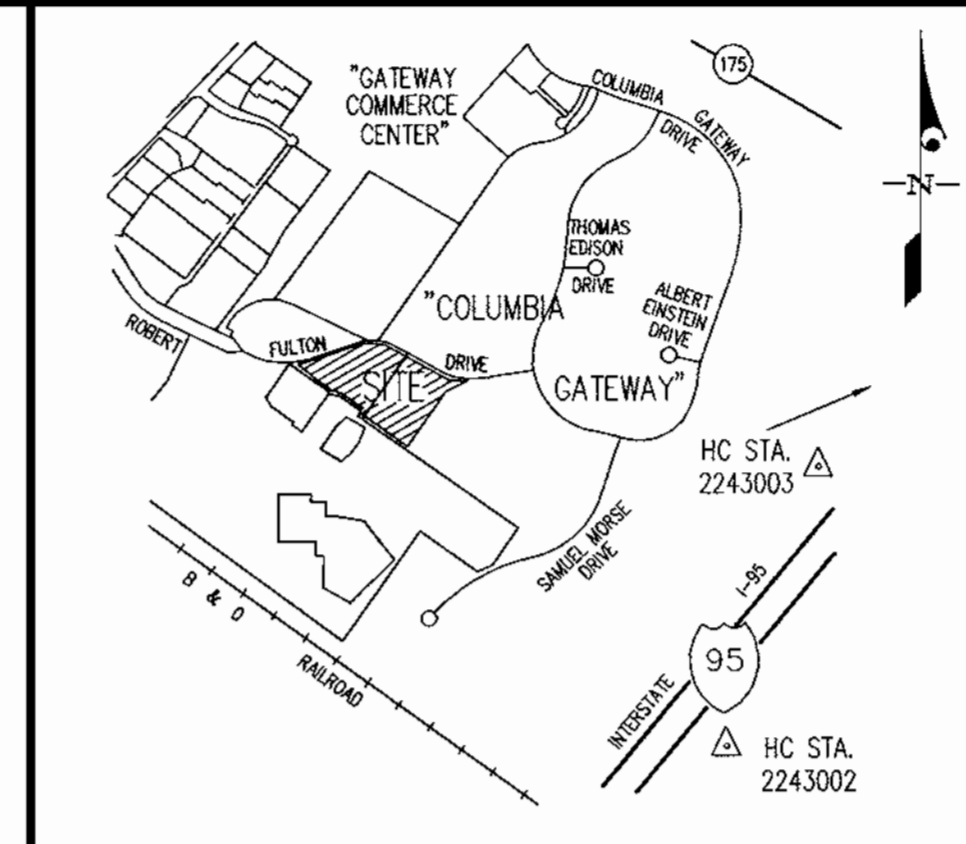
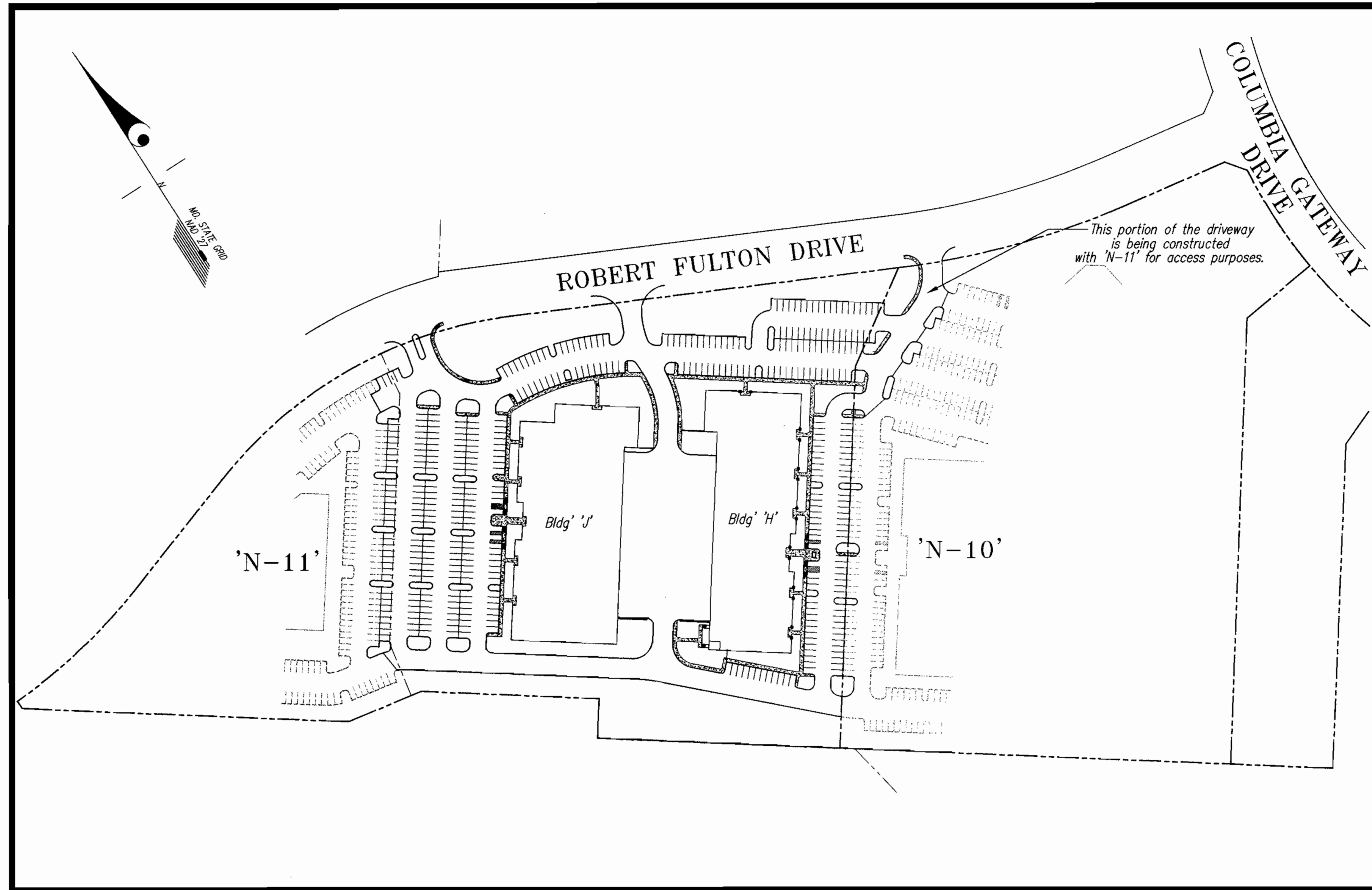


GENERAL NOTES

- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standard and specifications if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Inspection at (410) 313-1880 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- The contractor shall notify the Howard County Department of Public Works, Bureau of Utilities at (410) 313-4900 at least five working days prior to starting any excavation work.
- Area of Parcel: 14,2008 Ac. Disturbed Area: 12.2 Ac.
- Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- All plan dimensions are to face of curb unless otherwise noted.
- Existing topography was determined by approved final construction plans for development.
- Coordinates and bearings are based upon the MD State Plane System (NAD '27).
- Water and sewer shown is public.
- All existing water and sewer is shown per Cont. Nos. 24-1440-D, 24-1587-D & 20-1397-D.
- Stormwater management quantity and quality are provided offsite at a regional facility.
- All existing public storm drain is per F-87-63 & F-86-128.
- All curb radii is 5' unless noted otherwise.
- Utility information taken from approved final construction plans for development.
- Sidewalks adjacent to perpendicular parking shall be 6' wide. All other sidewalks shall be 5' wide, except where dimensioned otherwise. Provide 3' radius rounding at all angle breaks and intersections.
- Contractor shall utilize PVC pipe for all sewer house connections. Contractor shall utilize D.I.P. (Cl. 51) for 4" and 6" water house connections and D.I.P. (Cl. 50) for 8" water house connections.
- For all storm drain connections at existing stubs, the contractor shall remove the existing blocking and maintain the same grade and alignment.
- Use trench bedding class "C" for storm drains.
- Paved areas indicated are private except as noted.
- Project background: See Dept. of Planning & Zoning File Numbers: P-86-22, S-84-44, F-85-55, F-85-63, F-86-17, F-86-63, F-86-182, F-87-96, F-88-91, F-90-175, F-91-16, F-92-15, F-99-156, F-00-11 & OP-01-24.
- Recording reference: Plat No. 14298.
- All proposed ramps shall be in accordance with current A.D.A. standards. Maximum sidewalk cross slope shall be two percent. Provide a five-foot by five-foot level (2 percent max.) landing at the top and bottom of all ramps and building entrances and exits.
- All water meters shall be located inside buildings.
- The proposed water and sewer house connection alignments indicated on the plans, from the existing utilities to the building, are to be constructed by the building plumber and are approximate. The proposed stubs are located 5' from the building face.
- The proposed roof drain alignment connections indicated on the plans, from the stubs to the building, are to be constructed by the building plumber and are approximate. The proposed stubs are located 5' from the building face.
- Maintain 2% cross-slopes on sidewalks, per standard details. Where sidewalk is adjacent to building, slope away from building, and utilize expansion joint material and sealer in the joint between the sidewalk and the building wall.
- Sufficient sight distance per the Howard County Design Manual must be provided at all access points. Any landscaping that obstructs the line of sight must be relocated.
- A traffic study and A.P.F.O. analysis, which included this Parcel, were performed under F-99-156.
- There is no floodplain on this site.
- There are no wetlands on this site.
- This parcel does not appear on the county's cemetery inventory as having any cemeteries or burial grounds. Also, there is no physical evidence to indicate that either a cemetery or burial ground is present on the site.
- Horizontal and vertical control are based on Howard County Control Sta. 2243002 and Howard County Sta. 2243003.
- All exterior lighting shall conform to Section 134 of the Zoning Regulations.
- This site is exempt from the Forest Conservation ordinance in accordance with Section 16.1202 (b)(1)(iv) a planned office park greater than 75 acres.

SITE DEVELOPMENT PLAN COLUMBIA GATEWAY PART OF PARCEL 'N-11'



VICINITY MAP
1"=2000'

BENCHMARK

SITE ANALYSIS

- Area of site: 618,587 s.f. or 14,2008 ac.
 - Disturbed Area: 12.2 Ac.
 - Present Zoning: M-1.
 - Proposed Use: Research and Development/Light Warehouse.
 - Floor space: Building H 49,500 s.f.
Building J 56,350 s.f.
Total Floor Space: 105,850 s.f.
 - Total number of Parking Spaces required: 350*
 - Total number of Handicap Spaces required: 9
 - Minimum number of Van accessible: 2
 - Total number of Parking Spaces provided: 425
(provides parking ratio of 4.01 sp./1000 s.f.)
 - Total number of Handicap Spaces provided: 9
 - Total number of Van accessible provided: 4
 - Building coverage: 105,850 s.f.
 - Floor/Area ratio (F.A.R.): 105,850/618,587 = 0.17
- * - Based on General Office use @ 3.3 spaces/1000 s.f.

**KEY MAP
SCALE: 1"=100'**

SHEET INDEX

- Cover Sheet
- Site Development Plan
- Site Details/Paving Plan
- Handicap Access and Site Details
- Landscape Plan
- Landscape Notes & Details
- Sediment Control Plan
- Sediment Control Notes and Details
- Storm Drain Profiles & Schedules
- W.H.C. and S.H.C. Profiles
- Drainage Area Map
- Striping Plan

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] Director Date 11/11/01

[Signature] Chief, Division of Land Development Date 11/11/01

[Signature] Chief, Development Engineering Division Date 11/15/01



ADDRESS CHART					
PARCEL 'N-11' BLDG	STREET ADDRESS				
'N-11'	8661 ROBERT FULTON DRIVE				
'J'	8671 ROBERT FULTON DRIVE				
SUBDIVISION NAME:			SECTION/AREA	PARCEL	
COLUMBIA GATEWAY			N/A	'N-11'	
PLAT	ZONE	TAX MAP	BLOCK	ELEC. DIST.	CENSUS TRACT
14298	M-1	42	12	6	0005
SCALE		ZONING	G. L. W. FILE No.		
AS SHOWN		M-1	00069		
DATE		TAX MAP - GRID	SHEET		
SEPT., 2000		42 - 12	1 OF 12		

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

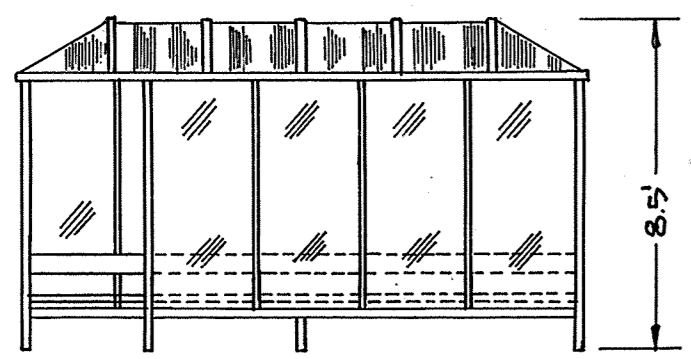
PREPARED FOR:
GATEWAY 67 L.L.C.
7165 COLUMBIA GATEWAY DRIVE
COLUMBIA, MD. 21046
PH: 410-280-1400
ATTN: MR. GOLE SCHWORF

COVER SHEET
COLUMBIA GATEWAY
PART OF PARCEL 'N-11'
PLAT No. 14298

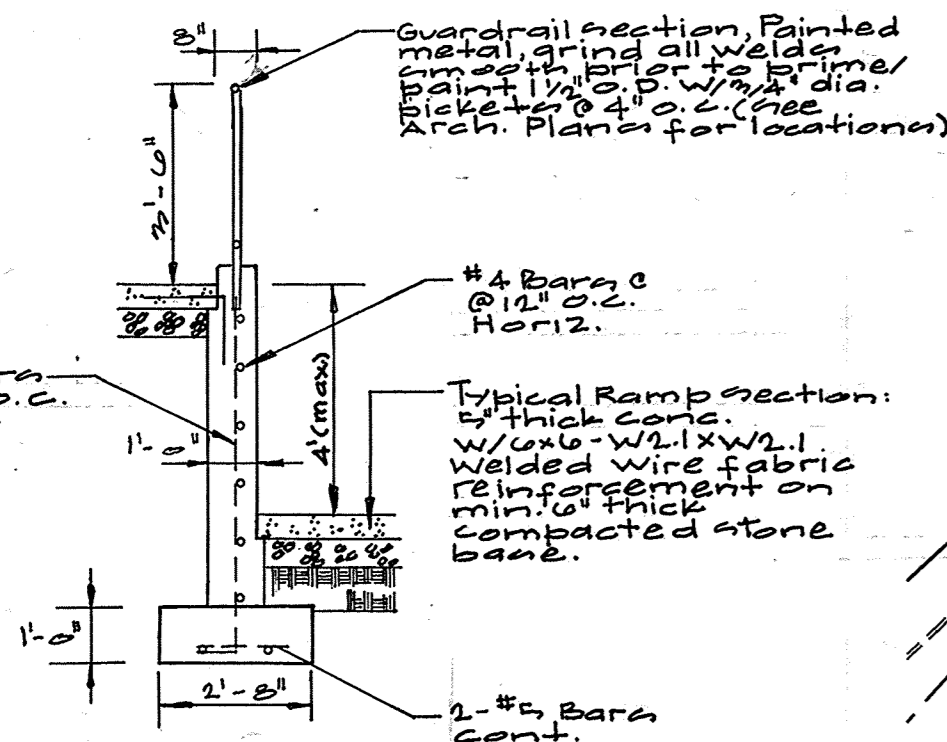
DATE	REVISION	BY	APP'R.

GUILFORD ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

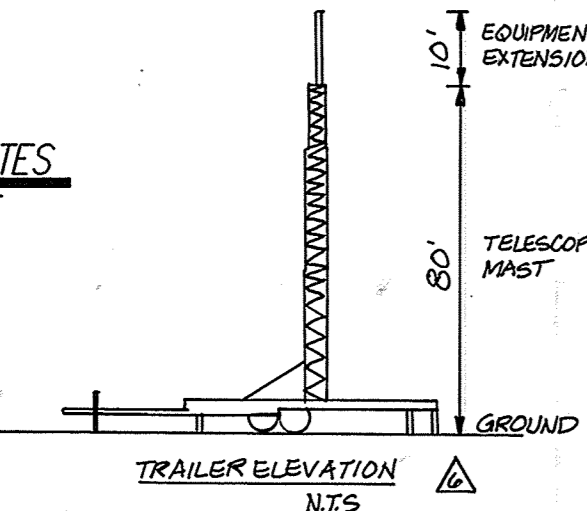


Smoking Shelter Elevation
N.T.S.



Ramp Wall section
N.T.S.

STREET LIGHT NOTES
* DENOTES STREET LIGHT



TRAILER ELEVATION
N.T.S.

LEGEND

- STANDARD 6" CURB & GUTTER
- REVERSE 6" CURB & GUTTER
- EXISTING CURB
- +22.95 PROPOSED SPOT ELEVATION
- 324 EXISTING CONTOUR
- 324 PROPOSED CONTOUR
- △ ENTRANCE THAT IS HANDICAP ACCESSIBLE
- ▲ ENTRANCE THAT IS NOT HANDICAP ACCESSIBLE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 11/16/01

Chief, Division of Road Development: *[Signature]* Date: 11/14

Chief, Development Engineering Division: *[Signature]* Date: 11/5/00

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

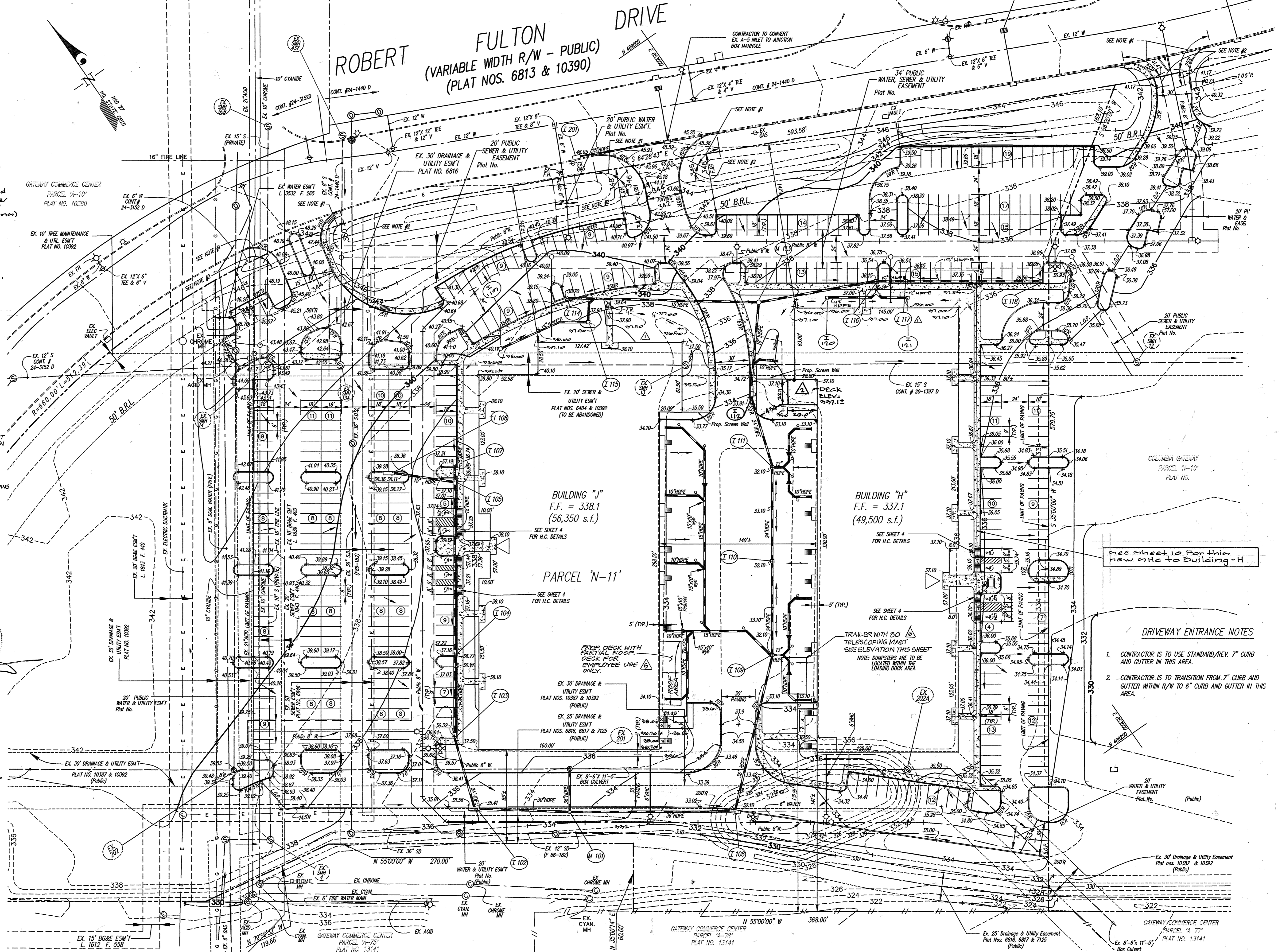
DATE	REVISION	BY	APP'R.
02/10/01	TRAILER LOCATION AND ELEVATION ADDED	HJK	DDG
5/7/19	Building-H new site	gt	klp
3/6/18	REMOVE REVISION 6, ADD EXTERIOR DECK WITH PARTIAL ROOF	SEB	
12-19-10	Paver Patios & smoke shelter added to rear of Building "A"		
7-12-07	Add Deck Addition to corner of Building "H"		
2-2-01	deleted screen wall on Bldg. H & J		
8-22-01	rev plan to add I 110, I 112, I 111, and prep grading as needed		

PREPARED FOR:
Gateway 67 L.L.C.
7165 Columbia Gateway Dr.
Columbia, Maryland 21046
Attn: Cole Scarff
Phone: (410) 290-1400

SITE DEVELOPMENT PLAN
COLUMBIA GATEWAY
PART OF
PARCEL 'N-11'
PLAT NO. 14298

SCALE	ZONING	G. L. W. FILE NO.
1"=40'	M-1	00069
DATE	TAX MAP - GRID	SHEET
SEPT, 2000	42-12	2 OF 12

00069SP8.DWG 12-28-00 1:32:24 pm EST



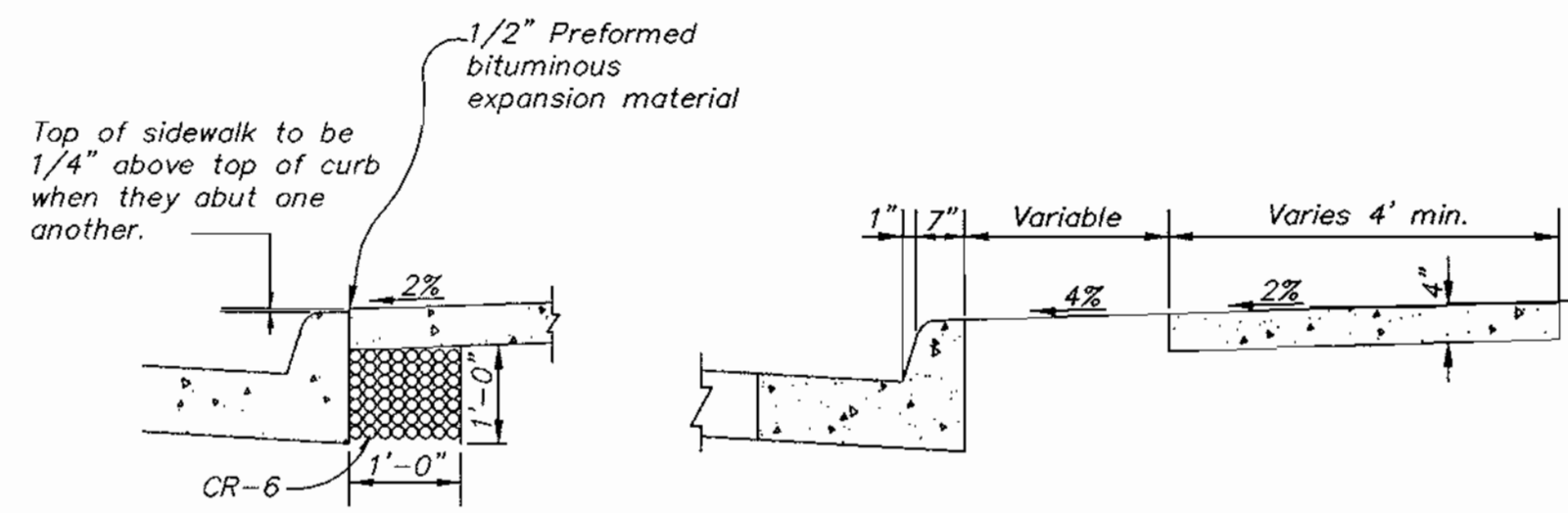
see sheet 10 for this new site to Building-H

DRIVEWAY ENTRANCE NOTES

1. CONTRACTOR IS TO USE STANDARD/REV. 7" CURB AND GUTTER IN THIS AREA.
2. CONTRACTOR IS TO TRANSITION FROM 7" CURB AND GUTTER WITHIN R/W TO 6" CURB AND GUTTER IN THIS AREA.

