

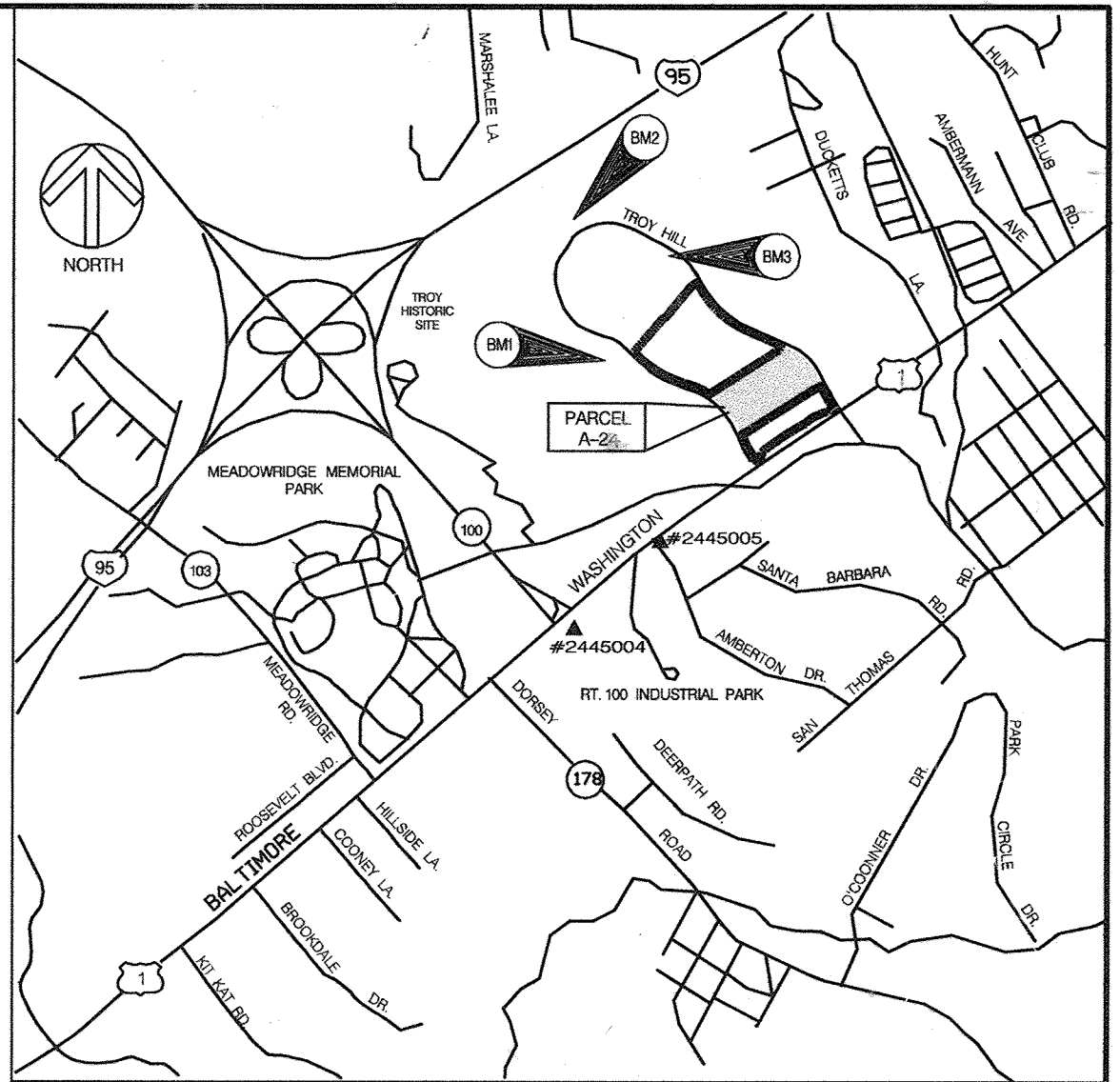
Troy Hill Corporate Center

Parcel A-24 SDP 01-37

1st Election District

Howard County, Maryland

Tax Map No. 37



VICINITY MAP

SCALE: 1" = 2000'

(COORDINATES BASED ON N.A.D. 27, AS PROJECTED BY HOWARD COUNTY GEOMETRIC CONTROL STATIONS #2445004 AND #2445005.)

BENCHMARK #1
IRON PIN @ TRAVERSE #1066
N 496501.3597 E 869134.4576
ELEV. = 175.92

BENCHMARK #2
IRON PIN @ TRAVERSE #1061
N 498036.6945 E 868791.1502
ELEV. = 242.49

BENCHMARK #3
IRON PIN @ TRAVERSE #1034
N 497636.7437 E 869835.6586
ELEV. = 214.85

General Notes

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, PLUS MSMA STANDARDS AND SPECIFICATIONS IF APPLICABLE OR AS SPECIFIED.
2. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE BASED SOLELY ON AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES WHICH MAY BE IMPACTED BY THE WORK. MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTORS OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
4. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE, AND SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) DAYS IN ADVANCE OF COMMENCEMENT OF WORK. ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING PUBLIC RIGHT-OF-WAY, EXISTING PAVING, EXISTING CURB AND GUTTER, EXISTING UTILITIES, ETC. SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
5. THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH MAXIMUM OF 2' CONTOUR INTERVALS PREPARED BY SURVEY SERVICES, JUNE 2000.
6. PUBLIC WATER AND SEWER PROVIDED BY CONTRACT NUMBER **14-3925D**.
7. ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED AND VERIFIED IN ACCORDANCE WITH ASHTO T-99, OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.
8. REGIONAL STORMWATER MANAGEMENT PROVIDED IN PRIVATELY MAINTAINED EXTENDED DETENTION POND LOCATED ON PARCEL A-4 OWNED BY TROY HILL BUSINESS PARK MGMT ASSOC. APPROVED PER SDP 98-148. WATER QUALITY PROVIDED BY STORMCEPTORS.
9. THERE ARE NO WETLANDS, FLOODPLAIN, OR STREAMS ON THIS SITE.
10. OPERATING EXISTING VALVES, SWITCHES, SERVICES OR START UP OF NEW SERVICES SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE. THE BUILDING WILL BE PROVIDED WITH A SPRINKLER SYSTEM.
11. TRENCH COMPACTION FOR STORM DRAINS WITHIN THE ROAD OR STREET RIGHT OF WAY LIMITS SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL IV, STD. NO. G-2.01.
12. UNLESS OTHERWISE NOTED, DIMENSIONS FROM CURB ARE MEASURED FROM FACE.
13. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL WATER, SEWER, AND DRAIN HOUSE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
14. THE CONTRACTOR SHALL MAINTAIN 2.0 FEET MINIMUM PROTECTIVE COVER OVER ALL UTILITIES DURING CONSTRUCTION.
15. THERE ARE NO KNOWN CEMETARIES OR BURIAL GROUNDS ON THIS SITE. HOWEVER, UPON DISCOVERY OF ANY EVIDENCE OF BURIAL OR GRAVES, THE DEVELOPER WILL BE SUBJECT TO SECTION 16.1305 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
16. ALL SLOPES 3:1 OR GREATER, EXCEPT THOSE ASSOCIATED WITH LANDSCAPE BERMINGS, SHALL BE MONITORED DURING PLACEMENT BY THE PROJECT GEOTECHNICAL ENGINEER.
17. PAVING MARKINGS TO BE "TRAFFIC WHITE".
18. CONTRACTOR SHALL MAINTAIN A MINIMUM 2 FOOT BENCH BEHIND CURB AND GUTTER IN FILL AREAS.
19. ALL FIRE LINE PIPING SHALL MEET THE REQUIREMENTS OF THE NFPA TYPE SHALL BE UL LISTED, FM APPROVED AND MEET THE AWMA STANDARDS FOR FIRE PROTECTION USE. FITTINGS SHALL HAVE PRESSURE CLASS RATINGS COMPATIBLE WITH THE PIPE USED.
20. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER OVER THE PRIVATE WATER MAIN SHOWN HEREON UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE ALL CRUMPS OR VERTICAL BENDS NECESSARY TO MAINTAIN CLEARANCES WITH OTHER UTILITIES.
21. THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING OR STRUCTURES ARE TO BE REMOVED PRIOR TO PLACING A BID ON THOSE ITEMS THE CONTRACTOR SHALL CLEAR THE CONSTRUCTION AREA OF ALL EXISTING TREES, PAVING, STRUCTURES, ETC., UNLESS NOTED ON PLAN.
22. THE SUBJECT PROPERTY IS ZONED B-2 per **10/11/13 Comp. Zoning Plan, and M-1 per 2/2/10**.
23. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
24. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$47,550.00.
25. THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1300 OF HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE THE SITE RECEIVED PRELIMINARY APPROVAL AUGUST 9, 1991 (P-90-23) SEE SECTION 16.1302 (b)(1)(v).
26. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
27. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. HOWARD COUNTY CONTROL STATIONS NOS. 2445004 AND 2445005 WERE USED FOR THIS PROJECT.
28. ALL EXTERIOR LIGHTING SHALL COMPLY WITH ZONING REGULATIONS SECTION 134.
29. NO CHANGE-IN-USE IS PERMITTED FROM THE LISTED USES AND AREA ASSIGNED TO EACH USE UNLESS SUFFICIENT PARKING IS PROVIDED AND DELINEATED ON THIS PLAN.
30. THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT (410) 313-1880.
31. FOR WORK ZONE TRAFFIC CONTROL NOTES SEE STANDARD NO. MD.10-01.
32. ALL EXISTING PAVEMENT MARKINGS THAT ARE IN CONFLICT WITH PROPOSED PAVEMENT MARKINGS SHALL BE REMOVED BY GRINDING.
33. A Declaration of Easement for the 30' ingress and egress and shared parking easement was recorded in the Land Records of Howard County at L-5329, F-521.
34. Any on-site day care facility must comply with all applicable state requirements, prior to issuance of a Use & Occupancy permit.

Site Analysis Data Chart

1. GENERAL SITE DATA
CURRENT PLAT REFERENCE: **14617-14619**
PRESENT ZONING: **M-1 and B-2**
APPLICABLE DPZ FILE REFERENCES: **SDP-98-149, SDP-98-113, SDP-98-143, SDP-98-169, SDP-98-103, F98169, F98103, P-90-23, GP-96-121, F-01-77.**

PROPOSED USE: **OFFICE/WAREHOUSE HYBRID, HEALTH CLUB, ASSEMBLY/REC USE, CHURCH (ASSEMBLY & OFFICE)**
NO. OF OCCUPANTS: **NA**
PROPOSED WATER: **PUBLIC**
PROPOSED SEWER: **PRIVATE ONSITE LINE TIES TO PUBLIC SYSTEM**
WATER AND SEWER CONTRACT NUMBER: **14-3925-D (SDP-01-19)**

2. AREA TABULATION
TOTAL PROJECT AREA: **13.198 ACRES/574903.92 SF**
TOTAL DISTURBED AREA: **15.90 AC**
FLOOR AREA RATIO: **150,000 SF GROSS FLOOR AREA/13.198 ACRES = 0.26**

BUILDING COVERAGE TO SITE: **150,000 SF GROUND FLOOR AREA (3.44 acres)/13.198 ACRES = 26% of gross area**

BUILDING HEIGHTS: **19'**

3. OPEN SPACE DATA: **NA**

4. PARKING SPACE DATA

PARKING REQUIRED:		
117,376 S.F. HYBRID INDUSTRIAL/OFFICE-SPACE @ 2.5 P.S./1000 S.F.	=	294
3,556 S.F. OFFICE @ 3.3 P.S./1000 S.F.	=	12
7,500 S.F. HEALTH CLUB @ 10.0 P.S./1000 S.F.	=	75
8,428 S.F. ASSEMBLY/REC USE @ 10.0 P.S./1000 S.F.	=	84
9,000 S.F. CHURCH: 7201 S.F. ASSEMBLY @ 10.0 P.S./1000 S.F.	=	72
1799 S.F. OFFICE @ 3.3 P.S./1000 S.F.	=	6
4,140 S.F. MARTIAL ARTS @ 21 (LARGEST CLASS)*	=	21 (INCLUDES ONE INSTRUCTOR)
* PER LETTER FROM TENANT		
TOTAL REQUIRED	=	425 (Per Shared Parking Adjustment Chart)
TOTAL PROVIDED	=	457

PARKING PROVIDED:
TOTAL INCLUDES:
STANDARD SPACES @ 9' X 18' = 441
STANDARD HANDICAP SPACES @ 21' X 18' TWO SIDE BY SIDE = 8
VAN ACCESSIBLE HANDICAP SPACES @ 24' X 18' TWO SIDE BY SIDE = 8

10/13/11 REVISION #7 ADDED CHURCH TO PROPOSED USES. REVISED PARKING STRIPINGS TO REFLECT CURRENT CONDITIONS. BY: MATIS WARFIELD INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

9/10/06 REVISION #6 ADDED ASSEMBLY TO PROPOSED USES. REVISED PARKING CALCULATIONS TO REFLECT CURRENT USAGE. BY: MATIS WARFIELD INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

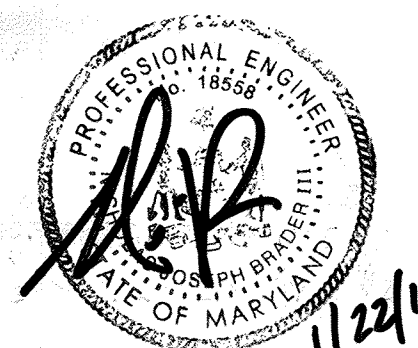
9/21/03 REVISION #5 REVISED SITE PLAN TO REFLECT ENTRANCE ONTO PARCEL A-23 FROM TROY HILL DRIVE. BY: MATIS WARFIELD INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

3/21/03 REVISION #4 REVISED MASS GRADING CONTOURS PARCEL A-23 REMOVED NOTATION TO SEE F-91-24 FOR GRADING ON PARCEL A-23 BY: MATIS WARFIELD INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

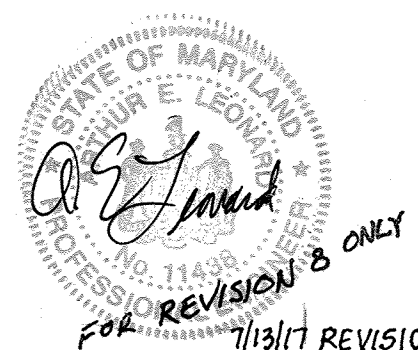
2/28/03 REVISION #3 ADDED HEALTH CLUB TO PROPOSED USES. REVISED PARKING CALCULATIONS TO REFLECT HEALTH CLUB TENANT. BY: MATIS WARFIELD INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

11/04/02 REVISION #2 MADE ADDITIONS TO PROPOSED USES. REVISED PARKING CALCULATIONS TO REFLECT CHURCH TENANT. BY: MATIS WARFIELD INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

5/10/02 REVISION #1 MASS GRADING CONTOURS BY: MATIS WARFIELD INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004



12/13/10 REVISION #9 ADDED MARTIAL ARTS TO PROPOSED USES. REVISED PARKING CALCULATIONS TO REFLECT CURRENT USAGE BY: MIE ENGINEERING, INC. 810 GLENEAGLES COURT, SUITE 811 TOWSON, MD 21286



11/17/17 REVISION #8: REMOVED INLET 1-20 AND ASSOCIATED STORM DRAIN PIPE BY: SILL ENGINEERING GROUP LLC 11130 DOVEDALE CT., SUITE 200 MARRIOTTVILLE, MD 21104 443-325-5076

CHURCH ACTIVITY TABLE

Office Hours: 8:30 am to 4:30 pm (Monday - Thursday)
Staff Size: 3 full time
Assembly Hours (Church Service): 9:30 am & 11:00 am (Sunday only)
Average Weekly Attendance: 175
*Note: This space is only for church service and church office uses. Daycare, educational, or institutional uses are not permitted.

Shared Parking Adjustment Chart
Per Zoning Manual Section 133.E.1

	Weekday				Weekend		Nighttime
	Morning 6am-8am	Mid-day 8am-3pm	Afternoon 3pm-5pm	Evening 5pm-mid	Daytime 6am-6pm	Evening 6pm-mid	
Office	250	312	312	32	32	16	16
Commercial Rec	92	92	92	231	185	231	23
* Total	363	425	425	284	238	268	60

Note: Office includes Hybrid, Office and Church Office Uses.
Commercial Rec includes Health Club, Assembly/Rec and Church Assembly Uses.

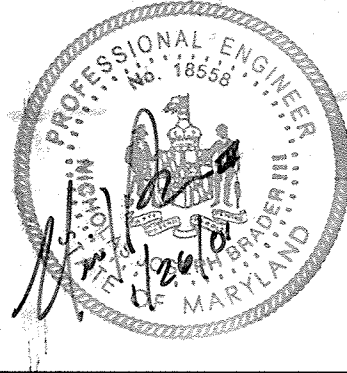
SHEET INDEX

NO.	SHEET TITLE
1	COVER SHEET
2	SITE PLAN
3	NOTES AND DETAILS
4	DETAILS
5	DRAINAGE AREA MAP
6	STORMCEPTOR DETAILS
7	STORM DRAIN PROFILES
8	STORM DRAIN PROFILES
9	PRIVATE UTILITY PROFILES
10	SEDIMENT CONTROL PLAN
11	SEDIMENT CONTROL NOTES & DETAILS
12	SEDIMENT CONTROL DETAILS
13	LANDSCAPE PLAN
14	LANDSCAPE DETAILS AND NOTES
15	RETAINING WALL DETAILS

NOTE: The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building, shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

Matis Warfield
consulting engineers

10540 York Road Suite M
Hunt Valley, Maryland 21030
Phone: 410-683-7004
Facsimile: 410-683-1798
www.matiswarfield.com



ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: *Nicholas J. Brader, III* Date: *1/24/01*
Name: Nicholas J. Brader, III PE # 18558

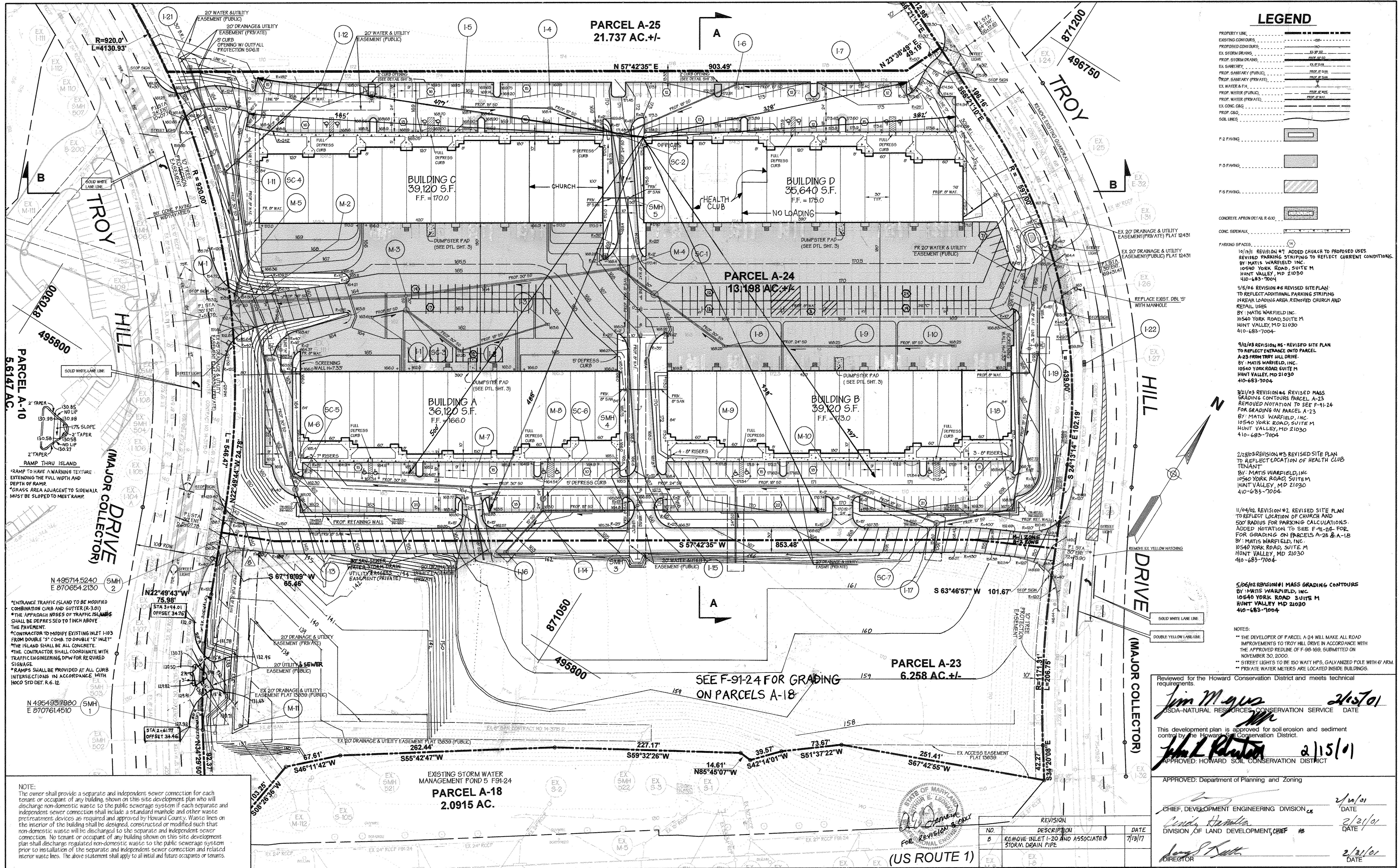
OWNER/DEVELOPER
Troy Hill Corporate Center Property LLC
c/o MIE Development Co.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

DEVELOPER CERTIFICATION:
We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer: *Edward St. John* Date: *1/29/2001*
Name: Edward St. John

Site Plan
TROY HILL CORPORATE CENTER
PARCEL A-24
7184, 7020, 7180 & 7024 TROY HILL DRIVE

Howard County, Maryland January 16, 2001
Scale: As Shown Sheet Lot 15



LEGEND

PROPERTY LINE	---
EXISTING CONTOURS
PROPOSED CONTOURS
EX. STORM DRAIN	---
PROP. STORM DRAIN	---
EX. SANITARY	---
PROP. SANITARY (PUBLIC)	---
PROP. SANITARY (PRIVATE)	---
EX. WATER & F.H.	---
PROP. WATER (PUBLIC)	---
PROP. WATER (PRIVATE)	---
EX. CONC. C&G	---
PROP. C&G	---
SOIL LINES	---
P.2 PAVING	---
P.3 PAVING	---
P.5 PAVING	---
CONCRETE APRON DETAIL R-610	---
CONC. SIDEWALK	---
PARKING SPACES	---

10/18/01 REVISION #7 ADDED CHURCH TO PROPOSED USES REVISED PARKING STRIPING TO REFLECT CURRENT CONDITIONS.
BY: MATIS WARFIELD, INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

1/5/06 REVISION #6 REVISED SITE PLAN TO REFLECT ADDITIONAL PARKING STRIPING IN NEAR LOADING AREA REMOVED CHURCH AND RETAIL USES
BY: MATIS WARFIELD, INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

9/16/03 REVISION #5 - REVISED SITE PLAN TO REFLECT ENTRANCE ONTO PARCEL A-23 FROM TROY HILL DRIVE.
BY: MATIS WARFIELD, INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

3/21/03 REVISION #4 REVISED MASS GRADING CONTOURS PARCELS A-23 REMOVED NOTATION TO SEE F-91-24 FOR GRADING ON PARCEL A-23
BY: MATIS WARFIELD, INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

2/28/03 REVISION #3 REVISED SITE PLAN TO REFLECT LOCATION OF HEALTH CLUB TENANT
BY: MATIS WARFIELD, INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

11/04/02 REVISION #2 REVISED SITE PLAN TO REFLECT LOCATION OF CHURCH AND 50' RADIUS FOR PARKING CALCULATIONS. ADDED NOTATION TO SEE F-91-24 FOR GRADING ON PARCELS A-23 & A-18
BY: MATIS WARFIELD, INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

5/06/02 REVISION #1 MASS GRADING CONTOURS
BY: MATIS WARFIELD, INC. 10540 YORK ROAD SUITE M HUNT VALLEY MD 21030 410-683-7004

NOTES:
** THE DEVELOPER OF PARCEL A-24 WILL MAKE ALL ROAD IMPROVEMENTS TO TROY HILL DRIVE IN ACCORDANCE WITH THE APPROVED REDLINE OF F-98-169 SUBMITTED ON NOVEMBER 30, 2000.
** STREET LIGHTS TO BE 150 WATT HPS, GALVANIZED POLE WITH 6' ARM.
** PRIVATE WATER METERS ARE LOCATED INSIDE BUILDINGS.

Reviewed for the Howard Conservation District and meets technical requirements.
Jim M. Guss 2/15/01
NSDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
John L. Platten 2/15/01
APPROVED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: Department of Planning and Zoning	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	2/16/01 DATE
<i>David Hamilton</i>	2/16/01 DATE
DIRECTOR	2/16/01 DATE
<i>Joseph R. Hatt</i>	2/16/01 DATE

Site Plan
TROY HILL CORPORATE CENTER
PARCEL A-24
7184, 7020, 7180 & 7024 TROY HILL DRIVE
Howard County, Maryland January 16, 2001
Scale: 1"=50' Sheet 2 of 15
SDP 01-37

NOTE:
The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related minor waste lines. The above statement shall apply to all initial and future occupants or tenants.

