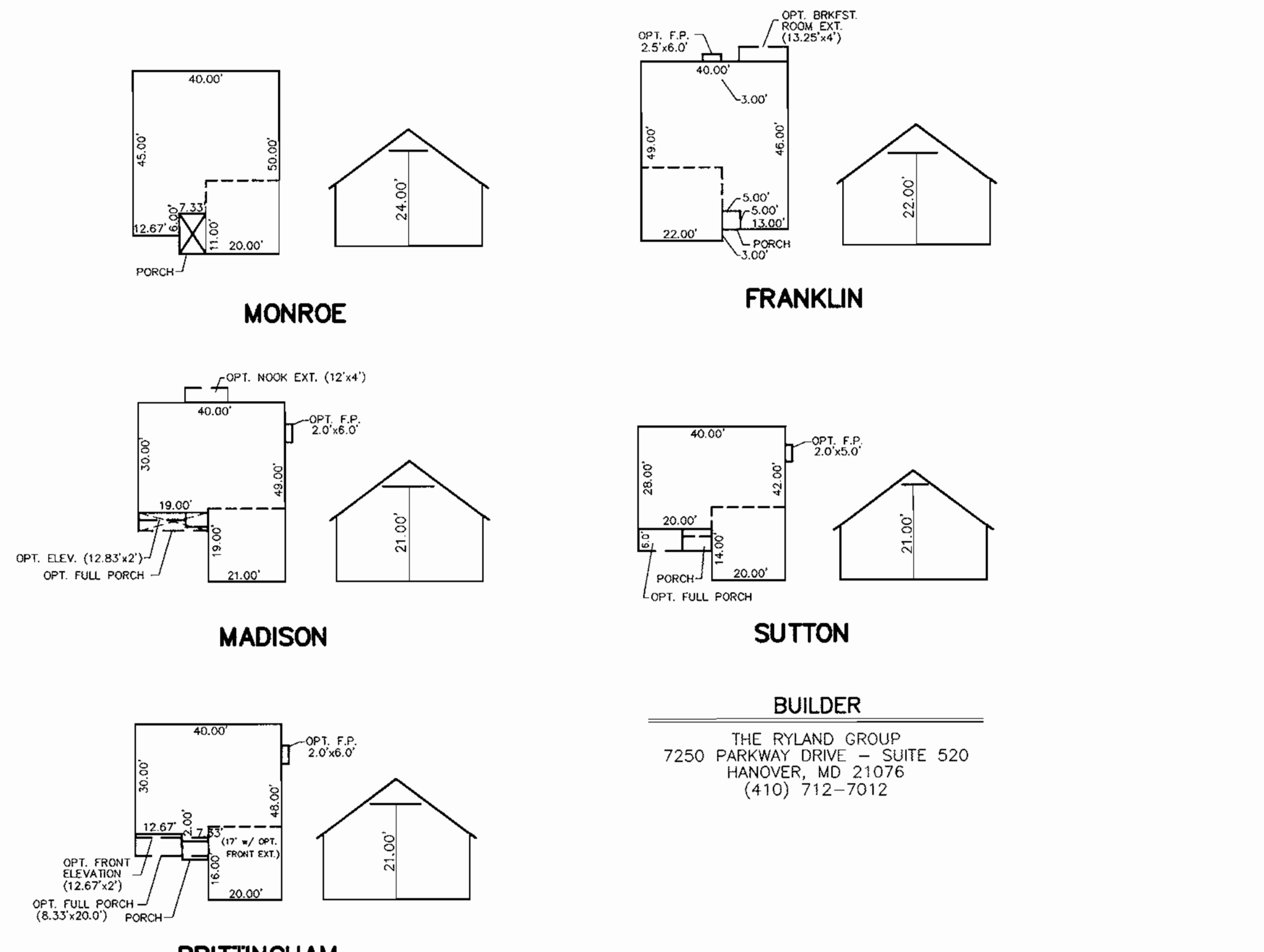


TYPICAL FOOTPRINTS

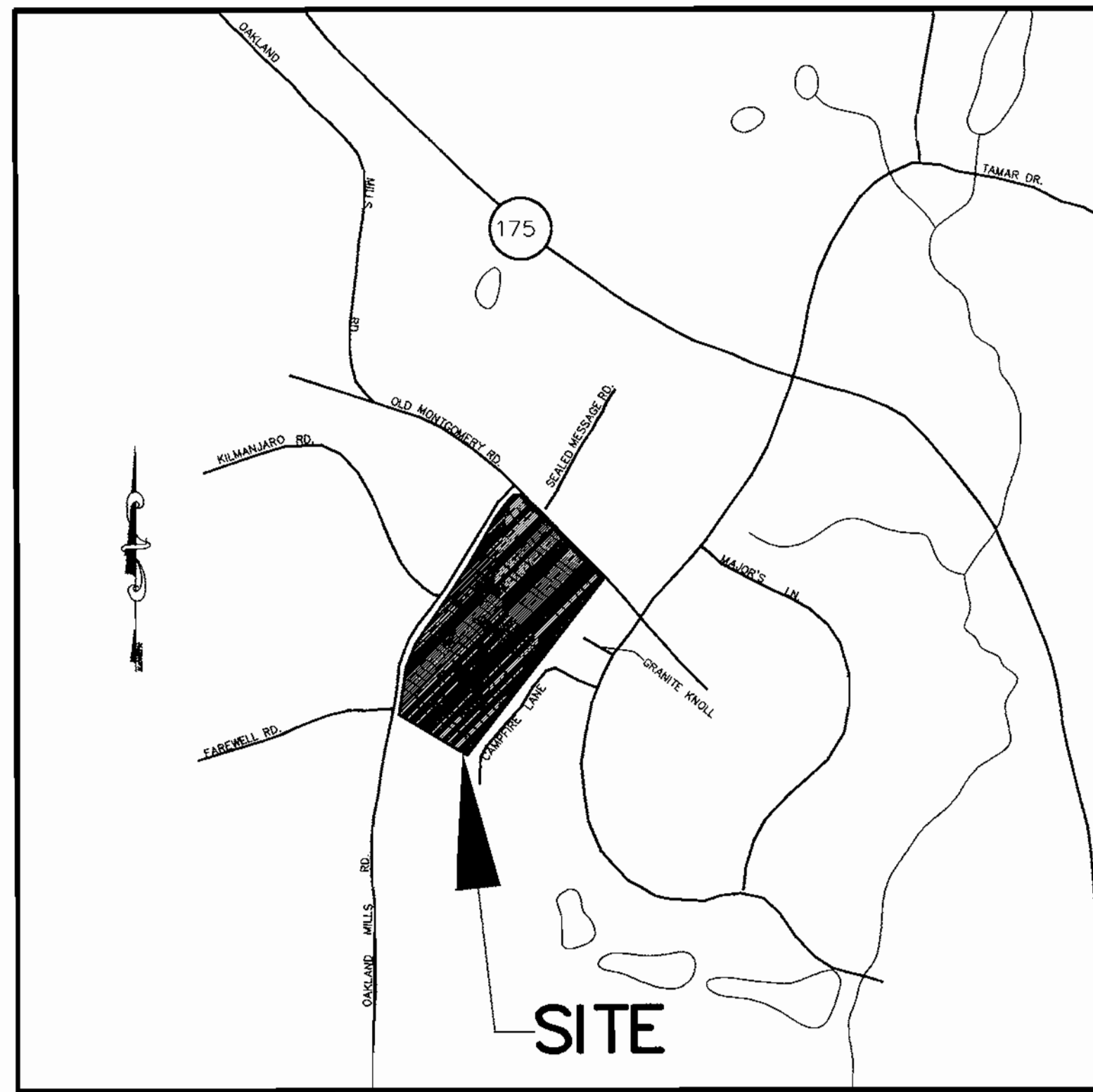
INDEX OF SHEETS

- 1.) TITLE SHEET
- 2.) SITE DEVELOPMENT PLAN SHEET (LOTS 9-43, p/o OPEN SPACE LOT 57, OPEN SPACE LOT 58)
- 3.) SITE DEVELOPMENT PLAN SHEET (LOTS 1-8, 44-56, 59-61, p/o OPEN SPACE LOTS 57, 62)
- 4.) EXISTING MASS GRADING PLAN SHEET (p/o OPEN SPACE LOTS 60-62)
- 5.) EXISTING MASS GRADING PLAN SHEET (p/o OPEN SPACE LOT 62)
- 6.) SEDIMENT CONTROL NOTES & DETAILS

- 1) AREA INCLUDED IN THIS SUBMISSION IS 18.05 +/- ACRES (786,258 S.F.)
- 2) PRESENT ZONING IS R-SC PER 10/18/93 COMPREHENSIVE ZONING PLAN.
- 3) PROPOSED USE OF PROPERTY IS SINGLE FAMILY DETACHED HOUSES.
- 4) TOTAL NUMBER OF LOTS INCLUDED IN THIS SUBMISSION IS 60.
- 5) MINIMUM LOT SIZE IS 6000 S.F.
- 6) DEPARTMENT OF PLANNING AND ZONING REFERENCE FILE NUMBERS ARE: S-00-02, P-00-13, F-01-22.
- 7) UTILITIES SHOWN AS EXISTING ARE TAKEN FROM WATER AND SEWER CONTRACT NUMBERS C-377-W&S, C-359-W&S, C-2689-D-W&S & C-374-W&S. ROAD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED ROAD DRAWINGS.
- 8) ANY DAMAGE TO COUNTY OWNED RIGHTS-OF-WAY SHALL BE CORRECTED AT THE DEVELOPERS EXPENSE.
- 9) EXISTING CONTOURS ARE BASED OFF THE MASS GRADING, WATER QUALITY, STREET TREE, GRADING AND SEDIMENT CONTROL PLANS.
- 10) THE COORDINATES SHOWN HEREON ARE BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 36E4 AND 36E5.
- 11) THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/DIVISION OF CONSTRUCTION INSPECTION AT (410) 313-1880 AT LEAST 24 HOURS PRIOR TO START OF WORK.
- 12) THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- 13) DRIVEWAY ENTRANCES ARE TO BE CONSTRUCTED PER THE HOWARD COUNTY DESIGN MANUAL VOLUME IV, DETAILS R 6.03 AND R 6.05.
- 14) STORMWATER MANAGEMENT IS PROVIDED PER F-01-22.
- 15) THIS PLAN IS FOR HOUSE SITING AND LOT GRADING ONLY. SEE THE APPROVED CONSTRUCTION DRAWINGS FOR INSTALLATION OF UTILITIES, ROADWAYS, AND PUBLIC WALKWAYS.
- 16) TOTAL PROJECT AREA FOR THIS SUBMITTAL IS 25.14 AC.
- 17) ALL ROADS SHOWN ON THESE PLANS ARE PUBLIC.
- 18) IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES, DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- 19) NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS AND FOREST CONSERVATION EASEMENT.
- 20) THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. APPROVAL OCCURRED UNDER THE F-01-22 PLAN and ASSOCIATED DEVELOPERS AGREEMENT. F-01-22 WAS APPROVED 3-08-01 AND THE DEVELOPER'S AGREEMENT WAS SIGNED 3-23-01.
- 21) FOREST CONSERVATION OBLIGATIONS FOR THIS PROJECT WERE ADDRESSED WITH THE APPROVAL OF FINAL PLAN F-01-22.
- 22) ALL SWALES, INCLUDING THOSE BETWEEN HOUSES ARE TO BE STABILIZED WITH EROSION CONTROL MATTING. SEE DETAIL SHEET 5.
- 23) EXCEPT WHERE NOTED, ALL SEDIMENT CONTROLS INSTALLED UNDER G00007373 AND G00007214 F-01-22 SHALL REMAIN AS PART OF THIS PLAN EXCEPT WHERE NOTED TO BE REMOVED.
- 24) THE FOLLOWING RECORDING REFERENCES ARE CURRENT TO THIS PROJECT AT TIME OF APPROVAL AND SHOULD NOT BE CONSIDERED INCLUSIVE BEYOND THE APPROVAL DATE OF THIS PLAN.  
 OPEN SPACE LOTS 57-62 DEED 5403/0343 - 5403/0346  
 BY - LAWS 5455/0379 - 5455/0386  
 HOA DECLARATION OF COVENANTS, CONDITIONS & RESTRICTIONS 5455/0387-5455/0418  
 DECLAR. OF ESM'T & COVENANTS FOR PRIV. DRIVEWAYS LOT 36 & 37 5455/0367 - 5455/0372  
 LOT 44 & 45 5455/0373 - 5455/0378



**BUILDER**  
 THE RYLAND GROUP  
 7250 PARKWAY DRIVE - SUITE 520  
 HANOVER, MD 21076  
 (410) 712-7012



VICINITY MAP  
 SCALE: 1" = 1200'