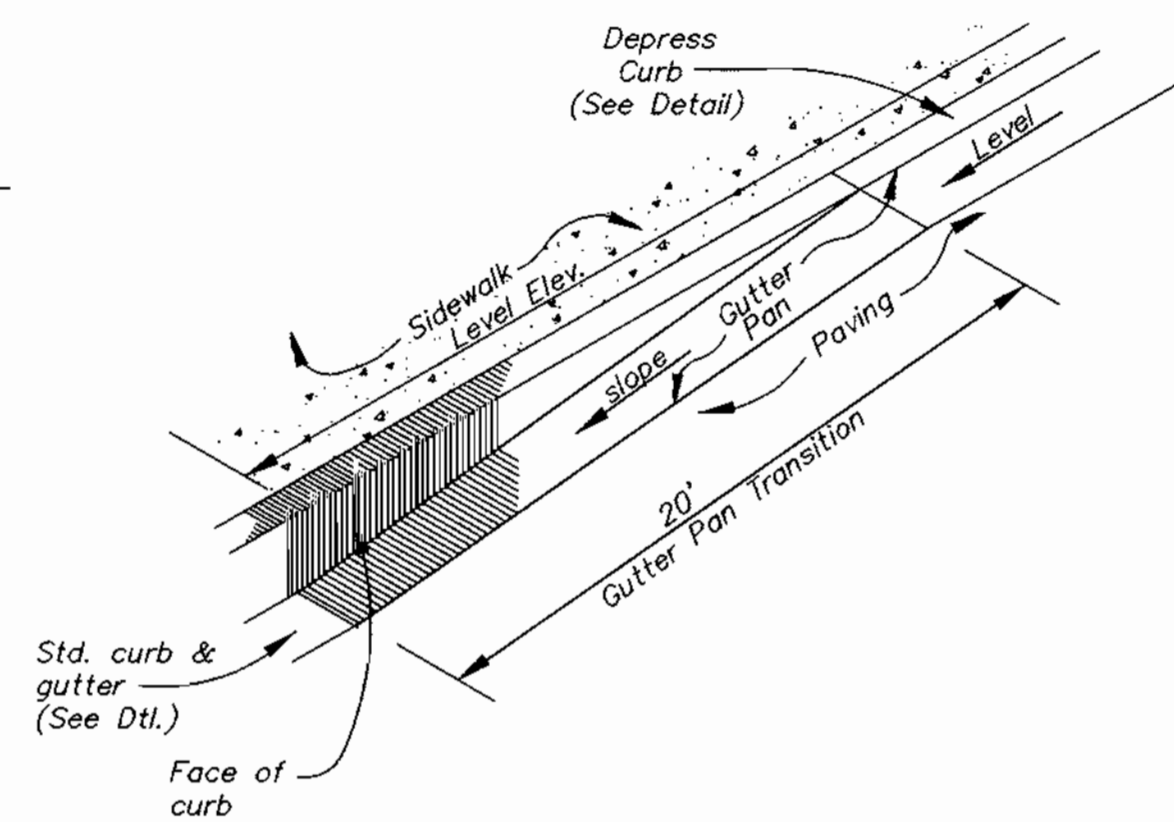
GATEWAY COMMERCE CENTER
PARCEL 'N-77'
PLAT NO. 13141

HOWARD COUNTY, MARYLAND

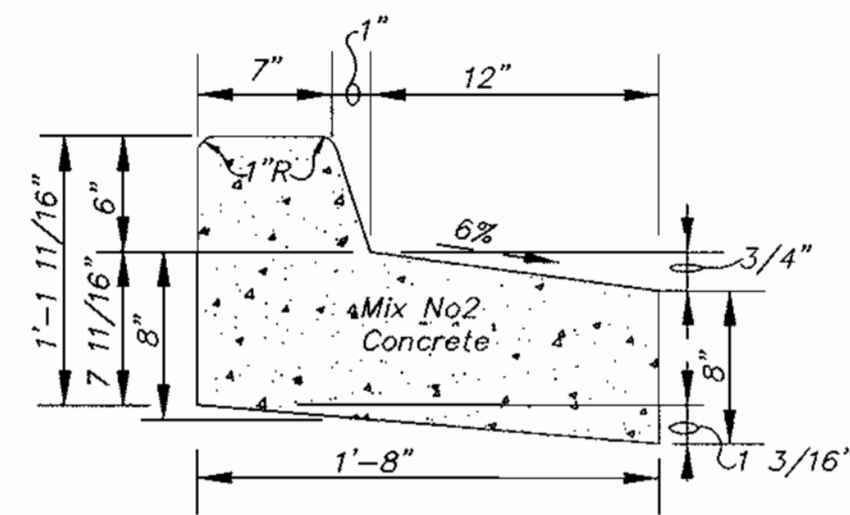


Detail A

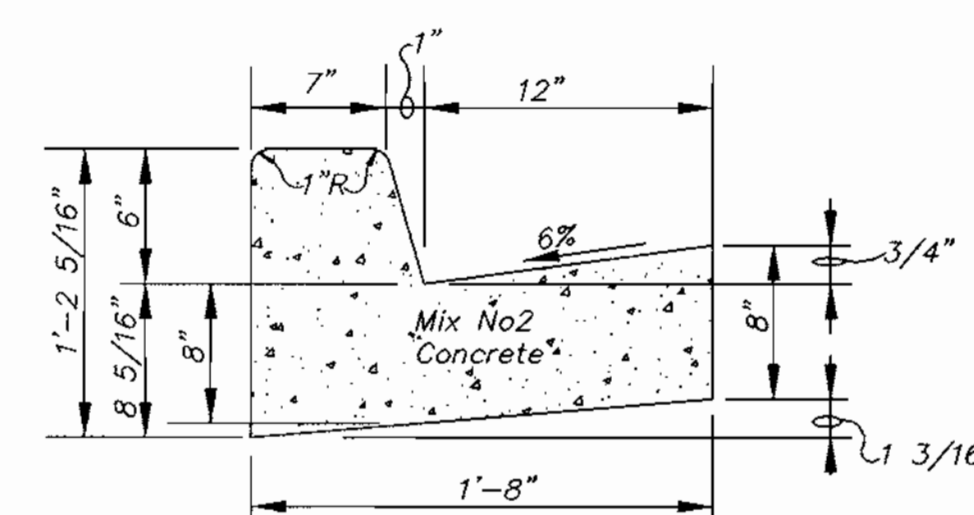
- Notes:
- Sidewalk to be scribed in 5' maximum squares.
 - Expansion joints across the sidewalk not to be more than 15' apart.
 - 1/2" preformed bituminous expansion material in expansion joints to be kept 1/4" below surface of sidewalk.
 - Concrete to be mix No.2
 - When sidewalk abuts curb, walk shall be 1/4" above curb with preformed bituminous expansion material between sidewalk and curb and resting on a compacted crushed stone base. See detail A this sheet.
 - On longitudinal sidewalk grades of 5% or greater, a concrete header, 6" thick and 6" deep below the normal 4" sidewalk thickness shall be constructed for the full width of the sidewalk at intervals of 48'. The headers shall be placed at expansion joint locations and shall be monolithic with the sidewalk.



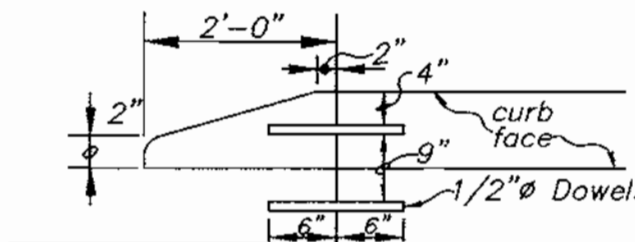
Gutter Transition - Isometric
N.T.S.



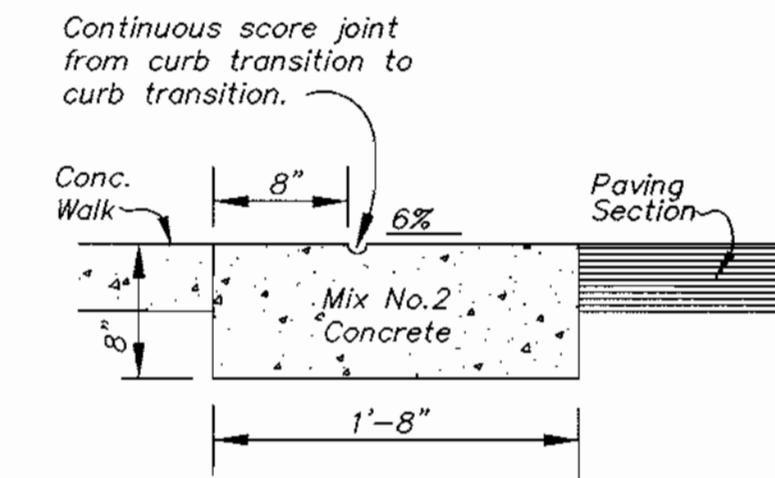
Reverse 6" Combination Curb & Gutter
N.T.S.



Standard 6" Combination Curb & Gutter
N.T.S.



Nose Down Curb Detail
N.T.S.



Depressed Curb Entrance
N.T.S.

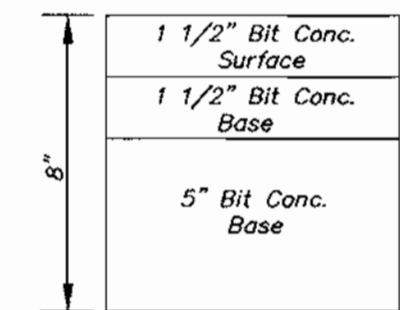
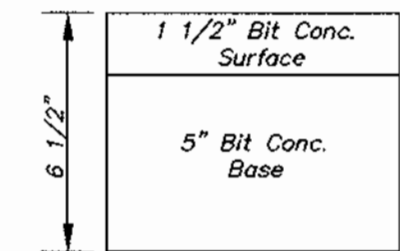
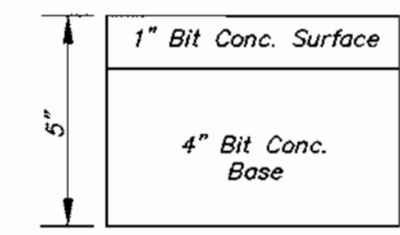
Section Number

P-1

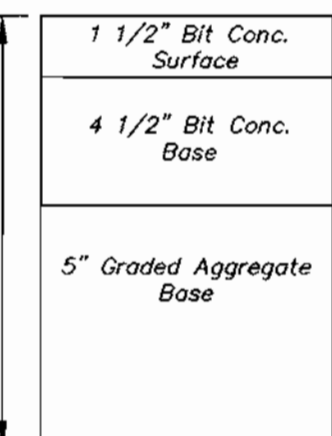
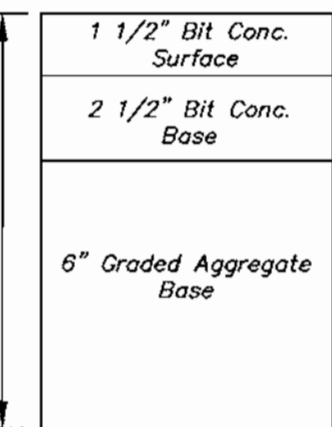
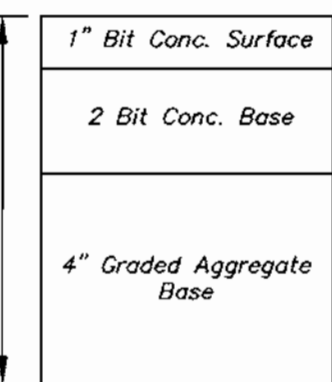
P-2

P-3

Full Depth Bit. Conc. Alternate



Granular Base Alternates

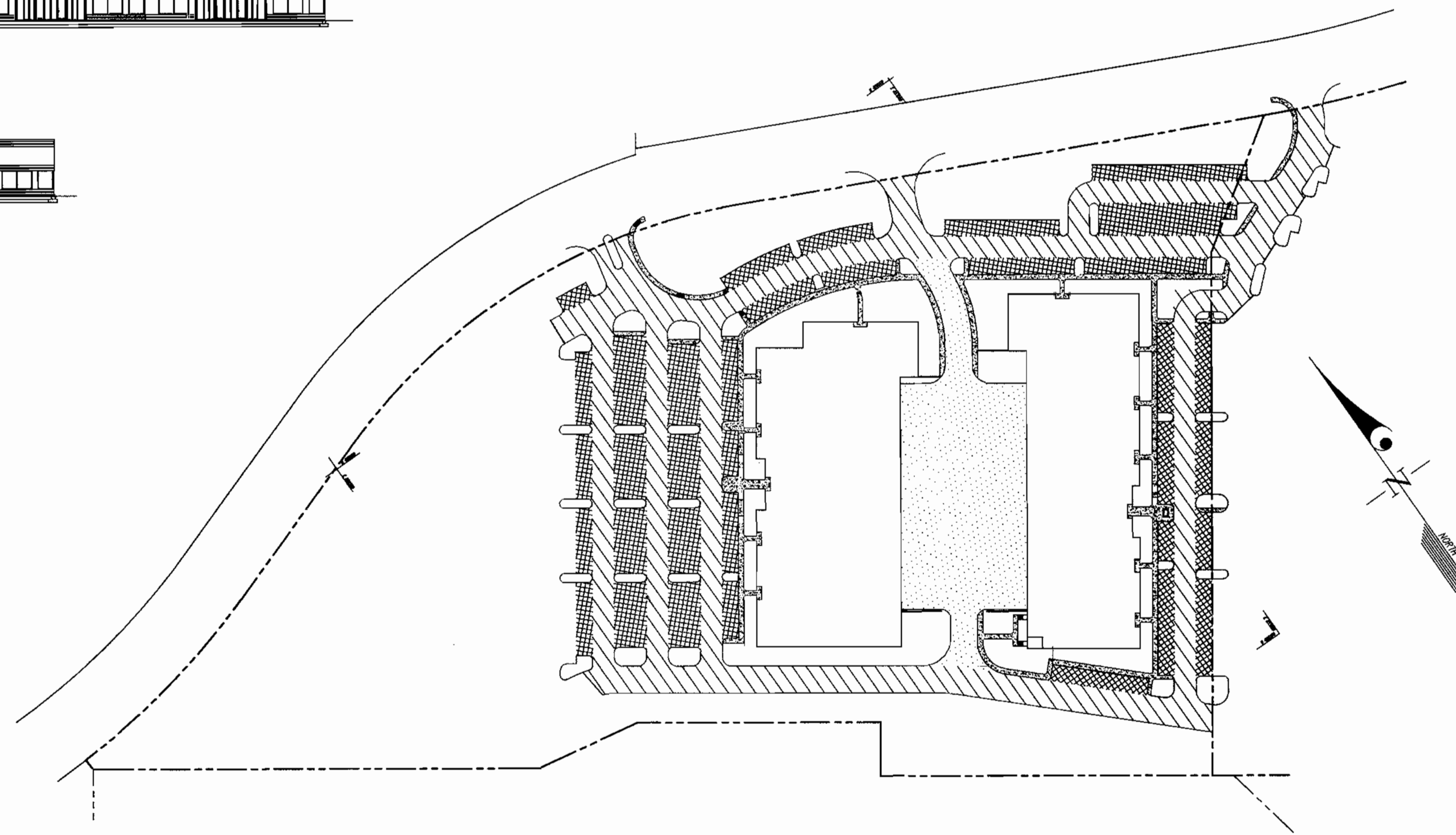


BUILDING 'H'



BUILDING 'J'

FRONT ELEVATIONS
NOT TO SCALE

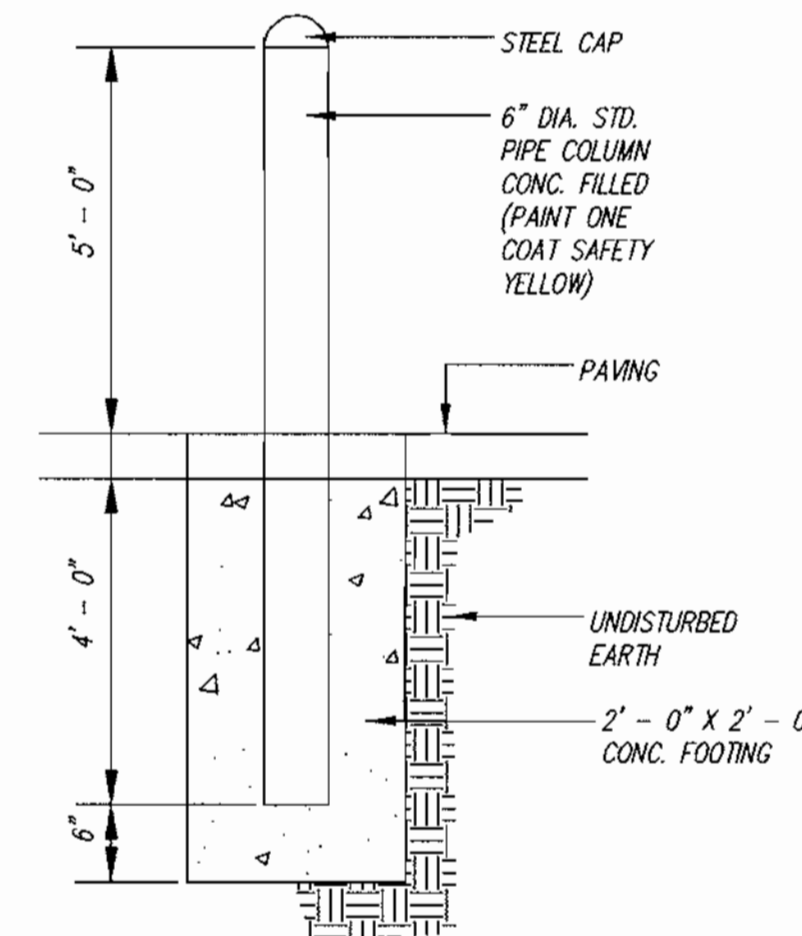


PAVING PLAN
SCALE: 1" = 100'

LEGEND

- P1 [Pattern]
- P2 [Pattern]
- P3 [Pattern]

Paving Sections
N.T.S.



BOLLARD DETAIL
N.T.S.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] Date 11/10/01
 Director
 [Signature] Date 11/14/01
 Chief, Division of Land Development
 [Signature] Date 11/15/01
 Chief, Development Engineering Division MK



GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND, 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R

