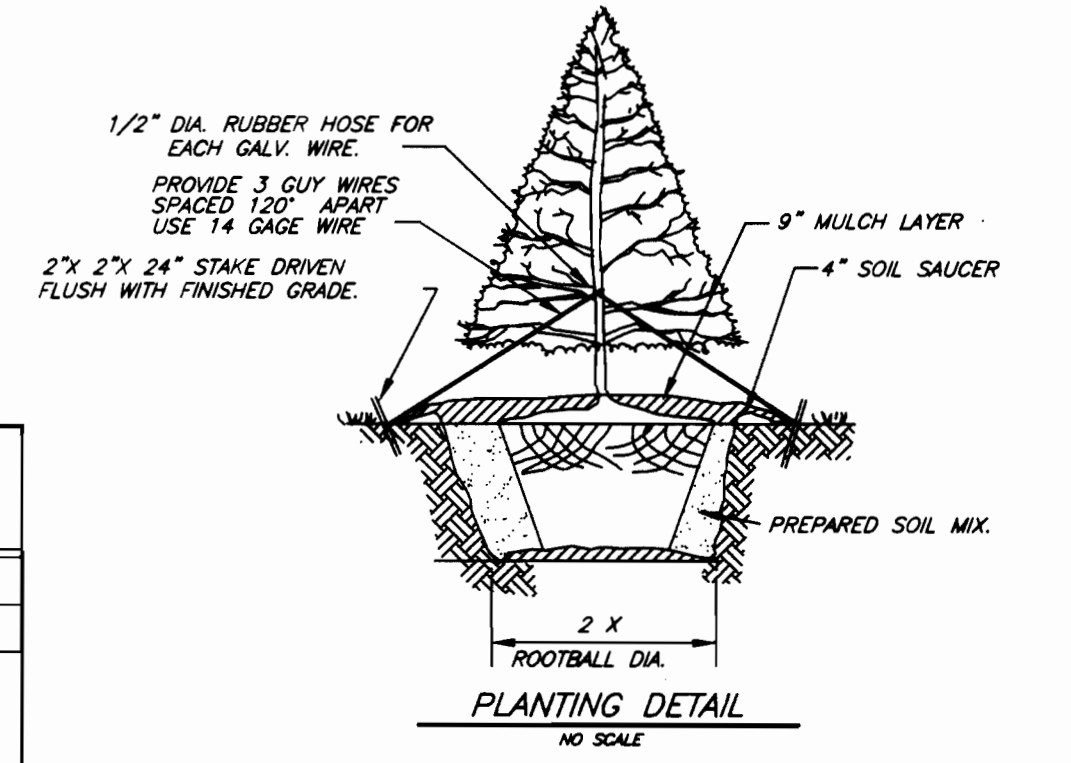
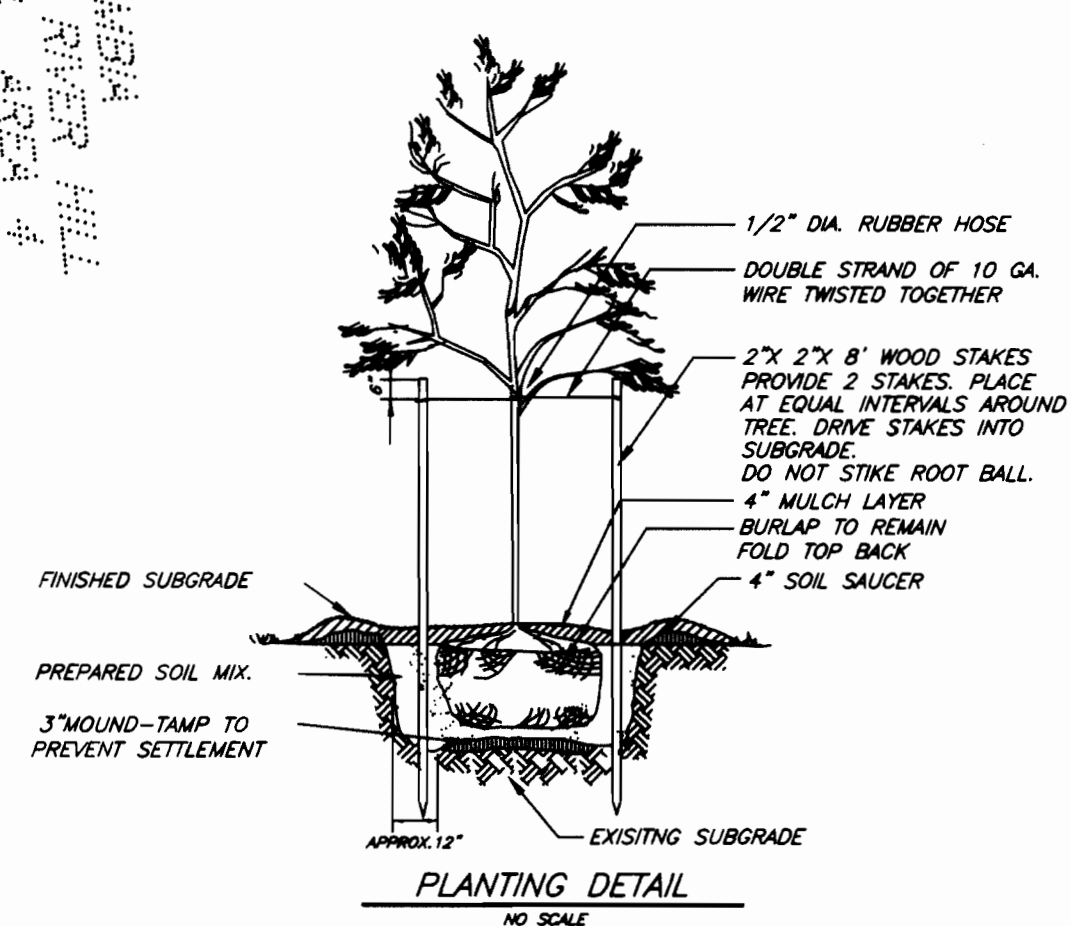


ADDRESS CHART

LOT NUMBER	STREET ADDRESS
130	5892 Indian Summer drive
131	5850 Indian Summer drive
132	5800 Indian Summer drive

SHEET INDEX

DESCRIPTION	SHEET NO.
SITE DEVELOPMENT PLAN	1 OF 2
SEDIMENT & EROSION CONTROL PLAN	2 OF 2



PLANT SCHEDULE

KEY	PLANT NAME	SIZE	QUAN.	REMARK
(A)	ACER RUBRUM 'RED SUNSET'	2 1/2"-3" CAL.	2	B&B
(B)	RED SUNSET MAPLE	12'-14" HT.	2	B&B
(C)	PINUS STROBUS WHITE PINE	6'-8" HT.	3	B&B

- NOTES:**
- All plant materials shall be full and heavy, be well formed and symmetrical, conform to the most current AAN specifications and be installed in accordance with HRD planting specifications.
 - Contractor shall verify location of all underground utilities prior to digging.
 - Final location of plant material may need to vary to meet final field conditions. Trees shall not be planted in the bottom of drainage swales.

