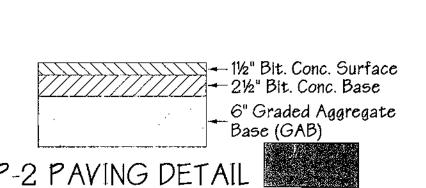
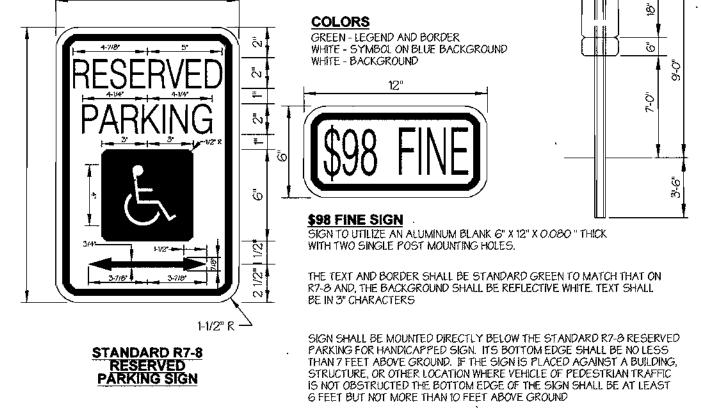


HOWARD COUNTY CURB AND GUTTER DETAIL NOT TO SCALE





The owner shall provide a separate and independent sewer connection for each tenart or occupant of any building, snown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that nor-comestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system. prior to installation of the separate and independent sewer connection and related interior wasse lines. The above statement scall apply to all initial and future occupants or tenants.

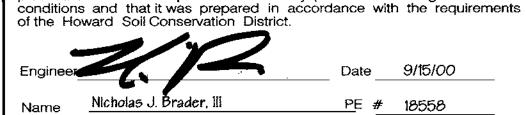
Handicapped Parking Sign Detail NOT TO SCALE

Matis Warfield consulting engineers

10540 york road suite m hunt valley, maryland 21030 phone 410-683-7004 facsimile 410-683-1798 www.matiswarfield.com



ENGINEER CERTIFICATION: certify that this plan for erosion and sediment control represents a oractical and workable plan based on my personal knowledge of the site



9/15/00 <u>P</u>E # 18558

OWNER/DEVELOPER Lisbon Plaza, LLC c/o MIE Properties, Inc. 5720 Executive Drive Baltimore, Maryland 21228 (410) 788-0100 DEVELOPER CERTIFICATION:

We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved n the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of the project. Lalso authorize periodic Date _9/15/00

1. All work shall be performed in accordance with the Howard County Design Manual, Volume IV, i.e., Standard Specifications and Details for Construct-The contractor shall notify the Department of Public Works, Construction inspection Division at (410-313-1880) at least 24 hours prior to the The contractor shall test pit existing utilities at least five (5) days before starting work shown on these drawings to verify their location BM #3931005 Any damage to public rights-of-way and for adjacent properties shall be stabilized in accordance with the plans approved by the Howard Soil 9. The contractor shall maintain at least a 2' level bench behind all curb and FREDERICK 10. The contractor shall remove all existing paving, curb and gutter, etc. that BALTIMORE 12 Ali water main tees, bends, caps, etc. shall be buttressed in accordance 16. Traffic control devices, markings and signing shall be in accordance with PIKE (MUTCD). All street and regulatory signs shall be in place prior to the McDonald's septic field has an excess capacity of 1344 gpd (out of 4000 gpd): 18. Storm Water quantity and quality management IS PRIVATE and provided In the existing infiltration basin on Lot 1, reference F 87-64 and GP 87-66

VICINITY MAP

SCALE: 1" = 2000'

HOWARD COUNTY BENCHMARK 3/4" Reinforcing rod 0.5' below surface, 285' north of Route 99 along side Woodbine Road (Horizontal control based on NAD 27; vertical control based on NAD 29 - this is consistent wth the plans and record plat for the subdivision.)

> SHEET INDEX 1 Gross Area Site Plan

2 Site Plan

3 Sediment Control Plan 4 Sediment Control Notes & Details

5 Landscape Plan

6 Profiles & Details

LISBON CENTER DRIVE Building E' will use existing onsite dumpsters. Trash collection for the existing dumpsters is PRIVATE. TO EX. STORMWATER MANAGEMENT / INFILTRATION POND SEE F87-64. GP 87-66 OODBINE ROAD
Plat No. 41232 & 41234 Lisbon Plaza LLC c/o MIE Investment, Inc 4467/590 Parcel 82 & Sons, Inc. B42 / 0070 \[\Delta 3763 Parcel 478 Woodbine National Bank clo Westminster Bank & Trust 379 / 0134 Site Area per High's Special Exception Board of Appeals #96-02E

LOCATION MAP

SCALE: 1" = 100'

PARCEL 'F' SITE DATA

PARCEL 'F' PARKING TABULATION

Ex. Building 'A' = 14,593 S.F. (11,500 S.F. - Food/Retail) - 1 SP./150 S.F. 77

Ex. Building 'C' = 6900 S.F. (General Retail) - 5 SP./1000 S.F. 35

Ex. Building 'D' = 3531 S.F. (Restaurant) - 48 Seats; 12 Employees

Ex. Building 'P' = 2851 S.F. (Restaurant) - 50 Seats; 7 Employees

(Includes 14 Handicap Spaces, 8 Required)

SOILS LEGEND

(From the Howard County Soil Survey, Map 2)

ChB2 Chester silt loam 3-8% slopes moderately eroded

(Standard Parking Spaces are 9' x 18')

Comus silt loam 3-8% slopes

Ice Cream Stand = 162 S.F. (Fast Food) - 14 SP/1000 S.F.

Prop.Building 'E' = 2618 S.F. (Bank) - 5 SP./1000 S.F.

TOTAL PARKING REQUIRED FOR ALL BUILDINGS

TOTAL PARKING PROVIDED

G1B2 Glenelg loam

G1C3 Glenelg loam

M1C3 Manor loam

Area of Submission/Limit of Disturbance - Bldg E. . . 0.41 Ac.

7.99 Ac.

(High's Store) - 2 SP./1000 S.F......

3-8% slopes moderately eroded

8-15% slopes severely eroded

8-15% slopes severely eroded

1 SP./4 Seats; 1 SP./2 Empl. 18

1 SP./3 Seats; 1 Sp./2 Empl. 21

254 P.S

4467/590 Plat 7170

1,36 Ac./7.99 Ac. = 17%

1.19 Ac./7.99 Ac. = 15%

SDP 94-22, SDP 97-161

Vacant Lot/Ex. Shopping Center

F 87-64, SDP 87-194, SDP 88-173,

04-0000-322649

Gross Site Area.....

Tax Account Number.....

Deed Reference.

Zoning ...

Exist. Use.

Proposed Use.

Councilmanic District.

Open Space Provided..

Building Coverage...

DPZ File References.

PARKING REQUIRED:

GENERAL NOTES

The contractor shall notify Miss Utility at (800-257-7777) at least 48

5. The contractor shall notify the engineer immediately if location of

All areas not being paved or receiving any building coverage shall be

All utilities installed under paving shall receive full trench compaction.

the latest edition of the Manual on Uniform Traffic Control Devices

17. Water is PRIVATE (well) and sewer is PRIVATE (septic field) The existing

of which 400 and can be used for the Bank in Proposed Building E.

19. Fire protection provided by an existing 40,000 gal. dry hydrant and

16.124 of the Howard County code and the Landscape Manual.

21. Financial security for the required 6 shade trees, 7 evergreen trees and 15 shrubs in the amount of \$3,300 is part of the builders grading

23. The subject property is zoned B2 per the comprehensive zoning plan.

25. All exterior lighting shall comply with Zoning Regulations, Section 134.

26. There are no known cemeteries or burlai grounds on this site, however upon discovery of any evidence of burial or graves, the Developer will

be subject to Section 16.1305 of the Howard County Subdivision and

30. There is no proposed dumpster proposed with this site development plan;

27. Traffic study prepared by Lee Cunningham & Assoc., Inc. completed June, 2000

24. Topography furnished by Survey Services, LLC May, 2000.

20. This plan has been prepared in accordance with the provisions of Section

22. This project is exempt from the requirements of Section 16.1200 of the Howard

December 31, 1992 and no existing forest is affected by this submittal.