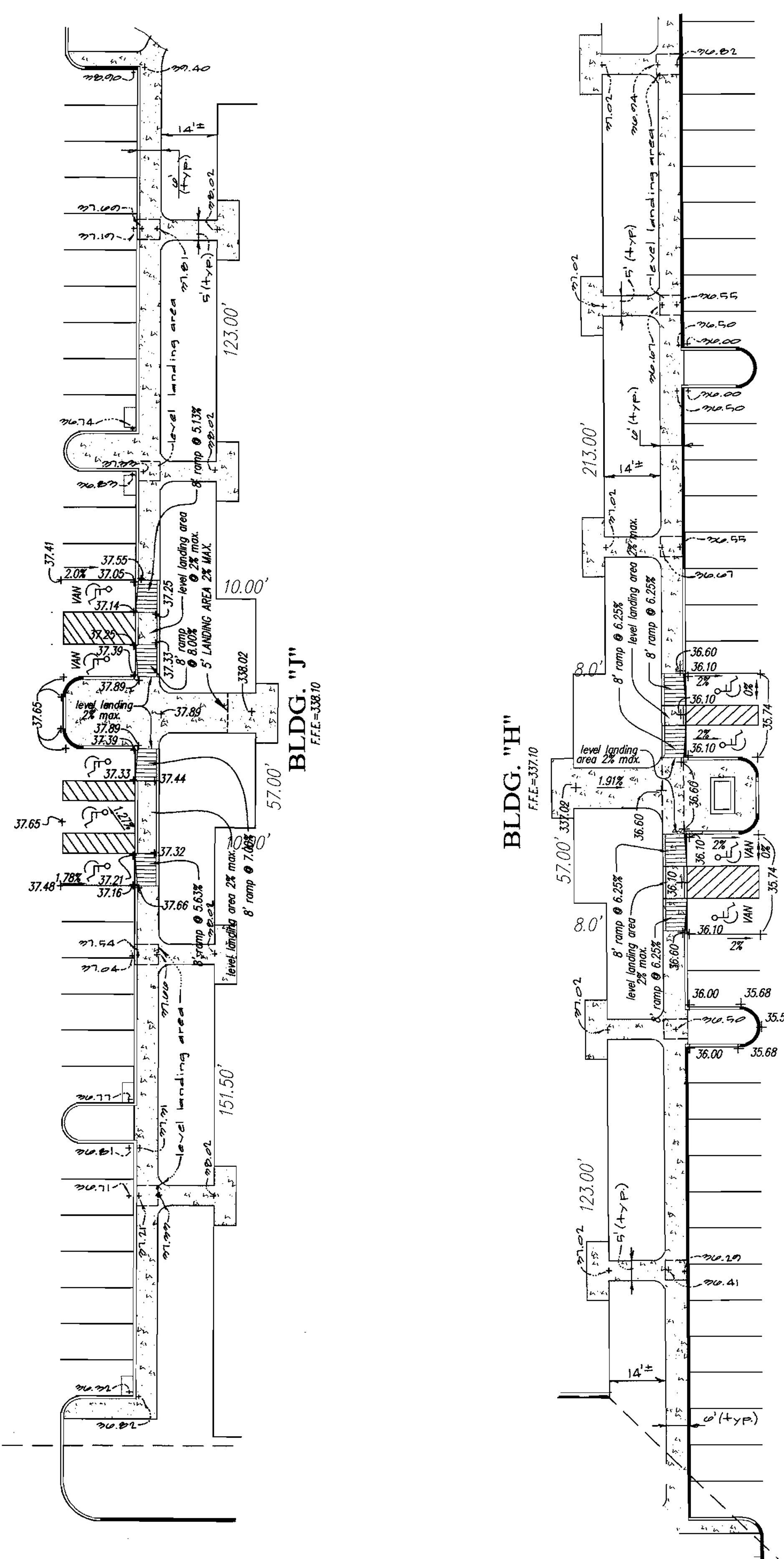
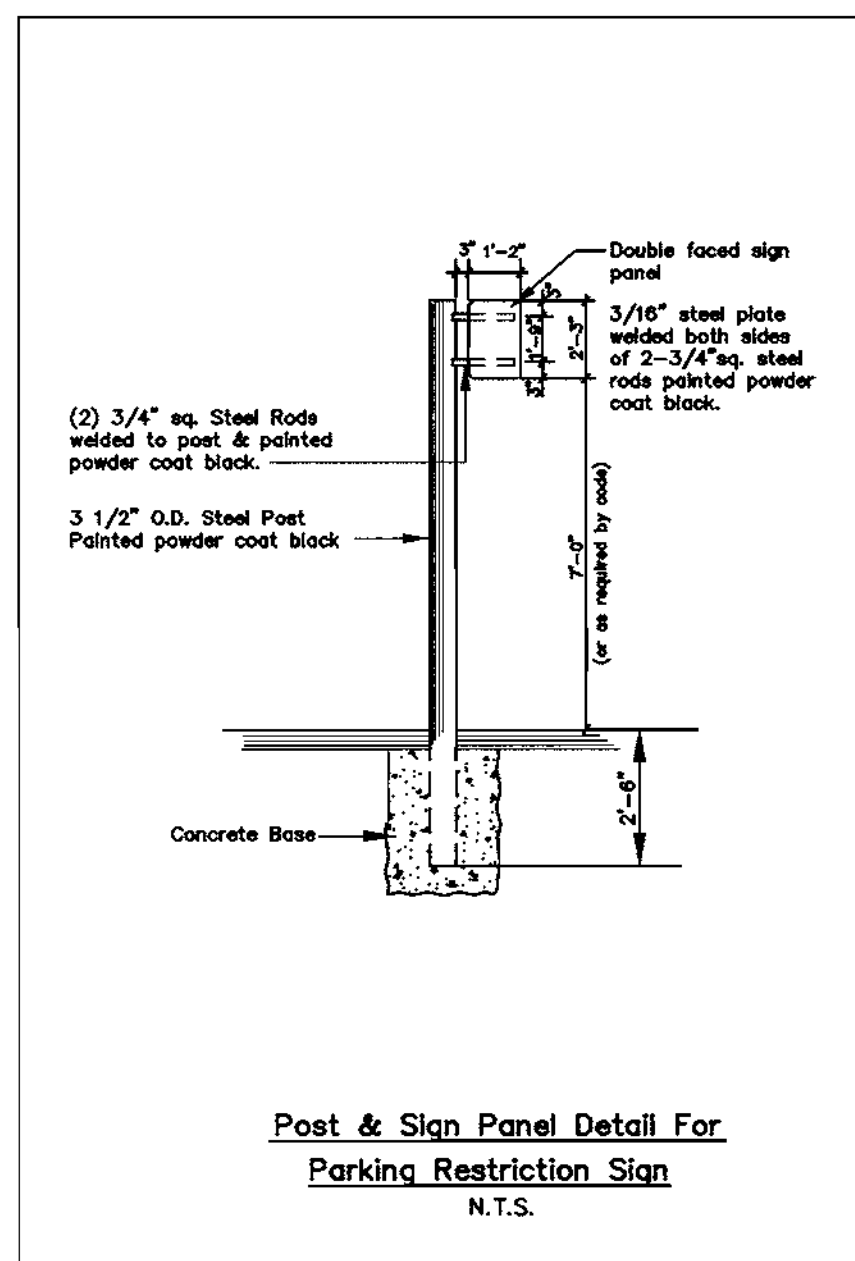
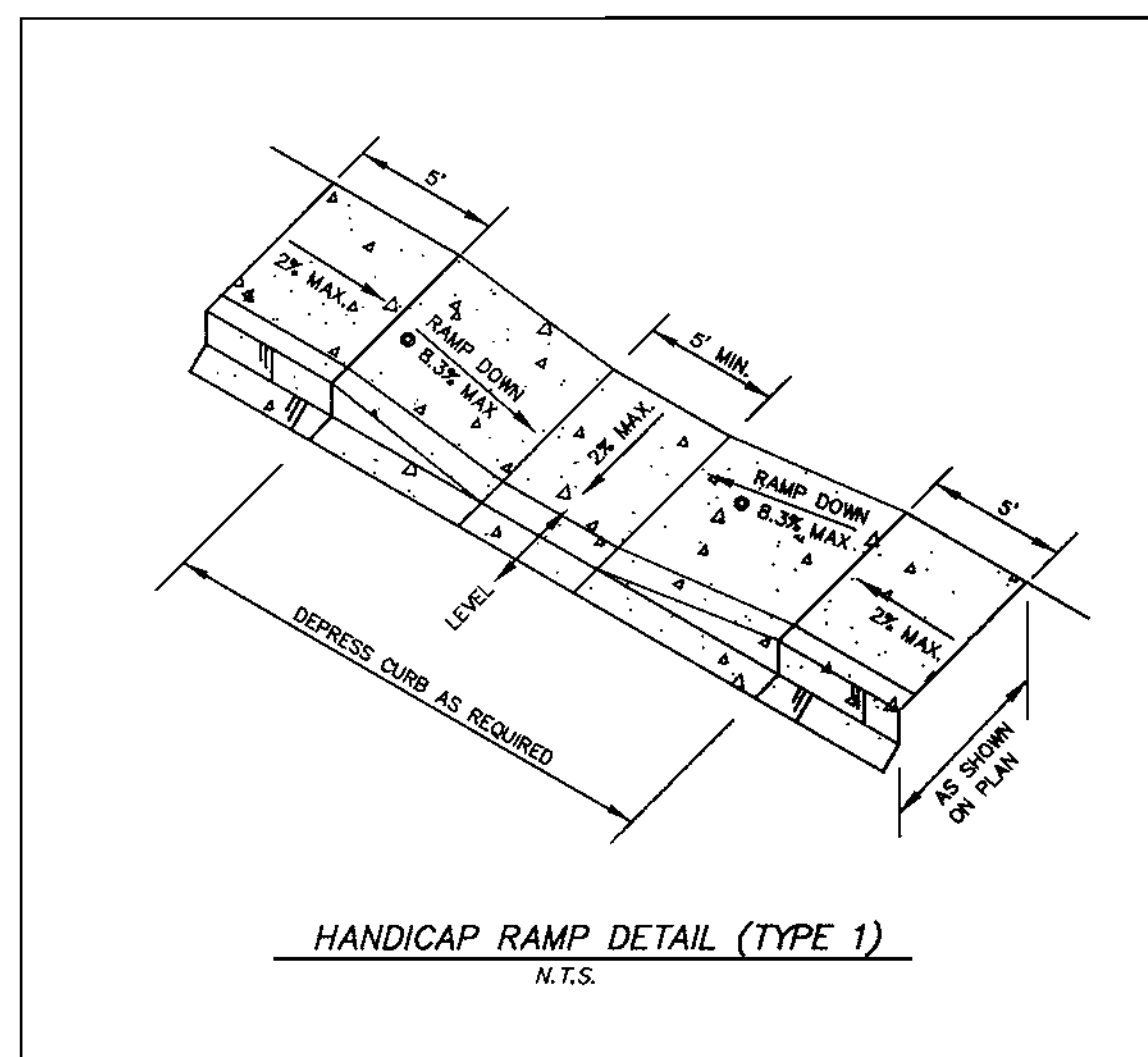
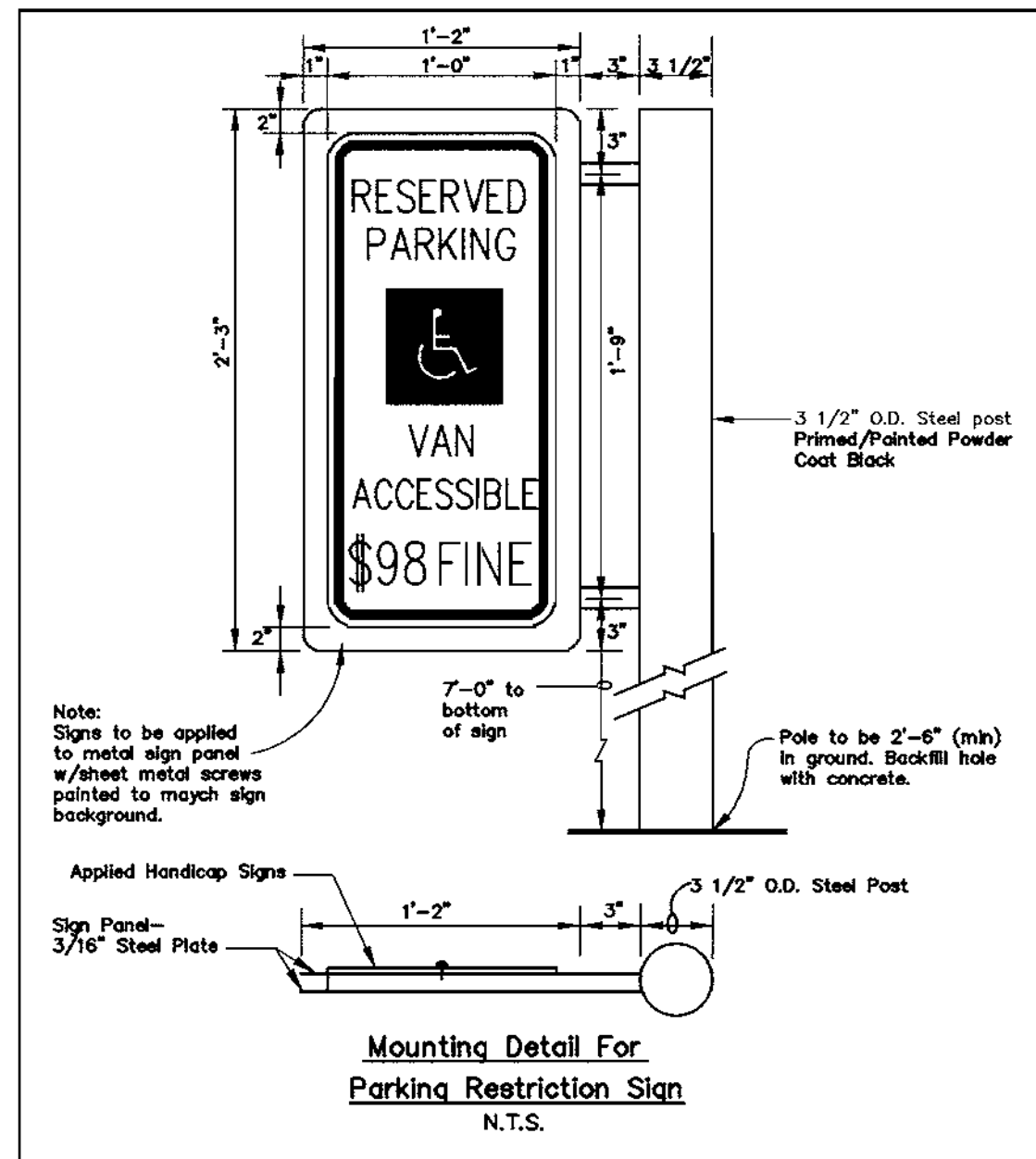
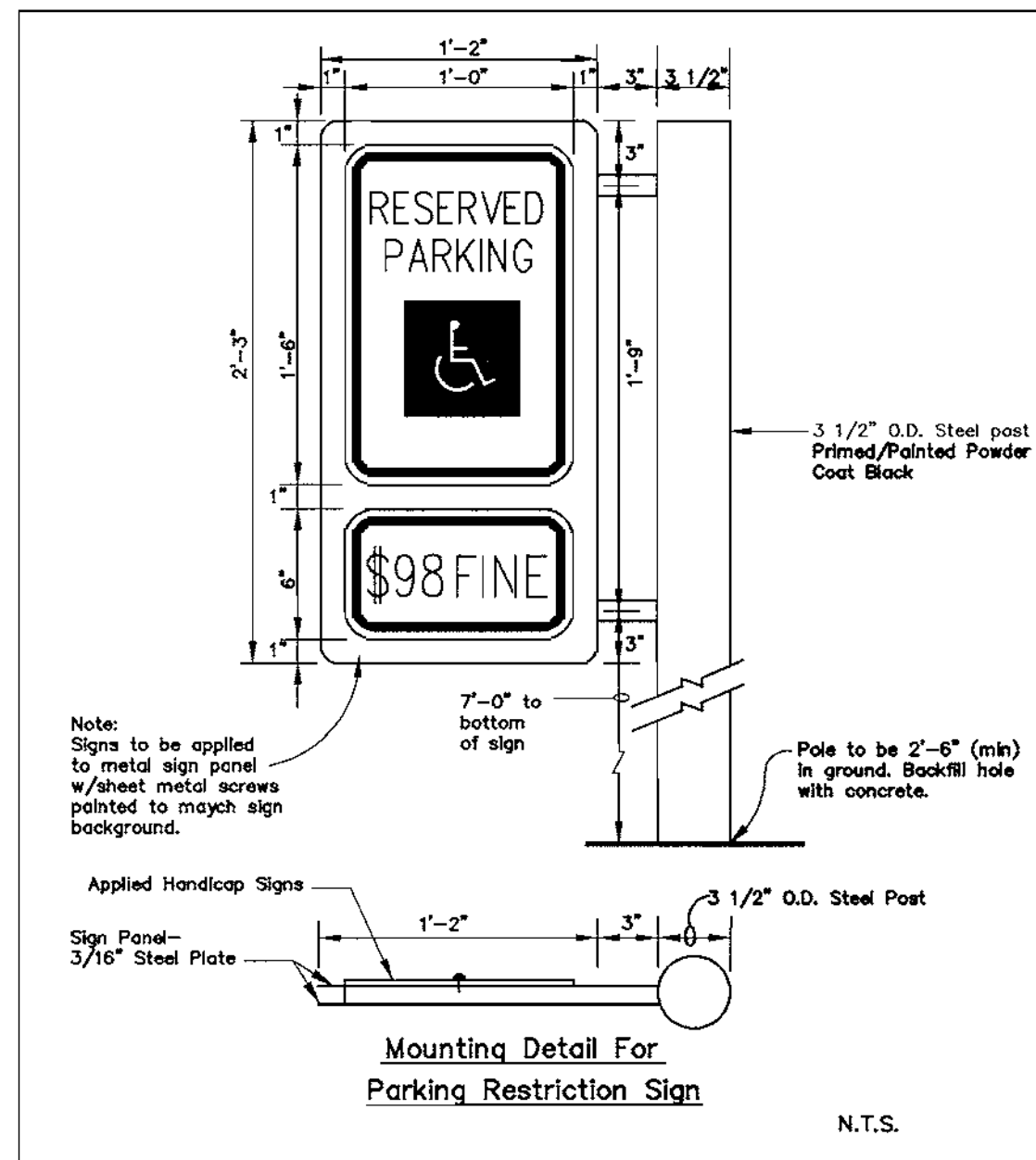
PREPARED FOR:
 Gateway 67 L.L.C.
 7165 Columbia Gateway Drive
 Columbia, Md. 21046
 PH: 410-290-1400
 ATTN: MR. COLE SCHNORF

SITE DETAILS / PAVING PLAN
COLUMBIA GATEWAY
 PART OF
PARCEL "N-11"
 PLAT No. 14298

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-1	00069
DATE	TAX MAP - GRID	SHEET
SEPT., 2000	42 - 12	3 OF 12

GUILFORD ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND



HANDICAP ACCESS DETAILS
SCALE: 1"=20'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] Director Date 11/14/01
[Signature] Chief, Division of Land Development Date 11/14/01
[Signature] Chief, Development Engineering Division Date 11/5/01



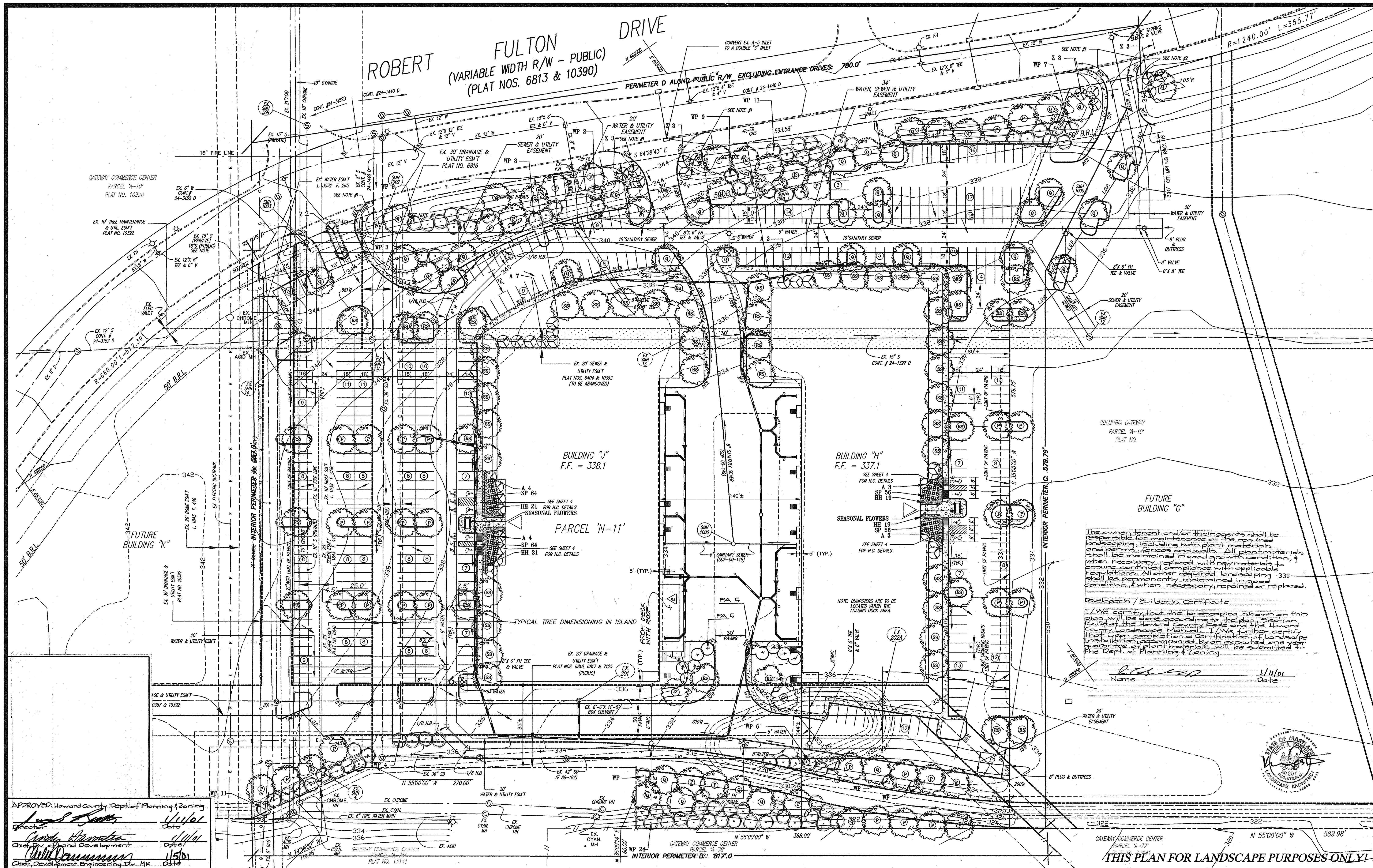
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONTVILLE OFFICE PARK
 BURTONTVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

NO.	DATE	REVISION	BY	APP'R.

PREPARED FOR:
 Gateway 67 L.L.C.
 7165 COLUMBIA GATEWAY DRIVE
 COLUMBIA, MD. 21046
 PH: 410-290-1400
 ATTN: MR. COLE SCHNORF

HANDICAP ACCESS AND SITE DETAILS
COLUMBIA GATEWAY
 PART OF
 PARCEL "N-11"
 PLAT No. 14298
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-1	00069
DATE	TAX MAP - GRID	SHEET
SEPT., 2000	42 - 12	4 OF 12



The owner, tenant and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and permits, fences and walls. All plant materials shall be maintained in good growth condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, if when necessary, repaired or replaced.

Developer/Builder's Certificate
 I/We certify that the landscaping shown on this plan will be done according to the plan, Section 17.04 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Dept. of Planning & Zoning.

Name: _____ Date: _____

APPROVED: Howard County Dept. of Planning & Zoning
 [Signature]
 Chief, Planning & Zoning
 [Signature]
 Chief, Development Engineering Div. MK

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BARTONSVILLE OFFICE PARK
 BARTONSVILLE, MARYLAND 21015
 TEL: 301-421-4024 FAX: 301-421-4188

DATE	REVISION	BY	APPR.
3/21/16	ADD EXTERIOR DECK, REAR BUILDING 'J'	SEG	
8/22/21	REV LANDSCAPE PLANTINGS	SEG	

PREPARED FOR:
 Gateway 63 Partnership
 7165 Columbia Gateway drive
 Columbia, Maryland 21046
 Ph. (410) 290-1400
 Attn: Mr. Cole Schnorff

LANDSCAPE PLAN
COLUMBIA GATEWAY
 PART OF
PARCEL N-11
 PLAT NO.:

SCALE	ZONING	G. L. W. FILE NO.
1"=40'	M-1	00069
DATE	TAX MAP - GRID	SHEET
JUNE 2000	42-12	5 OF 12

SYMBOL	QTY.	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT	COMMENTS
SHADE TREES					
RS	30	Acer rubrum 'Red Sunset' / Red Sunset Red Maple	2 1/2-3' Cal.	B&B	
SS	44	Acer rubrum 'Scarlet Sentinel' / Scarlet Sentinel Red Maple	2 1/2-3' Cal.	B&B	
P	44	Platanus x acerifolia 'Bloodgood' / Bloodgood London Planetree	2 1/2-3' Cal.	B&B	
Q	44	Quercus phellos / Willow Oak	2 1/2-3' Cal.	B&B	
EVERGREEN TREES					
WP	92	Pinus strobus / White Pine	8'-10' Ht.	B&B	
ORNAMENTAL TREES					
A	24	Ameilanchier arborea 'Autumn Sunset' / Autumn Sunset Serviceberry	8'-10' Ht.	B&B	
Z	14	Malus 'Zumi' / Zumi Crabapple	8'-10' Ht.	B&B	
SHRUBS					
HH	80	Ilex convexa 'Helleri' / Helleri Holly	2-2 1/2' Spr.	B&B	
SP	240	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer Spirea	18-24' Spr.	Cont.	

NOTE: Seasonal color to be selected by Owner.
*All areas not paved or mulched or planted shall be sodded or seeded.

SCHEDULE A PERIMETER LANDSCAPE EDGE		
Category	Perimeter	
	Adj. to Roadways	Adj. to Perim. Prop.
Landscape Type	D	
Linear Feet of Roadway Frontage/Perimeter	780	
Credit for Ex. Vegetation (Yes, No, Linear Feet) (describe below if needed)	NO	
Credit for Wall, Fence or Berm (Yes, No, Linear Feet)	YES BERM 720'	
Number of Plants Required	22	
Shade Trees	0	
Evergreen Trees	0	
Shrubs	15	
Number of Plants Provided	-- Alternative Compliance...exceeds county req.--	
Shade Trees	-- Alternative Compliance...exceeds county req.--	
Evergreen Trees	-- Alternative Compliance...exceeds county req.--	
Other Trees (2:1 subst.)	-- Alternative Compliance...exceeds county req.--	
Shrubs (10:1 subst.)	-- Alternative Compliance...exceeds county req.--	
(describe plant substitution credits below if needed)		
Schedule 'A' Number of Shade Trees for bonding:	21 x \$300	= \$ 6,300
Schedule 'A' Number of Evergreen Trees for bonding:	0 x \$150	= \$ 00.00
Schedule 'A' Number of Shrubs for bonding:	15 x \$30	= \$ 450
TOTAL Estimate for Bonding:		\$ 6,750
COMMENTS:		

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING		
Number of Parking Spaces =	421 Spaces	
Number of Trees Required =	21 Trees @ 1 per 20 spaces	
Number of Trees Provided	39	
Shade Trees	39	
Other Trees (2:1 substitution)		
NOTE:	Alternative Compliance per HRD's Standards Alternative Compliance exceeds County requirements	
Schedule 'B' Number of Equivalent Shade Trees (EST) for bonding:	21 x \$300	= \$ 6,300

LANDSCAPING NOTES

- This plan has been prepared in accordance with Section 16.124 of the Howard County Code and Chapter VI (Alternative Compliance) of the Howard County Landscape Manual.
- Contractor shall notify all utilities at least (5) five days before starting work. All General Notes, especially those regarding utilities, on Sheet 1 shall apply.
- Field verify underground utility locations and existing conditions before starting planting work. Contact engineer / landscape architect if any relocations are required.
- Plant quantities shown on Plant List are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plan shall take precedence.
- All plant material shall be full, heavy, well formed, and symmetrical, and conform to the A.A.N. Specifications, and be installed in accordance with project specifications.
- No substitution shall be made without written consent of the owner or his representative.
- All areas disturbed by construction activities but not otherwise planted, paved, or mulched shall be seeded or sodded in accordance with the project specifications.
- The contractor shall notify the owner in writing if he/she encounters soil drainage conditions which may be detrimental to the growth of the plants.
- All exposed earth within limits of planting beds shall be mulched with shredded hardwood mulch per Planting Details.
- Schedule A - Perimeter Landscape Edge; and Schedule B - Parking Lot Internal Landscaping are provided for landscape surety calculation purposes only. Financial surety for the required landscaping shall be posted with the developers agreement in the amount of \$12,050.
- Tabulation for landscape shown:
Required planting by HRD for 13.64 acres of R&D/OFFICE at 22 trees / acre = 300 trees
Planting provided:
Shade Trees (existing and proposed): 122
Ornamental Trees: 20 @ 10' E.S.T. 1
Evergreen Trees ([5 existing] and [129 proposed]) 22 @ 10' E.S.T. 1
E.S.T. - Equivalent Shade Trees
The balance of the HRD required shade trees is provided by proposed shrubs and ground covers

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Joseph B. Smith Date: 11/16/01
 Director
Chris J. Smith Date: 11/16/01
 Chief, Division of Land Development
Michael J. Smith Date: 11/16/01
 Chief, Development Engineering Division MK



PLANT MATERIALS AND PLANTING METHODS

A. Plant Materials

The landscape contractor shall furnish and install and/or dig, ball, burlap and transport all of the plant materials called for on drawings and/or listed in the Plant Schedule.

1. Plant Names

Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

2. Plant Standards

All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen (hereafter referred to as AAN Standards). All plants shall be typical of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy, well-furnished root systems. They shall be free of diseases, insect pests and mechanical injuries.

All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting. Neither heeled-in plants nor plants from cold storage will be accepted.

3. Plant Measurements

All plants shall conform to the measurements specified in the Plant Schedule as approved by the ARC.

a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.

b. Minimum branching height for all trees shall be six feet (6'), maximum eight feet (8').

c. Minimum size for planting shade trees shall be 3-3" caliper, 14'-16" in height.

d. Minimum size for planting minor or intermediate focus trees (pines, crabapples, etc.) shall be 3"-3" caliper, 10'-12" in height.

e. Minimum size for planting shrubs shall be 18" - 24" spread unless noted otherwise.

f. Caliper, height, spread and size of ball shall be generally as follows:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5"	14'-16'	6'-8'	32" diameter
3.5" - 4"	14'-16'	8'-10'	36" diameter
4" - 4.5"	16'-18'	8'-10'	40" diameter
4.5" - 5"	16'-17'	10'-12'	44" diameter
5" - 5.5"	18'-20'	10'-12'	48" diameter
5.5" - 6"	18'-20'	12'-14'	52" diameter

All plant material shall generally average the median for the size ranges indicated above as indicated in the "AAN Standards".

4. Plant Identification

Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal, State and County authorities.

5. Plant Inspection

The ARC may, upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

1. Planting Seasons

The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.

The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

2. Digging

All plant material shall be dug, balled and burlapped (B&B) in accordance with the "AAN Standards".