SCHEDULE A PERIMETER LANDSCAPE EDGE

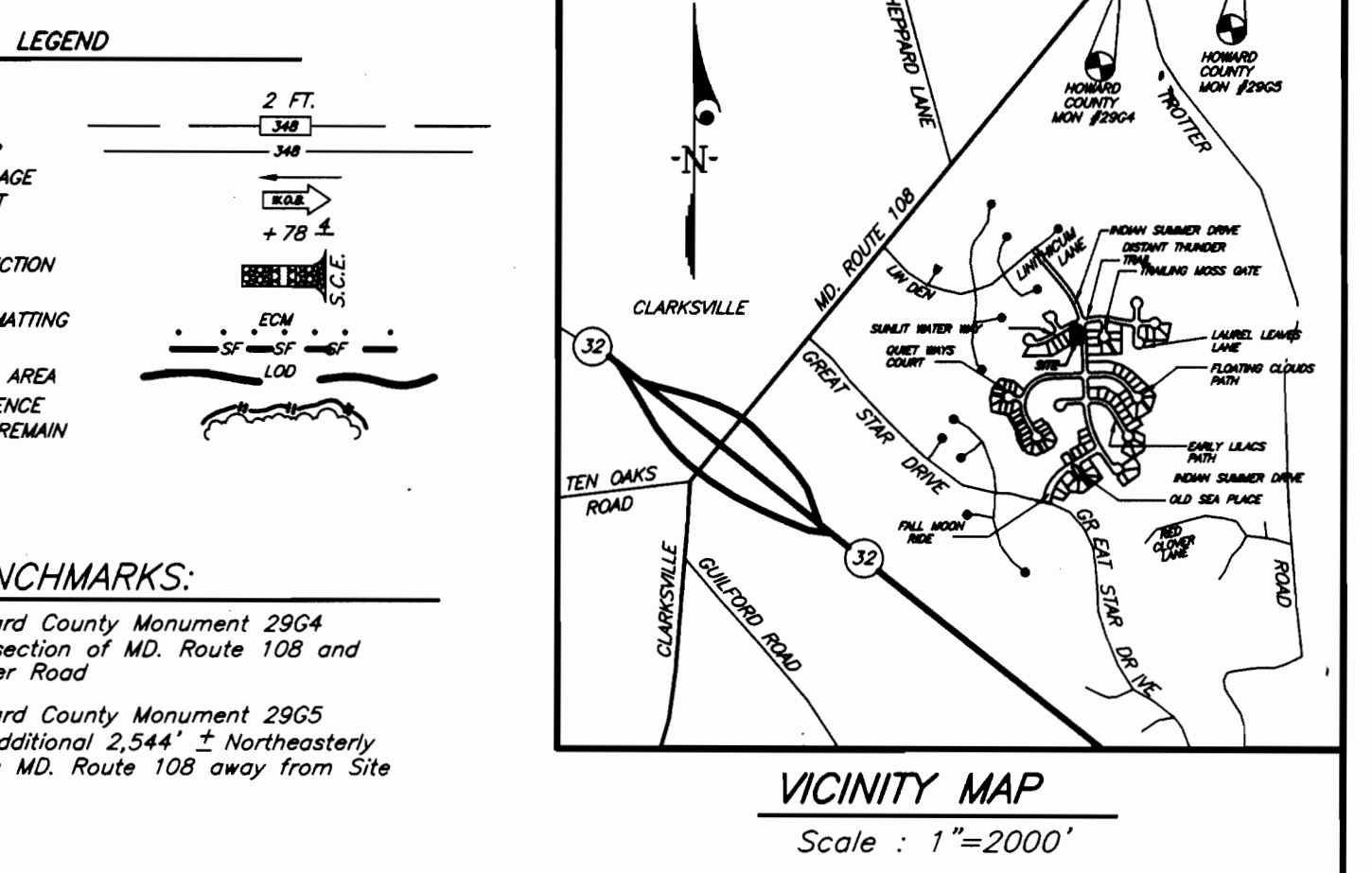
Category	Adjacent to Roadways	LOT 130
Landscape Type	B	
Frontage/Perimeter	123'	
Number of Plants Required		
Shade Trees	(1/50)	2
Evergreen Trees	(1/40)	3
Shrubs		
Number of Plants Provided		
Shade Trees		2
Evergreen Trees		3
Surety Amounts		\$1,050.00

* Comments: Planting to be provided per the New Town Alternative Compliance method.

OWNER / DEVELOPER
 THE HOWARD RESEARCH AND DEVELOPMENT CORP.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044

DEVELOPER'S/BUILDERS CERTIFICATE
 I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an expected one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Robert C. Goodier
 Name: ROBERT C. GOODIER Date: 9-13-00



- GENERAL NOTES:**
- Subject property is zoned: NTSFMD per 10-18-93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 0.5045 Acres.
 - The total number of lots included in this submission is: 3
 - Improvement to property: Single Family Detached
 - The maximum lot coverage permitted is: 30%
 - Department of Planning and Zoning reference file numbers: 5-93-21, P-95-11, F-96-130.
 - Utilities shown as existing are taken from approved Water and Sewer plans Contract #34-3420-D, approved Water and Construction plans F-96-130, and actual field survey.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - All roadways are public and existing.
 - The existing topography was taken from Road Construction Plans prepared by Daft, McCune and Walker in March 1996.
 - The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 2904 & 2905
 - The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least twenty-four (24) hours prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
 - In accordance with FDP-Phase 222-A, Part IV bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 3 feet into the front or rear setbacks; exterior stairways/arcways may not project into any setbacks.
 - Stormwater Management quantity and quality for the improvements from Bright Flow Mews, area North of Distant Thunder Trail DA to M309 from Section 4 Area 5, F-96-102 will be provided by an excavated pond East of Distant Thunder Trail. Said pond will be jointly maintained. Stormwater Management quantity for the improvements West of Indian Summer Drive and South of Sunlit Water Way is provided by Village of River Hill Section 4 Area 1, Phase 1, F-96-110. Water quality will be provided by bio-retention or shallow marsh at the storm drain outfalls and will be jointly maintained. Stormwater Management quantity for the improvements East of Indian Summer Drive and South of Distant Thunder Trail are provided for in Section 4 Area 1, F-96-110 by proposed features as described in a report prepared by Whitman, Reardon & Associates and approved as of 1/20/95. Water quality will be provided by bio-retention or shallow marsh at the storm drain outfalls and will be jointly maintained.
 - SHC Elevations shown are at the property lines.
 - This plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and Landscape Manual. Financial Surety for the trees in schedule A in the amount of \$1,050.00 shall be posted as part of the Builders Grading Permit Application.
 - This property is exempt from the forest conservation requirements per section 16.120(b)(1)(iv) of the Howard County Code because it is part of a planned unit development with preliminary plan approval prior to 12/31/92.
 - Per section 16.116(a) of the Subdivision and Land Development Regulations prohibits clearing, grading or construction activity within the required 25 foot wetland buffer and 75 foot perennial stream buffer and 50 foot intermittent stream buffer.

SPECIAL NOTES:
 This plan is for house siting and lot grading only. Improvements shown within the rights-of-way of the S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-96-130 and/or approved Water and Sewer Plans Contract #34-3420-D.

SUBDIVISION NAME	SECTION/AREA	LOTS/PARCELS			
VILLAGE OF RIVER HILL	4/4	130-132			
PLAT NO.	BLOCK NO.	ZONE	TAX MAP NO.	ELECTION DIST.	CENSUS TRACT
12926	1	NTSFMD	35	5th	6053
WATER CODE	SEWER CODE				
1-10	6653000				

CLARK · FINEFROCK & SACKETT, INC.
 ENGINEERS · PLANNERS · SURVEYORS
 7135 MINTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

