

- GENERAL NOTES**
RESIDENTIAL
SITE DEVELOPMENT PLAN
- The Contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410) 313-1580 at least five (5) working days prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
 - The existing topography is a field run topographic survey with two (2) foot contour intervals prepared by VanMar Associates, Inc., dated March 18, 1999.
 - The coordinates shown hereon are based on Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System. Howard County Monument No.s 43G6 and 0030 were used for this project.
 - Existing Utilities are based on Contract No. 24W&S (3/24/81)(Revised-11/5/63) and a field run survey by VanMar Associates, Inc. on March 18, 1999.
 - Any damage to the County's right-of-way shall be corrected at the developer's expense.
 - For driveway entrance details refer to Howard County Design Manual, Volume IV, Standard Detail R-6.06.
 - B.R.L. - Represents building restriction line
 - Public water and sewer are available to this site. Project is located within the DORSEY SUB-DISTRICT area.
 - Driveways shall be provided prior to issuance of occupancy permit to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - Width - 14 feet wide use-in-common.
 - Surface - 6 inches of compacted crusher run base with a tar and chip coating
 - Geometry - Maximum 15% grade, maximum 8% grade change and minimum 45 foot turning radius.
 - Maintenance - Sufficient to insure all weather use
 - Areas as stated on this plan are to be taken as more or less, unless otherwise noted
 - On August 25, 1999, WP-00-06 was approved by Howard County Planning and Zoning to waive Section 16.120(c) to permit the required frontage of two adjacent pipestem lots, each in a separate minor subdivision, to be reduced to a collective width of 24 feet, 12' each. (F-00-07 & 08, Amylynn Dorsey & Rebecca Dorsey) All 4 lots will share common access. The approval is subject to compliance with conditions listed in approval letter dated 8/25/1999.
 - On March 8, 1999 a variance was granted by the Maryland Department of Transportation, Board of Airport Zoning Appeals, (BAZA Docket No. 325) from Airport Zoning Regulations promulgated at COMAR 11.03.03. Variance is subject to the conditions listed in BAZA Docket No. 325.
 - Water and sewer service to these lots will be granted under the provisions of Section 16.122B of the Howard County Code. Public water and public sewer allocation will be granted at the time of the issuance of the building permit if availability is available at that time.
 - Final determination of adequate sight distance and any work to Dorsey road to be addressed with the State Highway Administration during access permit process.
 - Owner/Developer is required to obtain a residential Use-in-Common driveway permit. Contact Dimitri Koroupis @ 301-624-8121.
 - Landscape surety shall be posted as a part of any required grading permit.
 - A request to pay a fee-in-lieu of providing stormwater management in the amount of \$4,400.00 was approved on 02/01/2000. Fee has been paid to the Department of Public Works, Real Estate Services Division, Account #814-003-7150.
 - Project Background information:
 - Final Plan Approval Date: 02/11/2000.
 - DPZ Reference Number: F-00-07
 - Number of lots shown on plan: 1
 - Submission Area: 15,189 Sq. Ft. or 0.3482 Ac.± (includes portion of UIC)
 - Improvement to Property: Single Family Residence
 - Subject property zoned "R12" per the 10/18/93 comprehensive zoning plan.
 - SHC elevations shown are located at the property line, in accordance with Section 128 of the Howard County Zoning Regulations, bay windows, chimneys or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks, porches or decks, open or enclosed may project not more than 10 feet into the front or rear yard setback.
 - No clearing, grading or construction is permitted within the required wetlands, stream(s) or their buffers and forest conservation easement areas.
 - A RESIDENTIAL ACCESS PERMIT is required. (As per SHA)

SITE DEVELOPMENT PLAN

LOT 1

AMYLYNNE DORSEY

(PLAT # MDR 14277)

#6872 DORSEY ROAD

Landscape and Forest Conservation Notes

- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.
- Financial surety for the required landscaping has been posted as part of the Grading Permit, in the amount of \$1,200.00.
- This project complies with the requirements of Section 16.1200 of the Howard County Code for Forest Conservation because the forest conservation obligation for this project was fulfilled under F-00-07. (explain reasons for exemption)

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- NOTIFY HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION A MINIMUM OF 48 HOURS PRIOR TO START OF WORK. (410) 313-1585
- INSTALL STABILIZED CONSTRUCTION ENTRANCE, AND SILT FENCES.
- GRADE SITE AND INSTALL USE-IN-COMMON DRIVEWAY AS SHOWN.
- STABILIZE ALL DISTURBED AREAS AS PER PERMANENT SEEDING NOTES.
- CONSTRUCT BUILDING.
- INSTALL DOWNSPOUTS AND DRAINAGE LINES TO DRYWELL AREA.
- INCLUDING PROVISIONS MADE FOR FUTURE GARAGE DOWNSPOUTS AND CONNECTIONS.
- STABILIZE ALL DISTURBED AREAS AS PER PERMANENT SEEDING NOTES.
- UPON APPROVAL FROM SEDIMENT CONTROL INSPECTOR REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE AS PER PERMANENT SEEDING NOTES.
- CONSTRUCT DRY WELL AND PLACE IN SERVICE AFTER ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED AND APPROVED BY RESPONSIBLE INSPECTOR. (SEE CONSTRUCTION SPECIFICATIONS - SHEET 2 OF 2)

SHEET INDEX

Sheet 1 of 2 - Cover Sheet
Sheet 2 of 2 - Site Development Plan

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
LOT #1, p/o PARCEL #300	#6872 DORSEY ROAD