3. Excavation of Plant Pits

The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

- Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.
- All pits shall be generally circular in outline, vertical sides; depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule.

c. If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18" depth minimum. Areas designated for ground covers and vines shall be excavated to at least 12" in depth minimum.

d. Diameter and depth of tree pits shall generally be as follows:

PLANT SIZE	ROOT BALL	PIT DIAMETER	PIT DEPTH
3" - 3.5" cal.	32"	64"	28"
3.5" - 4" cal.	36"	72"	32"
4" - 4.5" cal.	40"	80"	36"
4.5" - 5" cal.	44"	88"	40"
5" - 5.5" cal.	48"	96"	44"
5.5" - 6" cal.	52"	104"	48"

A 20% compaction figure of the soil to be removed is assumed and will be allowed in calculation of extra topsoil. The tabulated pit sizes are for purposes of uniform calculation and shall not override the specified depths below the bottom of the root balls.

4. Staking, Guying and Wrapping

All plant material shall be staked or guyed, and wrapped in accordance with the following specifications:

- Stakes: Shall be sound wood 2" x 2" rough sawn oak or similar durable woods, or lengths, minimum 7'-0" for major trees and 5'-0" minimum for minor trees.
- Wire and Cable: Wire shall be #10 gal. galvanized or bethonized annealed steel wire. For trees over 3" caliper, provide 5/16" turn buckles, eye and eye with 4" take-up. For trees over 5" caliper, provide 3/16", 7 strand cable cadmium plated steel, with galvanized eye thimbles of wire and hose on trees up to 3" in caliper.

c. Hoses: Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D. "Plastic Lock Ties" or "Paul's Trees Braces" may be used in place of wire and hose on trees up to 3" in caliper.

d. All trees under 3" in caliper are to be planted and staked in accordance with the attached "Typical Tree Staking Detail". All trees over 3" in caliper are to be planted and guyed in accordance with the attached "Typical Tree Guying Detail".

5. Plant Pruning, Edging and Mulching

a. Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements, in accordance with accepted standard practice. Broken or bruised branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1" in diameter shall be painted with an approved antiseptic tree wound dressing.

b. All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stockpiled shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub areas, hedge trenches and vine pockets.

c. After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark, peat moss, or other approved material over the entire area of the bed or saucer.

6. Plant Inspection and Acceptance

The ARC shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with the approved plans and specifications.

7. Plant Guarantee

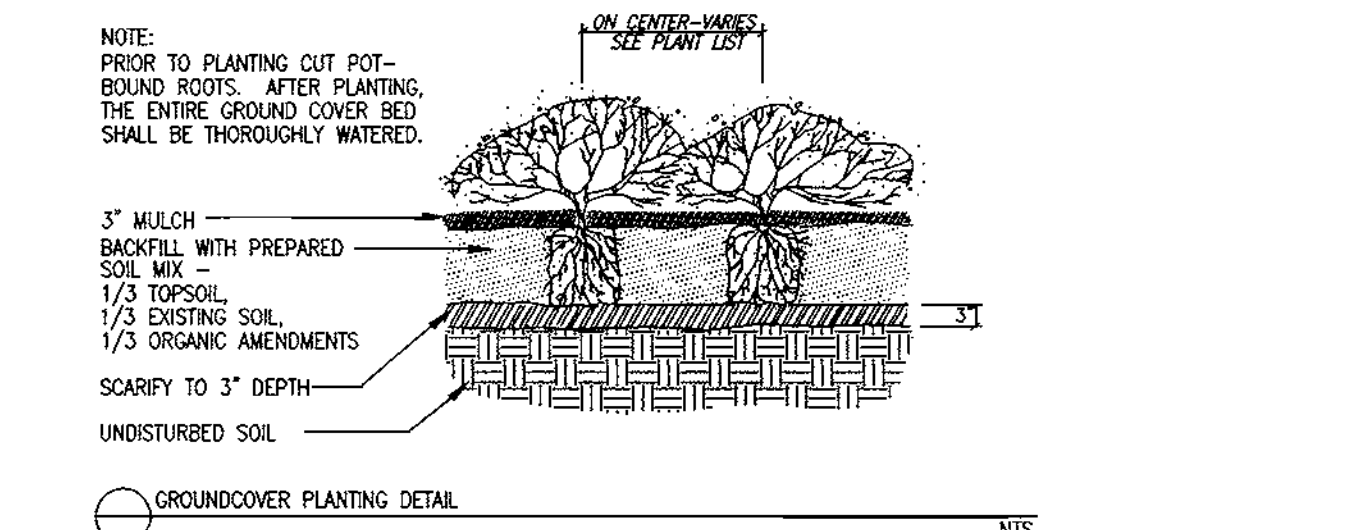
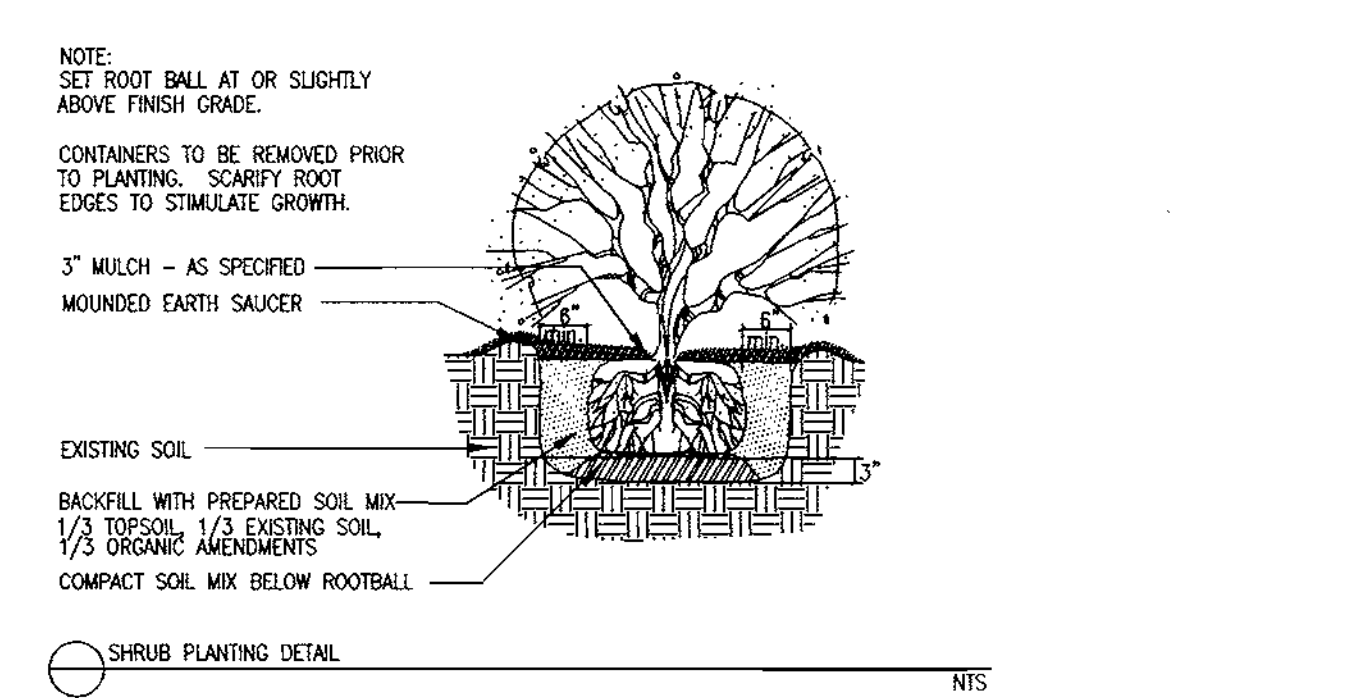
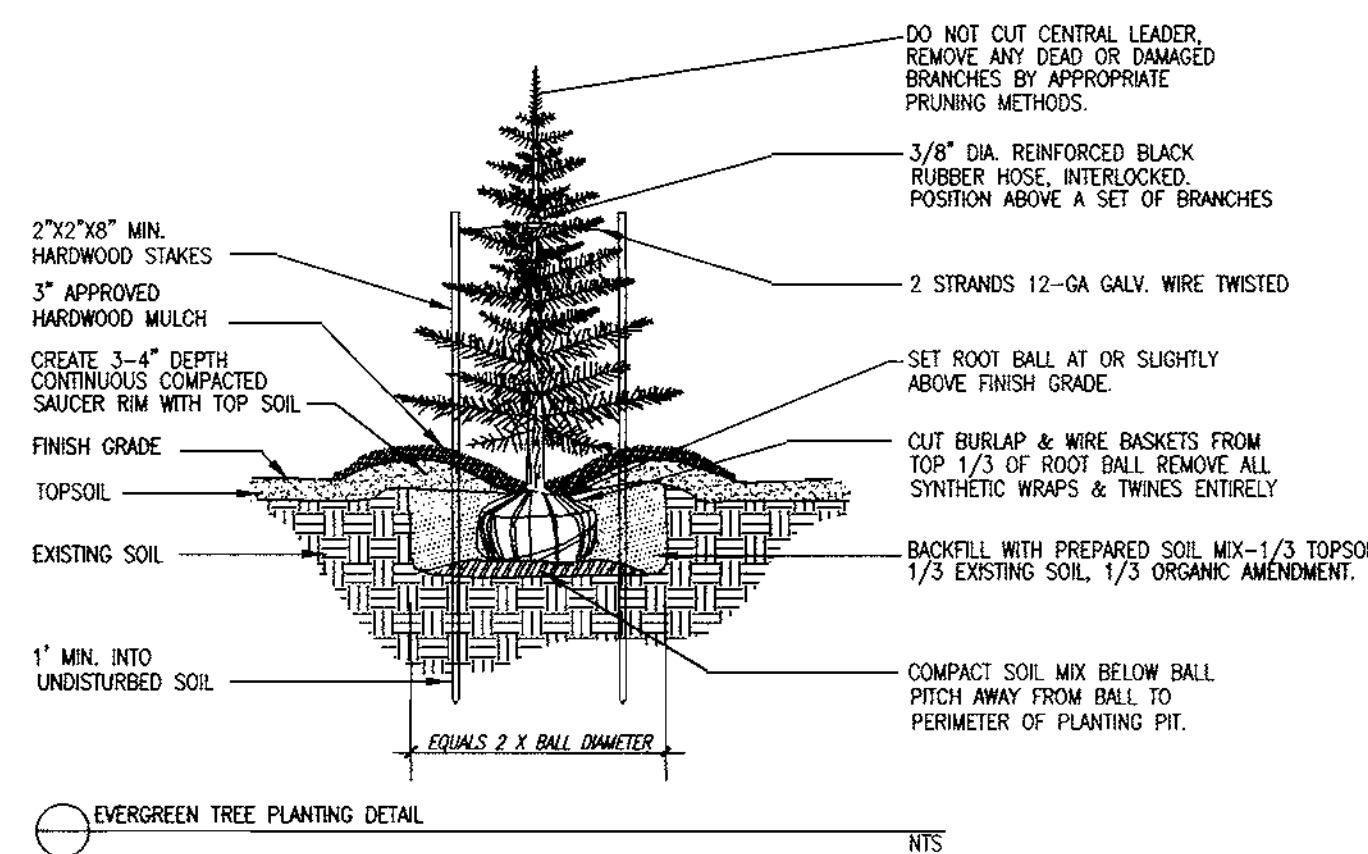
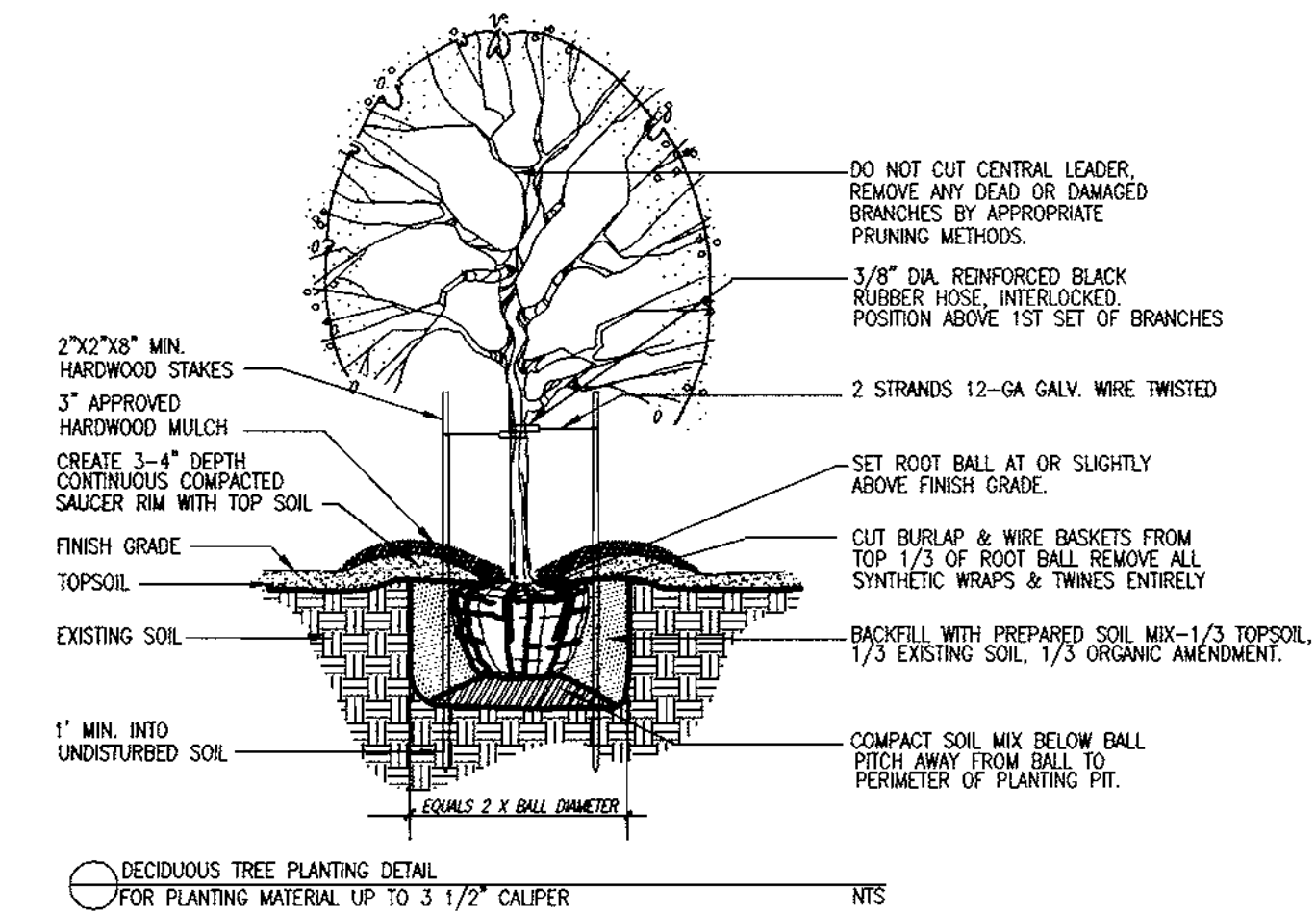
All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

a. For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season, and the commencement of the "Fall" planting season.
 b. Guarantee for planting performed after the specified end of the "Spring" planting season, shall be extended through the end of the next following "Spring" planting season.

Sodding

All sodding shall be in accordance to the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area," latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development when planted and in strips not more than 18" wide x 4" long. Provide sod composed principally of improved strain Kentucky bluegrass, such as, Columbia, Victa, or Escort.



GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK
 BURTOWNSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:
 Gateway 63 Partnership
 7165 Columbia Gateway Drive
 Columbia, Maryland 21046
 Ph: (410) 290-1400
 Attn: Mr. Cole Shorff

LANDSCAPE NOTES & DETAILS
COLUMBIA GATEWAY
PARCEL 'N-11'
 PLAT No.

SCALE	ZONING	G. L. W. FILE No.
NOT TO SCALE (PLAT AT 1"=1')	M-1	00069
DATE	TAX MAP - GRID	SHEET
JUNE, 2000	42-12	6 OF 12

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

12/27/00
 Date

DEVELOPER'S/BUILDER'S CERTIFICATE
 We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

12/27/00
 Date

12/27/00
 Date

11/3/01
 Date

11/3/01
 Date

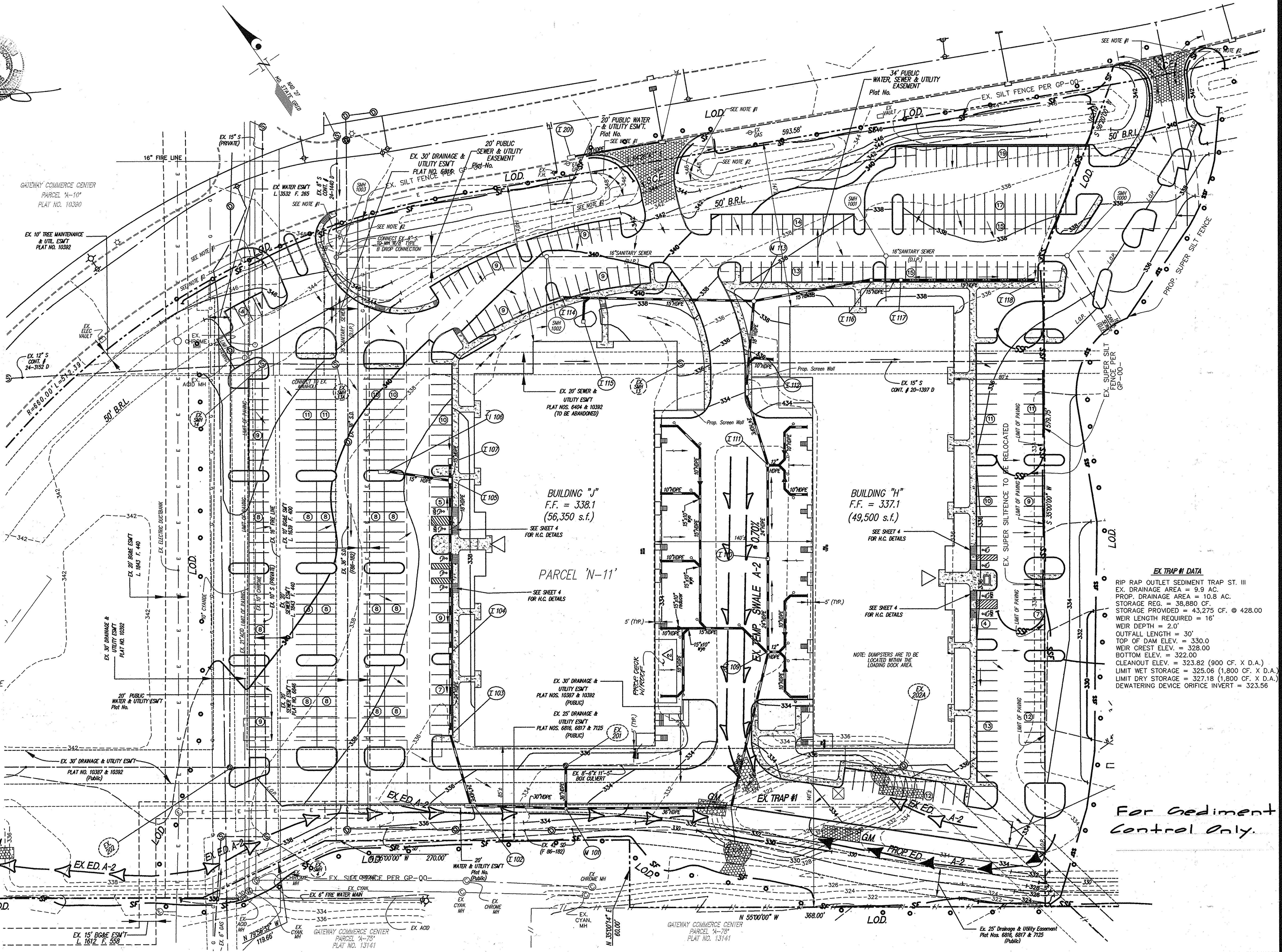


This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

11/3/01
 Date

11/3/01
 Date

- LEGEND**
- ED, A-1 → EX. EARTH DIKE (PER GP-00-)
 - ED, A-1 → PROP. EARTH DIKE
 - TEMP. SWALE A-1 EX. TEMPORARY SWALE
 - GM GABION INFLOW PROTECTION
 - RPS REMOVABLE PUMPING STATION
 - SS SUPER SILT FENCE
 - SF SILT FENCE
 - L.O.D. LIMIT OF DISTURBANCE
 - 324 EXIST. CONTOUR
 - 324 PROPOSED CONTOUR
 - BEFORE DEV. D.A.
 - BEFORE/AFTER DEV. D.A.
 - AFTER DEV. D.A.
 - S.C.E. STABILIZED CONSTRUCTION ENTRANCE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: [Signature] 11/11/01
 Chief, Division of Land Development: [Signature] 11/11/01
 Chief, Development Engineering Division: [Signature] 11/5/01

GLW GUTSCHICK LITTLE & WEBER, P.A.
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 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

