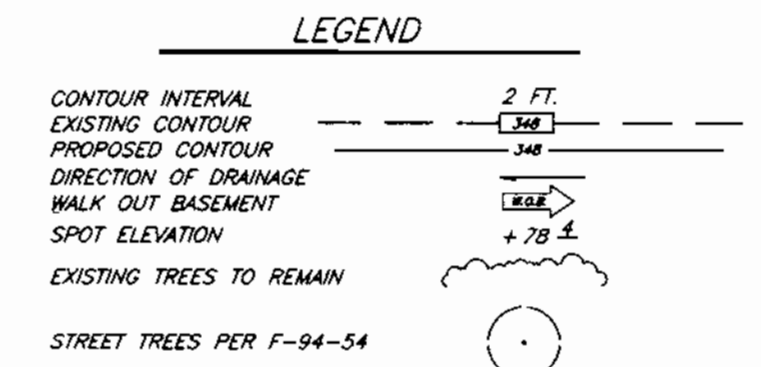
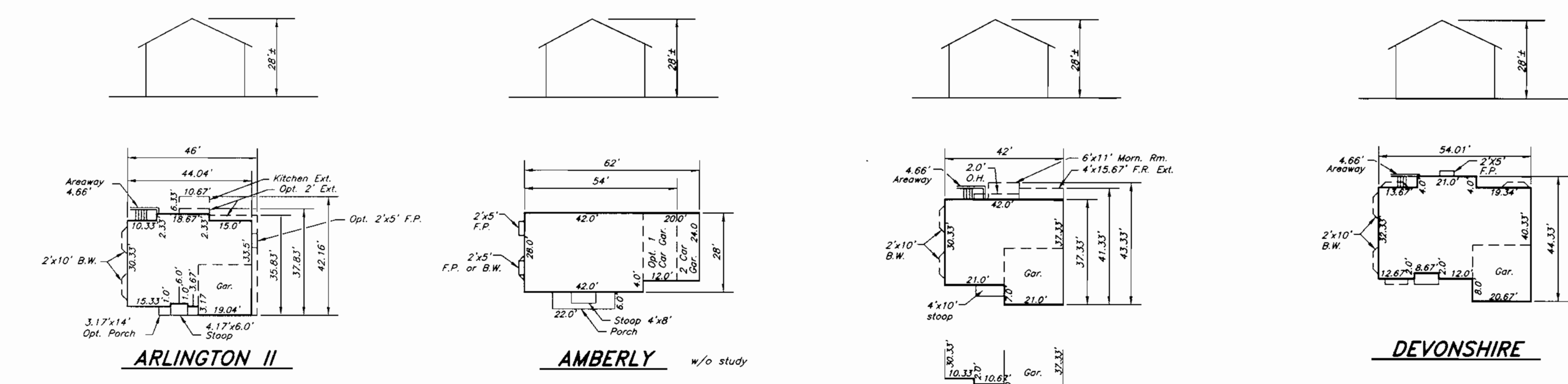
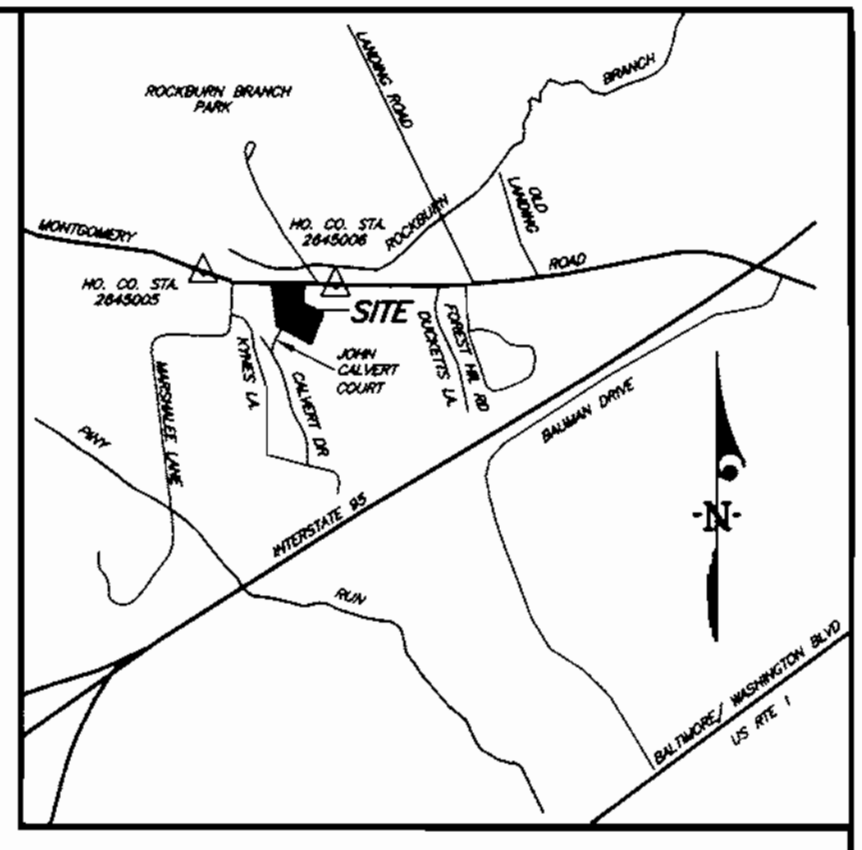


ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
39	7111 John Calvert Court
40	7109 John Calvert Court
41	7107 John Calvert Court
36	7120 John Calvert Court

MINIMUM LOT SIZE CHART			
LOT NO.	GROSS AREA	PIPESTEM AREA	MINIMUM LOT SIZE
39	17,786 sf	1,746 sf	16,040 sf
40	16,955 sf	861 sf	16,094 sf



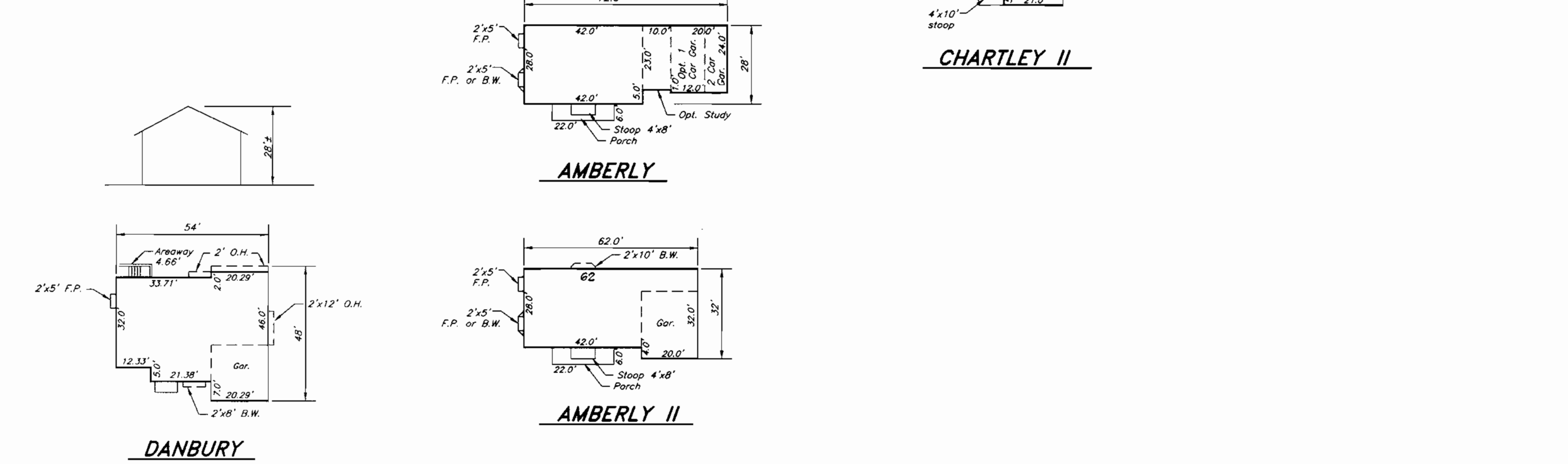
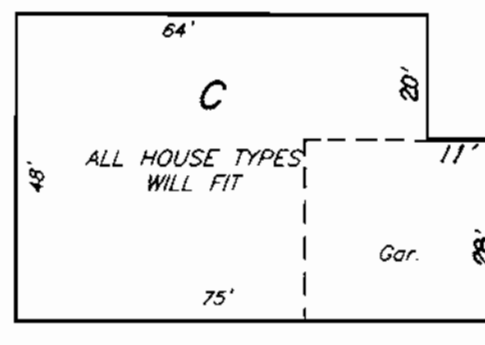
BENCHMARKS:
 Howard County Station: 2645005
 Howard County Station 2645006



A
 CHARTLEY II
 ARLINGTON II
 AMBERLY w/o study
 DEVONSHIRE
 DARTMOUTH w/o 3 car
 or 3' F.R. ext.
 ASHTON
 FILMORE
 HAMPTON w/o 3 car

SHEET INDEX	
DESCRIPTION	SHEET NO.
SITE DEVELOPMENT PLAN	1 and 2
SEDIMENT & EROSION CONTROL PLAN	3 and 4

B
 CHARTLEY II
 ARLINGTON II
 AMBERLY w/o study
 DEVONSHIRE
 DARTMOUTH w/o 3 car
 ASHTON
 FILMORE
 HAMPTON w/o 3 car



GENERAL NOTES:

- Subject property is zoned: R-20 per the 10-18-93 Comprehensive Zoning Plan.
- The total area included in this submission is: 1.53 Acres.
- The total number of lots included in this submission is: 4
- Improvement to property: Single Family Detached
- Department of Planning and Zoning reference file numbers: F-94-54, S-89-56, P-89-78, WP-92-148, WP-98-83, F-98-132, F-98-168
- Utilities shown as existing are taken from approved Water and Sewer plans Contract #14-3120-D, approved Road Construction plans F-94-54, and actual field survey.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- All roadways are public and existing.
- The existing topography was taken from Field run topo prepared by Gutschick, Little and Weber P.A. on 10/25/90.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 2645005 and 2645006.
- The contractor shall notify the Department of Public Works/Division of Construction inspection at (410) 313-1880 at least twenty-four (24) hours prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
- In accordance with Section 12B of the Howard County Supplementary Zoning District Regulations, bay windows or chimneys not more than 16 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 10 feet into the front or rear setbacks.
- Stormwater Management is provided per: F-94-54
- SHC Elevations shown are at the Property lines.
- Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - Width- 12 feet (14 feet serving more than one residence).
 - Surface- 6 inches of compacted crusher run base with tar and chip coating.
 - Geometry- Maximum 15% grade, maximum 10% grade change and minimum of 45-foot turning radius.
 - Structures (culvert/bridges)- Capable of supporting 25 gross tons (H25 loading).
 - Drainage elements- Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - Structure clearances- minimum 12 feet.
 - Maintenance- Sufficient to insure all weather use.
- Noise analysis was not required for the existing house on lot 35; however, any future subdivision of the lot will require a noise study per the Dept. of Public Works requirements.
- The Forest Conservation Easement has been established to fulfill the requirements of Section 16.1200 of the Howard County Code, Forest Conservation Act. No clearing, grading or construction is permitted within the Forest Conservation Easement; however Forest Management practices as defined in the deed of Forest Conservation Easement are allowed.
- Lot 36 Calvert Ridge Plat No. 13160, F-98-132 is a resubdivision of Lots 1 and 2 Calvert Ridge Plat No. 11886, F-94-54.