SITE DEVELOPMENT PLAN

DESIGNED: D.M.
 DRAWN: Z.A.H., K.O.L.
 CHECKED: [Signature]
 DATE: 9-1-2000

SCALE: 1" = 30'
 DRAWING: 1 of 2
 JOB NO.: 00-015
 FILE NO.: 00-015X

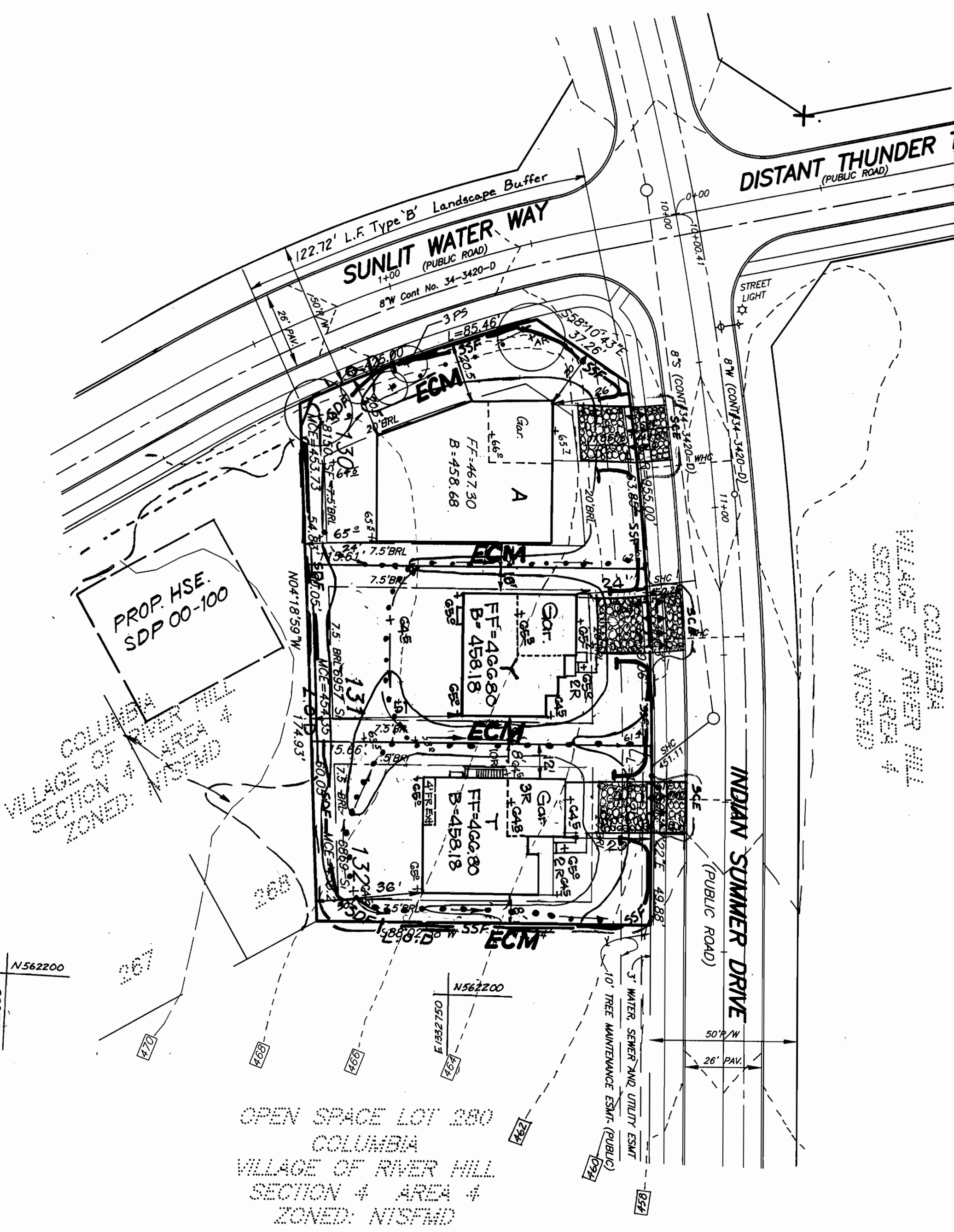