PERMIT INFO CHART

Subdivision Name: AMYLYNNE DORSEY	Section/Area: #43	Lot/Parcel No.: 300
Plat# or L/P: M.D.R. 14277	Orig#: 06	Zoning: R12
WATER CODE: (Public-Cont.#24W&S)	SEWER CODE: (Public-Cont.#24W&S)	Tax Map No.: #43
DATE: 08/12/00	PER REVISION: PER COMMENTS FROM P&Z/DLD,DED.	Election Distr.: 1ST
DATE: 10/13/00	PER COMMENTS FROM P&Z/DLD,DED.	Census Tract: 6012
TAX MAP: #43, BLOCK: #06, PARCEL: P/O #300		

SITE DEVELOPMENT PLAN

LOT 1
AMYLYNNE DORSEY
(PLAT-M.D.R. #14277)
SITUATE SOUTH SIDE OF DORSEY ROAD (MD. RTE. NO. 176)
FIRST (1) ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: 1"=20'
JULY, 2000

VANMAR ASSOCIATES, INC.
Engineers/Surveyors/Planners
310 South Main Street, Box 328
Mount Airy, Maryland 21771
(301) 829-2890 (301)851-5015 (410) 549-2751



ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY THAT THESE PLANS FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Sourabh Munshi 10/13/00
SOURABH G. MUNSHI, P.E. DATE

DEVELOPER'S CERTIFICATE:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Eric Bous, owner 10/13/00
DEVELOPER DATE

BURIAL GROUNDS CERTIFICATION:

I HEREBY CERTIFY THAT THERE ARE NO BURIAL GROUNDS ON THE PROPERTY BEING DEVELOPED ACCORDING TO THE CEMETERY INVENTORY LIST AND MAPS LOCATED AT THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Eric Bous, owner 10/13/00
DEVELOPER DATE

APPROVED: SOIL CONSERVATION SERVICE

REVIEW FOR HOWARD SOIL CONSERVATION SERVICE

J.H. Washfield 10/23/00
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John Washfield 10/23/00
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Cheryl D. Hamilton 10/15/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Hamilton 10/26/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Joseph A. Smith 10/27/00
DIRECTOR DATE

THIS PLANTING PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.

SURETY WILL BE PAID AT THE TIME OF GRADING PERMIT APPLICATION.

Eric Bous, owner 10/13/00
DEVELOPER/OWNER SIGNATURE DATE

DEVELOPER'S / OWNER'S CERTIFICATION
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, AND THE HOWARD COUNTY LANDSCAPE MANUAL.

Eric Bous, owner 10/13/00
DEVELOPER/OWNER SIGNATURE DATE

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS CORRECT; THAT IT IS A SITE DEVELOPMENT PLAN OF ALL OF THE LANDS CONVEYED BY ROLAND A. PHELPS AND VIRGINIA T. PHELPS TO THE PALMETTO GROUP, INC. BY DEED DATED JULY 31, 2000 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 5160 AT FOLIO 0158, AND THAT IT IS A RESULT OF AN ACTUAL FIELD SURVEY, BASED ON THE DATA FOUND AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AS REFERENCED HEREON, AND IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED.

Sourabh G. Munshi 10/13/00
Sourabh G. Munshi, Prof. L.S. #10770 DATE

TYPE "A" - LANDSCAPE BUFFER

- 2-ACER SACCHARUM "GREEN MOUNTAIN" / GREEN MOUNTAIN SUGAR MAPLE
- 2-ACER RUBRUM "RED SUNSET" / RED SUNSET RED MAPLE
- (TYPE "A" - 1 UNIT 60')
- 167 TOTAL L.F. / 60=2.78 UNITS) OR 3 TREES
- 4 TREES PROVIDED AS PER APPROVED SDP-01-01

STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (410) 313-1855.
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1. (B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12 OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 51), SOIL (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52).
- TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:**
 - TOTAL AREA OF SITE: 0.36 ACRES
 - AREA TO BE ROOFED OR PAVED: 0.06 ACRES
 - AREA TO BE VEGETATIVELY STABILIZED: 0.27 ACRES
 - TOTAL CUT: 106 C.Y. CU. YDS.
 - TOTAL FILL: 226 C.Y. CU. YDS.
- OFFSITE WASTE/BORROW AREA LOCATION:
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORK DAY, WHICHEVER IS SHORTER.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

- SOIL AMENDMENTS:** IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:
- PREFERRED - APPLY 2 TONS/ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 600 LBS/ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS/ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS/1000 SQ. FT.)
 - ACCEPTABLE - APPLY 2 TONS/ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) 1000 LBS/ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

SEEDING - FOR THE PERIODS MARCH 1-APRIL 30, AND AUGUST 1-OCTOBER 15, SEED WITH 60 LBS/ACRE (1.4 LBS/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1-JULY 31, SEED WITH 60 LBS/ACRE (1.4 LBS/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS/ACRE (.05 LBS/1000 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16-FEBRUARY 28, PROTECT SITE BY:

OPTION 1 - TWO TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING.

OPTION 2 - USE SOO.