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-94-54 and/or approved Water and Sewer Plans Contract #14-3120-D

OWNER / DEVELOPER
 CORNERSTONE HOMES, INC.
 9691 NORFOLK AVENUE
 LAUREL, MARYLAND 20723

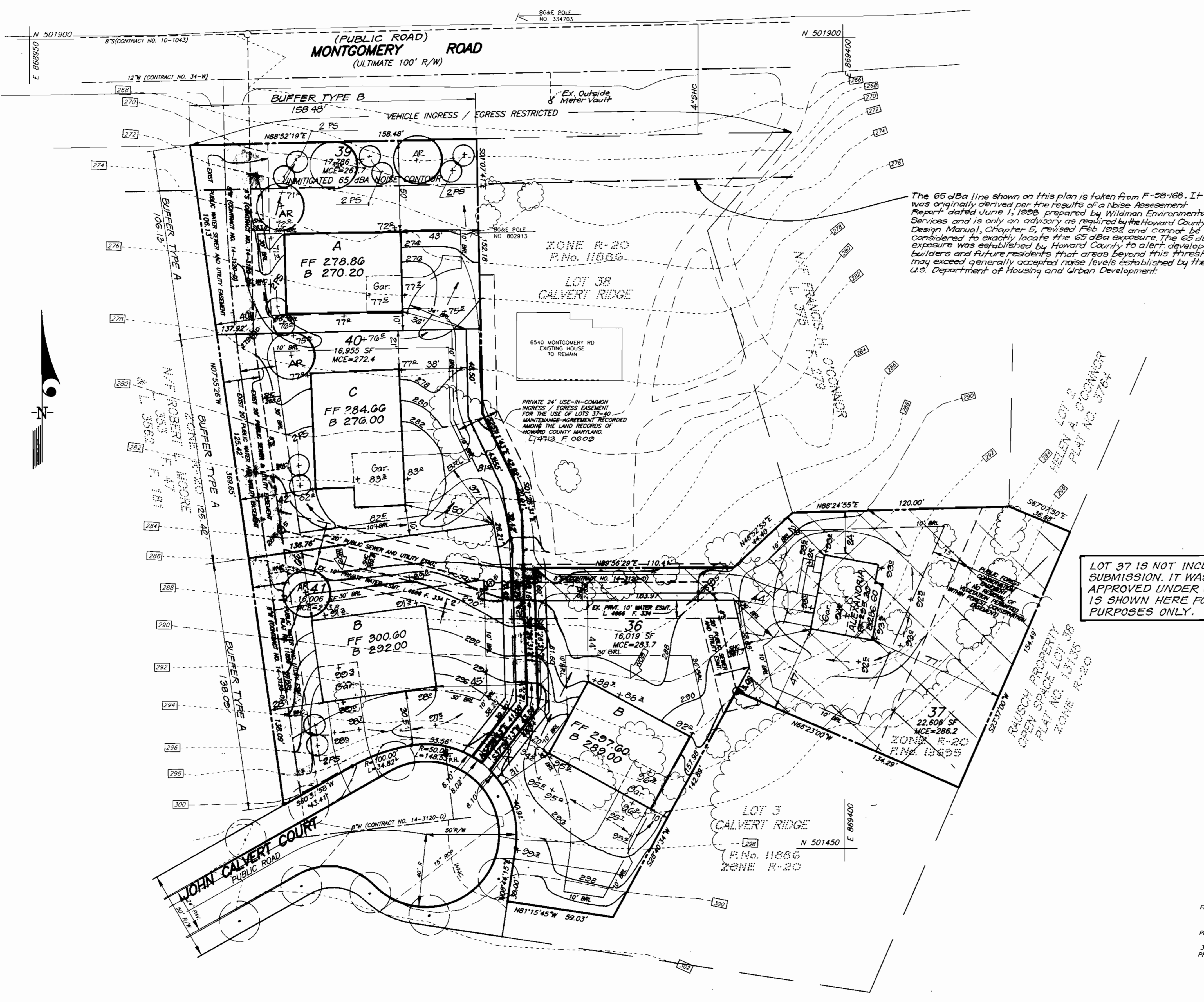
SUBDIVISION NAME		SECTION/AREA	LOTS/PARCELS		OAK PLACE LOTS
CALVERT RIDGE			39-41 & CALVERT RIDGE LOT 36		
PLAT NO.	BLOCK NO.	ZONE	TAX MAP NO.	ELECTION DIST.	CENSUS TRACT
13160	13625	6	R-20	37	1st 6011
WATER CODE			SEWER CODE		
I-10			6653000		

CLARK · FINEFROCK & SACKETT, INC.
 ENGINEERS · PLANNERS · SURVEYORS
 7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.

DESIGNED	JME	SCALE	As Shown
DRAWN	ZAH/LAI	COVER SHEET LOTS 39-41 & CALVERT RIDGE LOT 36 OAK PLACE TAX MAP 37, GRID 11, P/O P.94 FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
CHECKED	JME		
DATE	7-14-00	FOR: CORNERSTONE HOMES, INC. 9691 NORFOLK AVENUE LAUREL, MARYLAND 20723	FILE NO. 00-089-X

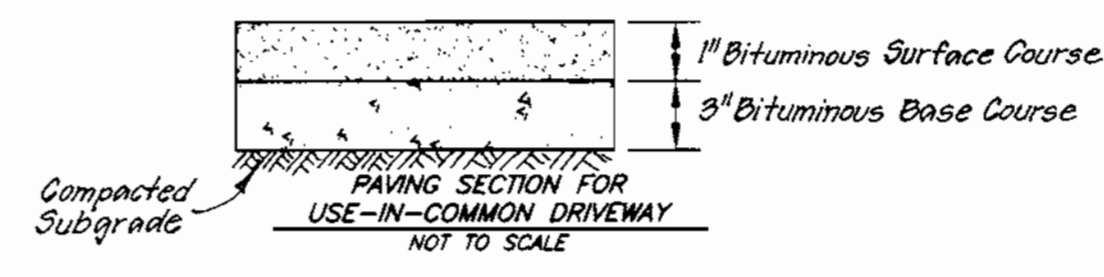


APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature] 10/11/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 10/13/00
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 10/13/00
 DIRECTOR



USE-IN-COMMON DRIVE PAVING NOTES

18. Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - a) Width- 12 feet (14 feet serving more than one residence).
 - b) See detail this sheet.
 - c) Geometry-Maximum 15% grade, maximum 10% grade change and minimum of 45-foot turning radius.
 - d) Structures (culvert/bridges)-Capable of supporting 25 gross tons (H25 loading).
 - e) Drainage elements-Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - f) Structure clearances-minimum 12 feet.
 - g) Maintenance-Sufficient to insure all weather use.



BONDING NOTE:
 THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
 FINANCIAL SURETY FOR THE TREES IN SCHEDULE A IN THE AMOUNT OF \$3,300.00 SHALL BE PART OF THE DEVELOPER'S AGREEMENT.

The 65 dBA line shown on this plan is taken from F-98-168. It was originally derived per the results of a Noise Assessment Report dated June 1, 1998, prepared by Wildman Environmental Services and is only an advisory as required by the Howard County Design Manual, Chapter 5, revised Feb. 1992 and cannot be considered to exactly locate the 65 dBA exposure. The 65 dBA exposure was established by Howard County to alert developers, builders and future residents that areas beyond this threshold may exceed generally accepted noise levels established by the U.S. Department of Housing and Urban Development.