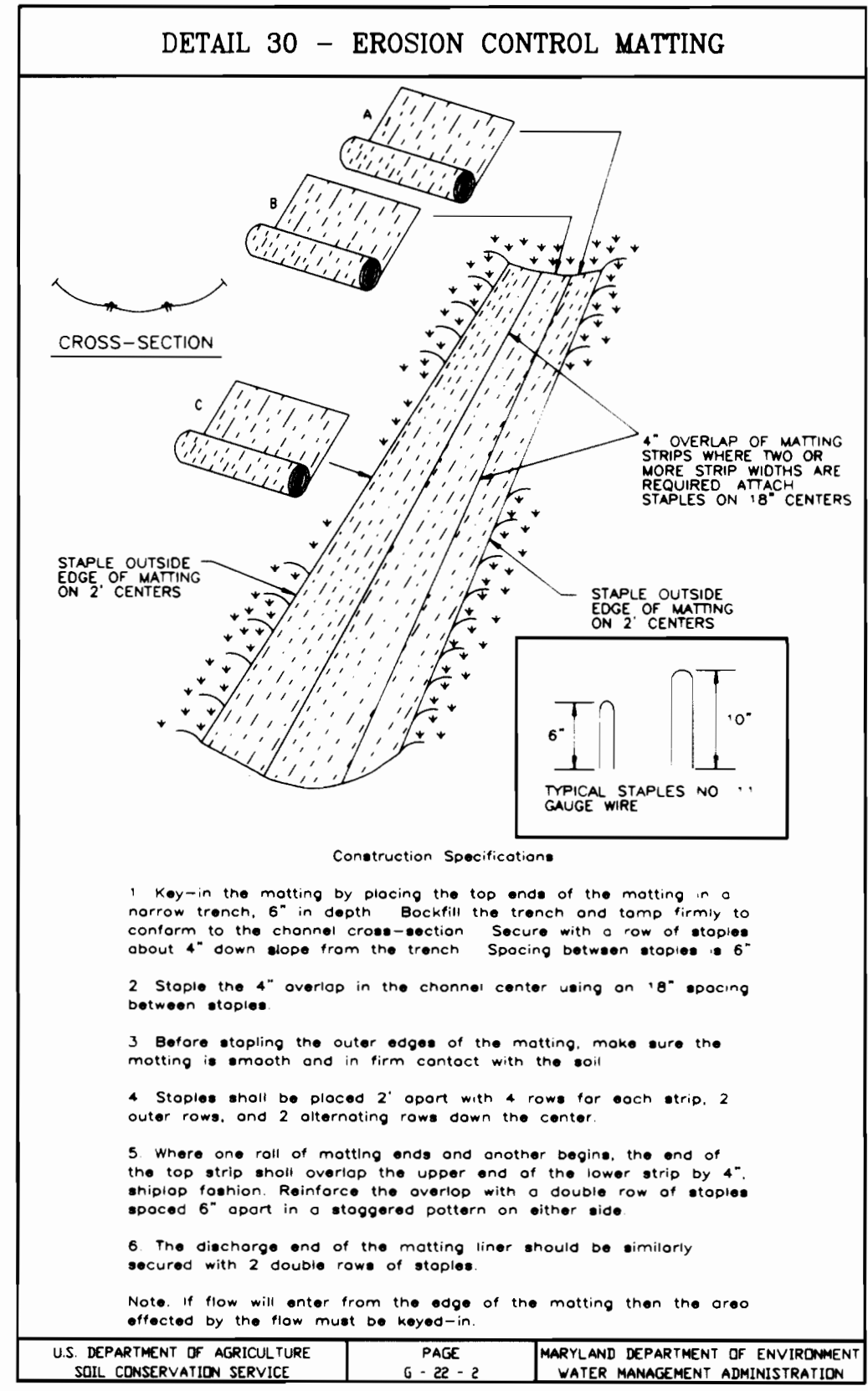
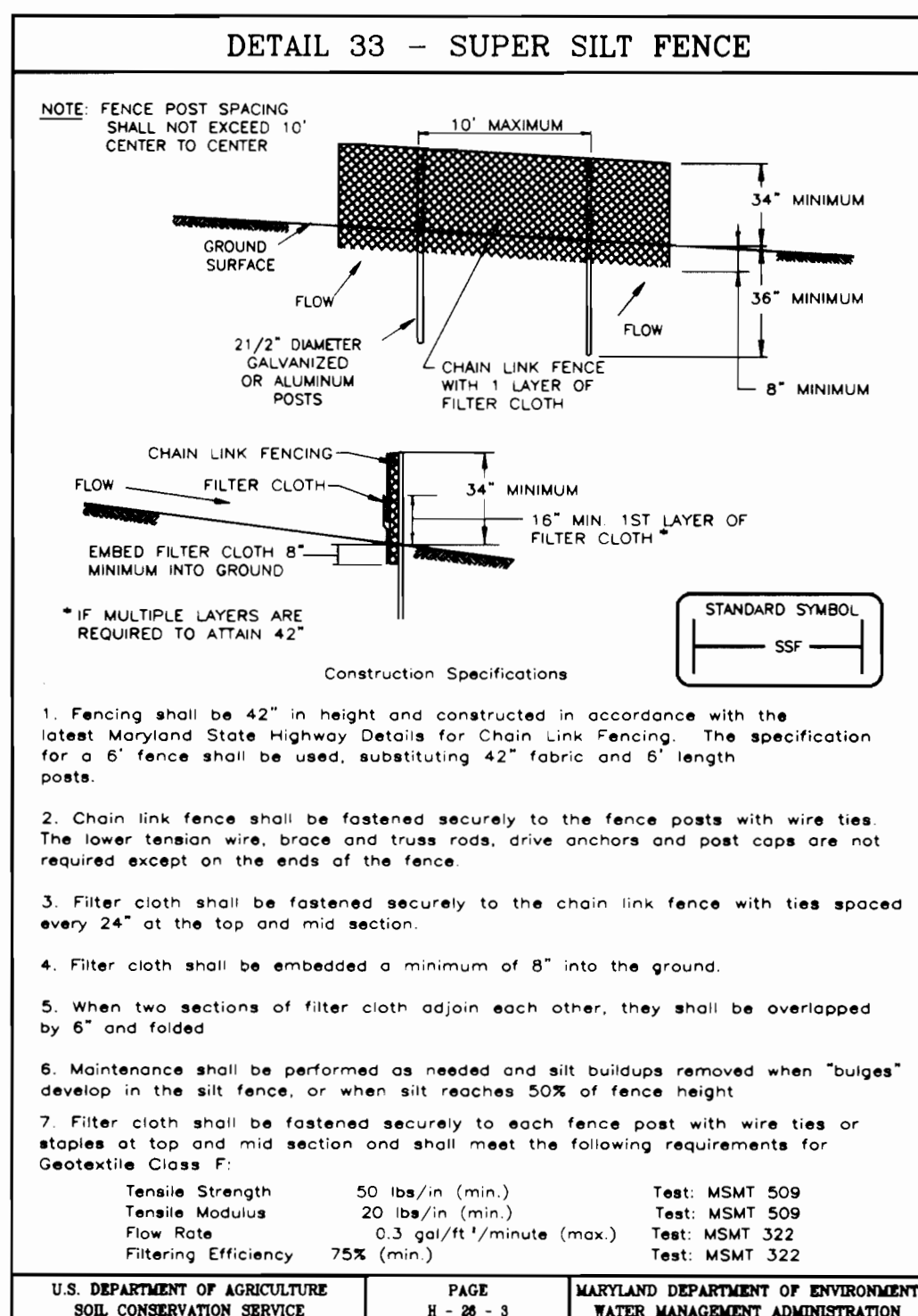
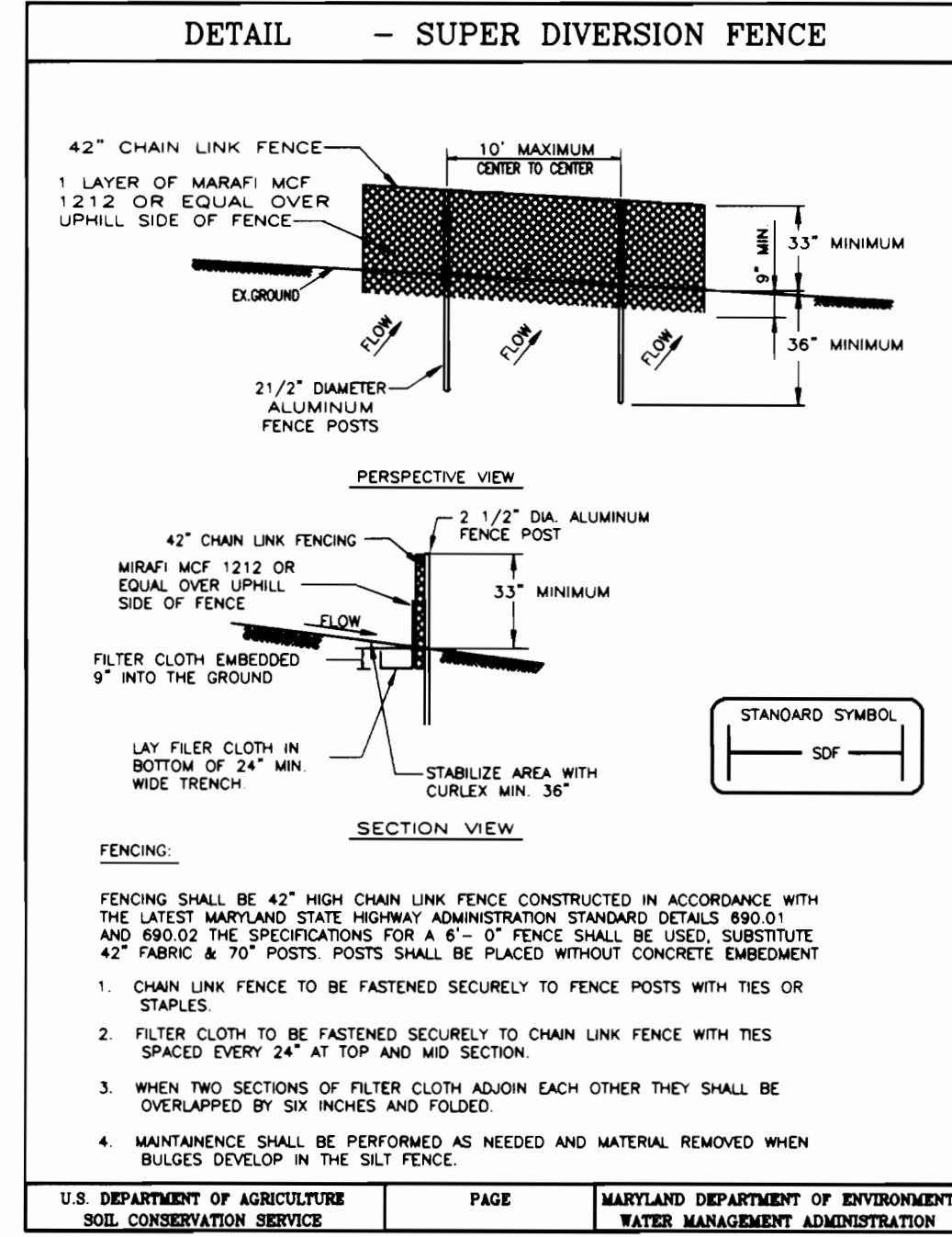
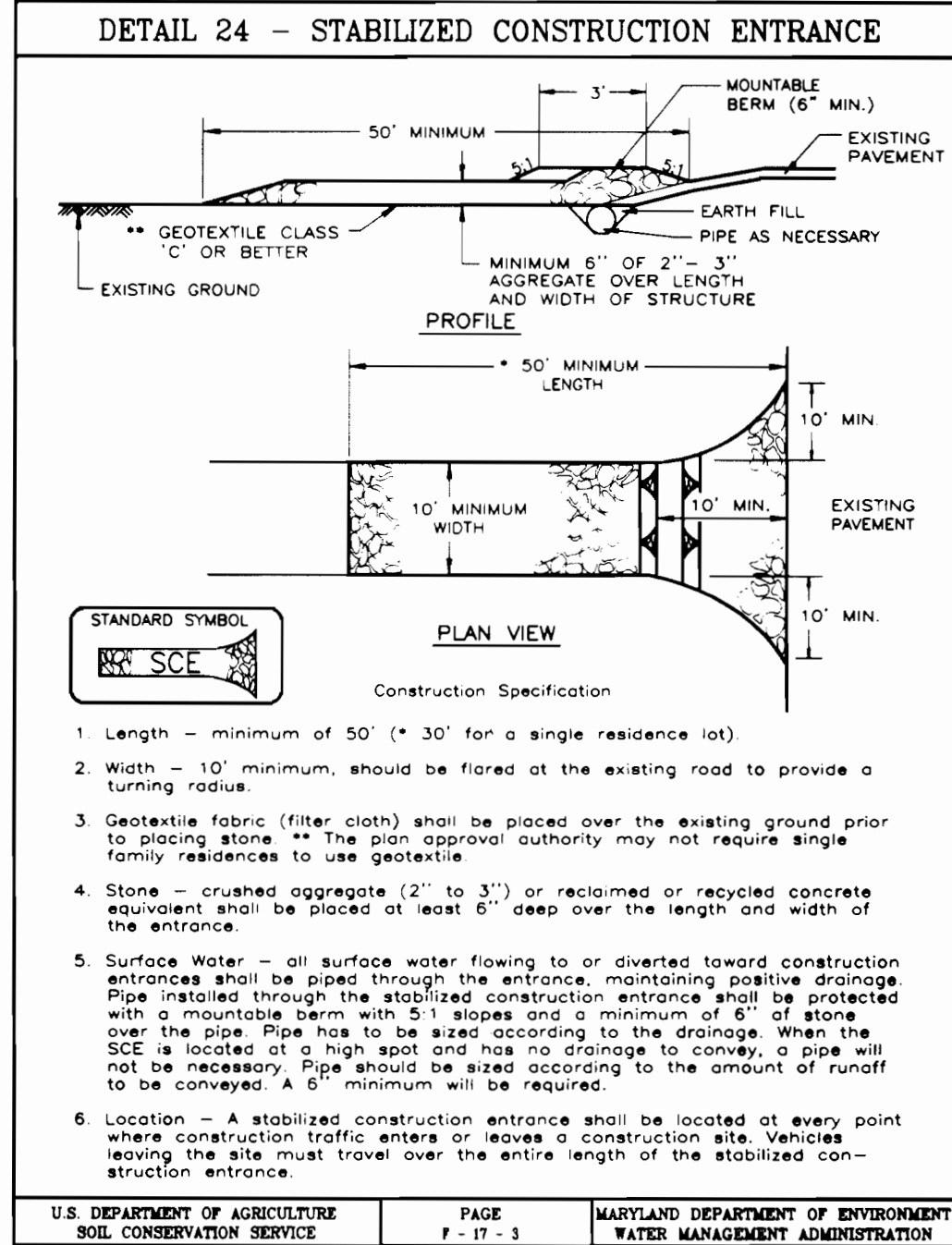
FOR: GOODIER BUILDERS
 10705 Charter Drive, Suite 320
 Columbia, Maryland 21044