County Code for forest conservation because the subdivision was approved prior

All plan dimensions are to face of curb unless otherwise noted. 15. For details of ramps and signs for the handicapped and aged and as

repaired immediately at the contractor's espense.

may interfere with proposed construction.

with the Howard County design regulrements. 13. All water lines shall have a minimum 4' cover.

ion and/or as shown on these plans.

hours prior to any excavation.

utilites is other than shown.

All slopes shall be 2:1 or flatter.

Conservation District.

gutter receiving fill areas.

shown hereon, see Sheet 1.

tank as shown on SDP 88-173.

permit application for Building E.

Land Development Regulations.

29. There is no floodplain on this site.

and approved with this site development plan.

28. There are no wetlands present on this site.

and elevation.

ADDRESS CHART PARCEL NO. STREET ADDRESS p/o Parcel 82-F Building E - 704 Lisbon Center Drive

SUBDIVISION NAME SECTION NAME Route 94 Business Center ZONE MAP ELECT. DIST. CENSUS TRAC PLAT # BLOCK # ZONE

APPROVED: Department of Planning and Zoning

Approved: For private water and private sewerage systems

Reviewed for the Howard Conservation District and meets technical

This development plan is approved for soil erosion and sediment

ES_CONSERVATION SERVICE

/2/27/00 DATE

PARCEL #

p/o Parcel 82-l

Howard County Health Department

requirements

24 WATER CODE N/A SEWER CODE N/A

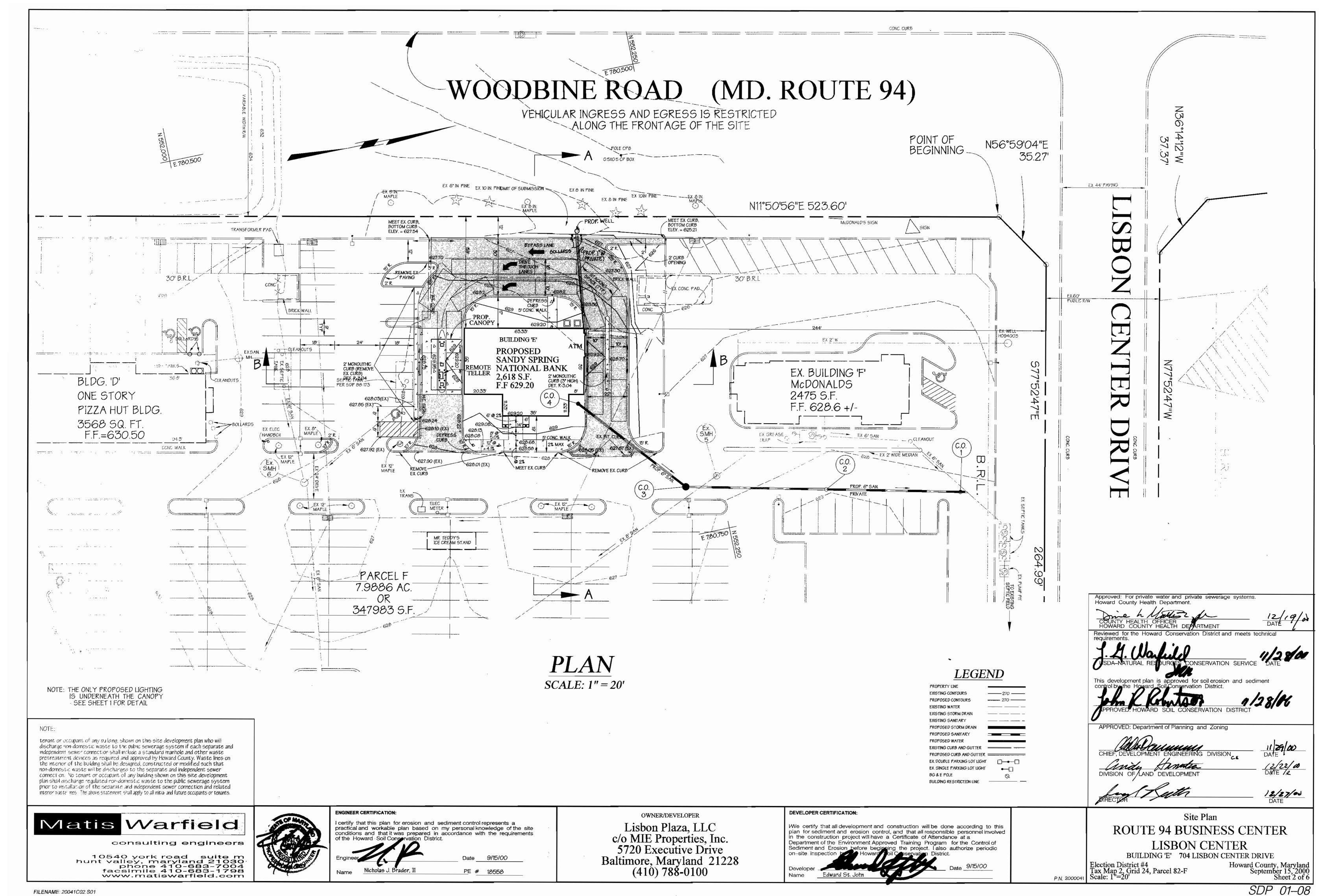
Gross Area Site Plan

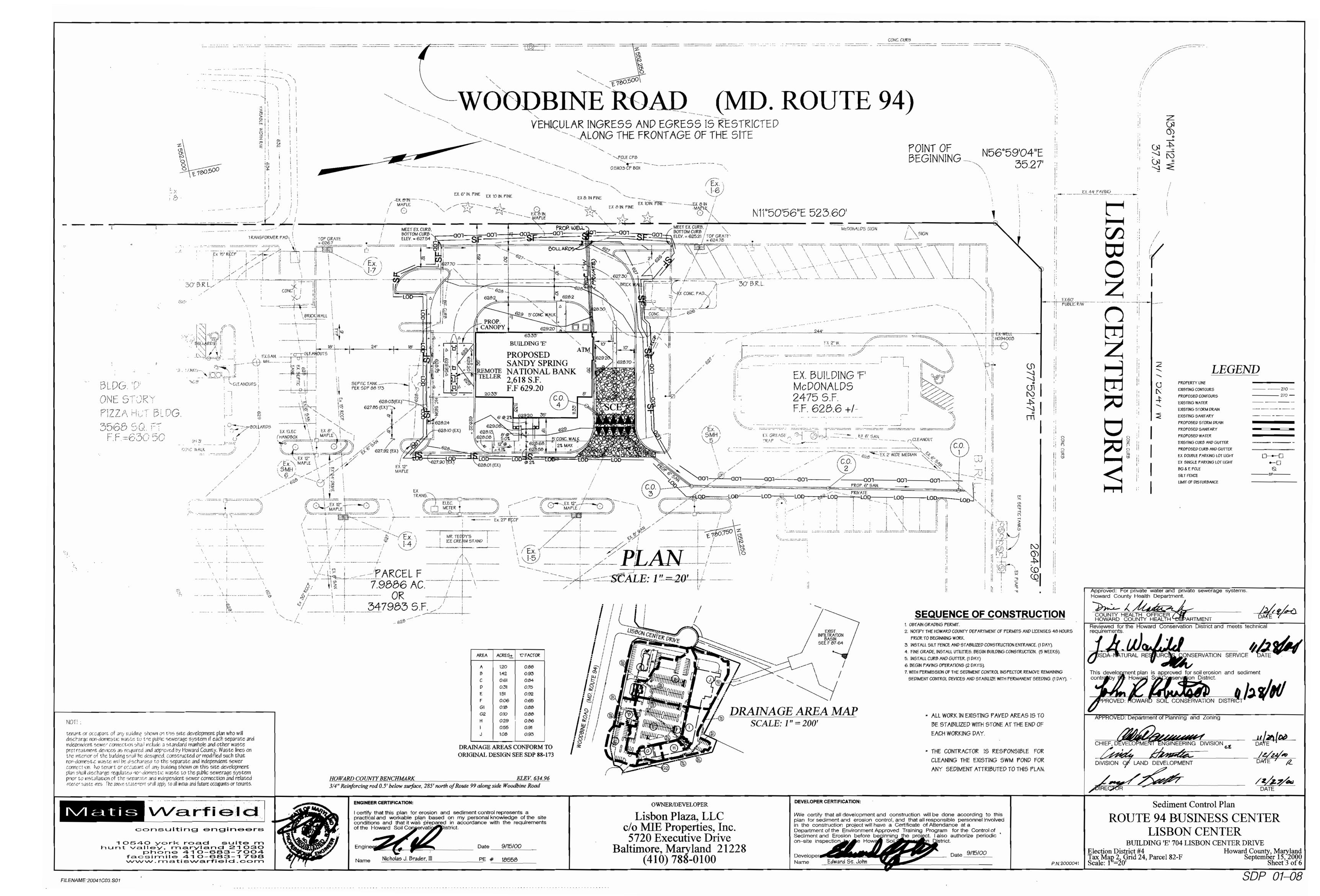
ROUTE 94 BUSINESS CENTER LISBON CENTER

BUILDING 'E' 704 LISBON CENTER DRIVE Election District #4
Tax Map 2, Grid 24, Parcel 82-F
Scale: As Shown

Howard County, Maryland September 15, 2000

FILENAME: 20041001.501





1 Refer to "1994 Maryland Standards and Specifications for Soll Erosion and Sediment Control" for standard details and detailed specifications of each practice specified herein 2 With the approval of the sediment control inspector minor field adjustments can and will be made to ensure the control of any sediment. Changes in sediment control practices require prior approval of

the sediment control inspector and the Baltimore County Soil Conservation District 3 At the end of each working day, all sediment control practices will be inspected and left in operational 4 Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be combleted within (a) seven calendar days as to the surface of all perimeter controls, dikes, swales, ditches,

perimeter slopes, and all slopes greater than three horizontal to one vertical (3:1), and (b) fourteen days as to all other disturbed or graded areas on the project site which will remain ide over fourteen days 5. Any change to the grading proposed on this plan requires re-submission to Baltimore County Soil Conservation District for approval 6. Dust control will be provided for all disturbed areas. Refer to 1994 Maryland Standards and Spec

ifications for Soil Frosion and Sediment Control" page H 30 1, for acceptable methods and specifications for dust control 7. Any variations from the sequence of operations stated on this plan requires the approval of the

sediment control inspector and the Baltimore County Soil Conservation District prior to the initiation of the change 8 Excess cut or borrow material shall go to, or come from, respectively, a site with an open grading

9 The following item may be used as applicable. Refer to "Maryland's Guidelines to Waterway Construction by the Water Resources Administration (WRA), dated January, 1986, for standard details and detailed specifications of each practice specified herein for waterway construction Section I - Vegetative Stabilization Methods and Materials

A. Site Preparation

I install crosion and sediment control structures (either temporary or permanent) such as diversions grade stabilization structures, berms, waterways, or sediment control basins II. Perform all grading operations at right angles to the slope Final grading and shaping is not usually necessary for temporary seeding ill Schedule required soil tosts to determine soil amendment composition and application rates for sites having disturbed area over 5 acres