PLANT SCHEDULE

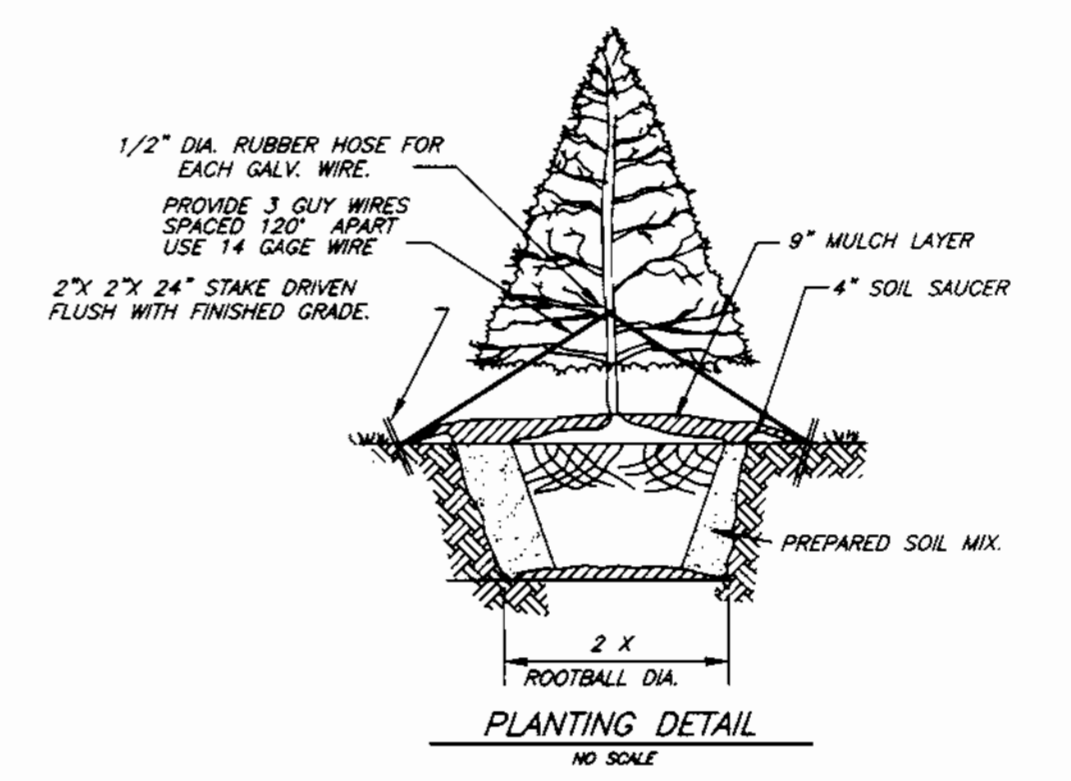
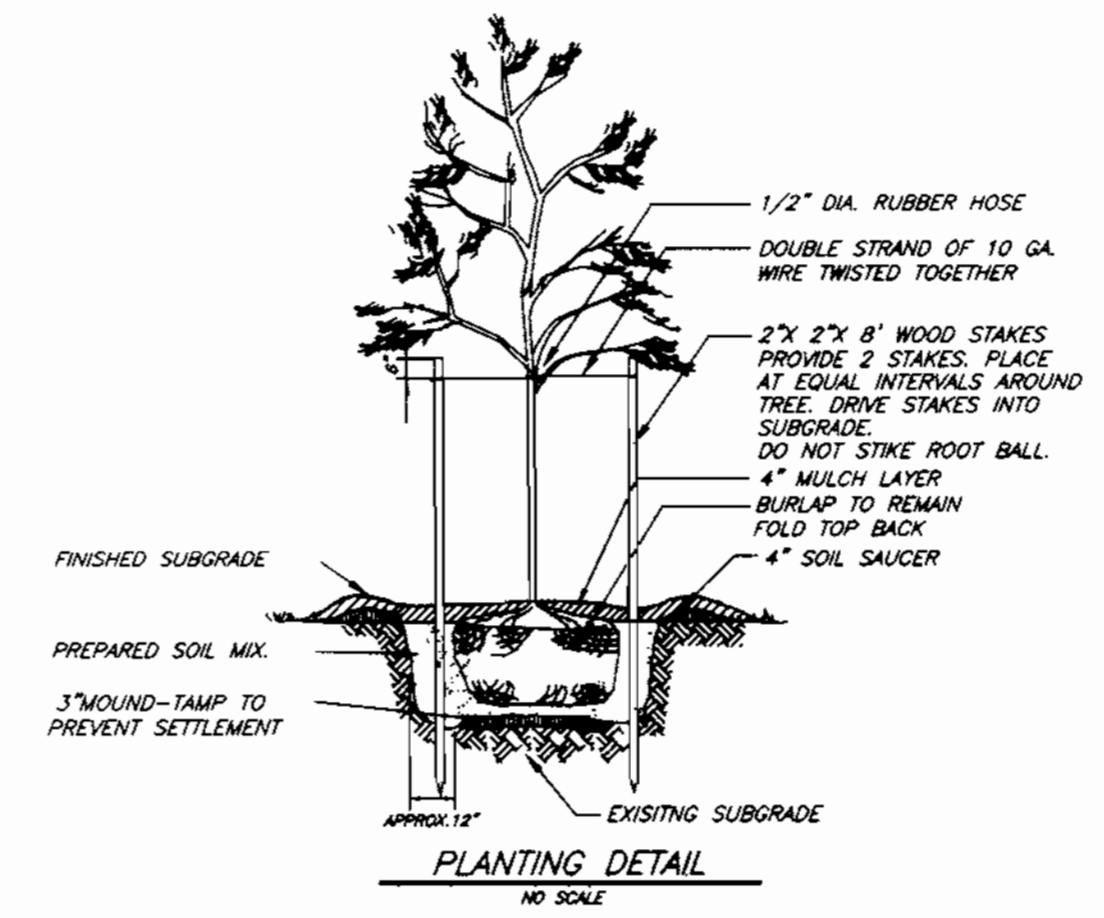
KEY	PLANT NAME	SIZE	QUAN.	REMARK
(AR)	ACER RUBRUM 'OCTOBER GLORY'	2 1/2"-3" CAL.	5	B&B
(PS)	PRINUS STROBUS WHITE PINE	6'-8" HT.	12	B&B

- NOTES:**
1. All plant materials shall be full and heavy, be well formed and symmetrical, conform to the most current AAN specifications and be installed in accordance with HRD planting specifications.
 2. Contractor shall verify location of all underground utilities prior to digging.
 3. Final location of plant material may need to vary to meet final field conditions. Trees shall not be planted in the bottom of drainage swales.

LOT 37 IS NOT INCLUDED IN THIS SUBMISSION. IT WAS PREVIOUSLY APPROVED UNDER GP-00-188. IT IS SHOWN HERE FOR INFORMATION PURPOSES ONLY.

SCHEDULE A PERIMETER LANDSCAPE EDGE	LOT 39	LOT 39	LOT 40	LOT 41
Category	Adjacent to Roadways			
Landscape Type	B	A	A	A
Frontage/Perimeter	158.48'	106.13'	125.42'	138.09'
Number of Plants Required	A	B		
Shade Trees	(1/60)	(1/50)		
Evergreen Trees	0	(1/40)		
Shrubs				
Number of Plants Provided				
Shade Trees	2	1	1	1
Evergreen Trees	6	2	2	2
Surety Amounts	\$1500	\$600	\$600	\$600

Total Surety = \$3300.00



This planting plan is prepared in conformance with Section 16.124 of the Howard County Code and the Howard County Landscape Manual. Financial surety for the required landscaping will be posted as part of the Builder's Grading Permit in the amount of \$3,300.00.

DEVELOPER'S/BUILDERS CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Name: _____ Date: 7-13-00

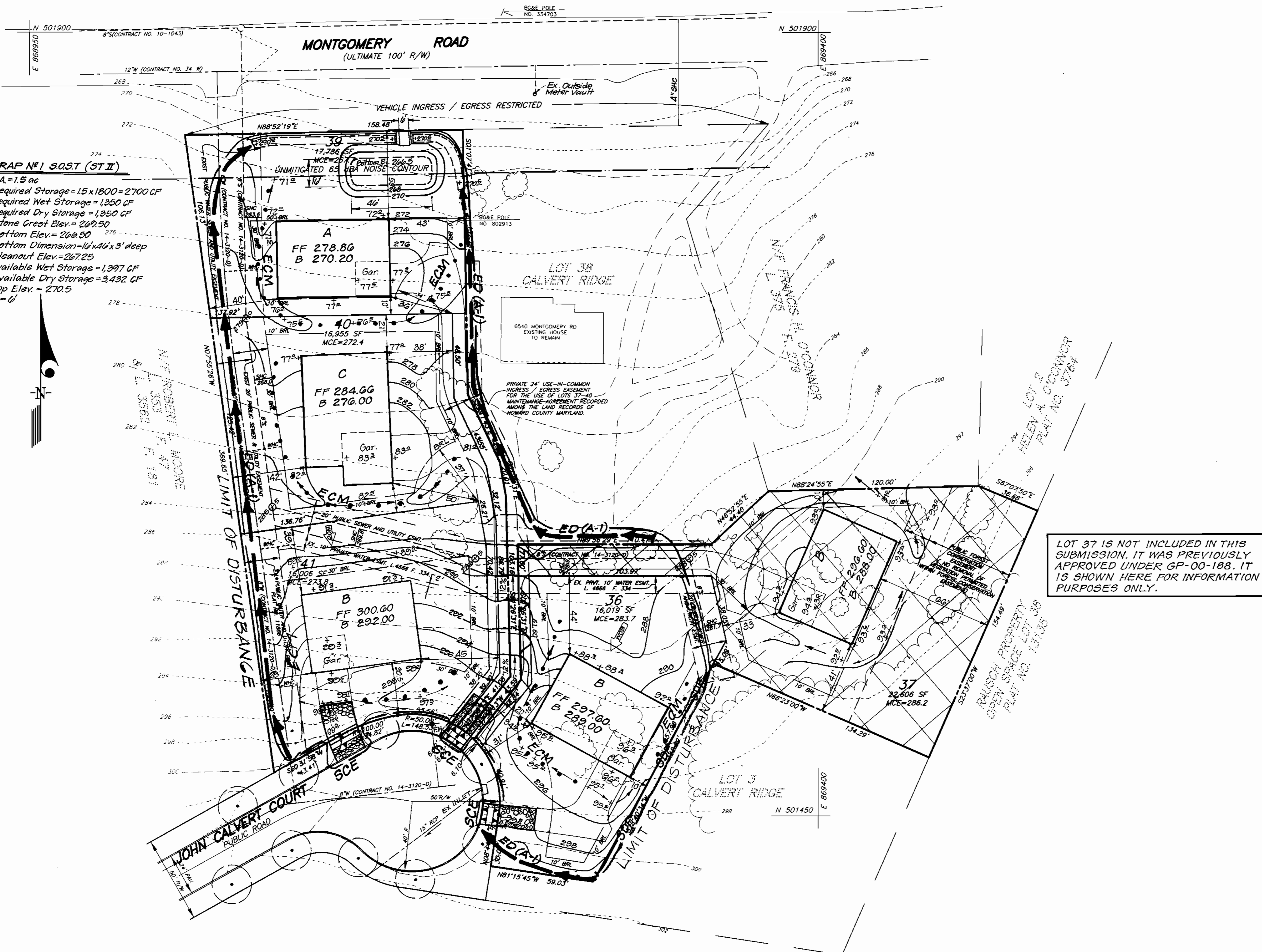
OWNER / DEVELOPER
 CORNERSTONE HOMES, INC.
 9691 NORFOLK AVENUE
 LAUREL, MARYLAND 20723



CLARK · FINEFROCK & SACKETT, INC.
 ENGINEERS · PLANNERS · SURVEYORS
 7135 MINTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED JME	SITE DEVELOPMENT PLAN LOTS 39-41 & CALVERT RIDGE LOT 36 OAK PLACE TAX MAP 37, GRID 11, P/O P.94 FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN ZAH/LAI		DRAWING 2 of 4
CHECKED JME		JOB NO. 00-089
DATE 7/12/00	FOR: CORNERSTONE HOMES, INC. 9691 NORFOLK AVENUE LAUREL, MARYLAND 20723	FILE NO. 00-089-X

APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division: MK
 Chief, Division of Land Development: _____
 Director: _____
 Date: 10/19/00



LEGEND

CONTOUR INTERVAL	2 FT.
EXISTING CONTOUR	280
PROPOSED CONTOUR	280
DIRECTION OF DRAINAGE	→
WALK OUT BASEMENT	→
SPOT ELEVATION	+81.2
TREE PROTECTION FENCE	—
EXISTING TREES TO REMAIN	—
SUPER SILT FENCE	— SDF —
SUPER DIVERSION FENCE	— SDF —
EROSION CONTROL MATTING	••• ECM •••
STABILIZED CONSTRUCTION ENTRANCE	—

TRAP #1 SOST (ST II)
 DA = 1.5 ac
 Required Storage = 1.5 x 1800 = 2700 CF
 Required Wet Storage = 1350 CF
 Required Dry Storage = 1350 CF
 Stone Crest Elev. = 269.50
 Bottom Elev. = 266.50
 Bottom Dimension = 14' x 4' x 3' deep
 Cleanout Elev. = 267.25
 Available Wet Storage = 1307 CF
 Available Dry Storage = 3,432 CF
 Top Elev. = 270.5
 L = 6'

LOT 37 IS NOT INCLUDED IN THIS SUBMISSION. IT WAS PREVIOUSLY APPROVED UNDER GP-00-188. IT IS SHOWN HERE FOR INFORMATION PURPOSES ONLY.