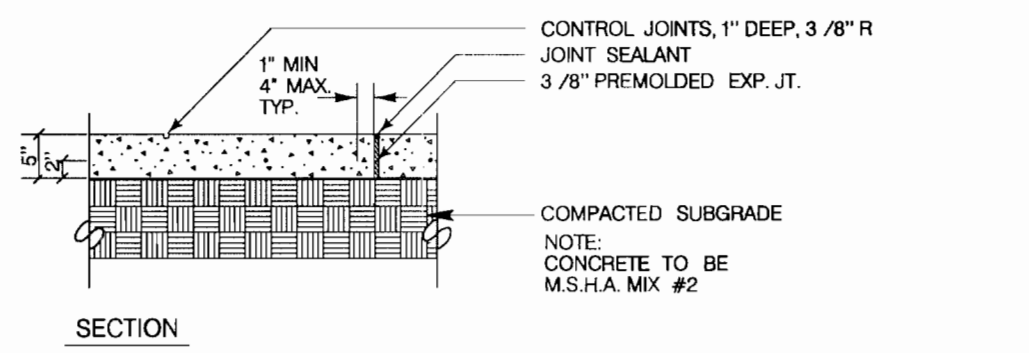
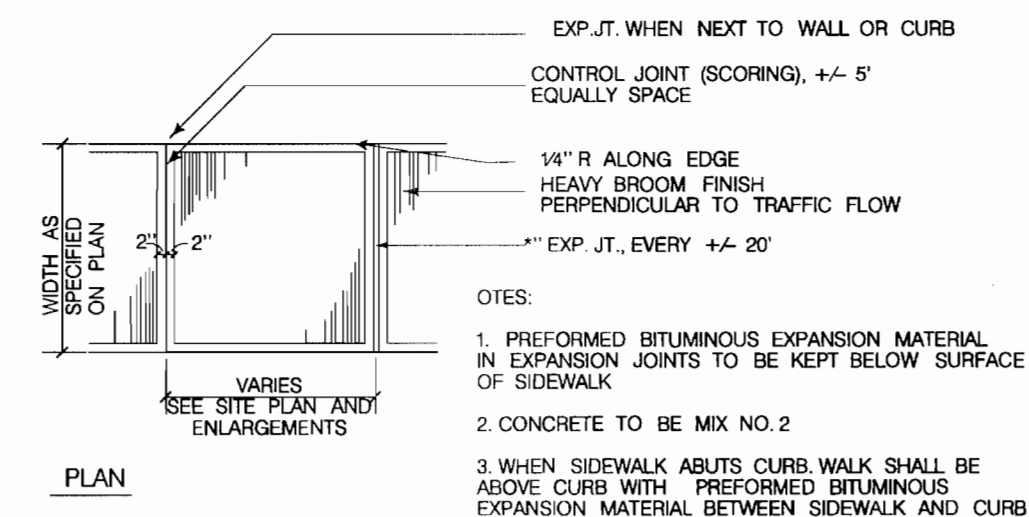
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ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Engineer *Nicholas J. Brader, III* Date 1/24/01
Name Nicholas J. Brader, III PE # 10550

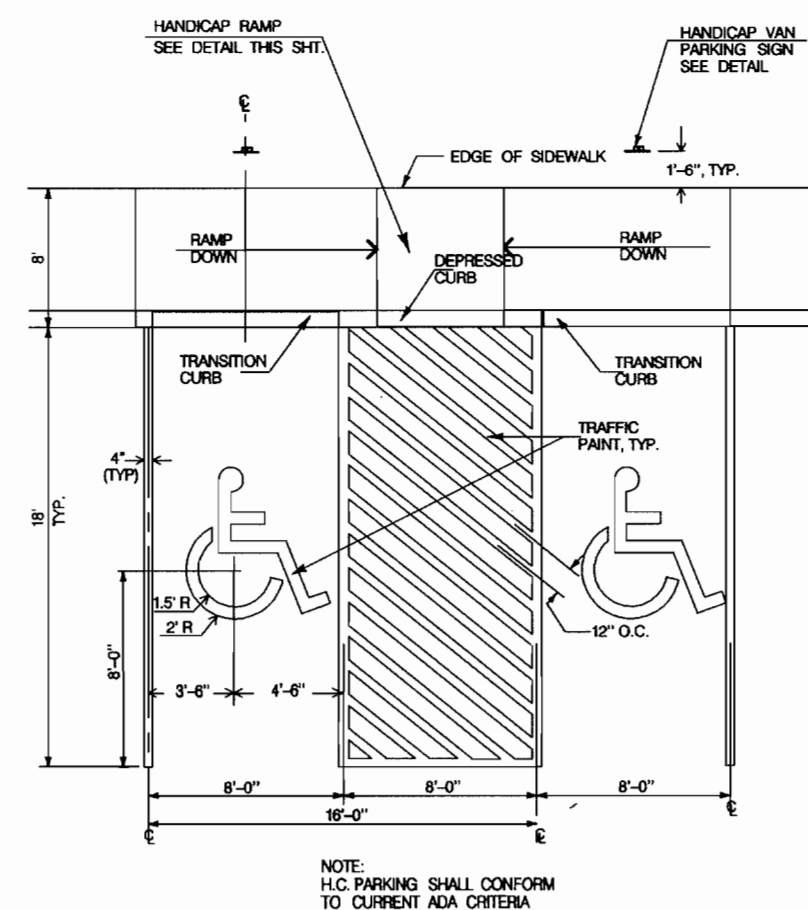
OWNER/DEVELOPER
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DEVELOPER CERTIFICATION:
We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Developer *Edward St. John* Date 2/16/01
Name Edward St. John

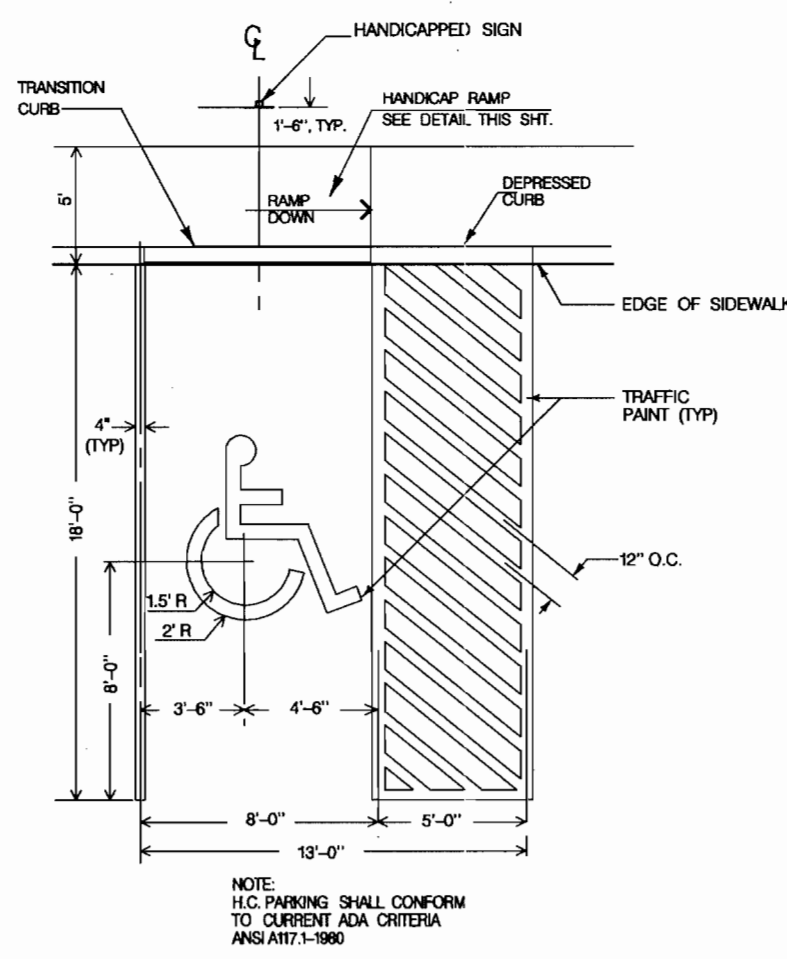
NO.	DESCRIPTION	DATE
B	REMOVE INLET I-20 AND ASSOCIATED STORM DRAIN PIPE	7/13/17



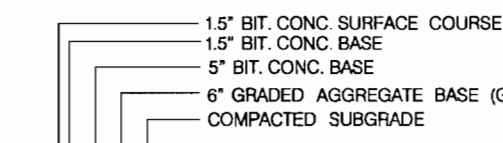
Detail Concrete Walk
Not To Scale



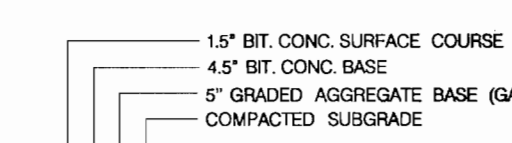
Detail Van Accessible Handicap Parking Spaces
Not To Scale



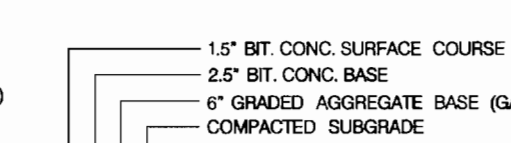
Detail Handicap Parking Space
Not To Scale



P5 PAVING

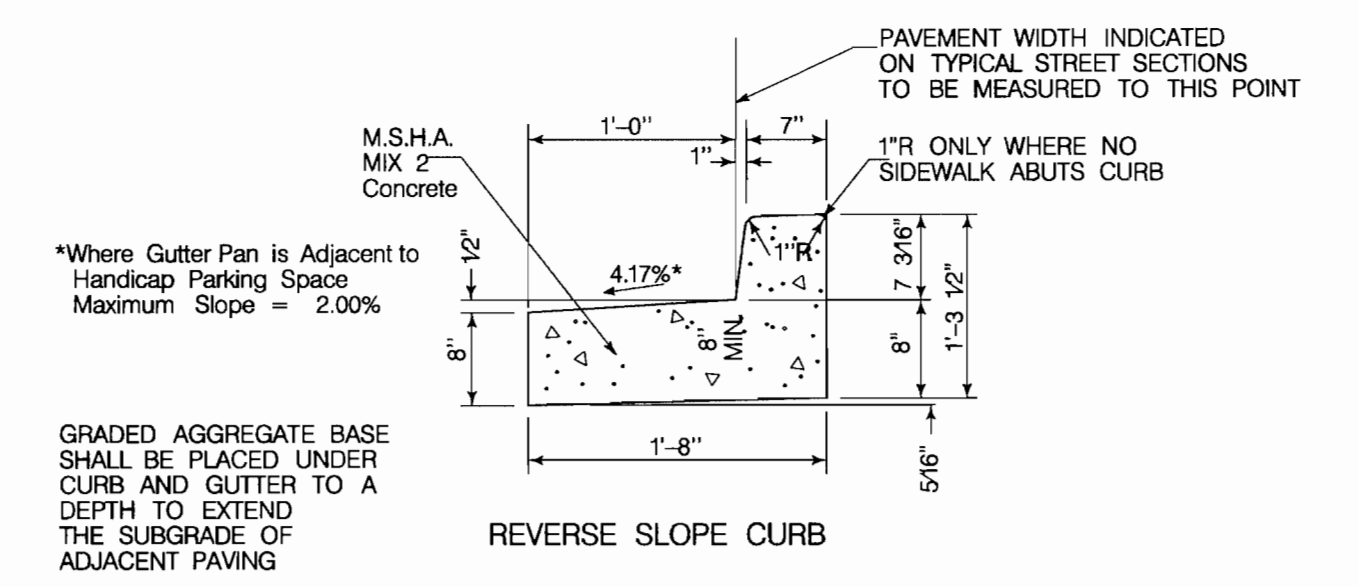


P3 PAVING

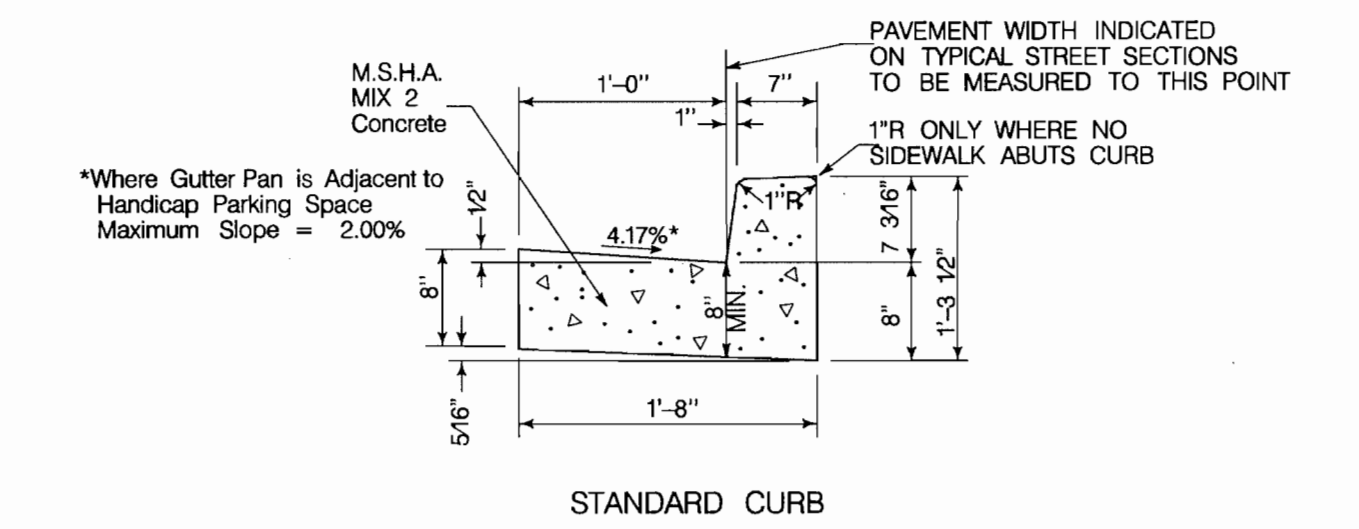


P2 PAVING

Detail Paving Sections
Not To Scale



REVERSE SLOPE CURB

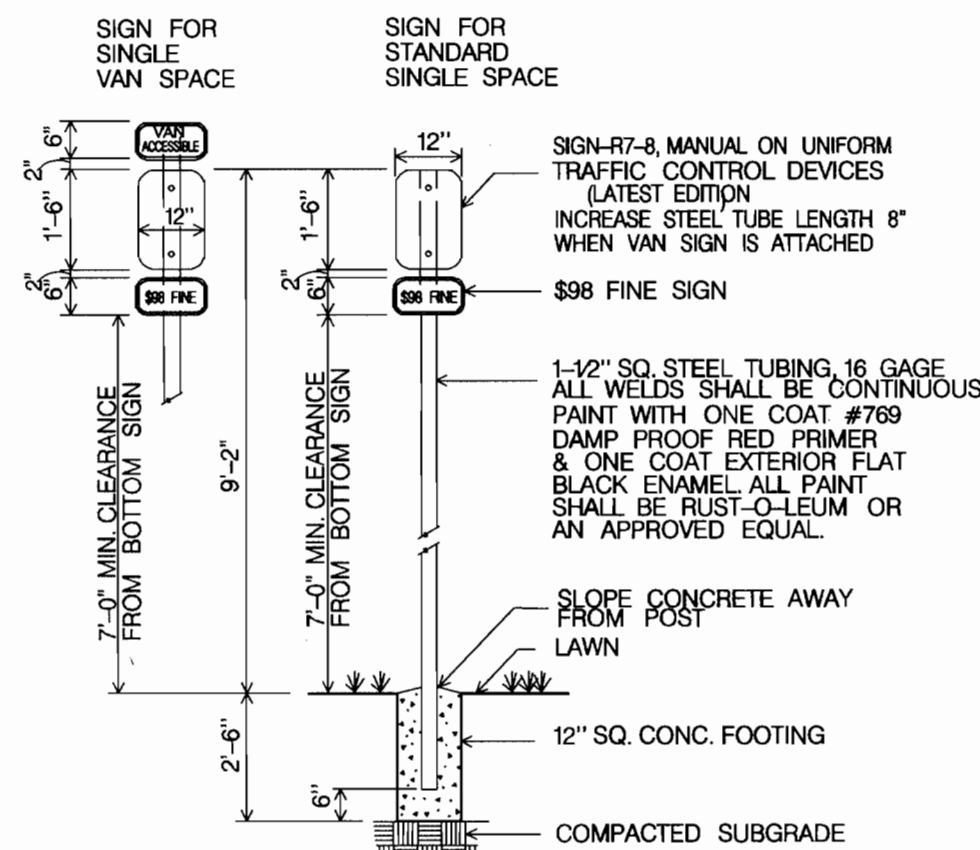


STANDARD CURB

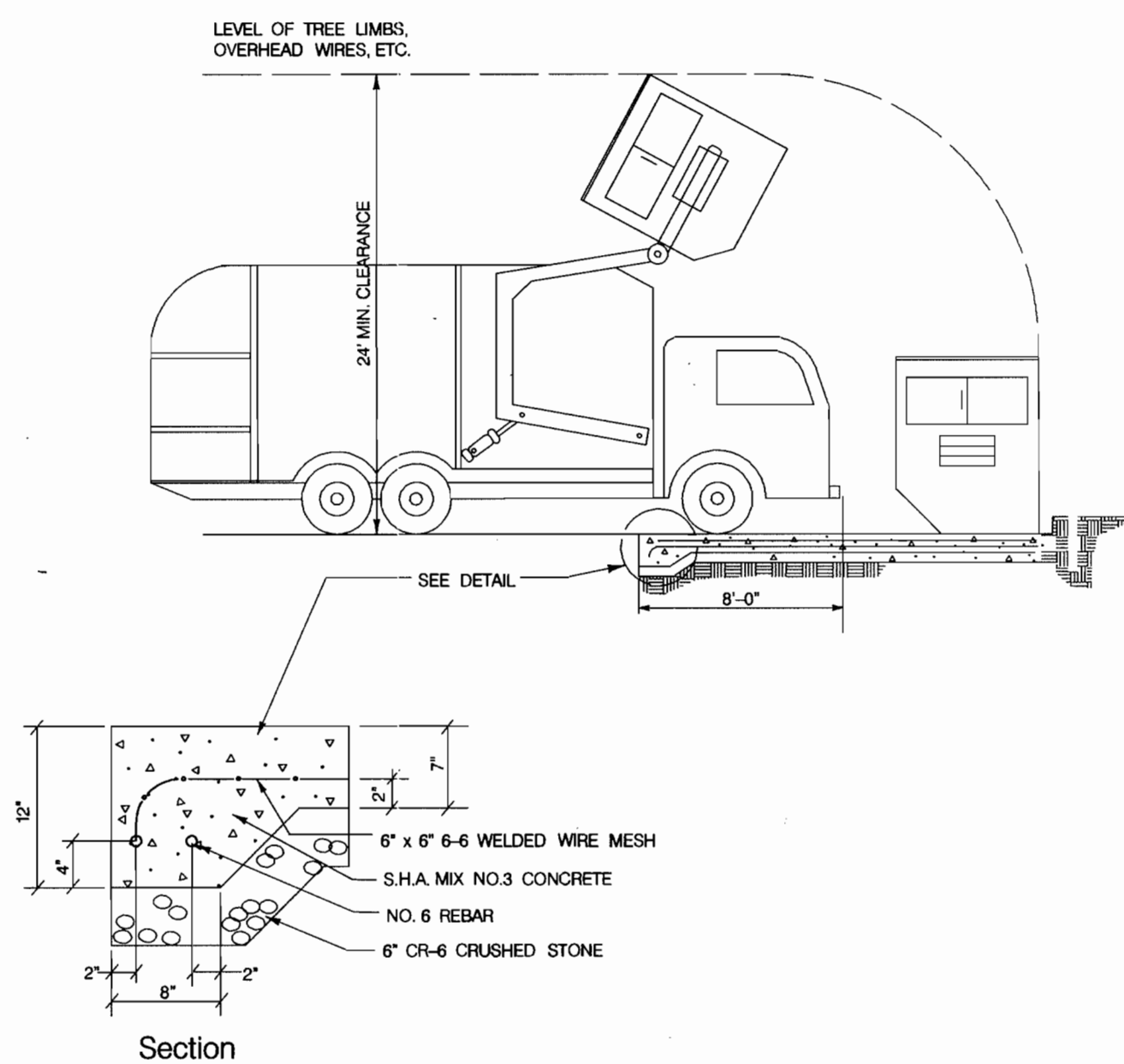
Refer to Howard County Standard Plate R-3.01
Detail Concrete Curb and Gutter
Not To Scale



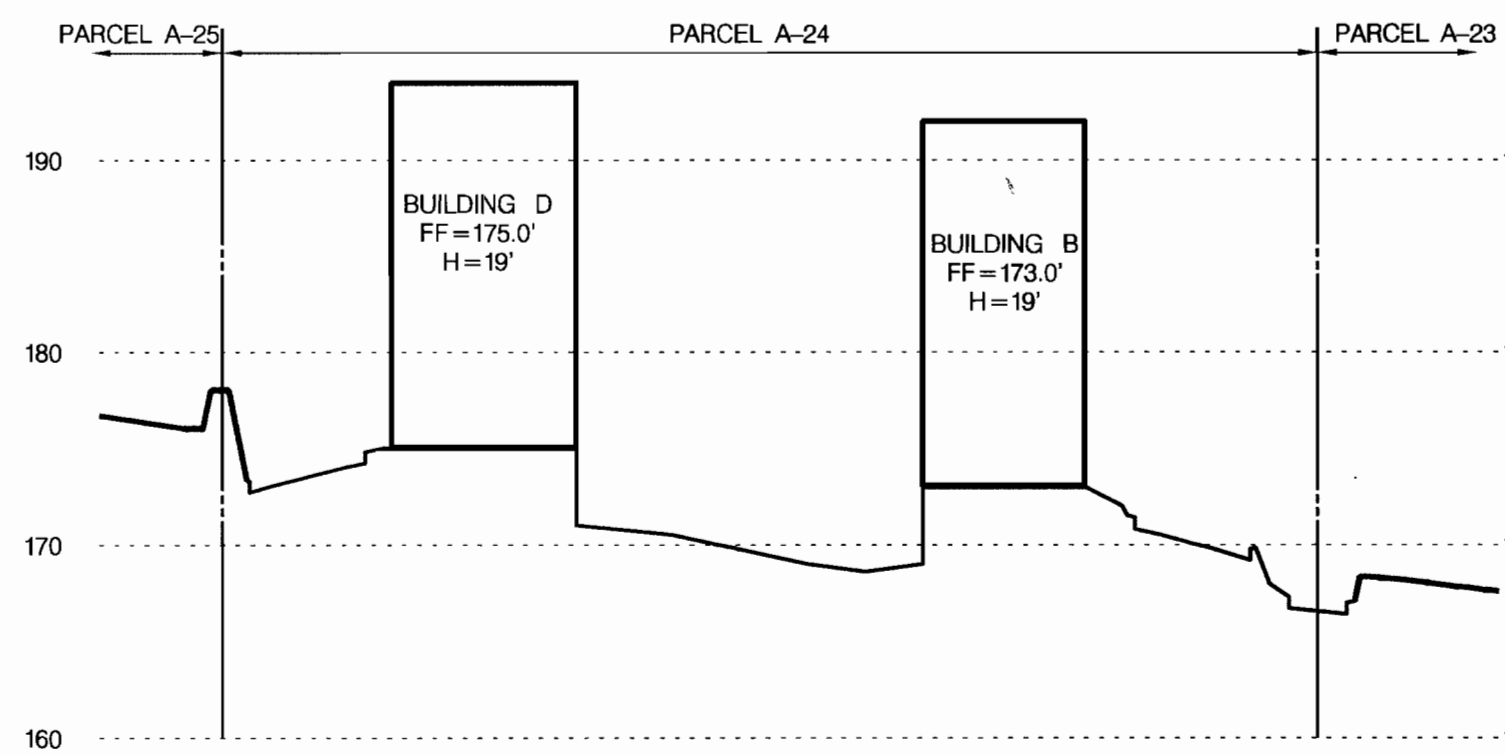
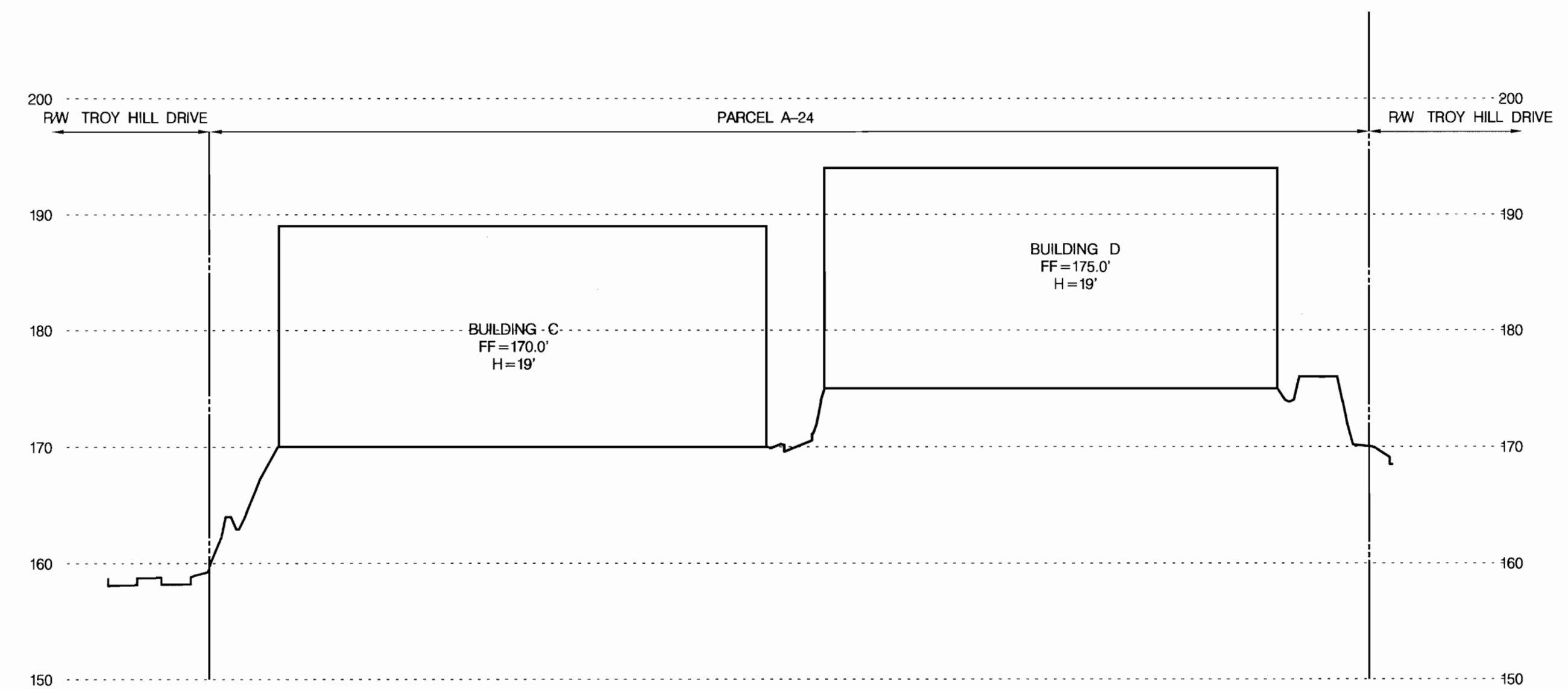
Detail Handicap Parking Sign
Not To Scale



Detail Handicap Parking Sign & Post
Not To Scale



Refer to Howard County Standard Plate R-3.01
Detail Solid Waste Service Pad
Not To Scale
(TO BE LOCATED IN LOADING AREA BETWEEN BUILDINGS)



Section A-A
Scale: Horz. 1" = 100'
Vert. 1" = 10'

Reviewed for the Howard Conservation District and meets technical requirements.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE: 2/20/01

This development plan is approved for erosion and sediment control by the Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT

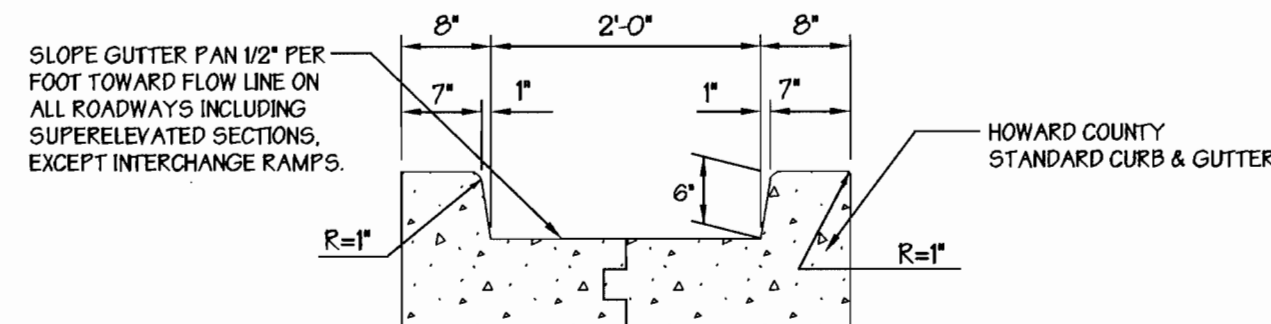
APPROVED: Department of Planning and Zoning

CHIEF DEVELOPMENT ENGINEERING DIVISION DATE: 2/20/01

Director of Land Development, CHIEF DATE: 2/20/01

Director DATE: 2/20/01

NOTE:
The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.



