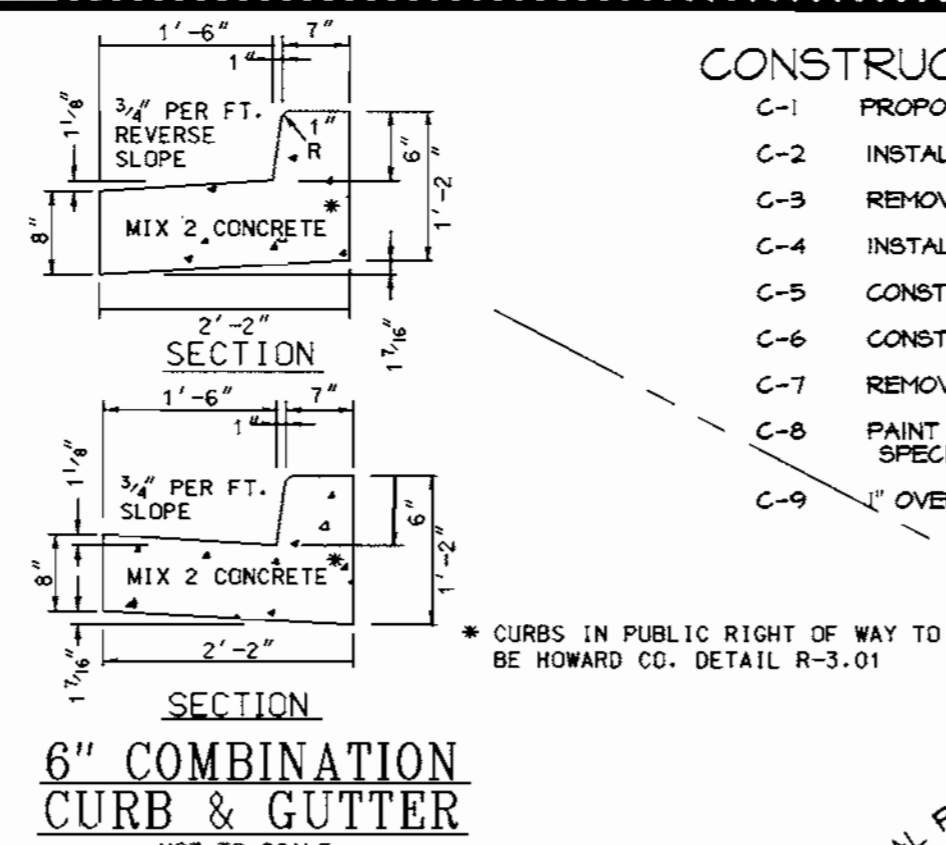


- LEGEND :**
- EX. PROPERTY LINE
 - - - - 112' EX. 2' CONTOUR
 - - - - 110' EX. 10' CONTOUR
 - - - - 4" GAS EX. GAS
 - - - - 8" SAN. EX. SANITARY
 - - - - 16" S.D. EX. STORM DRAIN
 - - - - 10" W. EX. WATER
 - - - - EX. WATER METER
 - - - - EX. TELEPHONE
 - - - - EX. CURB
 - - - - EX. ELECT. CONDUIT
 - - - - EX. LIGHT POLE
 - - - - EX. FENCE LINE
 - - - - NO. OF PARKING SPACES
 - - - - EX. WOODS LINE / VEGETATION
 - - - - EX. TREE



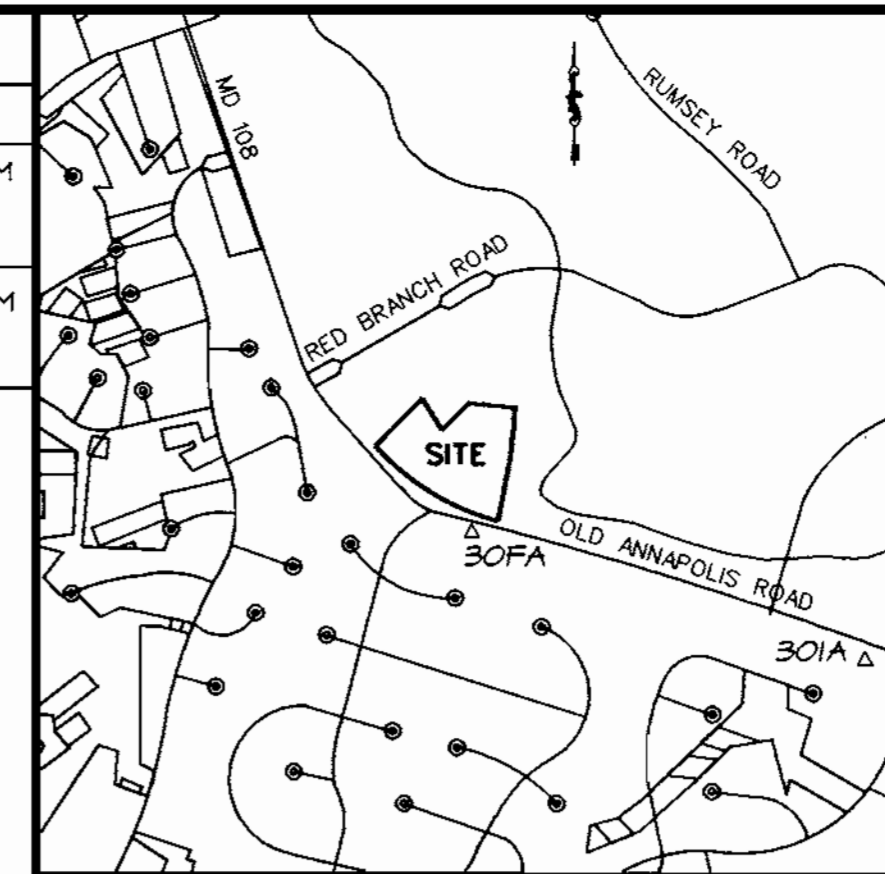
- CONSTRUCTION NOTES :**
- C-1 PROPOSED CONC. CURB.
 - C-2 INSTALL P-2 PAVING.
 - C-3 REMOVE EX. CURB.
 - C-4 INSTALL COMPACT PARK SPACE SIGN.
 - C-5 CONSTRUCT H.C. RAMP.
 - C-6 CONSTRUCT CONC. SIDEWALK.
 - C-7 REMOVE EXISTING WALK.
 - C-8 PAINT STRIPE PER MANUFACTURERS SPECIFICATIONS.
 - C-9 1" OVERLAY ON EXISTING PAVING.

HOWARD COUNTY CONTROL POINTS

NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
30FA	568,621.329	1,361,563.983	441.619	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN
30IA	567,750.958	1,364,842.598	499.814	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN

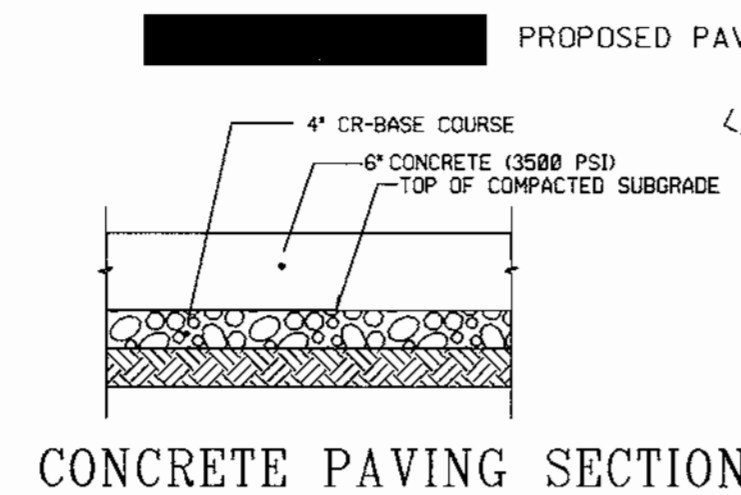
SITE NOTES :

1. Total Area of Lot : 464,001 SF / 10.652 AC +/-
Limit of Submission : 2.29 AC +/-
2. Existing Use : OFFICE/WAREHOUSE
Proposed Use : OFFICE/WAREHOUSE
3. Owner/Developer : WELLSFORD COMMERCIAL PROPERTIES TRUST
26 MAIN STREET
CHATHAM, NEW JERSEY 07928
ATTN: HOWARD WOLF, PH 973-701-2200
4. Existing Zoning : NT-INDUSTRIAL
5. Existing Building : 145,736 SF
Proposed Building : 1,200 SF
Total Building : 146,936 SF
6. Setbacks : Front: 25'
Side: 0'
Rear: 0'
7. Parking Computations :
Number of Parking Spaces Required : 143,114 @ 2.5 SP/1000 SF = 358 SP
Number of Parking Spaces Provided : 16 HC SPACES
Includes 136 Compact Spaces (C)
Compact Spaces Allowed up to 25% (144 sp.)
Existing # Parking Spaces = 352 (incl. 7 HC SP.)
8. Open Space : 67820 SF / 91432 SF = 74%
9. Floor Area Ratio : 146,936 SF / 464,001 SF = 0.32
10. Applicable DPZ Ref. : FDP-3-A PLAT (F-66-37) (SDP-69-17) & (SDP-75-23)
11. Disturbed Area : 99753 SF or 2.29 AC +/-
12. Existing utility connections to remain.



GENERAL NOTES :

1. ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.e. STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
3. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND DEPTH. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
5. CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:
 - 800-257-7777
 - 410-992-3777
 - 410-992-2366
 - 410-992-2329
 - BALTIMORE GAS & ELECTRIC CO. 410-609-0129
 - STATE HIGHWAY ADMINISTRATION 410-531-5538
 - HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION 410-915-1800
6. ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
7. ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
8. THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
9. PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
10. NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
11. TOPO TAKEN FROM FIELD RUN SURVEY LDE, INC. DATED 6/99 TOPO INFO. BY GERHOLD, CROSS & ETZEL DATED 1/00
12. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
13. ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL 02.01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOL. IV OF HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
14. THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEWERS AND BROOK CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
15. FOR THE EXACT LOCATION AND DEPTH OF THE EXISTING WATER AND SEWER MAINS, THE CONTRACTOR SHALL DIG TEST PITS AT THE CONTRACTOR'S EXPENSE.
16. ALL EXTERIOR LIGHTINGS SHALL COMPLY WITH SECTION 134 OF THE ZONING REGULATIONS.
17. STORM-WATER MANAGEMENT FACILITY IS PRIVATELY OWNED AND MAINTAINED. BATSAYER (BS-1) IT IS FOR WATER QUALITY ONLY. UNDERGROUND PIPE FACILITY IS FOR WATER QUANTITY.
18. THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE THE PROPERTY IS ZONED NEW TOWN.
19. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREETS AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
20. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 30FA & 30IA WERE USED FOR THIS PROJECT.
21. WATER IS PUBLIC 165 W&S
22. SEWER IS PUBLIC 165 W&S
23. THERE IS NO FLOODPLAIN ON THIS SITE.
24. THERE ARE NO WETLANDS ON THIS SITE.
25. A TRAFFIC STUDY FOR THIS PROJECT WAS APPROVED ON JULY 27, 2000.



CONCRETE PAVING SECTION

4" CR-BASE COURSE
6" CONCRETE (3500 PSI)
TOP OF COMPACTED SUBGRADE

4" CR-6 STONE BASE
4" CONCRETE (MAX. NO. 2)

TOP OF COMPACTED SUBGRADE

1/2" PREMOLD EXPANSION JOINT MATERIAL TO BE PLACED WHERE WALKS ABUT CURBS, WALLS, STEPS, ETC. AND AT MAX. 20' INTERVALS ALONG THE WALK.

JOINT SCORING TO BE 4" x 4" FOR 8' WIDE WALKS, AND 5" WALKS TO BE SCORED ON 5' CENTERS.

NOT TO SCALE

CONCRETE SIDEWALK SECTION

NOT TO SCALE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

3/6/01 DATE

3/2/01 DATE

3/9/01 DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION

CHIEF, DIVISION OF LAND DEVELOPMENT

PROJECT DIRECTOR

SHEET INDEX :

- SHEET 1 SITE PLAN & NOTES.
- SHEET 2 GRADING & SEDIMENT CONTROL PLAN.
- SHEET 3 SEDIMENT CONTROL DETAILS.
- SHEET 4 SITE DETAILS.
- SHEET 5 LANDSCAPE PLAN.
- SHEET 6 DRAINAGE AREA MAP

SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
TOPO INFORMATION BY GERHOLD, CROSS & ETZEL DATED 1/00

ADDRESS CHART

LOT/PARCEL*	STREET ADDRESS
6, 7, & 8	9042-9062 OLD ANNAPOLIS ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8
PLAT * OR L/P	BLOCK *	ZONING
PLAT 12/65	17	NT-IND.
TAX/ZONING MAP	30	
ELECTION DIST	2ND	CENSUS TRACT
6067.03		
WATER CODE	604	SEWER CODE
		5657400

DATE	NO.	REVISION

OWNER/DEVELOPER
WELLSFORD COMMERCIAL PROPERTIES TRUST
26 MAIN STREET
CHATHAM, NEW JERSEY 07928
ATTN: HOWARD WOLF, PH 973-701-2200

PROJECT: OAKLAND RIDGE OFFICE PARK RENOVATION

TITLE SITE PLAN

Richardson Engineering, LLC

330 W. Tronetta Road
Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: PCR
DESIGNED BY: PCR
DRAWN BY: CADDS
PROJECT NO.: 99005
DATE: 7/19/00
SCALE: 1" = 50'
DRAWING NO. 1 OF 6

LEGEND :

- SUPER SILT FENCE [Symbol]
- SILT FENCE [Symbol]
- STABILIZED CONSTRUCTION ENTRANCE [Symbol]
- STOCKPILE AREA [Symbol]
- CONTRACTOR'S STAGING AREA [Symbol]
- EXISTING CONTOURS [Symbol]
- PROPOSED CONTOURS [Symbol]
- LIMIT OF DISTURBANCE [Symbol]

SEQUENCE OF OPERATIONS

1. NOTIFY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS (HCDPW) INSPECTORS 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CLEAR AND GRUB AS NECESSARY FOR SEDIMENT CONTROL INSTALLATION. INSTALL CONSTRUCTION ENTRANCE. (2 DAYS)
3. CLEAR AND GRUB, AND ROUGH GRADE SITE. CLEAR ONLY THE AREAS THAT WILL BE WORKED IMMEDIATELY. (5 DAYS)
4. CONSTRUCT BUILDING ADDITION. (30 DAYS)
5. FINE GRADE PARKING LOT AND PLACE CURB AND STONE BASE COURSE IN THAT AREA. (3 DAYS)
6. SEED AND MULCH ALL DISTURBED AREAS. (1 DAY)
7. WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES FROM THAT AREA. (2 DAYS)
8. STABILIZE ALL AREAS DISTURBED AS A RESULT OF SEDIMENT CONTROL REMOVAL. (2 DAYS)

BY THE DEVELOPER
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

John M. Namana 2-13-01
DEVELOPER DATE

BY THE ENGINEER
I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Richardson Engineering, LLC 2/13/01
ENGINEER DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
Jim Mays 2/26/01
USDA NATURAL RESOURCES CONSERVATION SERVICES DATE

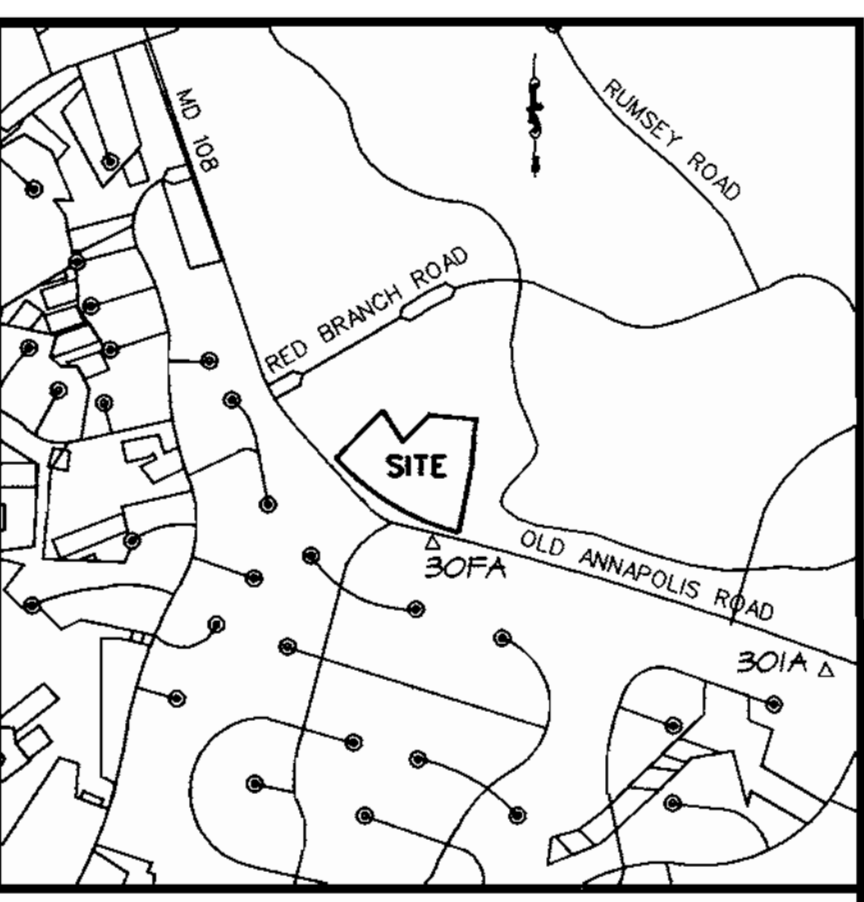
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John Alderton 2/26/01
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 3/6/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 3/2/01
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

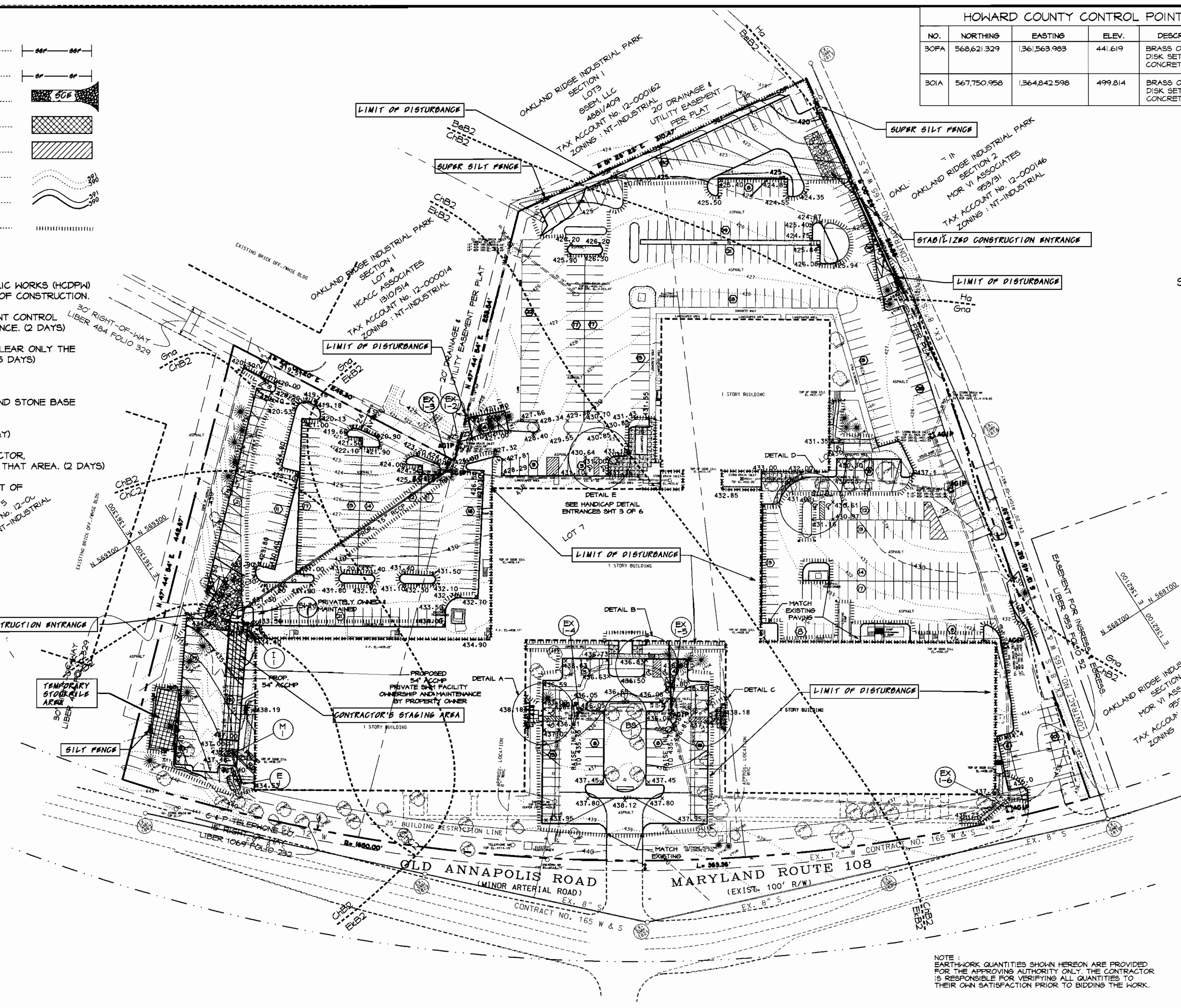
[Signature] 3/6/01
DIRECTOR DATE

HOWARD COUNTY CONTROL POINTS				
NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
30FA	568,621.329	1,361,563.983	441.619	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN
30IA	567,750.958	1,364,842.598	499.814	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN



SEDIMENT CONTROL NOTES :

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction 313-1855.
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching. Sec. 6. Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:
 - Total Area of Site 464,001 SF / 10.652 Acres
 - Area Disturbed 99,752 SF / 2.29 Acres
 - Area to be roofed or paved 331,254 SF / 7.60 Acres
 - Total Cut 1194 Cu. yds
 - Total Fill 1385 Cu. yds
 - Offsite waste/borrow area location-- A site with a currently active grading permit.
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.



NOTE : EARTHWORK QUANTITIES SHOWN HEREON ARE PROVIDED FOR THE APPROVING AUTHORITY ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES TO THEIR OWN SATISFACTION PRIOR TO BIDDING THE WORK.

SURVEY INFORMATION PREPARED BY LDE INC. DATED 6/99
TOPO INFORMATION BY GERHOLD, CROSS & ETZEL DATED 1/00

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE: Nov. 1, 2000

ADDRESS CHART	
LOT/PARCEL*	STREET ADDRESS
6, 7, & 8	9042-9082 OLD ANNAPOLIS ROAD

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL	SECTION	LOT/PARCEL
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8		
PLAT * OR L/P	BLOCK *	ZONING	TAX/ZONING MAP	ELECTION DIST
PLAT 12/65	17	NT-IND.	30	2ND
WATER CODE		SEWER CODE		CENSUS TRACT
601		5657100		6067.03

DATE	NO.	REVISION

OWNER/DEVELOPER
WELLSFORD COMMERCIAL PROPERTIES TRUST
26 MAIN STREET
CHATHAM, NEW JERSEY 07928
Attn: HOWARD WOLF, PH 973-701-2200

PROJECT: **OAKLAND RIDGE OFFICE PARK RENOVATION**

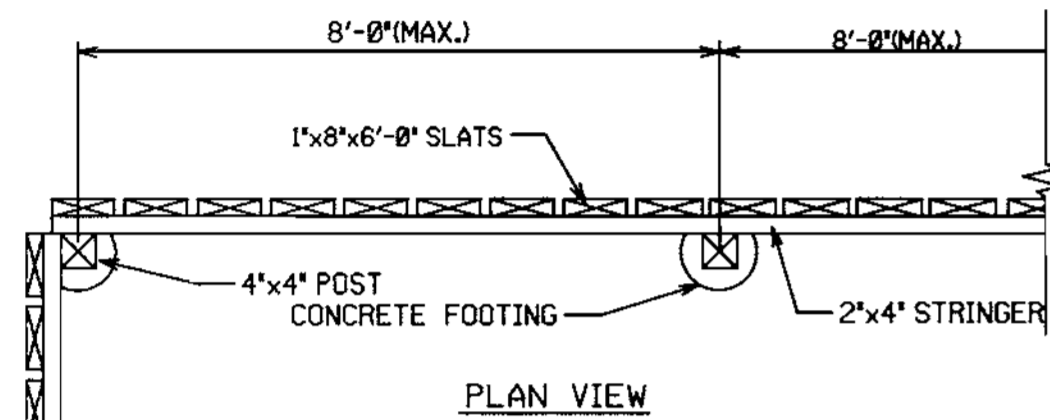
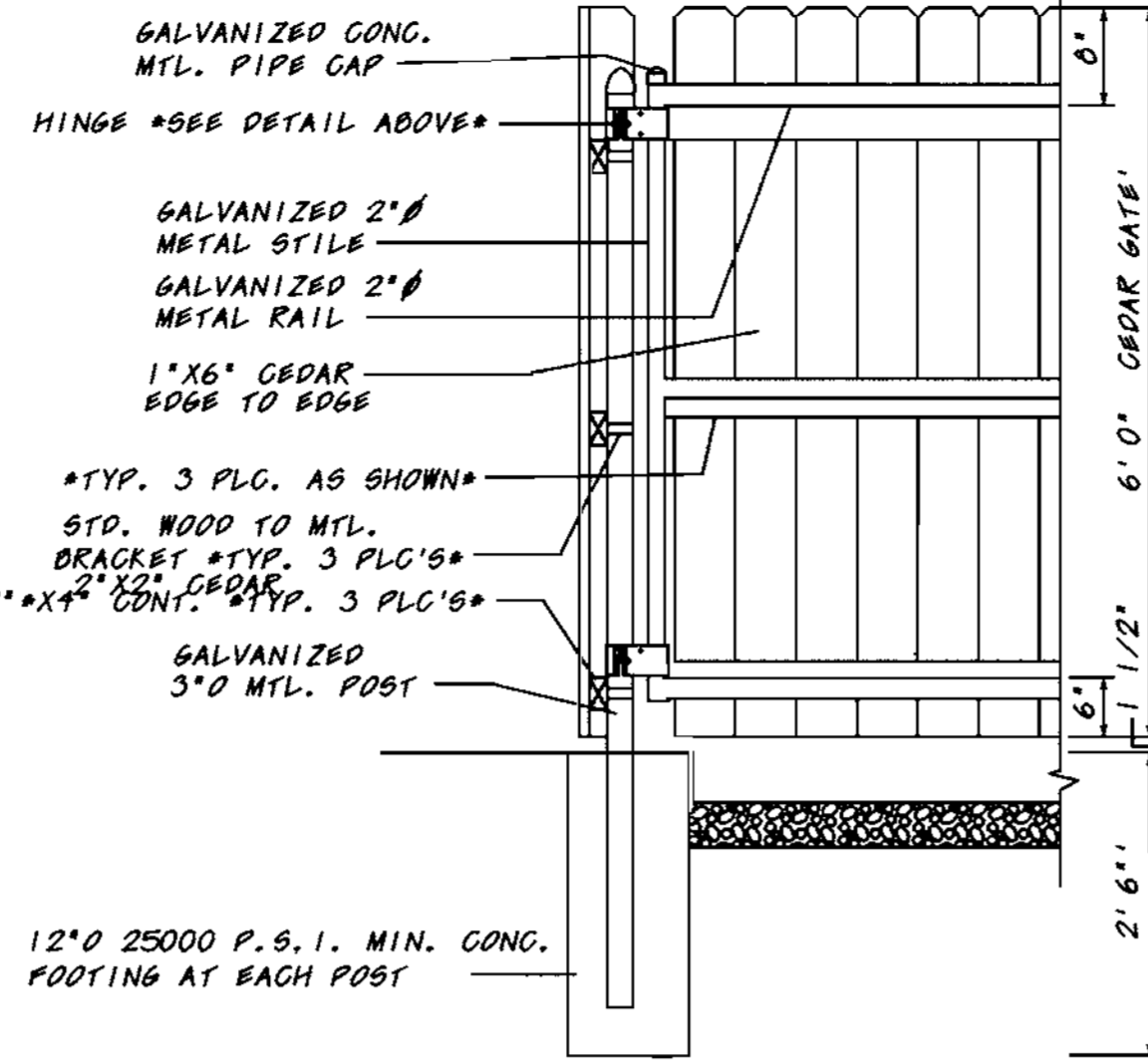
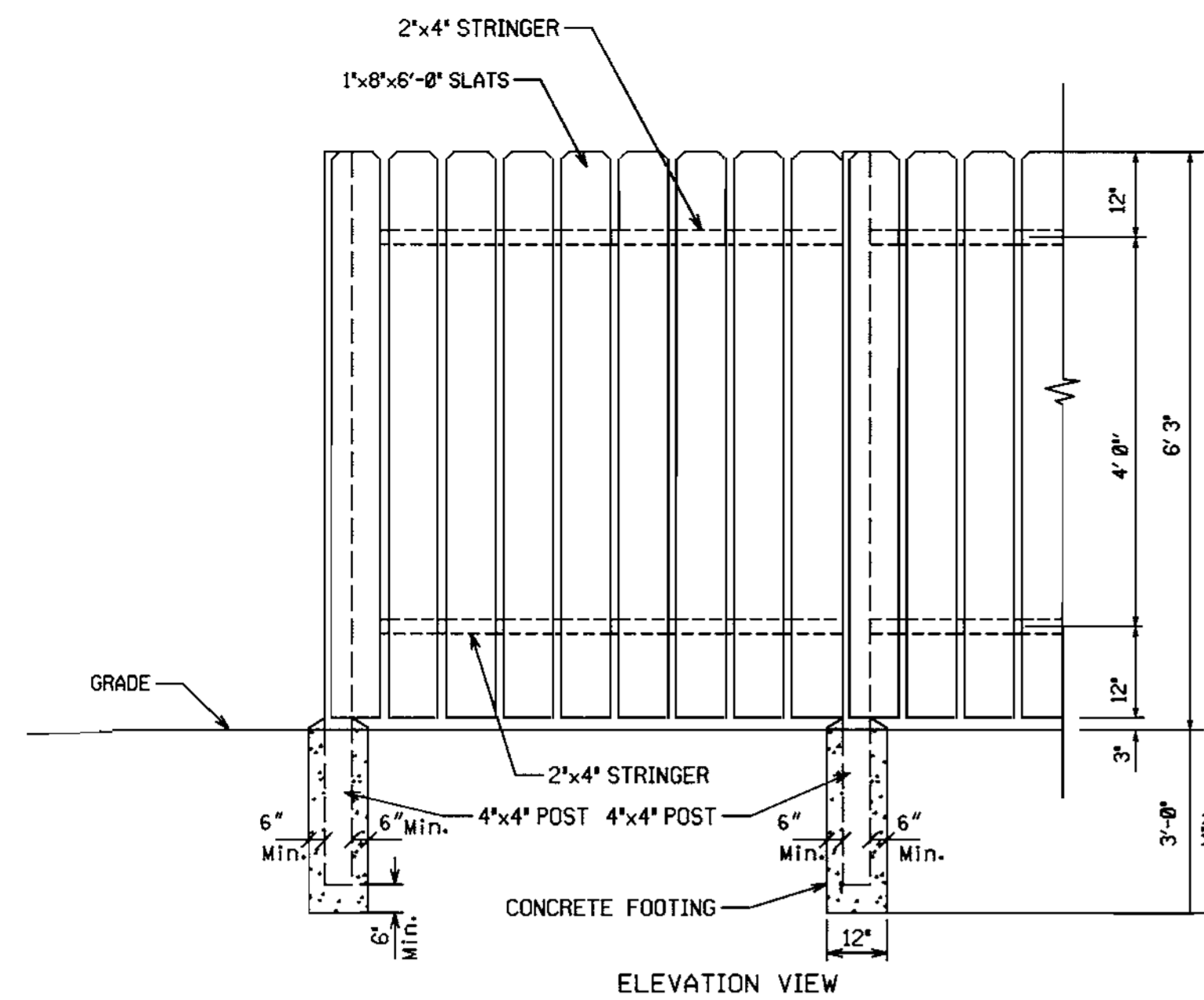
TITLE
GRADING AND SEDIMENT CONTROL PLAN

Richardson Engineering, LLC

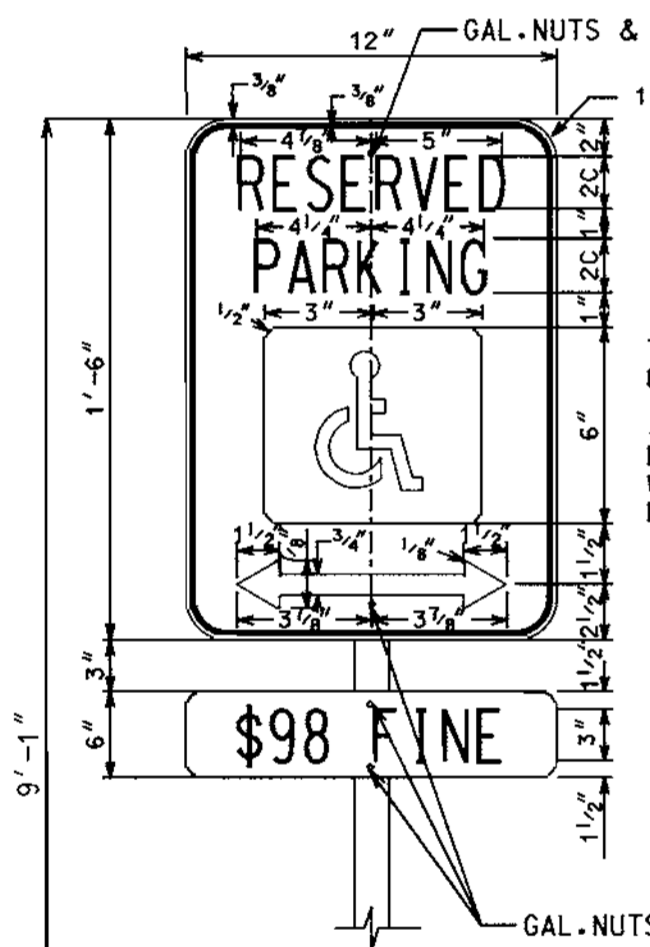
330 W. Padonia Road
Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: PCR
DESIGNED BY: PCR
DRAWN BY: CADDS
PROJECT NO.: 99005
DATE: 7/19/00
SCALE: 1" = 50'
DRAWING NO. 2 OF 6

[Signature] 12/16/00
DATE

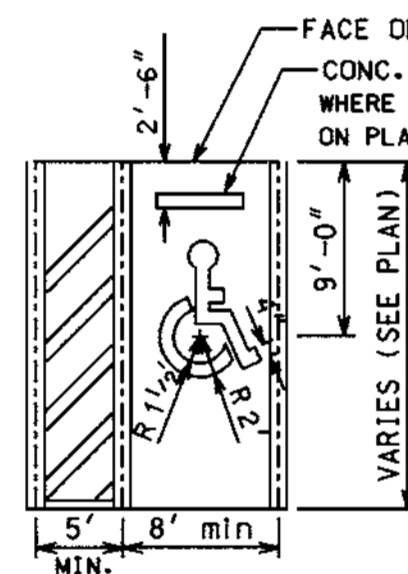


6' WOOD DUMPSTER ENCLOSURE FENCE DETAIL
NOT TO SCALE

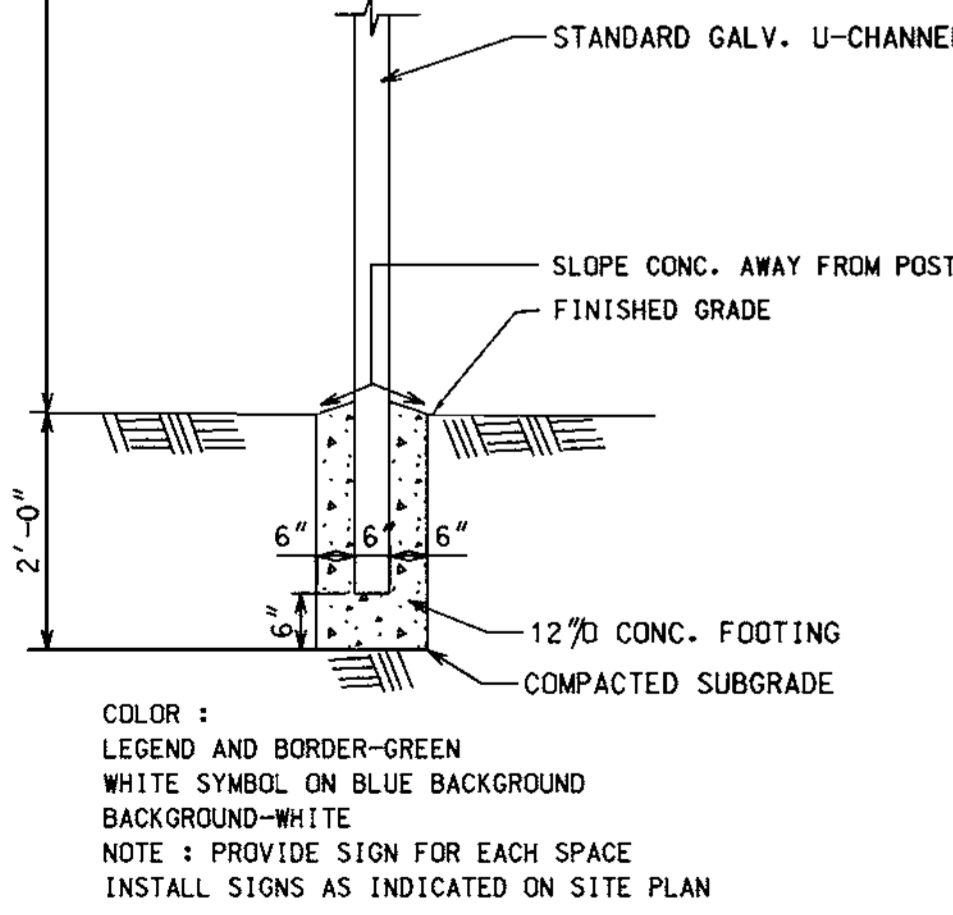


TO COMPLY WITH U.S. BUREAU OF PUBLIC ROADS STANDARDS.
0.080 GAUGE ALUMINUM BLUE BACKGROUND WITH 3M MATERIAL PARKWAY WHITE.

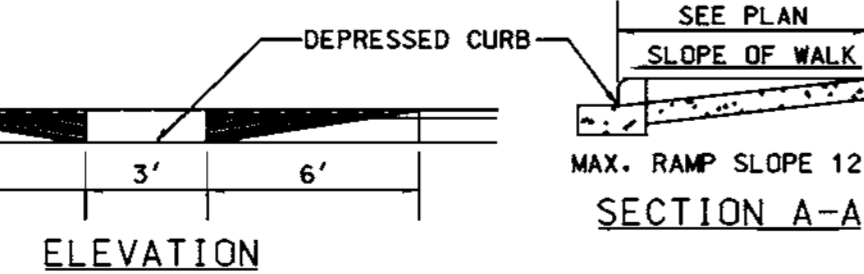
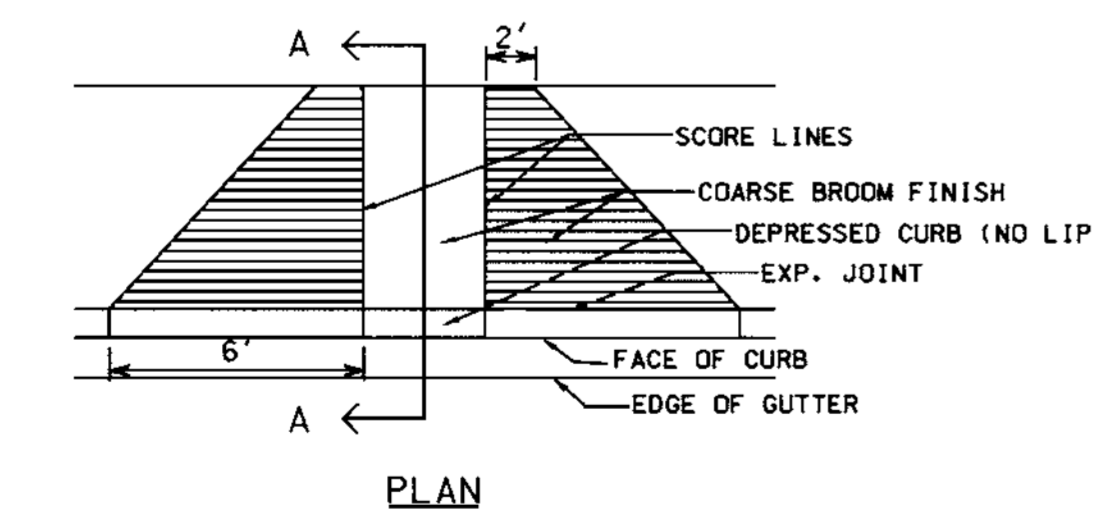
NOTE: PAINT IS TO BE YELLOW TRAFFIC PAINT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS (TWO COATS REQUIRED)



HANDICAPPED PARKING
NOT TO SCALE



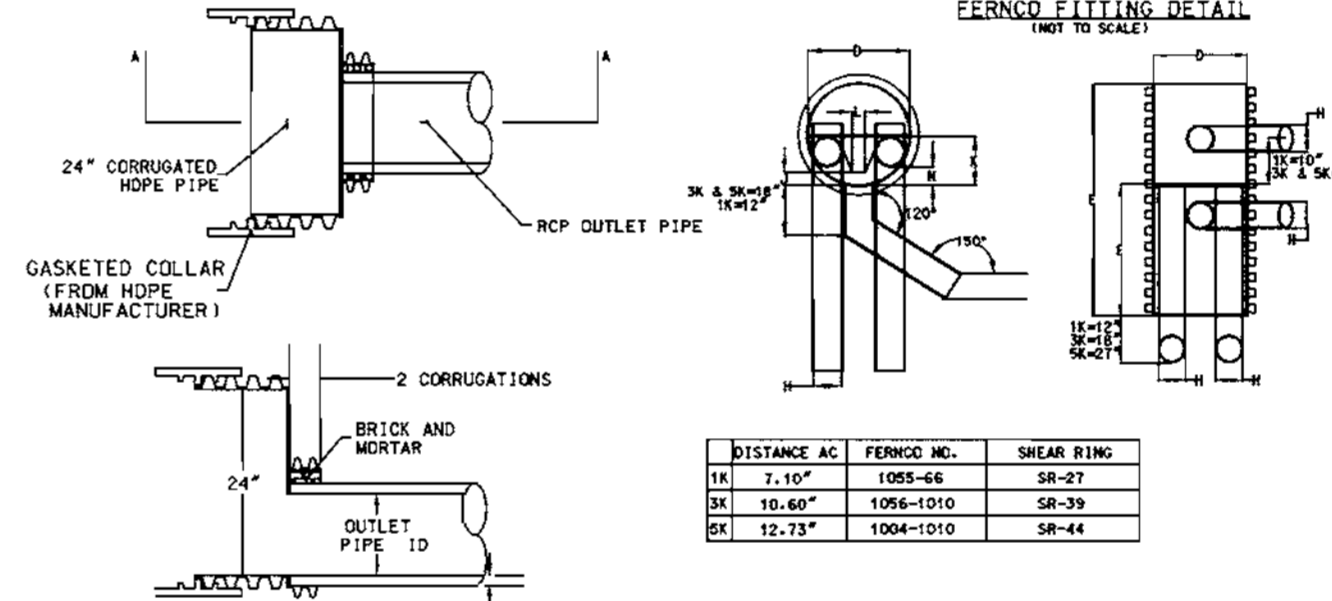
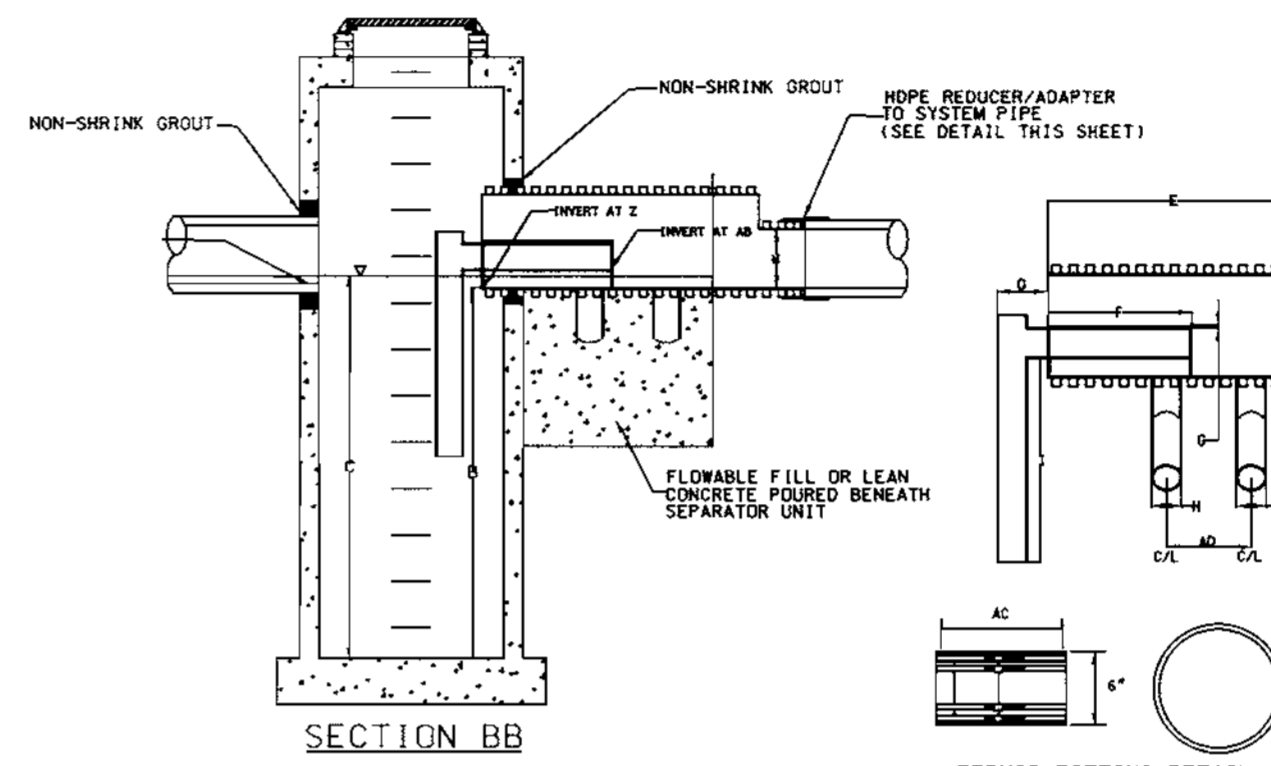
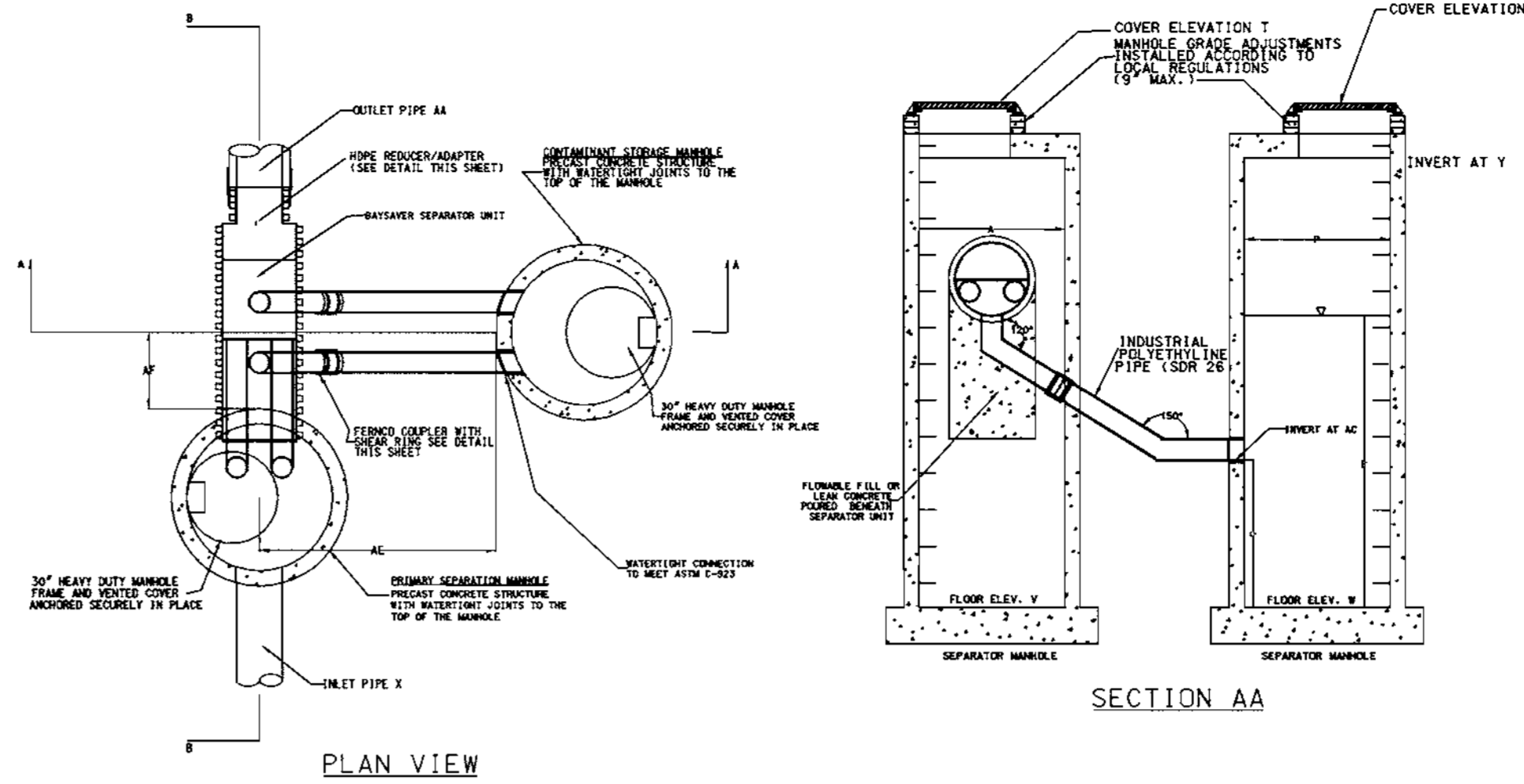
HANDICAP PARKING SIGN DETAIL
NOT TO SCALE



HANDICAPPED RAMP
NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

- GENERAL**
THIS STORMWATER MANAGEMENT FACILITY SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY'S "STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION" VOLUME IV AND AS AMENDED.
- TIMING**
THIS UNDERGROUND MANAGEMENT FACILITY SHALL NOT BE CONSTRUCTED OR PLACED IN SERVICE UNTIL ALL OF THE CONTRIBUTING AREA HAS BEEN STABILIZED AND APPROVED BY THE RESPONSIBLE INSPECTOR.
- STRUCTURAL BACKFILL MATERIAL**
THE BACKFILL MATERIAL SHALL BE TAKEN FROM AN APPROVED BORROW AREA. ALL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, WOOD, RUBBISH, OVERSIZED STONES, FROZEN OR OTHER OBJECTIONABLE MATERIAL.
PLACEMENT & COMPACTION
THE BACKFILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED 4 INCHES IN THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER COMPACTION EQUIPMENT. THE MATERIAL NEEDS TO FILL COMPLETELY ALL SPACES UNDER AND ADJACENT TO THE PIPES. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE CLOSER THAN 4 FEET, MEASURED HORIZONTALLY, TO ANY PART OF A STRUCTURE OR PIPE UNLESS THERE IS A COMPACTED FILL OF 24 INCHES OR GREATER OVER THE STRUCTURE OR PIPE.
- PIPE CONDUITS**
MATERIALS (CORRUGATED STEEL PIPE)
THIS PIPE AND ITS APPURTENANCES SHALL BE GALVANIZED AND FULLY BITUMINOUS COATED AND SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATIONS M-190 TYPE A WITH WATERTIGHT COUPLING BANDS. ANY BITUMINOUS COATING DAMAGED OR OTHERWISE REMOVED SHALL BE REPLACED WITH COLD APPLIED BITUMINOUS COATING COMPOUND. COATED C.M.P. SHALL HAVE A MINIMUM COATING THICKNESS OF 10 MIL ON BOTH SIDES OF PIPE AND SHALL MEET REQUIREMENTS OF AASHTO M-245 AND M-246.
CONNECTIONS
ALL CONNECTIONS WITH PIPES MUST BE COMPLETELY WATERTIGHT. WATERTIGHT COUPLING BANDS OR FLANGES SHALL BE USED AT ALL JOINTS. DIMPLE BANDS ARE NOT CONSIDERED TO BE WATERTIGHT.
BEDDING
THE PIPE SHALL BE FIRMLY AND UNIFORMLY BEDDED THROUGHOUT ITS ENTIRE LENGTH, WHERE ROCK OR SOFT, SPONGY OR OTHER UNSUITABLE SOIL IS ENCOUNTERED, ALL SUCH MATERIALS SHALL BE REMOVED AND REPLACED WITH SUITABLE EARTH MATERIAL COMPACTED TO PROVIDE ADEQUATE SUPPORT.
LAYING PIPE
THE PIPE SHALL BE PLACED WITH INSIDE CIRCUMFERENTIAL LAPS POINTING DOWNSTREAM AND WITH THE LONGITUDINAL LAPS AT THE SIDES.
BACKFILLING
BACKFILL SHALL CONFORM TO STRUCTURAL BACKFILL AS SHOWN ABOVE.
OTHER DETAILS
SILT, TRAPPING MANHOLES, ETC. SHALL BE AS SHOWN ON THE DRAWINGS.
- CONCRETE**
CONCRETE SHALL MEET MINIMUM REQUIREMENTS SET FORTH IN MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 918 (PORTLAND CEMENT CONCRETE MIXTURES), MIX NO. 3. REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60. REBARS SHALL HAVE 3" COVER (MINIMUM) AND A MINIMUM OVERLAP OF 30 BAR DIAMETERS, EXCEPT AS NOTED ON THE PLAN. STEEL ANGLES AND ANCHOR BARS SHALL BE ASTM A-36.
- EROSION CONTROL FACILITIES**
ALL DISTURBED AREA SHALL BE CONTROLLED BY AN EROSION AND SEDIMENT CONTROL PLAN WHICH HAS BEEN APPROVED BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT (HSCSD). PROVIDE INLET PROTECTION FOR THOSE INLETS LOCATED ABOVE THE FACILITY UNTIL THE CONTRIBUTING AREAS HAVE BEEN STABILIZED.
- FILTER CLOTH**
ALL FILTER CLOTH SHALL BE POLYFILTER - X OR EQUIVALENT.
- RIPRAP**
ALL RIPRAP SHALL CONFORM TO HOWARD COUNTY SPECIFICATIONS.
- CONSTRUCTION INSPECTION**
BY DESIGNATED ENGINEERS
THE CONSTRUCTION OF THIS FACILITY, AND CERTIFICATION THAT THIS FACILITY HAS BEEN BUILT IN ACCORDANCE WITH THE PLANS, SHALL BE UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER. THE ENGINEER SHALL BE NOTIFIED SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT ARRANGEMENTS CAN BE MADE FOR 1) INSPECTION OF PIPE TRENCH AND BEDDING; 2) INSPECTION OF SPECIAL PIPE SECTIONS AND FIXTURES; AND 3) SUPERVISION OF BACKFILLING OPERATIONS. THE ENGINEER SHALL DIRECT THE HANDLING OF WATER DURING CONSTRUCTION, MINOR CHANGES NOT AFFECTING THE INTEGRITY OR PERFORMANCE OF THE FACILITY, AND THE REMOVAL AND REPLACEMENT OF DEFECTIVE FILL.