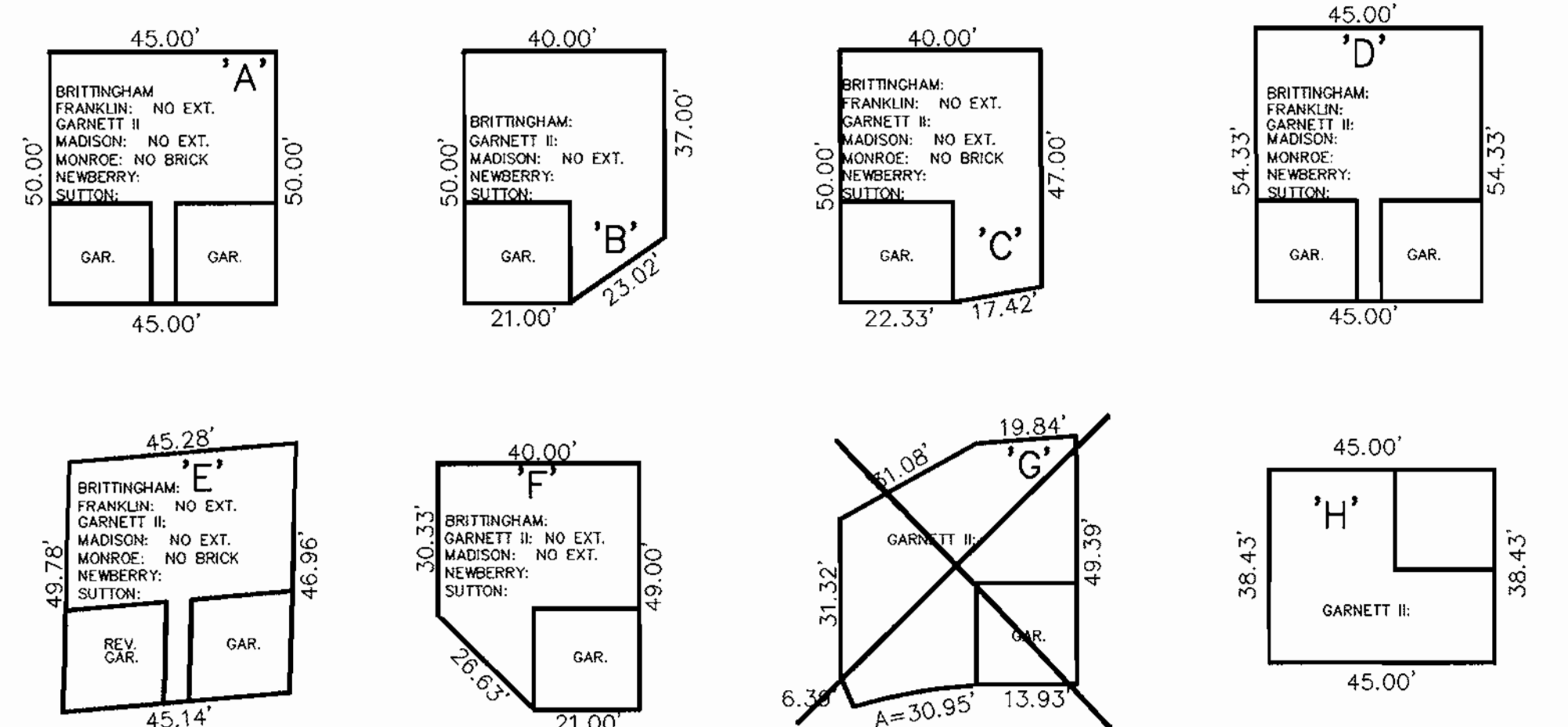
LOT #	LOT SIZE	STREET ADDRESS	SHC INV. PROP. LINE	MIN. BSMT ELEV.
1	6001 S.F.	6004 HELEN DORSEY WAY	403.37	407.27
2	6174 S.F.	6008 HELEN DORSEY WAY	400.90	404.80
3	7057 S.F.	6012 HELEN DORSEY WAY	395.46	399.36
4	6000 S.F.	6016 HELEN DORSEY WAY	395.21	399.11
5	7198 S.F.	6020 HELEN DORSEY WAY	394.81	398.71
6	6626 S.F.	9004 INA COURT	400.51	404.51
7	6660 S.F.	9008 INA COURT	403.20	407.20
8	6000 S.F.	9012 INA COURT	405.69	409.69
9	6533 S.F.	9016 INA COURT	406.57	410.03
10	6420 S.F.	9009 INA COURT	403.53	407.43
11	6577 S.F.	9005 INA COURT	401.18	405.08
12	6000 S.F.	6004 CHARLES EDWARD TERRACE	399.88	403.78
13	6000 S.F.	6008 CHARLES EDWARD TERRACE	400.30	404.20
14	6000 S.F.	6012 CHARLES EDWARD TERRACE	400.73	404.63
15	6032 S.F.	6016 CHARLES EDWARD TERRACE	401.27	405.17
16	6281 S.F.	6009 CHARLES EDWARD TERRACE	400.41	404.31
17	6617 S.F.	6015 CHARLES EDWARD TERRACE	401.17	404.37
18	6015 S.F.	6021 CHARLES EDWARD TERRACE	400.40	404.30
19	6003 S.F.	6027 CHARLES EDWARD TERRACE	399.87	403.77
20	6161 S.F.	6033 CHARLES EDWARD TERRACE	399.08	403.00
21	6842 S.F.	6039 CHARLES EDWARD TERRACE	398.24	402.14
22	6415 S.F.	6059 CHARLES EDWARD TERRACE	395.50	399.35
23	6743 S.F.	6053 CHARLES EDWARD TERRACE	394.07	397.87
24	7157 S.F.	6075 CHARLES EDWARD TERRACE	393.41	397.31
25	6275 S.F.	6081 CHARLES EDWARD TERRACE	393.68	397.58
26	6000 S.F.	6087 CHARLES EDWARD TERRACE	393.98	397.88
27	6000 S.F.	6093 CHARLES EDWARD TERRACE	394.28	398.18
28	6643 S.F.	6001 CHARLES EDWARD TERRACE	396.35	400.25
29	6000 S.F.	6005 CHARLES EDWARD TERRACE	399.70	403.60
30	6636 S.F.	6020 CHARLES EDWARD TERRACE	400.90	405.00
31	6004 S.F.	6024 CHARLES EDWARD TERRACE	400.78	404.67
32	6000 S.F.	6028 CHARLES EDWARD TERRACE	399.95	403.85
33	6000 S.F.	6032 CHARLES EDWARD TERRACE	399.42	403.32
34	6000 S.F.	6036 CHARLES EDWARD TERRACE	398.86	402.76
35	6234 S.F.	6040 CHARLES EDWARD TERRACE	398.58	402.68
36	6793 S.F.	6044 CHARLES EDWARD TERRACE	398.55	402.67
37	7600 S.F.	6048 CHARLES EDWARD TERRACE	398.30	402.34
38	6299 S.F.	6052 CHARLES EDWARD TERRACE	397.73	401.57
39	6000 S.F.	6056 CHARLES EDWARD TERRACE	396.44	400.24
40	6000 S.F.	6060 CHARLES EDWARD TERRACE	395.25	399.05
41	6000 S.F.	6064 CHARLES EDWARD TERRACE	394.07	397.86
42	6000 S.F.	6068 CHARLES EDWARD TERRACE	392.10	396.00
43	6113 S.F.	6072 CHARLES EDWARD TERRACE	392.84	396.50
44	6404 S.F.	6076 CHARLES EDWARD TERRACE	392.79	396.19
45	7734 S.F.	6080 CHARLES EDWARD TERRACE	392.87	396.97
46	6314 S.F.	6084 CHARLES EDWARD TERRACE	393.03	397.00
47	6008 S.F.	6088 CHARLES EDWARD TERRACE	393.30	397.20
48	6000 S.F.	6092 CHARLES EDWARD TERRACE	393.57	397.47
49	6688 S.F.	6096 CHARLES EDWARD TERRACE	393.97	397.87
50	6000 S.F.	6015 HELEN DORSEY WAY	394.96	398.86
51	6001 S.F.	6001 HELEN DORSEY WAY	406.90	410.80
52	6688 S.F.	6005 HELEN DORSEY WAY	404.89	408.09
53	6117 S.F.	9005 NELSON WAY	404.07	407.97
54	6000 S.F.	9009 NELSON WAY	405.22	409.12
55	6000 S.F.	9004 NELSON WAY	403.80	407.70
56	6000 S.F.	9008 NELSON WAY	404.95	408.85

**LEGEND**

SYMBOL	DESCRIPTION
FF=412.67	FINISHED FLOOR ELEVATION
TF=402.33	FINISHED TOP OF FOOTING ELEVATION
412x5	PROPOSED GROUND ELEVATION AT WALKOUT CONDITION
412x5	GROUND SPOT ELEVATION
STD. or REV.	UNIT DESIGNATION FROM ARCHITECTURAL PLAN
SR	NUMBER OF RISERS - 7 1/2" EACH (INCLUDING 2 RISERS INTO HOUSE)
W/W	WINDOW WELL REQUIRED FOR BASEMENT WINDOWS IN REAR
412	PROPOSED CONTOUR
412	EXISTING GROUND CONTOUR
412	DRAINAGE FLOW ARROW
412	PROPERTY LINE
412	RIGHT-OF-WAY
412	EXISTING CURB & GUTTER
40	HOUSE NUMBERS

**LEGEND**

SYMBOL	DESCRIPTION
15" STORM	EXISTING WATER MAINS AND FIRE HYDRANTS
8" SEWER	EXISTING STORM DRAINS
8" SEWER	EXISTING SEWER LINES
STREET TREES	STREET TREES
PERIMETER SCREENING PER F-01-22 APPROVED BY HOWARD COUNTY ON 3-8-01	PERIMETER SCREENING PER F-01-22 APPROVED BY HOWARD COUNTY ON 3-8-01
STABILIZED CONSTRUCTION ENTRANCE	STABILIZED CONSTRUCTION ENTRANCE
EXISTING SILT FENCE OR SUPER SILT FENCE	EXISTING SILT FENCE OR SUPER SILT FENCE
SILT FENCE OR SUPER SILT FENCE	SILT FENCE OR SUPER SILT FENCE
EXISTING EARTH DIKE	EXISTING EARTH DIKE
EARTH DIKE	EARTH DIKE
LIMIT OF DISTURBANCE	LIMIT OF DISTURBANCE
STREET LIGHT	STREET LIGHT
STREET SIGN	STREET SIGN



SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT (1 WEEK)
2. INSPECT & REPAIR EXISTING SEDIMENT CONTROL MEASURES PER F-01-22 AND GP-01-78. EXISTING SEDIMENT BASIN PER GP-01-78 TO REMAIN. (8 DAYS)
3. INSTALL SEDIMENT AND EROSION CONTROL DEVICES PER PLAN. OBTAIN SEDIMENT CONTROL INSPECTOR'S APPROVAL PRIOR TO PROCEEDING. (8 DAYS)
4. CLEAR AND GRUB SITE. (4 DAYS)
5. EXCAVATE FOR FOUNDATIONS AND ROUGH GRADE. (10 DAYS)
6. CONSTRUCT DWELLING. (60 DAYS PER DWELLING)
7. FINE GRADE SITE, INSTALL DRIVEWAYS. (2 DAYS PER DRIVEWAY AND LOT.)
8. INSTALL PERMANENT SEEDING AND LANDSCAPING. (10 DAYS)
9. CONVERT EXISTING SEDIMENT BASIN TO SWM FACILITY PER F-01-22. (10 DAYS)
10. REMOVE SEDIMENT CONTROL DEVICES AFTER PERMISSION IS GRANTED BY SEDIMENT CONTROL INSPECTOR AND UPLAND AREAS HAVE BEEN STABILIZED. (2 DAYS)

NOTE: BAY WINDOWS, WINDOW WELLS, ORIELS, VESTIBULES, BALCONIES, CHIMNEYS, HEATING / AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS OR RAMPS IF NOT MORE THAN SIXTEEN FEET IN WIDTH MAY PROJECT NOT MORE THAN FOUR FEET INTO ANY REQUIRED SETBACK AREA OR REQUIRED DISTANCE BETWEEN BUILDINGS. OPEN OR ENCLOSED PORCHES OR DECKS MAY PROJECT NOT MORE THAN TEN FEET INTO REQUIRED FRONT OR REAR YARD SETBACK AREA. THIS, IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS.

**MIRA**  
 MORRIS & RITCHIE ASSOC., INC.  
 ENGINEERS, PLANNERS, SURVEYORS,  
 AND LANDSCAPE ARCHITECTS  
 9090 JUNCTION DRIVE, SUITE 9  
 Annapolis Junction, Maryland  
 (410) 792-9792 (301) 776-1690  
 Fax: (410) 792-7395



**ENGINEER'S CERTIFICATE**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*P. V. Mellits, P.E.* 5/18/01  
 SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE  
 PIERO V. MELLITS

**DEVELOPER'S CERTIFICATE**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Douglas F. Eshelman* 05/18/01  
 SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE  
 Douglas F. Eshelman

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

*Jim Hayes / eos* 4/4/01  
 U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John Solis* 4/4/01  
 HOWARD SCD DATE

**OWNER / DEVELOPER**  
 THE RYLAND GROUP, INC.  
 7250 PARKWAY DRIVE - SUITE 520  
 HANOVER, MD 21076  
 (410) 712-7012

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Carole Hamilton* 4/2/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Bob D'Amico* 6/11/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*John Solis* 4/18/01  
 DIRECTOR DATE

SUBDIVISION		SECTION / AREA	LOT NO.
ECKERS HOLLOW		1 / 1	1-56
PLAT NO.	BLOCK NO.	ZONE	TAX/PARCEL
14761-14765	10 & 11	RSC	36 / 23
WATER CODE		ELEC. DIST.	CENSUS TR.
E04		6TH	6066.02
SEWER CODE			

**TITLE SHEET**

**ECKERS HOLLOW**  
 SECTION 1, PHASE 1  
 LOTS 1 THRU 62 & NON-BUILDABLE LOTS A & B  
 TAX MAP 36, PARCEL 23, BLOCKS 10 & 11  
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 SCALE: 1"=30' DATE: 1/20/01  
 SHEET 1 OF 6

SDP-01-16

OAKLAND MILLS ROAD (Major Collector)

FOREST CONSERVATION EASEMENT AREA 3

INA COURT

CHARLES EDWARD TERRACE

CHARLES EDWARD TERRACE

CAMPFIRE (Local Road)

VILLAGE OF LONGREACH SECTION I AREA 2

H.O.A. OPEN SPACE FOREST CONSERVATION EASEMENT AREA 2

H.O.A. OPEN SPACE FOREST CONSERVATION EASEMENT AREA 4

H.O.A. OPEN SPACE

**SEDIMENT TRAP #2 SUMMARY TABLE TO BE REMOVED**

EXISTING DRAINAGE AREA	4.46 ACRES
PROPOSED DRAINAGE AREA	1.50 ACRES
VOLUME REQUIRED	4.46 X 1800 WET 8,028 CF. 4.46 X 1800 DRY 8,028 CF.
TYPE OF TRAP	ST-II
TOTAL VOLUME REQUIRED	16,056 CF.
TOTAL VOLUME PROVIDED	16,811 CF.
WEIR LENGTH	18 FT.
WEIR STORAGE DEPTH	6 FT.
LIMIT OF WET STORAGE ELEVATION	402.00
CLEANDOUT ELEVATION	400.00
EMBANKMENT HEIGHT	3.0 FT.
EMBANKMENT ELEVATION	403.00
BOTTOM ELEVATION	396.00
WET STORAGE VOLUME	10,272 CF.
WEIR CREST ELEVATION	404.00
TRAP BOTTOM DIMENSIONS	20 FT. (W) X 40 FT. (L)

**SEDIMENT TRAP #2 SUMMARY TABLE TO BE REMOVED**

EXISTING DRAINAGE AREA	1.49 ACRES
PROPOSED DRAINAGE AREA	0.86 ACRES
VOLUME REQUIRED	1.49 X 1800 WET 2,682 CF. 1.49 X 1800 DRY 2,682 CF.
TYPE OF TRAP	ST-II
TOTAL VOLUME REQUIRED	5,364 CF.
TOTAL VOLUME PROVIDED	5,306 CF.
WEIR LENGTH	12 FT.
WEIR STORAGE DEPTH	4.0 FT.
LIMIT OF WET STORAGE ELEVATION	397.00
CLEANDOUT ELEVATION	395.00
EMBANKMENT HEIGHT	3.0 FT.
EMBANKMENT ELEVATION	400.00
BOTTOM ELEVATION	393.00
WET STORAGE VOLUME	2,941 CF.
WEIR CREST ELEVATION	398.50
TRAP BOTTOM DIMENSIONS	13 FT. (W) X 26 FT. (L)