APPROVED: DEPARTMENT OF PLANNING & ZONING

[Signature] 11/7/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 11/13/00
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 11/13/00
 DIRECTOR DATE



PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq.ft.)
- Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs./1000 sq.ft.) of Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.5 lbs./1000 sq.ft.) of seeding lovegrass. During the period of October 16 thru February 28, protect site by applying 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal./1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal./1000 sq.ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, maintenance and reseedings.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.)

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual Ryegrass (32 lbs./1000 sq.ft.) For the period May 1 thru July 31, seed with 3 lbs. per acre of seeding lovegrass (0.7 lbs./1000 sq.ft.) For the period November 1 thru February 28, protect site by applying 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal./1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal./1000 sq.ft.) for anchoring.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

SEDIMENT AND EROSION CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECS. FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within:
 - 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1
 - 14 days as to all other disturbed or graded areas on the project site
- All disturbed areas must be stabilized within the time period specified above, in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. For permanent seedings, sod, temporary seeding and mulching (S.C.).
- Temporary stabilization with mulch alone can only be done when recommended seedings do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- SITE ANALYSIS:

Total Area of Site:	0.50 Acres
Area Disturbed:	0.50 Acres
Area to be seeded or paved:	0.21 Acres
Area to be vegetatively stabilized:	0.29 Acres
Total Cut:	438 cu. yd.
Total Fill:	43 cu. yd.
Offsite Waste/Borrow Area Location:	adj.
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance activities. Other building or grading inspection approvals may not be authorized until the initial approval by the inspection agency is made.
- Fences for the construction of utilities shall be backfilled and stabilized within one working day, or is limited to three pipe lengths.
- The total amount of silt fence = 365 LF
- The total amount of super silt fence = 365 LF
- The total amount of super diversion fence = 205 LF

* It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and its grading permit number at the time of construction.

CONSTRUCTION SEQUENCE:

	NO. OF DAYS
1. Obtain grading permit.	7
2. Install tree protection fence.	7
3. Install sediment and erosion control devices and stabilize.	14
4. Excavate for foundations, rough grade and temporarily stabilize.	28
5. Construct structures, sidewalks and driveways.	60
6. Final grade, install of Erosion Control Matting and stabilize in accordance with standards and specifications.	14
7. Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize.	7

* Delay construction of houses on lots: N/A

21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition: Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose: To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies:

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications:

- Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

Topsoil Application:

- When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, either 4" - 8" higher in elevation.
- Topsoil shall be uniformly distributed in a 4"-8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

APPROVED: DEPARTMENT OF PLANNING & ZONING

CHIEF DEVELOPMENT ENGINEERING DIVISION: *[Signature]* 4/17/00 DATE

CHIEF DIVISION OF LAND DEVELOPMENT: *[Signature]* 4/12/00 DATE

RECORDED: *[Signature]* 4/12/00 DATE

Reviewed for HOWARD S.C.D. and meet Technical Requirements: *[Signature]* 4/16/00

Signature: *[Signature]* Date: 4/16/00

U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Approved: *[Signature]* DATE 4-13-00