BAYSAYER DETAILS
N.T.S.

SS1 BAYSAYER SEPARATION SYSTEM SEPARATOR UNIT ORDER FORM

PROJECT: OAKLAND RIDGE
ADDRESS: 2025 OAK RIDGE INDUSTRIAL PARK
COLUMBIA, MD

DESIGNER: RICHARDSON ENGINEERING, LLC
CONTACT: RICK RICHARDSON
PHONE: 410-560-1502
FAX: 410-560-0827

DELIVERY DATE:
OWNER: WELLSFORD COMMERCIAL PROPERTIES TRUST
CONTACT: W. DEE W. HAZEN, JR.
ADDRESS: 20 MAIN STREET
CHATHAM, NEW JERSEY 07928

CONTRACTOR:
CONTACT: RICK RICHARDSON
PHONE: 410-560-1502
FAX: 410-560-0827

SEPARATOR UNIT MODEL:
1K
3K
5K

CIRCLE SYSTEM ORIENTATION ABOVE

MANHOLE SPECIFICATIONS:
PRIMARY MANHOLE DIAMETER: 60"
STORAGE MANHOLE DIAMETER: 60"
FLOOR ELEVATIONS:
PRIMARY MANHOLE: 422.77
STORAGE MANHOLE: 422.77
PRIMARY MANHOLE INVERT ELEVATIONS:
SEPARATOR UNIT: 430.77
INLET PIPE(S): 430.84

MANHOLE COVER ELEVATIONS:
PRIMARY MANHOLE: 435.30
STORAGE MANHOLE: 435.00

PLEASE SHOW ORIENTATION (INCLUDING ANGLE), SIZE AND MATERIAL FOR EACH INLET PIPE ABOVE.

FOR QUESTIONS, PRICES, OR TECHNICAL SUPPORT, PLEASE CONTACT:
1010 DEER WALK DRIVE
PHONE (301) 829-6470 MDOT 18007 BAYSAYER 21171 FAX (301) 829-3747

INSTALLATION INSTRUCTIONS

- CALL LOCAL UTILITY LOCATOR TO MAKE CERTAIN IT IS SAFE TO EXCAVATE.
- STAKE OUT THE LOCATION OF THE PRIMARY AND STORAGE STRUCTURES AND EXCAVATE THE HOLE. EXCAVATION MUST PROVIDE ADEQUATE SPACE TO CONNECT INLET AND OUTLET PIPES TO THE SEPARATOR MANHOLE AND THE BAYSAYER UNIT. INSTALL STRUCTURES ON SOLID SUBGRADE AS DIRECTED BY A GEOTECHNICAL ENGINEER.
- VERIFY THE SUBGRADE ELEVATION AGAINST THE MANHOLE DIMENSIONS AND CONNECTING STORM DRAIN INVERTS. ADJUST BASE AGGREGATE IF NECESSARY.
- INSTALL THE PRIMARY MANHOLE AND STORAGE MANHOLE. MAKE SURE THE BASES ARE LEVEL AND THAT THE STORAGE MANHOLE OPENINGS ARE ALIGNED WITH THE SEPARATOR UNIT. INSTALL RUBBER GASKETS ON BASE UNITS AND COAT WITH LUBRICATING GREASE. INSTALL ADDITIONAL MANHOLE SECTIONS AS REQUIRED.
- SEAL ALL LIFT HOLES ACCORDING TO APPLICABLE REGULATIONS.
- BACKFILL BASE SECTIONS OF MANHOLES TO INVERT OF STORAGE MANHOLE CONNECTING PIPES. USING AN APPROVED BACKFILL MATERIAL. BACKFILL AND COMPACT IN LIFTS WHICH ALLOW FOR ACCEPTABLE COMPACTION. BACKFILL COMPACTION SHOULD BE SUPERVISED BY A GEOTECHNICAL ENGINEER.
- INSTALL BAYSAYER SEPARATOR UNIT AND CONNECTING PIPES. SEAL ALL CONNECTING JOINTS AND INSTALL REDUCER OR REDUCER/ADAPTER. PROVIDE TEMPORARY SUPPORTS AND HOLD-DOWNS AS NECESSARY TO STABILIZE UNIT DURING REMAINING BACKFILL OPERATION.
- BACKFILL SEPARATOR UNIT AND MANHOLES. AREAS NOT ACCESSIBLE TO COMPACTION EQUIPMENT MUST BE BACKFILLED WITH STONE OR FLOWABLE FILL. CONCRETE BACKFILL IS NOT ACCEPTABLE. BACKFILL COMPACTION SHOULD BE SUPERVISED BY A GEOTECHNICAL ENGINEER.
- INSTALL AND SET MANHOLE COVER GRADE ADJUSTMENTS AS NECESSARY.
- INSTALL AND SET MANHOLE FRAME AND COVER UNITS.
- FILL STRUCTURES WITH WATER.
- THE SEPARATION MANHOLE AND THE STORAGE MANHOLE SHALL BE CLEANED WHEN SEDIMENT CONTROL MEASURES ARE REMOVED AND THE SITE IS PERMANENTLY STABILIZED. SEDIMENT AND DEBRIS MUST BE DISPOSED OF PROPERLY.

MAINTENANCE INSTRUCTIONS

- REMOVE THE TWO 30" MANHOLE COVERS TO PROVIDE ACCESS TO THE CONTAMINANT STORAGE.
- REMOVE ALL WATER, DEBRIS, OILS AND SEDIMENT FROM THE STORAGE MANHOLE USING A VACUUM TRUCK OR OTHER EQUIPMENT.
- USING A HIGH PRESSURE HOSE CLEAN THE STORAGE MANHOLE AND REMOVE THE CLEANING WATER USING THE VACUUM TRUCK.
- USING A SUBMERSIBLE PUMP PUMP THE BULK OF THE WATER FROM THE PRIMARY MANHOLE INTO THE CLEAN STORAGE MANHOLE. THE PUMP INTAKE MUST BE KEPT BELOW THE WATER SURFACE, AND PUMPING MUST BE STOPPED WHEN THE WATER SURFACE FALLS TO A LEVEL ONE FOOT ABOVE THE ACCUMULATED SEDIMENTS.
- REMOVE THE REMAINING WATER AND SEDIMENT FROM THE PRIMARY MANHOLE USING A VACUUM TRUCK OR OTHER EQUIPMENT.
- USING A HIGH PRESSURE HOSE CLEAN THE PRIMARY MANHOLE AND REMOVE THE CLEANING WATER USING THE VACUUM TRUCK.
- FILL THE TWO STRUCTURES WITH CLEAN WATER.
- REPLACE THE TWO 30" MANHOLE COVERS.
- DISPOSE OF THE CONTAMINATED WATER AT AN APPROVED FACILITY. LOCAL REGULATIONS OFTEN PROHIBIT DISCHARGE OF THIS MATERIAL TO THE SANITARY SEWER; THE LOCAL SEWER AUTHORITY MUST AUTHORIZE SUCH A DISCHARGE.

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: Nov 1, 2000

DATE	NO.	REVISION
OWNER/DEVELOPER WELLSFORD COMMERCIAL PROPERTIES TRUST 26 MAIN STREET CHATHAM, NEW JERSEY 07928 ATTN: HOWARD WOLF, PH 973-701-2200		
PROJECT: OAKLAND RIDGE OFFICE PARK RENOVATION		
TITLE STORM & SITE DETAILS		
<i>Richardson Engineering, LLC</i>		
730 W. Padonia Road Cockeysville, Maryland 21030 Phone: 410-560-1502 Fax: 410-560-0827		

CHECKED BY: PCR
DESIGNED BY: PCR
DRAWN BY: CADDS
PROJECT NO.: 99005
DATE: 7/19/00
SCALE: AS SHOWN
DRAWING NO. 4 OF 6

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8
PLAT # OR L/F	BLOCK #	ZONING
PLAT 12/65	17	IND.
TAX/ZONING MAP	ELECTION DIST	CENSUS TRACT
30	2ND	6067.03
WATER CODE	SEWER CODE	
604	5657400	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Mr. Richardson
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 3/2/01

Condy Hamilton
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 3/2/01

Director
DATE: 3/2/01

Plant List

Quant	Symbol	Botanical Name	Common Name	Remarks
Trees				
3	AMC	Amelanchier canadensis	Downy Shadblow	8-10' hgt., multi-stemmed (3 or 5)
30	GA	Fraxinus pennsylvanica 'Patmore'	Patmore Green Ash	2 1/2-3" cal., 12-14' hgt.
13	HL	Gleditsia triacanthos inermis 'Halka'	Halka Honeylocust	2 1/2-3" cal., 12-14' hgt.
23	WP	Pinus strobus	White Pine	6-7' hgt.
25	PCB	Pyrus calleryana 'Bradford'	Aristocrat Callery Pear	2 1/2 - 3" cal., 8-10' hgt.
Shrubs				
11	WLC	Cotoneaster salicifolius repandens	Willowleaf Cotoneaster	24-30"
48	JHP	Juniperus horizontalis plumosa	Andorra Juniper	18-24"
145	JST	Juniperus sabina 'tamariscifolia'	Tams Juniper	18-24"
140	NAN	Nandina domestica	Nandina, Heavenly Bamboo	30-36"
81	TMD	Taxus media densiformis	Densiformis Yew	18-24"
47	VC	Viburnum carlesii	Koreanspice Viburnum	30-36"
1	VPT	Viburnum plicatum tomentosum	Doublefile Viburnum	42-48"
18	VR	Viburnum rhytidophyllum	Leatherleaf Viburnum	42-48"
Perennials				
24	AAB	Astilbe arendii 'Brantschleier'	White Astilbe	2 qt. cont., 12" o.c.
8	HSB	Hosta srebriodiana 'elegans'	Hosta elegans	1 gal. cont.
Groundcover				
780	LIR	Liriope muscari 'Big Blue'	Liriope	2 qt. cont., 12" o.c.
150	IVY	Hedera helix	English Ivy	2 1/4" pots, 9" o.c.
Seasonals				
214	sf			

LEGEND :

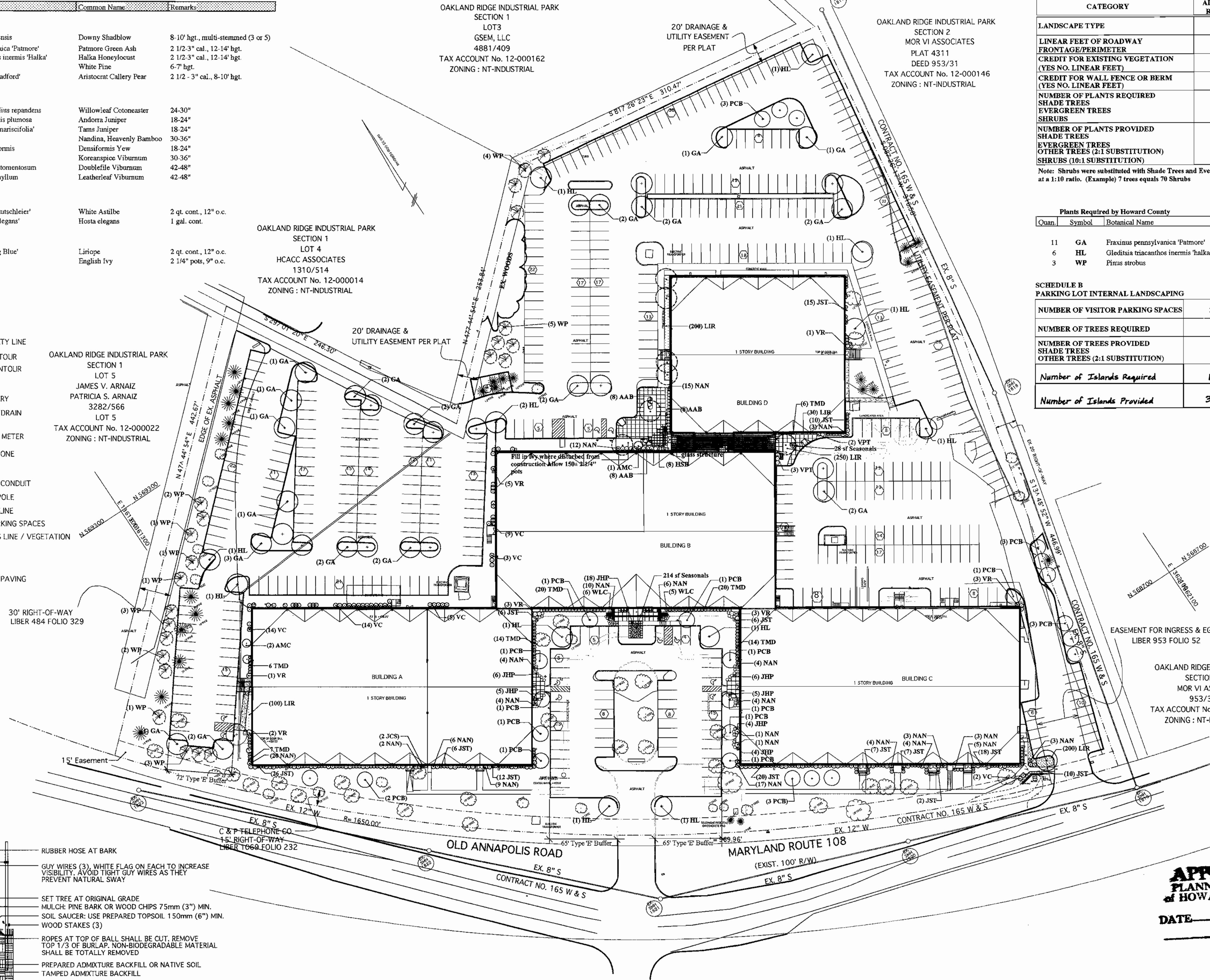
---	EX. PROPERTY LINE
---	EX. 2' CONTOUR
---	EX. 10' CONTOUR
---	EX. GAS
---	EX. SANITARY
---	EX. STORM DRAIN
---	EX. WATER
---	EX. WATER METER
---	EX. TELEPHONE
---	EX. CURB
---	EX. ELECT. CONDUIT
---	EX. LIGHT POLE
---	EX. FENCE LINE
---	No. OF PARKING SPACES
---	EX. WOODS LINE / VEGETATION
---	EX. TREE
---	PROPOSED PAVING

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 5
JAMES V. ARNAIZ
PATRICIA S. ARNAIZ
3282/566
LOT 5
TAX ACCOUNT No. 12-000022
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 3
GSEM, LLC
4881/409
TAX ACCOUNT No. 12-000162
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 4
HCACC ASSOCIATES
1310/514
TAX ACCOUNT No. 12-000014
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 2
MOR VI ASSOCIATES
PLAT 4311
DEED 953/31
TAX ACCOUNT No. 12-000146
ZONING : NT-INDUSTRIAL



**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS
LANDSCAPE TYPE	E
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	202'
CREDIT FOR EXISTING VEGETATION (YES NO. LINEAR FEET)	5
CREDIT FOR WALL FENCE OR BERM (YES NO. LINEAR FEET)	0
NUMBER OF PLANTS REQUIRED	5
SHADE TREES	0
EVERGREEN TREES	51
SHRUBS	0
NUMBER OF PLANTS PROVIDED	4
SHADE TREES	3
EVERGREEN TREES	3
OTHER TREES (2:1 SUBSTITUTION)	0
SHRUBS (10:1 SUBSTITUTION)	0

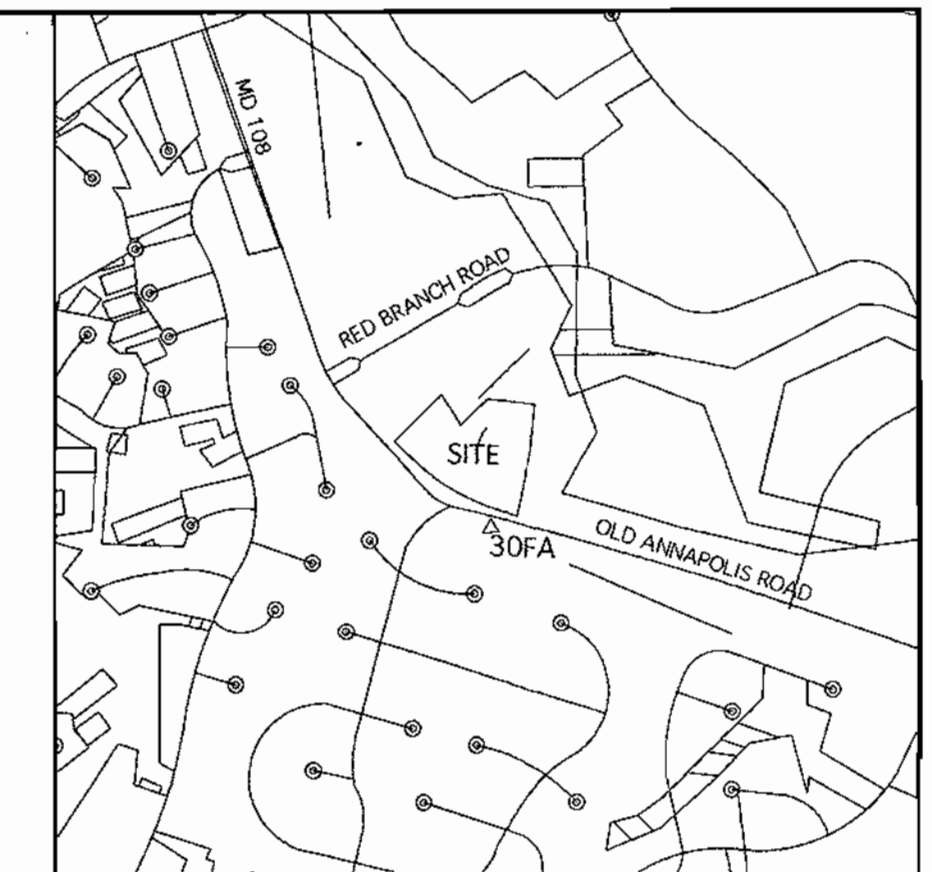
Note: Shrubs substituted with Shade Trees and Evergreen Trees at a 1:10 ratio. (Example) 7 trees equals 70 shrubs

Plants Required by Howard County

Quant	Symbol	Botanical Name	Common Name	Remarks
11	GA	Fraxinus pennsylvanica 'Patmore'	Patmore Green Ash	2 1/2-3" cal., 12-14' hgt.
6	HL	Gleditsia triacanthos inermis 'halka'	Halka Honeylocust	2 1/2-3" cal., 12-14' hgt.
3	WP	Pinus strobus	White Pine	6-7' hgt.

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF VISITOR PARKING SPACES	245
NUMBER OF TREES REQUIRED	13
NUMBER OF TREES PROVIDED	13
SHADE TREES	0
OTHER TREES (2:1 SUBSTITUTION)	0
Number of Islands Required	12
Number of Islands Provided	33



VICINITY MAP
SCALE: 1"=2000'

GENERAL NOTES :

- CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:
 - MISS UTILITY 800-257-7777
 - C&P TELEPHONE 410-725-9976
 - HOWARD COUNTY BUREAU OF UTILITIES 410-992-2366
 - AT&T CABLE LOCATION DIVISION 410-393-3553
 - BALTIMORE GAS & ELECTRIC CO. 410-685-0123
 - STATE HIGHWAY ADMINISTRATION 410-531-5333
 - HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION (24 HOURS NOTICE PRIOR TO) 410-313-1880

Developers/Builders Certificate

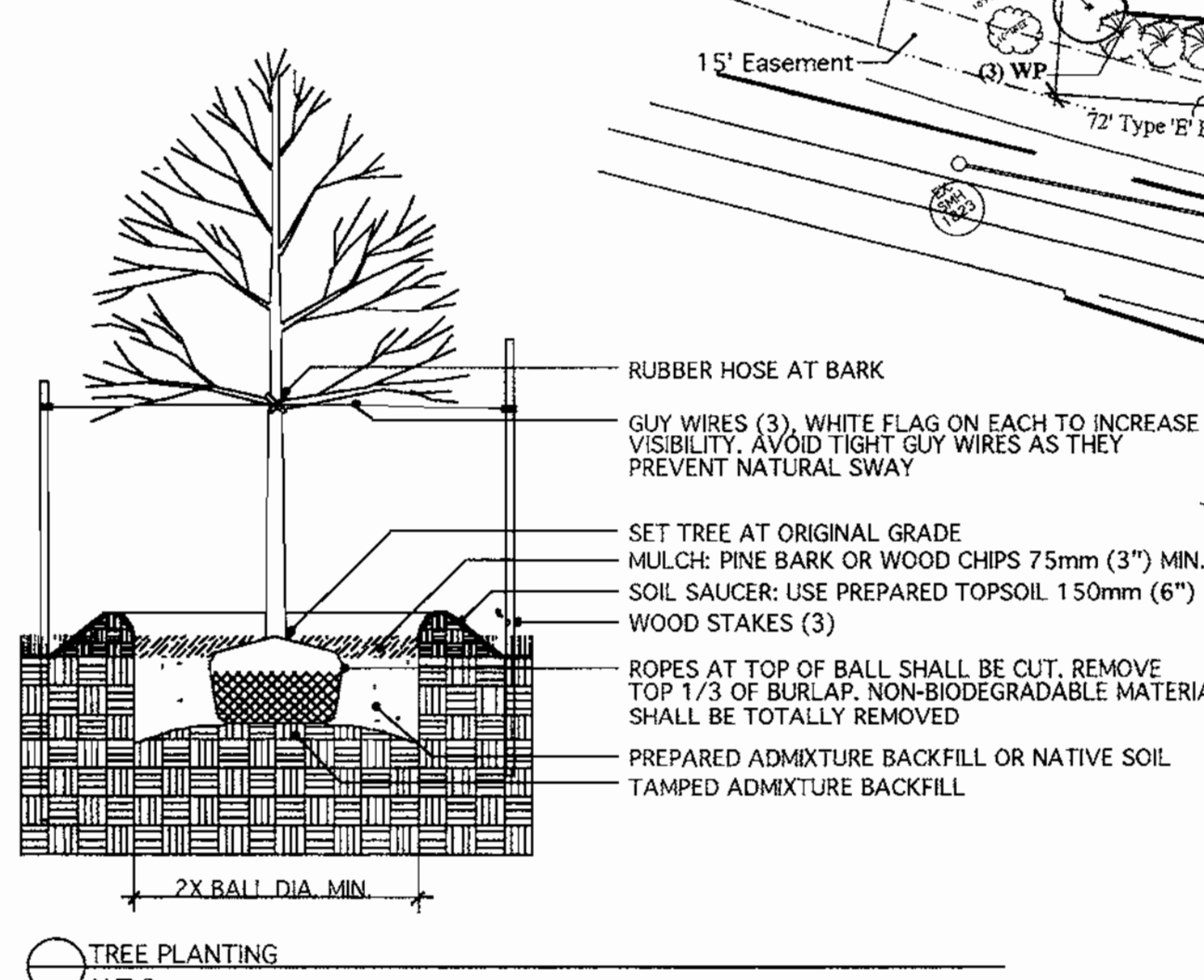
I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the department of planning and zoning.

John M. Slater 12/6/00
Name Date

This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.

Financial surety for the required landscaping has been posted as part of the **Dev. Agreement** in the amount of \$6,550.00. This surety is based on 17 shade trees at \$300.00 each and 3 evergreen trees at \$150.00 each.

The owner, tenant, and/or their agents shall be responsible for the maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.



SHEET INDEX :

SHEET 1	SITE PLAN & NOTES.
SHEET 2	GRADING & SEDIMENT CONTROL PLAN.
SHEET 3	SEDIMENT CONTROL DETAILS.
SHEET 4	SITE DETAILS.
SHEET 5	LANDSCAPE PLAN.
SHEET 6	DRAINAGE AREA MAP. EXISTING & PROPOSED CONDITIONS

SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
TOPO INFORMATION BY GERHOLD, CROSS & ETZEL DATED 1/00

ADDRESS CHART	
LOT/PARCEL#	STREET ADDRESS
6, 7, & 8	9052 OLD ANNAPOLIS ROAD

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL	ZONING	TAX/ZONING MAP	ELECTION DIST
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8	NT	30	2ND
PLAT # OR L/F	BLOCK #				CENSUS TRACT
776/245	17				6067.03
WATER CODE				SEWER CODE	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

John M. Slater 3/7/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Paula Starnes 2/15/01
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

James L. Smith 2/12/01
DIRECTOR DATE

DATE	NO.	REVISION

OWNER/DEVELOPER
WELLSFORD COMMERCIAL PROPERTIES TRUST
26 MAIN STREET
CHATHAM, NEW JERSEY 07928
Attn: W. DREW HAZEN, JR. PH 973-701-2200

PROJECT: **OAKLAND RIDGE OFFICE PARK**

TITLE: **Landscape Plan**

5560 Sterrett Pl. Suite 302
Columbia, MD 21045
410.992.0001 - phone
410.992.0212 - fax
slaterj@erols.com

SLATER ASSOCIATES INC.

Richardson Engineering, LLC

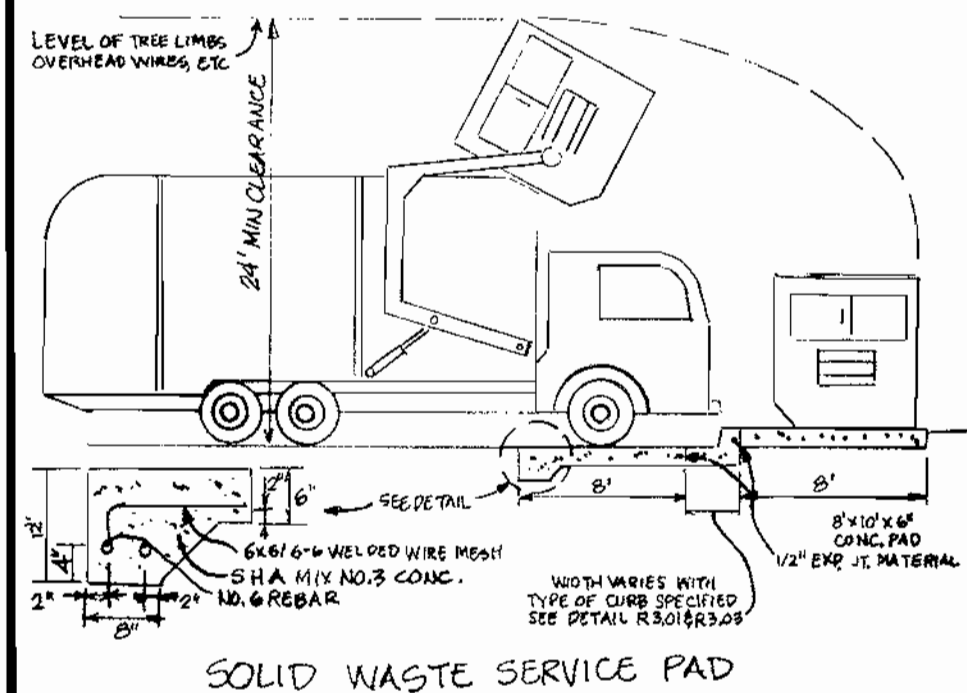
730 W. Padonia Road
Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: JBS
DESIGNED BY: MJW and JBS
DRAWN BY: MJW
PROJECT NO.: 99005
DATE: 12/6/00
SCALE: 1" = 50'
DRAWING NO. 5 OF 6

Professional Landscape Architect # _____ Date _____

STATE OF MARYLAND
JOHN B. SLATER
LANDSCAPE ARCHITECT
JAMES B. SLATER 12-6-00

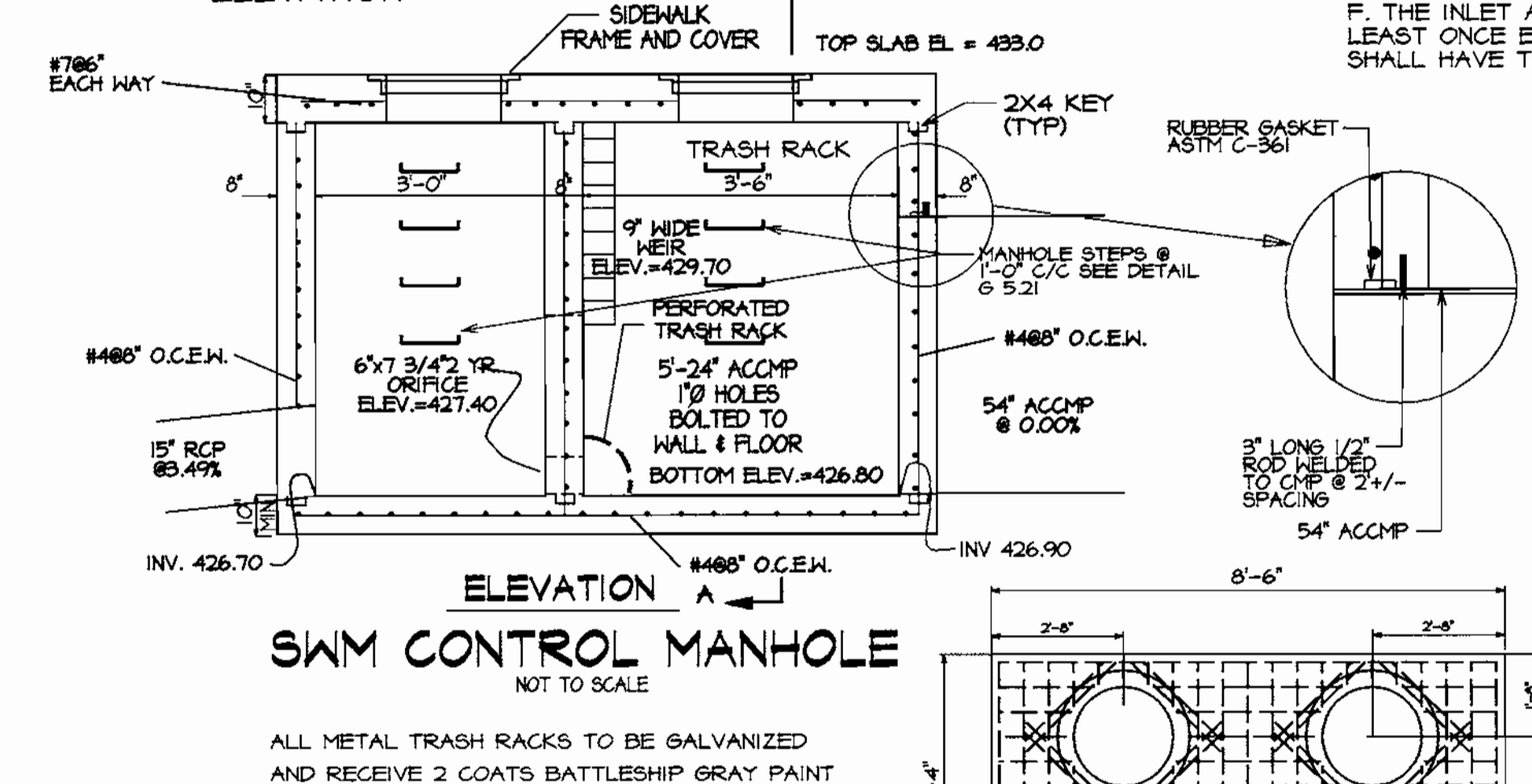
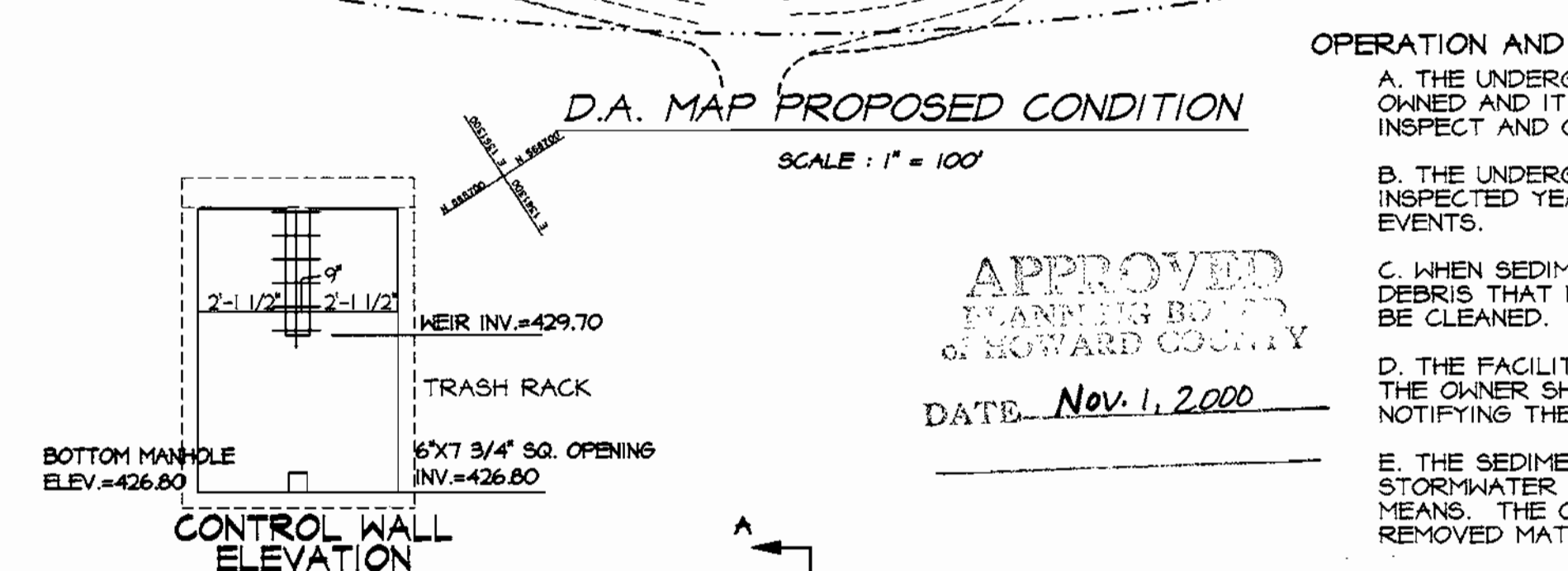
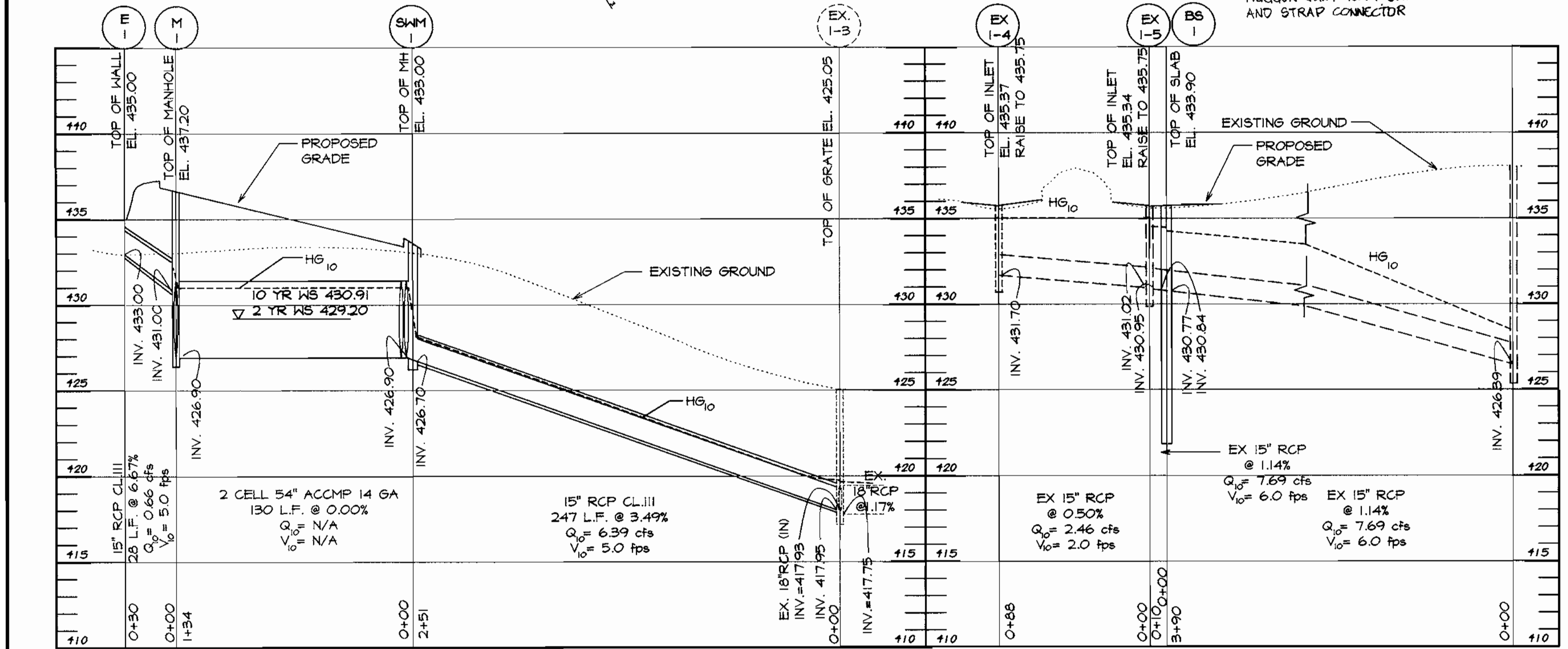
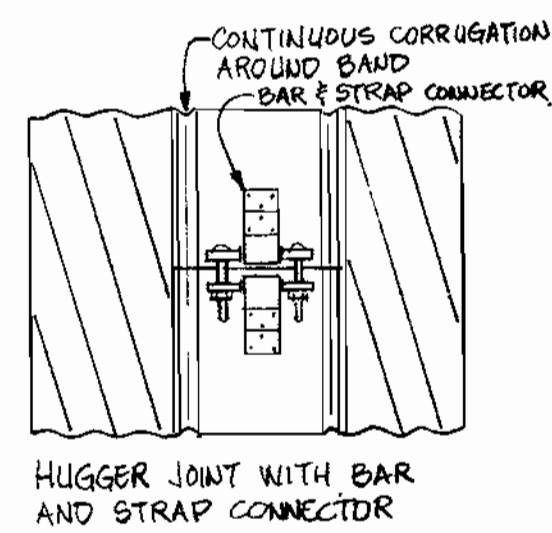
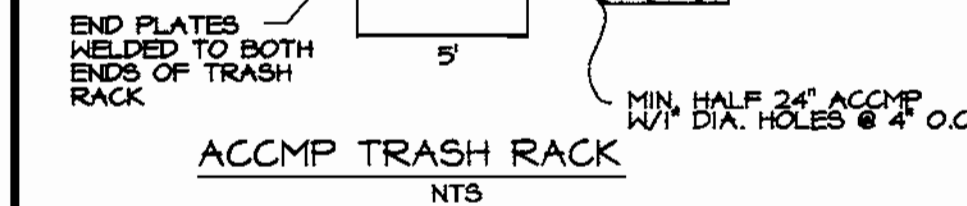
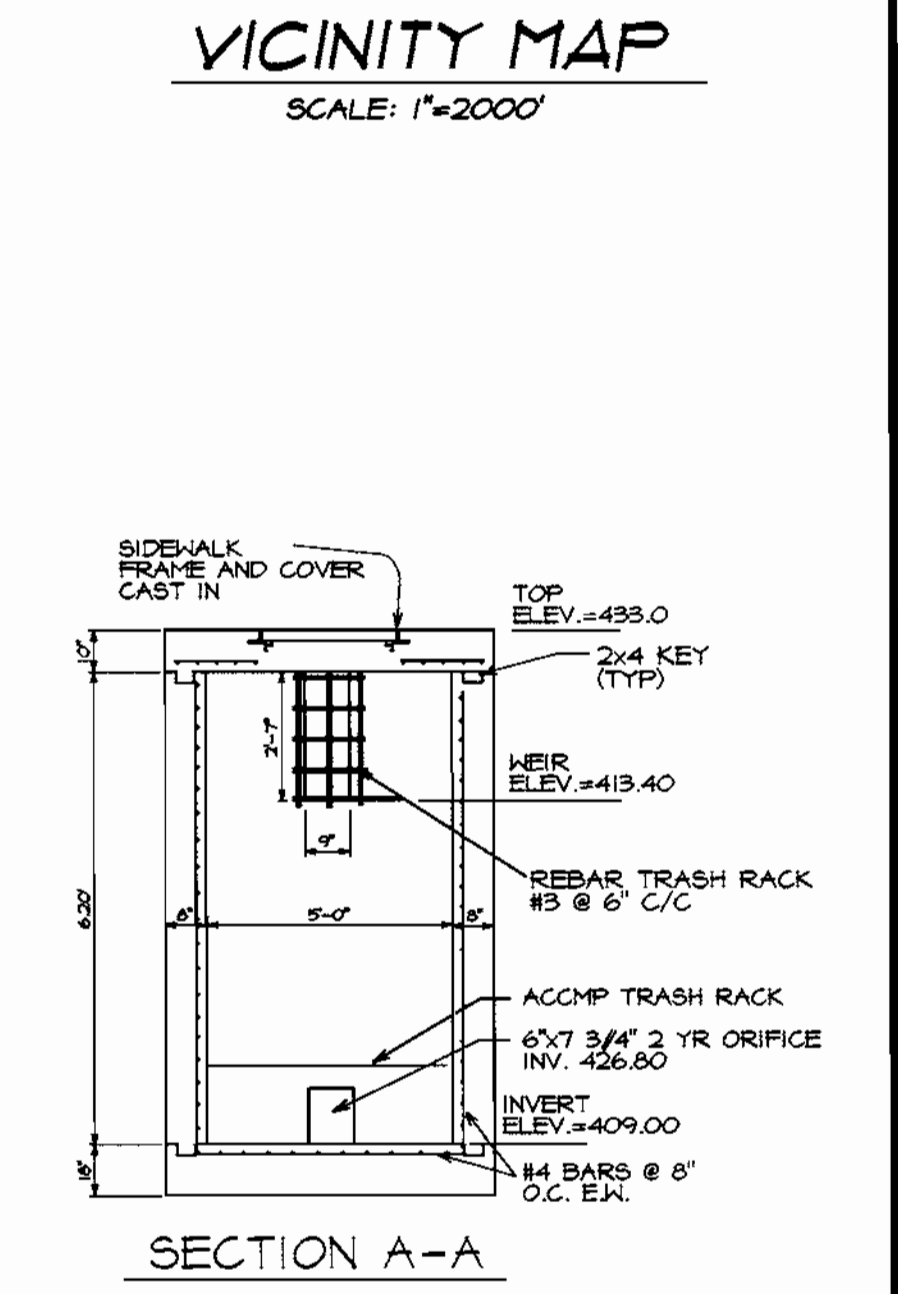
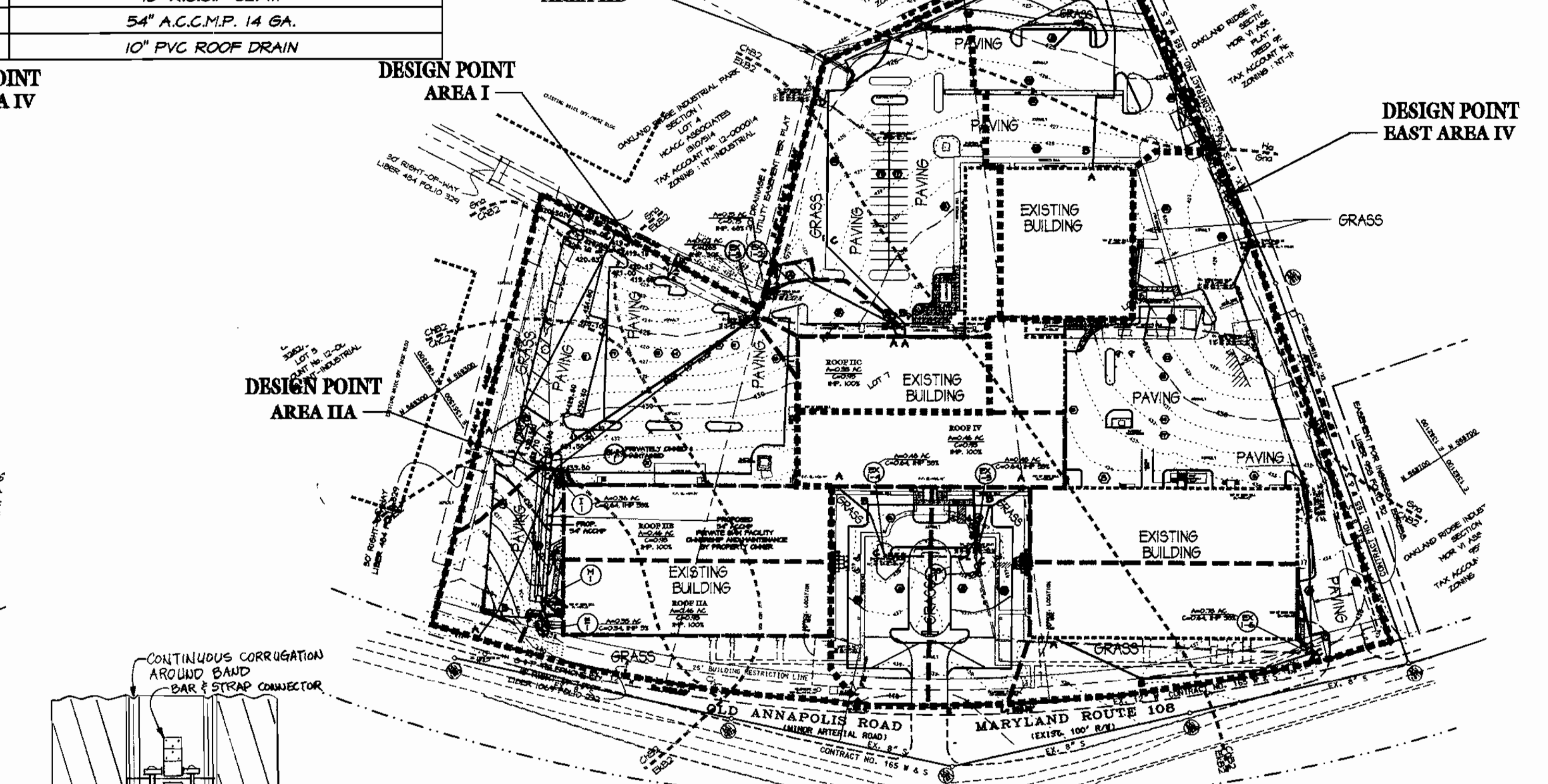
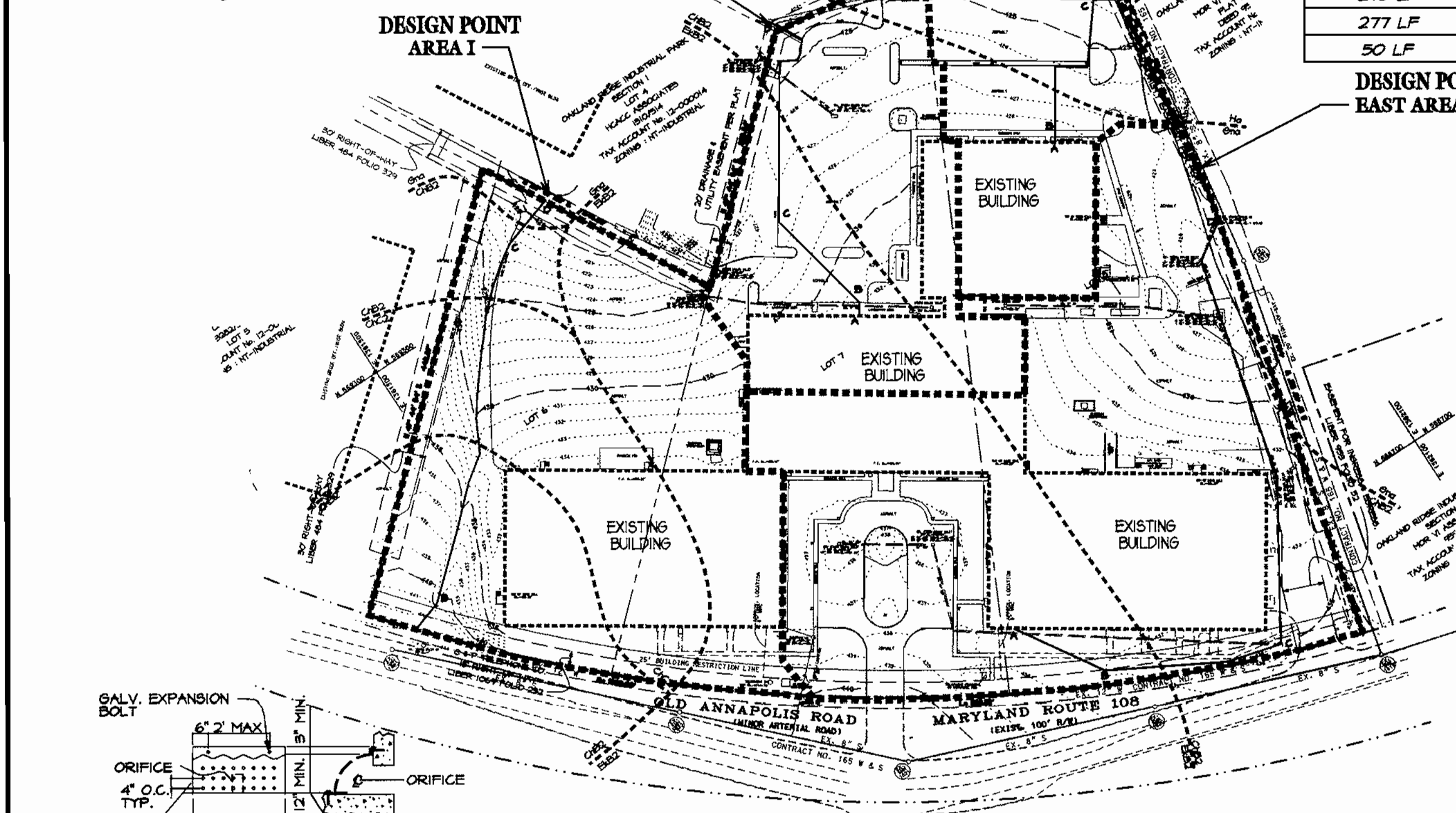
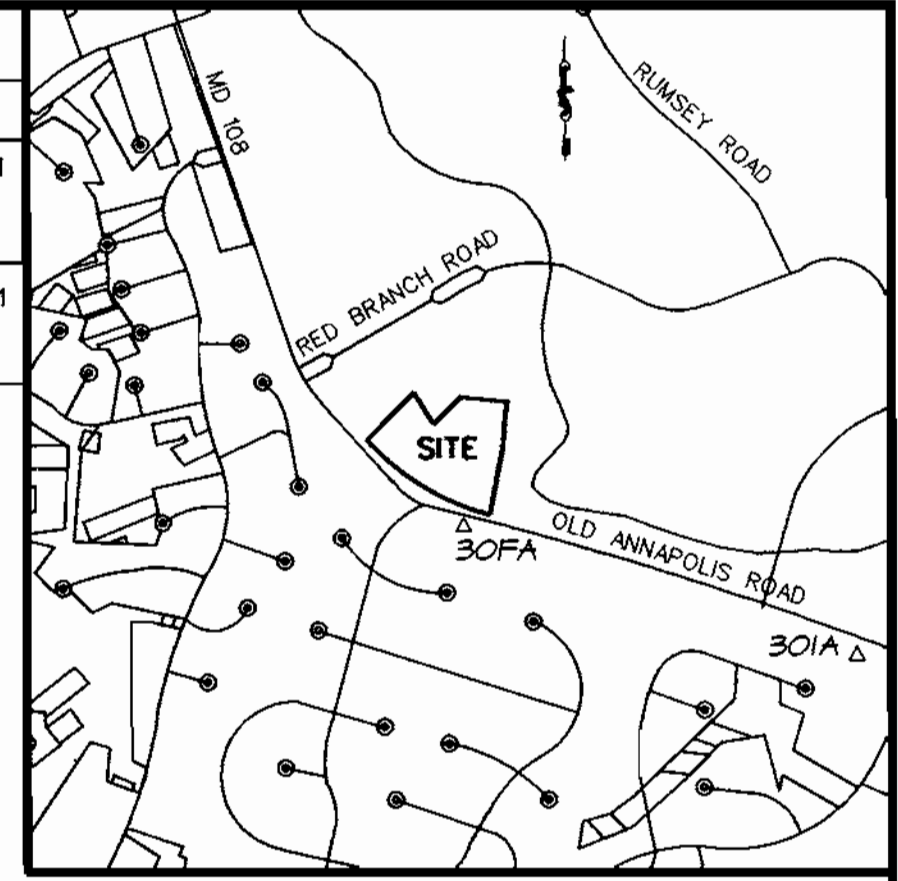
FILE NO. SDP-00-134



STRUCTURE SCHEDULE				
NO.	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-1	-	426.90	433.90	TYPE A-5 INLET
SM-1	426.90	426.70	433.00	SEE DETAIL THIS SHEET
BS-1	430.77	430.84	435.90	SEE DETAIL SHEET 4
M-1	431.00	426.90	437.20	STD BRICK MANHOLE 6-5.03
E-1	-	433.00	435.00	TYPE E HEADWALL SD-5.31

PIPE SCHEDULE	
LENGTH	SIZE & TYPE
275 LF	15" R.C.C.P. CL. III
277 LF	54" A.C.C.M.P. 14 GA.
50 LF	10" PVC ROOF DRAIN

HOWARD COUNTY CONTROL POINTS				
NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
30FA	568,621.329	1,361,563.983	441.619	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN
30IA	567,750.958	1,364,842.598	499.814	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN



OPERATION AND MAINTENANCE SCHEDULE FOR UNDERGROUND FACILITIES

A. THE UNDERGROUND STORMWATER MANAGEMENT FACILITY IS PRIVATELY OWNED AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO PERIODICALLY INSPECT AND CLEAN THE FACILITY TO MAINTAIN ITS OPERATING FUNCTION.

B. THE UNDERGROUND STORMWATER MANAGEMENT FACILITY SHALL BE INSPECTED YEARLY AT A MINIMUM AND AFTER ESPECIALLY SEVERE STORM EVENTS.

C. WHEN SEDIMENT ACCUMULATION OF MORE THAN 2" IS OBSERVED OR ANY DEBRIS THAT MIGHT OBSTRUCT THE OUTFALL IS OBSERVED, THE FACILITY SHALL BE CLEANED.

D. THE FACILITY SHALL BE CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES NOTIFYING THEM OF THE SPILL AND CLEANUP OPERATION.

E. THE SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE UNDERGROUND STORMWATER MANAGEMENT FACILITY BY VACUUM TRUCK OR OTHER MANUAL MEANS. THE OWNER SHALL FOLLOW PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIAL AND LIQUID.

F. THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX(6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED AND PROPERLY DISPOSED OF.

