

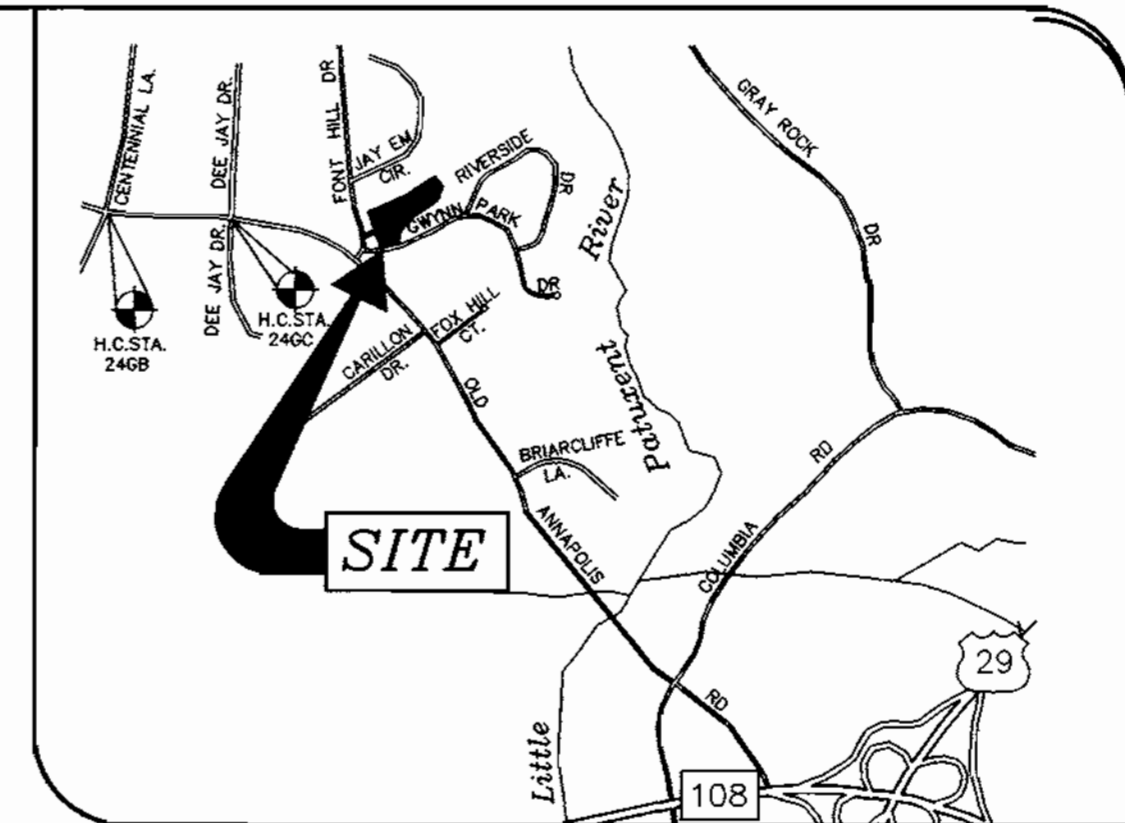
ADDRESS CHART	
LOT NO.	STREET ADDRESS
1	4205 RED FOX COURT
2	4125 FONT HILL DRIVE
3	4215 RED FOX COURT
4	4218 RED FOX COURT
5	4219 RED FOX COURT
6	4214 RED FOX COURT
7	4210 RED FOX COURT
8	
9	

SEWER HOUSE CONECTION		
LOT NO.	INV. @ PROPERTY LINE	MIN. CELLAR/FIRST FLOOR EL.
3	397.72	401.99 CELLAR
4	398.69	403.46 CELLAR
5	398.37	403.00 CELLAR
6	398.67	403.00 FIRST FLOOR
7	399.67	402.67 FIRST FLOOR
8	399.33	402.40 FIRST FLOOR
9	398.50	NO GRAVITY (FORCE MAIN)

SHEET INDEX	
SHEET	TITLE
1	COVER SHEET
2	SITE DEVELOPMENT PLAN (LOTS 3,4,6-9)
3	GENERIC DETAILS AND NOTS
4	SEDIMENT CONTROL NOTES AND DETAILS

PERMIT INFORMATION CHART					
SUBDIVISION NAME		SECTION/AREA	LOT #		
RED FOX ESTATE		24	3,4,6-9		
PLAT NO.	BLOCK #	ZONE	TAX/ZONE MAP	ELEC. DIST.	CENSUS TRACT
14536	20	R-20	24	2ND	6023.01
WATER CODE		SEWER CODE			
J-06		5840400			

SITE DEVELOPMENT PLAN RED FOX ESTATE LOTS 3,4,6-9 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND



VICINITY MAP
SCALE: 1"=500'



INDEX MAP
SCALE: 1"=100'

GENERAL NOTES:

- SUBJECT PROPERTY ZONED R-20 AS PER THE 10/16/93 COMPREHENSIVE ZONING PLAN.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, AND MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION AT (410)-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:
 - LOCATION: TAX MAP 24, 2ND ELECTION DISTRICT.
 - ZONING: R-20
 - AREA: 4.30 AC.
 - REFER TO: S-97-11, P-98-23, WP-97-93, F-97-97, F-00-104, F-01-71
 - PROPOSED USE: SINGLE FAMILY DETACHED
 - TOTAL NUMBER OF UNITS ALLOWED: 6
 - TOTAL NUMBER OF UNITS PROVIDED: 6
 - TOTAL NUMBER OF BUILDABLE LOTS: 6
 - TOTAL AREA OF BUILDABLE LOTS: 4.30 AC. ±
 - PARKING SPACES REQUIRED: 6 LOTS X 2 SPACES = 12
 - PARKING SPACES PROVIDED: 6 LOTS X 2 SPACES = 12
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN, COORDINATE SYSTEM. COUNTY MONUMENT NUMBERS 246C AND 246B ARE USED FOR THIS PROJECT.

STA. No.	246B	STA. No.	246C
	N 579,069.4682		N 578,868.8541
	E 1,350,441.8687		E 1,352,120.6963
	EL. 493.00		EL. 493.59
- TOPOGRAPHIC INFORMATION ARE BASED ON FIELD RUN TOPOGRAPHIC SURVEY PERFORMED ON OR ABOUT OCTOBER 1996 BY MILDENBERG, BOENDER AND ASSOCIATES, INC., AND APPROVED FINAL ROAD CONSTRUCTION PLANS UNDER F-00-104.
- BOUNDARY BASED ON A FIELD RUN SURVEY PERFORMED ON OR ABOUT OCT. 1996 BY MILDENBERG, BOENDER & ASSOCIATES, INC.
- NO FLOODPLAINS EXIST ON SITE
- WETLANDS STUDY AND FOREST STAND DELINEATION BY WILDMAN ENVIRONMENTAL SERVICES, INC. DATED SEPTEMBER 30, 1996.
- NO BURIAL OR CEMETERY SITES EXIST ON THE SITE.
- REFER TO CONTRACT NOS. 24-3831-D FOR WATER AND SEWER SERVICE.
- SEWER HOUSE CONNECTION ELEVATION SHOWN ARE LOCATED AT THE PROPERTY LINE.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN WETLANDS, STREAMS AND THEIR BUFFERS OR FOREST CONSERVATION AREAS, EXCEPT AS SHOWN ON APPROVED PLANS.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACK, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- LANDSCAPE SURETY HAS BEEN BONDED UNDER THE DEVELOPERS AGREEMENT FOR F-00-104. ADDITIONAL LANDSCAPE BUFFERS REQUIRED FOR THIS SDP SHALL BE BONDED WITH THE GRADING PERMIT. See Note A.B.
- FOREST CONSERVATION REQUIREMENTS HAS BEEN MET UNDER F-00-104
- ANY DAMAGE TO COUNTY'S RIGHT OF WAY SHALL BE CORRECTED AT THE DEVELOPERS EXPENSE.
- FOR DRIVEWAY DETAIL REFER TO HOWARD COUNTY DESIGN MANUAL VOLUME IV STANDARD DETAIL R 6-08.
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- ALL EXISTING SUPER SILT FENCES AND SILT FENCES CONSTRUCTED UNDER F-00-104 TO REMAIN.
- THIS PROJECT IS SUBJECT TO WP-97-93, APPROVED APRIL 4, 1997 WHICH WAIVED THE REQUIREMENT OF 40' FRONTAGE OF OPEN SPACE LOTS ON PUBLIC ROAD.
- THIS PROJECT IS SUBJECT TO WAIVER PETITION WP-99-124 REQUESTED ON JUNE 1, 1999, REQUESTING TO ALLOW GRADING FOR THE CONSTRUCTION OF A DRIVEWAY ACROSS A STREAM WAS DENIED ON JULY 27, 2000. THE DENIAL WAS APPEALED IN CASE NO. 432D. THE BOARD OF APPEALS ORDERED THE PETITION DENIED ON JULY 21, 2000.
- DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH-12 FEET (14 FEET IF SERVING MORE THAN ONE RESIDENCE).
 - SURFACE-6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING.
 - GEOMETRY-MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45 FOOT TURNING RADIUS.
 - STRUCTURES (CULVERT/BRIDGES)-CAPABLE OF SUPPORTING 25 GROSS TONS (25 TONS LOADING)
 - DRAINAGE ELEMENTS-CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 - STRUCTURE CLEARANCES-MINIMUM 12 FEET.
 - MAINTENANCE-SUFFICIENT TO INSURE ALL WEATHER USE.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING TO BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$ 600.00.

DEVELOPER
TRINITY HOMES
7320 GRACE DRIVE
COLUMBIA, MARYLAND 21044
(443) 324-9806

OWNER
RAFATI, INC.
C/O MILDENBERG, BOENDER AND ASSOC., INC.
5072 DORSEY HALL DR., SUITE 202
COLUMBIA, MD 21046
(410) 997-0296

SPECIAL NOTES:

THIS PLAN IS FOR HOUSE SITING AND LOT GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHTS-OF-WAY ON THE SDP ARE NOT TO BE USED FOR CONSTRUCTION. FOR CONSTRUCTION SEE APPROVED ROAD CONSTRUCTION PLANS F-00-104 AND APPROVED WATER & SEWER PLANS CONTRACT # 14-3823-D.

DEVELOPER'S CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZED PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Michael P. Pressi Dent 12/14/00
SIGNATURE OF DEVELOPER DATE
MICHAEL P. PRESSI DENT
PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

R. Jacob Hikmat 12/11/00
SIGNATURE OF ENGINEER DATE
R. JACOB HIKMAT
PRINTED NAME OF ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

J. H. Warfield 12/19/00
USDA - NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

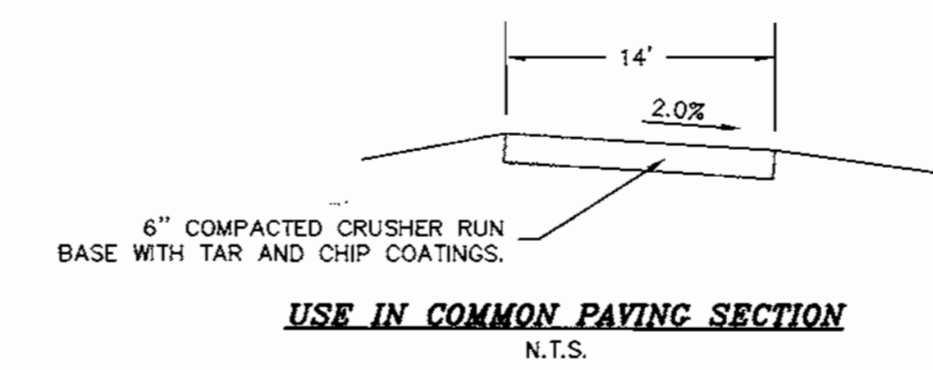
John K. Robinson 12/19/00
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chris J. Williams 12/22/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Andy Hanna 1/5/01
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

John C. Smith 1/9/01
DIRECTOR DATE



project: 00-039 date: DEC. 2000
illustration: SAA engineering
scale: AS SHOWN approval: RHH
description: REVISIONS

TAX MAP 24, BLOCK 20, PARCEL 539
RED FOX ESTATE
HOWARD COUNTY
SECOND ELECTION DISTRICT
COVER SHEET

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland, 21042
(410) 997-0296 Fax: (301) 621-5621 Wash. (410) 997-0296 Fax.