NAME: ROBERT C. GOODIER

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

ENGINEER'S CERTIFICATE

"I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

[Signature] 9-14-00 DATE

G. NELSON CLARK



CLARK · FINEFROCK & SACKETT, INC.
ENGINEERS · PLANNERS · SURVEYORS

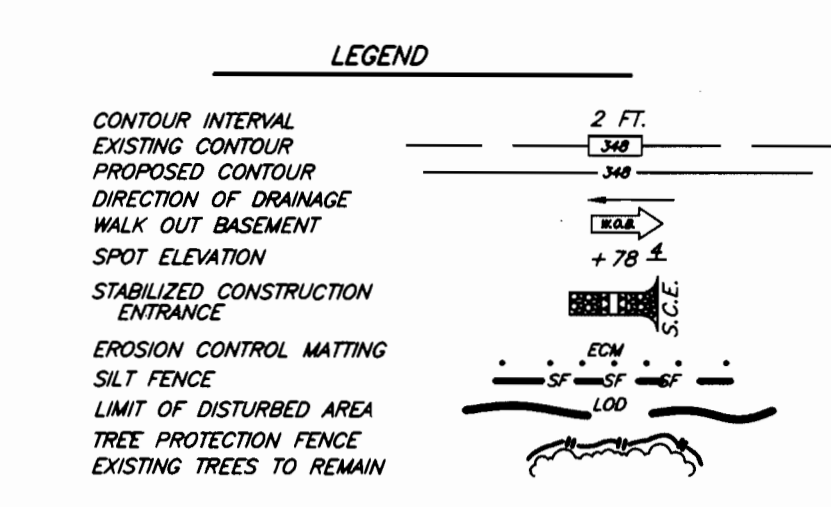
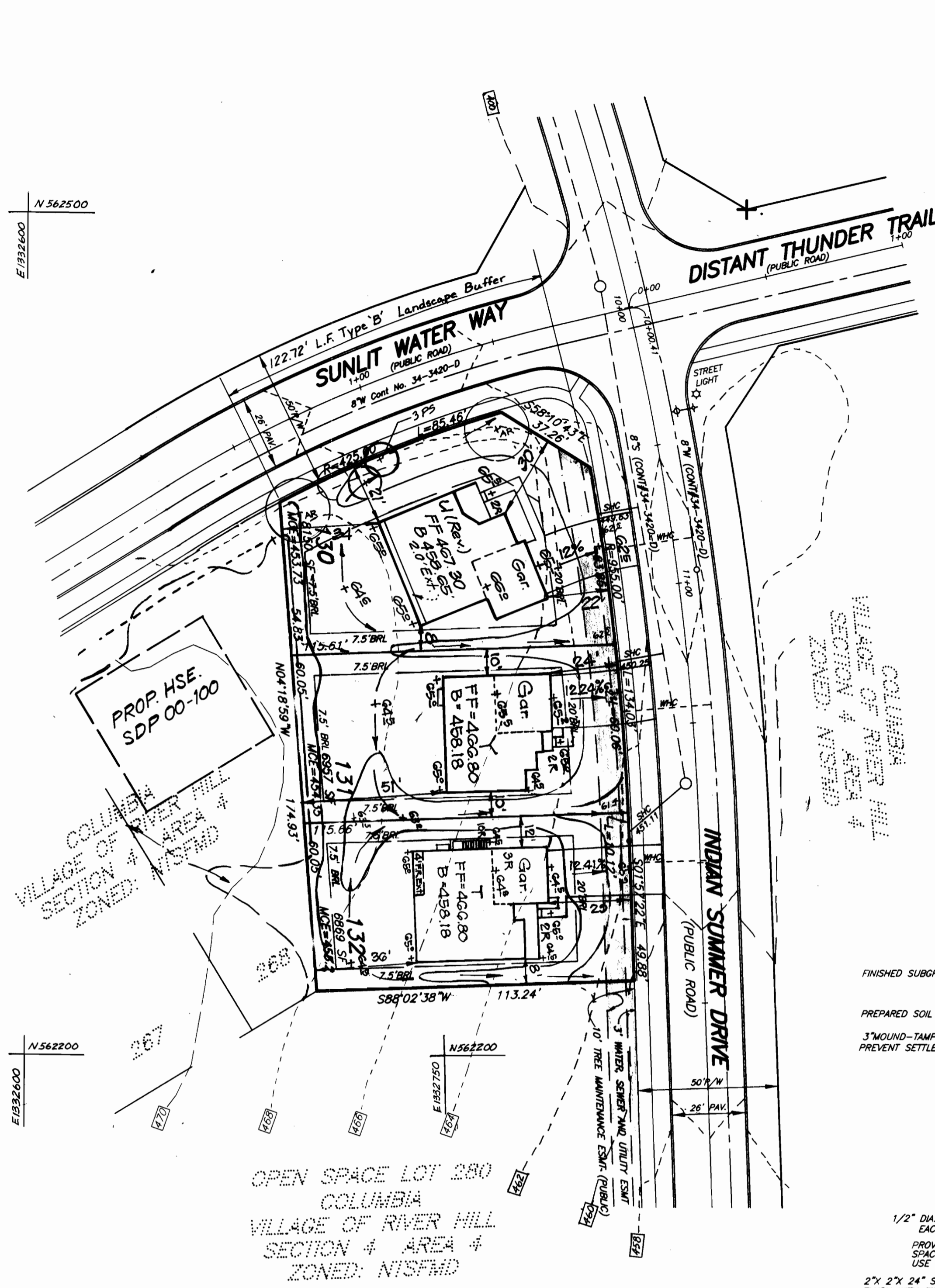
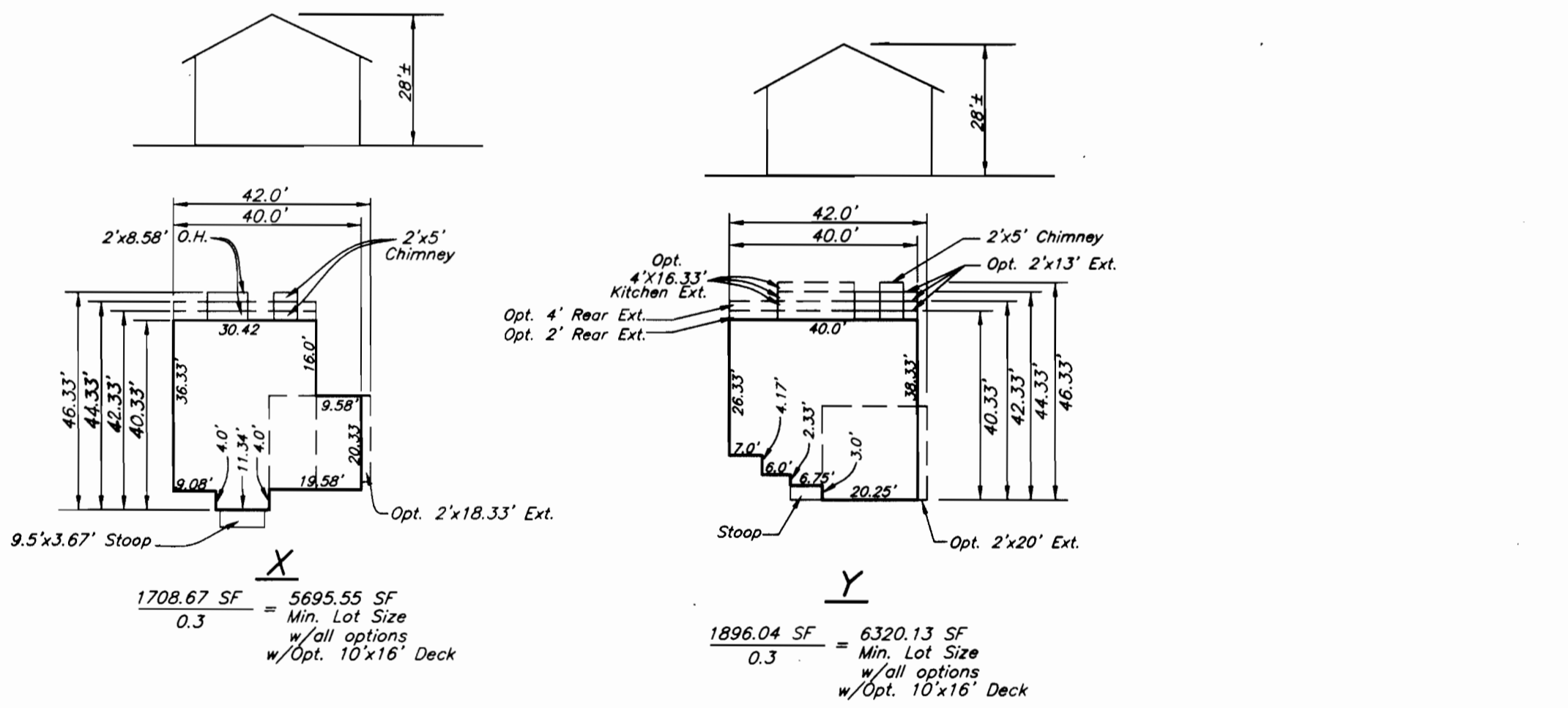
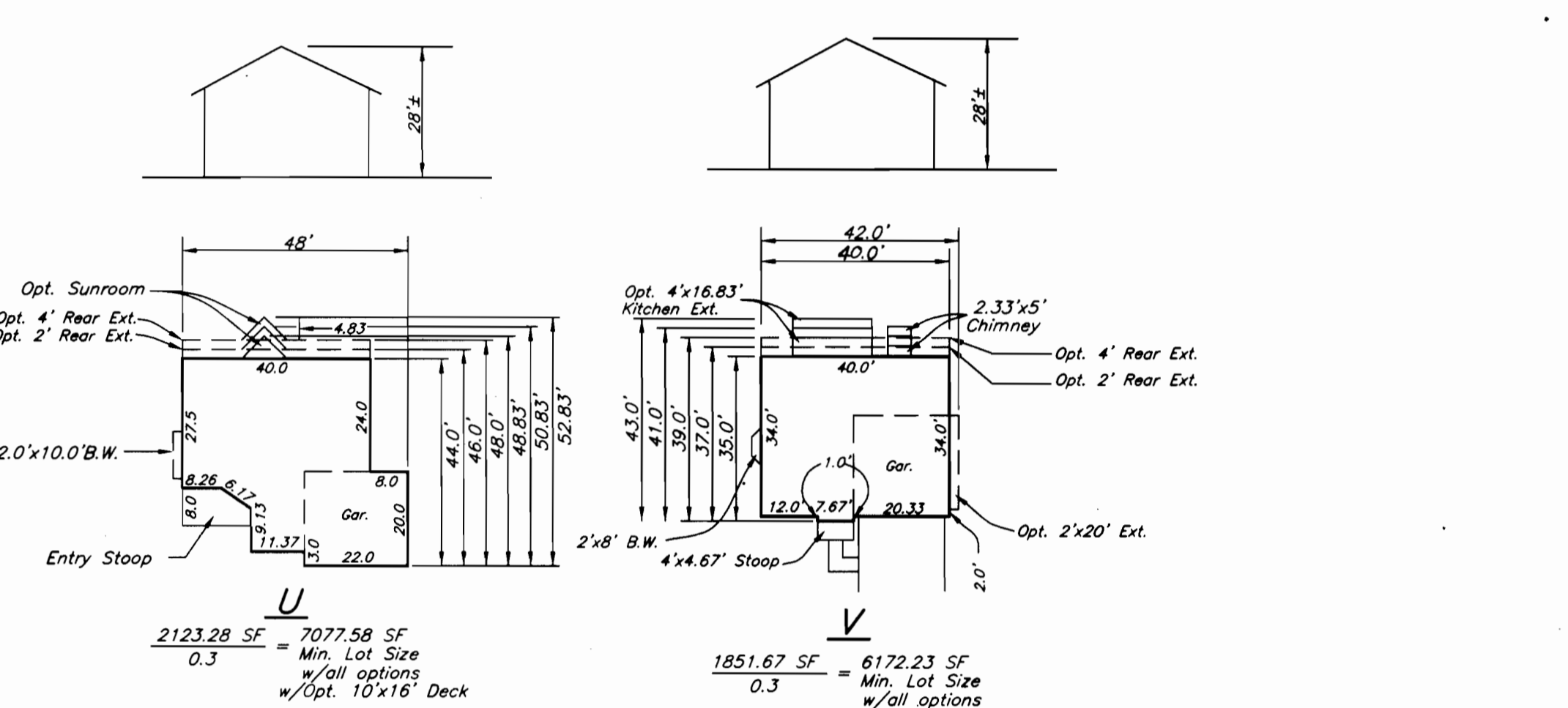
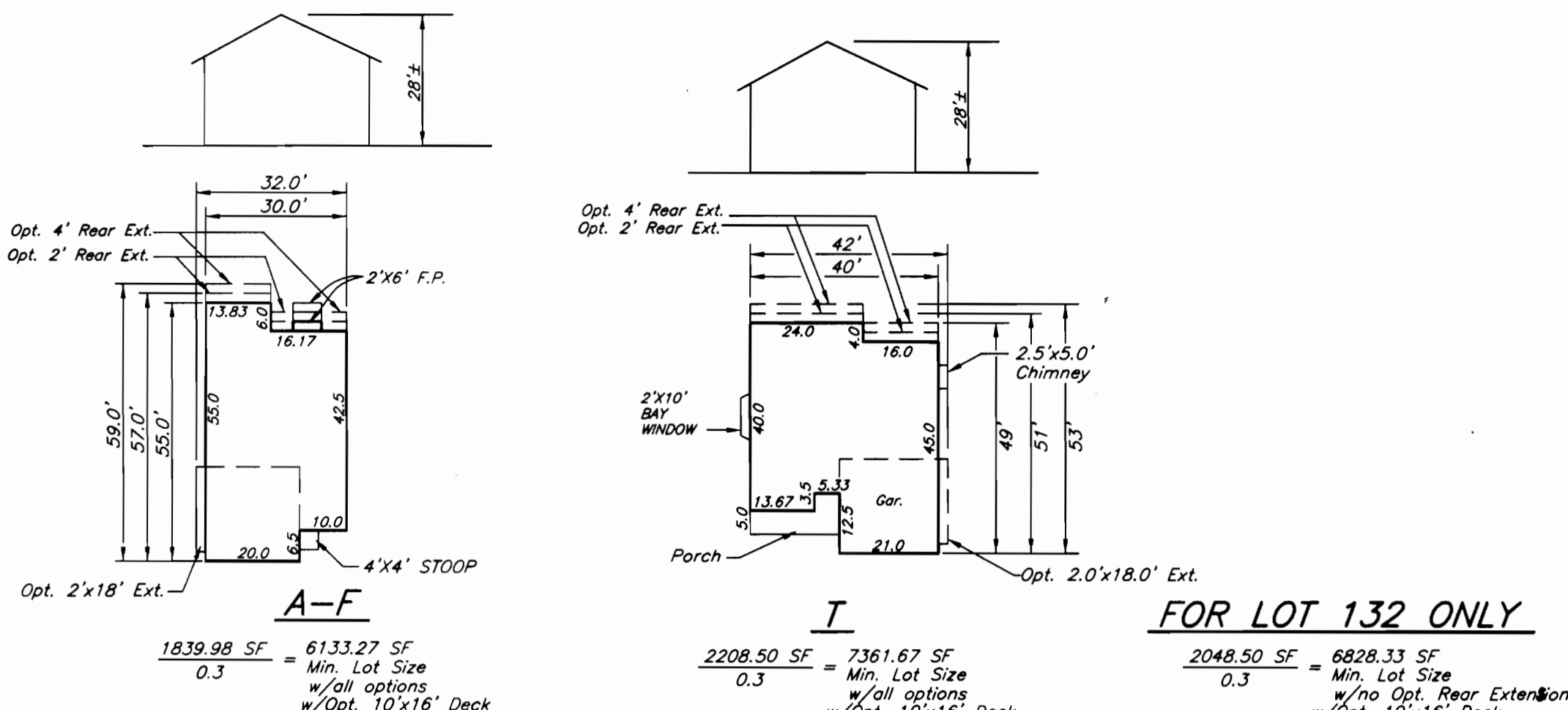
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DESIGNED	D.M.	SCALE
DRAWN <td>K.Q.L. <td>1" = 30'</td> </td>	K.Q.L. <td>1" = 30'</td>	1" = 30'
CHECKED <td>D.M. <td>DRAWING 2 of 2</td> </td>	D.M. <td>DRAWING 2 of 2</td>	DRAWING 2 of 2
DATE <td>9-11-2000 <td>JOB NO. 00-015</td> </td>	9-11-2000 <td>JOB NO. 00-015</td>	JOB NO. 00-015
		FILE NO. 00-015-SE