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: Nov. 1, 2000

APPROVED: DEPARTMENT OF PLANNING AND ZONING

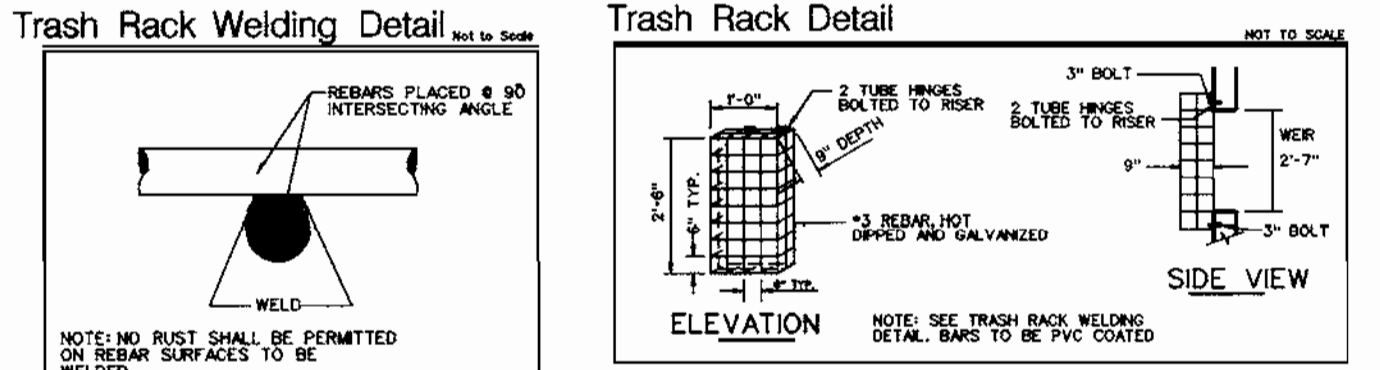
[Signature] 3/6/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 3/2/01
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 3/9/01
DIRECTOR DATE

STORM DRAIN PROFILE
SCALE: HORIZ. : 1"=50'
VERT. : 1"=5'

ALL DEBRIS SHALL BE KEPT OUT OF THE FACILITY DURING AND AFTER CONSTRUCTION



SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
TOPO INFORMATION BY GERHOLD, GROSS & ETZEL DATED 1/00

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL	SECTION 1	SECTION 2
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8		
PLAT 12/65	BLOCK 17	ZONING NT-IND.	TAX/ZONING MAP 30	ELECTION DIST 2ND
WATER CODE 604	SEWER CODE 5657100	CENSUS TRACT 6067.03		

DATE NO. REVISION

OWNER/DEVELOPER
WELLSFORD COMMERCIAL PROPERTIES TRUST
26 MAIN STREET
CHATHAM, NEW JERSEY 07928
Attn: HOWARD WOLF, PH 973-701-2200

PROJECT: **OAKLAND RIDGE OFFICE PARK RENOVATION**

TITLE: **DRAINAGE AREA MAP EXIST. & PROP. CONDITIONS**

Richardson Engineering, LLC

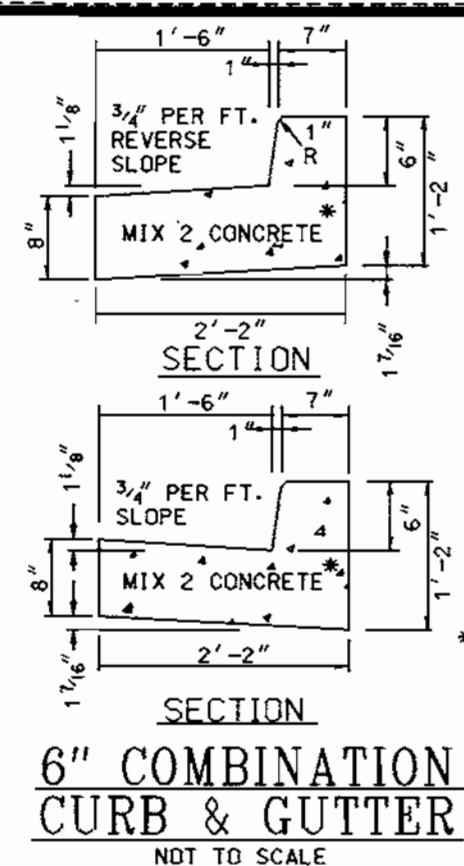
730 W. Padonia Road
Cookeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: PCR
DESIGNED BY: PCR
DRAWN BY: CADDS
PROJECT NO.: 99005
DATE: 7/19/00
SCALE: AS SHOWN
DRAWING NO. 6 OF 6

12/6/00
DATE

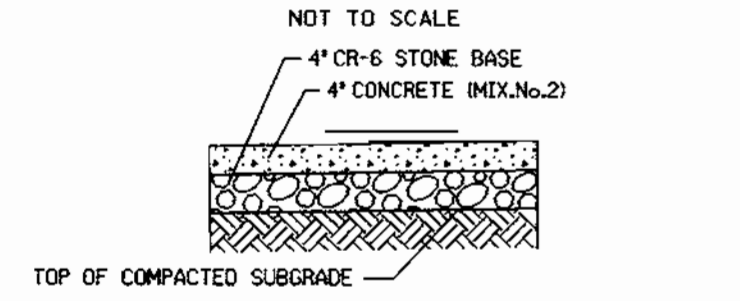
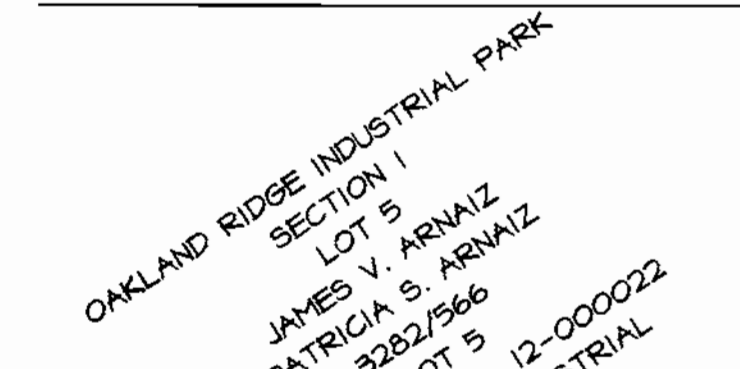
LEGEND :

---	EX. PROPERTY LINE
- - - - 112	EX. 2' CONTOUR
- - - - 110	EX. 10' CONTOUR
- - - - 4" GAS	EX. GAS
8" SAN.	EX. SANITARY
18" S.D.	EX. STORM DRAIN
10" W	EX. WATER
OH	EX. WATER METER
OH	EX. TELEPHONE
EX. CURB	EX. CURB
EX. ELECT. CONDUIT	EX. ELECT. CONDUIT
EX. LIGHT POLE	EX. LIGHT POLE
No. OF PARKING SPACES	No. OF PARKING SPACES
EX. WOODS LINE / VEGETATION	EX. WOODS LINE / VEGETATION
EX. TREE	EX. TREE
PROPOSED PAVING	PROPOSED PAVING
4" CR-BASE COURSE	4" CR-BASE COURSE
6" CONCRETE (3580 PSD)	6" CONCRETE (3580 PSD)
TOP OF COMPACTED SUBGRADE	TOP OF COMPACTED SUBGRADE



- CONSTRUCTION NOTES :**
- C-1 PROPOSED CONC. CURB.
 - C-2 INSTALL P-2 PAVING.
 - C-3 REMOVE EX. CURB.
 - C-4 INSTALL COMPACT PARK SPACE SIGN.
 - C-5 CONSTRUCT H.C. RAMP.
 - C-6 CONSTRUCT CONC. SIDEWALK.
 - C-7 REMOVE EXISTING WALK.
 - C-8 PAINT STRIPE PER MANUFACTURERS SPECIFICATIONS.
 - C-9 1" OVERLAY ON EXISTING PAVING.

CONCRETE PAVING SECTION



1/2" PREMOLD EXPANSION JOINT MATERIAL TO BE PLACED WHERE WALKS ABUT CURBS, WALLS, STEPS, ETC. AND AT MAX. 20' INTERVALS ALONG THE WALK.

JOINT SCORING TO BE 4" x 4" FOR 8' WIDE WALKS. AND 5" WALKS TO BE SCORED ON 5' CENTERS.

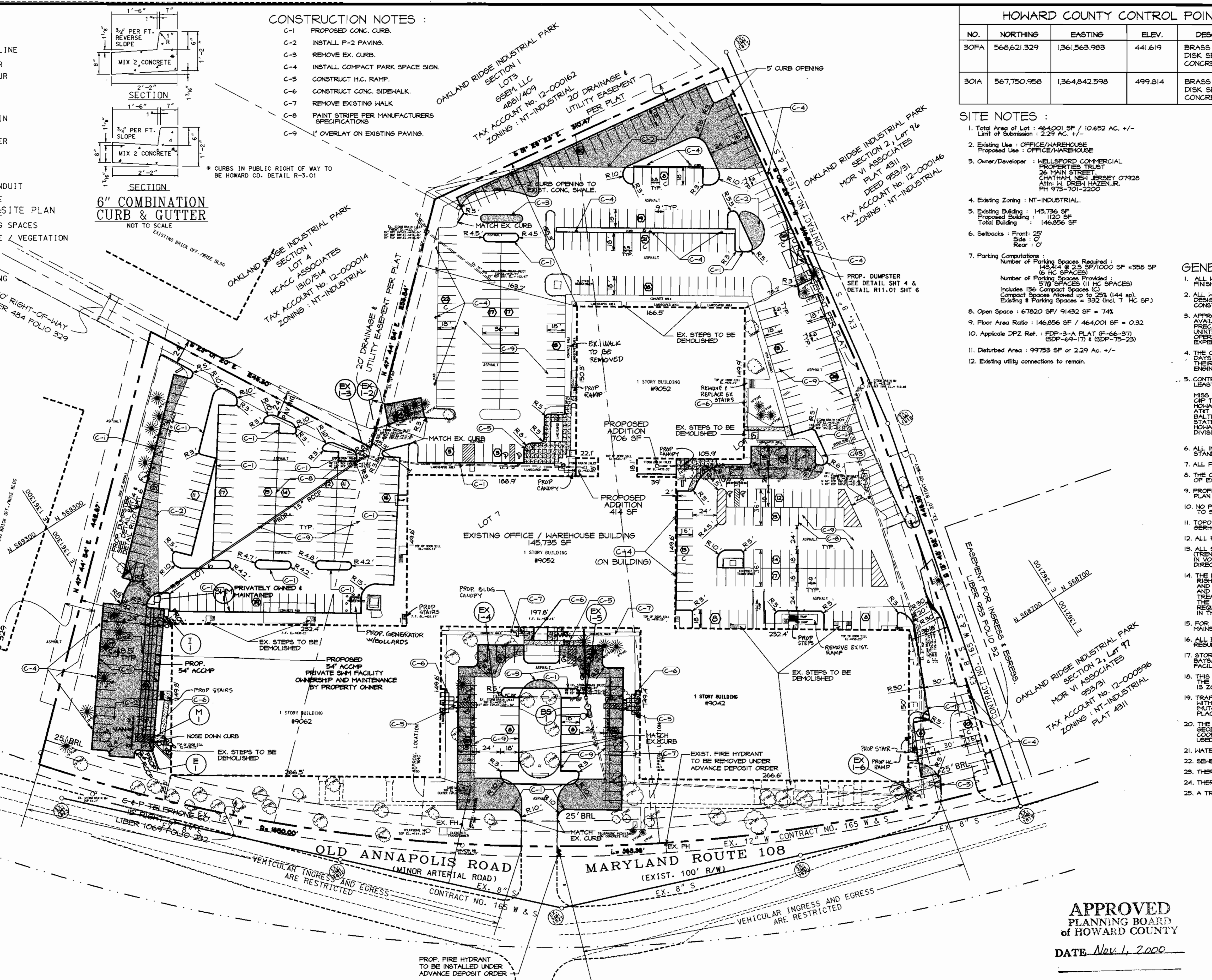
CONCRETE SIDEWALK SECTION
NOT TO SCALE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/6/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 2/7/01
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 3/9/01
DIRECTOR



HOWARD COUNTY CONTROL POINTS

NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
30FA	568,621.329	1,361,563.983	441.619	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN
30IA	567,750.958	1,364,842.598	499.814	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN

- SITE NOTES :**
- Total Area of Lot: 464,001 SF / 10.652 AC. +/-
Limit of Submission: 2.29 AC. +/-
 - Existing Use: OFFICE/WAREHOUSE
Proposed Use: OFFICE/WAREHOUSE
 - Owner/Developer: WELLSFORD COMMERCIAL PROPERTIES TRUST
26 MAIN STREET
CHATHAM, NEW JERSEY 07928
Attn: HOWARD WOLF, PH 973-701-2200
 - Existing Zoning: NT-INDUSTRIAL
 - Existing Building: 145,736 SF
Proposed Building: 1,120 SF
Total Building: 146,856 SF
 - Setbacks: Front: 25'
Side: 0'
Rear: 0'
 - Parking Computations:
Number of Parking Spaces Required: 145,736 SF / 25 SF/1000 SF = 355 SF (6 HC SPACES)
Number of Parking Spaces Provided: 570 SPACES (11 HC SPACES)
Includes 156 Compact Spaces (C)
Compact Spaces Allowed up to 25% (144 sp.)
Existing # Parking Spaces = 332 (incl. 7 HC SP)
 - Open Space: 67820 SF / 91432 SF = 74%
 - Floor Area Ratio: 146,856 SF / 464,001 SF = 0.32
 - Applicable DPZ Ref: FDP-3-A PLAT (F-66-37) (SDP-69-17) & (SDP-75-23)
 - Disturbed Area: 99753 SF or 2.29 AC. +/-
 - Existing utility connections to remain.



- GENERAL NOTES :**
- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.e., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
 - APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
 - CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:
MISS UTILITY 800-257-7777
CIP TELEPHONE 410-725-2500
HOWARD COUNTY BUREAU OF UTILITIES 410-992-2366
ATTN: CABLE LOCATION DIVISION 410-992-2500
BALTIMORE GAS & ELECTRIC CO. 410-685-0123
STATE HIGHWAY ADMINISTRATION 410-531-5653
HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK) 410-515-1600
 - ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
 - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
 - THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
 - PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
 - NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
 - TOPO TAKEN FROM FIELD RUN SURVEY LDE, INC. DATED 6/99 TOPO INFO. BY GERHOLD, CROSS & ETZEL DATED 1/00
 - ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL 62.01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOLUME IV OF THE HOWARD COUNTY DESIGN MANUAL. ALL OTHERS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
 - THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR EASEMENTS OR RIGHTS THAT MAY BE REQUIRED FOR THE SEWERMENT AND EROSION CONTROL, PRACTICES STORM WATER MANAGEMENT PRACTICES AND DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHT AND/OR R/W THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
 - FOR THE EXACT LOCATION AND DEPTH OF THE EXISTING WATER AND SEWER MAINS, THE CONTRACTOR SHALL DIG TEST PITS AT THE CONTRACTOR'S EXPENSE.
 - ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 154 OF THE ZONING REGULATIONS.
 - STORM-WATER MANAGEMENT FACILITY IS PRIVATELY OWNED AND MAINTAINED. BATTER (BS-1) IT IS FOR WATER QUALITY ONLY. UNDERGROUND WATER FACILITY IS FOR WATER QUANTITY.
 - THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1000 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE THE PROPERTY IS ZONED NE4 TOWN.
 - TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREETS AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
 - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEOID CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM, HOWARD COUNTY MONUMENT NOS. 30FA & 30IA WERE USED FOR THIS PROJECT.
 - WATER IS PUBLIC 165 W&S
 - SEWER IS PUBLIC 165 W&S
 - THERE IS NO FLOODPLAIN ON THIS SITE.
 - THERE ARE NO WETLANDS ON THIS SITE.
 - A TRAFFIC STUDY FOR THIS PROJECT WAS APPROVED ON JULY 27, 2000.

SHEET INDEX :

- SHEET 1 SITE PLAN & NOTES.
- SHEET 2 GRADING & SEDIMENT CONTROL PLAN.
- SHEET 3 SEDIMENT CONTROL DETAILS.
- SHEET 4 SITE DETAILS.
- SHEET 5 LANDSCAPE PLAN.
- SHEET 6 DRAINAGE AREA MAP

SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
TOPO INFORMATION BY GERHOLD, CROSS & ETZEL DATED 1/00

ADDRESS CHART

LOT/PARCEL*	STREET ADDRESS
6, 7, & 8	9042-9082 OLD ANNAPOLIS ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL			
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8			
PLAT * OR L/F	BLOCK	ZONING	TAX/ZONING MAP	ELECTION DIST	CENSUS TRACT
PLAT 12/65	17	NT-IND.	30	2ND	6067.03
WATER CODE	604	SEWER CODE	5657400		

1/8102	1	GENERATOR & ENTRANCES
DATE	NO.	REVISION
OWNER/DEVELOPER WELLSFORD COMMERCIAL PROPERTIES TRUST 26 MAIN STREET CHATHAM, NEW JERSEY 07928 Attn: HOWARD WOLF, PH 973-701-2200		
PROJECT: OAKLAND RIDGE OFFICE PARK RENOVATION		
TITLE		

SITE PLAN

Richardson Engineering, LLC

730 W. Padonia Road
Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: PCR
DESIGNED BY: PCR
DRAWN BY: CADDS
PROJECT NO.: 99005
DATE: 7/19/00
SCALE: 1"= 50'
DRAWING NO. 1 OF 6

12/16/00
DATE

LEGEND :

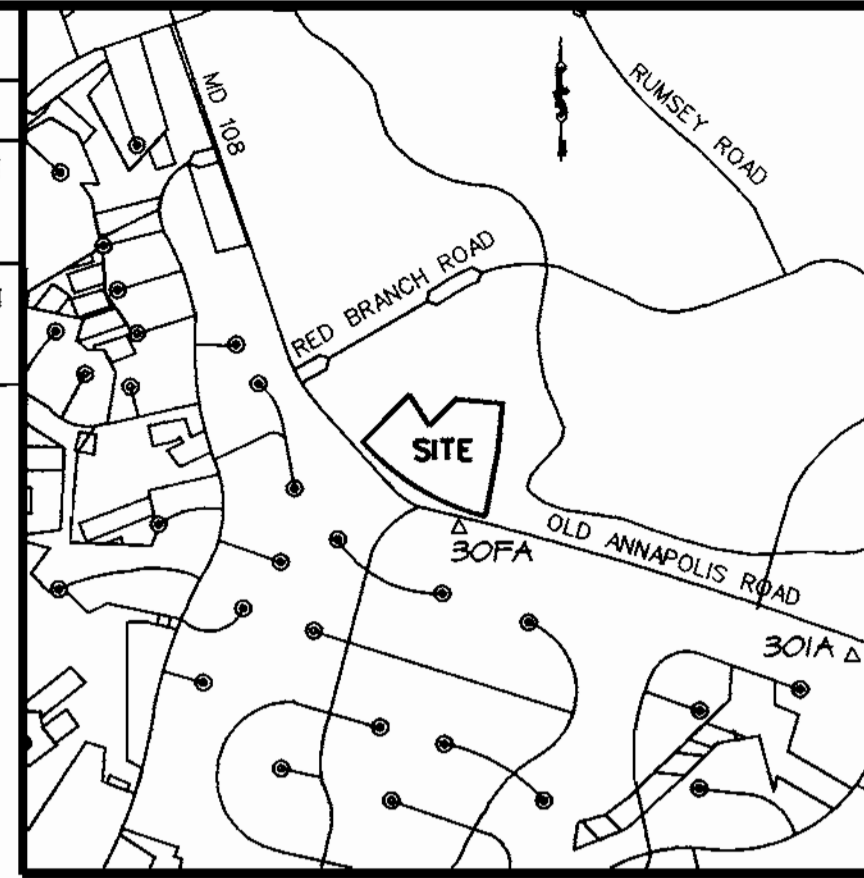
- SUPER SILT FENCE [Symbol]
- SILT FENCE [Symbol]
- STABILIZED CONSTRUCTION ENTRANCE [Symbol]
- STOCKPILE AREA [Symbol]
- CONTRACTOR'S STAGING AREA [Symbol]
- EXISTING CONTOURS [Symbol]
- PROPOSED CONTOURS [Symbol]
- LIMIT OF DISTURBANCE [Symbol]

SEQUENCE OF OPERATIONS

1. NOTIFY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS (HCDPW) INSPECTORS 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CLEAR AND GRUB AS NECESSARY FOR SEDIMENT CONTROL INSTALLATION. INSTALL CONSTRUCTION ENTRANCE. (2 DAYS)
3. CLEAR AND GRUB, AND ROUGH GRADE SITE. CLEAR ONLY THE AREAS THAT WILL BE WORKED IMMEDIATELY. (5 DAYS)
4. CONSTRUCT BUILDING ADDITION. (30 DAYS)
5. FINE GRADE PARKING LOT AND PLACE CURB AND STONE BASE COURSE IN THAT AREA. (3 DAYS)
6. SEED AND MULCH ALL DISTURBED AREAS. (1 DAY)
7. WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES FROM THAT AREA. (2 DAYS)
8. STABILIZE ALL AREAS DISTURBED AS A RESULT OF SEDIMENT CONTROL REMOVAL. (2 DAYS)

HOWARD COUNTY CONTROL POINTS

NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
BOFA	568,621.329	1,361,563.983	441.619	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN
BOIA	567,750.958	1,364,842.598	499.814	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN

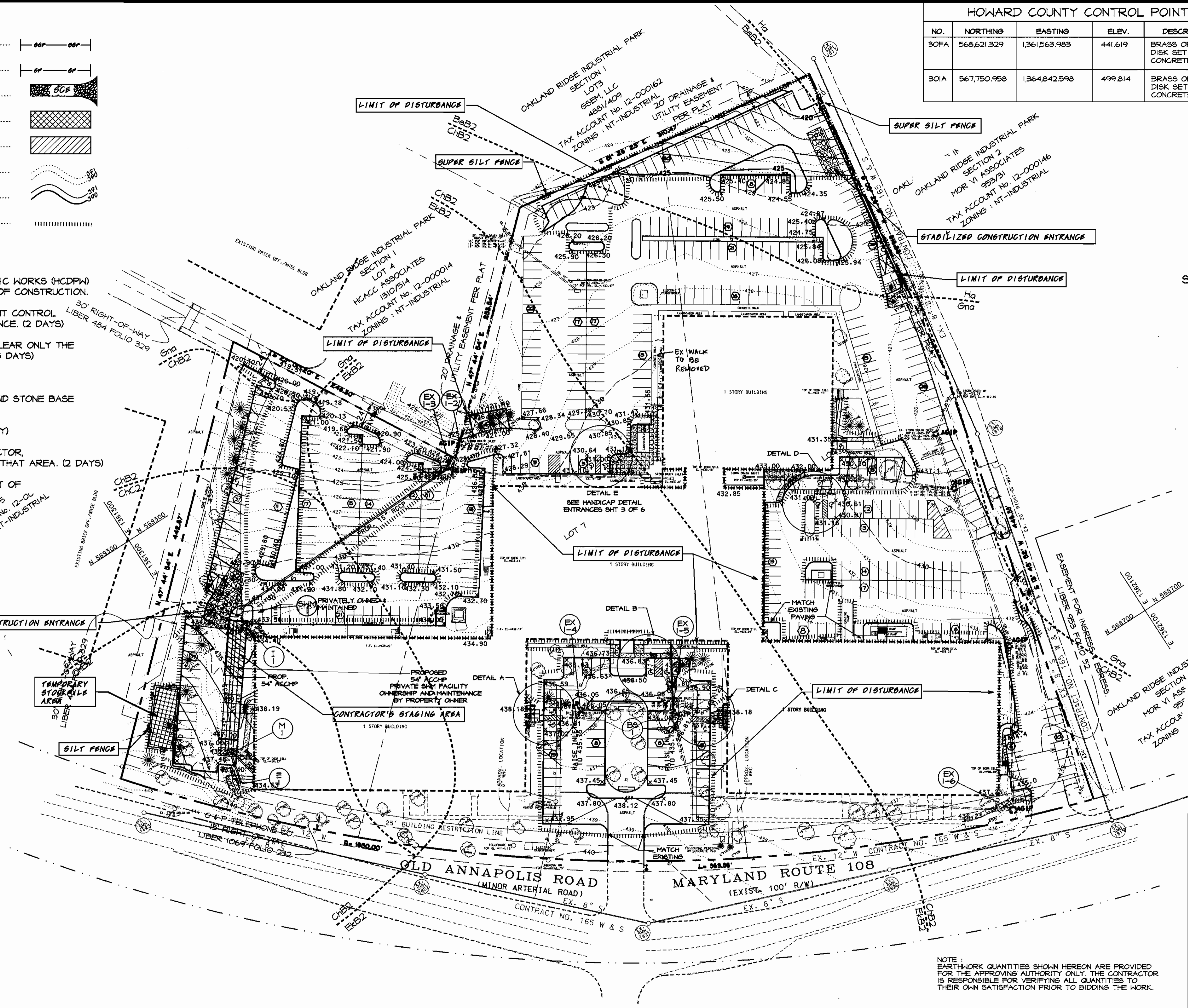


VICINITY MAP
SCALE: 1"=2000'

SEDIMENT CONTROL NOTES :

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction 31B-1855.
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching. Sec. 6 Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:

Total Area of Site	464,001 SF / 10.652 Acres
Area Disturbed	99,752 SF / 2.29 Acres
Area to be roofed or paved	331,254 SF / 7.60 Acres
Area to be vegetatively stabilized	132,945 SF / 3.05 Acres
Total Cut	1194 Cu. yds
Total Fill	1355 Cu. yds
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County Sediment control inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.



BY THE DEVELOPER
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

John Mc Namara 2-13-01
DEVELOPER DATE

BY THE ENGINEER
I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Richardson Engineering, LLC 2/13/01
ENGINEER DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
Jim Mays 2/16/01
USDA - NATURAL RESOURCES CONSERVATION SERVICES DATE
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John W. Anderson 2/16/01
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED DEPARTMENT OF PLANNING AND ZONING
William J. ... 2/16/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Condy ... 3/7/01
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

... 3/16/01
DIRECTOR DATE

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE Nov. 4, 2000

NOTE: EARTHWORK QUANTITIES SHOWN HEREON ARE PROVIDED FOR THE APPROVING AUTHORITY ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES TO THEIR OWN SATISFACTION PRIOR TO BIDDING THE WORK.

SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
TOPO INFORMATION BY GERHOLD, CROSS & ETZEL DATED 1/00

ADDRESS CHART	
LOT/PARCEL*	STREET ADDRESS
6, 7, & 8	9042-9082 OLD ANNAPOLIS ROAD

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL			
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8			
PLAT * OR L/P	BLOCK *	ZONING	TAX/ZONING MAP	ELECTION DIST	CENSUS TRACT
PLAT 12/65	17	NT-IND.	30	2ND	6067.03
WATER CODE	SEWER CODE				
604	5657400				

1/8/02	1	GENERATOR & ENTRANCES
DATE	NO.	REVISION

OWNER/DEVELOPER
WELLSFORD COMMERCIAL PROPERTIES TRUST
26 MAIN STREET
CHATHAM, NEW JERSEY 07928
Attn: HOWARD WOLF, PH 973-701-2200

PROJECT: OAKLAND RIDGE OFFICE PARK RENOVATION

TITLE: GRADING AND SEDIMENT CONTROL PLAN

Richardson Engineering, LLC

730 W. Potomac Road
Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: PCR
DESIGNED BY: PCR
DRAWN BY: CADDS
PROJECT NO.: 99005
DATE: 7/19/00
SCALE: 1"= 50'
DRAWING NO. 2 OF 6

Plant List

Quant	Symbol	Botanical Name	Common Name	Remarks
Trees				
3	AMC	Amelanchier canadensis	Downy Shadblow	8-10' hgt., multi-stemmed (3 or 5)
30	GA	Fraxinus pennsylvanica 'Patmore'	Patmore Green Ash	2 1/2-3' cal., 12-14' hgt.
13	HL	Gleditsia triacanthos inermis 'Halka'	Halka Honeylocust	2 1/2-3' cal., 12-14' hgt.
23	WP	Pinus strobus	White Pine	6-7' hgt.
25	PCB	Pyrus calleryana 'Bradford'	Aristocrat Callery Pear	2 1/2 - 3' cal., 8-10' hgt.
Shrubs				
11	WLC	Cotoneaster salicifolius repandens	Willowleaf Cotoneaster	24-30"
48	JHP	Juniperus horizontalis plumosa	Andorra Juniper	18-24"
145	JST	Juniperus sabina 'amarisicifolia'	Tams Juniper	18-24"
140	NAN	Nandina domestica	Nandina, Heavenly Bamboo	30-36"
81	TMD	Taxus media densiformis	Densiformis Yew	18-24"
47	VC	Viburnum carlesii	Koreanspice Viburnum	30-36"
1	VPT	Viburnum plicatum tomentosum	Doublefile Viburnum	42-48"
18	VR	Viburnum rhytidophyllum	Leatherleaf Viburnum	42-48"
Perennials				
24	AAB	Astilbe arendsi 'Brautschleier'	White Astilbe	2 qt. cont., 12" o.c.
8	HSB	Hosta nobilidiana 'elegans'	Hosta elegans	1 gal. cont.
Groundcover				
780	LIR	Liriope muscari 'Big Blue'	Liriope	2 qt. cont., 12" o.c.
150	IVY	Hedera helix	English Ivy	2 1/4" pote, 9" o.c.
Seasonals				
214	sf			

LEGEND :

- EX. PROPERTY LINE
- EX. 2' CONTOUR
- EX. 10' CONTOUR
- EX. GAS
- EX. SANITARY
- EX. STORM DRAIN
- EX. WATER
- EX. WATER METER
- EX. TELEPHONE
- EX. CURB
- EX. ELECT. CONDUIT
- EX. LIGHT POLE
- EX. FENCE LINE
- No. OF PARKING SPACES
- EX. WOODS LINE / VEGETATION
- EX. TREE
- PROPOSED PAVING

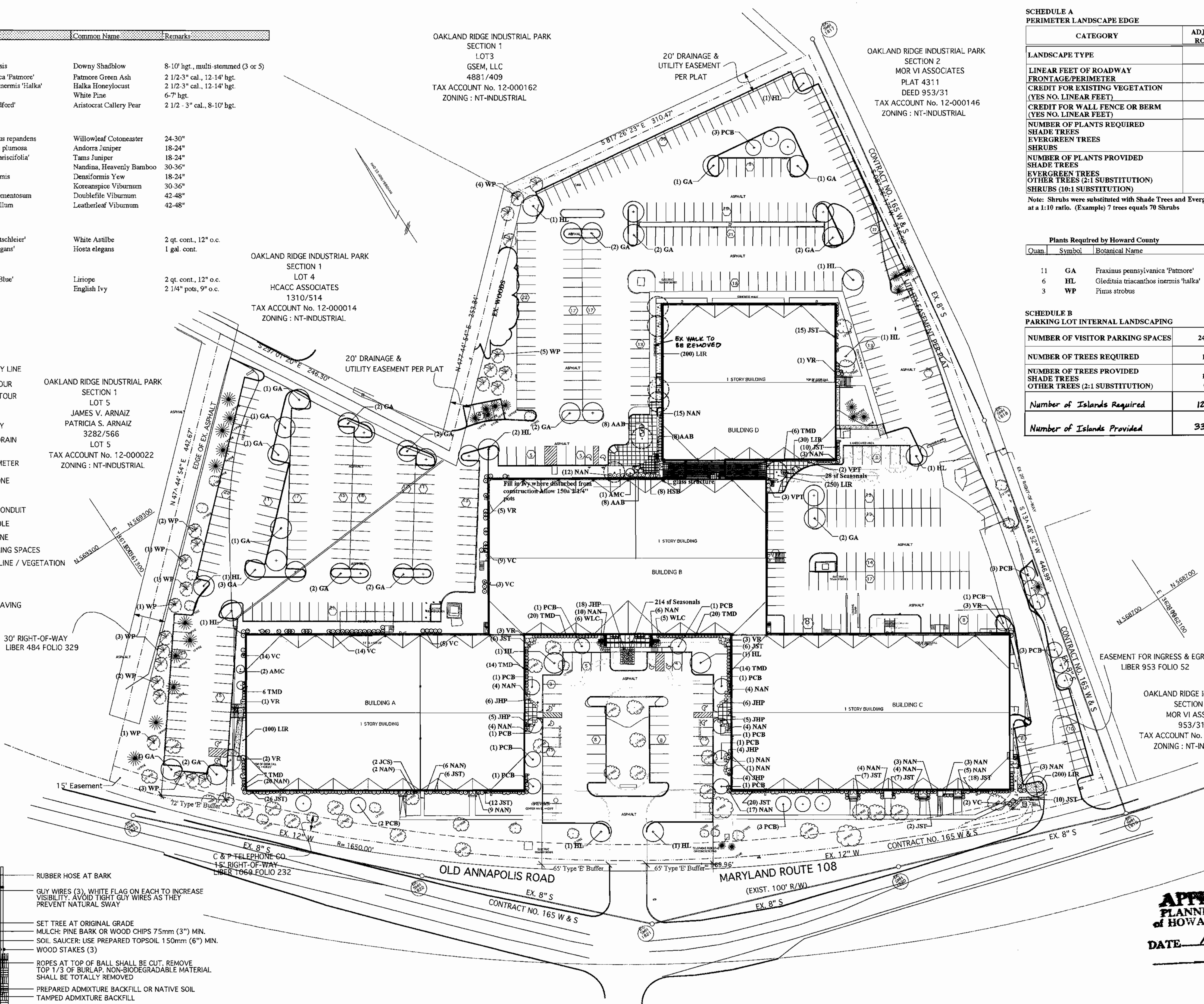
OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 5
JAMES V. ARNAIZ
PATRICIA S. ARNAIZ
3282/566
LOT 5
TAX ACCOUNT No. 12-000022
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 3
GSEM, LLC
4881/409
TAX ACCOUNT No. 12-000162
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 4
HCACC ASSOCIATES
1310/514
TAX ACCOUNT No. 12-000014
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 2
MOR VI ASSOCIATES
PLAT 4311
DEED 953/31
TAX ACCOUNT No. 12-000146
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 2
MOR VI ASSOCIATES
953/31
TAX ACCOUNT No. 12-000596
ZONING : NT-INDUSTRIAL



SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS
LANDSCAPE TYPE	E
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	202'
CREDIT FOR EXISTING VEGETATION (YES NO. LINEAR FEET)	5
CREDIT FOR WALL FENCE OR BERM (YES NO. LINEAR FEET)	0
NUMBER OF PLANTS REQUIRED	5
SHADE TREES	0
EVERGREEN TREES	51
SHRUBS	4
NUMBER OF PLANTS PROVIDED	3
SHADE TREES	3
EVERGREEN TREES (2:1 SUBSTITUTION)	0
SHRUBS (10:1 SUBSTITUTION)	0

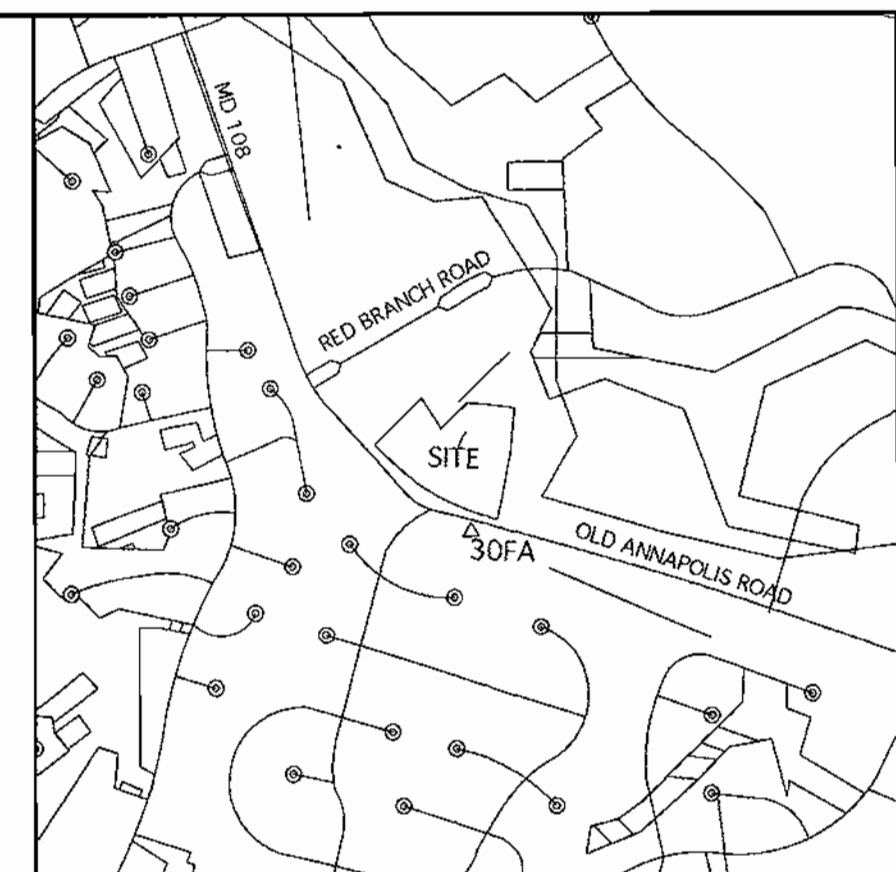
Note: Shrubs were substituted with Shade Trees and Evergreen Trees at a 1:10 ratio. (Example) 7 trees equals 70 Shrubs

Plants Required by Howard County

Quant	Symbol	Botanical Name	Common Name	Remarks
11	GA	Fraxinus pennsylvanica 'Patmore'	Patmore Green Ash	2 1/2-3' cal., 12-14' hgt.
6	HL	Gleditsia triacanthos inermis 'Halka'	Halka Honeylocust	2 1/2-3' cal., 12-14' hgt.
3	WP	Pinus strobus	White Pine	6-7' hgt.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF VISITOR PARKING SPACES	245
NUMBER OF TREES REQUIRED	13
NUMBER OF TREES PROVIDED	13
SHADE TREES	0
OTHER TREES (2:1 SUBSTITUTION)	0
Number of Islands Required	12
Number of Islands Provided	33



VICINITY MAP
SCALE: 1"=200'

GENERAL NOTES :

1. CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:

- MISS UTILITY 800-257-7777
- C&P TELEPHONE 410-725-9976
- HOWARD COUNTY BUREAU OF UTILITIES 410-992-2366
- AT&T CABLE LOCATION DIVISION 410-393-3523
- BALTIMORE GAS & ELECTRIC CO. 410-685-0123
- STATE HIGHWAY ADMINISTRATION 410-531-5333
- HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION (24 HOURS NOTICE PRIOR TO) 410-313-1880

Developers/Builders Certificate

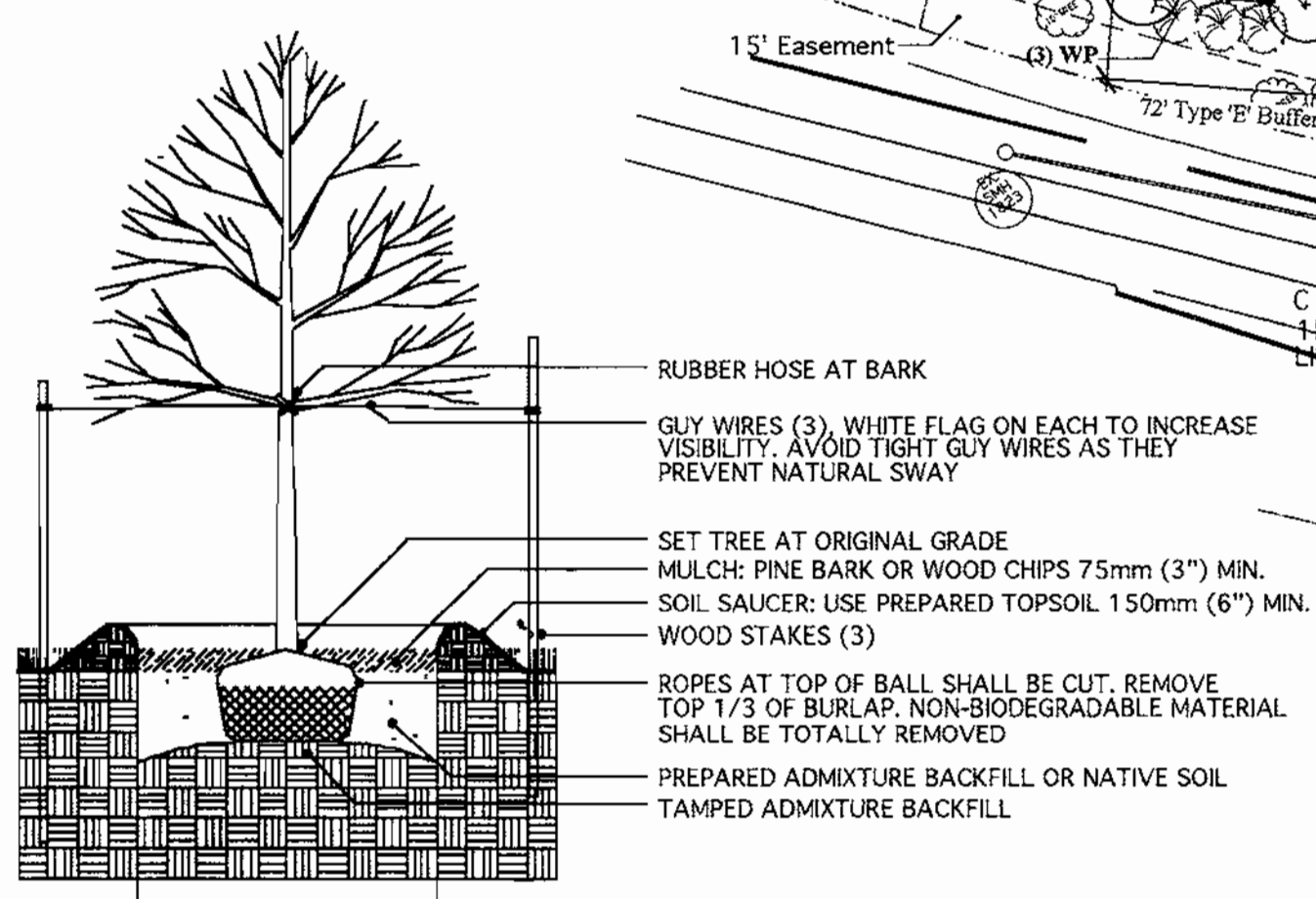
I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the department of planning and zoning.

John M. Manara 12/6/00
Name Date

This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.

Financial surety for the required landscaping has been posted as part of the Dev Agreement in the amount of \$5,500.00. This surety is based on 17 shade trees at \$300.00 each and 3 evergreen trees at \$150.00 each.

The owner, tenant, and/or their agents shall be responsible for the maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.



- RUBBER HOSE AT BARK
- GUY WIRES (3), WHITE FLAG ON EACH TO INCREASE VISIBILITY. AVOID TIGHT GUY WIRES AS THEY PREVENT NATURAL SWAY
- SET TREE AT ORIGINAL GRADE
- MULCH: PINE BARK OR WOOD CHIPS 75mm (3") MIN.
- SOIL SAUCER: USE PREPARED TOPSOIL 150mm (6") MIN.
- WOOD STAKES (3)
- ROPES AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/3 OF BURLAP. NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED
- PREPARED ADMIXTURE BACKFILL OR NATIVE SOIL
- TAMPED ADMIXTURE BACKFILL

APPROVED: DEPARTMENT OF PLANNING AND ZONING

John M. Manara 3/7/01 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Charles Starnes 3/6/01 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

Joseph L. Smith 3/9/01 DATE
DIRECTOR

SHEET INDEX :

- SHEET 1 SITE PLAN & NOTES.
- SHEET 2 GRADING & SEDIMENT CONTROL PLAN.
- SHEET 3 SEDIMENT CONTROL DETAILS.
- SHEET 4 SITE DETAILS.
- SHEET 5 LANDSCAPE PLAN.
- SHEET 6 DRAINAGE AREA MAP, EXISTING & PROPOSED CONDITIONS

SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
TOPO INFORMATION BY GERHOLD, CROSS & ETZEL DATED 7/00

LOT/PARCEL#	STREET ADDRESS
6, 7, & 8	9052 OLD ANNAPOLIS ROAD

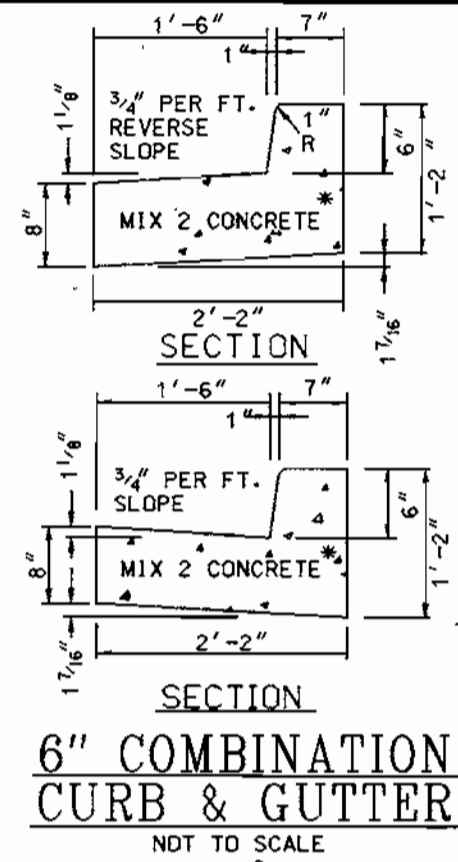
PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL	TAX/ZONING MAP	ELECTION DIST	CENSUS TRACT
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8	NT	30	6067.03
PLAT # OR L/F	BLOCK #	TYPING	TAX/ZONING MAP	ELECTION DIST	CENSUS TRACT
776/245	17	NT	30	2ND	6067.03
WATER CODE			SEWER CODE		

11/8/02	GENERATOR # ENTRANCES
DATE	NO. REVISION
OWNER/DEVELOPER	WELLSFORD COMMERCIAL PROPERTIES TRUST 26 MAIN STREET CHATHAM, NEW JERSEY 07928 Attn: W. DREW HAZEN, JR. PH 973-701-2200
PROJECT:	OAKLAND RIDGE OFFICE PARK
TITLE	Landscape Plan
5560 Sterrett Pl. Suite 302 Columbia, MD 21045 410.992.0001 - phone 410.992.0212 - fax slaterj@erols.com	
Richardson Engineering, LLC	
730 W. Padonia Road Cockeysville, Maryland 21030 Phone: 410-560-1502 Fax: 410-560-0827	
CHECKED BY: JBS	DESIGNED BY: MJW and JBS
DRAWN BY: MJW	PROJECT NO.: 99005
DATE: 12/6/00	SCALE: 1" = 50'
Professional Landscape Architect #	Date
<i>John B. Slater</i> 12.6.00	
DRAWING NO. 5 OF 6	FILE NO. SDP-00-134

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE NOV 1, 2000

LEGEND :

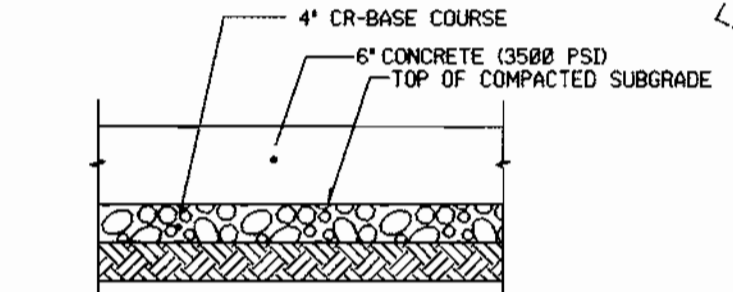
---	EX. PROPERTY LINE
---112---	EX. 2' CONTOUR
---110---	EX. 10' CONTOUR
---	EX. GAS
8" SAN.	EX. SANITARY
18" S.D.	EX. STORM DRAIN
10" W	EX. WATER
---	EX. WATER METER
---	EX. TELEPHONE
---	EX. CURB
---	EX. ELECT. CONDUIT
---	EX. LIGHT POLE
---	EX. FENCE LINE/SITE PLAN
---	NO. OF PARKING SPACES
---	EX. WOODS LINE / VEGETATION
---	EX. TREE
---	PROPOSED PAVING



CONSTRUCTION NOTES :

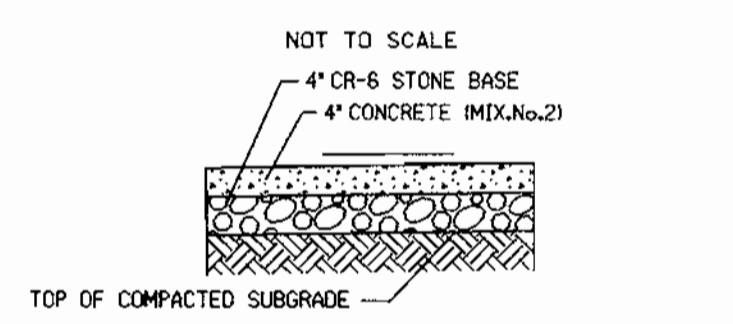
- C-1 PROPOSED CONC. CURB.
- C-2 INSTALL P-2 PAVING.
- C-3 REMOVE EX. CURB.
- C-4 INSTALL COMPACT PARK SPACE SIGN.
- C-5 CONSTRUCT H.G. RAMP.
- C-6 CONSTRUCT CONC. SIDEWALK.
- C-7 REMOVE EXISTING WALK.
- C-8 PAINT STRIPE PER MANUFACTURERS SPECIFICATIONS.
- C-9 1" OVERLAY ON EXISTING PAVING.

* CURBS IN PUBLIC RIGHT OF WAY TO BE HOWARD CO. DETAIL R-3.01



CONCRETE PAVING SECTION

OAKLAND RIDGE INDUSTRIAL PARK SECTION 1 LOT 5
 JAMES V. ARNAIZ
 PATRICIA S. ARNAIZ
 3282/566
 LOT 5
 TAX ACCOUNT No. 12-000022
 ZONING : NT-INDUSTRIAL



CONCRETE SIDEWALK SECTION

1/2" PREMOLDED EXPANSION JOINT MATERIAL TO BE PLACED WHERE WALKS ABUT CURBS, WALLS, STEPS, ETC. AND AT MAX. 20' INTERVALS ALONG THE WALK.
 JOINT SCORING TO BE 4" x 4" FOR 8' WIDE WALKS, AND 5" WALKS TO BE SCORED ON 5' CENTERS.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

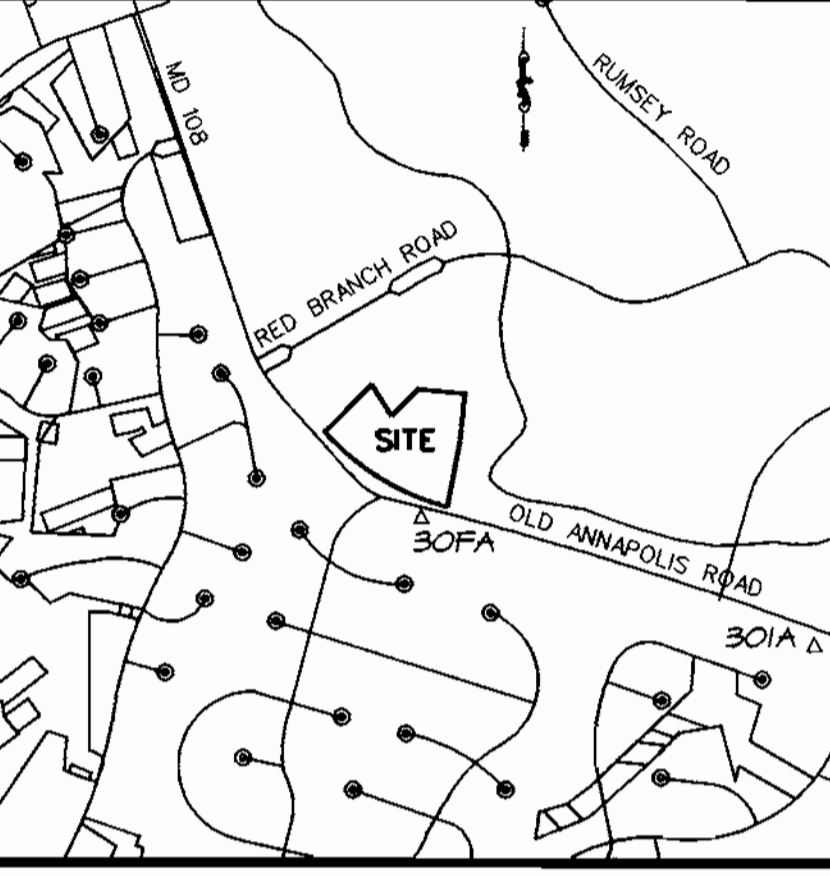
APPROVED: *[Signature]* 2/6/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 APPROVED: *[Signature]* 3/7/01
 CHIEF, DIVISION OF LAND DEVELOPMENT
 APPROVED: *[Signature]* 3/9/01
 DIRECTOR

SHEET INDEX :

- SHEET 1 SITE PLAN & NOTES.
- SHEET 2 GRADING & SEDIMENT CONTROL PLAN.
- SHEET 3 SEDIMENT CONTROL DETAILS.
- SHEET 4 SITE DETAILS.
- SHEET 5 LANDSCAPE PLAN.
- SHEET 6 DRAINAGE AREA MAP

HOWARD COUNTY CONTROL POINTS

NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
30FA	568,621.329	1,361,563.983	441.619	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN
30IA	567,750.958	1,364,842.598	499.814	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN



VICINITY MAP
SCALE: 1"=2000'

SITE NOTES :

1. Total Area of Lot : 464,001 SF / 10.652 AC. +/-
 Limit of Submission : 2.29 AC. +/-
2. Existing Use : OFFICE/WAREHOUSE
 Proposed Use : OFFICE/WAREHOUSE
3. Owner/Developer : WELLSFORD COMMERCIAL PROPERTIES TRUST
 26 MAIN STREET
 CHATHAM, NEW JERSEY 07928
 Attn: W. DREW BRAZEN, JR.
 PH 973-701-2200
4. Existing Zoning : NT-INDUSTRIAL.
5. Existing Building : 145,735 SF
 Proposed Building : 1120 SF
 Total Building : 146,856 SF
6. Setbacks : Front : 25'
 Side : 0'
 Rear : 0'
7. Parking Computations :
 Number of Parking Spaces Required : 143,314 @ 25' x 10,000 SF = 356 SF (6 HC SPACES)
 Number of Parking Spaces Provided : 565 SPACES (11 HC SPACES)
 Includes 156 Compact Spaces (C)
 Compact Spaces Allowed up to 25% (144 sp.)
 Existing # Parking Spaces = 332 (incl. 7 HC SP.)
8. Open Space : 67820 SF / 91,432 SF = 74%
9. Floor Area Ratio : 146,856 SF / 464,001 SF = 0.32
10. Applicable DPZ Ref. : FDP-3-A PLAT (F-66-37) (SDP-69-17) & (SDP-75-23)
11. Disturbed Area : 99753 SF or 2.29 AC +/-
12. Existing utility connections to remain.