Curb Opening Detail
Not To Scale

Matis Warfield
consulting engineers

10540 York Road, Suite M
Hunt Valley, Maryland 21030
Phone 410-883-7004
Facsimile 410-883-1798
www.matiswarfield.com



ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: *Nicholas J. Brader, III* Date: 1/24/01
Name: Nicholas J. Brader, III PE # 18558

OWNER/DEVELOPER
Troy Hill Corporate Center Property LLC
c/o MIE Development Co.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

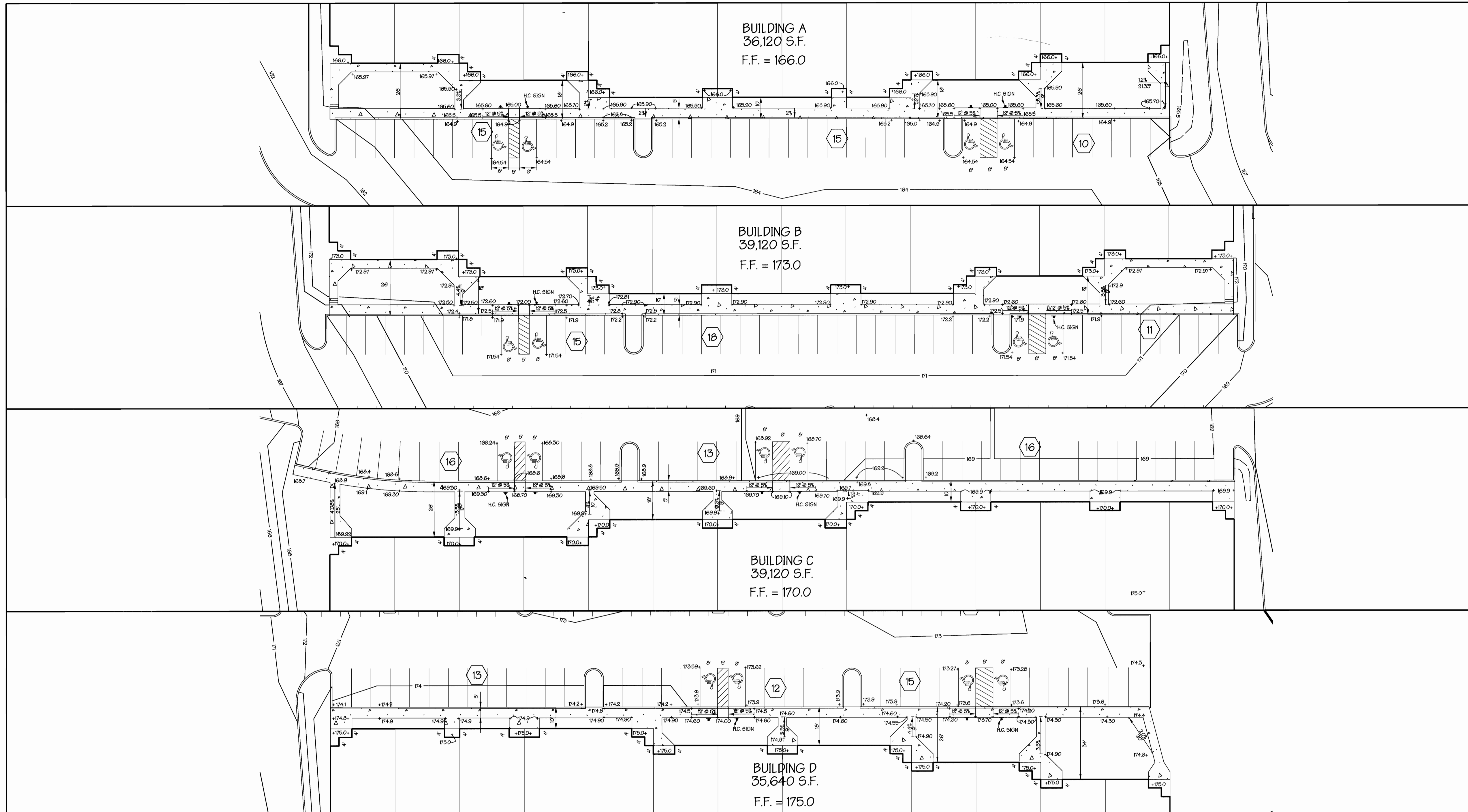
DEVELOPER CERTIFICATION:
We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer: *Edward St. John* Date: 2/20/01
Name: Edward St. John

Details
TROY HILL CORPORATE CENTER
PARCEL A-24
7184, 7020, 7180 & 7024 TROY HILL DRIVE

Howard County, Maryland
Scale: As Shown

January 16, 2001
Sheet 3 of 15



Handicap Accessible Route Details

Scale: 1" = 20'

Reviewed for the Howard Conservation District and meets technical requirements.
 USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE
 This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
 APPROVED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: Department of Planning and Zoning
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 2/21/01
 DIVISION OF LAND DEVELOPMENT, CHIEF DATE 2/21/01
 DIRECTOR DATE 2/21/01

Matis Warfield
 consulting engineers
 10540 York Road, Suite M
 Hunt Valley, Maryland 21030
 phone 410-683-7004
 facsimile 410-683-1798
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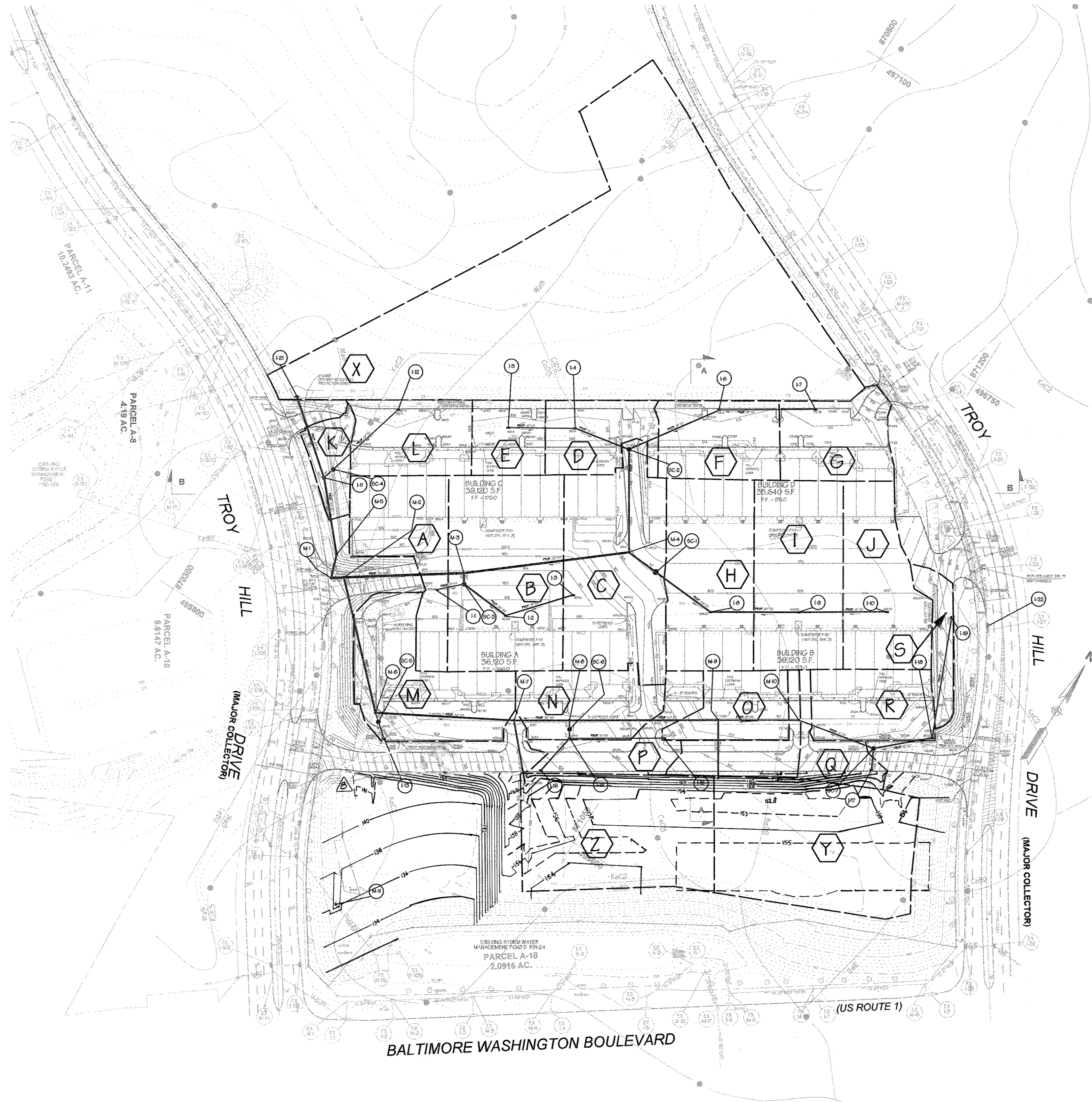


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 Name: Nicholas J. Brader, III PE # 18558

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 c/o MIE Development Co.
 5720 Executive Drive
 Baltimore, Maryland 21228
 (410) 788-0100

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 Developer: *Edward St. John* Date: 2/21/01
 Name: Edward St. John

Details
TROY HILL CORPORATE CENTER
 PARCEL A-24
 7184, 7020, 7180 & 7024 TROY HILL DRIVE
 Howard County, Maryland
 Scale: As Shown
 January 16, 2001
 Sheet 4 of 15



STRUCTURE SCHEDULE

NO.	TYPE	INV. IN	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-1	HC STD. SD 4.23 DOUBLE "S" INLET	-		160.10	163.60	
I-2	HC STD. SD 4.23 DOUBLE "S" INLET	157.70		156.70	161.25	
I-3	HC STD. SD 4.23 DOUBLE "S" INLET	-		158.95	163.60	
I-4	HC STD. SD 4.23 DOUBLE "S" INLET	164.31		164.06	168.40	
I-5	HC STD. SD 4.23 DOUBLE "S" INLET	-		164.90	168.40	
I-6	HC STD. SD 4.34 DOUBLE "S" COMB. INLET	167.98		167.73	172.40	
I-7	HC STD. SD 4.34 DOUBLE "S" COMB. INLET	-		168.90	172.40	
I-8	HC STD. SD 4.23 DOUBLE "S" INLET	162.52		162.02	168.25	
I-9	HC STD. SD 4.23 DOUBLE "S" INLET	163.86		163.36	168.25	
I-10	HC STD. SD 4.23 DOUBLE "S" INLET	-		164.70	168.25	
I-11	HC STD. SD 4.23 DOUBLE "S" INLET	158.50	157.50	157.25	162.00	
I-12	HC STD. SD 4.34 DOUBLE "S" COMB. INLET	-		164.00	167.50	
I-13	HC STD. SD 4.34 DOUBLE "S" COMB. INLET	-		156.95	160.50	
I-14	HC STD. SD 4.34 DOUBLE "S" COMB. INLET	158.49	158.49	157.74	163.00	
I-15	HC STD. SD 4.34 DOUBLE "S" COMB. INLET	-		159.39	167.25	
I-16	HC STD. SD 4.34 DOUBLE "S" COMB. INLET	-		158.90	162.40	
I-17	HC STD. SD 4.34 DOUBLE "S" COMB. INLET	-		156.50	160.00	
I-18	HC STD. SD 4.34 DOUBLE "S" COMB. INLET	160.35		160.15	167.70	
I-19	HC STD. SD 4.34 DOUBLE "S" COMB. INLET	-		161.50	165.00	
I-20	HC STD. SD 4.34 DOUBLE "S" COMB. INLET	-		156.40	160.00	
I-21	HC STD. SD 4.11 TYPE "D" INLET	-		159.04	169.00	MODIFY TO PROVIDE 3/4" INTERIOR PERSON
I-22	HC STD. SD 4.23 DOUBLE "S" INLET	159.74		159.49	163.60	REPLACING EX. I-26
M-1	HC STD. G 5.03 BRICK MANHOLE	149.00	145.88	142.18	153.50	
M-2	HC STD. G 5.03 BRICK MANHOLE	146.58	146.08	147.36	154.67	
M-3	HC STD. G 5.13 5' STD. PRECAST	159.08	159.08	155.41	163.80	
M-4	HC STD. G 5.13 5' STD. PRECAST	160.86	161.79	160.66	168.80	
M-5	HC STD. G 5.13 5' STD. PRECAST	156.03		151.20	162.00	
M-6	HC STD. G 5.13 5' STD. PRECAST	149.87	156.49	149.67	161.90	
M-7	HC STD. G 5.13 5' STD. PRECAST	151.69	151.39	151.19	164.20	
M-8	HC STD. G 5.13 5' STD. PRECAST	157.38	152.42	151.92	164.10	
M-9	HC STD. G 5.12 4' STD. PRECAST	154.03	154.33	153.83	170.95	
M-10	HC STD. G 5.12 4' STD. PRECAST	155.29		155.09	170.95	
M-11	HC STD. G 5.12 4' STD. PRECAST	135.11	125.77	125.77	144.07	138.21
SC-1	STORMCEPTOR STC-3600	161.26		161.18	169.00	SEE DETAIL SHEET 5
SC-2	STORMCEPTOR STC-1800	163.01	163.26	162.76	170.40	SEE DETAIL SHEET 5
SC-3	STORMCEPTOR STC-3600	156.26	157.51	156.01	163.00	SEE DETAIL SHEET 5
SC-4	STORMCEPTOR STC-900	161.63		161.55	168.09	SEE DETAIL SHEET 5
SC-5	STORMCEPTOR STC-1200	156.66		156.58	161.40	SEE DETAIL SHEET 5
SC-6	STORMCEPTOR STC-1800	157.54		157.46	163.50	SEE DETAIL SHEET 5
SC-7	STORMCEPTOR STC-1200	156.30	156.30	156.05	163.00	SEE DETAIL SHEET 5

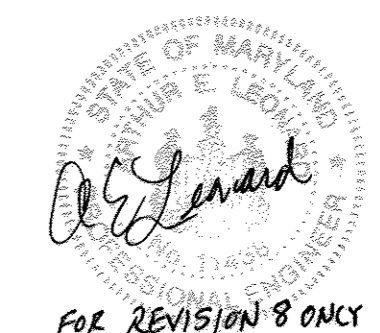
AREA AND "C" FACTOR TABULATION

SUBAREA	AREA	"C" FACTOR	IMPERVIOUS PERCENT
A	0.64	0.87	100.00%
B	1.29	0.87	100.00%
C	1.21	0.79	85.95%
D	0.42	0.76	80.95%
E	0.32	0.76	81.25%
F	0.54	0.77	83.33%
G	0.52	0.71	73.08%
H	0.96	0.87	100.00%
I	0.97	0.87	100.00%
J	0.76	0.87	100.00%
K	0.31	0.41	22.58%
L	0.52	0.71	73.08%
M	0.84	0.81	89.29%
N	0.52	0.78	84.62%
O	0.38	0.84	94.74%
P	0.40	0.69	70.00%
Q	0.24	0.62	58.33%
R	0.50	0.81	90.00%
S	0.19	0.75	78.95%
T	0.24	0.70	70.60%
X	5.23	0.81	90.06%
Y	1.43	0.81	90.21%
Z	1.26	0.81	89.68%

PIPE SCHEDULE

SIZE	TYPE	PIPE LENGTH-FEET
15"	HDPE	1083
18"	HDPE	704
24"	HDPE	753
30"	HDPE	1343
36"	HDPE	190
42"	RCPP CL IV	20

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NO.	REVISION DESCRIPTION	DATE
8	REMOVE INLET I-20 AND ASSOCIATED STORM DRAIN PIPE	7/18/17

Reviewed for the Howard Conservation District and meets technical requirements.
 USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE
 This development plan is approved for erosion and sediment control by the Howard Soil Conservation District.
 APPROVED: HOWARD SOIL CONSERVATION DISTRICT
 APPROVED: Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION CE DATE 2/20/01
 Cindy Hamilton DATE 2/21/01
 DIVISION OF LAND DEVELOPMENT, CHIEF HB DATE
 Director DATE 2/21/01

5/06/02 REVISION #1 MASS GRADING CONTOURS AND ADJUSTED TOP OF MH1 BY: MATIS WARFIELD, INC. 10540 YORK ROAD SUITE 11 HINT VALLEY, MD 21050 410-683-7004

Matis Warfield
 consulting engineers
 10540 York Road, Suite 11
 Hunt Valley, Maryland 21030
 Phone 410-683-7004
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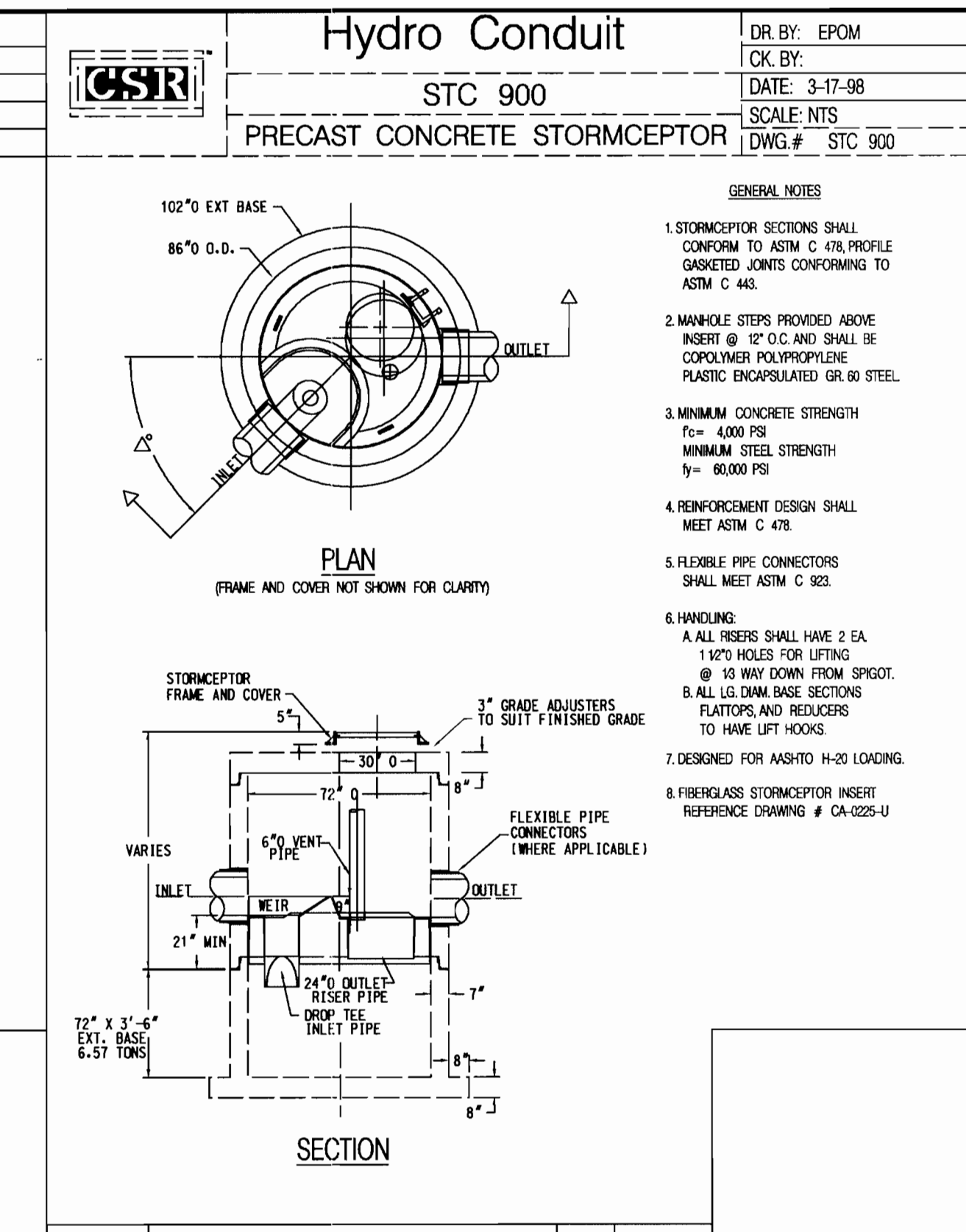
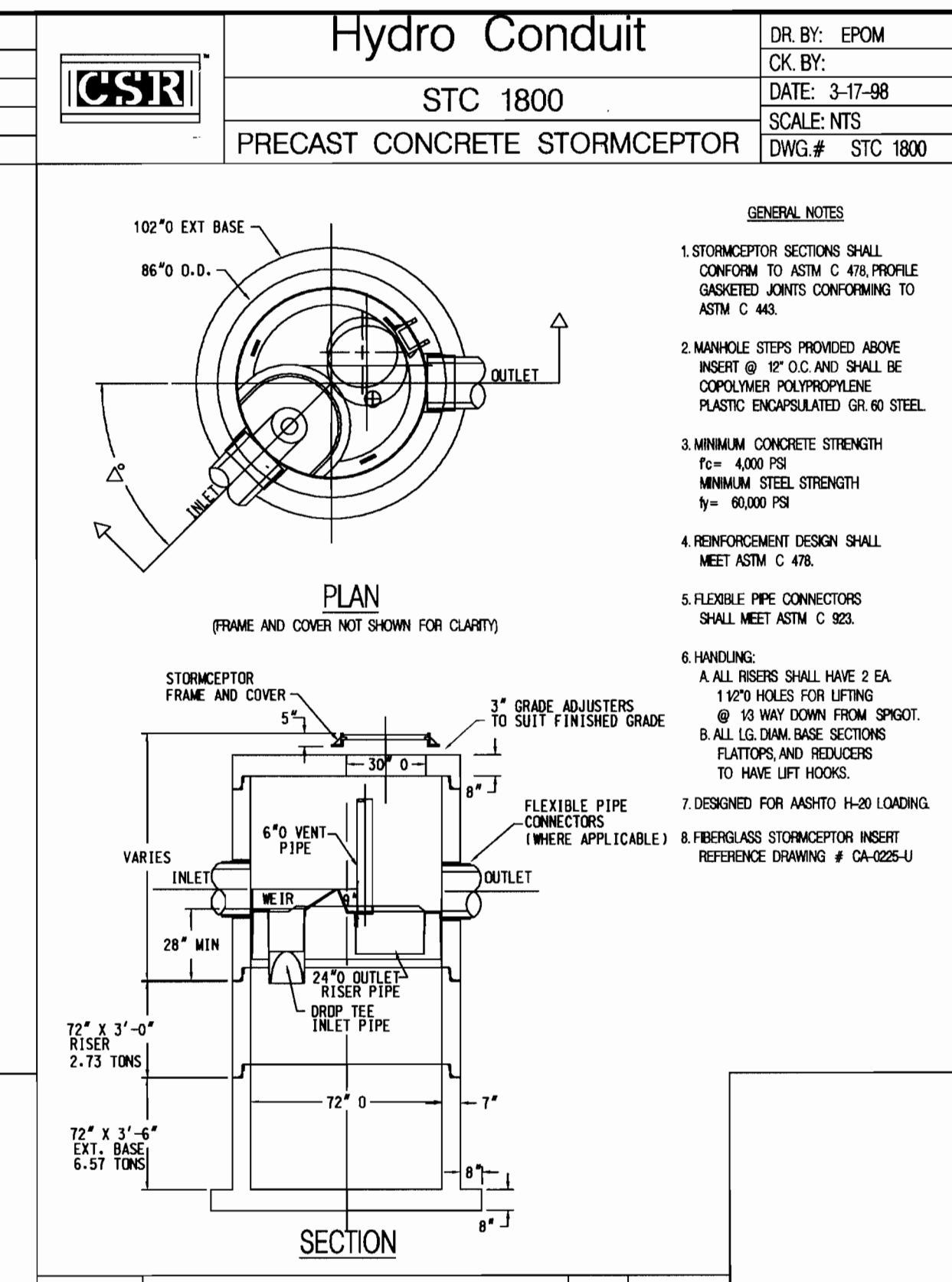
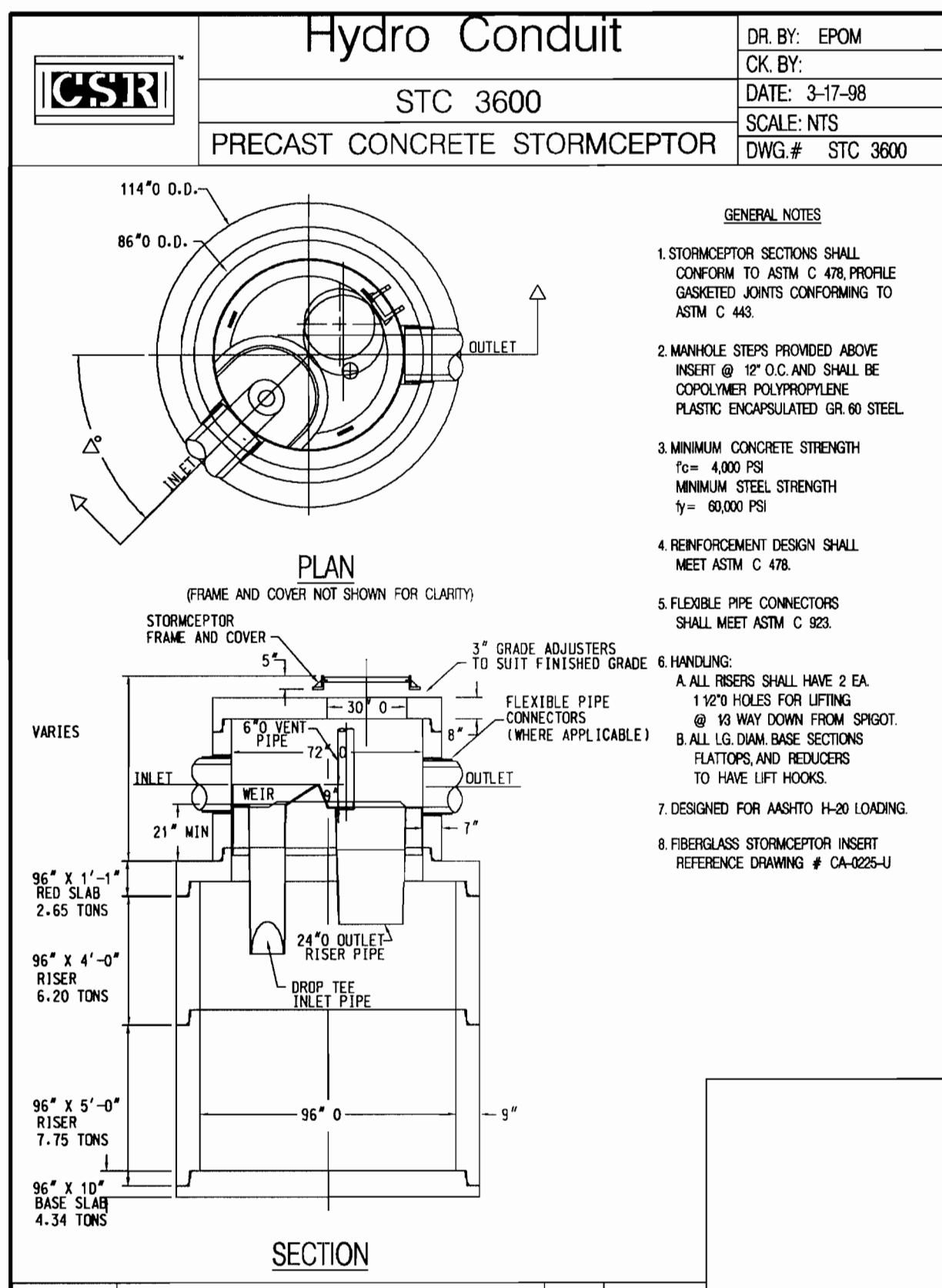


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 Engineer: *Nicholas J. Brader, III* Date: 1/26/01
 Name: Nicholas J. Brader, III PE # 18558

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 5720 Executive Drive
 Baltimore, Maryland 21228
 (410) 788-0100

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 Developer: *Edward St. John* Date: 2/20/01
 Name: Edward St. John

12/18/00 - ADD NOTE TO MODIFY I-21 TO 3'x3' INSIDE DIMENSION
 12/26/00 - CORRECT TOP ELEV. OF SC-1 TO 169.00
Drainage Area Map
TROY HILL CORPORATE CENTER
PARCEL A-24
 7184, 7020, 7180 & 7024 TROY HILL DRIVE
 Howard County, Maryland January 16, 2001
 Scale: 1"=100' Sheet 5 of 15



OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE

- The Stormceptor water quality structure shall be periodically inspected and cleaned to maintain operation and function. The owner shall inspect the Stormceptor unit yearly at a minimum, utilizing the Stormceptor Inspection/Monitoring Form. Inspections shall be done by using a clear plexiglass tube ("sludge judge") to extract a water column sample. When the sediment depths exceed the level specified in Table 6 of the Stormceptor Technical Manual, the unit must be cleaned.
- The Stormceptor water quality structure shall be checked and cleaned immediately after petroleum spills. The owner shall contact the appropriate regulatory agencies.
- The maintenance of the Stormceptor unit shall be done using a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons, and other materials in the unit. Proper cleaning and disposal of the removed materials and liquid must be followed by the owner.
- The inlet and outlet pipes shall be checked for any obstructions at least once every six months. If obstructions are found the owner shall have them removed. Structural parts of the Stormceptor unit shall be repaired as needed.
- The owner shall retain and make the Stormceptor Inspection/Monitoring Forms available to Howard County inspectors upon their request.

Reviewed for the Howard Conservation District and meets technical requirements.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

APPROVED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: Department of Planning and Zoning

CHIEF DEVELOPMENT ENGINEERING DIVISION *Cindy Hamilton* DATE 2/26/01

DIVISION OF LAND DEVELOPMENT, CHIEF *James S. Smith* DATE 2/26/01

REV.	DESCRIPTION	BY:	DATE

REV.	DESCRIPTION	BY:	DATE

REV.	DESCRIPTION	BY:	DATE

POND 1 - PARCEL A-8 - SUMMARY TABLE

from Troy Hill - Phase II B Parcel A-4 (F-98-149)

Total drainage area to facility =	52.3 acres		
Description	2 Yr.	10 Yr.	100 Yr.
Inflow =	147.78 c.f.s.	259.36 c.f.s.	381.26 c.f.s.
(from prop. Sec. 130)			
Discharge =	12.74 c.f.s.	37.61 c.f.s.	153.23 c.f.s.
(from structure 1)			
Elevation =	144.39	146.99	148.91
(from structure 1)			
Storage volume provided =	5.6 ac. ft.	9.5 ac. ft.	13.0 ac. ft.
(from elevation vs. Storage table)			

**This project is contributing 13.20 Ac. with a weighted RCN of 90.

Precast Concrete Stormceptor® Order Request Form

Contractor Information

Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____

Owner Information

Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____

PERMISSIBLE DRAINAGE AREA FOR THIS UNIT: 0.24 ac.

Stormceptor® Model	Inlet Size	Manhole Number
STC	SINGLE INLET	SC-1
900	4800	Top Elevation (ft)
1200	4800	Inlet Pipe Invert (ft)
1800	6000	Outlet Pipe Invert (ft)
2400	7500	Manhole Number
		SC-2
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-3
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-4
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-5
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number

Precast Concrete Stormceptor® Order Request Form

Contractor Information

Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____

Owner Information

Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____

PERMISSIBLE DRAINAGE AREA FOR THIS UNIT: 2.09 ac.