OPTION 3 - SEED WITH 60 LBS/ACRE KENTUCKY 30 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPE 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE RE-DISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

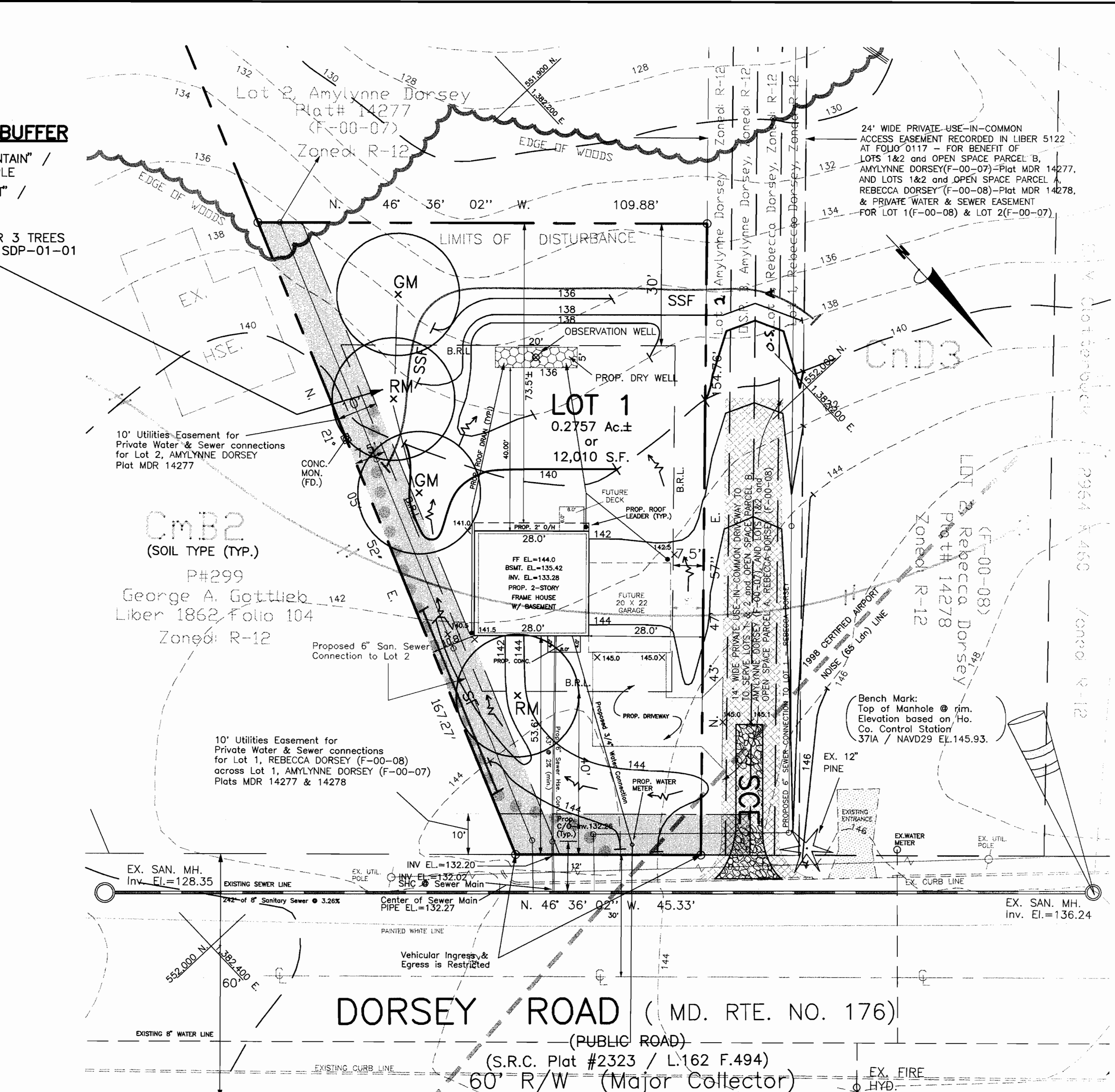
- SOIL AMENDMENTS:** APPLY 600 LBS/ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.)
- SEEDING - FOR THE PERIODS MARCH 1-APRIL 30, AND AUGUST 15-OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ. FT.) FOR THE PERIOD MAY 1-AUGUST 14, SEED WITH 3 LBS WEEPING LOVEGRASS (0.7 LBS/1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 - FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS/ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOO.**

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED WEED-FREE, SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPE 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