GENERAL NOTES :

1. ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E. STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
3. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO UTILITIES DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
5. CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:
 MISS UTILITY 800-257-7777
 HOWARD COUNTY BUREAU OF UTILITIES 410-392-2566
 ATTORNEY GENERAL'S OFFICE 410-392-2566
 BALTIMORE GAS & ELECTRIC CO. 410-688-0123
 STATE HIGHWAY ADMINISTRATION 410-531-1500
 HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION (24 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK) 410-313-1800
6. ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
7. ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
8. THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
9. PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
10. NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
11. TOPO TAKEN FROM FIELD PLAN SURVEY LDE, INC. DATED 6/99 TOPO INFO. BY GERHOLD, CROSS & ETZEL DATED 1/00
12. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
13. ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL G2.01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN VOL. IV OF HOWARD COUNTY DESIGN MANUAL. ALL DIMENSIONS UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
14. THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR INTERESTS IN ANY WAY THAT MAY BE REQUIRED FOR THE SETTLEMENT AND EROSION CONTROL PRACTICES, STORM WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER TO OR ACROSS ADJACENT OR DOWN-STREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR INTERESTS THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
15. FOR THE EXACT LOCATION AND DEPTH OF THE EXISTING WATER AND SEWER MAINS, THE CONTRACTOR SHALL DIG TEST PITS AT THE CONTRACTOR'S EXPENSE.
16. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 134 OF THE ZONING REGULATIONS.
17. STORM-WATER MANAGEMENT FACILITY IS PRIVATELY OWNED AND MAINTAINED. BATTERED (BS-I) IT IS FOR WATER QUALITY ONLY. UNDERGROUND PIPE FACILITY IS FOR WATER QUANTITY.
18. THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE THE PROPERTY IS ZONED NBN TOWN.
19. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREETS AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE BEGINNING OF ANY ASPHALT.
20. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL SYSTEM'S BASE UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM, HOWARD COUNTY MONUMENT NOS. 30FA & 30IA HERE USED FOR THIS PROJECT.
21. WATER IS PUBLIC 165 W4S
22. SEWER IS PUBLIC 165 W4S
23. THERE IS NO FLOODPLAIN ON THIS SITE.
24. THERE ARE NO WETLANDS ON THIS SITE.
25. A TRAFFIC STUDY FOR THIS PROJECT HAS APPROVED ON JULY 27, 2000.

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: Nov. 1, 2000

3/7/02	2	GENERATOR & LOADING DOCK
1/8/02	1	GENERATOR & ENTRANCES
DATE	NO.	REVISION

OWNER/DEVELOPER
 WELLSFORD COMMERCIAL PROPERTIES TRUST
 26 MAIN STREET
 CHATHAM, NEW JERSEY 07928
 Attn: HOWARD WOLF, PH 973-701-2200

PROJECT: **OAKLAND RIDGE OFFICE PARK RENOVATION**
 TITLE: **SITE PLAN**
 Richardson Engineering, LLC

730 W. Padonia Road
 Cockeysville, Maryland 21030
 Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: PCR
 DESIGNED BY: PCR
 DRAWN BY: CADDS
 PROJECT NO.: 99005
 DATE: 7/19/00
 SCALE: 1" = 50'
 DRAWING NO. 1 OF 6
 FILE NO. SDP-00-134

SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
 TOPO INFORMATION BY GERHOLD, CROSS & ETZEL DATED 1/00

ADDRESS CHART	
LOT/PARCEL#	STREET ADDRESS
6, 7, & 8	8042-9082 OLD ANNAPOLIS ROAD

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL	TAX/ZONING MAP	ELECTION DIST	CENSUS TRACT
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8	30	2ND	6067.03
PLAT OR L/F	BLOCK	ZONING	TAX/ZONING MAP	ELECTION DIST	CENSUS TRACT
PLAT 12/65	17	NT-IND.	30	2ND	6067.03
WATER CODE	604	SEWER CODE	5657100		

LEGEND :

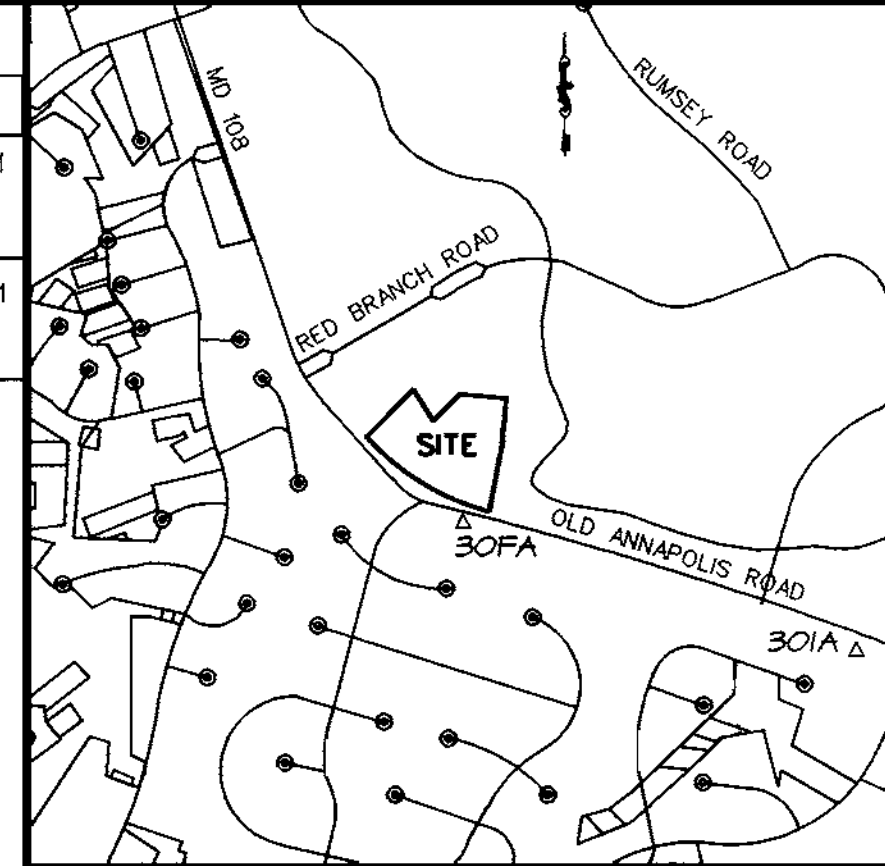
- SUPER SILT FENCE [Symbol]
- SILT FENCE [Symbol]
- STABILIZED CONSTRUCTION ENTRANCE [Symbol]
- STOCKPILE AREA [Symbol]
- CONTRACTOR'S STAGING AREA [Symbol]
- EXISTING CONTOURS [Symbol]
- PROPOSED CONTOURS [Symbol]
- LIMIT OF DISTURBANCE [Symbol]

SEQUENCE OF OPERATIONS

1. NOTIFY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS (HCDPW) INSPECTORS 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CLEAR AND GRUB AS NECESSARY FOR SEDIMENT CONTROL INSTALLATION. INSTALL CONSTRUCTION ENTRANCE. (2 DAYS)
3. CLEAR AND GRUB, AND ROUGH GRADE SITE. CLEAR ONLY THE AREAS THAT WILL BE WORKED IMMEDIATELY. (5 DAYS)
4. CONSTRUCT BUILDING ADDITION. (30 DAYS)
5. FINE GRADE PARKING LOT AND PLACE CURB AND STONE BASE COURSE IN THAT AREA. (3 DAYS)
6. SEED AND MULCH ALL DISTURBED AREAS. (1 DAY)
7. WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES FROM THAT AREA. (2 DAYS)
8. STABILIZE ALL AREAS DISTURBED AS A RESULT OF SEDIMENT CONTROL REMOVAL. (2 DAYS)

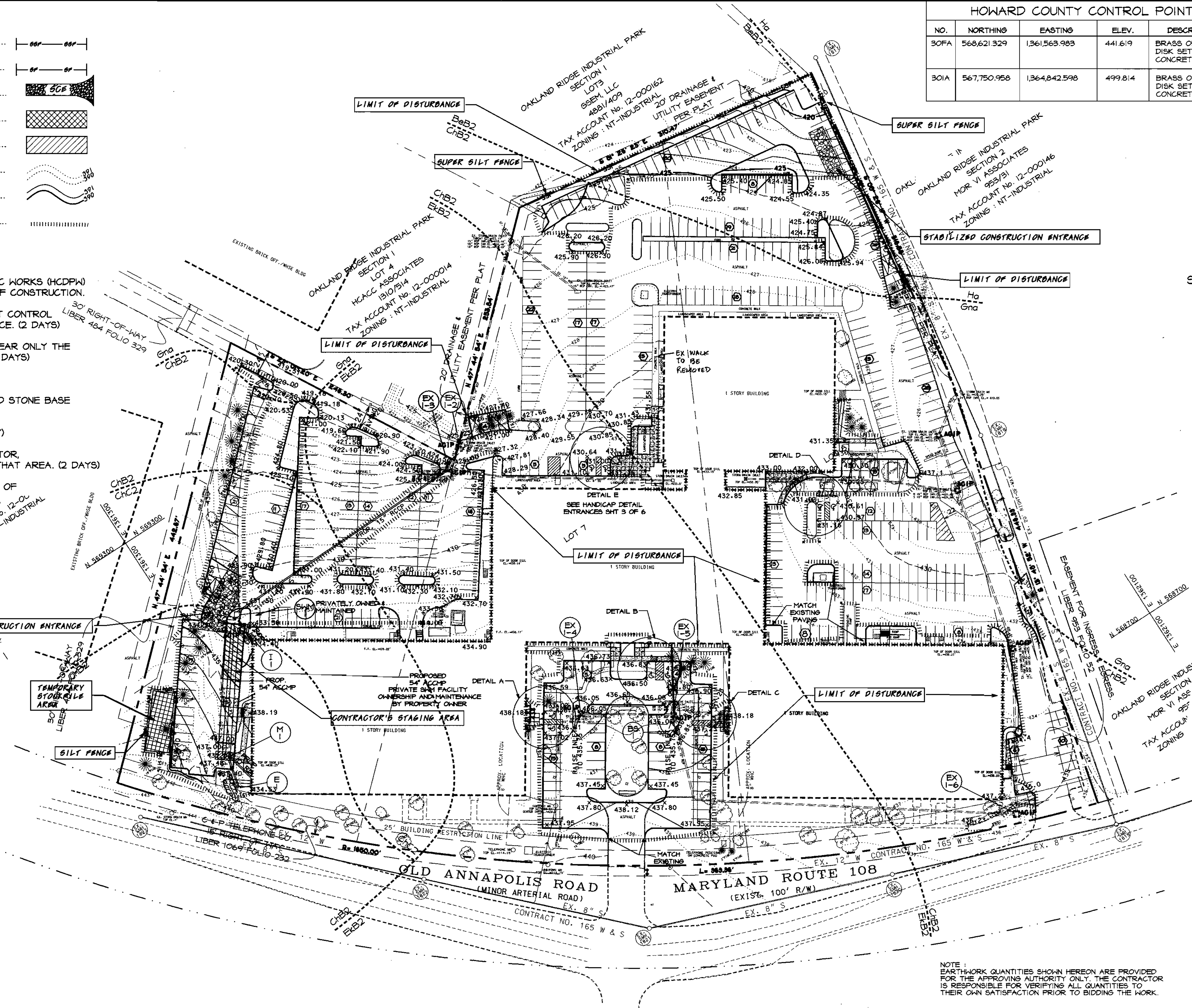
HOWARD COUNTY CONTROL POINTS

NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
30FA	568,621.329	1,361,563.983	441.619	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN
30IA	567,750.958	1,364,842.598	499.814	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN



SEDIMENT CONTROL NOTES :

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction 313-1655.
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1; b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. I, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding and mulching. Sec. C. Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:
 - Total Area of Site: 464,001 SF / 10.652 Acres
 - Area Disturbed: 99,752 SF / 2.29 Acres
 - Area to be roofed or paved: 331,254 SF / 7.60 Acres
 - Area to be vegetatively stabilized: 132,995 SF / 3.05 Acres
 - Total Cut: 1194 Cu. yds
 - Total Fill: 1305 Cu. yds
 - Offsite waste/borrow area location- A site with a currently active grading permit.
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until the initial approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.



BY THE DEVELOPER
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

John Mc Namara DEVELOPER 2-13-01 DATE

BY THE ENGINEER
 I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John C. Richardson ENGINEER 2/13/01 DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
Jim Murray 2/24/01 DATE
 USED - NATURAL RESOURCES CONSERVATION SERVICES
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John W. Anderson 2/24/01 DATE
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
William J. ... 3/6/01 DATE
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
Candy ... 3/7/01 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT
... 3/2/01 DATE
 DIRECTOR

NOTE: EARTHWORK QUANTITIES SHOWN HEREON ARE PROVIDED FOR THE APPROVING AUTHORITY ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES TO THEIR OWN SATISFACTION PRIOR TO BIDDING THE WORK.

SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
 TOPO INFORMATION BY GERHOLD, CROSS & ETZEL DATED 1/00

APPROVED
 PLANNING BOARD
 of HOWARD COUNTY
 DATE Nov. 1, 2000

ADDRESS CHART	
LOT/PARCEL*	STREET ADDRESS
6, 7, & 8	9042-9062 OLD ANNAPOLIS ROAD

PERMIT INFORMATION CHART		
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8
PLAT * OR L/P	BLOCK * ZONING	ELECTION DIST
PLAT 12/65	17 NT-IND.	2ND
WATER CODE	SEWER CODE	CENSUS TRACT
604	5657100	6067.03

3/1/02	2	GENERATOR & LOADING DOCK
1/6/02	1	GENERATOR & ENTRANCES
DATE	NO.	REVISION

OWNER/DEVELOPER
 WELLSFORD COMMERCIAL PROPERTIES TRUST
 26 MAIN STREET
 CHATHAM, NEW JERSEY 07928
 Attn: HOWARD WOLF, PH 973-701-2200

PROJECT: **OAKLAND RIDGE OFFICE PARK RENOVATION**
 TITLE: **GRADING AND SEDIMENT CONTROL PLAN**

Richardson Engineering, LLC
 730 W. Padonia Road
 Cockeysville, Maryland 21030
 Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: PCR
DESIGNED BY: PCR
DRAWN BY: CADDS
PROJECT NO.: 99005
DATE: 7/19/00
SCALE: 1" = 50'
DRAWING NO. 2 OF 6

Plant List

Quan	Symbol	Botanical Name	Common Name	Remarks
Trees				
3	AMC	Amelanchier canadensis	Downy Shadblow	8-10' hgt., multi-stemmed (3 or 5)
30	GA	Fraxinus pennsylvanica 'Patmore'	Patmore Green Ash	2 1/2-3" cal., 12-14' hgt.
13	HL	Gleditsia triacanthos inermis 'Halka'	Halka Honeylocust	2 1/2-3" cal., 12-14' hgt.
23	WP	Pinus strobus	White Pine	6-7' hgt.
25	PCB	Pyrus calleryana 'Bradford'	Aristocrat Callery Pear	2 1/2 - 3" cal., 8-10' hgt.
Shrubs				
11	WLC	Cotoneaster salicifolius repandens	Willowleaf Cotoneaster	24-30"
48	JHP	Juniperus horizontalis plumosa	Andorra Juniper	18-24"
145	JST	Juniperus sabina 'amarisifolia'	Tams Juniper	18-24"
140	NAN	Nandina domestica	Nandina, Heavenly Bamboo	30-36"
81	TMD	Taxus media densiformis	Densiformis Yew	18-24"
42	VC	Viburnum carlesii	Korcanspice Viburnum	30-36"
1	VPT	Viburnum plicatum tomentosum	Doublefile Viburnum	42-48"
18	VR	Viburnum rhytidophyllum	Leatherleaf Viburnum	42-48"
Perennials				
24	AAB	Astilbe arendsi 'Brantschleier'	White Astilbe	2 qt. cont., 12" o.c.
8	HSB	Hosta sieboldiana 'elegans'	Hosta elegans	1 gal. cont.
Groundcover				
780	LIR	Liriope muscari 'Big Blue'	Liriope	2 qt. cont., 12" o.c.
150	IVY	Hedera helix	English Ivy	2 1/4" pots, 9" o.c.
Seasonals				
214	sf			

LEGEND :

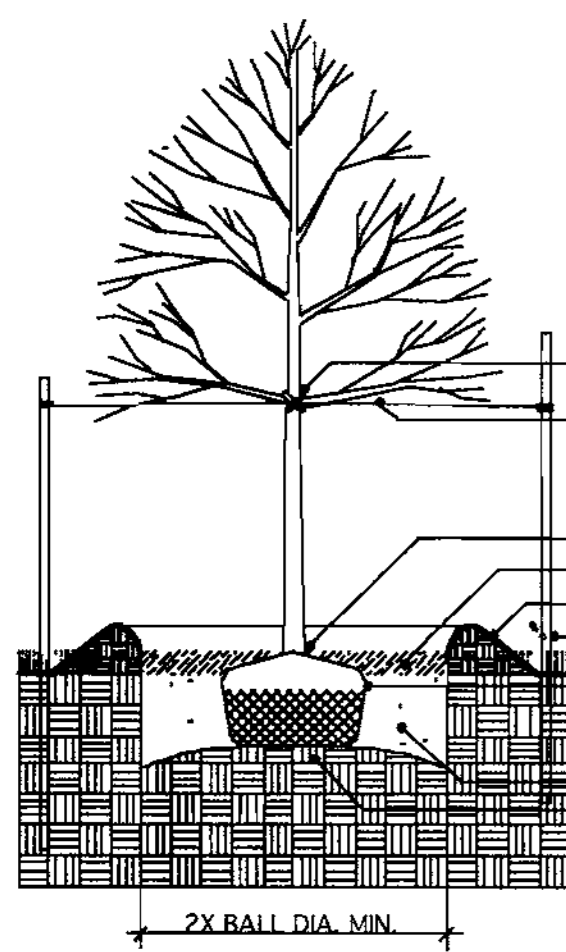
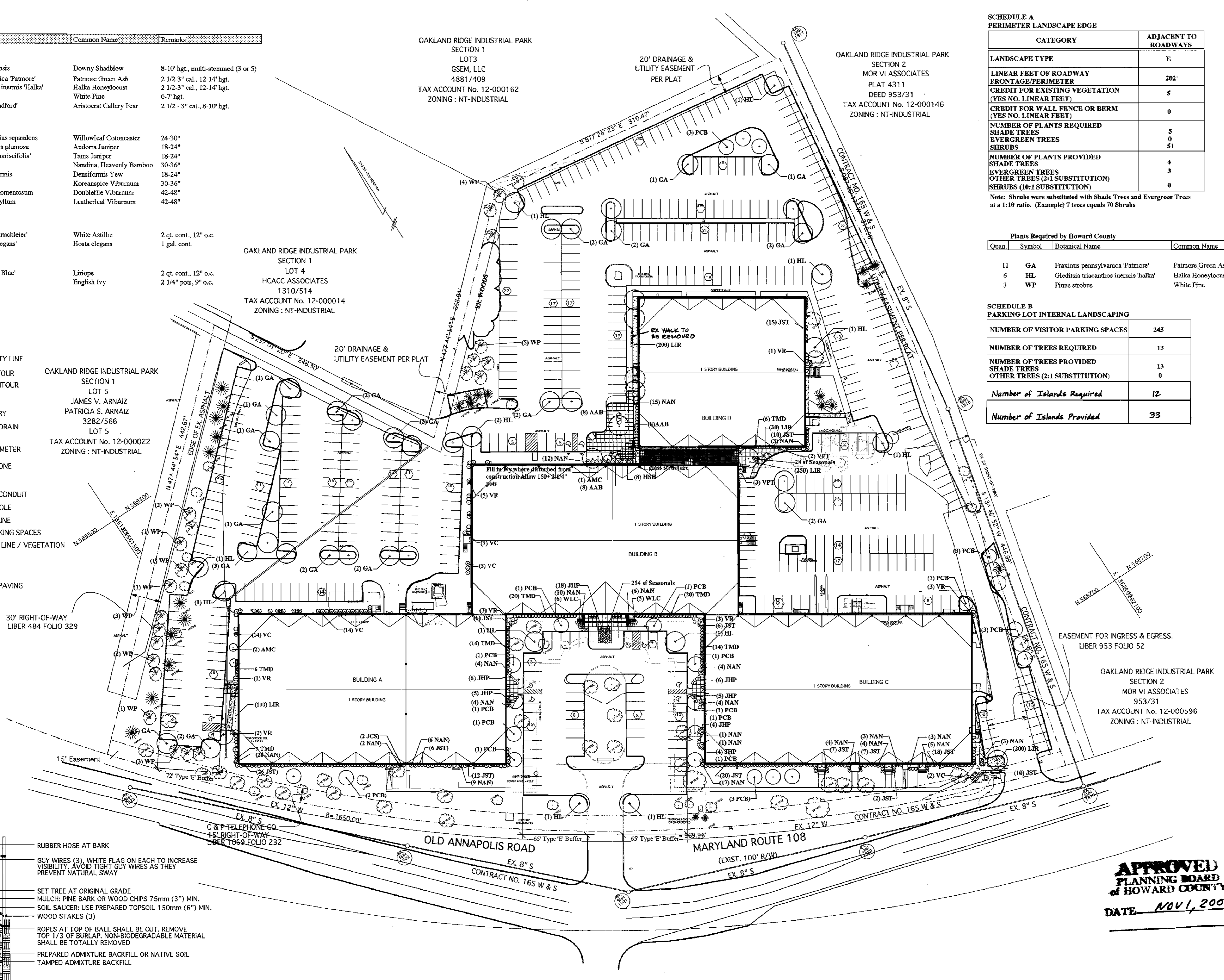
- EX. PROPERTY LINE
- EX. 2' CONTOUR
- EX. 10' CONTOUR
- EX. GAS
- EX. SANITARY
- EX. STORM DRAIN
- EX. WATER
- EX. WATER METER
- EX. TELEPHONE
- EX. CURB
- EX. ELECT. CONDUIT
- EX. LIGHT POLE
- EX. FENCE LINE
- No. OF PARKING SPACES
- EX. WOODS LINE / VEGETATION
- EX. TREE
- PROPOSED PAVING

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 5
JAMES V. ARNAIZ
PATRICIA S. ARNAIZ
3282/566
LOT 5
TAX ACCOUNT No. 12-000022
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 3
GSEM, LLC
4881/409
TAX ACCOUNT No. 12-000162
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 4
HCACC ASSOCIATES
1310/514
TAX ACCOUNT No. 12-000014
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 2
MOR VI ASSOCIATES
PLAT 4311
DEED 953/31
TAX ACCOUNT No. 12-000146
ZONING : NT-INDUSTRIAL



- RUBBER HOSE AT BARK
- GLY WIRES (3), WHITE FLAG ON EACH TO INCREASE VISIBILITY. AVOID TIGHT GUY WIRES AS THEY PREVENT NATURAL SWAY
- SET TREE AT ORIGINAL GRADE
- MULCH: PINE BARK OR WOOD CHIPS 75mm (3") MIN.
- SOIL SALCER: USE PREPARED TOPSOIL 150mm (6") MIN.
- WOOD STAKES (3)
- ROPES AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/3 OF BURLAP. NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED
- PREPARED ADMIXTURE BACKFILL OR NATIVE SOIL
- TAMPED ADMIXTURE BACKFILL

TREE PLANTING
N.T.S.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 3/7/01 DATE
 [Signature] 2/6/01 DATE
 [Signature] 3/2/01 DATE

**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS
LANDSCAPE TYPE	E
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	202'
CREDIT FOR EXISTING VEGETATION (YES NO, LINEAR FEET)	5
CREDIT FOR WALL FENCE OR BERM (YES NO, LINEAR FEET)	0
NUMBER OF PLANTS REQUIRED	5
SHADE TREES	0
EVERGREEN TREES	0
SHRUBS	5
NUMBER OF PLANTS PROVIDED	4
SHADE TREES	3
OTHER TREES (2:1 SUBSTITUTION)	3
SHRUBS (10:1 SUBSTITUTION)	0

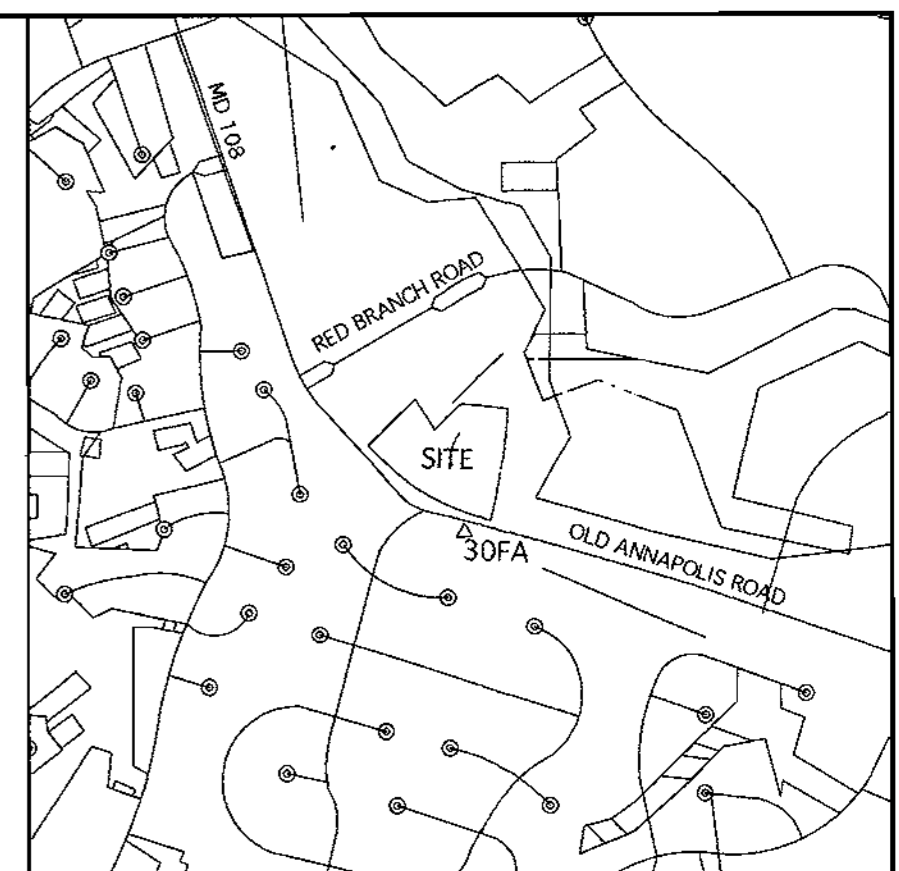
Note: Shrubs were substituted with Shade Trees and Evergreen Trees at a 1:10 ratio. (Example) 7 trees equals 70 Shrubs

Plants Required by Howard County

Quan	Symbol	Botanical Name	Common Name	Remarks
11	GA	Fraxinus pennsylvanica 'Patmore'	Patmore Green Ash	2 1/2-3" cal., 12-14' hgt.
6	HL	Gleditsia triacanthos inermis 'halka'	Halka Honeylocust	2 1/2-3" cal., 12-14' hgt.
3	WP	Pinus strobus	White Pine	6-7' hgt.

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF VISITOR PARKING SPACES	245
NUMBER OF TREES REQUIRED	13
NUMBER OF TREES PROVIDED	13
SHADE TREES	0
OTHER TREES (2:1 SUBSTITUTION)	0
Number of Islands Required	12
Number of Islands Provided	33



VICINITY MAP
SCALE: 1"=2000'

GENERAL NOTES :

1. CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:

- MISS UTILITY 800-257-7777
- C&P TELEPHONE 410-725-9976
- HOWARD COUNTY BUREAU OF UTILITIES 410-992-2966
- AT&T CABLE LOCATION DIVISION 410-393-3533
- BALTIMORE GAS & ELECTRIC CO. 410-685-0123
- STATE HIGHWAY ADMINISTRATION 410-531-5333
- HOWARD COUNTY CONSTRUCTION INSPECTION 410-313-1880

Developers/Builders Certificate

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the department of planning and zoning.

John M. Manara 12/6/00
Name Date

This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.

Financial surety for the required landscaping has been posted as part of the Dev. Agreement in the amount of \$5,550.00. This surety is based on 17 shade trees at \$300.00 each and 3 evergreen trees at \$150.00 each.

The owner, tenant, and/or their agents shall be responsible for the maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

3/7/02	2	GENERATOR # LOADING DOCK
11/10/02	1	GENERATOR # ENTRANCES
DATE	NO.	REVISION
OWNER/DEVELOPER WELLSFORD COMMERCIAL PROPERTIES TRUST 26 MAIN STREET CHATHAM, NEW JERSEY 07928 Attn: W. DREW HAZEN, JR. PH 973-701-2200		
PROJECT: OAKLAND RIDGE OFFICE PARK		
TITLE: Landscape Plan		

SLATER ASSOCIATES INC
5560 Sterrett Pl. Suite 302
Columbia, MD 21045
410.992.0001 - phone
410.992.0212 - fax
slaterj@erols.com

Richardson Engineering, LLC
730 W. Padonia Road
Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: JBS
DESIGNED BY: MJW and JBS
DRAWN BY: MJW
PROJECT NO.: 99005
DATE: 12/6/00
SCALE: 1" = 50'
DRAWING NO. 5 OF 6

SHEET INDEX :

- SHEET 1 SITE PLAN & NOTES.
- SHEET 2 GRADING & SEDIMENT CONTROL PLAN.
- SHEET 3 SEDIMENT CONTROL DETAILS.
- SHEET 4 SITE DETAILS.
- SHEET 5 LANDSCAPE PLAN.
- SHEET 6 DRAINAGE AREA MAP. EXISTING & PROPOSED CONDITIONS

SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
TOPO INFORMATION BY GERHOLD, CROSS & ETZEL DATED 1/00

ADDRESS CHART	
LOT/PARCEL#	STREET ADDRESS
6, 7, & 8	9052 OLD ANNAPOLIS ROAD

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL	TAX/ZONING MAP	ELECTION DIST	CENSUS TRACT
OAKLAND RIDGE INDUSTRIAL PARK	SECTION: 1	6, 7 & 8	30	2ND	6067.03
PLAT # OR L/F	BLOCK #	ZONING	TAX/ZONING MAP	ELECTION DIST	CENSUS TRACT
776/245	17	NT	30	2ND	6067.03
WATER CODE	SEWER CODE				

Plant List

Quan	Symbol	Botanical Name	Common Name	Remarks
Trees				
3	AMC	Amelanchier canadensis	Downy Shadblow	8-10' hgt., multi-stemmed (3 or 5)
30	GA	Fraxinus pennsylvanica 'Patmore'	Patmore Green Ash	2 1/2-3" cal., 12-14' hgt.
13	HL	Gleditsia triacanthos inermis 'Halka'	Halka Honeylocust	2 1/2-3" cal., 12-14' hgt.
23	WP	Pinus strobus	White Pine	6-7' hgt.
25	PCB	Pyrus calleryana 'Bradford'	Aristocrat Callery Pear	2 1/2 - 3" cal., 8-10' hgt.
Shrubs				
11	WLC	Cotoneaster salicifolius repandens	Willowleaf Cotoneaster	24-30"
48	JHP	Juniperus horizontalis plumosa	Andorra Juniper	18-24"
145	JST	Juniperus sabina 'amarisifolia'	Tams Juniper	18-24"
9	NAN	Nandina domestica	Nandina, Heavenly Bamboo	30-36"
8	TMD	Taxus media densiformis	Densiformis Yew	18-24"
42	VC	Viburnum carlesii	Koreanspice Viburnum	30-36"
1	VPT	Viburnum plicatum tomentosum	Doublefile Viburnum	42-48"
18	VR	Viburnum rhytidophyllum	Leatherleaf Viburnum	42-48"
Perennials				
24	AAB	Astilbe arendsi 'Brautschleier'	White Astilbe	2 qt. cont., 12" o.c.
8	HSB	Hosta sieboldiana 'elegans'	Hosta elegans	1 gal. cont.
Groundcover				
780	LIR	Liriope muscari 'Big Blue'	Liriope	2 qt. cont., 12" o.c.
150	IVY	Hedera helix	English Ivy	2 1/4" pots, 9" o.c.
Seasonals				
214	sf			

LEGEND :

- EX. PROPERTY LINE
- 112 EX. 2' CONTOUR
- 110 EX. 10' CONTOUR
- EX. GAS
- EX. SANITARY
- EX. STORM DRAIN
- EX. WATER
- EX. WATER METER
- EX. TELEPHONE
- EX. CURB
- EX. ELECT. CONDUIT
- EX. LIGHT POLE
- EX. FENCE LINE
- No. OF PARKING SPACES
- EX. WOODS LINE / VEGETATION
- EX. TREE
- PROPOSED PAVING

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 3
GSEM, LLC
4881/409
TAX ACCOUNT No. 12-000162
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 2
MOR VI ASSOCIATES
PLAT 4311
DEED 953/31
TAX ACCOUNT No. 12-000146
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 4
HCACC ASSOCIATES
1310/514
TAX ACCOUNT No. 12-000014
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 5
JAMES V. ARNAIZ
PATRICIA S. ARNAIZ
3282/566
LOT 5
TAX ACCOUNT No. 12-000022
ZONING : NT-INDUSTRIAL

30' RIGHT-OF-WAY
LIBER 484 FOLIO 329

EASEMENT FOR INGRESS & EGRESS,
LIBER 953 FOLIO 52

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 2
MOR VI ASSOCIATES
953/31
TAX ACCOUNT No. 12-000596
ZONING : NT-INDUSTRIAL

OLD ANNAPOLIS ROAD
MARYLAND ROUTE 108
(EXIST. 100' R/W)
CONTRACT NO. 165 W & S

SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
TOPO INFORMATION BY GERHOLD, CROSS & ETZEL DATED 7/00

SHEET INDEX :

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- SHEET 6 DRAINAGE AREA MAP, EXISTING & PROPOSED CONDITIONS

LOT/PARCEL#	STREET ADDRESS
6, 7, & 8	9052 OLD ANNAPOLIS ROAD

PROPERTY INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL	ELECTION DIST	CENSUS TRACT	
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8	2ND	6067.03	
PLAT # OR L/F	BLOCK #	ZONING	TAX/ZONING MAP		
776/245	1	NT	30		
			SEWER CODE		

SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS
LANDSCAPE TYPE	E
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	202'
CREDIT FOR EXISTING VEGETATION (YES NO, LINEAR FEET)	5
CREDIT FOR WALL FENCE OR BERM (YES NO, LINEAR FEET)	0
NUMBER OF PLANTS REQUIRED	5
SHADE TREES	5
EVERGREEN TREES	0
SHRUBS	51
NUMBER OF PLANTS PROVIDED	4
SHADE TREES	3
EVERGREEN TREES	0
OTHER TREES (2:1 SUBSTITUTION)	3
SHRUBS (10:1 SUBSTITUTION)	0

Note: Shrubs were substituted with Shade Trees and Evergreen Trees at a 1:10 ratio. (Example) 7 trees equals 70 Shrubs

Plants Required by Howard County

Quan	Symbol	Botanical Name	Common Name	Remarks
11	GA	Fraxinus pennsylvanica 'Patmore'	Patmore Green Ash	2 1/2-3" cal., 12-14' hgt.
6	HL	Gleditsia triacanthos inermis 'halka'	Halka Honeylocust	2 1/2-3" cal., 12-14' hgt.
3	WP	Pinus strobus	White Pine	6-7' hgt.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF VISITOR PARKING SPACES	245
NUMBER OF TREES REQUIRED	13
NUMBER OF TREES PROVIDED	13
SHADE TREES	0
OTHER TREES (2:1 SUBSTITUTION)	0
Number of Islands Required	12
Number of Islands Provided	33

GENERAL NOTES :

1. CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:

MISS UTILITY	800-257-7777
C&P TELEPHONE	410-725-9976
HOWARD COUNTY BUREAU OF UTILITIES	410-992-2366
AT&T CABLE LOCATION DIVISION	410-393-3553
BALTIMORE GAS & ELECTRIC CO.	410-685-0123
STATE HIGHWAY ADMINISTRATION	410-531-5333
HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION (24 HOURS NOTICE PRIOR TO	410-313-1880

Developers/Builders Certificate

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion, a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the department of planning and zoning.

John M. Manara 12/6/00
Name Date

This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.

Financial surety for the required landscaping has been posted as part of the Deed Agreement in the amount of \$5,550.00. This surety is based on 17 shade trees at \$300.00 each and 3 evergreen trees at \$150.00 each.

The owner, tenant, and/or their agents shall be responsible for the maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

9/10/04 4 ADD CANOPIES
8/16/02 3 GENERATOR ADDED

3/7/02 2 GENERATOR & LOADING DOCK
1/8/02 1 GENERATOR & ENTRANCES

DATE NO. REVISION

OWNER/DEVELOPER
WELLSFORD COMMERCIAL PROPERTIES TRUST
26 MAIN STREET
CHATHAM, NEW JERSEY 07928
Attn: W. DREW HAZEN, JR. PH 973-701-2200

PROJECT: **OAKLAND RIDGE OFFICE PARK**

TITLE: **Landscape Plan**

SLATER ASSOCIATES INC

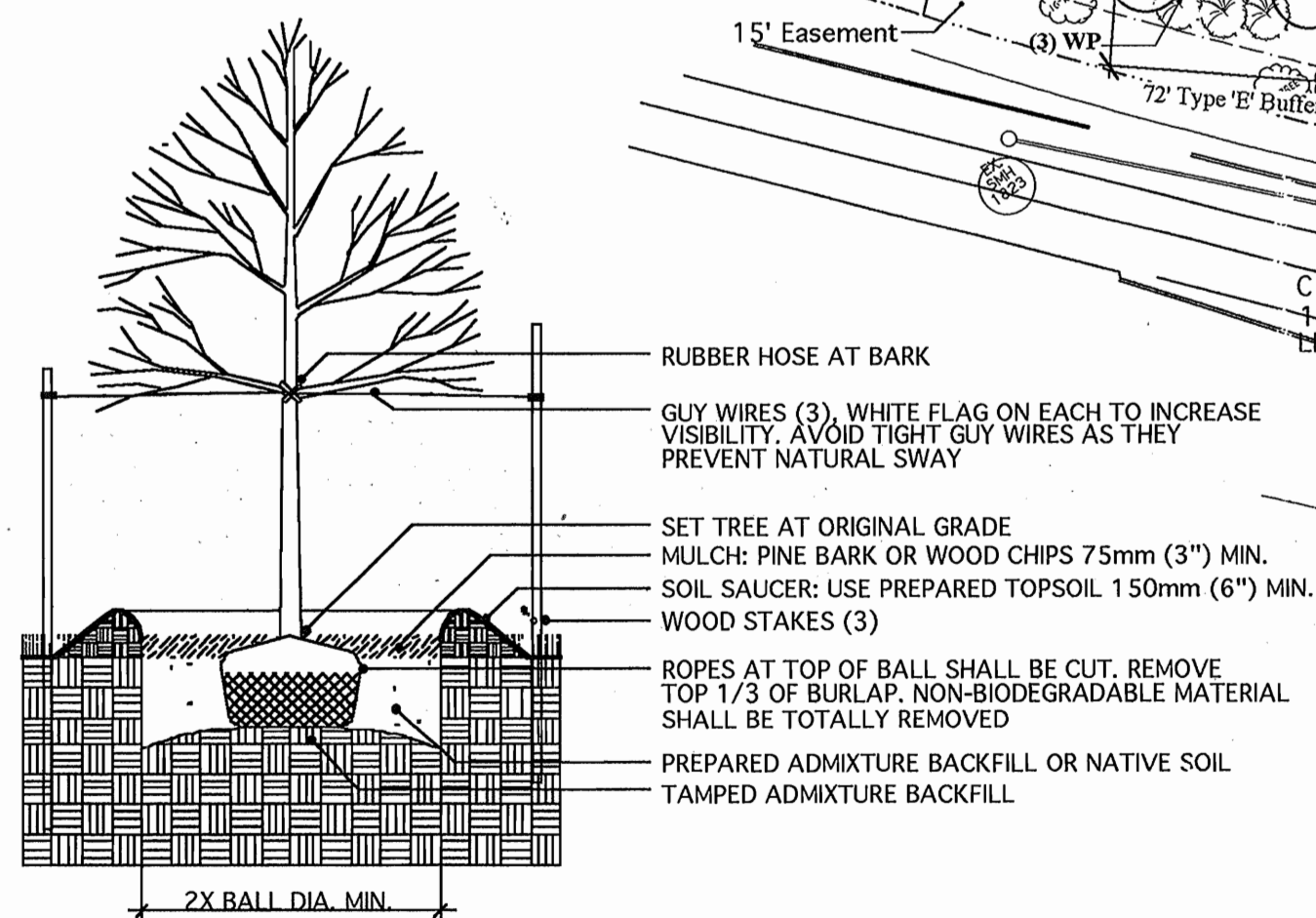
5560 Sterrett Pl, Suite 302
Columbia, MD 21045
410.992.0001 - phone
410.992.0212 - fax
slaterj@erols.com

Richardson Engineering, LLC

730 W. Pastoria Road
Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: JBS
DESIGNED BY: MJW and JBS
DRAWN BY: MJW
PROJECT NO.: 99005
DATE: 12/6/00
SCALE: 1" = 50'
DRAWING NO. 5 OF 6

STATE OF MARYLAND
John B. Slater
Professional Landscape Architect #
Date



TREE PLANTING
N.T.S.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

John M. Manara 3/7/01 DATE
Chief, Development Engineering Division
Cynthia Hernandez 3/8/01 DATE
Chief, Division of Land Development
James M. Smith 3/2/01 DATE
Director

REV 5 3/2/05 ADD CANOPY STEPS & RAMP

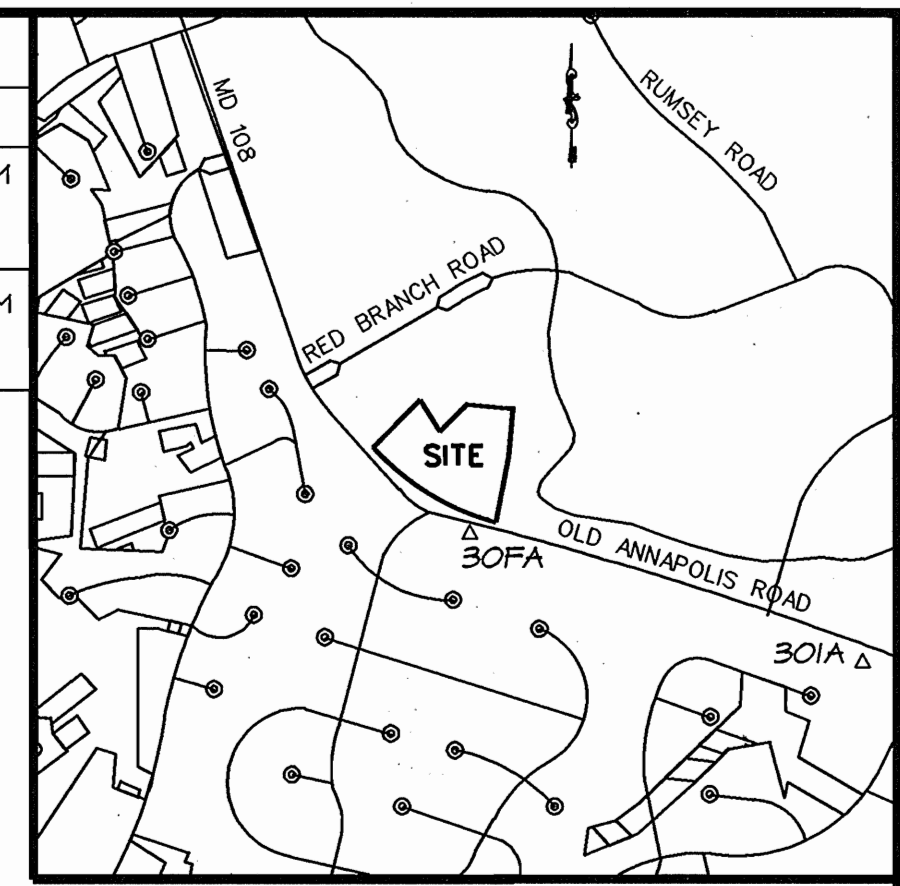
LEGEND :

SUPER SILT FENCE.....	
SILT FENCE.....	
STABILIZED CONSTRUCTION ENTRANCE.....	
STOCKPILE AREA.....	
CONTRACTOR'S STAGING AREA.....	
EXISTING CONTOURS.....	
PROPOSED CONTOURS.....	
LIMIT OF DISTURBANCE.....	

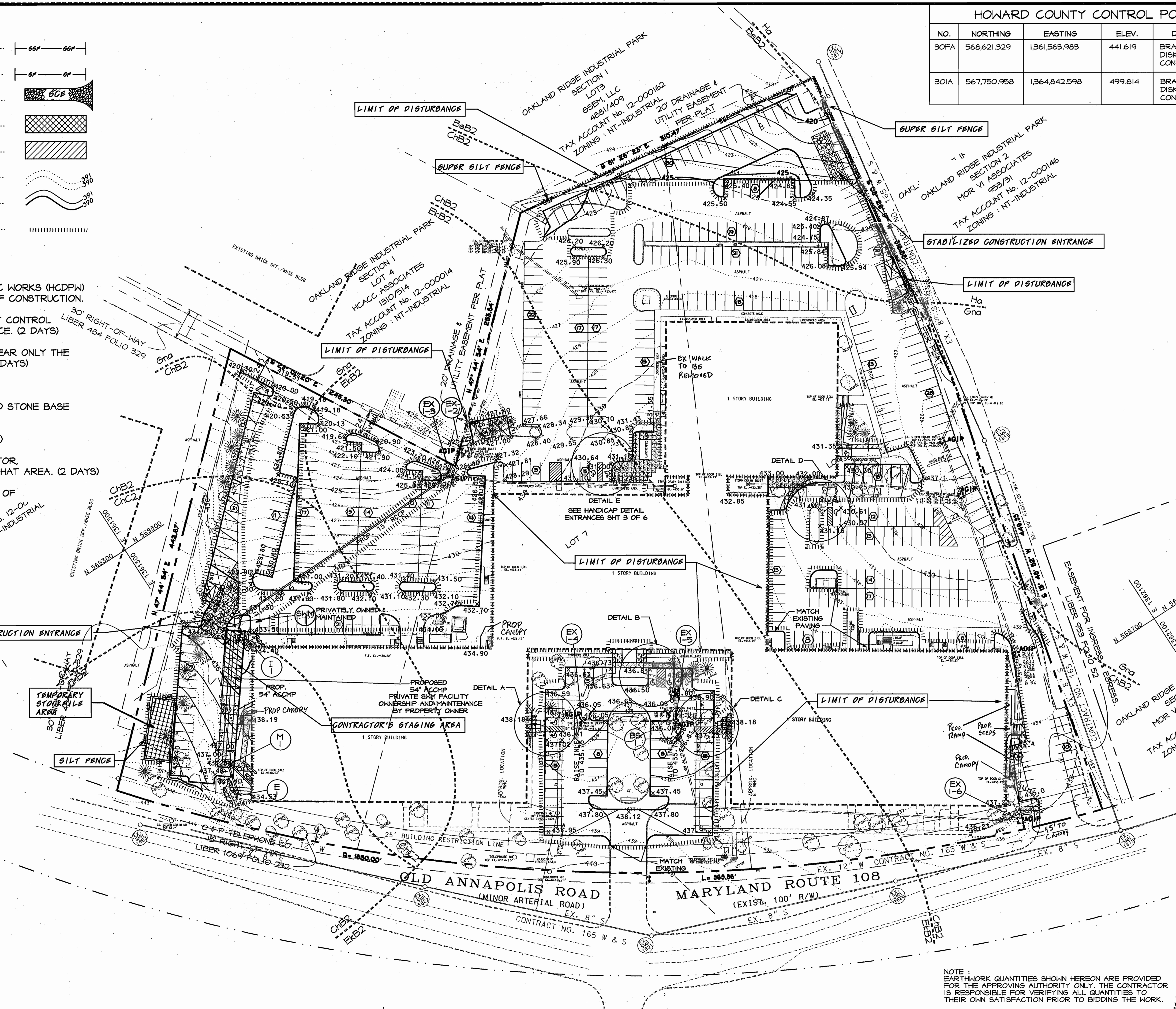
- SEQUENCE OF OPERATIONS**
1. NOTIFY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS (HCDPW) INSPECTORS 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
 2. CLEAR AND GRUB AS NECESSARY FOR SEDIMENT CONTROL INSTALLATION. INSTALL CONSTRUCTION ENTRANCE. (2 DAYS)
 3. CLEAR AND GRUB, AND ROUGH GRADE SITE. CLEAR ONLY THE AREAS THAT WILL BE WORKED IMMEDIATELY. (5 DAYS)
 4. CONSTRUCT BUILDING ADDITION. (30 DAYS)
 5. FINE GRADE PARKING LOT AND PLACE CURB AND STONE BASE COURSE IN THAT AREA. (3 DAYS)
 6. SEED AND MULCH ALL DISTURBED AREAS. (1 DAY)
 7. WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES FROM THAT AREA. (2 DAYS)
 8. STABILIZE ALL AREAS DISTURBED AS A RESULT OF SEDIMENT CONTROL REMOVAL. (2 DAYS)

HOWARD COUNTY CONTROL POINTS

NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
30FA	568,621.329	1,361,563.983	441.619	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN
30IA	567,750.958	1,364,842.598	499.814	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN



- SEDIMENT CONTROL NOTES :**
1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction 313-1855.
 2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
 3. Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
 4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. I, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
 5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching. Sec. 6 Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
 6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
 7. Site Analysis:
 Total Area of Site: 464,001 SF / 10.652 Acres
 Area Disturbed: 99,752 SF / 2.29 Acres
 Area to be roofed or paved: 931,254 SF / 7.60 Acres
 Area to be vegetatively stabilized: 132,945 SF / 3.05 Acres
 Total Cut: 1194 Cu. yds
 Total Fill: 1385 Cu. yds
 Offsite waste/borrow area location- A site with a currently active grading permit.
 8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
 9. Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
 10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
 11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.



BY THE DEVELOPER
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

John Mc Namara 2-13-01
 DEVELOPER DATE

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Richardson 2/13/01
 ENGINEER DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jim Myers 2/14/01
 USE - NATURAL RESOURCES CONSERVATION SERVICES DATE

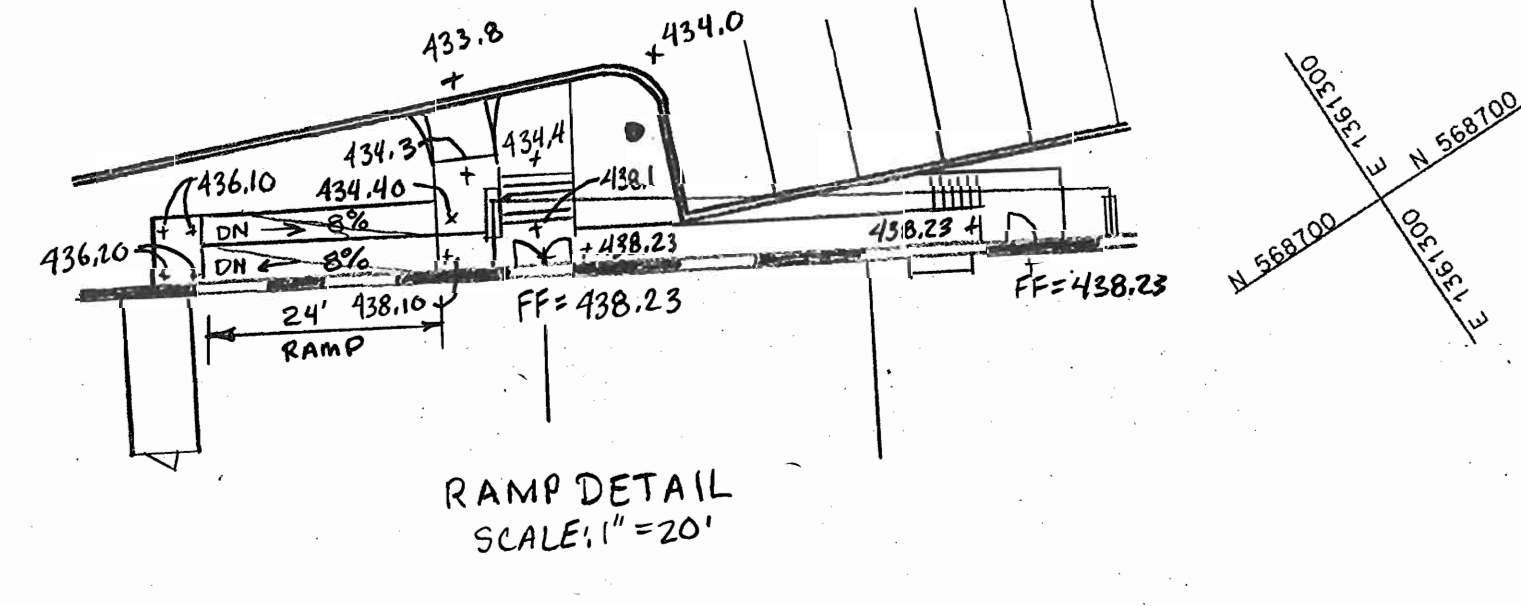
John Whitson 2/24/01
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

John Whitson 5/16/01
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Baratta 3/7/01
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

John Whitson 3/2/01
 DIRECTOR DATE



APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: Nov. 1, 2000

NOTE: EARTHWORK QUANTITIES SHOWN HEREON ARE PROVIDED FOR THE APPROVING AUTHORITY ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES TO THEIR OWN SATISFACTION PRIOR TO BIDDING THE WORK.

SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
 TOPO INFORMATION BY GERHOLD, CROSS & ETZEL DATED 1/00

ADDRESS CHART	
LOT/PARCEL*	STREET ADDRESS
6, 7, & 8	9042-9062 OLD ANNAPOLIS ROAD

PERMIT INFORMATION CHART					
SUBDIVISION NAME		SECTION/AREA	LOT/PARCEL		
OAKLAND RIDGE INDUSTRIAL PARK		SECTION 1	6, 7 & 8		
PLAT OR L/F	BLOCK	ZONING	TAX/ZONING MAP	ELECTION DIST	CENSUS TRACT
PLAT 12/65	17	NT-IND.	30	2ND	6067.03
WATER CODE	SEWER CODE				
604	5657100				

9/03/04	1	ADD CANOPIES
8/02/02	3	GENERATOR ADDED
9/1/02	2	GENERATOR & LOADING DOCK
1/8/02	1	GENERATOR & ENTRANCES
DATE	NO.	REVISION

OWNER/DEVELOPER
 WELLSFORD COMMERCIAL PROPERTIES TRUST
 26 MAIN STREET
 CHATHAM, NEW JERSEY 07928
 ATTN: HOWARD WOLF, PH 973-701-2200

PROJECT: **OAKLAND RIDGE OFFICE PARK RENOVATION**

TITLE
GRADING AND SEDIMENT CONTROL PLAN

Richardson Engineering, LLC

736 W. Potomac Road
 Cockeysville, Maryland 21030
 Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: PCR
 DESIGNED BY: PCR
 DRAWN BY: CADDS
 PROJECT NO.: 99005
 DATE: 7/19/00
 SCALE: 1"= 50'
 DRAWING NO. 2 OF 6

12/6/00
 DATE

FILE NO. SDP-00-134

Plant List

Quan.	Symbol	Botanical Name	Common Name	Remarks
Trees				
3	AMC	Amelanchier canadensis	Downy Shadblow	8-10' hgt., multi-stemmed (3 or 5)
30	GA	Fraxinus pennsylvanica 'Patmore'	Patmore Green Ash	2 1/2-3" cal., 12-14' hgt.
13	HL	Gleditsia triacanthos inermis 'Halka'	Halka Honeylocust	2 1/2-3" cal., 12-14' hgt.
23	WP	Pinus strobus	White Pine	6-7' hgt.
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81	TMD	Taxus media densiformis	Densiformis Yew	18-24"
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150	IVY	Hedera helix	English Ivy	2 1/4" pots, 9" o.c.
Seasonals				
214	of			

LEGEND :

- EX. PROPERTY LINE
- 112 EX. 2' CONTOUR
- 1:9 EX. 10' CONTOUR
- EX. GAS
- EX. SANITARY
- EX. STORM DRAIN
- EX. WATER
- EX. WATER METER
- EX. TELEPHONE
- EX. CURB
- EX. ELECT. CONDUIT
- EX. LIGHT POLE
- EX. FENCE LINE
- No. OF PARKING SPACES
- EX. WOODS LINE / VEGETATION
- EX. TREE
- PROPOSED PAVING

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 3
GSEM, LLC
4881/409
TAX ACCOUNT No. 12-000162
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 2
MOR VI ASSOCIATES
PLAT 4311
DEED 953/31
TAX ACCOUNT No. 12-000146
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 4
HCACC ASSOCIATES
1310/514
TAX ACCOUNT No. 12-000014
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 5
JAMES V. ARNAIZ
PATRICIA S. ARNAIZ
3282/566
LOT 5
TAX ACCOUNT No. 12-000022
ZONING : NT-INDUSTRIAL

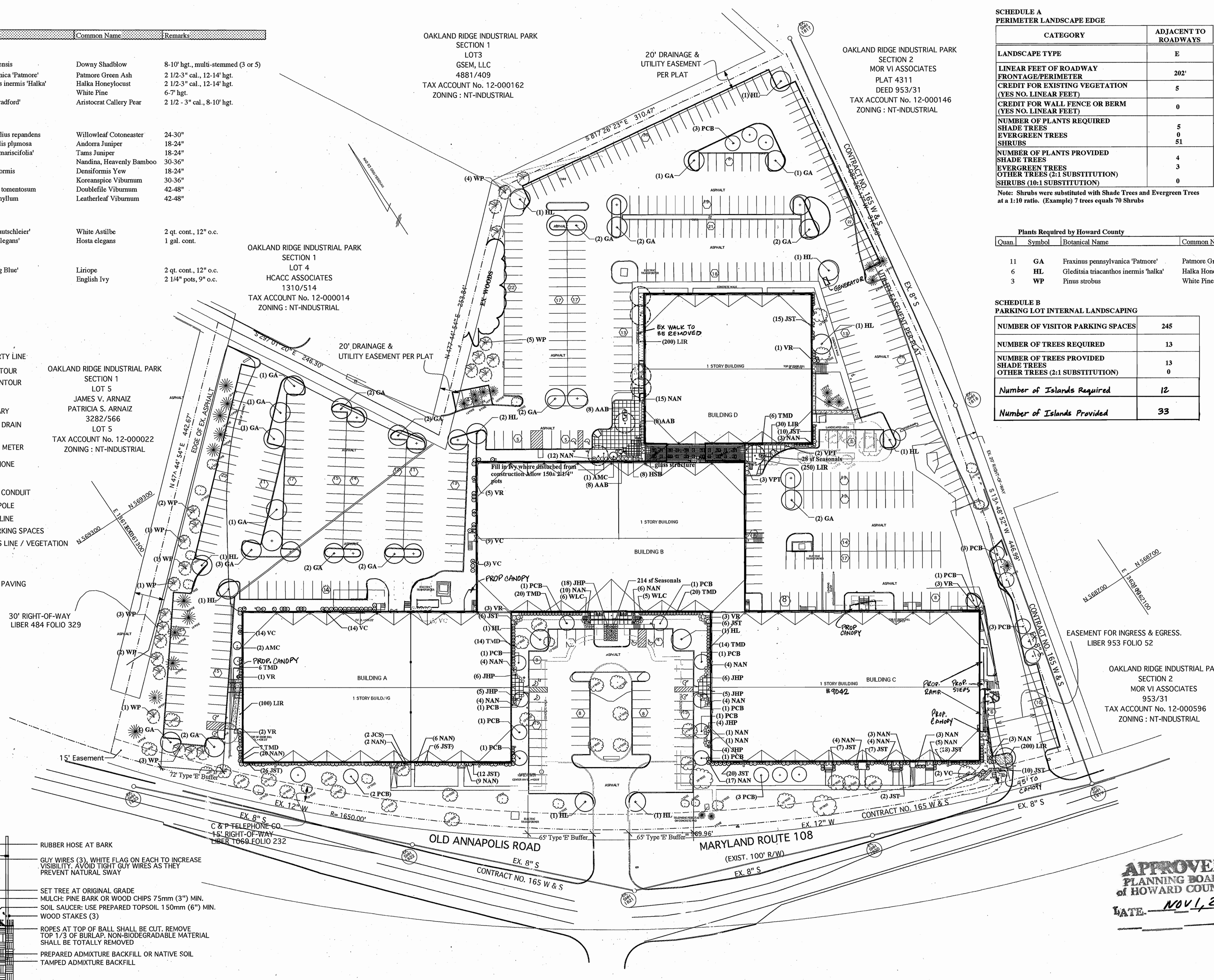
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LIBER 953 FOLIO 52
OAKLAND RIDGE INDUSTRIAL PARK
SECTION 2
MOR VI ASSOCIATES
953/31
TAX ACCOUNT No. 12-000596
ZONING : NT-INDUSTRIAL

- RUBBER HOSE AT BARK
- GUY WIRES (3), WHITE FLAG ON EACH TO INCREASE VISIBILITY. AVOID TIGHT GUY WIRES AS THEY PREVENT NATURAL SWAY
- SET TREE AT ORIGINAL GRADE
- MULCH: PINE BARK OR WOOD CHIPS 75mm (3") MIN.
- SOIL SAUCER: USE PREPARED TOPSOIL 150mm (6") MIN.
- WOOD STAKES (3)
- ROPES AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/3 OF BURLAP. NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED
- PREPARED ADMIXTURE BACKFILL OR NATIVE SOIL
- TAMPED ADMIXTURE BACKFILL

TREE PLANTING
N.T.S.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
John B. Slater 3/7/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Chris Hamilton 3/8/01
CHIEF, DIVISION OF LAND DEVELOPMENT
Angela... 3/9/01



SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS
LANDSCAPE TYPE	E
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	202'
CREDIT FOR EXISTING VEGETATION (YES NO. LINEAR FEET)	5
CREDIT FOR WALL FENCE OR BERM (YES NO. LINEAR FEET)	0
NUMBER OF PLANTS REQUIRED	5
SHADE TREES	5
EVERGREEN TREES	0
SHRUBS	51
NUMBER OF PLANTS PROVIDED	4
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EVERGREEN TREES	0
OTHER TREES (2:1 SUBSTITUTION)	3
SHRUBS (10:1 SUBSTITUTION)	0

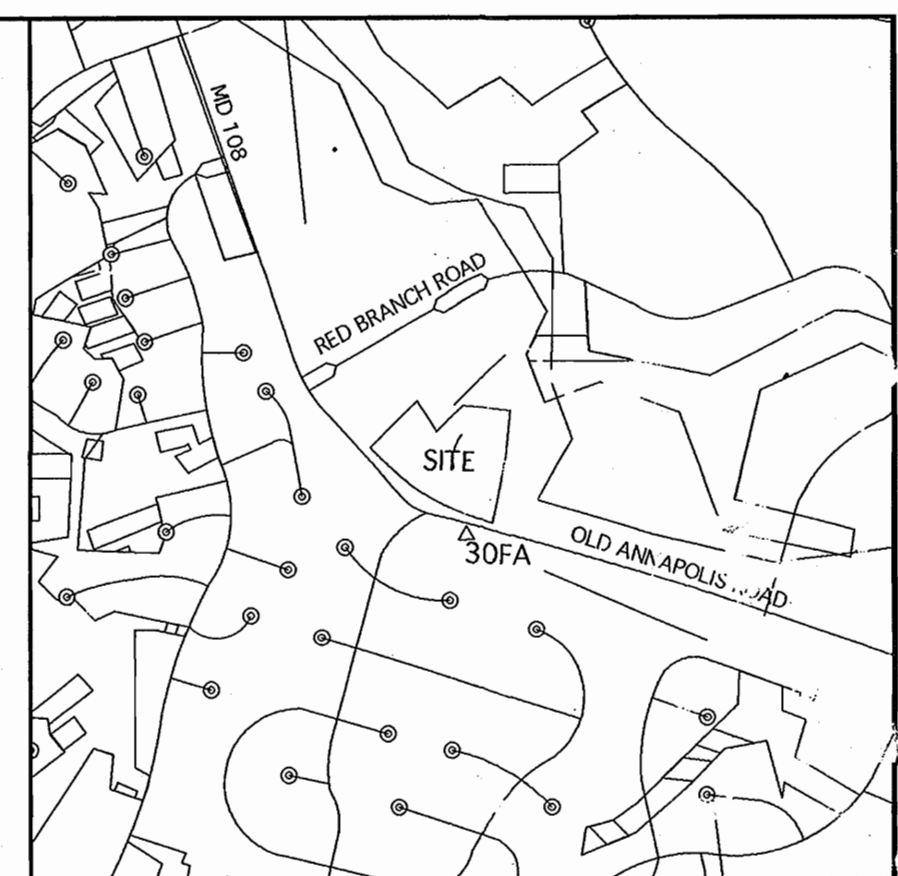
Note: Shrubs were substituted with Shade Trees and Evergreen Trees at a 1:10 ratio. (Example) 7 trees equals 70 Shrubs

Plants Required by Howard County

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SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF VISITOR PARKING SPACES	245
NUMBER OF TREES REQUIRED	13
NUMBER OF TREES PROVIDED	13
SHADE TREES	0
OTHER TREES (2:1 SUBSTITUTION)	0
Number of Islands Required	12
Number of Islands Provided	33



VICINITY MAP
SCALE: 1"=2000'

GENERAL NOTES :

- CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:

MISS UTILITY 800-257-7777
C&P TELEPHONE 410-725-9976
HOWARD COUNTY BUREAU OF UTILITIES 410-992-2366
AT&T CABLE LOCATION DIVISION 410-393-3553
BALTIMORE GAS & ELECTRIC CO. 410-685-0123
STATE HIGHWAY ADMINISTRATION 410-531-5335
HOWARD COUNTY CONSTRUCTION INSPECTION 410-313-1880
DIVISION (24 HOURS NOTICE PRIOR TO)

Developers/Builders Certificate

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion, a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the department of planning and zoning.

John M. Manara 12/6/00
Name Date

This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.

Financial surety for the required landscaping has been posted as part of the **Dev. Agreement** in the amount of \$5,550.00. This surety is based on 1 shade tree at \$300.00 each and 3 evergreen trees at \$150.00 each.

The owner, tenant, and/or their agents shall be responsible for the maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

3/10/02	4	ADD CANOPIES
3/16/02	3	GENERATOR ADDED
3/7/02	2	GENERATOR & LOADING DOCK
1/10/02	1	GENERATOR & ENTRANCES

OWNER/DEVELOPER
WELLSFORD COMMERCIAL PROPERTIES TRUST
26 MAIN STREET
CHATHAM, NEW JERSEY 07928
Attn: W. DREW HAZEN, JR. PH 973-701-2200

PROJECT: **OAKLAND RIDGE OFFICE PARK**

TITLE: **Landscape Plan**

SLATER ASSOCIATES INC
5560 Sterrett Pl. Suite 302
Columbia, MD 21045
410.992.0001 - phone
410.992.0212 - fax
slaterj@erols.com

Richardson Engineering, LLC
730 W. Padonia Road
Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: JBS
DESIGNED BY: MJW and JBS
DRAWN BY: MJW
PROJECT NO.: 99005
DATE: 12/6/00
SCALE: 1" = 50'
DRAWING NO. 5 OF 6
FIL# NO. SUP-00-134

SHEET INDEX :

- SHEET 1 SITE PLAN & NOTES.
- SHEET 2 GRADING & SEDIMENT CONTROL PLAN.
- SHEET 3 SEDIMENT CONTROL DETAILS.
- SHEET 4 SITE DETAILS.
- SHEET 5 LANDSCAPE PLAN.
- SHEET 6 DRAINAGE AREA MAP, EXISTING & PROPOSED CONDITIONS

SURVEY INFORMATION PREPARED BY LDF, INC. DATED 6/99
TOPO INFORMATION BY GERHOLD, CROSS & FTZEL DATED 7/00

LOT/PARCEL#	STREET ADDRESS
6, 7, & 8	9052 OLD ANNAPOLIS ROAD

PROPERTY INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL	ELECTION DIST	CENSUS TRACT	
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8	2ND	6067.03	
PLAT # OR L/F	BLOCK # <td>ZONING <td>TAX/ZONING MAP <td>SEWER CODE <td></td> </td></td></td>	ZONING <td>TAX/ZONING MAP <td>SEWER CODE <td></td> </td></td>	TAX/ZONING MAP <td>SEWER CODE <td></td> </td>	SEWER CODE <td></td>	
776/245	1	NT	30		

REV 6 6/7/05 ADD CANOPY TO REAR OF BLDG
5 3/21/05 ADD CANOPY STEPS & RAMP

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: NOV 1, 2000

LEGEND :

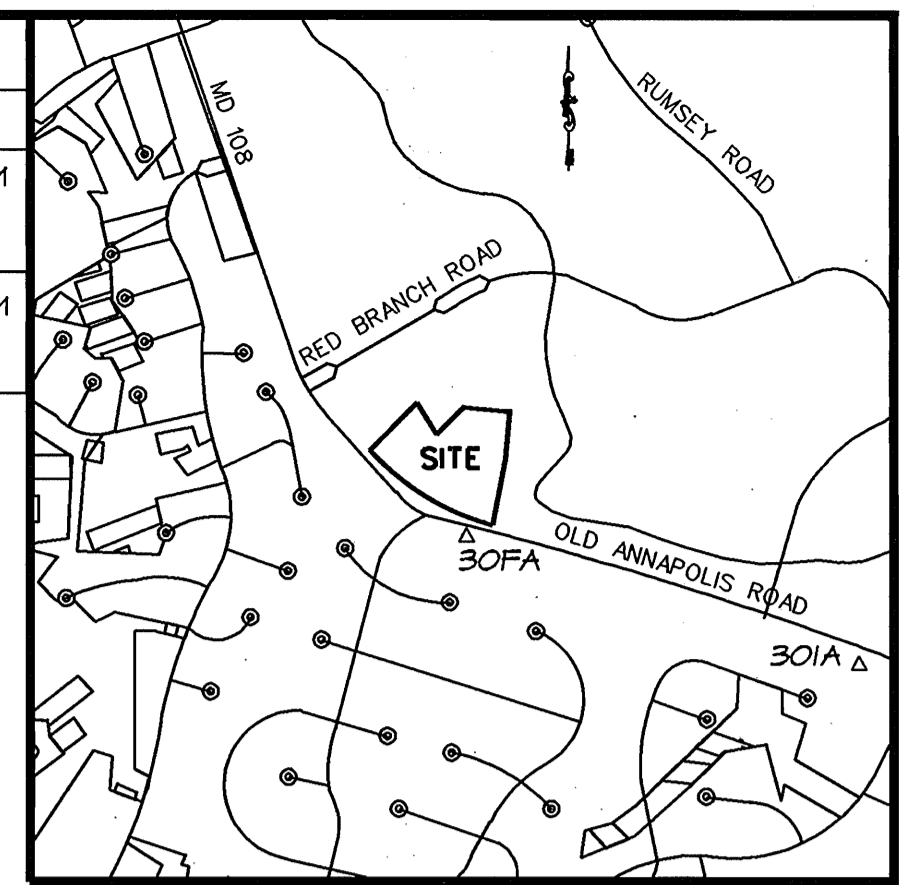
- SUPER SILT FENCE..... [Symbol]
- SILT FENCE..... [Symbol]
- STABILIZED CONSTRUCTION ENTRANCE..... [Symbol]
- STOCKPILE AREA..... [Symbol]
- CONTRACTOR'S STAGING AREA..... [Symbol]
- EXISTING CONTOURS..... [Symbol]
- PROPOSED CONTOURS..... [Symbol]
- LIMIT OF DISTURBANCE..... [Symbol]

SEQUENCE OF OPERATIONS

1. NOTIFY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS (HCDPW) INSPECTORS 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CLEAR AND GRUB AS NECESSARY FOR SEDIMENT CONTROL INSTALLATION. INSTALL CONSTRUCTION ENTRANCE. (2 DAYS)
3. CLEAR AND GRUB, AND ROUGH GRADE SITE. CLEAR ONLY THE AREAS THAT WILL BE WORKED IMMEDIATELY. (5 DAYS)
4. CONSTRUCT BUILDING ADDITION. (30 DAYS)
5. FINE GRADE PARKING LOT AND PLACE CURB AND STONE BASE COURSE IN THAT AREA. (3 DAYS)
6. SEED AND MULCH ALL DISTURBED AREAS. (1 DAY)
7. WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES FROM THAT AREA. (2 DAYS)
8. STABILIZE ALL AREAS DISTURBED AS A RESULT OF SEDIMENT CONTROL REMOVAL. (2 DAYS)

HOWARD COUNTY CONTROL POINTS

NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
30FA	568,621.329	1,361,563.983	441.619	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN
30IA	567,750.958	1,364,842.598	499.814	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN



SEDIMENT CONTROL NOTES :

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction 313-1855.
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
3. Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching, Sec. G. Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:

Total Area of Site	464,001 SF / 10.652 Acres
Area Disturbed	99,752 SF / 2.29 Acres
Area to be roofed or paved	331,254 SF / 7.60 Acres
Total Cut	1194 Cu. yds
Total Fill	1365 Cu. yds

 Offsite waste/borrow area location- A site with a currently active grading permit.
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.

DATE	NO.	REVISION
01/03/04	4	ADD CANNPIES
08/02	3	GENERATOR ADDED
3/1/02	2	GENERATOR & LOADING DOCK
1/8/02	1	GENERATOR & ENTRANCES

OWNER/DEVELOPER
WELLSFORD COMMERCIAL PROPERTIES TRUST
26 MAIN STREET
CHATHAM, NEW JERSEY 07928
Attn: HOWARD WOLF, PH 973-701-2200

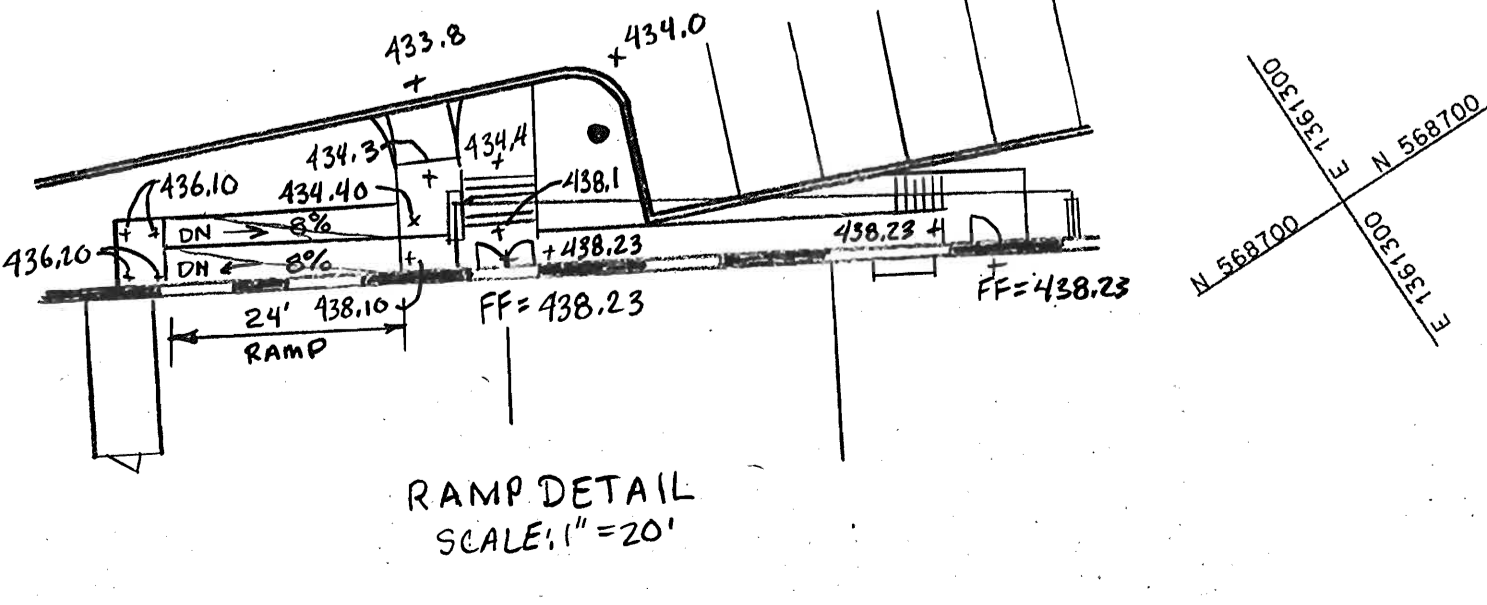
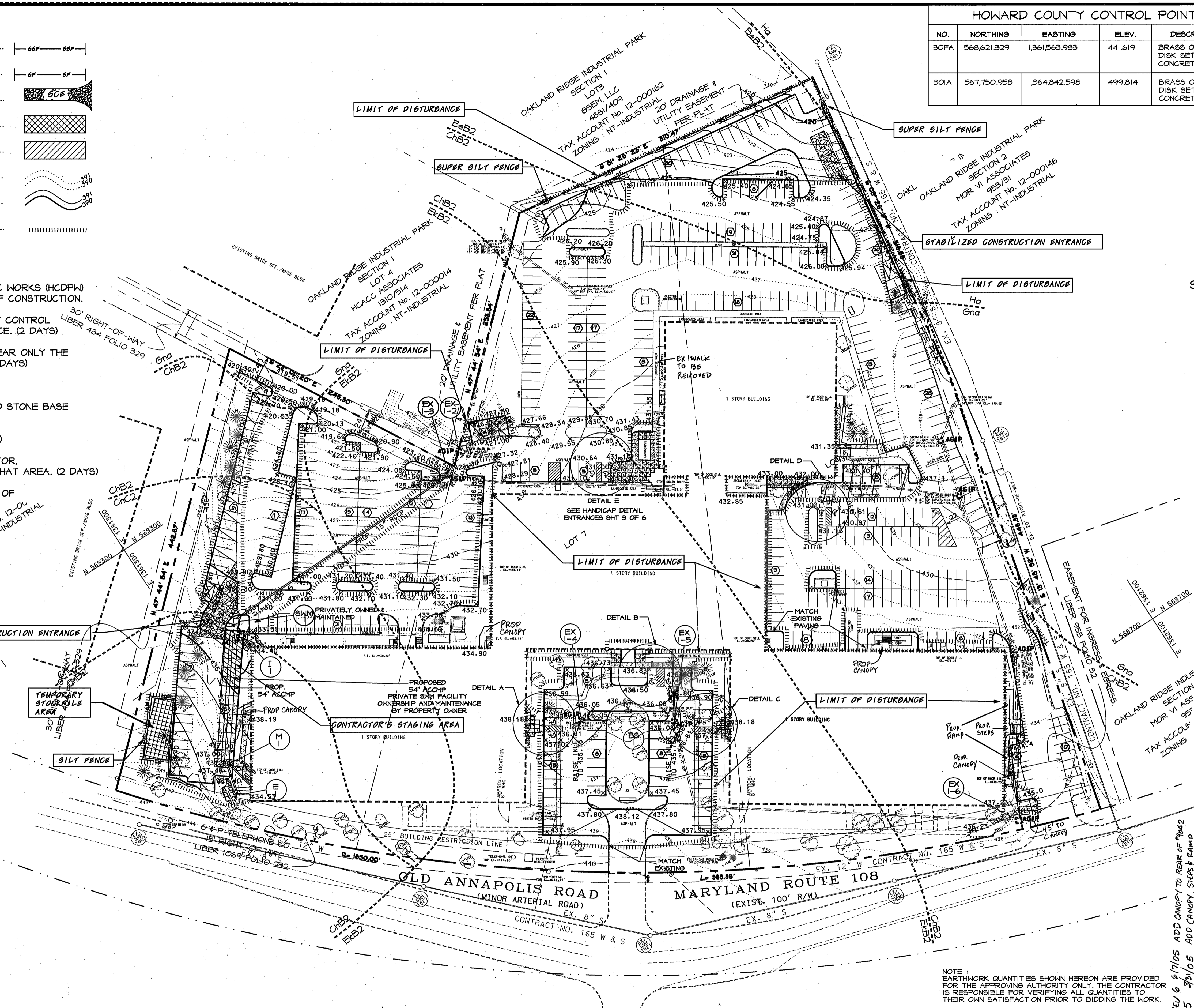
PROJECT: OAKLAND RIDGE OFFICE PARK RENOVATION

TITLE: GRADING AND SEDIMENT CONTROL PLAN

Richardson Engineering, LLC

730 W. Potomac Road
Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: PCR
DESIGNED BY: PCR
DRAWN BY: CADDS
PROJECT NO.: 99005
DATE: 7/19/00
SCALE: 1"=50'
DRAWING NO. 2 OF 6



BY THE DEVELOPER
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

John Mc Namara
DEVELOPER
DATE: 2-13-01

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Richard Richardson
ENGINEER
DATE: 2/13/01

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
Jim Mayo
DATE: 2/24/01

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John Whitson
DATE: 2/24/01

APPROVED: DEPARTMENT OF PLANNING AND ZONING
John Whitson
DATE: 2/24/01

John Whitson
DATE: 2/24/01
Cindy Pamela
DATE: 3/7/01
John Whitson
DATE: 3/9/01

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: Nov. 1, 2000

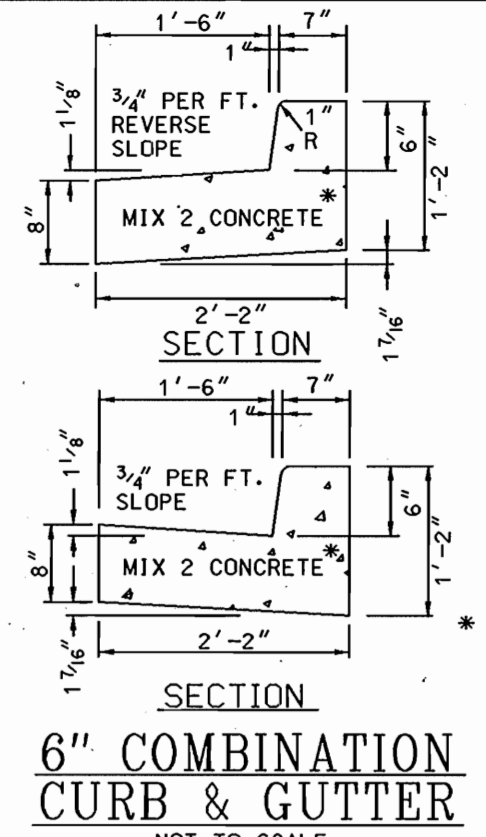
SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
TOPG INFORMATION BY GERHOLD, CROSS & ETZEL DATED 1/00

ADDRESS CHART	
LOT/PARCEL*	STREET ADDRESS
6, 7, & 8	9042-9082 OLD ANNAPOLIS ROAD

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL		
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8		
PLAT * OR L/P	BLOCK *	ZONING	TAX/ZONING MAP	ELECTION DIST
PLAT 12/65	17	NT-IND.	30	2ND
WATER CODE	604	SEWER CODE	5657100	

LEGEND :

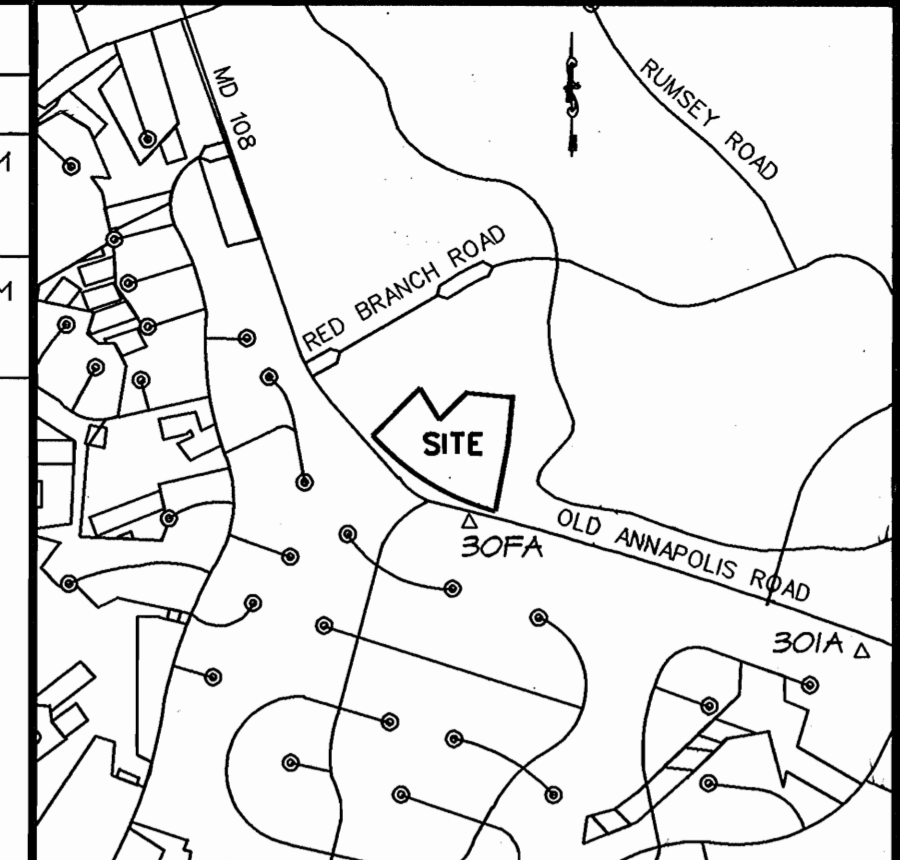
---	EX. PROPERTY LINE
- - - - -	EX. 2' CONTOUR
- - - - -	EX. 10' CONTOUR
---	EX. GAS
---	EX. SANITARY
---	EX. STORM DRAIN
---	EX. WATER
---	EX. WATER METER
---	EX. TELEPHONE
---	EX. CURB
---	EX. ELECT. CONDUIT
---	EX. LIGHT POLE
---	EX. FENCE LINE
---	EX. NO. OF PARKING SPACES
---	EX. WOODS LINE / VEGETATION
---	EX. TREE
---	PROPOSED PAVING



- CONSTRUCTION NOTES :**
- C-1 PROPOSED CONC. CURB.
 - C-2 INSTALL P-2 PAVING.
 - C-3 REMOVE EX. CURB.
 - C-4 INSTALL COMPACT PARK SPACE SIGN.
 - C-5 CONSTRUCT H.C. RAMP.
 - C-6 CONSTRUCT CONC. SIDEWALK.
 - C-7 REMOVE EXISTING WALK
 - C-8 PAINT STRIPE PER MANUFACTURERS SPECIFICATIONS
 - C-9 1\"/>

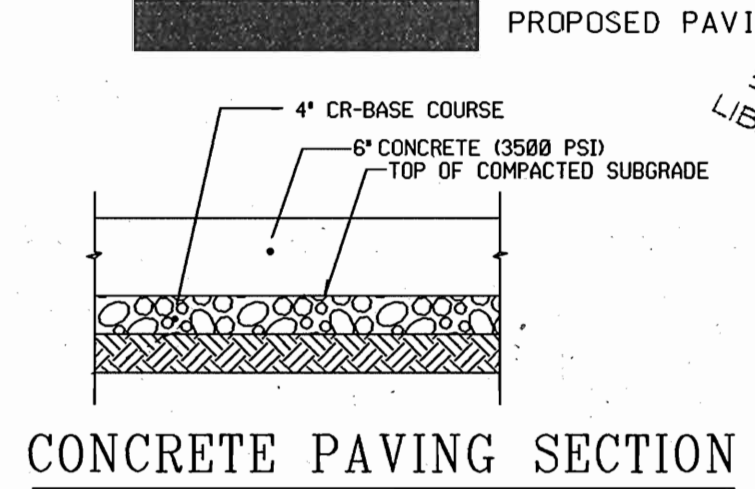
HOWARD COUNTY CONTROL POINTS

NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
30FA	568,621.329	1,361,563.983	441.619	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN
30IA	567,750.958	1,364,842.598	499.814	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN

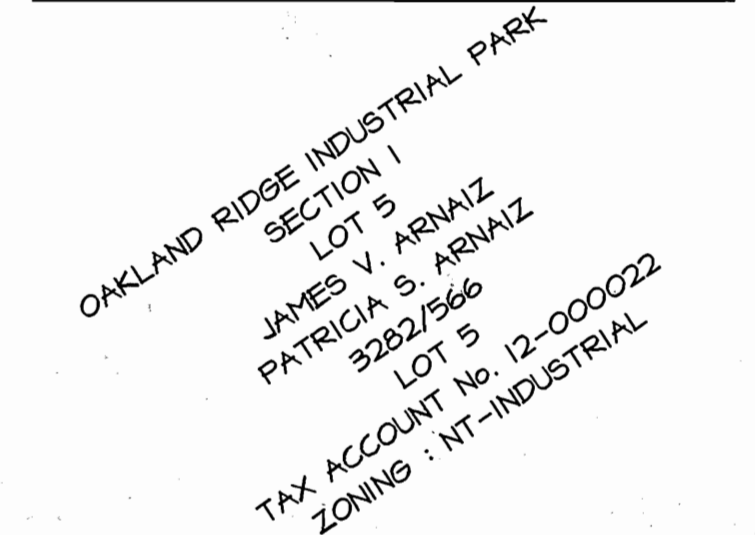


- SITE NOTES :**
1. Total Area of Lot : 464,001 SF / 10.652 AC. +/-
List of Submission : 229 AC. +/-
 2. Existing Use : OFFICE/WAREHOUSE
Proposed Use : OFFICE/WAREHOUSE
 3. Owner/Developer : WELLSFORD COMMERCIAL PROPERTIES TRUST
26 MAIN STREET
CHATHAM, NEW JERSEY 07928
Attn: HOWARD WOLF, PH 973-701-2200
 4. Existing Zoning : NT-INDUSTRIAL
 5. Existing Building : 145,735 SF
Proposed Building : 1120 SF
Total Building : 146,855 SF
 6. Setbacks : Front : 25'
Side : 0'
Rear : 0'
 7. Parking Computations :
Number of Parking Spaces Required : 145,735 SF / 1000 SF = 146 SPACES
Number of Parking Spaces Provided : 16 HC SPACES
Number of Compact Spaces Provided : 285 SPACES (11 HC SPACES)
Includes 136 Compact Spaces (3)
Compact Spaces Allowed up to 25' (144 sp.)
Existing # Parking Spaces = 392 (incl. 7 HC SP.)
 8. Open Space : 67820 SF / 91432 SF = 74%
 9. Floor Area Ratio : 146,855 SF / 464,001 SF = 0.32
 10. Applicable DPZ Ref. : FPP-3-A PLAT (F-66-37), (SDP-69-17) & (SDP-75-23)
 11. Disturbed Area : 99753 SF or 2.29 AC. +/-
 12. Existing utility connections to remain.

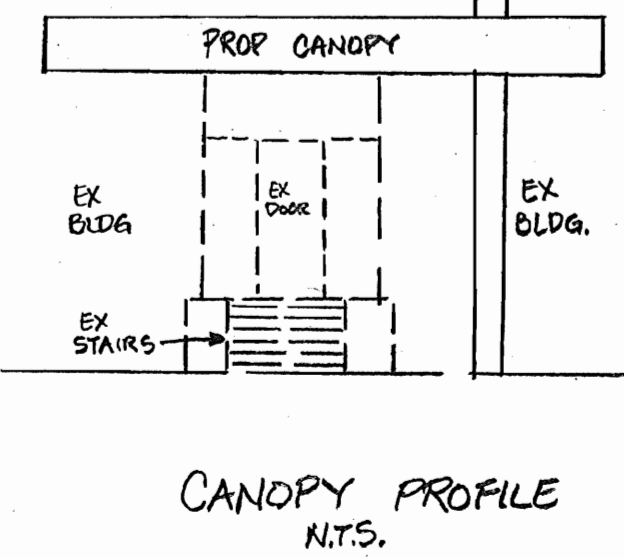
- GENERAL NOTES :**
1. ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42\"/>



CONCRETE PAVING SECTION
NOT TO SCALE



CONCRETE SIDEWALK SECTION
NOT TO SCALE



CANOPY PROFILE
N.T.S.

SHEET INDEX :

SHEET 1	SITE PLAN & NOTES.
SHEET 2	GRADING & SEDIMENT CONTROL PLAN.
SHEET 3	SEDIMENT CONTROL DETAILS.
SHEET 4	SITE DETAILS.
SHEET 5	LANDSCAPE PLAN.
SHEET 6	DRAINAGE AREA MAP

ADDRESS CHART

LOT/PARCEL*	STREET ADDRESS
6, 7, & 8	9042-9062 OLD ANNAPOLIS ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8
PLAT * OR L/F	BLOCK *	ZONING
PLAT 12/65	17	NT-IND.
WATER CODE	604	SEWER CODE
		5657400

DATE	NO.	REVISION
3/7/02	1	GENERATOR & LOADING DOCK
1/8/02	2	GENERATOR & ENTRANCES

OWNER/DEVELOPER
WELLSFORD COMMERCIAL PROPERTIES TRUST
26 MAIN STREET
CHATHAM, NEW JERSEY 07928
Attn: HOWARD WOLF, PH 973-701-2200

PROJECT: OAKLAND RIDGE OFFICE PARK RENOVATION

TITLE: SITE PLAN

Richardson Engineering, LLC

730 W. Padonia Road
Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: PCR
DESIGNED BY: PCR
DRAWN BY: CADDS
PROJECT NO.: 99005
DATE: 7/19/00
SCALE: 1" = 50'
DRAWING NO. 1 OF 6

APPROVED: DEPARTMENT OF PLANNING AND ZONING

W. D. ... 3/16/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy ... 3/7/01
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

... 3/9/01
DIRECTOR DATE

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: Nov. 1, 2000

REV # 6/7/05 ADD CANOPY TO RENOV. #042
5/3/05 ADD CANOPY, STEPS & ENTR

Plant List

Quant	Symbol	Botanical Name	Common Name	Remarks
3	AMC	Amelanchier canadensis	Downy Shadblow	8-10' hgt., multi-stemmed (3 or 5)
30	GA	Fraxinus pennsylvanica 'Patmore'	Patmore Green Ash	2 1/2-3" cal., 12-14' hgt.
13	HL	Gleditsia triacanthos inermis 'Halka'	Halka Honeylocust	2 1/2-3" cal., 12-14' hgt.
23	WP	Pinus strobus	White Pine	6-7' hgt.
25	PCB	Pinus calleryana 'Bradford'	Aristocrat Callery Pear	2 1/2 - 3" cal., 8-10' hgt.
9	LC	CYPRESS X LETLANDII	LEYLAND CYPRESS	3.4' HT.
Shrubs				
11	WLC	Cotoneaster salicifolius repandens	Willowleaf Cotoneaster	24-30"
48	JHP	Juniperus horizontalis plumosa	Andorra Juniper	18-24"
145	JST	Juniperus sabinna 'tamariscifolia'	Tams Juniper	18-24"
106	NAN	Nandina domestica	Nandina, Heavenly Bamboo	30-36"
81	TMD	Taxus media densiformis	Densiformis Yew	18-24"
42	VC	Viburnum carlesii	Koreanspice Viburnum	30-36"
18	VPT	Viburnum plicatum tomentosum	Doublefile Viburnum	42-48"
18	VR	Viburnum rhytidophyllum	Leatherleaf Viburnum	42-48"
Perennials				
24	AAB	Astilbe arendsii 'Brautschleier'	White Astilbe	2 qt. cont., 12" o.c.
8	HSB	Hosta sieboldiana 'elegans'	Hosta elegans	1 gal. cont.
Groundcover				
780	LIR	Liriope muscari 'Big Blue'	Liriope	2 qt. cont., 12" o.c.
150	IVY	Hedera helix	English Ivy	2 1/4" pots, 9" o.c.
Seasonals				
215				

LEGEND :

- EX. PROPERTY LINE
- EX. 2' CONTOUR
- EX. 10' CONTOUR
- EX. GAS
- EX. SANITARY
- EX. STORM DRAIN
- EX. WATER
- EX. WATER METER
- EX. TELEPHONE
- EX. CURB
- EX. ELECT. CONDUIT
- EX. LIGHT POLE
- EX. FENCE LINE
- No. OF PARKING SPACES
- EX. WOODS LINE / VEGETATION
- EX. TREE
- PROPOSED PAVING

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 5
JAMES V. ARNAIZ
PATRICIA S. ARNAIZ
3282/566
LOT 5
TAX ACCOUNT No. 12-000022
ZONING: NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 4
HCACC ASSOCIATES
1310/514
TAX ACCOUNT No. 12-000014
ZONING: NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 3
GSEM, LLC
4881/409
TAX ACCOUNT No. 12-000162
ZONING: NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 2
MOR VI ASSOCIATES
PLAT 4311
DEED 953/31
TAX ACCOUNT No. 12-000146
ZONING: NT-INDUSTRIAL

30' RIGHT-OF-WAY
LIBER 484 FOLIO 329

15' Easement

EX. 8" S
C & P TELEPHONE CO
15' RIGHT-OF-WAY
LIBER 1069 FOLIO 232

OLD ANNAPOLIS ROAD

MARYLAND ROUTE 108
(EXIST. 100' R/W)

EASEMENT FOR INGRESS & EGRESS.
LIBER 953 FOLIO 52

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 2
MOR VI ASSOCIATES
953/31
TAX ACCOUNT No. 12-000596
ZONING: NT-INDUSTRIAL

- RUBBER HOSE AT BARK
- GUY WIRES (3), WHITE FLAG ON EACH TO INCREASE VISIBILITY. AVOID TIGHT GUY WIRES AS THEY PREVENT NATURAL SWAY
- SET TREE AT ORIGINAL GRADE
- MULCH: PINE BARK OR WOOD CHIPS 75mm (3") MIN.
- SOIL SAUCER: USE PREPARED TOPSOIL 150mm (6") MIN.
- WOOD STAKES (3)
- ROPES AT TOP OF BALL SHALL BE CUT. REMOVE TOP 1/3 OF BURLAP. NON-BIODEGRADABLE MATERIAL SHALL BE TOTALLY REMOVED
- PREPARED ADMXTURE BACKFILL OR NATIVE SOIL
- TAMPED ADMXTURE BACKFILL

TREE PLANTING
N.T.S.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

John M. Mariani 3/7/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Conrad Handwerker 3/7/01
CHIEF, DIVISION OF LAND DEVELOPMENT
James L. Smith 3/7/01
DIRECTOR

4-201 SHOWING NEW GENERATORS W/ ADDED LANDSCAPING

ENGINEER FOR REGIONAL
CENTURY ENGINEERING, INC.
10710 GILROY ROAD
HUNT VALLEY, MD 20886



SHEET INDEX :

- SHEET 1 SITE PLAN & NOTES.
- SHEET 2 GRADING & SEDIMENT CONTROL PLAN.
- SHEET 3 SEDIMENT CONTROL DETAILS.
- SHEET 4 SITE DETAILS.
- SHEET 5 LANDSCAPE PLAN.
- SHEET 6 DRAINAGE AREA MAP, EXISTING & PROPOSED CONDITIONS

**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS
LANDSCAPE TYPE	E
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	202'
CREDIT FOR EXISTING VEGETATION (YES NO, LINEAR FEET)	5
CREDIT FOR WALL FENCE OR BERM (YES NO, LINEAR FEET)	0
NUMBER OF PLANTS REQUIRED	5
SHADE TREES	0
EVERGREEN TREES	0
SHRUBS	51
NUMBER OF PLANTS PROVIDED	4
SHADE TREES	3
EVERGREEN TREES	3
OTHER TREES (2:1 SUBSTITUTION)	0
SHRUBS (10:1 SUBSTITUTION)	0

Note: Shrubs were substituted with Shade Trees and Evergreen Trees at a 1:10 ratio. (Example) 7 trees equals 70 Shrubs

Plants Required by Howard County

Quant	Symbol	Botanical Name	Common Name	Remarks
11	GA	Fraxinus pennsylvanica 'Patmore'	Patmore Green Ash	2 1/2-3" cal., 12-14' hgt.
6	HL	Gleditsia triacanthos inermis 'Halka'	Halka Honeylocust	2 1/2-3" cal., 12-14' hgt.
3	WP	Pinus strobus	White Pine	6-7' hgt.

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF VISITOR PARKING SPACES	243
NUMBER OF TREES REQUIRED	13
NUMBER OF TREES PROVIDED	13
SHADE TREES	0
OTHER TREES (2:1 SUBSTITUTION)	0
Number of Islands Required	12
Number of Islands Provided	33

GENERAL NOTES :

1. CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:

MISS UTILITY	800-257-7777
C&P TELEPHONE	410-725-9976
HOWARD COUNTY BUREAU OF UTILITIES	410-992-2366
AT&T CABLE LOCATION DIVISION	410-589-3553
BALTIMORE GAS & ELECTRIC CO.	410-685-0123
STATE HIGHWAY ADMINISTRATION	410-531-5533
HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION (24 HOURS NOTICE PRIOR TO)	410-313-1880

Developers/Builders Certificate

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the department of planning and zoning.

John M. Mariani 3/6/00
Name Date

This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.

Financial surety for the required landscaping has been posted as part of the Development Agreement in the amount of \$5,550.00. This surety is based on 1 shade tree at \$300.00 each and 3 evergreen trees at \$150.00 each.

The owner, tenant, and/or their agents shall be responsible for the maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

9/03/04 4 ADD CANOPIES
8/26/02 3 GENERATOR ADDED

3/7/02 2 GENERATOR & LOADING DOCK
1/8/02 1 GENERATOR & ENTRANCES

DATE NO. REVISION

OWNER/DEVELOPER
WELLS FARGO PROPERTIES, INC.
2329 CENTRAL AVE. NE
MINNEAPOLIS, MN 55479
Attn: CARRIE TIMMINS PH 612-667-8714

PROJECT: OAKLAND RIDGE OFFICE PARK

TITLE: Landscape Plan

SLATER ASSOCIATES INC

5560 Sierrett Pl, Suite 302
Columbia, MD 21045
410.992.0001 - phone
410.992.0212 - fax
slaterj@erols.com

Richardson Engineering, LLC

730 W. Padonia Road
Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: JBS
DESIGNED BY: MJW and JBS
DRAWN BY: MJW
PROJECT NO.: 99005
DATE 12/6/00
SCALE: 1" = 50'
DRAWING NO. 5 OF 6

STATE OF MARYLAND
Professional Landscape Architect
John B. Slater 12-6-00
Professional Landscape Architect # Date

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE NOV 1, 2000

SURVEY INFORMATION PREPARED BY LDE INC, DATED 6/99
TOPOG INFORMATION BY GERHOLD, CROSS & TZEL DATED 7/00

LOT/PARCEL#	STREET ADDRESS	
6, 7, & 8	9052 OLD ANNAPOLIS ROAD	
PROPERTY INFORMATION CHART		
SUBDIVISION NAME OAKLAND RIDGE INDUSTRIAL PARK	SECTION/AREA SECTION 1	LOT/PARCEL 6, 7 & 8
PLAT # OR L/F 773/245	BLOCK # NT	FAZ/ZONING MAP 30
SECTION 30	ELECTION DIST 2ND	CENSUS TRACT 6067.03
SEWER CODE		

LEGEND :

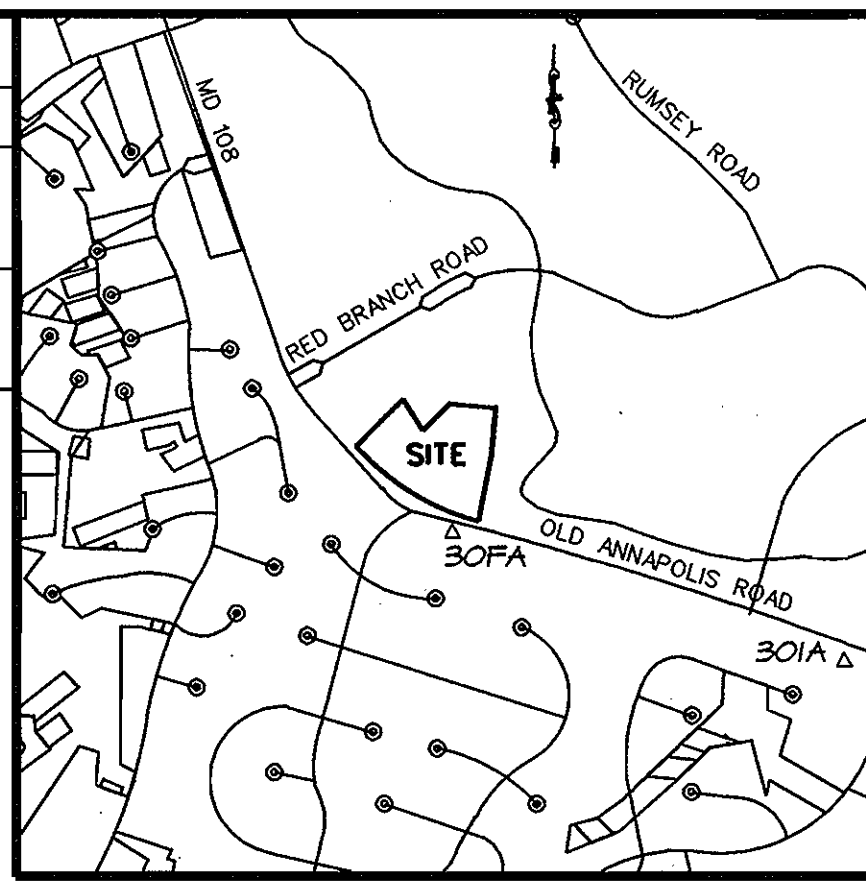
SUPER SILT FENCE.....	
SILT FENCE.....	
STABILIZED CONSTRUCTION ENTRANCE.....	
STOCKPILE AREA.....	
CONTRACTOR'S STAGING AREA.....	
EXISTING CONTOURS.....	
PROPOSED CONTOURS.....	
LIMIT OF DISTURBANCE.....	

SEQUENCE OF OPERATIONS

1. NOTIFY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS (HCDPW) INSPECTORS 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CLEAR AND GRUB AS NECESSARY FOR SEDIMENT CONTROL INSTALLATION. INSTALL CONSTRUCTION ENTRANCE. (2 DAYS)
3. CLEAR AND GRUB, AND ROUGH GRADE SITE. CLEAR ONLY THE AREAS THAT WILL BE WORKED IMMEDIATELY. (5 DAYS)
4. CONSTRUCT BUILDING ADDITION. (30 DAYS)
5. FINE GRADE PARKING LOT AND PLACE CURB AND STONE BASE COURSE IN THAT AREA. (3 DAYS)
6. SEED AND MULCH ALL DISTURBED AREAS. (1 DAY)
7. WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES FROM THAT AREA. (2 DAYS)
8. STABILIZE ALL AREAS DISTURBED AS A RESULT OF SEDIMENT CONTROL REMOVAL. (2 DAYS)

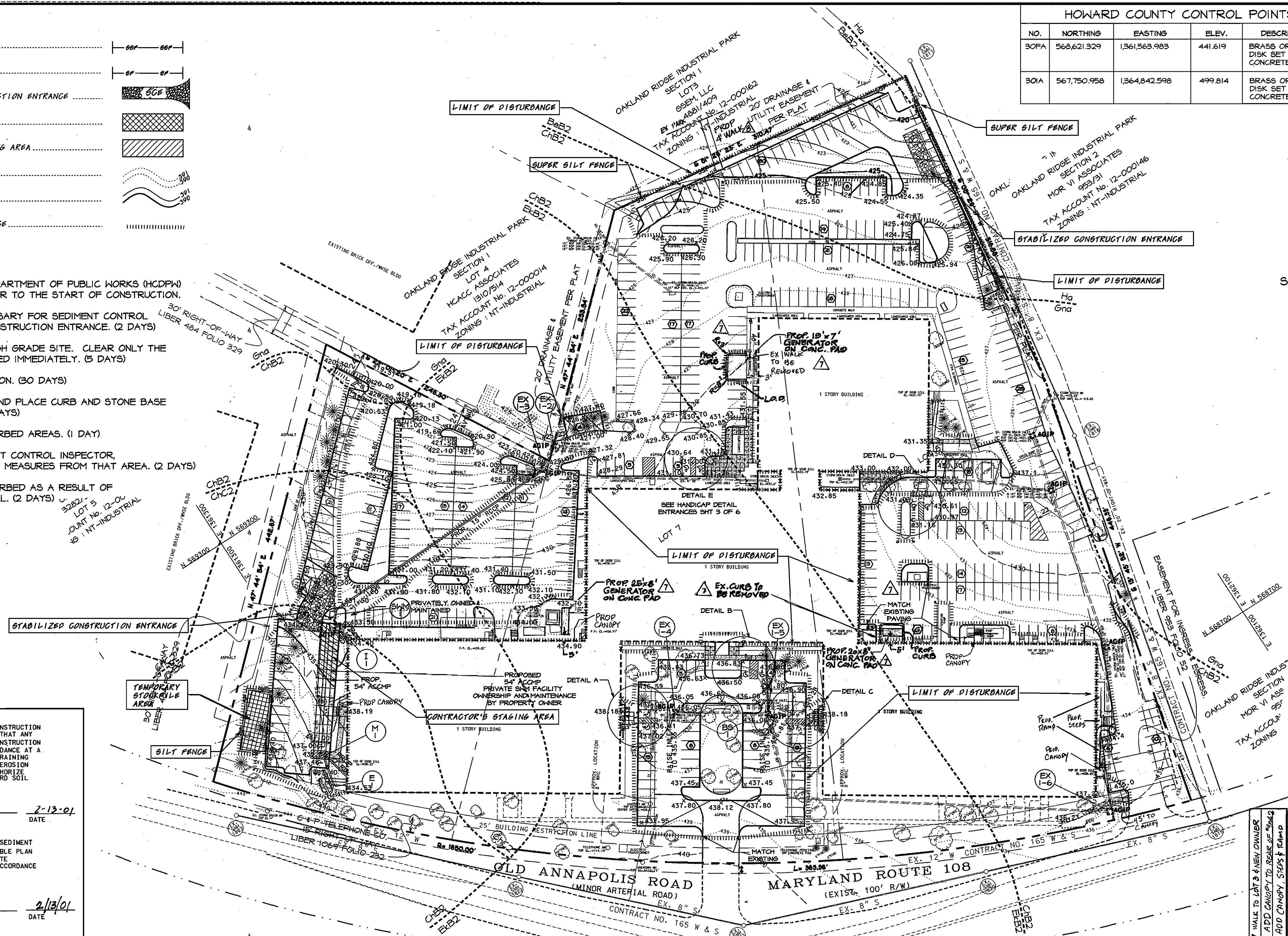
HOWARD COUNTY CONTROL POINTS

NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
30FA	568,621.329	1,361,563.983	441.619	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN
30IA	567,750.958	1,364,842.598	499.814	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN



SEDIMENT CONTROL NOTES :

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections and Permits, Sediment Control Division prior to the start of any construction 313-1855.
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL or revisions thereto.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL or revisions thereto. sod, temporary seeding, and mulching. Sec. 6. Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:
 - Total Area of Site: 464,001 SF / 10.652 Acres
 - Area Disturbed: 100,982 SF / 2.32 Acres
 - Area to be vegetatively stabilized: 231,254 SF / 5.29 Acres
 - Total Cut: 1194 Cu. yds
 - Total Fill: 1385 Cu. yds
 - Offsite waste/borrow area location: A site with a currently active grading permit.
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.