Reviewed for HOWARD S.C.D.
 meets Technical Requirements
 Signature: *J. Wauford* Date: 10/13/00
 U.S. Natural Resource Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *John R. Howard* Date: 10/13/00
 Approved

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.
 Signature: *Brian Boy* Date: 7-13-00
 NAME: BRIAN BOY

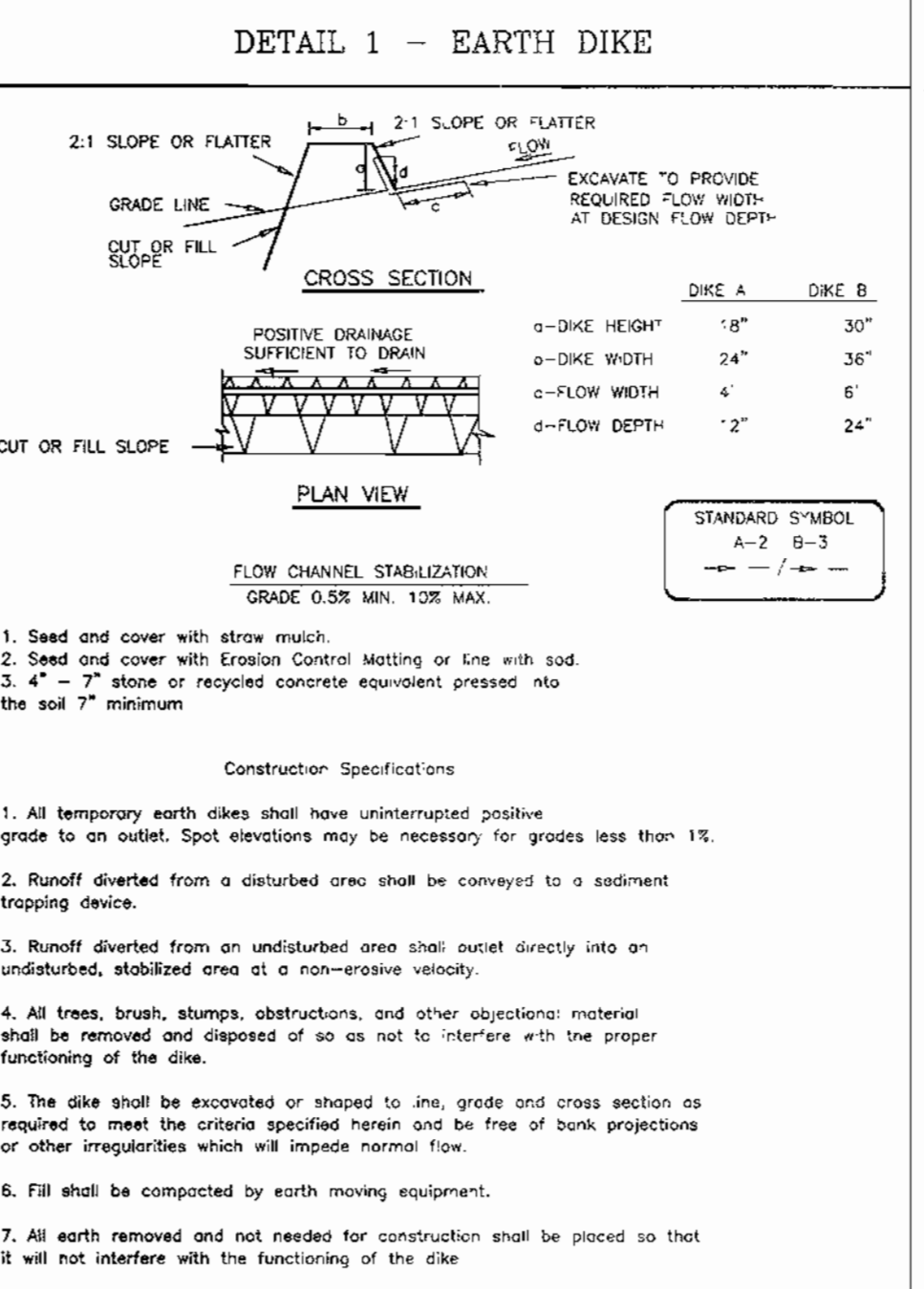
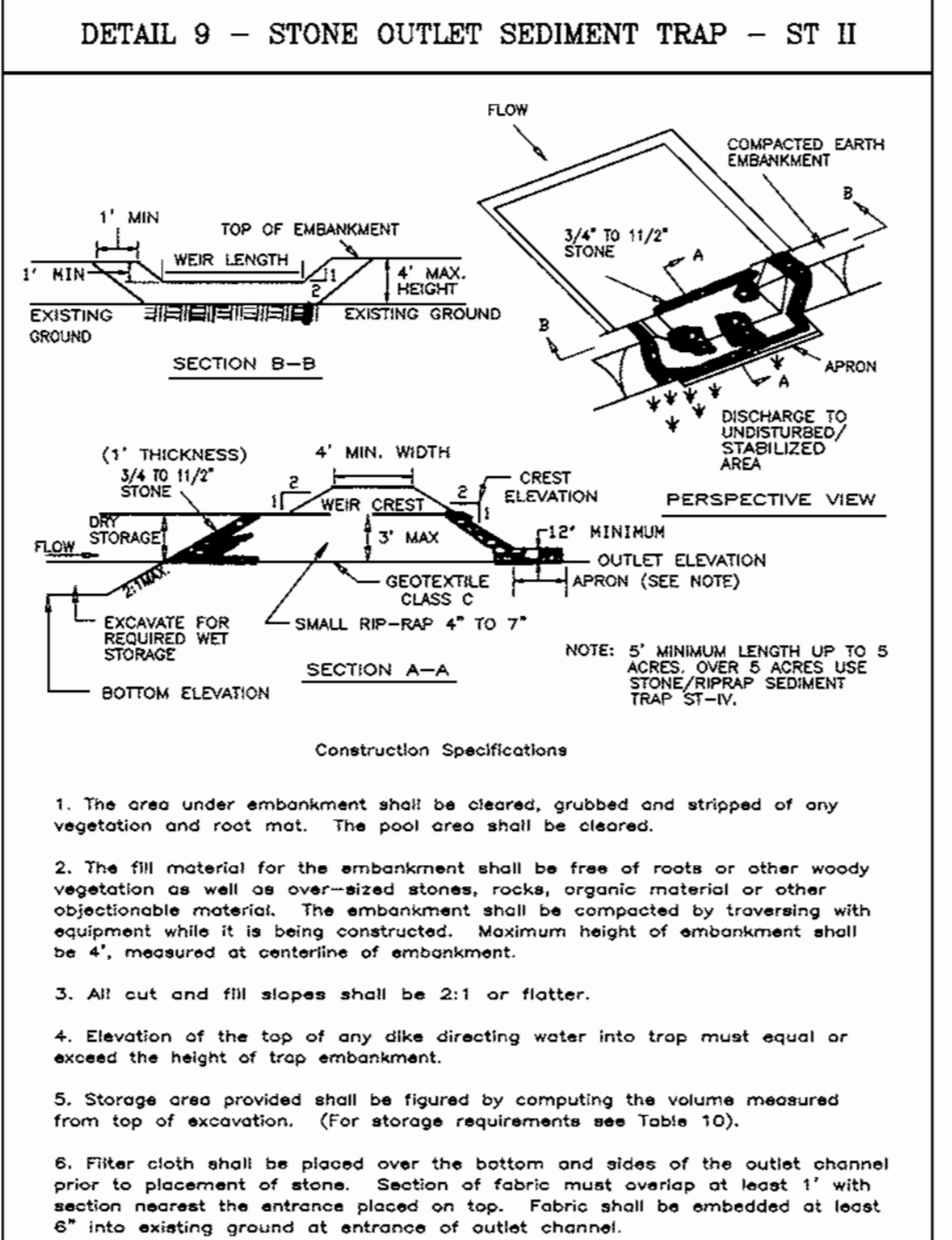
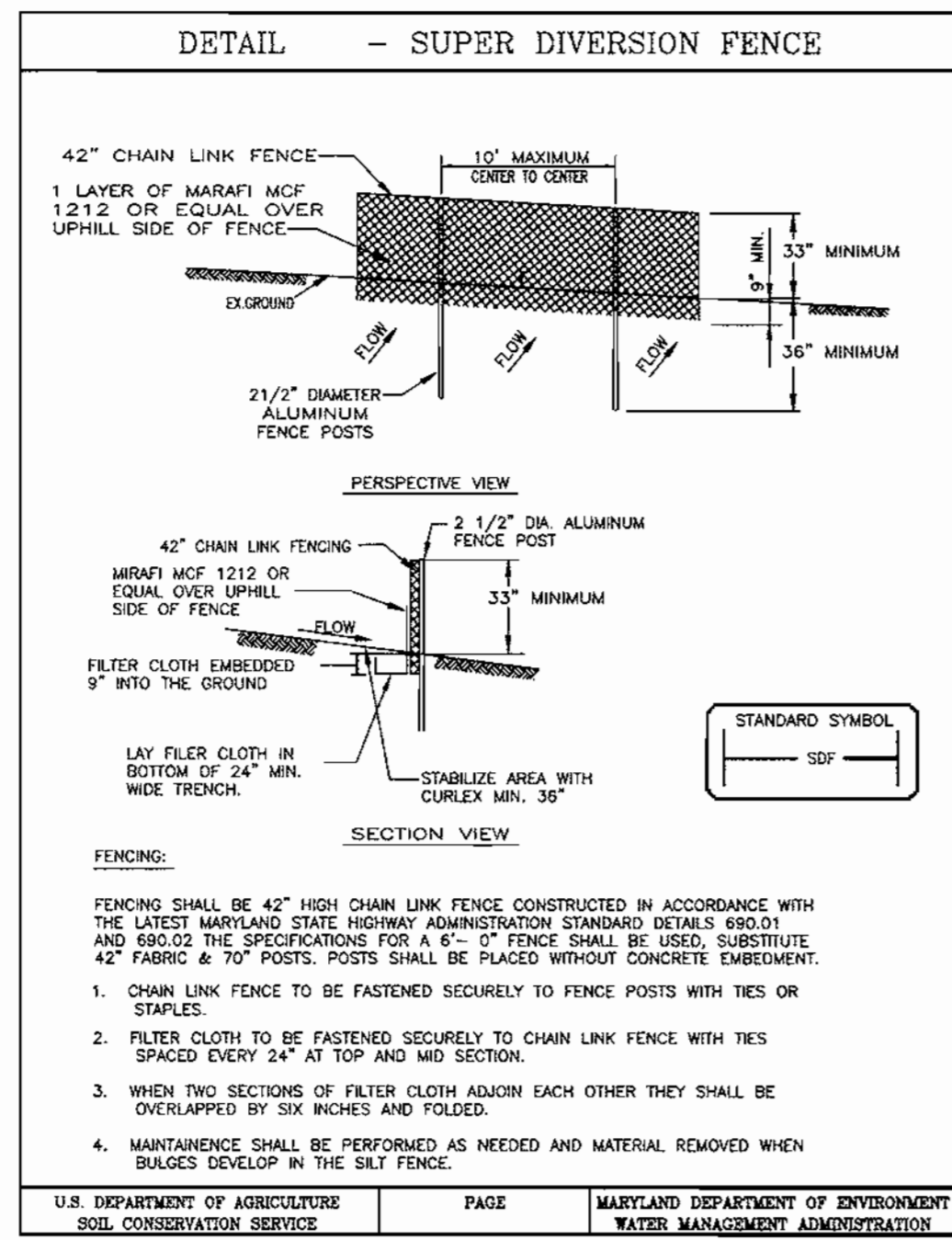
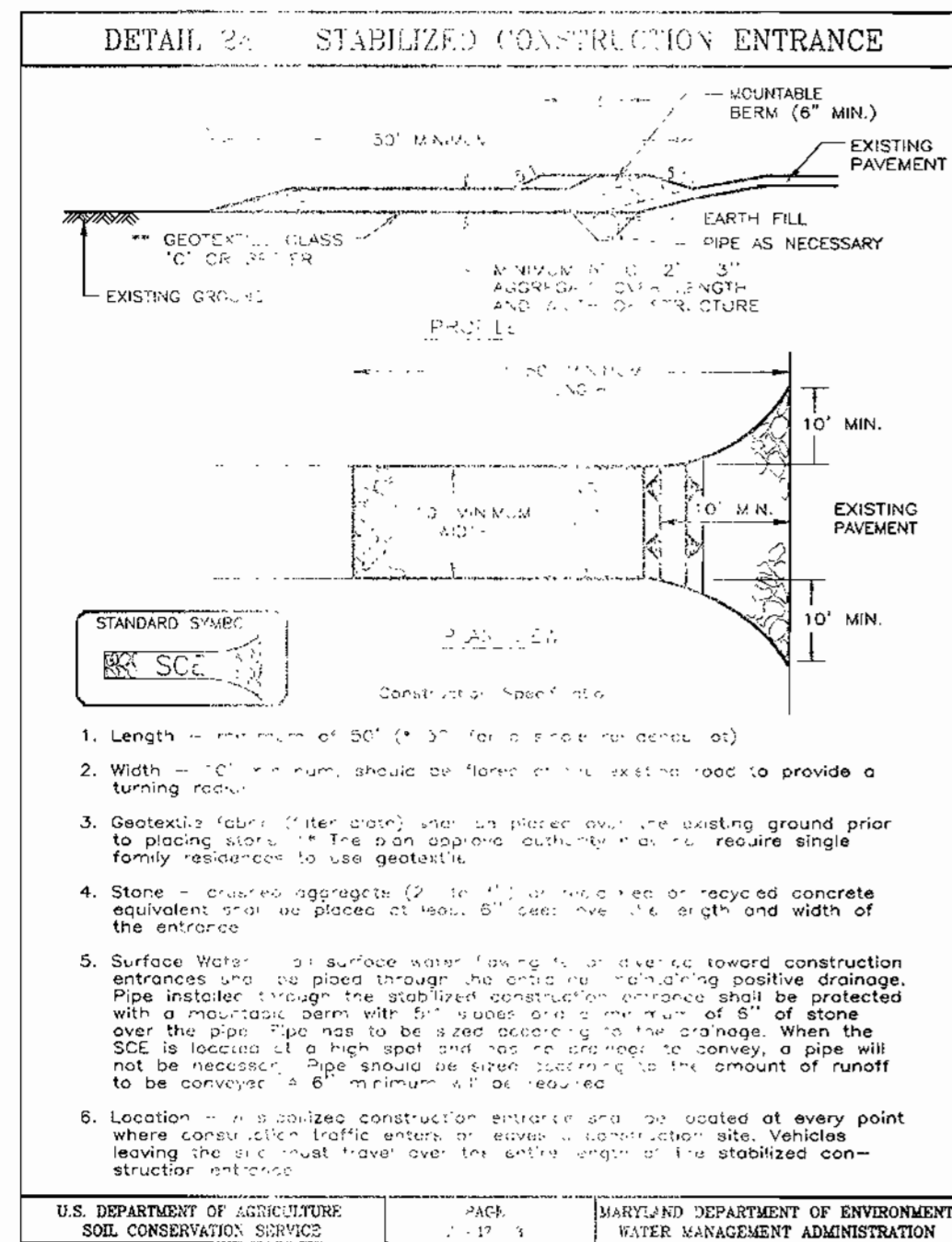
ENGINEER'S CERTIFICATE
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature: *G. Nelson Clark* Date: 7-13-00
 G. NELSON CLARK