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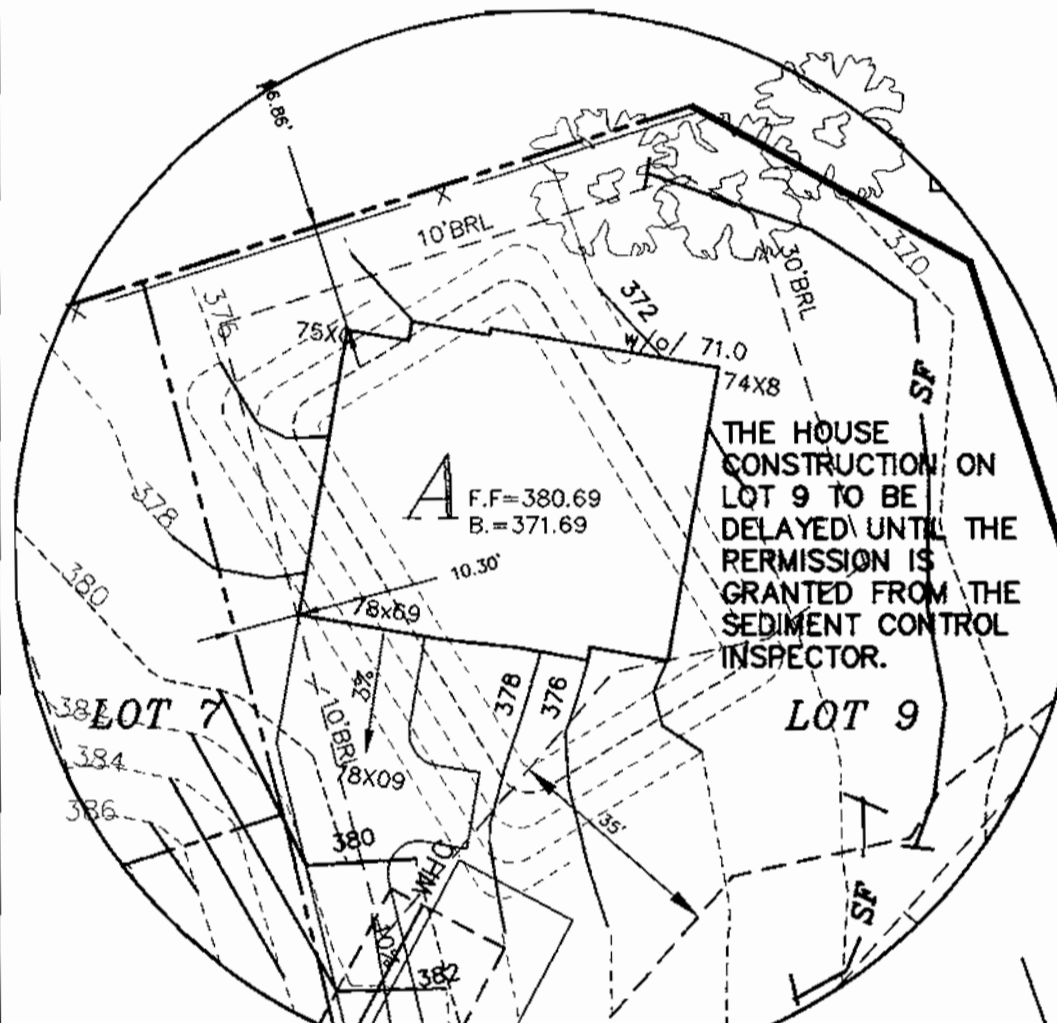
OPEN SPACE
LOT 10

HOWARD COUNTY, MARYLAND
DEPARTMENT OF RECREATION
AND PARKS

LOT 9

LOT 9 AND OPEN SPACE LOT 10

SCALE 1"=100'



THE HOUSE CONSTRUCTION ON LOT 9 TO BE DELAYED UNTIL THE PERMISSION IS GRANTED FROM THE SEDIMENT CONTROL INSPECTOR.

FINAL GRADING OF LOT 9

SCALE 1"=30'

DEVELOPER'S CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: *Michael P. ...* DATE: 12/16/00
 PRINTED NAME OF DEVELOPER: Michael P. ... PRESIDENT

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND MEASURABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: *R. JACOB HILKAT* DATE: 12/16/00
 PRINTED NAME OF ENGINEER: R. JACOB HILKAT

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Signature: *J. S. ...* DATE: 12/19/00
 PRINTED NAME OF REVIEWER: J. S. ...

Signature: *John ...* DATE: 12/19/00
 PRINTED NAME OF REVIEWER: John ...

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: *...* DATE: 12/20/00
 PRINTED NAME OF APPROVER: ...

Signature: *...* DATE: 1/2/01
 PRINTED NAME OF APPROVER: ...

Signature: *...* DATE: 1/2/01
 PRINTED NAME OF APPROVER: ...

DEVELOPER
TRINITY HOMES
7320 GRACE DRIVE
COLUMBIA, MARYLAND 21044
(443) 324-9806

OWNER
RAFAT, INC.
C/O MILDENBERG, BOENDER AND ASSOC., INC.
5072 DORSEY HALL DR., SUITE 202
(410) 997-0296

LANDSCAPE PLANTING SCHEDULE

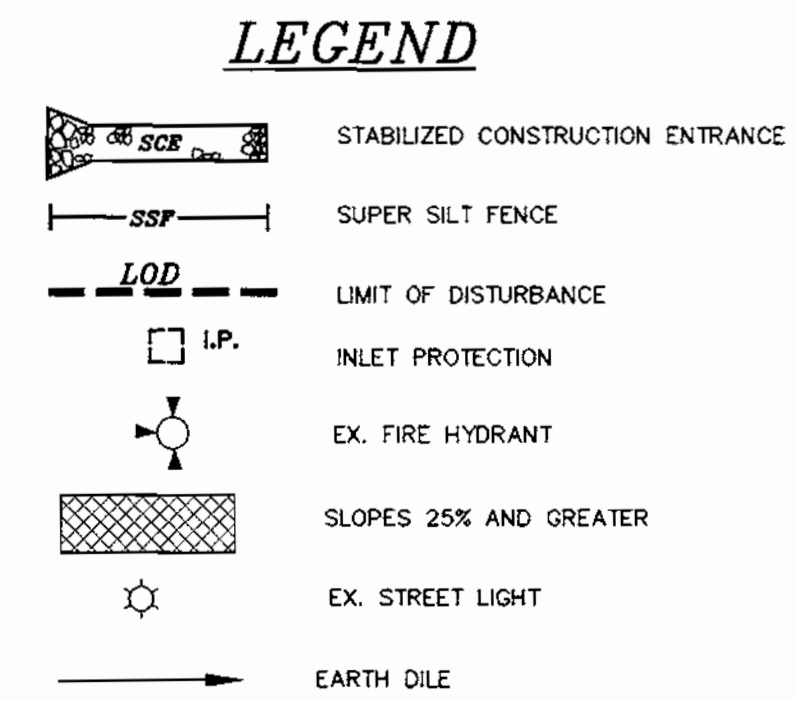
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
2		ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
TOTAL				2 SHADE TREES

PERIMETER

PERIMETER	EDGE TYPE
PERIMETER 1 SFD TO SFD = 84.08 LF 1 SHADE TREE / 60 LF	A
P/O PERIMETER 11 SFD TO SFD = 30 LF 1 SHADE TREE / 60 LF	A
TOTAL PLANTING OBLIGATION	
SHADE TREES	2
EVERGREEN TREES	0
SHRUBS	0

SCHEDULE A : PERIMETER LANDSCAPED EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	A (PERIMETERS 1 & P/O 11)
LINEAR FEET OF PERIMETER	114.08 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	NO
NUMBER OF PLANTS REQUIRED	
SHADE TREES	2 SHADE TREES
EVERGREEN TREES	0 EVERGREEN TREES
SHRUBS	0 SHRUBS
NUMBER OF PLANTS PROVIDED	
SHADE TREES	2 SHADE TREES
EVERGREEN TREES	0 EVERGREEN TREES
OTHER TREES (2:1 SUBSTITUTION)	0 SUBSTITUTION TREES
SHRUBS (10:1 SUBSTITUTION)	0 SHRUBS



project: 00-039
 illustration: SAA
 scale: 1"=30'
 date: DEC. 2000
 engineering: SAA
 approval: RJH

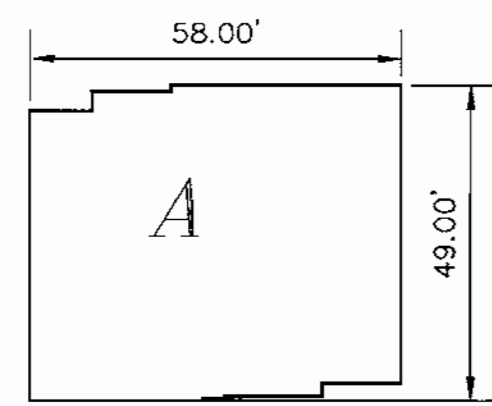
TAX MAP 24, BLOCK, PARCEL 539
RED FOX ESTATE
 HOWARD COUNTY, MARYLAND
 SECOND ELECTION DISTRICT
SITE DEVELOPMENT PLAN

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
 (410) 997-0296 Balt. (301) 621-5621 Wash. (410) 997-0298 Fax.

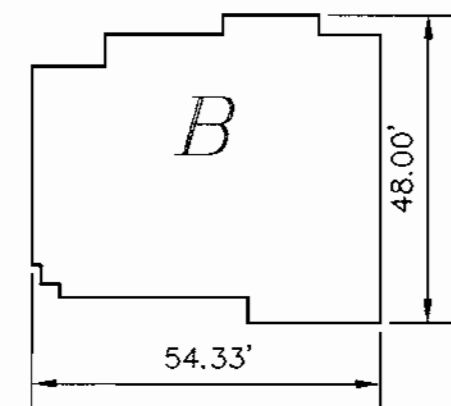
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HOUSE MODELS

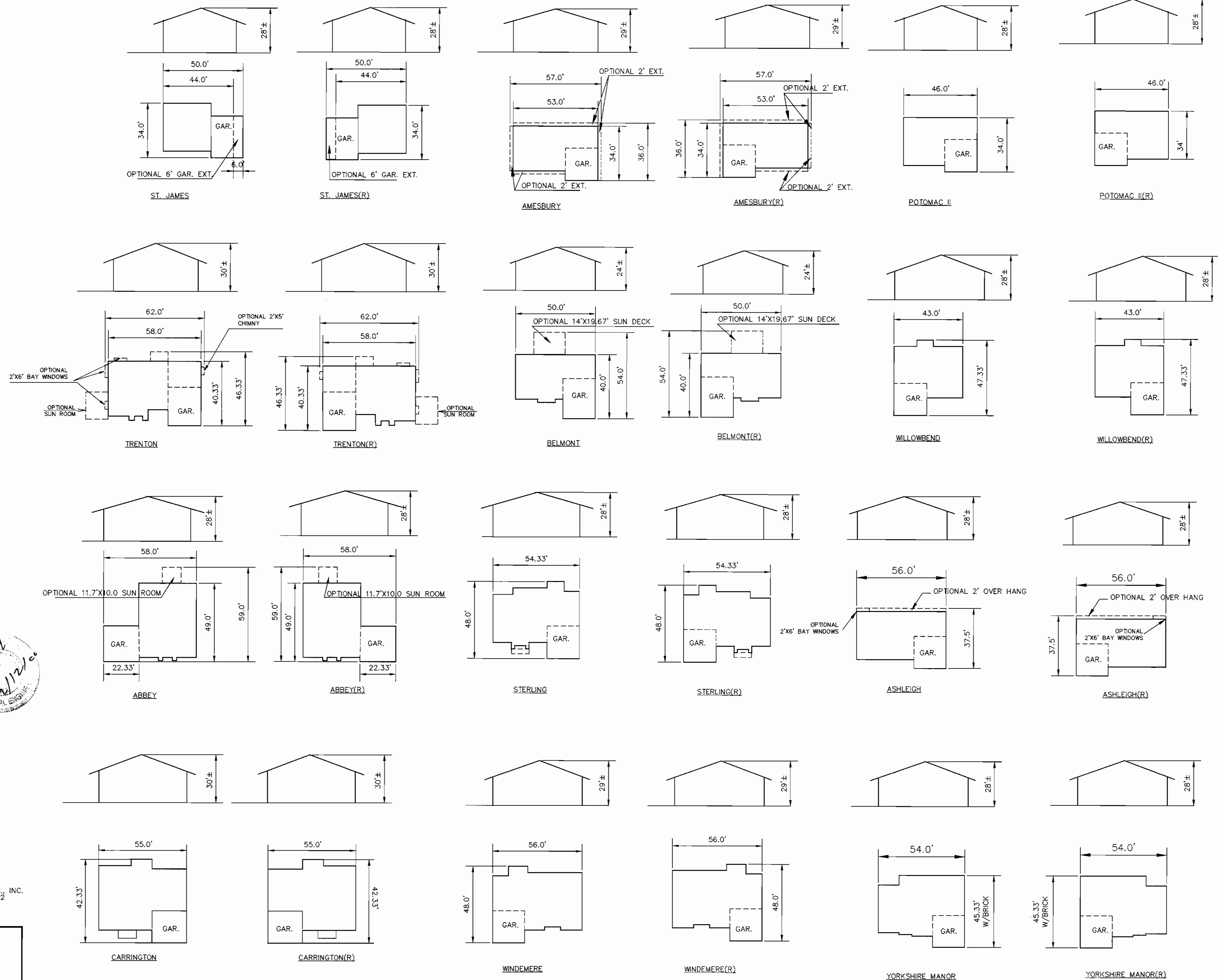
GENERIC BOXES



ST. JAMES(R)
 AMESBURY(R)
 POTOMAC II(R)
 TRENTON(R)
 BELMONT(R)
 WILLOWBEND
 ABBEY
 STERLING
 STERLING(R)
 ASHLEIGH(R)
 WINDEMERE
 YORKSHIRE MANOR(R)