BY THE DEVELOPER
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.
 John Mc Namara
 DEVELOPER
 2-13-01
 DATE

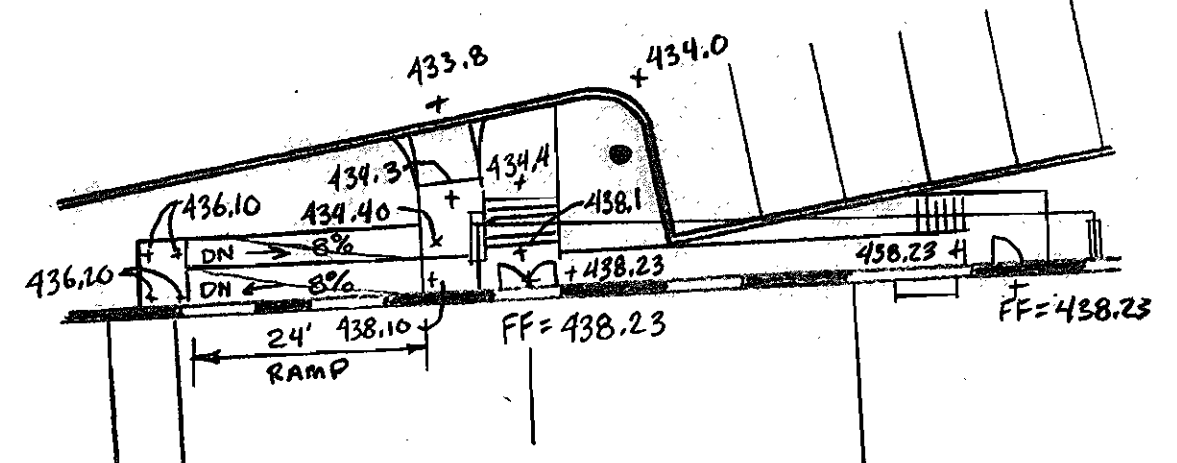
BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 Richard K. Redden
 ENGINEER
 2/13/01
 DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
 Jim Mayo
 2/24/01
 DATE

HOWARD SOIL CONSERVATION DISTRICT
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 5/6/01
 DATE

Chief, Division of Land Development
 3/7/01
 DATE

3/6/01
 DATE



APPROVED PLANNING BOARD OF HOWARD COUNTY
 ENGINEER FOR REVIEW
 CENTURY ENGINEERING, INC.
 10110 GILROY ROAD
 HUNT VALLEY, MD 20881
 DATE: Nov. 1, 2000

NOTE: EARTHWORK QUANTITIES SHOWN HEREON ARE PROVIDED FOR THE APPROVING AUTHORITY ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES TO THEIR OWN SATISFACTION PRIOR TO BIDDING THE WORK.

SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
 TOPO INFORMATION BY GERHOLD, CROSS & ETZEL DATED 1/00

ADDRESS CHART	
LOT/PARCEL*	STREET ADDRESS
6, 7, & 8	9042-9082 OLD ANNAPOLIS ROAD

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL			
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8			
PLAT * OR L/P	BLOCK *	ZONING	TAX/ZONING MAP	ELECTION DIST	CENSUS TRACT
PLAT 12/65	17	NT-IND.	30	2ND	6067.03
WATER CODE	604	SEWER CODE	5657400		

DATE	NO.	REVISION
9/09/04	4	ADD CANOPIES
8/06/02	3	GENERATOR ADDED
3/11/02	2	GENERATOR & LOADING DOCK
1/18/02	1	GENERATOR & ENTRANCES

OWNER/DEVELOPER
 WELLS FARGO PROPERTIES, INC.
 2329 CENTRAL AVE, NE
 MINNEAPOLIS, MN 55470
 Attn: CARRIE TIMMINS PH 612-667-8714

OAKLAND RIDGE OFFICE PARK RENOVATION

GRADING AND SEDIMENT CONTROL PLAN

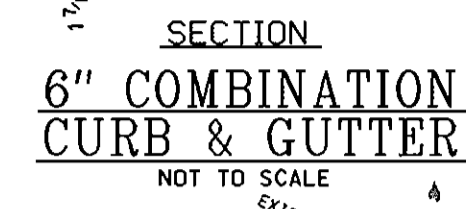
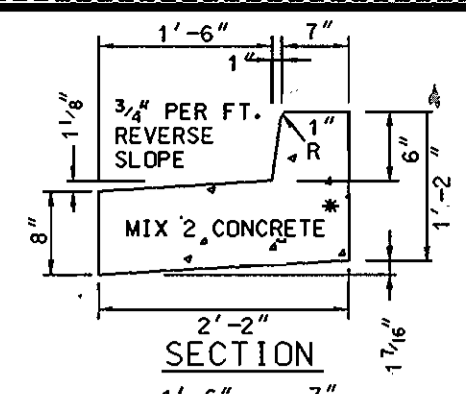
Richardson Engineering, LLC

730 W. Pooonia Road
 Cockeysville, Maryland 21030
 Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: PCR
DESIGNED BY: PCR
DRAWN BY: CADDS
PROJECT NO.: 99005
DATE: 7/19/00
SCALE: 1"= 50'
DRAWING NO. 2 OF 6

LEGEND :

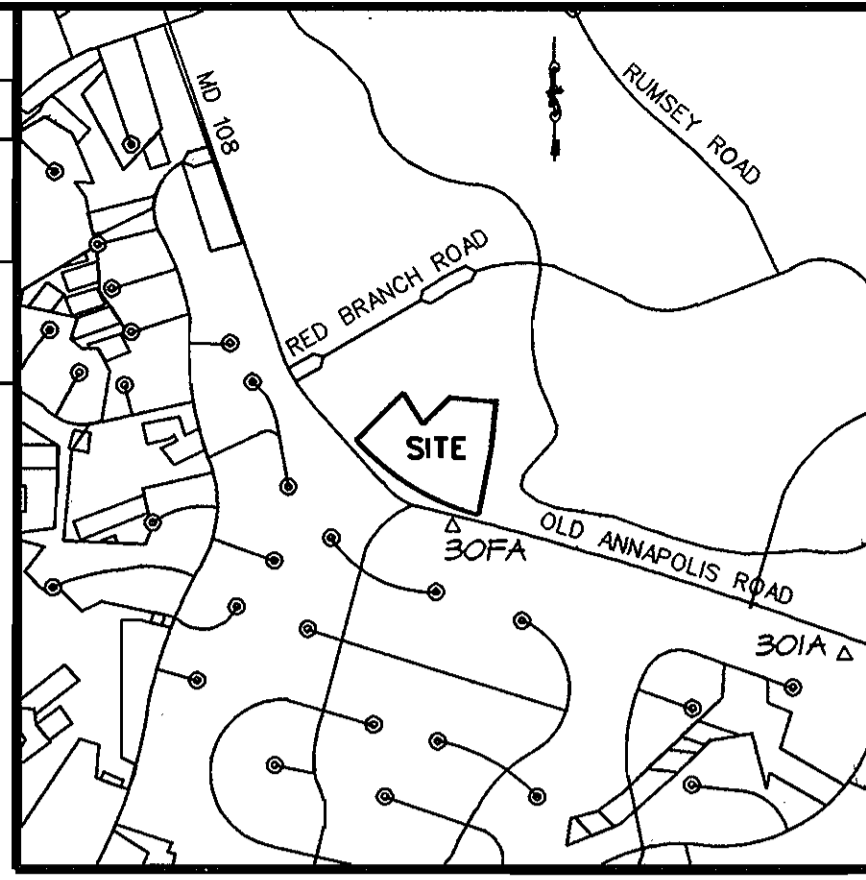
---	EX. PROPERTY LINE
-112-	EX. 2' CONTOUR
-110-	EX. 10' CONTOUR
---	EX. GAS
---	EX. SANITARY
---	EX. STORM DRAIN
---	EX. WATER
---	EX. WATER METER
---	EX. TELEPHONE
---	EX. CURB
---	EX. ELECT. CONDUIT
---	EX. LIGHT POLE
---	EX. FENCE LINE SITE PLAN
---	NO. OF PARKING SPACES
---	EX. WOODS LINE VEGETATION
---	EX. TREE
---	PROPOSED PAVING



- CONSTRUCTION NOTES :**
- C-1 PROPOSED CONC. CURB.
 - C-2 INSTALL P-2 PAVING.
 - C-3 REMOVE EX. CURB.
 - C-4 INSTALL COMPACT PARK SPACE SIGN.
 - C-5 CONSTRUCT H.C. RAMP.
 - C-6 CONSTRUCT CONC. SIDEWALK.
 - C-7 REMOVE EXISTING WALK.
 - C-8 PAINT STRIPE PER MANUFACTURERS SPECIFICATIONS.
 - C-9 1" OVERLAY ON EXISTING PAVING.

HOWARD COUNTY CONTROL POINTS

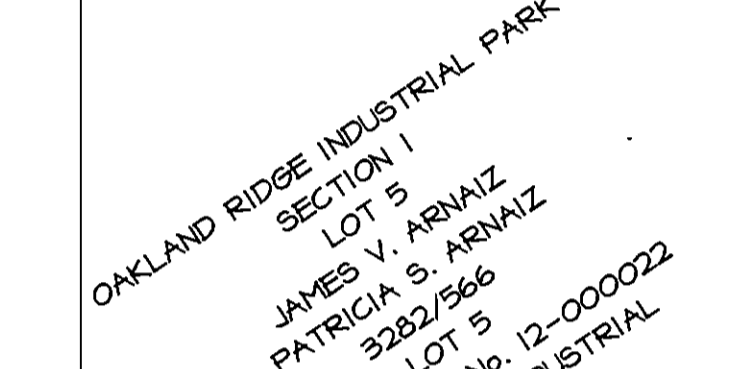
NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
30FA	568,621.329	1,361,563.983	441.619	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN
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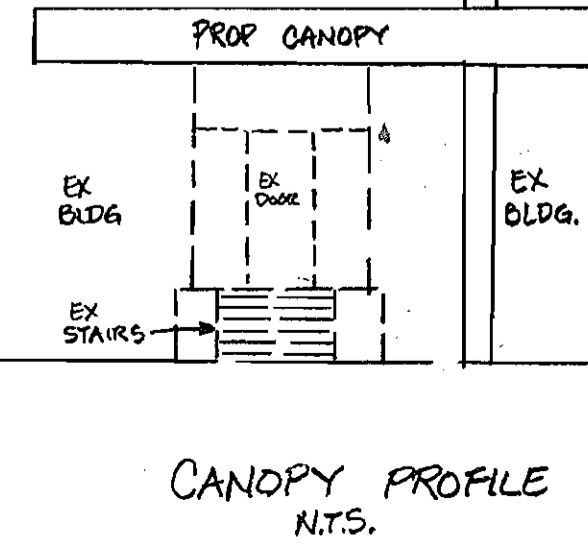
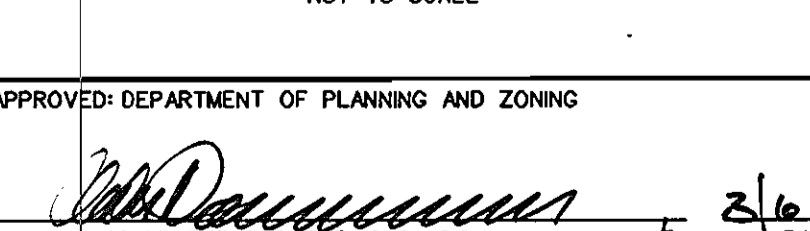
- SITE NOTES :**
- Total Area of Lot : 464,001 SF / 10.652 AC. +/-
Limit of Submission : 2.29 AC. +/-
 - Existing Use : OFFICE/WAREHOUSE
Proposed Use : OFFICE/WAREHOUSE
 - Owner/Developer : WELLS FARGO COMMERCIAL PROPERTIES TRUST
26 MAIN STREET
CHATHAM, NEW JERSEY 07928
Attn: W. DREW HAZENBUR
PH 973-701-2200
 - Existing Zoning : NT-INDUSTRIAL.
 - Existing Building : 145,735 SF
Proposed Building : 1120 SF
Total Building : 146,855 SF
 - Setbacks : Front: 25'
Side : 0'
Rear : 0'
 - Parking Computations :
Number of Parking Spaces Required : 143,414 @ 2.5 SF/1000 SF = 358 SF
FINISHED GRADES
Number of Parking Spaces Provided : 518 SPACES (11 HC SPACES)
Includes 136 Compact Spaces (C)
Compact Spaces Allowed up to 200 (144 sp)
Existing # Parking Spaces = 332 (incl. 7C SF)
 - Open Space : 67820 SF / 91482 SF = 74%
 9. Floor Area Ratio : 146,855 SF / 464,001 SF = 0.32
 10. Applicable DPZ Ref. : PDZ-3-A PLAT 05-06-37
Existing # Parking Spaces = 332 (incl. 7C SF)
 11. Disturbed Area : 99759 SF or 2.29 AC. +/-
 12. Existing utility connections to remain.

- GENERAL NOTES :**
- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADES.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL VOLUME IV, I.e. STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
 - APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE INCURRED DUE TO CONTRACTORS OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTORS EXPENSE.
 - THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
 - CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:
MISS UTILITY 800-257-7777
C&P TELEPHONE 410-725-3976
HOWARD COUNTY BUREAU OF UTILITIES 410-393-3953
AT&T CABLE LOCATION DIVISION 410-393-3953
BALTIMORE GAS & ELECTRIC CO. 410-393-3953
STATE HIGHWAY ADMINISTRATION 410-391-5533
HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION 04 HOURS NOTICE PRIOR TO COMMENCEMENT OF WORK 410-318-1800
 - ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
 - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
 - THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
 - PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
 - NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
 - TOPO TAKEN FROM FIELD RUN SURVEY LDE, INC. DATED 6/99 TOPO INFO. BY GERHOLD, CROSS & ETZEL DATED 1/00
 - ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL STORM DRAIN PIPE BEDDINGS SHALL BE AS SHOWN IN DETAIL 62.01 TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS.
 - THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL MEASURES, WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWN STREAM PROPERTIES. THE DEVELOPER IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHT AND/OR R/W THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
 - FOR THE EXACT LOCATION AND DEPTH OF THE EXISTING WATER AND SEWER MAINS, THE CONTRACTOR SHALL DIG TEST PITS AT THE CONTRACTORS EXPENSE.
 - ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 134 OF THE ZONING REGULATIONS.
 - STORMWATER MANAGEMENT FACILITY IS PRIVATELY OWNED AND MAINTAINED. BAYSAYER (BS-1) IT IS FOR WATER QUALITY ONLY. UNDERGROUND PIPE FACILITY IS FOR WATER QUANTITY.
 - THIS PROJECT IS EXCEPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREVER CONSERVATION BECAUSE THE PROPERTY IS ZONED NBN TOWN.
 - TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREETS AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
 - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE BARTOLI STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 30FA & 30IA WERE USED FOR THIS PROJECT.
 - WATER IS PUBLIC 165 WMS
 - SEWER IS PUBLIC 165 WMS
 - THERE IS NO FLOODPLAIN ON THIS SITE.
 - THERE ARE NO WETLANDS ON THIS SITE.
 - A TRAFFIC STUDY FOR THIS PROJECT WAS APPROVED ON JULY 27, 2000.

CONCRETE PAVING SECTION



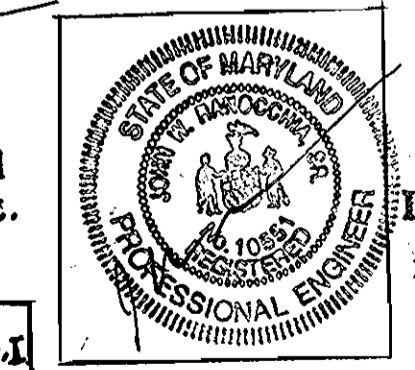
CONCRETE SIDEWALK SECTION



SHEET INDEX :

SHEET 1	SITE PLAN & NOTES.
SHEET 2	GRADING & SEDIMENT CONTROL PLAN.
SHEET 3	SEDIMENT CONTROL DETAILS.
SHEET 4	SITE DETAILS.
SHEET 5	LANDSCAPE PLAN.
SHEET 6	DRAINAGE AREA MAP

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE Nov. 1, 2000



ENGINEER FOR REVISION
CENTURY ENGINEERING, INC.
10710 GILROY ROAD
HUNT VALLEY, MD 21091

SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
TOPO INFORMATION BY GERHOLD, CROSS & ETZEL DATED 1/00

ADDRESS CHART

LOT/PARCEL*	STREET ADDRESS
6, 7, & 8	9048-9082 OLD ANNAPOLIS ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8
PLAT * OR L/P	BLOCK *	ZONING
PLAT 12/65	17	NT-IND.
WATER CODE	604	SEWER CODE
		5657400

DATE	NO.	REVISION
8/24/02	3	GENERATOR ADDED
3/17/02	2	GENERATOR & LOADING DOCK
1/18/02	1	GENERATOR & ENTRANCES

OWNER/DEVELOPER
WELLS FARGO PROPERTIES, INC.
2329 CENTRAL AVENUE, NE
MINNEAPOLIS, MN 55470
Attn: CARRIE TIMMINS, PH 612-667-8714

PROJECT: OAKLAND RIDGE OFFICE PARK RENOVATION

SITE PLAN

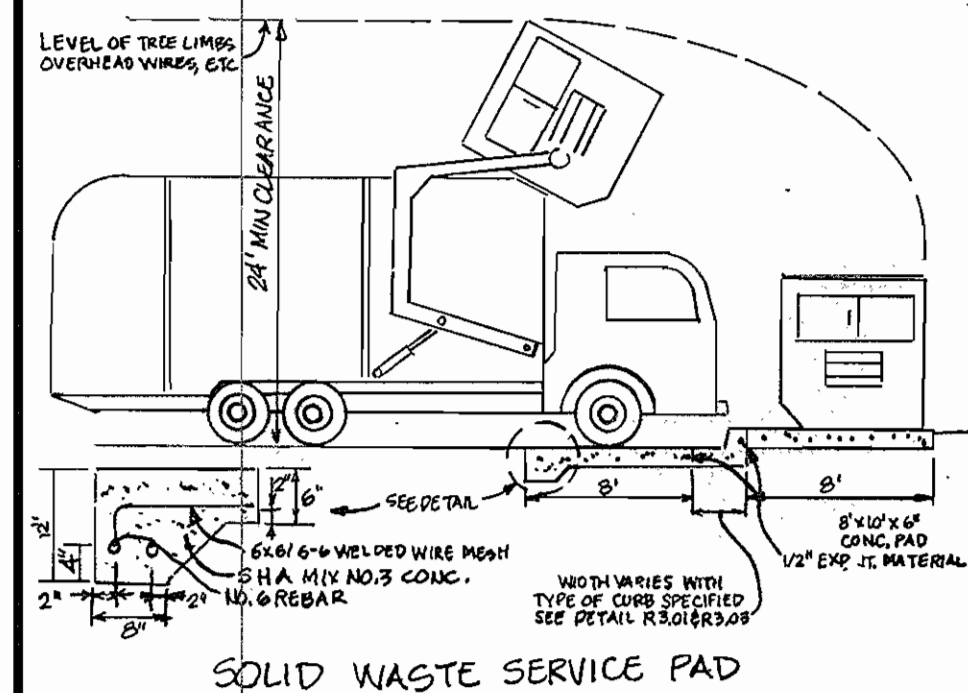
Richardson Engineering, LLC

730 W. Potosi Road
Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

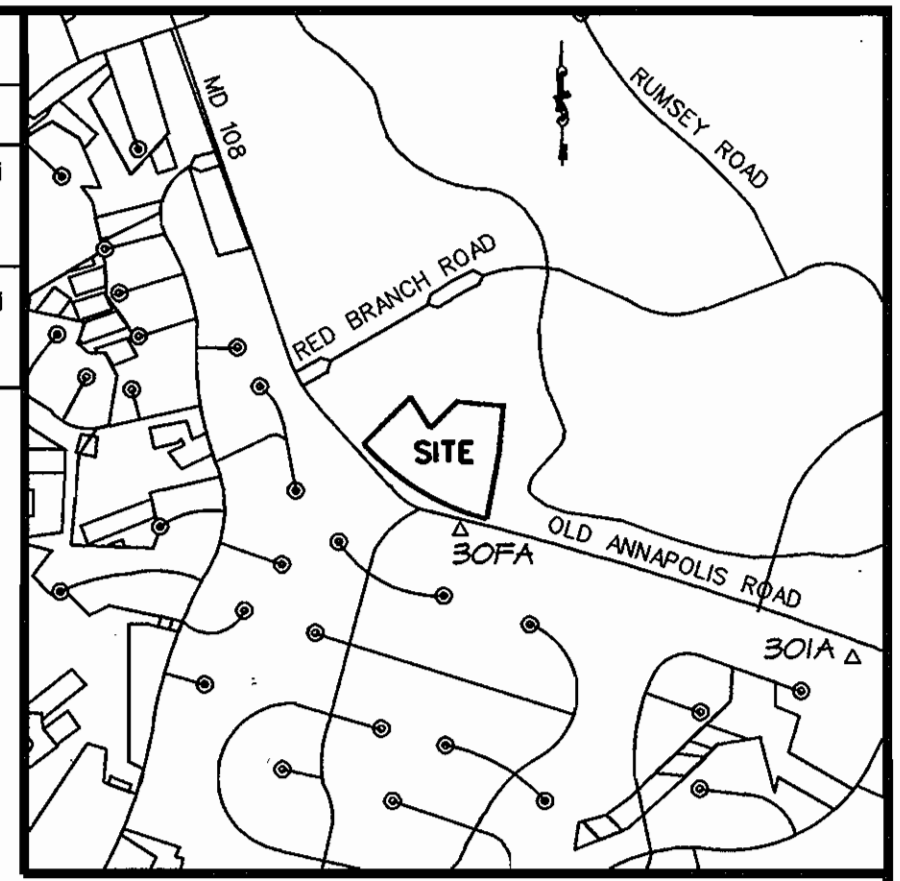
CHECKED BY: PCR
DESIGNED BY: PCR
DRAWN BY: CADDS
PROJECT NO.: 99005
DATE: 7/19/00
SCALE: 1" = 50'
DRAWING NO. 1 OF 6

APPROVED: DEPARTMENT OF PLANNING AND ZONING

2/6/01
3/2/01
3/9/01

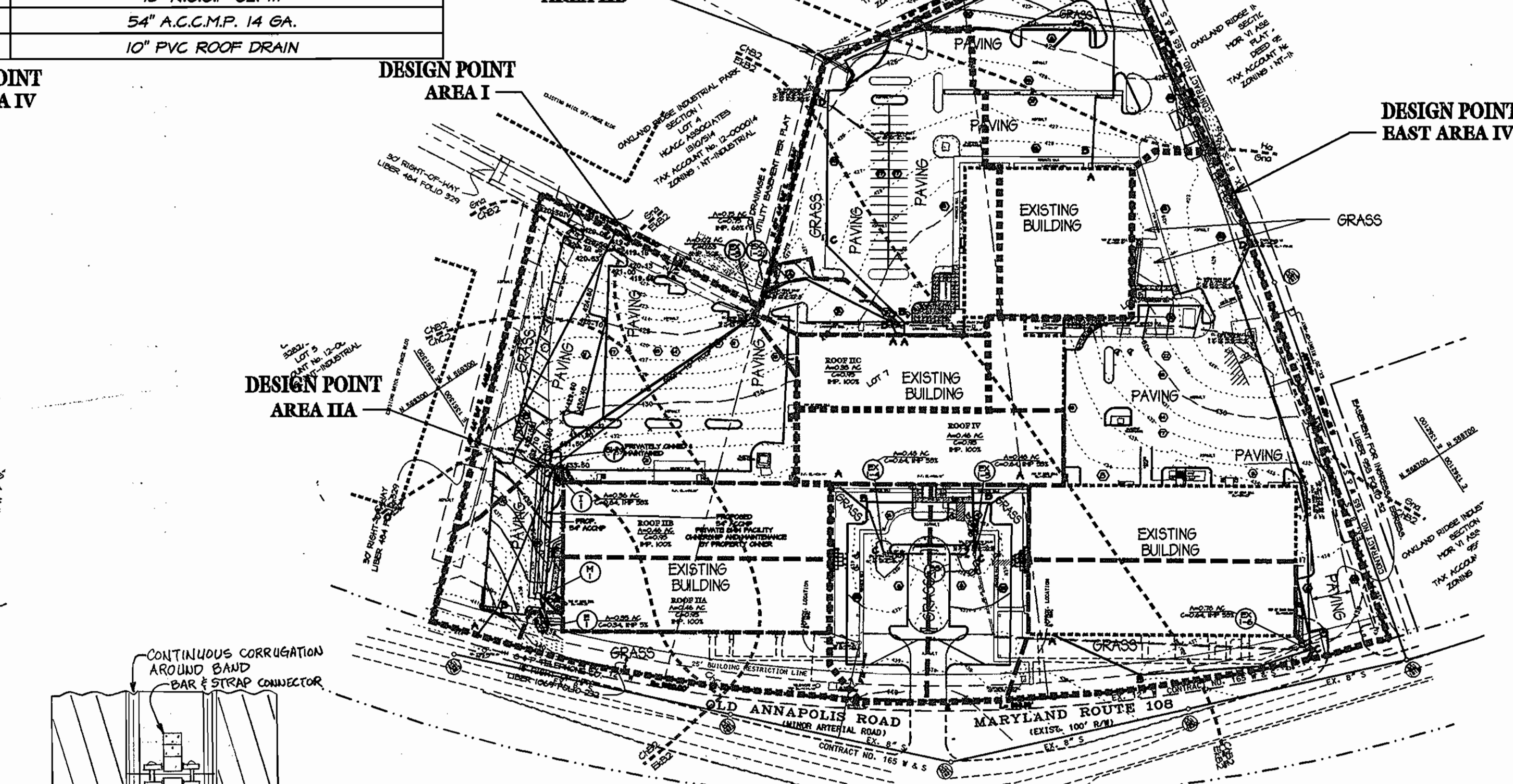
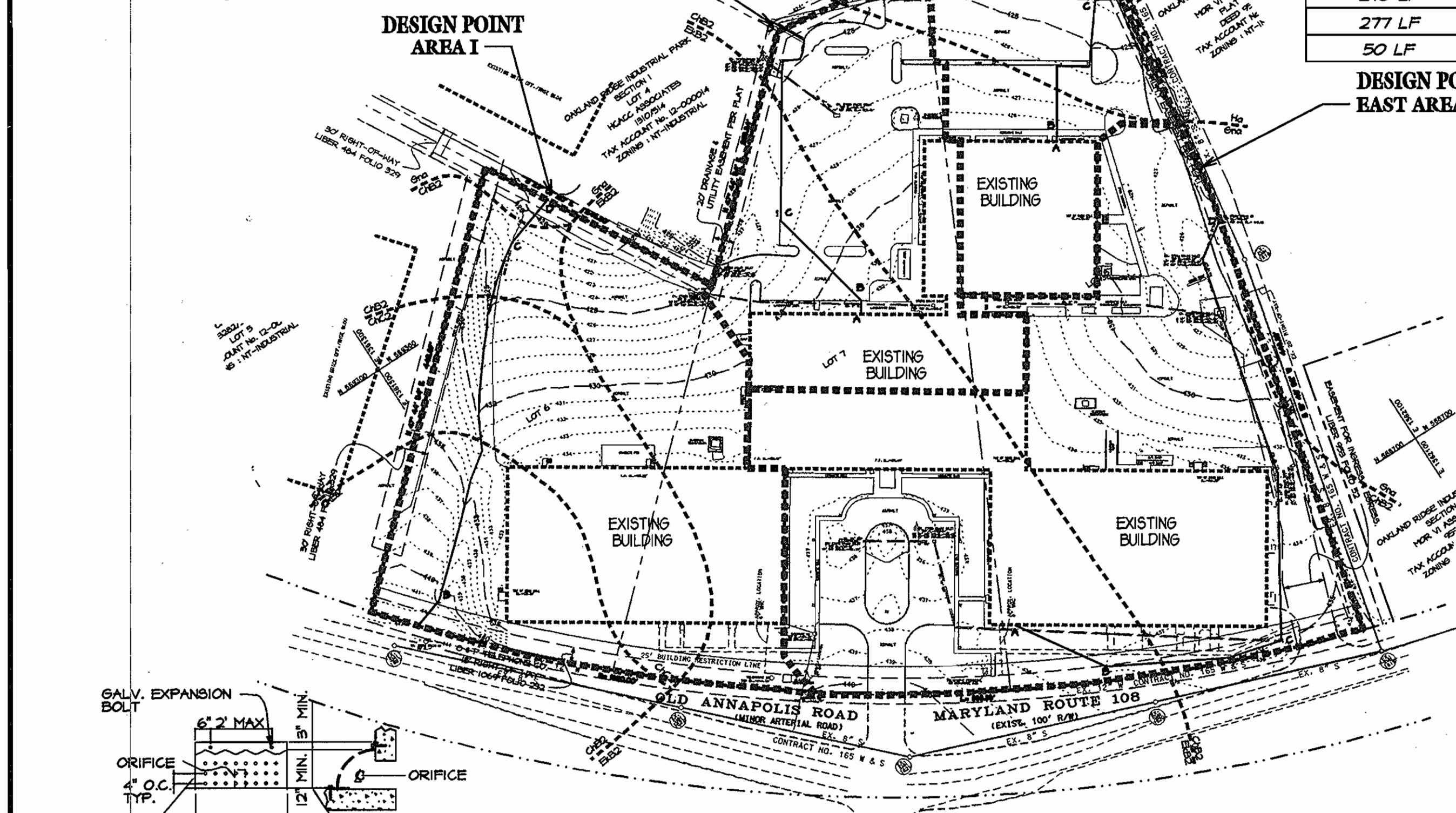


HOWARD COUNTY CONTROL POINTS				
NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
30FA	568,621.329	1,361,563.983	441.619	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN
30IA	567,750.958	1,364,842.598	499.814	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN

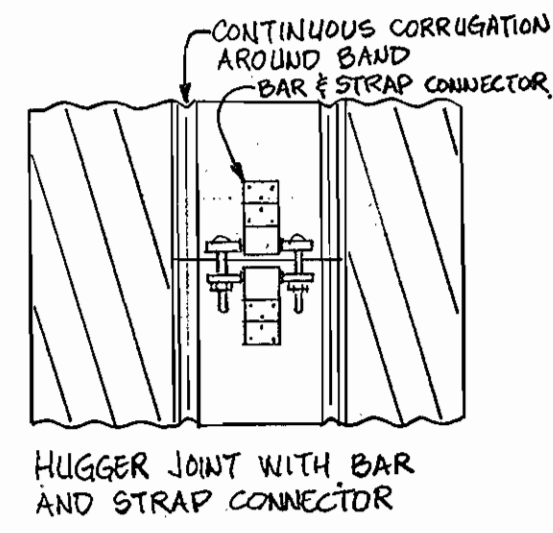
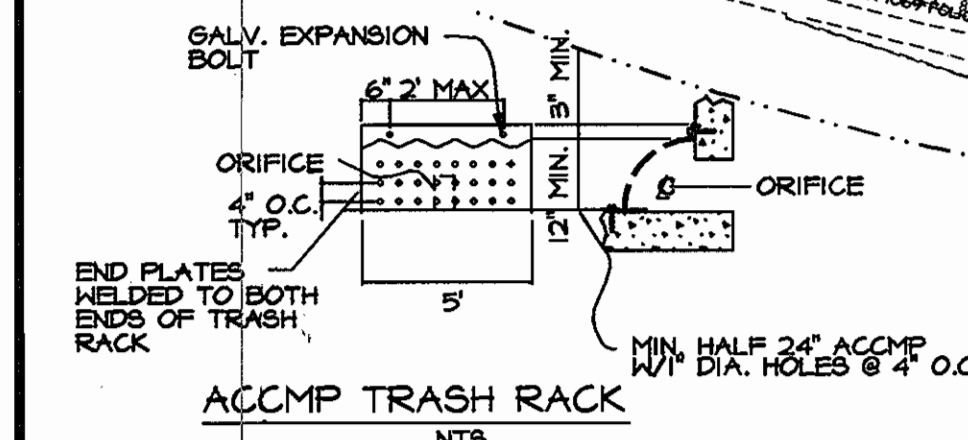
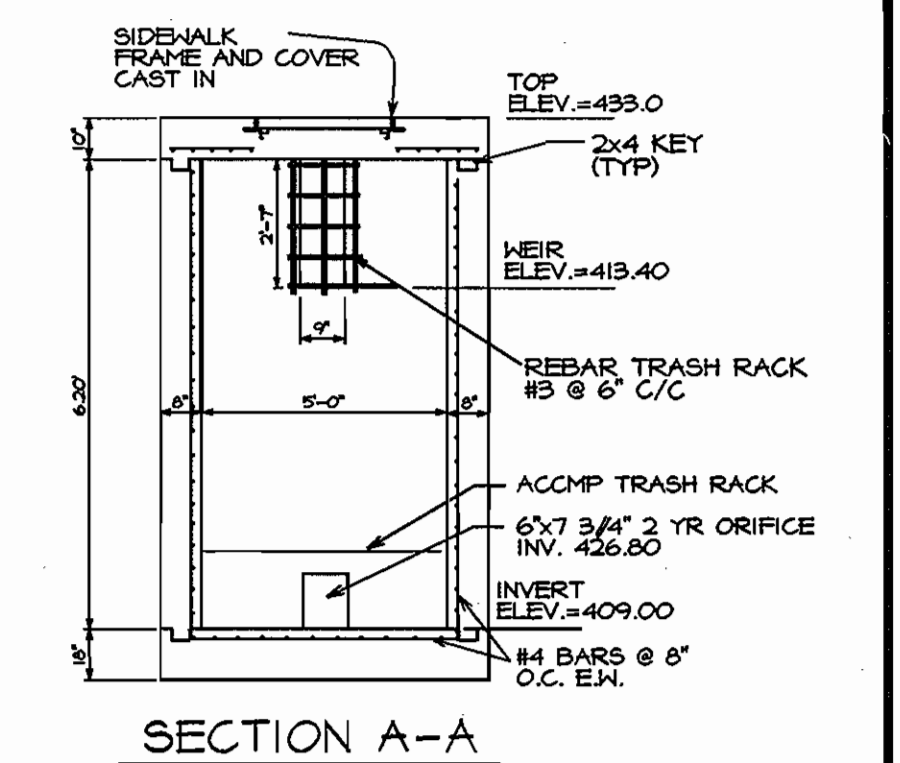


STRUCTURE SCHEDULE				
NO.	INV.IN	INV.OUT	TOP ELEV.	REMARKS
I-1	-	426.90	433.90	TYPE A-5 INLET
SM-1	426.90	426.70	433.00	SEE DETAIL THIS SHEET
BS-1	430.77	430.84	435.90	SEE DETAIL SHEET 4
M-1	431.00	426.90	437.20	STD BRICK MANHOLE 6-5.03
E-1	-	433.00	435.00	TYPE E HEADWALL SD-5.31

PIPE SCHEDULE	
LENGTH	SIZE & TYPE
275 LF	15" R.C.C.P. CL. III
277 LF	54" A.C.C.M.P. 14 GA.
50 LF	10" PVC ROOF DRAIN



VICINITY MAP
SCALE: 1"=2000'



D.A. MAP EXISTING CONDITION
SCALE: 1" = 100'

D.A. MAP PROPOSED CONDITION
SCALE: 1" = 100'

OPERATION AND MAINTENANCE SCHEDULE FOR UNDERGROUND FACILITIES

A. THE UNDERGROUND STORMWATER MANAGEMENT FACILITY IS PRIVATELY OWNED AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO PERIODICALLY INSPECT AND CLEAN THE FACILITY TO MAINTAIN ITS OPERATION AND FUNCTION.

B. THE UNDERGROUND STORMWATER MANAGEMENT FACILITY SHALL BE INSPECTED YEARLY AT A MINIMUM AND AFTER ESPECIALLY SEVERE STORM EVENTS.

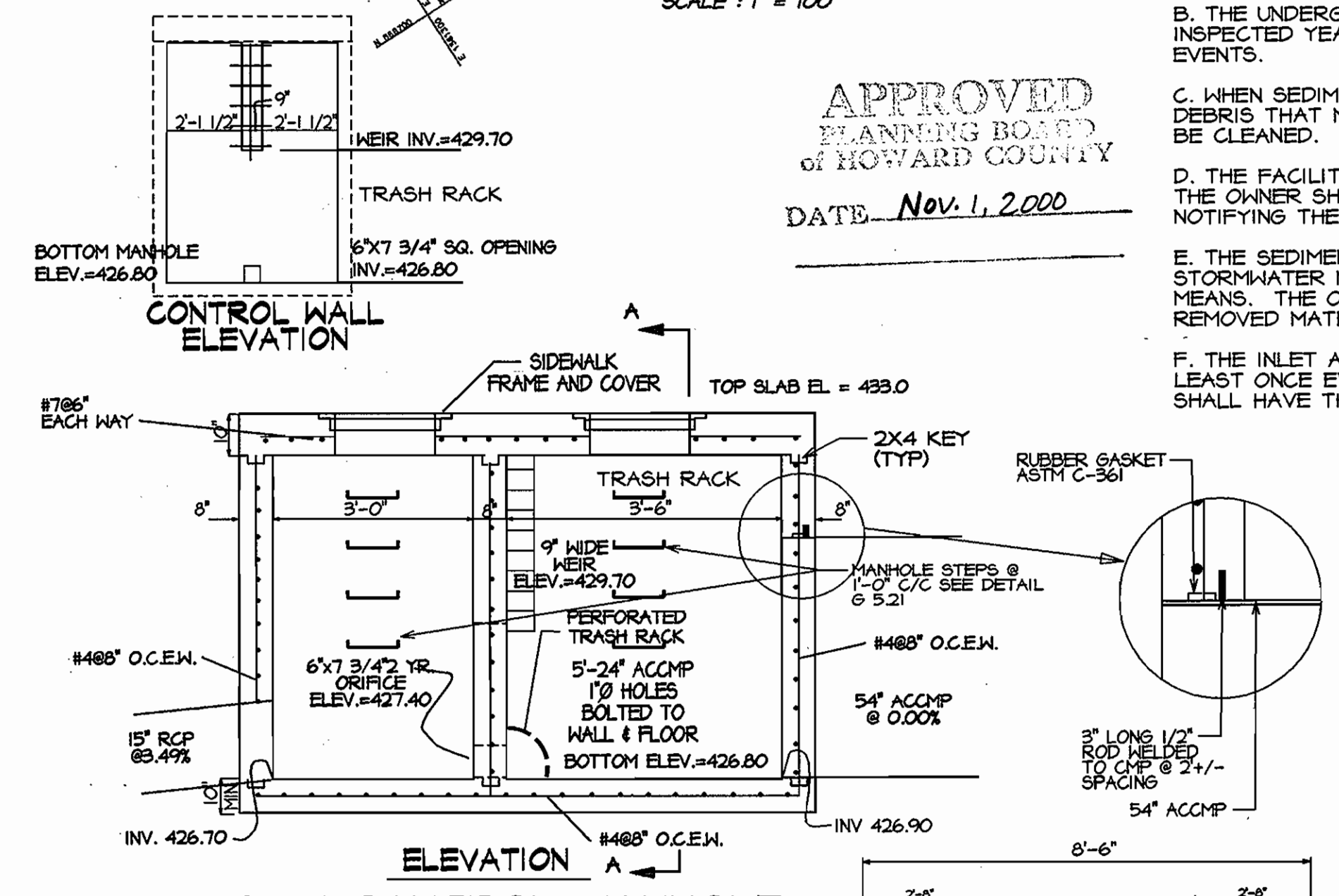
C. WHEN SEDIMENT ACCUMULATION OF MORE THAN 2" IS OBSERVED OR ANY DEBRIS THAT MIGHT OBSTRUCT THE OUTFALL IS OBSERVED, THE FACILITY SHALL BE CLEANED.

D. THE FACILITY SHALL BE CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES NOTIFYING THEM OF THE SPILL AND CLEANUP OPERATION.

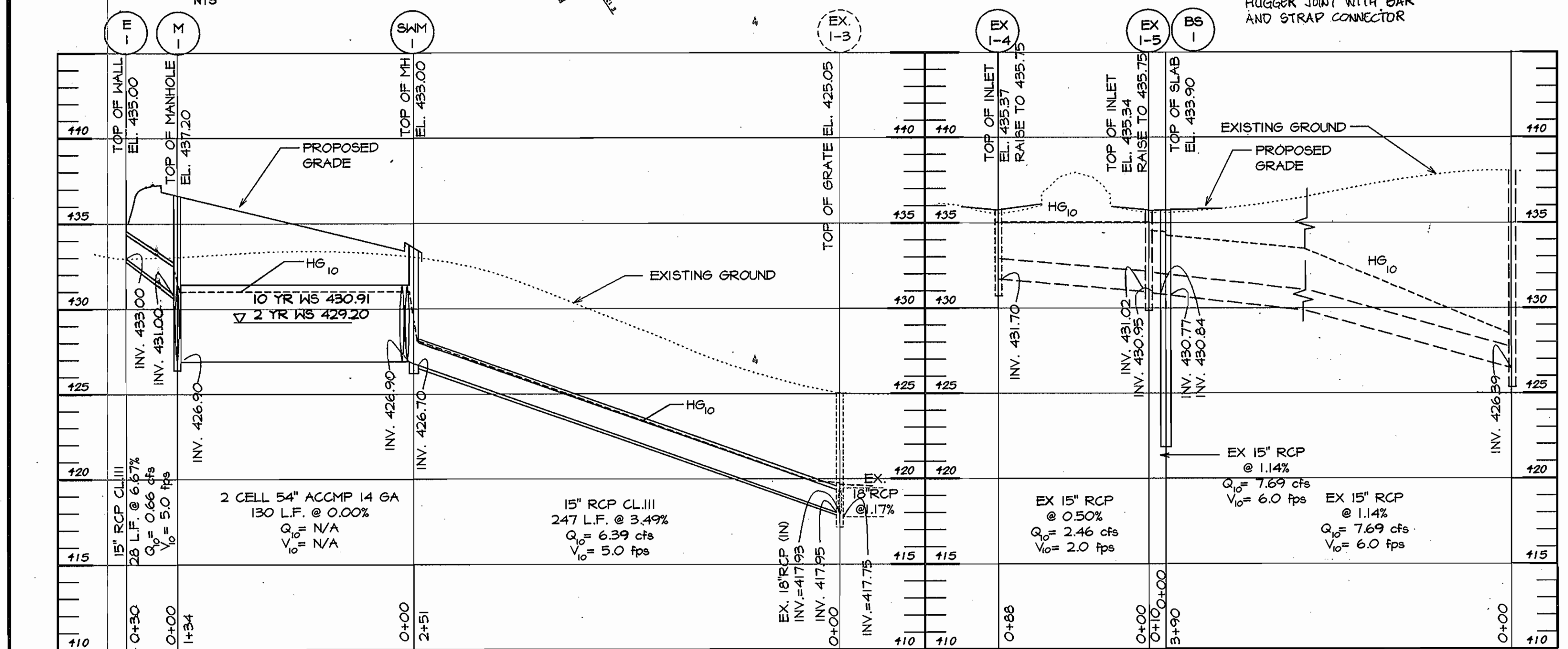
E. THE SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE UNDERGROUND STORMWATER MANAGEMENT FACILITY BY VACUUM TRUCK OR OTHER MANUAL MEANS. THE OWNER SHALL FOLLOW PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIAL AND LIQUID.

F. THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX(6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED AND PROPERLY DISPOSED OF.

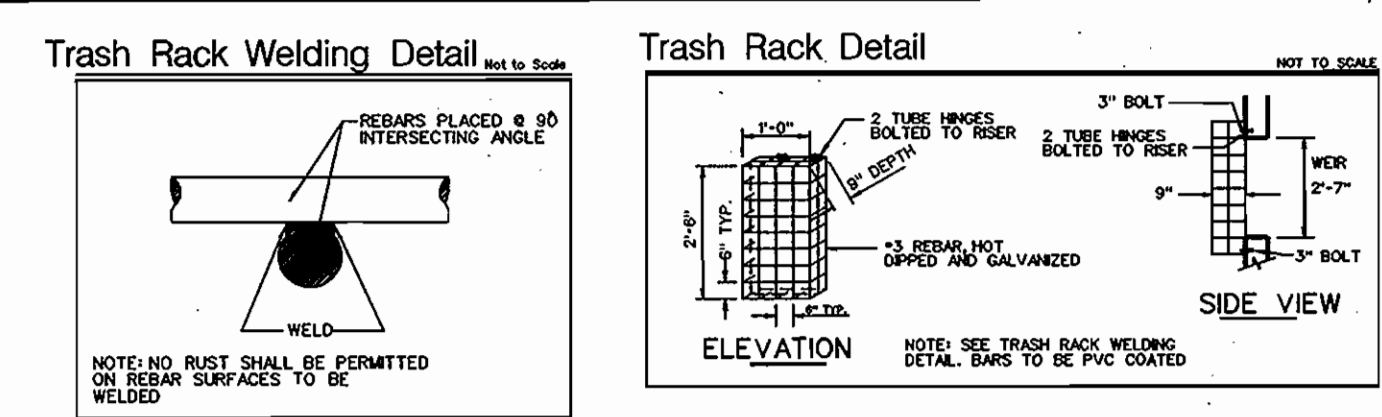
APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: Nov. 1, 2000



SWM CONTROL MANHOLE
NOT TO SCALE
ALL METAL TRASH RACKS TO BE GALVANIZED AND RECEIVE 2 COATS BATTLESHIP GRAY PAINT



STORM DRAIN PROFILE
SCALE: HORIZ. : 1"=50'
VERT. : 1"=5'



APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 3/6/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 3/2/01
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 3/9/01
DIRECTOR

SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
TOPO INFORMATION BY GERHOLD, CROSS & ETZEL DATED 1/00

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL	ELECTION DIST	CENSUS TRACT
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8	2ND	6067.03
PLAT * OR L/P	BLOCK *	ZONING	TAX/ZONING MAP	
PLAT 12/65	17	NT-IND.	30	
WATER CODE	604	SEWER CODE	5657400	

7/25/07 B NEW OWNER

OWNER/DEVELOPER
WELLS FARGO PROPERTIES, INC.
2329 CENTRAL AVENUE, NE
MINNEAPOLIS, MN 55470
Attn: CARRIE TIMMUS, PH 612-667-8714

PROJECT: **OAKLAND RIDGE OFFICE PARK RENOVATION**

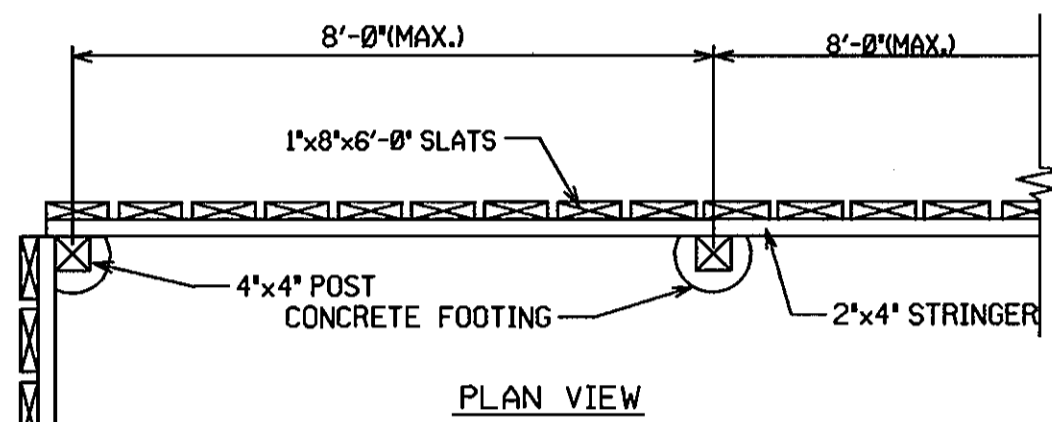
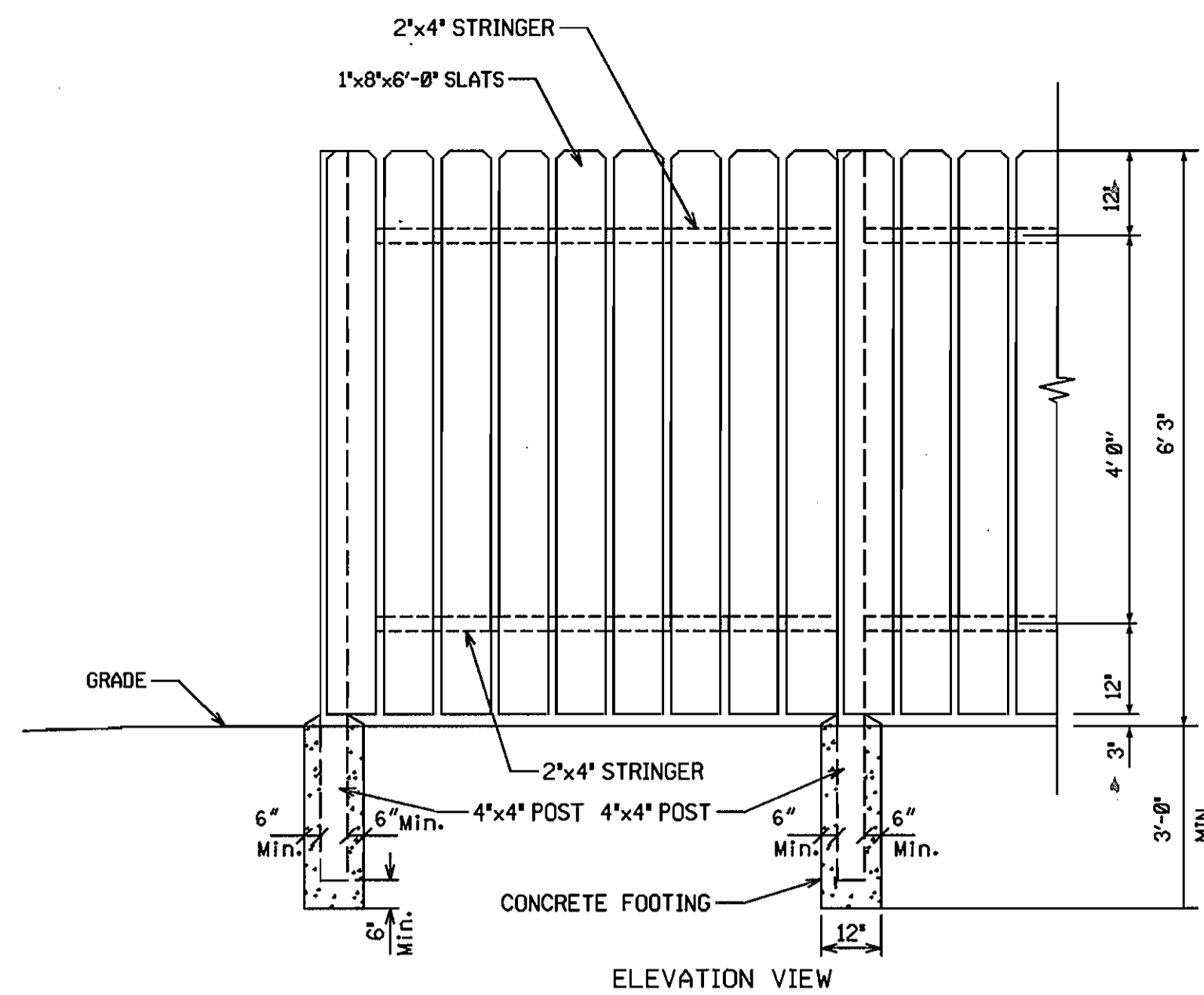
TITLE: **DRAINAGE AREA MAP EXIST. & PROP. CONDITIONS**

Richardson Engineering, LLC

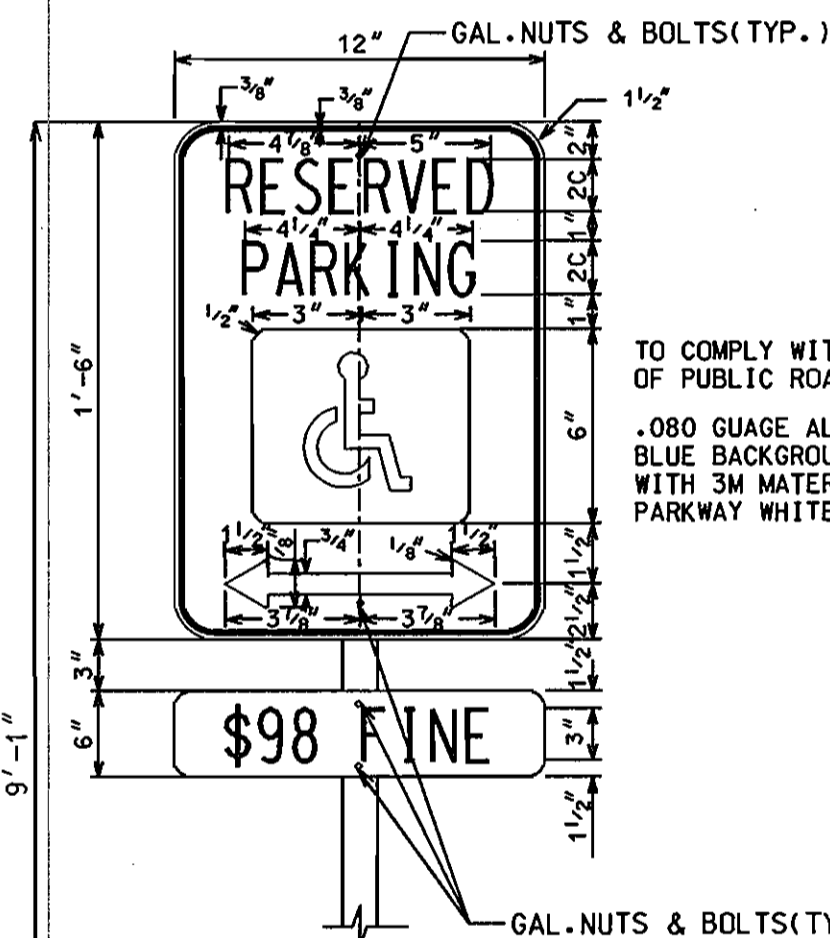
730 W. Padonia Road
Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: PCR
DESIGNED BY: PCR
DRAWN BY: CADD
PROJECT NO.: 99005
DATE: 7/19/00
SCALE: AS SHOWN
DRAWING NO. 6 OF 6

12/6/00
DATE

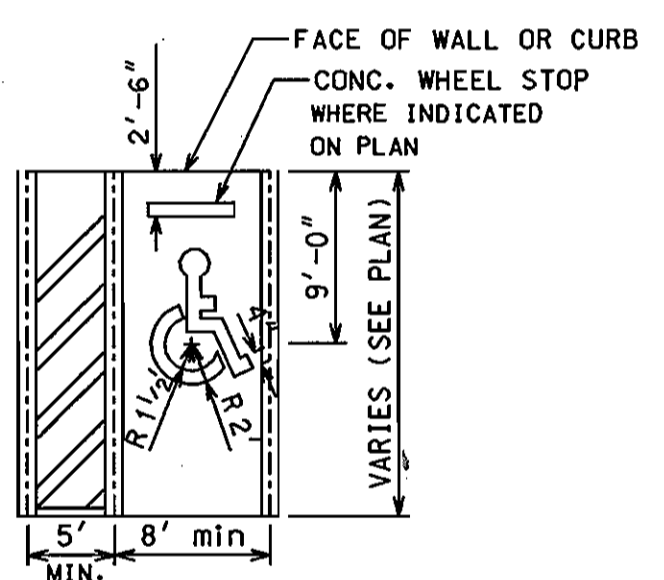


6' WOOD DUMPSTER ENCLOSURE FENCE DETAIL
NOT TO SCALE

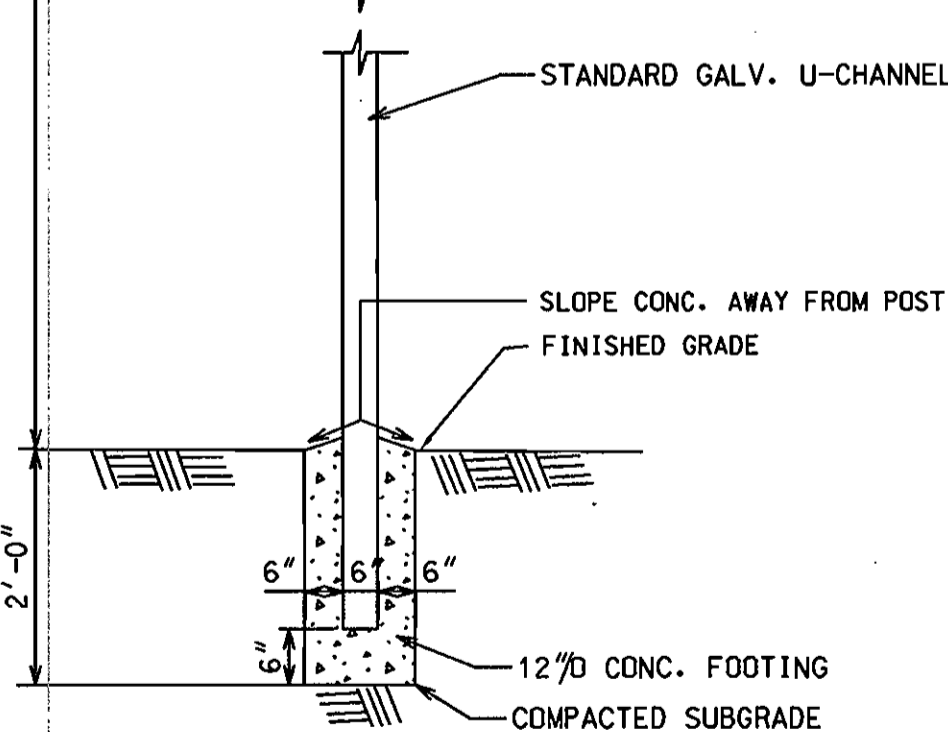


TO COMPLY WITH U.S. BUREAU OF PUBLIC ROADS STANDARDS.
.080 GAUGE ALUMINUM BLUE BACKGROUND WITH 3M MATERIAL PARKWAY WHITE.