B. Soil Amendments (Fertilizer and Lime Specifications)

I Soll tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 areas. Soll analysis may be performed by the University of Maryland or a recognized commercial laboratory Soil samples may be taken for engineering purposes may also be used for chemical analysis

Ill Fertillzers shall be uniform in composition, free flowing and sultable for accurate application by approved equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers shall all be delivered to the site fully labeled according to the applicable. state fortilizor laws and shall bear the name, trade name or trademark and warrantee of the

at least 50% total oxides (calcium oxide pais magnesium oxide). Linestone shall be ground to such fineness that at least 50% will pass through a #100 mesh sieve and 98 100% will pass through a #20 mesh sieve. ly. Incorporate lime and fertilizer into the top 3 b' of soil by disking or other suitable means.

til Lime materials shall be ground limestone (hydrated or burnt lime may be substituted) which contains

C. Seedbed Preparation

I Temporary Seeding a Seedbed preparation shall consist of loosening soil to a depth of sultable agricultural or construction equipment such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened it should not be roiled or dragged smooth but left in the roughened condition Sloped areas (greater than 3.1) should not be tracked leaving the surface in an is condition with ridges running parallel to the contour of the slope

c incorporate time and fertilizer into the top 3 5° of soil by disking or other suitable means Permanent Socialing

a Minimum soil conditions required for permanent vegetative establishment:

1. Soil off shall be between 6.0 and 7.0

b. Apply fertilizer and time as prescribed on the plans

2 Soluble salts shall be less than 500 parts per million (ppm) 3. The soil shall contain less than 40% clay but enough fine grained material (> 30% silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is if lovedrass or serecia lespectra is to be planted, then a sandy soil (30% sit; plus clay) would be acceptable.

4 Soil shall contain 15% minimum organic matter by weight

5 Soil must contain sufficient pore space to permit adequate root penetration

6 If these conditions cannot be met by solls on site, adding topsoil is required in accordance with Section 21 Standard and Specification for Topsoil b.Areas previously graded in conformance with the drawings shall be maintained in a true and even

grade, then scarified or otherwise loosened to a depth of 3°5° to permit bonding of the topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil from sliding down a slope. c Apply soll amendments as per soil test or as included on the plans

d Mix soil amendments into the top 3 5° of topsoli by disking or other sultable means. Lawn areas should be raked to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Where site conditions will not permit normal seedbed preparation, loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface. Steep slopes (steeper than 3:1) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope The top 1 3 of soil should be loose and friable cedbed loosening may not be necessary on newly disturbed areas

I. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing by a recognized seed laboratory. All seed used shall have been tested within the 6 months immediately preceding the date of sowing such material in this job

Il Inoculant. The moculant for treating legume seed in the seed mixture shall be a pure culture of nitrogen fixing bacteria prepared specifically for the species. Inoculants shall not be used later than the date indicated on the container Add fresh inoculant as directed on package. Use four times the recommended rate when hydrosceding NOTE It is very important to keep inoculant as cool as possible until used Temperatures above 75 80 degrees I can weaken bacteria and make inoculant less effective

NOTE: SEED TAGS SHALL BE MADE AVAILABLE TO THE INSPECTOR TO VERIFY TYPE AND RATE OF SEED USED.