Stormceptor® Model	Inlet Size	Manhole Number
STC	SINGLE INLET	SC-1
900	4800	Top Elevation (ft)
1200	4800	Inlet Pipe Invert (ft)
1800	6000	Outlet Pipe Invert (ft)
2400	7500	Manhole Number
		SC-2
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-3
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-4
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-5
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number

Precast Concrete Stormceptor® Order Request Form

Contractor Information

Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____

Owner Information

Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____

PERMISSIBLE DRAINAGE AREA FOR THIS UNIT: 1.43 ac.

Stormceptor® Model	Inlet Size	Manhole Number
STC	SINGLE INLET	SC-1
900	4800	Top Elevation (ft)
1200	4800	Inlet Pipe Invert (ft)
1800	6000	Outlet Pipe Invert (ft)
2400	7500	Manhole Number
		SC-2
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-3
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-4
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-5
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number

Precast Concrete Stormceptor® Order Request Form

Contractor Information

Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____

Owner Information

Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____

PERMISSIBLE DRAINAGE AREA FOR THIS UNIT: 1.07 ac.

Stormceptor® Model	Inlet Size	Manhole Number
STC	SINGLE INLET	SC-1
900	4800	Top Elevation (ft)
1200	4800	Inlet Pipe Invert (ft)
1800	6000	Outlet Pipe Invert (ft)
2400	7500	Manhole Number
		SC-2
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-3
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-4
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-5
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number

Precast Concrete Stormceptor® Order Request Form

Contractor Information

Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____

Owner Information

Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____

PERMISSIBLE DRAINAGE AREA FOR THIS UNIT: 0.98 ac.

Stormceptor® Model	Inlet Size	Manhole Number
STC	SINGLE INLET	SC-1
900	4800	Top Elevation (ft)
1200	4800	Inlet Pipe Invert (ft)
1800	6000	Outlet Pipe Invert (ft)
2400	7500	Manhole Number
		SC-2
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-3
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-4
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-5
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number

Precast Concrete Stormceptor® Order Request Form

Contractor Information

Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____

Owner Information

Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____

PERMISSIBLE DRAINAGE AREA FOR THIS UNIT: 0.75 ac.

Stormceptor® Model	Inlet Size	Manhole Number
STC	SINGLE INLET	SC-1
900	4800	Top Elevation (ft)
1200	4800	Inlet Pipe Invert (ft)
1800	6000	Outlet Pipe Invert (ft)
2400	7500	Manhole Number
		SC-2
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
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		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-4
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-5
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number

Precast Concrete Stormceptor® Order Request Form

Contractor Information

Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____

Owner Information

Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____

PERMISSIBLE DRAINAGE AREA FOR THIS UNIT: 1.08 ac.

Stormceptor® Model	Inlet Size	Manhole Number
STC	SINGLE INLET	SC-1
900	4800	Top Elevation (ft)
1200	4800	Inlet Pipe Invert (ft)
1800	6000	Outlet Pipe Invert (ft)
2400	7500	Manhole Number
		SC-2
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-3
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-4
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number
		SC-5
		Top Elevation (ft)
		Inlet Pipe Invert (ft)
		Outlet Pipe Invert (ft)
		Manhole Number

Matis Warfield consulting engineers

10540 york road suite m
hunt valley, maryland 21030
phone 410-683-7904
facsimile 410-683-1793
www.matiswarfield.com

ENGINEER CERTIFICATION:

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Engineer *Nicholas J. Brader, III* Date 1/26/01
Name Nicholas J. Brader, III PE # 18555B

OWNER/DEVELOPER

Troy Hill Corporate Center
Property LLC
c/o MIE Development Co.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

DEVELOPER CERTIFICATION:

We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer *Edward St. John* Date 2/26/01
Name Edward St. John

STORMCEPTOR DETAILS

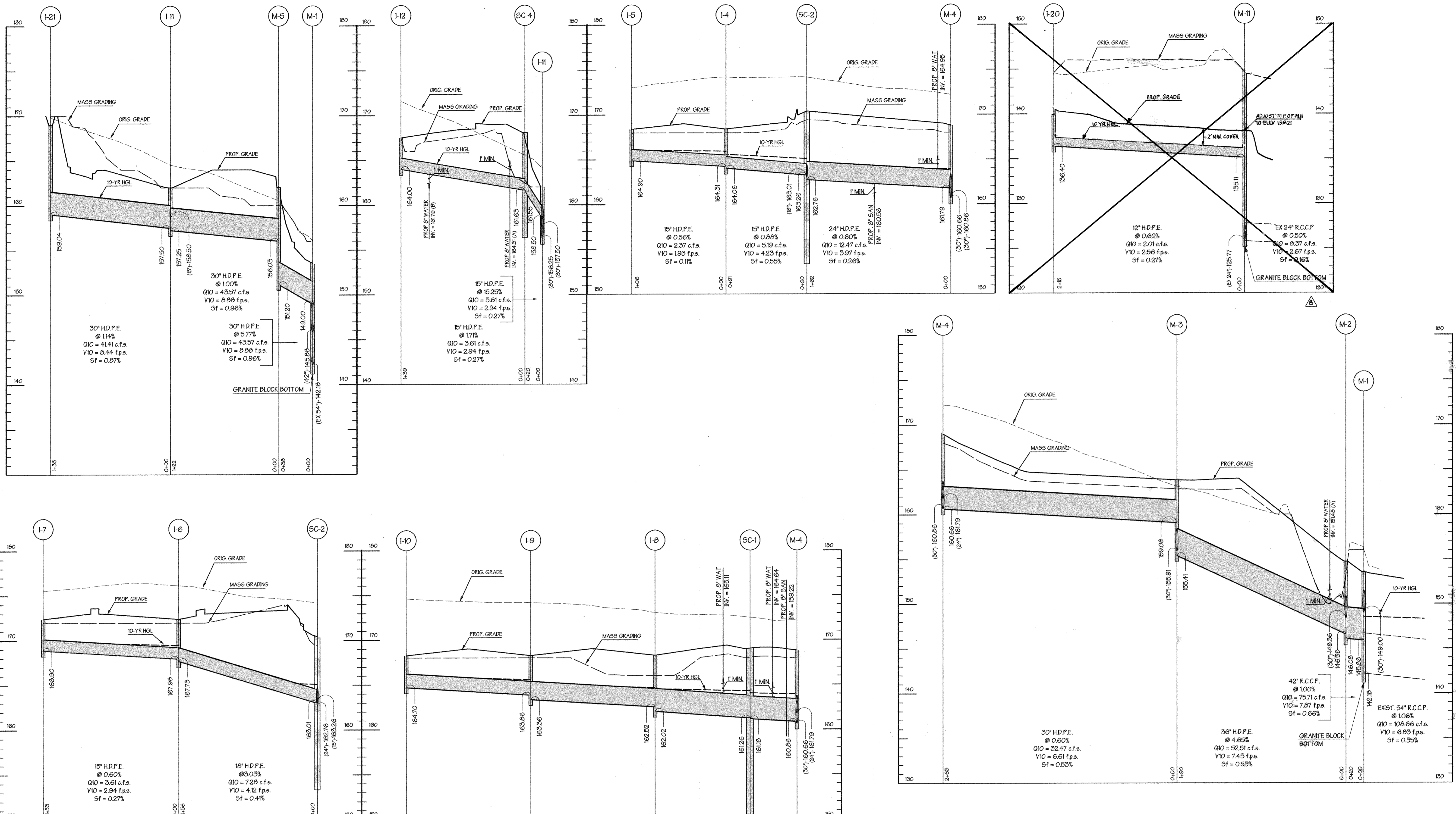
TROY HILL CORPORATE CENTER

PARCEL A-24

7184, 7020, 7180 & 7024 TROY HILL DRIVE

Howard County, Maryland
Scale: As Shown

January 16, 2001
Sheet 6 of 15



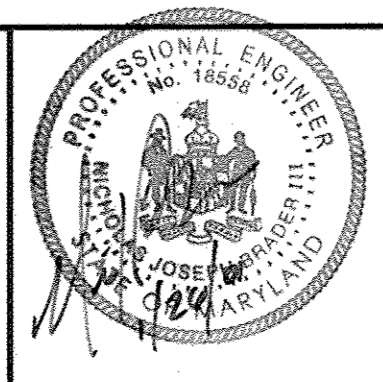
NO.	REVISION DESCRIPTION	DATE
8	REMOVE INLET I-20 AND ASSOCIATED STORM DRAIN PIPE	7/13/17

3/2/03 REVISION#4 REVISED PROP. GRADE FROM I-20 TO M-11 BY MATIS WARFIELD, INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

5/06/02 REVISION#1 MASS GRADING CONTOURS AND ADJUSTED TOP OF MH H BY MATIS WARFIELD, INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

STORM DRAIN PROFILES
SCALE: HORIZ. 1"=50'
VERT. 1"=5'

Matis Warfield
consulting engineers
10540 York Road, Suite M
Hunt Valley, Maryland 21030
Phone 410-683-7004
Facsimile 410-683-7004
www.matiswarfield.com



ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: Nicholas J. Brader, III Date: 1/20/01
Name: Nicholas J. Brader, III PE # 18558

OWNER/DEVELOPER
Troy Hill Corporate Center Property LLC
c/o MIE Development Co.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

DEVELOPER CERTIFICATION:
We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer: Edward St. John Date: 2/2/01
Name: Edward St. John

Reviewed for the Howard Conservation District and meets technical requirements.

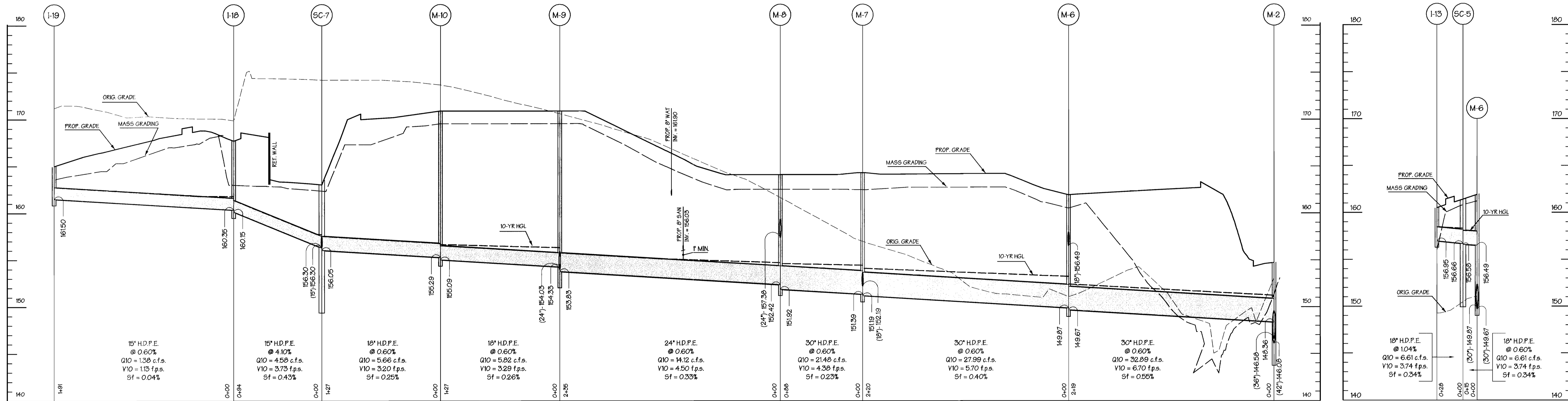
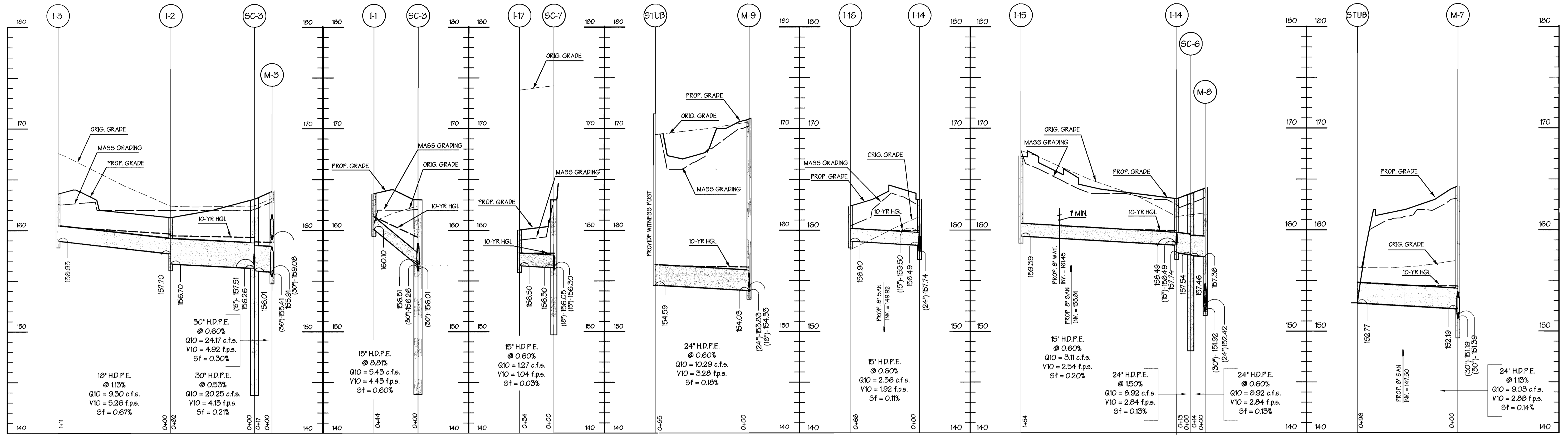
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE: 2/2/01

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: Department of Planning and Zoning
CHIEF, DEVELOPMENT ENGINEERING DIVISION: Cheryl Hamilton DATE: 2/2/01
DIVISION OF LAND DEVELOPMENT, CHIEF: Paul Roth #B: DATE: 2/2/01

STORM DRAIN PROFILES
TROY HILL CORPORATE CENTER
PARCEL A-24
7184, 7020, 7180 & 7024 TROY HILL DRIVE
Howard County, Maryland
Scale: As Shown
January 16, 2001
Sheet 7 of 15



STORM DRAIN PROFILES
SCALE: HORZ. 1"=50'
VERT. 1"=5'

Matis Warfield
consulting engineers
10540 York Road, Suite M
Hunt Valley, Maryland 21030
Phone 410-683-7904
Facsimile 410-683-1798
www.matiswarfield.com



ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Engineer: *Nicholas J. Brader, III* Date: 1/20/01
Name: Nicholas J. Brader, III PE # 18558

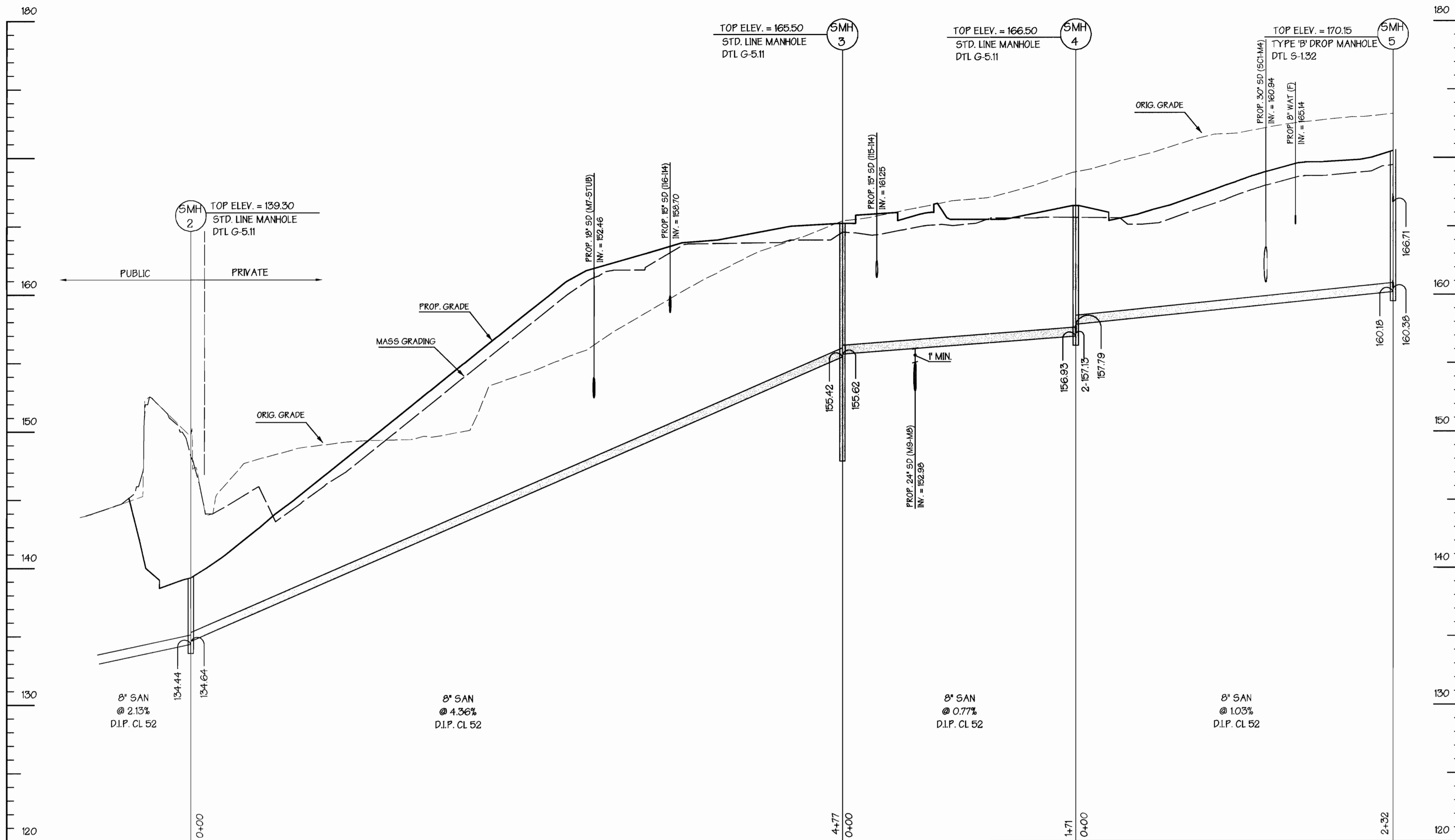
OWNER/DEVELOPER
Troy Hill Corporate Center
Property LLC
c/o MIE Development Co.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

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Developer: *Edward St. John* Date: 2/2/01
Name: Edward St. John

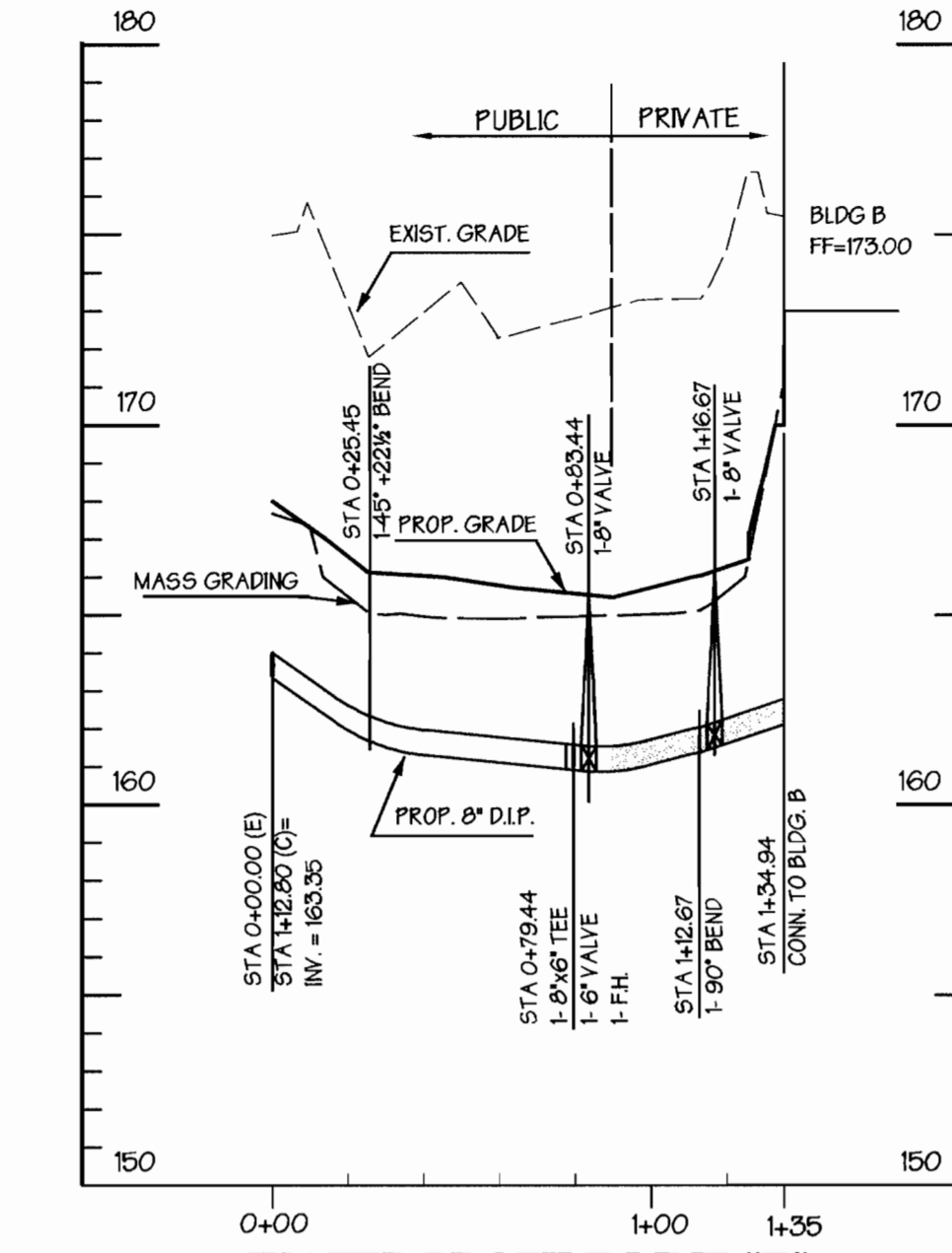
Reviewed for the Howard Conservation District and meets technical requirements.
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE: *2/2/01*
This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
APPROVED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: Department of Planning and Zoning
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 2/2/01
Chris Hamilton
DIVISION OF LAND DEVELOPMENT, CHIEF DATE: 2/2/01
James R. Kutt
DIRECTOR DATE: 2/2/01

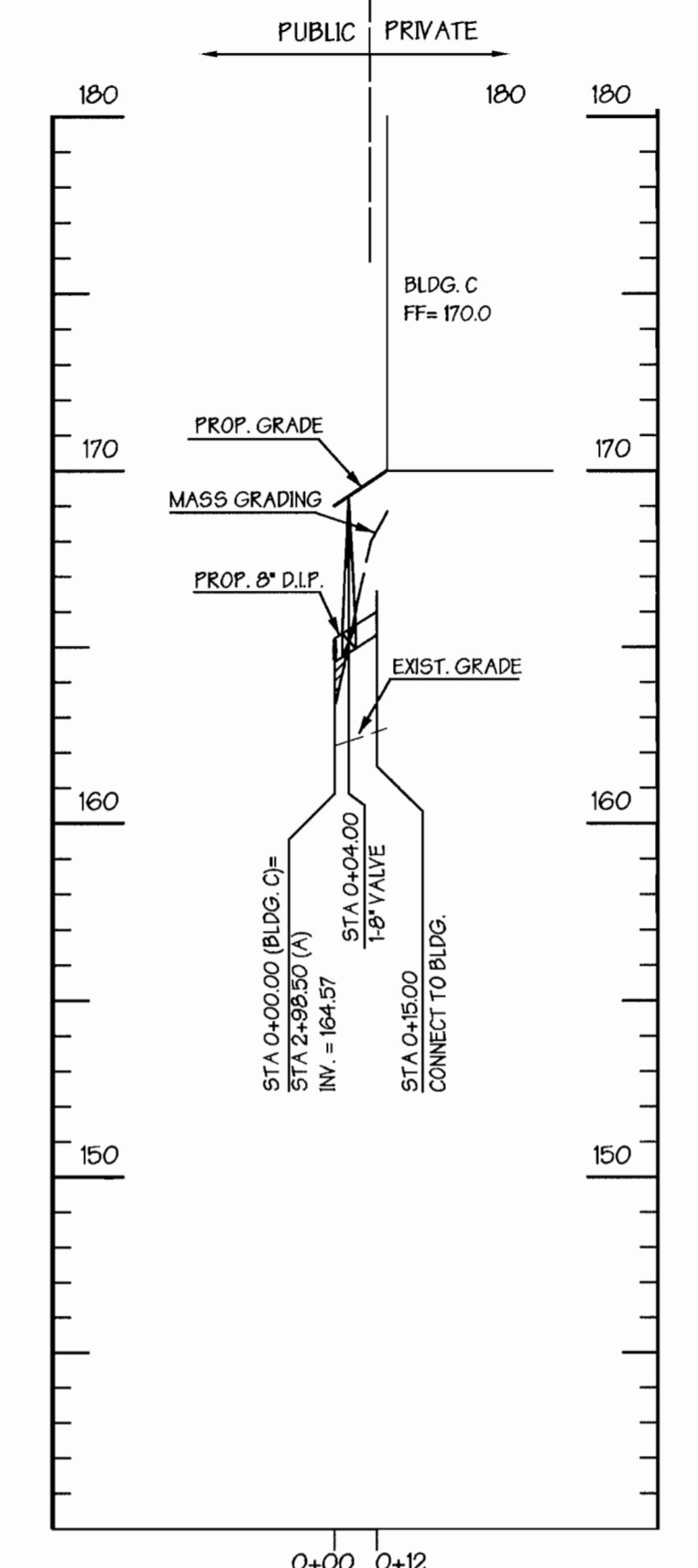
STORM DRAIN PROFILES
TROY HILL CORPORATE CENTER
PARCEL A-24
7184, 7020, 7180 & 7024 TROY HILL DRIVE
Howard County, Maryland
Scale: As Shown
January 16, 2001
Sheet 8 of 13