NOTE: PAINT IS TO BE YELLOW TRAFFIC PAINT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS (TWO(2) COATS REQUIRED)

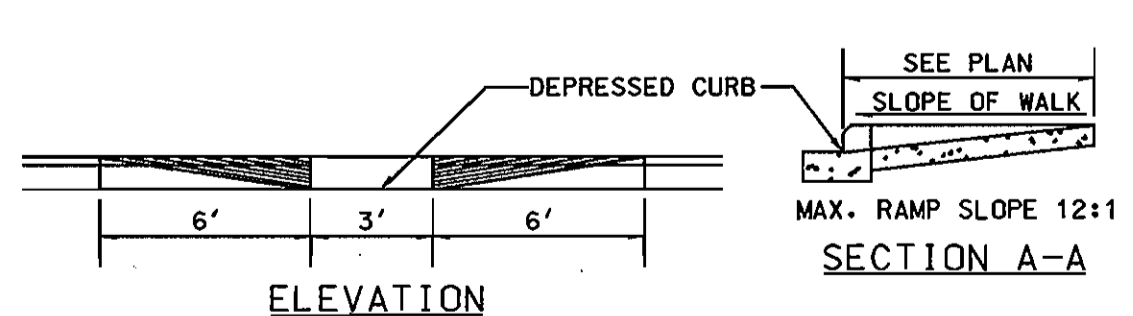
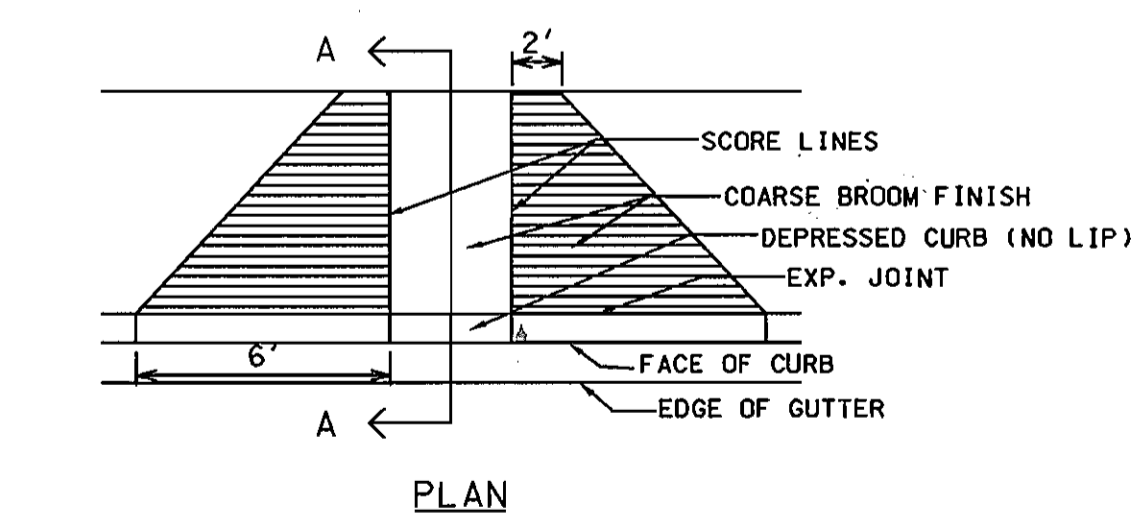


HANDICAPPED PARKING
NOT TO SCALE

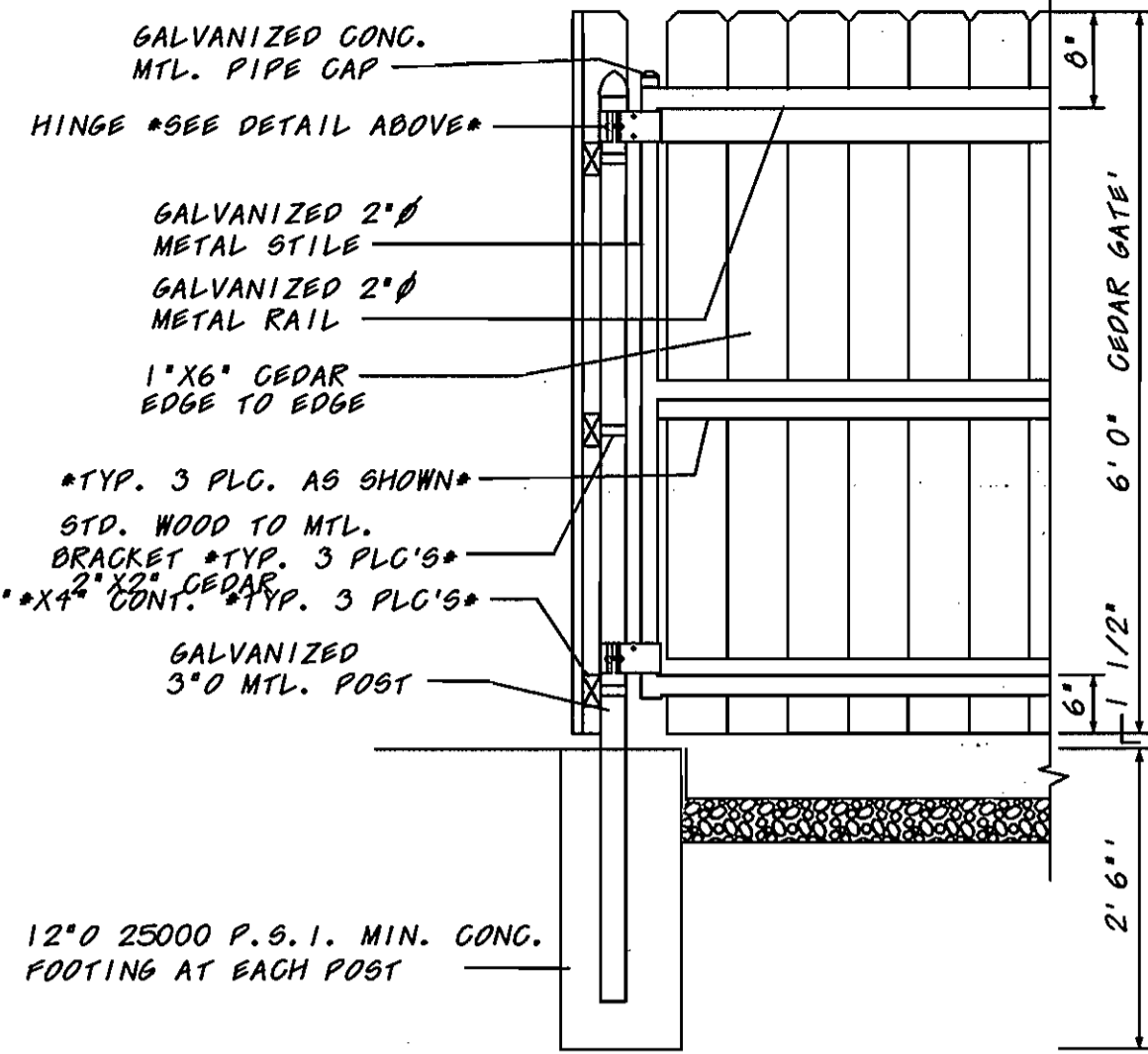


COLOR:
LEGEND AND BORDER-GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND-WHITE
NOTE: PROVIDE SIGN FOR EACH SPACE
INSTALL SIGNS AS INDICATED ON SITE PLAN

HANDICAP PARKING SIGN DETAIL
NOT TO SCALE



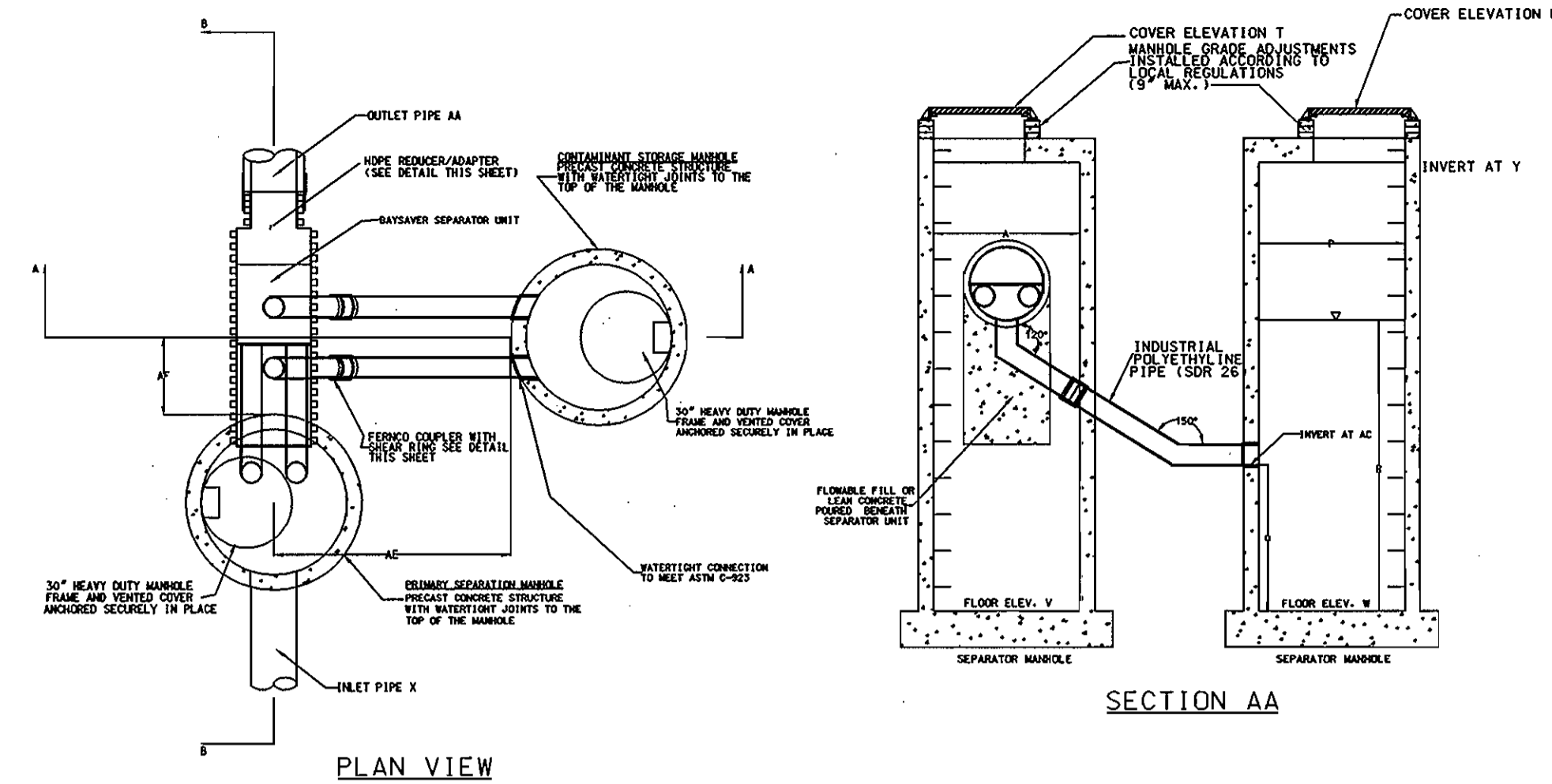
HANDICAPPED RAMP
NOT TO SCALE



12" O 25000 P.S.I. MIN. CONC. FOOTING AT EACH POST

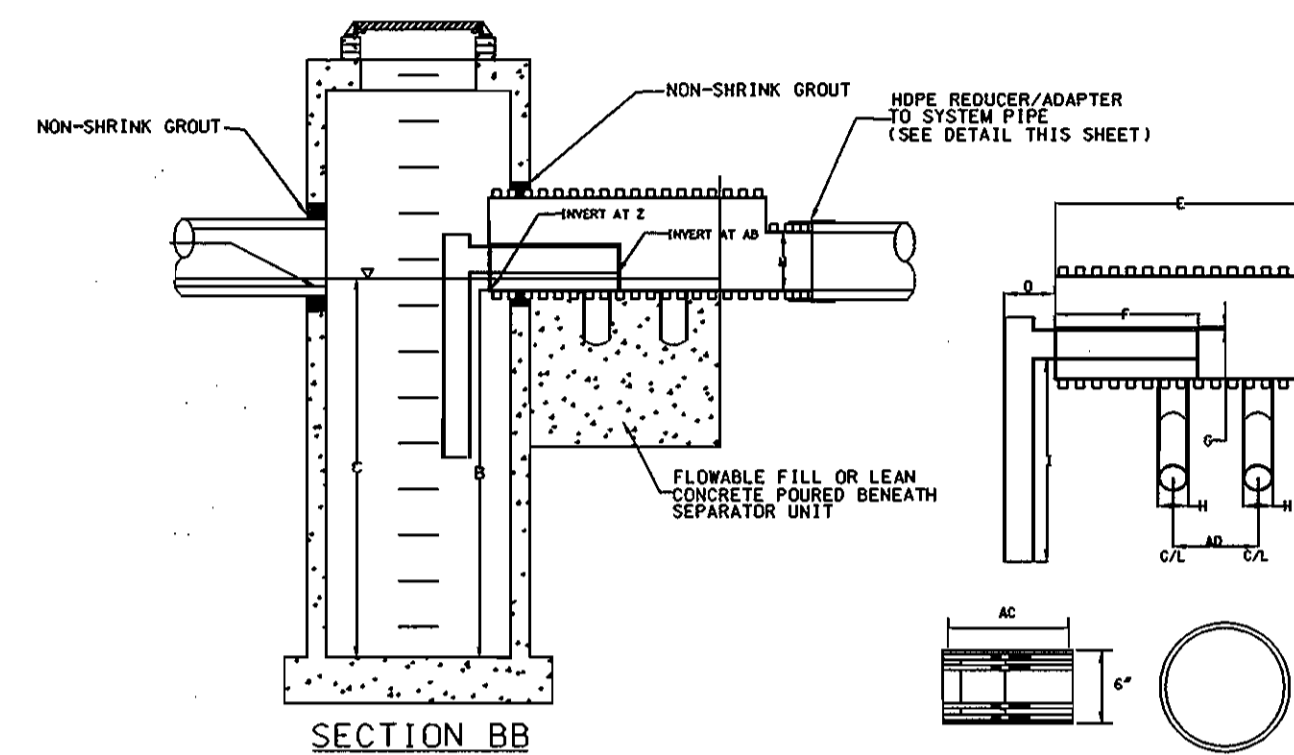
CONSTRUCTION SPECIFICATIONS

- GENERAL**
THIS STORMWATER MANAGEMENT FACILITY SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION VOLUME IV AND AS AMENDED.
- TIMING**
THIS UNDERGROUND MANAGEMENT FACILITY SHALL NOT BE CONSTRUCTED OR PLACED IN SERVICE UNTIL ALL OF THE CONTRIBUTING AREA HAS BEEN STABILIZED AND APPROVED BY THE RESPONSIBLE INSPECTOR.
- STRUCTURAL BACKFILL MATERIAL**
THE BACKFILL MATERIAL SHALL BE TAKEN FROM AN APPROVED BORROW AREA. ALL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, WOOD, RUBBISH, OVERSIZED STONES, FROZEN OR OTHER OBJECTIONABLE MATERIAL.
PLACEMENT & COMPACTION
THE BACKFILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED 4" IN THICKNESS AND COMPACTED BY HAND TEMPER OR OTHER COMPACTION EQUIPMENT. THE MATERIAL NEEDS TO FILL COMPLETELY ALL SPACES UNDER AND ADJACENT TO THE PIPES. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE CLOSER THAN 4 FEET, MEASURED HORIZONTALLY, TO ANY PART OF A STRUCTURE OR PIPE UNLESS THERE IS A COMPACTED FILL OF 24 INCHES OR GREATER OVER THE STRUCTURE OR PIPE.
- PIPE CONDUITS**
MATERIALS (CORRUGATED STEEL PIPE)
THIS PIPE AND ITS APPURTENANCES SHALL BE GALVANIZED AND FULLY BITUMINOUS COATED AND SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATIONS M-190 TYPE A WITH WATERTIGHT COUPLING BANDS. ANY BITUMINOUS COATING DAMAGED OR OTHERWISE REMOVED SHALL BE REPAIRED WITH COLD APPLIED BITUMINOUS COATING COMPOUND. COATED C-MATERIAL SHALL HAVE A MINIMUM COATING THICKNESS OF 10 MIL ON BOTH SIDES OF PIPE AND SHALL MEET REQUIREMENTS OF AASHTO M-245 AND M-246.
CONNECTIONS
ALL CONNECTIONS WITH PIPES MUST BE COMPLETELY WATERTIGHT. WATERTIGHT COUPLING BANDS OR FLANGES SHALL BE USED AT ALL JOINTS. DIMPLE BANDS ARE NOT CONSIDERED TO BE WATERTIGHT.
BEDDING
THE PIPE SHALL BE FIRMLY AND UNIFORMLY BEDDED THROUGHOUT ITS ENTIRE LENGTH. WHERE ROCK OR SOFT, SPONGY OR OTHER UNSUITABLE SOIL IS ENCOUNTERED, ALL SUCH MATERIALS SHALL BE REMOVED AND REPLACED WITH SUITABLE EARTH MATERIAL COMPACTED TO PROVIDE ADEQUATE SUPPORT.
LAYING PIPE
THE PIPE SHALL BE PLACED WITH INSIDE CIRCUMFERENTIAL LAPS POINTING DOWNSTREAM AND WITH THE LONGITUDINAL LAPS AT THE SIDES.
BACKFILLING
BACKFILL SHALL CONFORM TO STRUCTURAL BACKFILL AS SHOWN ABOVE.
OTHER DETAILS
SILT, TRAPPING MANHOLES, ETC. SHALL BE AS SHOWN ON THE DRAWINGS.
- CONCRETE**
CONCRETE SHALL MEET MINIMUM REQUIREMENTS SET FORTH IN MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 918 (PORTLAND CEMENT CONCRETE MIXTURES), MIX NO. 3. REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60. REBARS SHALL HAVE 3" COVER (MINIMUM) AND A MINIMUM OVERLAP OF 30 BAR DIAMETERS, EXCEPT AS NOTED ON THE PLAN. STEEL ANGLES AND ANCHOR BARS SHALL BE ASTM A-36.
- EROSION CONTROL FACILITIES**
ALL DISTURBED AREA SHALL BE CONTROLLED BY AN EROSION AND SEDIMENT CONTROL PLAN WHICH HAS BEEN APPROVED BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT (HSCSD). PROVIDE INLET PROTECTION FOR THOSE INLETS LOCATED ABOVE THE FACILITY UNTIL THE CONTRIBUTING AREAS HAVE BEEN STABILIZED.
- FILTER CLOTH**
ALL FILTER CLOTH SHALL BE POLYFILTER - X OR EQUIVALENT.
- RIPRAP**
ALL RIPRAP SHALL CONFORM TO HOWARD COUNTY SPECIFICATIONS.
- CONSTRUCTION INSPECTION BY DESIGNATED ENGINEERS**
THE CONSTRUCTION OF THIS FACILITY, AND CERTIFICATION THAT THIS FACILITY HAS BEEN BUILT IN ACCORDANCE WITH THE PLANS, SHALL BE UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER. THE ENGINEER SHALL BE NOTIFIED SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT ARRANGEMENTS CAN BE MADE FOR 1) INSPECTION OF PIPE TRENCH AND BEDDING, 2) INSPECTION OF SPECIAL PIPE SECTIONS AND FIXTURES, AND 3) SUPERVISION OF BACKFILLING OPERATIONS. THE ENGINEER SHALL DIRECT THE HANDLING OF WATER DURING CONSTRUCTION, MINOR CHANGES NOT AFFECTING THE INTEGRITY OR PERFORMANCE OF THE FACILITY, AND THE REMOVAL AND REPLACEMENT OF DEFECTIVE FILL.

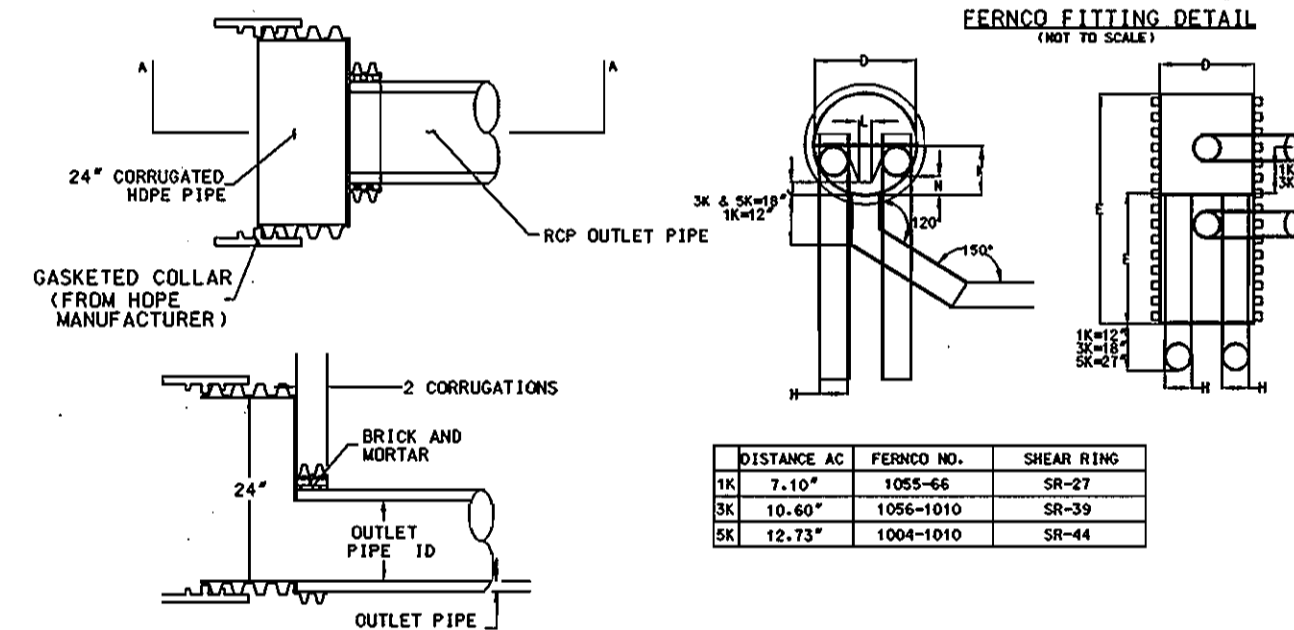


PLAN VIEW

SECTION AA



SECTION BB



BAYSAYER DETAILS
N.T.S.

SS1 BAYSAYER SEPARATION SYSTEM SEPARATOR UNIT ORDER FORM

PROJECT: OAKLAND RIDGE
ADDRESS: 2522 OLD ANNAPOLIS ROAD
COLUMBIA, MD

DESIGNER: RICHARDSON ENGINEERING, LLC
CONTACT: BILLY RICHARDSON
PHONE: 410-560-1502
FAX: 410-560-0827

DELIVERY DATE:
OWNER: WELLS FARGO COMMERCIAL PROPERTIES TRST
CONTACT: BOB BAZEMORE
ADDRESS: 26 MAIN STREET
CHAPEL HILL, NEW JERSEY 07528

CONTRACTOR:
CONTACT:
PHONE:
FAX:

SEPARATOR UNIT MODEL:
1K
3K
5K

CIRCLE SYSTEM ORIENTATION ABOVE

MANHOLE SPECIFICATIONS:
PRIMARY MANHOLE DIAMETER: 60"
STORAGE MANHOLE DIAMETER: 60"
FLOOR ELEVATIONS:
PRIMARY MANHOLE: 422.77
STORAGE MANHOLE: 422.77
PRIMARY MANHOLE INVERT ELEVATIONS:
SEPARATOR UNIT: 430.27
INLET PIPE(S): 430.27
MANHOLE COVER ELEVATIONS:
PRIMARY MANHOLE: 435.50
STORAGE MANHOLE: 436.00

PLEASE SHOW ORIENTATION (INCLUDING ANGLE), SIZE AND MATERIAL FOR EACH INLET PIPE ABOVE.

FOR QUESTIONS, PRICES, OR TECHNICAL SUPPORT, PLEASE CONTACT
1010 REEF HOLLOW DRIVE
MOUNTAIN VIEW, MARYLAND 21111
PHONE (301) 829-6470 FAX (301) 829-3747

- INSTALLATION INSTRUCTIONS**
- CALL LOCAL UTILITY LOCATOR TO MAKE CERTAIN IT IS SAFE TO EXCAVATE.
 - STAKE OUT THE LOCATION OF THE PRIMARY AND STORAGE STRUCTURES AND EXCAVATE THE HOLE. EXCAVATION MUST PROVIDE ADEQUATE SPACE TO CONNECT INLET AND OUTLET PIPES TO THE SEPARATOR MANHOLE AND THE BAYSAYER UNIT. INSTALL STRUCTURES ON SOLID SUBGRADE AS DIRECTED BY A GEOTECHNICAL ENGINEER.
 - VERIFY THE SUBGRADE ELEVATION AGAINST THE MANHOLE DIMENSIONS AND CONNECTING STORM DRAIN INVERTS. ADJUST BASE AGGREGATE IF NECESSARY.
 - INSTALL THE PRIMARY MANHOLE AND STORAGE MANHOLE. MAKE SURE THE BASES ARE LEVEL AND THAT THE STORAGE MANHOLE OPENINGS ARE ALIGNED WITH THE SEPARATOR UNIT. INSTALL RUBBER GASKETS ON BASE UNITS AND COAT WITH LUBRICATING GREASE. INSTALL ADDITIONAL MANHOLE SECTIONS AS REQUIRED.
 - SEAL ALL LIFT HOLES ACCORDING TO APPLICABLE REGULATIONS.
 - BACKFILL BASE SECTIONS OF MANHOLES TO INVERT OF STORAGE MANHOLE CONNECTING PIPES. USING AN APPROVED BACKFILL MATERIAL, BACKFILL AND COMPACT IN LIFTS WHICH ALLOW FOR ACCEPTABLE COMPACTION. BACKFILL COMPACTION SHOULD BE SUPERVISED BY A GEOTECHNICAL ENGINEER.
 - INSTALL BAYSAYER SEPARATOR UNIT AND CONNECTING PIPES. SEAL ALL CONNECTING JOINTS AND INSTALL REDUCER OR REDUCER/ADAPTER. PROVIDE TEMPORARY SUPPORTS AND HOLD-DOWNS AS NECESSARY TO STABILIZE UNIT DURING REMAINING BACKFILL OPERATION.
 - BACKFILL SEPARATOR UNIT AND MANHOLES. AREAS NOT ACCESSIBLE TO BACKFILL EQUIPMENT MUST BE BACKFILLED WITH STONE OR FLOWABLE FILL. CONCRETE BACKFILL IS NOT ACCEPTABLE. BACKFILL COMPACTION SHOULD BE SUPERVISED BY A GEOTECHNICAL ENGINEER.
 - INSTALL AND SET MANHOLE COVER GRADE ADJUSTMENTS AS NECESSARY.
 - INSTALL AND SET MANHOLE FRAME AND COVER UNITS.
 - FILL STRUCTURES WITH WATER.
 - THE SEPARATION MANHOLE AND THE STORAGE MANHOLE SHALL BE CLEANED WHEN SEDIMENT CONTROL MEASURES ARE REMOVED AND THE SITE IS PERMANENTLY STABILIZED. SEDIMENT AND DEBRIS MUST BE DISPOSED OF PROPERLY.

- MAINTENANCE INSTRUCTIONS**
- REMOVE THE TWO 30" MANHOLE COVERS TO PROVIDE ACCESS TO THE CONTAMINANT STORAGE.
 - REMOVE ALL WATER, DEBRIS, OILS AND SEDIMENT FROM THE STORAGE MANHOLE USING A VACUUM TRUCK OR OTHER EQUIPMENT.
 - USING A HIGH PRESSURE HOSE CLEAN THE STORAGE MANHOLE AND REMOVE THE CLEANING WATER USING THE VACUUM TRUCK.
 - USING A SUBMERSIBLE PUMP, PUMP THE BULK OF THE WATER FROM THE PRIMARY MANHOLE INTO THE CLEAN STORAGE MANHOLE. THE PUMP INTAKE MUST BE KEPT BELOW THE WATER SURFACE AND PUMPING MUST BE STOPPED WHEN THE WATER SURFACE FALLS TO A LEVEL ONE FOOT ABOVE THE ACCUMULATED SEDIMENTS.
 - REMOVE THE REMAINING WATER AND SEDIMENT FROM THE PRIMARY MANHOLE USING A VACUUM TRUCK OR OTHER EQUIPMENT.
 - USING A HIGH PRESSURE HOSE CLEAN THE PRIMARY MANHOLE AND REMOVE THE CLEANING WATER USING THE VACUUM TRUCK.
 - FILL THE TWO STRUCTURES WITH CLEAN WATER.
 - REPLACE THE TWO 30" MANHOLE COVERS.
 - DISPOSE OF THE CONTAMINATED WATER AT AN APPROVED FACILITY. LOCAL REGULATIONS OFTEN PROHIBIT DISCHARGE OF THIS MATERIAL TO THE SANITARY SEWER; THE LOCAL SEWER AUTHORITY MUST AUTHORIZE SUCH A DISCHARGE.

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: Nov 1, 2000

7/25/07	B	NEW OWNER
DATE	NO.	REVISION
OWNER/DEVELOPER WELLS FARGO PROPERTIES, INC. 2320 CENTRAL AVENUE, NE MINNEAPOLIS, MN 55470 Attn: CARRIE TIMMINS, PH 612-667-8714		
PROJECT: OAKLAND RIDGE OFFICE PARK RENOVATION		
TITLE: STORM & SITE DETAILS		
Richardson Engineering, LLC 730 W. Padonia Road Cockeysville, Maryland 21030 Phone: 410-560-1502 Fax: 410-560-0827		

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 3/6/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 3/2/01
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 3/9/01
DIRECTOR DATE

PERMIT INFORMATION CHART

SUBDIVISION NAME OAKLAND RIDGE INDUSTRIAL PARK	SECTION/AREA SECTION 1	LOT/PARCEL 6, 7 & 8
PLAT * OR L/F PLAT 12/65	BLOCK * 17	ZONING NT-IND.
TAX/ZONING MAP 30	ELECTION DIST 2ND	CENSUS TRACT 6067.03
WATER CODE 604	SEWER CODE 5657100	

CHECKED BY: PCR
DESIGNED BY: PCR
DRAWN BY: CADDS
PROJECT NO.: 99005
DATE: 7/19/00
SCALE: AS SHOWN
DRAWING NO. 4 OF 6
DATE: 12/6/00

FILE NO. SDP-00-134

Plant List

Quan.	Symbol	Botanical Name	Common Name	Remarks
Trees				
3	AMC	Amelanchier canadensis	Downy Shadblow	8-10' hgt., multi-stemmed (3 or 5)
30	GA	Fraxinus pennsylvanica 'Patmore'	Patmore Green Ash	2 1/2-3" cal., 12-14' hgt.
13	HL	Gleditsia triacanthos inermis 'Halka'	Halka Honeylocust	2 1/2-3" cal., 12-14' hgt.
23	WP	Pinus strobus	White Pine	6-7' hgt.
25	PCB	Pyrus calleryana 'Bradford'	Aristocrat Callery Pear	2 1/2 - 3" cal., 8-10' hgt.
9	LC	CYPRESS X LETLANDII	LEYLAND CYPRESS	3.4' Ht.
Shrubs				
11	WLC	Cotoneaster salicifolius repandens	Willowleaf Cotoneaster	24-30"
48	JHP	Juniperus horizontalis plumosa	Andorra Juniper	18-24"
145	JST	Juniperus sabina 'tamariscifolia'	Tams Juniper	18-24"
106	NAN	Nandina domestica	Nandina, Heavenly Bamboo	30-36"
81	TMD	Taxus media densiformis	Densiformis Yew	18-24"
42	VC	Viburnum carlesii	Koreanspice Viburnum	30-36"
1	VPT	Viburnum plicatum tomentosum	Doublefile Viburnum	42-48"
18	VR	Viburnum rhytidophyllum	Leatherleaf Viburnum	42-48"
Perennials				
24	AAB	Astilbe asiendii 'Brantschleier'	White Astilbe	2 qt. cont., 12" o.c.
8	HSB	Hosta sieboldiana 'elegans'	Hosta elegans	1 gal. cont.
Groundcover				
780	LIR	Liriope muscari 'Big Blue'	Liriope	2 qt. cont., 12" o.c.
150	IVY	Hedera helix	English Ivy	2 1/4" pots, 9" o.c.
Seasonals				
21A				

LEGEND :

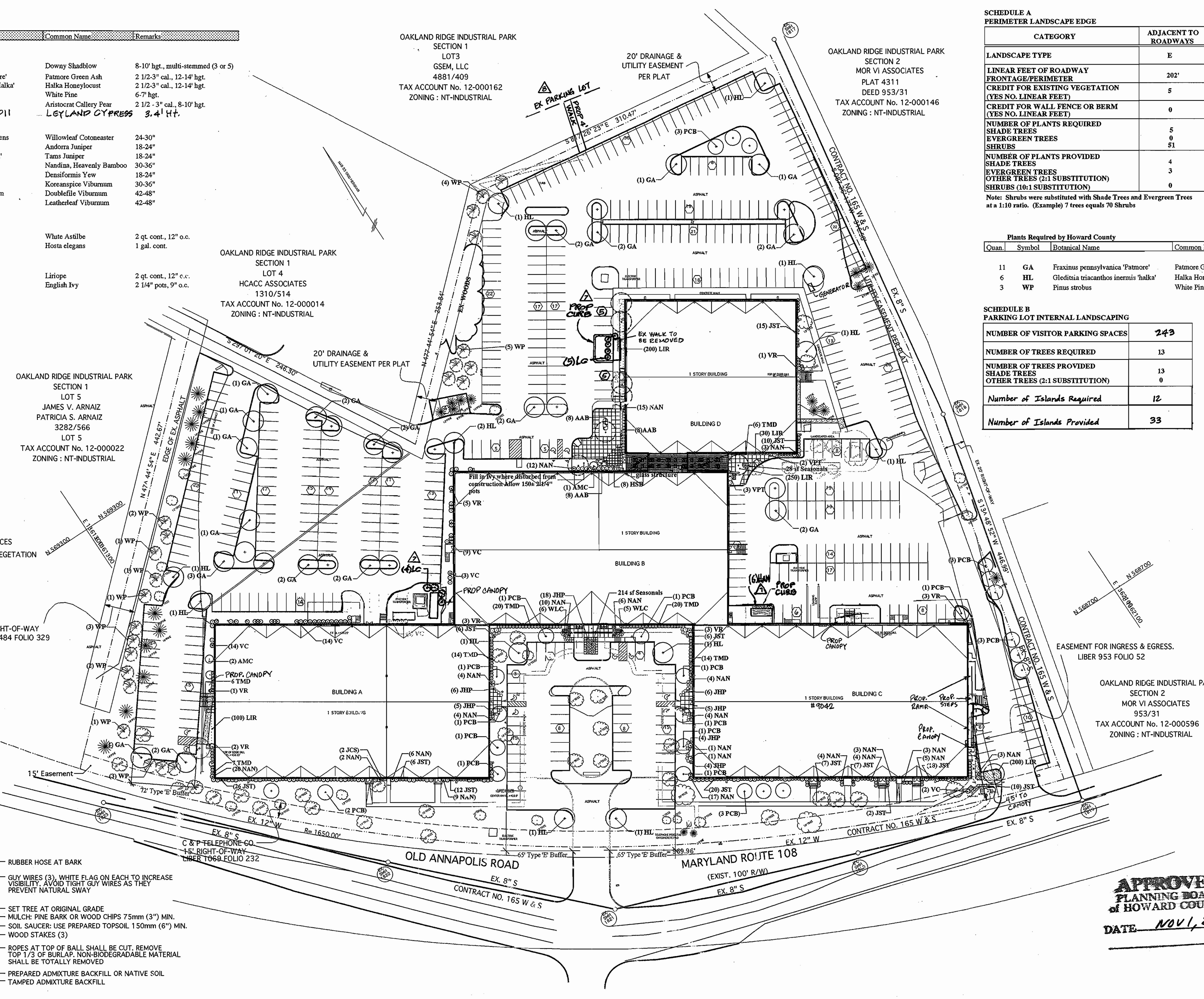
- EX. PROPERTY LINE
- EX. 2' CONTOUR
- EX. 10' CONTOUR
- EX. GAS
- EX. SANITARY
- EX. STORM DRAIN
- EX. WATER
- EX. WATER METER
- EX. TELEPHONE
- EX. CURB
- EX. ELECT. CONDUIT
- EX. LIGHT POLE
- EX. FENCE LINE
- No. OF PARKING SPACES
- EX. WOODS LINE / VEGETATION
- EX. TREE
- PROPOSED PAVING

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 3
GSEM, LLC
4881/409
TAX ACCOUNT No. 12-000162
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 2
MOR VI ASSOCIATES
PLAT 4311
DEED 953/31
TAX ACCOUNT No. 12-000146
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 4
HCACC ASSOCIATES
1310/514
TAX ACCOUNT No. 12-000014
ZONING : NT-INDUSTRIAL

OAKLAND RIDGE INDUSTRIAL PARK
SECTION 1
LOT 5
JAMES V. ARNAIZ
PATRICIA S. ARNAIZ
3282/566
LOT 5
TAX ACCOUNT No. 12-000022
ZONING : NT-INDUSTRIAL



SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS
LANDSCAPE TYPE	E
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	202'
CREDIT FOR EXISTING VEGETATION (YES NO. LINEAR FEET)	5
CREDIT FOR WALL FENCE OR BERM (YES NO. LINEAR FEET)	0
NUMBER OF PLANTS REQUIRED	
SHADE TREES	5
EVERGREEN TREES	0
SHRUBS	51
NUMBER OF PLANTS PROVIDED	
SHADE TREES	4
EVERGREEN TREES	3
OTHER TREES (2:1 SUBSTITUTION)	0
SHRUBS (10:1 SUBSTITUTION)	0

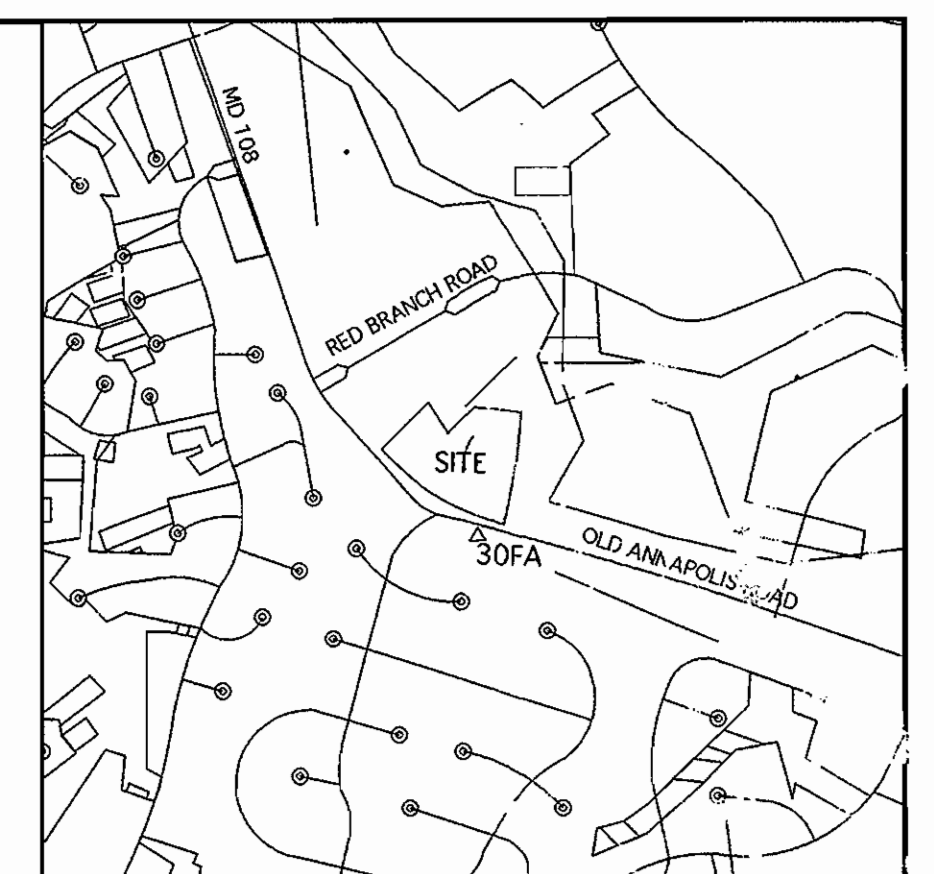
Note: Shrubs were substituted with Shade Trees and Evergreen Trees at a 1:10 ratio. (Example) 7 trees equals 70 Shrubs

Plants Required by Howard County

Quan.	Symbol	Botanical Name	Common Name	Remarks
11	GA	Fraxinus pennsylvanica 'Patmore'	Patmore Green Ash	2 1/2-3" cal., 12-14' hgt.
6	HL	Gleditsia triacanthos inermis 'Halka'	Halka Honeylocust	2 1/2-3" cal., 12-14' hgt.
3	WP	Pinus strobus	White Pine	6-7' hgt.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF VISITOR PARKING SPACES	243
NUMBER OF TREES REQUIRED	13
NUMBER OF TREES PROVIDED	13
SHADE TREES	0
OTHER TREES (2:1 SUBSTITUTION)	0
Number of Islands Required	12
Number of Islands Provided	33



VICINITY MAP
SCALE: 1"=2000'

GENERAL NOTES :

- CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:

MISS UTILITY 800-257-7777
CAP TELEPHONE 410-725-3976
HOWARD COUNTY BUREAU OF UTILITIES 410-992-2366
AT&T CABLE LOCATION DIVISION 410-593-3553
BALTIMORE GAS & ELECTRIC CO. 410-685-0123
STATE HIGHWAY ADMINISTRATION 410-531-5533
HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION (24 HOURS NOTICE PRIOR TO) 410-313-1880

Developers/Builders Certificate

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the department of planning and zoning.

John M. Mariani 12/6/00
Name Date

This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.

Financial surety for the required landscaping has been posted as part of the Development Agreement in the amount of \$5,550.00. This surety is based on 1 shade tree at \$300.00 each and 3 evergreen trees at \$150.00 each.

The owner, tenant, and/or their agents shall be responsible for the maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

DATE	NO.	REVISION
9/10/04	4	ADD CANOPIES
8/12/02	3	GENERATOR ADDED
3/7/02	2	GENERATOR & LOADING DOCK
1/8/02	1	GENERATOR & ENTRANCES

OWNER/DEVELOPER
WELLS FARGO PROPERTIES, INC.
2329 CENTRAL AVE. NE
MINNEAPOLIS, MN 55479
Attn: CARRIE TIMMINS PH 612-667-8714

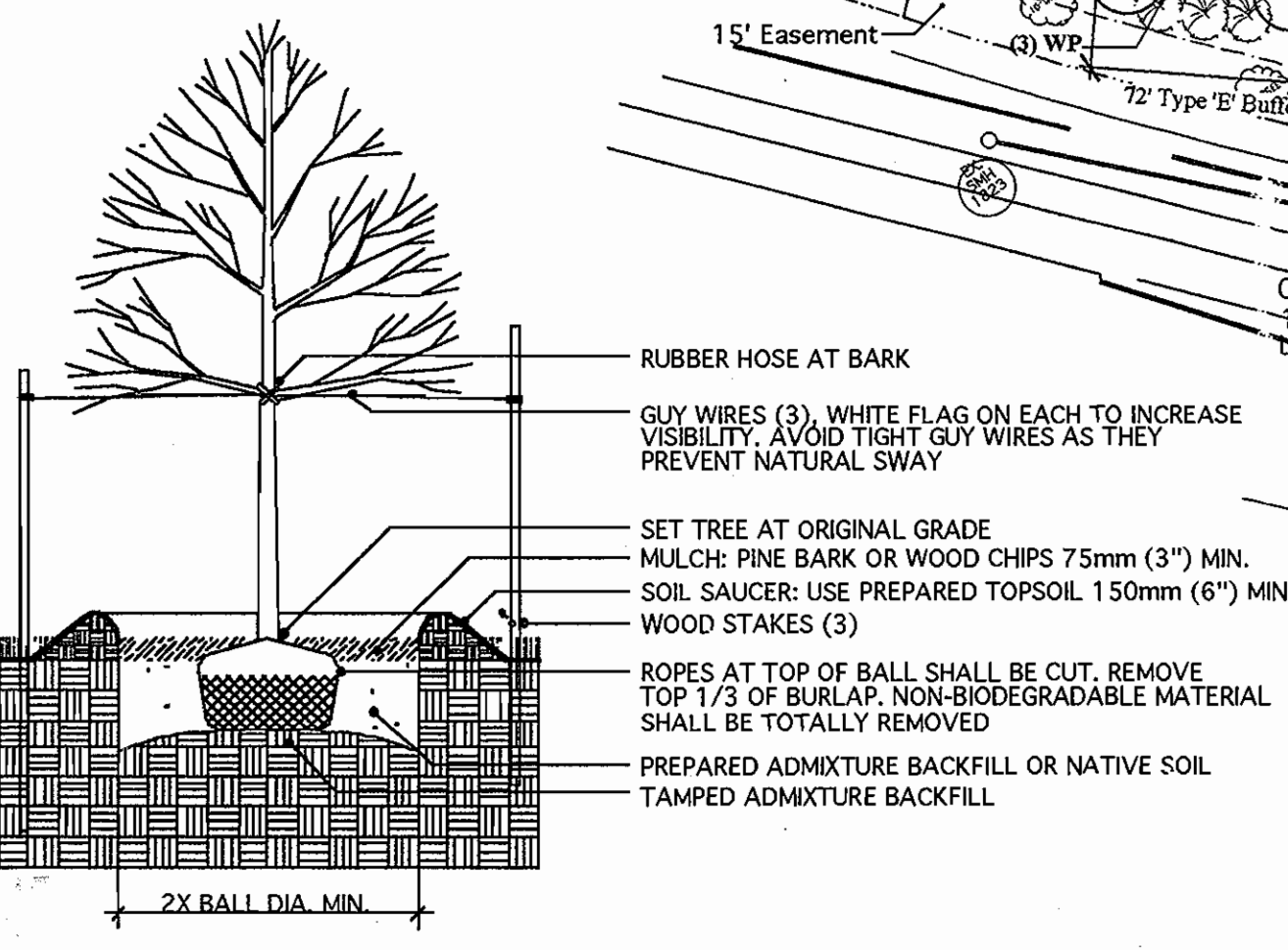
PROJECT: **OAKLAND RIDGE OFFICE PARK**

TITLE: **Landscape Plan**

SLATER ASSOCIATES INC.
5560 Stierrett Pl. Suite 302
Columbia, MD 21045
410.992.0001 - phone
410.992.0212 - fax
slaterj@erols.com

Richardson Engineering, LLC
730 W. Padonia Road
Cockeysville, Maryland 21030
Phone: 410-560-1507 Fax: 410-560-0827

CHECKED BY:	DESIGNED BY:	DRAWN BY:	PROJECT NO.:	DATE:	SCALE:	DRAWING NO.:
JBS	MJW and JBS	MJW	99005	12/6/00	1" = 50'	5 OF 6



APPROVED: DEPARTMENT OF PLANNING AND ZONING

John M. Mariani 3/7/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Carrie Timmins 3/7/01
CHIEF, DIVISION OF LAND DEVELOPMENT
James L. Scott 3/7/01
DIRECTOR

4-207 SHOWING NEW GENERATORS W/ ADDED LANDSCAPING

ENGINEER FOR REGIONAL CENTURY ENGINEERING, INC.
10710 GILROY ROAD
HUNT VALLEY, MD 20886

SHEET INDEX :

SHEET 1	SITE PLAN & NOTES.
SHEET 2	GRADING & SEDIMENT CONTROL PLAN.
SHEET 3	SEDIMENT CONTROL DETAILS.
SHEET 4	SITE DETAILS.
SHEET 5	LANDSCAPE PLAN.
SHEET 6	DRAINAGE AREA MAP, EXISTING & PROPOSED CONDITIONS

SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
TOPOG INFORMATION BY GERHOLD, CROSS & FIZEL DATED 7/00

LOT/PARCEL#	STREET ADDRESS
6, 7, & 8	9052 OLD ANNAPOLIS ROAD

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7, & 8

PLAT # OR L/F	BLOCK #	SECTION	LAZ/ZONING MAP	ELECTION DIST	CENSUS TRACT
773/245		NT	30	2ND	6067.03

REV B 7/25/07 4 WALK TO LOT 3, NEW OWNER
REV G 6/7/05 ADD CANOPY TO REAR OF Bldg 4
REV H 3/21/05 ADD CANOPY, STEPS & RAMP

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE **NOV 1, 2000**

LEGEND :

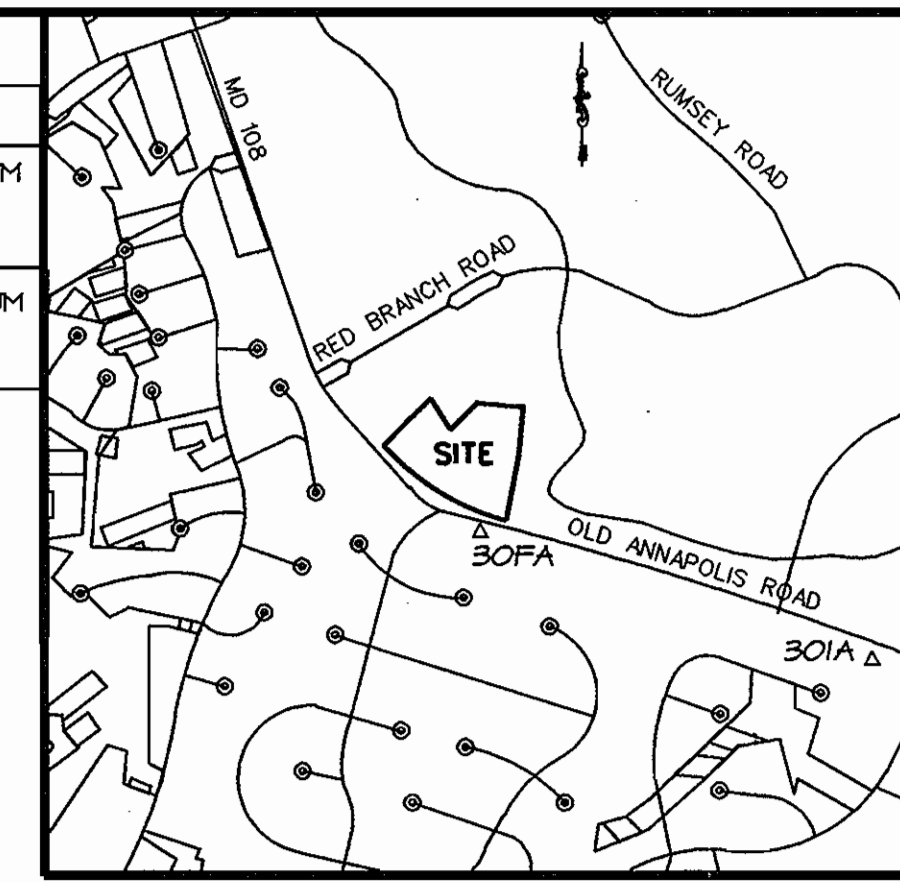
SUPER SILT FENCE	
SILT FENCE	
STABILIZED CONSTRUCTION ENTRANCE	
STOCKPILE AREA	
CONTRACTOR'S STAGING AREA	
EXISTING CONTOURS	
PROPOSED CONTOURS	
LIMIT OF DISTURBANCE	

SEQUENCE OF OPERATIONS

1. NOTIFY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS (HCDPW) INSPECTORS 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CLEAR AND GRUB AS NECESSARY FOR SEDIMENT CONTROL INSTALLATION. INSTALL CONSTRUCTION ENTRANCE. (2 DAYS)
3. CLEAR AND GRUB, AND ROUGH GRADE SITE. CLEAR ONLY THE AREAS THAT WILL BE WORKED IMMEDIATELY. (5 DAYS)
4. CONSTRUCT BUILDING ADDITION. (30 DAYS)
5. FINE GRADE PARKING LOT AND PLACE CURB AND STONE BASE COURSE IN THAT AREA. (3 DAYS)
6. SEED AND MULCH ALL DISTURBED AREAS. (1 DAY)
7. WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL MEASURES FROM THAT AREA. (2 DAYS)
8. STABILIZE ALL AREAS DISTURBED AS A RESULT OF SEDIMENT CONTROL REMOVAL. (2 DAYS)

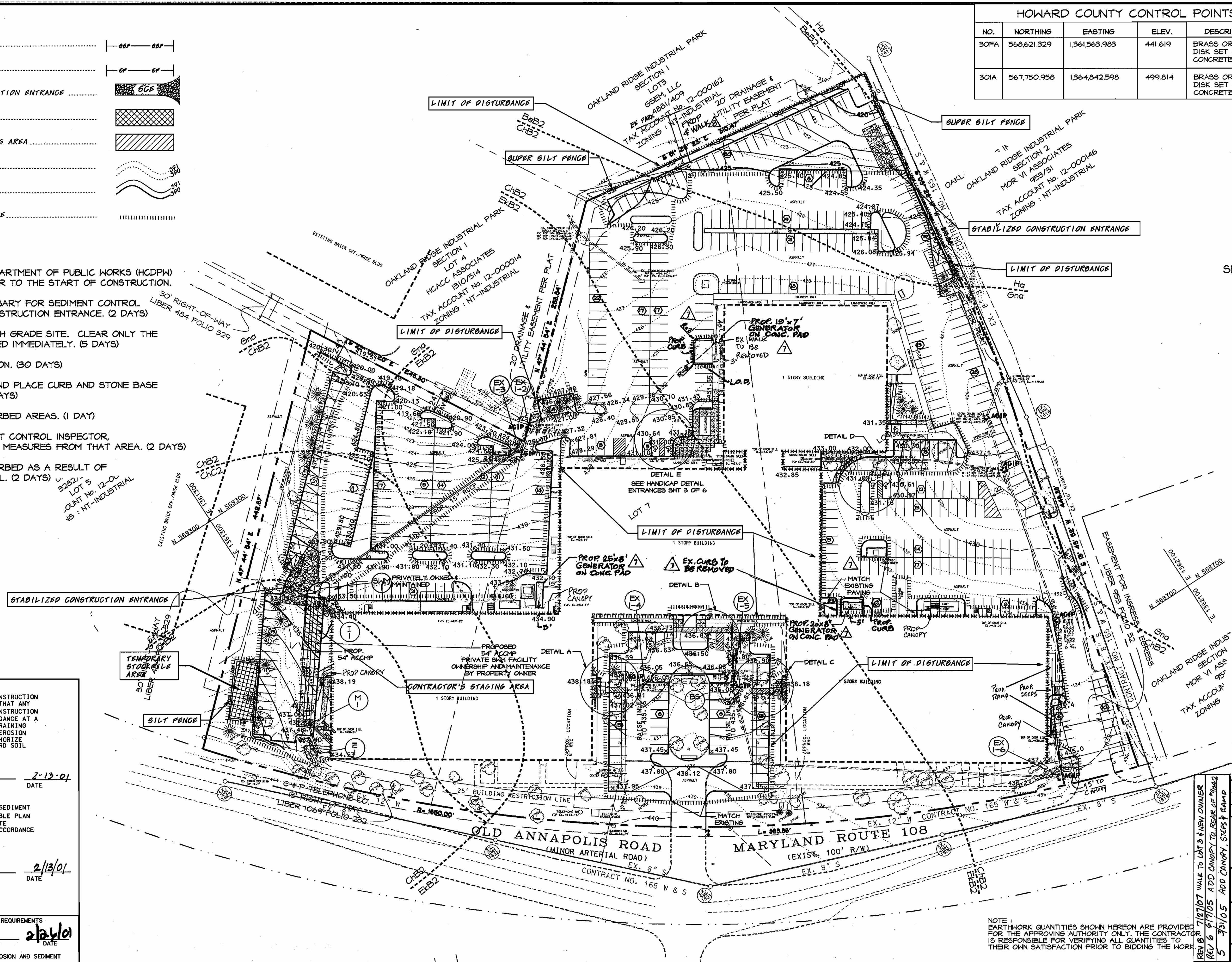
HOWARD COUNTY CONTROL POINTS

NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
30FA	568,621.329	1,361,563.983	441.619	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN
30IA	567,750.958	1,364,842.598	499.814	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN



SEDIMENT CONTROL NOTES :

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection Licenses and Permits, Sediment Control Division prior to the start of any construction 313-1855.
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching, Sec. 6. Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:
 - Total Area of Site: 464,001 SF / 10.652 Acres
 - Area Disturbed: 100,952 SF / 2.32 Acres
 - Area to be seeded or paved: 23,254 SF / 0.53 Acres
 - Area to be vegetatively stabilized: 134,145 SF / 3.08 Acres
 - Total Cut: 1194 Cu. yds
 - Total Fill: 1305 Cu. yds
 - Offsite waste/borrow area location: A site with a currently active grading permit.
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.