ST. JAMES
 POTOMAC II
 BELMONT
 WILLOWBEND(R)
 STERLING
 YORKSHIRE MANOR



DEVELOPER
 TRINITY HOMES
 7320 GRACE DRIVE
 COLUMBIA, MARYLAND 21044
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APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 12/22/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] 1/5/01
 CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature] 1/9/01
 DIRECTOR

Project	00-038	date	DEC. 2000
Illustration	SA	engineering	SA
scale	1" = 30'	approval	RJH

no.	description	revisions	date

TAX MAP 24, BLOCK 20, PARCEL 539
RED FOX ESTATE
 HOWARD COUNTY, MARYLAND
 SECOND ELECTION DISTRICT
 GENERIC DETAILS AND NOTES

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
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HOWARD SOIL CONSERVATION DISTRICT

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LEIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING; IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- 1) PREFERRED - APPLY 2 TONS PER ACRE DOMOLIMIC LIMESTONE (92 LBS./1000 SQ.FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.) BEFORE SEEDING.
HARROW OR DISK INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS./1000 SQ.FT.)
2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOMOLIMIC LIMESTONE (92 LBS./1000 SQ.FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

SEEDING - FOR PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE 1.4 LBS./1000 SQ.FT. OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (0.5 LBS./1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) - 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) - USE SOD. OPTION (3) - SEED WITH 60 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL./1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL./1000 SQ.FT.) FOR ANCHORING.

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE DISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING; FOR NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.)

SEEDING - FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHES PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (0.7 LBS./1000 SQ.FT.). FOR THE PERIOD NOVEMBER 16 THRU NOVEMBER 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED WHEED FREE SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL./1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GAL PER ACRE (8 GAL./1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

STANDARD SEDIMENT CONTROL NOTES

1) A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION, (313-1855).

2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.

3) FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

4) ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.

5) ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TEMPORARY SEEDING (SEC.51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC.52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.

6) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

Table with 2 columns: SITE ANALYSIS, TOTAL AREA OF SITE, AREA DISTURBED, AREA TO BE ROOFED OR PAVED, AREA TO BE VEGETATIVELY STABILIZED, TOTAL CUT, TOTAL FILL, TOTAL WASTE/BORROW AREA LOCATION. Values include 4.30 ACRES, 1.70 ACRES, 0.50 ACRES, 1.20 ACRES, 4.000 CU. YDS., 4.000 CU. YDS.

THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. CONTRACTOR IS REQUIRED TO PROVIDE HIS OWN QUANTITY MEASUREMENTS.

9) ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

10) ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

11) TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

- 1. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS.
c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
d. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
I. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.

II. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERNARD GRASS, QUACKGRASS, JOHNSON-SOON GRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
III. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
I. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

IV. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
I. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
a. PH FOR TOPSOILS SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
b. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
c. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
d. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL, UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

V. PLANT TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

VI. TOPSOIL APPLICATION
I. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
II. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4" - 8" HIGHER IN ELEVATION.

III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" TO 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.

IV. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

V. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:
I. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
a. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS WHO ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
b. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHOROUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
c. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.

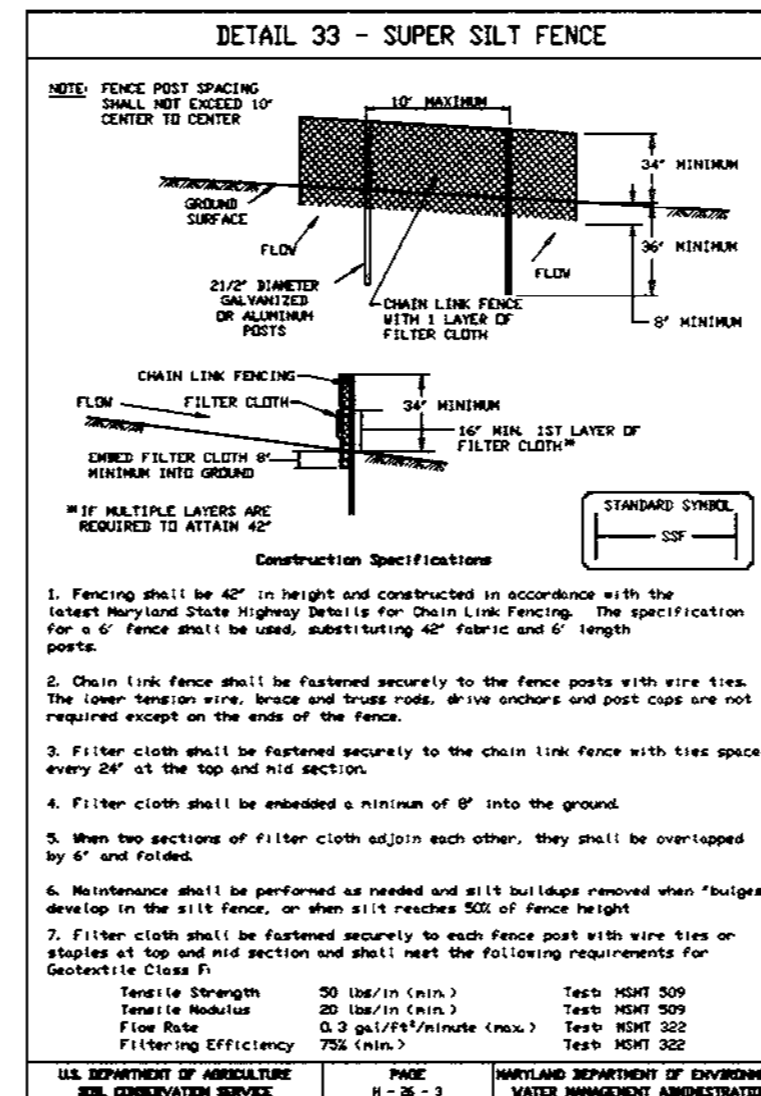
IV. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING, MD-VA. PUB. #1. COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973.

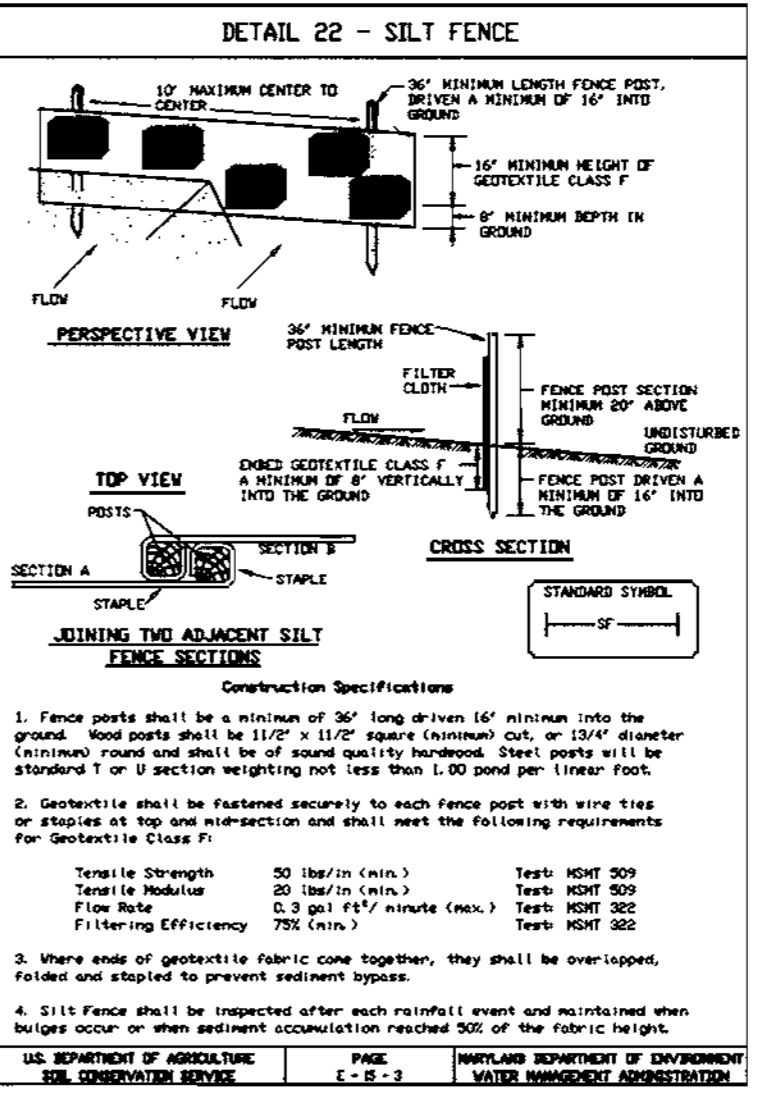
2. OBTAIN GRADING PERMIT
3. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE, WITH MOUNTABLE BERM, AT LOCATIONS SHOWN. (1 DAY)
4. CONSTRUCT PROPOSED SILT FENCES AND SUPER SILT FENCES (SILT FENCES AND SUPER SILT FENCES TO REMAIN FROM F-200-104 ARE LABELED AS EXISTING) (1 DAY)
5. SILT FENCE ON LOT 9 TO BE CONSTRUCTED PRIOR TO DIRECTLY TO THE GRADING OF LOT 9.
6. BUILD HOUSES ON LOTS 3,4,6,8
7. RELOCATE DIKE AS SHOWN ON PLAN ON LOT # 7, THEN GRADE LOT 7 (1 DAY)
8. BUILD HOUSE ON LOT 7
9. STABILIZE DISTURBED AREAS ON LOTS # 3,4,6,7,8,(1 DAY)
10. REMOVE NEW DIKE AND STABILIZE AREAS AROUND IT,(1 DAY)
11. GRADE LOT # 9 (2 DAYS)
12. BUILD HOUSE ON LOT #9
13. STABILIZE ALL REMAINING AREAS,(2 DAYS)
14. CLEAN SWM POND. (2 DAYS)
15. WHEN ALL CONTRIBUTING DRAINAGE AREAS TO THE SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED, AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE ALL REMAINING AREAS. (3 DAYS)

1. OBTAIN GRADING PERMIT
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE, WITH MOUNTABLE BERM, AT LOCATIONS SHOWN. (1 DAY)
3. CONSTRUCT PROPOSED SILT FENCES AND SUPER SILT FENCES (SILT FENCES AND SUPER SILT FENCES TO REMAIN FROM F-200-104 ARE LABELED AS EXISTING) (1 DAY)
4. SILT FENCE ON LOT 9 TO BE CONSTRUCTED PRIOR TO DIRECTLY TO THE GRADING OF LOT 9.
5. BUILD HOUSES ON LOTS 3,4,6,8
6. RELOCATE DIKE AS SHOWN ON PLAN ON LOT # 7, THEN GRADE LOT 7 (1 DAY)
7. BUILD HOUSE ON LOT 7
8. STABILIZE DISTURBED AREAS ON LOTS # 3,4,6,7,8,(1 DAY)
9. REMOVE NEW DIKE AND STABILIZE AREAS AROUND IT,(1 DAY)
10. GRADE LOT # 9 (2 DAYS)
11. BUILD HOUSE ON LOT #9
12. STABILIZE ALL REMAINING AREAS,(2 DAYS)
13. CLEAN SWM POND. (2 DAYS)
14. WHEN ALL CONTRIBUTING DRAINAGE AREAS TO THE SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED, AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE ALL REMAINING AREAS. (3 DAYS)

