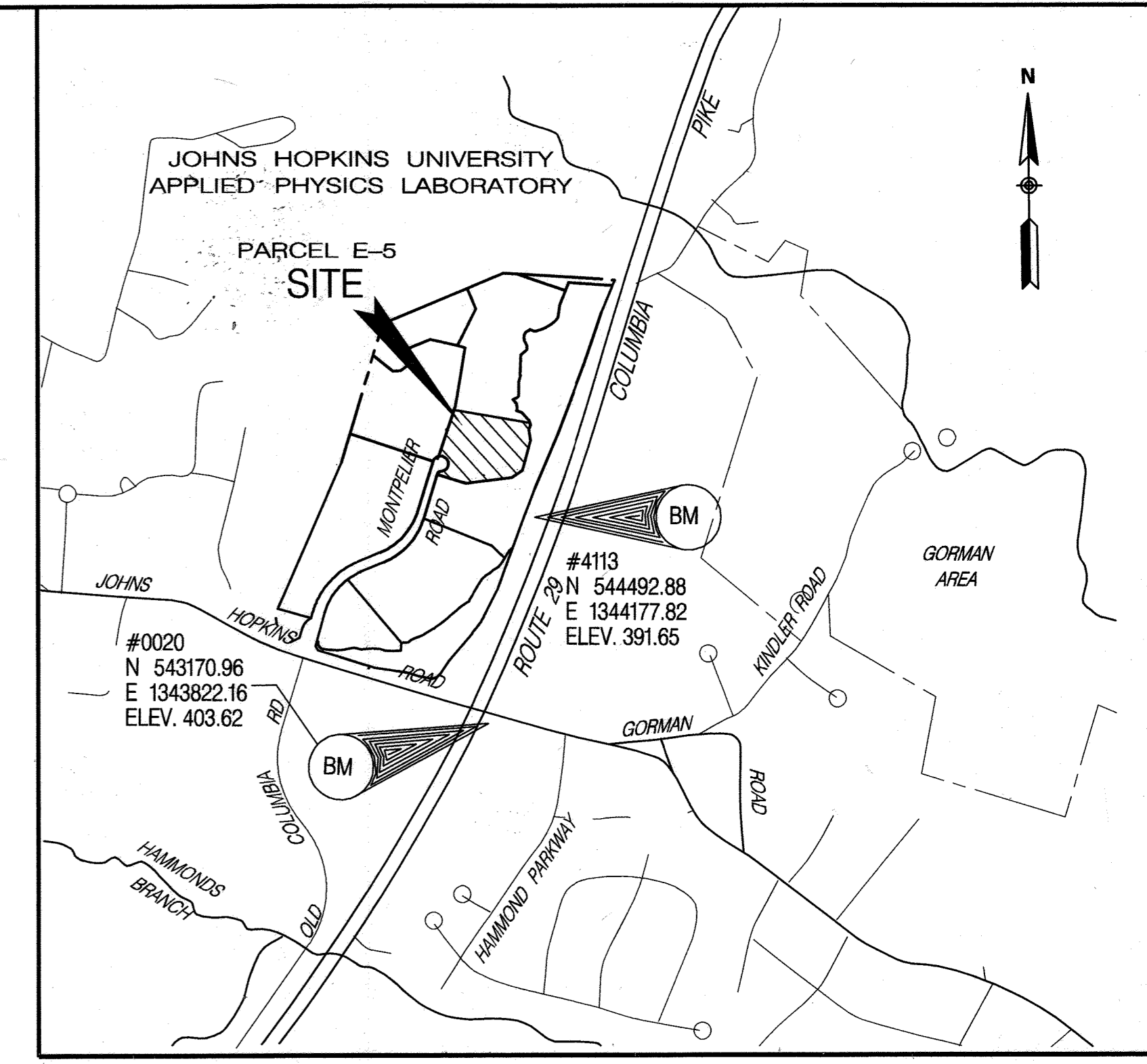


General Notes

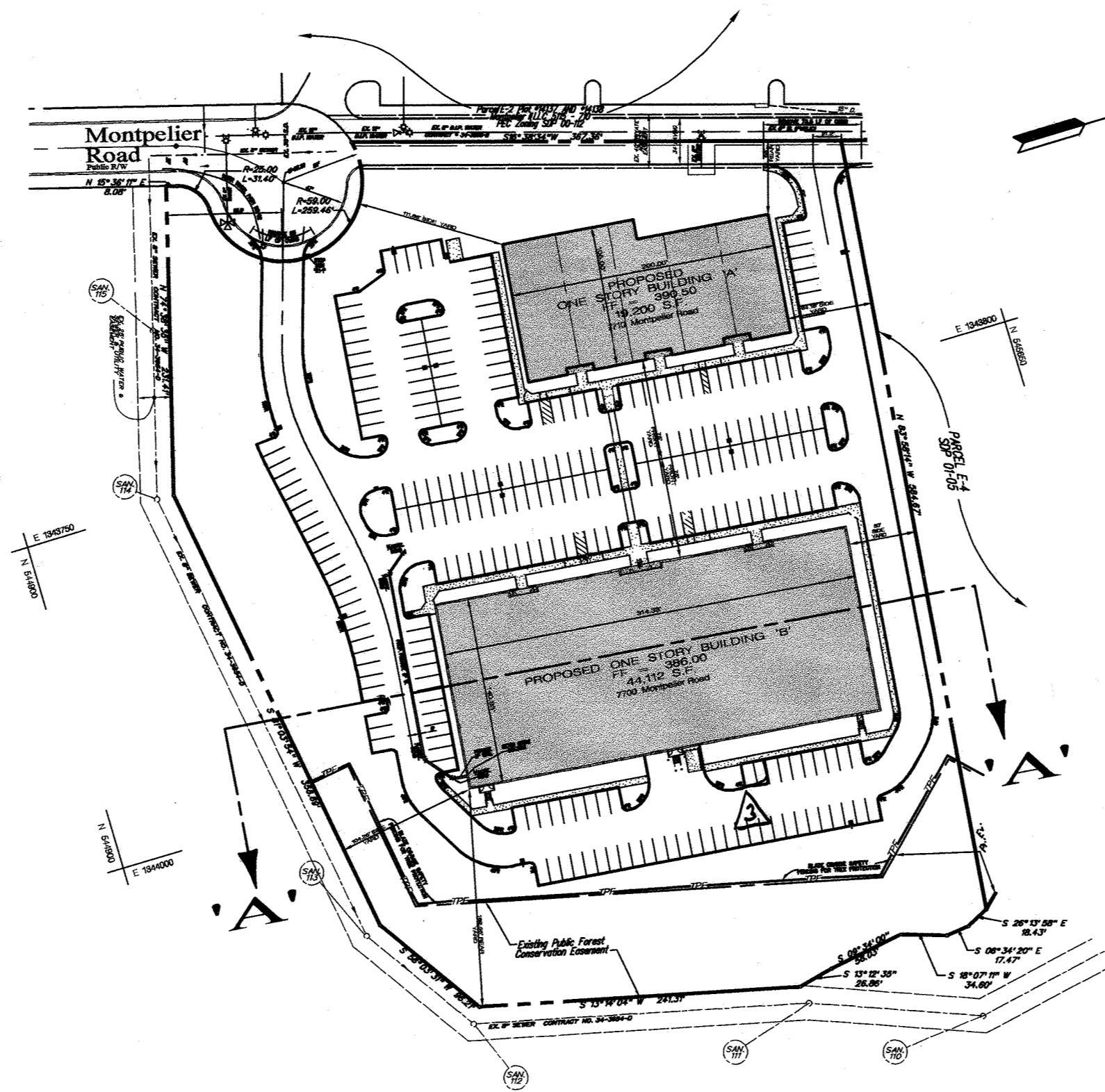
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE OR AS SPECIFIED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE BASED SOLELY ON AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES WHICH MAY BE IMPACTED BY THE WORK. MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTORS OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE, AND SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 319-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK. ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING PUBLIC RIGHT-OF-WAY, EXISTING PAVING, EXISTING CURB AND GUTTER, EXISTING UTILITIES, ETC. SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH MAXIMUM OF 2' CONTOUR INTERVALS PREPARED BY DUVAL & ASSOCIATES, P.A. DATED MAY 2000.
- PUBLIC WATER AND SEWER PROVIDED BY CONTRACT NUMBER 34-3654-D AND 30-3789-D.
- THE SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING ANALYSIS FOR THIS PROJECT WAS MADE BY HILLIS CARNES, INC. IN JUNE 2000.
- ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE THE MAXIMUM DRY DENSITY AS DETERMINED AND VERIFIED IN ACCORDANCE WITH ASHTO T-99, OR AS SPECIFIED BY GEOTECHNICAL ENGINEER
- REGIONAL STORMWATER MANAGEMENT AND WATER QUALITY ARE PROVIDED IN A WETLAND POND SYSTEM LOCATED ON PARCEL G1, APPROVED PER SDP 99-92.
- FOREST CONSERVATION REQUIREMENTS ARE PROVIDED PER SDP 98-11, F98-45, SDP 99-92, F 99-191.
- THERE ARE NO WETLANDS, FLOODPLAIN, OR STREAMS ON THIS SITE.
- OPERATING EXISTING VALVES, SWITCHES, SERVICES OR START UP OF NEW SERVICES SHALL BE COORDINATED WITH THE OWNERS REPRESENTATIVE. THE BUILDING WILL BE PROVIDED WITH A SPRINKLER SYSTEM.
- TRENCH COMPACTION FOR STORM DRAINS WITHIN THE ROAD OR STREET RIGHT OF WAY LIMITS SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL IV, STD. NO. G-2.01.
- UNLESS OTHERWISE NOTED, DIMENSIONS FROM CURB ARE MEASURED FROM FACE.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL WATER, SEWER, AND DRAIN HOUSE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- THE CONTRACTOR SHALL MAINTAIN 2.0 FEET MINIMUM PROTECTIVE COVER OVER ALL UTILITIES DURING CONSTRUCTION.
- THERE ARE NO KNOWN CEMETARIES OR BURIAL GROUNDS ON THIS SITE. HOWEVER, UPON DISCOVERY OF ANY EVIDENCE OF BURIAL OR GRAVES, THE DEVELOPER WILL BE SUBJECT TO SECTION 16.1305 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOP REGULATIONS.
- ALL SLOPES 3:1 OR GREATER, EXCEPT THOSE ASSOCIATED WITH LANDSCAPE BERMING, SHALL BE MONITORED DURING PLACEMENT BY THE PROJECT GEOTECHNICAL ENGINEER
- PAVING MARKINGS TO BE "TRAFFIC WHITE"
- CONTRACTOR SHALL MAINTAIN A MINIMUM 2 FOOT BENCH BEHIND CURB AND GUTTER IN FILL AREAS.
- ALL FIRE LINE PIPING SHALL MEET THE REQUIREMENTS OF THE NFPA PIPE SHALL BE UL LISTED, FM APPROVED AND MEET THE AWWA STANDARDS FOR FIRE PROTECTION USE. FITTINGS SHALL HAVE PRESSURE CLASS RATINGS COMPATIBLE WITH WITH THE PIPE USED.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER OVER THE PRIVATE WATER MAIN SHOWN HEREON UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE ALL CRIMPS OR VERTICAL BENDS NECESSARY TO MAINTAIN CLEARANCES WITH OTHER UTILITIES.
- THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING OR STRUCTURES ARE TO BE REMOVED, PRIOR TO PLACING A BID ON THOSE ITEMS. THE CONTRACTOR SHALL CLEAR THE CONSTRUCTION AREA OF ALL EXISTING TREES, PAVING, STRUCTURES, ETC., UNLESS NOTED ON PLAN.
- THE SUBJECT PROPERTY IS ZONED PEC PER 10-18-83 COMPREHENSIVE ZONING PLAN.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS AND FOREST CONSERVATION EASEMENT AREAS.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$ 29,530.00
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY VIRTUE OF BEING THE SUBJECT OF AN APPROVED FOREST CONSERVATION PLAN AS PART OF THE APPROVED SUBDIVISION FOR MONTEPELIER RESEARCH PARK.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES(MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM, HOWARD COUNTY MONUMENT NOS. 0020 AND 4113 WERE USED FOR THIS PROJECT.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY LEE CUNNINGHAM AND ASSOCIATES, DATED DECEMBER 1997, AND WAS MOST RECENTLY APPROVED JULY 6, 2000. SEE SUBSEQUENT LETTER DATED AUGUST 7, 2000 FROM LEE CUNNINGHAM TO "DEPARTMENT OF PLANNING AND ZONING" CONFIRMING TRIP GENERATION FOR THIS PARTICULAR PROJECT.
- ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 134, ZONING REGULATIONS.

Site Development Plans for Parcel E-5 Proposed Offices for The Johns Hopkins University Applied Physics Laboratory Montpelier Research Park Howard County, Maryland



Location Map
SCALE: 1" = 1,000'

COORDINATES AND BEARING ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS: NAD 83. ELEVATIONS SHOWN HEREON ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM-NVD 29 AND ARE BASED ON THE FOLLOWING HOWARD COUNTY SURVEY CONTROL STATIONS: (TRANSLATED METERS TO FEET)
#4113-CONCRETE MONUMENT, 4' WEST OF TOP OF BANK OFF SOUTH BOUND MARYLAND ROUTE 29 AT SURFACE.
#0020-STANDARD MBOS SURVEY DISC SET ON CONCRETE MONUMENT, FLUSH WITH THE GROUND.



Proposed Layout
Scale 1" = 100'

Site Analysis Data Chart

1. GENERAL SITE DATA	14411 + 14412
CURRENT PLAT REFERENCE	14411 + 14412
PRESENT ZONING	PEC
APPLICABLE DPZ FILE REFERENCES	BA 96-31E, PB 190, VP 86-64, WP 91-93, ZB 802 & 767, S 86-47, FDP #1, SDP 88-197, SDP 89-88, F 98-45, SDP 99-92, F 99-191, SDP 99-11, F 00-49, WP 97-21 AND WP 98-37
PROPOSED USE	GENERAL OFFICE - 2-ONE STORY OFFICE BUILDINGS(BLDG'A-44,112 SF, BLDG'B-19,500 SF)
NO. OF OCCUPANTS	210 EMPLOYEES MAXIMUM
PROPOSED WATER	PUBLIC
PROPOSED SEWER	PRIVATE ONSITE LINE TIES TO PUBLIC SYSTEM
WATER AND SEWER CONTRACT NUMBER	34-3903-D
2. AREA TABULATION	
TOTAL PROJECT AREA	7.096 ACRES
AREA OF THIS PLAN SUBMISSION	7.096 ACRES
TOTAL DISTURBED AREA	6.5 ACRES
FLOOR AREA RATIO	63,312 SF GROSS FLOOR AREA = 0.21 7,096 ACRES
BUILDING COVERAGE TO SITE	63,312 SF GROUND FLOOR AREA (1.46 acres) = 21% of gross area 7,096 ACRES
3. OPEN SPACE DATA: NA OPEN SPACE PROVIDED AS PART OF APPROVED SUBDIVISION	
4. PARKING SPACE DATA	
PARKING REQUIRED: GENERAL OFFICE 63,312 sf	
@ 3.3 PARKING SPACES PER 1,000 SF	219 SPACES REQUIRED
PARKING PROVIDED	287 SPACES PROVIDED
TOTAL INCLUDES	
251 255 STANDARD SPACES @ 9' X 18'	
2 STANDARD HANDICAP SPACES @ 21' X 18' TWO SIDE BY SIDE	
6 VAN ACCESSIBLE HANDICAP SPACES @ 24' X 18' TWO SIDE BY SIDE	



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 49931, EXPIRATION DATE: 05/31/21

REVISION BY RKK
3/21/22 GENERATOR & PARKING REVISIONS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: 10/17/00
Chief, Land Development Division: 10/17/00
Director: 10/18/00

ADDRESS CHART	
Lot/Parcel No.	Street Address
BUILDING A	7710 Montpelier Road
BUILDING B	7700 Montpelier Road

PERMIT INFORMATION CHART					
Subdivision Name	Section /Area	Lot/Parcel No.			
Montpelier Research Park	E-5	E-5			
Plat or Subdivision	Grid #	Zoning	Tax Map No.	Election District	Census Tract
14411 + 14412	17	PEC	41	5th	6051.02
Water Code	Sewer Code				
E 21	6440000				

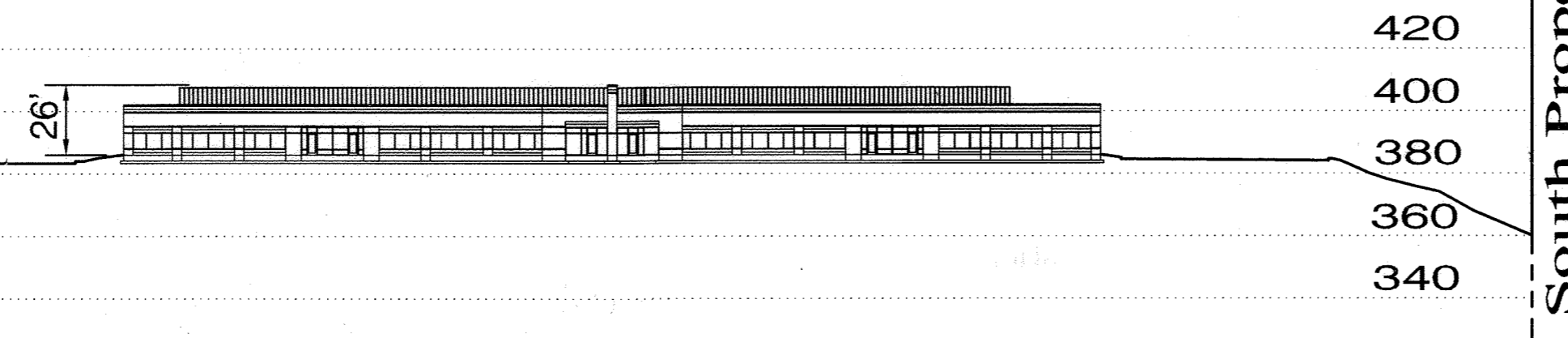
Cover Sheet
Proposed Offices for The Johns Hopkins University Applied Physics Laboratory
Parcel E-5
Montpelier Research Park

Howard County, Maryland
Scale: As Shown

Sheet 1 of 8
October 2, 2000
SDP 01-19

North Property Line

South Property Line



Section A-A through Site
Scale 1" = 50' Horz. & Vert.

Legal Owner (current):
Hopkins Road Limited Partnership
9030 Red Branch Road
Suite 200
Columbia, Maryland 21045
Phone 410-997-7222
Fax 410-997-6453

Developer and Contract Purchaser
MOR Montpelier LLC
c/o Manekin, Corp.
7061 Columbia Gateway Drive
Columbia, Maryland 21046
Ph. 1-800-347-2195
Fax 410-312-0666

SHEET INDEX	
NO.	SHEET TITLE
1	COVER SHEET
2	SITE PLAN- 30 SCALE
3	DRAINAGE AREA MAP, UTILITY PROFILES
4	DETAILS
5	STORM DRAIN PROFILES AND DETAILS
6	EROSION & SEDIMENT CONTROL PLAN
7	EROSION & SEDIMENT CONTROL DETAILS
8	LANDSCAPE PLAN

Matis Warfield
consulting engineers

10540 York Road, Suite M
hunt valley, maryland 21030
phone 410-988-1244
facsimile 410-683-1798
www.matiswarfield.com



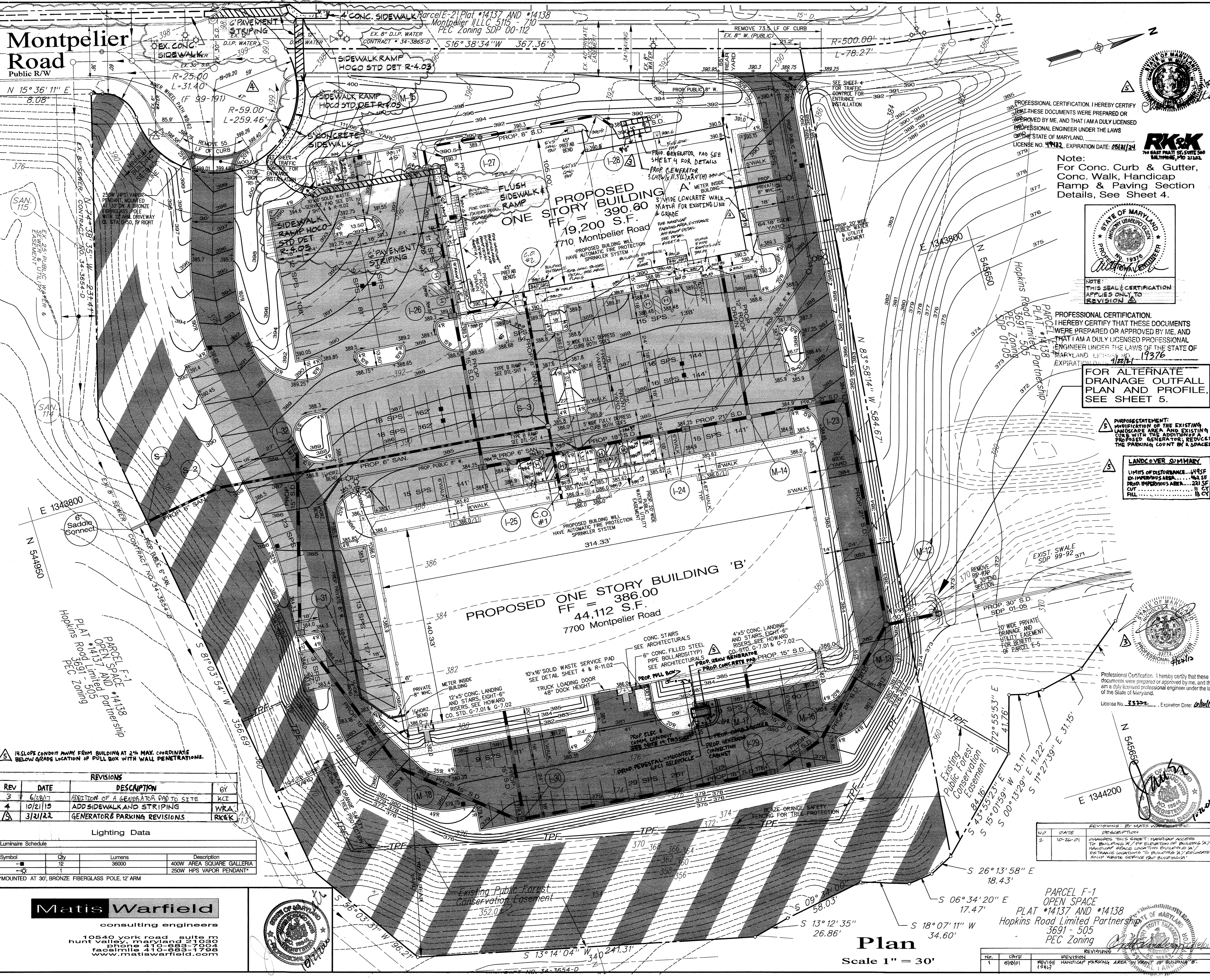
Montpelier Road
Public R/W

Legend

Existing Contours	
Proposed Grades	
Existing Water	
Proposed Private Water	
Proposed Public Water	
Existing Sanitary	
Proposed Private Sanitary	
Existing Storm Drain	
Proposed Private Storm Drain	
Existing Curb and Gutter	
Proposed Curb and Gutter	
Proposed Light Fixture	

Proposed Concrete Paving	
Handicap Parking Space	
Slopes > 25%	
P3 Paving	
P2 Paving	
P5 Paving	
Tree Protection Fencing	

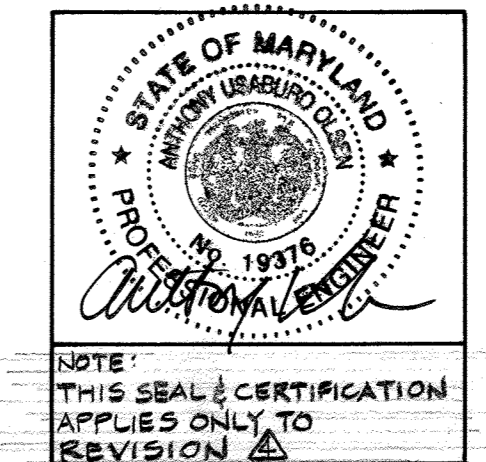
Legal Owner (current): Hopkins Road Limited Partnership
 Developer and Contract Purchaser: MOR Montpelier LLC
 9030 Red Branch Road
 Suite 200 Columbia Gateway Drive
 Columbia, Maryland 21046
 Phone 410-997-7222
 Fax 410-997-6453



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 41432, EXPIRATION DATE 05/31/21



Note: For Conc. Curb & Gutter, Conc. Walk, Handicap Ramp & Paving Section Details, See Sheet 4.



NOTE: THIS SEAL & CERTIFICATION APPLIES ONLY TO REVISION 1.

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 41105, EXPIRATION DATE 01/10/21

FOR ALTERNATE DRAINAGE OUTFALL PLAN AND PROFILE, SEE SHEET 5.

PROPOSED STATEMENT: IDENTIFICATION OF THE EXISTING LANDSCAPE AREA AND EXISTING CURB AND GUTTER WITH THE ADDITION OF A PROPOSED GENERATOR; REDUCES THE PARKING COUNT BY 5 SPACES.

LAND COVER SUMMARY
 LIMITS OF DISTURBANCE: 44,956 SQ. FT.
 EXISTING IMPERVIOUS AREA: 221 SQ. FT.
 PROPOSED IMPERVIOUS AREA: 221 SQ. FT.
 CUT: 11 CY
 FILL: 11 CY

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 James E. Matz, P.E. MD 18848
 Date: 10/2/2000

DEVELOPER'S CERTIFICATE
 I certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 R. Cole Schnorf, Senior V.P.
 Date: 10/2/2000

Reviewed for Howard SCD and meets Technical Requirements
 Chief, Natural Resources Conservation Service
 Date: 10/12/00

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
 Howard SCD
 Date: 10/12/00

APPROVED FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC (OR PRIVATE) SEWERAGE SYSTEMS:
 County Health Officer Howard County Health Department
 Date:

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Land Development Division
 Director
 Date: 10/17/00
 Date: 10/17/00
 Date: 10/18/00

ADDRESS CHART

Lot/Parcel No.	Street Address
BUILDING A	7710 Montpelier Road
BUILDING B	7700 Montpelier Road

PERMIT INFORMATION CHART

Subdivision Name	Section / Areal	Lot/Parcel No.
Montpelier Research Park		E-5

Plot	Grid #	Zoning	Tax Map No.	Election District	Census Tract
14137	17	PEC	41	5th	6051.02

Water Code	Sewer Code
E 21	6440000

Site Development Plan
 Proposed Offices for The Johns Hopkins University Applied Physics Laboratory
 Parcel E-5
 Montpelier Research Park
 Howard County, Maryland
 Scale: As Shown
 Sheet 2 of 8
 October 2, 2000
 SDP 01-19

US SLOPE CONDUIT AWAY FROM BUILDING AT 2% MAX. COORDINATE BELOW GRADE LOCATION IF POLL BOX WITH WALL PENETRATIONS.

REVISIONS

REV	DATE	DESCRIPTION	BY
3	6/28/17	ADDITION OF A GENERATOR PAD TO SITE	HCI
4	10/21/19	ADD SIDEWALK AND STRIPING	WRA
5	3/21/22	GENERATOR & PARKING REVISIONS	RK&K

Lighting Data

Luminaire Schedule	City	Lumens	Description
1	12	36000	400W AREA SQUARE GALLERIA
2	1		250W HPS VAPOR PENDANT

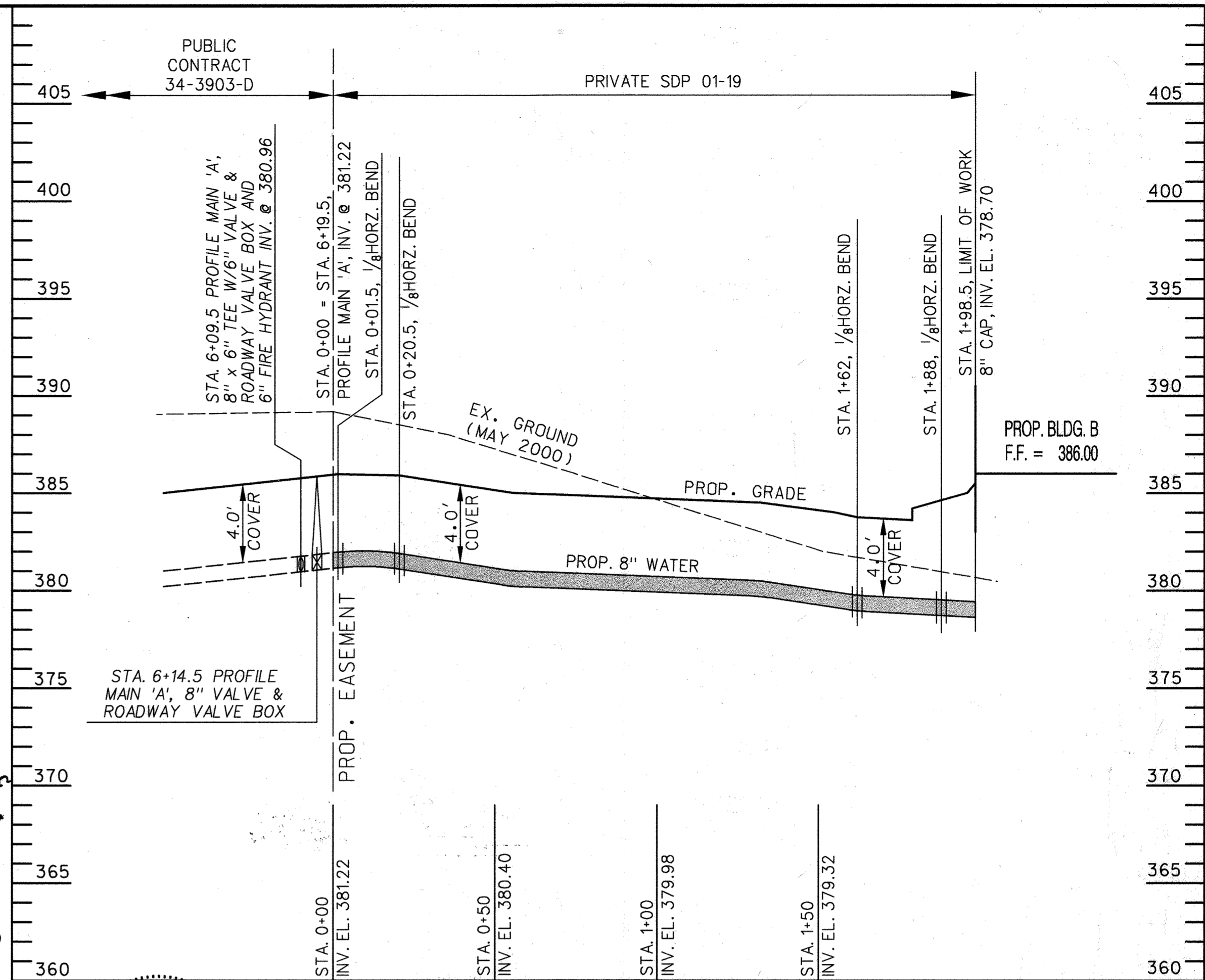
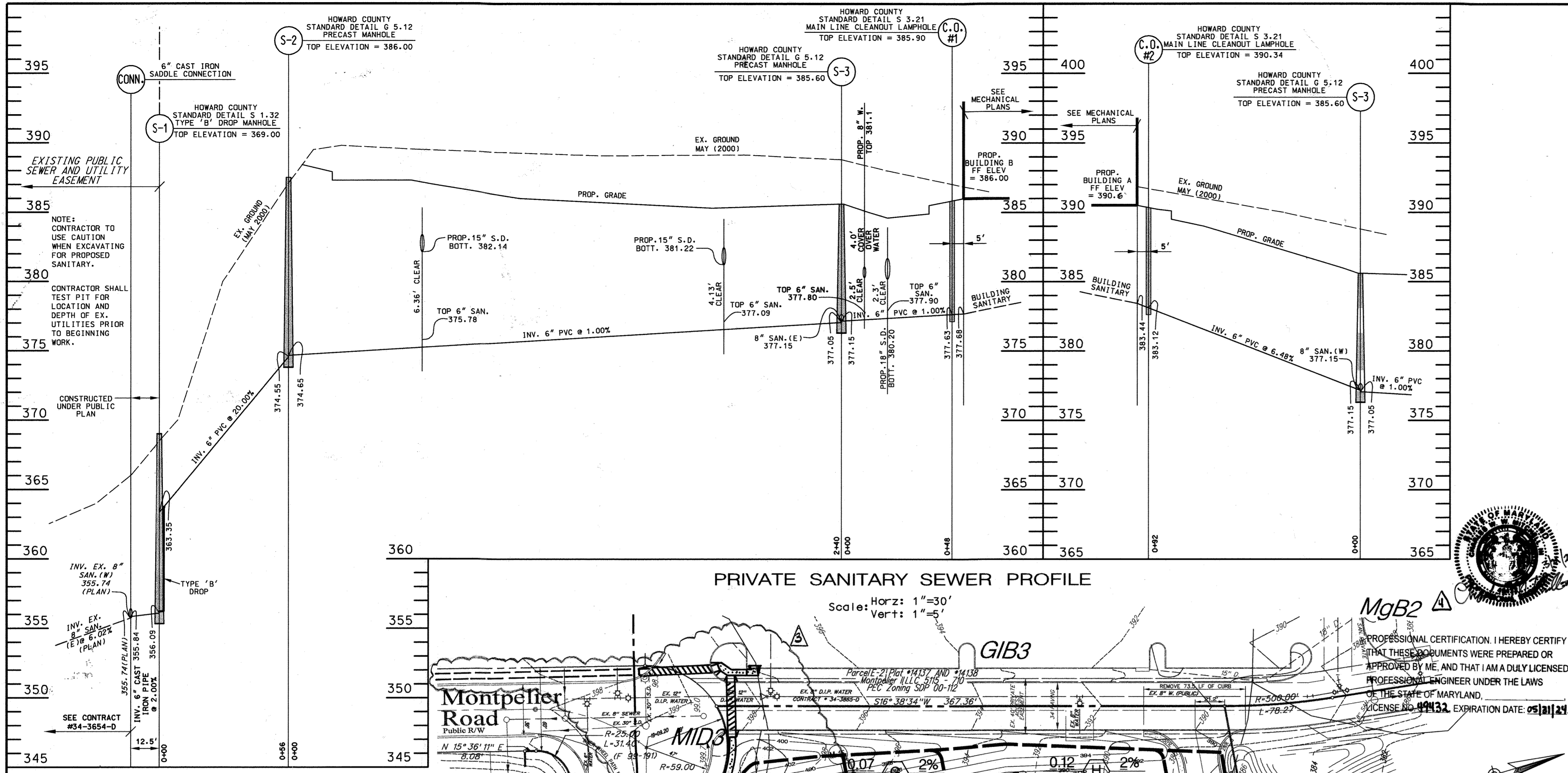
*MOUNTED AT 30', BRONZE FIBERGLASS POLE, 12' ARM

Matis Warfield
 consulting engineers
 10540 York Road, Suite M
 Hunt Valley, Maryland 21030
 Phone 410-993-1798
 Fax 410-993-1798
 www.matiswarfield.com



Plan
 Scale 1" = 30'

No.	DATE	REVISION
1	9/10/21	REVISE HANDICAP PARKING AREA TO FRONT OF BUILDING 'B'



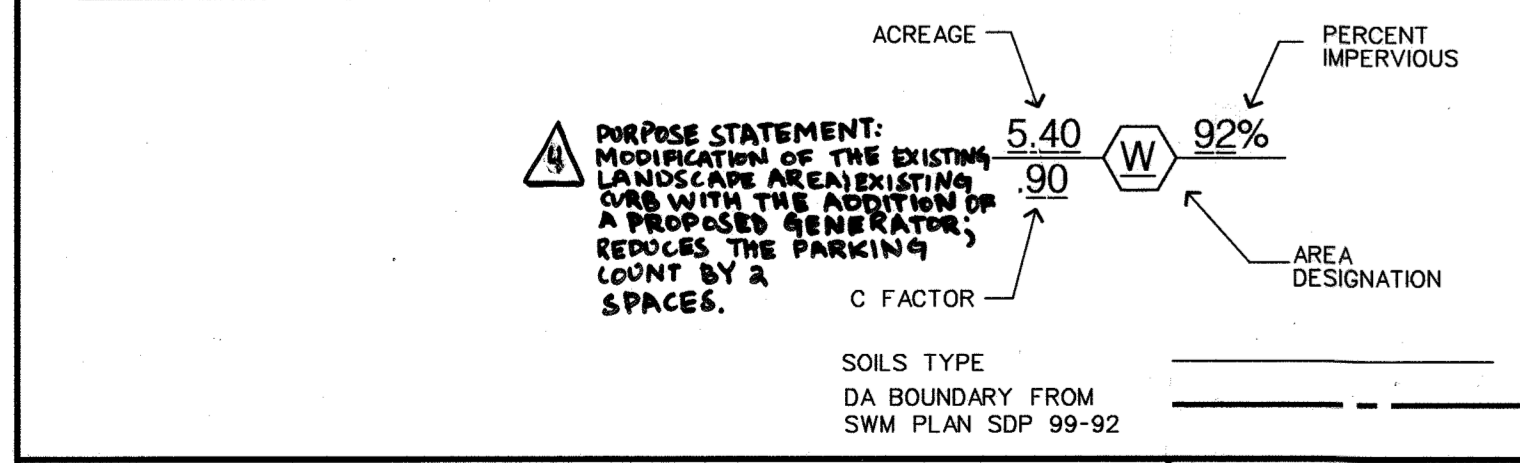
STORM DRAIN STRUCTURE SCHEDULE

NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-23	DBL. 'S' COMB.	378.27	378.07	385.30(TC)	STD. DTL. SD 4.34**
I-24	DBL. 'S'	379.77	379.52	384.25(TG)	STD. DTL. SD 4.23**
I-25	DBL. 'S'	381.00	380.75	384.25(TG)	STD. DTL. SD 4.23**
I-26	DBL. 'S' COMB.	383.28	382.83	389.60(TC)	STD. DTL. SD 4.34**
I-27	YARD INLET	384.77	384.60	389.70(TG)	STD. DTL. SD 4.14
I-28	YARD INLET	-	385.27	389.00(TG)	STD. DTL. SD 4.14
I-29	DBL. 'S' COMB.	373.54	373.29	379.00(TC)	STD. DTL. SD 4.34**
I-30	DBL. 'S' COMB.	375.23	374.98	379.00(TC)	STD. DTL. SD 4.34**
I-31	DBL. 'S' COMB.	380.03	379.83	384.60(TC)	STD. DTL. SD 4.34**
I-32	DBL. 'S' COMB.	-	382.67	388.40(TC)	STD. DTL. SD 4.34**
M-12	5' MANHOLE	367.98	367.78	373.50	STD. DTL. G 5.05
M-13	5' MANHOLE	371.08	370.58	382.15	STD. DTL. G 5.13
M-14	4' MANHOLE	379.18	378.98	384.65	STD. DTL. G 5.12
M-15	4' MANHOLE	384.39	384.22	390.70	STD. DTL. G 5.12
M-16	5' MANHOLE	372.60	372.35	379.70	STD. DTL. G 5.13
M-17	4' MANHOLE	376.25	376.05	381.00	STD. DTL. G 5.12
M-18	4' MANHOLE	376.60	376.40	381.05	STD. DTL. G 5.12
E-3	CONC END SECT	-	-	NA	STD. DTL. SD 5.51*

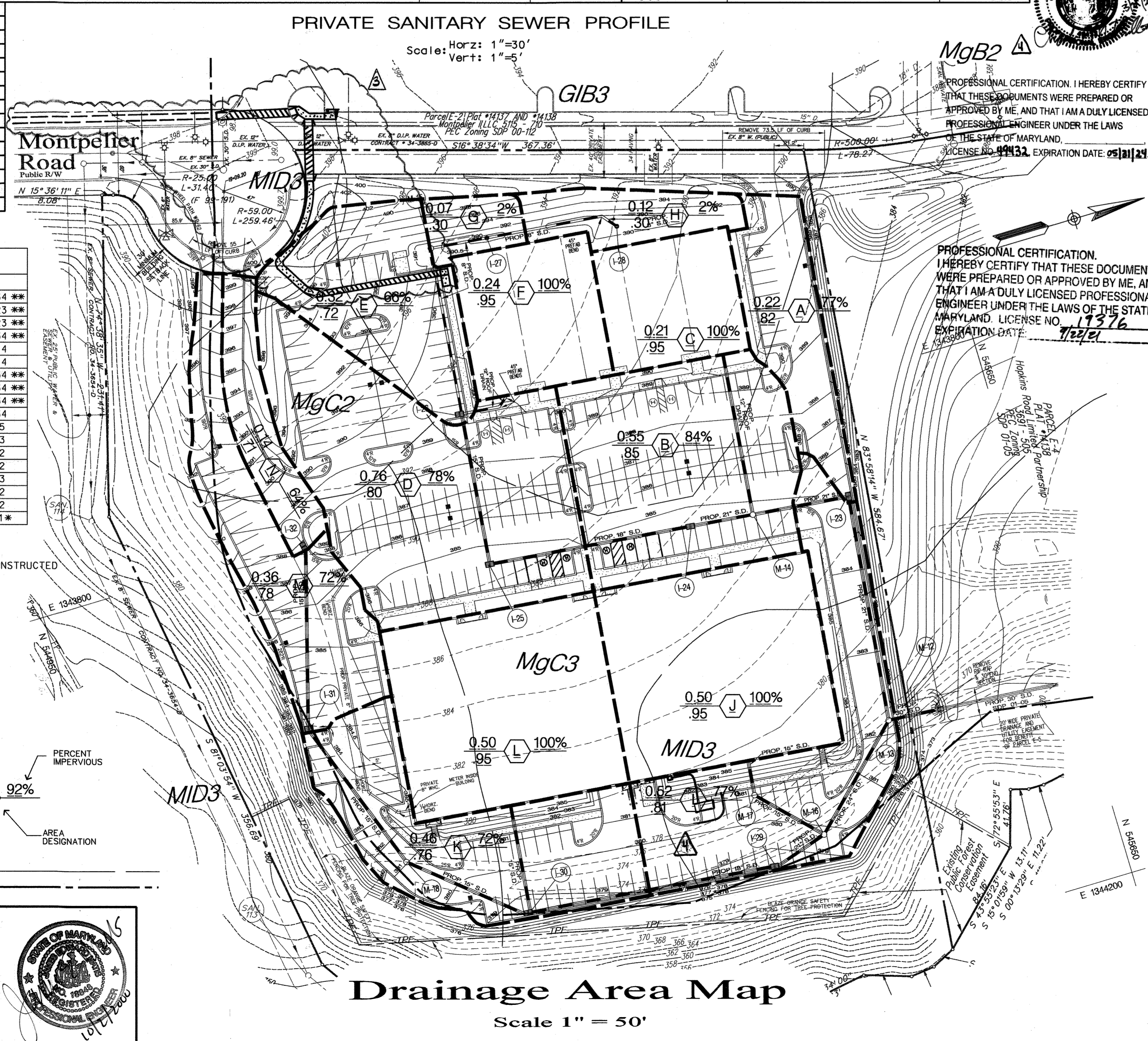
**MODIFIED, SEE DETAILS SHT. 5
 (TC)-TOP CURB
 (TG)-TOP GRATE
 *ONLY NECESSARY IF DRAIN SYSTEM ON PARCEL E-4 HAS NOT BEEN CONSTRUCTED

PIPE SCHEDULE

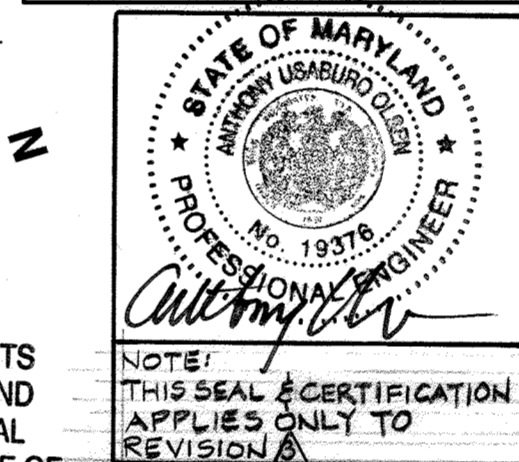
SIZE	TYPE	PIPE LENGTH-FEET
8"	HDPE	260
12"	HDPE	153
15"	RCCP CL IV	616
18"	RCCP CL IV	328
21"	RCCP CL III	322
24"	RCCP CL III	94
30"	RCCP CL III	38