10/25/00
 DATE
 10/26/00
 DATE
 10/27/00
 DATE

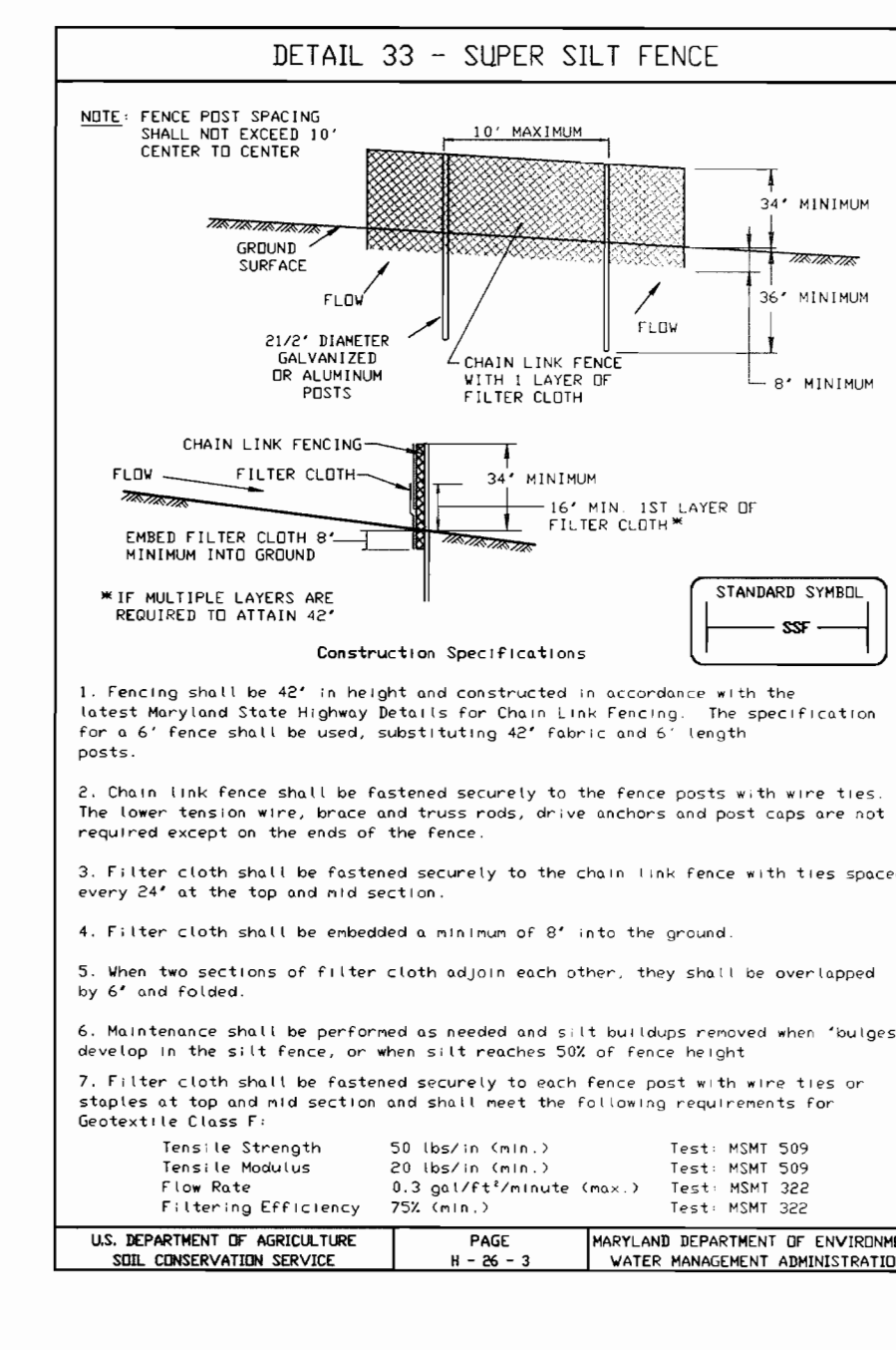