OWNER / DEVELOPER
 CORNERSTONE HOMES, INC.
 9601 NORFOLK AVENUE
 LAUREL, MARYLAND 20723

APPROVED: DEPARTMENT OF PLANNING & ZONING
 Signature: *John J. ...* Date: 10/11/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK
 Signature: *Chris ...* Date: 10/14/00
 CHIEF, DIVISION OF LAND DEVELOPMENT
 Signature: *...* Date: 10/19/00
 DIRECTOR

CLARK · FINEFROCK & SACKETT, INC. ENGINEERS · PLANNERS · SURVEYORS		7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.	
DESIGNED PC	SEDIMENT AND EROSION CONTROL PLAN LOTS 39 - 41 & CALVERT RIDGE LOT 36 OAK PLACE TAX MAP 37, GRID 11, P/O P.94 FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'	DRAWING 3 of 4
DRAWN ZAH/LA1		JOB NO. 00-089	
CHECKED PC		FILE NO. 00-089-9E	
DATE 7/12/00	FOR: CORNERSTONE HOMES, INC. 9601 NORFOLK AVENUE LAUREL, MARYLAND 20723		



PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- Preferred—Apply 2 tons per acre dolomitic limestone (92 lbs./100 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq.ft.).
- Acceptable—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs./1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Use sod with 80 lbs./acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 5 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseeding.

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.).

SEEDING: For periods March 1 thru April 30 and August 1 thru November 15, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs./1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq.ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 5 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