Matis Warfield
 consulting engineers
 10540 York Road, Suite M
 Hunt Valley, Maryland 21086
 Phone 410-988-7904
 Facsimile 410-683-1798
 www.matiswarfield.com



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 17376 EXPIRATION DATE: 05/31/21



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 17376 EXPIRATION DATE: 10/21/19

PRIVATE WATER MAIN PROFILE
 Scale: Horz: 1"=30'
 Vert: 1"=5'

Legal Owner (current):
 Hopkins Road Limited Partnership
 9030 Red Branch Road
 Suite 200
 Columbia, Maryland 21045
 Phone 410-997-7222
 Fax 410-997-6453

Developer and Contract Purchaser:
 MOR Montpelier LLC
 c/o Manekin, Corp.
 7061 Columbia Gateway Drive
 Columbia, Maryland 21046
 Ph. 1-800-347-2195
 Fax 410-312-0666

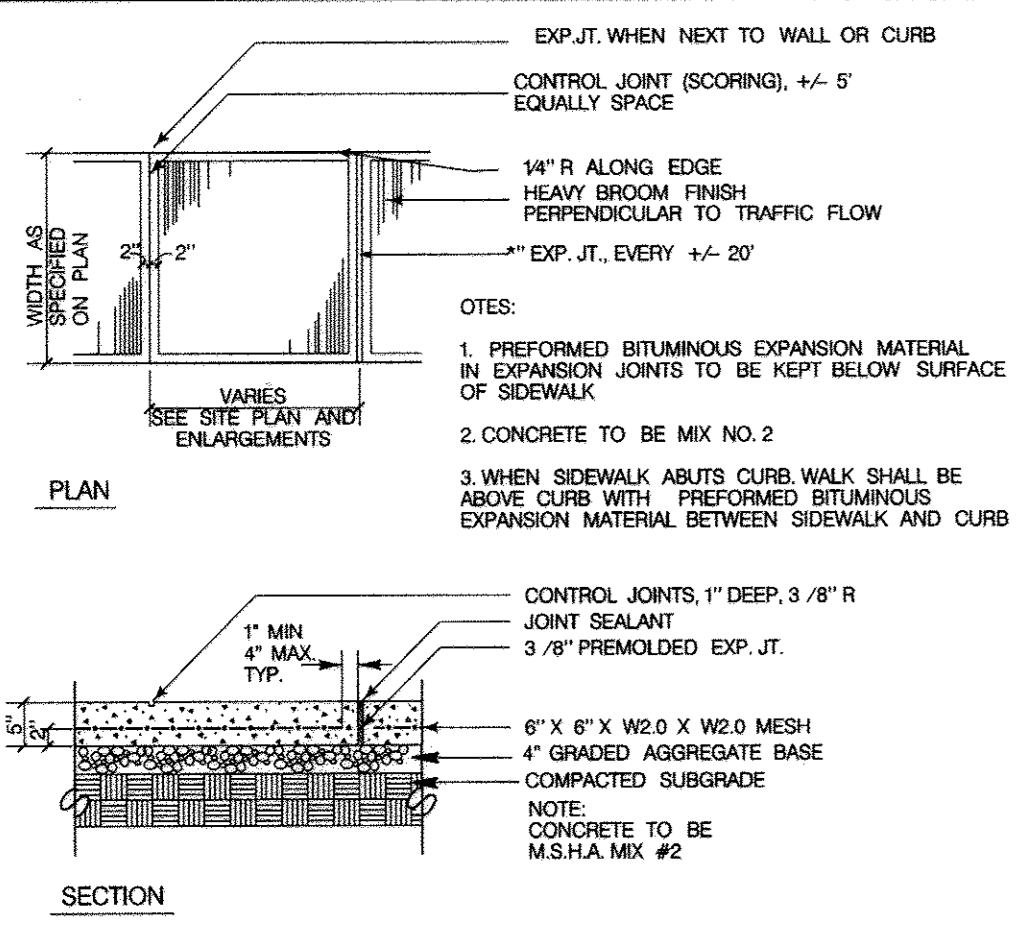
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

PERMIT INFORMATION CHART

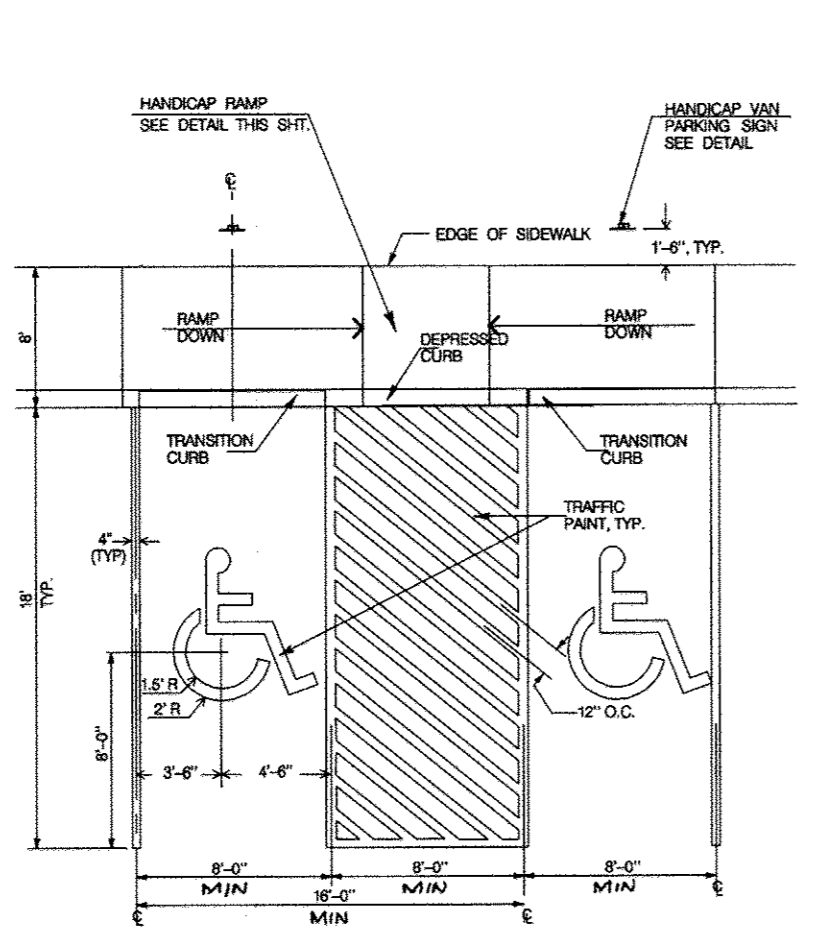
Subdivision Name	Section / Area	Lot / Parcel No.
Montpelier Research Park		E-5

Drainage Area Map Utility Profiles
 Proposed Offices for The Johns Hopkins University Applied Physics Laboratory
 Parcel E-5
 Montpelier Research Park

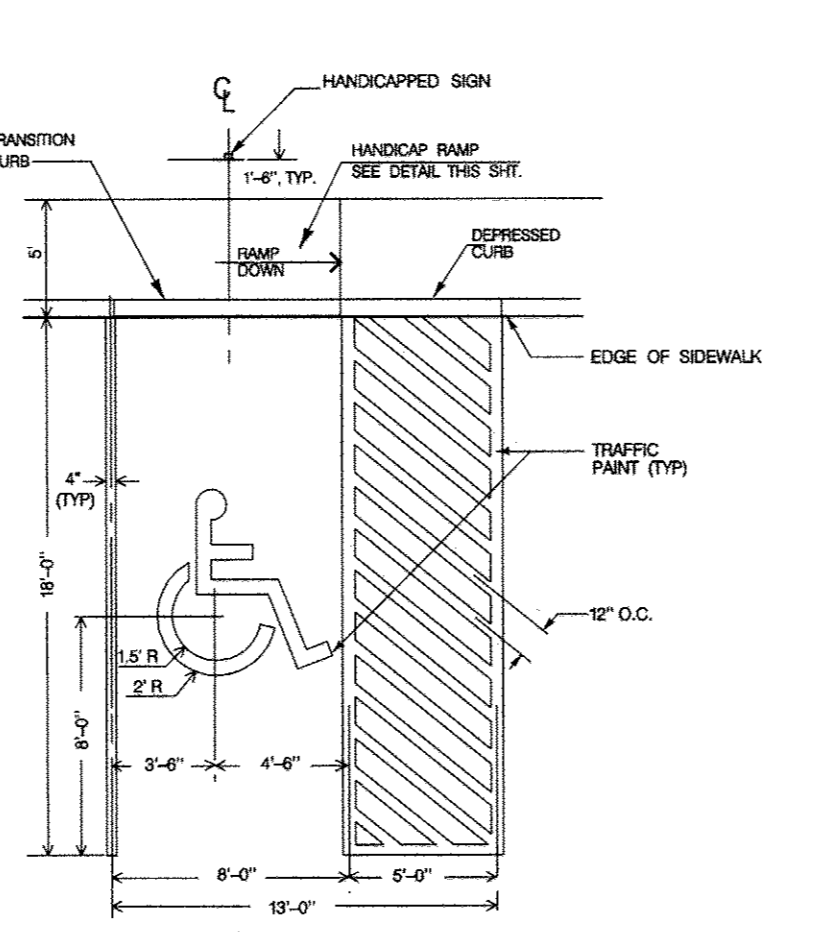
Howard County, Maryland
 Scale: As Shown
 Sheet 3 of 8
 October 2, 2000
 SDP 01-19



Detail Concrete Walk
Not To Scale



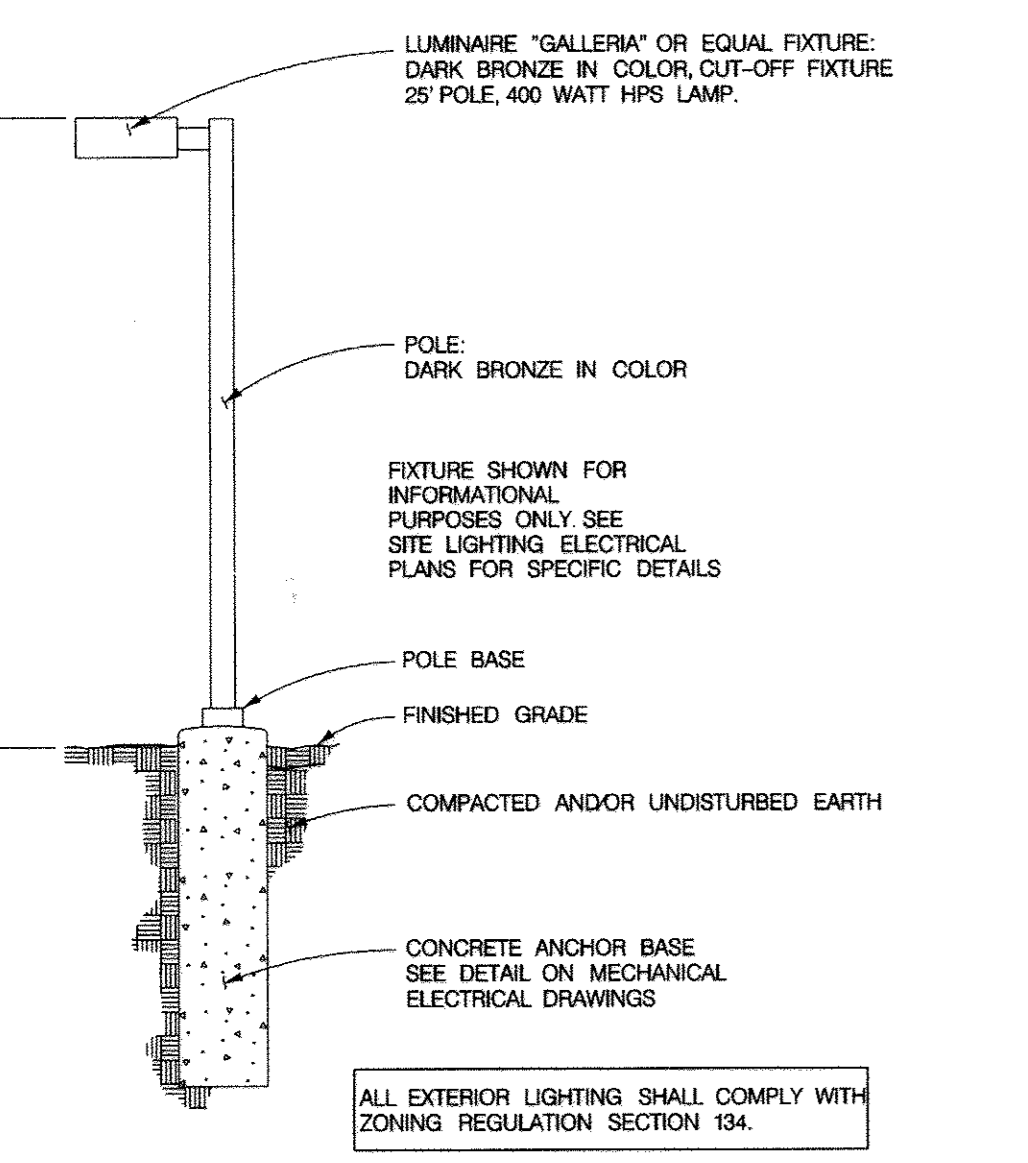
Detail Van Accessible
Handicap Parking Spaces
Not To Scale



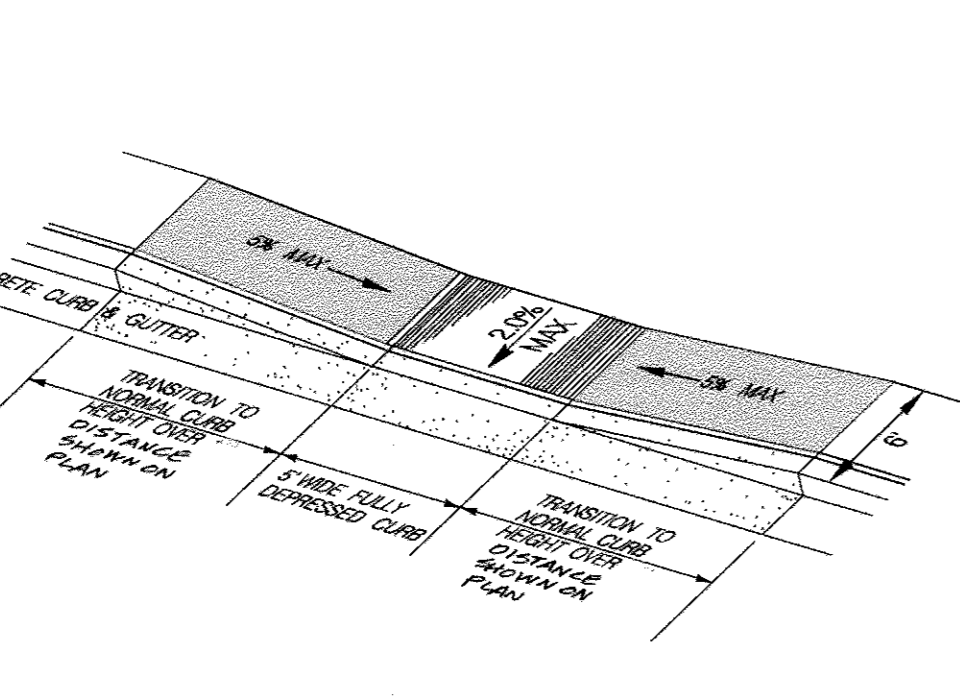
Detail Handicap
Parking Space
Not To Scale



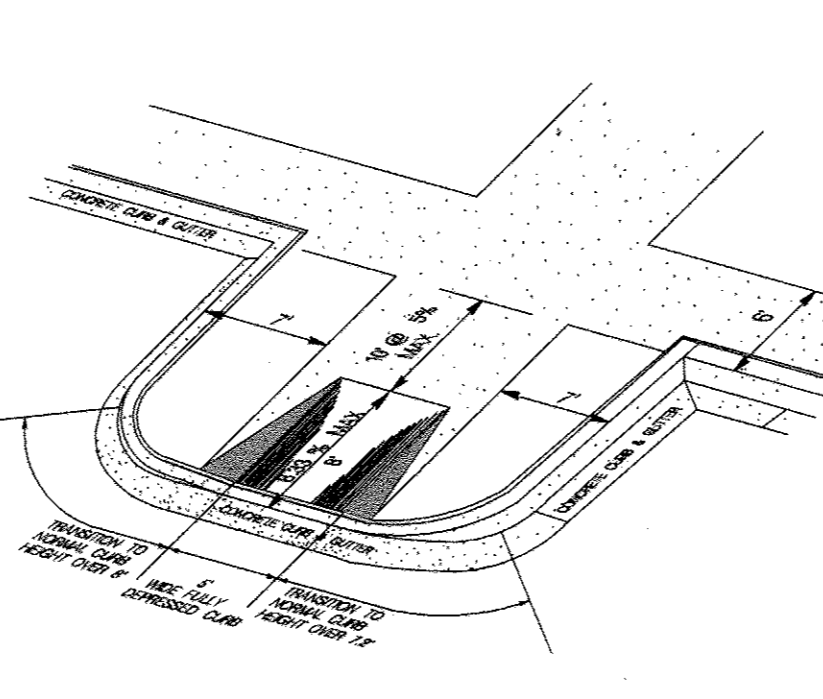
Detail Handicap
Parking Sign
Not To Scale



Detail Sharp Cutoff Area Light
Not To Scale



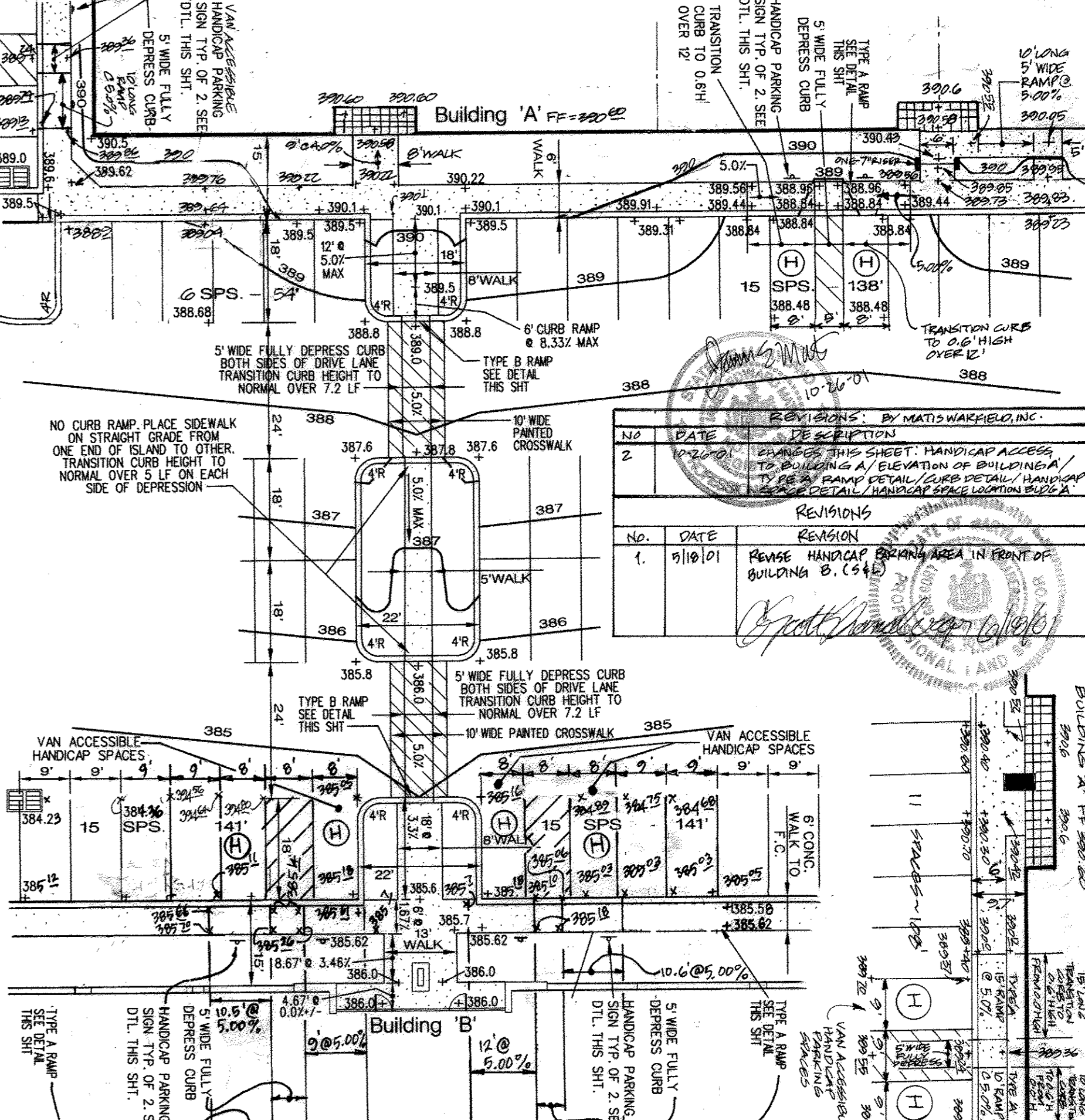
Type 'A' Handicap Ramp
Not To Scale



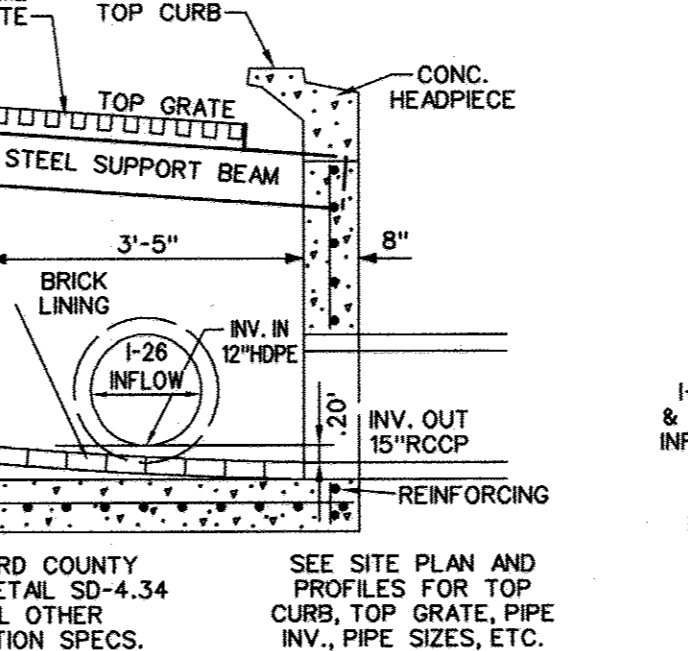
Type 'B' Curb Ramp
Not To Scale



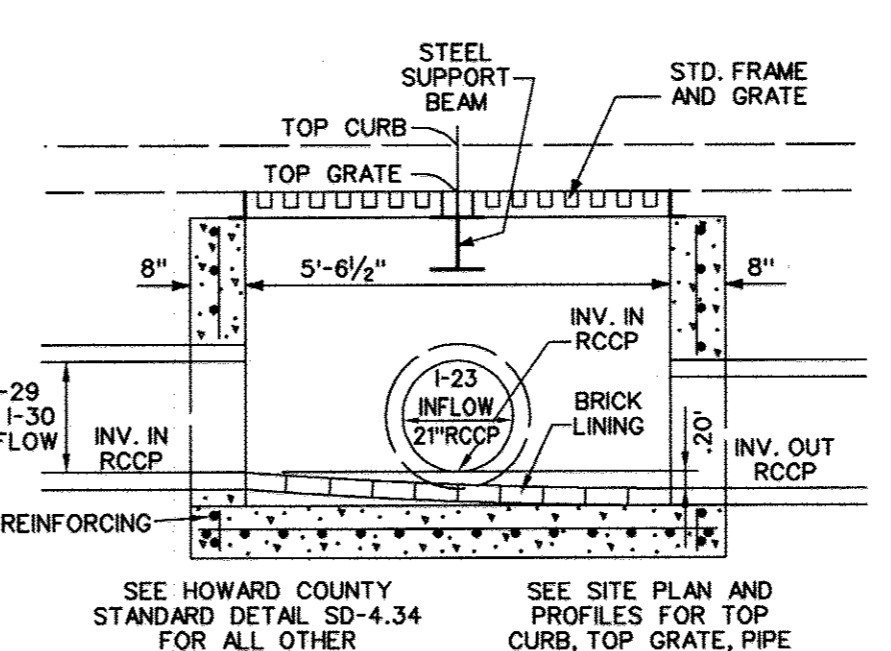
Detail Paving Sections
Not To Scale



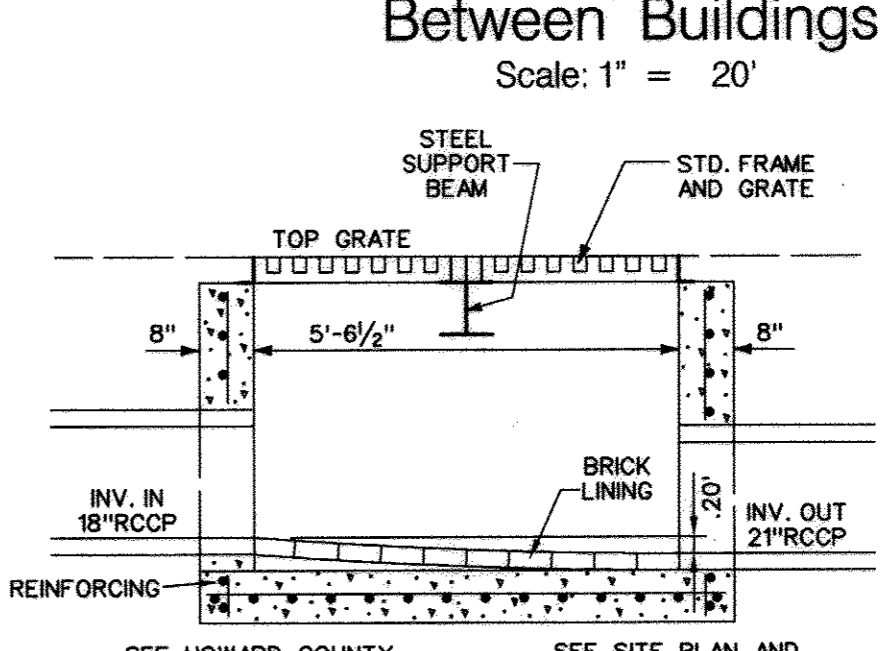
Detail Handicap Accessible
Route Buildings A & B and
Between Buildings
Scale: 1" = 20'



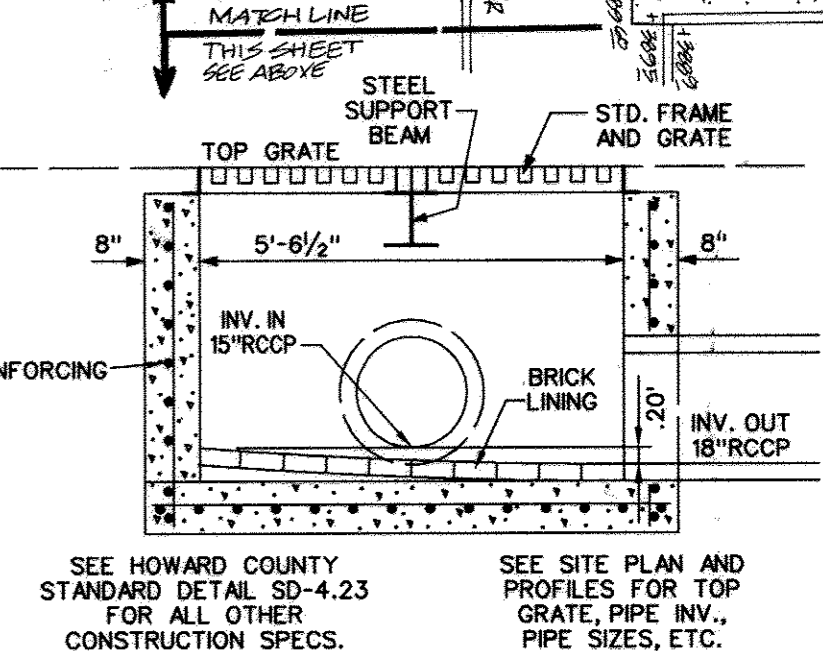
Modified For Flow
Through Double
'S' Comb. Inlet (I-26 & 31)
Not To Scale



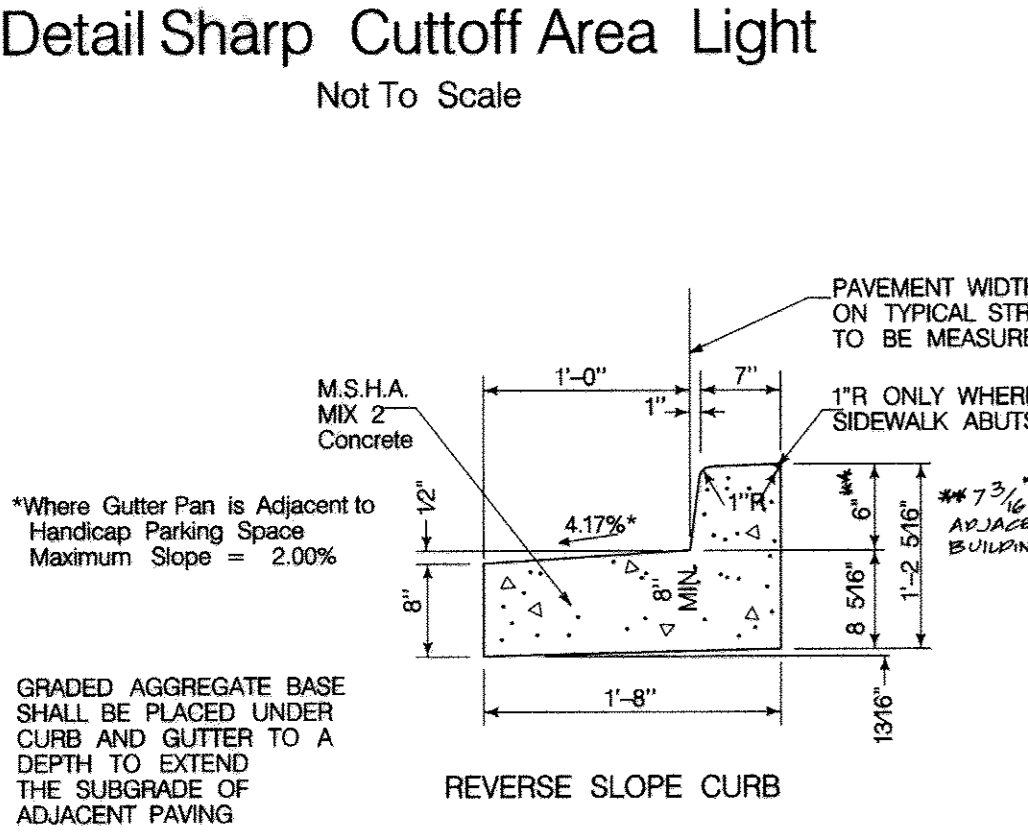
Modified For Flow Through Double
Type 'S' Comb. Inlet (I-23, 29 & 30)
Not To Scale



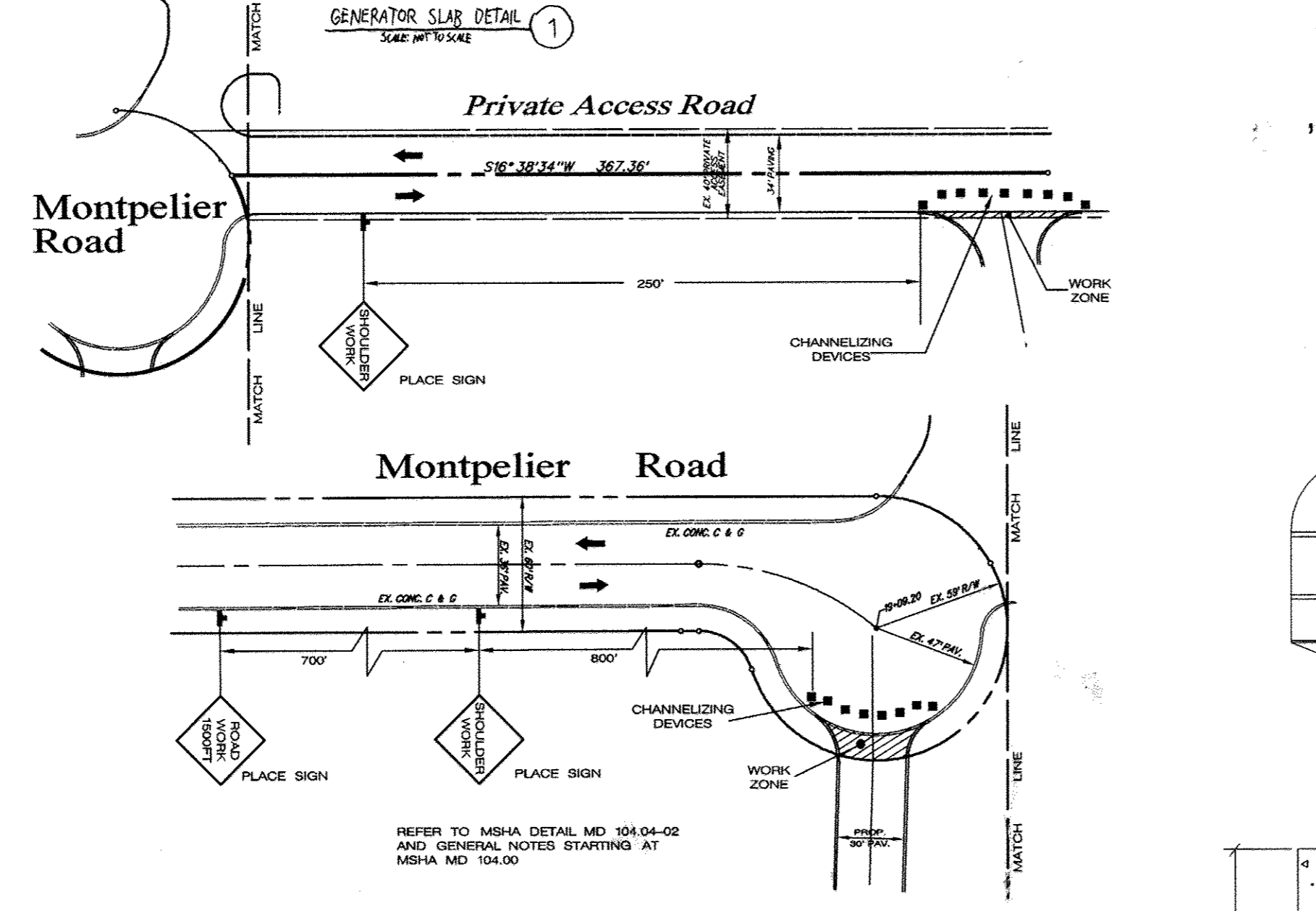
Modified For Flow Through
Double Type 'S' Inlet (I-24)
Not To Scale



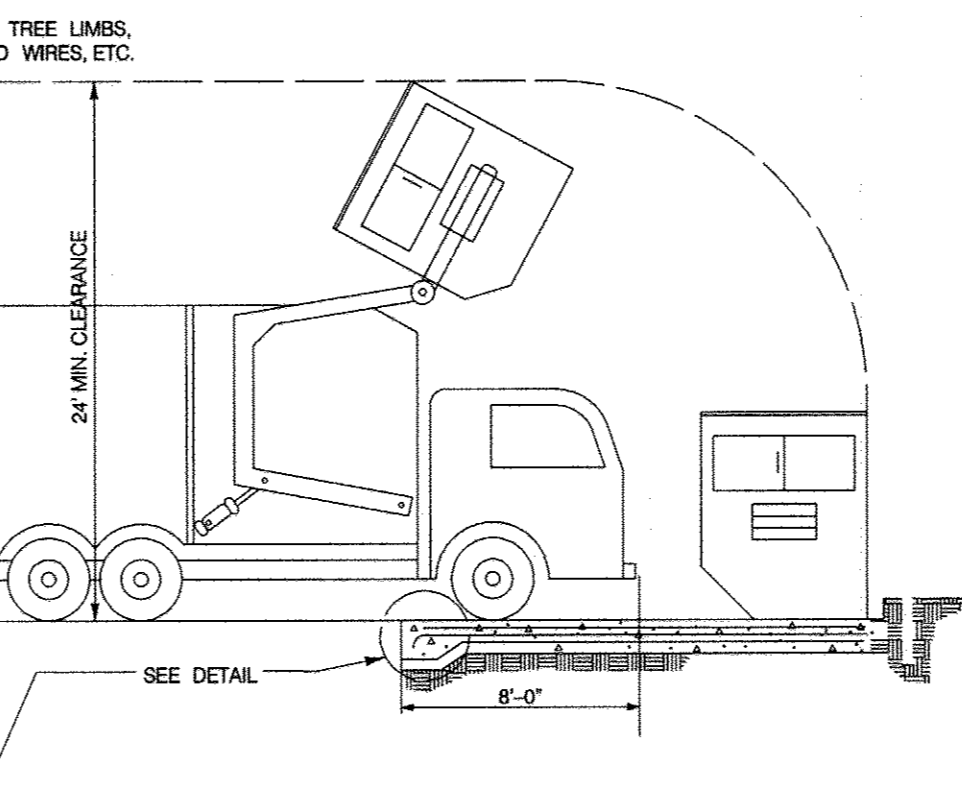
Modified For Flow Through
Double Type 'S' Inlet (I-25)
Not To Scale



Refer to Howard County Standard Plate R-3.01
Detail Concrete Curb and Gutter
Not To Scale



Work Zone Traffic Control Detail
Not To Scale



Detail Handicap
Parking Sign & Post
Not To Scale

Matis Warfield
consulting engineers

10540 York Road, Suite M
Hunt Valley, Maryland 21030
Phone 410-683-7004
Facsimile 410-683-1798
www.matiswarfield.com



REV	DATE	DESCRIPTION	By
3	6/28/17	ADDITION OF A GENERATOR PAD	KCT

Refer to Howard County Standard Plate R -3.01
Detail Solid Waste Service Pad
Not To Scale

Legal Owner (current):
Hopkins Road Limited Partnership
9030 Red Branch Road
Suite 200
Columbia, Maryland 21045
Phone 410-997-7222
Fax 410-997-6453

Developer and
Contract Purchaser
MOR Montpelier LLC
c/o Manekin, Corp.
7061 Columbia Gateway Drive
Columbia, Maryland 21046
Ph. 1-800-347-2195
Fax 410-312-0666

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* Date: 10/17/10

Chief, Land Development Division: *[Signature]* Date: 10/17/10

Director: *[Signature]* Date: 10/17/10

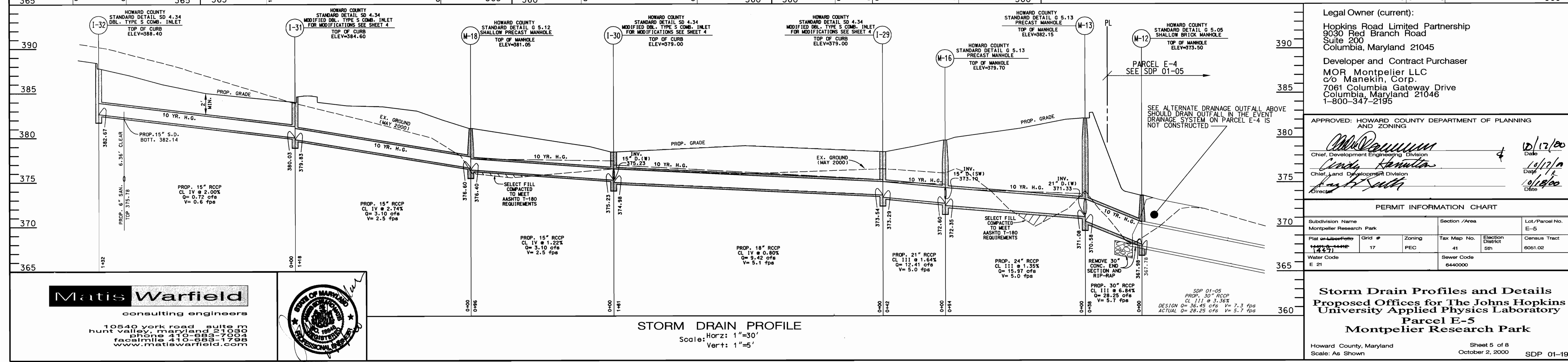
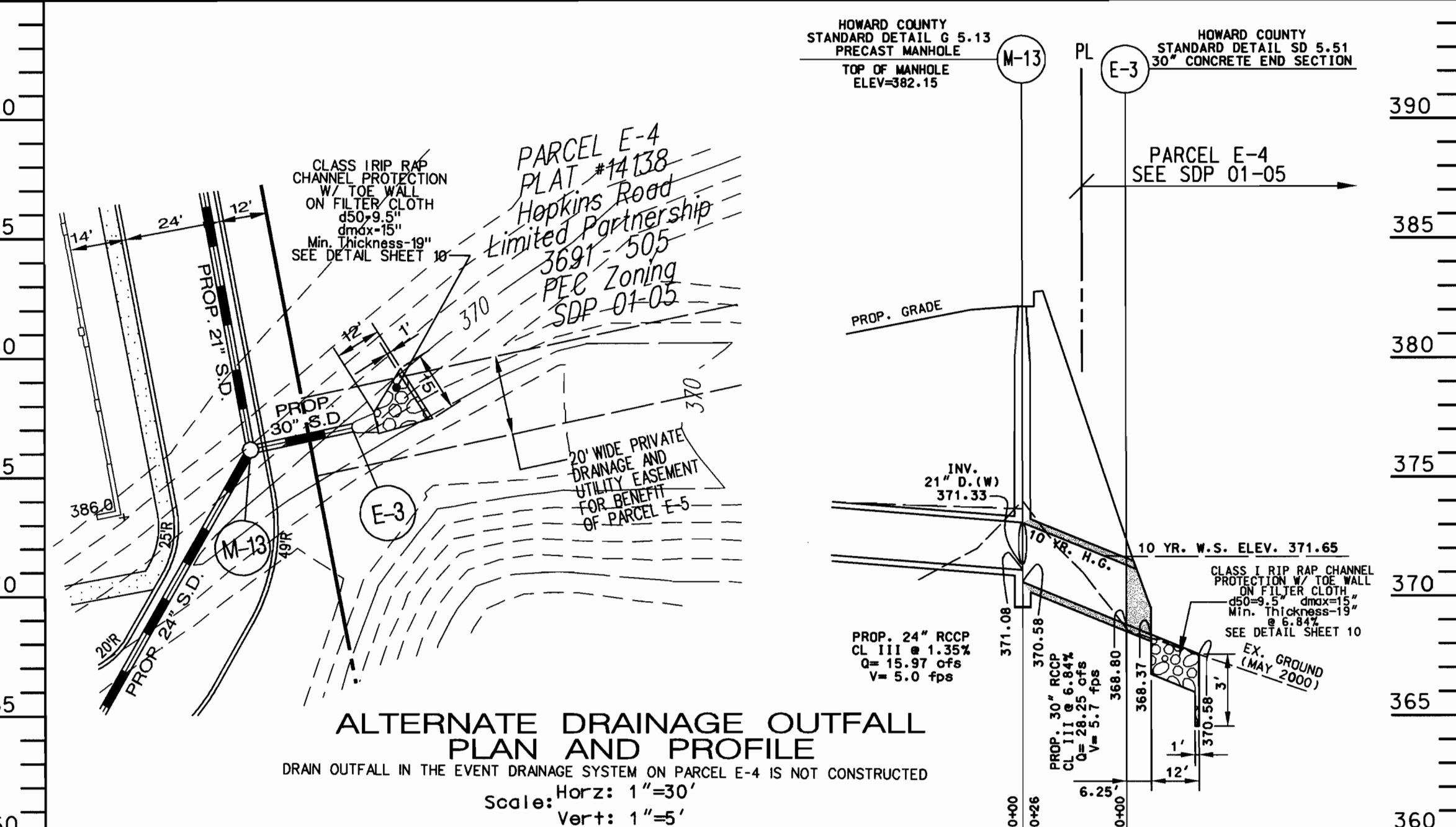
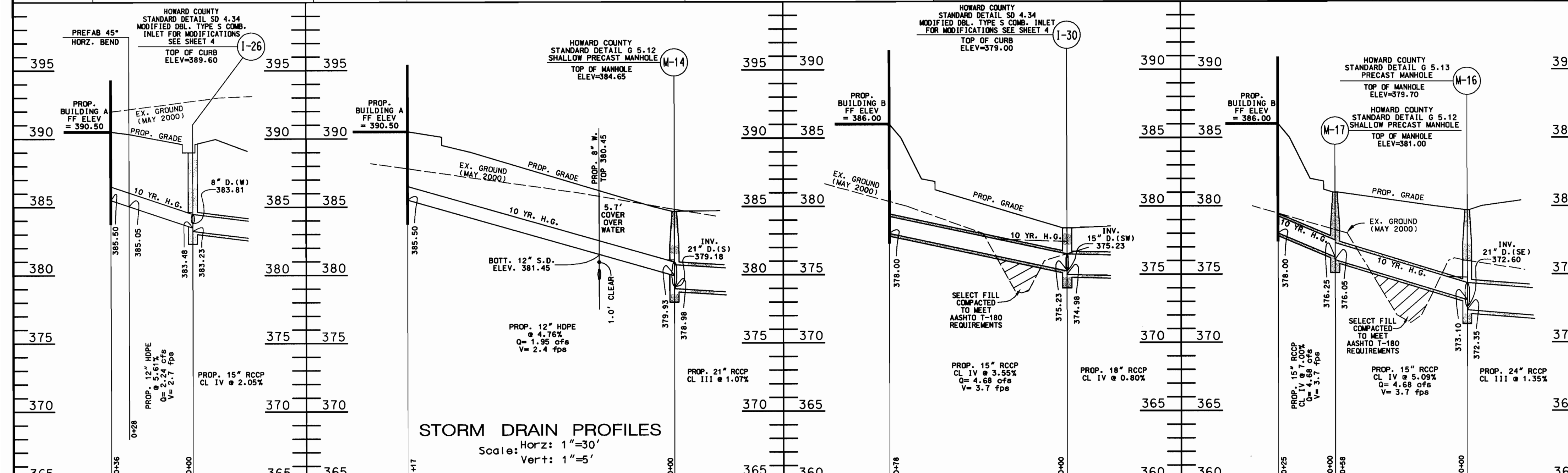
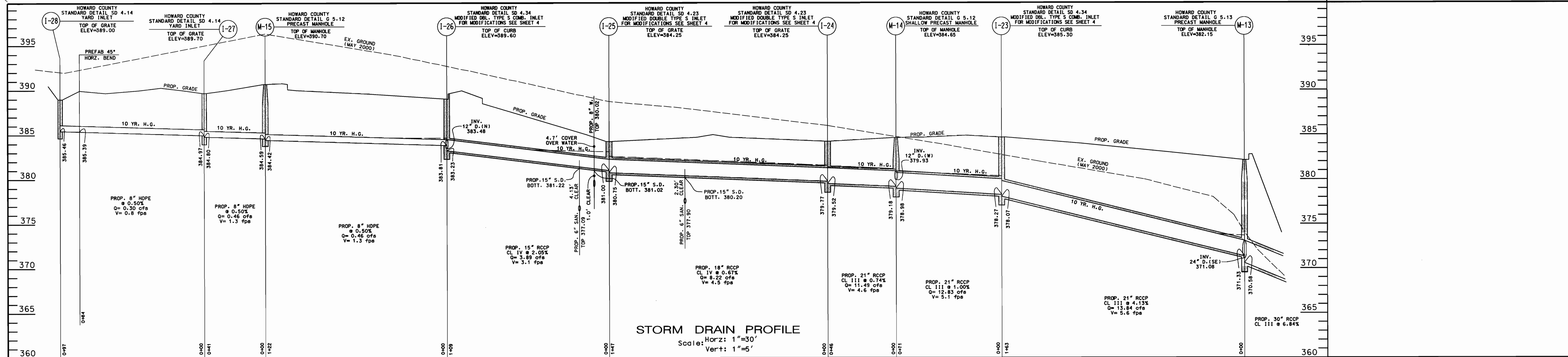
PERMIT INFORMATION CHART				
Subdivision Name Montpelier Research Park	Section /Area	Lot /Parcel No. E-5		
Plat or Fee Folio 14-2-1-11212	Grid # 17	Zoning PEC	Tax Map No. 41	Election District 5th
Water Code E 21	Sewer Code 6440000	Census Tract 6051.02		