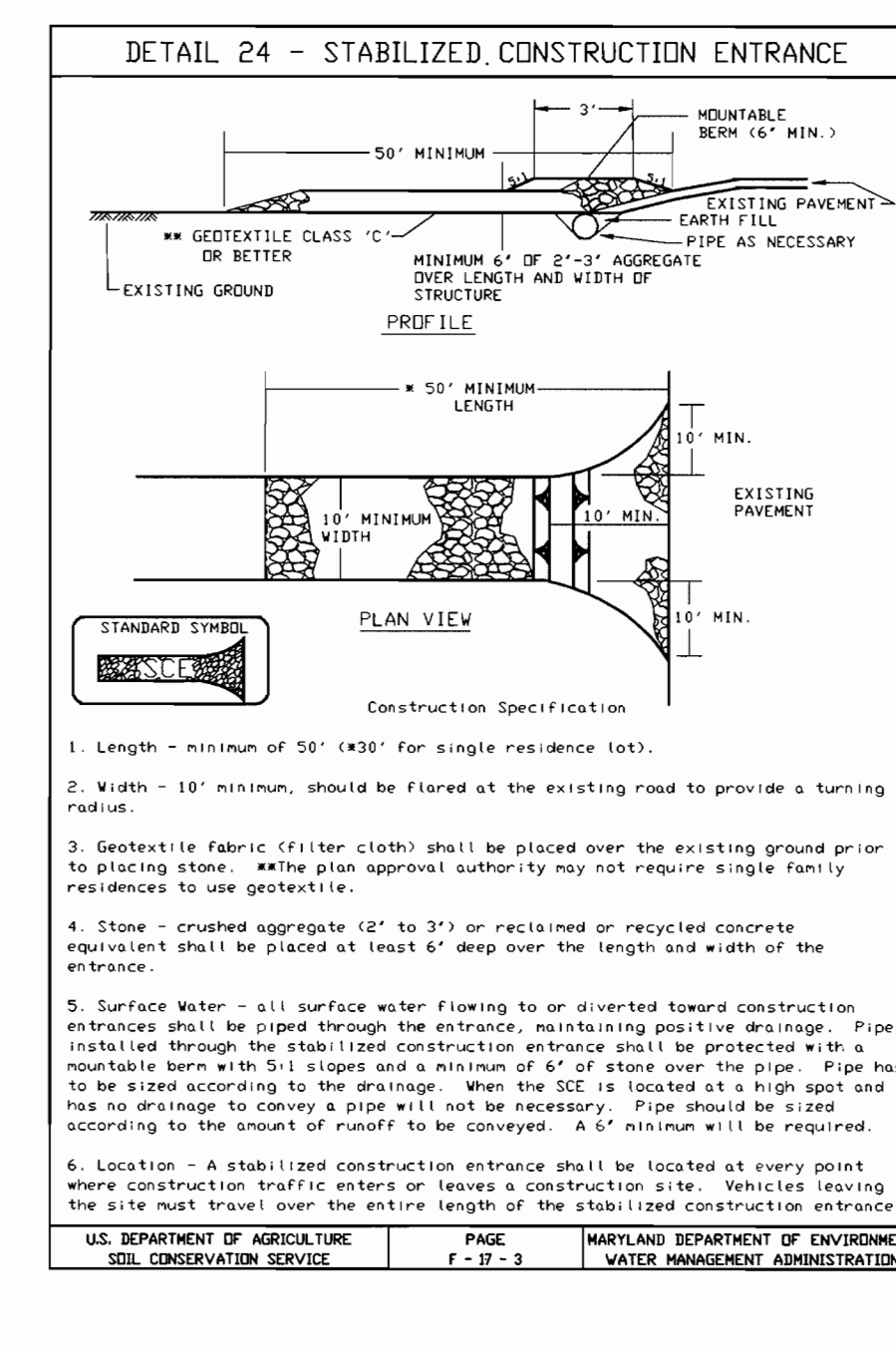
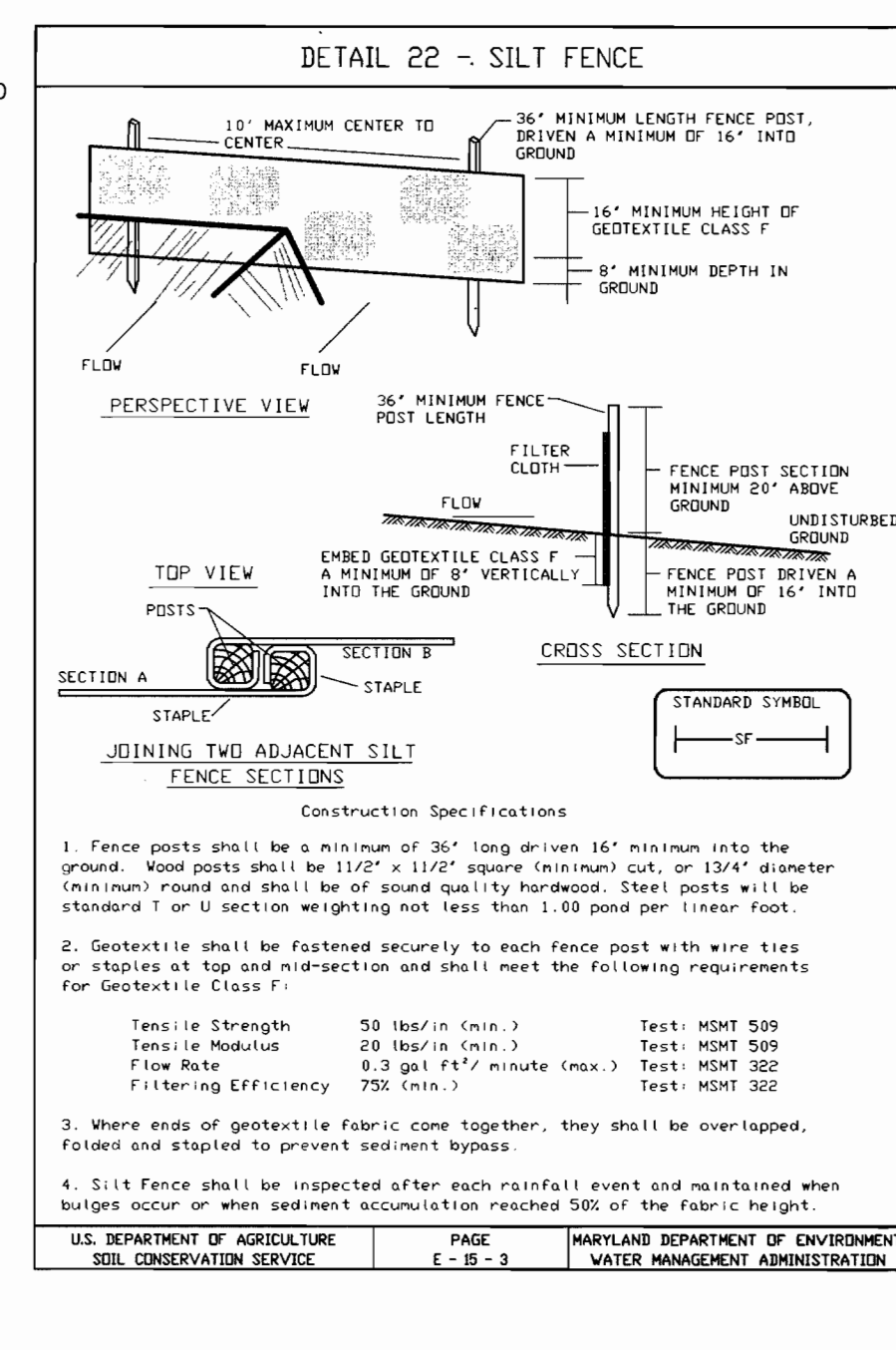


THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

Approved by Howard C.D. [Signature]

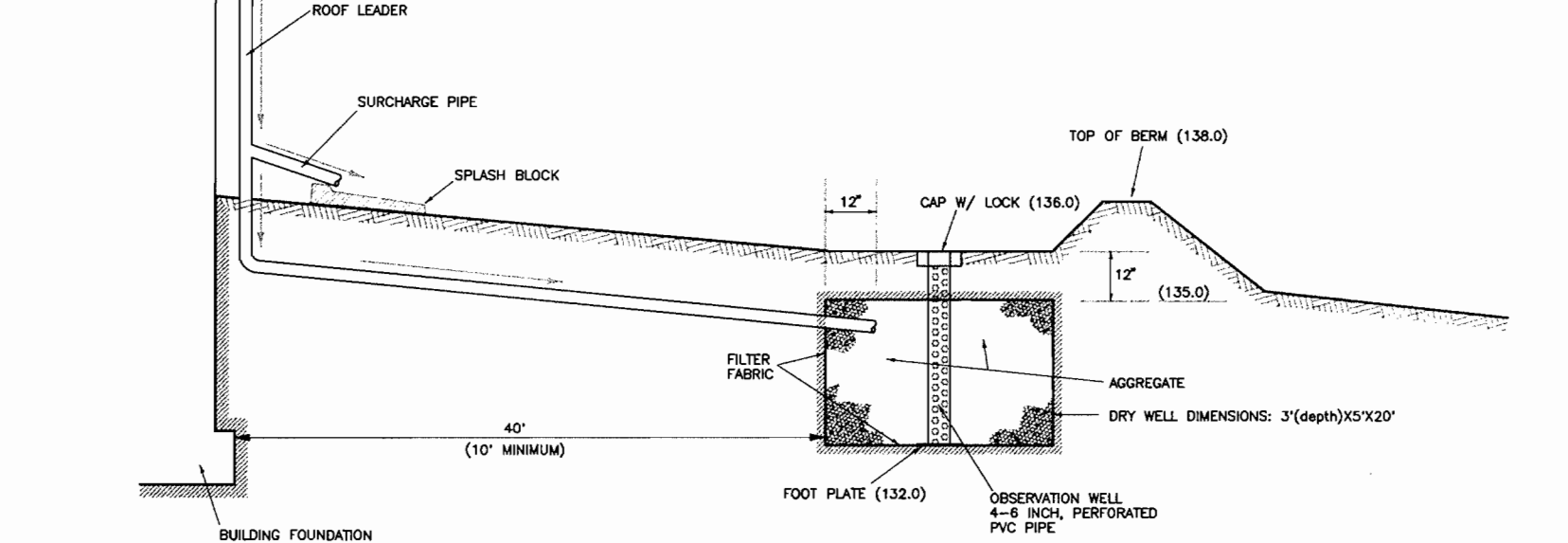
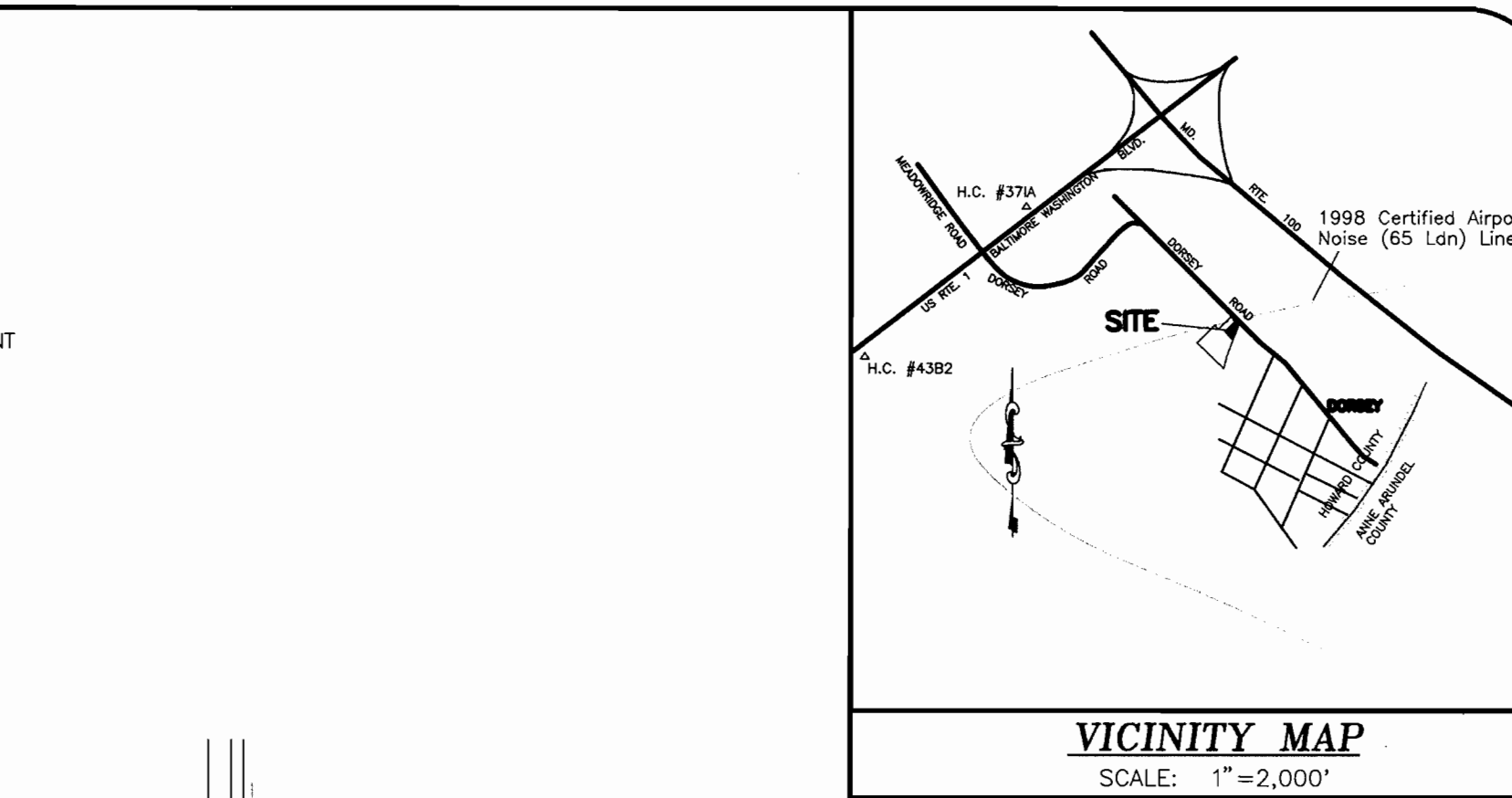
UIC & PAVING NOTES:

