS, USA LLC.  
 9090 WHISKEY BOTTOM ROAD  
 LAUREL, MARYLAND 20725  
 (301) 317-3734  
 ATTN: CHARLES MOENIUS

PROJECT: ICE CREAM PARTNERS, USA LLC.  
 PLANT EXPANSION PHASE I AND II

"THE SOUTHLAND CORPORATION PROPERTY" PARCEL A  
 TAX MAP No. 50, PARCEL 509 8th ELECTION DISTRICT

AREA: TAX MAP No. 50, BLK. 5, PARCEL 509  
 6th ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 CENSUS TRACT No. 6063  
 WATER CODE C-04 AND SEWER CODE 71-00800

TITLE: LANDSCAPE PLAN AND DETAILS



DRAWN BY: A.N./R.E.  
 DESIGNED BY: R.K.  
 CHECKED BY: M.T.  
 PROJECT No.: 04-00-005A  
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