Details

Proposed Offices for The Johns Hopkins University Applied Physics Laboratory
Parcel E-5
Montpelier Research Park

Howard County, Maryland
Scale: As Shown

Sheet 4 of 8
October 2, 2010
SDP 01-19



Legal Owner (current):
Hopkins Road Limited Partnership
9030 Red Branch Road
Suite 200
Columbia, Maryland 21045

Developer and Contract Purchaser
MOR Montpelier LLC
c/o Manekin, Corp.
7061 Columbia Gateway Drive
Columbia, Maryland 21046
1-800-347-2195

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 10/12/20
Chief, Development Engineering Division Date

[Signature] 10/12/20
Chief, Land Development Division Date

[Signature] 10/12/20
Director Date

PERMIT INFORMATION CHART

Subdivision Name	Section /Area	Lot/Parcel No.
Montpelier Research Park		E-5
Plat of Lot <i>14-138</i>	Grid #	Zoning
14-138	17	PEC
Water Code	Tax Map No.	Election District
E 21	41	5th
	Census Tract	
	6061.02	
	Sewer Code	
	6440000	

Storm Drain Profiles and Details
Proposed Offices for The Johns Hopkins University Applied Physics Laboratory
Parcel E-5
Montpelier Research Park

Howard County, Maryland
Scale: As Shown

Sheet 5 of 8
October 2, 2000
SDP 01-19

Matis Warfield
consulting engineers



10540 York Road, Suite M
Hunt Valley, Maryland 21030
Phone 410-683-7904
Facsimile 410-683-1793
www.matiswarfield.com

Legend

- Existing Contours
- Proposed Grades
- Existing Water
- Proposed Private Water
- Proposed Public Water
- Existing Sanitary
- Proposed Private Sanitary
- Existing Storm Drain
- Proposed Private Storm Drain
- Existing Curb and Gutter
- Proposed Curb and Gutter
- Proposed Light Fixture

Proposed Concrete Paving

Limit of Disturbance

Gabion Inflow Protection

Silt Fence

Earth Dike

Stabilized Construction Entrance

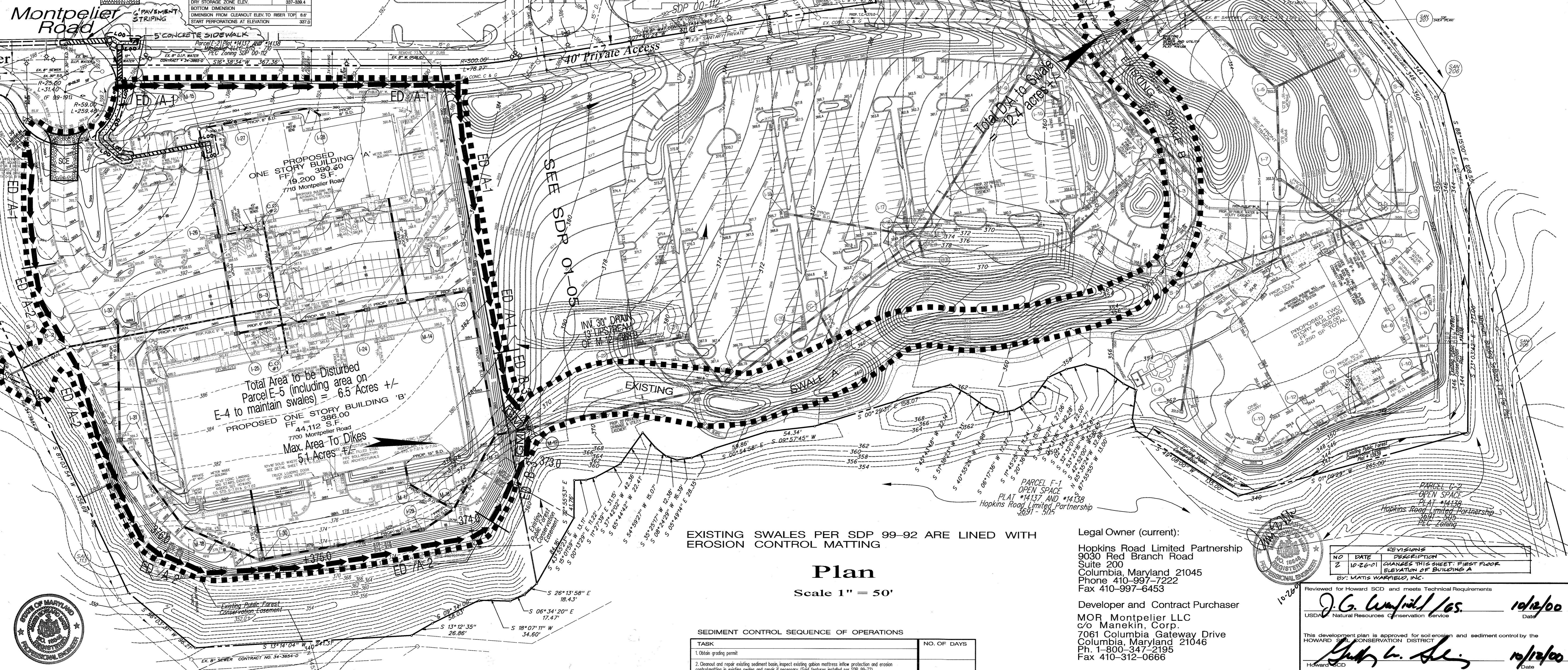
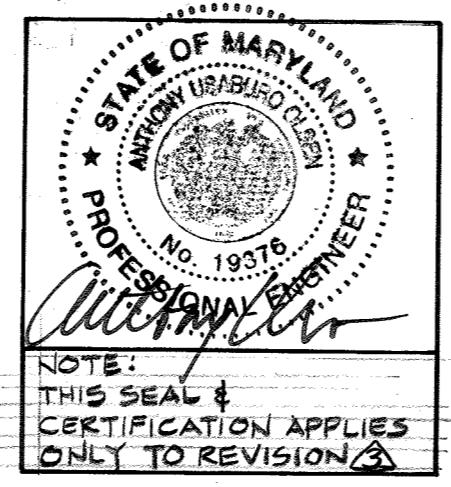
SUMMARY TABLE FOR EX BASIN APPROVED AS PART OF SDP-99-92

BASIN NUMBER	1
EXISTING DRAINAGE AREA AC.	8.7
INTERIM DRAINAGE AREA AC.	27.3
PROPOSED DRAINAGE AREA AC.	28.8
STORAGE REQUIRED C.F.	WET 49,140
	DRY 49,140
TOTAL	98,280
STORAGE PROVIDED C.F.	WET 134,209
	DRY 299,271
TOTAL	433,480
EXISTING GROUND ELEV.	340.0
TOP EMBANKMENT ELEV.	344.8
RISER CREST ELEV.	339.4
WET STORAGE ELEV.	337.8
CLEANOUT ELEV.	339.4
BOTTOM ELEV.	332.0
O INTO BASIN C.F.S. 10YR	144.0
O OUT BASIN C.F.S. 10YR	12.33
BASIN DEPTH	WET 5.0
	DRY 3.8
TOTAL	8.6
DESIGN HIGHWATER	100 yr. Clogged
FREEBORD PROVIDED	2.0
BASIN SIDE SLOPES	3:1
BARREL DIAMETER	48"
RISER DIMENSIONS	60x6
WET STORAGE ZONE ELEV.	332-337
DRY STORAGE ZONE ELEV.	337-339.4
BOTTOM DIMENSION	DIMENSION FROM CLEANOUT ELEV. TO RISER TOP
START PERFORATIONS AT ELEVATION	337.0

REVISION#	DATE	DESCRIPTION	BY
1	10/21/19	ADD SIDEWALK AND STRIPING	WRA

LOD FOR REV 1 = 2,501 SF

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 19376 EXPIRATION DATE 1/23/21



ENGINEER'S CERTIFICATE

I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Jamez E. Matis
Jamez E. Matis, P.E. MD 18848
Date: 10-2-2000

DEVELOPER'S CERTIFICATE

We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

John Cole
For MOR Montpelier, LLC By: R. Cole Schnorf, Senior VP, Manekin Corporation
Date: 10-2-2000

SEDIMENT CONTROL STANDARD GENERAL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (1303-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RESTORATION, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A. SEVEN CALENDAR DAYS FOR ALL PERMETER SEDIMENT CONTROL STRUCTURES, Dikes, PERMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 - B. FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE "HOWARD COUNTY MANUAL," STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. FOR PERMANENT SEEDINGS, SODS, TEMPORARY SEEDING AND MULCHING SECTION 50, TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- THE EARTH VOLUME FIGURES SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR IS ADVISED TO MAKE HIS OWN CALCULATIONS PRIOR TO PLACING A BID ON THIS ITEM.

SEDIMENT CONTROL SEQUENCE OF OPERATIONS

TASK	NO. OF DAYS
1. Obtain grading permit	
2. Clearcut and repair existing sediment basin, inspect existing gabion mattress inflow protection and erosion control matting in existing swales and repair if necessary. (Silt features installed per SDP 99-72) Install erosion and sediment control measures. Depending on progression of site work on adjacent Parcel-4, SDP 01-05 Swale A and B may exist or may be in the process of being backfilled and replaced with a closed drainage system in accordance with SDP 01-05. If sitework on Parcel-4 has not been undertaken contractor shall be responsible for maintaining Swale A and Swale B during the course of this construction. The disturbed areas shown herein indicate that area necessary to maintain swale system should development on Parcel-4 not occur. If sitework on Parcel-4 has progressed, contractor shall coordinate periodic flushing of sediment through downstream drainage system through Parcel-4 with site superintendent for Parcel-4.	14
3. Begin grading maintaining positive drainage to Swale A. As fills placed along east and north sides of property insure that earth dike system is maintained. When fill slope is installed along east side of property, earth dike may be moved to top of slope to prevent scouring of dike. Begin building foundation and utility installation. Install storm drains beginning with 30" drain starting 15 feet upstream from M-12 at invert 369.9', allowing drain to daylight in chemical existing Swale A. Extend pipe upstream. As drain fills become operational, back-unprotected to facilitate drainage to existing sediment basin through downstream drain or swale systems as the case may be. Flush drain system periodically, especially following rainfall events to insure the system remains functional and unclogged. Complete utility installations with the exception of the M-12 and the last 15 feet of the 30" storm drain upstream of M-12. Provide control of dust, as required, in accordance with dust control specifications.	60
4. Complete remainder of grading and install curb and gutter and stone sills in parking and drive areas. Install sidewalks. Permanently stabilize any areas to remain grass.	45
5. Upon a 5-day clear (no precipitation) weather forecast from the National Weather Service and with the approval of the sediment control inspector complete remaining storm drainage system of M-12. See drain outfall alternate on Sheet 5 of 8 in the event that storm drain system on Parcel-4 per SDP 01-05 has not progressed.	10
6. Flush storm drain system from upstream ends downstream to sediment basin. Remove accumulated sediment from sediment basin. Proceed with paving installation.	7
7. With the approval of the sediment control inspector remove remaining sediment control devices and stabilize.	2

Matis Warfield
consulting engineers

10540 York Road, Suite M
Hunt Valley, Maryland 21086
Phone 410-683-7004
Facsimile 410-683-1998
www.matiswarfield.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

William J. ...
Chief, Development Engineering Division
Date: 10/17/00

Andy ...
Chief, Land Development Division
Date: 10/17/00

...
Director
Date: 10/18/00

Sediment and Erosion Control Plan

Proposed Offices for The Johns Hopkins University Applied Physics Laboratory
Parcel E-5
Montpelier Research Park

Howard County, Maryland
Scale: As Shown

Sheet 6 of 8
October 2, 2000
SDP 01-19

Legal Owner (current):
Hopkins Road Limited Partnership
9030 Red Branch Road
Suite 200
Columbia, Maryland 21045
Phone 410-997-7222
Fax 410-997-6453

Developer and Contract Purchaser:
MOR Montpelier LLC
c/o Manekin, Corp.
7061 Columbia Gateway Drive
Columbia, Maryland 21046
Ph. 1-800-347-2195
Fax 410-312-0666

REVISIONS

NO.	DATE	DESCRIPTION
1	10-26-01	CHANGES THIS SHEET: FIRST FLOOR ELEVATION OF BUILDING A

BY: MATIS WARFIELD, INC.

Reviewed for Howard SCD and meets Technical Requirements

J.G. ...
USAID Natural Resources Conservation Service
Date: 10/12/00

This development plan is approved for soil erosion and sediment control by the HOWARD COUNTY SOIL CONSERVATION DISTRICT

...
Howard SCD
Date: 10/12/00

Topsoil Specifications

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.
Purpose
To provide a suitable soil medium for vegetative growth.

Construction and Material Specifications
I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications.

II. Topsoil Specifications - Soil to be used as topsoil must meet the following:
i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand.

III. For sites having disturbed areas over 5 acres:

1. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
2. Topsoil having soluble salt content greater than 500 parts per million shall not be used.

or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

Permanent/Temporary Seeding Notes

PERMANENT SEEDING NOTES
APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.
SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENEED.

MULCHING - APPLY 1/2 TO 2 TONS PER ACRE (70 - 90 LBS./1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING.

TEMPORARY SEEDING NOTES
APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENEED.

SOIL AMENDMENTS - APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.)
SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 15 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (14 LBS./1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE.

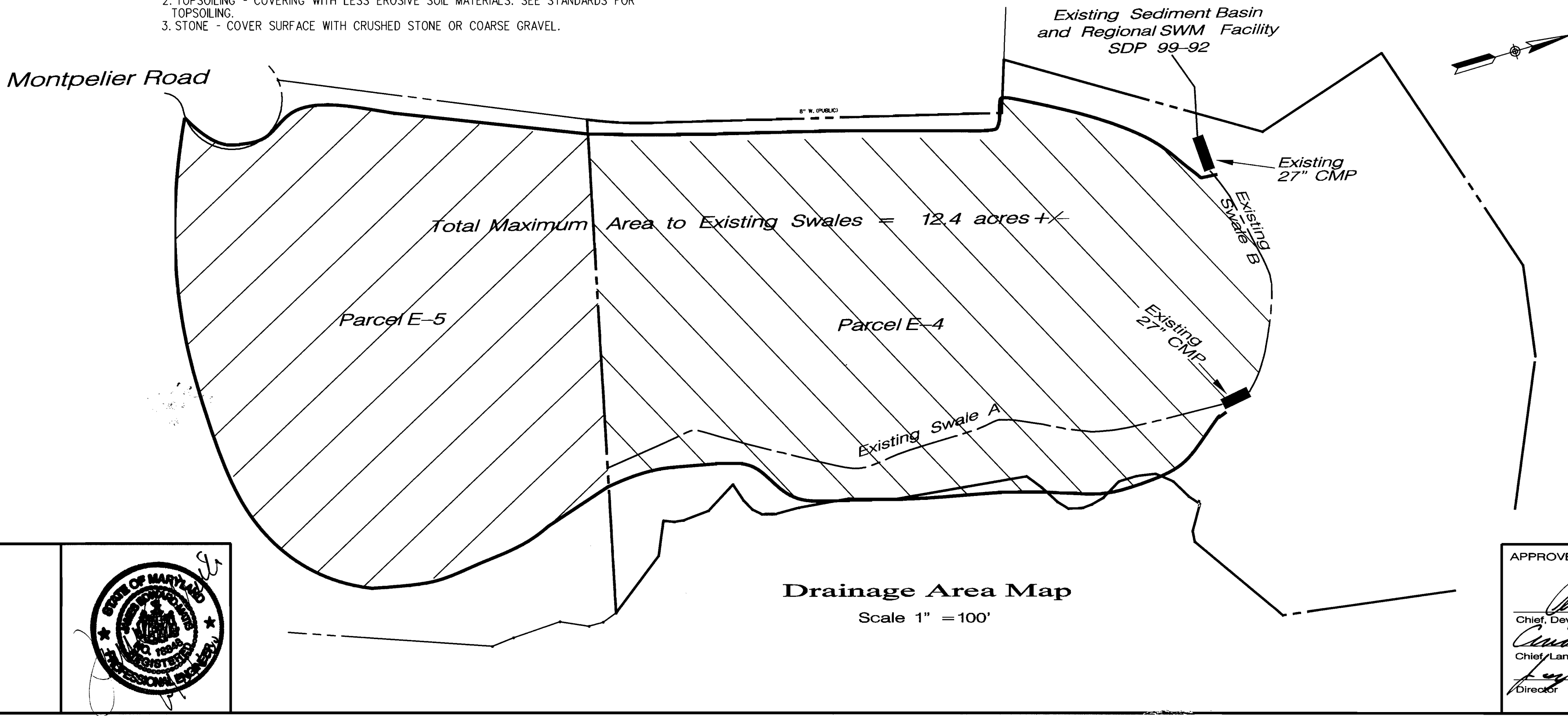
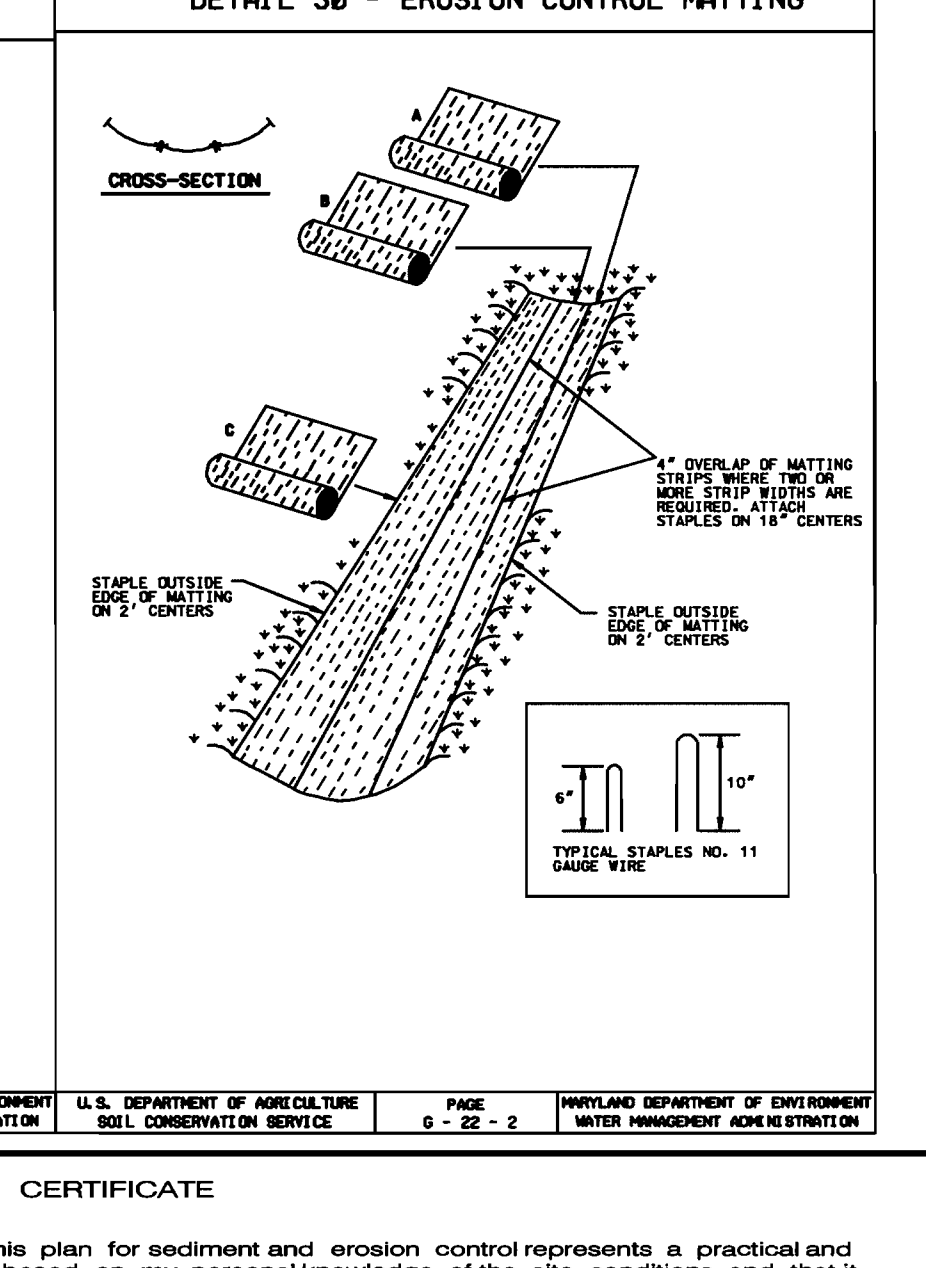
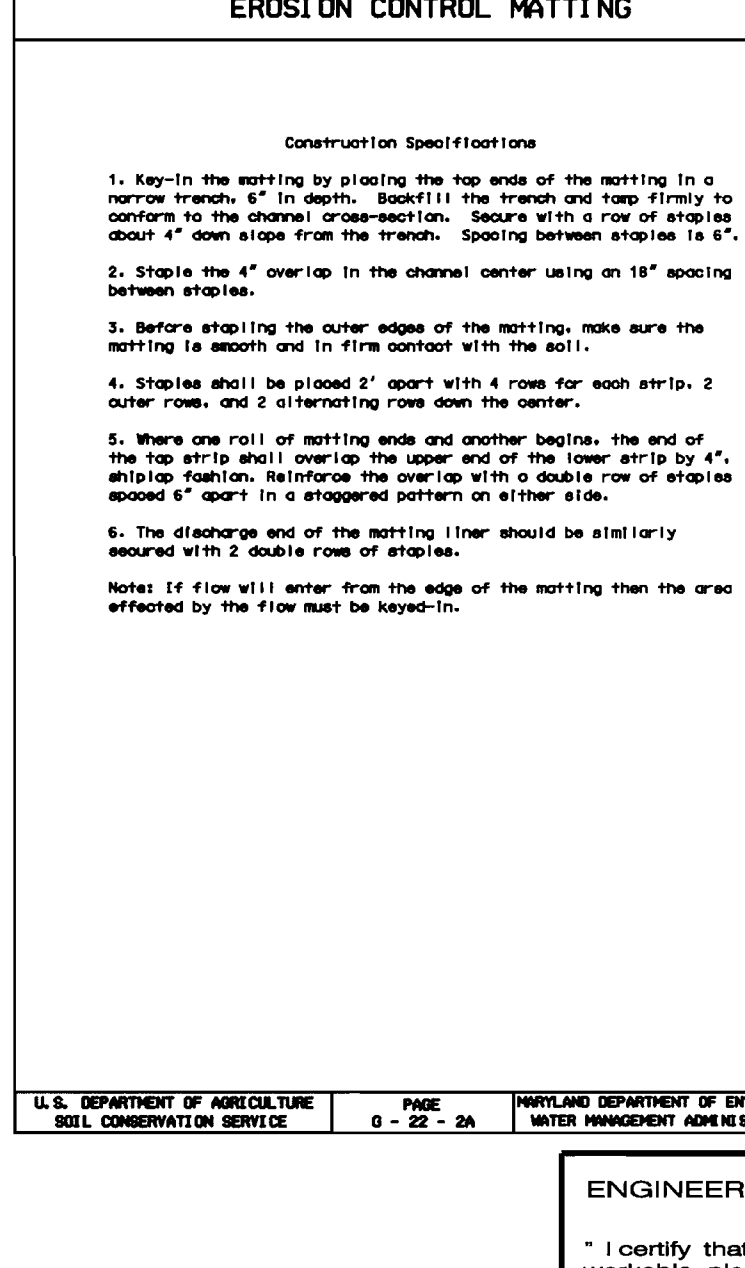
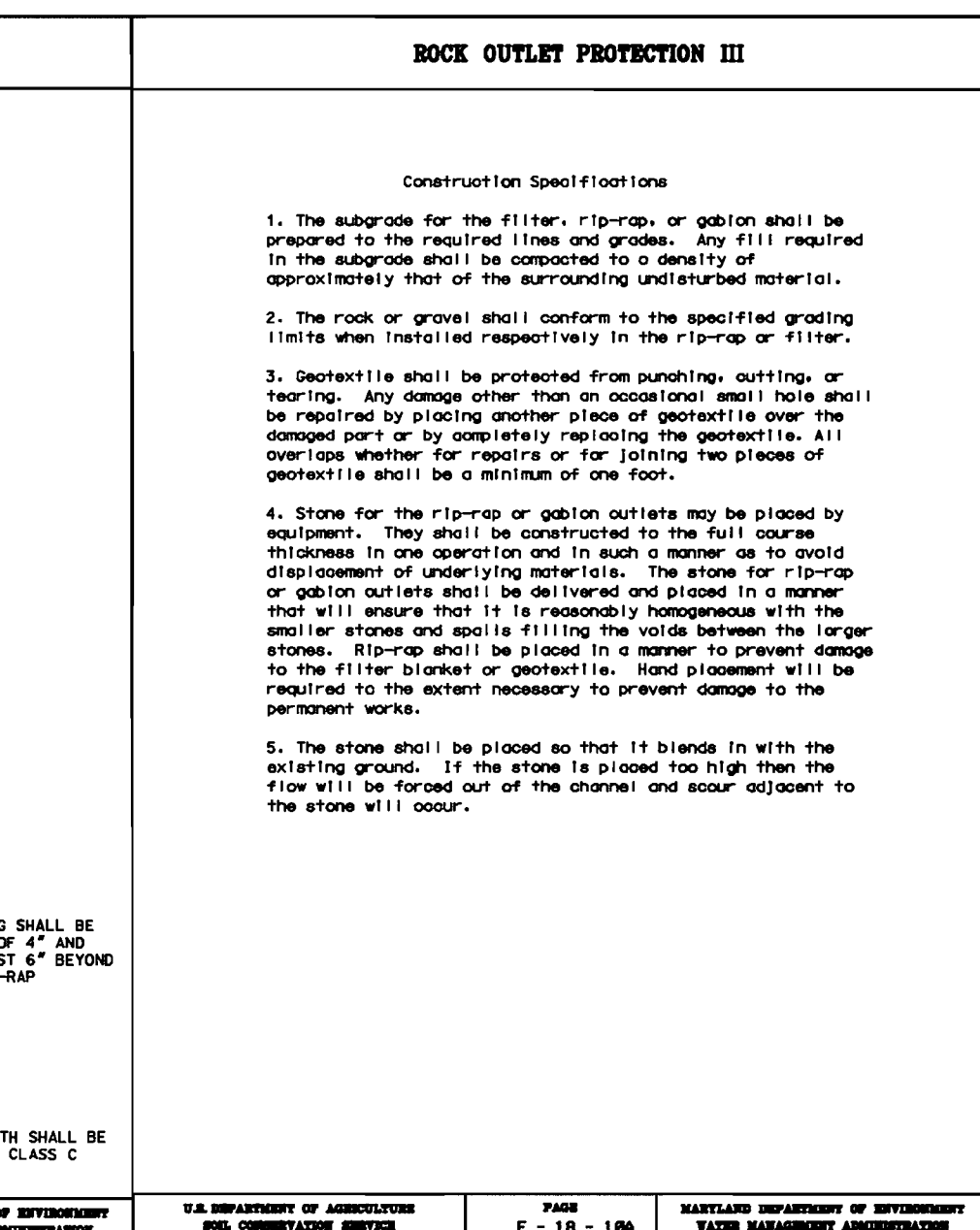
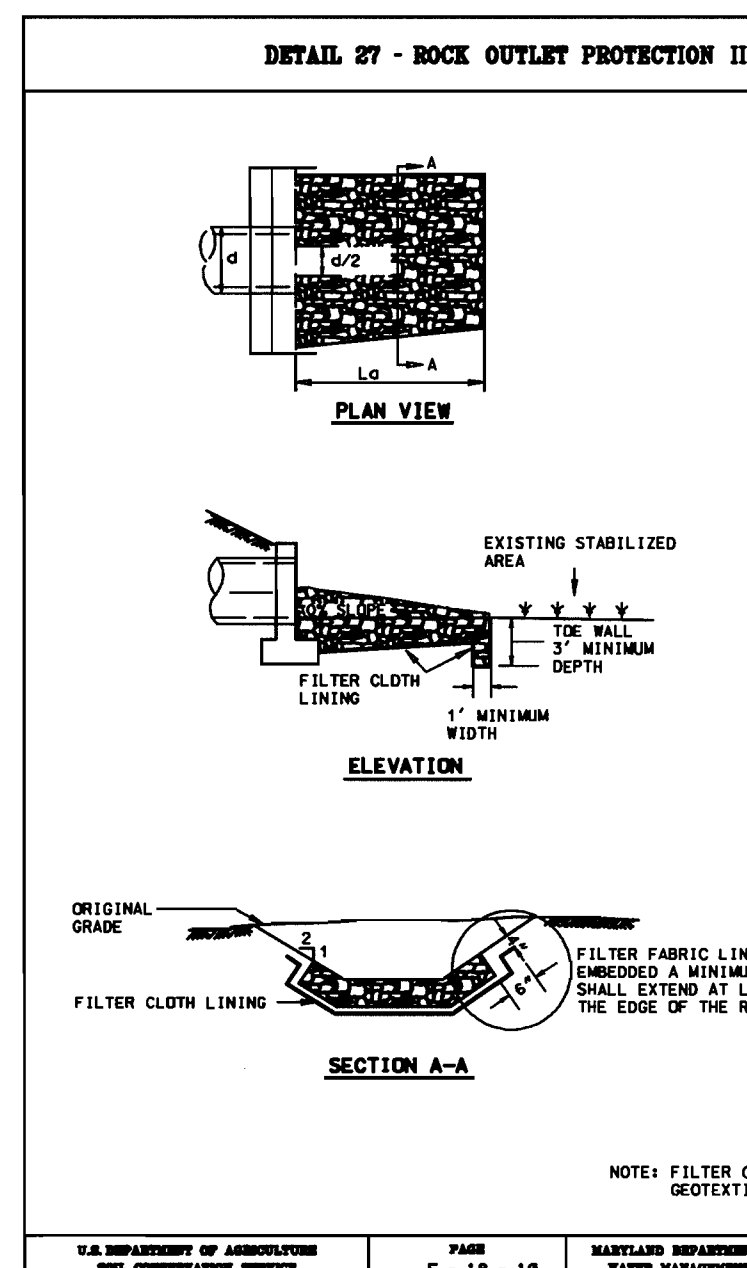
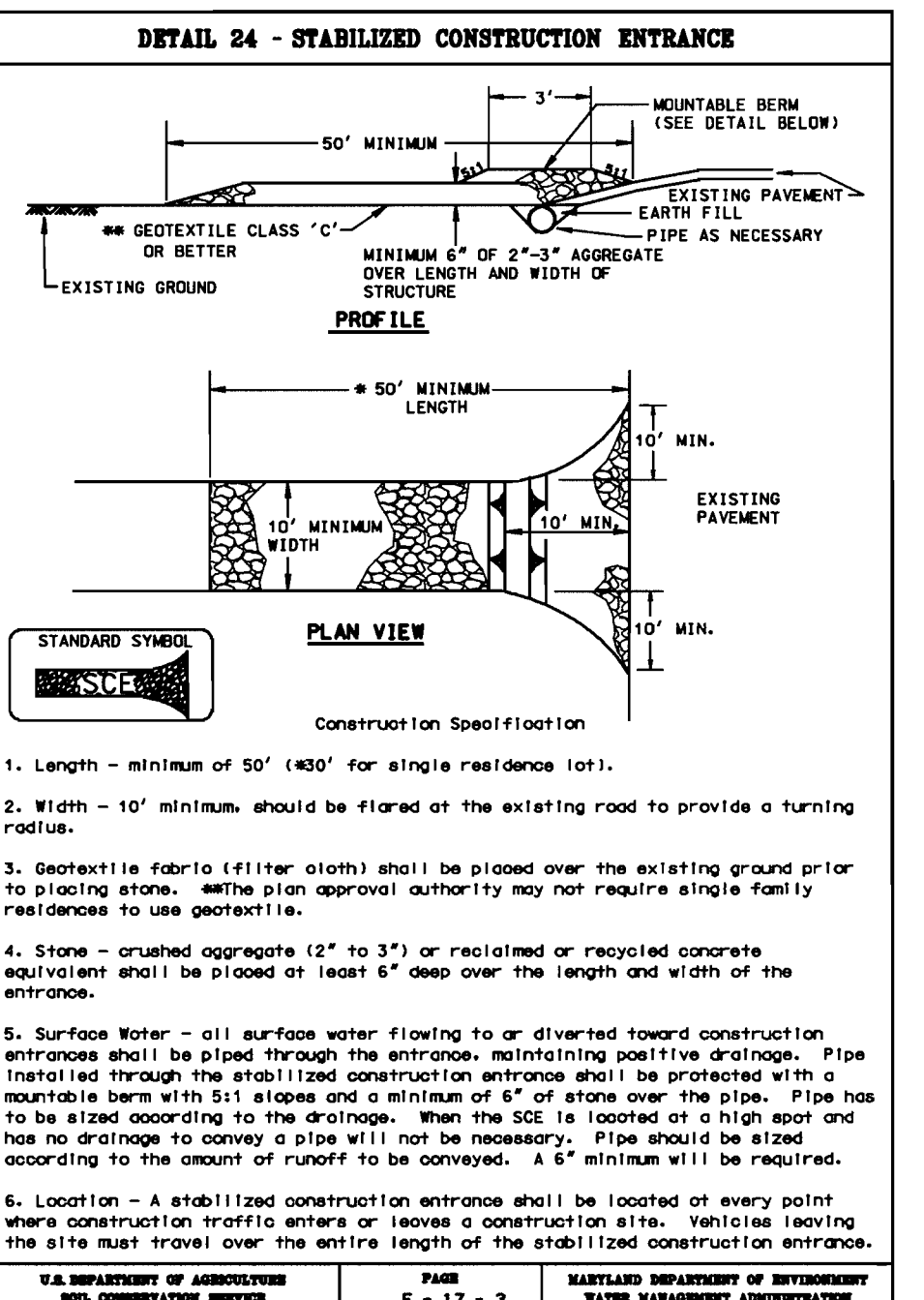
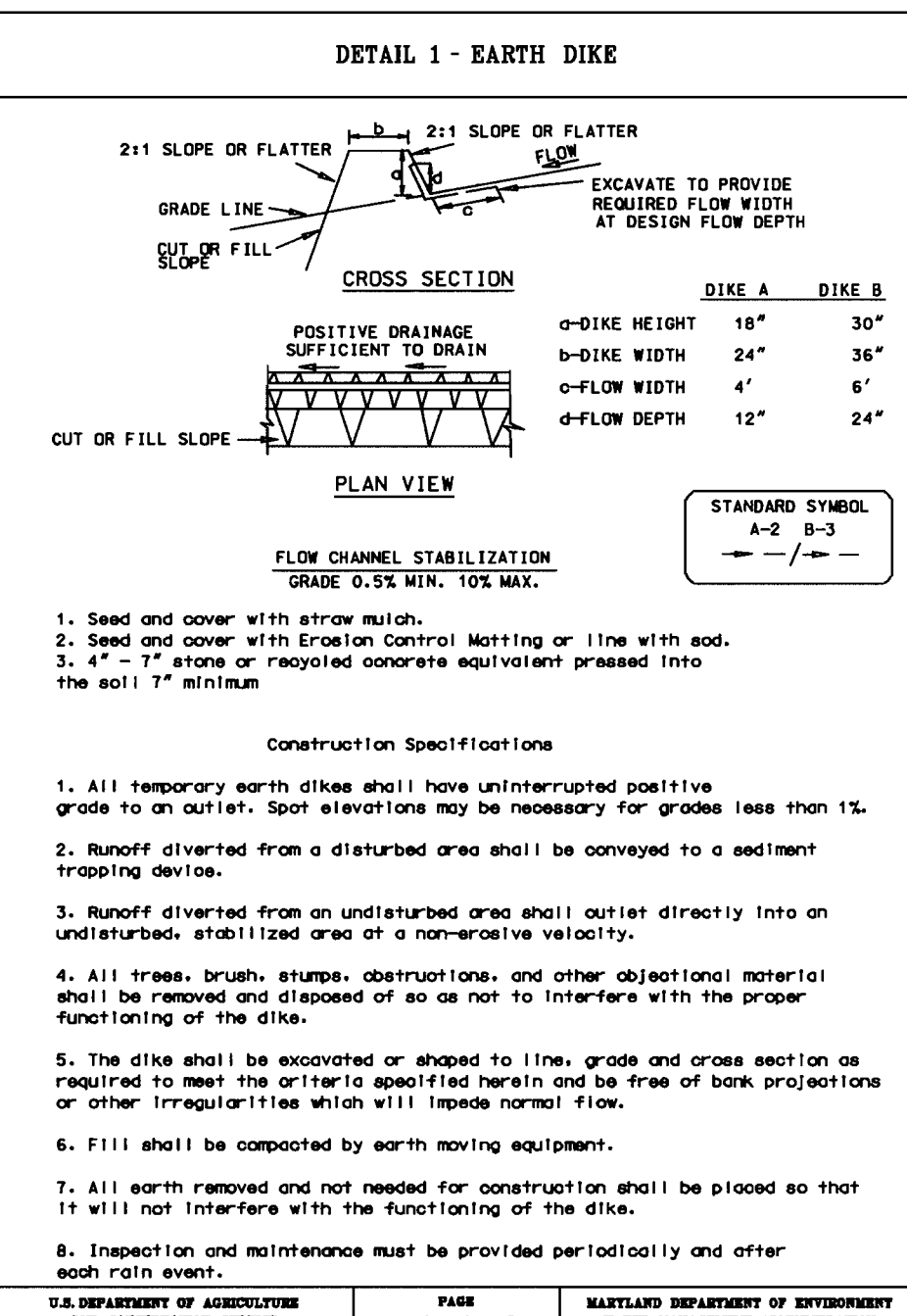
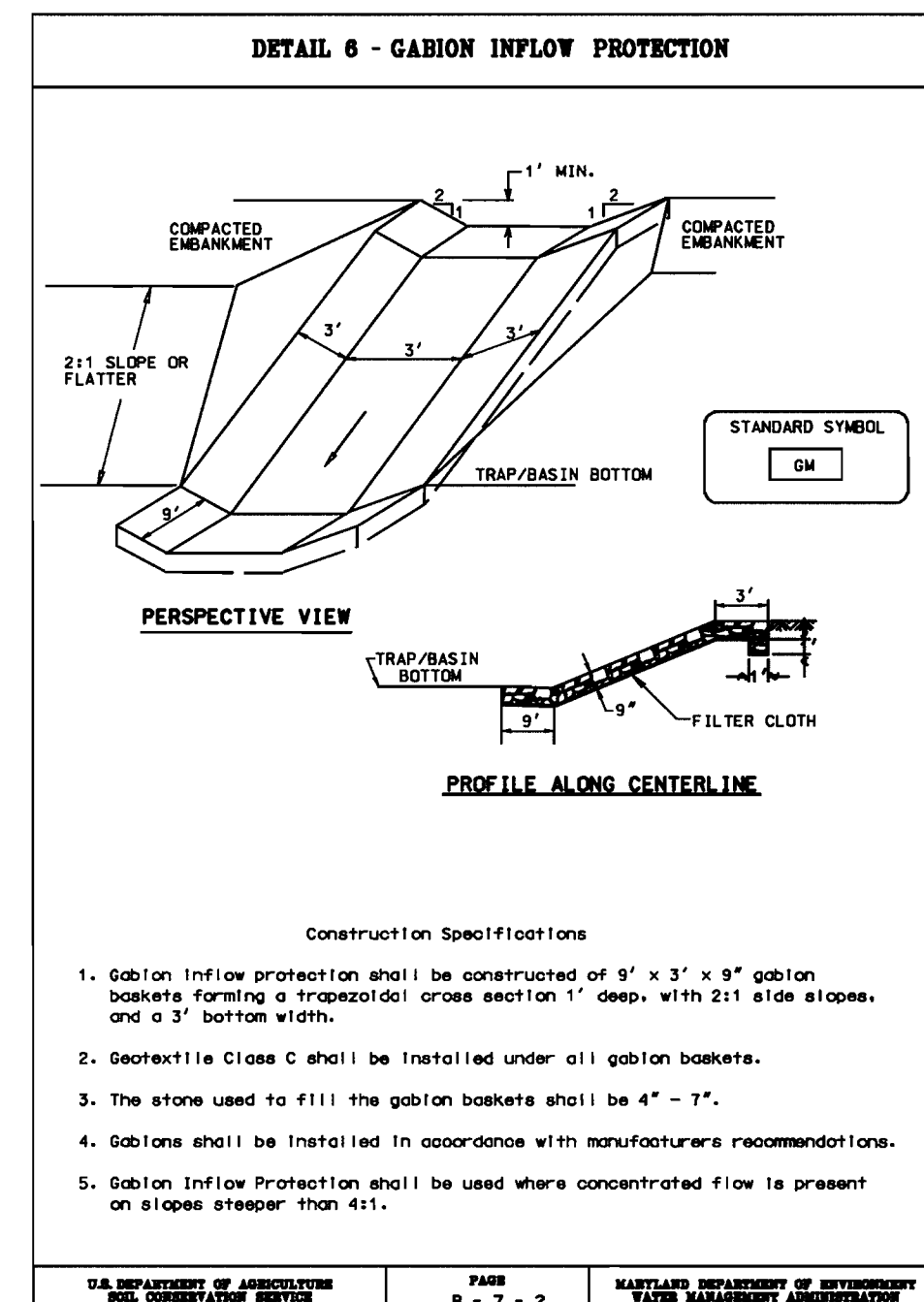
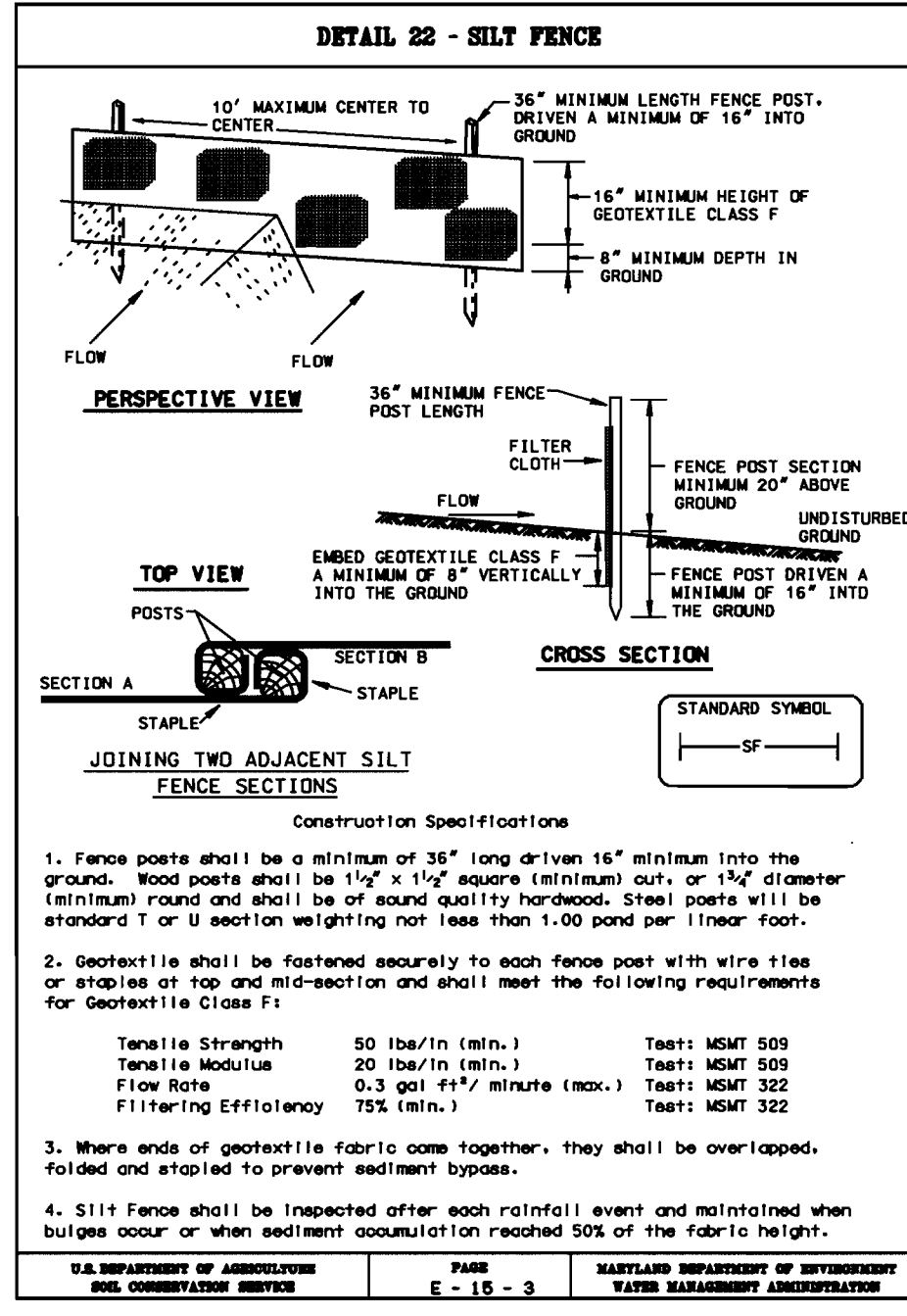
MULCHING - APPLY 1/2 TO 2 TONS PER ACRE (70 - 90 LBS./1000 SQ. FT.) OF UNROTTED WOOD FREE SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

Dust Control Specifications

TEMPORARY METHODS:
1. MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.
2. VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
3. TILLAGE - TO ROUGHEN SURFACE AND BRING CLOUDS TO THE SURFACE.