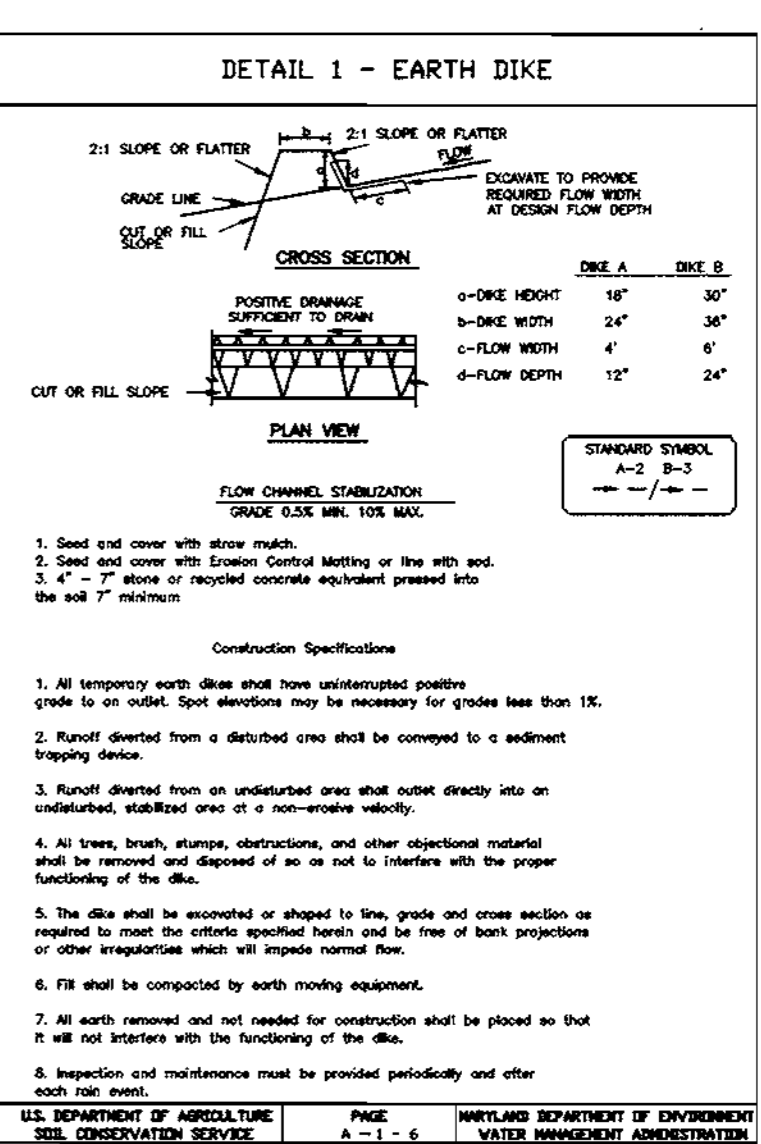
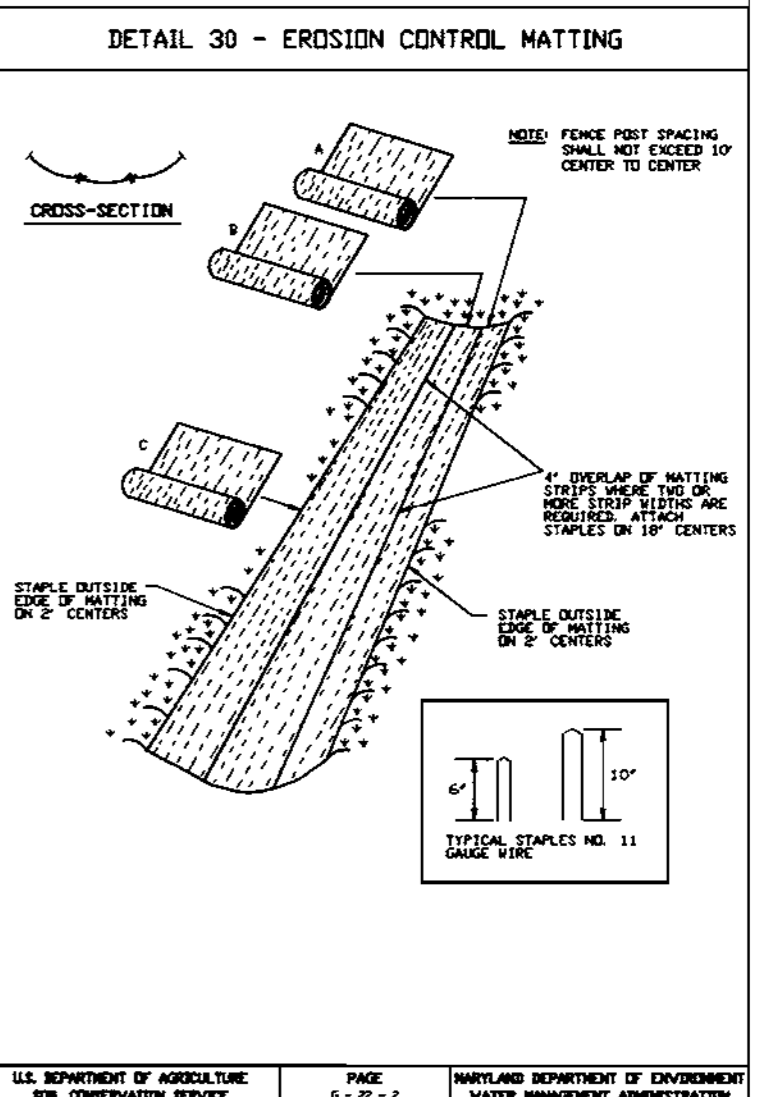
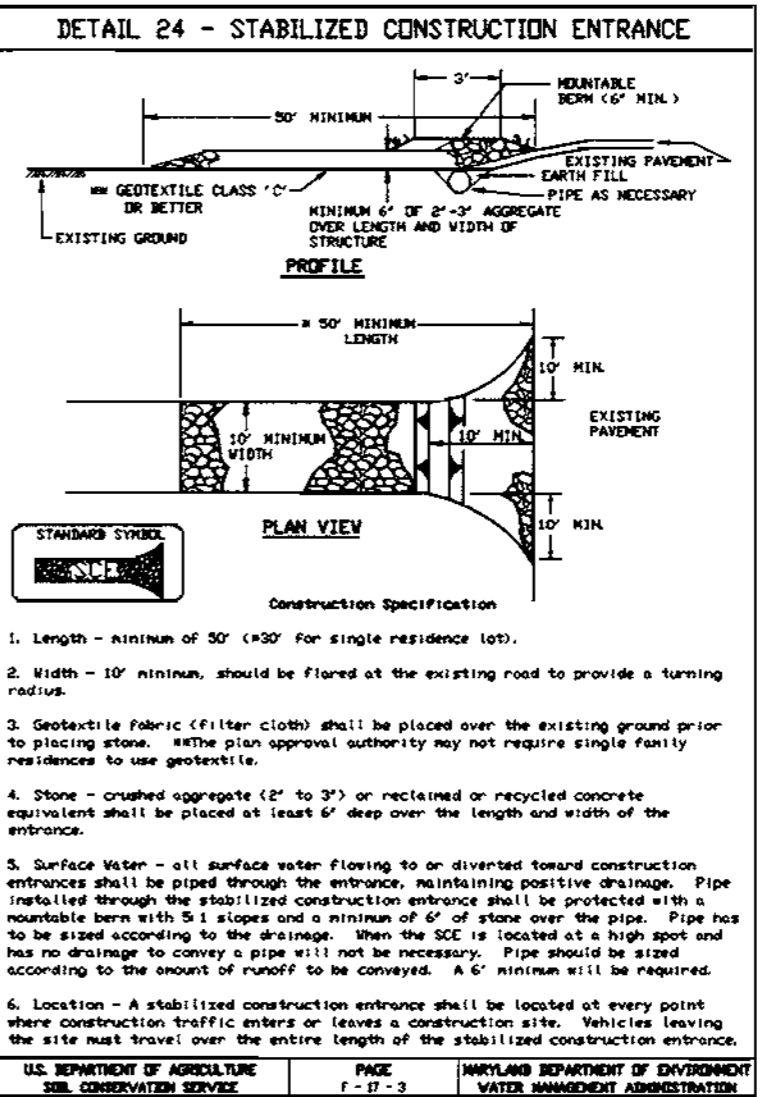
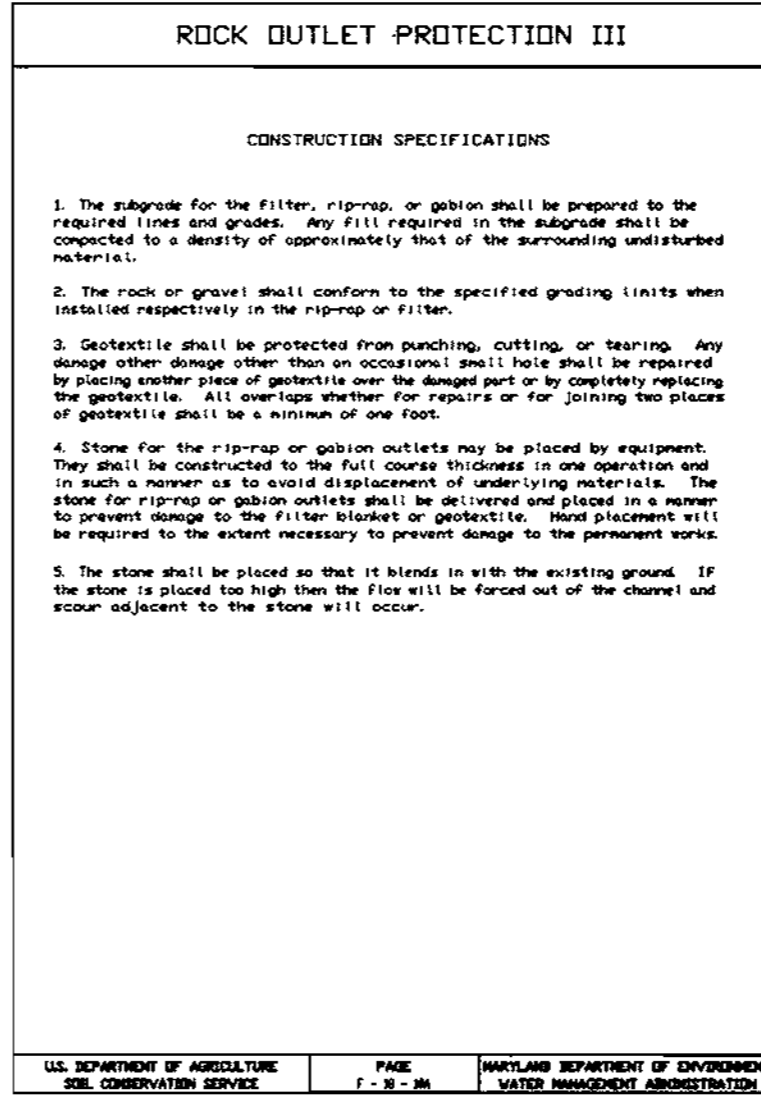
SEQUENCE OF CONSTRUCTION



SUPER SILT FENCE Design Criteria table with columns for Slope, Slope Steepness, Slope Length (maximum), and Silt Fence Length (maximum).



SILT FENCE Silt Fence Design Criteria table with columns for Slope Steepness, Slope Length (Maximum), and Silt Fence Length (Maximum).



DEVELOPERS CERTIFICATE and ENGINEER'S CERTIFICATE sections with signatures and dates.

APPROVED: DEPARTMENT OF PLANNING AND ZONING section with signature and date.