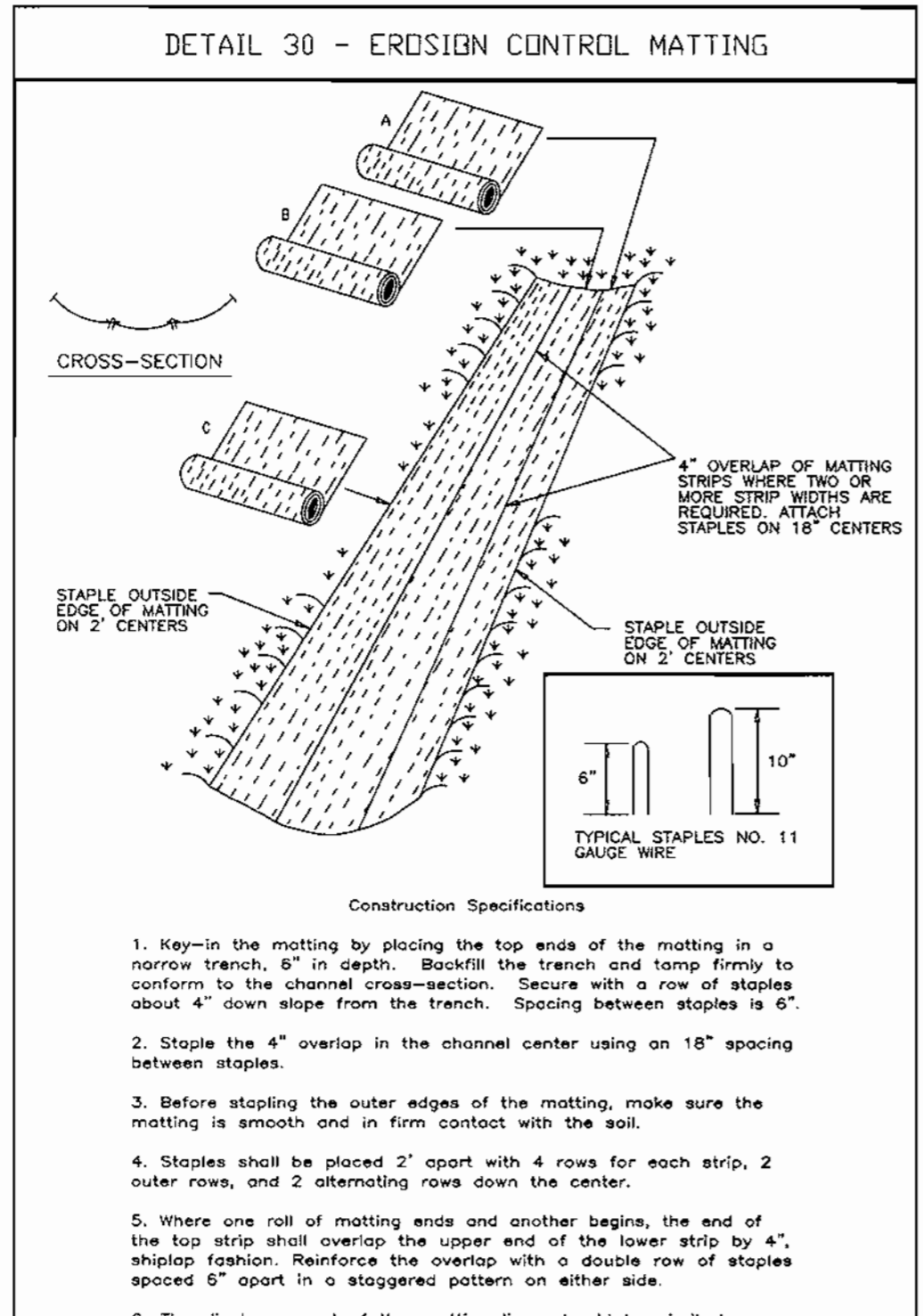
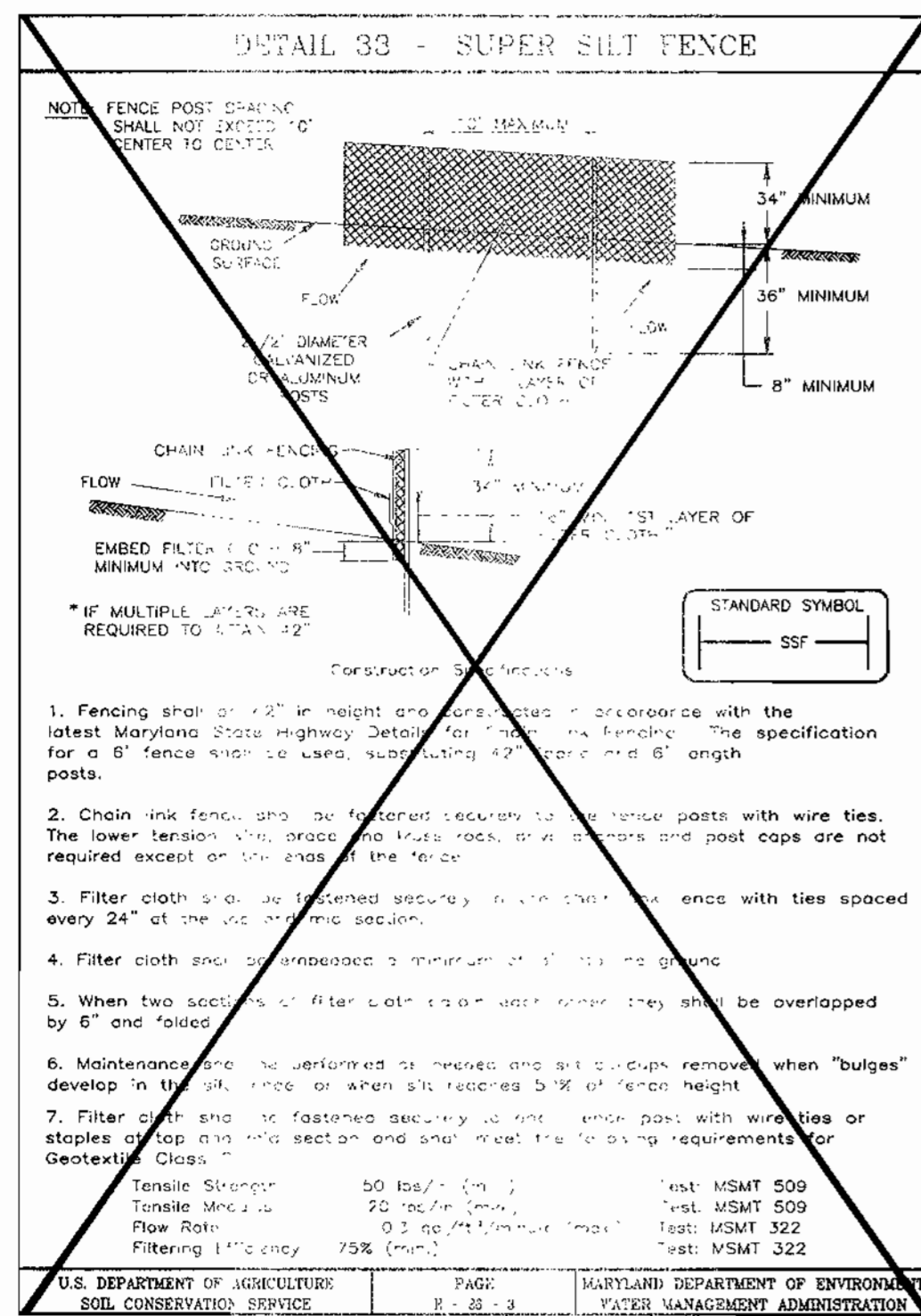
REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

SEDIMENT AND EROSION CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within:
 - 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1
 - 14 days for all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeters in accordance with Vol. 1, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above, in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (See C). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- SITE ANALYSIS:

Total Area of Site:	1.53 Acres
Area Disturbed:	1.22 Acres
Area to be seeded or paved:	0.82 Acres
Area to be vegetatively stabilized:	0.80 Acres
Total Cut:	1250 cu yd
Offsite Waste/Borrow Area Location:	*
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities shall be backfilled and stabilized within one working day, or is limited to three pipe lengths.
- The total amount of silt fence = 401 LF
- The total amount of super silt fence = 545 LF
- The total amount of super diversion fence = 401 LF

* It is the responsibility of the contractor to identify the spoil/borrow site and notify and gain approval from the sediment control inspector of the site and it's grading permit number at the time of construction.



21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutedge, poison ivy, thistle, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.).

SEEDING: For periods March 1 thru April 30 and August 1 thru November 15, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs./1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq.ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 5 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

CONSTRUCTION SEQUENCE:

	NO. OF DAYS
1. Obtain grading permit.	7
2. Install tree protection fence.	7
3. Install sediment and erosion control devices and stabilize.	14
4. Excavate for foundations, rough grade and temporarily stabilize.	30
5. Construct structures, sidewalks and driveways.	60
6. Final grade, install Erosion Control Matting and stabilize in accordance with standards and specifications.	14
7. Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize.	7
8. Delay construction of houses on lots:	N/A

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Charles Deane 10/16/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK

Andy Hester 10/16/00
CHIEF, DIVISION OF LAND DEVELOPMENT

John P. Boy 10/16/00
DIRECTOR

Reviewed for HOWARD S.C.D. and meets Technical Requirements

John P. Boy 10/13/00
S.D. Director
S.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

John P. Boy 10/13/00
Approved

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

John P. Boy 7-13-00
NAME BRIAN BOY DATE

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

G. Nelson Clark 7-13-00
G. NELSON CLARK DATE

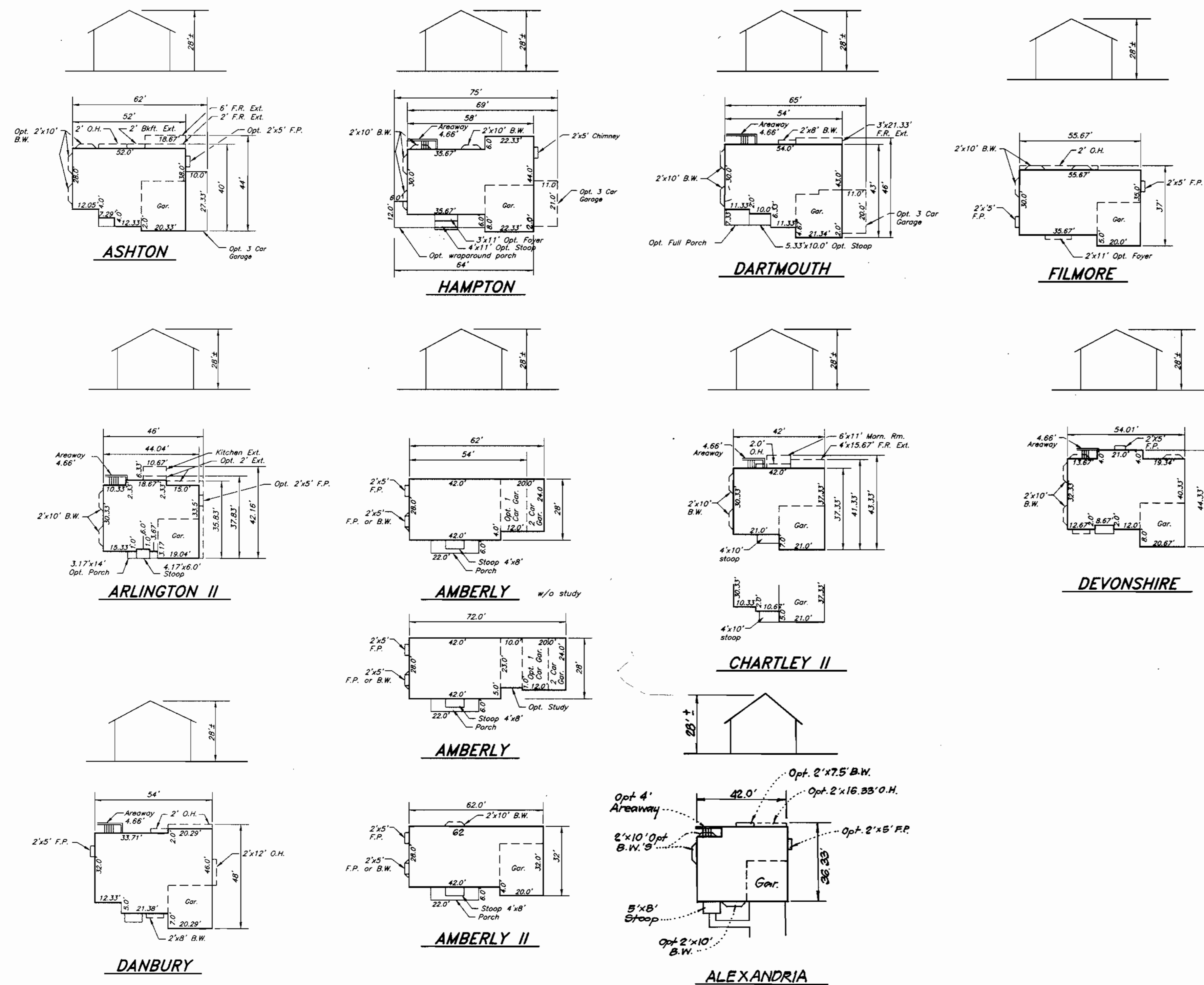
OWNER / DEVELOPER

CORNERSTONE HOMES, INC.
9691 NORFOLK AVENUE
LAUREL, MARYLAND 20723

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED	SCALE
SEDIMENT CONTROL DETAILS	
LOTS 39 - 41 & CALVERT RIDGE LOT 36	
DRAWN	DRAWING
LAI	OAK PLACE
CHECKED	TAX MAP 37, GRID 11, P/O P. 94
	FIRST (1st) ELECTION DISTRICT
	HOWARD COUNTY, MARYLAND
DATE	JOB NO.
7/12/00	00-089
	FILE NO.
	00-089-SE