MORRIS & RITCHIE ASSOC., INC. ENGINEERS, PLANNERS, SURVEYORS, AND LANDSCAPE ARCHITECTS

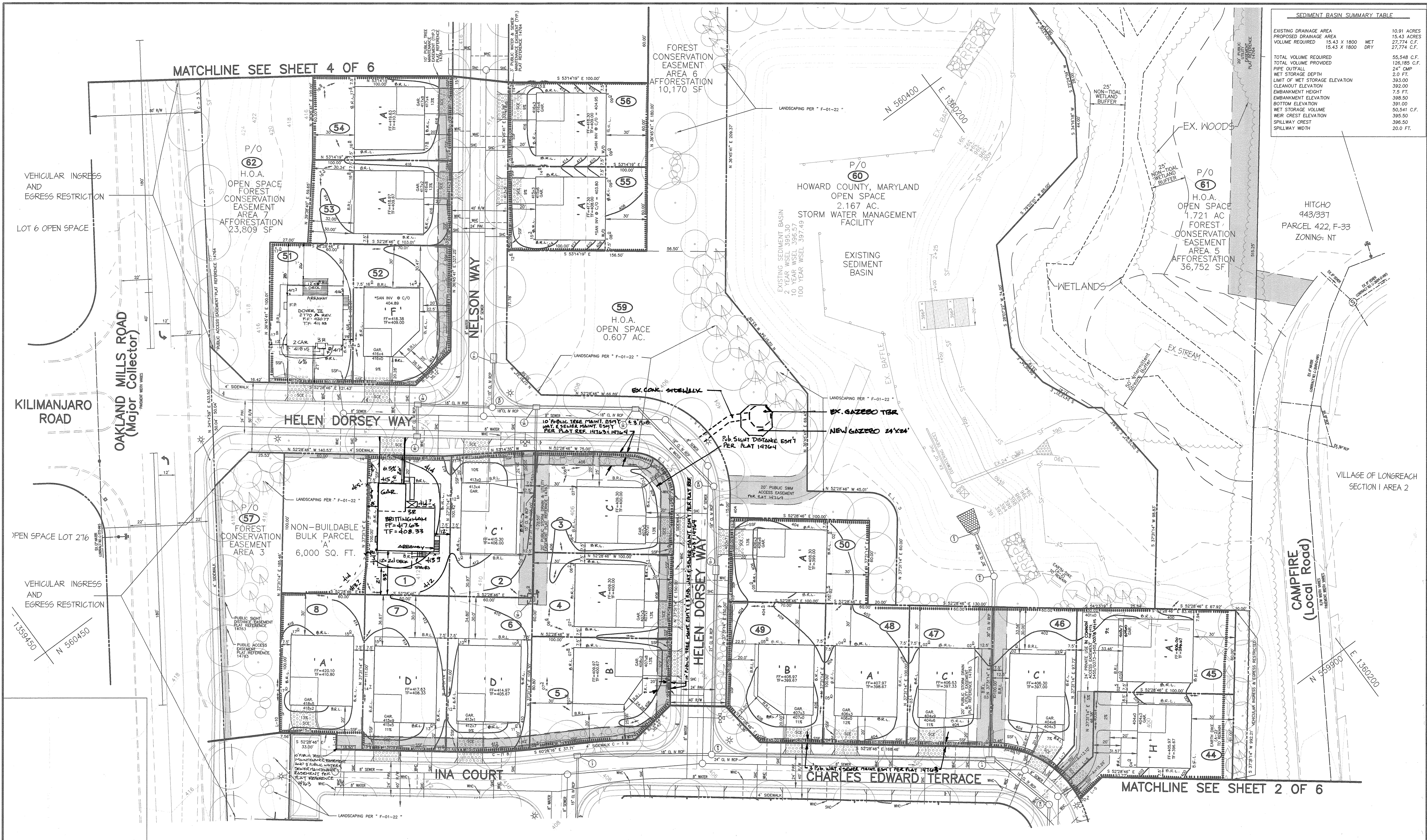


ENGINEER'S CERTIFICATE and DEVELOPER'S CERTIFICATE sections with signatures and dates.

OWNER / DEVELOPER section with THE RYLAND GROUP, INC. information.

APPROVED: DEPARTMENT OF PLANNING AND ZONING section with signatures and dates.

SITE DEVELOPMENT PLAN, ECKERS HOLLOW SECTION 1, PHASE 1, and SDR-01-16 information.



SEDIMENT BASIN SUMMARY TABLE	
EXISTING DRAINAGE AREA	10.91 ACRES
PROPOSED DRAINAGE AREA	15.43 X 1800 WET 15.43 X 1800 DRY
TOTAL VOLUME REQUIRED	55,548 C.F.
TOTAL VOLUME PROVIDED	126,185 C.F.
PIPE OUTFALL	24" CMP
WET STORAGE DEPTH	2.0 FT.
LIMIT OF WET STORAGE ELEVATION	393.00
CLEANOUT ELEVATION	392.00
EMBANKMENT HEIGHT	7.5 FT.
EMBANKMENT ELEVATION	398.50
BOTTOM ELEVATION	391.00
WET STORAGE VOLUME	50,541 C.F.
WEIR CREST ELEVATION	395.50
SPILLWAY CREST	396.50
SPILLWAY WIDTH	20.0 FT.

**MORRIS & RITCHIE ASSOC., INC.**  
ENGINEERS, PLANNERS, SURVEYORS,  
AND LANDSCAPE ARCHITECTS  
9090 JUNCTION DRIVE, SUITE 9  
ANNAPOLIS JUNCTION, MARYLAND  
(410) 792-9792 - (301) 776-1690  
Fax: (410) 792-7395

**REVISIONS**

DATE	REVISION
11-06-19	REMOVAL & ADDITION OF COMM. GARAGE
11-12-02	ADD DOWER III TO LOT 51
10-18-01	REV. GRADING FOR LOT 1

**PIERO VAN MELLITS**  
No. 21875  
REGISTERED PROFESSIONAL ENGINEER

**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

**Pi. V. Mellits, P.E.** 5/18/01  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE  
PIERO V. MELLITS

**DEVELOPER'S CERTIFICATE**  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

**D.F.R.** 05/18/01  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE  
Douglas F. Eshelman

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

**Jim Lopez/As.** 4/6/01  
U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

**Gully Shij** 4/6/01  
HOWARD SCD DATE

**OWNER/DEVELOPER**  
THE RYLAND GROUP, INC  
7250 PARKWAY DRIVE - SUITE 520  
HANOVER, MD 21076  
(410) 712-7012

APPROVED: DEPARTMENT OF PLANNING AND ZONING

**Chris Hunter** 6/12/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

**Robert Damman** 6/11/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

**Randy N. Sauer** 6/15/01  
DIRECTOR DATE

SUBDIVISION	SECTION / AREA	LOT NO.
ECKERS HOLLOW	1 / 1	

PLAT NO.	BLOCK NO.	ZONE	TAX/PARCEL	ELEC. DIST.	CENSUS TR.
14761-14765	10 & 11	RSC	36 / 23	6TH	6066.02

WATER CODE: E04 SEWER CODE:

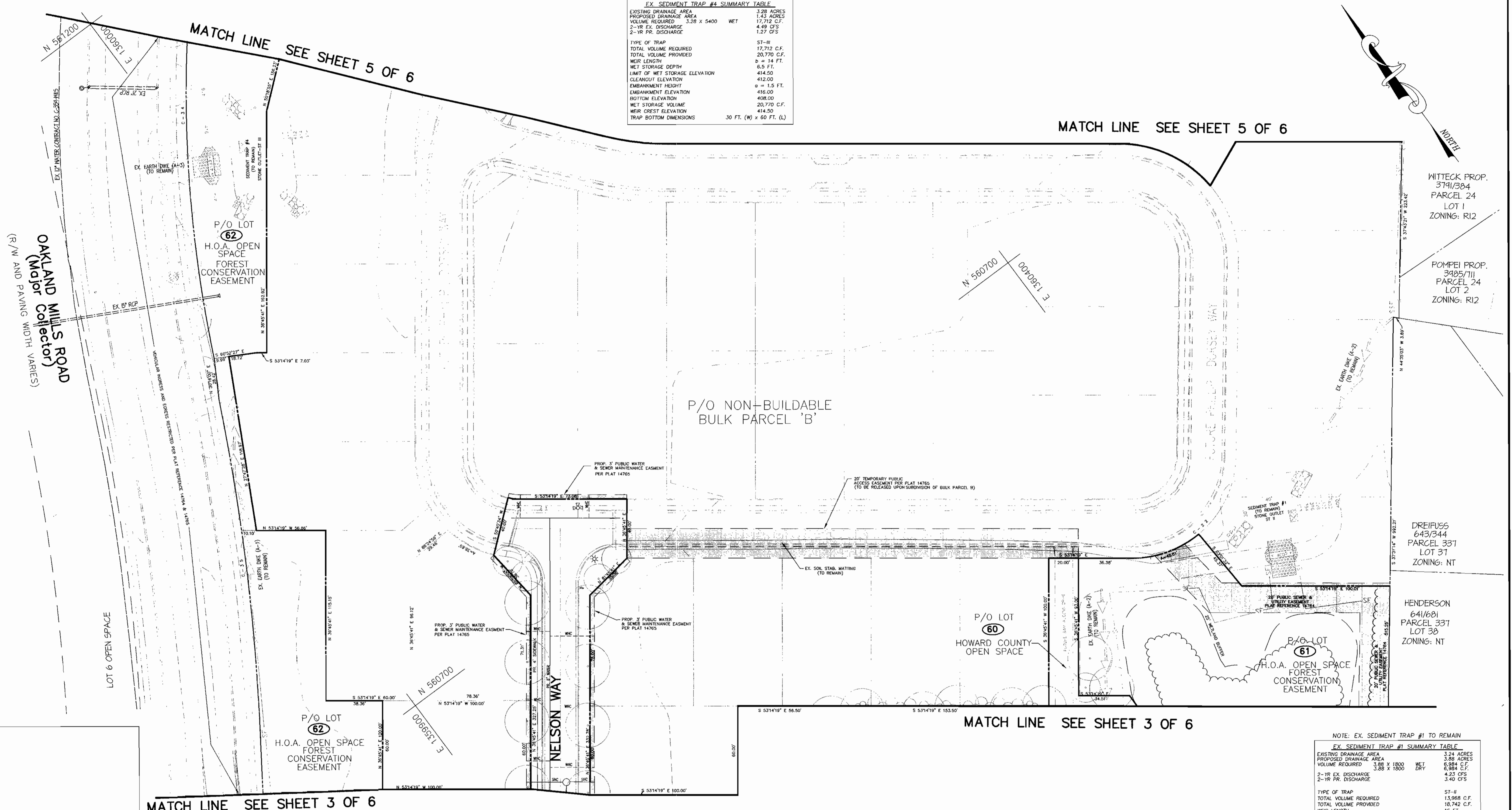
**SITE DEVELOPMENT PLAN**  
LOTS 1-8, 44-56, 59-61, P/O OS LOTS 57 & 62  
AND NON-BUILDABLE A & B

**ECKERS HOLLOW**  
SECTION 1, PHASE 1  
LOTS 1 THRU 62 & NON-BUILDABLE LOTS A & B  
TAX MAP 36  
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
SCALE: 1"=30' DATE: 1/20/01  
SHEET 3 OF 6

SDP-01-16

NOTE: EX. SEDIMENT TRAP #4 TO REMAIN

EX. SEDIMENT TRAP #4 SUMMARY TABLE	
EXISTING DRAINAGE AREA	3.28 ACRES
PROPOSED DRAINAGE AREA	1.43 ACRES
VOLUME REQUIRED	3.28 X 5400 WET 17,712 C.F.
2-YR EX. DISCHARGE	4.49 CFS
2-YR PR. DISCHARGE	1.27 CFS
TYPE OF TRAP	S7-III
TOTAL VOLUME REQUIRED	17,712 C.F.
TOTAL VOLUME PROVIDED	20,770 C.F.
WEIR LENGTH	b = 14 FT.
WEIR STORAGE DEPTH	6.5 FT.
LIMIT OF WET STORAGE ELEVATION	414.50
CLEANOUT ELEVATION	412.00
EMBANKMENT HEIGHT	o = 1.5 FT.
EMBANKMENT ELEVATION	416.00
BOTTOM ELEVATION	408.00
WEIR STORAGE VOLUME	20,770 C.F.
WEIR CREST ELEVATION	414.50
TRAP BOTTOM DIMENSIONS	30 FT. (W) X 60 FT. (L)



OAKLAND MILLS ROAD  
(Major Collector)  
(R/W AND PAVING WIDTH VARIES)

WITTECK PROP.  
3791/384  
PARCEL 24  
LOT 1  
ZONING: R12

POMPEI PROP.  
3485/711  
PARCEL 24  
LOT 2  
ZONING: R12

DREIFUSS  
643/344  
PARCEL 337  
LOT 31  
ZONING: NT

HENDERSON  
641/681  
PARCEL 337  
LOT 38  
ZONING: NT

NOTE: EX. SEDIMENT TRAP #1 TO REMAIN

EX. SEDIMENT TRAP #1 SUMMARY TABLE	
EXISTING DRAINAGE AREA	3.24 ACRES
PROPOSED DRAINAGE AREA	3.88 ACRES
VOLUME REQUIRED	3.88 X 1800 WET 6,984 C.F.
2-YR EX. DISCHARGE	3.88 X 1800 DRY 4.23 CFS
2-YR PR. DISCHARGE	3.40 CFS
TYPE OF TRAP	S7-II
TOTAL VOLUME REQUIRED	13,988 C.F.
TOTAL VOLUME PROVIDED	18,742 C.F.
WEIR LENGTH	16 FT.
WEIR STORAGE DEPTH	5.0 FT.
LIMIT OF WET STORAGE ELEVATION	398.00
CLEANOUT ELEVATION	398.50
EMBANKMENT HEIGHT	4.0 FT.
EMBANKMENT ELEVATION	402.00
BOTTOM ELEVATION	393.00
WEIR STORAGE VOLUME	7,867 C.F.
WEIR CREST ELEVATION	400.50
TRAP BOTTOM DIMENSIONS	20 FT. (W) X 40 FT. (L)

**MORRIS & RITCHIE ASSOC., INC.**  
ENGINEERS, PLANNERS, SURVEYORS,  
AND LANDSCAPE ARCHITECTS  
9090 JUNCTION DRIVE, SUITE 9  
Annapolis Junction, Maryland  
(410) 792-9792 - (301) 776-1690  
Fax: (410) 792-7395



**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*P. V. Mellits* 5/25/01  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE  
PIERO V. MELLITS

**DEVELOPER'S CERTIFICATE**  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEVELOPMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE VITRIFIED SEDIMENT CONTROL SYSTEM BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 5/24/01  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE  
Ed Gad

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

*[Signature]* 6/4/01  
U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 6/4/01  
HOWARD SCD DATE

**OWNER / DEVELOPER**  
THE RYLAND GROUP, INC.  
7250 PARKWAY DRIVE - SUITE 520  
HANOVER, MD 21076  
(410) 712-7012

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 6/12/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 6/11/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