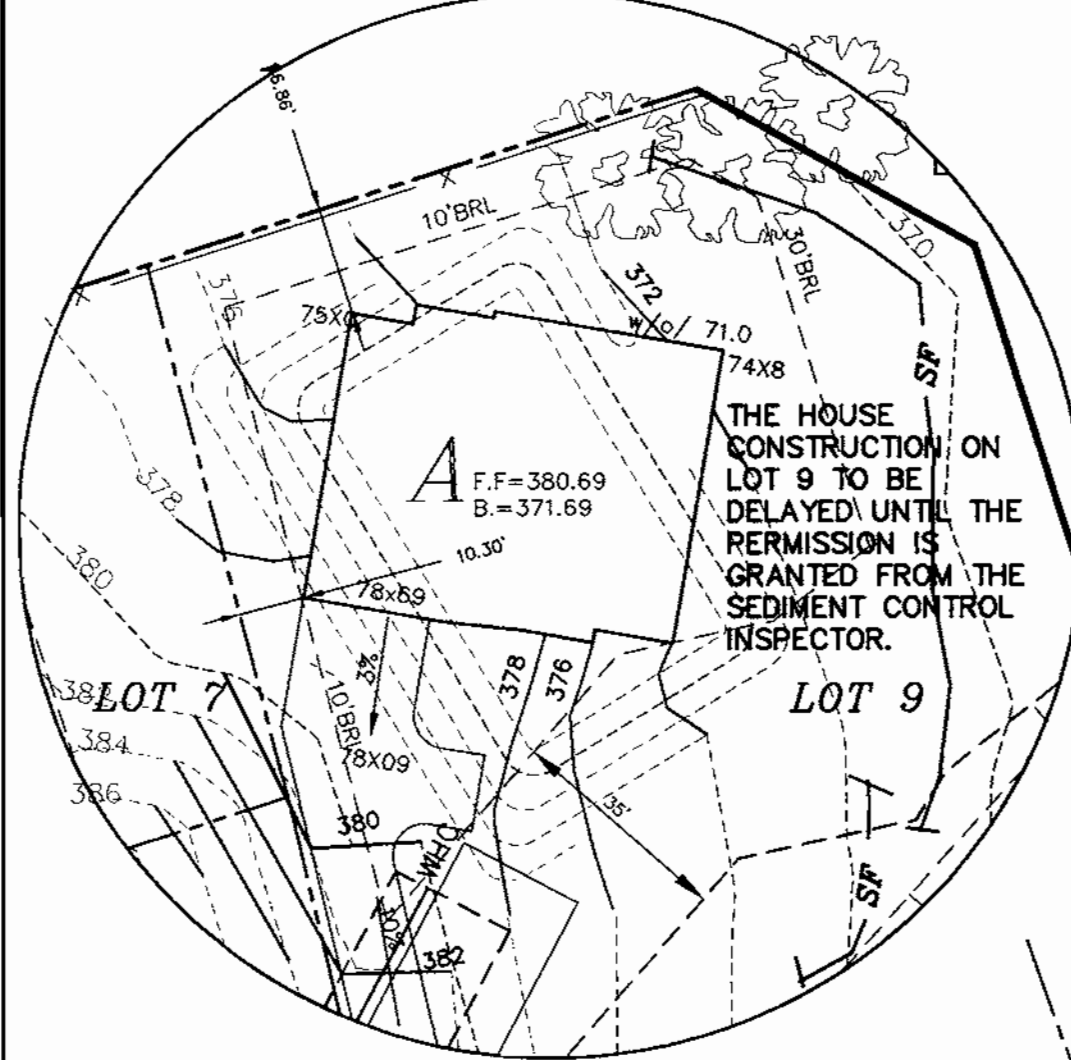
DEVELOPER TRINITY HOMES 7320 GRACE DRIVE COLUMBIA, MARYLAND 21044 (443) 324-9806

OWNER RAFAT INC. C/O MILDENBER, BOENDER AND ASSOC., INC. 5072 DORSEY HALL DRIVE, SUITE 202 ELLICOTT CITY, MARYLAND 21042 (410) 997-0296

MILDENBERG, BOENDER & ASSOC., INC. Engineers Planners Surveyors. 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042 (410) 997-0296 Fax. (301) 621-5521 Wash. (410) 997-0298 Fax. TAX MAP 24, BLOCK 20, PARCEL 539 RED FOX ESTATE HOWARD COUNTY, MARYLAND SECOND ELECTION DISTRICT SEDIMENT CONTROL NOTES AND DETAILS 4 OF 4

OPEN SPACE
LOT 10
HOWARD COUNTY, MARYLAND
DEPARTMENT OF RECREATION
AND PARKS

LOT 9 AND OPEN SPACE LOT 10
SCALE 1"=100'



FINAL GRADING OF LOT 9
SCALE 1"=30'

THE HOUSE CONSTRUCTION ON LOT 9 TO BE DELAYED UNTIL THE PERMISSION IS GRANTED FROM THE SEDIMENT CONTROL INSPECTOR.

DEVELOPER'S CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL PROVIDED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: *Michael P. ...* DATE: 12/16/00
PRINTED NAME OF DEVELOPER: Michael P. ...

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: *R. James Hilmat* DATE: 12/11/00
PRINTED NAME OF ENGINEER: R. James Hilmat

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Signature: *J. G. ...* DATE: 12/19/00
FOR: NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS SUBJECT TO EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

Signature: *John ...* DATE: 12/19/00
FOR: HOWARD COUNTY SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Signature: *...* DATE: 12/22/00
CHIEF, DEPARTMENT OF PLANNING AND ZONING
Signature: *...* DATE: 1/1/01
CHIEF, DIVISION OF LAND DEVELOPMENT
Signature: *...* DATE: 1/1/01
DIRECTOR

DEVELOPER
TRINITY HOMES
7320 GRACE DRIVE
COLUMBIA, MARYLAND 21044
(443) 324-9806

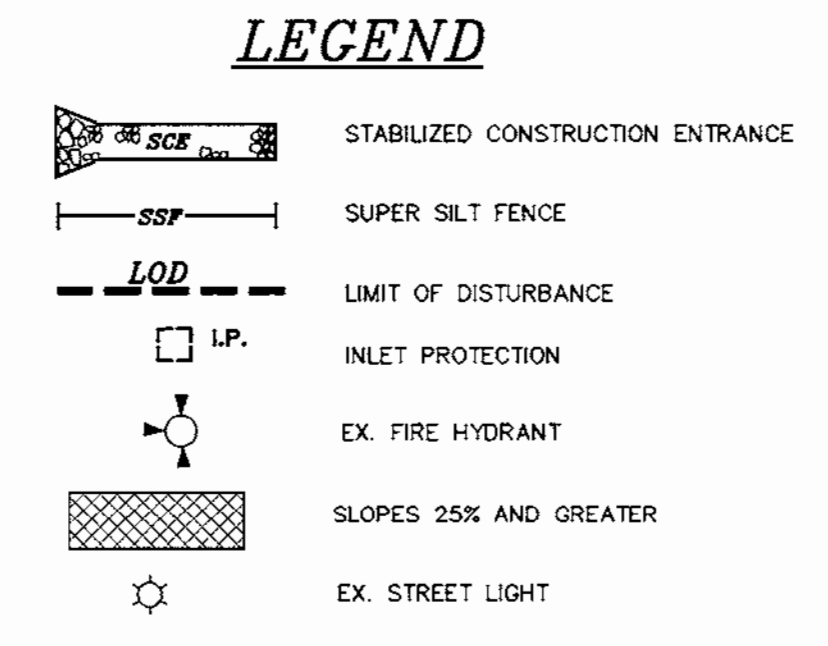
OWNER
RAFAT, INC.
C/O MILDENBERG, BOENDER AND ASSOC., INC.
5072 DORSEY HALL DR. SUITE 202
(410) 997-0296

LANDSCAPE PLANTING SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
2		ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
TOTAL		2 SHADE TREES		

SCHEDULE A: PERIMETER LANDSCAPED EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	A (PERIMETERS 1 & P/O 11)
LINEAR FEET OF PERIMETER	114.08 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	NO
NUMBER OF PLANTS REQUIRED	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED	2 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS



date	DEC. 2000	engineering	SAA	approval	RJH
project	00-039	illustration	SAA	scale	1"=30'

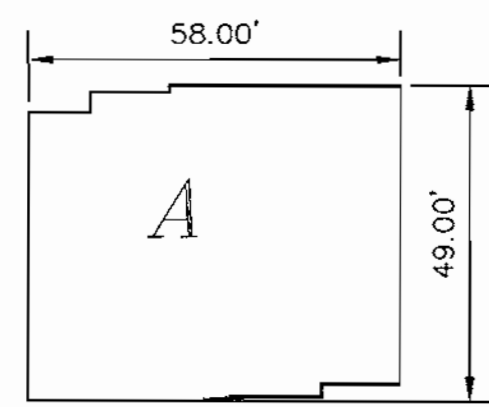
no.	2	HOUSE TYPE REVISED ON LOT 4	date	2.7.2001
no.		DESIGNERS	no.	

TAX MAP 24, BLOCK, PARCEL 539
RED FOX ESTATE
SECOND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SITE DEVELOPMENT PLAN

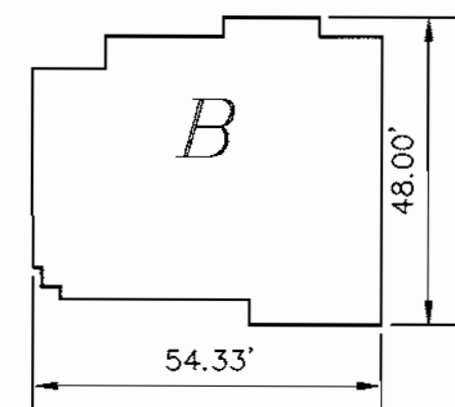
MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
(410) 997-0296 Balt. (301) 621-5321 Wash. (410) 997-0298 Fax.

HOUSE MODELS

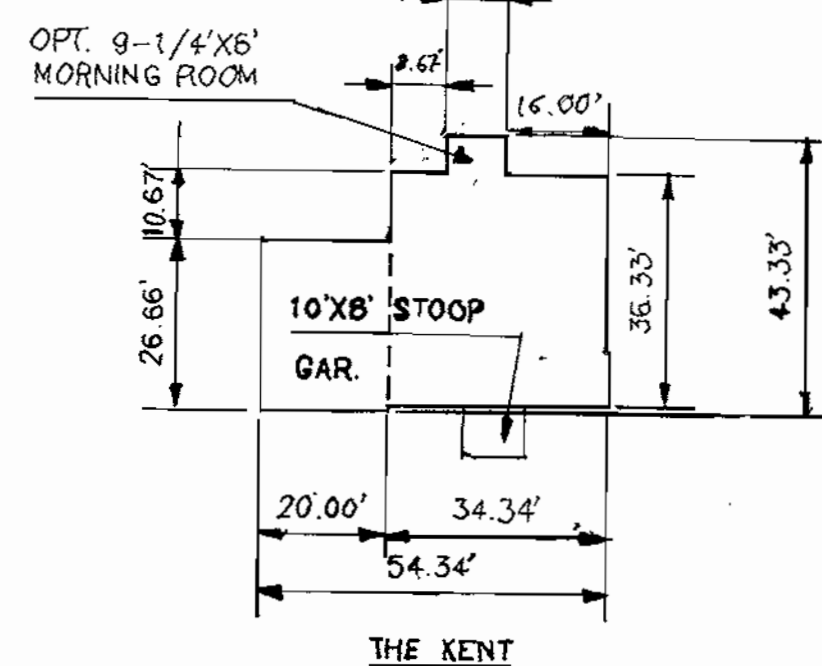
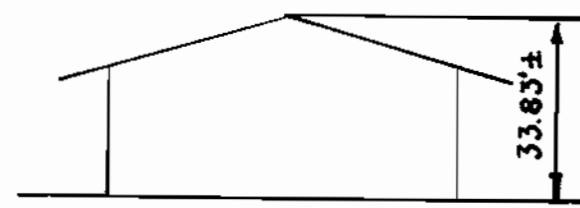
GENERIC BOXES



ST. JAMES(R)
 AMESBURY(R)
 POTOMAC II(R)
 TRENTON(R)
 BELMONT(R)
 WILLOWBEND
 ABBEY
 STERLING
 STERLING(R)
 ASHLEIGH(R)
 WINDEMERE
 YORKSHIRE MANOR(R)