Hydrosecding. Apply seed uniformly with hydrosecder (slurry includes seed and fertilizer), broadcast or

a If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following nitrogen, maximum of 100 bs per acre total soluble nitrogen, P205 (phosphorus): 200 lbs/ac, K20 (potassium) 200 lbs/ac b Lime - use only around aaricultural limestone. (Up to 3 tons der acre may be applied by hydroseedina)

Normally, not more than 2 tons are applied by hydroseeding at any one time. Oo not use burnt or hydrated lime when hydroseeding

c Seed and fortilizer shall be mixed on site and seeding shall be done immediately and without

If Dry Seeding: This includes use of conventional drop or broadcast spreaders a Seed spread dry shall be incorporated into the subsoil at the rates prescribed on the Temporary or or Permanent Seeding Summartes or Tables 25 or 26. The seeded area shall then be rolled with

a weighted roller to provide good seed to soil contact

b Where practical, seed should be applied in two directions perpendicular to each other. Apply half

III Drill or Cultipackor Seeding Mechanized seeders that apply and cover seed with soil

a. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting

b Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction F. Mulch Specifications (In order of preference)

 Straw shall consist of thoroughly throshed wheat, rye or oat straw, reasonably bright in color, and shall not be musty, moldy, caked, decayed or excessively dusty and shall be free of noxious weed seeds as specified in the Marviand Seed Law

I. Wood Cellulose Fiber Mulch (WCFM)

a. WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical state b. WCFM shall be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.

c. WCFM, including dye, shall contain no germination or growth inhibiting factors. d WCFM materials shall be manufactured and processed in such a manner that the wood cellulose fiber much will remain in uniform suspension in water under agitation and will bried with seed, fertilizer and other additives to form a homogeneous surry. The much material shall form a blotter-like ground. cover, on application, having moisture absorption and percolation properties and shall cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings

e WCFM material shall contain no elements or compounds at concentration levels that will be phyto-toxic. f. WCFM must conform to the following physical requirements: fiber length to approximately 10 mm., diameter approximately 1 mm., pH range of 4.0 to 8.5, ash content of 1.6% maximum and water holding capacity of 90% minimum

NOTE: ONLY STERILE STRAW MULCH SHOULD BE USED IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED. G. Mulching Seeded Areas - Mulch shall be applied to all seeded areas immediately after seeding. I. If grading is completed outside of the seeding season, mulch alone shall be applied as prescribed in

this section and maintained until the seeding season returns and seeding can be performed in accordance

II. When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre. Mulch shall be applied to a uniform loose depth of between 1° and 2°. Mulch applied shall achieve a uniform distribution and depth so that the soil surface is not exposed. If a mulch anchoring tool to be used, the rate should be increased to 2.5 tons/acre.

ill. Wood cellulose fiber used as a mulch shall be applied at a net dry weight of 1,500 lbs, per acr The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 b of wood cellulose fiber per 100 gallons of water.

H. Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediate following mulch application to minimize loss by wind or water. This may be done by one of the following methode(listed by preference), depending upon size of area and erosion hazard: A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of two (2) inches. This practice is most effective on large areas, but is limited to atter slopes where equipment can operate safely. If used on sloping land, this practice should be

il Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a net dry weight of 750 pounds/acre. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.

valleys and on the crests of banks. The remainder of area should appear uniform after binder application Synthetic binders - such as Acrylic DLR (Argo-Tack), DCA-70, Petroset, Terra Tax II, Terra Tack AR or other approved equal may be used at rates recommended by the manufacturer to anchor mulch.

ly. Elahtwelaht plastic netting may be stapled over mulch according to manufacturer's recomendation Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000 feet long.

Section II - Temporary Seeding

Vegetation - annual grass or grain used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetative cover, Permanent Seeding is required. Section III - Permanent Seeding

Seeding grass and legimes to establish ground cover for a minimum period of one year on disturbed

Section IV - Sod: To provide quick cover on disturbed areas (2:1 grade or flatter). A. General specifications

I. Class of turfgrass sod shall be Maryland or Yirginia State Certified or Approval. Sod labels shall be made available to the job foreman and inspecto

il. Sod shall be machine cut at a uniform soil thickness of 3/4", plus or minus 1/4", at the time of cutting. Measurement for thickness shall exclude top growth and thatch individual pieces of sod shall be cut to the suppliers width and length. Maximum allowable deviation from standard widths and lengths shall be 5 percent. Broken pads and torn or uneven ends will not be acceptable. III Standard size sections of sod shall be strong enough to support their own weight and retain their

eize and ehape when evepended vertically with a firm graep on the upper 10 percent of the eection ly. Sod shall not be harvested or transplanted when moisture content (excessively dry or wet) may y. Sod shall be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period shall be approved by an agronomist or soil selentist prior to its installation

l. During periods of excessively high temperature or in areas having dry subsoil, the subsoil shall be lightly irrigated immediately prior to laying the sod.

II. The first row of sod shall be laid in a straight line with subsequent rows placed parallel to and tightly wedged against each other. Lateral Joints shall be staggered to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight

III. Wherever possible, sod shall be laid with the long edges parallel to the contour and with staggering joints. Sod shall be rolled and tamped, pegged or otherwise secured to prevent slippage on slope and to ensure solld contact between sod roots and the underlying soil surface.

iy Sod shall be watered immediately following rolling or tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. The operations of laying, tamping and irrigating for any piece of sod shall be completed within eight hours.

i. In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain moist soil to a depth of 4". Watering should be done during the heat of the day to prevent wilting.

ii. After the first week, sod watering is required as necessary to maintain adequate moisture content. III. The first mowing of sod should not be attempted until the sod is firmly rooted. No more than 1/3 of the grass leaf shall be removed by the initial cutting or subsequent cuttings. Grass height shall be maintained between 2° and 3° unless otherwise specified.

was receive a measure to sign level of maintenance. Areas to receive seed shall be timed by disking or other approved methods to a depth of 2 to 4 inches, leveled and raked to prepare a proper seedbed. Stones and debris over 1 1/2 inches in diameter shall be removed. The resulting seedbed shall be in such ondition that future mowing of grasses will pose no difficulty

NOTE: Choose certified material Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line.

I. Kentucky Bluegrass - Fall sun mixture - For use in areas that receive intensive management, irrigation required in the areas of central Maryland and eastern shore. Recommended Certified Kenticky Bluegrass Cultivars Seeding Rate: 15 to 2.0 pounds/1000 square feet. A minimum of three bluegrass cultivars should be chosen ranging from a minimum of 10% to a maximum of 35% of the mixture by weight

II. Kentucky Błuegrass/Perenniai Rye - Full sun mixture - For use in full sun areas where rapid establish ment is necessary and when turf will receive medium to intensive management. Certified Pereinial Ryegrass Cultivars/ Certified Kentucky Bluegrass Seeding rate: 2 pounds mixture/1000 square feet. A minimum of 3 Kentucky Bluegrass Cultivars must be chosen, with each cultivar ranging from 500 to 300 feets and provided the control of 3 kentucky Bluegrass Cultivars must be chosen, with each cultivar ranging from 500 feets.

III. Tali Fescue/Kentucky Bluegrass Full sun mixture For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes; certified Tali Fescue Cultivars 95 - 100%, certified Kentucky Bluegrass Cultivars 0 - 5%. Seeding rate 5 to 8 b./1000 square feet. One or more cultivars may be blended.

lv. Kentucky Bluegrass/Fine Fescue - Shade Mixture - For use in areas with shade in Bluegrass lawns For establishment in high quality, intensively managed turf area. Mixture includes; certified Kentucky Bluggrass Cultivars 30 - 40% and certified Fine Fescue and 60 - 70%. Seeding rate: 11/2 - 3 lbs/i000 square feet. A minimum of 3 Kentucky bluggrass cultivars must be chosen, with each cultivar ranging from seeding rate 5 to 8b/i000 square feet. One or more cultivars may be blended.

Kentucky Buegrass/Fine Fescue - Shade Mixture - For use in areas with shade in Bluegrass lawns For establishment in high quality, intensively managed turf area. Mixture includes, certified Kentucky Bluegrass Cultivars 30-40% and certified Fine Fescue and 60-70%. Seeding rate: 11/2-3 by 1/000aguare feet. A minimum of 3 Kentucky bluegrass cultivars must be chosen, with each cultivar ranging from a minimum of 10% to a maximum of 35% of the mixture by weight.

NOTE: Turigrass varieties should be selected from those listed in the most current University o Maryland Publication, Agronomy Mikneo \$77, "Turigrass Cultivar Recommendations for Maryland"

B. Ideal times of seeding Western MD: March 15-June 1, August 1-October 1 (Hardiness Zones - 5b, 6a)

Central MD: March 1-May 15, August 15-October 15 (Hardiness Zones - 6b) Southern MD, Eastern Shore: March 1-May 15, August 15-October 15 (Hardiness Zones - 7a, 7b) C. Irrigation

If soil moisture is deficient, supply new seedings with adequate water for plant growth ($\frac{1}{2}$ ' - 1' every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.