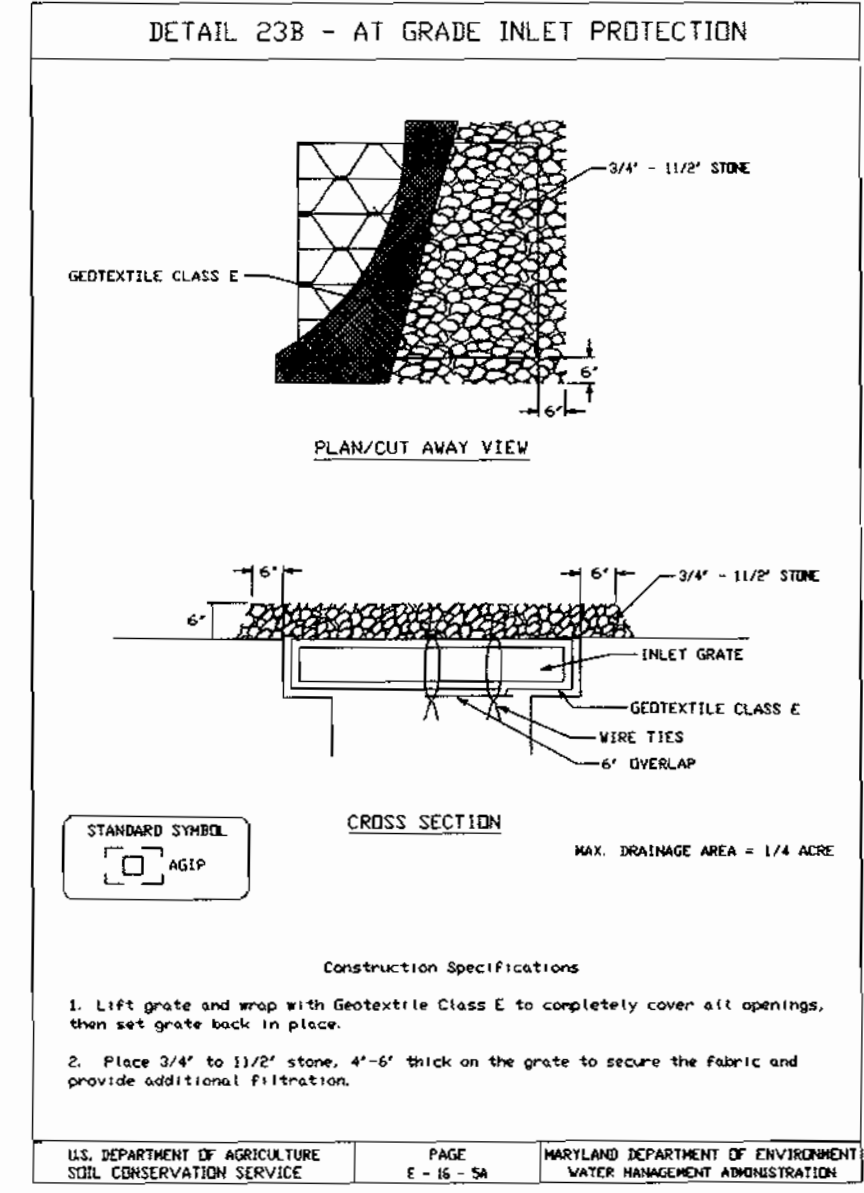
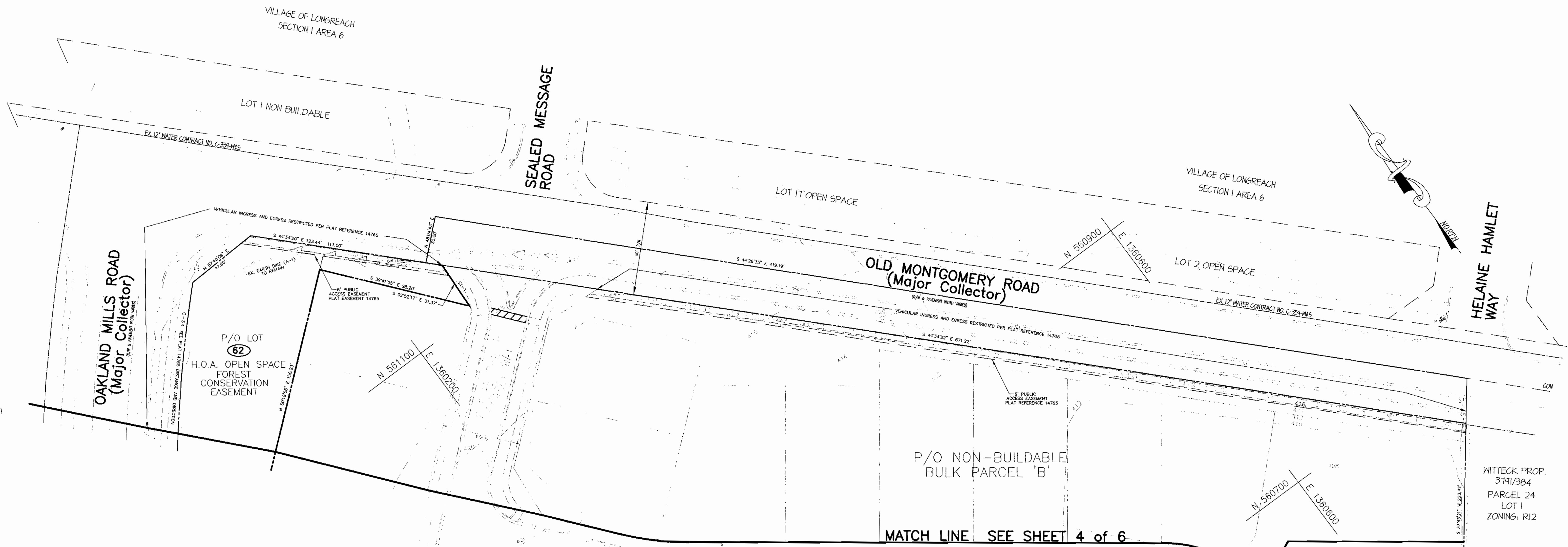
*[Signature]* 6/15/01  
DIRECTOR DATE

SUBDIVISION	SECTION / AREA	LOT NO.
ECKERS HOLLOW	1 / 1	P/O LOT 60 & BK. PAR. 'B'
PLAT NO.	BLOCK NO.	ZONE
14761-14765	10 & 11	RSC
TAX/PARCEL	ELEC. DIST.	CENSUS TR.
36 / 23	6TH	6068.02
WATER CODE	SEWER CODE	
E04		

**EXISTING MASS GRADING PLAN**  
P/O OPEN SPACE LOTS 60-62 & NON-BUILDABLE B

**ECKERS HOLLOW**  
SECTION 1, PHASE 1  
LOTS 1 THRU 62 & NON-BUILDABLE LOTS A & B  
TAX MAP 36  
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
SCALE: 1"=30' DATE: 1/20/01  
SHEET 4 OF 6

SDR 01-16



**STANDARDS AND SPECIFICATION FOR TOPSOIL**

**DEFINITION**  
 PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

**PURPOSE**  
 TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW pH, MATERIAL TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

**CONDITIONS WHERE PRACTICE APPLIES**

- THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
  - THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
  - THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
  - THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
  - THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREA HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

**CONSTRUCTION AND MATERIAL SPECIFICATIONS**

- TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
- TOPSOIL SPECIFICATIONS-SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
  - TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVELS, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.
  - TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMOUDA GRASS, QUICKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
  - WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SF) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
- FOR SITE HAVING DISTURBED AREAS UNDER 5 ACRE
  - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION-SECTION I-VEGETATIVE STABILIZATION METHODS AND MATERIALS.

**TOPSOIL APPLICATION**

- WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DICES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
- GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4"-8" HIGHER IN ELEVATION.
- TOPSOIL SHALL BE UNIFORMLY DISTURBED IN A 4"-8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SOODING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- ALTERNATIVE FOR PERMANENT SEEDING-INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:
  - COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
    - COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.

**REFERENCES:** GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SOODING. MD-YA. PUB. #1. COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTE. REVISED 1973.

**MORRIS & RITCHIE ASSOC., INC.**  
 ENGINEERS, PLANNERS, SURVEYORS,  
 AND LANDSCAPE ARCHITECTS  
 9090 JUNCTION DRIVE, SUITE 9  
 ANNAPOLIS JUNCTION, MARYLAND  
 (410) 792-9792 - (301) 776-1690  
 Fax: (410) 792-7395



**ENGINEER'S CERTIFICATE**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*P. V. Mellits* 5/25/01  
 SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE  
 PIERO V. MELLITS

**DEVELOPER'S CERTIFICATE**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*P. V. Mellits* 5/24/01  
 SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE  
 ED 940

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

*Jim Maguire* 6/10/01  
 U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Howard SCD* 6/10/01  
 HOWARD SCD DATE

**BUILDER**  
 THE RYLAND GROUP  
 7250 PARKWAY DRIVE - SUITE 520  
 HANOVER, MD 21076  
 (410) 712-2406

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Cathy Hamilton* 6/12/01  
 CHIEF, DIVISION OF PLANNING AND DEVELOPMENT DATE

*John P. Sells* 6/11/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*John P. Sells* 6/15/01  
 DIRECTOR DATE

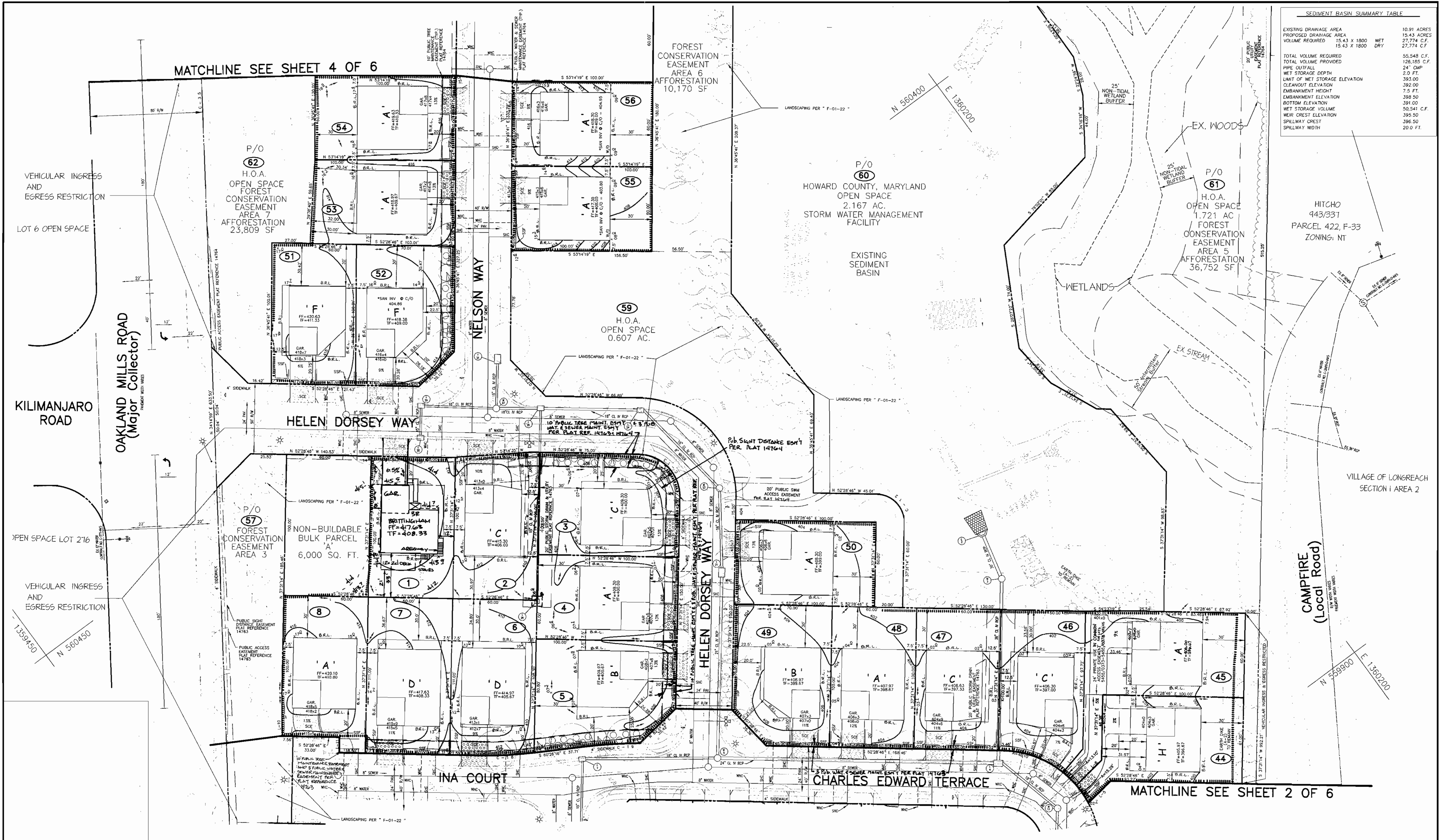
SUBDIVISION		SECTION / AREA	LOT NO.
ECKERS HOLLOW		1 / 1	1-60
PLAT NO.	BLOCK NO.	ZONE	TAX/PARCEL
14761-14765	10 & 11	RSC	36 / 23
WATER CODE		ELEC. DIST.	CENSUS TR.
E04		6TH	6066.02
SEWER CODE			

**EXISTING MASS GRADING PLAN**  
 PART OF OPEN SPACE LOT 62 & NON-BUILDABLE B

**ECKERS HOLLOW**  
 SECTION 1, PHASE 1  
 LOTS 1 THRU 62 & NON-BUILDABLE LOTS A & B  
 TAX MAP 36  
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 SCALE: 1"=30' DATE: 1/20/01  
 SHEET 5 OF 6

SDP-01-16





**SEDIMENT BASIN SUMMARY TABLE**

EXISTING DRAINAGE AREA	10.91 ACRES
PROPOSED DRAINAGE AREA	15.43 ACRES
VOLUME REQUIRED	15.43 X 1800 WET 15.43 X 1800 DRY
TOTAL VOLUME REQUIRED	55,548 C.F.
TOTAL VOLUME PROVIDED	128,165 C.F.
PIPE OUTFALL	24" G.P.P.
WET STORAGE DEPTH	2.0 FT.
LIMIT OF WET STORAGE ELEVATION	393.00
CLEANOUT ELEVATION	392.00
EMBANKMENT HEIGHT	7.5 FT.
EMBANKMENT ELEVATION	398.50
BOTTOM ELEVATION	391.00
WET STORAGE VOLUME	50,541 C.F.
WEIR CREST ELEVATION	395.50
SPILLWAY CREST	396.50
SPILLWAY WIDTH	20.0 FT.