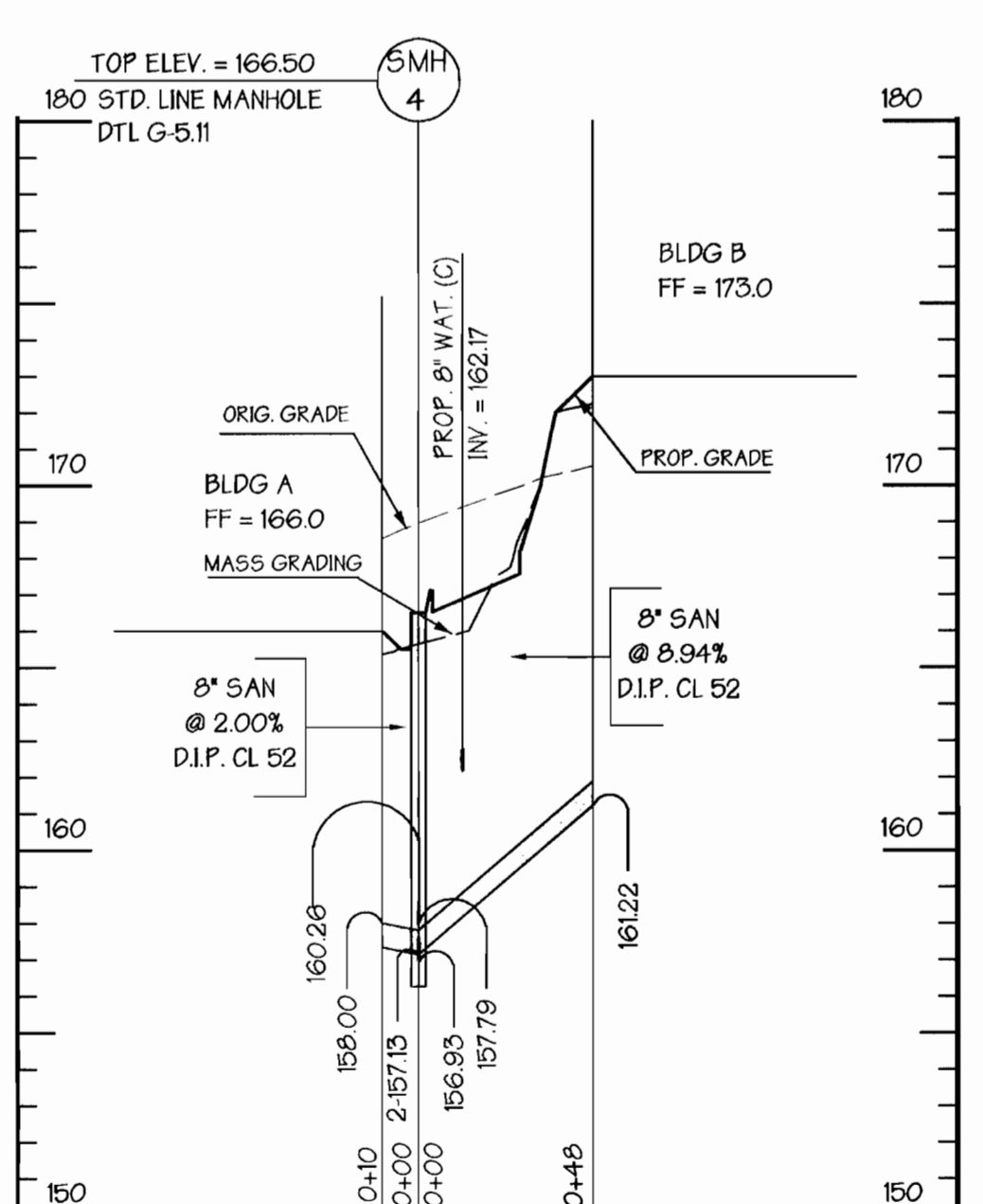
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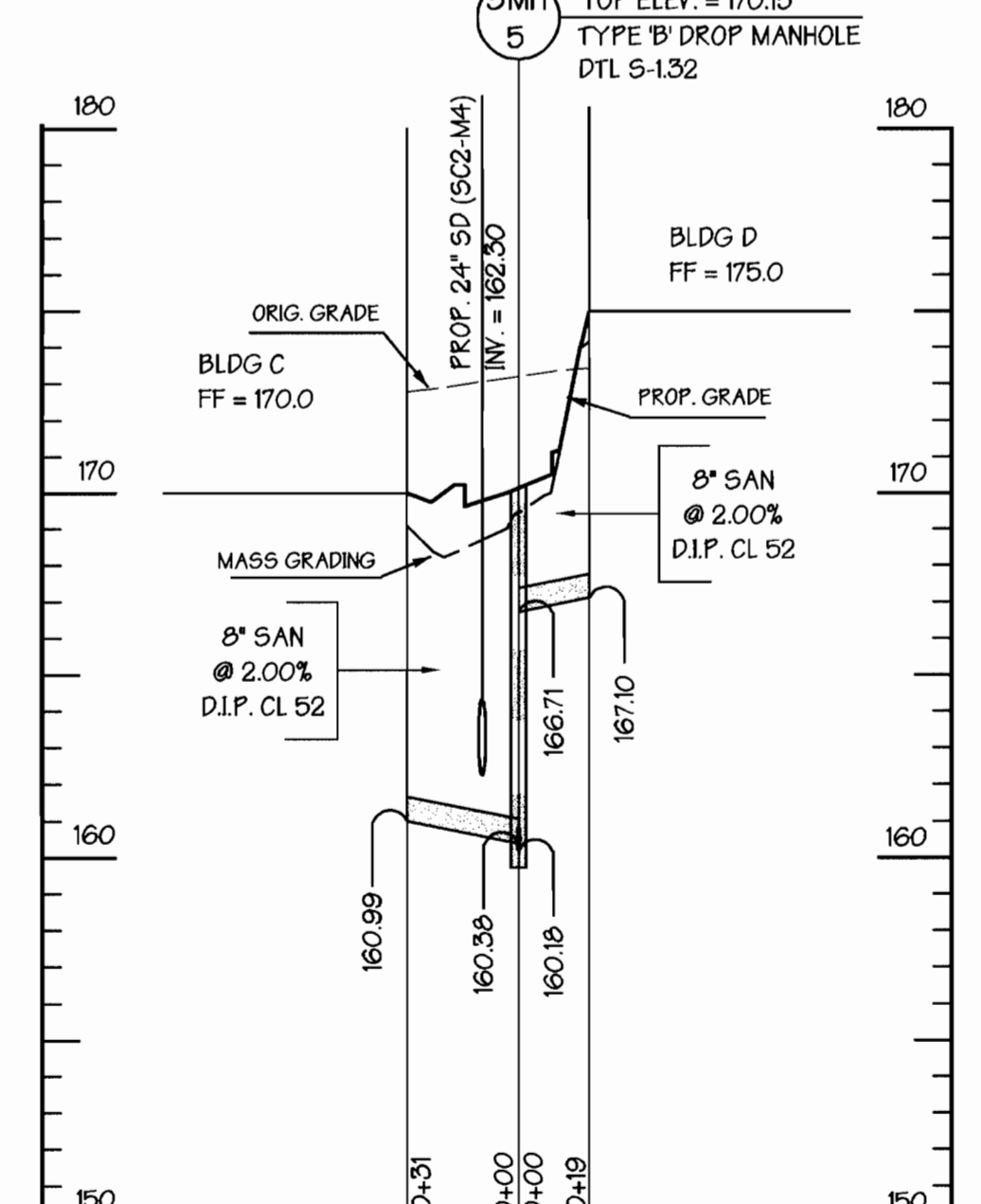
WATER PROFILE LINE "E"



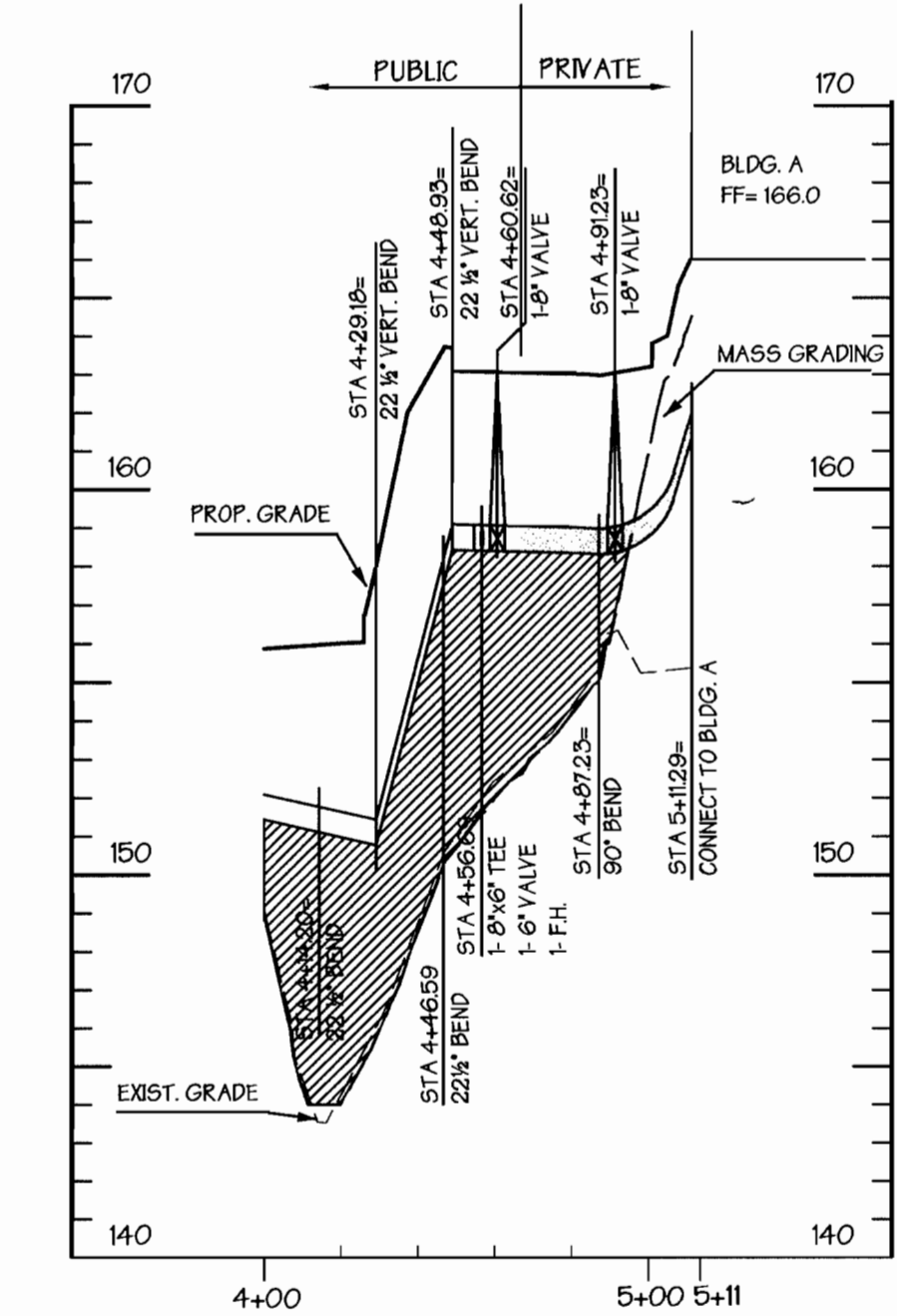
WATER PROFILE BLDG. "C"



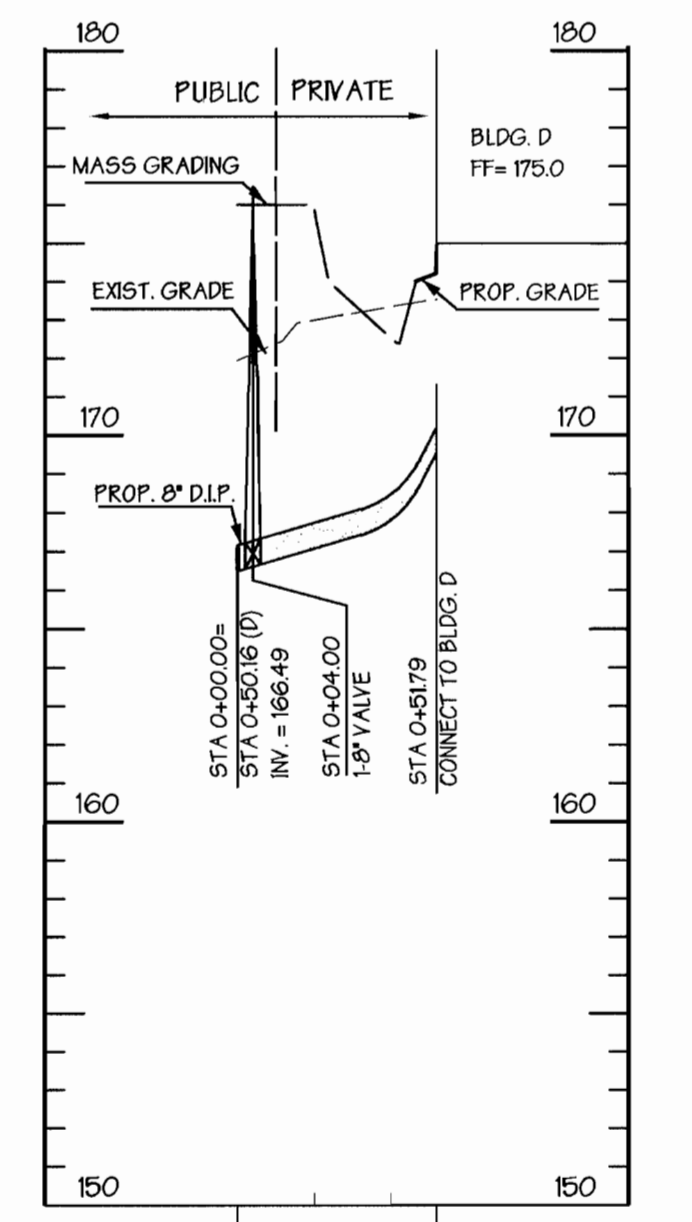
SANITARY SEWER PROFILE



SANITARY SEWER PROFILE



WATER PROFILE LINE "A"



WATER PROFILE BLDG. "D"

Fill material is to be controlled and compacted as certified by an approved soils engineer. Fill material is to be placed no greater than 8' lifts and rolled to 95% compaction for the top 1 foot and 92% compaction elsewhere within the road right-of-way.

PROFILES
SCALE: HORZ. 1"=50'
VERT. 1"=5'

Reviewed for the Howard Conservation District and meets technical requirements.
USDA-NATURAL RESOURCES CONSERVATION SERVICE
This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
APPROVED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: Department of Planning and Zoning
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DIVISION OF LAND DEVELOPMENT, CHIEF
DIRECTOR
DATE: 2/20/01
DATE: 2/21/01
DATE: 2/21/01

Matis Warfield
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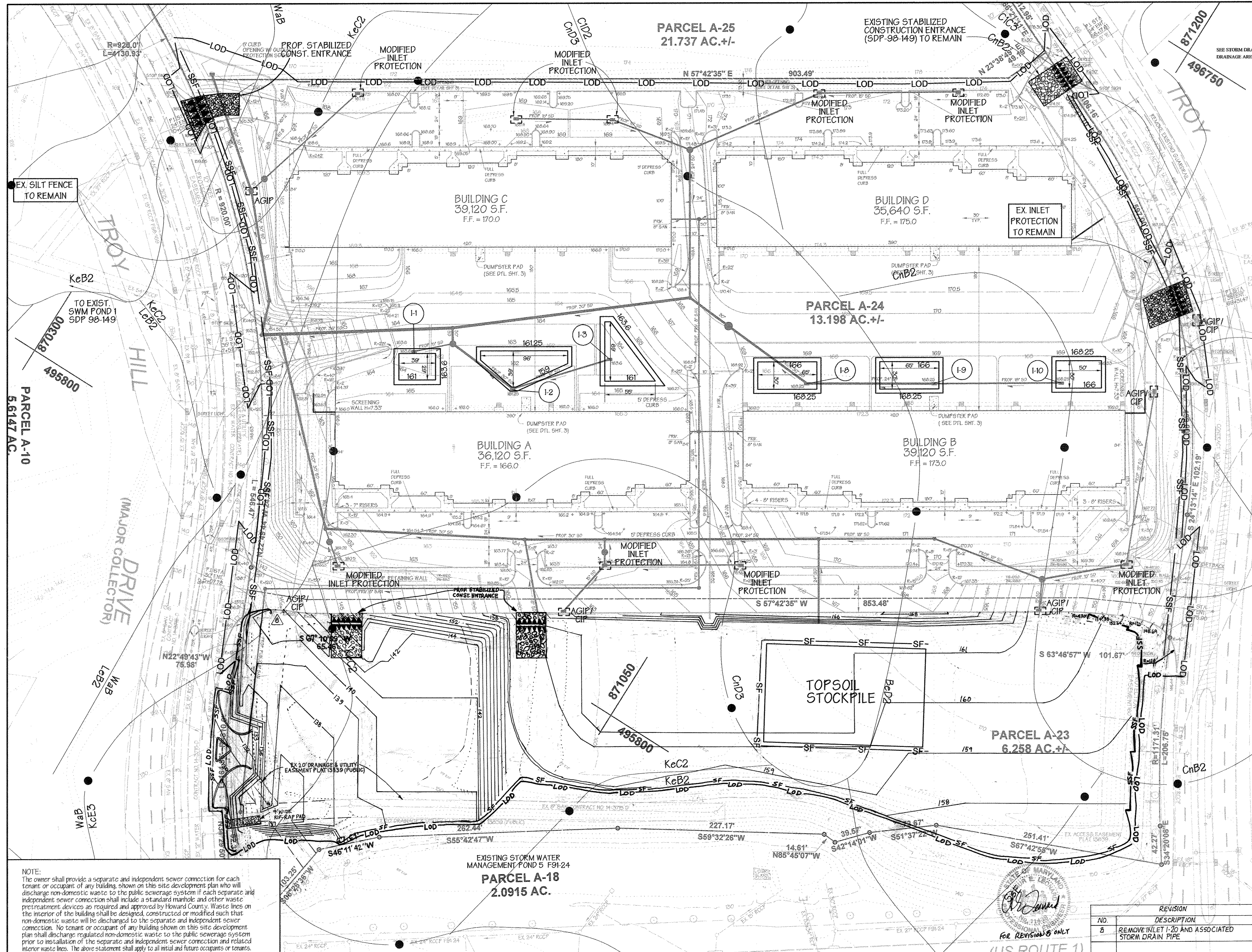


ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Engineer: *Nicholas J. Brader, III* Date: 1/26/01
Name: Nicholas J. Brader, III PE # 18558

OWNER/DEVELOPER
Troy Hill Corporate Center
Property LLC
c/o MIE Development Co.
5720 Executive Drive
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(410) 788-0100

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Developer: *Edward St. John* Date: 2/21/01
Name: Edward St. John

PRIVATE UTILITY PROFILES
TROY HILL CORPORATE CENTER
PARCEL A-24
7184, 7020, 7180 & 7024 TROY HILL DRIVE
Howard County, Maryland
Scale: As Shown
January 16, 2001
Sheet 9 of 15



SEDIMENT TRAP DATA						
TRAP NUMBER	1	2	3	4	5	6
TYPE OF TRAP	INLET	INLET	INLET	INLET	INLET	INLET
INLET NUMBER	I-1	I-2	I-3	I-8	I-9	I-10
EX. DRAINAGE AREA	0.64 AC.	1.28 AC.	1.21 AC.	0.96 AC.	0.87 AC.	0.76 AC.
PROP. DRAINAGE AREA	0.64 AC.	1.28 AC.	1.21 AC.	0.96 AC.	0.87 AC.	0.76 AC.
STORAGE REQUIRED	3456 C.F.	6912 C.F.	6534 C.F.	5184 C.F.	5238 C.F.	4104 C.F.
(@ 5400 C.F./AC.)						
STORAGE PROVIDED	4147 C.F.	7058 C.F.	6809 C.F.	5440 C.F.	5440 C.F.	4276 C.F.
INLET CREST	163.6	161.25	163.6	168.25	168.25	168.25
BOTTOM ELEV.	161.0	159.0	161.0	166.0	166.0	166.0
CLEANOUT ELEV.	162.25	160.2	162.4	167.25	167.25	167.25
REQUIRED VOLUME	1728 C.F.	3456 C.F.	3287 C.F.	2592 C.F.	2619 C.F.	2052 C.F.
@ CLEANOUT						
VOLUME REMAINING (ABOVE CLEANOUT)	2423 C.F.	3608 C.F.	3545 C.F.	2678 C.F.	2678 C.F.	2088 C.F.
AREA BOTTOM CONTOUR	1179 S.F.	2376 S.F.	1996 S.F.	1950 S.F.	1950 S.F.	1500 S.F.
AREA TOP CONTOUR	2011 S.F.	3689 S.F.	3242 S.F.	2886 S.F.	2886 S.F.	2300 S.F.
AVERAGE AREA	1595 S.F.	3137 S.F.	2619 S.F.	2418 S.F.	2418 S.F.	1900 S.F.
CONTOUR INTERVAL	2.6 FT.	2.25 FT.	2.6 FT.	2.25 FT.	2.25 FT.	2.25 FT.
VOLUME	4147 C.F.	7058 C.F.	6809 C.F.	5440 C.F.	5440 C.F.	4276 C.F.

SEQUENCE OF CONSTRUCTION

NOTE: THE SITE HAS BEEN MASS GRADED TO SUBGRADE PER SDP 98-149 (THERE IS NO GRADING TO BE DONE ON OVER 90% OF THE SITE) STORM WATER MANAGEMENT IS PROVIDED IN EXISTING POND 1 (SDP 98-149) AND EXISTING POND 5 (F 91-24). ON-SITE STORM WATER MANAGEMENT DURING SEDIMENT CONTROL IS NOT REQUIRED. IF POND/BASIN 1 IS STILL FUNCTIONING AS A SEDIMENT BASIN AT THE TIME OF CONSTRUCTION THEN ON-SITE SEDIMENT TRAPS AND INLET PROTECTION WILL NOT BE REQUIRED EXCEPT ON EXISTING I-26, EXISTING I-31 AND PROPOSED I-20. IF, AT ANY TIME DURING CONSTRUCTION, BASIN 1 IS TO BE CONVERTED TO THE STORM WATER MANAGEMENT FACILITY THEN THE NECESSARY SEDIMENT TRAPS AND INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR.

- OBTAIN GRADING PERMIT.
- NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS PRIOR TO BEGINNING WORK. (2 DAYS)
- INSTALL SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE. MAINTAIN THE EXISTING SEDIMENT CONTROL DEVICES AS NOTED (1 DAY).
- INSTALL STORM DRAINS LEAVING EX 5-IN OPEN UNTIL THE NECESSARY STORM DRAINS ARE INSTALLED AND ONLY EXCAVATE THE TRENCH LEAVY THAT CAN BE INSTALLED AND BACKFILLED IN ONE DAY. (ALLOW EX 5-IN TO CONVEY THE CLEAN RUNOFF FROM THE SITE AS THE STORM DRAINS ARE INSTALLED) INSTALL INLET PROTECTION OR A STORM INLET SEDIMENT TRAP ON EACH INLET AS WORK PROGRESSES. INSTALL DITCH TO THE STORM DRAIN LEAVING TO M-7 AND TO THE PIPE SLOPE DRAIN INTO EX POND 5. STABILIZE IMMEDIATELY (10 DAYS)
- ONCE ALL NECESSARY STORM DRAINS AND ACCOMPANYING SEDIMENT CONTROL DEVICES ARE INSTALLED AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR BEGIN BUILDING CONSTRUCTION (1 DAY)
- FINE GRADE. INSTALL REMAINING UTILITIES. (15 DAYS)
- INSTALL CURB AND GUTTER. (5 DAYS)
- INSTALL STONE SUBBASE IN AREAS TO BE PAVED. WITH THE PERMITS OF THE SEDIMENT CONTROL INSPECTOR FILL IN THE STORM INLET SEDIMENT TRAPS AND COMPLETE THE STONE SUBBASE. (15 DAYS)
- WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR REMOVE REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE WITH PERMANENT SEEDING. (1 DAY)

ALL WORK IN EXISTING PAVED AREAS IS TO BE STABILIZED WITH STONE AT THE END OF EACH WORKING DAY.

THE CONTRACTOR IS RESPONSIBLE FOR CLEANING THE EXISTING SWM POND FOR ANY SEDIMENT ATTRIBUTED TO THIS PLAN

3/1/03 REVISION #4 REVISED MASS GRADING CONTOURS PARCEL A-24. CHANGED L.O.D. ADDED SILT & SUPER SILT FENCE. BY: MATIS WARFIELD, INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

9/16/03 REVISION #5 REVISED SITE PLAN TO REFLECT ENTRANCE INTO PARCEL A-23 FROM TROY HILL DRIVE. BY: MATIS WARFIELD, INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

5/16/02 REVISION #1 MASS GRADING CONTOURS CHANGED L.O.D. ADDED SILT FENCE BY: MATIS WARFIELD, INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

Reviewed for the Howard Conservation District and meets technical requirements.

Jim Meyer 2/15/01
 USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

John R. Rhoads 2/15/01
 APPROVED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION *Cindy Hamilton* 2/21/01 DATE

DIVISION OF LAND DEVELOPMENT *John R. Rhoads* 2/21/01 DATE

DIRECTOR *John R. Rhoads* 2/21/01 DATE

NOTE:
 The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

Matis Warfield
 consulting engineers
 10540 York Road, Suite M
 Hunt Valley, Maryland 21030
 phone 410-683-7004
 fax 410-683-7004
 www.matiswarfield.com

ENGINEER CERTIFICATION:
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer *Nicholas J. Brader, III* Date *1/20/01*
 Name *Nicholas J. Brader, III* PE # *18056*

OWNER/DEVELOPER
Troy Hill Corporate Center Property LLC
 c/o MIE Development Co.
 5720 Executive Drive
 Baltimore, Maryland 21228
 (410) 788-0100

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Developer *Edward St. John* Date *2/15/01*
 Name *Edward St. John*

Sediment Control Plan
TROY HILL CORPORATE CENTER
 PARCEL A-24
 7184, 7020, 7180 & 7024 TROY HILL DRIVE
 Howard County, Maryland January 16, 2001
 Scale: 1"=50' Sheet 10 of 15

DETAIL 22 - SILT FENCE

10' MAXIMUM CENTER TO CENTER
36" MINIMUM LENGTH FENCE POST DRIVEN A MINIMUM OF 16" INTO GROUND
16" MINIMUM HEIGHT OF GEOTEXTILE CLASS F
8" MINIMUM DEPTH IN GROUND

CONSTRUCTION SPECIFICATIONS

- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum cut) or 1 1/2" diameter (minimum round) and shall be of sound quality hardwood. Steel posts will be standard T or U section weighing not less than 1.00 pound per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in. (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in. (min.)	Test: MSMT 509
Flow Rate	0.3 gal. / 47 minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322
- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
- Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE R-15-3

SILT FENCE

Silt Fence Design Criteria

Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

NOTE: In areas of less than 2% slope and sandy soils (USDA general classification system soil Class II) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE R-15-3

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

CONSTRUCTION SPECIFICATIONS

- Length - minimum of 50' (#30' for single residence lot).
- Width - 10' minimum, should be placed at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. The plan approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mounded berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located of every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-17-3

DETAIL 33 - SUPER SILT FENCE

CONSTRUCTION SPECIFICATIONS

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway (SHA) Details for Chain Link Fencing. The SHA specifications for a 6-foot fence shall be used, substituting 42 inch fabric and 6 foot length posts.
- The posts do not need to be set in concrete.
- Chain link fence shall be fastened securely to the fence posts with wire ties or staples. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence. The chain link fence shall be six (6) gauge or heavier.
- Filter cloth shall be fastened securely to the chain link fence with tie spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 8" into the ground.
- When two sections of geotextile fabric adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt bulges removed when "bulges" develop in the silt fence, or when silt reaches 50% of the fence height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE M-5-4

DETAIL 4 - PIPE SLOPE DRAIN

CONSTRUCTION SPECIFICATIONS - PIPE SLOPE DRAIN

- The Pipe Slope Drain (PSD) shall have a slope of 3 percent or steeper.
- The top of the earth dike over the inlet pipe shall be at least 2 times the pipe diameter measured at the invert of the pipe.
- Flexible tubing is preferred. However, corrugated metal pipe or equivalent PVC pipe can be used. All connections shall be watertight.
- A flared end section shall be attached to the inlet and pipe of pipe with a watertight connection. Filter cloth shall be placed under the inlet of the pipe slope drain and shall extend out 5' from the inlet. The filter cloth shall be "keyed in" on all sides.
- The Pipe Slope Drain shall be securely anchored to the slope by staking at the grommets provided. Spacing for anchors shall be as provided by manufacturer's specification. In no case shall less than two (2) anchors be provided, equally spaced along the length of pipe. These details shall be provided by pipe suppliers.
- The soil around and under the pipe and end section shall be hand tamped in 4 inch lifts to the top of the earth dike.
- All pipe connections shall be watertight.
- Whenever possible where a PSD drains an unestablished area, it shall outlet into a sediment trap or basin. If this is not possible then the slope drain will discharge into a stable conveyance that leads to a sediment trap or basin. When discharging into a trap or basin the PSD shall discharge at the same elevation as the wet pool elevation. The discharge from the PSD must be as far away from the sediment control outlet as possible.
- When the drainage area is established, the PSD shall discharge onto a stabilized area of a non-erodible velocity.
- Inspection and any required maintenance shall be performed periodically and after each rain event.
- The inlet must be kept open at all times.