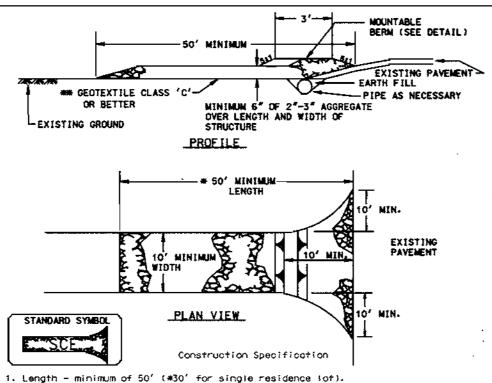
inspect all seeded areas for failures and make necessary repairs, replacements, and reseedings within

i. Once the vegetation is established, the site shall have 95% groundcover to be considered adequately II If the stand provides less than 40% ground coverage, reestablish following original lime, fertilizer, seedbed preparation and seeding recommenda

of the rates originally applied may be necessary iv. Maintenance fertilizer rates for permanent seedings are shown in Table 24. For lawns and other medium to high maintenance turfgrass areas, refer to the University of Maryland publication "Lawn Care in Maryland" Bulletin No. 171

ill, if the stand provides between 40% and 94% ground coverage, overseeding and fertilizing using half

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



Length - minimum of 50' (*30' for single residence (of).

residences to use geotextile.

5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a

6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving

B. Topsoff Specifications - Soil to be used as topsoff must meet the following:

Place soppoil (if required) and apply soil amendmento as opecified in 200 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

a git for topical shall be between 6.0 and 7.0. If the topical soil demonstrates a git of less than 6.0, sufficient lime shall be personated to value the left to 6.5 or higher.

Composted Studge Material for use as a soli conditioner for sheet having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall contour not the fold

c. Composted studge shall be applied at a rate of 1 con/1,000 square feet. Composted shalps shall be amended with a potassium fertilizer applied at the rate of 4 b/LOOD square feet, and i/5 the normal lime application rate.

LBSJAC. | 5/15 | 6/1 | 8/14 | 7/31 | 10/1 | 10/15 | 11/15 | TALL FESCUE (75%) CANADA BLUEGRASS (10%) KENTUCKY BLUEGRASS (10% REDTOP (5%) 76 | X | | ∣ x i KENTUCK BLUEGRASS (50%) 5b CREEPING RED FESCUE OR 6a A HARD FESCUE (40%) DRY TO DRY L TALL FESCUE (85%) PERENNIAL RYEGRASS (10%) KENTUCKY BLUEGRASS (5%) 6B | X | RED FESCUE OR CHEWINGS FESCUE (80%) PERENNIAL RYEGRASS (20%) TALL FESCUE (85%) OR 56 X PERENNIAL RYEGRÁSS (50%) 6a PLUS CROWNVETCH OR 6a X X WEEPING LOVEGRASS (17%) SERECIA LESPEDEZA (83%) TALL FESCUE (83% WEEPING LOVEGRASS (2%) 6a X X X SERECIA LESPEDEZA (15%)

MODERATELY

WET TO DRY

6a

5b

6b

56

66

Х

| X |

| X |

USDA

HARDINES

ZONES

SITE

CONDITIONS

HARDINESS ZONE

RECOMMENDED PLANTING DATES

3/1 - | 3/15 - | 5/16 - | 6/2 - | 8/1 - | 8/15 - | 8/15 -

Table 25 - Permanent Seeding for Low Maintenance Areas

RATE

L89./1000

SEED MIX

(USE CERTIFIED MATERIAL

IF AYAILABLE)

REFO CANARYGRASS (75%) REDTOP (6%) PLUS BIRDSFOOT TREEFOIL (19%)

Width - 10' minimum, should be flored at the existing road to provide a turning

Geotextile fightic (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family

4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.

mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.

the site must travel over the entire length of the stabilized construction entrance

Topsoil - Construction and Material Specifications

Topsoil shall be form, sandy loam, clay loam, sits loam, sandy clay loam, loanly sand. Other solls may be used if recommended by an agronomist or soil scientists and approved by the appropriate approval astrontry. Regardies, topsoil shall not be a mixture of contrasting between displaced and shall contrast less than 55 by volume of Calders, stongs, siag, coars fragments, gravel, stake, roots, trash, or other materials larger than 112° and diameter.

II. For sites having disturbed areas under 5 acres:

M. For sites having disturbed areas over 5 acres: On soit meeting Topsoit specifications, obtain test results dictating fertilizer and inno amondments required to bring the soil into compliance with the following:

b. Organic content of soppoil shall be be not less than 15 percent by weight. c. Toposi having solicite salt content greater than 500 parts per million shall not be used

Note: Topsoli substitutes or amenàments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topso ii. Place topooli (if required) and apply soil amendmento as specified in 20.0 Vegetative Stabilization - Section I. Vegetative Stabilization Methods and Materials.

V. Topsoll Application When topooling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilizations Structures, Earth Dites, Slope Sitt Fence, and Sediment Traps and Basins

Grades on the areas to be topsolied, which have been proviously established, shall be maintained, about 4°. 8° higher in deviation.

Topodi shall not be glaced while the topodi or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to prope VI. Alternative for Permanent Seeding Instead of applying the full amounts of lime and commercit fertilizer, composted studge and ammendments may be applied as specified below;

B. USED IN MEDIAN AREAS BY SHA. SHADE TOLERANT.

POA TRIVIALIS (7%)

TALL FESCUE (80%

HARD FESCUE (20%)

HARD FESCUE (100%)

BIRDSFOOT TREEFOIL (7%)

A USED BY SHA ON SLOPED AREAS. ADD A LEGUME FOR SLOPES > THAN 3:1.

C. POPULAR MIX - PRODUCES PERMANENT GROUNDCOVER QUICKLY, BLUEGRASS THICKENS STAND. D. BEST USE ON SHADY SLOPES NOT ON POORLY DRAINED CLAYS. E. USE ON LOW MAINTENANCE, STEEP SLOPES. USE TALL FESCUE IN DRAUGHTY CONDITIONS. CROWN YETCH BEST FOR 56, 6a, 6b

G. WEEPING LOYEGRASS MAY BE SEEDED WITH TALL PESCUE IN MID-SUMMER, SERECIA LESPEDEZA IS BEST SUITED FOR ZONES 74 AND 76. H. USE ON POORLY DRAINED SOILS - DITCHES OR WATERWAYS. BIRDSFOOT TREEFOILS BEST FOR ZONES 56, 6a, ABOYE 2,000 FEET. I. USE IN AREAS OF MOIST SHAPE, POA TRIVIALIS THRIVES IN WET SHAPY AREAS.

Table 26 - Temporary Seeding Rates, Depths, and Dates HARDINESS ZONE 7a and 7b INCHES 2/1 - 5/1 - 8/15 - 3/1 - 5/1 - 8/15 - 3/15 - 6/1 - 8/1 4/30 8/14 11/30 4/30 8/14 11/15 5/31 7/31 10/31 PER ACRE CHOOSE ONE BARLEY 3 B.U. (96 bs.) OATS 221 25 BH (140 ba) 3.22 BARLEY OR RYE PLUS 150 bs. FOXTAIL MILLE WEEPING .09 | x | LOYEGRASS

> TEMPORARY SEEDING RATES FERTILIZER RATE (10-10-10) 2 TONS/AC 600 LB/AC (100LB/1000 S.F.)

50 lbs. | 1.15 | 1/2 | X |

(15 LB/1000 S.F.)

24.0 MATERIALS SPECIFICATIONS Table 27 Geotextile Fabrics

| CLASS | APPARENT OPENING SIZE MM. MAX. | GRAB TENSILE STRENGTH LB. MIN. | BURST STRENGTH PSI. MIN. |
|----------------|--------------------------------------|--------------------------------------|-----------------------------|
| Α | 0.30 ** | 250 | 500 |
| В | 0.60 | 200 | 320 |
| С | 0.30 | 200 | 320 |
| D | 0.60 | 90 | 145 |
| E | 0.30 | 90 | 145 |
| F (SILT FENCE) | 0.40-0.80* | 90 | 190 |

* US Std. Sieve CW-02215 ** 0.50 MM. MAX. FOR SUPER SILT FENCE

The properties shall be determined in accordance with the following procedures:

Apparent opening size MSMT 323

ANNUAL

RYEGRASS

ASTM D 1682: 4 x 8" specimen, 1x2" clamps, 12" /min. strain rate in both -Grab tensile strenath

principal directions of geotextile fabric.