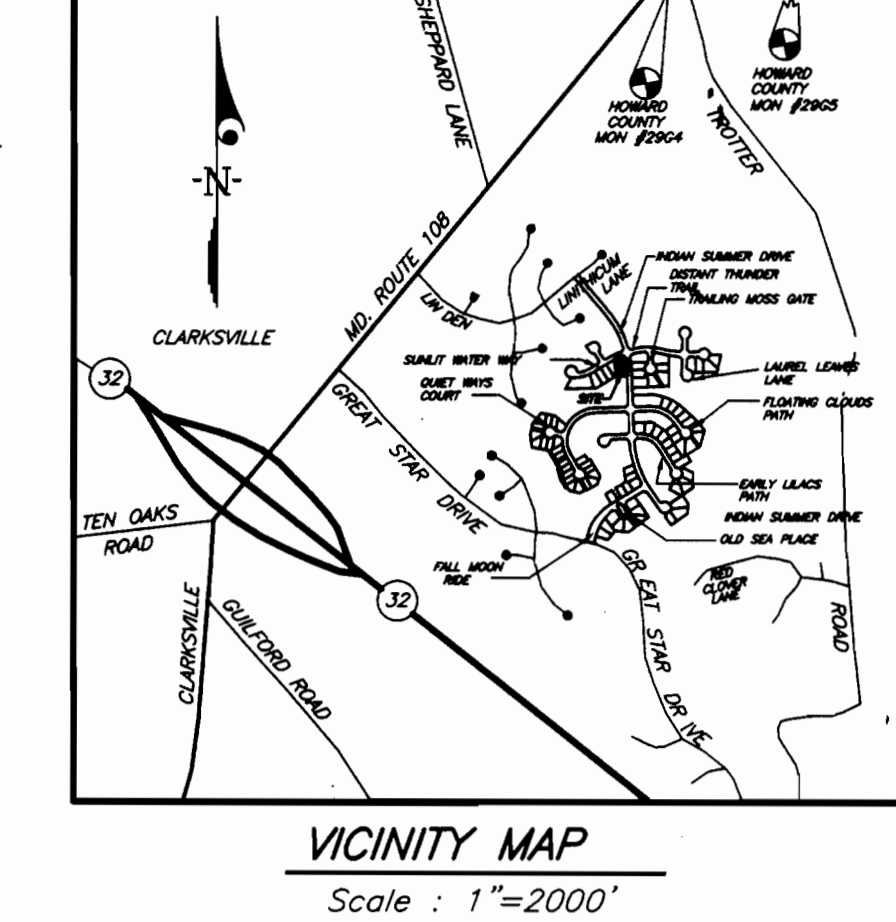
SEDIMENT CONTROL PLAN
LOTS 130, 131, AND 132
COLUMBIA VILLAGE OF RIVER HILL
SECTION 4 AREA 4
FIFTH (5th) ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FOR: GOODIER BUILDERS
10705 CHARTER DRIVE, SUITE 320
COLUMBIA, MARYLAND 21044

SDP 01-43 (#)D:/Library/Sed-details/HC-sed-detail-base



BENCHMARKS:
Howard County Monument 2964
Intersection of MD. Route 108 and Trotter Road
Howard County Monument 2965
an additional 2,544' ± Northeasterly
along MD. Route 108 away from Site