HITCHO  
443/331  
PARCEL 422, F-33  
ZONING: NT

VILLAGE OF LONGREACH  
SECTION I AREA 2

CAMPFIRE  
(Local Road)

MATCHLINE SEE SHEET 2 OF 6

MATCHLINE SEE SHEET 4 OF 6

VEHICULAR INGRESS  
AND  
EGRESS RESTRICTION

LOT 6 OPEN SPACE

KILIMANJARO  
ROAD

OAKLAND MILLS ROAD  
(Major Collector)

OPEN SPACE LOT 216

VEHICULAR INGRESS  
AND  
EGRESS RESTRICTION

1359450  
N 560450

N 559500  
E 1360200



**MORRIS & RITCHIE ASSOC., INC.**  
ENGINEERS, PLANNERS, SURVEYORS,  
AND LANDSCAPE ARCHITECTS  
9090 JUNCTION DRIVE, SUITE 9  
ANNAPOLIS JUNCTION, MARYLAND  
(410) 792-9792 - (301) 776-1690  
Fax: (410) 792-7395

DATE	REVISION
10-18-01	REV. GRADING FOR LOT 1



**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Piero V. Mellits, P.E.*      5/18/01  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE)      DATE

**DEVELOPER'S CERTIFICATE**  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Douglas F. Eshelman*      05/18/01  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE)      DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

*Jeanette...*      4/16/01  
U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE      DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]*      4/16/01  
HOWARD SCD      DATE

**OWNER/DEVELOPER**  
THE RYLAND GROUP, INC  
7250 PARKWAY DRIVE - SUITE 520  
HANOVER, MD 21076  
(410) 712-7012

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]*      6/16/01  
CHIEF, DIVISION OF LAND DEVELOPMENT      DATE

*[Signature]*      6/16/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION      DATE

*[Signature]*      6/16/01  
DIRECTOR      DATE

SUBDIVISION	SECTION / AREA	LOT NO.
ECKERS HOLLOW	1 / 1	
PLAT NO.	BLOCK NO.	ZONE
14761-14765	10 & 11	RSC
TAX/PARCEL	ELEC. DIST.	CENSUS TR.
36 / 23	6TH	6066.02
WATER CODE	SEWER CODE	
E04		

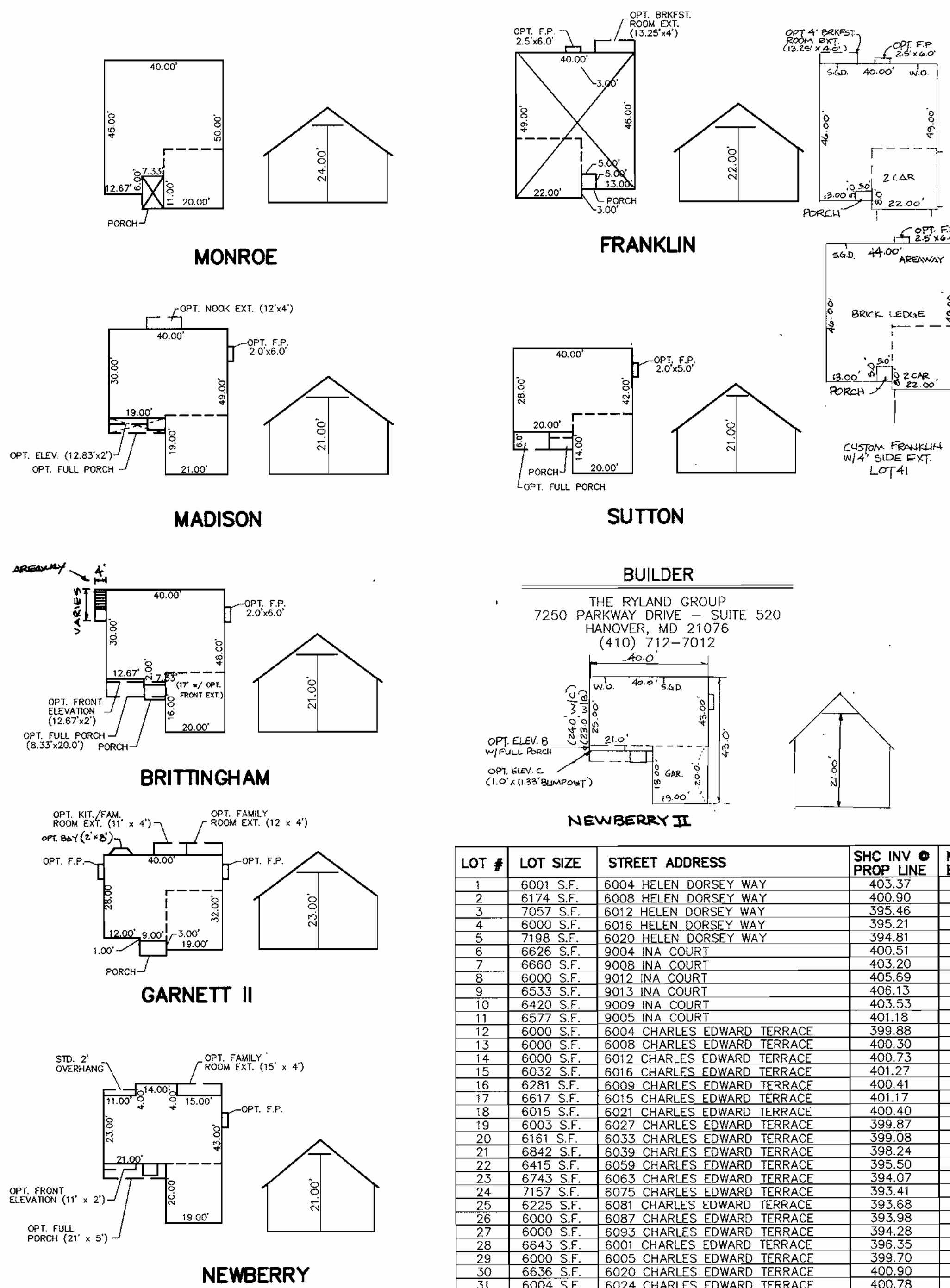
**SITE DEVELOPMENT PLAN**  
LOTS 1-8, 44-56, 59-61, P/O OS LOTS 57 & 62  
AND NON-BUILDABLE A & B

**ECKERS HOLLOW**  
SECTION 1, PHASE 1  
LOTS 1 THRU 62 & NON-BUILDABLE LOTS A & B

TAX MAP 36  
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
SCALE: 1"=30'  
DATE: 1/20/01  
SHEET 3 OF 6

SDP-01-16

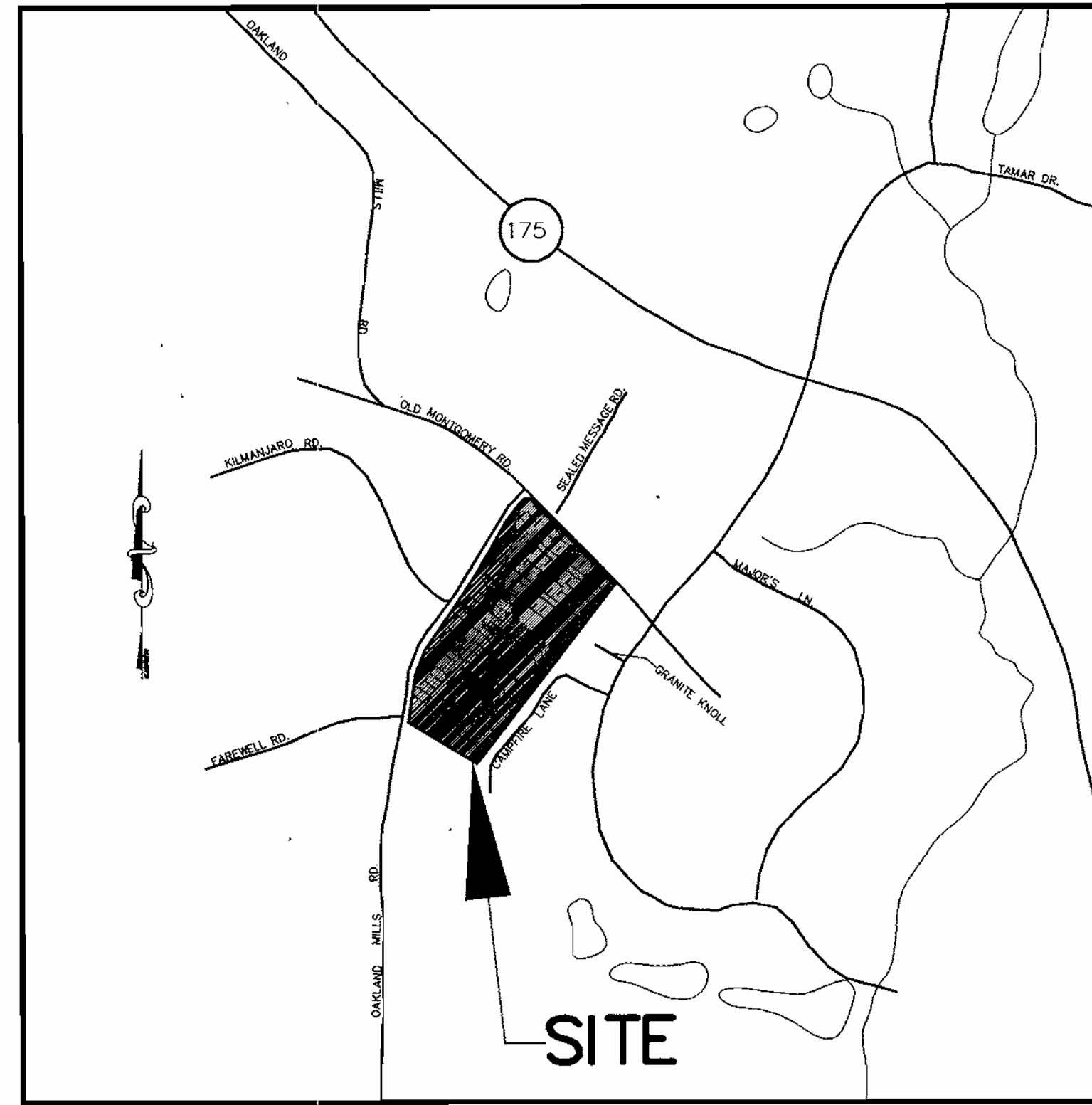
TYPICAL FOOTPRINTS



**BUILDER**  
 THE RYLAND GROUP  
 7250 PARKWAY DRIVE - SUITE 520  
 HANOVER, MD 21076  
 (410) 712-7012

INDEX OF SHEETS

- 1.) TITLE SHEET
- 2.) SITE DEVELOPMENT PLAN SHEET (LOTS 9-43, p/o OPEN SPACE LOT 57, OPEN SPACE LOT 58)
- 3.) SITE DEVELOPMENT PLAN SHEET (LOTS 1-8, 44-56, 59-61, p/o OPEN SPACE LOTS 57, 62)
- 4.) EXISTING MASS GRADING PLAN SHEET (p/o OPEN SPACE LOTS 60-62)
- 5.) EXISTING MASS GRADING PLAN SHEET (p/o OPEN SPACE LOT 62)
- 6.) SEDIMENT CONTROL NOTES & DETAILS



VICINITY MAP  
 SCALE: 1" = 1200'

LOT #	LOT SIZE	STREET ADDRESS	SHC INV @ PROP LINE	MIN. BSMT ELEV.
1	6001 S.F.	6004 HELEN DORSEY WAY	403.37	407.27
2	6174 S.F.	6008 HELEN DORSEY WAY	400.90	404.80
3	7057 S.F.	6012 HELEN DORSEY WAY	399.46	399.36
4	6000 S.F.	6016 HELEN DORSEY WAY	395.21	399.11
5	7198 S.F.	6020 HELEN DORSEY WAY	394.81	398.71
6	6626 S.F.	9004 INA COURT	400.51	404.51
7	6660 S.F.	9008 INA COURT	403.20	407.20
8	6000 S.F.	9012 INA COURT	405.69	409.69
9	6533 S.F.	9016 INA COURT	408.13	410.03
10	6420 S.F.	9020 INA COURT	403.53	407.43
11	6577 S.F.	9005 INA COURT	401.18	405.08
12	6000 S.F.	6004 CHARLES EDWARD TERRACE	399.88	403.78
13	6000 S.F.	6008 CHARLES EDWARD TERRACE	400.30	404.20
14	6000 S.F.	6012 CHARLES EDWARD TERRACE	400.73	404.63
15	6032 S.F.	6016 CHARLES EDWARD TERRACE	401.27	405.17
16	6281 S.F.	6009 CHARLES EDWARD TERRACE	400.41	404.31
17	6617 S.F.	6015 CHARLES EDWARD TERRACE	401.17	404.37
18	6015 S.F.	6021 CHARLES EDWARD TERRACE	400.40	404.30
19	6003 S.F.	6027 CHARLES EDWARD TERRACE	399.87	403.77
20	6161 S.F.	6033 CHARLES EDWARD TERRACE	399.08	403.00
21	6842 S.F.	6039 CHARLES EDWARD TERRACE	398.24	402.14
22	6415 S.F.	6059 CHARLES EDWARD TERRACE	395.50	399.35
23	6743 S.F.	6063 CHARLES EDWARD TERRACE	394.07	397.87
24	7157 S.F.	6075 CHARLES EDWARD TERRACE	391.41	397.31
25	6225 S.F.	6081 CHARLES EDWARD TERRACE	393.68	397.58
26	6000 S.F.	6087 CHARLES EDWARD TERRACE	393.98	397.88
27	6000 S.F.	6093 CHARLES EDWARD TERRACE	394.28	398.18
28	6643 S.F.	6001 CHARLES EDWARD TERRACE	396.35	400.25
29	6000 S.F.	6005 CHARLES EDWARD TERRACE	399.70	403.60
30	6636 S.F.	6020 CHARLES EDWARD TERRACE	400.90	405.00
31	6004 S.F.	6024 CHARLES EDWARD TERRACE	400.78	404.67
32	6000 S.F.	6028 CHARLES EDWARD TERRACE	399.95	403.85
33	6000 S.F.	6032 CHARLES EDWARD TERRACE	399.42	403.32
34	6000 S.F.	6036 CHARLES EDWARD TERRACE	398.88	402.78
35	6234 S.F.	6040 CHARLES EDWARD TERRACE	398.58	402.68
36	6793 S.F.	6044 CHARLES EDWARD TERRACE	398.55	402.67
37	7600 S.F.	6048 CHARLES EDWARD TERRACE	398.30	402.34
38	6299 S.F.	6052 CHARLES EDWARD TERRACE	397.73	401.67
39	6000 S.F.	6056 CHARLES EDWARD TERRACE	396.44	400.24
40	6000 S.F.	6060 CHARLES EDWARD TERRACE	395.25	399.05
41	6000 S.F.	6064 CHARLES EDWARD TERRACE	394.07	397.86
42	6000 S.F.	6068 CHARLES EDWARD TERRACE	392.10	396.00
43	6113 S.F.	6072 CHARLES EDWARD TERRACE	392.84	396.50
44	6404 S.F.	6076 CHARLES EDWARD TERRACE	392.79	396.19
45	7734 S.F.	6080 CHARLES EDWARD TERRACE	392.87	396.97
46	6314 S.F.	6084 CHARLES EDWARD TERRACE	393.03	397.00
47	6008 S.F.	6088 CHARLES EDWARD TERRACE	393.30	397.20
48	6000 S.F.	6092 CHARLES EDWARD TERRACE	393.57	397.47
49	6688 S.F.	6096 CHARLES EDWARD TERRACE	393.97	397.87
50	6000 S.F.	6015 HELEN DORSEY WAY	394.96	398.86
51	6001 S.F.	6001 HELEN DORSEY WAY	406.90	410.80
52	6688 S.F.	6005 HELEN DORSEY WAY	404.89	408.09
53	6117 S.F.	9005 NELSON WAY	404.07	407.87
54	6000 S.F.	9009 NELSON WAY	405.22	409.12
55	6000 S.F.	9004 NELSON WAY	403.80	407.70
56	6000 S.F.	9008 NELSON WAY	404.95	408.85