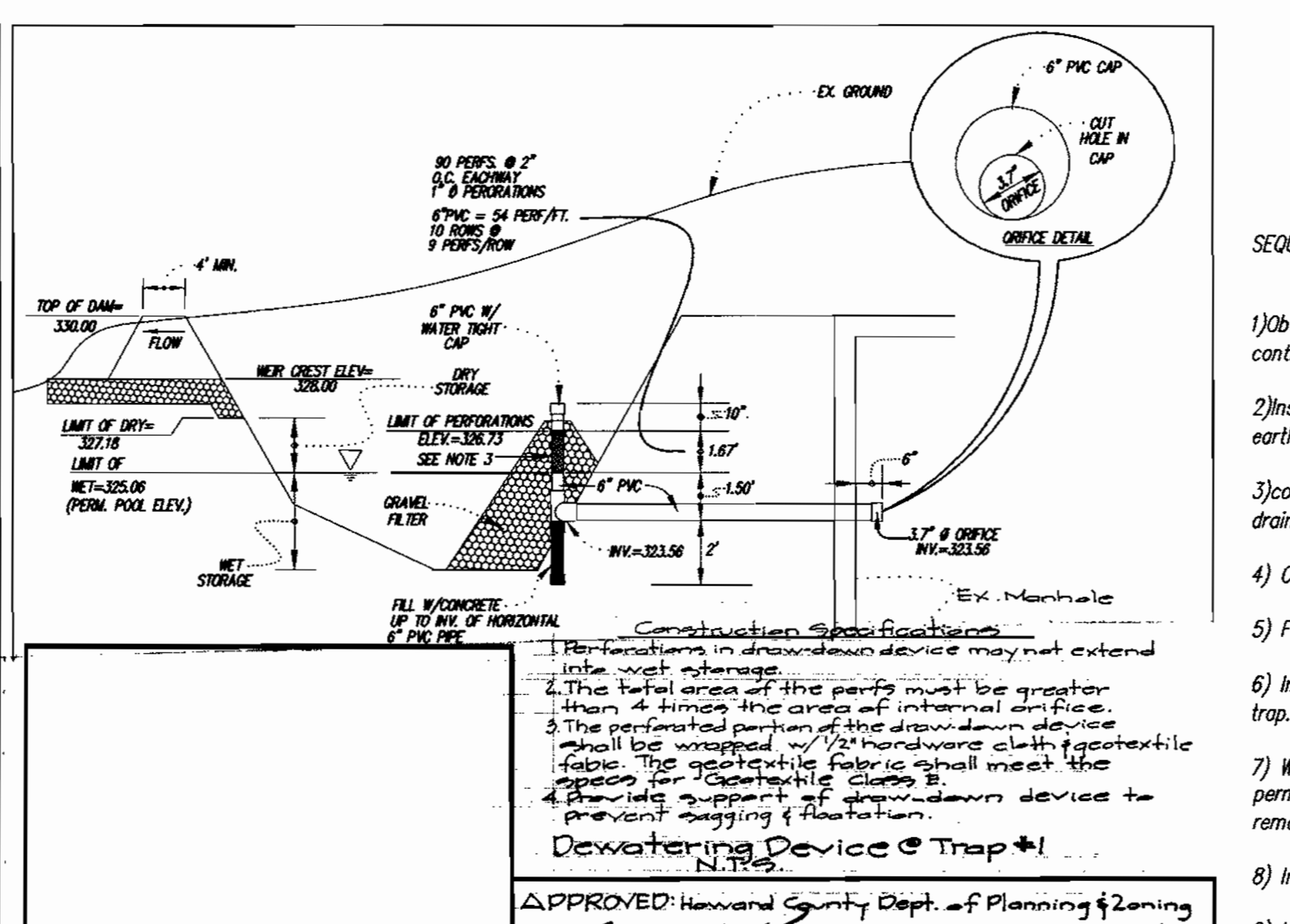
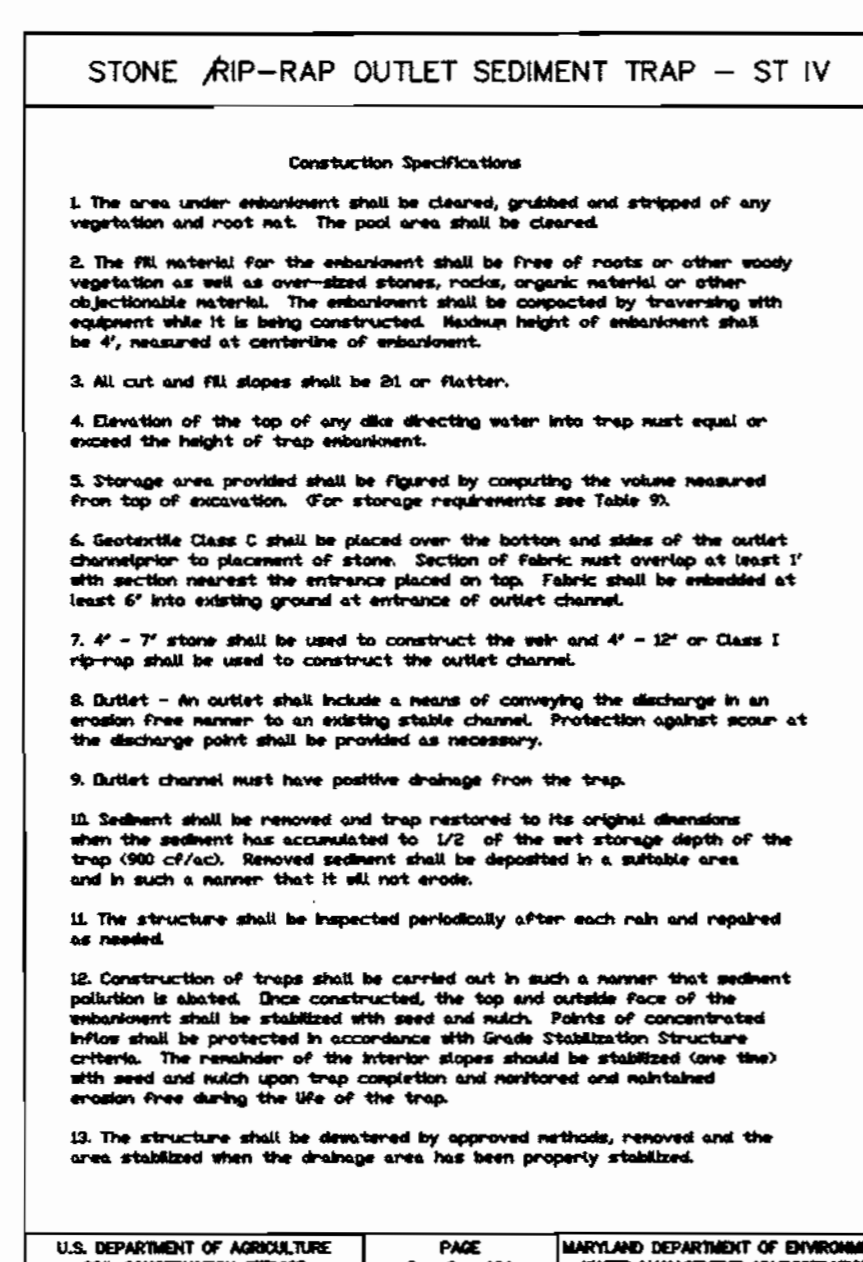
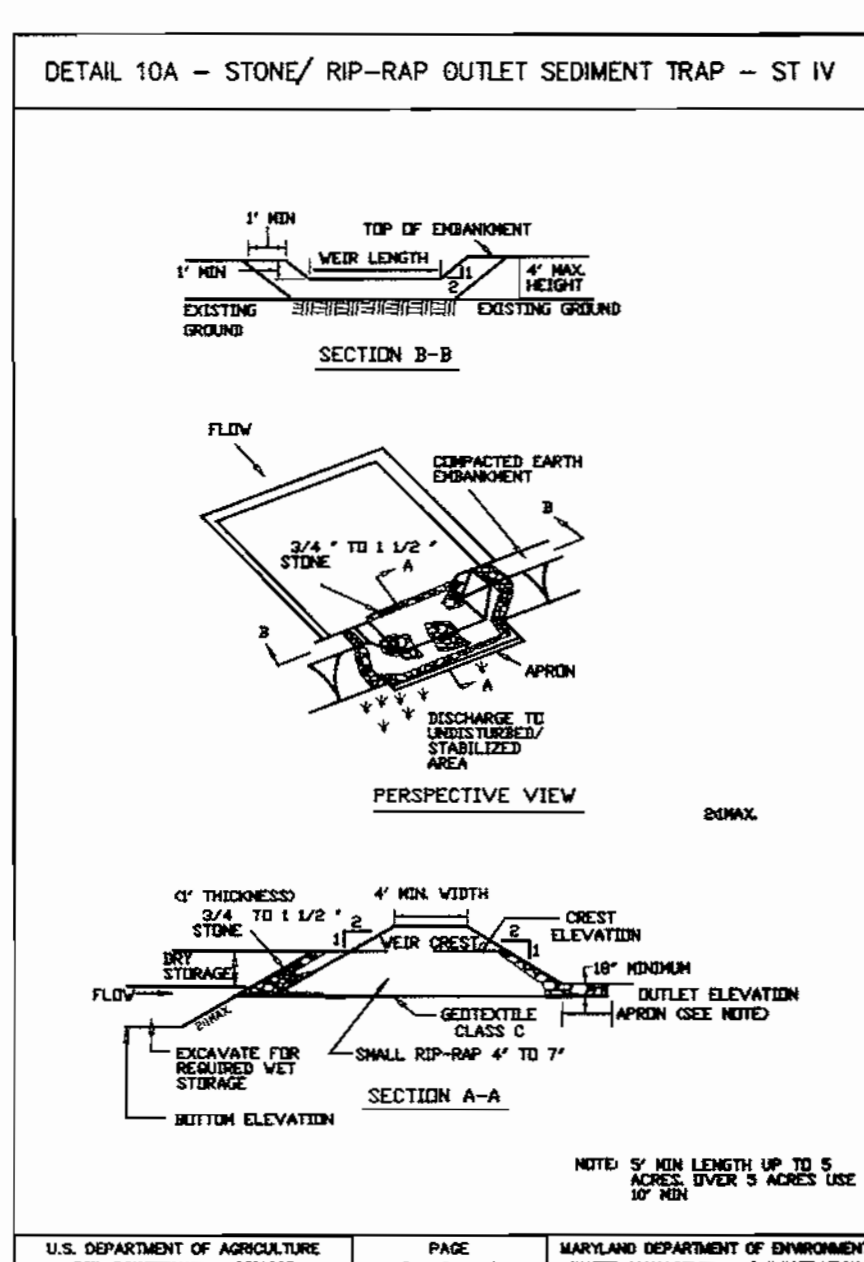
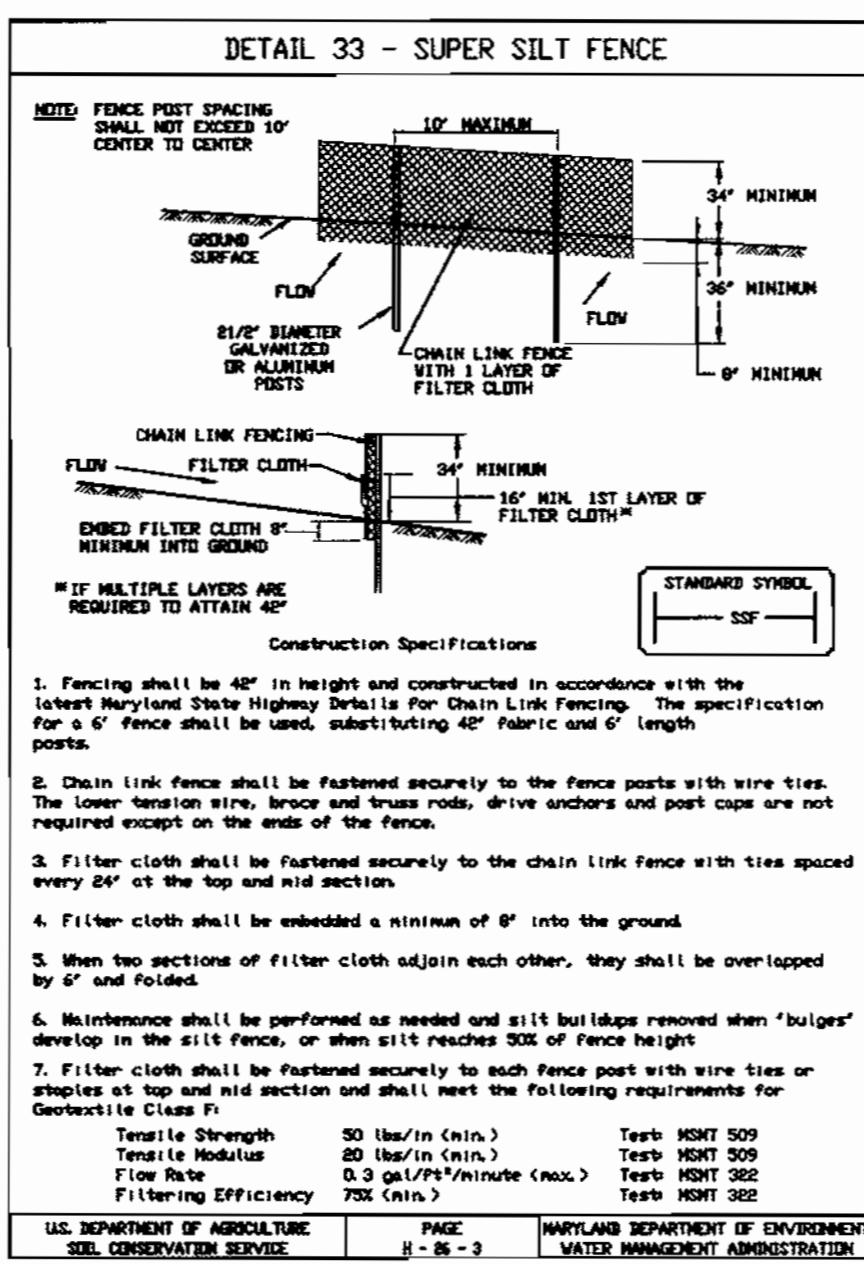
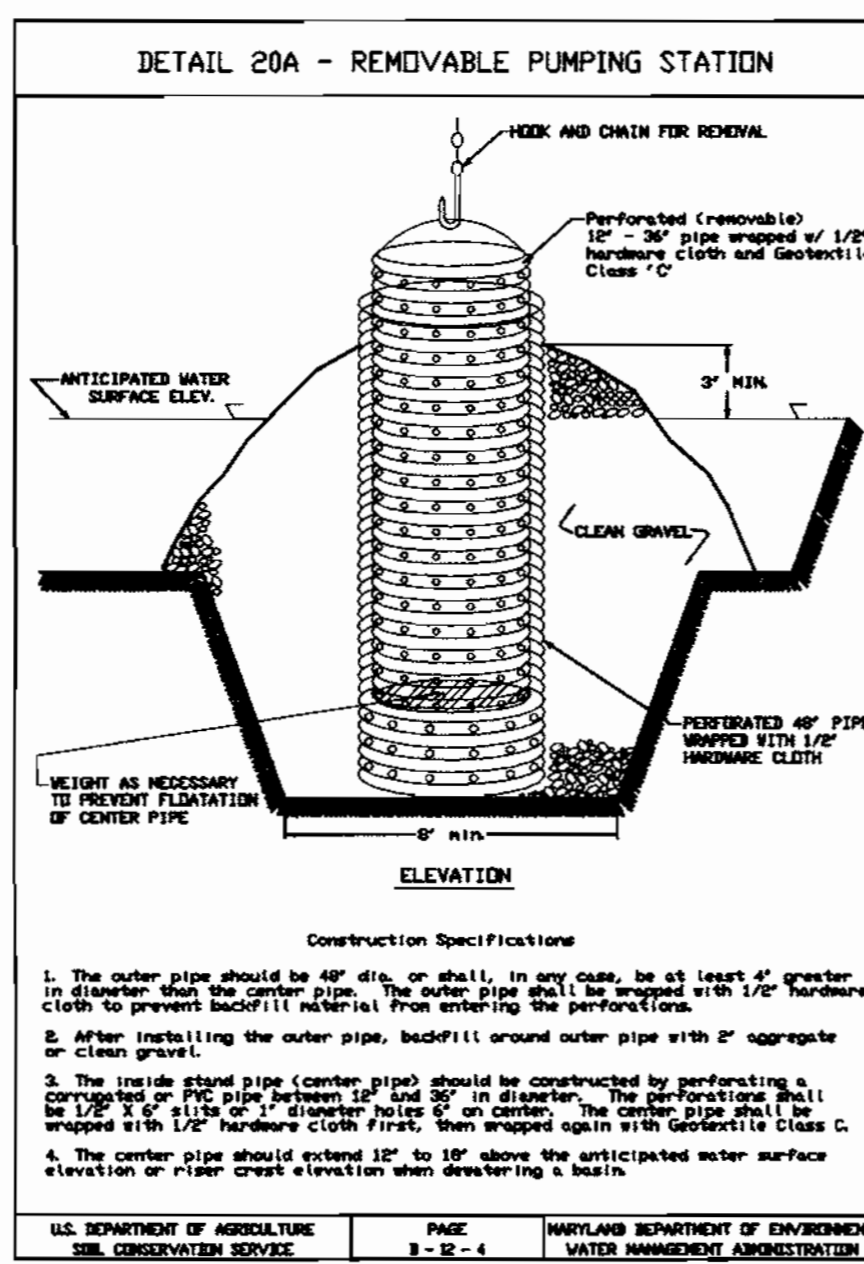
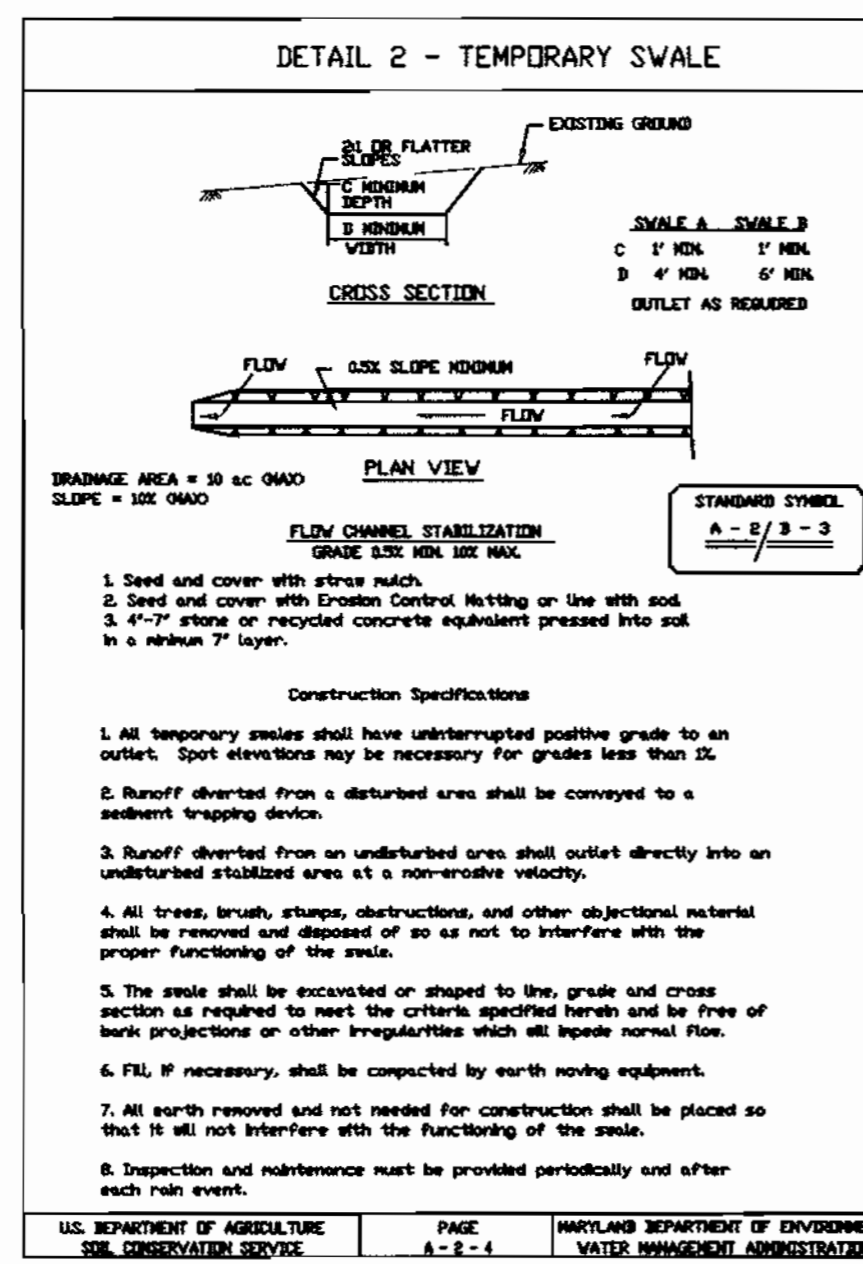
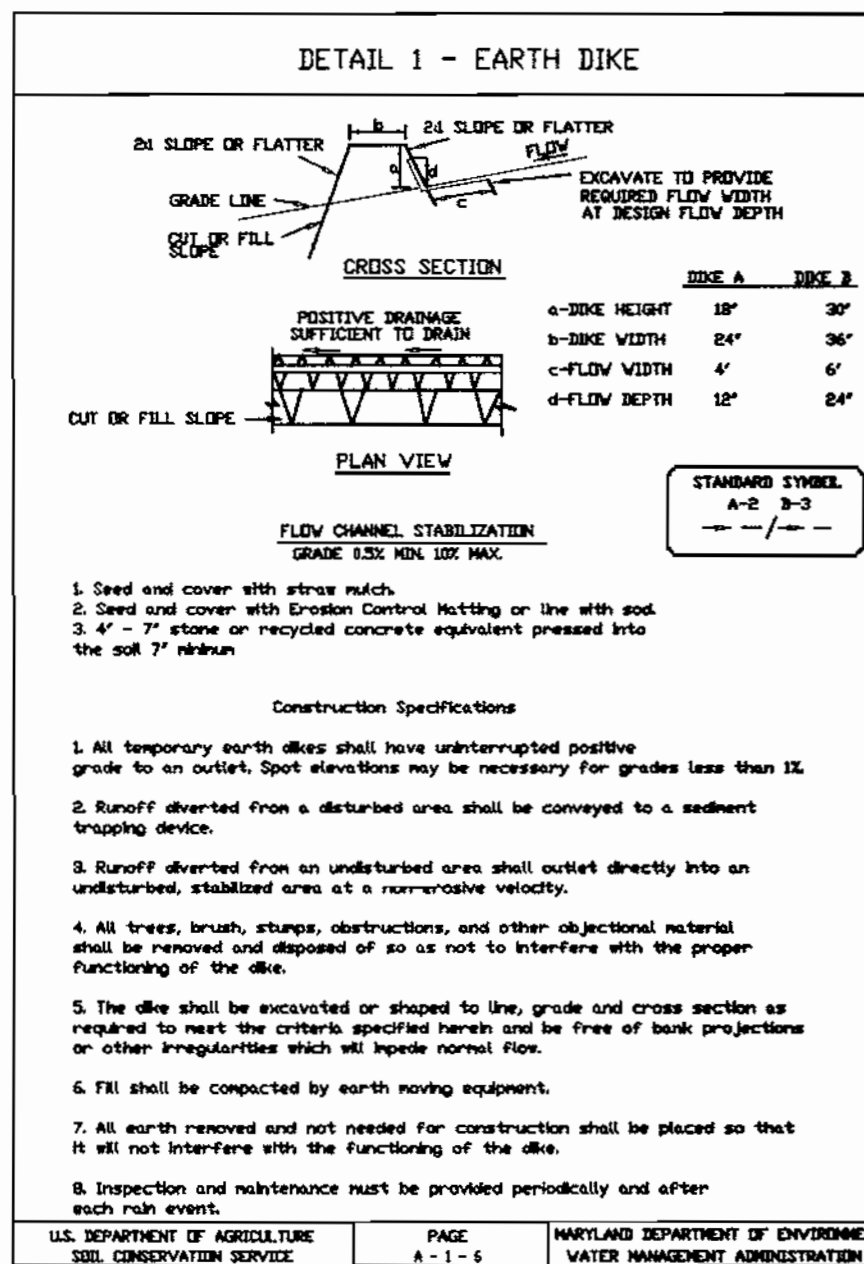
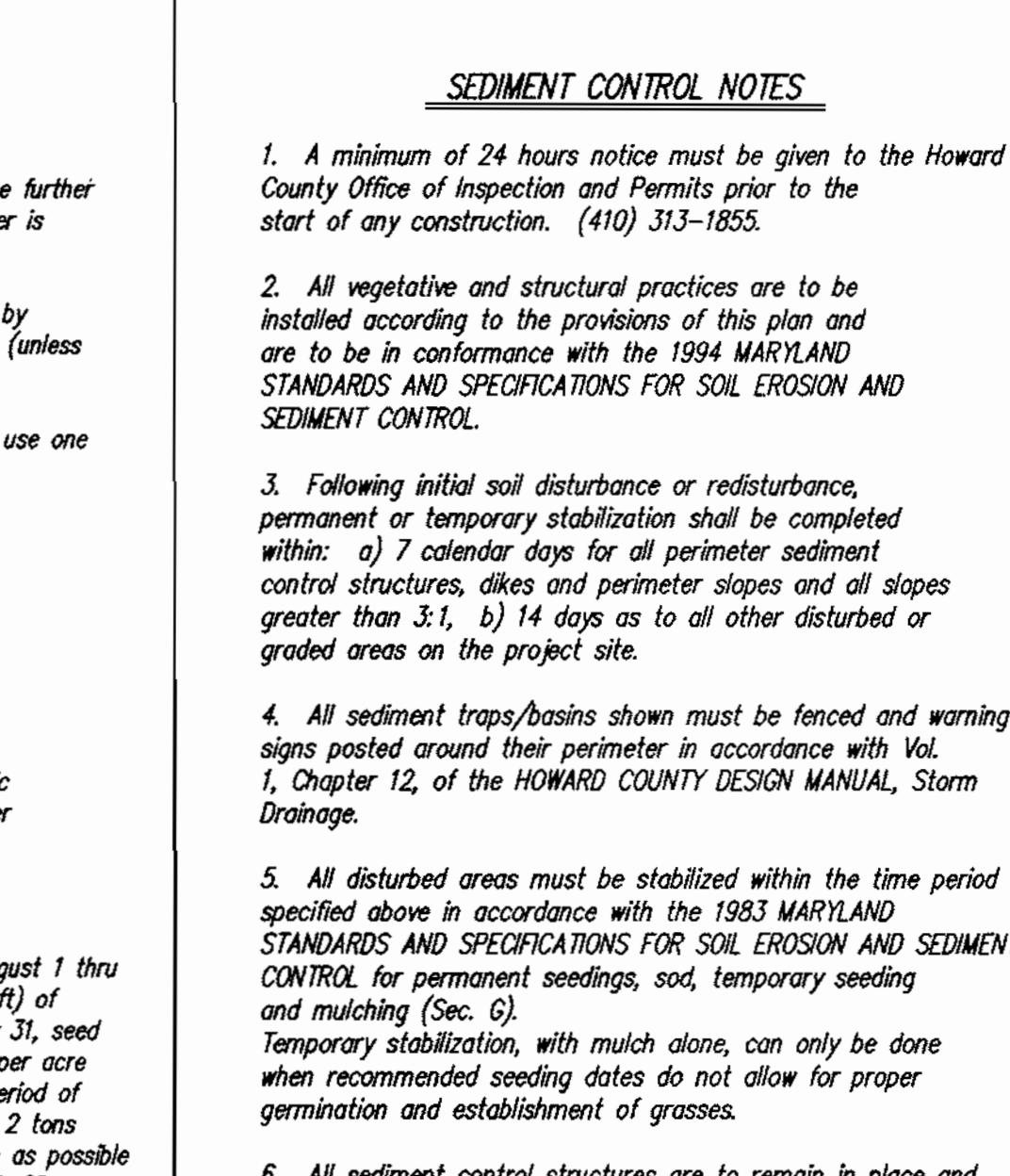