ASTM D 3786 -Burst strength

The fabric shall be inert to commonly encountered chemicals and hydrocarbons, and will be rot and mildew resistant. It shall be manufactured from fibers consisting of long chain synthetic polymers, and composed of a minimum of 85% by weight of polyolephins, polyesters, or polymides. The geotextile fabric shall resist deterioration from ultraviolet exposure.

In addition, Classes A through E shall have a 0.01 cm./sec. minimum permeability when tested in accordance with MSMT 507, and an apparent minimum elongation of 20 percent (20%) when tested in accordance with the grab tensile strength requirements listed above.

Class F geotextile fabrics for silt fence have a 50 lb./in. minimum tensile strength and a 20 lb./in. minimum tensile modules when tested in accordance with MSMT 509. The material shall also have a 0.3 gal./ft.2/min. flow rate and seventy-five percent (75%) minimum filtering efficiency when tested in accordance with MSMT 322.

Geotextile fabrics used in the construction of silt fence shall resist deterioration from ultraviolet exposure The fabric shall contain sufficient amounts of ultraviolet ray inhibitors and stabilizers to provide a minimum of 12 months of expected usable construction life at a temperature range of 0 to 120 degrees F

Sediment Control Notes 1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES

AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855). 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL." AND REVISIONS THERETO.

3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED

A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1 B) 14 DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED, AND

WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1. CHAPTER 7. OF THE "HOWARD COUNTY DESIGN. MANUAL, STORM DRAINAGE". 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994" MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDING, SOD. TEMPORARY SEEDING AND MULCHING (SEC G). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER

THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR 7. SITE ANALYSIS: TOTAL AREA OF SITE: 7.99 ACRES AREA DISTURBED: 0.41 ACRES

AREA TO BE ROOFED OR PAVED: 0.32 ACRES

GERMINATION AND ESTABLISHMENT OF GRASSES.

6 ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION

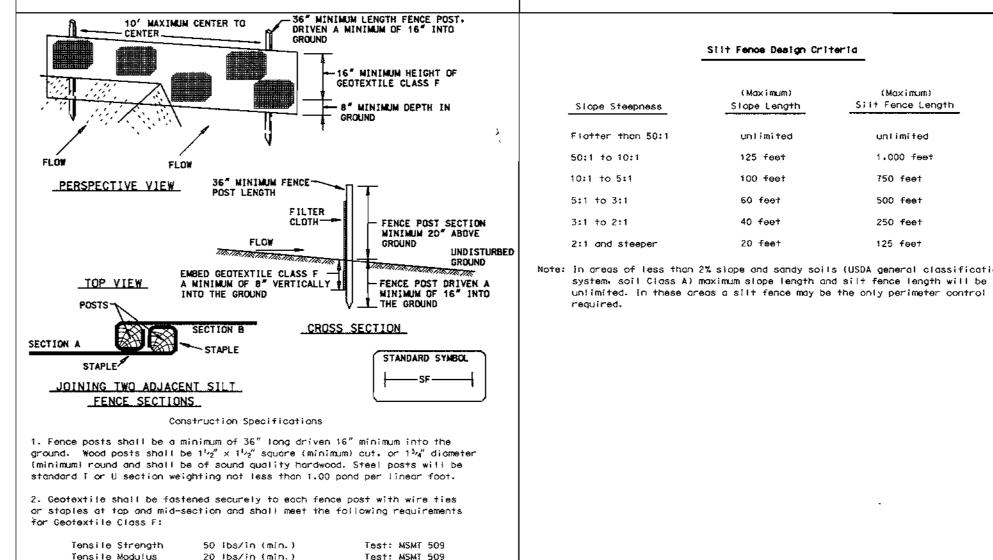
UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM

AREA TO BE VEGETATIVELY STABILIZED: 0.09 ACRES TOTAL CUT: 100 C.Y. OFFSITE WASTE/BORROW AREA LOCATION: EXCESS OUT SHALL BE TAKEN TO A SITE WITH AN APPROVED SEDIMENT CONTROL PLAN. 8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE

9. ADDITIONAL SEDIMENT CONTROLS MUSIC BE PROVIDED JE

DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR. 10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS

11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.



0.3 gol ft*/ minute (max.) Test: MSMT 322

DEVELOPER CERTIFICATION:

Stit Fence Design Criteria (Maximum) (Maximum) Silf Fence Length Slope Length Slope Steepnes Flotter than 50: unlimited unlimited 1.000 feet 50:1 to 10:1 125 feet 10:1 to 5:1 100 feet 750 feet 5:1 to 3:1 500 feet 3:1 to 2:1 40 fee 250 feet 2:1 and steeper 125 feet Note: In areas of less than 2% stope and sandy soils (USDA general classification

SILT FENCE

Approved: For private water and private sewerage systems Howard County Health Department. Reviewed for the Howard Conservation District and meets technical requirement **ONSERVATION SERVICE** APPROVED: Department of Planning and Zoning 12/22/co DATE R DIVISION OF/LAND DEVELOPMENT 12/27/00

Matis Warfield

consulting engineers 10540 york road suite m hunt valley, maryland 21030 phone 410-683-7004 facsimile 410-683-1798 www.matiswarfield.com



ENGINEER CERTIFICATION:

certify that this plan for erosion and sediment control represents a oractical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District

9/15/00 Nicholas J. Brader, I PE # 18558

Lisbon Plaza, LLC c/o MIE Properties, Inc. 5720 Executive Drive Baltimore, Maryland 21228 (410) 788-0100

OWNER/DEVELOPER

Test: MSMT 322

We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved n the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of laiso authorize periodic Date _9/15/00

U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONMENT U.S. DEPARTMENT OF AGRICULTURE PAGE WARYLAND DEPARTMENT OF ENVIRONMENT SOIL CONSERVATION SERVICE E - 15 - SA VATER MANAGEMENT ADMINISTRATION

Sediment Control Notes & Details **ROUTE 94 BUSINESS CENTER** LISBON CENTER

BUILDING 'E' 704 LISBON CENTER DRIVE Election District #4
Tax Map 2, Grid 24, Parcel 82-F
Scale: 1"=20'

Howard County, Maryland September 15, 2000 Sheet 4 of 6

FILENAME: 20041C04.S01

Flow Rate

Filtering Efficiency 75% (min.)