- For Lot 1, refuse collection, snow removal and road maintenance are provided at the junction of the flag or pipe stem to driveway and the Dorsey Rd. R/W line.
- Driveways shall be provided prior to issuance of occupancy permit to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - A. Width - 14 feet wide use-in-common.
 - B. Surface - 6 inches of compacted crusher run base with a tar and chip coating.
 - C. Geometry - Maximum 15% grade, maximum 8% grade change and minimum 45 foot turning radius.
 - D. Maintenance - Sufficient to insure all weather use.



DRY WELL - CONSTRUCTION SPECIFICATIONS:

- TIMING:**
- A DRY WELL SHALL NOT BE CONSTRUCTED OR PLACED IN SERVICE UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED AND APPROVED BY THE RESPONSIBLE INSPECTOR.
- DRY WELL PREPARATION:**
- EXCAVATE THE DRY WELL TO THE DESIGN DIMENSIONS. EXCAVATED MATERIALS SHALL BE PLACED AWAY FROM THE EXCAVATED SIDES TO ENHANCE WALL STABILITY. LARGE TREE ROOTS SHALL BE TRIMMED FLUSH WITH THE SIDES IN ORDER TO PREVENT FABRIC PUNCTURING OR TEARING DURING SUBSEQUENT INSTALLATION PROCEDURES. THE SIDE WALLS OF THE DRY WELL SHALL BE ROUGHENED WHERE SHEARED AND SEALED BY HEAVY EQUIPMENT.
- FABRIC LAYDOWN:**
- THE FILTER FABRIC ROLL SHALL BE CUT TO THE PROPER WIDTH PRIOR TO INSTALLATION. THE CUT WIDTH MUST INCLUDE SUFFICIENT MATERIAL TO CONFORM TO WELL PERIMETER IRREGULARITIES AND FOR A 6-INCH MINIMUM TOP OVERLAP. PLACE THE FABRIC ROLL OVER THE WELL AND UNROLL. A SUFFICIENT LENGTH TO ALLOW PLACEMENT OF THE FABRIC DOWN INTO THE WELL. STONES OR OTHER ANCHORING OBJECTS SHOULD BE PLACED ON THE FABRIC AT THE EDGE OF THE WELL TO KEEP THE LINED WELL OPEN DURING WINDY PERIODS. WHEN OVERLAPS ARE REQUIRED BETWEEN ROLLS, THE UPSTREAM ROLL SHALL LAP A MINIMUM OF 2 FEET OVER THE DOWNSTREAM ROLL IN ORDER TO PROVIDE A SHINGLED EFFECT. THE OVERLAP ENSURES FABRIC CONTINUITY OR THE FABRIC CONFORMS TO THE EXCAVATION SURFACE DURING AGGREGATE PLACEMENT AND COMPACTION.
- AGGREGATE PLACEMENT AND COMPACTION:**
- DRAINAGE AGGREGATE SHALL BE PLACED IN LIFTS AND COMPACTED USING PLATE COMPACTORS. AS A RULE OF THUMB, A MAXIMUM LOOSE LIFT THICKNESS OF 12 INCHES IS RECOMMENDED. THE COMPACTION PROCESS ENSURES FABRIC CONFORMITY TO THE EXCAVATION SIDES, THEREBY REDUCING THE POTENTIAL FOR SOIL PIPING AND FABRIC CLOGGING.
- OVERLAPPING AND COVERING:**
- FOLLOWING AGGREGATE PLACEMENT, THE FABRIC PREVIOUSLY WEIGHTED BY STONES SHOULD BE FOLDED OVER THE AGGREGATE TO FORM A 6" MINIMUM LONGITUDINAL LAP. THE DESIRED FILL SOIL SHOULD BE PLACED OVER THE LAP AT SUFFICIENT INTERVALS TO MAINTAIN THE LAP DURING SUBSEQUENT BACKFILLING.
- CONTAMINATION:**
- CARE SHALL BE EXERCISED TO PREVENT NATURAL OR FILL SOILS FROM INTERMIXING WITH THE DRAINAGE AGGREGATE. ALL CONTAMINATED AGGREGATE SHALL BE REMOVED AND REPLACED WITH UNCONTAMINATED AGGREGATE.
- VOIDS BEHIND FABRIC:**
- VOIDS CAN BE CREATED BETWEEN THE FABRIC AND EXCAVATION SIDES AND SHOULD BE AVOIDED. REMOVING BOULDERS OR OTHER OBSTACLES FROM THE TRENCH WALLS IS ONE SOURCE OF SUCH VOID. NATURAL SOILS SHOULD BE PLACED IN THESE VOID. AT THE MOST CONVENIENT TIME DURING CONSTRUCTION TO ENSURE FABRIC CONFORMITY TO THE EXCAVATED SIDES, SOIL PILING, FABRIC CLOGGING, AND POSSIBLE SURFACE SUBSIDENCE WILL BE AVOIDED BY THIS REMEDIAL PROCESS.
- UNSTABLE EXCAVATION SIDES:**
- VERTICALLY EXCAVATED TRENCH WALLS MAY BE DIFFICULT TO MAINTAIN IN AREAS WHERE THE SOIL MOISTURE IS HIGH OR WHERE SOFT COHESIVE OR COHESIONLESS SOILS PREDOMINATE. THESE CONDITIONS MAY REQUIRE LAYING BACK OF THE SIDE SLOPES TO MAINTAIN STABILITY; TRAPEZOIDAL RATHER THAN RECTANGULAR CROSS SECTIONS MAY RESULT.
- FOUNDATION PROTECTION:**
- DRY WELLS 3 OR MORE FEET DEEP SHALL BE LOCATED AT LEAST 10 FEET DOWN GRADATION FROM FOUNDATION WALLS.
- OBSERVATION WELL:**
- AN OBSERVATION WELL SHALL BE INSTALLED IN THE DRY WELL. THE OBSERVATION WELL WILL SERVE TO PRIMARY FUNCTIONS: 1) IT WILL INDICATE HOW QUICKLY THE TRENCH DEWATERS FOLLOWING A STORM, AND 2) IT WILL PROVIDE A METHOD OF OBSERVING HOW QUICKLY THE DRY WELL FILLS UP WITH SILT AND THIS REQUIRES MAINTENANCE CLEANOUT. THE OBSERVATION WELL SHOULD CONSIST OF PERFORATED PVC PIPE, 4 INCHES IN DIAMETER. IT SHOULD BE LOCATED IN THE CENTER OF THE STRUCTURE AND BE CONSTRUCTED FLUSH WITH THE GROUND ELEVATION OF THE STRUCTURE. THE TOP OF THE WELL SHALL BE CAPPED TO DISCOURAGE VANDALISM AND TAMPERING. THE DEPTH OF THE WELL AT THE TIME OF INSTALLATION SHOULD BE CLEARLY MARKED ON THE WELL CAP.
- MAINTENANCE:**
- DRY WELLS SHALL BE DESIGNED TO MINIMIZE MAINTENANCE. HOWEVER, IT IS RECOGNIZED THAT ALL INFILTRATION FACILITIES ARE SUBJECT TO CLOGGING BY SEDIMENT, OIL, GREASE GRIT AND OTHER DEBRIS. IN ADDITION, THE PERFORMANCE AND LONGEVITY OF THESE STRUCTURES IS NOT WELL DOCUMENTED. CONSEQUENTLY, A MONITORING OBSERVATION WELL IS REQUIRED FOR ALL INFILTRATION STRUCTURES. THE OBSERVATION WELL SHOULD BE MONITORED PERIODICALLY. FOR THE FIRST YEAR AFTER COMPLETION OF CONSTRUCTION, THE WELL SHOULD BE MONITORED ON A QUARTERLY BASIS AND AFTER EVERY LARGE STORM. IT IS RECOMMENDED THAT A LOG BOOK BE MAINTAINED INDICATING THE RATE AT WHICH THE FACILITY DEWATERS AFTER LARGE STORMS AND THE DEPTH OF THE WELL FOR EACH OBSERVATION. ONCE THE PERFORMANCE CHARACTERISTICS OF THE STRUCTURE HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS, UNLESS THE PERFORMANCE DATA INDICATE THAT A MORE FREQUENT SCHEDULE IS REQUIRED.



CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	B (1:50')	A (1:60')
LINEAR FEET OF ROADWAY FORNAGE/PERIMETER	45 L.F.	167 L.F.
	0 SHADE TREES	3 SHADE TREES
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	270 L.F.
CREDIT FOR WALL, FENCE OR BEAM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO
NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS	(NONE REQUIRED SEE TABLE #2 Pg. #18 of Manual)	4 Shade Trees (as per approved subdivision plan)
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	NONE REQUIRED	4 SHADE TREES

(NOTE: SCHEDULE B, C, & D, NOT APPLICABLE)

SCHEDULE A - PERIMETER LANDSCAPE EDGE

LANDSCAPE SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	SPACING
RM	2	ACER RUBRUM RED SUNSET RED MAPLE	2-1/2" - 3" CAL.	B & B	AS SHOWN
GM	2	ACER SACCHARUM GREEN MOUNTAIN SUGAR MAPLE	2-1/2" - 3" CAL.	B & B	AS SHOWN

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
LOT #1, P/O PARCEL #300	#6872 DORSEY ROAD

PERMIT INFO CHART

Subdivision Name:	Section/Area:	Lot/Parcel No.:
AMLYNNE DORSEY		300
Plot# or L/P: M.D.R. 14277	Grid#:	Zone#:
06	R12	43
Water Code: MDR-00-08	Section Code: 43	Election Dist: 1ST
(Public-Cont #24W&S)	(Public-Cont #24W&S)	Census Tract: 6012
DATE: 09/12/00	PER COMMENTS FROM PAZ/DLD/DED/DLP, SCD.	OWNER/DEVELOPER: PALMETTO GROUP, INC. P.O. BOX 841 ELLICOTT CITY, MARYLAND 21041 (410) 750-0791
DATE: 10/18/00	PER COMMENTS FROM FSE/DLP/DED.	TAX MAP: #43, BLOCK: #06, PARCEL: P/O #300

SITE DEVELOPMENT PLAN

LOT 1
AMLYNNE DORSEY
 (PLAT-M.D.R. #14277)

SITUATE SOUTH SIDE OF DORSEY ROAD (MD. RTE. NO. 176)
 FIRST (1) ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: 1"=20'
 JULY, 2000

VANMAR ASSOCIATES, INC.
 Engineers/Surveyors/Planners
 110 South Main Street, P.O. Box 328
 Mount Airy, Maryland 21771
 (301) 829-2890 (301)851-5015 (410) 549-2251

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