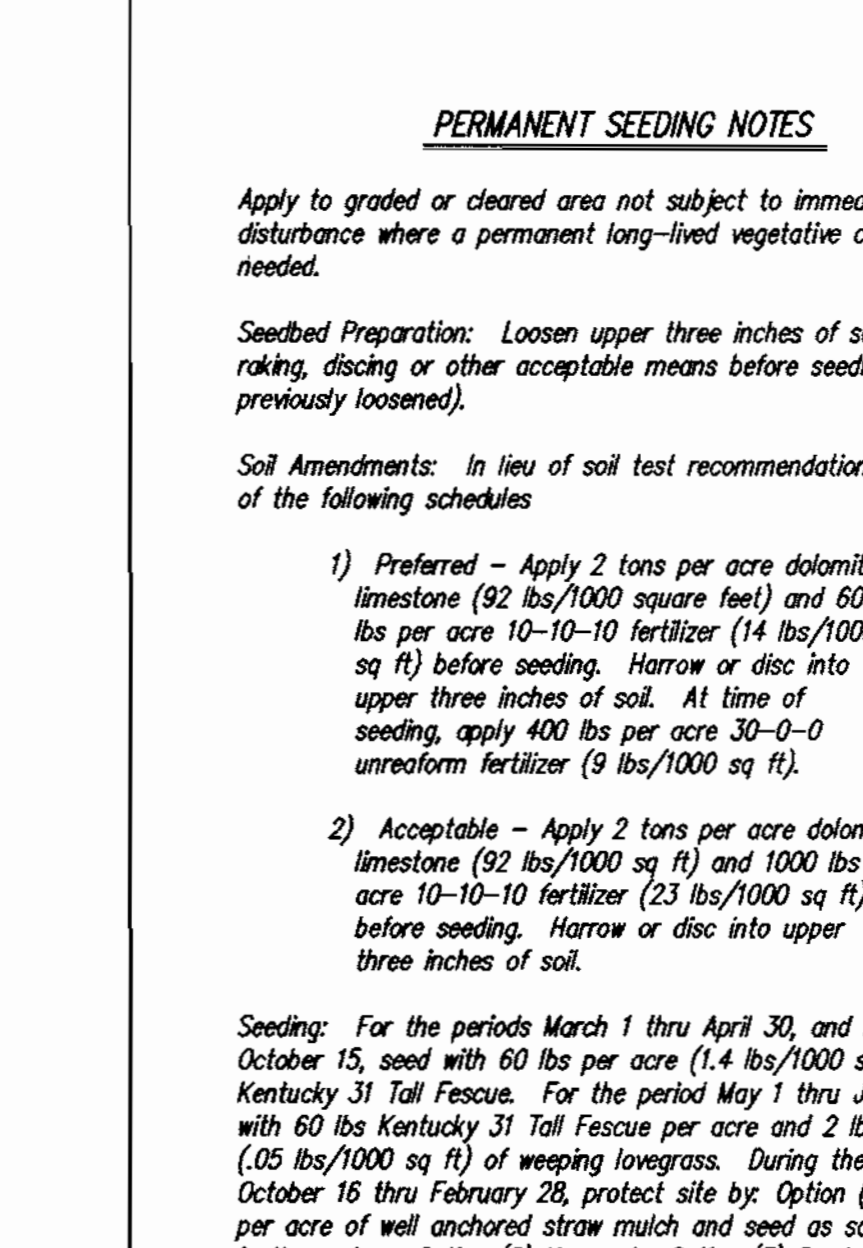
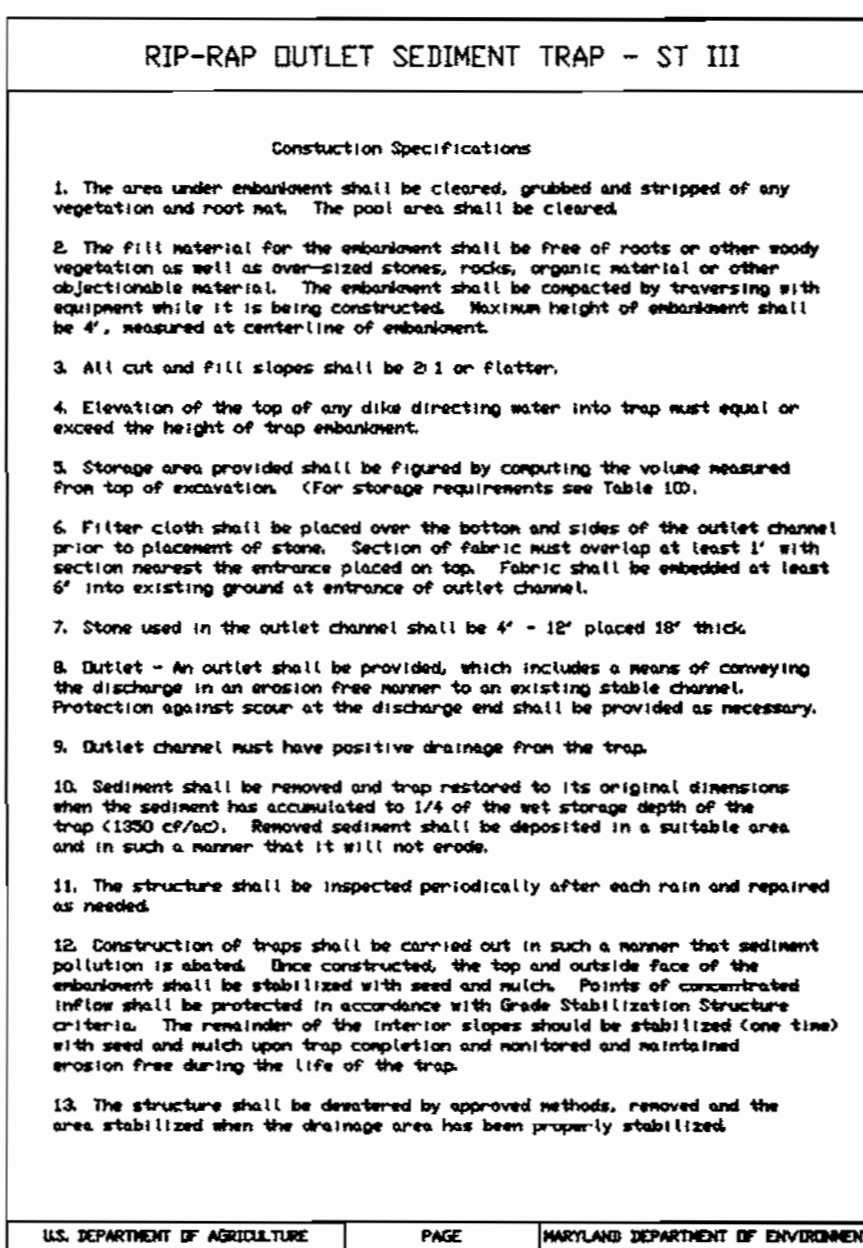
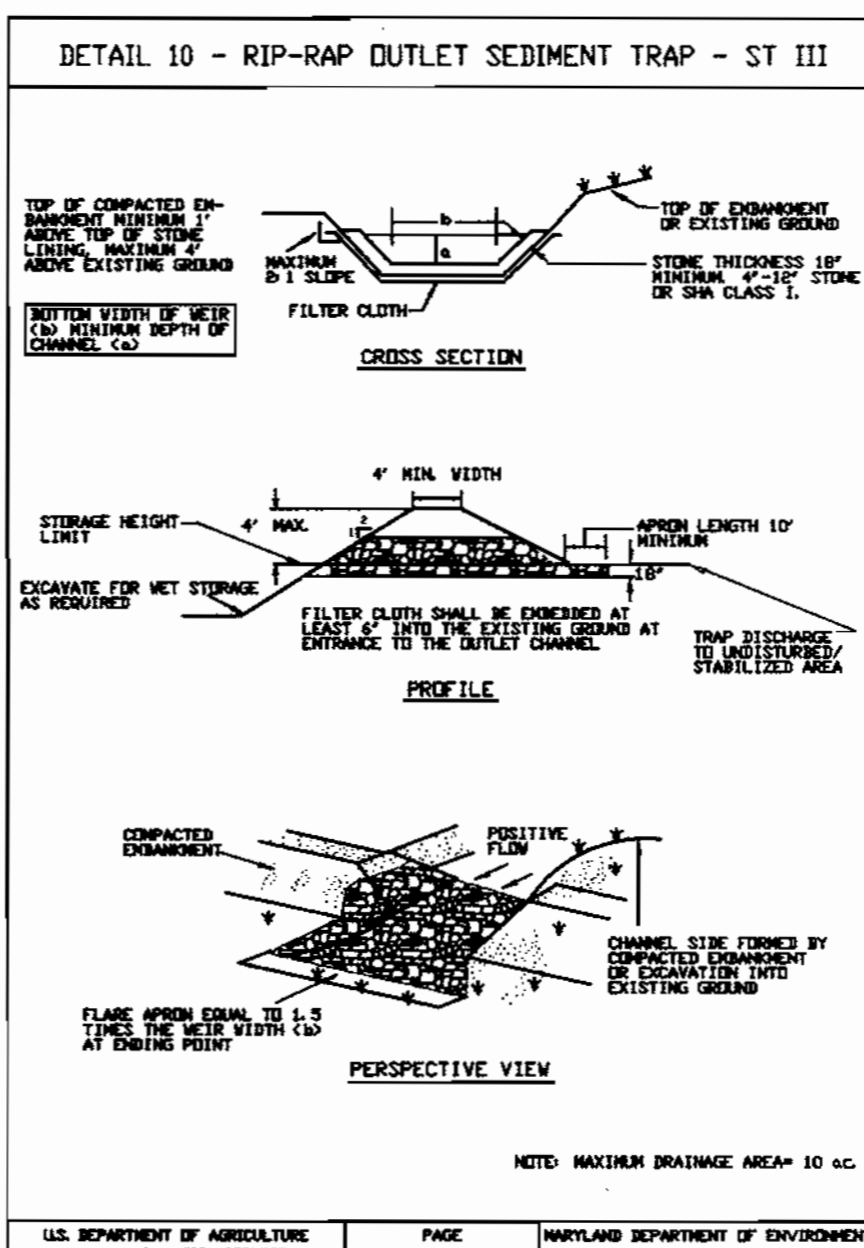
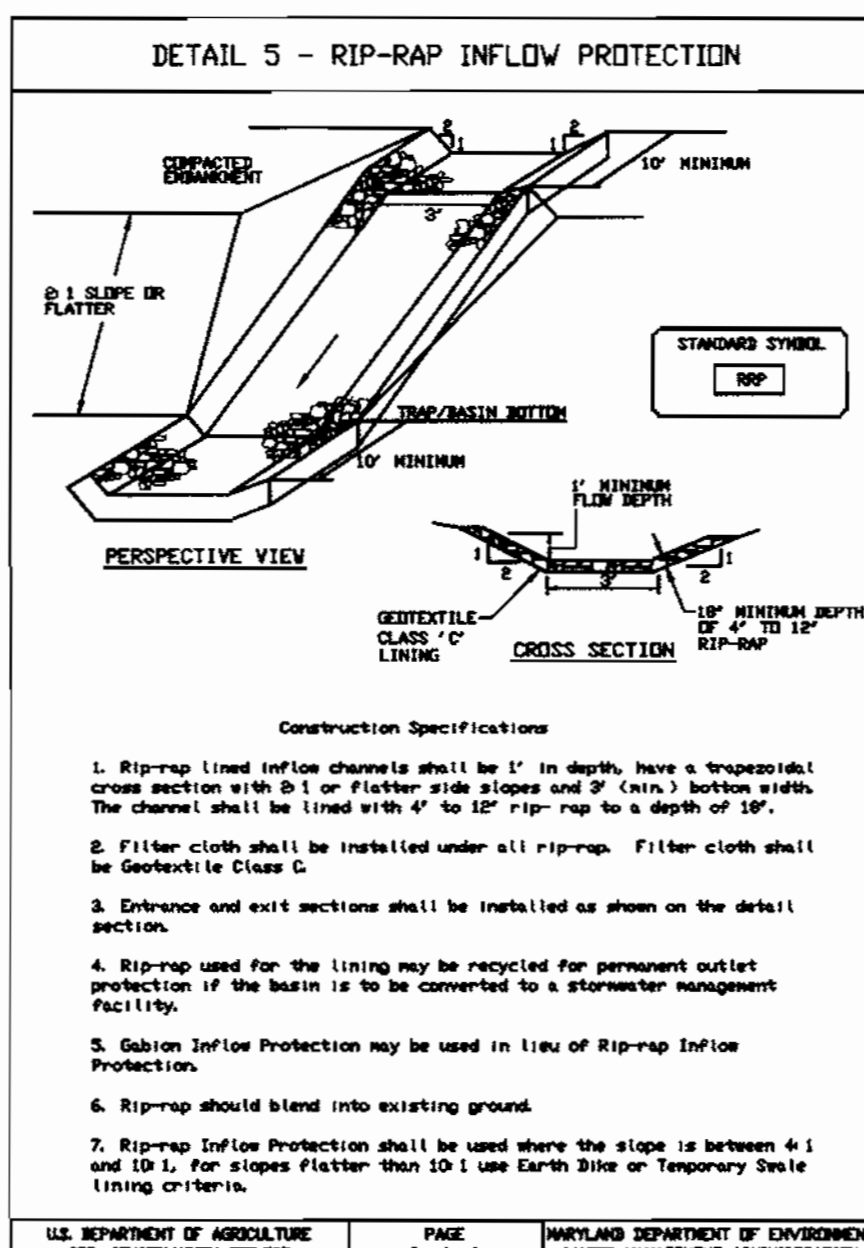
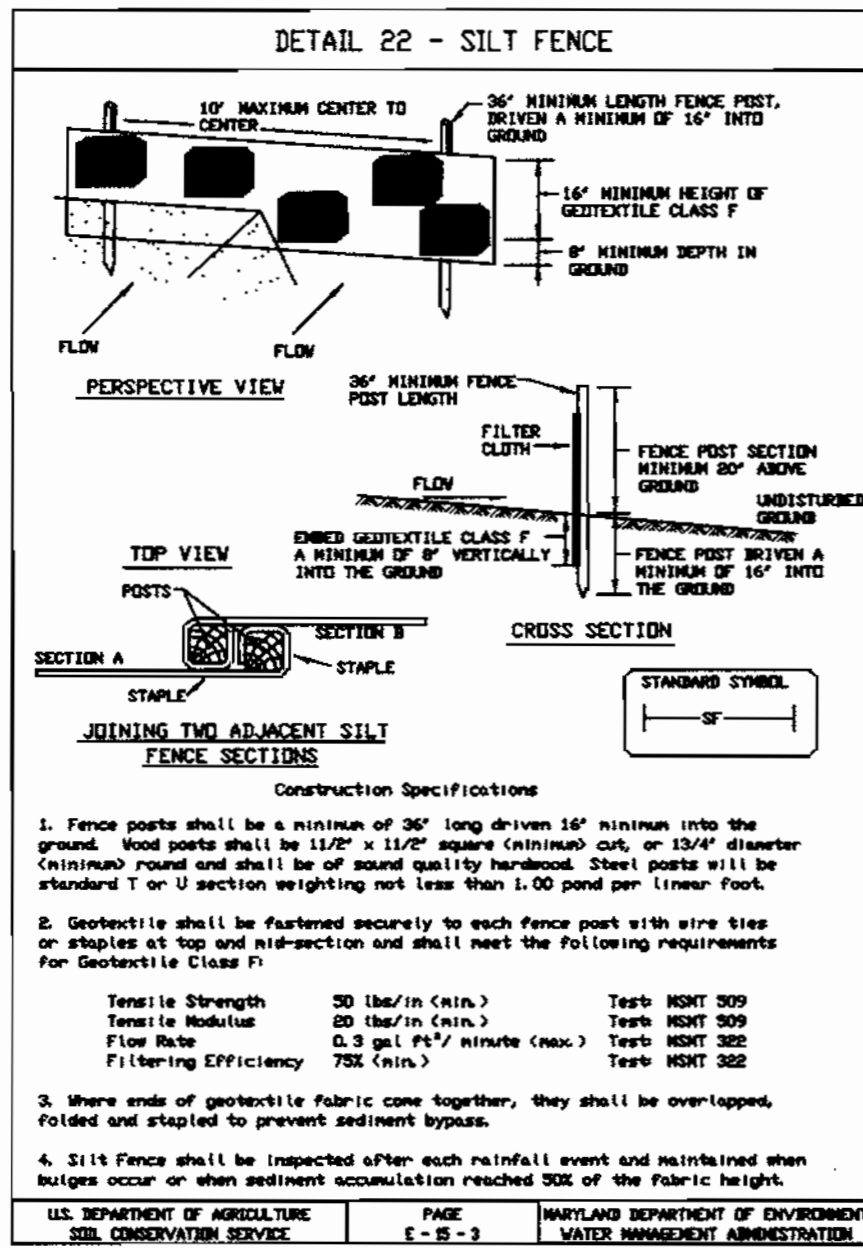
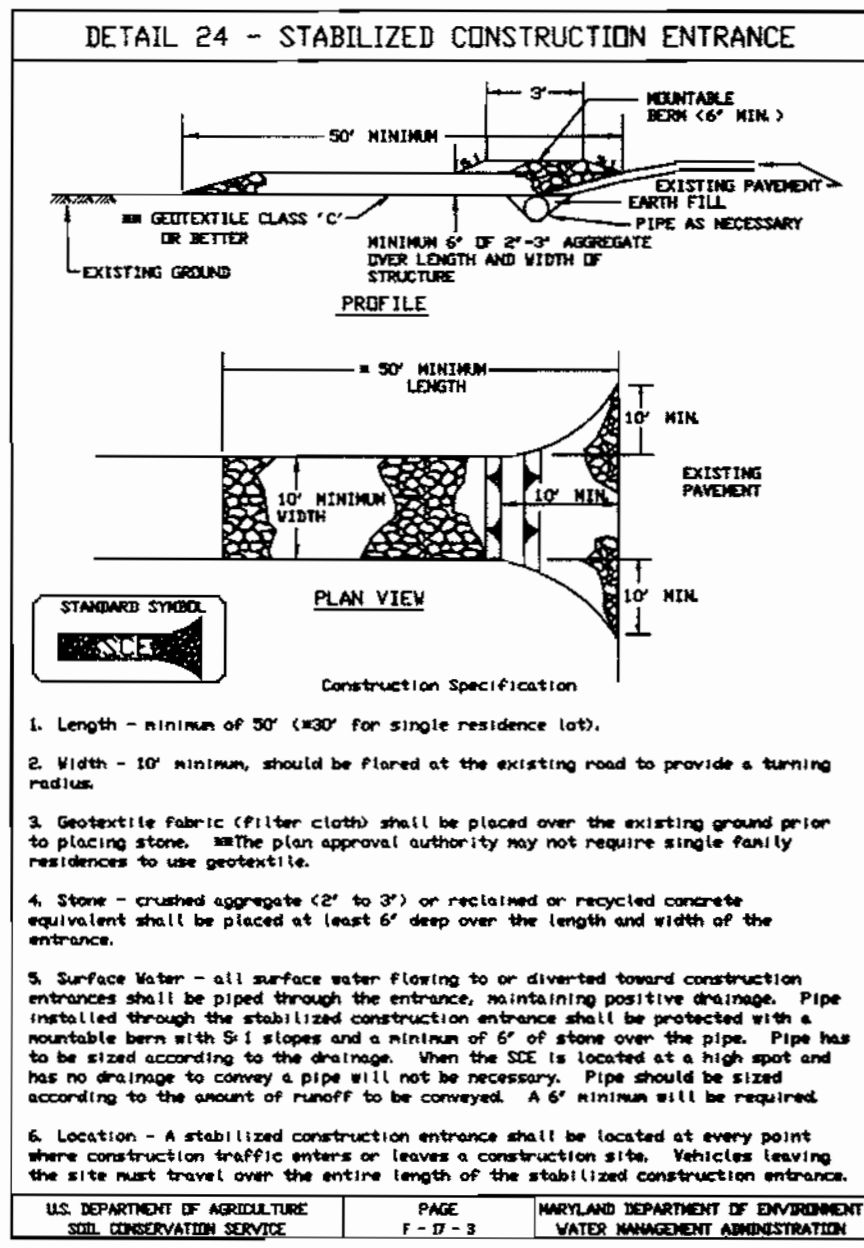
DATE	BY	APPR.
11/11/01	SEG	
11/11/01	SEG	
11/5/01	SEG	