Size	Pipe/Tubing Diameter (D) in	Maximum Drainage Area (Acres)
PSD-12	12	0.5
PSD-18	18	1.5
PSD-24	24	2.5
PSD-24	24	3.5
PSD-24 (2)	24	5.0

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE B-5-4

STORM INLET SEDIMENT TRAP ST-III

CONSTRUCTION SPECIFICATION FOR ST-III

- Sediment shall be removed and the trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
- The volume of sediment storage shall be 1800 cubic feet per acre of constructed drainage.
- The structure shall be inspected after each rain and repairs made as needed.
- Construction operations shall be carried out in such a manner that erosion and water pollution shall be minimized.
- The sediment trap shall be removed and the area stabilized when the constructed drainage area has been properly stabilized.
- All cut slopes shall be 1:1 or flatter.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE COLLEGE PARK, MARYLAND PAGE 16.10

Sediment Control Notes

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF PERMITS AND INSPECTIONS PRIOR TO THE START OF ANY CONSTRUCTION (315-1655).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THEREOF.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
A) 7 CALENDAR DAYS FOR ALL PERMETER SEDIMENT CONTROL STRUCTURES, Dikes, PERMETER SLOPES AND ALL SLOPES GREATER THAN 2:1.
B) 14 DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAP BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN MANUAL. STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SO2, TEMPORARY SEEDING AND MULCHING (SEC G), TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
TOTAL AREA OF SITE: 13.868 ACRES
AREA TO BE ROOFED OR PAVED: 10.51 ACRES
AREA TO BE VEGETATIVELY STABILIZED: 4.99 ACRES
TOTAL CUT: **** C.Y.
OFFSITE WASTE/BORROW AREA LOCATION: EXCESS CUT SHALL BE TAKEN TO A SITE WITH AN APPROVED SEDIMENT CONTROL PLAN.
8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE (3) FEET LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

Table 25 - Permanent Seeding for Low Maintenance Areas

M	SEED MIX (X USE CERTIFIED MATERIAL IF AVAILABLE)	PLANTING RATE		SITE CONDITIONS	USDA HARDINESS ZONES	RECOMMENDED PLANTING DATES												N O T E S
		LBS./AC.	LBS./1000 SQ. FT.			5/1	5/15	5/15	6/1	6/15	6/15	7/1	7/15	7/15	8/1	8/15	8/15	
1	TALL FESCUE (75%) CANADA BLUEGRASS (20%) KENTUCKY BLUEGRASS (10%) REDTOP (5%)	150	3.4	MOIST TO DRY	5b	X	X	X	X	X	X	X	X	X	X	X	A	
2	KENTUCKY BLUEGRASS (50%) CREEPING RED FESCUE (50%) A HARD FESCUE (40%) REDTOP (10%)	150	3.4	MOIST TO MODERATELY DRY TO DRY	5b	X	X	X	X	X	X	X	X	X	X	X	B	
3	TALL FESCUE (80%) PERENNIAL RYEGRASS (10%) KENTUCKY BLUEGRASS (5%)	125	2.9	MOIST TO DRY	5b	X	X	X	X	X	X	X	X	X	X	X	C	
4	RED FESCUE OR CHEWINGS FESCUE (80%) PERENNIAL RYEGRASS (20%)	60	.92	MOIST TO DRY	5b	X	X	X	X	X	X	X	X	X	X	X	D	
5	TALL FESCUE (80%) OR PERENNIAL RYEGRASS (50%) PLUS CROWN VETCH OR FLATPEA	20	.46	MOIST TO DRY	5b	X	X	X	X	X	X	X	X	X	X	X	E	
6	WEEPING LOVEGRASS (7%) SERGIA LESPEDEZA (85%)	4	.09	DRY TO VERY DRY	6a	X	X	X	X	X	X	X	X	X	X	X	F	
7	TALL FESCUE (80%) WEEPING LOVEGRASS (2%) PLUS SERGIA LESPEDEZA (15%)	10	.25	DRY TO VERY DRY	6a	X	X	X	X	X	X	X	X	X	X	X	G	
8	REED CANARYGRASS (75%) REDTOP (6%) PLUS BIRDFOOT TREFLOE (19%)	40	.92	WET TO MODERATELY DRY	5b	X	X	X	X	X	X	X	X	X	X	X	H	
9	TALL FESCUE (80%) POA TRIVIALIS (7%) BIRDFOOT TREFLOE (7%)	125	2.9	WET TO MODERATELY DRY	5b	X	X	X	X	X	X	X	X	X	X	X	I	
10	TALL FESCUE (80%) HARD FESCUE (20%)	120	3.4	WET TO DRY	5b	X	X	X	X	X	X	X	X	X	X	X	J	
11	HARD FESCUE (100%)	75	1.7	MOIST TO DRY	5b	X	X	X	X	X	X	X	X	X	X	X	K	

Table 26 - Temporary Seeding Rates, Depths, and Dates

SPECIES	MINIMUM SEEDING RATES PER ACRE	TEMPORARY SEEDING DEPTHS INCHES	HARDINESS ZONES AND SEEDING DATES													
			7a and 7b	6b	6a and 5b	5b	5a	4b	4a	3b	3a	2b	2a			
CHOOSE ONE: BARLEY OATS RYE	25 BU. (122 lbs.) 3 BU. (146 lbs.) 25 BU. (140 lbs.)	2.80 2.21 3.22	1-2 1-2 1-2	X X X	X X X	X X X	X X X	X X X	X X X	X X X	X X X	X X X	X X X	X X X		
BARLEY OR RYE PLUS FOXTAIL MILLET	150 lbs.	3.45	1	X	X	X	X	X	X	X	X	X	X	X	X	X
WEEPING LOVEGRASS	4 lbs.	.09	1/4 - 1/2	X	X	X	X	X	X	X	X	X	X	X	X	X
ANNUAL RYEGRASS	50 lbs.	1.15	1/4 - 1/2	X	X	X	X	X	X	X	X	X	X	X	X	X
MILLET	50 lbs.	1.15	1/2	X	X	X	X	X	X	X	X	X	X	X	X	X

Table 27 Geotextile Fabrics

CLASS	APPARENT OPENING SIZE MM. MAX.	GRAB TENSILE STRENGTH LB. MIN.	BURST STRENGTH PSI. MIN.
A	0.30 **	250	500
B	0.60	200	320
C	0.30	200	320
D	0.60	90	145
E	0.30	90	145
F (SILT FENCE)	0.40-0.80*	90	190

* US Std. Sieve CW-02215 ** 0.50 MM. MAX. FOR SUPER SILT FENCE

NOTE:

The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

Matis Warfield
consulting engineers
10540 york road suite m
hunt valley, maryland 21030
phone 410-683-7004
fax 410-683-1799
www.matiswarfield.com

ENGINEER CERTIFICATION:

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer: *Nicholas J. Brader, III* Date: 1/20/01
Name: Nicholas J. Brader, III PE # 19558

OWNER/DEVELOPER

Troy Hill Corporate Center Property LLC
c/o MIE Development Co.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

DEVELOPER CERTIFICATION:

We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer: *Edward St. John* Date: 1/20/01
Name: Edward St. John

Silt Fence

Class F geotextile fabrics for silt fence have a 50 lb./in. minimum tensile strength and a 20 lb./in. minimum tensile modulus when tested in accordance with MSMT 509. The material shall also have a 0.3 gal./ft.²/min. flow rate and seventy-five percent (75%) minimum filtering efficiency when tested in accordance with MSMT 322.

Geotextile fabrics used in the construction of silt fence shall resist deterioration from ultraviolet exposure. The fabric shall contain sufficient amounts of ultraviolet ray inhibitors and stabilizers to provide a minimum of 12 months of expected usable construction life at a temperature range of 0 to 120 degrees F.

Sediment Control Details

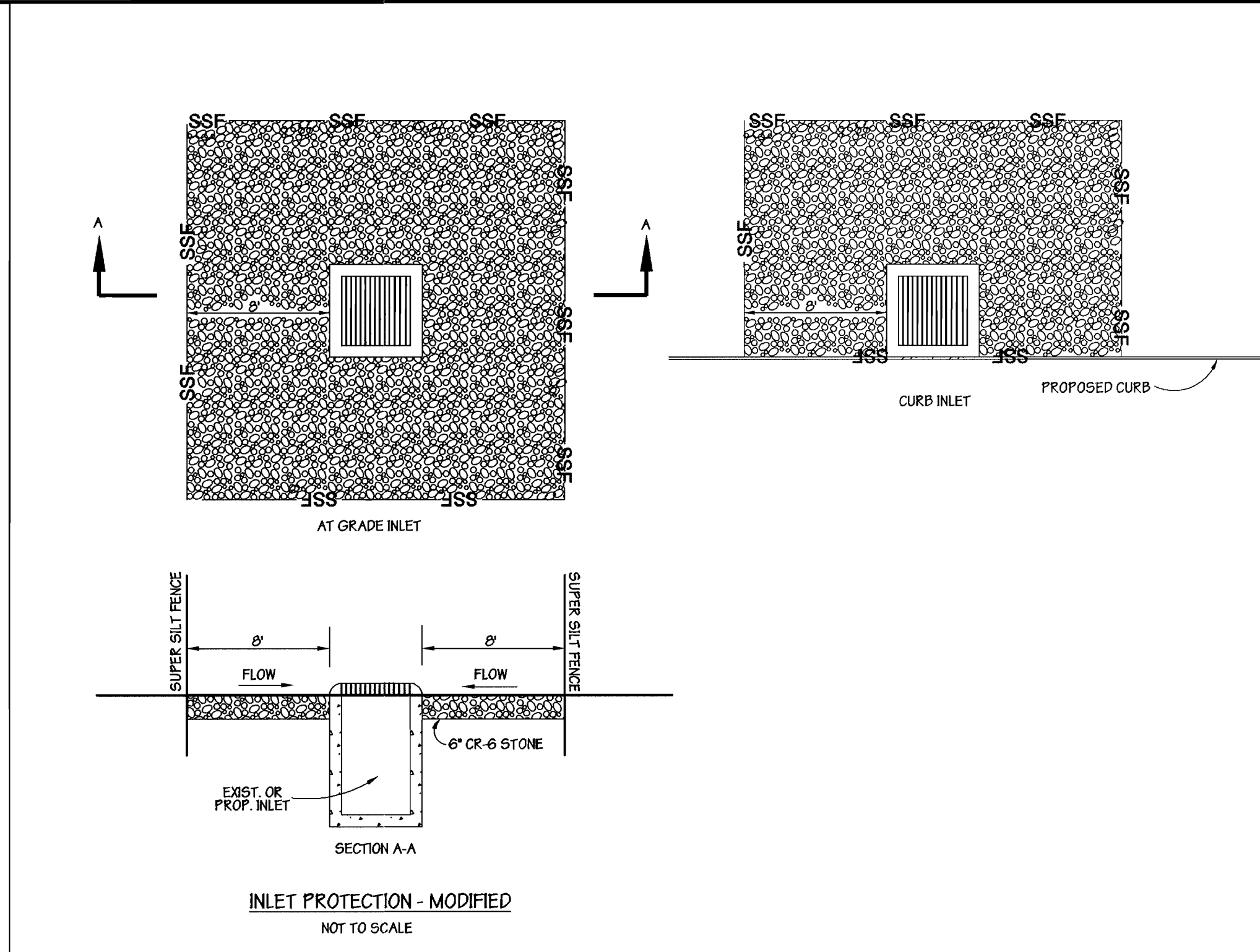
TROY HILL CORPORATE CENTER
PARCEL A-24
7184, 7020, 7180 & 7024 TROY HILL DRIVE

Reviewed for the Howard Conservation District and meets technical requirements.
Jan M. Jones
HOWARD COUNTY NATURAL RESOURCES CONSERVATION SERVICE DATE: 2/15/01

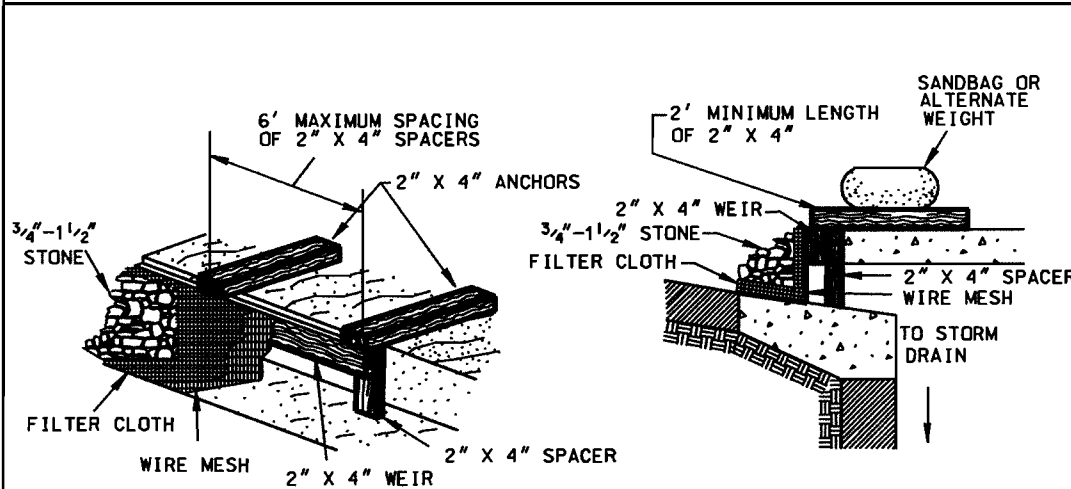
This development plan is approved for soil erosion and sediment control by the Howard Conservation District.
John Blanton
APPROVED: HOWARD SOIL CONSERVATION DISTRICT DATE: 2/15/01

APPROVED: Department of Planning and Zoning
Cindy Hamilton
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 2/2/01
DIVISION OF LAND DEVELOPMENT, CHIEF DATE: 2/2/01
John Blanton
DIRECTOR DATE: 2/2/01

Howard County, Maryland
Scale: As Shown
SDP 01-37
January 16, 2001
Sheet 11 of 15
P.N. 200010



CURB INLET PROTECTION (COG OR COS INLETS)



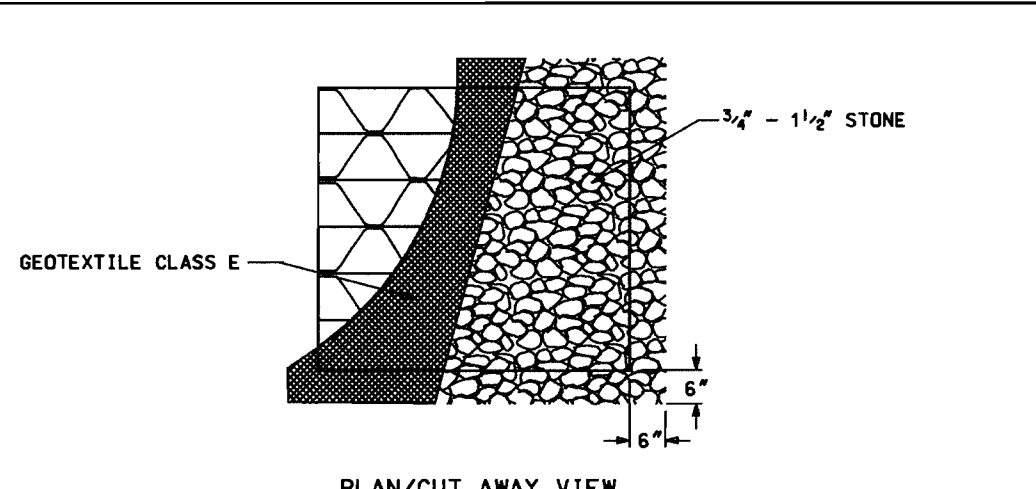
MAX. DRAINAGE AREA = 1/4 ACRE

Construction Specifications

1. Attach a continuous piece of wire mesh (30" minimum width by throat length plus 4") to the 2" x 4" weir (measuring throat length plus 2") as shown on the standard drawing.
2. Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2" x 4" weir.
3. Securely nail the 2" x 4" weir to a 9" long vertical spacer to be located between the weir and the inlet face (max. 4" apart).
4. Place the assembly against the inlet throat and nail (minimum 2" lengths of 2" x 4" to the top of the weir at spacer locations). These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
5. The assembly shall be placed so that the end spacers are a minimum 1' beyond both ends of the throat opening.
6. Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
7. This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
8. Assume that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-16-5B MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES WATER MANAGEMENT ADMINISTRATION

DETAIL 23B - AT GRADE INLET PROTECTION



MAX. DRAINAGE AREA = 1/4 ACRE

Construction Specifications

1. Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.
2. Place 3/4" to 1 1/2" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-16-5A MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES WATER MANAGEMENT ADMINISTRATION

NOTE:
The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

Reviewed for the Howard Conservation District and meets technical requirements.
Jim Meyer 2/15/01
UBDA-NATURAL RESOURCES CONSERVATION SERVICE DATE
This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
John R. Blanton 2/15/01
APPROVED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: Department of Planning and Zoning
[Signature] 2/6/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
[Signature] 2/2/01
DIVISION OF LAND DEVELOPMENT, CHIEF DATE
[Signature] 2/2/01
DIRECTOR DATE

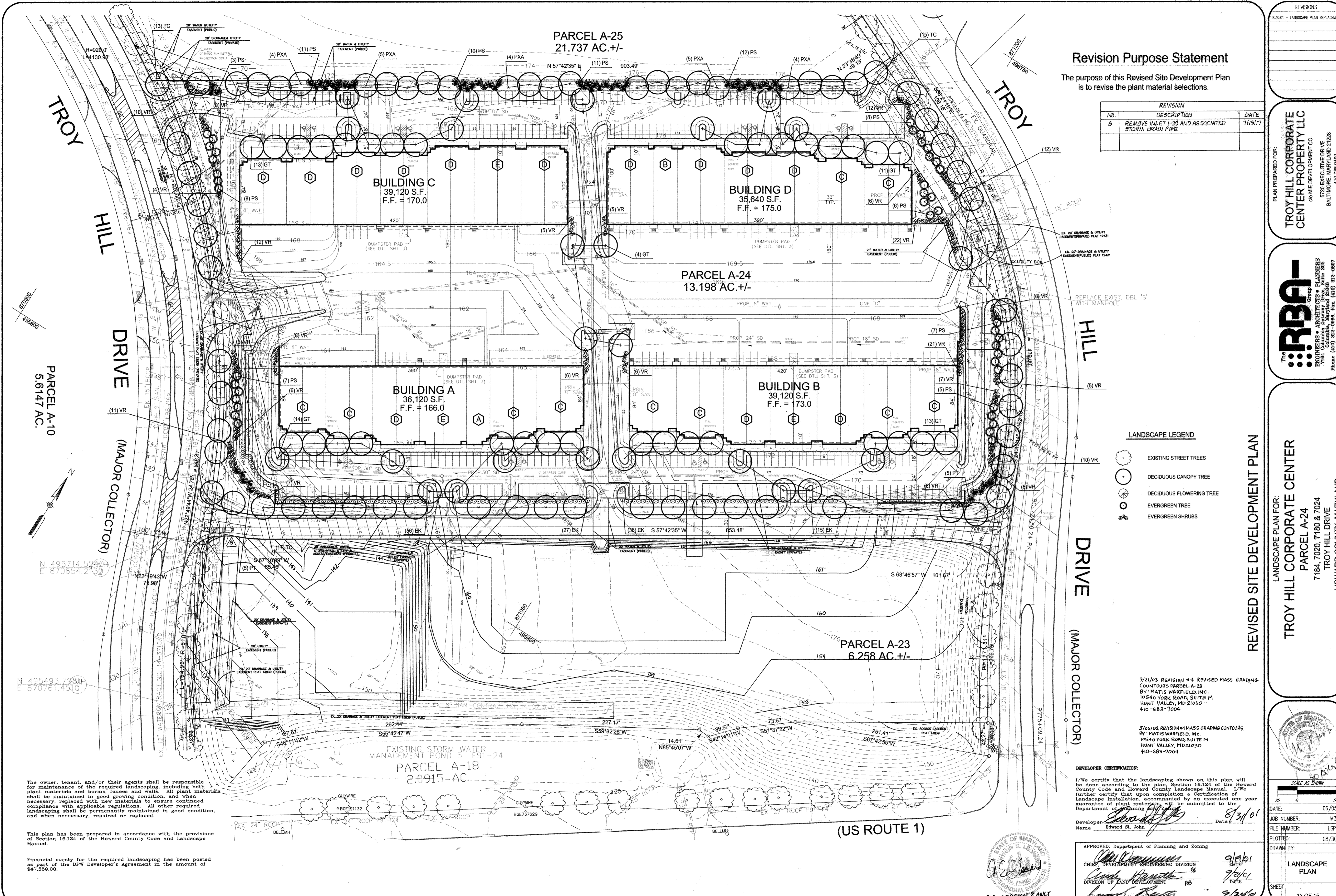
Matis Warfield
consulting engineers
10540 York Road, Suite M
Hunt Valley, Maryland 21030
Phone 410-683-7904
Facsimile 410-683-1798
www.matiswarfield.com

ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Engineer *[Signature]* Date 1/29/01
Name Nicholas J. Brader, III PE # 18558

OWNER/DEVELOPER
Troy Hill Corporate Center
Property LLC
c/o MIE Development Co.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

DEVELOPER CERTIFICATION:
We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Developer *[Signature]* Date 2/2/01
Name Edward St. John

Sediment Control Details
TROY HILL CORPORATE CENTER
PARCEL A-24
7184, 7020, 7180 & 7024 TROY HILL DRIVE
Howard County, Maryland
Scale: As Shown
January 16, 2001
Sheet 12 of 15



PARCEL A-25
21.737 AC. +/-

PARCEL A-24
13.198 AC. +/-

PARCEL A-23
6.258 AC. +/-

EXISTING STORM WATER
MANAGEMENT POND 5' F91-24
PARCEL A-18
2.0915 AC.

Revision Purpose Statement

The purpose of this Revised Site Development Plan is to revise the plant material selections.

REVISION		
NO.	DESCRIPTION	DATE
5	REMOVE INLET 1-23 AND ASSOCIATED STORM DRAIN PIPE	7/13/17

LANDSCAPE LEGEND

- EXISTING STREET TREES
- DECIDUOUS CANOPY TREE
- DECIDUOUS FLOWERING TREE
- EVERGREEN TREE
- EVERGREEN SHRUBS

3/21/03 REVISION #4 REVISED MASS GRADING
COUNTOURS PARCEL A-23.
BY: MATIS WARFIELD, INC.
10540 YORK ROAD, SUITE M
HUNT VALLEY, MD 21030
410-683-7004

5/04/02 REVISION #1 MASS GRADING COUNTOURS.
BY: MATIS WARFIELD, INC.
10540 YORK ROAD, SUITE M
HUNT VALLEY, MD 21030
410-683-7004

DEVELOPER CERTIFICATION:

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and Howard County Landscape Manual. I/We further certify that upon completion a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Developer: *Edward St. John* Date: 8/3/01
Name: Edward St. John

APPROVED: Department of Planning and Zoning
CHIEF DEVELOPMENT ENGINEERING DIVISION
DIVISION OF LAND DEVELOPMENT
DIRECTOR

9/16/17
9/16/17
9/16/17

REVISIONS

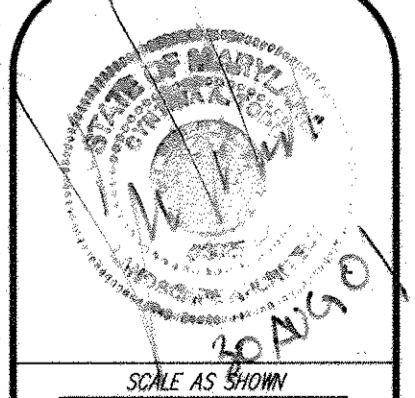
8.30.01	LANDSCAPE PLAN REPLACEMENT
---------	----------------------------

PLAN PREPARED FOR:
TROY HILL CORPORATE CENTER PROPERTY LLC
60 MIE DEVELOPMENT CO.
5750 EXECUTIVE DRIVE
BALTIMORE, MARYLAND 21228
410.788.0100

RBA
Group
ENGINEERS • ARCHITECTS • PLANNERS
7164 Columbia Gateway Drive, Suite 200
Baltimore, MD 21286
Phone (410) 312-0686, Fax (410) 312-0897

LANDSCAPE PLAN FOR:
TROY HILL CORPORATE CENTER
PARCEL A-24
7184, 7020, 7180 & 7024
TROY HILL DRIVE
HOWARD COUNTY, MARYLAND

REVISED SITE DEVELOPMENT PLAN



SCALE AS SHOWN

DATE:	06/05/01
JOB NUMBER:	M3103
FILE NUMBER:	LSP/PLAN
PLOTTED:	08/30/01
DRAWN BY:	TSZ
LANDSCAPE PLAN	
SHEET	13 OF 15

The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and Landscape Manual.

Financial surety for the required landscaping has been posted as part of the DPW Developer's Agreement in the amount of \$47,550.00.

FOR REVISION 8 ONLY

PLANTING NOTES

PLANT LOCATIONS SHALL BE FIELD ADJUSTED TO AVOID UTILITIES. CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO START OF WORK.

ALL TREES AND SHRUBS SHALL BE MULCHED TO A MIN. OF 18" BEYOND THE EDGE OF THE BALL.

SHRUB MASSSES SHALL BE PLANTED IN CONTINUOUS MULCH BEDS.

LANDSCAPE SPECIFICATIONS

LANDSCAPE SPECIFICATIONS SHALL CONFORM TO 3RD EDITION OF THE LCA LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE, WASHINGTON METROPOLITAN AREA INCLUDING PLANTING PROCEDURES AND SOIL PREPARATION FOR SHRUBS AND PERENNIAL BEDS.

A ONE-YEAR WARRANTY PERIOD SHALL BE REQUIRED. MAINTENANCE REQUIRED TO HONOR THE ONE-YEAR WARRANTY SHALL BE PERFORMED AS PART OF THIS CONTRACT.

CONTRACTOR SHALL REVIEW AND TEST SOIL DRAINAGE 30 DAYS PRIOR TO PLANTING AND NOTIFY OWNER OF UNACCEPTABLE CONDITIONS. SOIL TESTING IS ENCOURAGED. NO EXCEPTIONS TO THE GUARANTEE PROVISIONS ARE ALLOWED UNLESS AGREED TO IN WRITING PRIOR TO PLANTING.

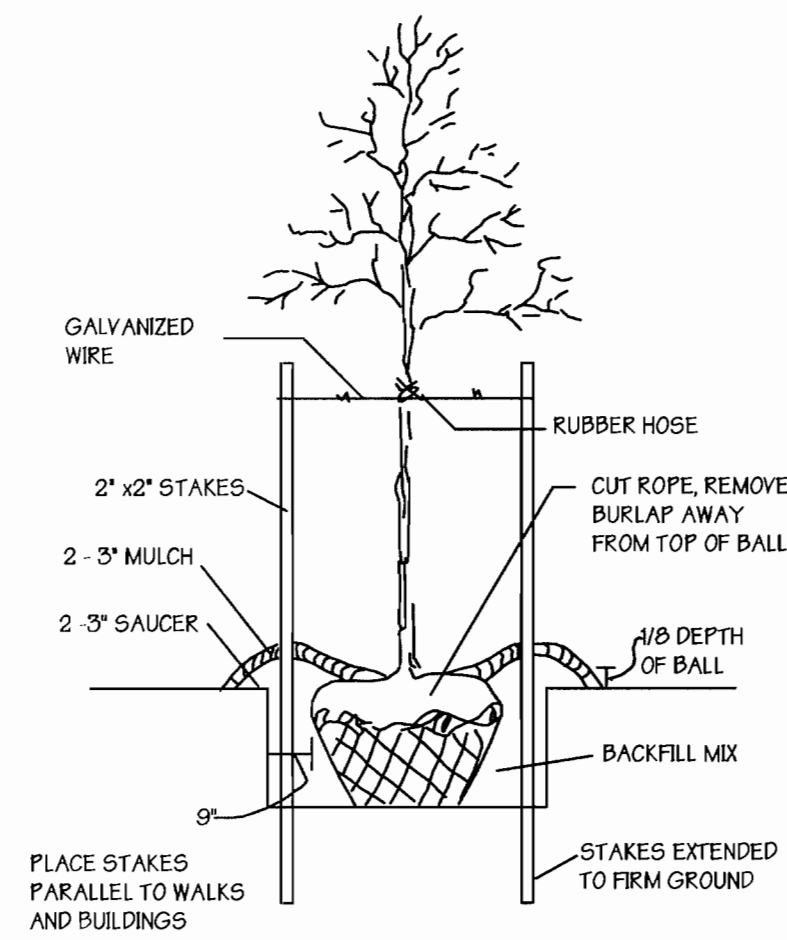
ONE-YEAR ANNIVERSARY FOLLOW UP REQUIREMENTS

CONTRACTOR SHALL SCHEDULE SITE WALK THRU WITH OWNER'S REPRESENTATIVE PRIOR TO END OF WARRANTY PERIOD AS PART OF THE WALK THRU REMOVE STAKES AND GUYS, PRUNE DEAD WOOD AND MAKE NECESSARY REPLACEMENTS.

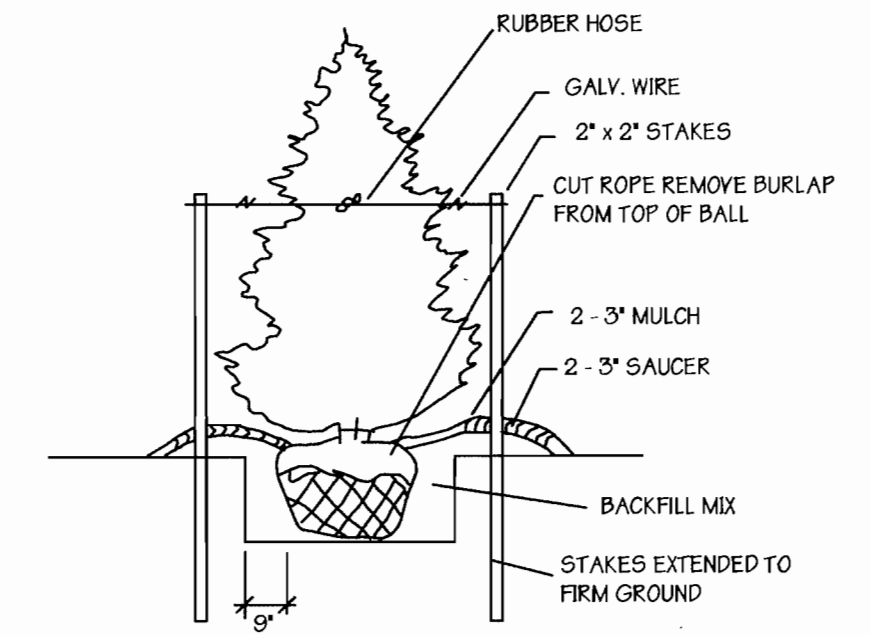
PLANT STANDARDS

ALL NURSERY STOCK SHALL BE TOP QUALITY AND IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. 'AMERICAN STANDARDS FOR NURSERY STOCK' LATEST EDITION. PLANTS OF EACH SPECIES SHALL BE PROVIDED AS MATCHED ITEMS. INFERIOR NURSERY STOCK WILL BE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT. BARE ROOT SHALL NOT BE ALLOWED FOR ANY TREE DEFINED AS MAJOR DECIDUOUS, MINOR DECIDUOUS, OR EVERGREEN. THE OWNER RESERVES THE RIGHT TO FIELD INSPECTION OF ALL PLANT MATERIAL PRIOR TO PLANTING.