PERMANENT METHODS:
1. PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SOD.
2. TOPSOILING - COVERING WITH LESS EROSIIVE SOIL MATERIALS. SEE STANDARDS FOR TOPSOILING.
3. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

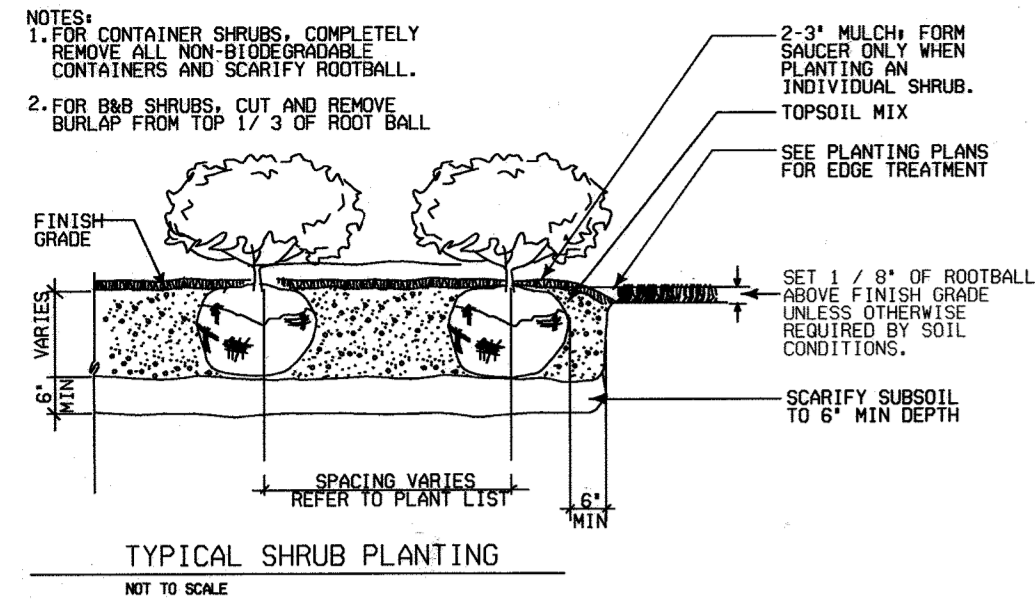


Matis Warfield consulting engineers logo and contact information: 10540 York Road, Suite M, Hunt Valley, Maryland 21150.



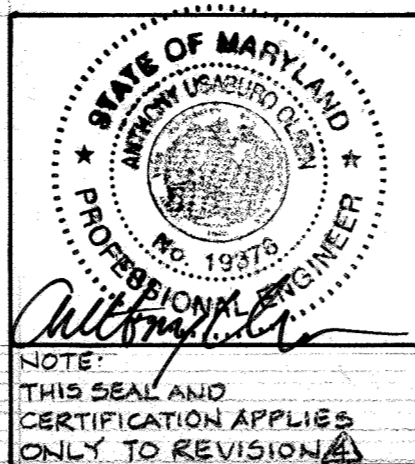
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Signatures of Chief Development Engineering Division and Chief Land/Development Division.

ENGINEER'S CERTIFICATE, DEVELOPER'S CERTIFICATE, PERMIT INFORMATION CHART, and Sediment and Erosion Control Details for Parcel E-5.



NOTE: SHRUBS IMPACTED BY THE SIDEWALK CONSTRUCTION SHALL BE TRANSPANTED OR REPLACED.

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 19376 EXPIRATION DATE 9/22/12

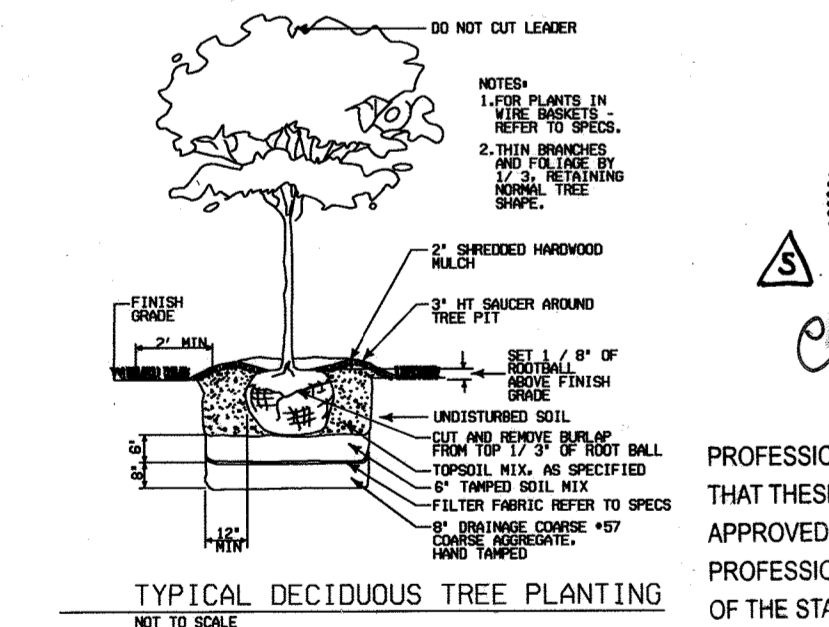
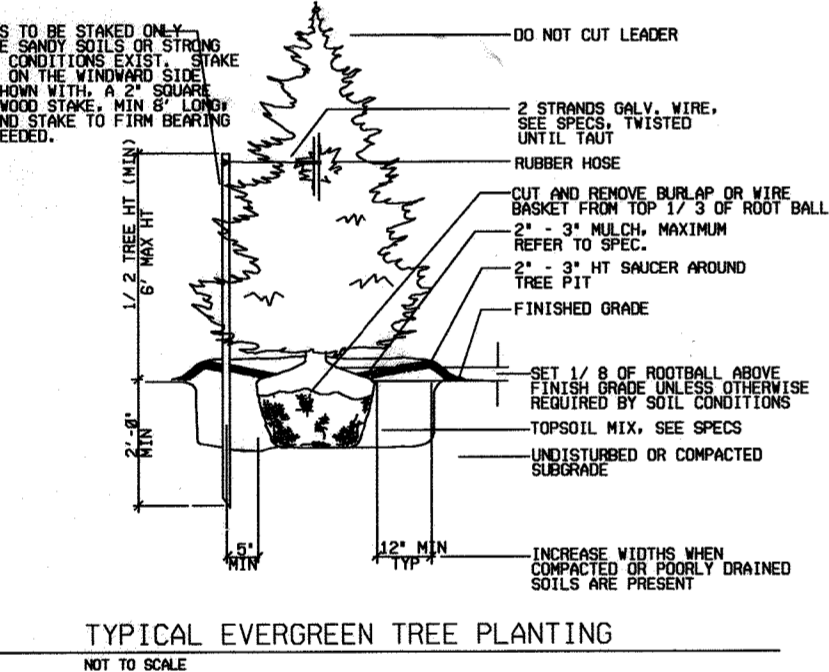
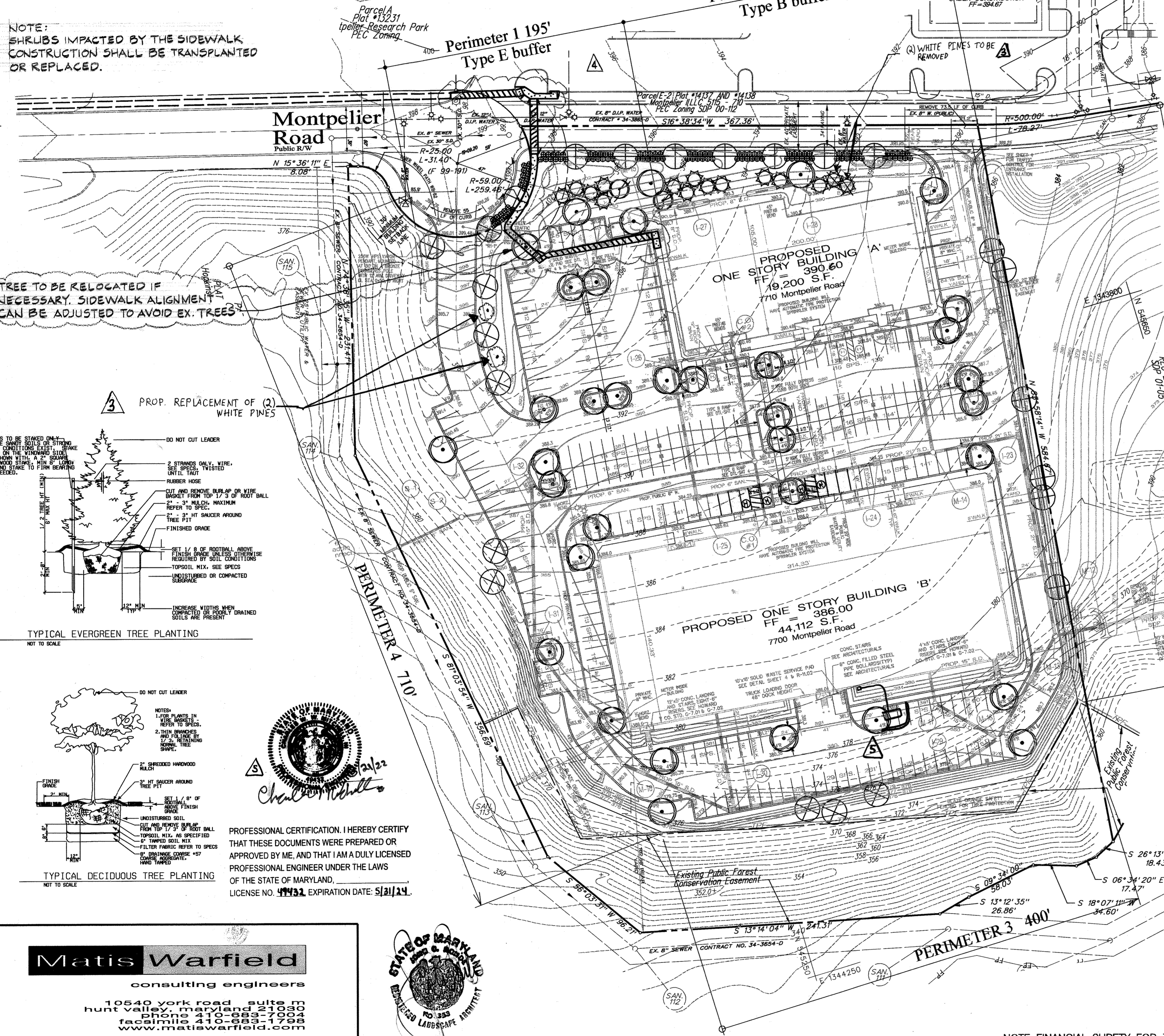


SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	261
Number of Trees Required	@ 1/20 sp. = 13
Number of Trees Provided	32
Shade Trees	
Other Trees (2:1 substitution)	
Number of Islands Required @ 1/20 sp.	13
Number of Islands Provided	23

SCHEDULE A
PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES	LANDSCAPE CALCULATIONS
LINEAR FEET OF ROADWAY	PERIMETER 1 - 195 LF TYPE E BUFFER PERIMETER 1a - 264 LF TYPE B BUFFER		1 SHADE TREE @ 40' LF = 5 SHADE TREE / 1 SHRUB @ 4 LF = 49 SHRUBS 1 SHADE TREE @ 50 LF = 5 TREES / 1 EVERGREEN TREE @ 40 LF = 7 EVERGREENS
FRONTAGE / PERIMETER		PERIMETER 2 630' L.F.	NO TREES REQUIRED
		PERIMETER 2 400' L.F.	NO TREES REQUIRED
		PERIMETER 2 710' L.F.	NO TREES REQUIRED
CREDIT FOR EXISTING VEGETATION (DESCRIBE BELOW IF NEEDED)			NO
CREDIT FOR BERM (DESCRIBE BELOW IF NEEDED)			NO
NUMBER OF PLANTS REQUIRED			10 SHADE TREES 7 EVERGREEN TREES 49 SHRUBS
NUMBER OF PLANTS PROVIDED			27 SHADE TREES 15 EVERGREEN TREES 2 FLOWERING TREES 212 SHRUBS



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 94932 EXPIRATION DATE: 5/21/14



Matis Warfield
consulting engineers
10540 York road suite 100
hunt valley, MD 21084
phone 410-683-7904
fax 410-683-1796
www.matiswarfield.com

HUMAN & ROHDE, INC.
LANDSCAPE ARCHITECTS
512 Virginia Avenue
Towson, Maryland 21286
410 825 3885

REV	DATE	DESCRIPTION	BY
3	6/28/17	ADDITION OF A GENERATOR PAD	RJK
4	10/21/19	ADD SIDEWALK & STRIPING	WRA
5	3/11/22	GENERATOR & PARKING REVISIONS	RK&K

RK&K
709 EAST PRATT ST, STE 500
BALTIMORE, MD 21202

PURPOSE STATEMENT: MODIFICATION OF THE EXISTING LANDSCAPE AREA AND EXISTING CURB WITH THE ADDITION OF PROPOSED GENERATOR; REDUCES THE PARKING COUNT BY 2 SPACES.

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
⊕	24	TILIA CORDATA GREENSPIRE GREENSPIRE LITTLELEAF LINDEN	2 1/2 - 3" CAL	B & B	
⊙	35	ACER RUBRUM 'RED SUNSET' 'RED SUNSET' RED MAPLE	2 1/2 - 3" CAL	B & B	
⊗	2	MALUS 'PRAIRIFIRE' 'PRAIRIFIRE' CRAB	1 3/4 - 2" CAL	B & B	
⊛	15	PINUS STROBUS WHITE PINE	6 - 7' HT	B & B	10' O.C. STAGGERED
⊕	121	ABELIA GRANDIFLORA GLOSSY ABELIA	18 - 24" HT	CONTAINER	4' O.C. STAGGERED

GENERAL NOTES:

- Contractor is to notify Mass Utility, a minimum of 72 hours prior to digging. Telephone: 1-800-257-7777
- The Landscape Architect is to be notified 48 hours before planting begins. The location of all plant material is to be approved in the field by the Landscape Architect. Call George Water at 504-250-2500, Division 410-545-0602.
- No tree or shrub planting pits are to be left open or unattended.
- Shrubs are to be grouped into mulched beds. Beds are to be edged and the grass is to be removed (prior to planting).
- All areas that are disturbed during construction and are not scheduled to be paved or planted shall be sodded in accordance with MDCHA standard spec's.

NO	DATE	REVISIONS
2	10-26-01	CHANGES THIS SHEET - FIRST FLOOR ELEVATION OF BUILDING A

Landscaping Notes

- STANDARDS:** ALL PLANT MATERIAL, CONSTRUCTION METHODS AND MATERIAL PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "HANDBOOK FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. THE LANDSCAPE SPECIFICATION CHECKLIST FOR DALLAS-WASHINGTON METROPOLITAN AREA.
- MAINTENANCE:** AFTER THE PLANTING HAS BEEN APPROVED BY THE LANDSCAPE ARCHITECT AND THE OWNER, THE MAINTENANCE OF WATERING AND WEEDING OF SUCH PLANTS AND PLANTED AREAS SHALL BE PROVIDED BY THE OWNER. SINCE THE PLANTS ARE TO BE GUARANTEED BY THE CONTRACTOR, THE CONTRACTOR SHALL PERIODICALLY CHECK THE MAINTENANCE CONDUCTED BY THE OWNER. IF THE CONTRACTOR IS NOT SATISFIED WITH THE MAINTENANCE OF THE PLANTS, A WRITTEN REPORT, IN TYPEWRITING, STATING APPROPRIATE CHANGES SHALL BE GIVEN IMMEDIATELY TO THE LANDSCAPE ARCHITECT; TWO COPIES WILL BE FORWARDED TO THE OWNER. BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING.
- WATERING:** IN THE ABSENCE OF ADEQUATE EXISTING WATERING SHALL BE PROVIDED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST YEAR AND SUFFICIENT QUANTITIES TO MAINTAIN MOISTURE TO THE ROOTS. IF ADEQUATE WATERING SHALL NOT BE DONE DURING THE FIRST YEAR, THE CONTRACTOR SHALL PROVIDE A RESERVE WATERING SYSTEM. IN THE OVERALL LANDSCAPE DESIGN WATERING TO ALL NEW PLANTINGS DURING THE GROWING SEASON.
- EXCAVATION:** DEPTH AND WIDTH OF EXCAVATION FOR PLANTING OF ALL PLANTS SHALL BE TO THE DEPTH AND WIDTH OF ROOT BALL OF CONTAINER OF PLANT TO BE INSTALLED EXCEPT AS NOTED ON DETAILS.
- TOPSOIL, PLANTING MIX, FERTILIZER, MULCH AND SOIL AMENDMENTS:** ALL TOPSOIL SHALL BE WELL GRADED LOAM OF GOOD FERTILITY QUANTITY AND SHALL HAVE A NUTRIENT PROFILE OF QUANTITY LARGER THAN ONE INCH IN DIAMETER AND FREE OF TOXIC SUBSTANCES, WEEDS AND ANY MATERIAL OR SUBSTANCES THAT MAY BE HARMFUL TO THE GROWING TOPSOIL SHALL CONTAIN AT LEAST ORGANIC MATTER. IF SUFFICIENT TOPSOIL IS AVAILABLE ON THE SITE, THE DEPTH AS SPECIFIED HEREIN, THE CONTRACTOR SHALL FURNISH ADDITIONAL TOPSOIL FROM ANOTHER SOURCE. THE CONTRACTOR SHALL OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL OF THE SOURCE FROM WHICH TOPSOIL IS TO BE FURNISHED.
- FERTILIZER:** FERTILIZER OR SPINES TO BE PLACED AT EACH TREE AND SHRUB AT A RATE OF 1 PINT OF FERTILIZER PER GALLON OF FOOTBALL. TABLETS OR SPINES SHALL NOT BE IN CONTACT WITH THE FOOTBALL.
- MULCH:** MULCH SHALL BE OF UNIFORM SIZE, FINE-SCREENED, DARK, HOLLOWED MULCH. AFTER MULCH SHALL BE A REDDISH BROWN COLOR AND SHALL BE

- ALL PLANT MATERIAL, CONSTRUCTION METHODS AND MATERIAL PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "HANDBOOK FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. THE LANDSCAPE SPECIFICATION CHECKLIST FOR DALLAS-WASHINGTON METROPOLITAN AREA.
- ALL TREES SHALL BE DELIVERED TO THE SITE BULLED AND BURLAPPED. ALL SHRUBS SHALL BE BULLED AND BURLAPPED OR BURLAPPED. MULCH SHALL BE BURLAPPED, "BURLAPPED" OR APPROVED EQUIVALENT.
- PRUNING, CLEANUP, PROTECTION OF EXISTING MATERIALS AND RESTORATION:** THE CONTRACTOR SHALL REMOVE PLANT MATERIAL WITHIN TWO (2) DAYS OF INSTALLATION UNLESS OTHERWISE SPECIFIED IN THE DETAILS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- DURING COURSE OF PLANTING, EXCESS AND WASTE MATERIALS SHALL BE CONTAINERS AND PROMPTLY REMOVED. LAWN AREAS SHALL BE CLEAR AND ALL EXCESS PREPARATIONS TAKEN TO AVOID DAMAGE TO ANY EXISTING LAWNS, PAVING, ETC. NOTIFICATION FOR REMOVAL OF EXCESS MATERIALS SHALL BE GIVEN IMMEDIATELY TO THE LANDSCAPE ARCHITECT. EXCESS MATERIALS SHALL BE CLEANED UP AND REMOVED FROM THE PROPERTY. EXISTING GRASSES AND LAWNS SHALL BE MAINTAINED BY THE WORKER SHALL BE RESEEDING AND SOAKED TO MATCH THE EXISTING LAWN. THE ENTIRE AREA SHALL BE NEAT AND CLEAN TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.**
- CONTRACTOR SHALL AT ALL TIMES PROTECT ALL PLANTS AND LAWN AREAS DURING THE COURSE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE LAWN AREAS SHALL BE DONE ON PLANKS OR FORDERS.**
- THE CONTRACTOR SHALL FURNISH TO THEIR ORIGINAL CONTRACTOR ALL PAYMENTS, SCORED OR PLANTED AREAS, STRUCTURES OR SUBSTRUCTURES AND ANY OTHER MATERIALS WHICH ARE OBTAINED BY THE CONTRACTOR DURING PLANTING OPERATIONS. SUCH RESTORATION SHALL BE IN A MANNER SATISFACTORY TO THE LANDSCAPE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.**
- FINAL INSPECTION AND GUARANTEE:** AFTER PLANTING IS COMPLETED INCLUDING MULCHING AND CLEANUP, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING TO REQUEST FINAL INSPECTION OF THE TOTAL PLANTING. THE LANDSCAPE ARCHITECT SHALL MAKE A FINAL INSPECTION OF THE SOURCE FROM WHICH TOPSOIL IS TO BE FURNISHED. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING WHEN ALL WORK IS SUBSTANTIALLY COMPLETE. IF WORK IS NOT SUBSTANTIALLY COMPLETE, THE LANDSCAPE ARCHITECT WILL NOTIFY THE LANDSCAPE ARCHITECT. IN WRITING, AS TO THE DEFICIENCIES. THE CONTRACTOR SHALL CORRECT THE DEFICIENCIES. THE LANDSCAPE ARCHITECT WILL BE GIVEN A REASONABLE AMOUNT OF TIME TO CORRECT THE DEFICIENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF CORRECTING THE DEFICIENCIES.
- ALL PLANT MATERIAL AND LAWN AREAS SHALL BE GUARANTEED TO BE IN A GOOD GROWING CONDITION ONE YEAR FROM THE DATE OF FINAL INSPECTION AND ACCEPTANCE. AT THE EXPIRATION OF THIS PERIOD, THE CONTRACTOR SHALL HAVE COMPLETED THE PRESCRIBED MAINTENANCE SCHEDULE. ANY PLANTS SPECIFIED WITH DAMAGE OR INJECTS WILL BE REPLACED OR "RE-DOED". ALL GRASS OR LAWN PATCHES WILL BE REPLACED BY THE SAME PLANTS AND SOIES DESCRIBED ON THE PLANT LIST. THESE PLANTS SHALL BE PLANTED, MAINTAINED AND GUY AS SPECIFIED HEREIN AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF CORRECTING THE DEFICIENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF CORRECTING THE DEFICIENCIES.**

Legal Owner (current):
Hopkins Road Limited Partnership
9030 Red Branch Road
Suite 200
Columbia, Maryland 21045
Phone 410-997-7222
Fax 410-997-6453

Developer and Contract Purchaser
MOR Montpelier LLC
c/o Manekin, Corp.
7061 Columbia Gateway Drive
Columbia, Maryland 21046
Ph. 1-800-347-2195
Fax 410-312-0666

No	DATE	REVISIONS
1	6/10/01	REVISE HANDICAP PARKING AREA IN FRONT OF BUILDING B & C

DEVELOPER'S/BUILDER'S CERTIFICATE:

"I/WE CERTIFY THAT THAT THE LANDSCAPING SHOWN ON THE APPROVED FINAL PLAN SHALL BE COMPLETED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE CERTIFY THAT HEALTHY PLANT MATERIAL WILL BE INSTALLED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN AND THAT A 1-YEAR GUARANTEE WILL BE EXECUTED."

NAME: P. COLE SCANNOR DATE: 10-2-00

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
Chief, Land/Development Division

PERMIT INFORMATION CHART			
Subdivision Name	Section / Area	Lot / Parcel No.	E-S
Montpelier Research Park			
Plan No. / Submittal No.	Grid #	Tax Map No.	Election District
10-17-01 / 10-17-01	17	41	5th
Water Code	Sewer Code	Census Tract	
E 21	6440000	6061.02	

Final Landscape Plan
Proposed Offices for The Johns Hopkins University Applied Physics Laboratory
Parcel E-5
Montpelier Research Park
Howard County, Maryland
Scale: As Shown

Sheet 8 of 8
October 2, 2000 SDP 01-19

Montpelier Road

Public R/W

Legend

- Existing Contours
- Proposed Grades
- Existing Water
- Proposed Private Water
- Proposed Public Water
- Existing Sanitary
- Proposed Private Sanitary
- Existing Storm Drain
- Proposed Private Storm Drain
- Existing Curb and Gutter
- Proposed Curb and Gutter
- Proposed Light Fixture
- Proposed Concrete Paving
- Handicap Parking Space
- Slopes > 25%
- P3 Paving
- P2 Paving
- P5 Paving
- Tree Protection Fencing

Note:
For Conc. Curb & Gutter,
Conc. Walk, Handicap
Ramp & Paving Section
Details, See Sheet 4.

Legal Owner (current):
Hopkins Road Limited Partnership
900 Red Branch Road
Suite 200
Columbia, Maryland 21045
Phone 410-997-7222
Fax 410-997-6453

Developer and Contract Purchaser
MOR Montpelier LLC
c/o Manekin Corp
7061 Columbia Gateway Drive
Columbia, Maryland 21046
Ph. 1-800-347-2195
Fax 410-312-0666

ENGINEER'S CERTIFICATE

I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Jarrius E. Matz 10/2/00
Jarrius E. Matz, P.E., MD 18948 Date

DEVELOPER'S CERTIFICATE

We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

R. Cole Schnorf 10/2/00
For MOR Montpelier LLC By: R. Cole Schnorf, Senior V.P. Date

Reviewed for Howard SCD and meets Technical Requirements

Chaf Simon 10/12/00
USDA - Natural Resources Conservation Service Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

John King 10/12/00
Howard SCD Date

APPROVED: FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC (OR PRIVATE) SEWERAGE SYSTEMS:

County Health Officer Howard County Health Department Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

William 10/17/00
Chief, Development Engineering Division Date
David 10/17/00
Chief, Land Development Division Date
Lucy 10/18/00
Director Date

ADDRESS CHART

Lot/Parcel No.	Street Address
BUILDING A	7710 Montpelier Road
BUILDING B	7700 Montpelier Road

PERMIT INFORMATION CHART

Subdivision Name	Section /Area	Lot/Parcel No.
Montpelier Research Park		E-5
Plot #	Grid #	Zoning
11421	17	PEC
Tax Map No.	Election District	Census Tract
41	5th	6051.02
Water Code	Sewer Code	
E 21	6440000	

Site Development Plan
Proposed Offices for The Johns Hopkins University Applied Physics Laboratory
Parcel E-5
Montpelier Research Park

Howard County, Maryland
Scale: As Shown

Sheet 2 of 8
October 2, 2000
SDP 01-19



FOR ALTERNATE
DRAINAGE OUTFALL
PLAN AND PROFILE,
SEE SHEET 5.

Plan

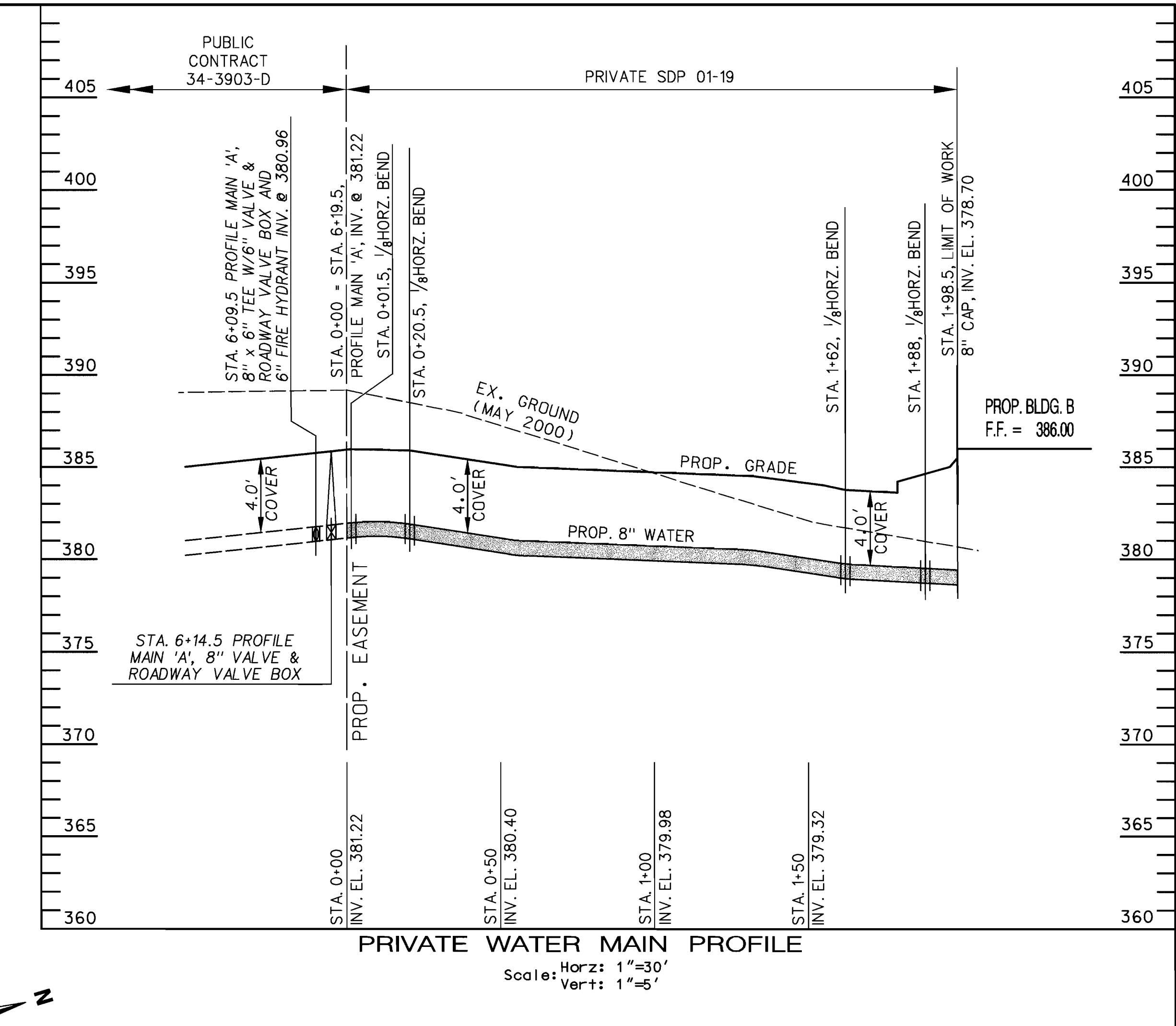
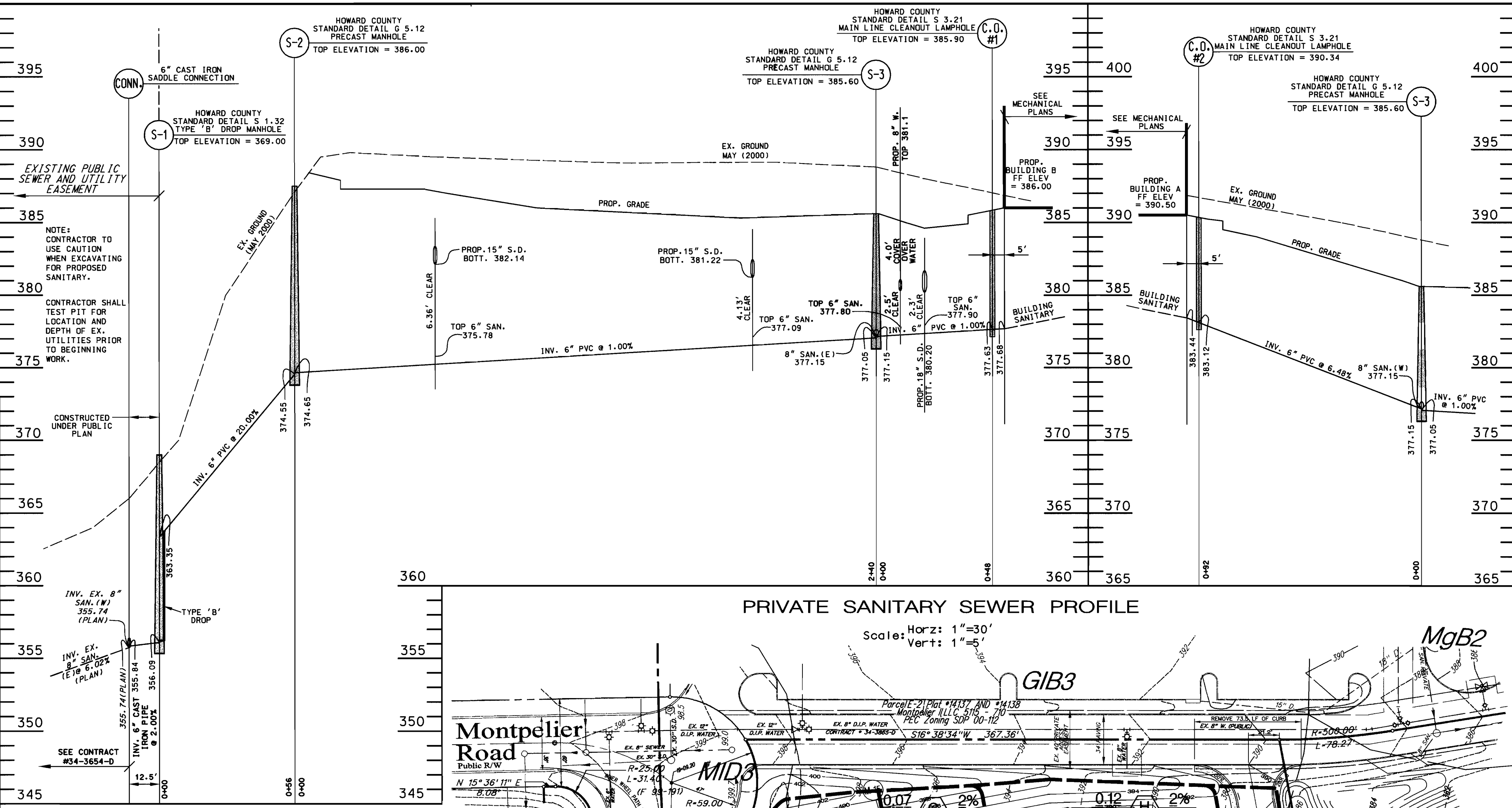
Scale 1" = 30'

No.	DATE	REVISION
1	01/01	REVISED HANDICAP PARKING AREA
2	10/12	REVISED HANDICAP PARKING AREA

Matis Warfield
consulting engineers

10540 York Road, Suite M
Hunt Valley, Maryland 21086
Phone 410-683-7100
Facsimile 410-683-1798
www.matiswarfield.com





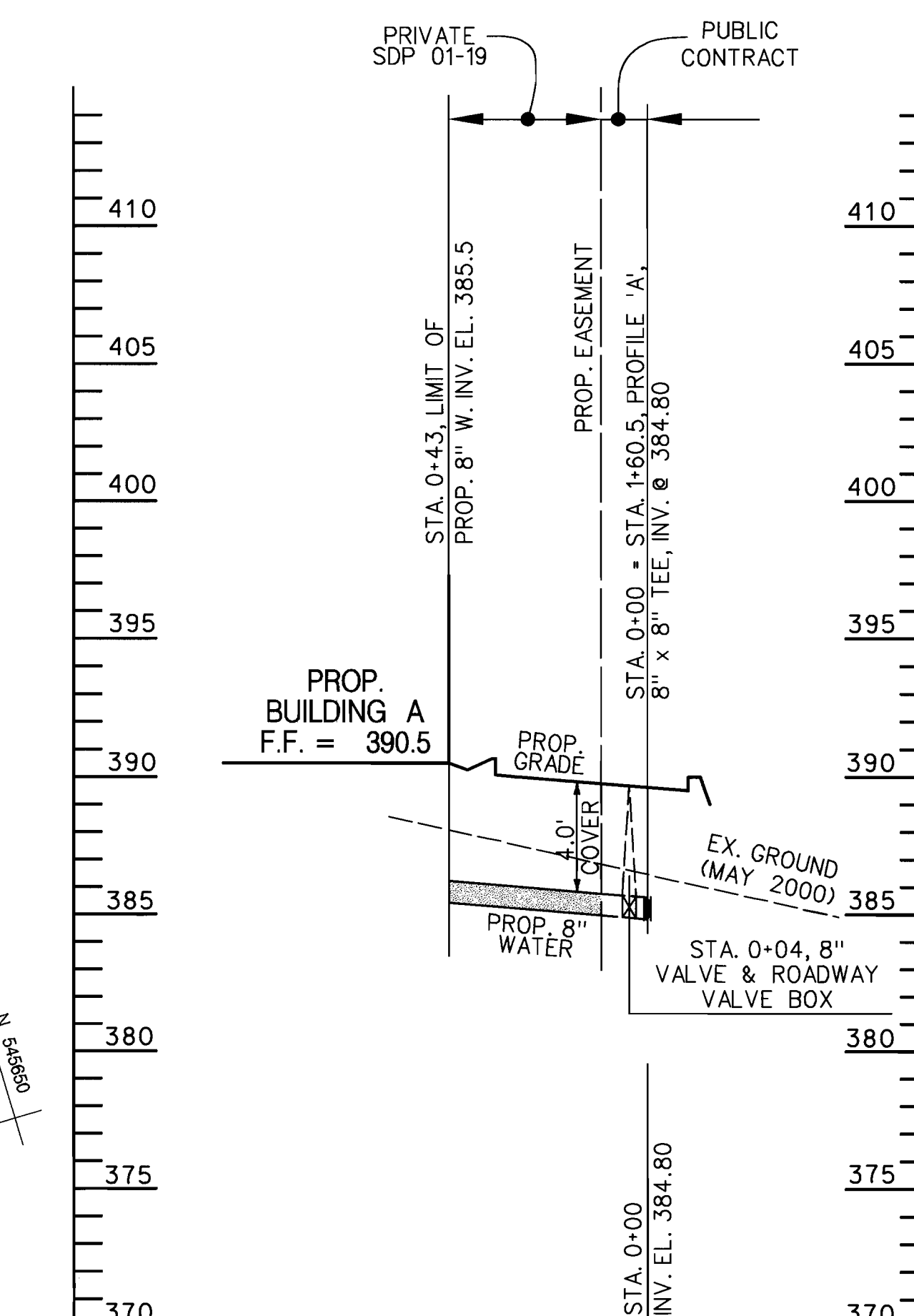
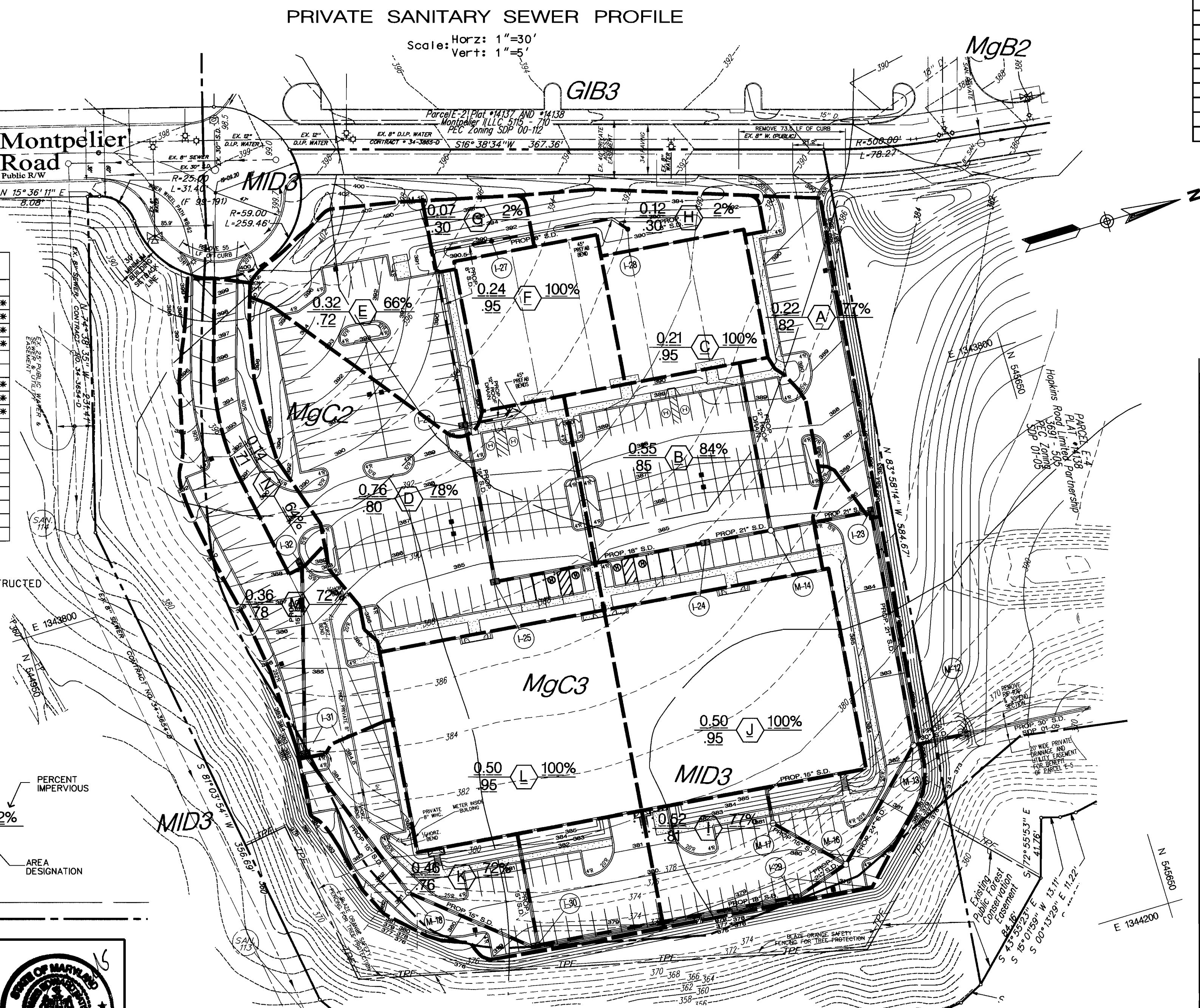
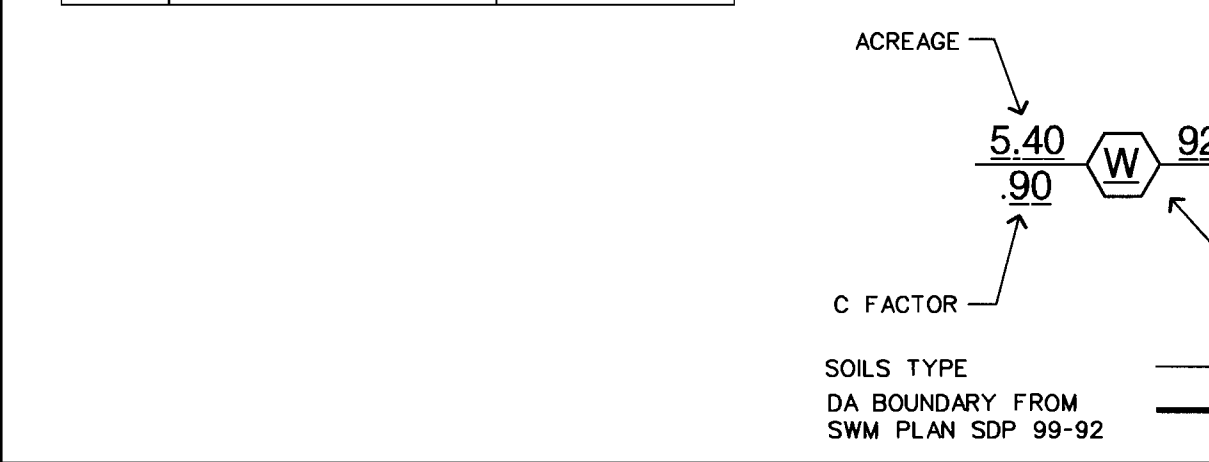
STORM DRAIN STRUCTURE SCHEDULE

NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-23	DBL. 'S' COMB.	378.27	378.07	385.30(TC)	STD. DTL. SD 4.34 **
I-24	DBL. 'S'	379.77	379.52	384.25(TG)	STD. DTL. SD 4.23 **
I-25	DBL. 'S'	381.00	380.75	384.25(TG)	STD. DTL. SD 4.23 **
I-26	DBL. 'S' COMB.	383.28	382.83	389.60(TC)	STD. DTL. SD 4.34 **
I-27	YARD INLET	384.77	384.60	389.70(TG)	STD. DTL. SD 4.14
I-28	YARD INLET	-	385.27	389.00(TG)	STD. DTL. SD 4.14
I-29	DBL. 'S' COMB.	373.54	373.29	379.00(TC)	STD. DTL. SD 4.34 **
I-30	DBL. 'S' COMB.	375.23	374.98	379.00(TC)	STD. DTL. SD 4.34 **
I-31	DBL. 'S' COMB.	380.03	379.83	384.60(TC)	STD. DTL. SD 4.34 **
I-32	DBL. 'S' COMB.	-	382.67	388.40(TC)	STD. DTL. SD 4.34
M-12	5' MANHOLE	367.98	367.78	373.50	STD. DTL. G 5.05
M-13	5' MANHOLE	371.08	370.58	382.15	STD. DTL. G 5.13
M-14	4' MANHOLE	379.18	378.98	384.65	STD. DTL. G 5.12
M-15	4' MANHOLE	384.39	384.22	390.70	STD. DTL. G 5.12
M-16	5' MANHOLE	372.60	372.35	379.70	STD. DTL. G 5.13
M-17	4' MANHOLE	376.25	376.05	381.00	STD. DTL. G 5.12
M-18	4' MANHOLE	376.60	376.40	381.05	STD. DTL. G 5.12
E-3	CONC END SECT	-	-	-	STD. DTL. SD 5.51*

**MODIFIED, SEE DETAILS SHT. 5
(TC)-TOP CURB
(TG)-TOP GRATE
*ONLY NECESSARY IF DRAIN SYSTEM ON PARCEL E-4 HAS NOT BEEN CONSTRUCTED

PIPE SCHEDULE

SIZE	TYPE	PIPE LENGTH-FEET
8"	HDPE	260
12"	HDPE	153
15"	RCCP CL IV	616
18"	RCCP CL IV	328
21"	RCCP CL III	322
24"	RCCP CL III	94
30"	RCCP CL III	38



Drainage Area Map
Scale 1" = 50'

Matis Warfield
consulting engineers
10840 York Road, Suite M
Hunt Valley, Maryland 21086
Phone 410-883-7004
Facsimile 410-883-7193
www.matiswarfield.com



REVISIONS

No.	DATE	REVISION
1	9/16/01	REMOVE HANDICAP PARKING AREA IN FRONT OF BUILDING B (S.P.)

Legal Owner (current):
Hopkins Road Limited Partnership
9030 Red Branch Road
Suite 200
Columbia, Maryland 21045
Phone 410-997-7222
Fax 410-997-6453

Developer and Contract Purchaser:
MOR Montpelier LLC
c/o Manekin, Corp.
7061 Columbia Gateway Drive
Columbia, Maryland 21046
Ph. 1-800-347-2195
Fax 410-312-0666

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] Chief, Development Engineering Division
[Signature] Chief, Land Development Division
[Signature] Director

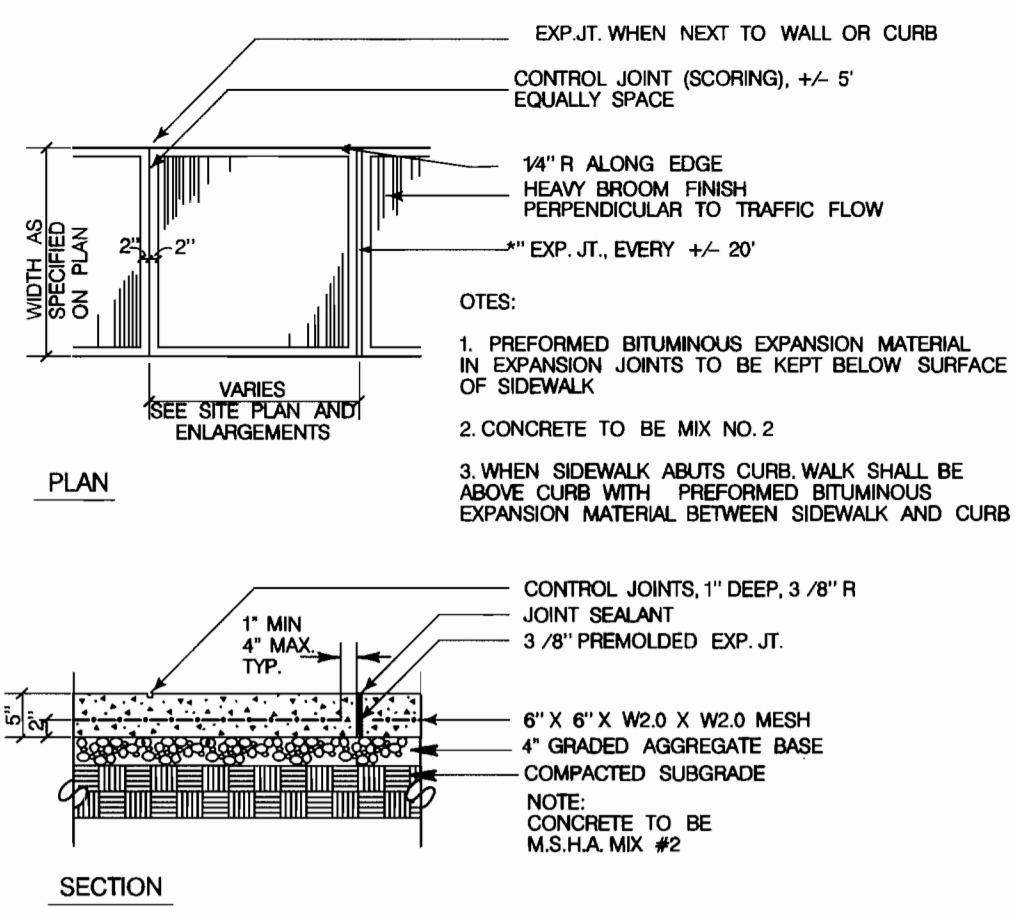
PERMIT INFORMATION CHART

Subdivision Name Montpelier Research Park	Section / Area	Lot / Parcel No. E-5
Plan or Location 1441	Grid # 17	Zoning PEC
Water Code E 21	Tax Map No. 41	Election District 5th
	Census Tract 0051.02	
	Sewer Code 6440000	

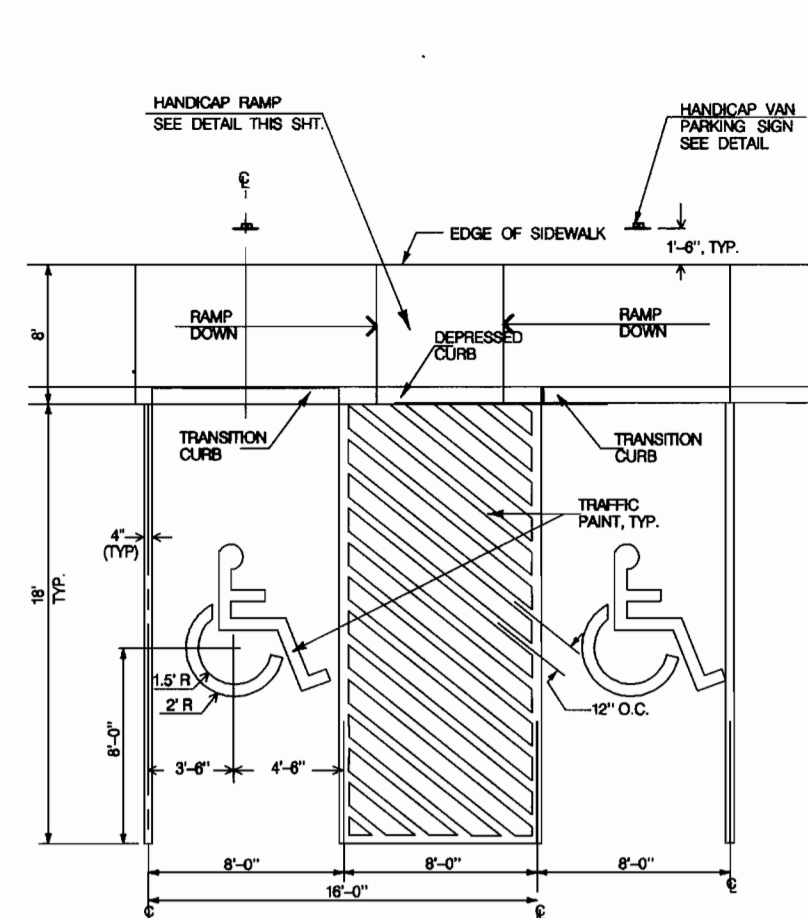
Drainage Area Map Utility Profiles
Proposed Offices for The Johns Hopkins University Applied Physics Laboratory
Parcel E-5
Montpelier Research Park

Howard County, Maryland
Scale: As Shown

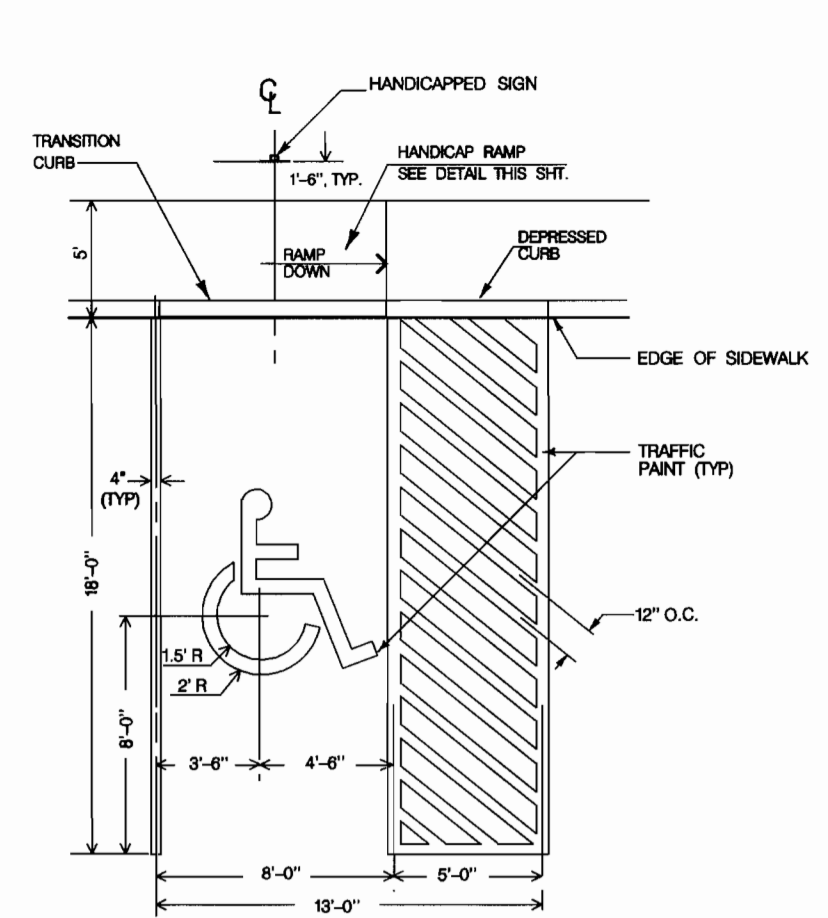
Sheet 3 of 8
October 2, 2000
SDP 01-19



Detail Concrete Walk
Not To Scale



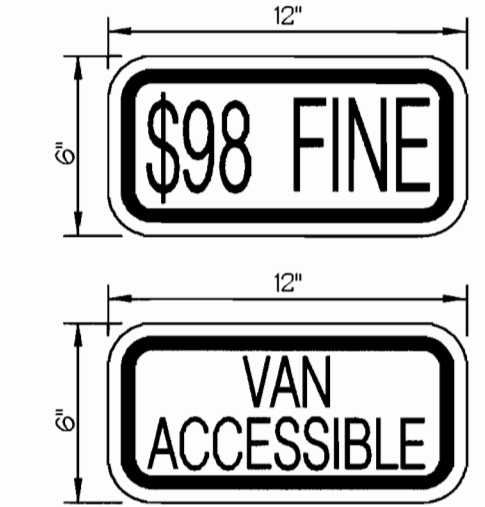
Detail Van Accessible Handicap Parking Spaces
Not To Scale



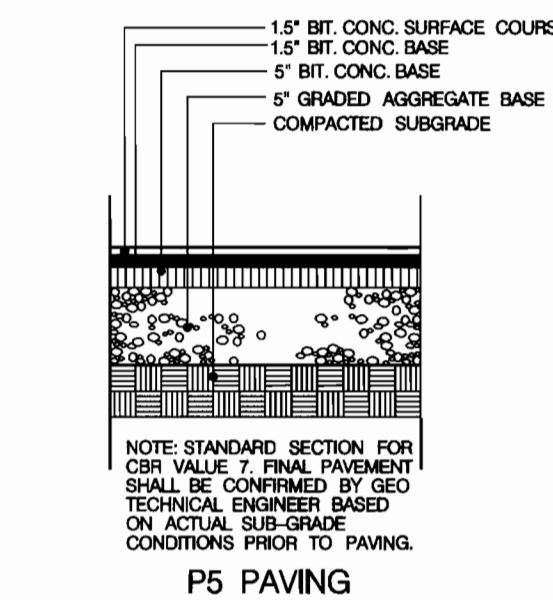
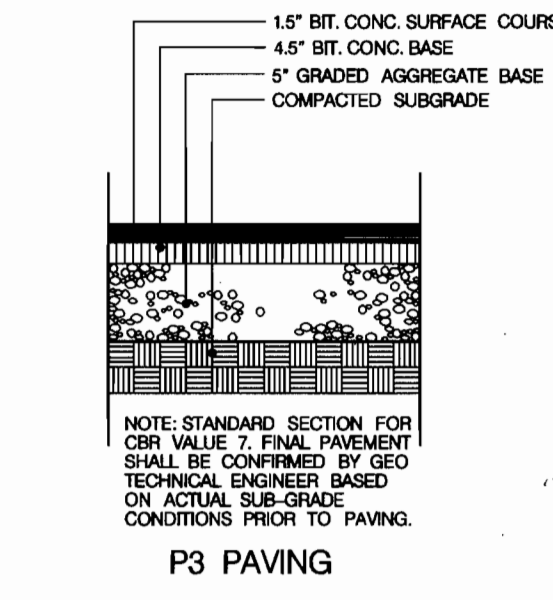
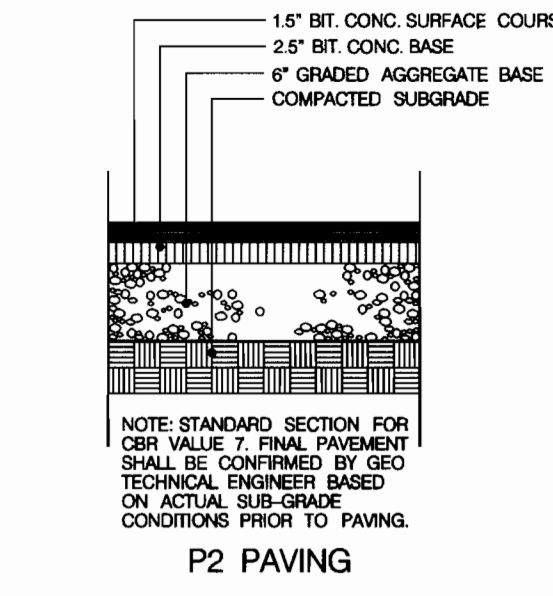
Detail Handicap Parking Space
Not To Scale



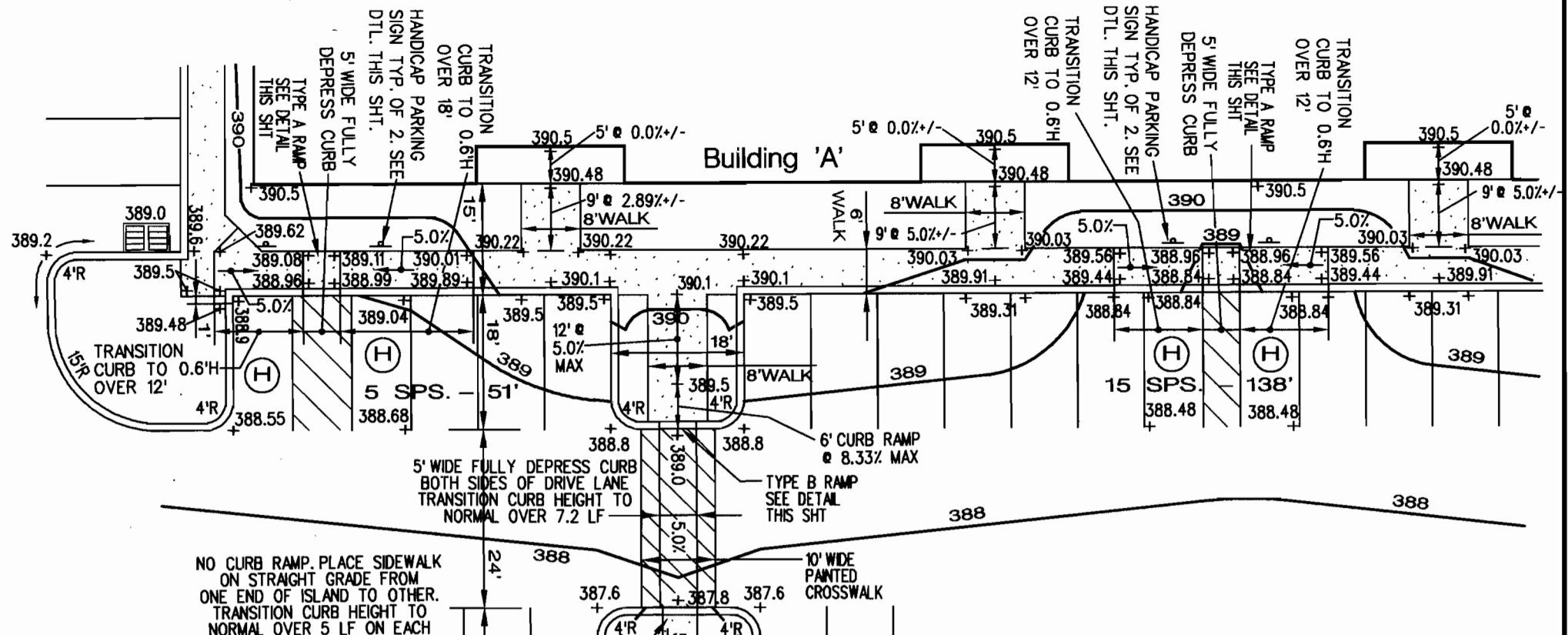
Detail Handicap Parking Sign
Not To Scale



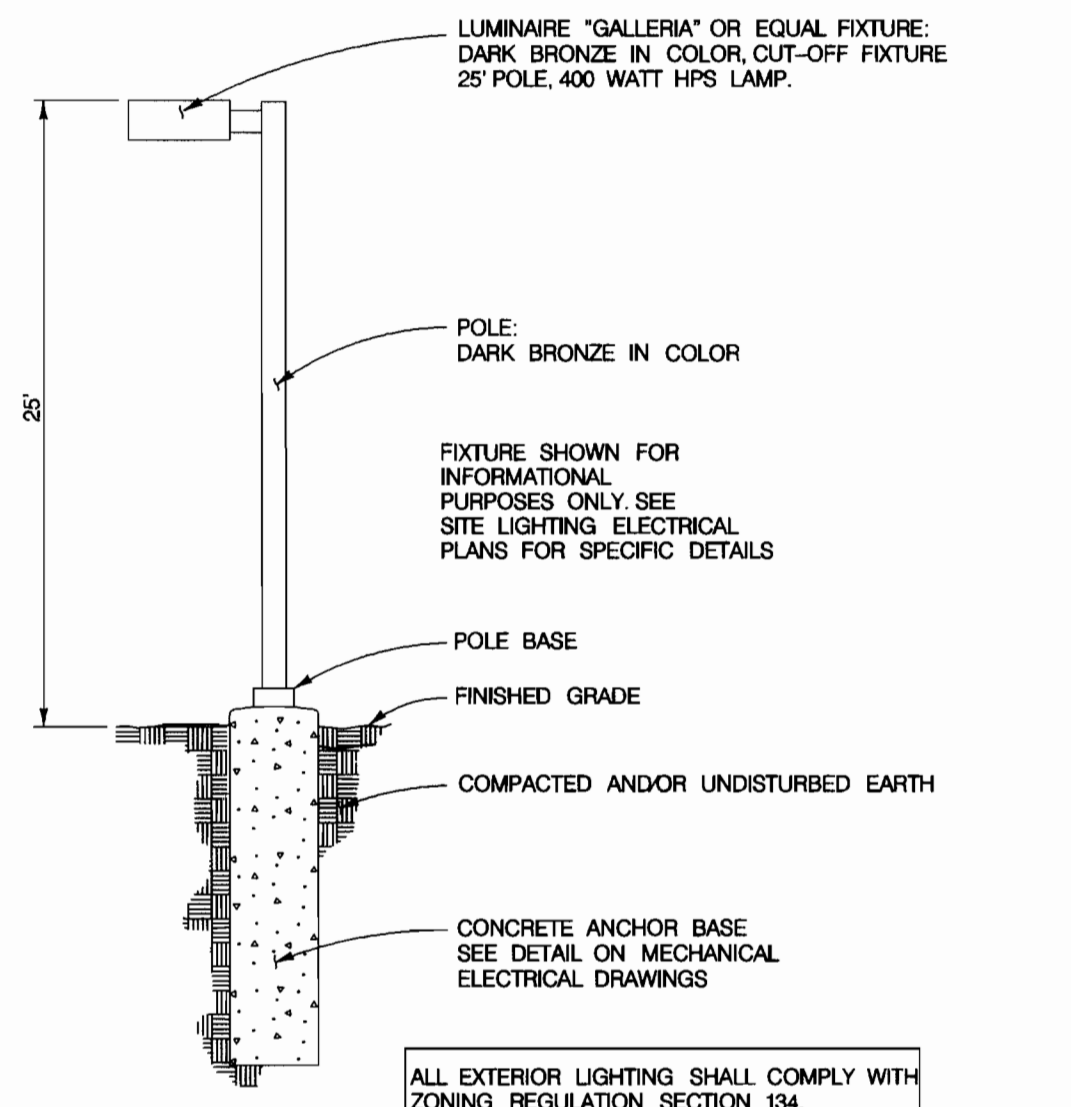
Detail Paving Sections
Not To Scale



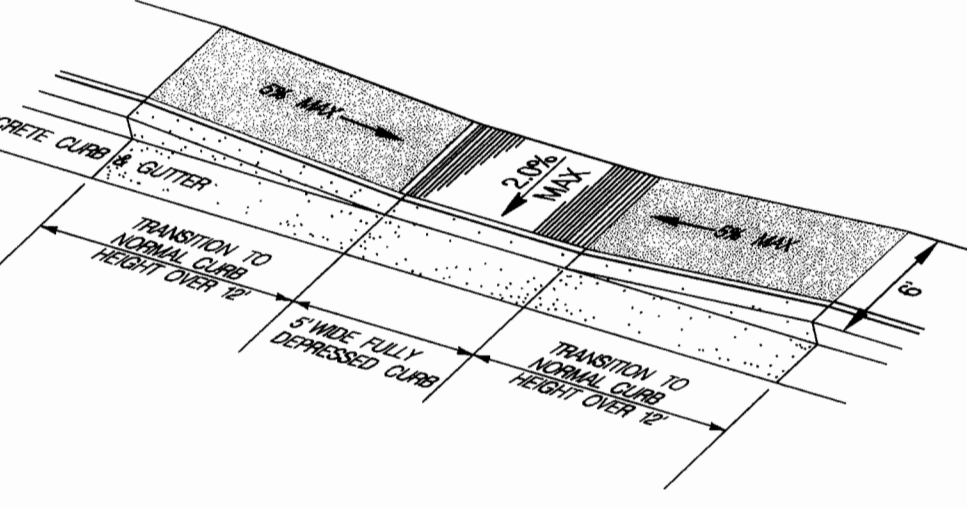
Detail Paving Sections
Not To Scale



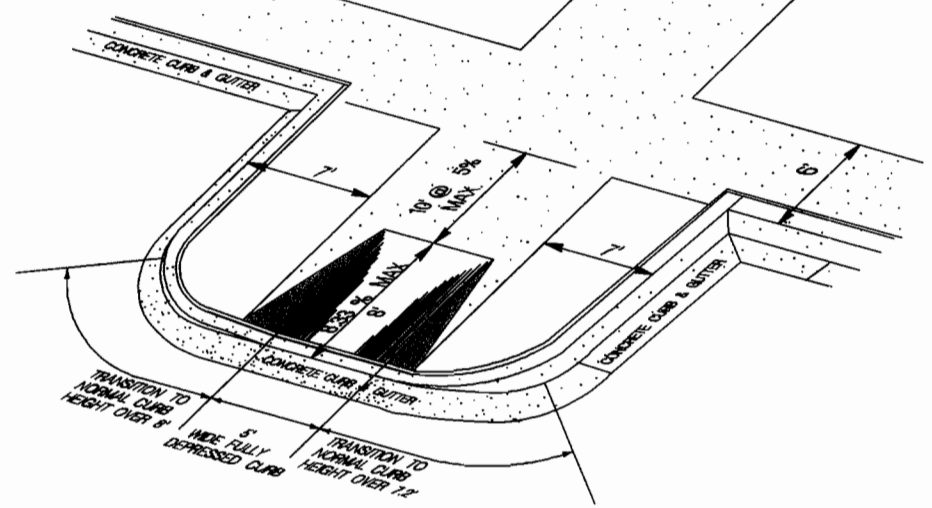
Detail Handicap Accessible Route Buildings A & B and Between Buildings
Scale: 1" = 20'



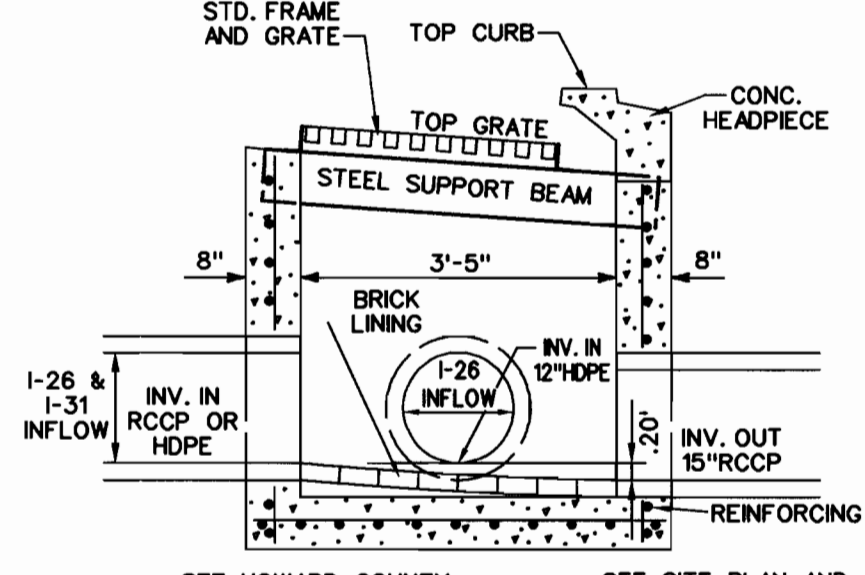
Detail Sharp Cutoff Area Light
Not To Scale



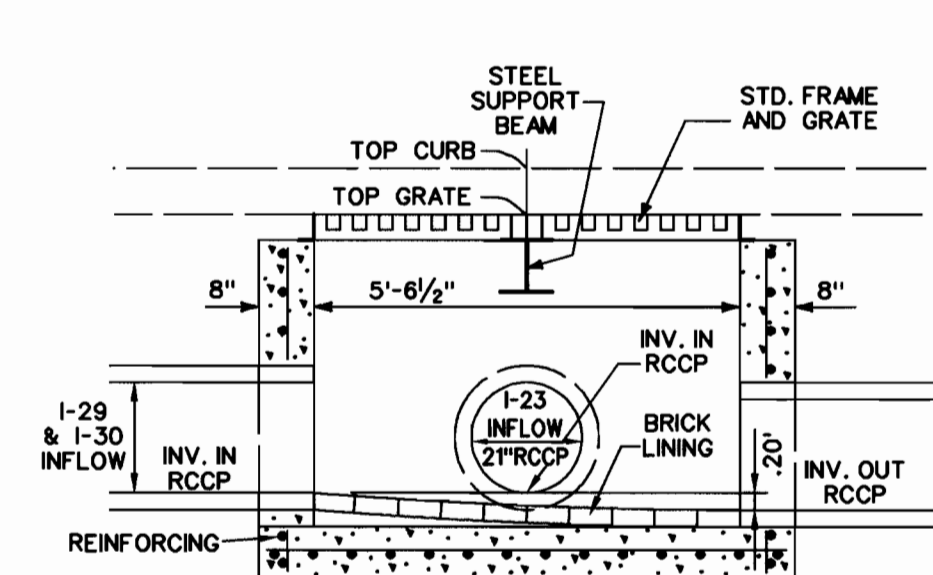
Type 'A' Handicap Ramp
Not To Scale



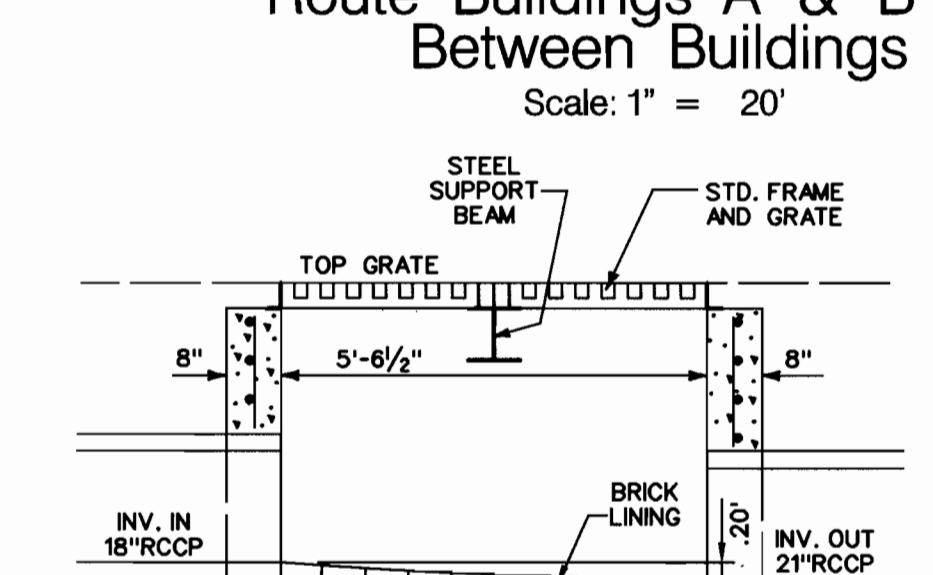
Type 'B' Curb Ramp
Not To Scale



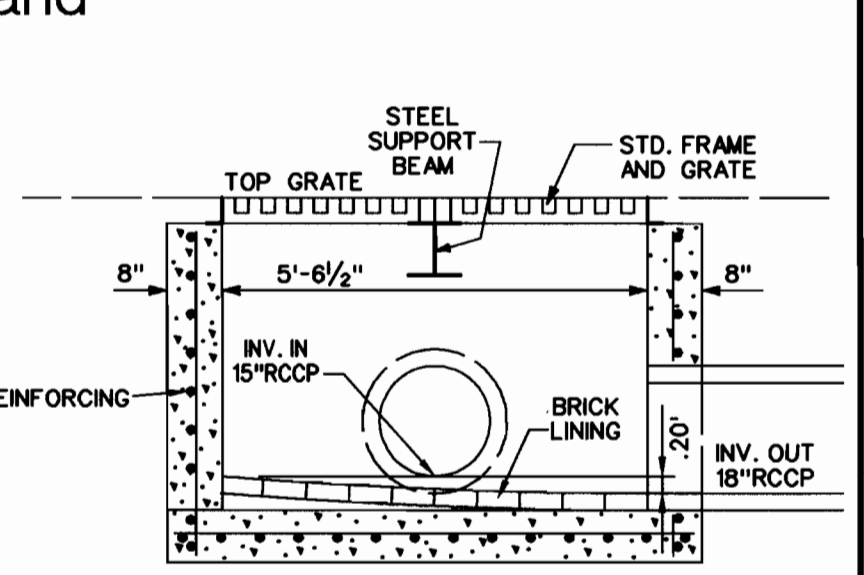
Modified For Flow Through Double Type 'S' Comb. Inlet (I-26 & 31)
Not To Scale



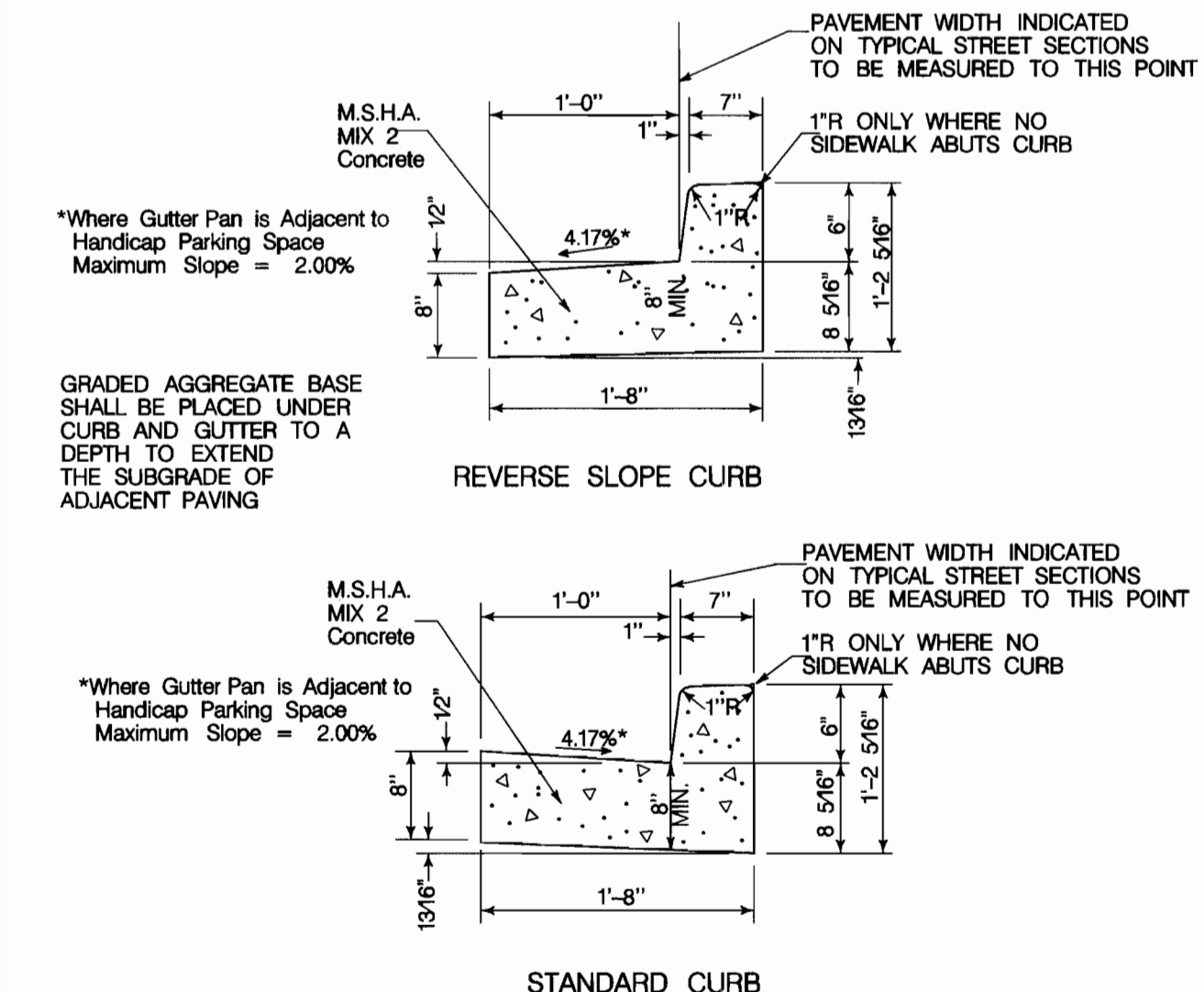
Modified For Flow Through Double Type 'S' Comb. Inlet (I-23, 29 & 30)
Not To Scale



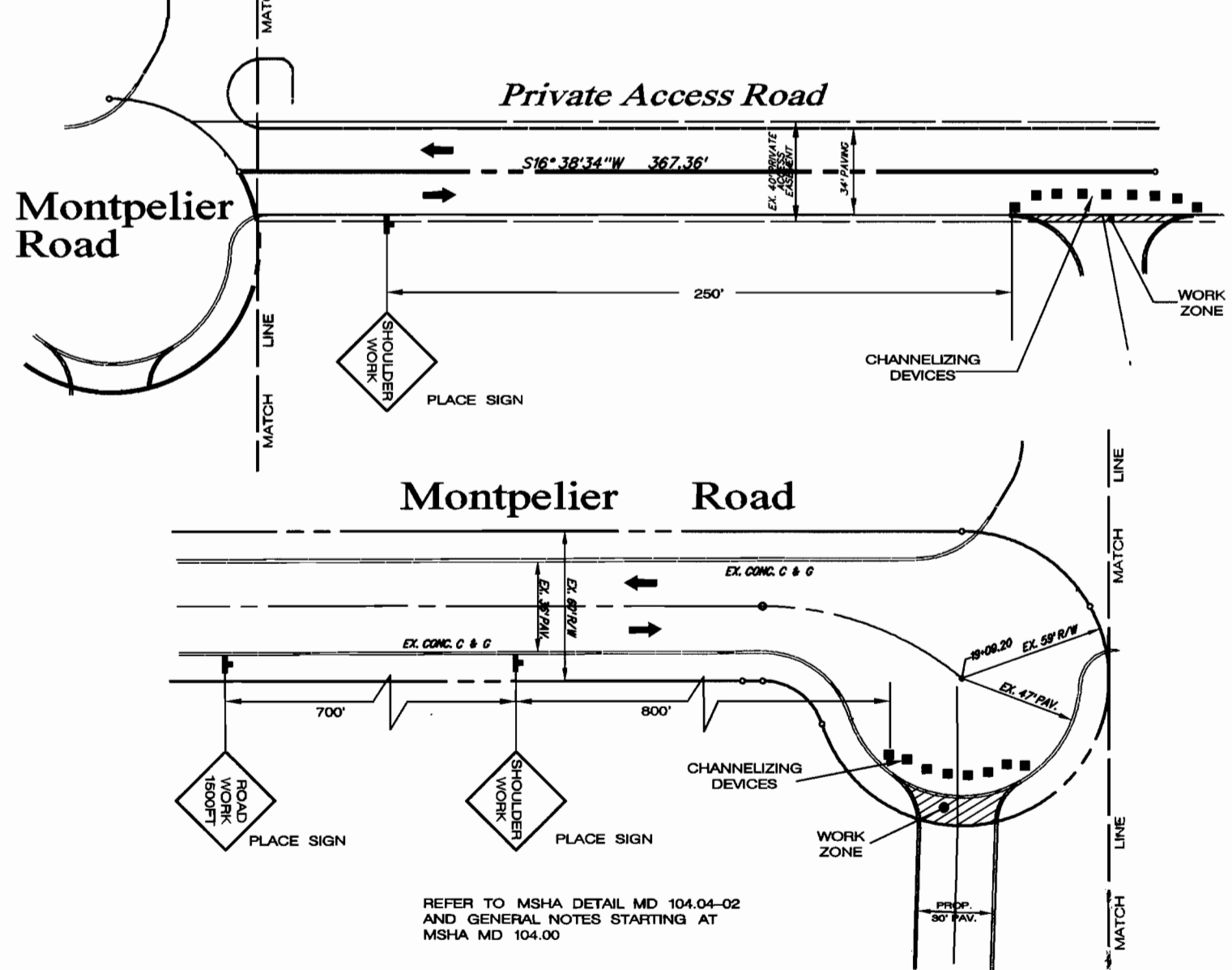
Modified For Flow Through Double Type 'S' Inlet (I-24)
Not To Scale