PREPARED FOR:
 Gateway 67 L.L.C.
 7165 Columbia Gateway Dr.
 Columbia, Maryland 21046
 Attn: Cole Sanford
 Phone: (410) 290-1400

SEDIMENT & EROSION CONTROL PLAN
COLUMBIA GATEWAY
 PART OF
PARCEL N-11'
 PLAT NO. 14298

SCALE	ZONING	G. L. W. FILE NO.
1"=40'	M-1	00069
DATE	TAX MAP - GRID	SHEET
SEPT, 2000	42-12	7 OF 12

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GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
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 BURTONTVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
 GATEWAY 67 L.L.C.
 7165 COLUMBIA GATEWAY DRIVE
 COLUMBIA, MD. 21046
 PH: 410-298-1400
 ATTN: COLE SCHNORF

SEDIMENT CONTROL NOTES AND DETAILS
 COLUMBIA GATEWAY
 PART OF PARCEL 'N-11'
 PLAT No. 14298

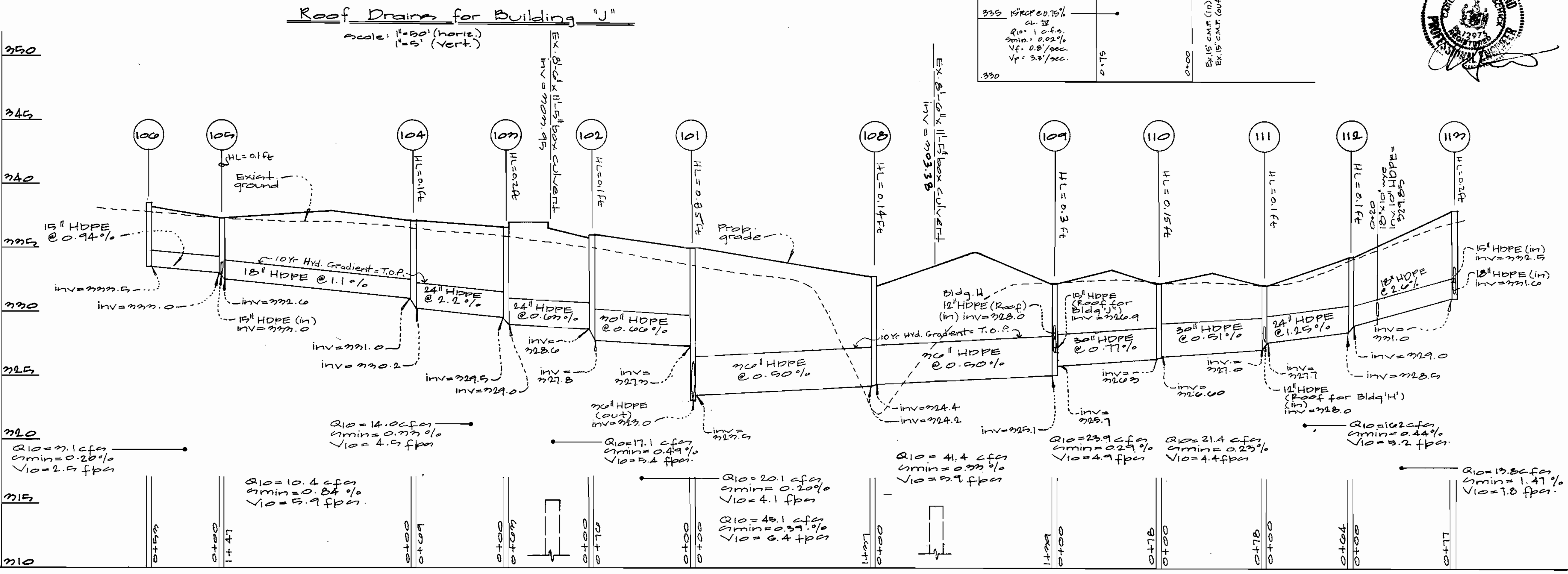
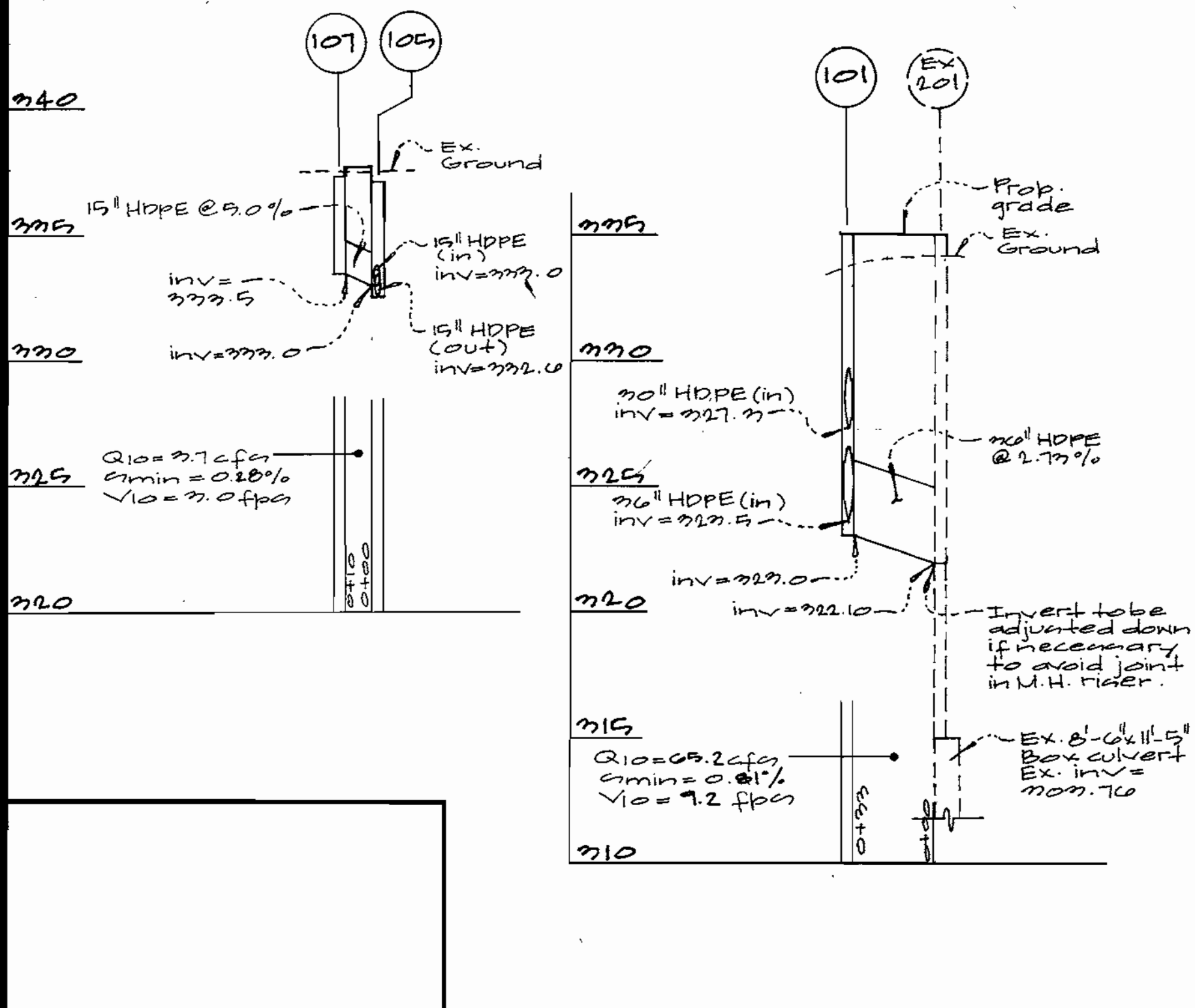
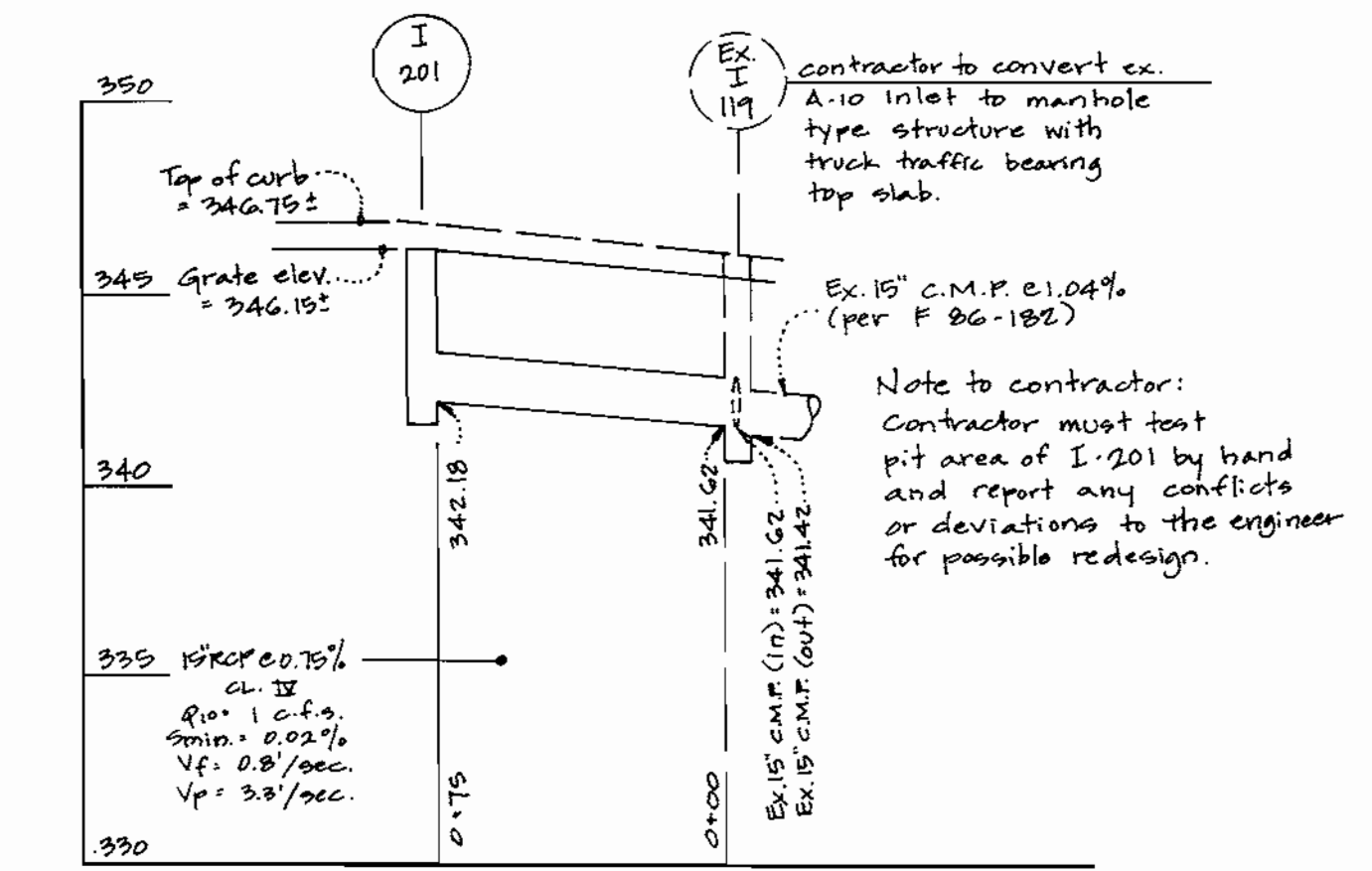
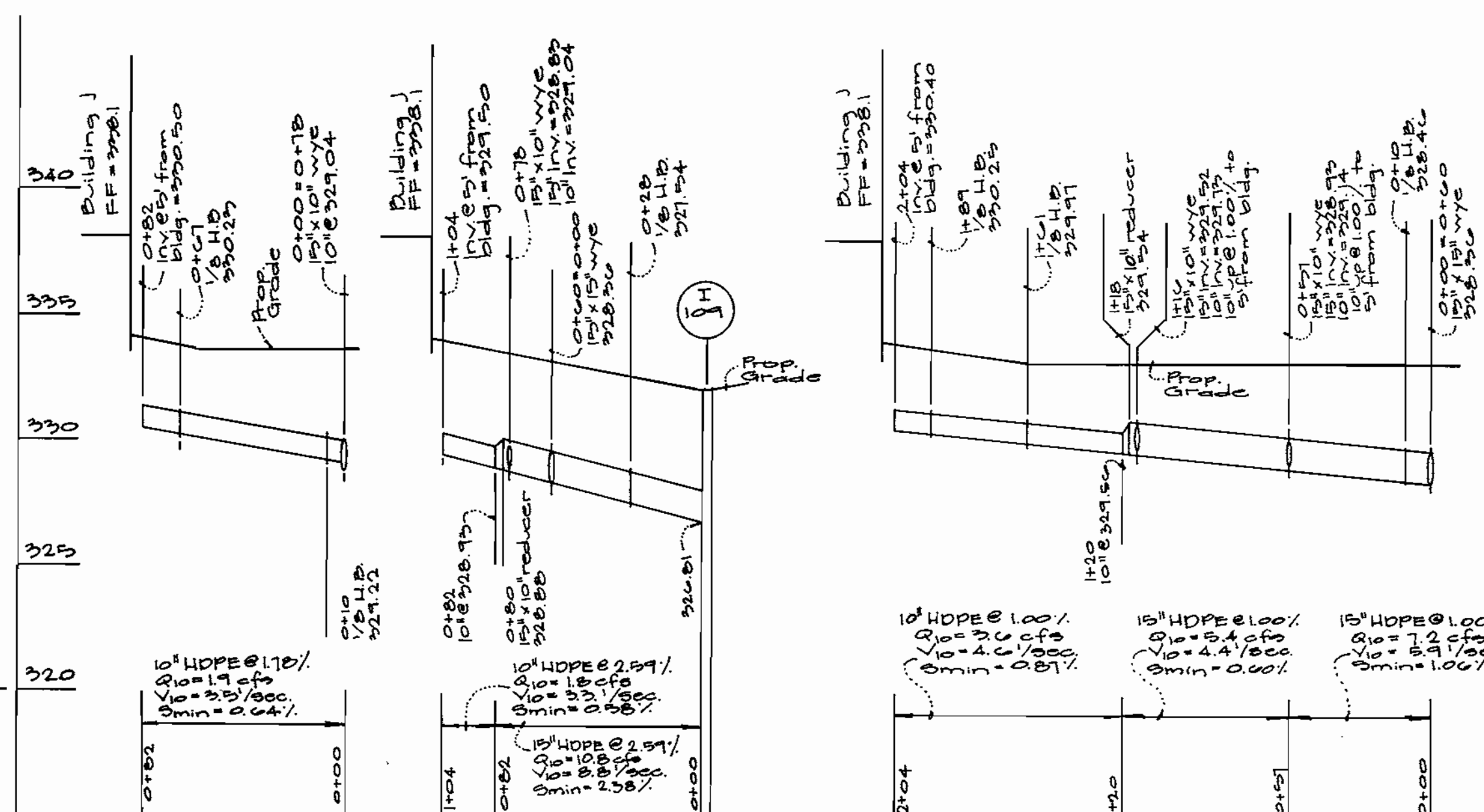
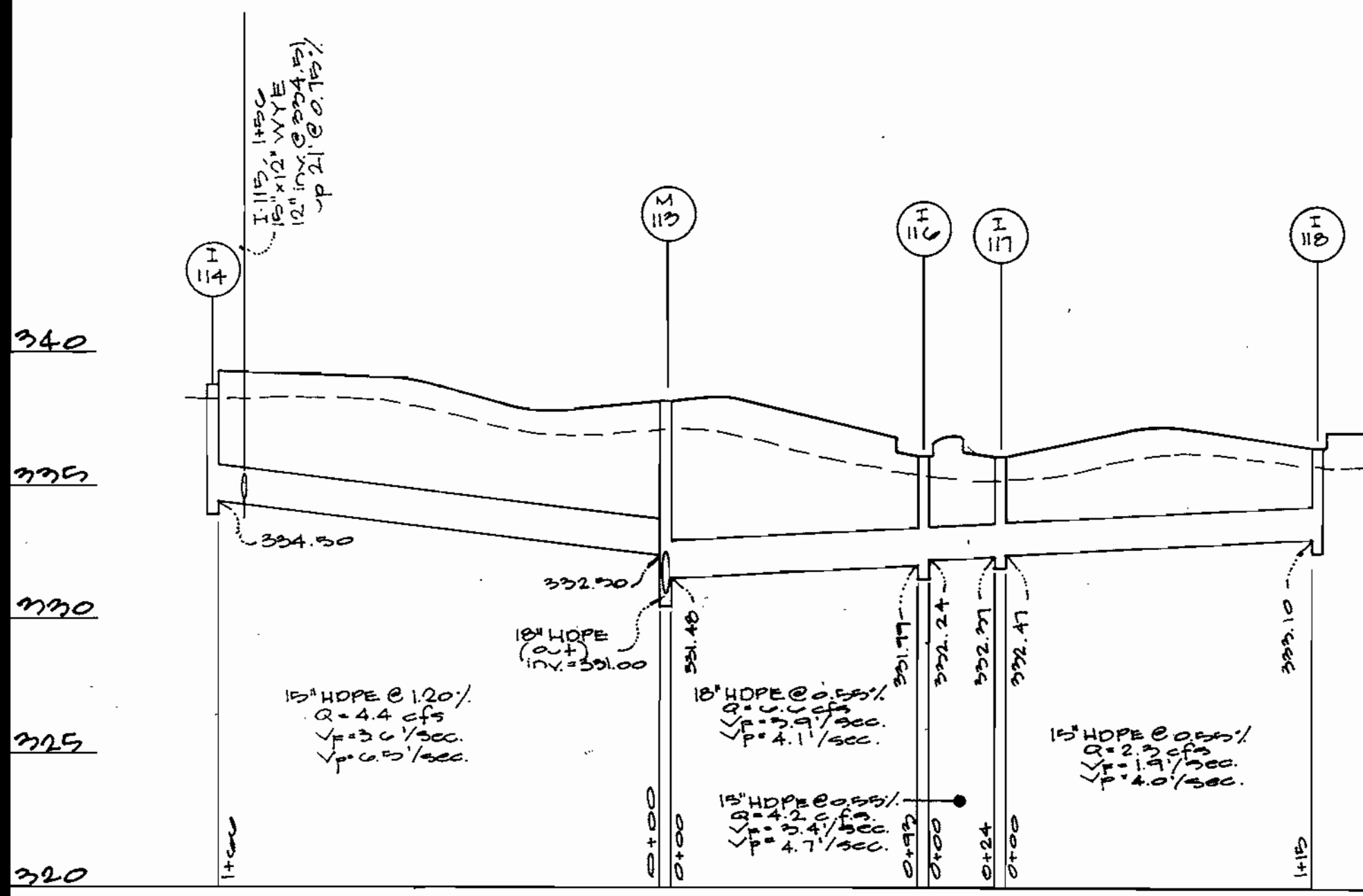
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 ZONING: M-1
 G. L. W. FILE No.: 00069
 DATE: SEPT., 2000
 TAX MAP - GRID: 42 - 12
 SHEET: 8 OF 12

HOWARD COUNTY, MARYLAND
 SDP-00-149

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.S.)	REMARKS
12"	HDPE	423	
12"	"	102	
15"	"	130	
18"	"	224	
24"	"	190	
30"	"	232	
36"	HDPE	309	

HDPE: High Density Polyethylene double wall, smooth interior must meet AASHTO M-244.

STRUCTURE SCHEDULE									
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
101	Pre Cast MH	72" Diam	335.0	335.0	335.0	335.0			
102	A-10	60" Diam	336.0	335.71	332.0	332.80	Ho. Co. SD 4.41		
103	WR Inlet	std	336.40		339.5	339.0	Ho. Co. SD 4.35		
104	WR Inlet	std	337.11		339.0	339.0	Ho. Co. SD 4.35		
105	WR Inlet	std	337.20		339.0	339.0	Ho. Co. SD 4.35		
106	COG-105	48" Diam	338.94	338.70	339.0		MD 374.02		
107	WR Inlet	std	337.20		339.0	339.0	Ho. Co. SD 4.35		
108	A-10	60" Diam	338.00	337.4	334.0	334.0	Ho. Co. SD 4.41		
109	Phylon MH W/Grate	48" Dia	332.70		332.0	332.1	69.05 (Modified)	Place WR Grate in Top slab MD 374.02	
110	WR Inlet	std	332.00		332.0	332.0	Ho. Co. SD 4.35		
111	WR Inlet	std	332.00		332.0	332.0	Ho. Co. SD 4.35		
112	A-10	60" Diam	332.70	332.41	332.0	332.0	Ho. Co. SD 4.41		
113	Pre Cast MH	48" Diam	332.20		332.0	332.0			
114	WR Inlet	std	332.85		332.0	332.0	Ho. Co. SD 4.35		
116	WR Inlet	std	332.15		332.24	331.99	Ho. Co. SD 4.35		
117	WR Inlet	std	332.15		332.47	332.37	Ho. Co. SD 4.35		
118	WR Inlet	std	332.85		332.0	332.0	Ho. Co. SD 4.35		
201	Double 1/2' Comb.	std.	342.78	342.78		342.18	Ho. Co. SD 4.34	*to be field verified	



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 11/10/01

Chief, Division of Land Development: *[Signature]* Date: 11/10/01

Chief, Development Engineering Division: *[Signature]* Date: 11/10/01

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONTVILLE OFFICE PARK
BURTONTVILLE, MARYLAND 20886
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

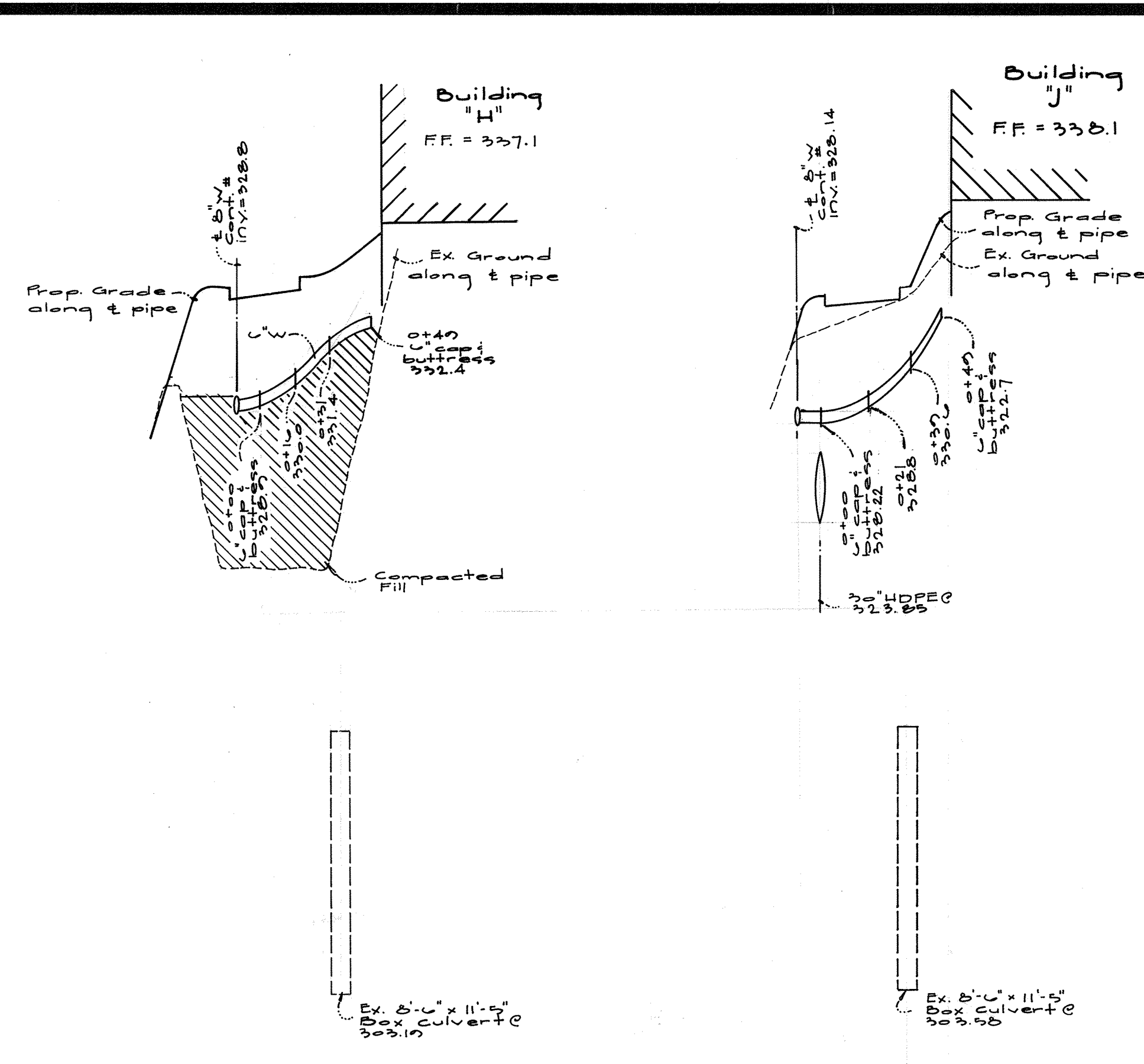
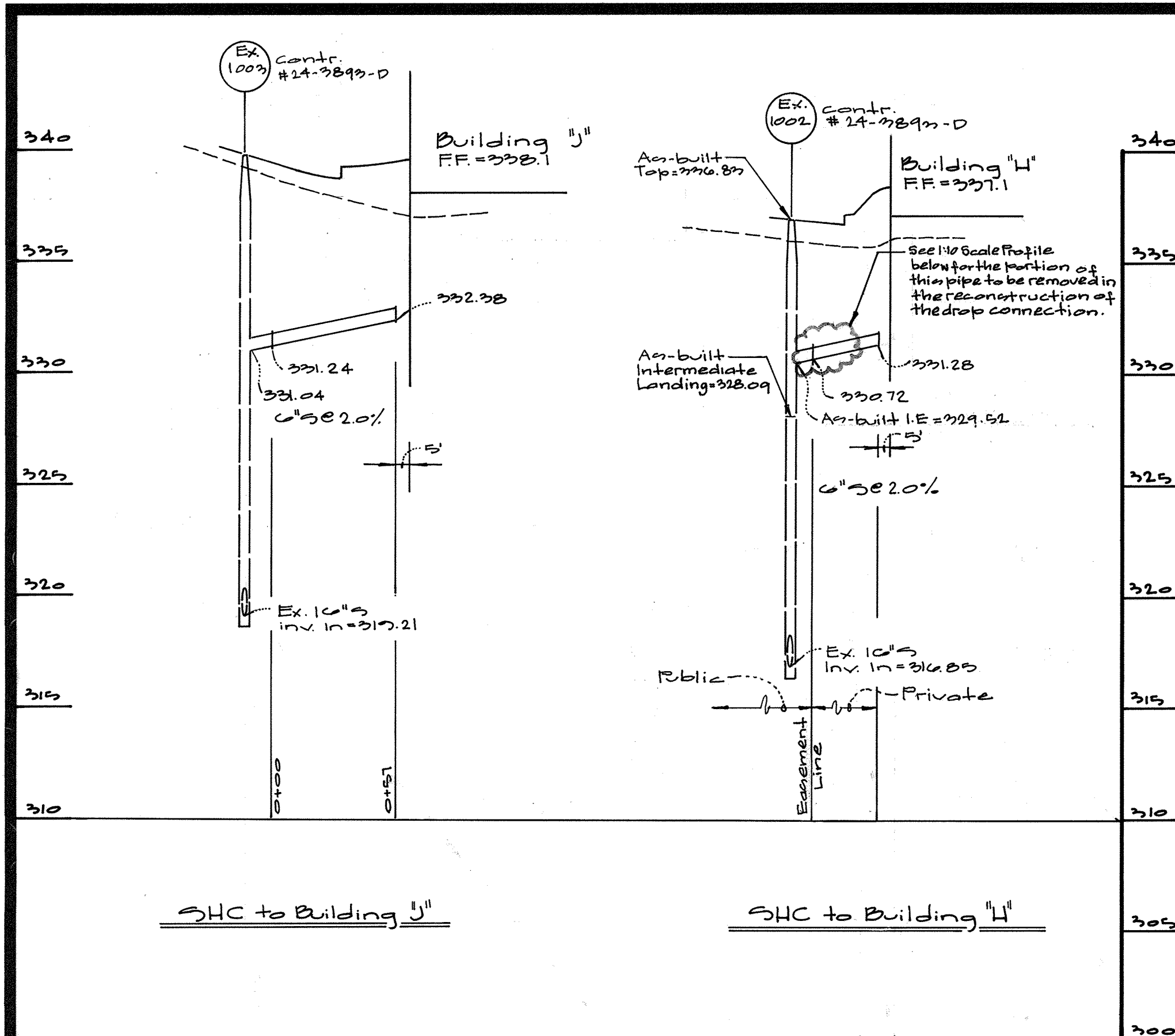
DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

PREPARED FOR:
Gateway LLC
7165 COLUMBIA GATEWAY DRIVE
COLUMBIA, MD, 21046
PR: 410-280-1400
ATTN: MR. COLE SCHNORF

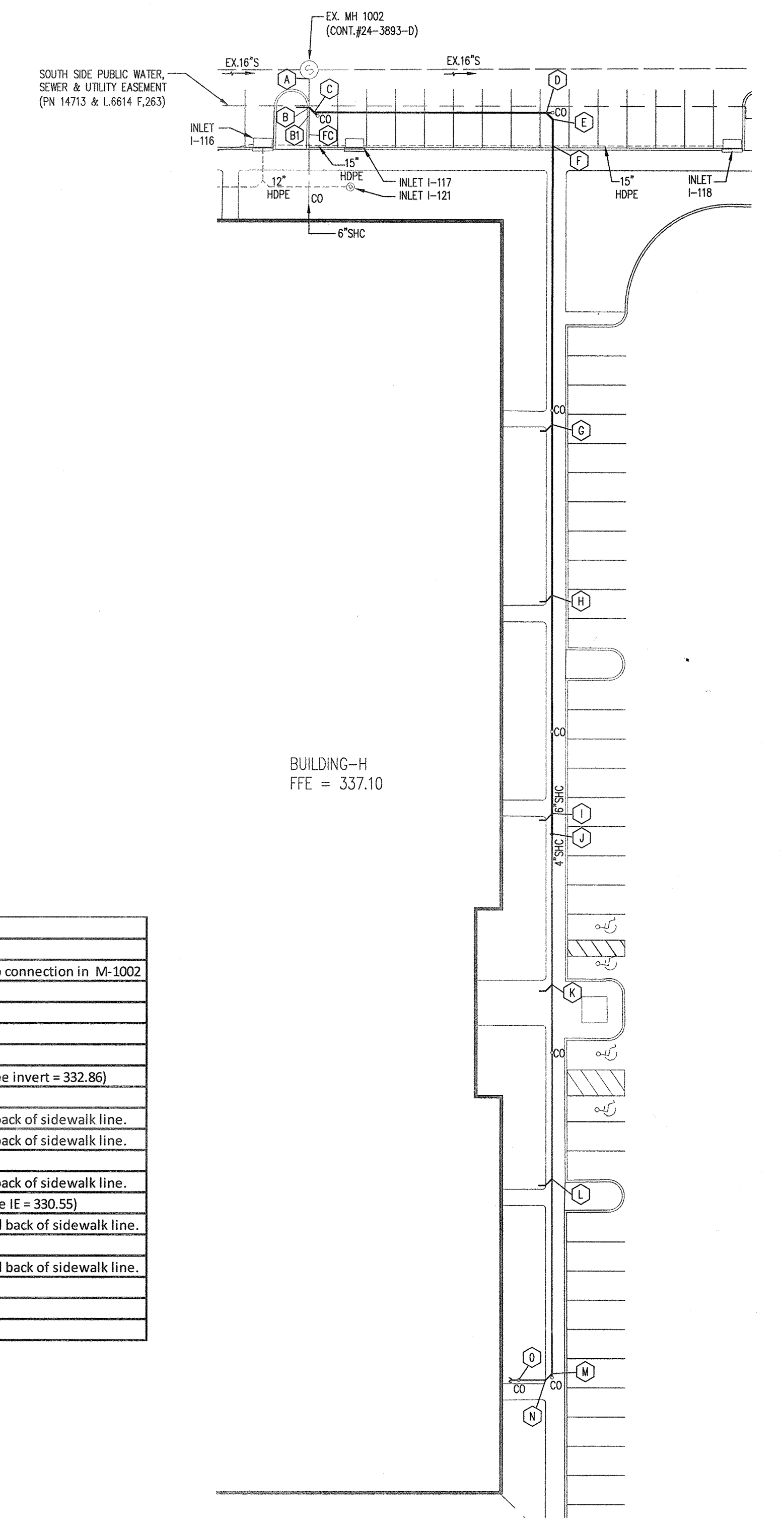
STORM DRAIN PROFILES
COLUMBIA GATEWAY
PARCEL 'N-11'
PLAT No.