ST. JAMES
 POTOMAC II
 BELMONT
 WILLOWBEND(R)
 STERLING
 YORKSHIRE MANOR

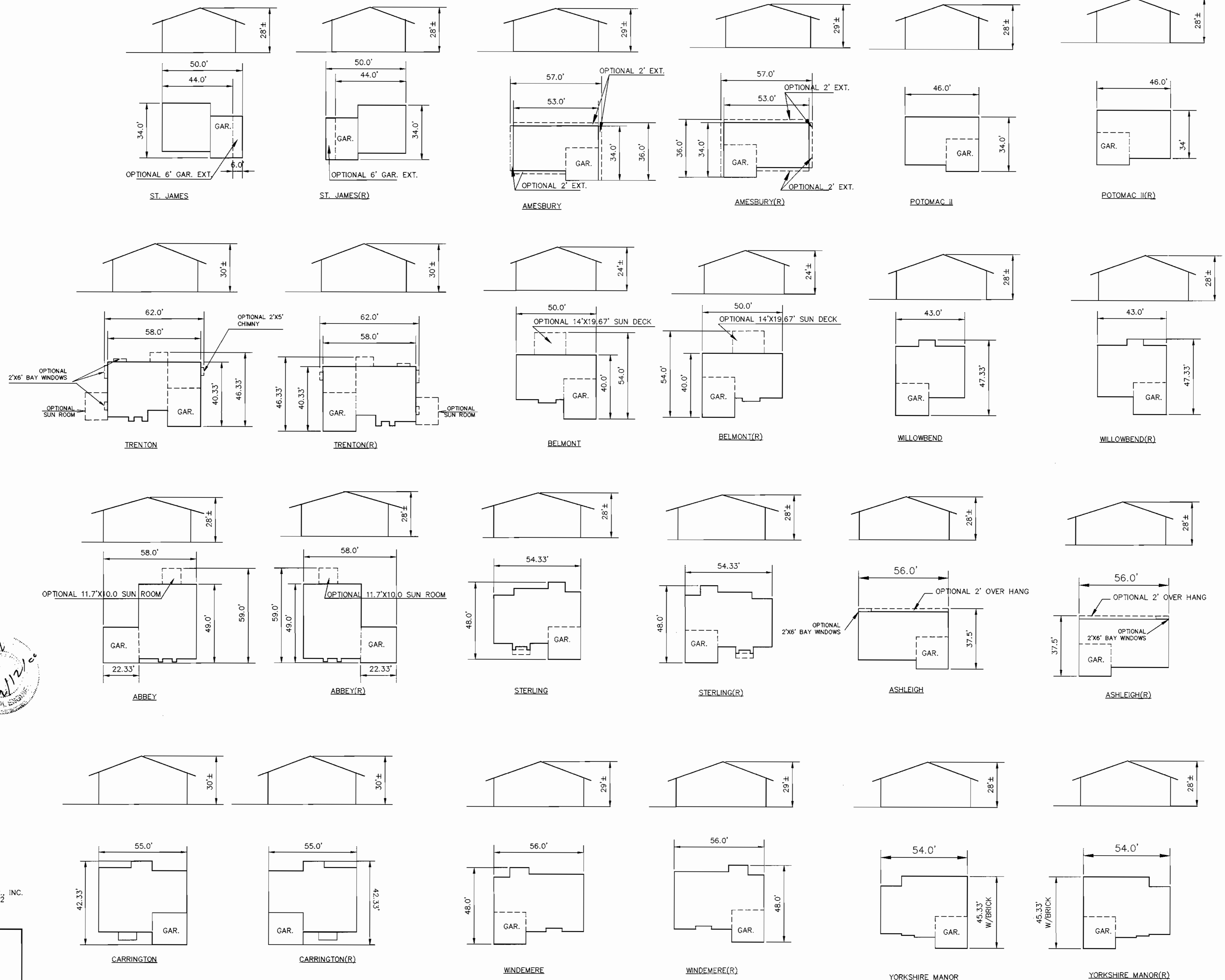


DEVELOPER
 TRINITY HOMES
 7320 GRACE DRIVE
 COLUMBIA, MARYLAND 21044
 (443) 324-9806

OWNER
 RAFAT, INC.
 C/O MILDENBERG, BOENDER AND ASSOC., INC.
 5072 DORSEY HALL DR. SUITE 202
 (410) 997-0296

APPROVED: DEPARTMENT OF PLANNING AND ZONING

 12/22/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
 1/5/01
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
 1/9/01
 DIRECTOR DATE



Project	00-039	date	DEC. 2000
Illustration	SAA	engineering	SAA
scale	1"=30'	approval	RIH

ADD A HOUSE TYPE (THE KENT)	description	revisions
1.		

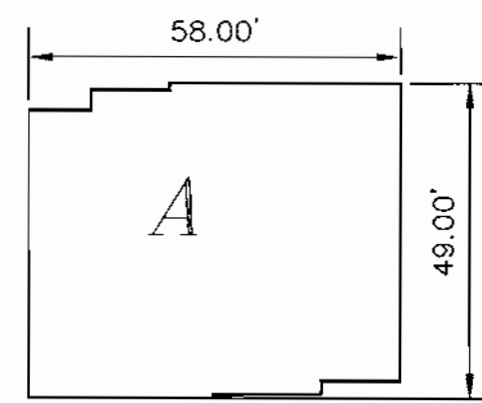
TAX MAP 24, BLOCK 20, PARCEL 539
RED FOX ESTATE
 HOWARD COUNTY, MARYLAND
 SECOND ELECTION DISTRICT
 GENERIC DETAILS AND NOTES

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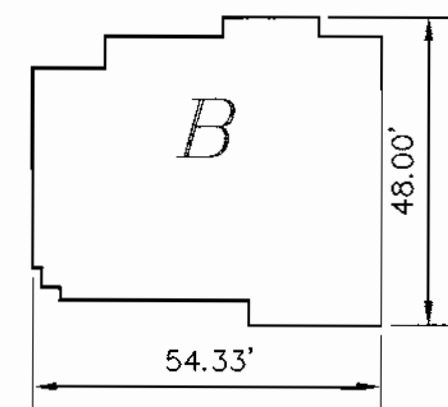
SDP.01.17

HOUSE MODELS

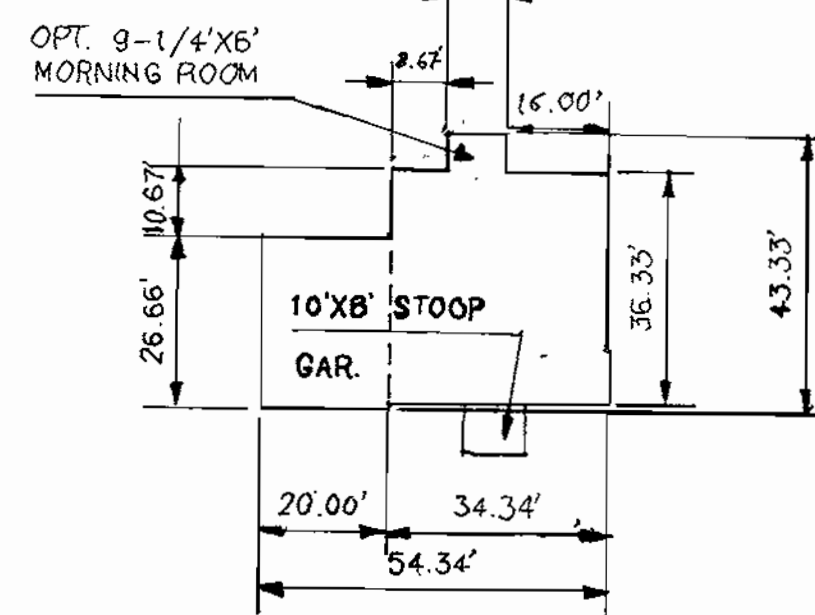
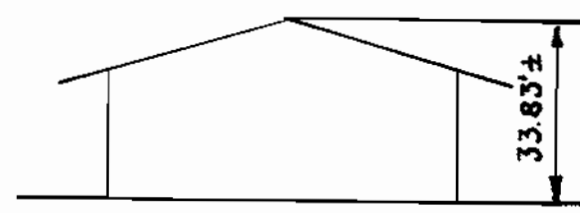
GENERIC BOXES



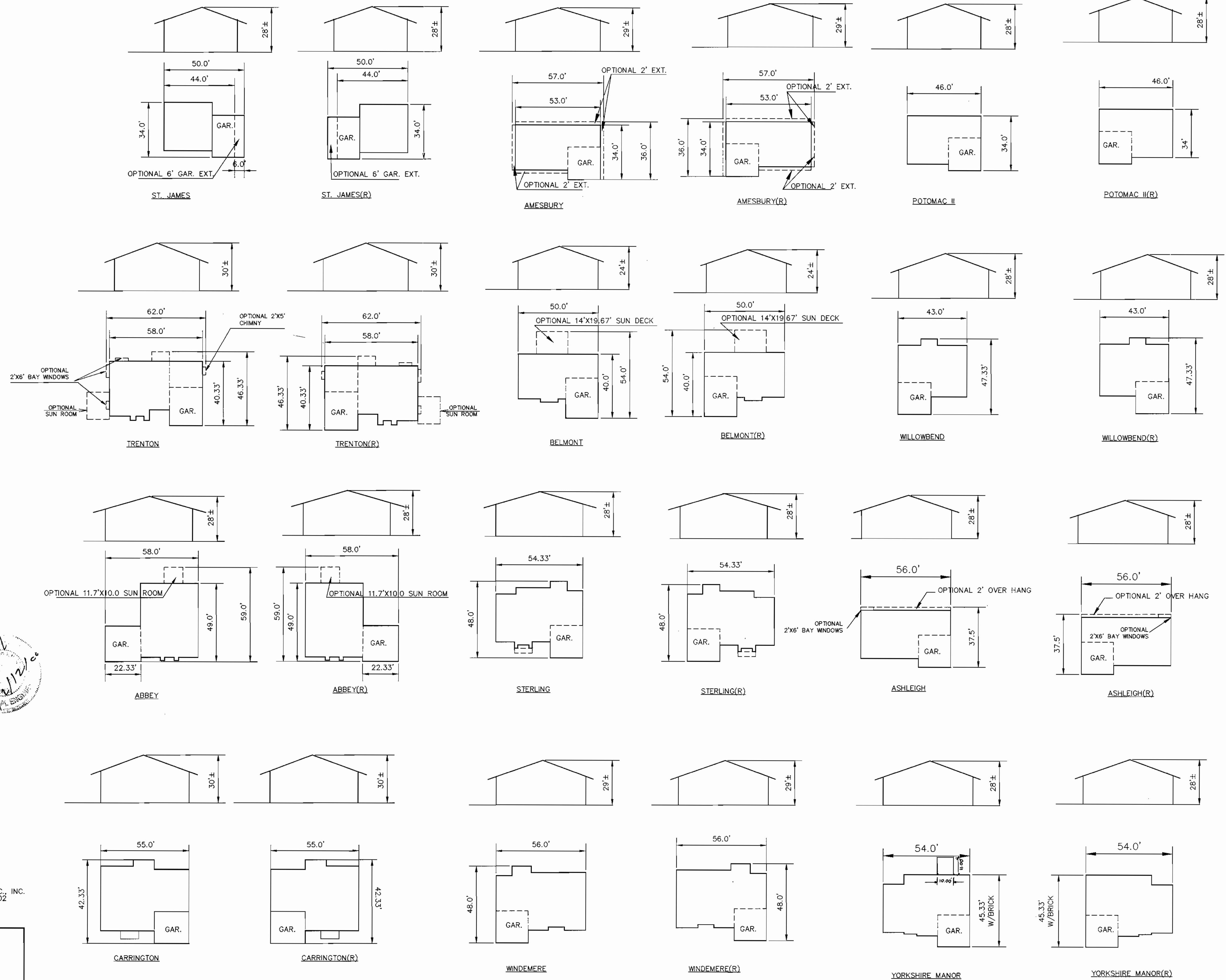
ST. JAMES(R)
 AMESBURY(R)
 POTOMAC II(R)
 TRENTON(R)
 BELMONT(R)
 WILLOWBEND
 ABBEY
 STERLING
 STERLING(R)
 ASHLEIGH(R)
 WINDEMERE
 YORKSHIRE MANOR(R)



ST. JAMES
 POTOMAC II
 BELMONT
 WILLOWBEND(R)
 STERLING
 YORKSHIRE MANOR



THE KENT



DEVELOPER
 TRINITY HOMES
 7320 GRACE DRIVE
 COLUMBIA, MARYLAND 21044
 (443) 524-9806

OWNER
 RAFAT, INC.
 C/O MILDENBER, BOENDER AND ASSOC., INC.
 5072 DORSEY HALL DR., SUITE 202
 (410) 997-0296

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 12/22/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 1/5/01
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 1/9/01
 DIRECTOR DATE