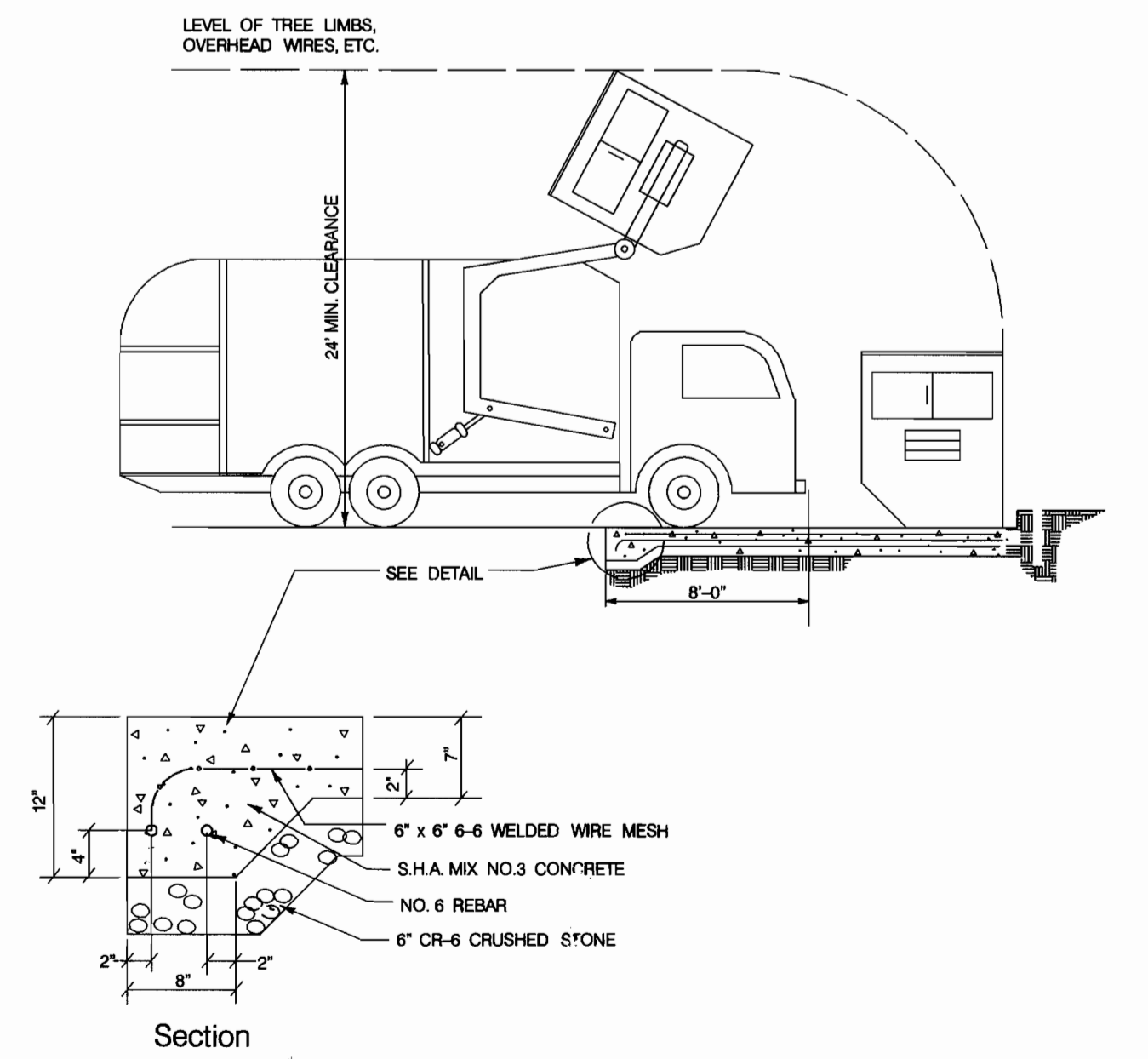
Modified For Flow Through Double Type 'S' Inlet (I-25)
Not To Scale



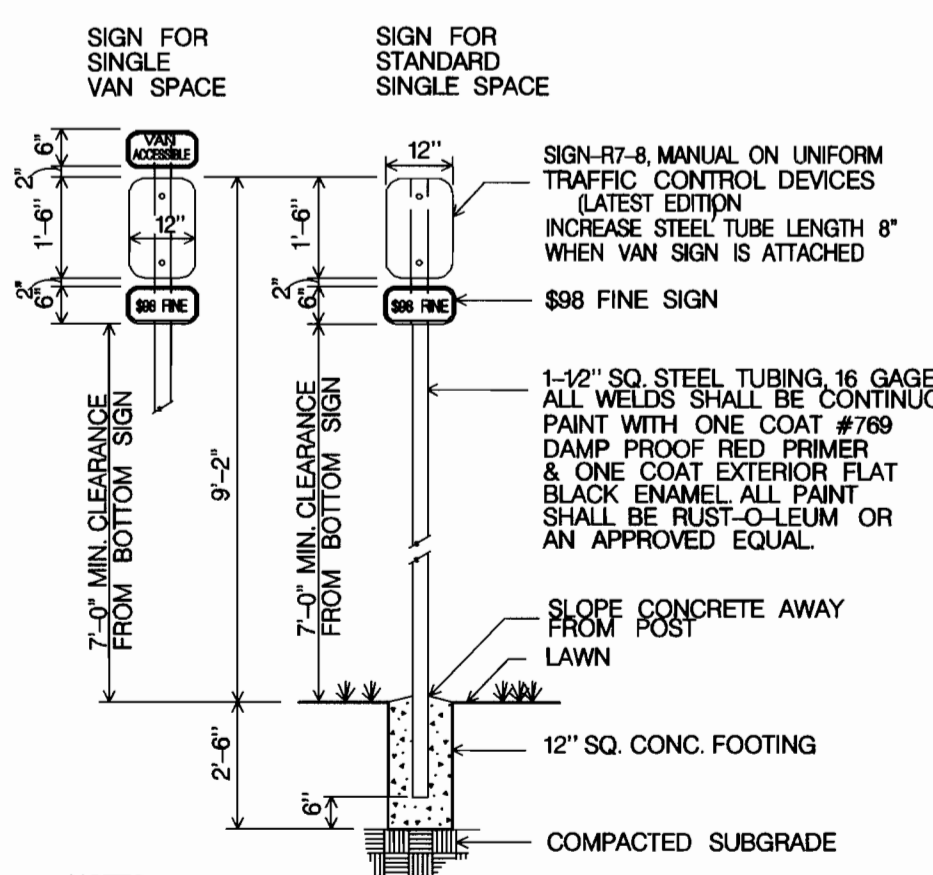
Refer to Howard County Standard Plate R-3.01
Detail Concrete Curb and Gutter
Not To Scale



Work Zone Traffic Control Detail
Not To Scale



Detail Solid Waste Service Pad
Not To Scale



Detail Handicap Parking Sign & Post
Not To Scale

Legal Owner (current):
Hopkins Road Limited Partnership
9030 Red Branch Road
Suite 200
Columbia, Maryland 21045
Phone 410-997-7222
Fax 410-997-6453

Developer and Contract Purchaser:
MOR Montpelier LLC
c/o Manekin, Corp.
7061 Columbia Gateway Drive
Columbia, Maryland 21046
Ph. 1-800-347-2195
Fax 410-312-0666

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
Chief, Lang Development Division
Director

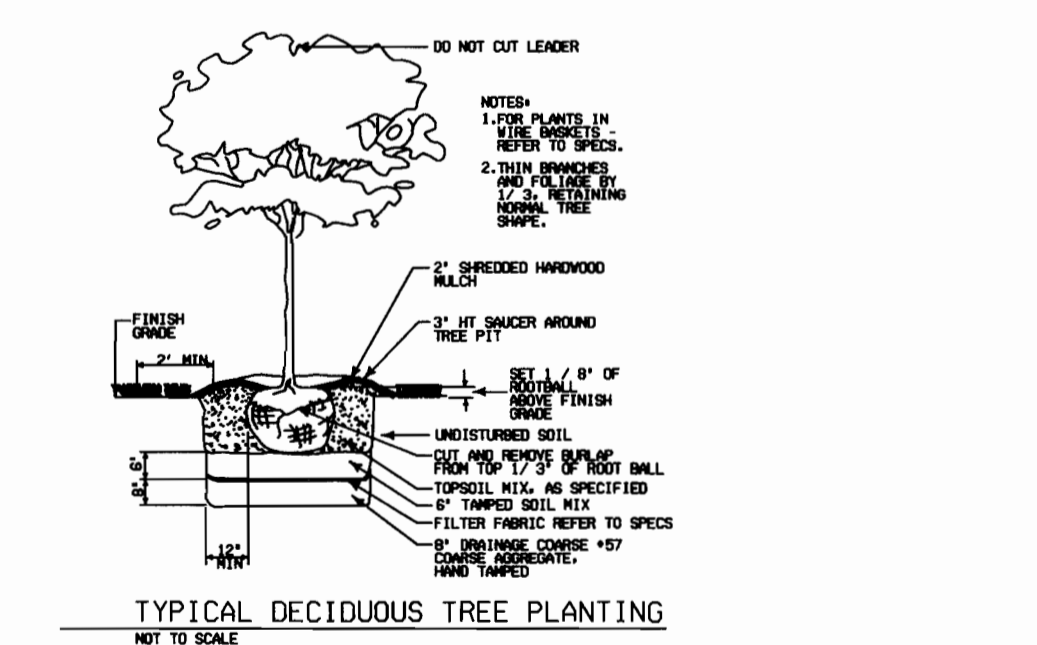
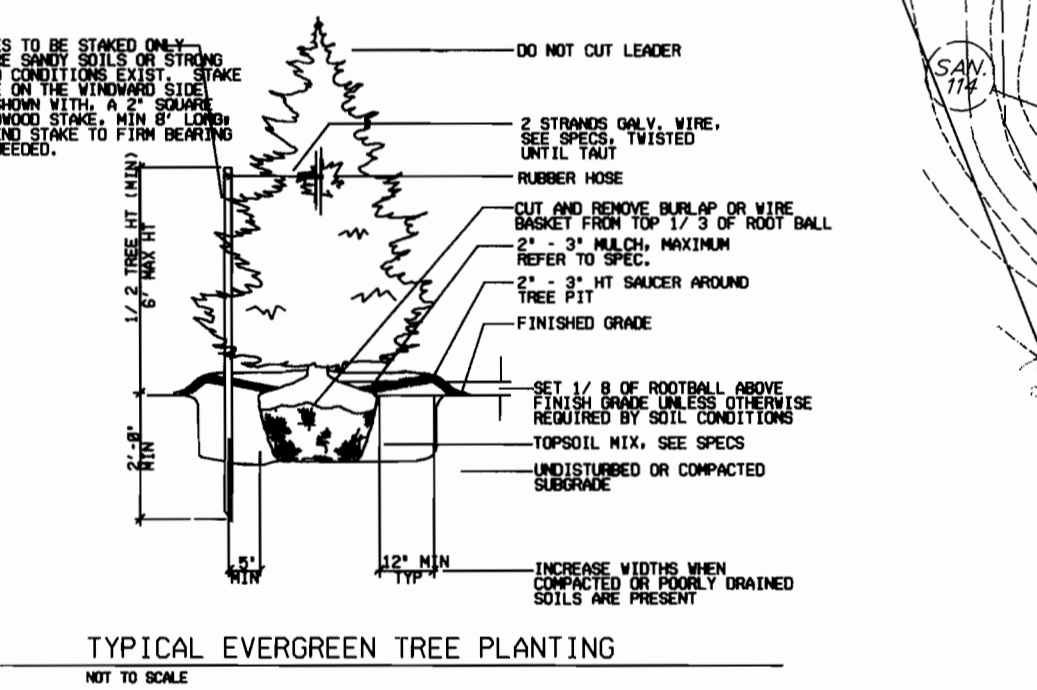
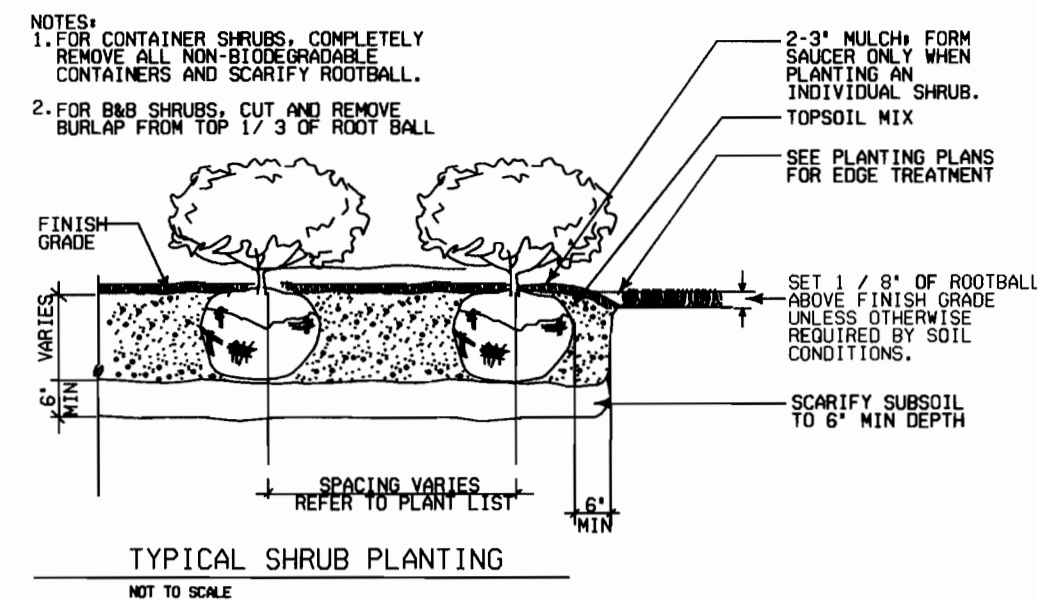
Date: 10/17/00
Date: 10/17/00
Date: 10/17/00

PERMIT INFORMATION CHART				
Subdivision Name Montpelier Research Park	Section /Area	Lot/Parcel No. E-5	Plate # E-5	Grid # 17
Water Code E 21	Zoning PEC	Tax Map No. 41	Election District 6th	Census Tract 6051.02
		Sewer Code 6440000		

Details
Proposed Offices for The Johns Hopkins University Applied Physics Laboratory
Parcel E-5
Montpelier Research Park
Howard County, Maryland
Scale: As Shown
Sheet 4 of 8
October 2, 2000
SDP 01-19

Matis Warfield
consulting engineers

10540 York Road, Suite M
Hunt Valley, Maryland 21086
Phone 410-978-7000
Facsimile 410-683-1798
www.matiswarfield.com



**SCHEDULE B
 PARKING LOT INTERNAL LANDSCAPING**

Number of Parking Spaces	261
Number of Trees Required	@ 1/20 sp. = 13
Number of Trees Provided	32
Other Trees (2:1 substitution)	
Number of Islands Required @ 1/20 sp.	13
Number of Islands Provided	23

**SCHEDULE A
 PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES	LANDSCAPE CALCULATIONS
LINEAR FEET OF ROADWAY	PERIMETER 1 - 195' LT TYPE E BUFFER PERIMETER 1a - 264' LT TYPE B BUFFER		1 SHADE TREE @ 40' LF = 5 SHADE TREE / 1 SHRUB @ 4' LF = 49 SHRUBS 1 SHADE TREE @ 40' LF = 5 TREES / 1 EVERGREEN TREE @ 40' LF = 7 EVERGREENS
FRONTAGE / PERIMETER		PERIMETER 2 630' L.F.	NO TREES REQUIRED
		PERIMETER 2 400' L.F.	NO TREES REQUIRED
		PERIMETER 2 710' L.F.	NO TREES REQUIRED
CREDIT FOR EXISTING VEGETATION (DESCRIBE BELOW IF NEEDED)			NO
CREDIT FOR BERM (DESCRIBE BELOW IF NEEDED)			NO
NUMBER OF PLANTS REQUIRED			10 SHADE TREES 7 EVERGREEN TREES 49 SHRUBS
NUMBER OF PLANTS PROVIDED			27 SHADE TREES 15 EVERGREEN TREES 2 FLOWERING TREES 212 SHRUBS

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
⊕	24	TILIA CORDATA GREENSPIRE GREENSPIRE LITTLELEAF LINDEN	2 1/2 - 3" CAL	B & B	
⊙	35	ACER RUBRUM 'RED SUNSET' 'RED SUNSET' RED MAPLE	2 1/2 - 3" CAL	B & B	
⊗	2	MALUS 'PRAIRIFIRE' 'PRAIRIFIRE' CRAB	13/4 - 2" CAL	B & B	
⊛	15	PINUS STROBUS WHITE PINE	6 - 7' HT	B & B	10' O.C. STAGGERED
⊕	121	ABELIA GRANDIFLORA GLOSSY ABELIA	18 - 24" HT	CONTAINER	4' O.C. STAGGERED

GENERAL NOTES:

- Contractor is to notify Mass Utility a minimum of 72 hours prior to digging. Telephone: 1-800-257-7777
- The Landscape Architect is to be notified 48 hours before planting begins. The location of all plant material is to be approved in the field by the Landscape Architect. Call George Walker at 514- Landscape Division 410-545-0602
- No tree or shrub planting pits are to be left open or unattended.
- Shrubs are to be grouped into mulched beds. Beds are to be edged and the grass is to be removed prior to mulching.
- All areas that are disturbed during construction and are not scheduled to be paved or planted shall be sodded in accordance with MDOTSA standard specs.

Landscape Notes

- A. STANDARDS:**
- ALL PLANT MATERIAL, CONSTRUCTION METHODS AND MATERIAL PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. THE "NURSERY SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS"
 - ALL TREES SHALL BE DELIVERED TO THE SITE BALLED AND BURLAPPED. ALL SHRUBS SHALL BE BALLED AND BURLAPPED OR BICOINFORMED. ALL GRASSES & PERENNIALS SHALL BE IN CONTAINERS.
- B. MAINTENANCE:**
- IF PLANTING HAS BEEN APPROVED BY THE LANDSCAPE ARCHITECT AND THE OWNER, THE MAINTENANCE OF WATERING AND WEEDING OF EACH PLANTING AREA SHALL BE PROVIDED BY THE OWNER. THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR. THE CONTRACTOR SHALL PERSONALLY CHECK THE MAINTENANCE CONDUCTED BY THE OWNER. IF THE CONTRACTOR IS NOT SATISFIED WITH THE MAINTENANCE OF THE PLANTS, A WRITTEN REPORT, IN TRIPLICATE, STATING APPROPRIATE CHANGES SHALL BE GIVEN IMMEDIATELY TO THE LANDSCAPE ARCHITECT. TWO COPIES WILL BE FORWARDED TO THE OWNER. OWNER MAINTENANCE IMMEDIATELY AFTER PLANTING.
 - MAINTENANCE TREES UNTIL FINAL ACCEPTANCE, BUT IN NO CASE LESS THAN 60 DAYS AFTER FINAL ACCEPTANCE OF PLANTING. MAINTENANCE SHALL BE PROVIDED BY THE CONTRACTOR. PLANTING SHALL BE GUARANTEED BY THE CONTRACTOR. THE CONTRACTOR SHALL PERSONALLY CHECK THE MAINTENANCE CONDUCTED BY THE OWNER. IF THE CONTRACTOR IS NOT SATISFIED WITH THE MAINTENANCE OF THE PLANTS, A WRITTEN REPORT, IN TRIPLICATE, STATING APPROPRIATE CHANGES SHALL BE GIVEN IMMEDIATELY TO THE LANDSCAPE ARCHITECT. TWO COPIES WILL BE FORWARDED TO THE OWNER. OWNER MAINTENANCE IMMEDIATELY AFTER PLANTING.
- C. WATERING:**
- IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PROVIDED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST YEAR. ADEQUATE QUANTITIES TO MAINTAIN MOST SOIL TO A DEPTH OF 1 INCHES. WATERING SHALL NOT BE DONE DURING THE HEAT OF THE DAY. CONTRACTOR SHALL PROVIDE A SEPARATE LUMP SUM IN THE ORIGINAL LANDSCAPE FOR WATERING TO ALL NEW PLANTINGS DURING THE GROWING SEASON.
- D. EXCAVATION:**
- DEPTH AND WIDTH OF EXCAVATION FOR PLANTING OF ALL PLANTS SHALL BE TO TWICE THE WIDTH AND WIDTH OF ROOT BALL OR CONTAINER OF PLANT TO BE INSTALLED, EXCEPT AS NOTED OTHERWISE.
- E. TOPSOIL, PLANTING MIX, FERTILIZER, MULCH AND SOIL AMENDMENTS:**
- ALL TOPSOIL SHALL BE WELL GRADED LOAM OF GOOD MATERIAL QUALITY AND SHALL BE A MINIMUM OF 18 INCHES OF OBJECTS LARGER THAN ONE INCH IN DIMENSION, AND FREE OF TOXIC SUBSTANCES. THE CONTRACTOR SHALL PROVIDE A SEPARATE LUMP SUM IN THE ORIGINAL LANDSCAPE FOR THE NECESSARY CORRECTIVE MEASURES. THE LANDSCAPE CONTRACTOR SHALL OBTAIN AT LEAST ONE ANALYTICAL REPORT FROM AN APPROVED TOPSOIL ANALYST. APPROVAL OF THE SOURCE FROM WHICH TOPSOIL IS TO BE FURNISHED.
 - FOR PLANTING MIX, MIX THOROUGHLY 2:3 APPROVED TOPSOIL (SEE TOPSOIL) AND 1:3 APPROVED ORGANIC MATTER.
 - FERTILIZER TABLETS OR SPICES TO BE PLACED AT EACH TREE AND SHRUB AT A RATE OF ONE TABLET OR ONE GALLON OF FERTILIZER PER TREE OR SHRUB. TABLETS OR SPICES SHALL NOT BE IN CONTACT WITH THE ROOTBALL.
 - MULCH MATERIAL SHALL BE OF UNIFORM SIZE. SPREADER TABLET HAYWOOD MULCH OR APPROVED EQUAL MULCH SHALL BE A REDDISH DARK BROWN COLOR AND SHALL BE

Legal Owner (current):

Hopkins Road Limited Partnership
 9030 Red Branch Road
 Suite 200
 Columbia, Maryland 21045
 Phone 410-997-7222
 Fax 410-997-6453

Developer and Contract Purchaser
 MOR Montpelier LLC
 c/o Manekin, Corp.
 7061 Columbia Gateway Drive
 Columbia, Maryland 21046
 Ph. 1-800-347-2195
 Fax 410-312-0666

No.	DATE	REVISIONS
1.	5/10/01	REVISE HANDICAP PARKING AREA IN FRONT OF BUILDING TO EQUAL

DEVELOPER'S/BUILDER'S CERTIFICATE:

"I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THE APPROVED FINAL PLAN SHALL BE COMPLETED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE CERTIFY THAT HEALTHY PLANT MATERIAL WILL BE INSTALLED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN AND THAT A 1-YEAR GUARANTEE WILL BE EXECUTED."

NAME: *P. Cole Schorff* DATE: 10-2-2000

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John J. Williams Chief, Development Engineering Division
Andy Schmittler Chief, Land Development Division
Greg J. Miller Director

10/17/00
 10/19/00

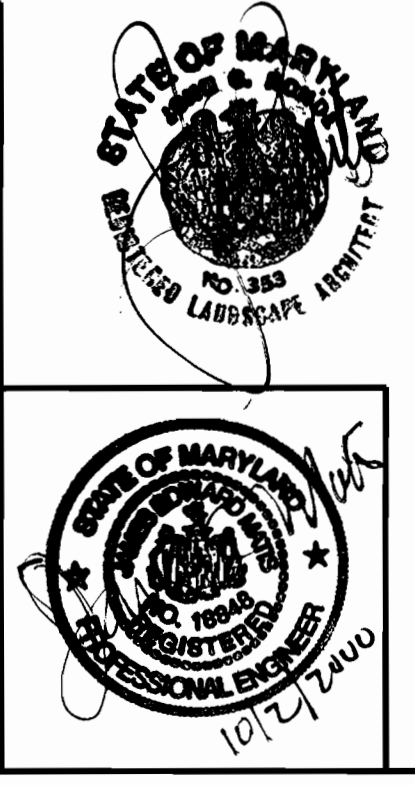
PERMIT INFORMATION CHART				
Subdivision Name	Montpelier Research Park	Section / Area		Lot / Parcel No.
Plat or Subdivision	Grid #	Zoning	Tax Map No.	Election District
Water Code	E 21	PEC	41	5th
			Sewer Code	6051.02
				644000

Final Landscape Plan
 Proposed Offices for The Johns Hopkins University Applied Physics Laboratory
 Parcel E-5
 Montpelier Research Park
 Howard County, Maryland
 Scale: As Shown

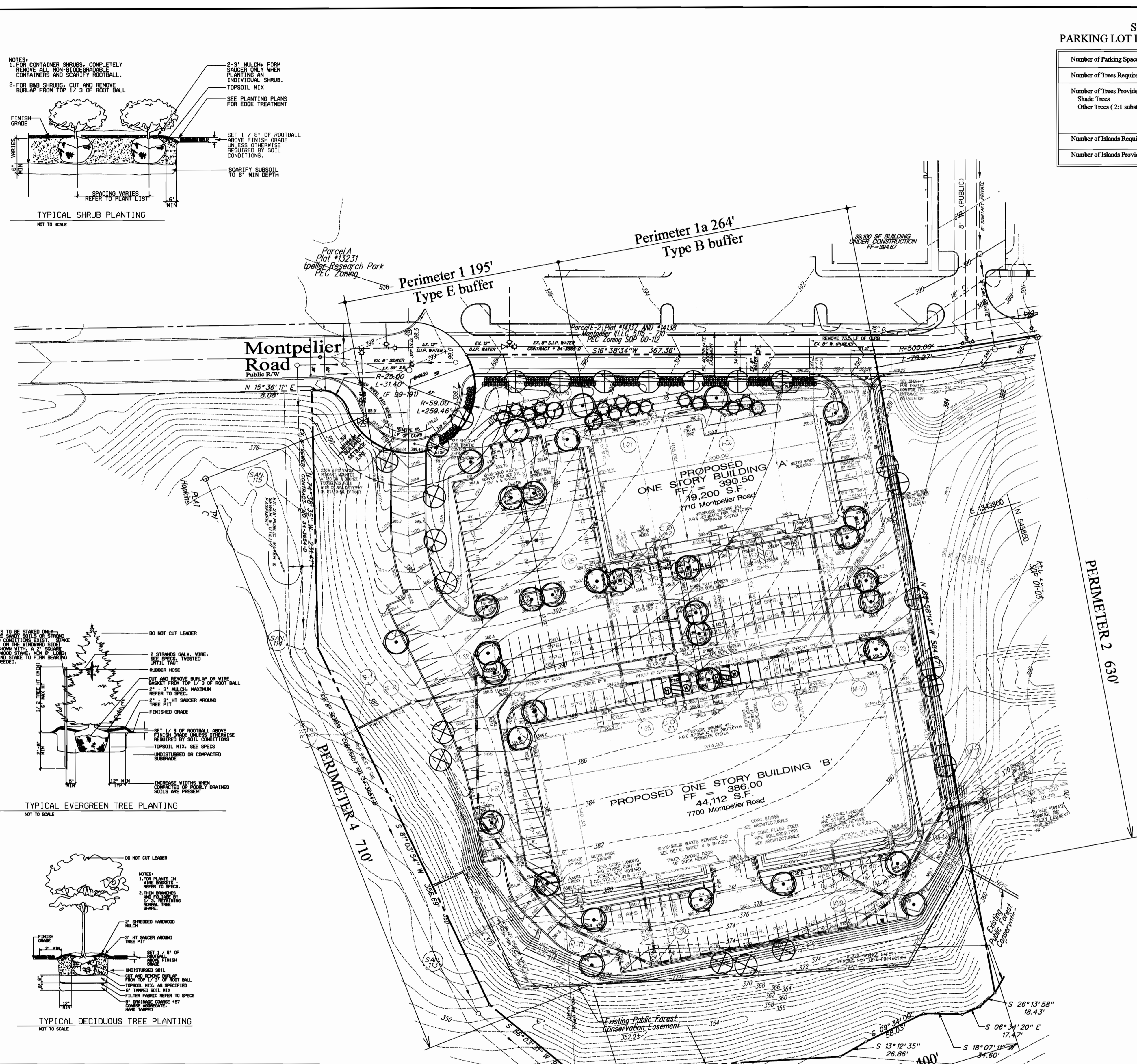
Sheet 8 of 8
 October 2, 2000
 SDP 01-19

Matis Warfield
 consulting engineers

10540 york road suite m
 hunt valley, maryland 21030
 phone 410-883-7098
 fax 410-883-7098
 www.matiswarfield.com



HUMAN & ROHDE, INC.
 LANDSCAPE ARCHITECTS
 512 Virginia Avenue
 Towson, Maryland 21286
 410 225 3885



NOTE: FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$ 29,530.00

Plan
 Scale 1" = 50'

Montpelier Road

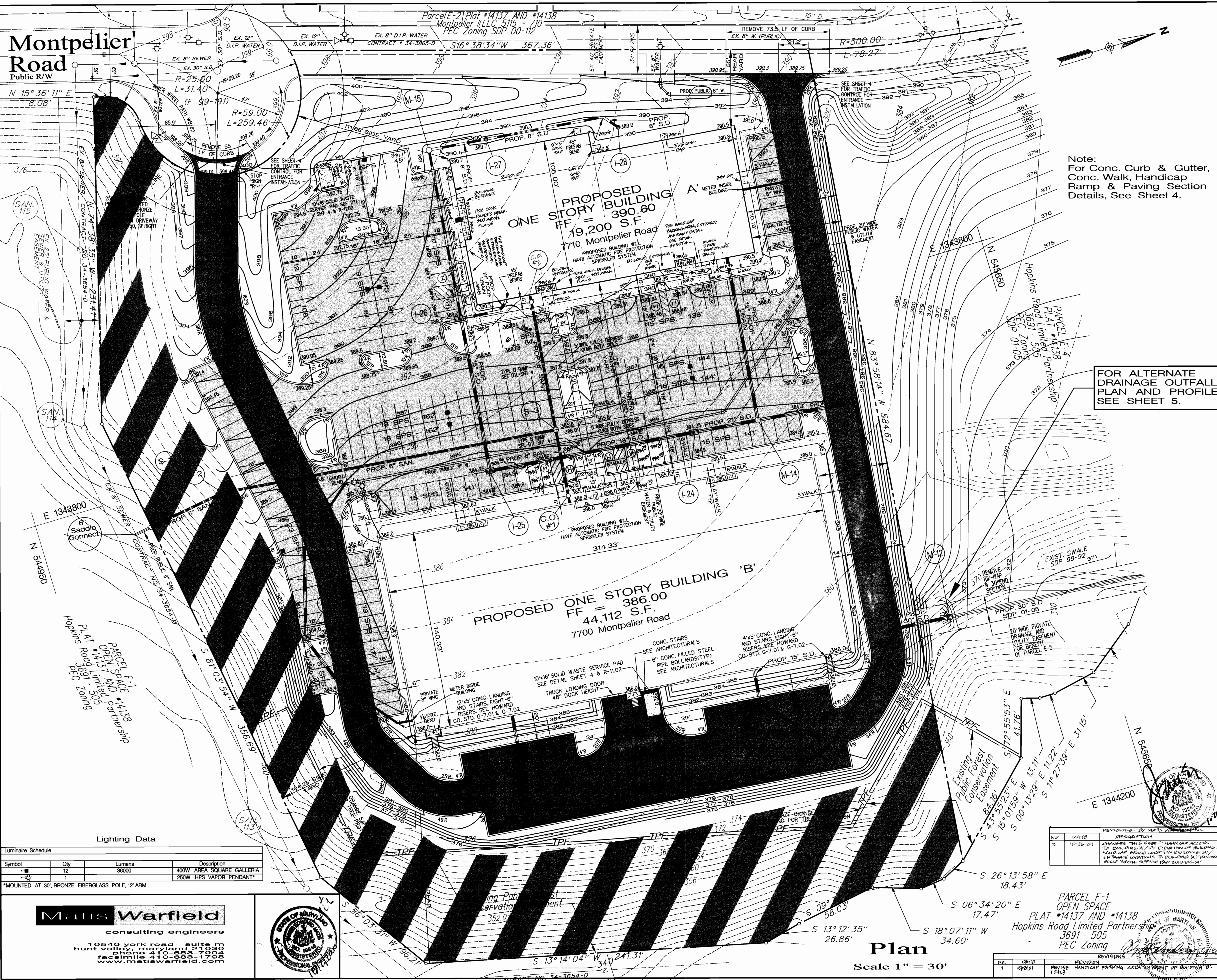
Public R/W

Legend

- Existing Contours
- Proposed Grades
- Existing Water
- Proposed Private Water
- Proposed Public Water
- Existing Sanitary
- Proposed Private Sanitary
- Existing Storm Drain
- Proposed Private Storm Drain
- Existing Curb and Gutter
- Proposed Curb and Gutter
- Proposed Light Fixture
- Proposed Concrete Paving
- Handicap Parking Space
- Slopes > 25%
- P3 Paving
- P2 Paving
- P5 Paving
- Tree Protection Fencing

Note:
For Conc. Curb & Gutter,
Conc. Walk, Handicap
Ramp & Paving Section
Details, See Sheet 4.

FOR ALTERNATE
DRAINAGE OUTFALL
PLAN AND PROFILE,
SEE SHEET 5.



Legal Owner (current): Hopkins Road Limited Partnership
3030 Red Branch Road
Suite 200
Columbia, Maryland 21045
Phone 410-997-7222
Fax 410-997-6453

Developer and Contract Purchaser: MOR Montpelier LLC
C/O Manekin Corp
7061 Columbia Gateway Drive
Columbia, Maryland 21046
Ph. 1-800-347-2195
Fax 410-312-0666

ENGINEER'S CERTIFICATE
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

James E. Matte 10/2/2000
Date

DEVELOPER'S CERTIFICATE
We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

R. Cole Schnorf 10/2/2000
Date

Reviewed for Howard SCD and meets Technical Requirements

Chaf Simon 10/12/00
Date

USDA - Natural Resources Conservation Service

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

John King 10/12/00
Date

APPROVED: FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC (OR PRIVATE) SEWERAGE SYSTEMS:

County Health Officer Howard County Health Department
Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John DeWinn 10/17/00
Date

Chief, Development Engineering Division

Wanda Hamilton 10/17/00
Date

Chief, Land Development Division

Greg A. Miller 10/18/00
Date

Director

ADDRESS CHART

Lot/Parcel No.	Street Address
BUILDING A	7710 Montpelier Road
BUILDING B	7700 Montpelier Road

PERMIT INFORMATION CHART

Subdivision Name	Section /Area	Lot/Parcel No.
Montpelier Research Park		E-5
Grid #	Zoning	Tax Map No.
17	PEC	41
Water Code	Election District	Census Tract
E 21	41	6051.02
Sewer Code		
6440000		

Site Development Plan
Proposed Offices for The Johns Hopkins University Applied Physics Laboratory
Parcel E-5
Montpelier Research Park

Howard County, Maryland
Scale: As Shown

Sheet 2 of 8
October 2, 2000
SDP 01-19

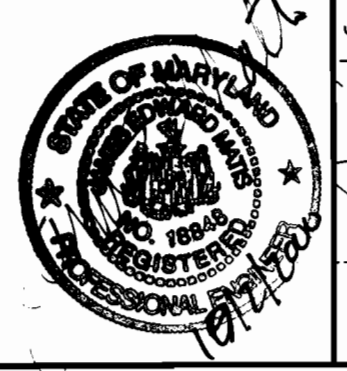
Lighting Data

Luminaire Schedule	Qty	Lumens	Description
1	12	36000	400W AREA SQUARE GALLERIA
2	1		250W HPS VAPOR PENDANT*

*MOUNTED AT 30', BRONZE FIBERGLASS POLE, 12' ARM

Matis Warfield
consulting engineers

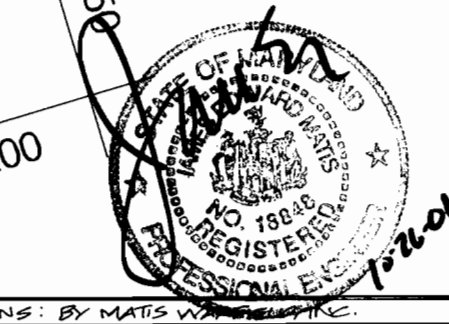
10540 York road suite m
hunt valley, maryland 21086
phone 410-883-7000
fax 410-883-1708
www.matiswarfield.com



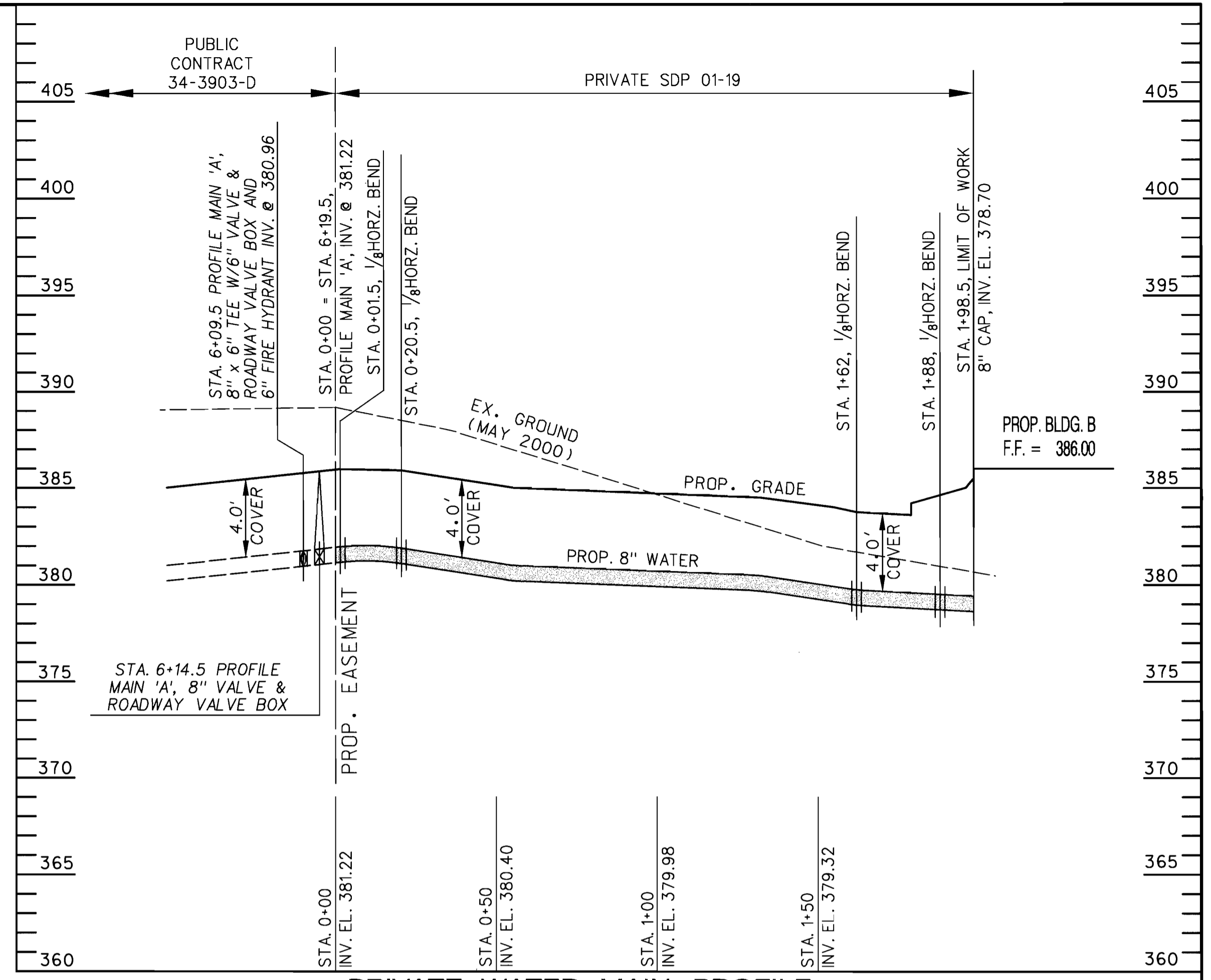
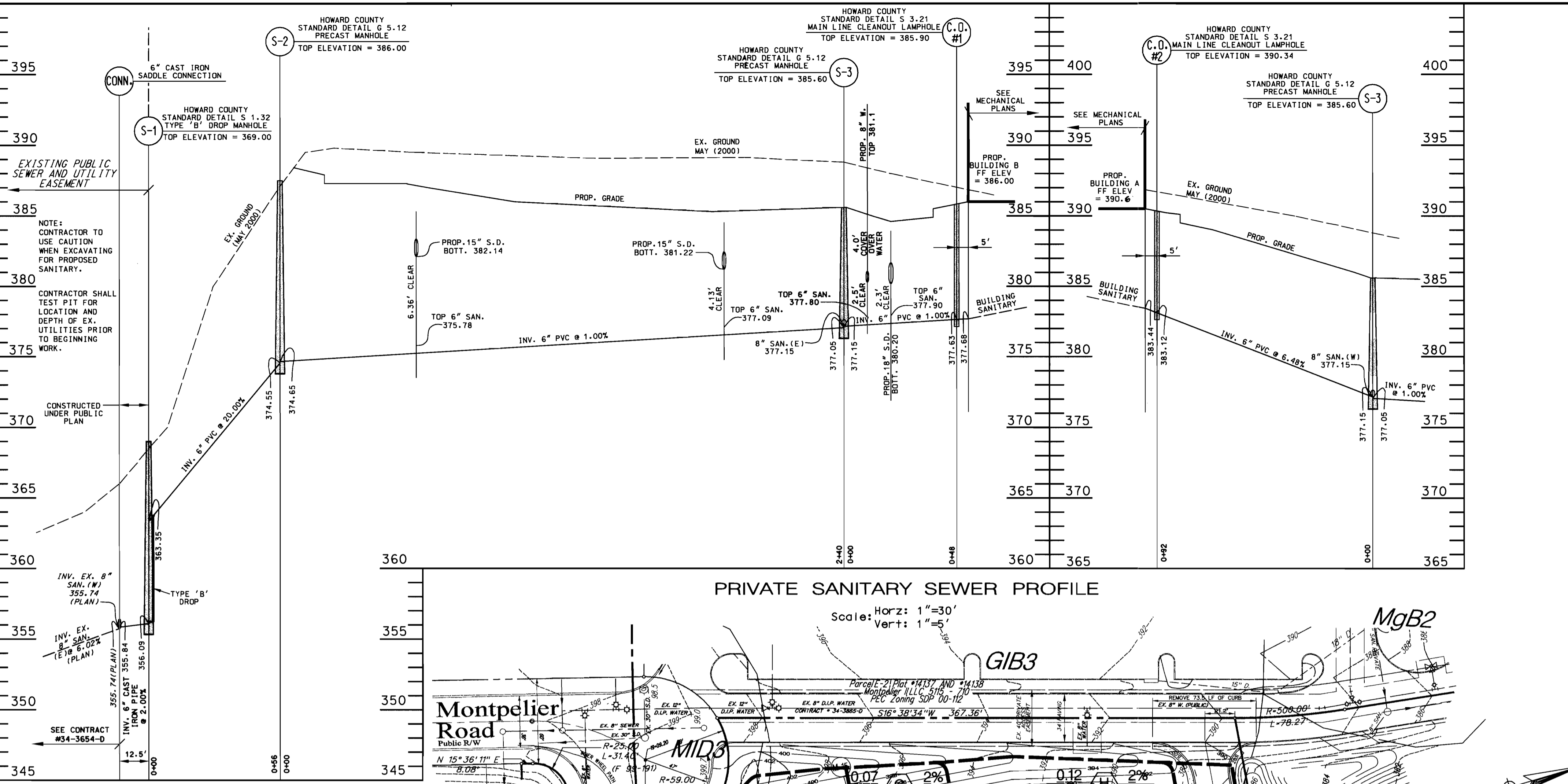
Plan
Scale 1" = 30'

REVISIONS: BY MATS W

NO.	DATE	DESCRIPTION
1	10-26-01	CHANGES THIS SHEET: HANDICAP ACCESS TO BUILDING A, FIRE EXITS OF BUILDING A, HANDICAP SPACE LOCATION BUILDING A, CHANGE LOCATION TO BUILDING A, RELOCATE SOLID WASTE SERVICE PAD BUILDING A.