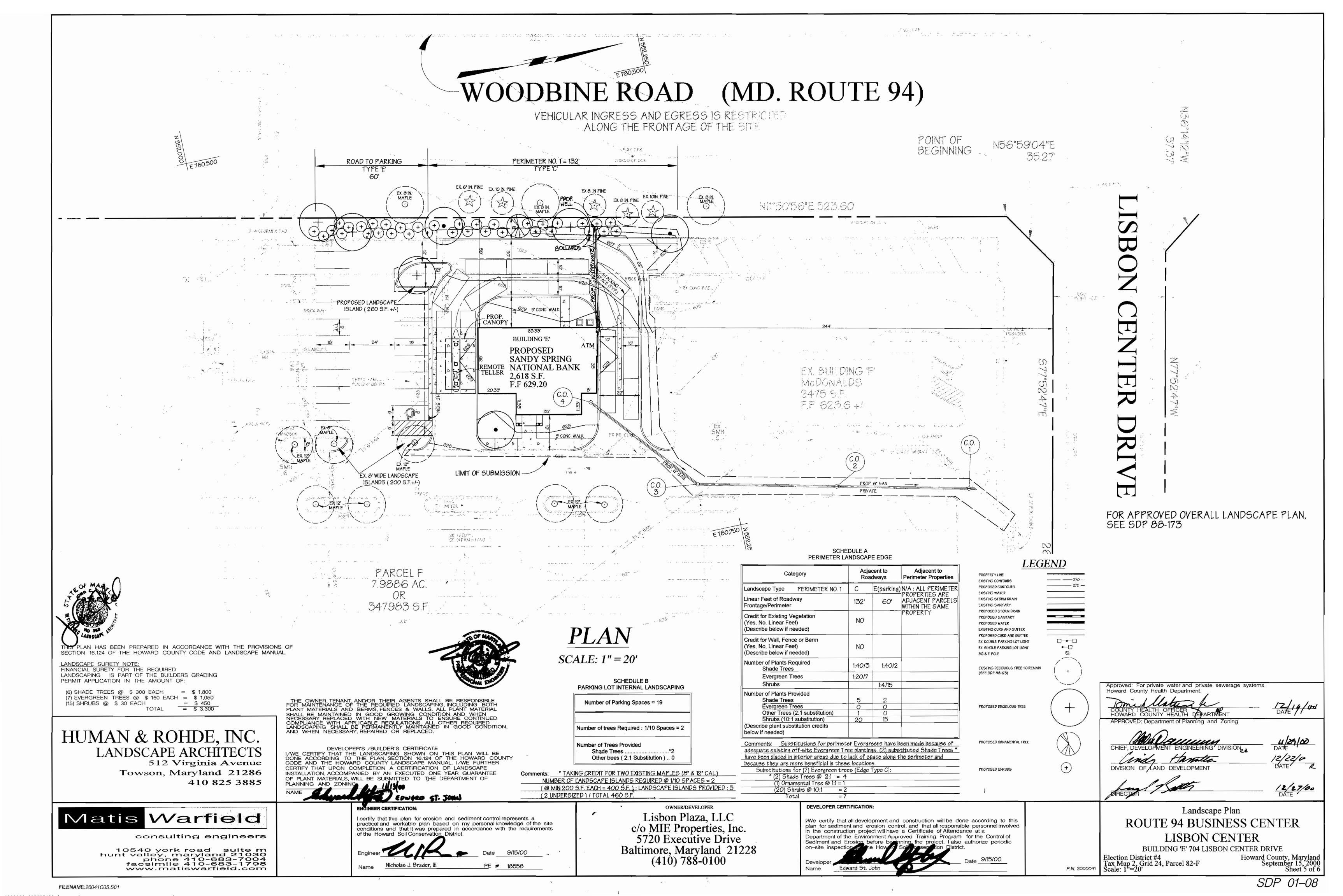
folded and stapled to prevent sediment bypass.

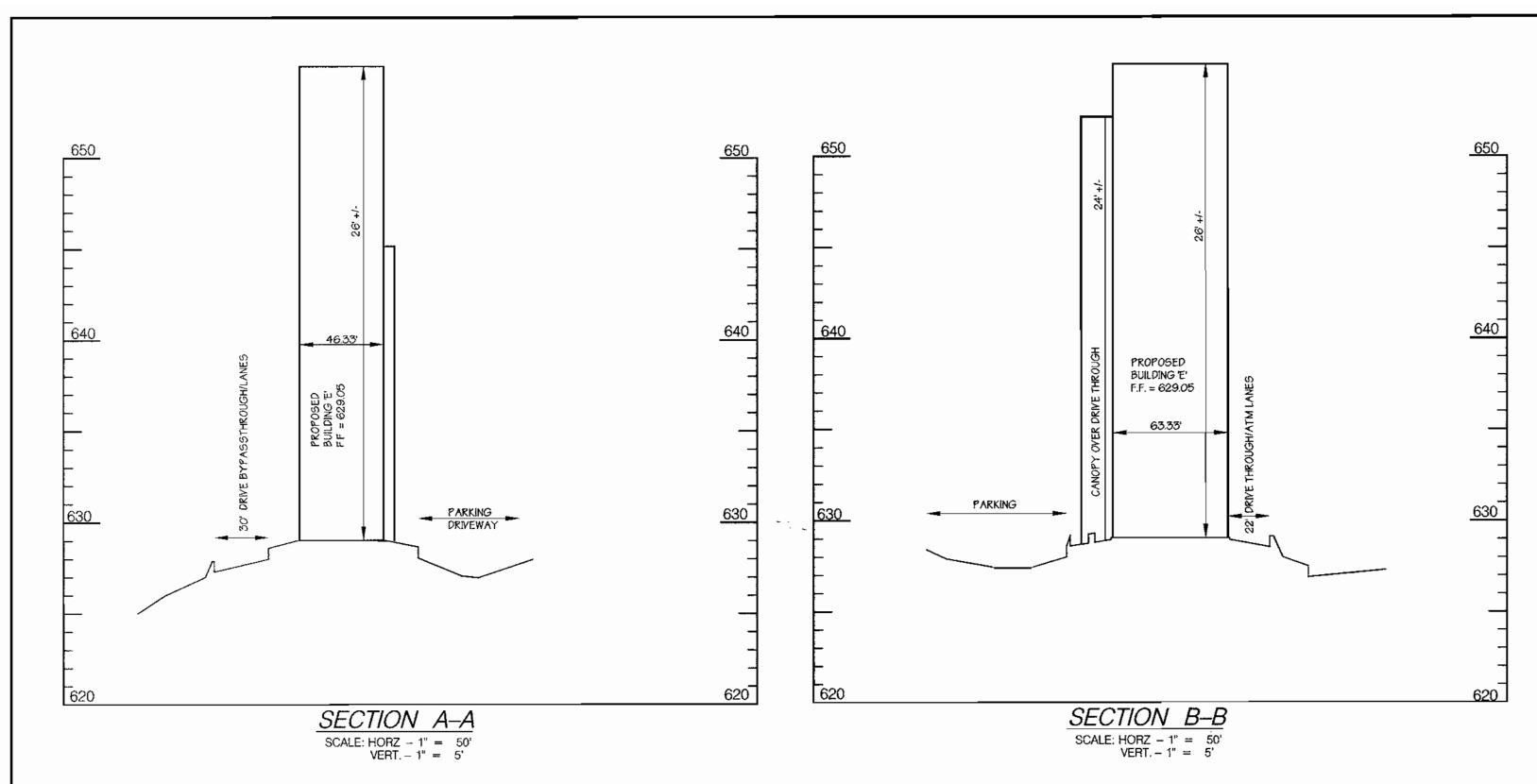
3. Where ends of geotextile fabric come together, they shall be overlapped,

bulges occur or when sediment accumulation reached 50% of the fabric height.

4. Silt Fence shall be inspected after each rainfall event and maintained when

J. TALL FESCUE MAY BE SEEDED ALONE. THE HARD FESCUE PROVIDES BETTER SHADE TOLERANCE AND PRODUCES A BETTER STAND K. LOW FERTILITY GRASS, REQUIRES INFREQUENT MOWING, GOOD COMPANION FOR WILDFLOWERS. PERMANENT SEEDING RATES LIME RATE FERTILIZER RATE (10-20-20) P205 90LB/AC 175 LB/AC 175 LB/AC 2 TONS/AC (2.0 LB/1000 S.F.) (4.0 LB/1000 S.F.) (4.0 LB/1000 S.F.) (100 LB/1000 S.F.) FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES THE RATES SHOWN ABOVE FOR PERMANENT SEEDING SHALL BE DELETED AND THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY SHALL BE USED, SOIL TESTING SHALL BE PERFORMED AT THE TIME OF FINE GRADING AND THE RESULTS SHALL BE FURNISHED TO THE SEDIMENT CONTROL INSPECTOR. DETAIL 22 - SILT FENCE





HO CO DETAIL S 3.21

MAIN LINE CLEAN OUT

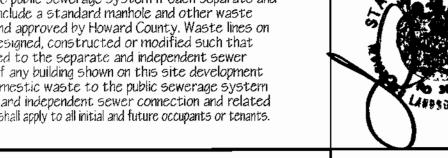
AND THE DESCRIPTION

CO.D. HO. CO. DETAIL S 3.21

MAIN LINE CLEAN OUT

TOP IN SIELD 6232 4 630 PROP. BLDG. E F.F. - 629.20 - PROP GRADE EX GROUND ~ INV EX. 8' SAN. 623.82 (UNUSED LINE-620 REMOVE AND PLUG LINE IF CONFLICT) PROP 6" SAN PROP. 6" SAN. PROP. 6" SAN. @ 0.80% **@** 0.80% @ 0.80% SANITARY SEWER PROFILE

tenant or occupant, of any building, shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.