**LEGEND**

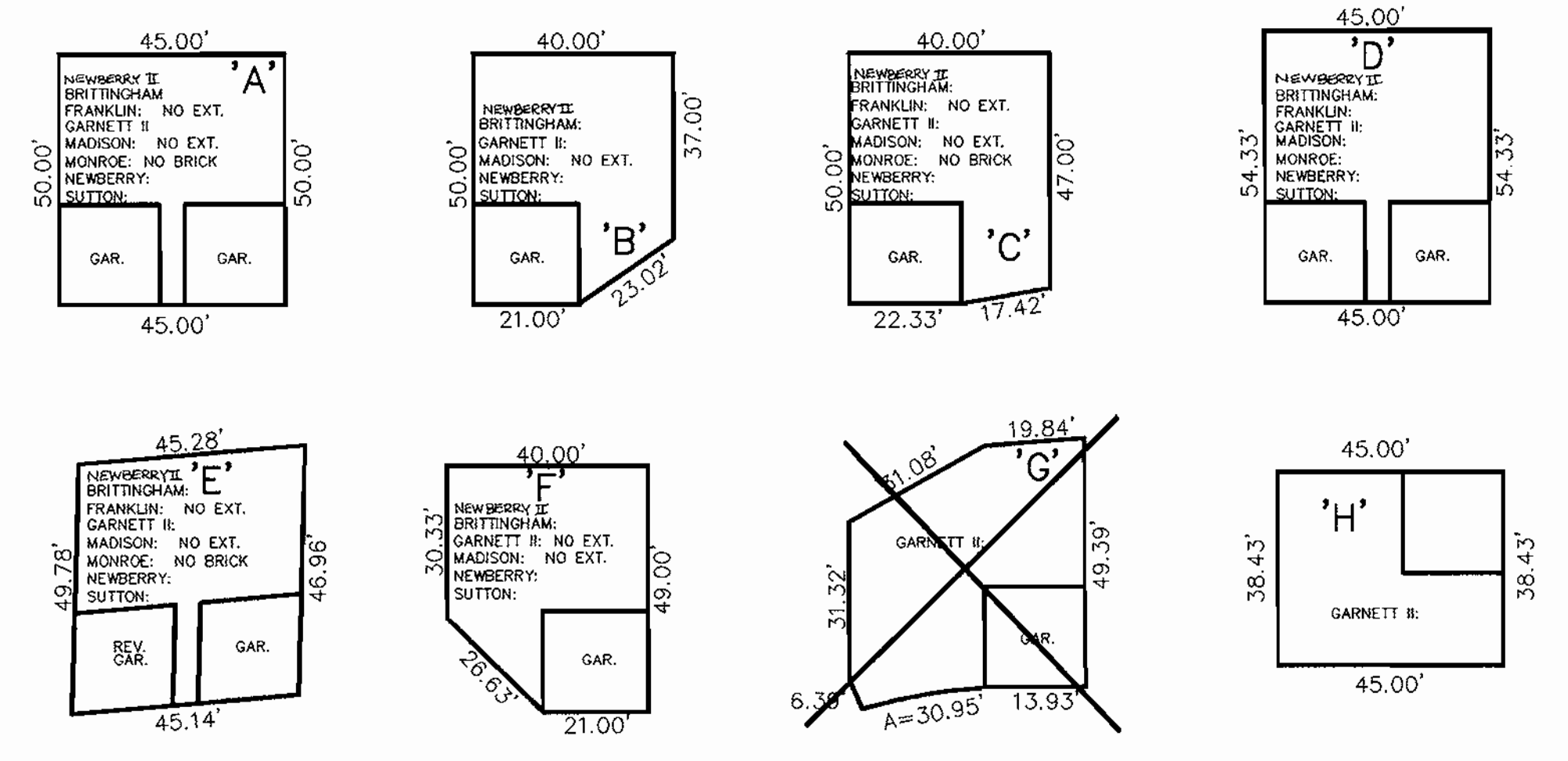
FF=412.67	FINISHED FLOOR ELEVATION
TF=402.33	FINISHED TOP OF FOOTING ELEVATION
412.5	PROPOSED GROUND ELEVATION AT WALKOUT CONDITION
412.5	GROUND SPOT ELEVATION
STD. or REV.	UNIT DESIGNATION FROM ARCHITECTURAL PLAN
SR.	NUMBER OF RISERS - 7 1/2" EACH (INCLUDING 2 RISERS INTO HOUSE)
W/W	WINDOW WELL REQUIRED FOR BASEMENT WINDOWS IN REAR
412	PROPOSED CONTOUR
---	EXISTING GROUND CONTOUR
---	DRAINAGE FLOW ARROW
---	PROPERTY LINE
---	RIGHT-OF-WAY
---	EXISTING CURB & GUTTER
40	HOUSE NUMBERS

**LEGEND**

---	EXISTING WATER MAINS AND FIRE HYDRANTS
---	EXISTING STORM DRAINS
---	EXISTING SEWER LINES
---	STREET TREES
---	PERIMETER SCREENING PER F-01-22 APPROVED BY HOWARD COUNTY ON 3-8-01
---	EXISTING SILT FENCE OR SUPER SILT FENCE
---	SILT FENCE OR SUPER SILT FENCE
---	EXISTING EARTH DIKE
---	EARTH DIKE
---	LIMIT OF DISTURBANCE
*	STREET LIGHT
+	STREET SIGN

- 1) AREA INCLUDED IN THIS SUBMISSION IS 18.05 +/- ACRES (786,258 S.F.).
- 2) PRESENT ZONING IS R-SC PER 10/18/93 COMPREHENSIVE ZONING PLAN.
- 3) PROPOSED USE OF PROPERTY IS SINGLE FAMILY DETACHED HOUSES.
- 4) TOTAL NUMBER OF LOTS INCLUDED IN THIS SUBMISSION IS 60.
- 5) MINIMUM LOT SIZE IS 6000 S.F.
- 6) DEPARTMENT OF PLANNING AND ZONING REFERENCE FILE NUMBERS ARE: S-00-02, P-00-13, F-01-22.
- 7) UTILITIES SHOWN AS EXISTING ARE TAKEN FROM WATER AND SEWER CONTRACT NUMBERS C-377-W&S, C-359-W&S, C-2689-D-W&S & C-374-W&S.
- 8) ROAD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED ROAD DRAWINGS.
- 9) ANY DAMAGE TO COUNTY OWNED RIGHTS-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- 10) EXISTING CONTOURS ARE BASED OFF THE MASS GRADING, WATER QUALITY, STREET TREE, GRADING AND SEDIMENT CONTROL PLANS.
- 11) THE COORDINATES SHOWN HEREON ARE BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 36E4 AND 36E5.
- 12) THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/DIVISION OF CONSTRUCTION INSPECTION AT (410) 313-1880 AT LEAST 24 HOURS PRIOR TO START OF WORK.
- 13) THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- 14) DRIVEWAY ENTRANCES ARE TO BE CONSTRUCTED PER THE HOWARD COUNTY DESIGN MANUAL VOLUME IV, DETAILS R 6.03 AND R 6.05.
- 15) STORMWATER MANAGEMENT IS PROVIDED PER F-01-22.
- 16) THIS PLAN IS FOR HOUSE SITING AND LOT GRADING ONLY. SEE THE APPROVED CONSTRUCTION DRAWINGS FOR INSTALLATION OF UTILITIES, ROADWAYS, AND PUBLIC WALKWAYS.
- 17) TOTAL PROJECT AREA FOR THIS SUBMITTAL IS 25.14 AC.
- 18) ALL ROADS SHOWN ON THESE PLANS ARE PUBLIC.
- 19) IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES, DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- 20) NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS AND FOREST CONSERVATION EASEMENT.
- 21) THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. APPROVAL OCCURRED UNDER THE F-01-22 PLAN AND ASSOCIATED DEVELOPER'S AGREEMENT. F-01-22 WAS APPROVED 3-08-01 AND THE DEVELOPER'S AGREEMENT WAS SIGNED 3-23-01.
- 22) FOREST CONSERVATION OBLIGATIONS FOR THIS PROJECT WERE ADDRESSED WITH THE APPROVAL OF FINAL PLAN F-01-22.
- 23) ALL SWALES, INCLUDING THOSE BETWEEN HOUSES ARE TO BE STABILIZED WITH EROSION CONTROL MATTING. SEE DETAIL SHEET 5.
- 24) EXCEPT WHERE NOTED, ALL SEDIMENT CONTROLS INSTALLED UNDER G00007373 AND G00007214 F-01-22 SHALL REMAIN AS PART OF THIS PLAN EXCEPT WHERE NOTED TO BE REMOVED.
- 25) THE FOLLOWING RECORDING REFERENCES ARE CURRENT TO THIS PROJECT AT TIME OF APPROVAL AND SHOULD NOT BE CONSIDERED INCLUSIVE BEYOND THE APPROVAL DATE OF THIS PLAN.
 

OPEN SPACE LOTS 57-62 DEED	5403/0343 - 5403/0346
BY - LAWS	5455/0379 - 5455/0386
HOA DECLARATION OF COVENANTS, CONDITIONS & RESTRICTIONS	5455/0387-5455/0418
DECLAR. OF ESM'T & COVENANTS FOR PRIV. DRIVEWAYS	LOT 36 & 37 5455/0367 - 5455/0372
	LOT 44 & 45 5455/0373 - 5455/0378



SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT (1 WEEK)
  2. INSPECT & REPAIR EXISTING SEDIMENT CONTROL MEASURES PER F-01-22 AND GP-01-78. EXISTING SEDIMENT BASIN PER GP-01-78 TO REMAIN. (8 DAYS)
  3. INSTALL SEDIMENT AND EROSION CONTROL DEVICES PER PLAN. OBTAIN SEDIMENT CONTROL INSPECTOR'S APPROVAL PRIOR TO PROCEEDING. (8 DAYS)
  4. CLEAR AND GRUB SITE. (4 DAYS)
  5. EXCAVATE FOR FOUNDATIONS AND ROUGH GRADE. (10 DAYS)
  6. CONSTRUCT DWELLING. (60 DAYS PER DWELLING)
  7. FINE GRADE SITE, INSTALL DRIVEWAYS. (2 DAYS PER DRIVEWAY AND LOT.)
  8. INSTALL PERMANENT SEEDING AND LANDSCAPING. (10 DAYS)
  9. CONVERT EXISTING SEDIMENT BASIN TO SWM FACILITY PER F-01-22. (10 DAYS)
  10. REMOVE SEDIMENT CONTROL DEVICES AFTER PERMISSION IS GRANTED BY SEDIMENT CONTROL INSPECTOR AND UPLAND AREAS HAVE BEEN STABILIZED. (2 DAYS)
- NOTE: BAY WINDOWS, WINDOW WELLS, ORIELS, VESTIBULES, BALCONIES, CHIMNEYS, HEATING / AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS OR RAMPS IF NOT MORE THAN SIXTEEN FEET IN WIDTH MAY PROJECT NOT MORE THAN FOUR FEET INTO ANY REQUIRED SETBACK AREA OR REQUIRED DISTANCE BETWEEN BUILDINGS. OPEN OR ENCLOSED PORCHES OR DECKS MAY PROJECT NOT MORE THAN TEN FEET INTO REQUIRED FRONT OR REAR YARD SETBACK AREA. THIS, IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS.

**MORRIS & RITCHIE ASSOC., INC.**  
 ENGINEERS, PLANNERS, SURVEYORS,  
 AND LANDSCAPE ARCHITECTS  
 9090 JUNCTION DRIVE, SUITE 9  
 ANNAPOLIS JUNCTION, MARYLAND  
 (410) 792-9702 - (301) 776-1660  
 Fax: (410) 792-7395

DATE	REVISION
10-10-01	ADD ARWAY TO BRITTINGHAM.
8-03-01	ADD CUSTOM FRANKLIN (MRA)
6-29-01	FLIP FRANKLIN
6-29-01	ADD NEWBERRY II (MRA)



**ENGINEER'S CERTIFICATE**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Piero Van Mellits, P.E.* 5-18-01  
 SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE  
 PIERO V. MELLITS

**DEVELOPER'S CERTIFICATE**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Douglas F. Eshelman* 05/18/01  
 SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE  
 Douglas F. Eshelman

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

*Jim Myers* 4/4/01  
 U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Yvette Solis* 4/4/01  
 HOWARD SCD DATE

**OWNER / DEVELOPER**  
 THE RYLAND GROUP, INC.  
 7250 PARKWAY DRIVE - SUITE 520  
 HANOVER, MD 21076  
 (410) 712-7012

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Chris Starnita* 6/12/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*David S. ...* 6/11/01  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*...* 6/12/01  
 DIRECTOR DATE

SUBDIVISION	SECTION / AREA	LOT NO.			
ECKERS HOLLOW	1 / 1	1-56			
PLAT NO.	BLOCK NO.	ZONE	TAX/PARCEL	ELEC. DIST.	CENSUS TR.
14761-14765	10 & 11	RSC	36 / 23	6TH	6066.02
WATER CODE	SEWER CODE				
E04					

**TITLE SHEET**

**ECKERS HOLLOW**  
 SECTION 1, PHASE 1  
 LOTS 1 THRU 62 & NON-BUILDABLE LOTS A & B  
 TAX MAP 36, PARCEL 23, BLOCKS 10 & 11  
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 30' DATE: 1/20/01  
 SHEET 1 OF 6