PARCEL F-1
OPEN SPACE
PLAT #14137 AND #14138
Hopkins Road Limited Partnership
3691 - 505
PEC Zoning



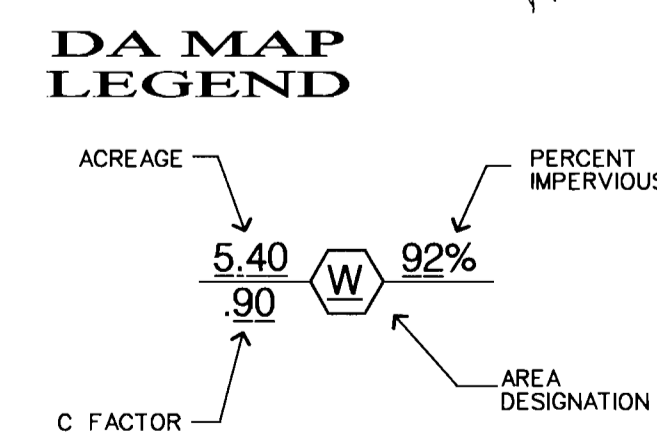
STORM DRAIN STRUCTURE SCHEDULE

NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-23	DBL. 'S' COMB.	378.27	378.07	385.30(TC)	STD. DTL. SD 4.34**
I-24	DBL. 'S'	379.77	379.52	384.25(TG)	STD. DTL. SD 4.23**
I-25	DBL. 'S'	381.00	380.75	384.25(TG)	STD. DTL. SD 4.23**
I-26	DBL. 'S' COMB.	383.28	382.83	389.60(TC)	STD. DTL. SD 4.34**
I-27	YARD INLET	384.77	384.60	389.70(TG)	STD. DTL. SD 4.14
I-28	YARD INLET	-	385.27	389.00(TG)	STD. DTL. SD 4.14
I-29	DBL. 'S' COMB.	373.54	373.29	379.00(TC)	STD. DTL. SD 4.34**
I-30	DBL. 'S' COMB.	375.23	374.98	379.00(TC)	STD. DTL. SD 4.34**
I-31	DBL. 'S' COMB.	380.03	379.83	384.60(TC)	STD. DTL. SD 4.34**
I-32	DBL. 'S' COMB.	-	382.67	388.40(TC)	STD. DTL. SD 4.34
M-12	5' MANHOLE	367.98	367.78	373.50	STD. DTL. G 5.05
M-13	5' MANHOLE	371.08	370.58	382.15	STD. DTL. G 5.13
M-14	4' MANHOLE	379.18	378.98	384.65	STD. DTL. G 5.12
M-15	4' MANHOLE	384.39	384.22	390.70	STD. DTL. G 5.12
M-16	5' MANHOLE	372.60	372.35	379.70	STD. DTL. G 5.13
M-17	4' MANHOLE	376.25	376.05	381.00	STD. DTL. G 5.12
M-18	4' MANHOLE	376.60	376.40	381.05	STD. DTL. G 5.12
E-3	CONC END SECT	-	-	NA	STD. DTL. SD 5.51**

**MODIFIED, SEE DETAILS SHT. 5
 (TC)-TOP CURB
 (TG)-TOP GRATE
 *ONLY NECESSARY IF DRAIN SYSTEM ON PARCEL E-4 HAS NOT BEEN CONSTRUCTED

PIPE SCHEDULE

SIZE	TYPE	PIPE LENGTH-FEET
8"	HDPE	260
12"	HDPE	153
15"	RCCP CL IV	616
18"	RCCP CL IV	328
21"	RCCP CL III	322
24"	RCCP CL III	94
30"	RCCP CL III	38

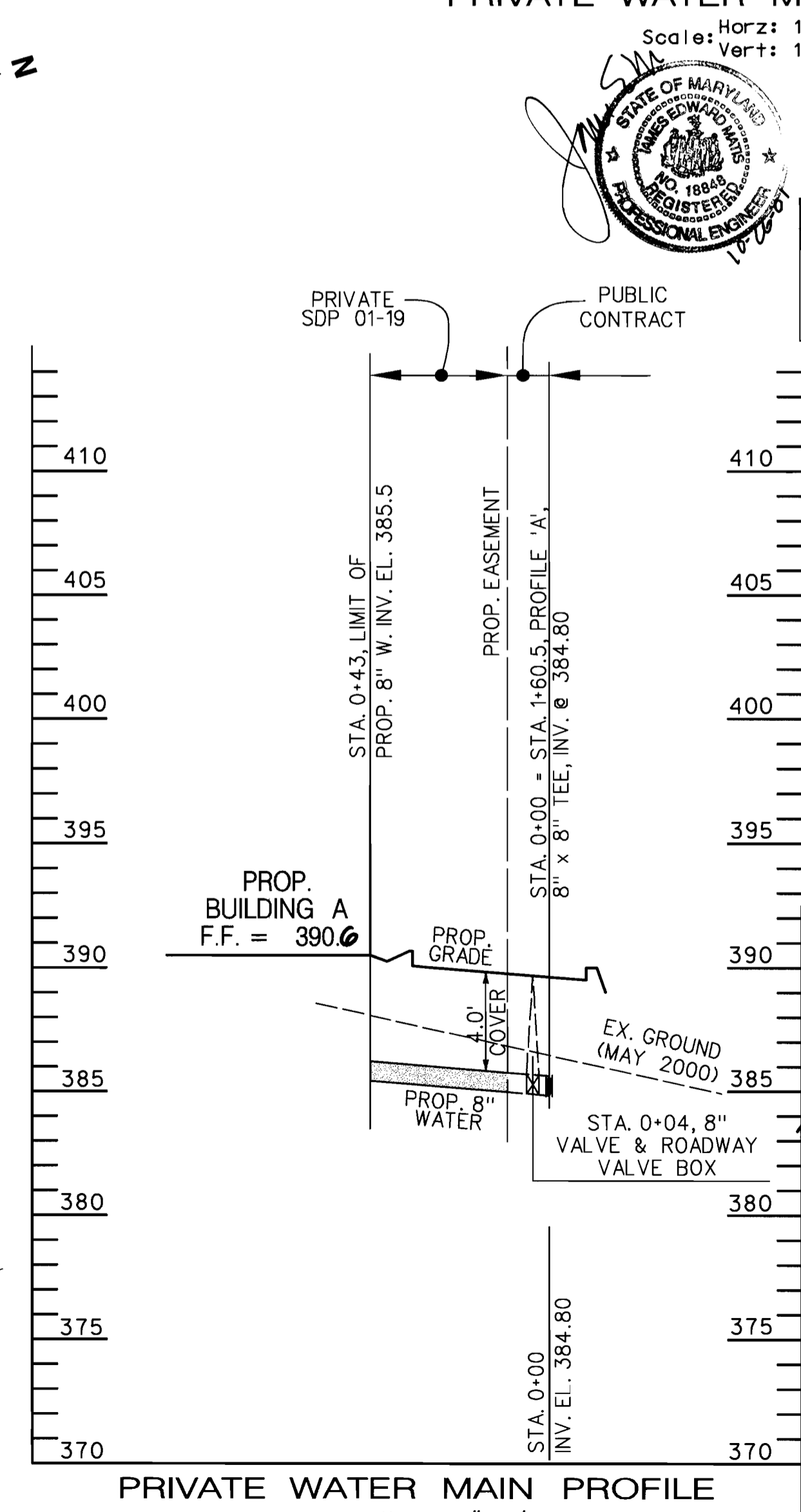


C FACTOR
 SOILS TYPE
 DA BOUNDARY FROM SWM PLAN SDP 99-92



Drainage Area Map

Scale 1" = 50'



REVISIONS

NO.	DATE	DESCRIPTION
1	9/16/01	REVISION
2	10-26-01	CHANGES THIS SHEET, FIRST FLOOR ELEVATION OF BUILDING A

Legal Owner (current):
 Hopkins Road Limited Partnership
 9030 Red Branch Road
 Suite 200
 Columbia, Maryland 21045
 Phone 410-997-7222
 Fax 410-997-6453

Developer and Contract Purchaser
 MOR Montpelier LLC
 c/o Manekin, Corp.
 7061 Columbia Gateway Drive
 Columbia, Maryland 21046
 Ph. 1-800-347-2195
 Fax 410-312-0666

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
 Chief, Land Development Division

PERMIT INFORMATION CHART

Subdivision Name Montpelier Research Park	Section / Area	Lot / Parcel No. E-5
Plot or Lot/Block 14471	Grid # 17	Zoning PEC
Water Code E 21	Tax Map No. 41	Election District 5th
	Census Tract 6051.02	
	Sewer Code 6440000	

Drainage Area Map Utility Profiles

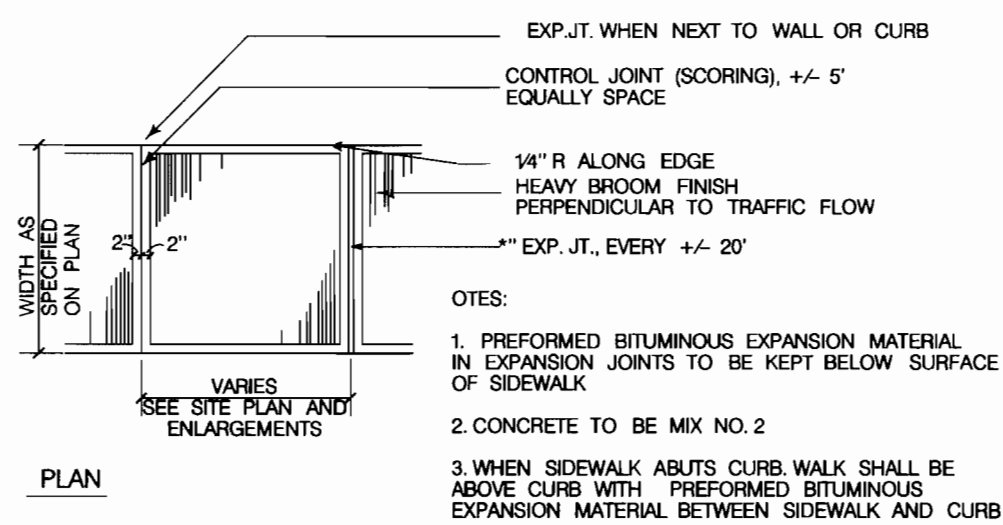
Proposed Offices for The Johns Hopkins University Applied Physics Laboratory
 Parcel E-5
 Montpelier Research Park

Howard County, Maryland
 Scale: As Shown

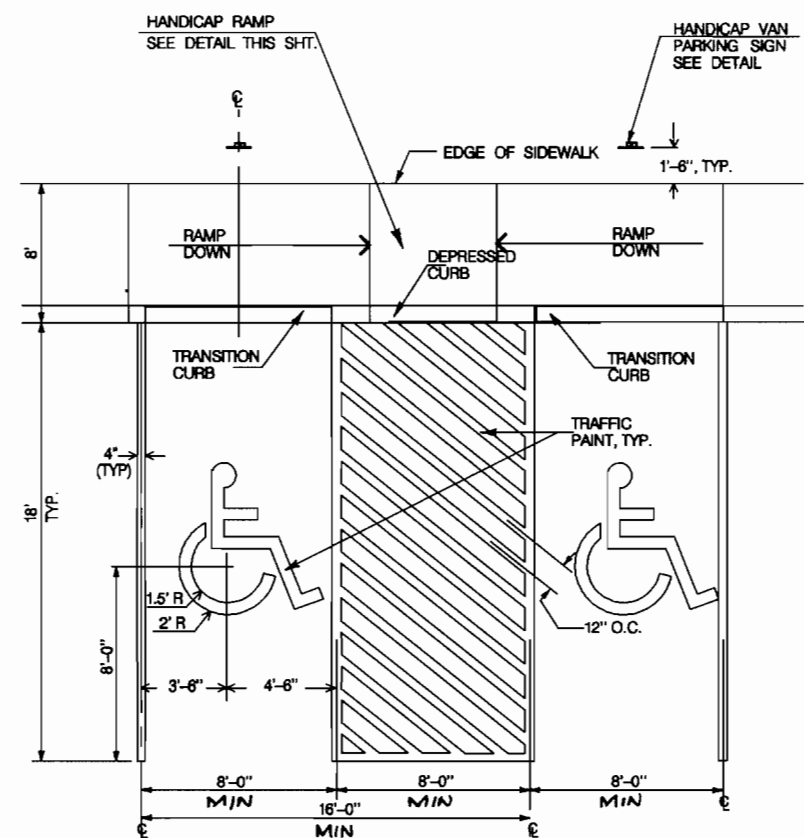
Sheet 3 of 8
 October 2, 2000
 SDP 01-19

10540 York Road, Suite 200
 Hunt Valley, Maryland 21080
 Phone 410-689-7904
 Fax 410-689-1790
 www.matiswarfield.com

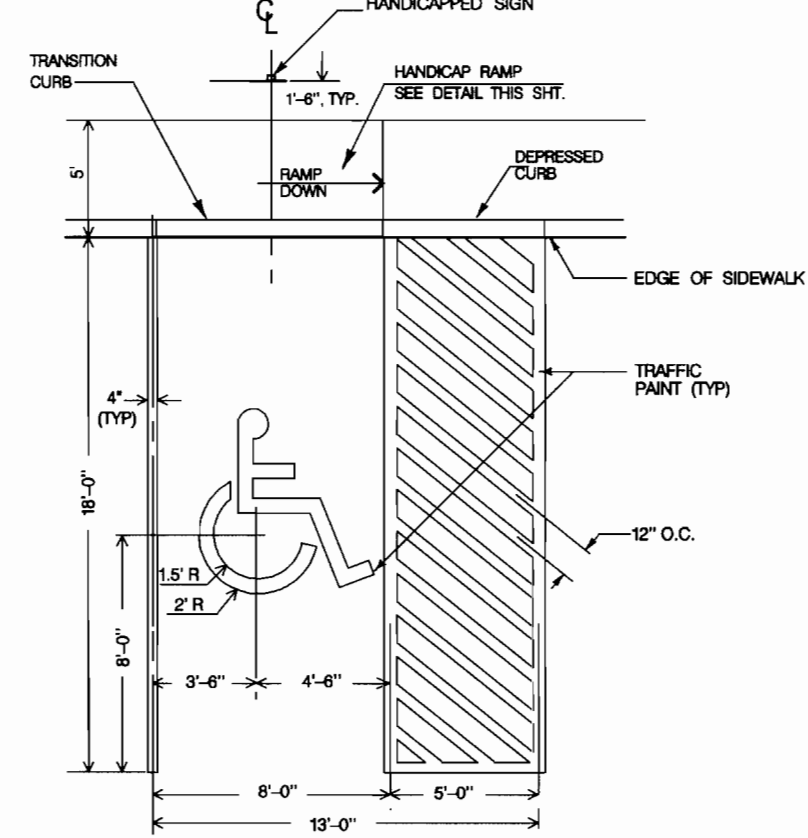




Detail Concrete Walk
Not To Scale



Detail Van Accessible Handicap Parking Spaces
Not To Scale



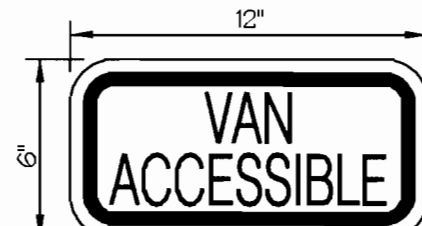
Detail Handicap Parking Space
Not To Scale



Detail Handicap Parking Sign
Not To Scale

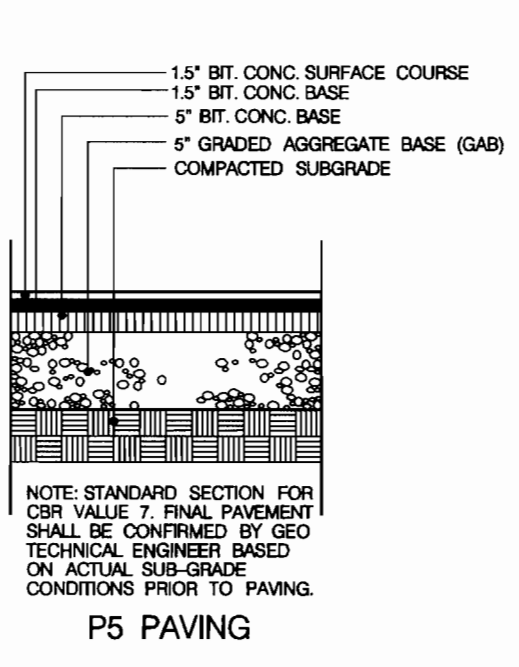
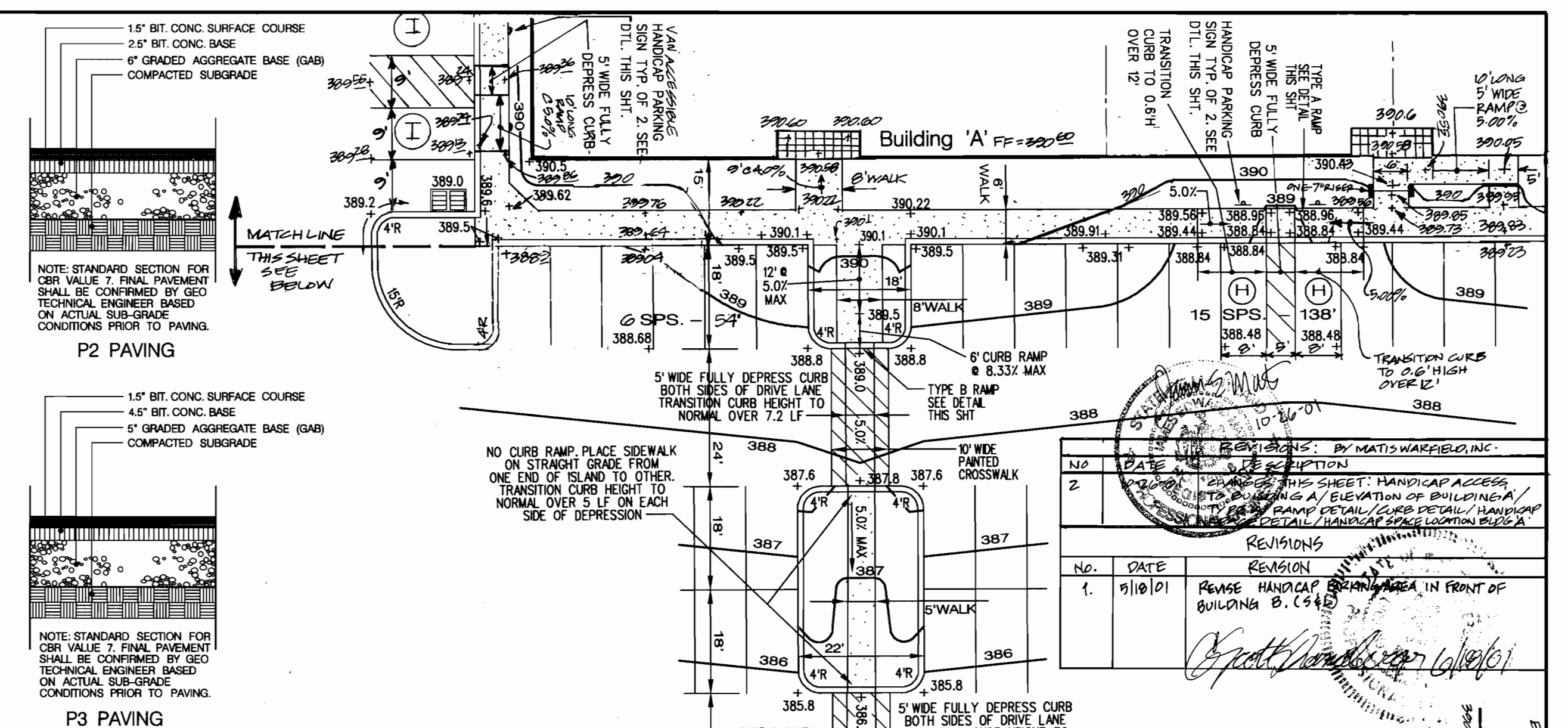
ALL DIMENSIONS ARE IN INCHES * REDUCE SPACING 50 PERCENT

COLORS
LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

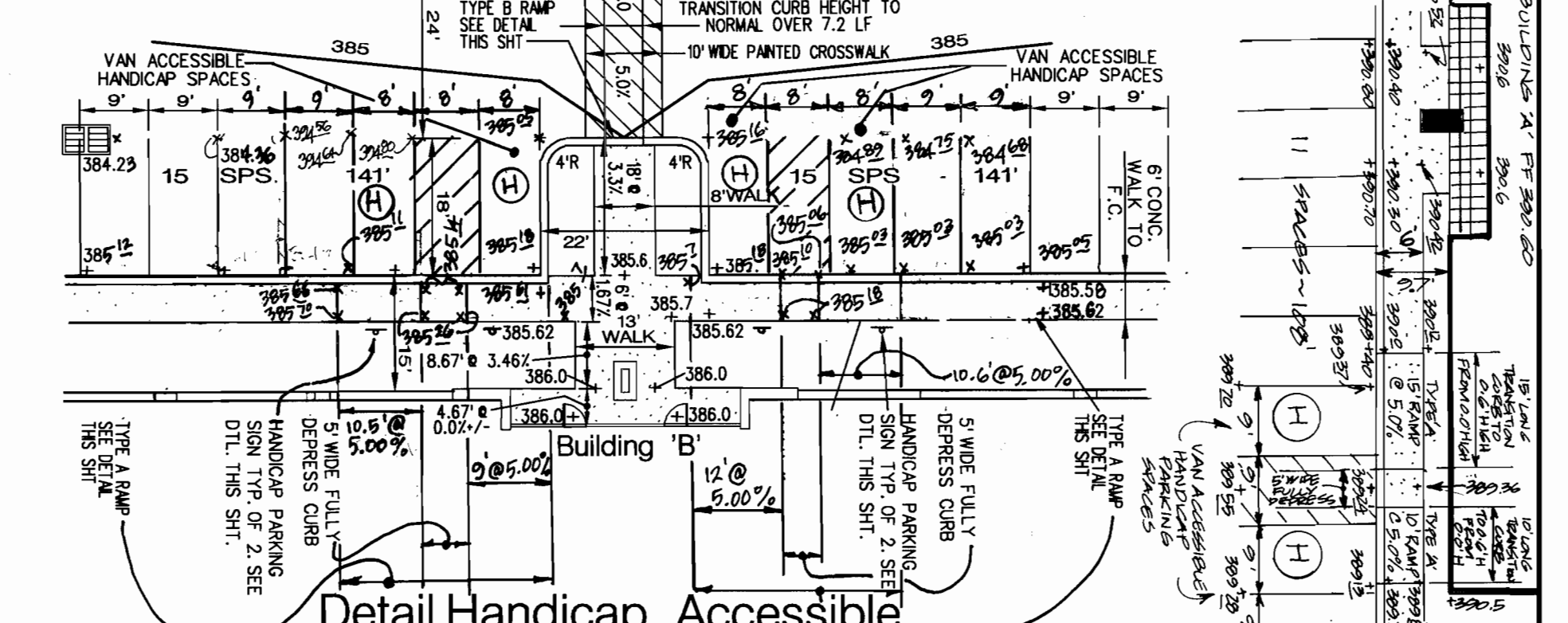


\$98 FINE SIGN / VAN ACCESSIBLE SIGN
SIGN TO UTILIZE AN ALUMINUM BLANK 6" X 12" X 0.080" THICK WITH TWO SINGLE POST MOUNTING HOLES.
THE TEXT AND BORDER SHALL BE STANDARD GREEN TO MATCH THAT ON R7-5 AND, THE BACKGROUND SHALL BE REFLECTIVE WHITE. TEXT SHALL BE IN 3" CHARACTERS

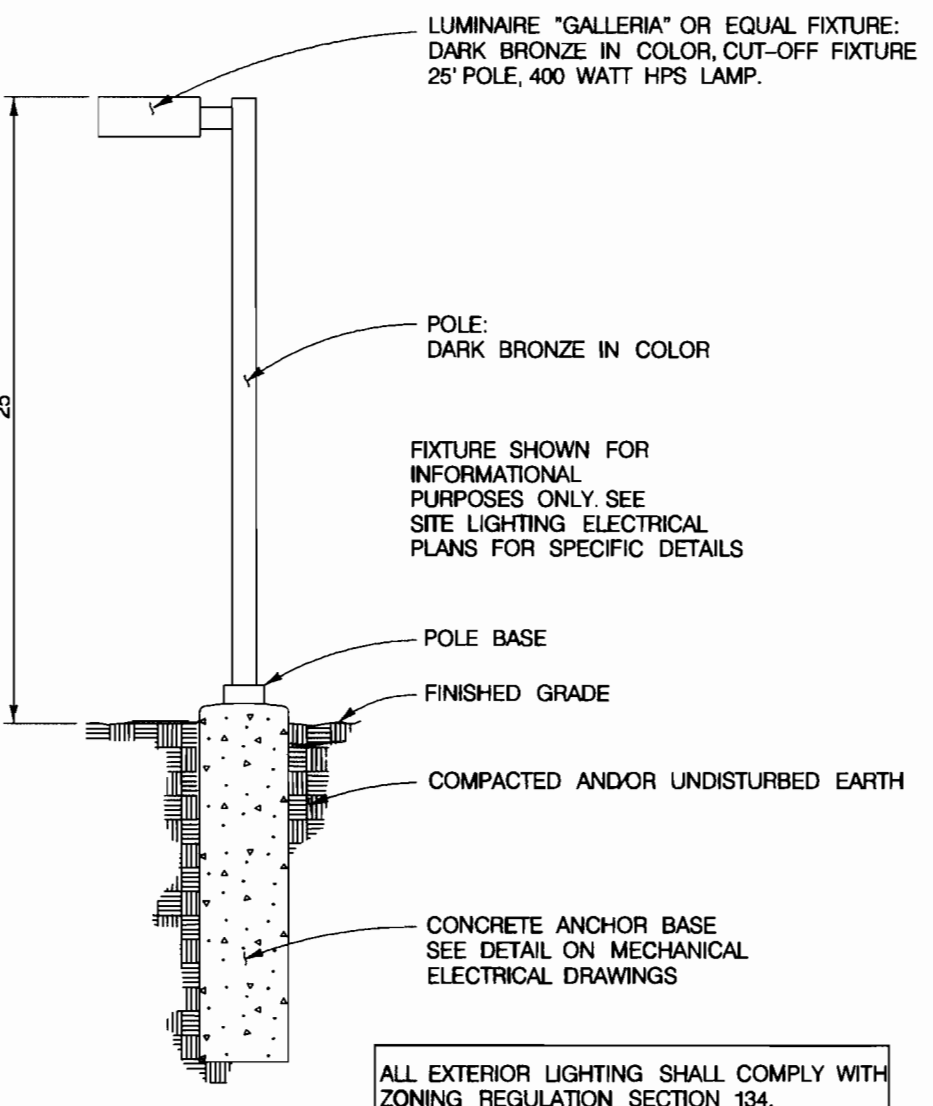
NOTE: STANDARD SECTION FOR CURB WALL & FINAL PAVEMENT SHALL BE CONFIRMED BY GEO TECHNICAL ENGINEER BASED ON ACTUAL SUB-GRADE CONDITIONS PRIOR TO PAVING.



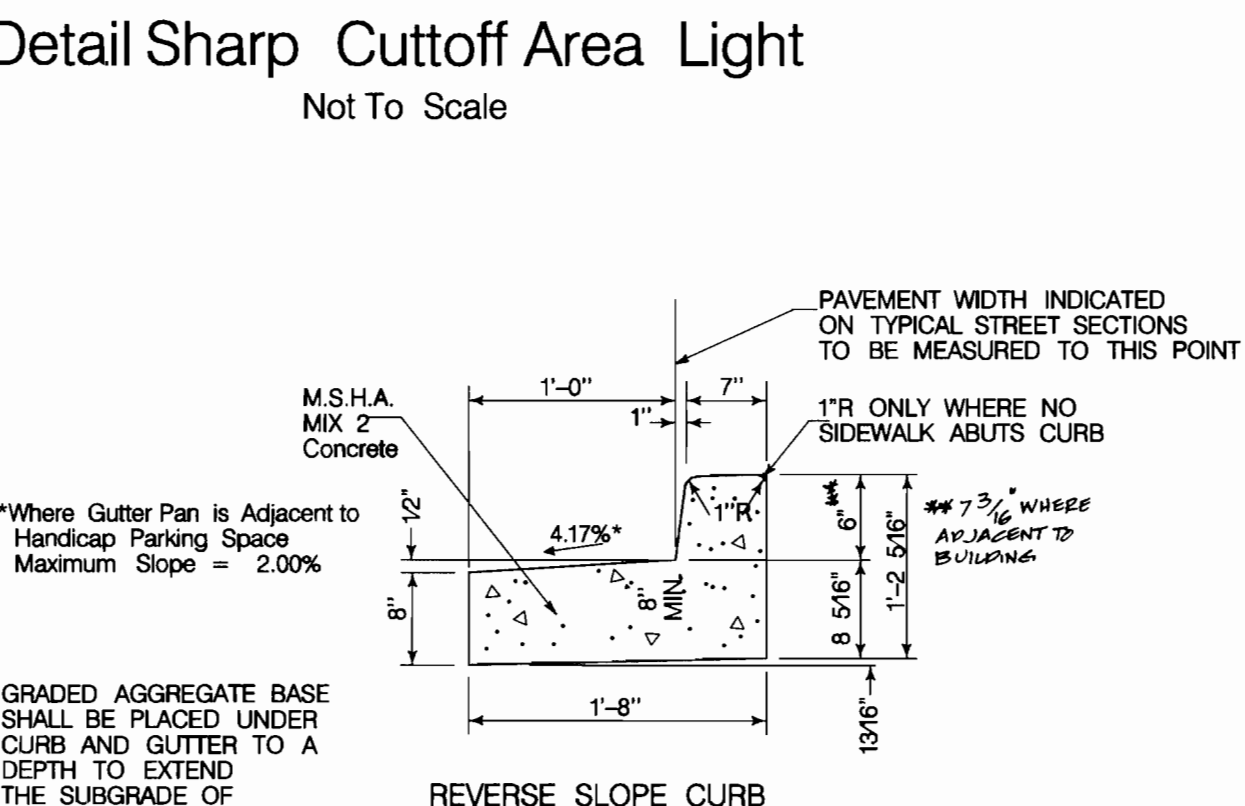
Detail Paving Sections
Not To Scale



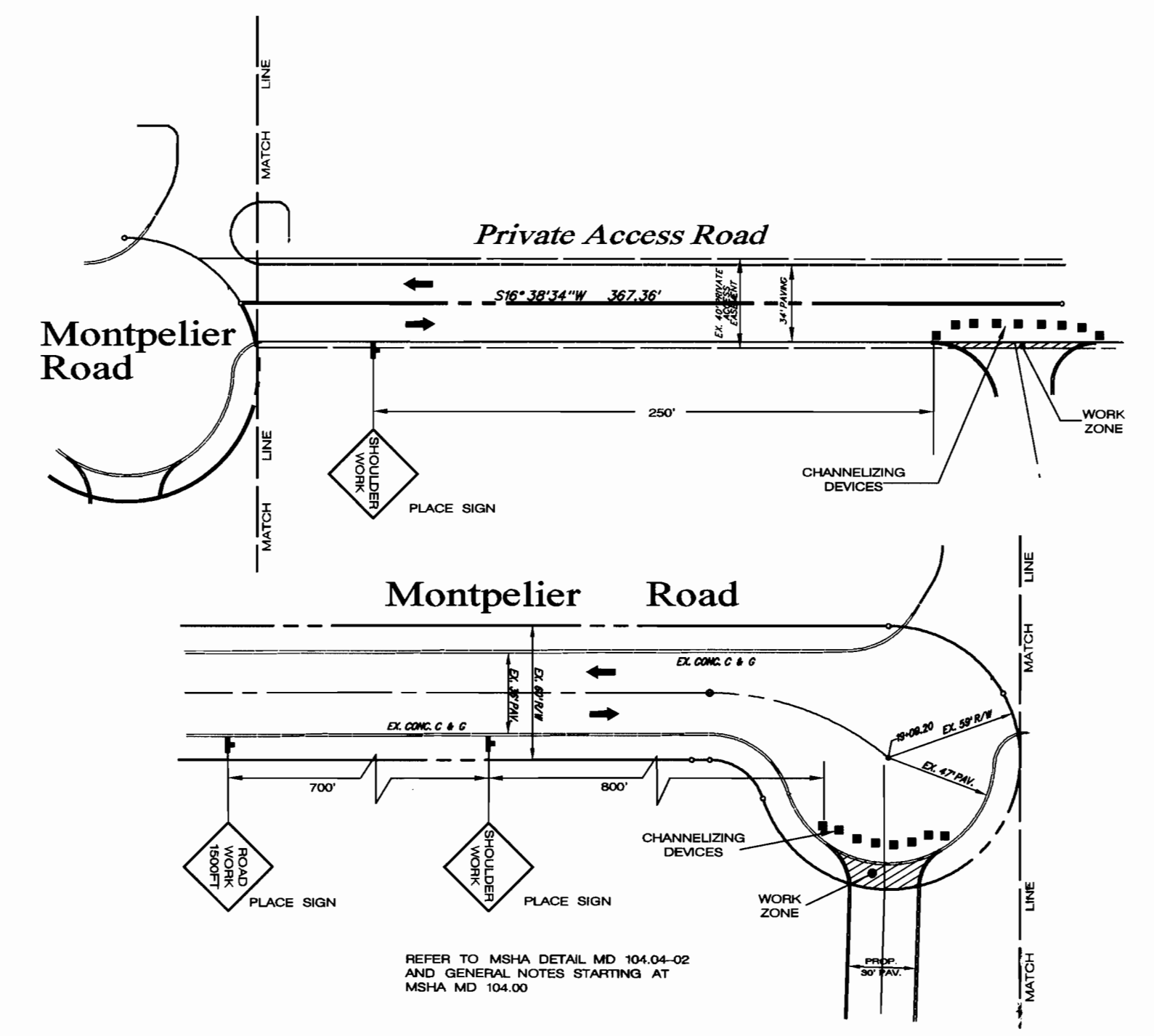
Detail Handicap Accessible Route Buildings A & B and Between Buildings
Scale: 1" = 20'



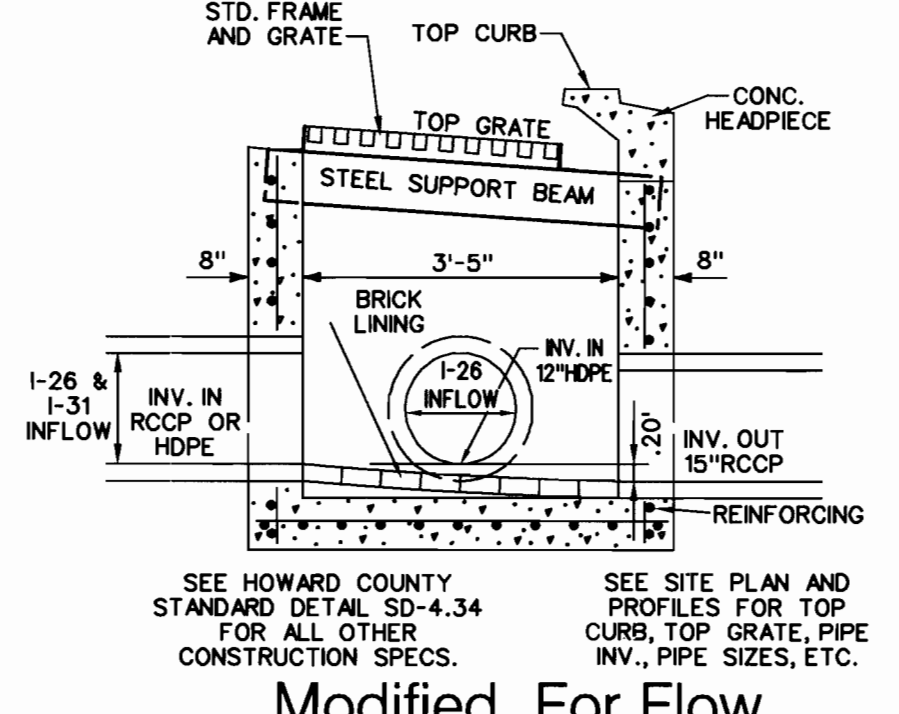
Detail Sharp Cutoff Area Light
Not To Scale



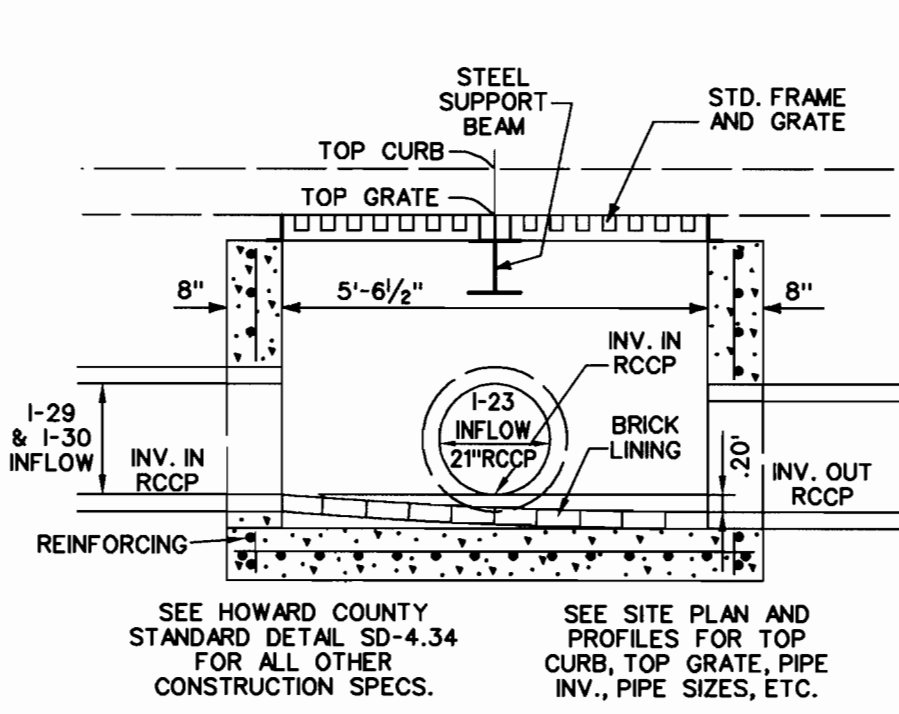
Detail Concrete Curb and Gutter
Not To Scale



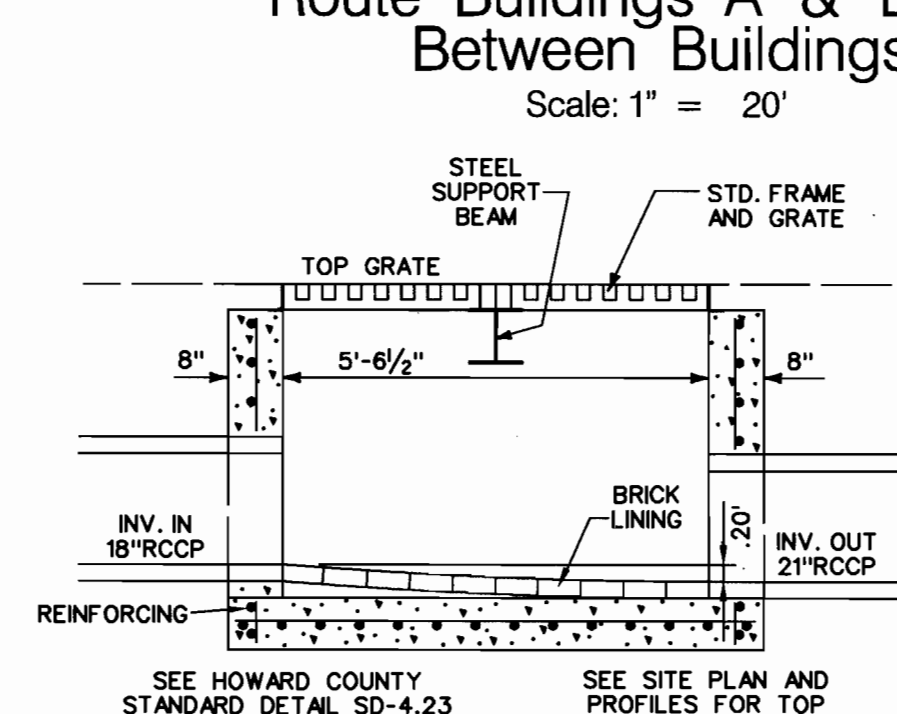
Work Zone Traffic Control Detail
Not To Scale



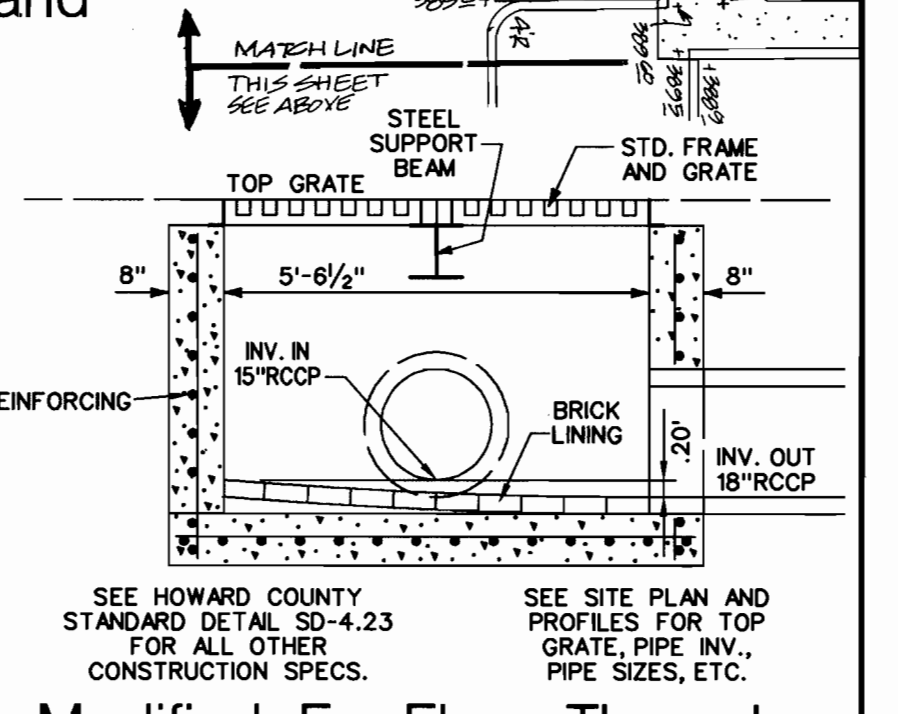
Modified For Flow Through Double Type 'S' Comb. Inlet (I-26 & 31)
Not To Scale