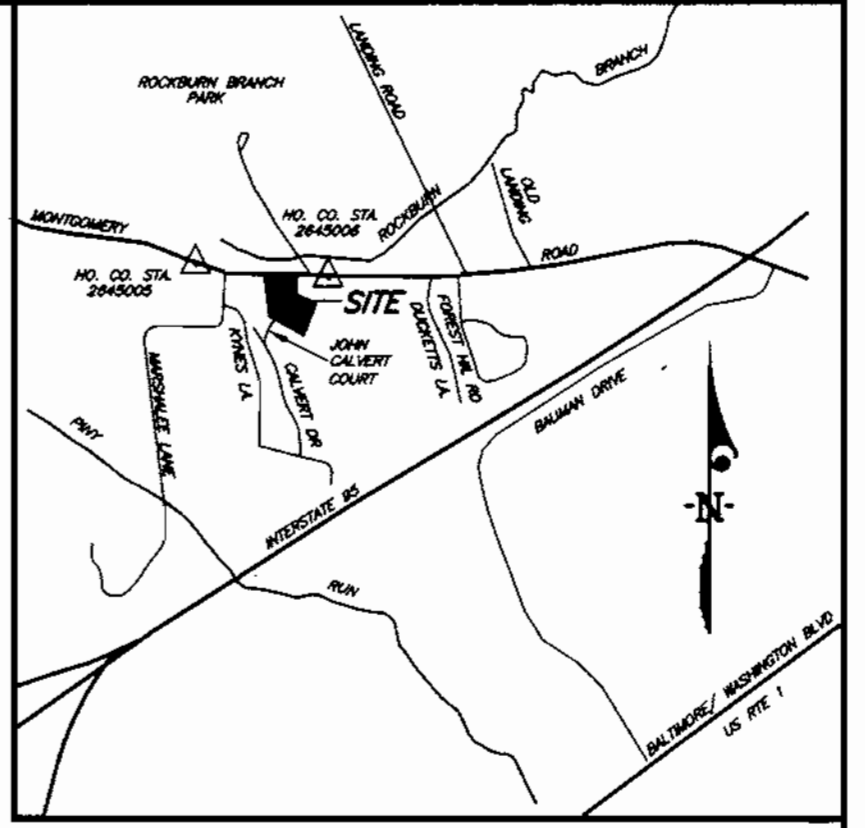
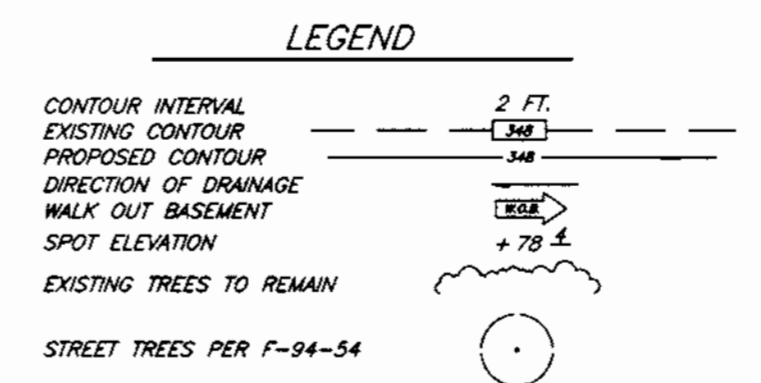


ADDRESS CHART

LOT NUMBER	STREET ADDRESS
39	7111 John Calvert Court
40	7109 John Calvert Court
41	7107 John Calvert Court
36	7120 John Calvert Court

MINIMUM LOT SIZE CHART

LOT NO.	GROSS AREA	PIPESTEM AREA	MINIMUM LOT SIZE
39	17,786 sf	1,746 sf	16,040 sf
40	16,955 sf	861 sf	16,094 sf



SHEET INDEX

DESCRIPTION	SHEET NO.
SITE DEVELOPMENT PLAN	1 and 2
SEDIMENT & EROSION CONTROL PLAN	3 and 4

A
 64'
 CHARTLEY II
 ARLINGTON II
 AMBERLY w/o study
 DEVONSHIRE
 DARTMOUTH w/o 3 car
 or 3' F.R. ext.
 ASHTON
 FILMORE
 HAMPTON w/o 3 car
 ALEXANDRIA

B
 64'
 CHARTLEY II
 ARLINGTON II
 AMBERLY w/o study
 DEVONSHIRE
 DARTMOUTH w/o 3 car
 ASHTON
 FILMORE
 HAMPTON w/o 3 car
 ALEXANDRIA

C
 64'
 ALL HOUSE TYPES
 WILL FIT
 75'

- GENERAL NOTES:**
- Subject property is zoned: R-20 per the 10-18-93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 1.53 Acres.
 - The total number of lots included in this submission is: 4
 - Improvement to property: Single Family Detached
 - Department of Planning and Zoning reference file numbers: F-94-54, S-89-56, P-89-78, WP-92-149, WP-98-83, F-98-132, F-98-168
 - Utilities shown as existing are taken from approved Water and Sewer plans Contract #14-3120-D, approved Road Construction plans F-94-54, and actual field survey.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - All roadways are public and existing.
 - The existing topography was taken from Field run topo prepared by Gutschick, Little and Weber P.A. on 10/25/90.
 - The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 2645005 and 2645006.
 - The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least twenty-four (24) hours prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
 - In accordance with Section 128 of the Howard County Supplementary Zoning District Regulations, bay windows or chimneys not more than 16 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 10 feet into the front or rear setbacks.
 - Stormwater Management is provided per: F-94-54
 - SHC Elevations shown are at the Property lines.
 - Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - Width-12 feet (14 feet serving more than one residence).
 - Surface-6 inches of compacted crusher run base with tar and chip coating.
 - Geometry-Maximum 15% grade, maximum 10% grade change and minimum of 45-foot turning radius.
 - Structures (culvert/bridges)-Capable of supporting 25 gross tons (H25 loading).
 - Drainage elements-Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - Structure clearances-minimum 12 feet.
 - Maintenance-Sufficient to insure all weather use.
 - Noise analysis was not required for the existing house on lot 35; however, any future subdivision of the lot will require a noise study per the Dept. of Public Works requirements.
 - The Forest Conservation Easement has been established to fulfill the requirements of Section 16.1200 of the Howard County Code, Forest Conservation Act. No clearing, grading or construction is permitted within the Forest Conservation Easement, however Forest Management practices as defined in the deed of Forest Conservation Easement are allowed.
 - Lot 36 Calvert Ridge Plat No. 13160, F-98-132 is a resubdivision of Lots 1 and 2 Calvert Ridge Plat No. 11886, F-94-54.

SPECIAL NOTES:
 This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-94-54 and/or approved Water and Sewer Plans Contract #14-3120-D

OWNER / DEVELOPER
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 LAUREL, MARYLAND 20723

SUBDIVISION NAME		SECTION/AREA	LOTS/PARCELS		OAK PLACE LOTS
CALVERT RIDGE / OAK PLACE			39-41 & CALVERT RIDGE LOT 36		
PLAT NO.	BLOCK NO.	ZONE	TAX MAP NO.	ELECTION DIST.	CENSUS TRACT
13160	13695	R-20	37	1st	6011
WATER CODE		SEWER CODE			
F-10		6653000			

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COVER SHEET
 LOTS 39-41 & CALVERT RIDGE LOT 36

OAK PLACE
 TAX MAP 37, GRID 11, P/O P.94
 FIRST (1st) ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