SDP-01-16

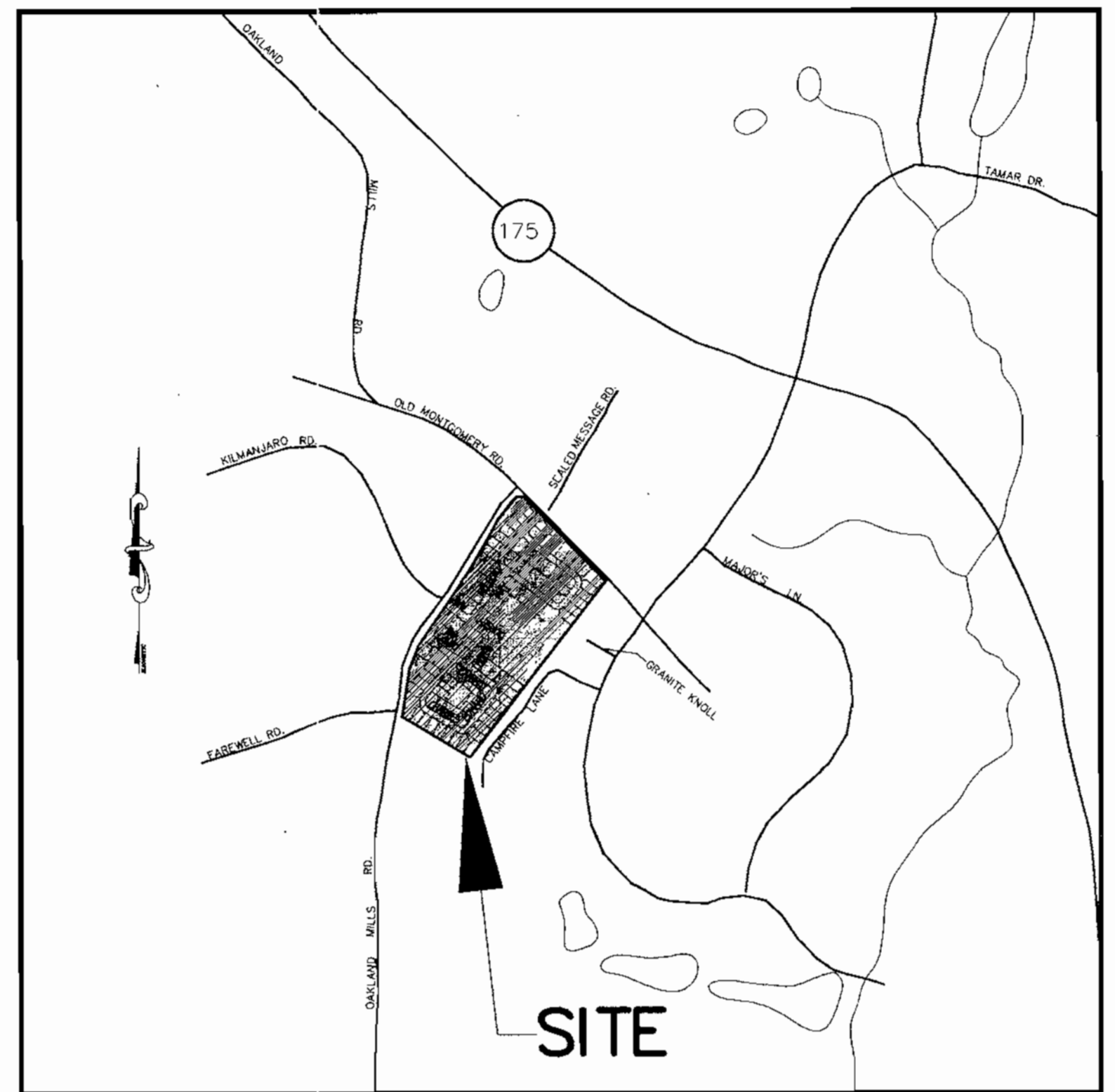
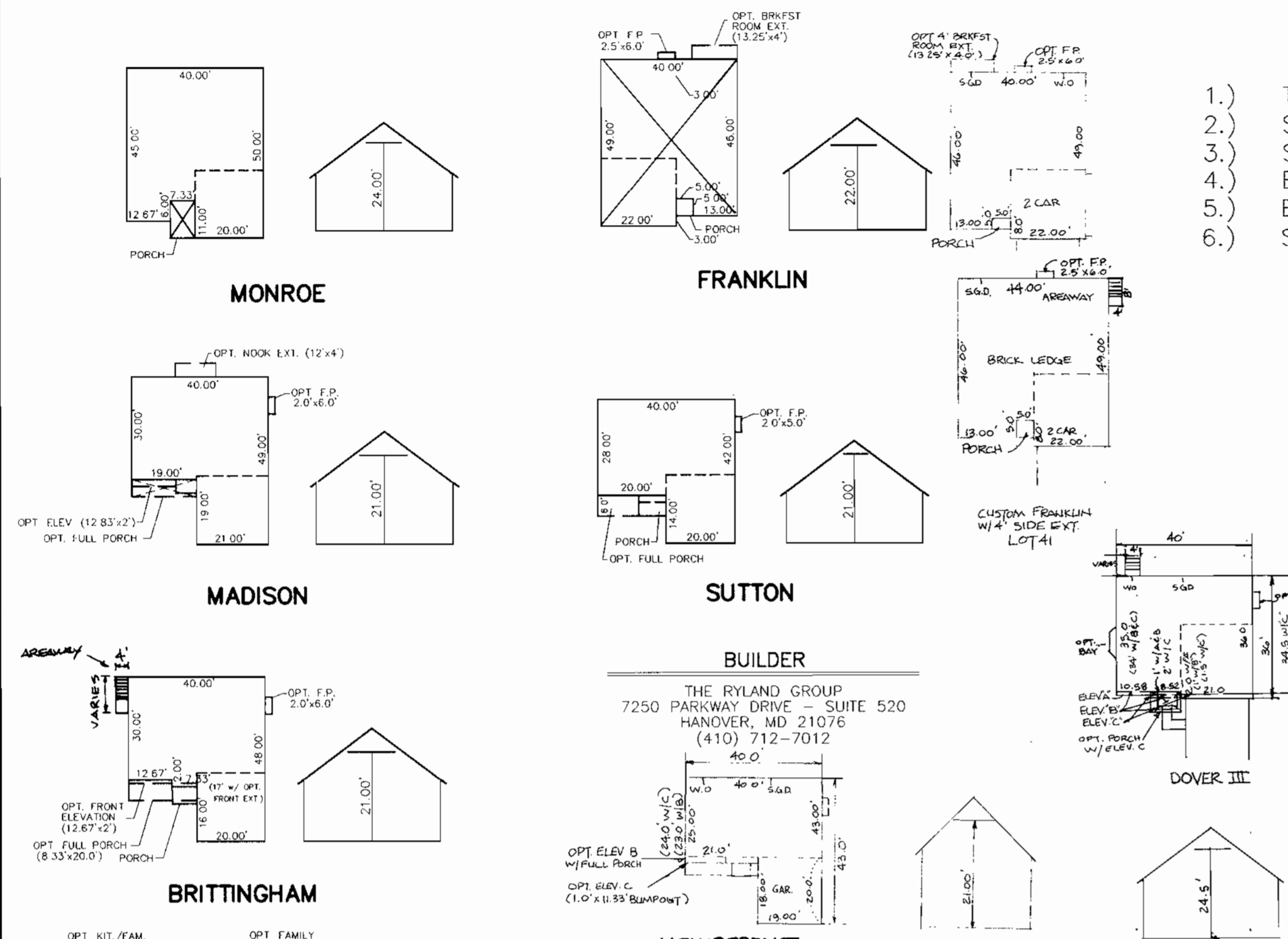


TYPICAL FOOTPRINTS

INDEX OF SHEETS

- 1.) TITLE SHEET
- 2.) SITE DEVELOPMENT PLAN SHEET (LOTS 9-43, p/o OPEN SPACE LOT 57, OPEN SPACE LOT 58)
- 3.) SITE DEVELOPMENT PLAN SHEET (LOTS 1-8, 44-56, 59-61, p/o OPEN SPACE LOTS 57, 62)
- 4.) EXISTING MASS GRADING PLAN SHEET (p/o OPEN SPACE LOTS 60-62)
- 5.) EXISTING MASS GRADING PLAN SHEET (p/o OPEN SPACE LOT 62)
- 6.) SEDIMENT CONTROL NOTES & DETAILS

- 1) AREA INCLUDED IN THIS SUBMISSION IS 18.05 +/- ACRES (18.05 ACRES).
- 2) PRESENT ZONING IS R-SC PER 10/18/93 COMPREHENSIVE ZONING PLAN.
- 3) PROPOSED USE OF PROPERTY IS SINGLE FAMILY DETACHED DWELLING.
- 4) TOTAL NUMBER OF LOTS INCLUDED IN THIS SUBMISSION IS 56.
- 5) MINIMUM LOT SIZE IS 6000 S.F.
- 6) DEPARTMENT OF PLANNING AND ZONING REFERENCE TO THE HOWARD COUNTY ZONING ORDINANCE: S-00-02, P-00-13, F-01-22.
- 7) UTILITIES SHOWN AS EXISTING ARE TAKEN FROM WATER MAINS AND SEWER MAINS CONTRACT NUMBERS C-377-W&S, C-359-W&S, C-402-W&S AND C-374-W&S. ROAD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY ROAD DRAWINGS.
- 8) ANY DAMAGE TO COUNTY OWNED RIGHTS-OF-WAY SHALL BE REPAIRED AT THE DEVELOPER'S EXPENSE.
- 9) EXISTING CONTOURS ARE BASED OFF THE MASS GRADING PLAN QUALITY, STREET TREE, GRADING AND SEDIMENT CONTROL PLANS.
- 10) THE COORDINATES SHOWN HEREON ARE BASED ON NAD 83 STATE PLANE AND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY PLANNING CONTROL STATIONS NO. 36E4 AND 36E5.
- 11) THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/DIVISION OF CONSTRUCTION INSPECTION AT (410) 313-1880 AT LEAST 48 HOURS PRIOR TO START OF WORK.
- 12) THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-477-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- 13) DRIVEWAY ENTRANCES ARE TO BE CONSTRUCTED PER THE HOWARD COUNTY DESIGN MANUAL VOLUME IV, DETAILS R 8.03 AND R 8.04.
- 14) STORMWATER MANAGEMENT IS PROVIDED PER F-01-22.
- 15) THIS PLAN IS FOR HOUSE SITING AND LOT GRADING. THE DEVELOPER SHALL APPROVED CONSTRUCTION DRAWINGS FOR INSTALLATION OF UTILITIES, ROADWAYS, AND PUBLIC WALKWAYS.
- 16) TOTAL PROJECT AREA FOR THIS SUBMITTAL IS 25.14 AC.
- 17) ALL ROADS SHOWN ON THESE PLANS ARE PUBLIC.
- 18) IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS MAY PROJECT UP TO SIX FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES, DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 4 FEET INTO THE FRONT OR REAR YARD SETBACK.
- 19) NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED UNTIL THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS AND FOREST CONSERVATION EASEMENT.
- 20) THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE PLAN. APPROVAL OCCURRED UNDER THE F-01-22 PLAN AND ASSOCIATED DEVELOPMENT AGREEMENT. F-01-22 WAS APPROVED 3-08-01 AND THE DEVELOPER'S AGREEMENT WAS SIGNED 3-23-01.
- 21) FOREST CONSERVATION OBLIGATIONS FOR THIS PROJECT ARE ADDRESSED WITH THE APPROVAL OF FINAL PLAN F-01-22.
- 22) ALL SWALES, INCLUDING THOSE BETWEEN HOUSES, ARE TO BE STABILIZED WITH EROSION CONTROL MATTING. SEE DETAIL SHEET 5.
- 23) EXCEPT WHERE NOTED, ALL SEDIMENT CONTROLS INSTALLED UNDER 600007373 AND 600007214 F-01-22 SHALL REMAIN AS PART OF THIS PLAN UNTIL THEY ARE NOTED TO BE REMOVED.
- 24) THE FOLLOWING RECORDING REFERENCES ARE CURRENT TO THIS PROJECT AT TIME OF APPROVAL AND SHOULD NOT BE CONSIDERED INCLUSIVE BEYOND THE APPROVAL DATE OF THIS PLAN. OPEN SPACE LOTS 57-62 DEED 45403/0343 - 5403/0346 BY - LAWS 5455/0379 - 5455/0386 HOA DECLARATION OF COVENANTS, CONDITIONS & RESTRICTIONS 5455/0387-5455/0418 DECLAR. OF ESMT & COVENANTS FOR PRIV. DRIVEWAYS LOT 36 & 37 5455/0367 - 5455/0372 LOT 44 & 45 5455/0373 - 5455/0378



LOT #	LOT SIZE	STREET ADDRESS	SHC INV PROP LINE	MIN. BSMT ELEV.
1	6001 S.F.	6004 HELEN DORSEY WAY	403.37	407.27
2	6174 S.F.	6008 HELEN DORSEY WAY	400.90	404.80
3	7057 S.F.	6012 HELEN DORSEY WAY	395.46	399.36
4	6000 S.F.	6016 HELEN DORSEY WAY	395.11	399.11
5	7198 S.F.	6020 HELEN DORSEY WAY	394.81	398.71
6	6626 S.F.	9004 INA COURT	400.51	404.51
7	6660 S.F.	9008 INA COURT	403.20	407.20
8	6000 S.F.	9012 INA COURT	405.69	409.69
9	6533 S.F.	9016 INA COURT	406.13	410.13
10	6498 S.F.	9020 INA COURT	403.53	407.43
11	6577 S.F.	9005 INA COURT	401.18	405.08
12	6000 S.F.	6004 CHARLES EDWARD TERRACE	399.88	403.78
13	6000 S.F.	6008 CHARLES EDWARD TERRACE	400.30	404.20
14	6000 S.F.	6012 CHARLES EDWARD TERRACE	400.73	404.63
15	6032 S.F.	6016 CHARLES EDWARD TERRACE	401.27	405.17
16	6281 S.F.	6020 CHARLES EDWARD TERRACE	400.41	404.31
17	6617 S.F.	6015 CHARLES EDWARD TERRACE	401.17	404.37
18	6015 S.F.	6021 CHARLES EDWARD TERRACE	400.40	404.30
19	6003 S.F.	6027 CHARLES EDWARD TERRACE	399.87	403.77
20	6161 S.F.	6033 CHARLES EDWARD TERRACE	399.08	403.00
21	6842 S.F.	6039 CHARLES EDWARD TERRACE	398.24	402.14
22	6415 S.F.	6059 CHARLES EDWARD TERRACE	395.50	399.35
23	6743 S.F.	6063 CHARLES EDWARD TERRACE	394.07	397.87
24	7157 S.F.	6075 CHARLES EDWARD TERRACE	393.41	397.31
25	6225 S.F.	6081 CHARLES EDWARD TERRACE	393.68	397.58
26	6000 S.F.	6087 CHARLES EDWARD TERRACE	393.98	397.88
27	6000 S.F.	6093 CHARLES EDWARD TERRACE	394.28	398.18
28	6643 S.F.	6001 CHARLES EDWARD TERRACE	396.35	400.25
29	6000 S.F.	6005 CHARLES EDWARD TERRACE	399.70	403.60
30	6636 S.F.	6020 CHARLES EDWARD TERRACE	400.90	405.00
31	6004 S.F.	6024 CHARLES EDWARD TERRACE	400.78	404.67
32	6000 S.F.	6028 CHARLES EDWARD TERRACE	399.95	403.85
33	6000 S.F.	6032 CHARLES EDWARD TERRACE	399.42	403.32
34	6000 S.F.	6036 CHARLES EDWARD TERRACE	398.98	402.78
35	6234 S.F.	6040 CHARLES EDWARD TERRACE	398.58	402.68
36	6793 S.F.	6044 CHARLES EDWARD TERRACE	398.55	402.67
37	7600 S.F.	6048 CHARLES EDWARD TERRACE	398.30	402.34
38	6299 S.F.	6052 CHARLES EDWARD TERRACE	397.73	401.77
39	6000 S.F.	6056 CHARLES EDWARD TERRACE	396.44	400.24
40	6000 S.F.	6060 CHARLES EDWARD TERRACE	395.25	399.05
41	6000 S.F.	6064 CHARLES EDWARD TERRACE	394.07	397.86
42	6000 S.F.	6068 CHARLES EDWARD TERRACE	392.10	396.00
43	6113 S.F.	6072 CHARLES EDWARD TERRACE	392.84	396.50
44	6404 S.F.	6076 CHARLES EDWARD TERRACE	392.79	396.19
45	7734 S.F.	6080 CHARLES EDWARD TERRACE	392.87	396.97
46	6314 S.F.	6084 CHARLES EDWARD TERRACE	393.03	397.00
47	6008 S.F.	6088 CHARLES EDWARD TERRACE	393.30	397.20
48	6000 S.F.	6092 CHARLES EDWARD TERRACE	393.57	397.47
49	6698 S.F.	6096 CHARLES EDWARD TERRACE	393.97	397.87
50	6000 S.F.	6015 HELEN DORSEY WAY	394.96	398.86
51	6001 S.F.	6001 HELEN DORSEY WAY	406.90	410.80
52	6688 S.F.	6005 HELEN DORSEY WAY	404.89	408.09
53	6117 S.F.	9005 NELSON WAY	404.07	407.97
54	6000 S.F.	9009 NELSON WAY	405.22	409.12
55	6000 S.F.	9004 NELSON WAY	403.80	407.70
56	6000 S.F.	9008 NELSON WAY	404.95	408.85