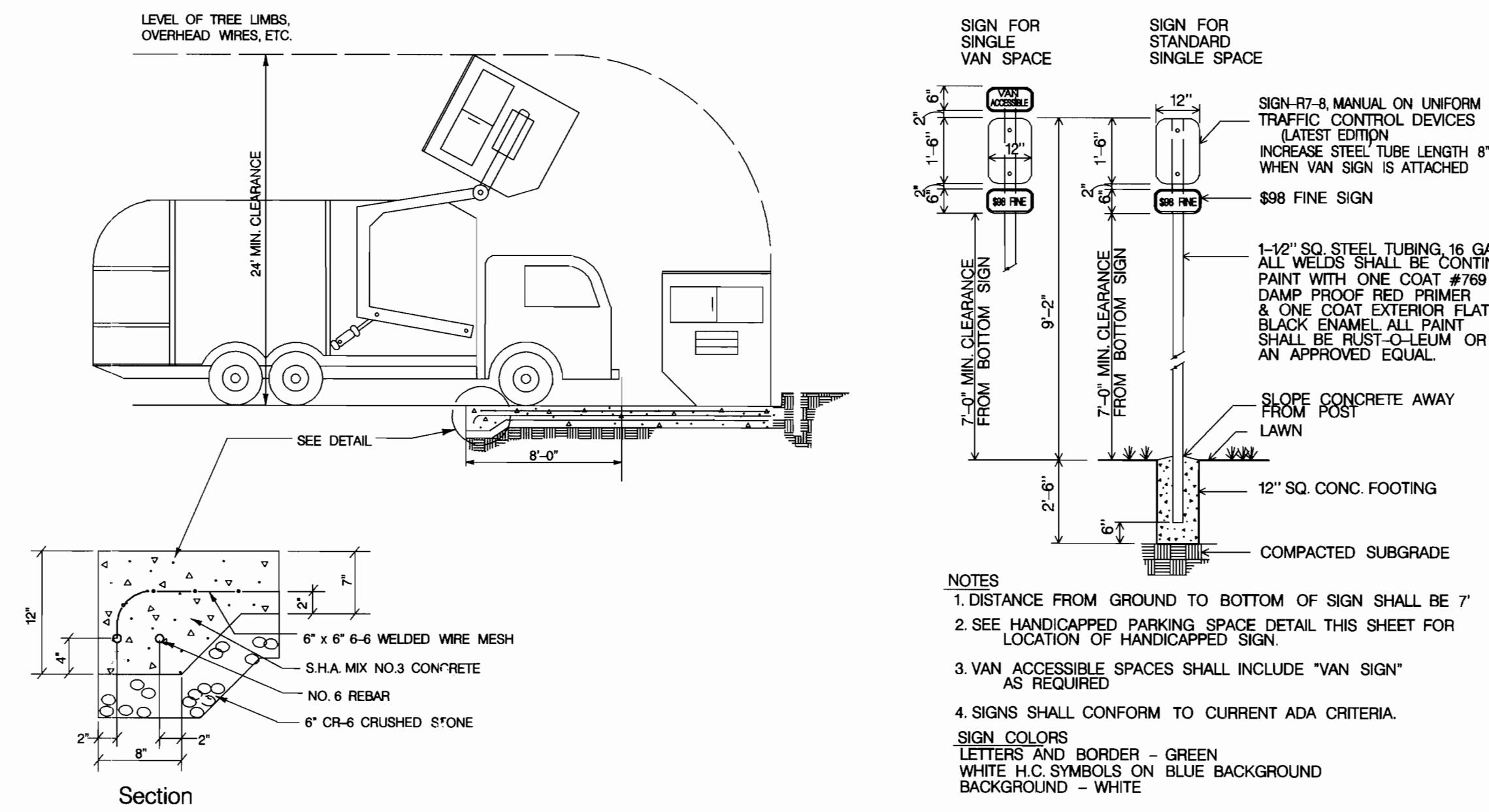
Modified For Flow Through Double Type 'S' Comb. Inlet (I-23, 29 & 30)
Not To Scale



Modified For Flow Through Double Type 'S' Inlet (I-24)
Not To Scale



Modified For Flow Through Double Type 'S' Inlet (I-25)
Not To Scale



Detail Handicap Parking Sign & Post
Not To Scale

Legal Owner (current): Hopkins Road Limited Partnership
9030 Red Branch Road
Suite 200
Columbia, Maryland 21045
Phone 410-997-7222
Fax 410-997-6453

Developer and Contract Purchaser: MOR Montpelier LLC
c/o Manekin, Corp.
7061 Columbia Gateway Drive
Columbia, Maryland 21046
Ph. 1-800-347-2195
Fax 410-312-0666

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Land Development Division
Director

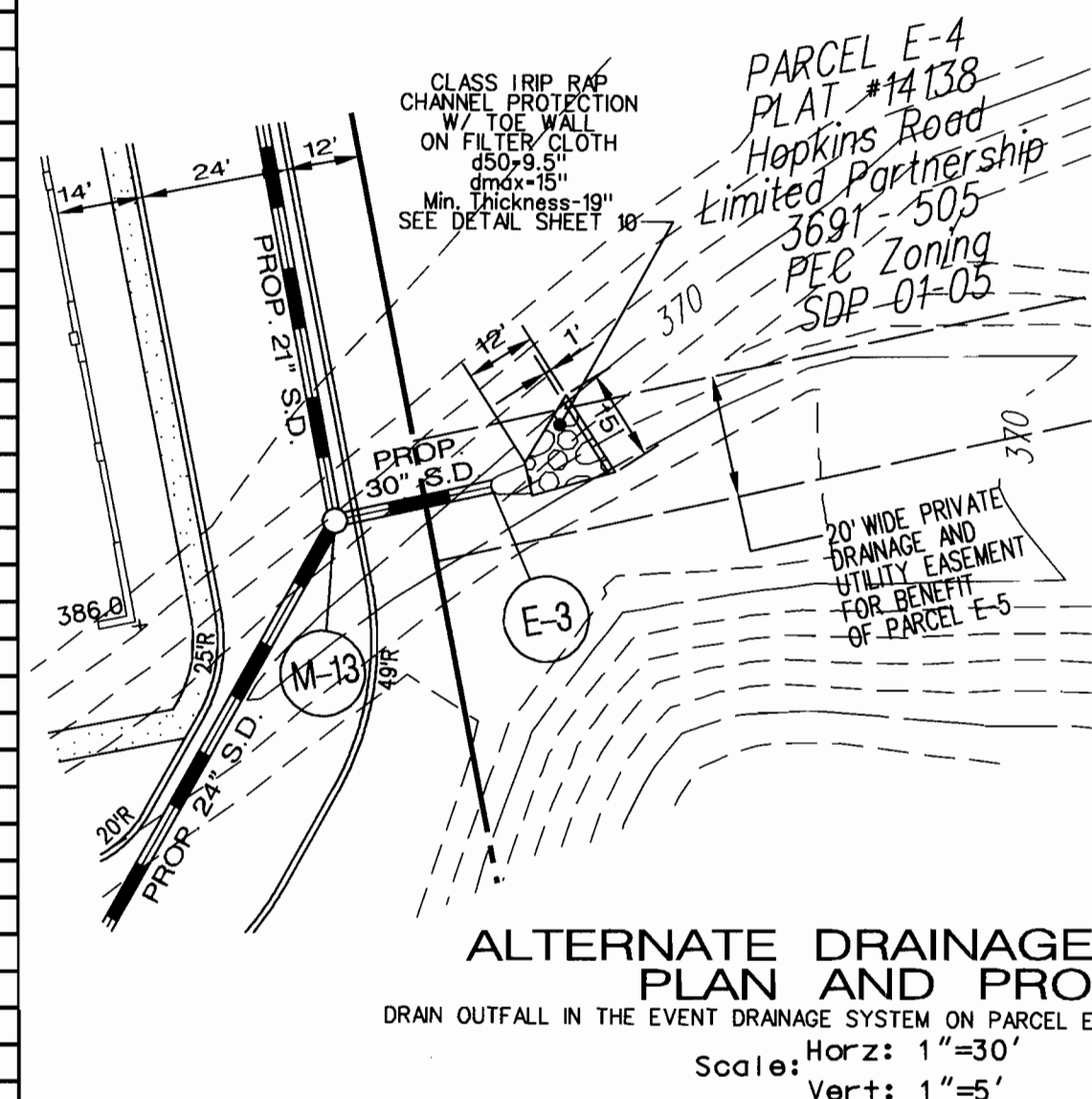
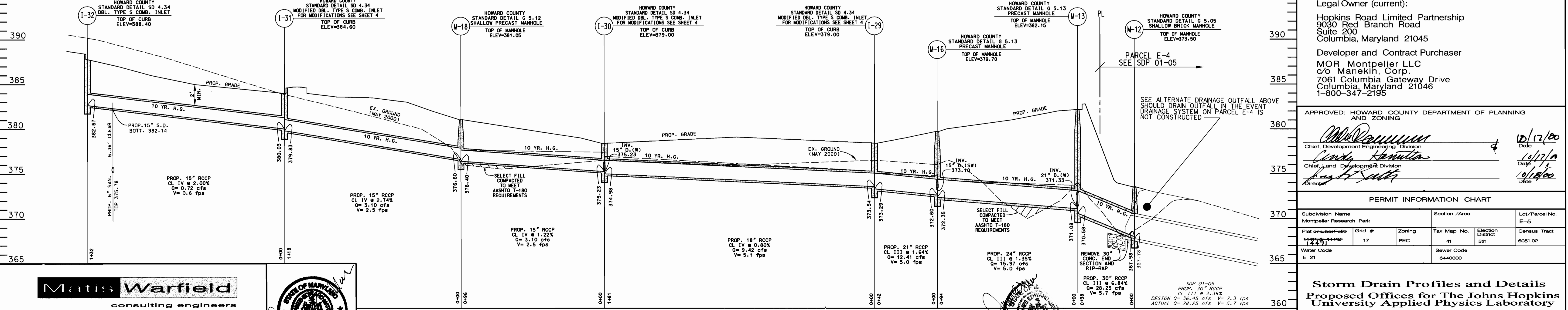
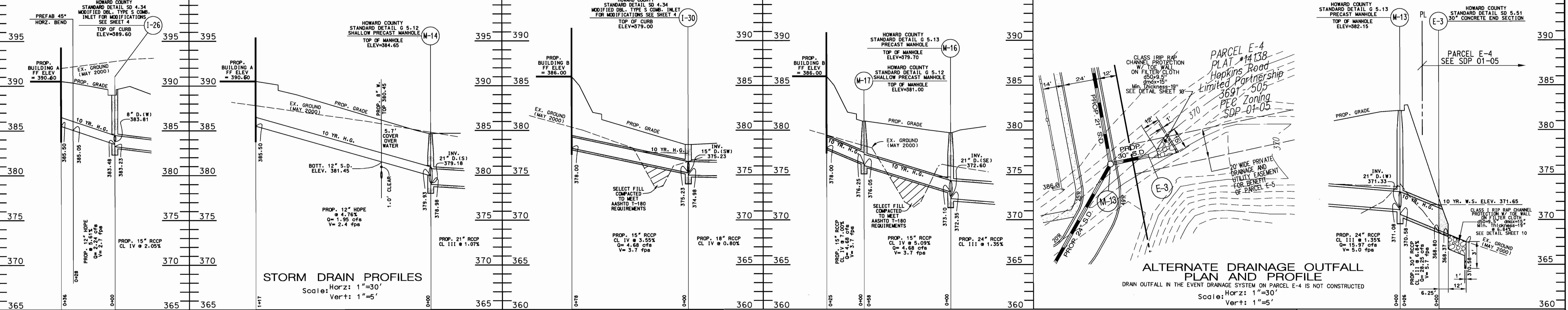
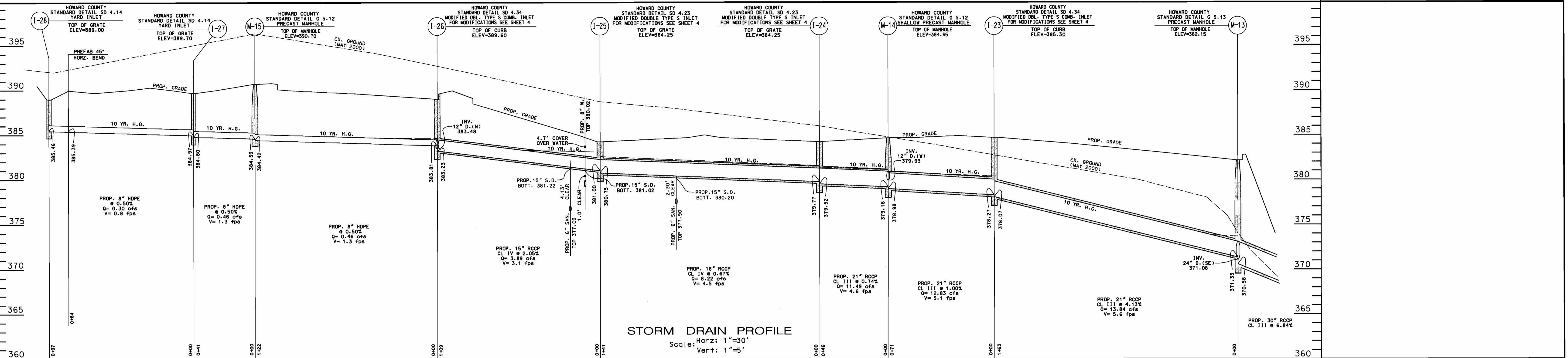
PERMIT INFORMATION CHART			
Subdivision Name	Montpelier Research Park	Section /Area	Lot/Parcel No. E-5
Plot #	17	Zoning	PEC
Tax Map No.	41	Election District	5th
Water Code	E 21	Sewer Code	6440000

Details
Proposed Offices for The Johns Hopkins University Applied Physics Laboratory
Parcel E-5
Montpelier Research Park



10540 York Road, Suite M
Hunt Valley, Maryland 21038
Tel 410-683-1798
www.matiswarfield.com





Matis Warfield
consulting engineers

10540 York Road, Suite 100
Hunt Valley, Maryland 21031
Phone: 410-889-7004
Facsimile: 410-889-7006
www.matiswarfield.com

STORM DRAIN PROFILE
Scale: Horiz: 1"=30'
Vert: 1"=5'

REVISIONS

NO.	DATE	DESCRIPTION
1	10-26-01	CHANGES THIS SHEET: FIRST FLOOR ELEVATION OF BUILDING A

BY: MATIS WARFIELD, INC.

Legal Owner (current):
Hopkins Road Limited Partnership
9030 Red Branch Road
Columbia, Maryland 21045
Developer and Contract Purchaser
MOR Montpelier LLC
c/o Manekin, Corp.
7061 Columbia Gateway Drive
Columbia, Maryland 21046
1-800-347-2195

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

M. D. ... Chief, Development Engineering Division
C. ... Chief, Land Development Division

Date: 10/17/00
Date: 10/17/00
Date: 10/18/00

PERMIT INFORMATION CHART

Subdivision Name Montpelier Research Park	Section /Area	Lot/Parcel No. E-5
Plan or Lot/Parcel No. 1447	Grid # 17	Zoning PEC
Water Code E 21	Tax Map No. 41	Election District 5th
	Census Tract 6061.02	Sewer Code 6440000

Storm Drain Profiles and Details
Proposed Offices for The Johns Hopkins University Applied Physics Laboratory
Parcel E-5
Montpelier Research Park

Howard County, Maryland
Scale: As Shown

Sheet 5 of 8
October 2, 2000
SDP 01-19

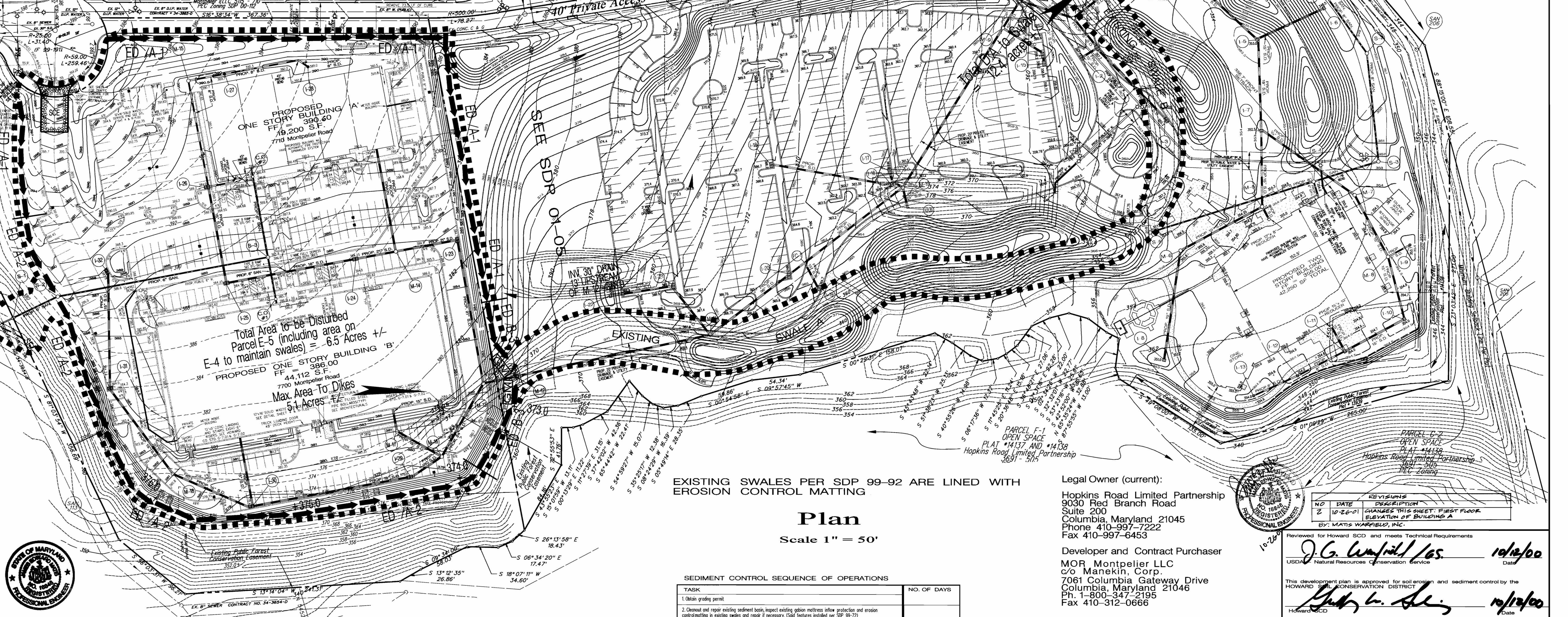
Legend

Existing Contours	--- 357 ---
Proposed Grades	--- 357 ---
Existing Water	--- 357 ---
Proposed Private Water	--- 357 ---
Proposed Public Water	--- 357 ---
Existing Sanitary	--- 357 ---
Proposed Private Sanitary	--- 357 ---
Existing Storm Drain	--- 357 ---
Proposed Private Storm Drain	--- 357 ---
Proposed Curb and Gutter	--- 357 ---
Proposed Curb and Gutter	--- 357 ---
Proposed Light Fixture	--- 357 ---
Proposed Concrete Paving	--- 357 ---
Limit of Disturbance	--- 357 ---
Gabion Inflow Protection	GM
Silt Fence	SF
Earth Dike	--- 357 ---
Stabilized Construction Entrance	--- 357 ---

SUMMARY TABLE FOR EX BASIN APPROVED AS PART OF SDP 99-92

BASIN NUMBER	1
EXISTING DRAINAGE AREA AC.	6.7
INTERIM DRAINAGE AREA AC.	27.3
PROPOSED DRAINAGE AREA AC.	29.6
WET	49,140
DRY	49,140
TOTAL	98,280
STORAGE REQUIRED C.F.	134,289
WET	299,271
DRY	378,560
TOTAL	677,831
EXISTING GROUND ELEV.	340.0
TOP EMBANKMENT ELEV.	344.3
RISER CREST ELEV.	339.4
WET STORAGE / ELEV.	337.0
CLEANOUT ELEV.	332.0
BOTTOM ELEV.	332.0
Q INTO BASIN C.F.S. 10YR	144.0
Q OUT BASIN C.F.S. 10YR	12.33
BASIN DEPTH	WET 5.0
TOTAL	3.6
DESIGN HIGHWATER 100 yr. Clogged	342.28
FREEBORD PROVIDED	2.0'
BASIN SIDE SLOPES	3:1
MANHOLE DIAMETER	48"
RISER DIMENSIONS	608
WET STORAGE ZONE ELEV.	332-337
DRY STORAGE ZONE ELEV.	337-339.4
BOTTOM DIMENSION	8.6'
START PERFORATIONS AT ELEVATION	337.0'

Montpelier Road



ENGINEER'S CERTIFICATE

I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

James E. Matis
Date: 10-2-2000

James E. Matis, P.E. MD 18848

DEVELOPER'S CERTIFICATE

I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

[Signature]
Date: 10-2-2000

For MOR Montpelier, LLC By: R. Cole Schnorf, Senior VP.
Manekin Corporation

SEDIMENT CONTROL STANDARD GENERAL NOTES

- A minimum of 24 hours notice must be given to the HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING, AND PERMITS SECTION PRIOR TO THE START OF ANY CONSTRUCTION (SDP 99-92).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A SEVEN (7) DAY PERIOD FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 - FOURTEEN (14) DAYS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE "HOWARD COUNTY MANUAL," STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOCS, TEMPORARY SEEDING, AND MULCHING (SECTION C). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE USED WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:**
 - TOTAL AREA OF SITE: +/- 7.096 ACRES
 - AREA DISTURBED INCLUDES SWALES A + B: +/- 6.5 ACRES
 - AREA TO BE VEGETATIVELY STABILIZED: +/- 4.1 ACRES
 - TOTAL CUT: +/- 2.4 ACRES
 - TOTAL FILL: +/- 13,000 CUBIC YARDS
 - OFF-SITE WASTE/BORROW AREA LOCATION WASTE - N/A
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DEPT. OF PLANNING AND ZONING INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- REQUIREMENTS FOR THE CONSTRUCTION OF UTILITIES ARE LIMITED TO THREE (3) FEET LENGTHS OF TRENCH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE (1) DAY, WHATEVER IS SHORTER.
- THE EARTH VOLUME FIGURES SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR IS ADVISED TO MAKE HIS OWN CALCULATIONS PRIOR TO PLACING A BID ON THIS ITEM.

SEDIMENT CONTROL SEQUENCE OF OPERATIONS

TASK	NO. OF DAYS
1. Obtain grading permit	14
2. Cleanout and repair existing sediment basin, inspect existing gabion mattress inflow protection and erosion controlling in existing swales and repair if necessary. (Silt) features installed per SDP 99-92. Install all erosion and sediment control measures. Depending on progression of site work on adjacent Parcel E-4 (SDP 01-05) Swales A and B may exist or may be in the process of being backfilled and replaced with a closed drainage system in accordance with SDP 01-05. If site work on Parcel E-4 has not been undertaken contractor shall be responsible for maintaining Swale A and Swale B during the course of this construction. The disturbed area stated herein includes that area necessary to maintain swale system should development on Parcel E-4 not occur. If site work on Parcel E-4 has progressed, contractor shall coordinate periodic flushing of sediment through downstream drainage system through Parcel E-4 with site superintendent for Parcel E-4.	60
3. Begin grading maintaining positive drainage to Swale A. As fill placed along east and north sides of property insure that earth dike system is maintained. When fill slope is installed along east side of property, dike may be moved to top of slope to prevent scouring of slope. Begin building foundation and utilities installation. Initial storm drains beginning with 30" drain starting 15 feet upstream from M-12 at invert 358.94'; allowing drain to daylight in channel of existing Swale A. Extend pipe upstream. As drain inlets become operational, leaves unprotected to lockhole drainage to existing sediment basin downstream. Drain or swale systems on the case may be flush drain system periodically, especially following rainfall events to ensure the system remains functional and unobstructed. Complete utility installations with the exception of the M-12 and the last 15 feet of the 30" storm drain upstream of M-12. Provide control of dust, as required, in accordance with dust control specifications.	45
4. Complete remainder of grading and install curb and gutter and stone subbase in parking and drive areas. Install silt walls. Permanently stabilize any areas to remain grass.	10
5. Upon a 5-day clear (no precipitation) weather forecast from the National Weather Service and with the approval of the sediment control inspector complete remaining storm drainage system at M-12. See drain outlet orientation on Sheet 5 of 8 in the event that storm drain system on Parcel E-4 per SDP 01-05 has not progressed.	7
6. Flush storm drain system from upstream ends downstream to sediment basin. Remove accumulated sediment from sediment basin. Proceed with paving installation.	2
7. With the approval of the sediment control inspector remove remaining sediment control devices and stabilize.	

Legal Owner (current):
Hopkins Road Limited Partnership
9030 Red Branch Road
Suite 200
Columbia, Maryland 21045
Phone 410-997-7222
Fax 410-997-6453

Developer and Contract Purchaser:
MOR Montpelier LLC
c/o Manekin, Corp.
7061 Columbia Gateway Drive
Columbia, Maryland 21046
Ph. 1-800-347-2195
Fax 410-312-0666

Matis Warfield
consulting engineers

10540 York Road Suite M
Hunt Valley, Maryland 21030
Phone 410-997-7222
fax 410-997-6453
www.matiwarfield.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature]
Chief Development Engineering Division
Date: 10/17/00

[Signature]
Chief Development Engineering Division
Date: 10/17/00

[Signature]
Director
Date: 10/19/00

REVISIONS

NO	DATE	DESCRIPTION
1	10-26-01	CHANGES THIS SHEET: FIRST FLOOR ELEVATION OF BUILDING A
2		

Reviewed for Howard SCD and meets Technical Requirements
J.G. Warfield/ias 10/12/00
USDA Natural Resources Conservation Service Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
[Signature] 10/12/00
Howard SCD Date

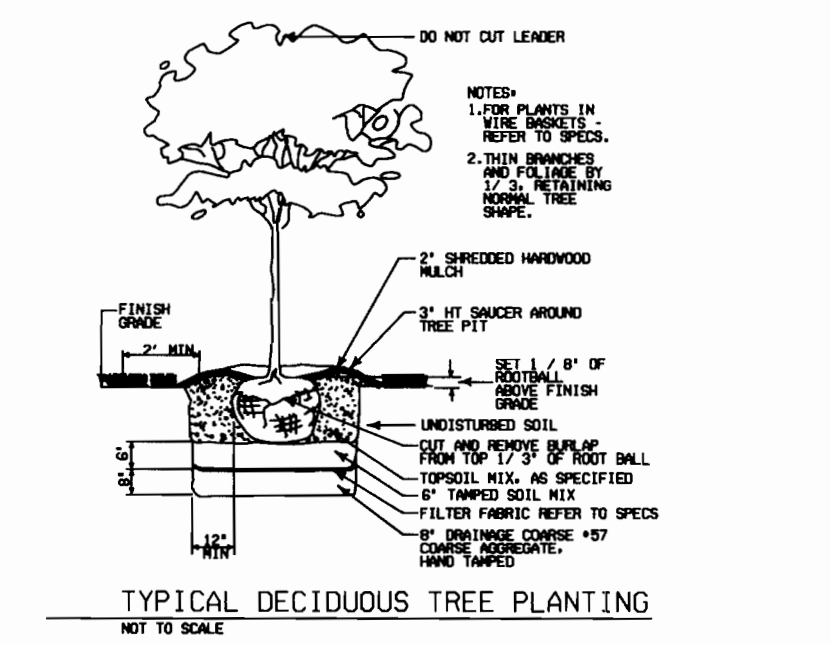
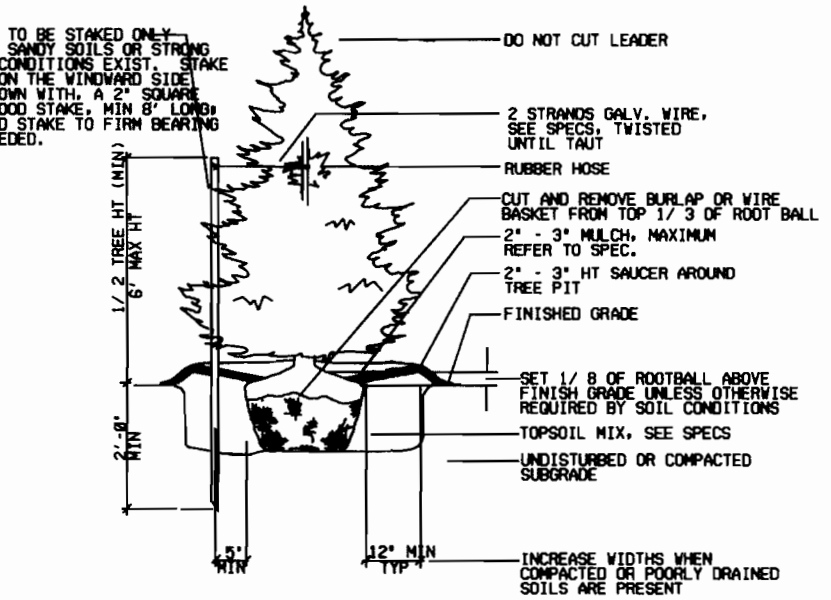
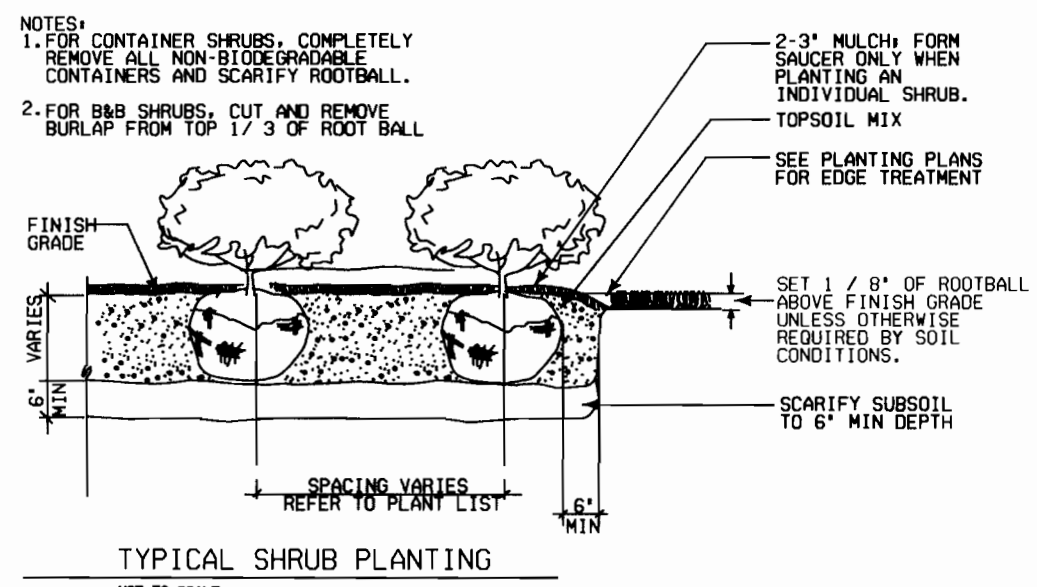
PERMIT INFORMATION CHART

Subdivision Name Montpelier Research Park	Section /Area	Lot/Parcel No. E-5
Flat or Subdiv. Plat 11417-14-14	Grid # 17	Zoning PEC
Water Code E 21	Tax Map No. 41	Election District 5th
	Sewer Code 6440000	Consensus Tract 6051.02

Sediment and Erosion Control Plan
Proposed Offices for The Johns Hopkins University Applied Physics Laboratory
Parcel E-5
Montpelier Research Park

Howard County, Maryland
Scale: As Shown

Sheet 6 of 8
October 2, 2000
SDP 01-19



**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

Number of Parking Spaces	261
Number of Trees Required	@ 1/20 sp. = 13
Number of Trees Provided	32
Shade Trees	
Other Trees (2:1 substitution)	
Number of Islands Required @ 1/20 sp.	13
Number of Islands Provided	23

**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES	LANDSCAPE CALCULATIONS
LINEAR FEET OF ROADWAY	PERIMETER 1 - 195 LF TYPE E BUFFER PERIMETER 1a - 264 LF TYPE B BUFFER		1 SHADE TREE @ 40' LF = 5 SHADE TREE / 1 SHRUB @ 4 LF = 49 SHRUBS 1 SHADE TREE @ 50 LF = 5 TREES / 1 EVERGREEN TREE @ 40 LF = 7 EVERGREENS
FRONTAGE / PERIMETER		PERIMETER 2 630 LF.	NO TREES REQUIRED
		PERIMETER 2 400 LF.	NO TREES REQUIRED
		PERIMETER 2 710 LF.	NO TREES REQUIRED
CREDIT FOR EXISTING VEGETATION (DESCRIBE BELOW IF NEEDED)			NO
CREDIT FOR BERM (DESCRIBE BELOW IF NEEDED)			NO
NUMBER OF PLANTS REQUIRED			10 SHADE TREES 7 EVERGREEN TREES 49 SHRUBS
NUMBER OF PLANTS PROVIDED			27 SHADE TREES 15 EVERGREEN TREES 2 FLOWERING TREES 212 SHRUBS

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
⊕	24	TILIA CORDATA GREENSPIRE GREENSPIRE LITTLELEAF LINDEN	2 1/2 - 3" CAL	B & B	
⊙	35	ACER RUBRUM 'RED SUNSET' 'RED SUNSET' RED MAPLE	2 1/2 - 3" CAL	B & B	
⊗	2	MALUS 'PRAIRIFIRE' 'PRAIRIFIRE' CRAB	1 3/4 - 2" CAL	B & B	
☀	15	PINUS STROBUS WHITE PINE	6 - 7' HT	B & B	10' O.C. STAGGERED
⊙	121	ABELIA GRANDIFLORA GLOSSY ABELIA	18 - 24" HT	CONTAINER	4' O.C. STAGGERED

GENERAL NOTES:

- Contractor to notify Mass Utility, a minimum of 72 hours prior to digging. Telephone: 1-800-257-7777
- The Landscape Architect is to be notified 48 hours before planting begins. The location of all plant material is to be approved in the field by the Landscape Architect. Call George Walter at SHL Landscape Division 410-545-5602
- No tree or shrub planting pits are to be left open or unattended.
- Shrubs are to be grouped into mulched beds. Beds are to be edged and the grass is to be removed prior to mulching.
- All areas that are disturbed during construction and are not scheduled to be paved or planted shall be sodded in accordance with MSHA standard spec.'s.



Legal Owner (current):
Hopkins Road Limited Partnership
9030 Red Branch Road
Suite 200
Columbia, Maryland 21045
Phone 410-997-7222
Fax 410-997-6453

Developer and Contract Purchaser
MOR Montpelier LLC
c/o Manekin, Corp.
7061 Columbia Gateway Drive
Columbia, Maryland 21046
Ph. 1-800-347-2195
Fax 410-312-0666

Landscaping Notes

- A. STANDARDS:**
- ALL PLANT MATERIAL, CONSTRUCTION METHODS AND MATERIAL PLACEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF "MANUALS PREPARED FOR MARKET STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. THE LANDSCAPE SPECIFICATION CHECKLIST FOR LANDSCAPE ARCHITECTS AND CONTRACTORS.
 - ALL TREES SHALL BE DELIVERED TO THE SITE BALLED AND BURLAPPED. ALL SHRUBS SHALL BE BALLED AND BURLAPPED OR BURLAPPED. ALL GRASSES & PERENNIALS SHALL BE IN CONTAINERS.
- B. MAINTENANCE:**
- AFTER THE PLANTING HAS BEEN APPROVED BY THE LANDSCAPE ARCHITECT AND THE OWNER, THE MAINTENANCE OF WATERING AND WEEDING OF EACH PLANT AND PLANTED AREAS SHALL BE PROVIDED BY THE OWNER. UNLESS THE PLANTS ARE TO BE GUARANTEED BY THE CONTRACTOR, THE CONTRACTOR SHALL PERIODICALLY CHECK THE MAINTENANCE CONDUCTED BY THE OWNER. IF THE CONTRACTOR IS NOT SATISFIED WITH THE MAINTENANCE OF THE PLANTS, A WRITTEN REPORT, IN TRIPLICATE, STATING APPROPRIATE CHANGES SHALL BE GIVEN IMMEDIATELY TO THE LANDSCAPE ARCHITECT. TWO COPIES WILL BE FORWARDED TO THE OWNER. REGULAR MAINTENANCE IMMEDIATELY AFTER PLANTING.
 - MAINTAIN TREES WITH TRUNK PROTECTION, BUT IN NO CASE, LESS THAN 60 DAYS AFTER PLANTING. ACCEPTANCE OF PLANTING, MAINTAIN ALL PLANTS BY PRUNING, CULTRATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESOLVE PLANTING SAVERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS, AND PRUNE TREES TO PROTECT LEADERS OR VERTICAL POSITION AS REQUIRED. RESOLVE OR REMOVE DAMAGED WEEDING, SPRAY AS REQUIRED TO KEEP ALL PLANTS FREE OF WEEDS AND BRUSH.
- C. WATERING:**
- IN THE ABSENCE OF ADEQUATE KNOWLEDGE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING OF PLANTS DURING THE FIRST YEAR, AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO DEPTH OF 4 INCHES. WATERING SHALL NOT BE DONE DURING THE HEAT OF THE DAY. CONTRACTOR SHALL PROVIDE A SEPARATE LUMP SUM PRICE FOR THE INITIAL WATERING FOR THE PERIOD OF 12 MONTHS. CONTRACTOR SHALL PROVIDE A SEPARATE LUMP SUM PRICE FOR THE INITIAL WATERING FOR THE PERIOD OF 12 MONTHS DURING ONE GROWING SEASON.
- D. EXCAVATION:**
- DEPTH AND WIDTH OF EXCAVATION FOR PLANTING OF ALL PLANTS SHALL BE TO TWICE THE DEPTH AND WIDTH OF ROOT BALL OR CONTAINER OF PLANT TO BE INSTALLED PROPERLY, AS NOTED ON DETAILS.
- E. TOPSOIL, PLANTING MIX, FERTILIZER, MULCH AND SOIL AMENDMENTS:**
- ALL TOPSOIL SHALL BE WELL GRADED LOAM OF GOOD UNIFORM QUALITY AND SHALL BE A NATURAL PROFILE SOIL FREE OF TOXIC SUBSTANCES, WEEDS AND ANY MATERIAL OR SUBSTANCES THAT MAY HARM PLANTS. TOPSOIL SHALL BE AT LEAST 18" DEEP. IF SUFFICIENT TOPSOIL IS NOT AVAILABLE ON THE SITE TO MEET THE DEPTH AS SPECIFIED HEREIN, THE CONTRACTOR SHALL FURNISH ADDITIONAL TOPSOIL. PRIOR TO TOPSOIL DELIVERY, THE CONTRACTOR SHALL OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL OF THE SOURCE FROM WHICH TOPSOIL IS TO BE HARNED.
 - FOR PLANTING MIX, USE THOROUGHLY SIFTED APPROVED TOPSOIL (SEE "TOPSOIL") AND 10% APPROVED ORGANIC MATTER.
 - FERTILIZER TABLETS OR SPINES TO BE PLACED AT EACH TREE AND SHRUB AT A RATE OF 1/2 LB OF TRUNK CALCIUM OR GALLON OF ROOTBALL TABLETS OR SPINES SHALL NOT BE IN CONTACT WITH THE ROOTBALL.
 - MULCH MATERIAL SHALL BE OF UNIFORM SIZE, FINE SHREDED TANBARK, HARDWOOD MULCH OR APPROVED EQUAL. MULCH SHALL BE A REDDISH-BROWN COLOR AND SHALL BE

ADD TO A MINIMUM DEPTH OF 2 INCHES MULCH AREAS AROUND TREES AT THE RATE OF 100 LB PER TRUNK CALCIUM.

HYDROGEL ABSORBENT MATERIAL SHALL BE ADDED TO THE PLANTING MIX FOR EACH TREE AND SHRUB AT THE RATE OF 4 GALLONS PER 2" DIA. CALCIUM OR GALLON OF ROOTBALL. HYDROGEL MATERIAL SHALL BE "TERRAZOL" OR "TERRAZOL" OR APPROVED EQUAL.

F. SUBSTITUTIONS:

- IF A PLANT IS FOUND NOT TO BE AVAILABLE OR AVAILABLE, THE LANDSCAPE ARCHITECT IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE ORDERING. THE OWNER OF LANDSCAPE ARCHITECT WILL THEN SELECT A REASONABLE SUBSTITUTE OF EQUAL OR BETTER QUALITY AND OF THE SAME AVAILABILITY OF THE ORIGINAL PLANT.

G. PRUNING, CLEANUP, PROTECTION OF EXISTING MATERIALS AND RESTORATION

- THE CONTRACTOR SHALL PRUNE PLANT MATERIAL WITHIN TWO (2) DAYS OF INSTALLATION IN ACCORDANCE WITH THE DETAILS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- DURING COURSE OF PLANTING, PRUNING AND WEEDING MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED. LEAVY AREAS LEFT CLEAR, AND ALL REMAINING PRECAUTIONS TAKEN TO AVOID DAMAGE TO ANY EXISTING LAMPS, FENCING, ETC. NOT SOREALLY OR REMOVAL WHEN PLANTING IN AN AREA HAS BEEN COMPLETED, THE AREA SHALL BE CLEANED UP THOROUGHLY. DEBRIS, RUBBERB, SUBSOIL, AND WASTE MATERIALS SHALL BE CLEANED UP AND REMOVED FROM THE PROPERTY. EXISTING GRASS AREAS IMMEDIATELY BE RESEEDING BY THE WORK SHALL BE RESEEDING AND SOOED TO MATCH THE EXISTING LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

H. FINAL INSPECTION AND GUARANTEE:

- AFTER PLANTING IS COMPLETED INCLUDING MULCHING AND CLEANUP, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING TO REQUEST FINAL INSPECTION OF THE TOTAL PLANTING. THE LANDSCAPE ARCHITECT SHALL MAKE A FINAL INSPECTION AS SOON AS POSSIBLE. LANDSCAPE ARCHITECT SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING, WHEN ALL WORK IS SATISFACTORILY COMPLETED. IF WORK IS NOT SATISFACTORY, COMPLETE THE LANDSCAPE ARCHITECT WILL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING, AS TO THE DEFICIENCIES IN THE WORK, AND THE NECESSARY CORRECTIVE ACTIONS. THE LANDSCAPE ARCHITECT WILL BE GIVEN A REASONABLE AMOUNT OF TIME TO CORRECT THE DEFICIENCIES, AND ANOTHER FINAL INSPECTION WILL BE CONDUCTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL AND LAWN AREAS SHALL BE GUARANTEED TO BE IN A VIGOROUS GROWING CONDITION ONE YEAR FROM THE DATE OF FINAL INSPECTION AND ACCEPTANCE. AT THE TERMINATION OF THIS PERIOD, THE CONTRACTOR SHALL HAVE COMPLETED THE PRECEDING MAINTENANCE SCHEDULE. ANY PLANTS WHICH DO NOT MEET THE ABOVE REQUIREMENTS OR ARE DEAD OR UNACCEPTABLE PLANTS WILL BE REPLACED BY THE SAME PLANT AND SPECIES DESIGNATED ON THE PLANT LIST. THESE PLANTS SHALL BE PLANTED, MULCHED AND GUY-SUPPORTED HEREIN AND WITHOUT FURTHER COMPENSATION TO THE CONTRACTOR. AT THE COMPLETION OF ALL SUCH WORK, AND WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT, THE CONTRACT SHALL BE CONSIDERED COMPLETE.

NO	DATE	DESCRIPTION
2	10-26-01	CHANGES THIS SHEET - FIRST FLOOR ELEVATION OF BUILDING A

BY: MATIS WARFIELD, INC.

NO	DATE	DESCRIPTION
1	5/10/01	REVISE HANDICAP PARKING AREA IN FRONT OF BUILDING B (EAL)

BY: [Signature]

DEVELOPER'S/BUILDER'S CERTIFICATE:

"I/WE CERTIFY THAT THAT THE LANDSCAPING SHOWN ON THE APPROVED FINAL PLAN SHALL BE COMPLETED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE CERTIFY THAT HEALTHY PLANT MATERIAL WILL BE INSTALLED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN AND THAT A 1-YEAR GUARANTEE WILL BE EXECUTED."

NAME: P. COLE SANDERS
DATE: 10-2-00

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
Chief, Land Development Division
Director

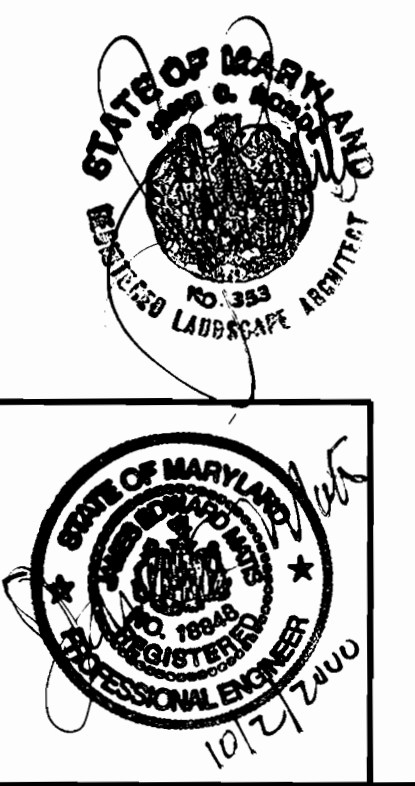
Subdivision Name	Section / Area	Lot / Parcel No.
Montpelier Research Park		E-5
Plate #	Grid #	Zoning
114-21	17	PEC
Water Code	Tax Map No.	Election District
E 21	41	5th
	Sewer Code	Census Tract
	6440000	6051.02

Final Landscape Plan
Proposed Offices for The Johns Hopkins University Applied Physics Laboratory
Parcel E-5
Montpelier Research Park
Howard County, Maryland
Scale: As Shown

Sheet 8 of 8
October 2, 2000
SDP 01-19

Matiss Warfield
consulting engineers

10640 York Road, Suite M
Hunt Valley, Maryland 21096
phone 410-883-7004
facsimile 410-883-1794
www.matisswarfield.com



HUMAN & ROHDE, INC.
LANDSCAPE ARCHITECTS
512 Virginia Avenue
Towson, Maryland 21286
410 825 3885

NOTE: FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$ 29,530.00

Plan
Scale 1" = 50'