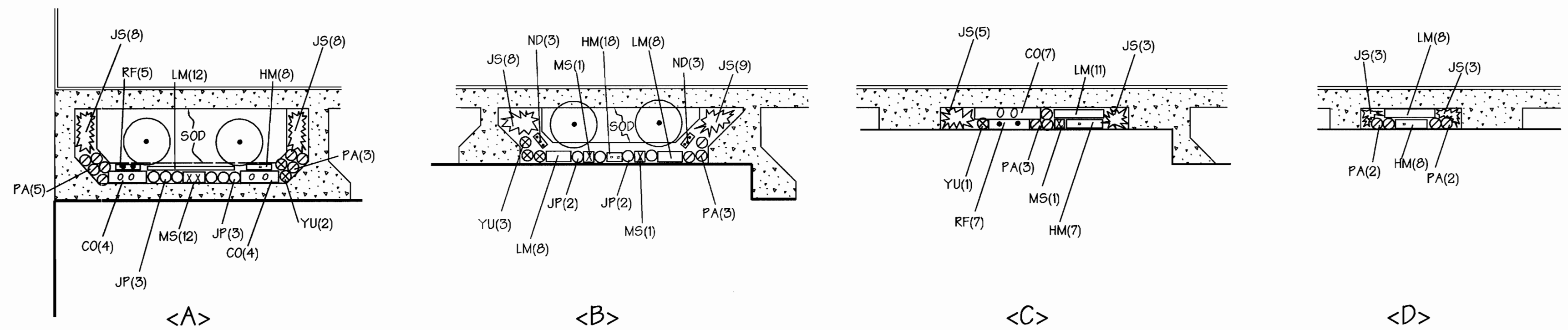
KEY	QTY	PLANT NAME	SIZE
AR	23	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE 2 1/2" - 3"
TC	45	TILIA CORDATA 'GREENSPIRE'	LITTLE LEAF LINDEN 2 1/2" - 3"
QP	22	QUERCUS PHELLOS	WILLOW OAK 2 1/2" - 3"
MY	32	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA 8" - 10"
FS	95	FINUS STROBUS	WHITE PINE 6" - 8"
TO	69	THUJA O. 'GREEN GIANT'	GREEN GIANT ARBORVITAE 5" - 6"
VT	359	VIBURNUM F. TOMENTOSUM	DOUBLEFILE VIBURNUM 24" - 30"
JS	364	JUNIPERUS CONFERTA	BLUE PACIFIC JUNIPER 18" - 24"
JF	80	JUNIPERUS C. FITZ NICKS COMPACT	NICKS COMPACT JUNIPER 18" - 24"
MS	42	MISCANTHUS S. GRACILLIMUS	MAIDEN GRASS 1 GAL
FA	122	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS 1 GAL
LM	350	FORSYTHIA INTERMEDIA X SUSPENS	SHOWY BORDER FORSYTHIA 1 GAL
HM	222	HEMEROCALLIS 'STELLA D'ORO'	DAYLILY 1 GAL
CO	120	COTONEASTER APICULATA	CRANBERRY COTONEASTER 1 GAL
YU	50	YUCCA RECURVIFOLIA	CURVELEAF YUCCA 3 GAL
ND	45	NANDINA DOM. HARBOR DWARF	DWARF NANDINA 3 GAL



DECIDUOUS TREE PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL



PLANTING DETAILS FOR BUILDING FRONTS

SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways			Adjacent to Perimeter Properties
	B	D	E	C
Landscape Type				
Linear Feet of Roadway Frontage/Perimeter	385	246	1279	916
Credits for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	0	0	0	0
Credits for all Fences or Berms (Yes, No, Linear Feet) (Describe below if needed)	0	0	0	0
Number of Plants Required				
Shade Trees	5	4	32	23
Evergreen Trees	10	25	0	46
Shrubs	0	0	320	0
Number of Plants Provided				
Shade Trees	11	6	32	23
Evergreen Trees	19	45	29	47
Other Trees (2:1 substitution)	0	0	0	0
Shrubs (10:1 substitution)	27	0	349	0

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	377
Number of Trees Required	19
Number of Trees Provided	19
Shade Trees	
Other Trees (2:1 substitution)	

LANDSCAPING PLAN PREPARED BY:
HOLSTON BROTHERS, INC.
6126 JEFFERSON PIKE
FREDERICK, MD 21703
PHONE: 301-698-1318
FAX: 301-698-0069

Reviewed for the Howard Conservation District and meets technical requirements.

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: Department of Planning and Zoning

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 2/24/01

DIVISION OF LAND DEVELOPMENT, CHIEF DATE 2/21/01

DIRECTOR DATE 2/21/01

Matis Warfield
consulting engineers

10540 york road suite m
hunt valley maryland 21030
phone 410-883-7004
facsimile 410-883-1798
www.matiswarfield.com



ENGINEER CERTIFICATION:

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer *N. Brader* Date 1/26/01

Name Nicholas J. Brader, III PE # 18558

OWNER/DEVELOPER

Troy Hill Corporate Center
Property LLC
c/o MIE Development Co.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

DEVELOPER CERTIFICATION:

We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

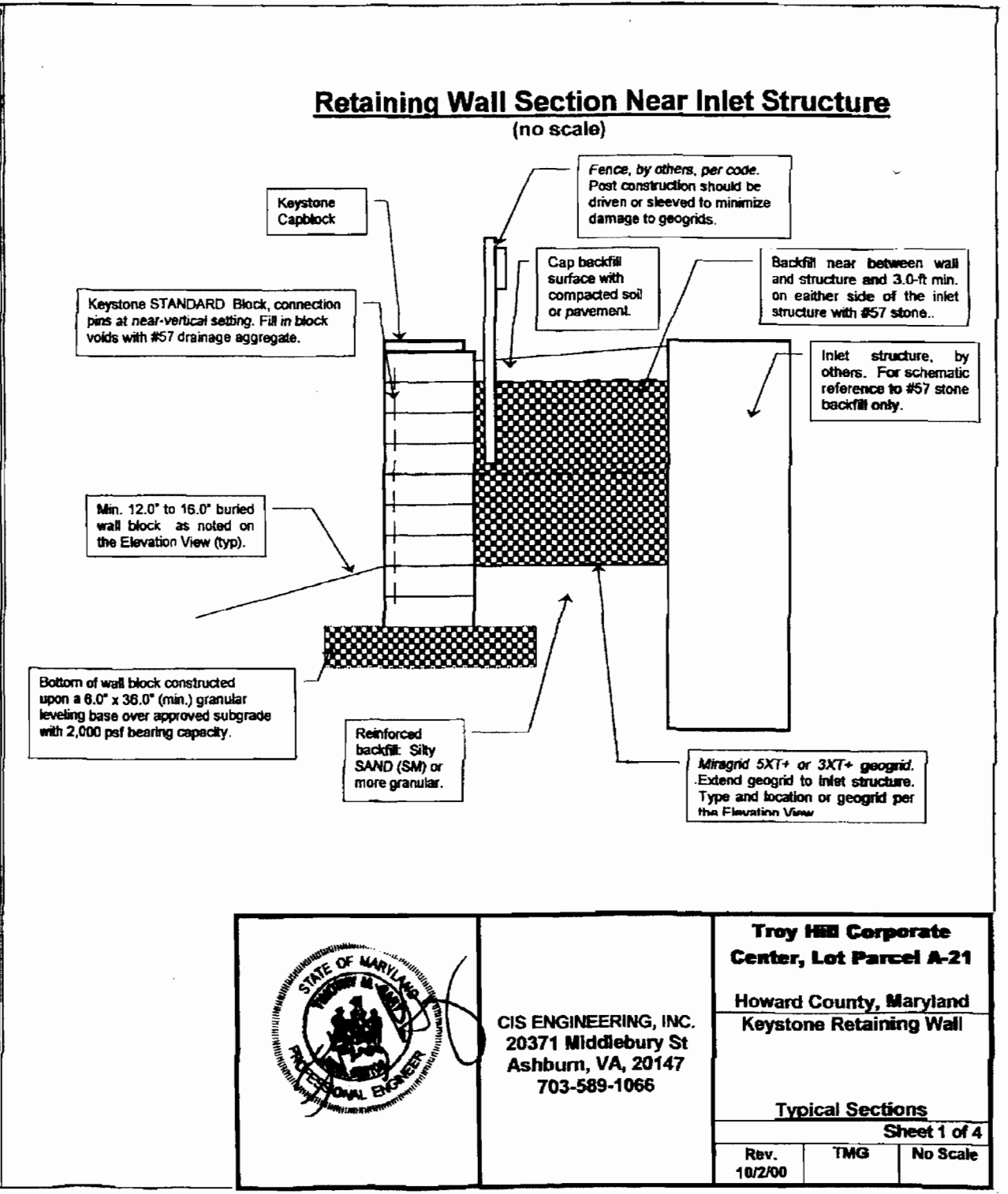
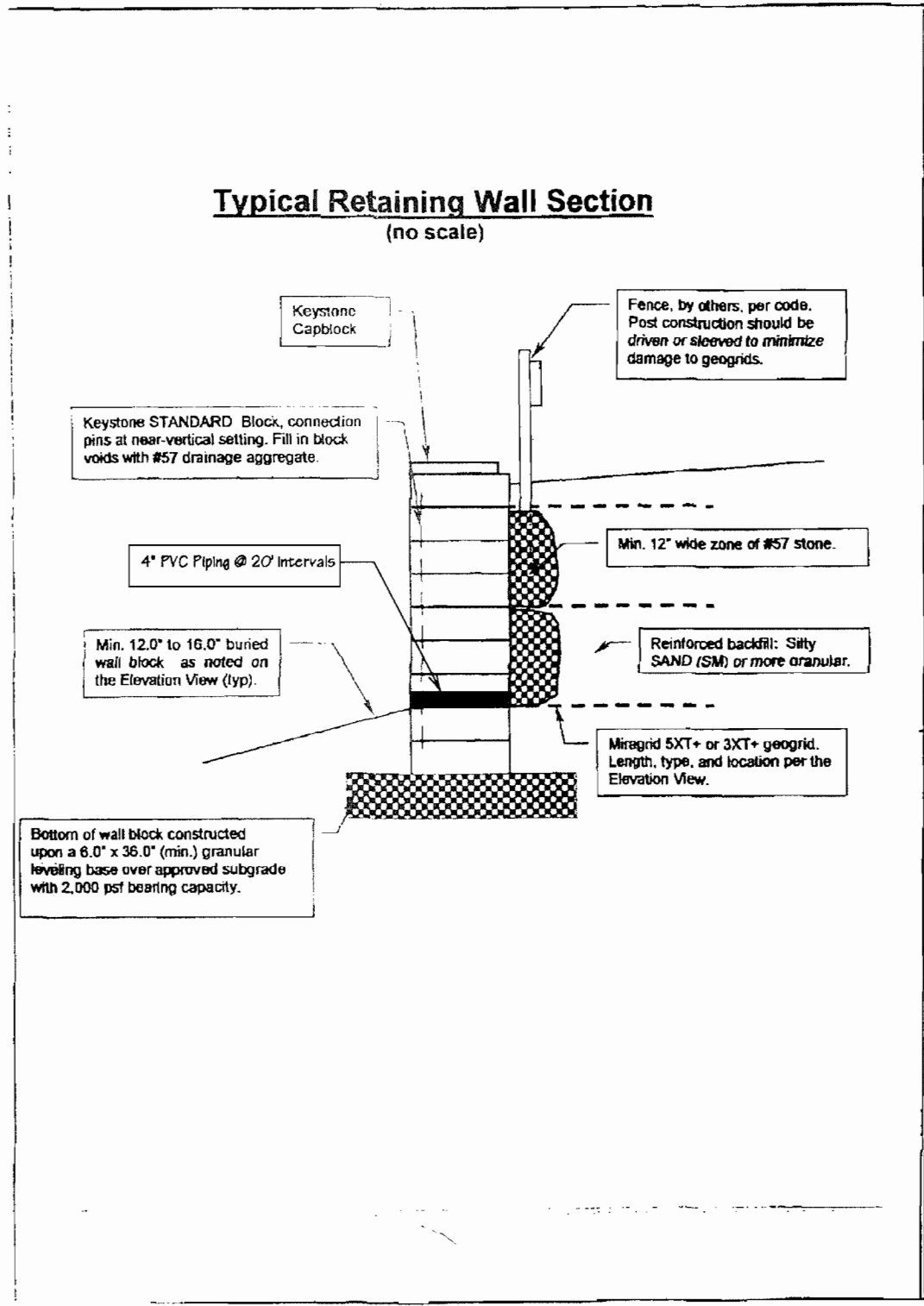
Developer *Edward St. John* Date 2/16/01

Name Edward St. John

Details
TROY HILL CORPORATE CENTER
PARCEL A-24
7184, 7020, 7180 & 7024 TROY HILL DRIVE

Howard County, Maryland
Scale: As Shown

January 16, 2001
Sheet 14 of 15

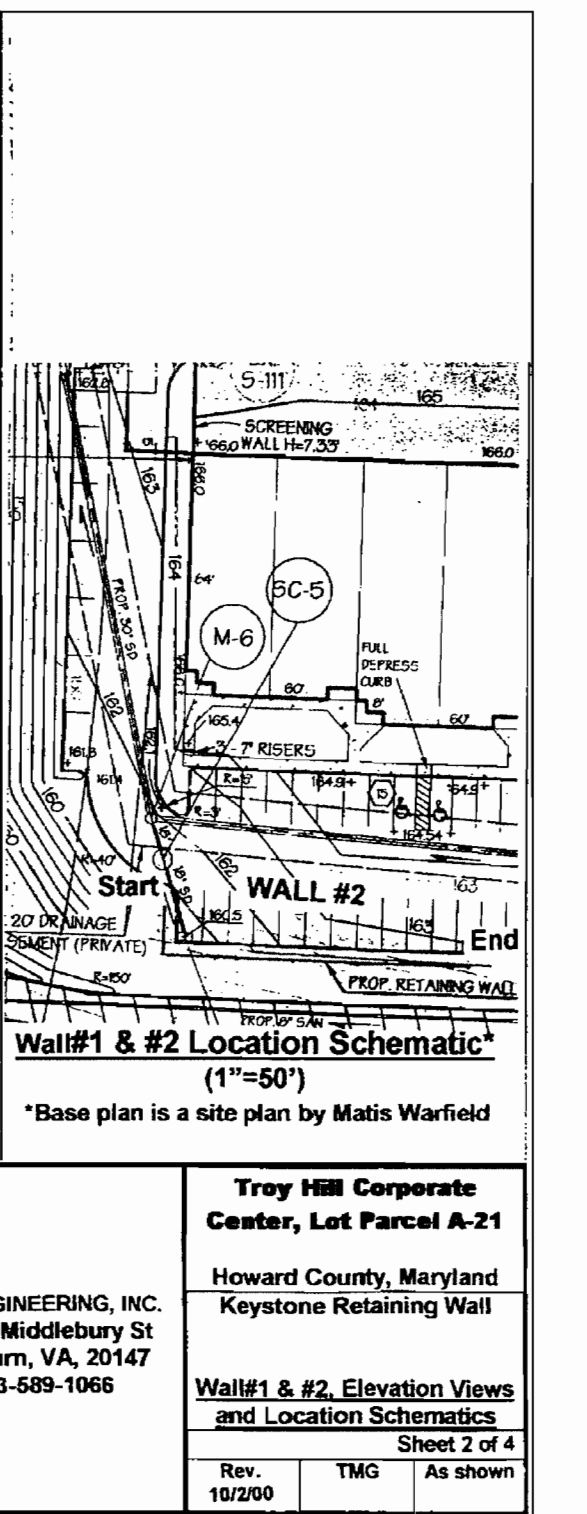
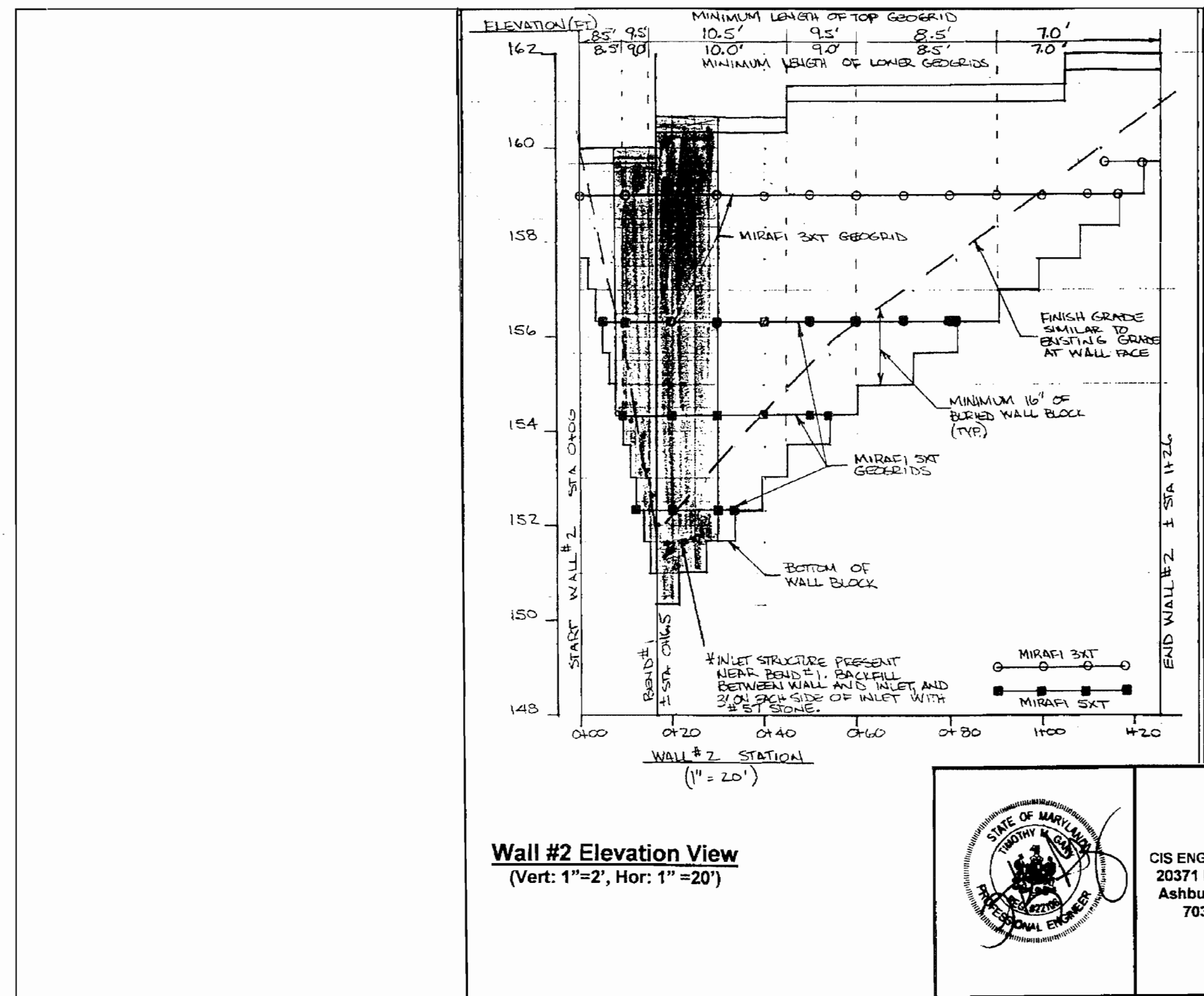


Troy Hill Corporate Center, Lot Parcel A-21
 Howard County, Maryland
 Keystone Retaining Wall

CIS ENGINEERING, INC.
 20371 Middlebury St
 Ashburn, VA, 20147
 703-589-1066

Sheet 1 of 4

Rev.	TMG	No Scale
10/200		

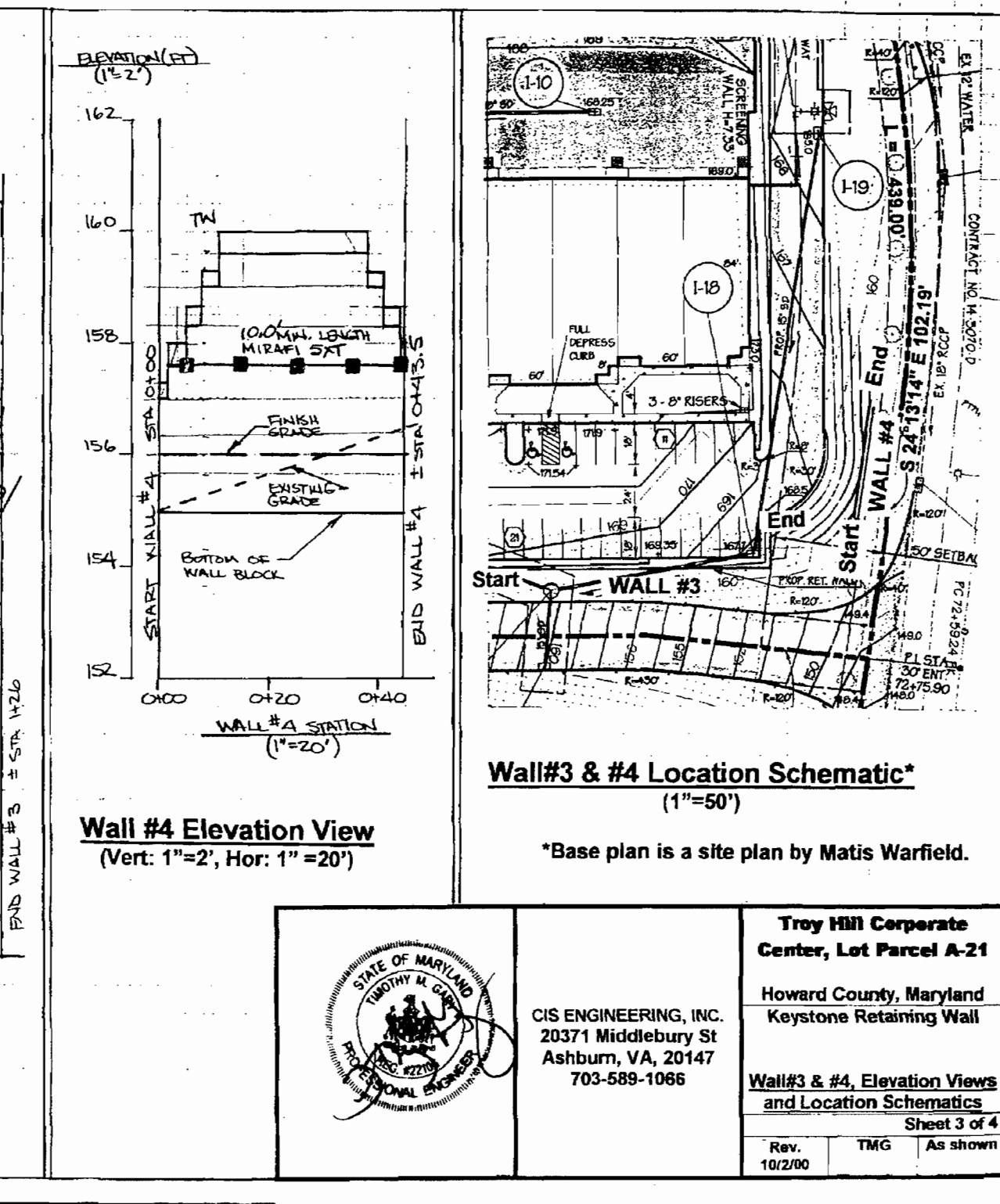
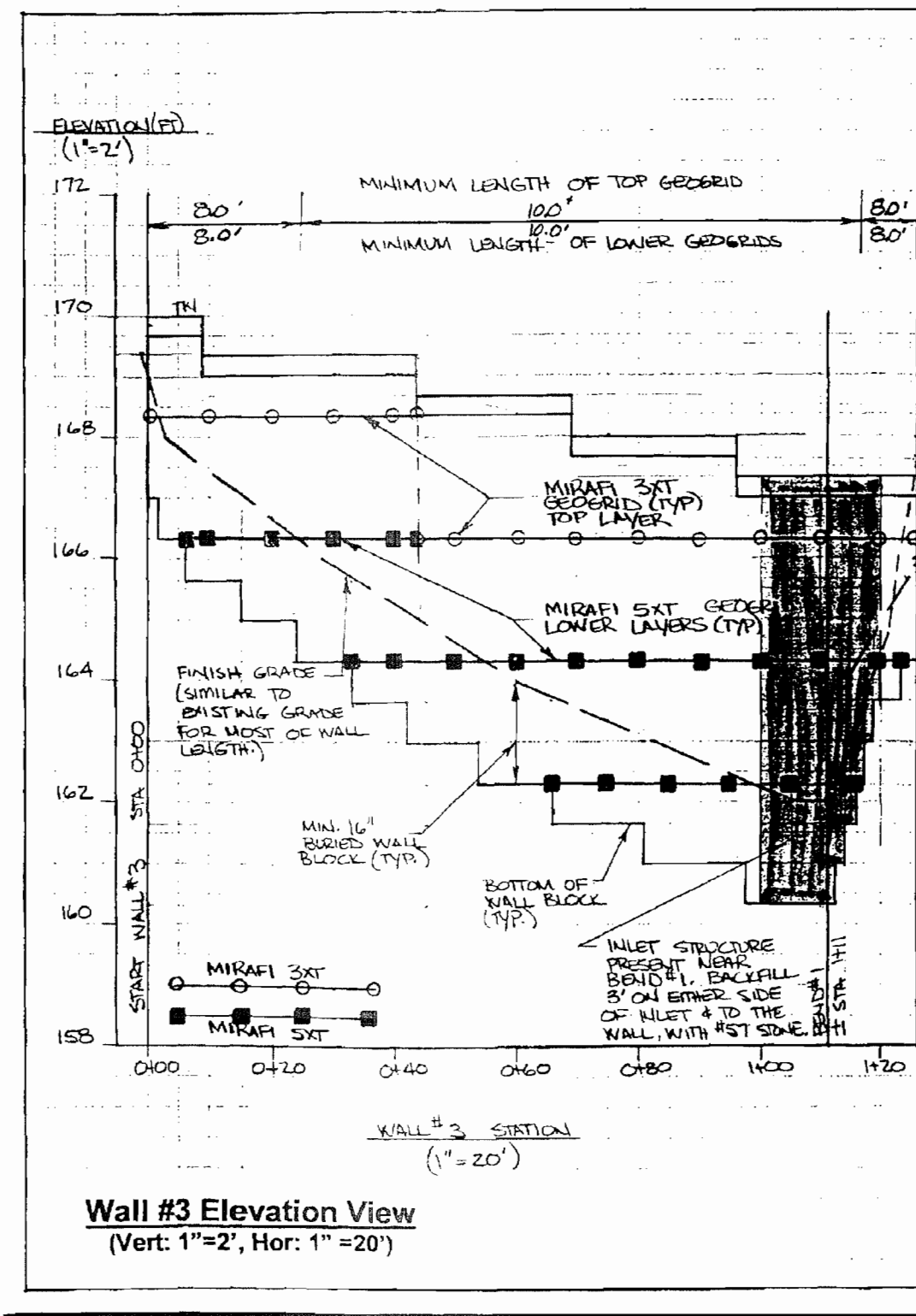


Troy Hill Corporate Center, Lot Parcel A-21
 Howard County, Maryland
 Keystone Retaining Wall

CIS ENGINEERING, INC.
 20371 Middlebury St
 Ashburn, VA, 20147
 703-589-1066

Sheet 2 of 4

Rev.	TMG	As shown
10/200		



Troy Hill Corporate Center, Lot Parcel A-21
 Howard County, Maryland
 Keystone Retaining Wall

CIS ENGINEERING, INC.
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Sheet 3 of 4

Rev.	TMG	As shown
10/200		

Part A1: General

A1.00 This plan and attached notes and specifications apply only to the construction of the four referenced Keystone retaining walls. Wall #1 will be located near the NW entrance to the site. Wall #2 will be located near the SW entrance to the site. Wall #3 will be located near the parking lot in the eastern corner of the site. Wall #4 will be located near Troy Hill Drive in the eastern corner of the site. No other geogrid or site-grade information is included or implied by this design.