GULFORD ELECTION DISTRICT No. 6

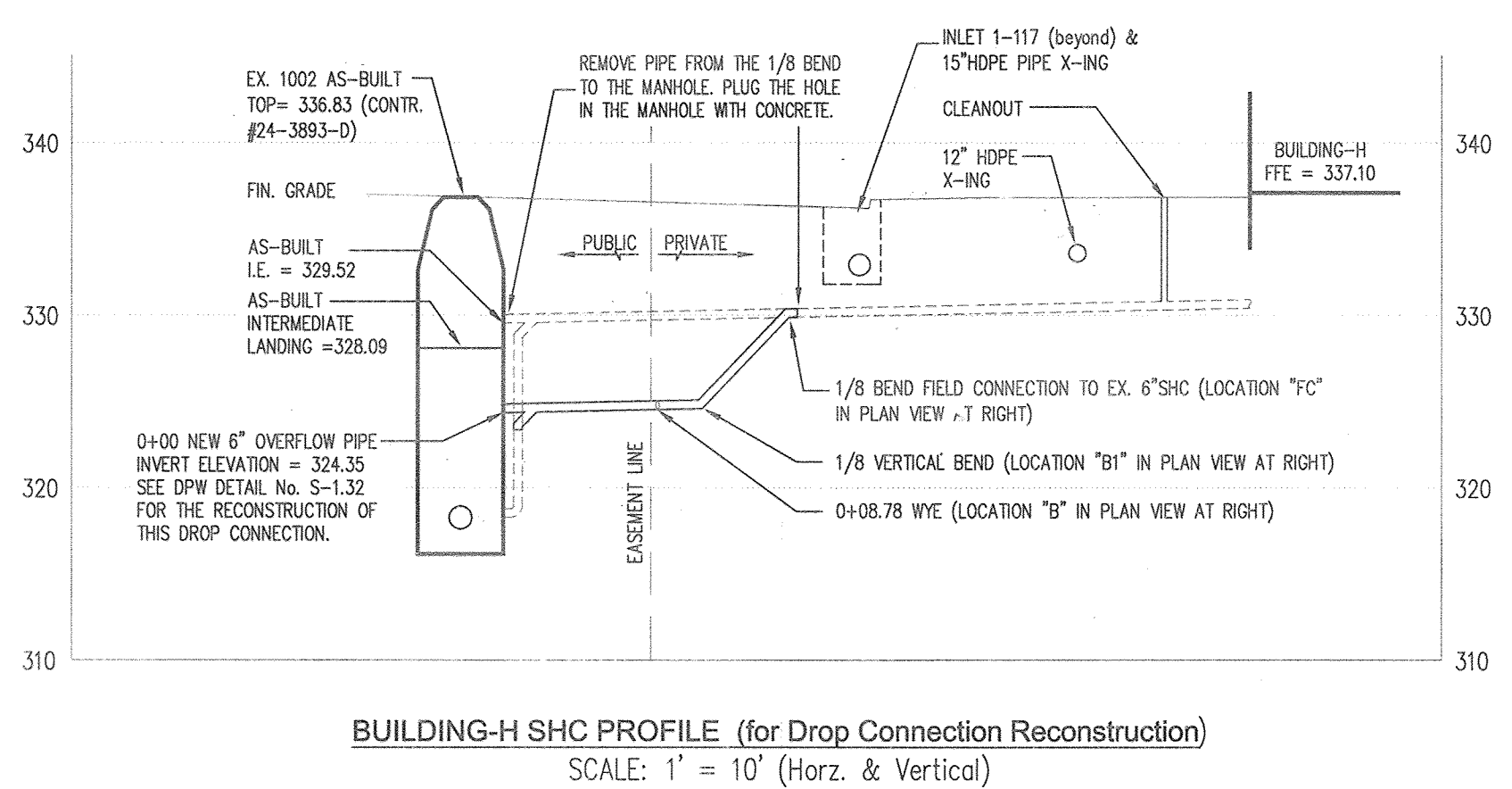
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-1	00069
DATE	TAX MAP - GRID	SHEET
Sept. 2000	42 - 12	1 OF 12



Profiles
Scale: Horiz: 1" = 30'
Vert: 1" = 5'



BUILDING-H NEW SEWER HOUSE CONNECTION
SCALE: 1" = 30'



BUILDING-H SHC PROFILE (for Drop Connection Reconstruction)
SCALE: 1" = 10' (Horz. & Vertical)

Building-H New Sewer House Connection			
Location	station	SHC Invert Elevation	Descriptions
A	0+00.00	324.35	Invert for new 6" overflow pipe at existing drop connection in M-1002
B	0+08.78	324.52	1/8 Wye
C	0+10.91	324.56	1/8 Bend & cleanout
D	0+83.13	326.01	1/8 Bend & cleanout
E	0+86.02	326.07	1/8 bend
F	0+94.18	326.23	SHC and stormdrain crossing (15" stormdrain pipe invert = 332.86)
CO	1+75.76	327.86	Cleanout
G	1+80.10	327.95	6x4 Wye for 4" lateral up 2% and cap 2' behind back of sidewalk line.
H	2+32.73	329.00	6x4 Wye for 4" lateral up 2% and cap 2' behind back of sidewalk line.
CO	2+74.76	329.84	Cleanout
I	3+00.07	330.35	6x4 Wye for 4" lateral up 2% and cap 2' behind back of sidewalk line.
J	3+06.19	330.47	Invert of 6" pipe at 6x4 coupling/reducer (4" pipe IE = 330.55)
K	3+52.79	331.48	4x4 Wye for 4" lateral up at 2% and cap 2' behind back of sidewalk line.
CO	3+73.76	331.90	Cleanout
L	4+12.76	332.68	4x4 Wye for 4" lateral up at 2% and cap 2' behind back of sidewalk line.
M	4+72.76	333.88	1/8 Bend & cleanout
N	4+75.59	333.93	1/8 Bend
O	4+83.94	334.10	Cleanout at 5-ft from building

- NOTES:
- SEE SHEET-1 OF THIS SDP FOR APPLICABLE GENERAL NOTES (1-4).
 - SEWER PIPES SHALL BE D.I.P. OR P.V.C. (PER DMV2, TABLE 4.5), UNLESS OTHERWISE NOTED.
 - FOR DROP CONNECTION CONSTRUCTION DETAIL SEE DPW DET. No. S-1.32 (in DMV4).
 - FOR CLEANOUT DETAILS SEE Nos. S-2.22 & S-2.23 (in DMV4).
 - HOWARD COUNTY DESIGN MANUAL VOL.2 (DMV2) and VOL. 4 (DMV4) ARE AVAILABLE AT <https://www.howardcountymd.gov/Departments/Public-Works/Bureau-DI-Engineering>
 - CONTRACTOR SHALL RESTORE ALL PAVING, CURB & GUTTER THAT ARE REMOVED FOR THE CONSTRUCTION OF THE NEW SEWER HOUSE CONNECTION.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 11/16/01
 Chief, Division of Land Development: *[Signature]* Date: 11/16/01
 Chief, Development Engineering Division: *[Signature]* Date: 11/5/01

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4188

DATE	BY	APPR.	REVISION
5/7/19			Building-H new SHC

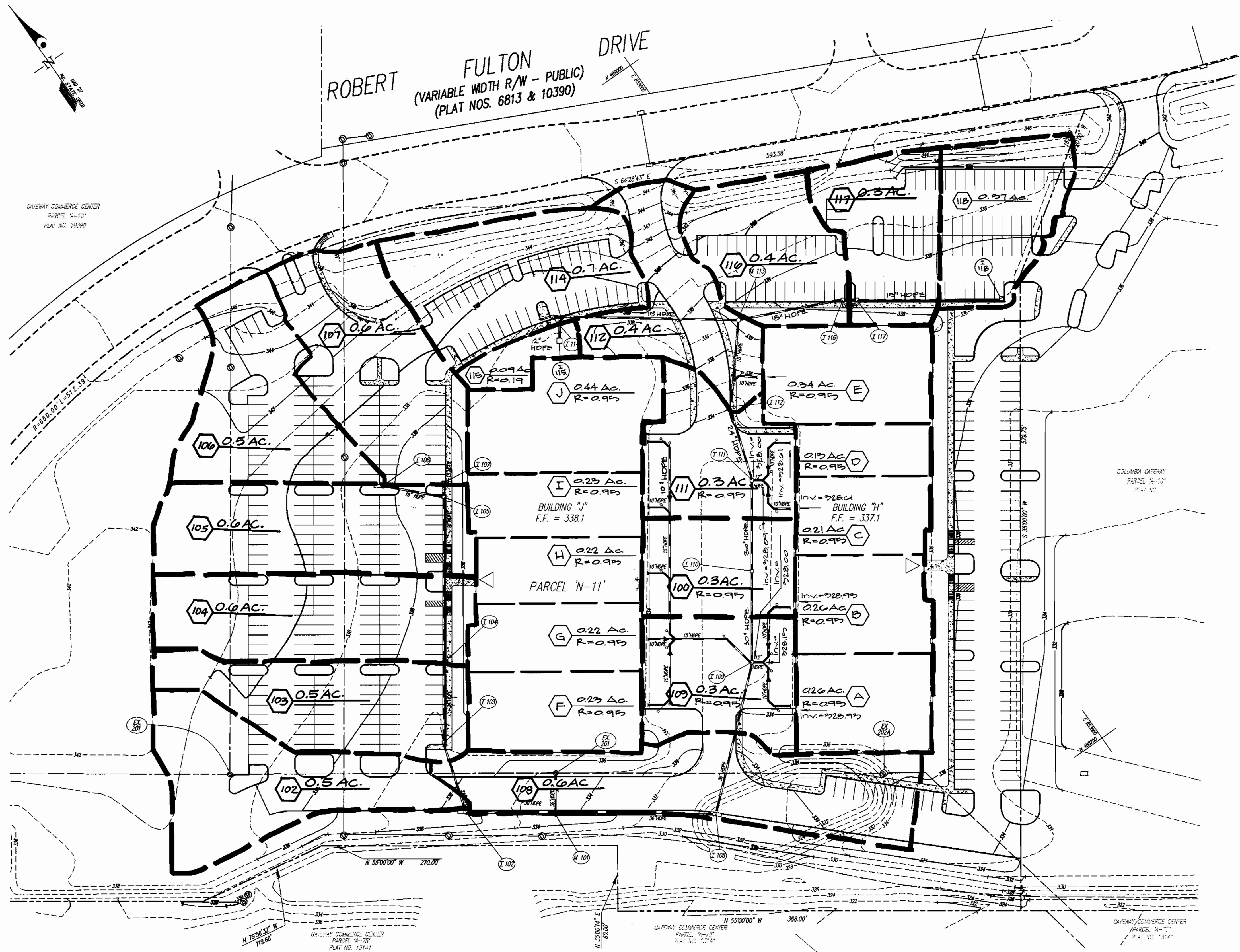
PREPARED FOR:
 Gateway of LLC
 7165 COLUMBIA GATEWAY DRIVE
 COLUMBIA, MD. 21046
 PH: 410-290-1400
 ATTN: MR. COLE SCHNORF

WATER & SEWER PROFILES
COLUMBIA GATEWAY
 PARCEL N-10, 11 & 12'
 PLAT No.

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-1	00069
DATE	TAX MAP - GRID	SHEET
Sept, 2000	42 - 12	10 OF 12





APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 11/16/01
 Chief, Division of Land Development: *[Signature]* Date: 11/16/01
 Chief, Development Engineering Division: *[Signature]* Date: 11/15/01

- NOTES**
1. ALL 'R' VALUES ARE 0.72 UNLESS NOTED
 2. C SOILS WERE USED TO DESIGN THE IMPROVEMENTS DUE TO THE PREVIOUS MASS GRADING OPERATIONS ON THE SITE!



GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:
 Gateway 07 LLC
 7165 Columbia Gateway Dr.
 Columbia, Maryland 21046
 Attn.: Cole Scarff
 Phone: (410) 290-1400

DRAINAGE AREA MAP
COLUMBIA GATEWAY
 PART OF
PARCEL 'N-11'
 PLAT NO. _____

SCALE	ZONING	G. L. W. FILE No.
1"=50'	M-1	00069
DATE	TAX MAP - GRID	SHEET
Sept, 2000	42-12	11 OF 12

\\DRAWINGS\00069\DESIGN\00069DAB.DWG DES. DEV DRN. GMB CHK. DEV

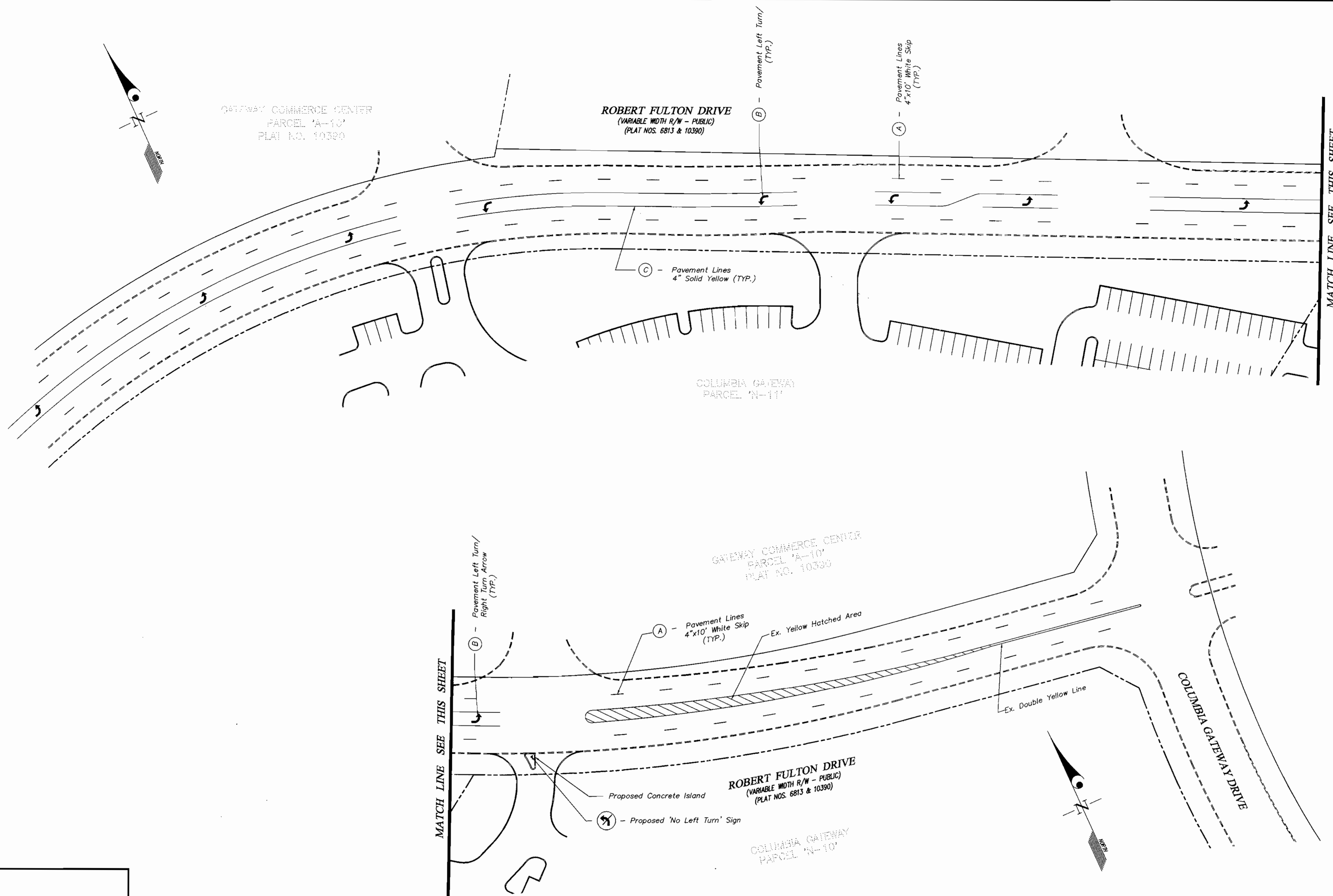
HOWARD COUNTY, MARYLAND

PAVEMENT MARKING NOTES

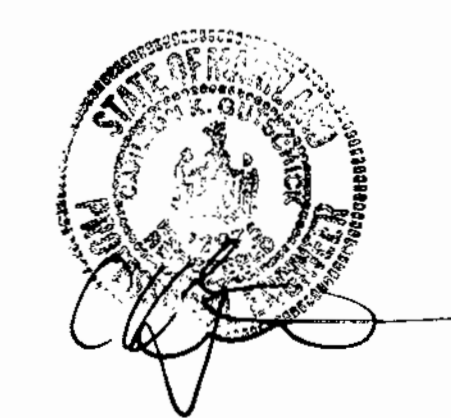
1. ALL PAVEMENT MARKINGS TO BE APPLIED USING "SETFAST PREMIUM ALKYD TRAFFIC PAINT" BY SHERWIN WILLIAMS OR APPROVED EQUAL.
2. EXISTING PAVEMENT MARKINGS THAT ARE IN CONFLICT WITH THE PROPOSED PAVEMENT MARKINGS FOR THIS CONTRACT WILL BE REMOVED BY THE CONTRACTOR BY ANY METHOD WHICH IS APPROVED BY THE COUNTY INSPECTOR.

LEGEND

- (A) - PAVEMENT LINES - 4" X 10' WHITE SKIP
- (B) - PAVEMENT SYMBOL - LEFT TURN/RIGHT TURN ARROW
- (C) - PAVEMENT LINES - 4" SOLID YELLOW



Final striping is shown hereon. Contractor shall inspect existing striping patterns to determine changes required to implement this plan.



APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer _____ Date _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director _____ Date 1/11/01

Chief, Division of Land Development _____ Date 1/11/01

Chief, Development Engineering Division _____ Date 1/5/01

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTCHVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

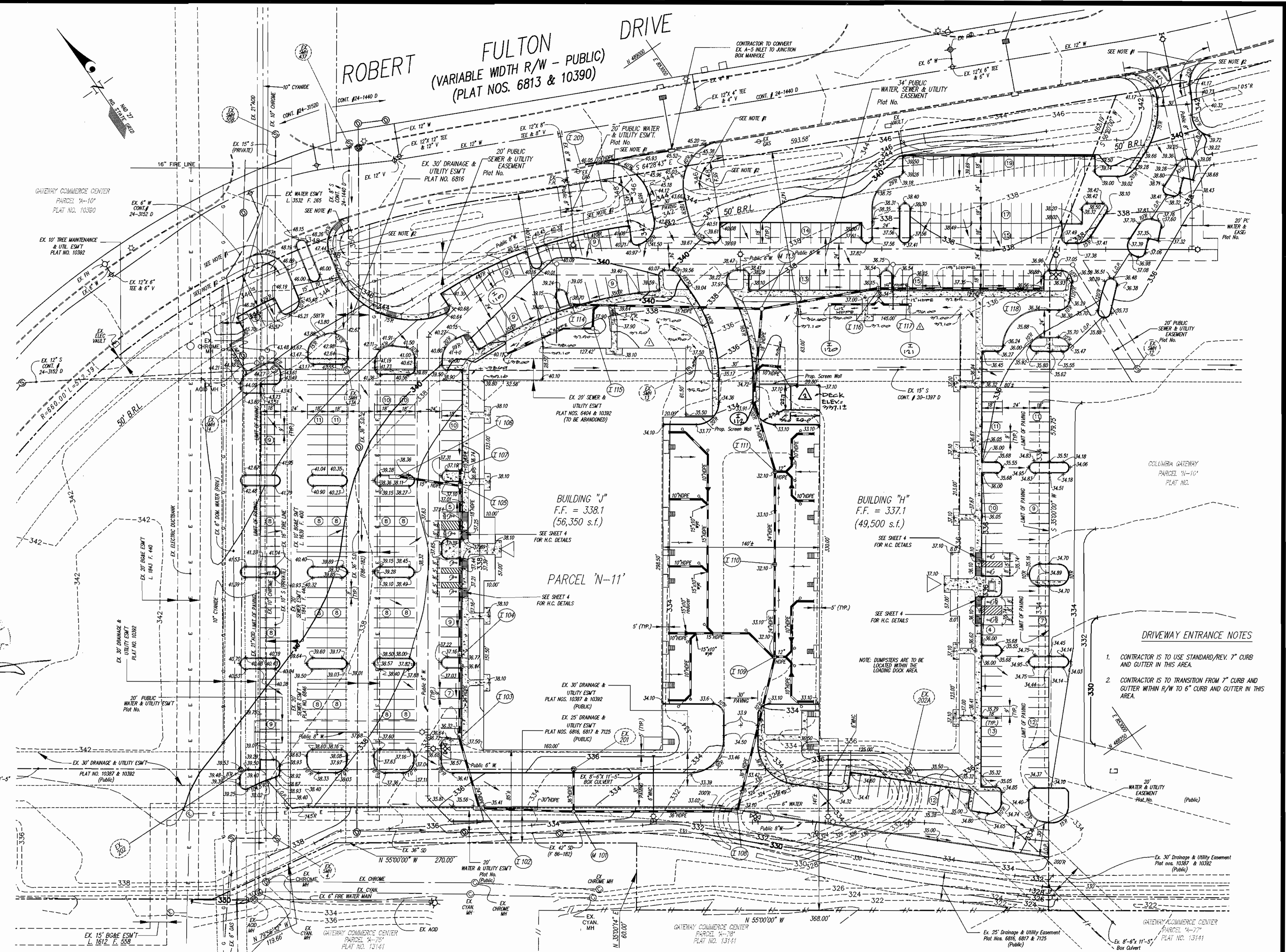
DATE	REVISION	BY	APP'R.

PREPARED FOR:
Gateway 67 L.L.C.
7165 Columbia Gateway Dr.
Columbia, Maryland 21046
Attn: Cole Schnorf
Phone: (410) 290-1400

STRIPING PLAN
COLUMBIA GATEWAY
PART OF
PARCEL 'N-11'
PLAT NO. 14298

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=40'	M-1	00069
DATE	TAX MAP - GRID	SHEET
SEPT., 2000	42-12	12 OF 12



STREET LIGHT NOTES
 ☉ DENOTES STREET LIGHT

LEGEND

- STANDARD 6" CURB & GUTTER
- REVERSE 6" CURB & GUTTER
- - - EXISTING CURB
- +22.95 PROPOSED SPOT ELEVATION
- 32.4 EXISTING CONTOUR
- 32.4 PROPOSED CONTOUR
- △ ENTRANCE THAT IS HANDICAP ACCESSIBLE
- ▲ ENTRANCE THAT IS NOT HANDICAP ACCESSIBLE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 11/1/01
 Chief, Division of Land Development: *[Signature]* Date: 11/1/01
 Chief, Development Engineering Division: *[Signature]* Date: 11/5/01

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

NO.	DATE	DESCRIPTION	BY	APP'R.
0-12-00		Add Deck Addition To Corner of Building "H" & deleted screen wall on Bldg. "H" & J		
0-22-01		rev. plan to add 2 1/2", 3 1/2", 2 1/4" and prop. grading as needed		
	DATE	REVISION	BY	APP'R.

PREPARED FOR:
 Gateway 67 L.L.C.
 7165 Columbia Gateway Dr.
 Columbia, Maryland 21046
 Attn: Cole Schorf
 Phone: (410) 290-1400

SITE DEVELOPMENT PLAN
COLUMBIA GATEWAY
 PART OF
PARCEL 'N-11'
 PLAT NO. 14298

SCALE	ZONING	G. L. W. FILE No.
1"=40'	M-1	00069
DATE	TAX MAP - GRID	SHEET
SEPT., 2000	42-12	2 OF 12

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