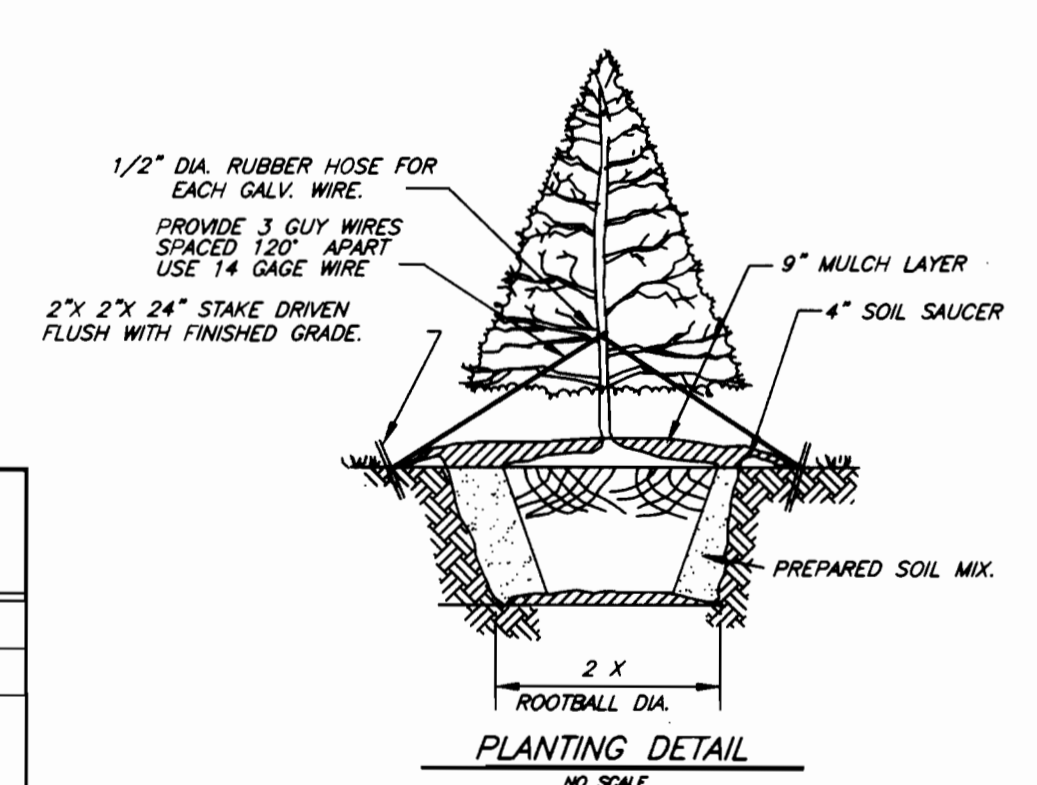
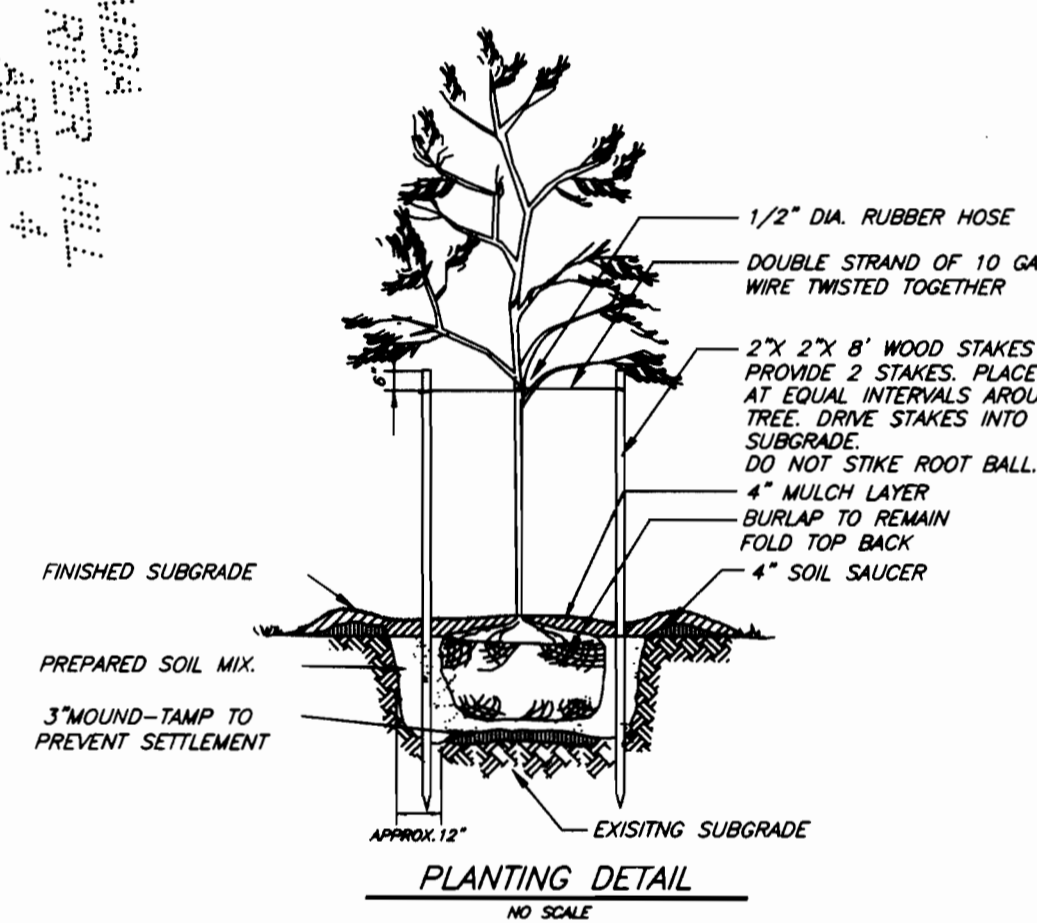
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SHEET INDEX

DESCRIPTION	SHEET NO.
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SEDIMENT & EROSION CONTROL PLAN	2 OF 2

- GENERAL NOTES:**
- Subject property is zoned: NISFD per 10-18-93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 0.5045 Acres.
 - The total number of lots included in this submission is: 3
 - Improvement to property: Single Family Detached
 - The maximum lot coverage permitted is: 30%
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PLANT SCHEDULE

KEY	PLANT NAME	SIZE	QUAN.	REMARK
(M)	ACER RUBRUM RED SUNSET	2 1/2"-3" CAL	2	B&B
(M)	RED SUNSET MAPLE	12'-14' HT.	2	B&B
(PS)	PINUS STROBUS WHITE PINE	6'-8' HT.	3	B&B

- NOTES:**
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 - Final location of plant material may need to vary to meet final field conditions. Trees shall not be planted in the bottom of drainage swales.

SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	LOT 130
Landscape Type	B	
Frontage/Perimeter	123'	
Number of Plants Required		
Shade Trees	(1/50)	2
Evergreen Trees	(1/40)	3
Number of Plants Provided		
Shade Trees		2
Evergreen Trees		3
Surety Amounts		\$1,050.00

* Comments: Planting to be provided per the New Town Alternative Compliance method.

OWNER / DEVELOPER
THE HOWARD RESEARCH AND DEVELOPMENT CORP.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

DEVELOPER'S/BUILDERS CERTIFICATE
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Name: Robert C. Goodier
Date: 9-13-00



APPROVED: DEPARTMENT OF PLANNING & ZONING
[Signature] 11/7/00
[Signature] 11/13/00
[Signature] 11/13/00

REVISIONS

No.	Rev. hse. & qrd. lot 130	Date
1	Rev. hse. & qrd. lot 130	12-14-00

SPECIAL NOTES:
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SUBDIVISION NAME	SECTION/AREA	LOTS/PARCELS			
VILLAGE OF RIVER HILL	4/4	130-132			
PLAT NO.	BLOCK NO.	ZONE	TAX MAP NO.	ELECTION DIST.	CENSUS TRACT
12926	1	NTSFMD	35	5th	6055
WATER CODE	SEWER CODE				
1-10	6653000				

CLARK · FINEFROCK & SACKETT, INC.
ENGINEERS · PLANNERS · SURVEYORS
7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.

DESIGNED	SITE DEVELOPMENT PLAN	SCALE
D.M.	LOTS 130, 131 AND 132	1" = 30'
DRAWN		DRAWING
Z.A.H. K.O.L.	COLUMBIA VILLAGE OF RIVER HILL	1 of 2
CHECKED		JOB NO.
[Signature]	SECTION 4 AREA 4 FIFTH (5th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	00-015
DATE	FOR: GOODIER BUILDERS	FILE NO.
9-1-2000	10705 Charter Drive, Suite 320 Columbia, Maryland 21044	00-015X