A1.01 Based on the site plan, Wall #1 will be supported upon #57 stone. The filled soils should be compacted to at least 90% of the Standard Proctor maximum dry density for higher compaction if dictated by project requirements and verified by a geotechnical engineer.

A1.02 Description

A. Work includes furnishing and installing concrete modular block retaining wall units to the lines and grades shown on the construction drawings and as specified herein. Refer to the Site Plans for actual wall locations and grades.
 B. Work includes preparing foundation soil, hauling and installing leveling pad, and fill and backfill to the lines and grades shown on the construction drawings.
 C. Work includes furnishing and installing all related materials required for construction of the retaining wall as shown on the construction drawings.
 A1.03 Quality assurance
 A. Owner will be responsible for soil testing and inspection quality control during overbank operations.

Part A2: Products

A2.01 Concrete units
 A. Modular wall units shall be KEYSTONE® Standard Retaining Wall Units in accordance with ASTM C-90 and ASTM C-140.
 B. Fiberglass connecting pins
 A. Connecting pins shall be 1/2" fiberglass reinforcement rods supplied by the unit manufacturer, and shall have a minimum tensile strength of 120,000 psi and short beam shear of 6,400 psi.
 A2.02 KEYSTONE® Geogrid® construction adhesive
 A. Material shall conform to ASTM C-930 and shall be supplied by the KEYSTONE unit supplier.
 A2.03 Base leveling and pad material
 A. Material shall consist of compacted crushed stone or cementitious concrete as shown on the construction drawing.
 A2.04 Block Cell Fill (Cell-Fill)
 A. Fill for units shall be free draining crushed stone or gravel, 1/2" to 3/4", with no more than 5% passing the No. 50 sieve and conforming to ASTM D-448. Gravel of the fill shall be approved by the engineer. "Plus gravel" shall not be used.
 A2.05 Backfill
 A. Material may be site excavated soils when approved by the Engineer or otherwise specified in the design drawings. Suitable backfill materials will meet the following criteria:
 USCS SM or more granular
 Liquid Limit < 40
 Plasticity Index < 10
 Standard Proctor Maximum Dry Density > 110 pcf
 Internal Friction Angle (φ) > 20°
 Unavailable soils for backfill (silt, silty clay, organic soils, rock fragments larger than 4.75 diameter or materials not meeting the previously stated criteria) shall not be used in the backfill or in the reinforced soil mass unless approved by CIS Engineering, Inc.
 B. In the vicinity of the inlet structures 1+13 and 1+18 located near the bridge in Walls #2 and #3 respectively, the backfill should consist of open graded stone (#57 or #7). The stone backfill should extend to 3.0 ft (parallel to the wall face) on either side of the inlet structure. Stone backfill should be tamped in place.
 A2.07 Geogrid
 A. Structural Geogrid - a structural geogrid formed by a regular network of integrally connected tensile elements with apertures of sufficient size to allow interlocking with surrounding soil, rock, or earth and function primarily as reinforcement. The Structural Geogrid shall consist of Heavy SXT+ or SXT+ as noted on the plans unless otherwise approved by the geotechnical engineer.

Retaining Wall Design Information

Soil Unit Weight (γ)	120 pcf	Soil Cohesion (c)	0 pcf
Vertical Dead Load	50 pcf	Foundation Soil Bearing Capacity	3,000 pcf
Uniform Vertical Live Load	250 pcf	Average Internal Angle of Soil Friction (φ)	20°

External Stability	F.S. Sliding (min.) 1.5	F.S. Shear (min.) 1.5
	F.S. Overturning (min.) 2.0	F.S. Bending (min.) 1.5
	F.S. Bearing (min.) 2.5	

Global Stability	F.S. Circular Failure (min.) 1.15	Internal Stability	F.S. Uncertainty (min.) 1.5
			F.S. Pullout (min.) 1.5

Troy Hill Corporate Center, Lot Parcel A-21
 Howard County, Maryland
 Keystone Retaining Wall

CIS ENGINEERING, INC.
 20371 Middlebury St
 Ashburn, VA, 20147
 703-589-1066

Sheet 4 of 4

Rev.	TMG	No Scale
10/200		

NOTE:
 The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

Matis Warfield
 consulting engineers

10540 York Road Suite M
 Hunt Valley, Maryland 21030
 Phone 410-683-7004
 Fax 410-683-1798
 www.matiswarfield.com

ENGINEER CERTIFICATION:
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Engineer *NJB* Date 1/26/01
 Name Nicholas J. Brader, III PE # 18658

OWNER/DEVELOPER
Troy Hill Corporate Center Property LLC
 c/o MIE Development Co.
 5720 Executive Drive
 Baltimore, Maryland 21228
 (410) 788-0100

DEVELOPER CERTIFICATION:
 We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Developer *Edward St. John* Date 1/26/01
 Name Edward St. John

Retaining Wall Details
TROY HILL CORPORATE CENTER
 PARCEL A-24
 7184, 7020, 7180 & 7024 TROY HILL DRIVE

Howard County, Maryland
 Scale: As Shown

January 16, 2001
 Sheet 15 of 15

Reviewed for the Howard Conservation District and meets technical requirements.

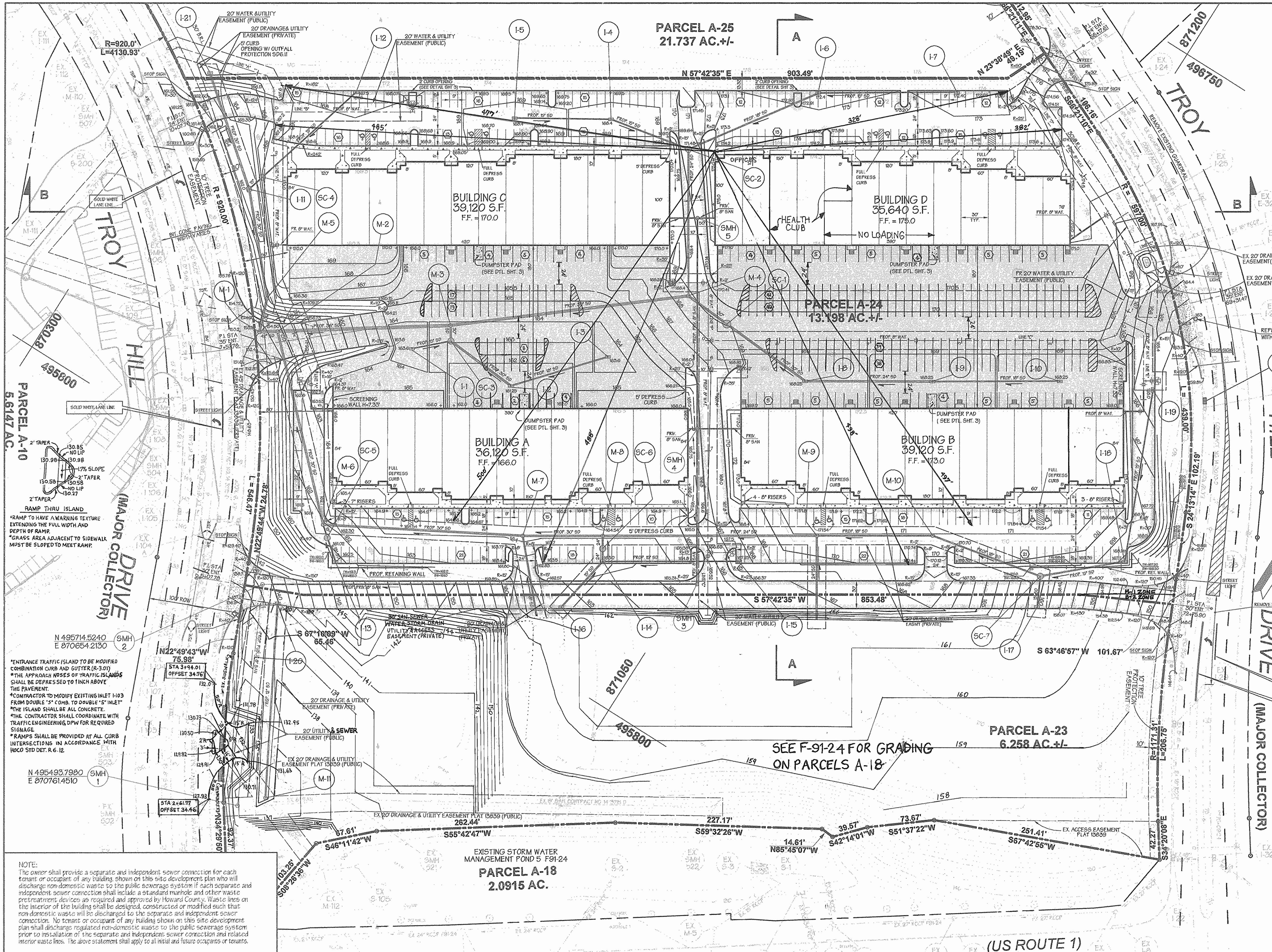
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE *2/20/01*

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: Department of Planning and Zoning

CHIEF DEVELOPMENT ENGINEERING DIVISION *ce* DATE *2/20/01*
 DIVISION OF LAND DEVELOPMENT, CHIEF *HB* DATE *2/20/01*
 DIRECTOR *James S. Brader* DATE *2/20/01*



LEGEND

PROPERTY LINE	---
EXISTING CONTOUR
PROPOSED CONTOUR
EX. STORM DRAIN	---
PROP. STORM DRAIN	---
EX. SANITARY	---
PROP. SANITARY (PUBLIC)	---
PROP. SANITARY (PRIVATE)	---
EX. WATER & F.H.	---
PROP. WATER (PUBLIC)	---
PROP. WATER (PRIVATE)	---
EX. CONC. C&G	---
PROP. C&G	---
EX. CONC. C&G	---
PROP. CONC. C&G	---
CONCRETE APRON DETAIL R-610	---
CONC. SIDEWALK	---
PARKING SPACES	---

1/5/96 REVISION #6 REVISED SITE PLAN TO REFLECT ADDITIONAL PARKING STRIPS IN REAR LOADING AREA REMOVED CHURCH AND RETAIL USES
 BY: MATIS WARFIELD, INC.
 10540 YORK ROAD, SUITE M
 HUNT VALLEY, MD 21030
 410-683-7004

7/12/93 REVISION #5 - REVISED SITE PLAN TO REFLECT ENTRANCE ONTO PARCEL A-23 FROM TROY HILL DRIVE.
 BY: MATIS WARFIELD, INC.
 10540 YORK ROAD, SUITE M
 HUNT VALLEY, MD 21030
 410-683-7004

3/21/93 REVISION #4 REVISED MASS GRADING CONTOURS PARCEL A-23 REMOVED NOTATION TO SEE F-11-24 FOR GRADING ON PARCEL A-23
 BY: MATIS WARFIELD, INC.
 10540 YORK ROAD, SUITE M
 HUNT VALLEY, MD 21030
 410-683-7004

2/28/92 REVISION #3 REVISED SITE PLAN TO REFLECT LOCATION OF HEALTH CLUB TENANT
 BY: MATIS WARFIELD, INC.
 10540 YORK ROAD, SUITE M
 HUNT VALLEY, MD 21030
 410-683-7004

11/04/02 REVISION #2 REVISED SITE PLAN TO REFLECT LOCATION OF CHURCH AND 500' RADIUS FOR PARKING CALCULATIONS. ADDED NOTATION TO SEE F-11-24 FOR GRADING ON PARCELS A-23 & A-18
 BY: MATIS WARFIELD, INC.
 10540 YORK ROAD, SUITE M
 HUNT VALLEY, MD 21030
 410-683-7004

5/06/02 REVISION #1 MASS GRADING CONTOURS
 BY: MATIS WARFIELD, INC.
 10540 YORK ROAD, SUITE M
 HUNT VALLEY, MD 21030
 410-683-7004

NOTES:
 ** THE DEVELOPER OF PARCEL A-24 WILL MAKE ALL ROAD IMPROVEMENTS TO TROY HILL DRIVE IN ACCORDANCE WITH THE APPROVED REDLINE OF F-93-169, SUBMITTED ON NOVEMBER 30, 2000.
 ** STREET LIGHTS TO BE 150 WATT HPS, GALVANIZED POLE WITH 6" ARM.
 ** PRIVATE WATER METERS ARE LOCATED INSIDE BUILDINGS.

Reviewed for the Howard Conservation District and meets technical requirements.
Jim M. Guza 2/15/01
 USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE
 This development plan is approved for soil erosion and sediment control by the Howard Conservation District.
John L. Klotter 2/15/01
 APPROVED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: Department of Planning and Zoning
Chris Hambley 2/16/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION CE DATE
James P. Smith 2/21/01
 DIVISION OF LAND DEVELOPMENT, CHIEF HS DATE
James P. Smith 2/21/01
 DIRECTOR DATE

NOTE:
 The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include: a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

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ENGINEER CERTIFICATION:
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Engineer *Nicholas J. Brader, III* Date 1/20/01
 Name Nicholas J. Brader, III PE # 12558

OWNER/DEVELOPER
Troy Hill Corporate Center
 Property LLC
 c/o MIE Development Co.
 5720 Executive Drive
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DEVELOPER CERTIFICATION:
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 Developer *Edward St. John* Date 2/21/01
 Name Edward St. John

Site Plan
TROY HILL CORPORATE CENTER
 PARCEL A-24
 7184, 7020, 7180 & 7024 TROY HILL DRIVE
 Howard County, Maryland
 Scale: 1"=50'
 January 16, 2001
 Sheet 2 of 15

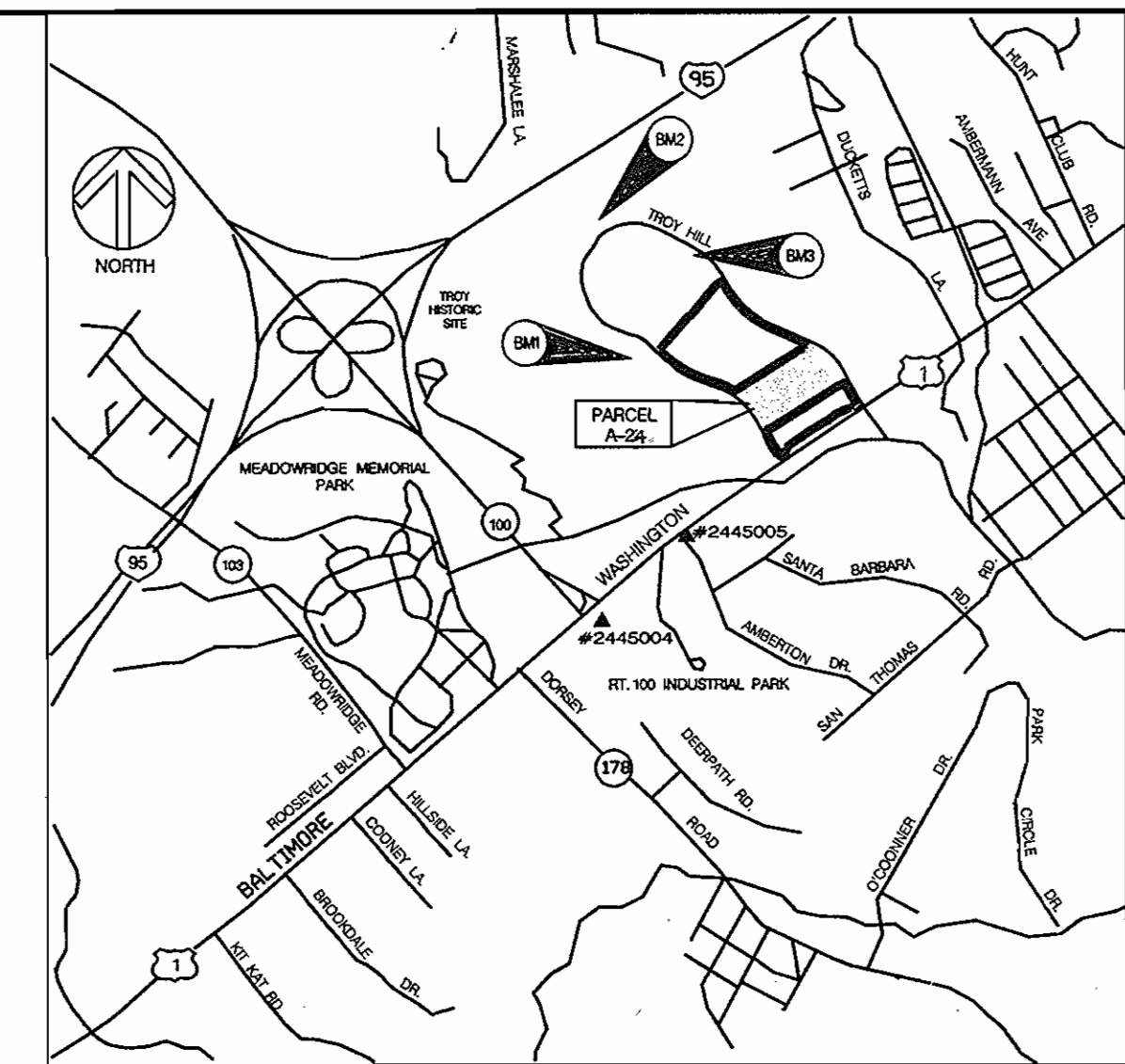
Troy Hill Corporate Center

Parcel A-24 SDP 01-37

1st Election District

Howard County, Maryland

Tax Map No. 37



VICINITY MAP

SCALE: 1" = 2000'

(COORDINATES BASED ON N.A.D. 27 AS PROJECTED BY HOWARD COUNTY GEOMETRIC CONTROL STATIONS #2445004 AND #2445005.)

General Notes

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE OR AS SPECIFIED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE BASED SOLELY ON AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES WHICH MAY BE IMPACTED BY THE WORK. MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE, AND SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST FIVE (5) HOURS IN ADVANCE OF COMMENCEMENT OF WORK. ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING PUBLIC RIGHT-OF-WAY, EXISTING PAVING, EXISTING CURB AND GUTTER, EXISTING UTILITIES, ETC. SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH MAXIMUM OF 2' CONTOUR INTERVALS PREPARED BY SURVEY SERVICES, JUNE 2000.
- PUBLIC WATER AND SEWER PROVIDED BY CONTRACT NUMBER 14-3925D.
- ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE THE MAXIMUM DRY DENSITY AS DETERMINED AND VERIFIED IN ACCORDANCE WITH ASTM D-1557, OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.
- REGIONAL STORMWATER MANAGEMENT PROVIDED IN PRIVATELY MAINTAINED EXTENDED DETENTION POND LOCATED ON PARCEL A-8 OWNED BY TROY HILL BUSINESS PARK MGMT ASSOC., APPROVED PER SDP 98-149. WATER QUALITY PROVIDED BY STORMCEPTORS.
- THERE ARE NO WETLANDS, FLOODPLAIN, OR STREAMS ON THIS SITE.
- OPERATING EXISTING VALVES, SWITCHES, SERVICES OR START UP OF NEW SERVICES SHALL BE COORDINATED WITH THE OWNERS REPRESENTATIVE. THE BUILDING WILL BE PROVIDED WITH A SPRINKLER SYSTEM.
- TRENCH COMPACTION FOR STORM DRAINS WITHIN THE ROAD OR STREET RIGHT OF WAY LIMITS SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL IV, STD. NO. G-2-2(1).
- UNLESS OTHERWISE NOTED, DIMENSIONS FROM CURB ARE MEASURED FROM FACE.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL WATER, SEWER AND DRAIN HOUSE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- THE CONTRACTOR SHALL MAINTAIN 2.0 FEET MINIMUM PROTECTIVE COVER OVER ALL UTILITIES DURING CONSTRUCTION.
- THERE ARE NO KNOWN CEMETARIES OR BURIAL GROUNDS ON THIS SITE. HOWEVER, UPON DISCOVERY OF ANY EVIDENCE OF BURIAL OR GRAVES, THE DEVELOPER WILL BE SUBJECT TO SECTION 16.1205 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ALL SLOPES 3:1 OR GREATER EXCEPT THOSE ASSOCIATED WITH LANDSCAPE BERMING, SHALL BE MONITORED DURING PLACEMENT BY THE PROJECT GEOTECHNICAL ENGINEER.
- PAVING MARKINGS TO BE 'TRAFFIC WHITE'.
- CONTRACTOR SHALL MAINTAIN A MINIMUM 2 FOOT BENCH BEHIND CURB AND GUTTER IN FILL AREAS.
- ALL FIRE LINE PIPING SHALL MEET THE REQUIREMENTS OF THE NFPA PIPE SHALL BE UL LISTED, FM APPROVED AND MEET THE AWWA STANDARDS FOR FIRE PROTECTION USE. FITTINGS SHALL HAVE PRESSURE CLASS RATINGS COMPATIBLE WITH THE PIPE USED.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER OVER THE PRIVATE WATER MAIN SHOWN HEREON UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE ALL CRIMPS OR VERTICAL BENDS NECESSARY TO MAINTAIN CLEARANCES WITH OTHER UTILITIES.
- THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING OR STRUCTURES ARE TO BE REMOVED, PRIOR TO PLACING A BID ON THOSE ITEMS. THE CONTRACTOR SHALL CLEAR THE CONSTRUCTION AREA OF ALL EXISTING TREES, PAVING, STRUCTURES, ETC., UNLESS NOTED ON PLAN.
- THIS SUBJECT PROPERTY IS ZONED B-2, per 10/14/19 Comp. Zoning Plan, and M-1 per 2/1/19 M.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$47,550.00.
- THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE THE SITE RECEIVED PRELIMINARY APPROVAL AUGUST 9, 1991 (P90-23) SEE SECTION 16.1202 (b)(1)(v).
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. HOWARD COUNTY CONTROL STATIONS NOS. 2445004 AND 2445005 WERE USED FOR THIS PROJECT.
- ALL EXTERIOR LIGHTING SHALL COMPLY WITH ZONING REGULATIONS SECTION 134.
- NO CHANGE-IN-USE IS PERMITTED FROM THE LISTED USES AND AREA ASSIGNED TO EACH USE UNLESS SUFFICIENT PARKING IS PROVIDED AND DELINEATED ON THE PLAN.
- THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT (410) 313-1800.
- FOR WORK ZONE TRAFFIC CONTROL NOTES SEE STANDARD NO. MD-10-01
- ALL EXISTING PAVEMENT MARKINGS THAT ARE IN CONFLICT WITH PROPOSED PAVEMENT MARKINGS SHALL BE REMOVED BY GREENS.
- A Declaration of Easement for the 30' ingress and egress and shared parking easement was recorded in the Land Records of Howard County at L. 5329, F. 521.
- Any on-site day care facility must comply with all applicable state requirements, prior to issuance of a Use & Occupancy permit.

Site Analysis Data Chart

1. GENERAL SITE DATA	
CURRENT PLAT REFERENCE	14617-14619
PRESENT ZONING	M-1 and B-2.
APPLICABLE DPZ FILE REFERENCES:	SDP-98-149, SDP-98-113, SDP-98-143, SDP-98-169, SDP-98-103, F98169, F98103, P-90-23, GP-98-121, F-01-77.
PROPOSED USE:	OFFICE/WAREHOUSE HYBRID, HEALTH CLUB, ASSEMBLY/REC USE
NO. OF OCCUPANTS:	NA
PROPOSED WATER:	PUBLIC
PROPOSED SEWER:	PRIVATE ONSITE LINE TIES TO PUBLIC SYSTEM
WATER AND SEWER CONTRACT NUMBER:	14-3925-D (SDP-01-19)
2. AREA TABULATION	
TOTAL PROJECT AREA:	13.198 ACRES/574903.92 SF
TOTAL DISTURBED AREA:	15.90 AC
FLOOR AREA RATIO:	150,000 SF GROSS FLOOR AREA/13.198 ACRES = 0.26
BUILDING COVERAGE TO SITE:	150,000 SF GROUND FLOOR AREA (3.44 acres)/13.198 ACRES = 26% of gross area
BUILDING HEIGHTS:	19'
3. OPEN SPACE DATA: NA	
4. PARKING SPACE DATA	
PARKING REQUIRED:	
130,518 S.F. HYBRID INDUSTRIAL/OFFICE SPACE @ 2.5 P.S./1000 S.F.	= 326
3,556 S.F. OFFICE @ 3.3 P.S./1000 S.F.	= 12
7,500 S.F. HEALTH CLUB @ 10.0 P.S./1000 S.F.	= 75
8,426 S.F. ASSEMBLY/REC USE @ 10.0 P.S./1000 S.F.	= 84
TOTAL REQUIRED:	= 497
TOTAL PROVIDED:	= 641
PARKING PROVIDED:	
TOTAL INCLUDES:	
STANDARD SPACES @ 9' X 18'	= 625
STANDARD HANDICAP SPACES @ 21' X 18' TWO SIDE BY SIDE	= 8
VAN ACCESSIBLE HANDICAP SPACES @ 24' X 18' TWO SIDE BY SIDE	= 8
	= 641

SHEET INDEX	
NO.	SHEET TITLE
1	COVER SHEET
2	SITE PLAN
3	NOTES AND DETAILS
4	DETAILS
5	DRAINAGE AREA MAP
6	STORMCEPTOR DETAILS
7	STORM DRAIN PROFILES
8	STORM DRAIN PROFILES
9	PRIVATE UTILITY PROFILES
10	SEDIMENT CONTROL PLAN
11	SEDIMENT CONTROL NOTES & DETAILS
12	SEDIMENT CONTROL DETAILS
13	LANDSCAPE PLAN
14	LANDSCAPE DETAILS AND NOTES
15	RETAINING WALL DETAILS

9/10/06 REVISION #6 ADDED ASSEMBLY TO PROPOSED USES. REVISED PARKING CALCULATIONS TO REFLECT CURRENT USAGE. BY: MATIS WARFIELD INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

9/21/03 REVISION #5 REVISED SITE PLAN TO REFLECT ENTRANCE ONTO PARCEL A-23 FROM TROY HILL DRIVE. BY: MATIS WARFIELD INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

3/21/03 REVISION #4 REVISED MASS GRADING CONTOURS PARCEL A-23. REMOVED NOTATION TO SEE F-9-24 FOR GRADING ON PARCEL A-23. BY: MATIS WARFIELD INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

2/28/03 REVISION #3 ADDED HEALTH CLUB TO PROPOSED USES. REVISED PARKING CALCULATIONS TO REFLECT HEALTH CLUB TENANT. BY: MATIS WARFIELD INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

11/04/02 REVISION #2 MADE ADDITIONS TO PROPOSED USES. REVISED PARKING CALCULATIONS TO REFLECT CHURCH TENANT. BY: MATIS WARFIELD INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

5/10/02 REVISION #1 MASS GRADING CONTOURS. BY: MATIS WARFIELD INC. 10540 YORK ROAD, SUITE M HUNT VALLEY, MD 21030 410-683-7004

Reviewed for the Howard Conservation District and meets technical requirements.

John Mauer 2/15/01
SQA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
John Mauer 2/15/01
APPROVED: HOWARD SOIL CONSERVATION DISTRICT

APPROVED: Department of Planning and Zoning

Chris Kramarz 2/26/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

David Rutter 2/21/01
DIVISION OF LAND DEVELOPMENT, CHIEF DATE

David Rutter 2/21/01
DIRECTOR DATE

ADDRESS CHART					
BUILDING NO.	STREET ADDRESS				
A	7184 Troy Hill Drive				
B	7020 Troy Hill Drive				
C	7180 Troy Hill Drive				
D	7024 Troy Hill Drive				
SUBDIVISION NAME	SECTION NAME	PARCEL #			
Troy Hill Corporate Center	N/A	A-24			
PLAT #	BLOCK #	ZONE	TAX MAP	ELECT. DIST.	CENSUS TRACT
14617-14619	18	M-1	B-2	37	6012
WATER CODE	SEWER CODE				
A03	2152200				

NOTE:
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Matis Warfield
consulting engineers
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Hunt Valley, Maryland 21030
Phone 410-683-7004
Facsimile 410-683-1798
www.matiswarfield.com



ENGINEER CERTIFICATION:
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Engineer *Nicholas J. Brader, III* Date 1/26/01
Name Nicholas J. Brader, III PE # 19558

OWNER/DEVELOPER
Troy Hill Corporate Center
Property LLC
c/o MIE Development Co.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

DEVELOPER CERTIFICATION:
We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Developer *Edward St. John* Date 2/9/2001
Name Edward St. John

Site Plan
TROY HILL CORPORATE CENTER
PARCEL A-24
7184, 7020, 7180 & 7024 TROY HILL DRIVE
Howard County, Maryland January 16, 2001
Scale: As Shown Sheet 1 of 15
SDP 01-37 P.N. 200000