VICINITY MAP SCALE: 1" = 1200'

**LEGEND**

SYMBOL DESCRIPTION

FF=412.67 FINISHED FLOOR ELEVATION

TF=402.33 FINISHED TOP OF FOOTING ELEVATION

PROPOSED GROUND ELEVATION AT WALKOUT CONDITION

412x5 GROUND SPOT ELEVATION

STD. or REV. UNIT DESIGNATION FROM ARCHITECTURAL PLAN

SR. NUMBER OF RISERS - 7 1/2" EACH (INCLUDING 2 RISERS INTO HOUSE)

W/W WINDOW WELL REQUIRED FOR BASEMENT WINDOWS IN REAR

412 PROPOSED CONTOUR

EXISTING GROUND CONTOUR

--- DRAINAGE FLOW ARROW

--- PROPERTY LINE

--- RIGHT-OF-WAY

--- EXISTING CURB & GUTTER

40 HOUSE NUMBERS

**LEGEND**

SYMBOL DESCRIPTION

15" STORM EXISTING STORM DRAINS

8" SEWER EXISTING SEWER LINES

STREET TREES

PERIMETER SCREENING PER F-01-22 APPROVED BY HOWARD COUNTY ON 3-8-01

STABILIZED CONSTRUCTION ENTRANCE

EXISTING SILT FENCE OR SUPER SILT FENCE

SILT FENCE OR SUPER SILT FENCE

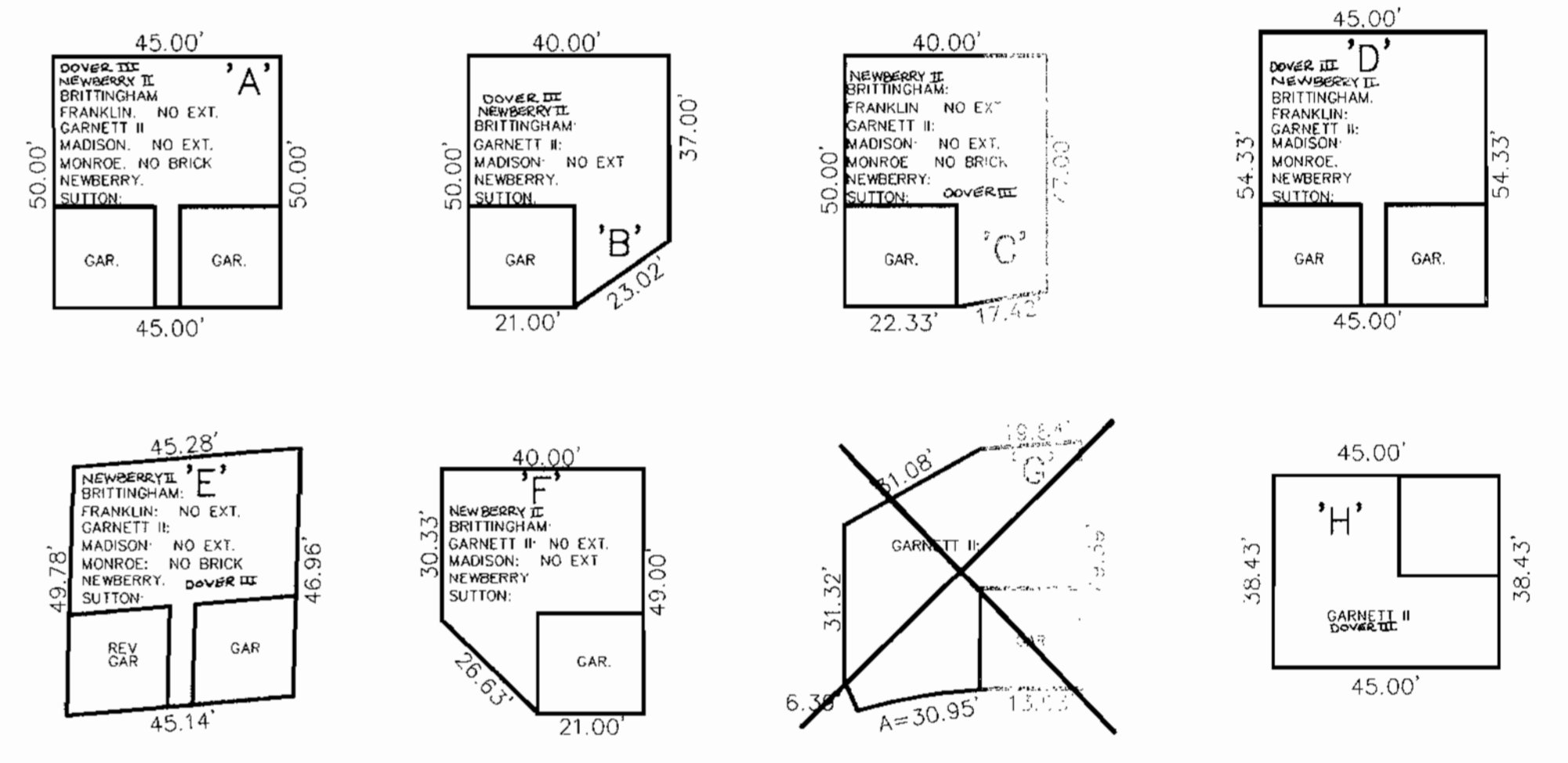
EXISTING EARTH DIKE

EARTH DIKE

LIMIT OF DISTURBANCE

STREET LIGHT

STREET SIGN



- SEQUENCE OF CONSTRUCTION
1. OBTAIN GRADING PERMIT (1 WEEK)
  2. INSPECT & REPAIR EXISTING SEDIMENT CONTROL MEASURES PER F-01-22 AND GP-01-78. EXISTING SEDIMENT BASIN PER GP-01-78 TO REMAIN. (8 DAYS)
  3. INSTALL SEDIMENT AND EROSION CONTROL DEVICES PER PLAN 60007373 SEDIMENT CONTROL. INSPECTOR'S APPROVAL PRIOR TO PROCEEDING. (8 DAYS)
  4. CLEAR AND GRUB SITE. (4 DAYS)
  5. EXCAVATE FOR FOUNDATIONS AND ROUGH GRADE. (10 DAYS)
  6. CONSTRUCT DWELLING. (60 DAYS PER DWELLING)
  7. FINE GRADE SITE, INSTALL DRIVEWAYS. (2 DAYS PER DRIVEWAY AND LOT.)
  8. INSTALL PERMANENT SEEDING AND LANDSCAPING. (10 DAYS)
  9. CONVERT EXISTING SEDIMENT BASIN TO SWM FACILITY PER F-01-22. (10 DAYS)
  10. REMOVE SEDIMENT CONTROL DEVICES AFTER PERMISSION IS GRANTED BY SEDIMENT CONTROL INSPECTOR AND UPLAND AREAS HAVE BEEN STABILIZED. (2 DAYS)
- NOTE: BAY WINDOWS, WINDOW WELLS, ORIELS, VESTIBULES, BALCONIES, CHIMNEYS, HEATING / AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS OR RAMPS LESS THAN SIXTEEN FEET IN WIDTH MAY PROJECT NOT MORE THAN FOUR FEET INTO ANY REQUIRED SETBACK AREA OR REQUIRED DISTANCE BETWEEN BUILDINGS. OPEN OR ENCLOSED PORCHES OR DECKS MAY PROJECT NOT MORE THAN TEN FEET INTO REQUIRED FRONT OR REAR YARD SETBACK AREA. THIS, IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS.

**MORRIS & RITCHIE ASSOC., INC.**  
ENGINEERS, PLANNERS, SURVEYORS,  
AND LANDSCAPE ARCHITECTS  
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Fax: (410) 792-7395

1-25-02 ADD DOVER III  
10-03-01 ADD AREAWAY TO BRITTINGHAM  
09-03-01 ADD CUSTOM FRANKLIN (NEW)  
6-29-01 FLIP FRANKLIN  
6-29-01 ADD NEWBERRY II (MRA)  
DATE REVISION

**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*P. V. Mellits, P.E.* 5-18-01  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE  
PIERO V. MELLITS

**DEVELOPER'S CERTIFICATE**  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Douglas F. Eshelman* 05/18/01  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE  
Douglas F. Eshelman

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

*Jim Myers / cas* 6/4/01  
U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

*Shelly Salas* 6/4/01  
HOWARD SCD DATE

**OWNER / DEVELOPER**  
THE RYLAND GROUP, INC.  
7250 PARKWAY DRIVE - SUITE 520  
HANOVER, MD 21076  
(410) 712-7012

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Carly Hamilton* 6/12/01  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Robert Williams* 6/11/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Paul Scott* 6/12/01  
DIRECTOR DATE

**OWNER SHEET**

**ECKER'S HOLLOW**  
SECTION 1, PHASE 1  
LOTS 1 THRU 62 & NON-BUILDABLE LOTS A & B  
TAX MAP 36, PARCEL 23, BLOCKS 10 & 11  
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
SCALE: 1" = 200'  
DATE: 1/20/01  
SHEET 1 OF 6

SDP-01-16

OAKLAND MILLS ROAD (Major Collector)

VEHICULAR INGRESS AND EGRESS RESTRICTION

FOREST CONSERVATION EASEMENT AREA 3

INA COURT

CHARLES EDWARD TERRACE

CHARLES EDWARD TERRACE

CAMPFIRE (Local Road)

VILLAGE OF LONGREACH SECTION 1 AREA 2

**SEDIMENT TRAP #2 SUMMARY TABLE**  
TO BE REMOVED

EXISTING DRAINAGE AREA	4.46 ACRES	
PROPOSED DRAINAGE AREA	1.50 ACRES	
VOLUME REQUIRED	4.46 X 1800 WET 0.028 C.F.	
VOLUME REQUIRED	4.46 X 1800 DRY	0.028 C.F.

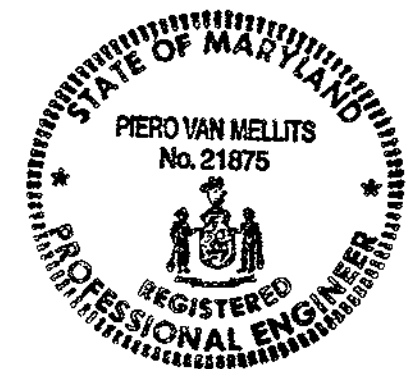
TYPE OF TRAP ST-II  
TOTAL VOLUME REQUIRED 16,056 C.F.  
TOTAL VOLUME PROVIDED 16,811 C.F.  
WEIR LENGTH 18 FT.  
WET STORAGE DEPTH 6 FT.  
LIMIT OF WET STORAGE ELEVATION 402.00  
CLEANOUT ELEVATION 400.00  
EMBANKMENT HEIGHT 3.0 FT.  
EMBANKMENT ELEVATION 403.00  
BOTTOM ELEVATION 396.00  
WET STORAGE VOLUME 10,272 C.F.  
WEIR CREST ELEVATION 404.00  
TRAP BOTTOM DIMENSIONS 20 FT. (W) X 40 FT. (L)

**SEDIMENT TRAP #3 SUMMARY TABLE**  
TO BE REMOVED

EXISTING DRAINAGE AREA	1.49 ACRES
PROPOSED DRAINAGE AREA	0.06 ACRES
VOLUME REQUIRED	1.49 X 1800 WET 2,688 C.F.
VOLUME REQUIRED	1.49 X 1800 DRY 2,688 C.F.

TYPE OF TRAP ST-II  
TOTAL VOLUME REQUIRED 5,364 C.F.  
TOTAL VOLUME PROVIDED 5,606 C.F.  
WEIR LENGTH 12 FT.  
WET STORAGE DEPTH 4.0 FT.  
LIMIT OF WET STORAGE ELEVATION 397.00  
CLEANOUT ELEVATION 395.50  
EMBANKMENT HEIGHT 3.0 FT.  
EMBANKMENT ELEVATION 400.00  
BOTTOM ELEVATION 393.00  
WET STORAGE VOLUME 2,941 C.F.  
WEIR CREST ELEVATION 398.50  
TRAP BOTTOM DIMENSIONS 13 FT. (W) X 26 FT. (L)

2-10-02	RAISE 15E1 (MRA)
8-20-01	ADD CUSTOM FRANKS LOT 41 (MRA)
7-11-01	ADD AMANDSON LOT 16 (MRA)
6-29-01	SITE NUMBERING II ON LOT 11 (MRA)
DATE	REVISION



**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Piero V. Mellits, P.E.* DATE 5-18-01  
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE

**DEVELOPER'S CERTIFICATE**  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEGINS THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Douglas P. Eshelman* DATE 05/18/01  
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

*Jim Myers* DATE 6/1/01  
U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Gary John* DATE 6/1/01  
HOWARD SCD

**OWNER / DEVELOPER**  
THE RYLAND GROUP, INC.  
7250 PARKWAY DRIVE SUITE 520  
HANOVER, MD 21076  
(410) 712-7012

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Cathy Harvath* DATE 6/12/01  
CHIEF, DIVISION OF LAND DEVELOPMENT

*Chris Williams* DATE 6/11/01  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*Joseph Lopez* DATE 6/15/01

SUBMISSION	SECTION / AREA	LOT NO.
ECKERS HOLLOW	1 / 1	9 - 43
PLAT NO.	BLOCK NO.	TAX/PARCEL
14761-14765	10 & 11	36 / 23
WATER CODE	ELEC. DIST.	CENSUS TR.
E04	6TH	6066.02
SEWER CODE		

**SITE DEVELOPMENT PLAN**  
LOTS 9-43, P/O OPEN SPACE LOT 57, OS LOT 58

**ECKERS HOLLOW**  
SECTION 1, PHASE 1  
LOTS 1 THRU 62 & NON-BUILDABLE LOTS A & B  
TAX MAP 36  
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
SCALE: 1"=30' DATE: 1/20/01  
SHEET 2 OF 6

**MRA**  
MORRIS & RITCHIE ASSOC., INC.  
ENGINEERS, PLANNERS, SURVEYORS,  
AND LANDSCAPE ARCHITECTS  
9090 JUNCTION DRIVE, SUITE 9  
ANNAPOLIS JUNCTION, MARYLAND  
(410) 792-9792 - (301) 776-1690  
FAX: (410) 792-7395

SDP-01-16