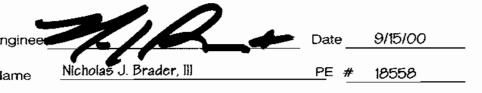


10540 york road suite m hunt valley, maryland 21030 phone 410-683-7004 facsimile 410-683-1798 www.matiswarfield.com



ENGINEER CERTIFICATION:

certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements



OWNER/DEVELOPER

PLANTING NOTES

PLANT STANDARDS

PLANT LOCATIONS SHALL BE FIELD ADJUSTED TO AVOID UTILITIES. CONTRACTOR IS

RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO START OF WORK. ALL TREES AND

SHRUBS SHALL BE MULCHED TO A MINIMUM OF 18" BEYOND THE EDGE OF THE ROOT

BALL. SHRUBS MASSES SHALL BE PLANTED IN CONTINUOUS MULCH BEDS. ALL WIRE, PLASTIC AND TWINE TIES SHALL BE REMOYED FROM TOP OF THE ROOT BALL.

ALL NURSERY STOCK SHALL BE TOP QUALITY AND IN ACCORDANCE WITH THE AMERICAN

ASSOCIATION OF NURSERYMEN, INC., "AMERICAN STANDARDS FOR NURSERY STOCK". LATEST EDITION. INFERIOR NURSERY STOCK WILL BE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT. BARE-ROOT SHALL NOT BE ALLOWED FOR ANY TREE DEFINED

PLANT TYPES (DECIDUOUS TREES, EVERGREEN, ETC.), QUANTITIES, SPACING,

OF THE INSTALLED PLANTING. OWNER IS REQUIRED TO ARRANGE AND PAY FOR

LANDSCAPE SPECIFICATION SHALL CONFORM TO LCA LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREA, INCLUDING PLANTING PROCEDURES AND SOIL PREPARATION FOR SHRUBS AND PERENNIAL BEDS. A ONE-YEAR WARRANTY PERIOD SHALL BE REQUIRED. MAINTENANCE REQUIRED TO

HONOR THE ONE YEAR WARRANTY SHALL BE PERFORMED AS PART OF THIS CONTRACT

CONTRACTOR IS ENCOURAGED TO PERFORM SOIL TESTING. TEST RESULTS SHALL BE

SUBMITTED 30 DAYS BEFORE PLANTING. FAILURE TO PERFORM TESTING WILL NOT VOID

CONTRACTOR SHALL REVIEW AND TEST SUBSOIL DRAINAGE CHARACTERISTICS 30 DAYS

NO EXCEPTIONS TO THE GUARANTEE PROVISIONS ARE ALLOWED UNLESS AGREED TO IN

2.) "FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART

1.) "THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD

SPECIAL PROVISIONS TO LCA STANDARD SPECIFICATIONS

PRIOR TO PLANTING AND NOTIFY THE OWNER OF UNACCEPTABLE CONDITIONS.

OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNTY OF \$..."

COUNTY CODE AND THE LANDSCAPE MANUAL."

LOCATION, AND SPECIES SHOWN ON THE APPROVED LANDSCAPE PLAN ARE BASED ON

REQUIREMENTS STATED IN THE LATEST HOWARD COUNTY LANDSCAPE MANUAL. ANY

CHANGE IN THESE ITEMS MAY AFFECT THE REQUIRED APPROVAL AND CERTIFICATION

AS MAJOR DECIDUOUS, MINOR DECIDUOUS OR EVERGREEN

CERTIFICATION BY LANDSCAPE ARCHITECT.

LANDSCAPE SPECIFICATIONS

GUARANTEE PROVISIONS.

CHANGES MAY IMPACT REQUIRED CERTIFICATION

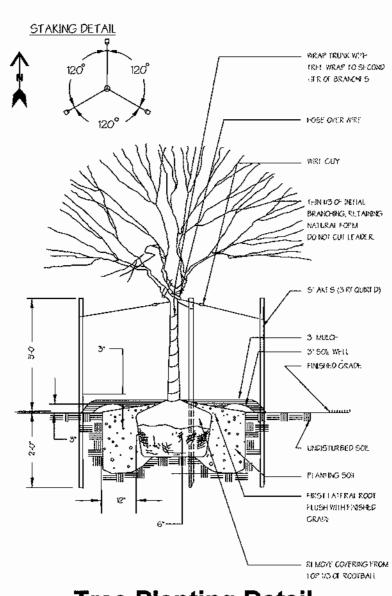
Route 94 Limited Partnership c/o MIE Properties, Inc.
5720 Executive Drive
Baltimore, Maryland 21228
(410) 788-0100

DEVELOPER CERTIFICATION:

We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved Program for the Control of also authorize periodic

THIN DECIDUOUS 1/3 OF INITIAL BRANCHING, RETAINING NATURAL FINISHED GRADE FLUSH WITH FINISHED GRADE REMOVE COVERING FROM 10P 1/3 OF

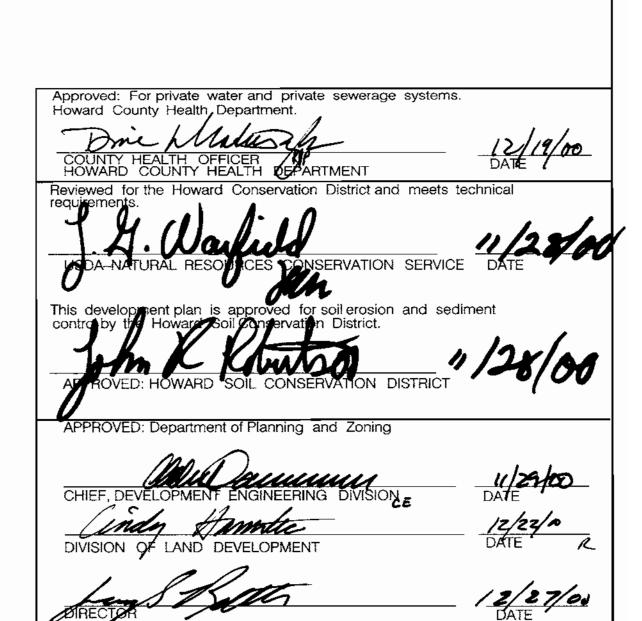
Shrub Planting Detail
NOT TO SCALE



Tree Planting Detail

Planting Schedule

KEY QUANTITY BOTANICAL NAME/COMMON NAME SIZE & CONDITION / SPACING <u>REMARKS</u> Acer rubrum 'Red Sunset'/Red Sunset Maple 2 1/2 - 3" Cal./ B&B / As Shown Full Crown 2 1/2 - 3" Cal./ B&B / As Shown Full Crown Quercus rubrum/Northern Red Oak 2 - 2-1/2" Cal./ B&B / As Shown Full Heavy Specimen Malus zumi 'Calocarpa/ Zumi Crab 2 1/2 - 3' Ht. Cal./ B&B / 6' O.C. staggered 24-30" HT. CONTAINER (+) 35 Viburnum plicatum tomentosum 'Summer Snowflake'



Profiles & Details

ROUTE 94 BUSINESS CENTER

LISBON CENTER

BUILDING 'E' 704 LISBON CENTER DRIVE

Election District #4
Tax Map 2, Grid 24, Parcel 82-F
Scale: As Shown

FILENAME: 20041C06.S01

Howard County, Maryland September 15, 2000 Sheet 6 of 6