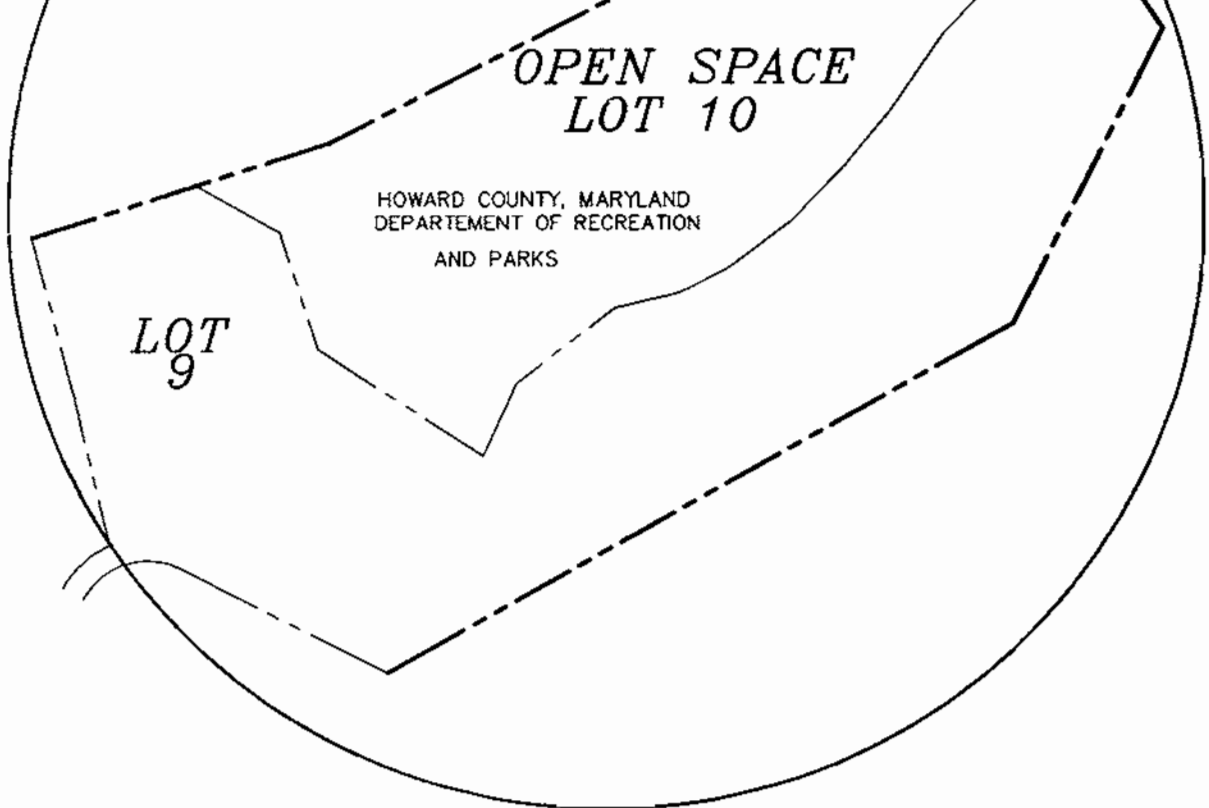
Project	00-039	Date	DEC. 2000
Illustration	SA	Engineering	SA
Scale	1"=30'	Approval	SA
Revisions		Approval	RJH

ADD OPT. SUN ROOM TO YORKSHIRE MANOR MODEL	1	12/22/00
ADD A HOUSE TYPE (THE KENT)	2	1/5/01
		1/9/01

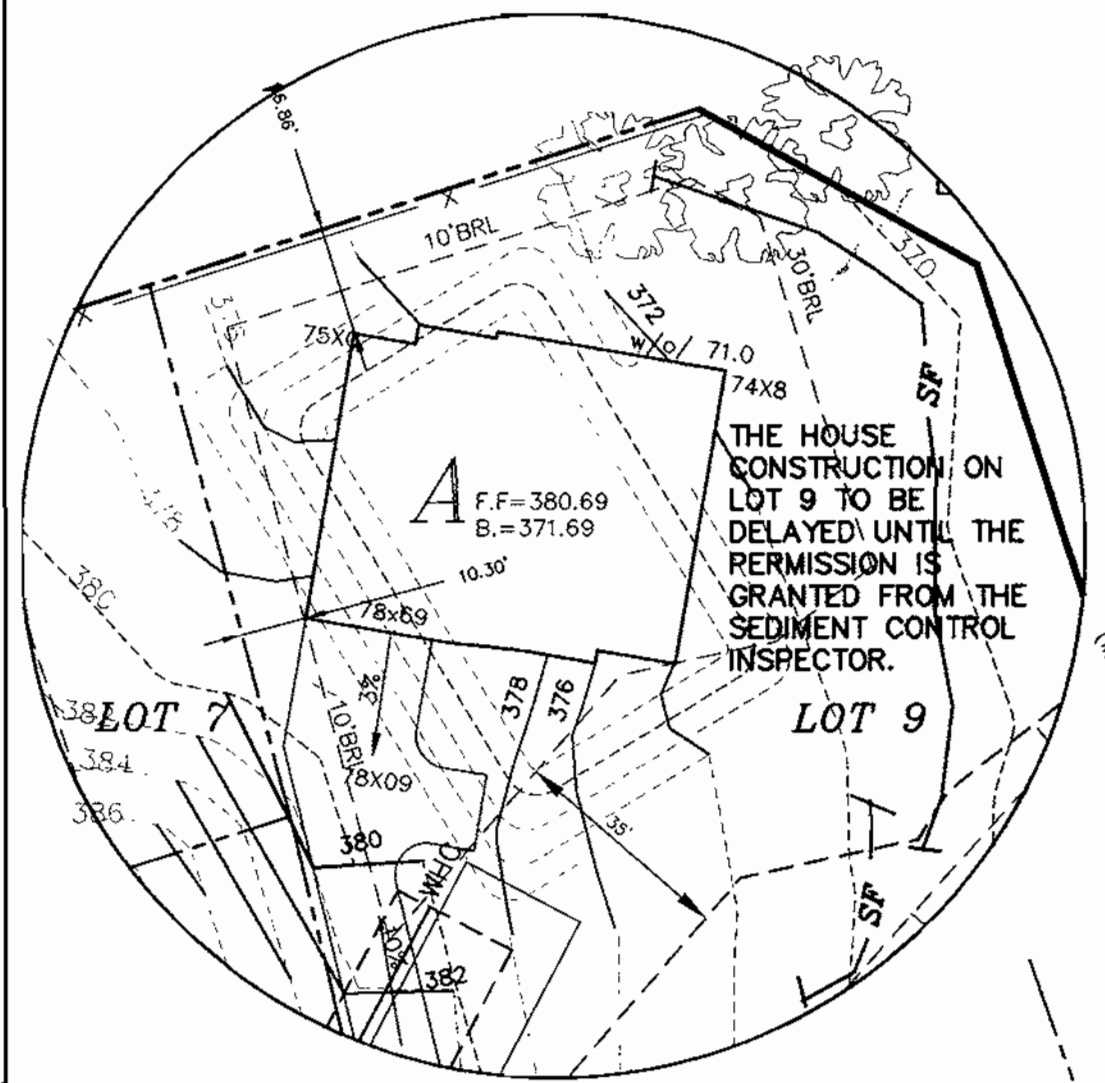
TAX MAP 24, BLOCK 20, PARCEL 539
RED FOX ESTATE
 HOWARD COUNTY, MARYLAND
 SECOND ELECTION DISTRICT
GENERIC DETAILS AND NOTES

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
 (410) 987-0296 Fax (301) 621-5521 Wash. (410) 987-0298 Fax

SDP-01-17



LOT 9 AND OPEN SPACE LOT 10
SCALE 1"=100'



FINAL GRADING OF LOT 9
SCALE 1"=30'

DEVELOPER'S CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZED PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: Michael P. Passeriot
Date: 12/16/00

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND REASONABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: R. James Hillmat
Date: 12/11/00

Signature: J. G. Workfield
Date: 12/19/00

Signature: John W. Hester
Date: 12/19/00

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Signature: [Signature]
Date: 12/22/00

CHEF, DEVELOPMENT ENGINEERING DIVISION
Signature: [Signature]
Date: 1/9/01

CHEF, DIVISION OF LAND DEVELOPMENT
Signature: [Signature]
Date: 1/2/01

DEVELOPER
TRINITY HOMES
7320 GRACE DRIVE
COLUMBIA, MARYLAND 21044
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OWNER
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C/O MILDENBERG, BOENDER AND ASSOC., INC.
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LANDSCAPE PLANTING SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
2	[Symbol]	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
TOTAL 2 SHADE TREES				

SCHEDULE A - PERIMETER LANDSCAPED EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	A (PERIMETERS 1 & P/O 11)
LINEAR FEET OF PERIMETER	114.08 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	NO
NUMBER OF PLANTS REQUIRED	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED	2 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS

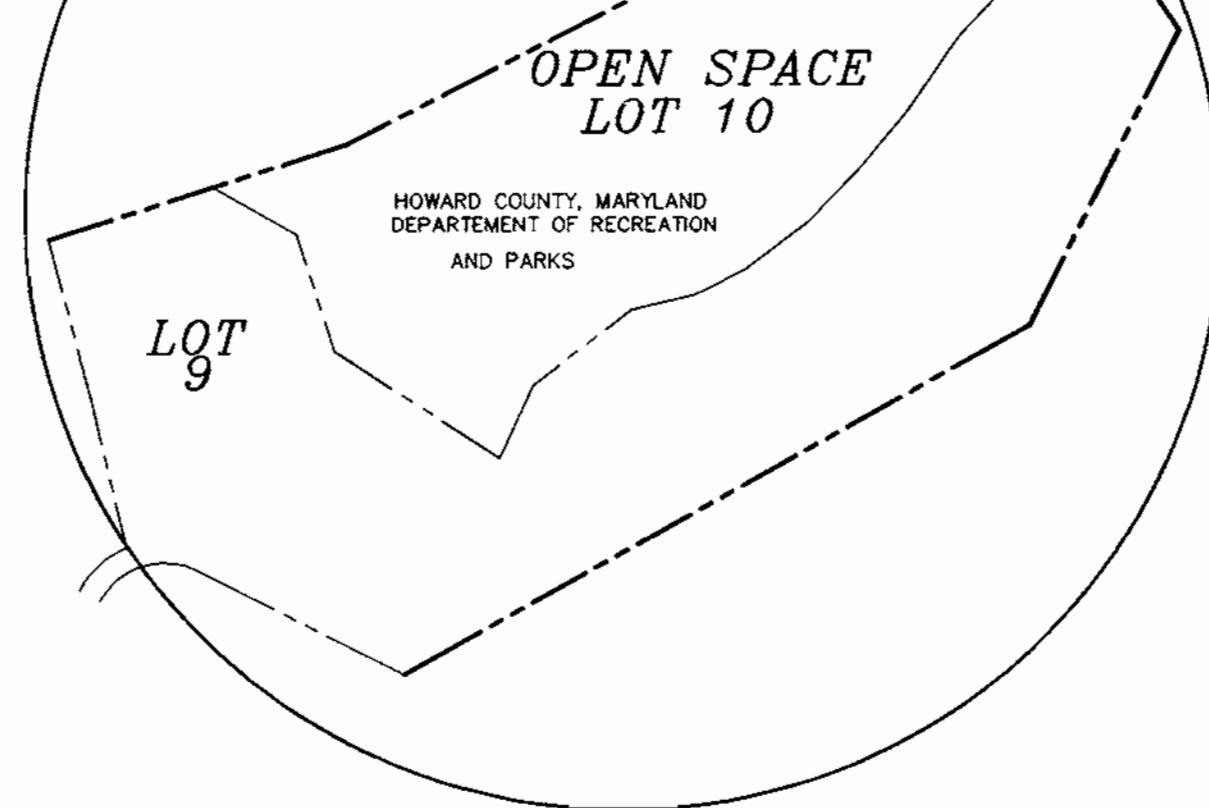
- LEGEND**
- [Symbol] STABILIZED CONSTRUCTION ENTRANCE
 - [Symbol] SUPER SILT FENCE
 - [Symbol] LIMIT OF DISTURBANCE
 - [Symbol] INLET PROTECTION
 - [Symbol] EX. FIRE HYDRANT
 - [Symbol] SLOPES 25% AND GREATER
 - [Symbol] EX. STREET LIGHT
 - [Symbol] EARTH DILE

project: 00-039
date: DEC. 2000
illustration: SAA
approval: SAA
scale: 1"=30'
R/H