DESIGNED: JME
 DRAWN: ZAH/LAI
 CHECKED: JME
 DATE: 7-14-00

SCALE: As Shown
 DRAWING: 1 of 4
 JOB NO.: 00-089
 FILE NO.: 00-089-X

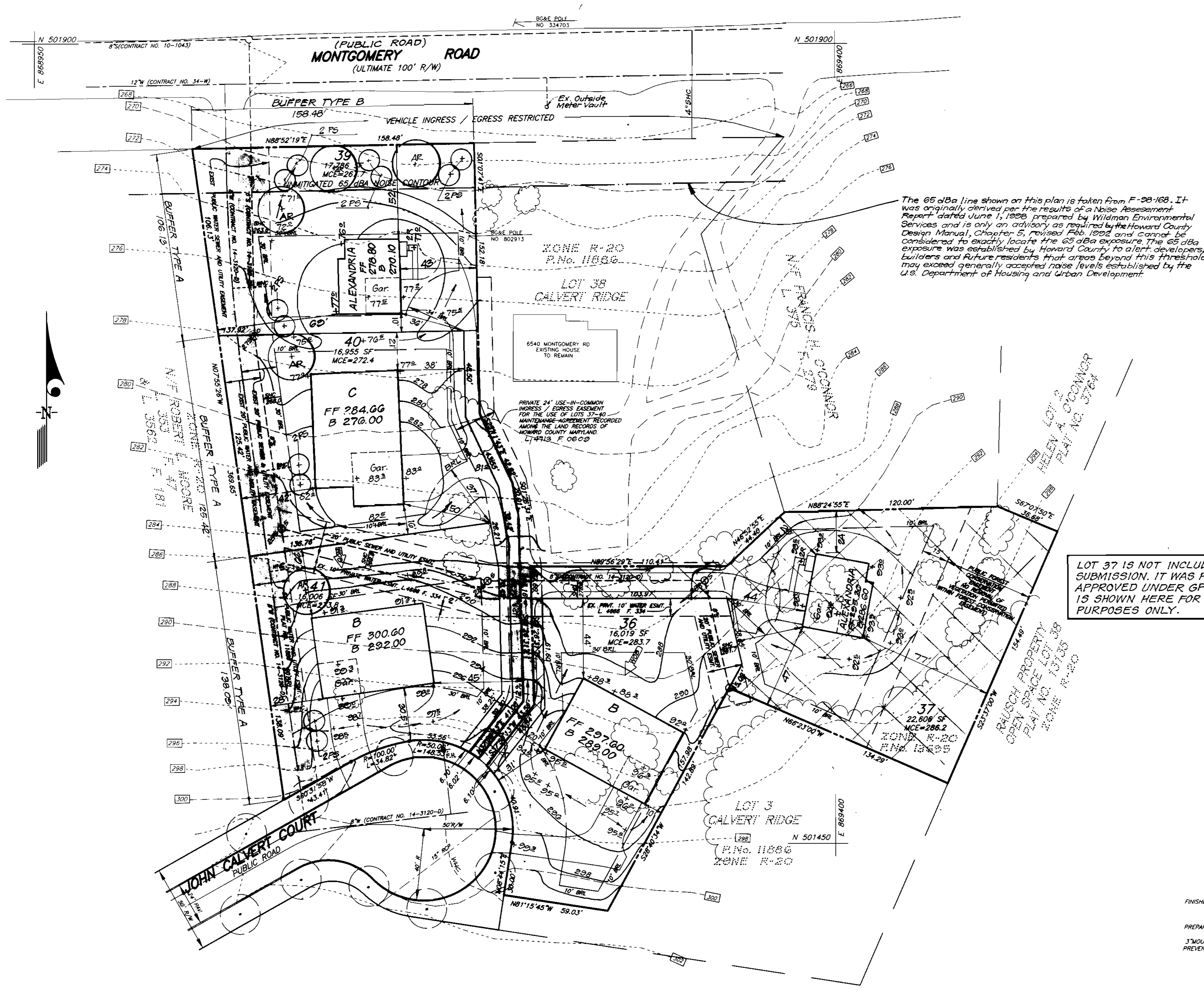
FOR: CORNERSTONE HOMES, INC.
 9691 NORFOLK AVENUE
 LAUREL, MARYLAND 20723

APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature] 10/11/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK
 [Signature] 10/13/00
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 10/19/00

REVISIONS

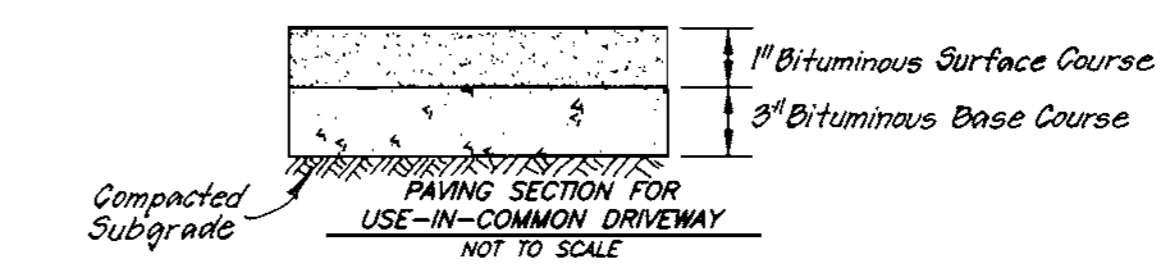
No.	Description	Date
1	Add Alexandria Use Typical	11-24-00





USE-IN-COMMON DRIVE PAVING NOTES

18. Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - a) Width - 12 feet (14 feet serving more than one residence).
 - b) See detail this sheet
 - c) Geometry - Maximum 15% grade, maximum 10% grade change and minimum of 45-foot turning radius.
 - d) Structures (culvert/bridges) - Capable of supporting 25 gross tons (125 loading).
 - e) Drainage elements - Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - f) Structure clearances - minimum 12 feet.
 - g) Maintenance - Sufficient to insure all weather use.



BONDING NOTE:
 THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
 FINANCIAL SURETY FOR THE TREES IN SCHEDULE A IN THE AMOUNT OF \$3,300.00 SHALL BE PART OF THE DEVELOPER'S AGREEMENT.

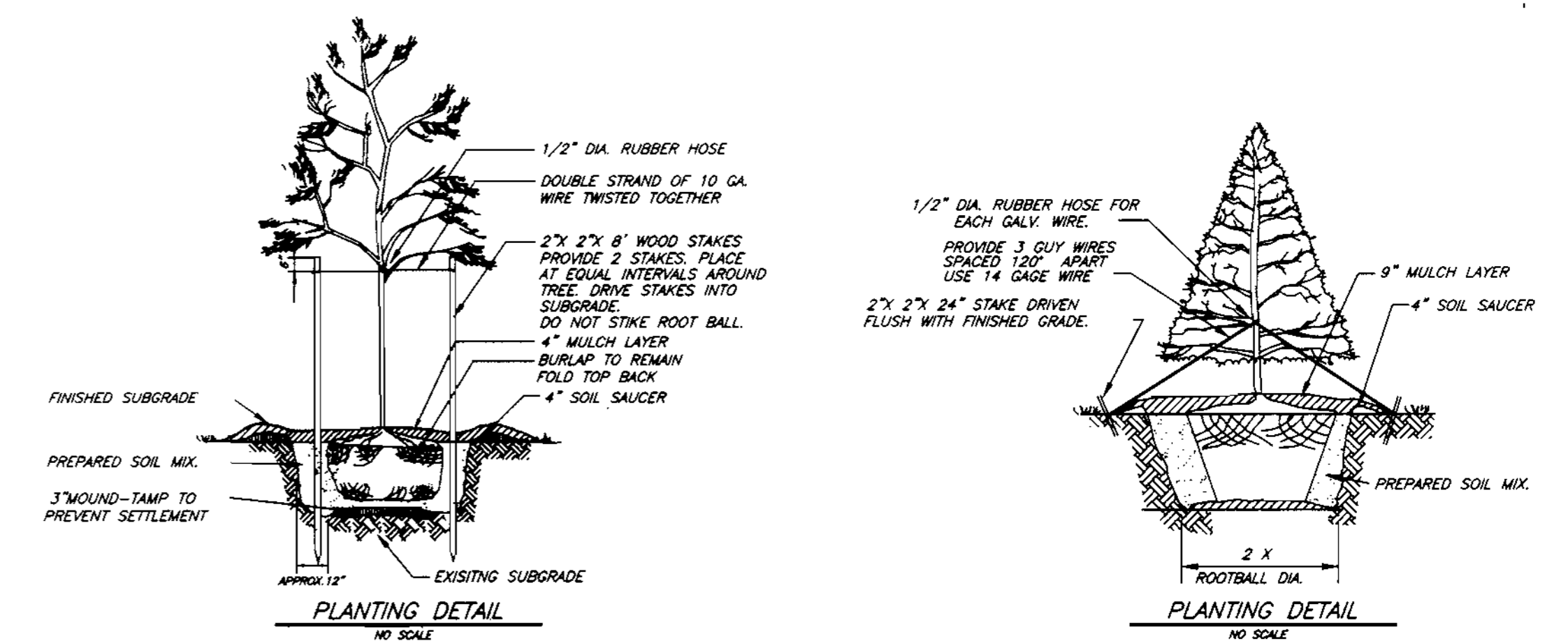
PLANT SCHEDULE				
KEY	PLANT NAME	SIZE	QUAN.	REMARK
AR	ACER RUBRUM 'OCTOBER GLORY'	2 1/2"-3" CAL.	5	B&B
AR	OCTOBER GLORY RED MAPLE			
PS	PINUS STROBUS	6'-8' HT.	12	B&B
PS	WHITE PINE			

- NOTES:**
1. All plant materials shall be full and heavy, be well formed and symmetrical, conform to the most current AAN specifications and be installed in accordance with HRD planting specifications.
 2. Contractor shall verify location of all underground utilities prior to digging.
 3. Final location of plant material may need to vary to meet final field conditions. Trees shall not be planted in the bottom of drainage swales.

SCHEDULE A PERIMETER LANDSCAPE EDGE					
Category	Adjacent to Roadways	LOT 39	LOT 39	LOT 40	LOT 41
Landscape Type		B	A	A	A
Frontage/Perimeter		158.48'	106.13'	125.42'	138.09'
Number of Plants Required					
Shade Trees	(1/60)	3	2	2	2
Evergreen Trees	(1/50)	4	-	-	-
Shrubs	(1/40)	0	-	-	-
Number of Plants Provided					
Shade Trees		2	1	1	1
Evergreen Trees		6	2	2	2
Surety Amounts		\$1500	\$800	\$800	\$800

Total Surety = \$3300.00

LOT 37 IS NOT INCLUDED IN THIS SUBMISSION. IT WAS PREVIOUSLY APPROVED UNDER GP-00-188. IT IS SHOWN HERE FOR INFORMATION PURPOSES ONLY.



This planting plan is prepared in conformance with Section 16.124 of the Howard County Code and the Howard County Landscape Manual. Financial surety for the required landscaping will be posted as part of the Builder's Grading Permit in the amount of \$3,300.00

DEVELOPER'S/BUILDERS CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Name: B. A. B. Date: 7-13-00

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DESIGNED JME	SITE DEVELOPMENT PLAN LOTS 39-41 & CALVERT RIDGE LOT 36 OAK PLACE TAX MAP 37, GRID 11, P/O P.94 FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN ZAH/LAI		DRAWING 2 of 4
CHECKED JME		JOB NO. 00-089
DATE 7/12/00		FILE NO. 00-089-X

FOR: CORNERSTONE HOMES, INC.
 9691 NORFOLK AVENUE
 LAUREL, MARYLAND 20723

APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature] 10/12/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK
 [Signature] 10/12/00
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 10/12/00
 REVISOR DATE

NO.	REVISIONS	DATE
1	Rev. hsa. f. grad. lot 30	11-22-00
2		