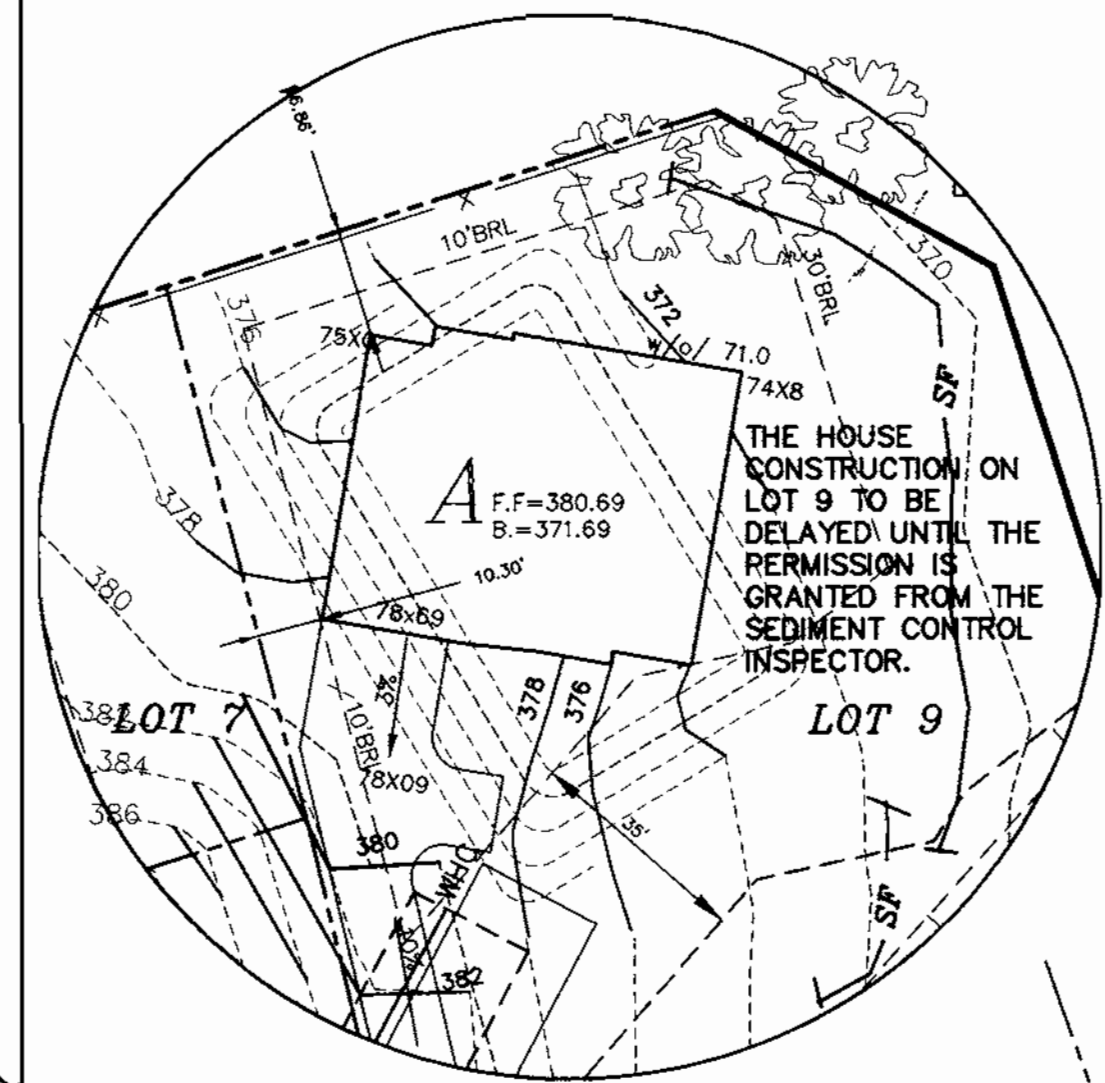
REVISE: [Signature] ON LOT 11 3/22/01
HOUSE TYPE REVISION ON LOT 3
HOUSE TYPE REVISION ON LOT 4 2.7.2001
description: [Signature]
revisions: [Signature]

TAX MAP 24, BLOCK, PARCEL 539
RED FOX ESTATE
SECOND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SITE DEVELOPMENT PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Surveyors
Planners
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland, 21042
(410) 997-0296 Fax: (301) 621-5521 Wash. (410) 997-0298 Fax



LOT 9 AND OPEN SPACE LOT 10
SCALE 1"=100'



FINAL GRADING OF LOT 9
SCALE 1"=30'



DEVELOPER'S CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGGING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: *Michael DePa* DATE: 12/16/00
Michael DePa, President
PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND FEASIBLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: *R. James Hillmat* DATE: 12/12/00
R. James Hillmat
PRINTED NAME OF ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.
Signature: *J. A. Warfield* DATE: 12/19/00
J. A. Warfield
NRC - NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS SUBMITTED TO THE HOWARD SOIL CONSERVATION DISTRICT FOR REVIEW AND APPROVAL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Signature: *John A. Warfield* DATE: 12/19/00
John A. Warfield
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Signature: *John A. Warfield* DATE: 12/22/00
John A. Warfield
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Signature: *John A. Warfield* DATE: 12/22/00
John A. Warfield
CHIEF, DIVISION OF LAND DEVELOPMENT
Signature: *John A. Warfield* DATE: 12/22/00
John A. Warfield
DIRECTOR

DEVELOPER
TRINITY HOMES
7320 GRACE DRIVE
COLUMBIA, MARYLAND 21044
(443) 324-9806

OWNER
RAFAT, INC.
C/O MILDENBERG, BOENDER AND ASSOC., INC.
5072 DORSEY HALL DR. SUITE 202
(410) 997-0296

LANDSCAPE PLANTING SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
2		ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
TOTAL 2 SHADE TREES				

SCHEDULE A - PERIMETER LANDSCAPED EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	A (PERIMETERS 1 & P/O 11)
LINEAR FEET OF PERIMETER	114.08 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	NO
NUMBER OF PLANTS REQUIRED	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED	2 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS (10:1 SUBSTITUTION)

LEGEND

	STABILIZED CONSTRUCTION ENTRANCE
	SUPER SILT FENCE
	LIMIT OF DISTURBANCE
	INLET PROTECTION
	EX. FIRE HYDRANT
	SLOPES 25% AND GREATER
	EX. STREET LIGHT
	EARTH DYLE

date	project	illustration	scale	description	revisions
DEC. 2000	00-039	SAA	1"=30'	approval	RJH

no.	description	date
1	REVISE GRADING LOT 7, ADD 5' WALL LOT 7	11/21/01
2	REVISE HOUSE GRADING LOT 3	8/13/01
3	REVISE HOUSE GRADING LOT 6	7/17/01
4	REVISE HOUSE GRADING LOT 8	7/17/01
5	REVISE HOUSE GRADING LOT 9	7/17/01
6	REVISE HOUSE GRADING LOT 10	7/17/01
7	REVISE HOUSE GRADING LOT 11	7/17/01
8	REVISE HOUSE GRADING LOT 12	7/17/01
9	REVISE HOUSE GRADING LOT 13	7/17/01
10	REVISE HOUSE GRADING LOT 14	7/17/01
11	REVISE HOUSE GRADING LOT 15	7/17/01
12	REVISE HOUSE GRADING LOT 16	7/17/01
13	REVISE HOUSE GRADING LOT 17	7/17/01
14	REVISE HOUSE GRADING LOT 18	7/17/01
15	REVISE HOUSE GRADING LOT 19	7/17/01
16	REVISE HOUSE GRADING LOT 20	7/17/01
17	REVISE HOUSE GRADING LOT 21	7/17/01
18	REVISE HOUSE GRADING LOT 22	7/17/01
19	REVISE HOUSE GRADING LOT 23	7/17/01
20	REVISE HOUSE GRADING LOT 24	7/17/01
21	REVISE HOUSE GRADING LOT 25	7/17/01
22	REVISE HOUSE GRADING LOT 26	7/17/01
23	REVISE HOUSE GRADING LOT 27	7/17/01
24	REVISE HOUSE GRADING LOT 28	7/17/01
25	REVISE HOUSE GRADING LOT 29	7/17/01
26	REVISE HOUSE GRADING LOT 30	7/17/01
27	REVISE HOUSE GRADING LOT 31	7/17/01
28	REVISE HOUSE GRADING LOT 32	7/17/01
29	REVISE HOUSE GRADING LOT 33	7/17/01
30	REVISE HOUSE GRADING LOT 34	7/17/01
31	REVISE HOUSE GRADING LOT 35	7/17/01
32	REVISE HOUSE GRADING LOT 36	7/17/01
33	REVISE HOUSE GRADING LOT 37	7/17/01
34	REVISE HOUSE GRADING LOT 38	7/17/01
35	REVISE HOUSE GRADING LOT 39	7/17/01
36	REVISE HOUSE GRADING LOT 40	7/17/01
37	REVISE HOUSE GRADING LOT 41	7/17/01
38	REVISE HOUSE GRADING LOT 42	7/17/01
39	REVISE HOUSE GRADING LOT 43	7/17/01
40	REVISE HOUSE GRADING LOT 44	7/17/01
41	REVISE HOUSE GRADING LOT 45	7/17/01
42	REVISE HOUSE GRADING LOT 46	7/17/01
43	REVISE HOUSE GRADING LOT 47	7/17/01
44	REVISE HOUSE GRADING LOT 48	7/17/01
45	REVISE HOUSE GRADING LOT 49	7/17/01
46	REVISE HOUSE GRADING LOT 50	7/17/01
47	REVISE HOUSE GRADING LOT 51	7/17/01
48	REVISE HOUSE GRADING LOT 52	7/17/01
49	REVISE HOUSE GRADING LOT 53	7/17/01
50	REVISE HOUSE GRADING LOT 54	7/17/01
51	REVISE HOUSE GRADING LOT 55	7/17/01
52	REVISE HOUSE GRADING LOT 56	7/17/01
53	REVISE HOUSE GRADING LOT 57	7/17/01
54	REVISE HOUSE GRADING LOT 58	7/17/01
55	REVISE HOUSE GRADING LOT 59	7/17/01
56	REVISE HOUSE GRADING LOT 60	7/17/01
57	REVISE HOUSE GRADING LOT 61	7/17/01
58	REVISE HOUSE GRADING LOT 62	7/17/01
59	REVISE HOUSE GRADING LOT 63	7/17/01
60	REVISE HOUSE GRADING LOT 64	7/17/01
61	REVISE HOUSE GRADING LOT 65	7/17/01
62	REVISE HOUSE GRADING LOT 66	7/17/01
63	REVISE HOUSE GRADING LOT 67	7/17/01
64	REVISE HOUSE GRADING LOT 68	7/17/01
65	REVISE HOUSE GRADING LOT 69	7/17/01
66	REVISE HOUSE GRADING LOT 70	7/17/01
67	REVISE HOUSE GRADING LOT 71	7/17/01
68	REVISE HOUSE GRADING LOT 72	7/17/01
69	REVISE HOUSE GRADING LOT 73	7/17/01
70	REVISE HOUSE GRADING LOT 74	7/17/01
71	REVISE HOUSE GRADING LOT 75	7/17/01
72	REVISE HOUSE GRADING LOT 76	7/17/01
73	REVISE HOUSE GRADING LOT 77	7/17/01
74	REVISE HOUSE GRADING LOT 78	7/17/01
75	REVISE HOUSE GRADING LOT 79	7/17/01
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77	REVISE HOUSE GRADING LOT 81	7/17/01
78	REVISE HOUSE GRADING LOT 82	7/17/01
79	REVISE HOUSE GRADING LOT 83	7/17/01
80	REVISE HOUSE GRADING LOT 84	7/17/01
81	REVISE HOUSE GRADING LOT 85	7/17/01
82	REVISE HOUSE GRADING LOT 86	7/17/01
83	REVISE HOUSE GRADING LOT 87	7/17/01
84	REVISE HOUSE GRADING LOT 88	7/17/01
85	REVISE HOUSE GRADING LOT 89	7/17/01
86	REVISE HOUSE GRADING LOT 90	7/17/01
87	REVISE HOUSE GRADING LOT 91	7/17/01
88	REVISE HOUSE GRADING LOT 92	7/17/01
89	REVISE HOUSE GRADING LOT 93	7/17/01
90	REVISE HOUSE GRADING LOT 94	7/17/01
91	REVISE HOUSE GRADING LOT 95	7/17/01
92	REVISE HOUSE GRADING LOT 96	7/17/01
93	REVISE HOUSE GRADING LOT 97	7/17/01
94	REVISE HOUSE GRADING LOT 98	7/17/01
95	REVISE HOUSE GRADING LOT 99	7/17/01
96	REVISE HOUSE GRADING LOT 100	7/17/01

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