BY THE DEVELOPER
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

John M. Namana
DEVELOPER
2-12-01
DATE

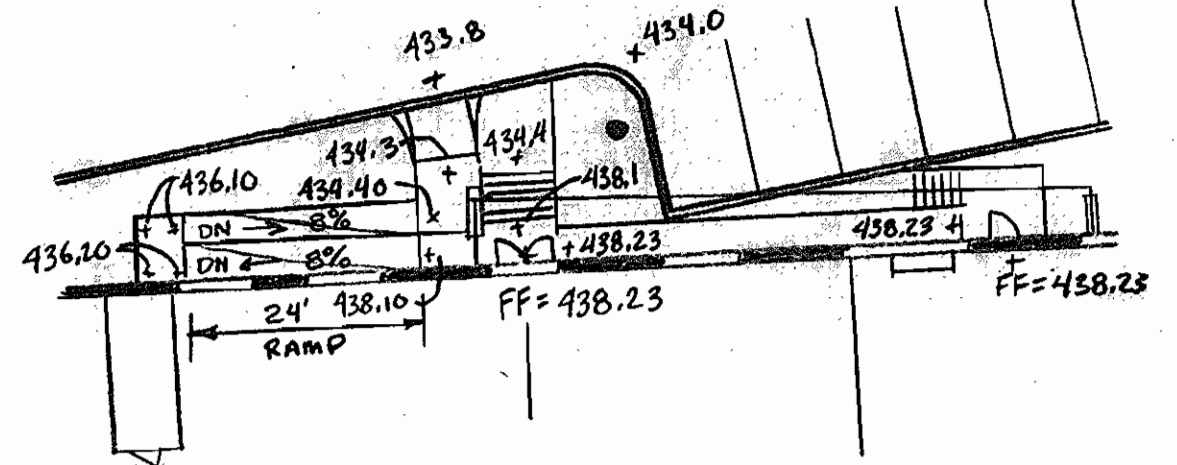
BY THE ENGINEER:
I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Richard C. Redden
ENGINEER
2/13/01
DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
Jim Mayne
USDA - NATURAL RESOURCES CONSERVATION SERVICES
2/24/01
DATE
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John W. Johnston
2/24/01
DATE
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
William J. ...
5/6/01
DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Cindy ...
3/1/01
DATE
CHIEF, DIVISION OF LAND DEVELOPMENT
...
3/1/01
DATE
DIRECTOR



APPROVED PLANNING BOARD OF HOWARD COUNTY
ENGINEER FOR REVISION
CENTURY ENGINEERING, INC.
1010 GILROY ROAD
HUNT VALLEY, MD 21081
DATE: Nov. 1, 2000



NOTE: EARTHWORK QUANTITIES SHOWN HEREON ARE PROVIDED FOR THE APPROVING AUTHORITY ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES TO THEIR OWN SATISFACTION PRIOR TO BIDDING THE WORK.

SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
TOPO INFORMATION BY GERHOLD, CROSS & ETZEL DATED 1/00

ADDRESS CHART	
LOT/PARCEL*	STREET ADDRESS
6, 7, & 8	9042-9082 OLD ANNAPOLIS ROAD

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL	ELECTION DIST	CENSUS TRACT
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8	2ND	6067.03
PLAT * OR L/F PLAT 12/65	BLOCK * 17	ZONING NT-IND.	TAX/ZONING MAP 30	SEWER CODE 5657100
WATER CODE 604				

DATE	NO.	REVISION
9/09/04	4	ADD CANOPIES
8/06/02	3	GENERATOR ADDED
3/10/02	2	GENERATOR & LOADING DOCK
1/8/02	1	GENERATOR & ENTRANCES

OWNER/DEVELOPER
WELLS, FARGO PROPERTIES, INC.
2329 CENTRAL AVE, NE
MINNEAPOLIS, MN 55470
Attn: CARRIE JIMMINS PH 612-667-8714

OAKLAND RIDGE OFFICE PARK RENOVATION

GRADING AND SEDIMENT CONTROL PLAN

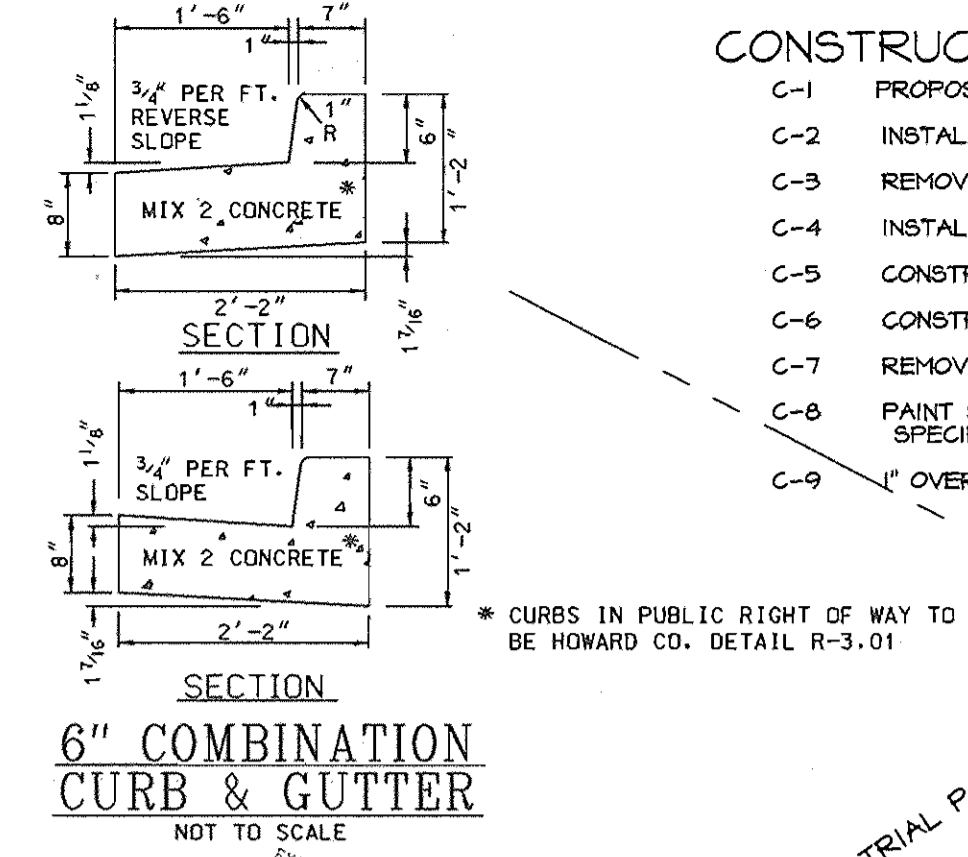
Richardson Engineering, LLC

730 W. Padonia Road
Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

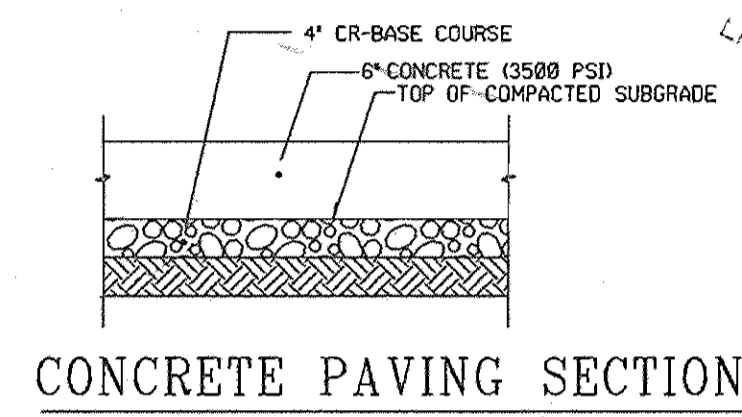
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DESIGNED BY: PCR
DRAWN BY: CADDS
PROJECT NO.: 99005
DATE: 7/19/00
SCALE: 1" = 50'
DRAWING NO. 2 OF 6

LEGEND :

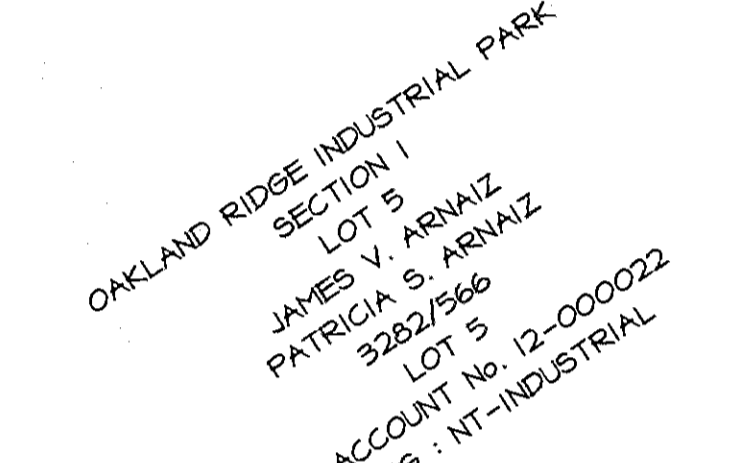
---	EX. PROPERTY LINE
- - - - -	EX. 2' CONTOUR
- - - - -	EX. 10' CONTOUR
---	EX. GAS
---	EX. SANITARY
---	EX. STORM DRAIN
---	EX. WATER
---	EX. WATER METER
---	EX. TELEPHONE
---	EX. CURB
---	EX. ELECT. CONDUIT
---	EX. LIGHT POLE
---	EX. FENCE LINE
---	NO. OF PARKING SPACES
---	EX. WOODS LINE / VEGETATION
---	EX. TREE
---	PROPOSED PAVING



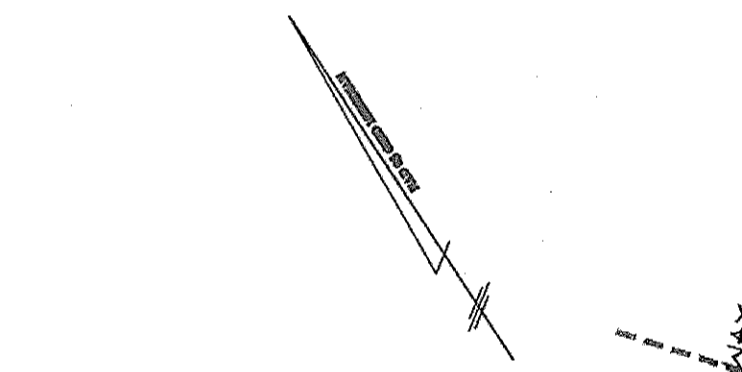
- CONSTRUCTION NOTES :**
- C-1 PROPOSED CONC. CURB.
 - C-2 INSTALL P-2 PAVING.
 - C-3 REMOVE EX. CURB.
 - C-4 INSTALL COMPACT PARK SPACE SIGN.
 - C-5 CONSTRUCT H.C. RAMP.
 - C-6 CONSTRUCT CONC. SIDEWALK.
 - C-7 REMOVE EXISTING WALK.
 - C-8 PAINT STRIPE PER MANUFACTURERS SPECIFICATIONS.
 - C-9 1\"/>



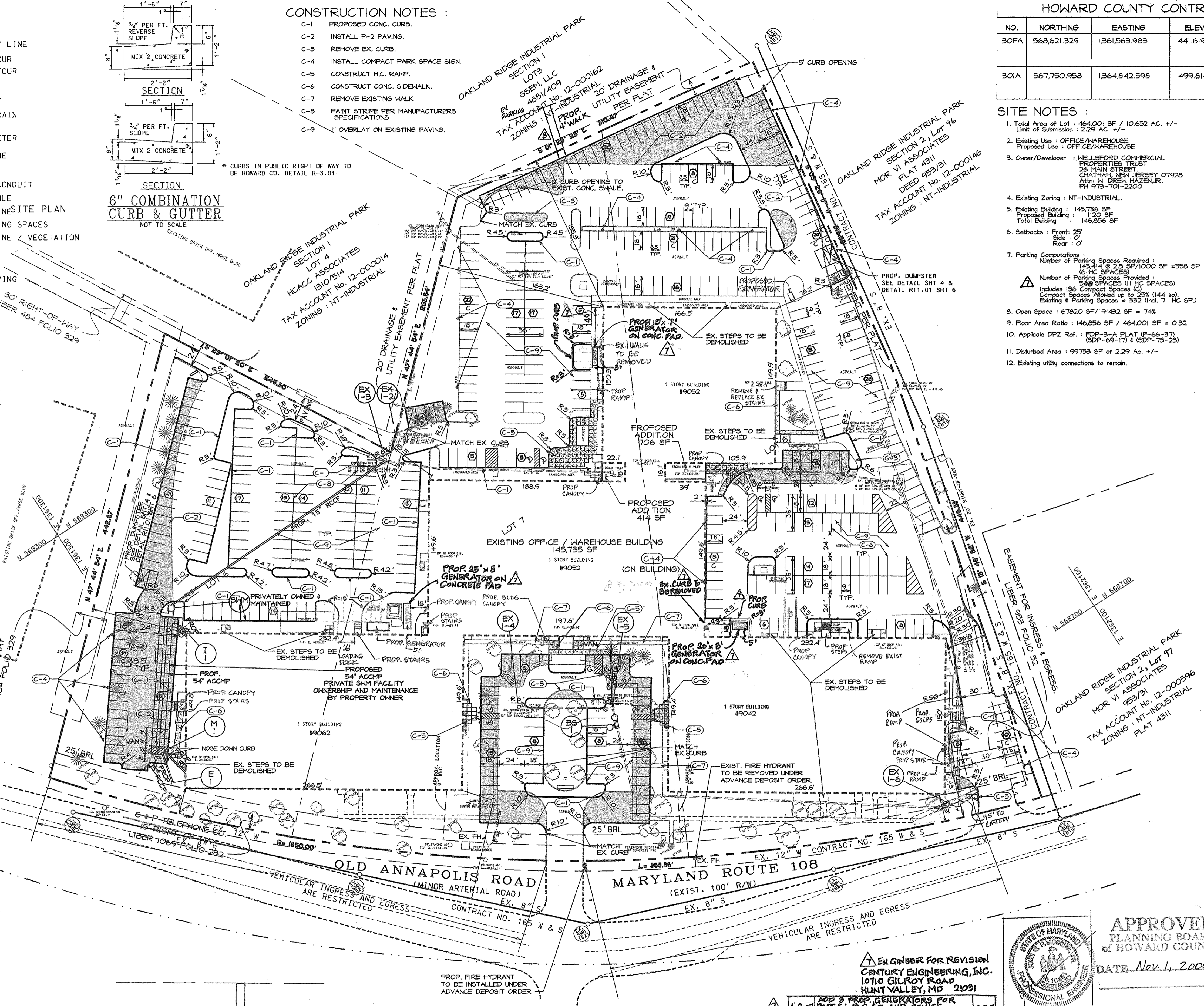
CONCRETE PAVING SECTION
NOT TO SCALE



CONCRETE SIDEWALK SECTION
NOT TO SCALE



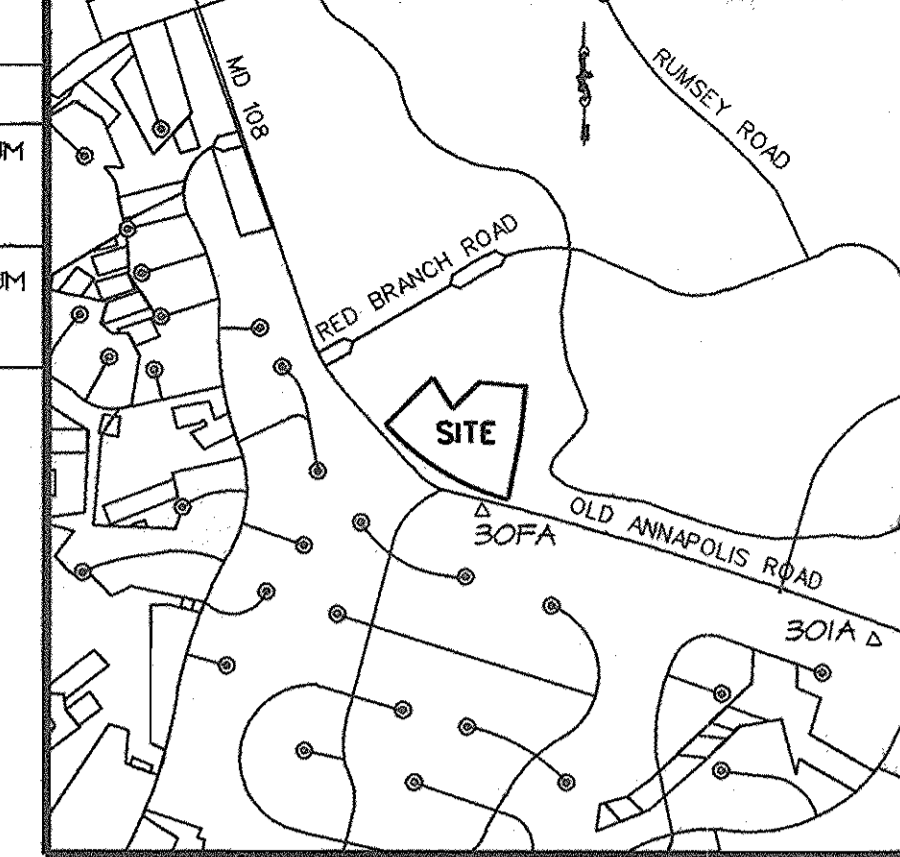
CANOPY PROFILE
N.T.S.



HOWARD COUNTY CONTROL POINTS

NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
30FA	568,621.329	1,361,563.983	441.619	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN
30IA	567,750.958	1,364,842.598	499.814	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN

- SITE NOTES :**
- Total Area of Lot : 464,001 SF / 10.652 AC. +/-
Limit of Submission : 2.29 AC. +/-
 - Existing Use : OFFICE/WAREHOUSE
Proposed Use : OFFICE/WAREHOUSE
 - Owner/Developer : WELLS FARGO COMMERCIAL PROPERTIES TRUST
26 MAIN STREET
CHATHAM NEW JERSEY 07928
Attn: H. DREW HAZEN, JR.
PH 973-701-2200
 - Existing Zoning : NT-INDUSTRIAL.
 - Existing Building : 145,736 SF
Proposed Building : 120 SF
Total Building : 145,856 SF
 - Setbacks : Front: 25'
Side : 0'
Rear : 0'
 - Parking Computations :
Number of Parking Spaces Required : 143,114 @ 2.5 SF/1000 SF = 358 SF
(6 HC SPACES)
Number of Parking Spaces Provided : 569 SPACES (11 HC SPACES)
Includes 136 Compact Spaces (C)
Compact Spaces Allowed up to 25% (144 sp)
Existing # Parking Spaces = 352 (incl. 7 HC SP.)
 - Open Space : 67820 SF / 91492 SF = 74%
 - Flour Area Ratio : 145,856 SF / 464,001 SF = 0.32
 - Applicable DPZ Ref. : FDP-3-A PLAT (F-66-37) (SDP-69-17) & (SDP-75-23)
 - Disturbed Area : 99759 SF or 2.29 AC. +/-
 - Existing utility connections to remain.



VICINITY MAP
SCALE: 1"=2000'

- GENERAL NOTES :**
- ALL WATER LINES SHALL BE CONSTRUCTED A MINIMUM OF 42" COVER BELOW FINISHED GRADE.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL VOLUME IV, I.e. STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.
 - APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTORS OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTORS EXPENSE.
 - THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK. SHORTLY BEFORE STARTING WORK THE CONTRACTOR SHALL VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
 - CONTRACTOR TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS:
MISS UTILITY 800-257-7777
CIP TELEPHONE 410-725-9976
HOWARD COUNTY BUREAU OF UTILITIES 410-252-2525
ATTN: CABLE LOCATION DIVISION 410-393-3555
BALTIMORE GAS & ELECTRIC CO. 410-605-0125
STATE HIGHWAY ADMINISTRATION 410-531-3333
HOWARD COUNTY CONSTRUCTION INSPECTION DIVISION 410-315-1800
(COMPENSATION OF WORK)
 - ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
 - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
 - THE CONTRACTOR SHALL PROVIDE A JOINT IN ALL SEWER MAINS WITHIN 2'-0" OF EXTERIOR MANHOLE WALLS.
 - PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
 - NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT TO SUBGRADE.
 - TOPO TAKEN FROM FIELD RUN SURVEY, LDE, INC. DATED 6/99 TOPO INFO. BY GERHOLD, CROSS & ETZEL DATED 6/99 TOPO INFO.
 - ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL STORM DRAIN PIPE BEDDING SHALL BE AS SHOWN IN DETAIL 62.01 (TRENCH IN ROCK OR TRENCH IN EARTH AS DETERMINED BY FIELD CONDITIONS) IN THE HOWARD COUNTY DESIGN MANUAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR AS SHOWN ON THE THESE DRAWINGS.
 - THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL, FRACTURESTORY WATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORM WATER ONTO OR ACROSS ADJACENT OR DOWN TRENCH PROPERTY. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHT AND/OR R/W THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
 - FOR THE EXACT LOCATION AND DEPTH OF THE EXISTING WATER, AND SEWER MAINS, THE CONTRACTOR SHALL DIG TEST PITS AT THE CONTRACTORS EXPENSE.
 - ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 154 OF THE ZONING REGULATIONS.
 - STORMWATER MANAGEMENT PLAN IS PRIVATELY OWNED AND MAINTAINED. FACILITY IS FOR WATER QUANTITY. IT IS FOR WATER QUALITY ONLY. UNDERGROUND PIPE FACILITY IS FOR WATER QUANTITY.
 - THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE THE PROPERTY IS ZONED NH TOWN.
 - TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREETS AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
 - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC GRID WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 30FA & 30IA ARE USED FOR THIS PROJECT.
 - WATER IS PUBLIC 165 W/S
 - SEWER IS PUBLIC 165 W/S
 - THERE IS NO FLOODPLAIN ON THIS SITE.
 - THERE ARE NO WETLANDS ON THIS SITE.
 - A TRAFFIC STUDY FOR THIS PROJECT WAS APPROVED ON JULY 27, 2000.

SHEET INDEX :

SHEET 1	SITE PLAN & NOTES.
SHEET 2	GRADING & SEDIMENT CONTROL PLAN.
SHEET 3	SEDIMENT CONTROL DETAILS.
SHEET 4	SITE DETAILS.
SHEET 5	LANDSCAPE PLAN.
SHEET 6	DRAINAGE AREA MAP

ADDRESS CHART

LOT/PARCEL#	STREET ADDRESS
6, 7, & 8	9042-9082 OLD ANNAPOLIS ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8
PLAT * OR L/P	BLOCK *	ZONING
PLAT 12/65	17	NT-IND.
TAX/ZONING MAP	ELECTION DIST	CENSUS TRACT
30	2ND	6067.03
WATER CODE	SEWER CODE	
604	5657410	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 3/6/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 3/2/01
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 3/9/01
DIRECTOR DATE

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE Nov. 4, 2000

REVISIONS

NO.	DATE	REVISION
1	1/8/02	GENERATOR & LOADING DOCK
2	1/8/02	GENERATOR & ENTRANCES

OWNER/DEVELOPER
WELLS FARGO PROPERTIES, INC.
2320 CENTRAL AVENUE, N/E
MINNEAPOLIS, MN 55470
Attn: CARRIE TIMMINS, PH 612-667-8714

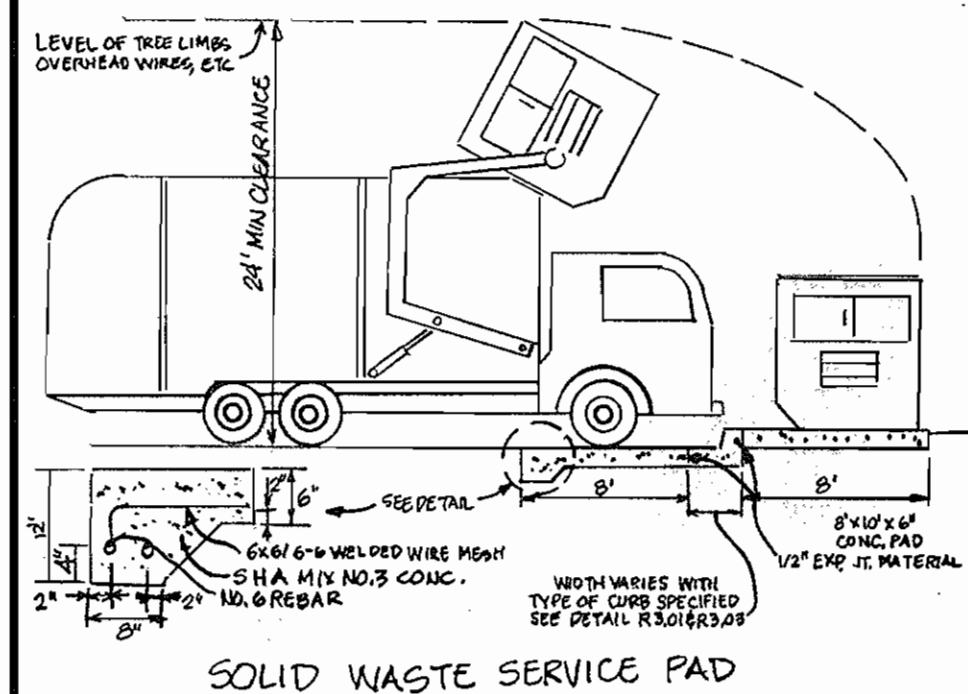
PROJECT: **OAKLAND RIDGE OFFICE PARK RENOVATION**

TITLE: **SITE PLAN**

Richardson Engineering, LLC

730 W. Pooonia Road
Cockeysville 11184, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

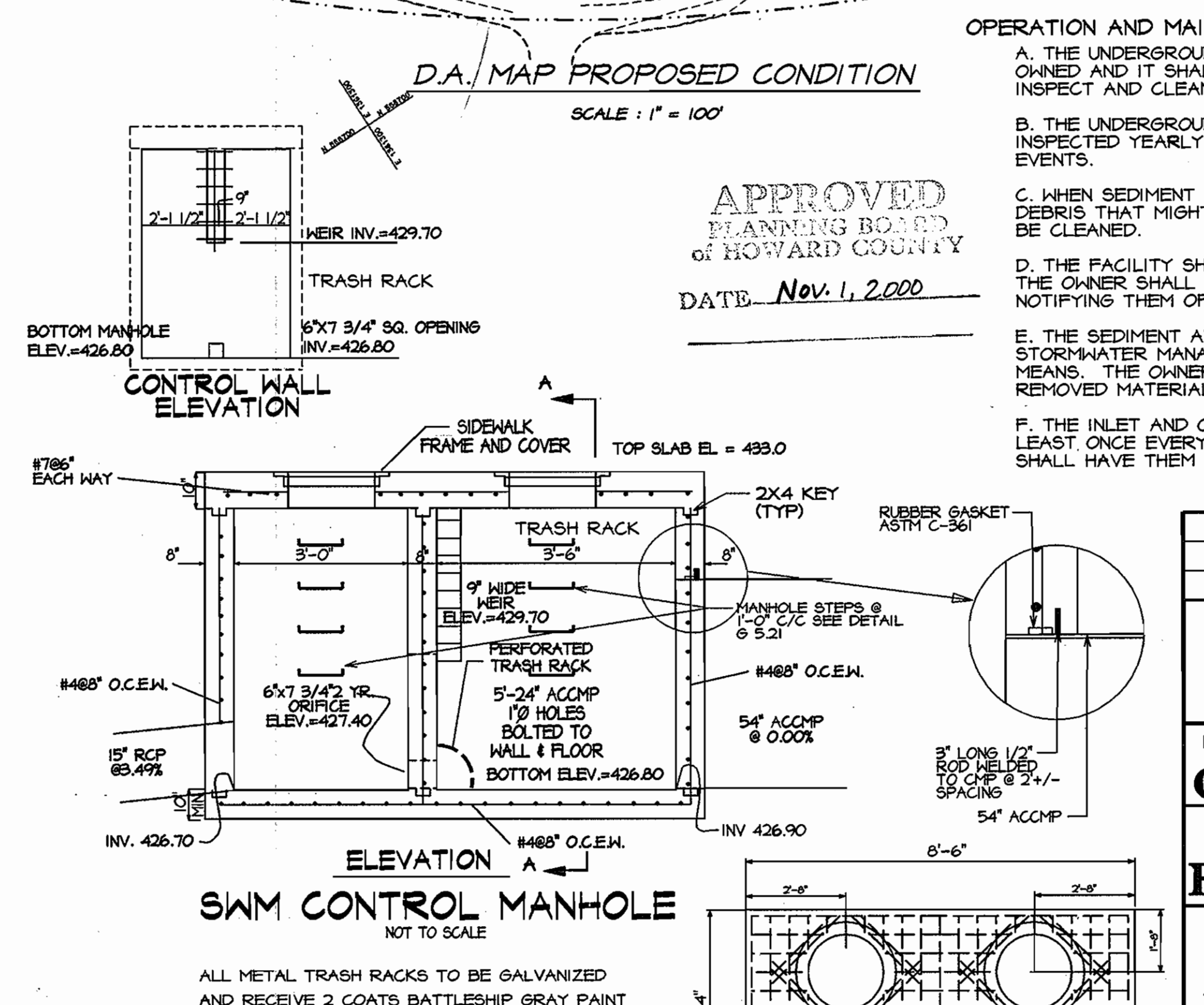
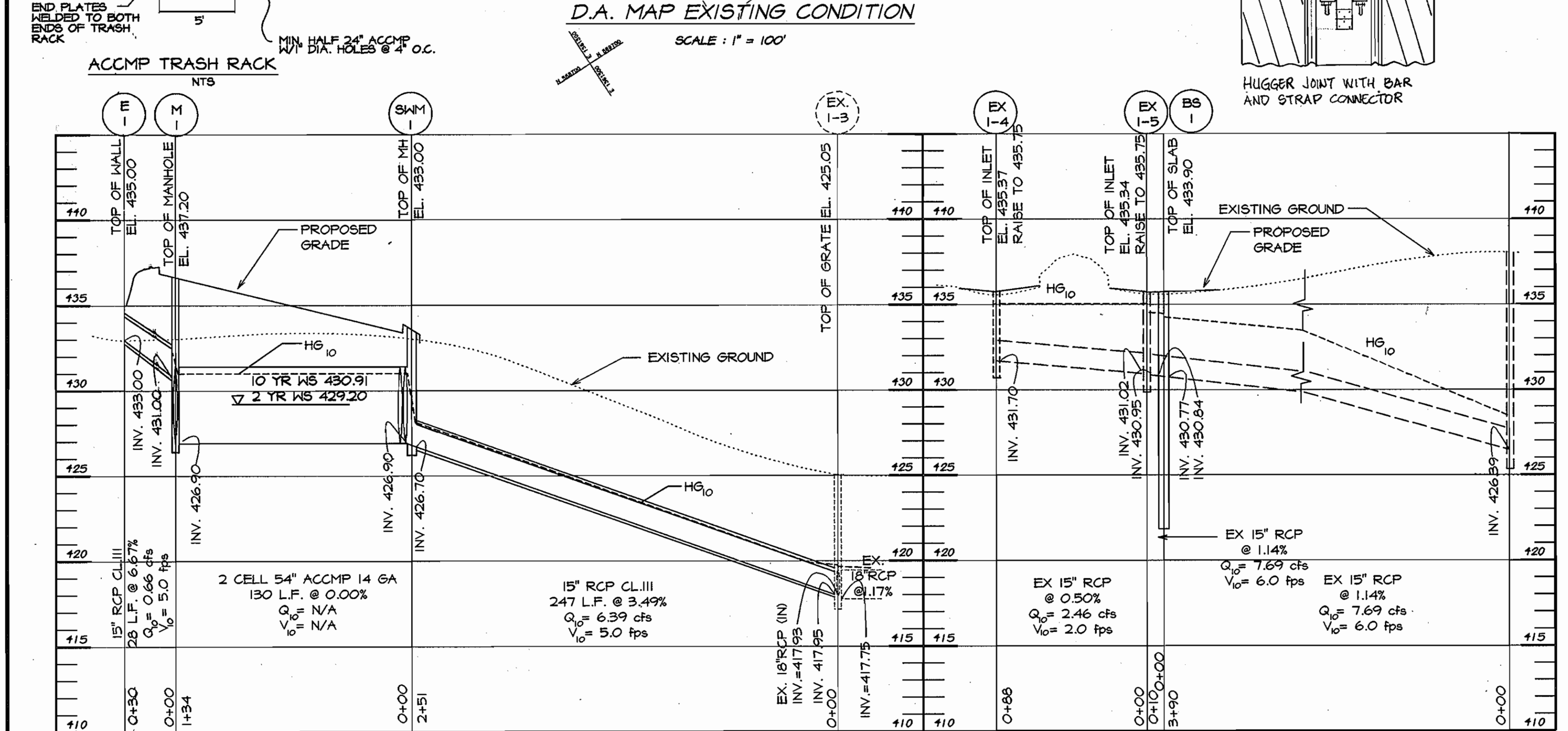
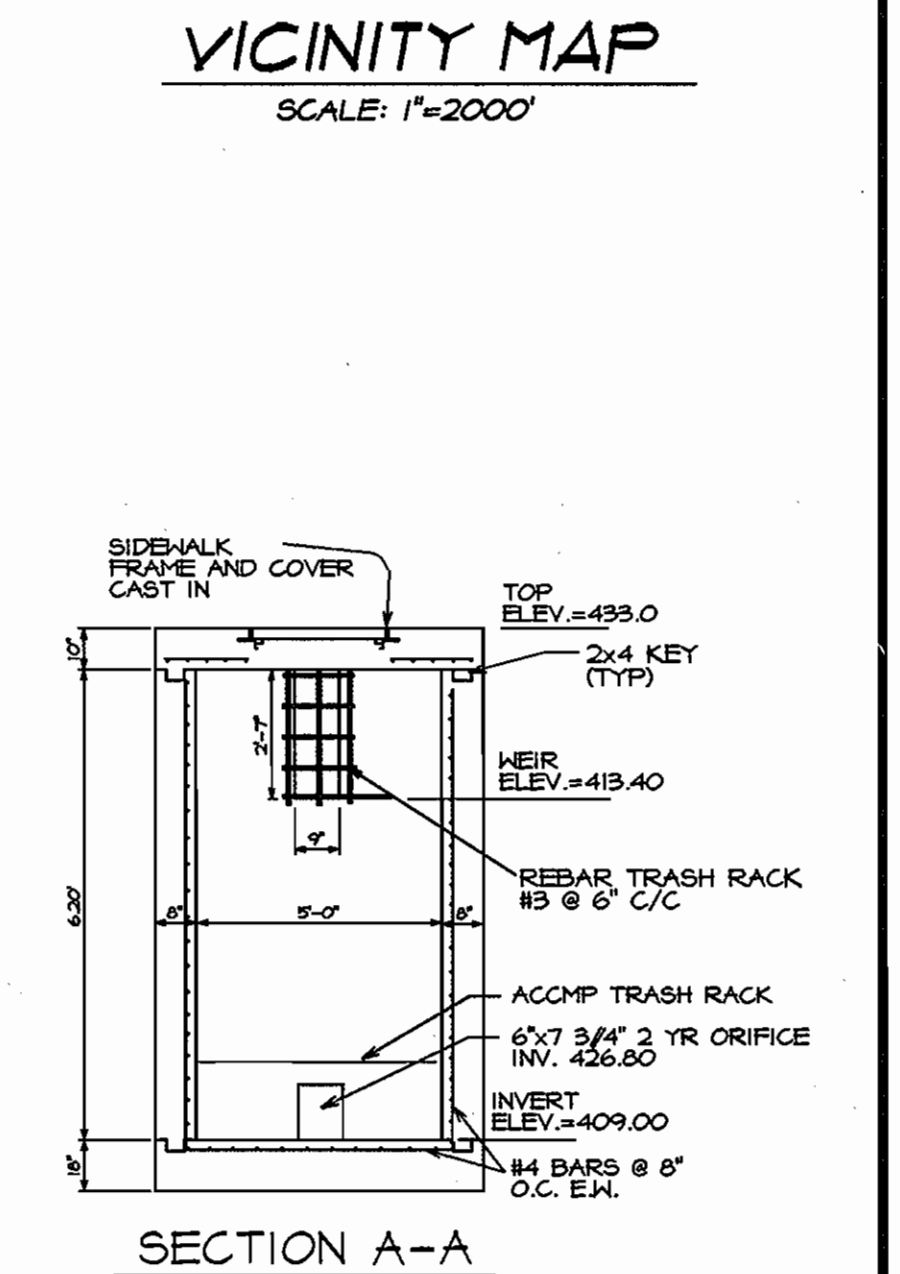
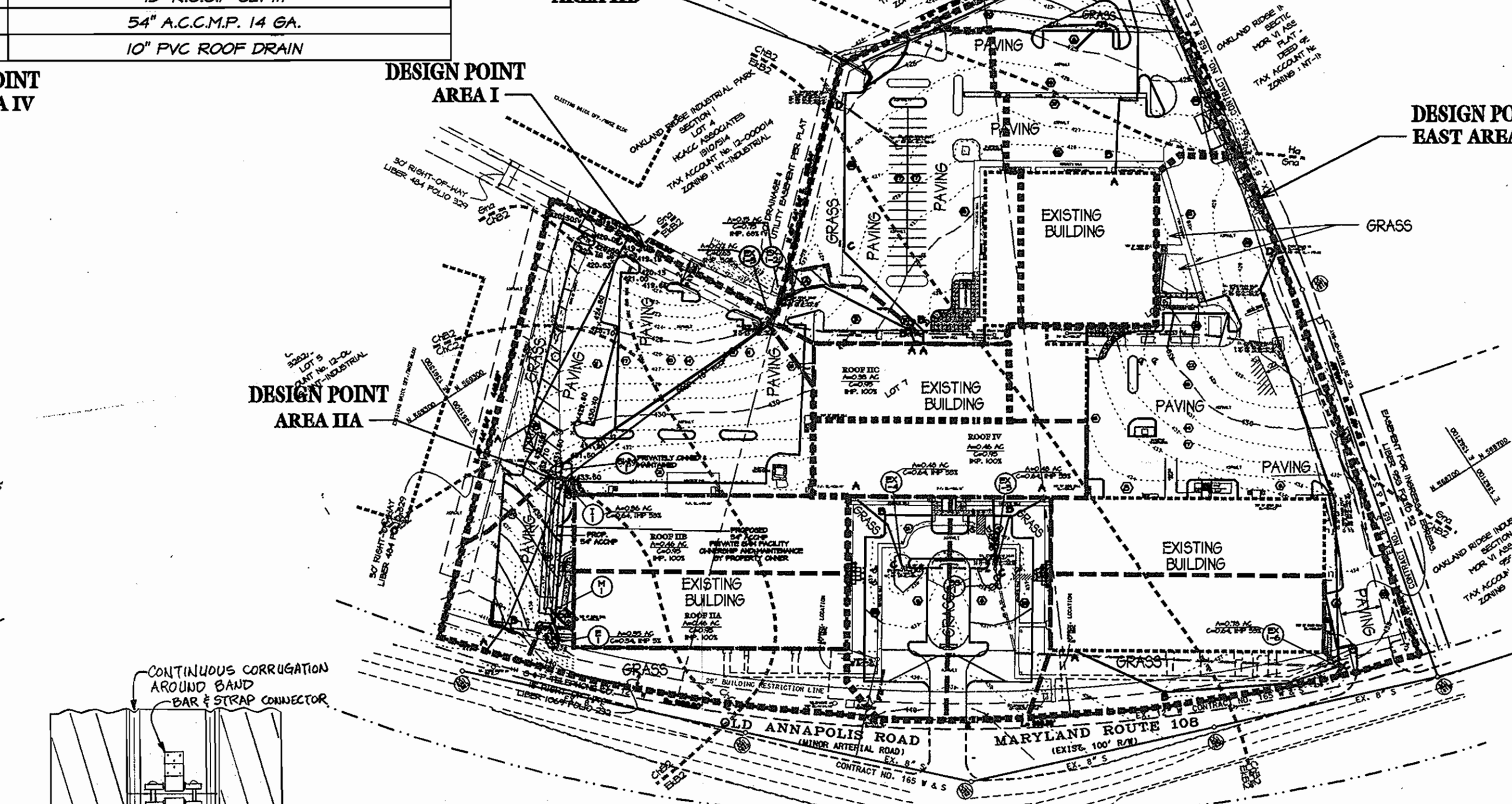
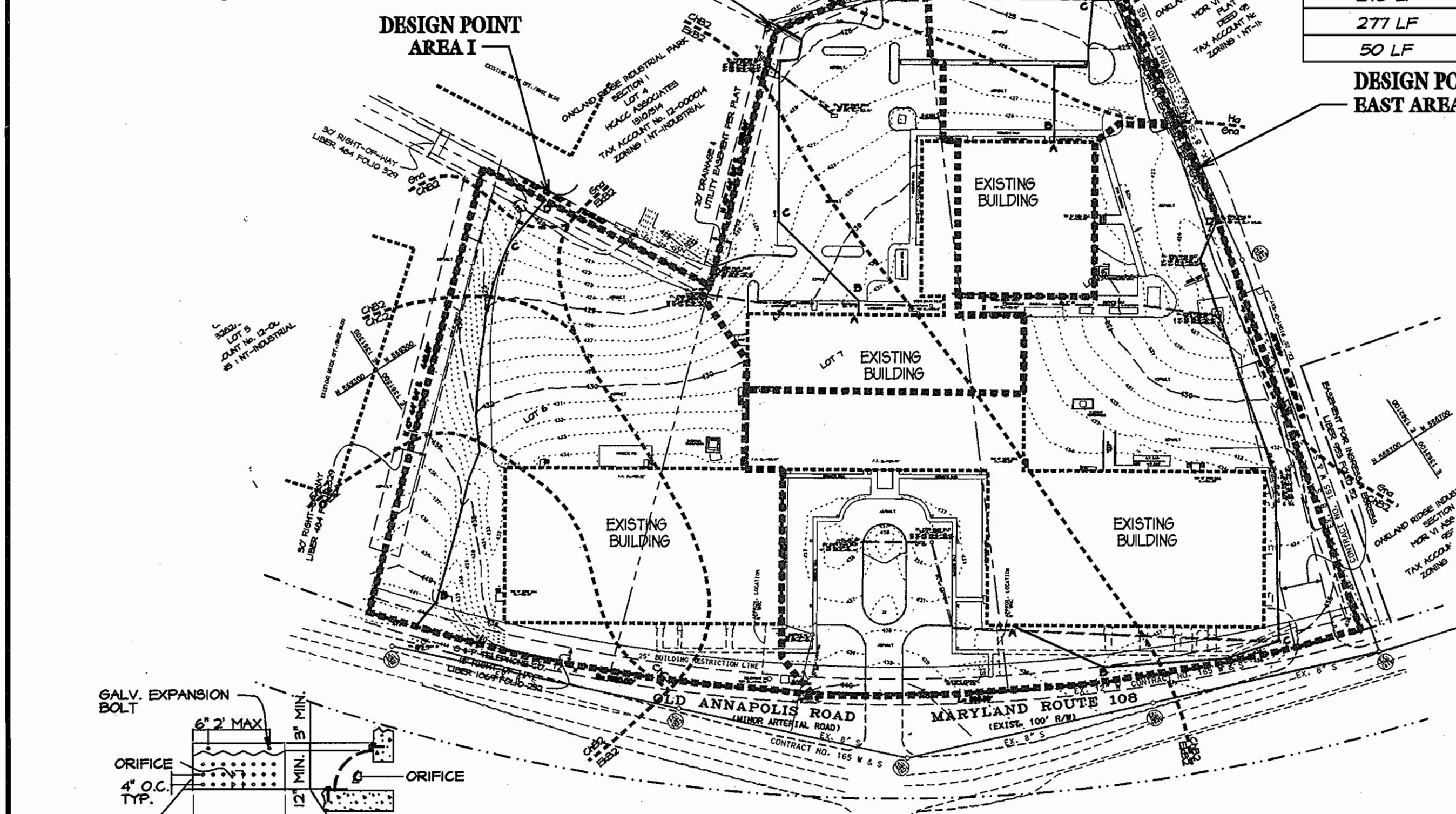
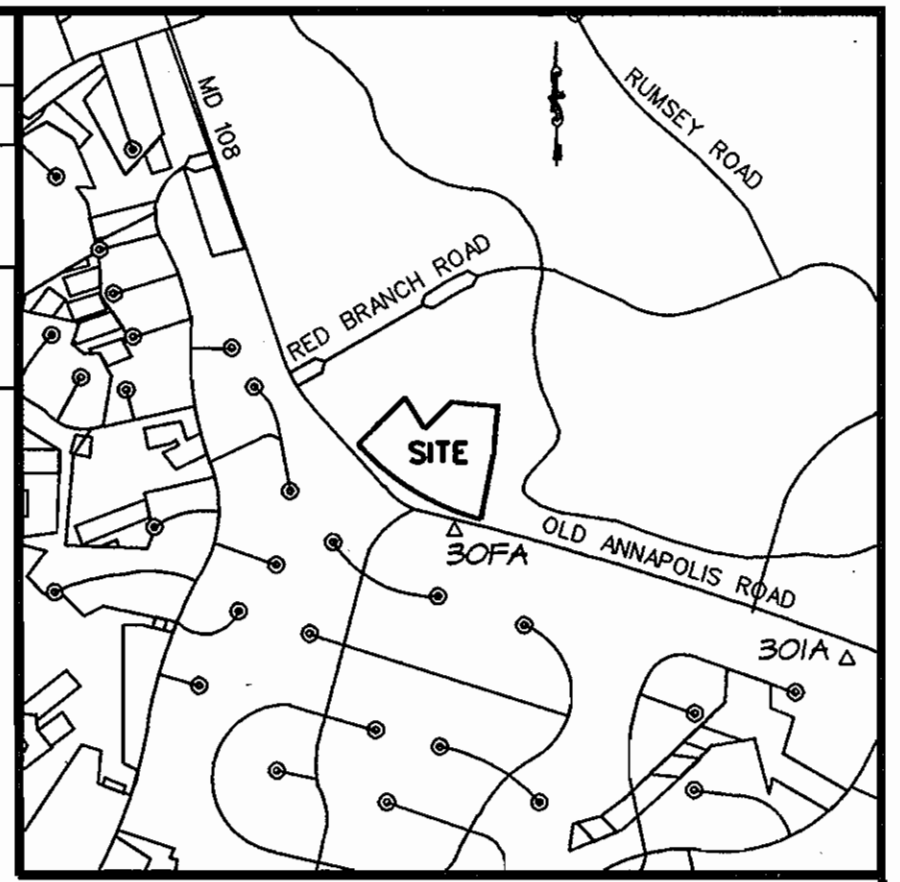
CHECKED BY: PCR
DESIGNED BY: PCR
DRAWN BY: CADDS
PROJECT NO.: 99005
DATE: 7/19/00
SCALE: 1"= 50'
DRAWING NO. 1 OF 6



STRUCTURE SCHEDULE				
NO.	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-1	-	426.90	433.90	TYPE A-5 INLET
SWM-1	426.90	426.70	433.00	SEE DETAIL THIS SHEET
BS-1	430.77	430.84	435.90	SEE DETAIL SHEET 4
M-1	431.00	426.90	437.20	STD BRICK MANHOLE 6-5.03
E-1	-	433.00	435.00	TYPE E HEADWALL SD-5.31

PIPE SCHEDULE	
LENGTH	SIZE & TYPE
275 LF	15" R.C.C.P. CL. III
277 LF	54" A.C.C.M.P. 14 GA.
50 LF	10" PVC ROOF DRAIN

HOWARD COUNTY CONTROL POINTS				
NO.	NORTHING	EASTING	ELEV.	DESCRIPTION
30FA	568,621.329	1,361,563.983	441.619	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN
30IA	567,750.958	1,364,842.598	499.814	BRASS OR ALUMINUM DISK SET ON TOP CONCRETE COLUMN



OPERATION AND MAINTENANCE SCHEDULE FOR UNDERGROUND FACILITIES

A. THE UNDERGROUND STORMWATER MANAGEMENT FACILITY IS PRIVATELY OWNED AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO PERIODICALLY INSPECT AND CLEAN THE FACILITY TO MAINTAIN ITS OPERATIN AND FUNCTION.

B. THE UNDERGROUND STORMWATER MANAGEMENT FACILITY SHALL BE INSPECTED YEARLY AT A MINIMUM AND AFTER ESPECIALLY SEVERE STORM EVENTS.

C. WHEN SEDIMENT ACCUMULATION OF MORE THAN 2" IS OBSERVED OR ANY DEBRIS THAT MIGHT OBSTRUCT THE OUTFALL IS OBSERVED, THE FACILITY SHALL BE CLEANED.

D. THE FACILITY SHALL BE CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES NOTIFYING THEM OF THE SPILL AND CLEANUP OPERATION.

E. THE SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE UNDERGROUND STORMWATER MANAGEMENT FACILITY BY VACUUM TRUCK OR OTHER MANUAL MEANS. THE OWNER SHALL FOLLOW PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIAL AND LIQUID.

F. THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX(6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED AND PROPERLY DISPOSED OF.

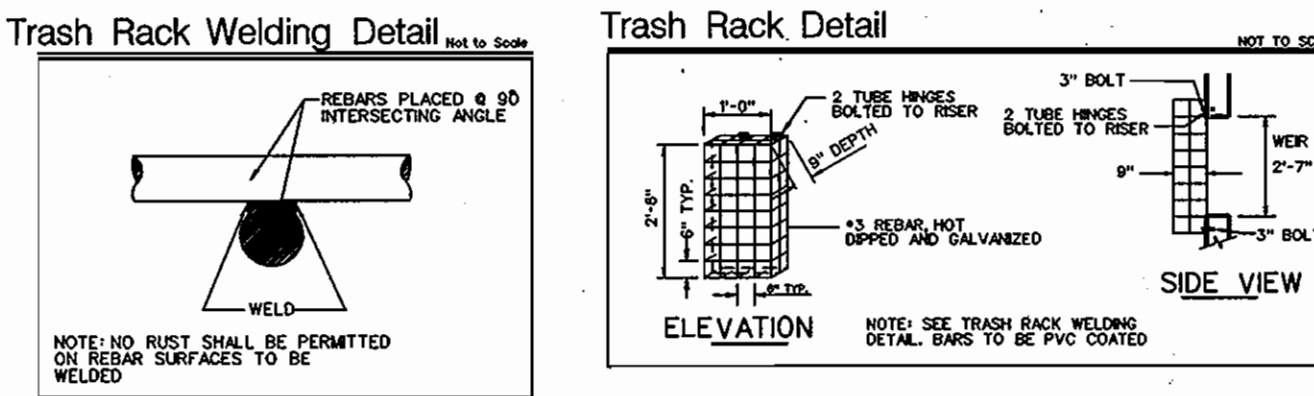
APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: Nov. 1, 2000

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 3/6/01
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE

[Signature] 3/2/01
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE

[Signature] 3/9/01
DIRECTOR
DATE



PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL	ELECTION DIST	CENSUS TRACT
OAKLAND RIDGE INDUSTRIAL PARK	SECTION 1	6, 7 & 8	2ND	6067.03
PLAT * OR L/F	BLOCK	ZONING	TAX/ZONING MAP	
PLAT 12/65	17	NT-IND.	30	
WATER CODE	604	SEWER CODE	5657400	

7/25/07 @ NEW OWNER
DATE NO. REVISION

OWNER/DEVELOPER
WELLS FARGO PROPERTIES, INC.
2329 CENTRAL AVENUE, NE
MINNEAPOLIS, MN 55470
Attn: CARRIE TIMMUS, PH 612-667-8714

PROJECT: OAKLAND RIDGE
OFFICE PARK RENOVATION

TITLE: DRAINAGE AREA MAP
EXIST. & PROP. CONDITIONS

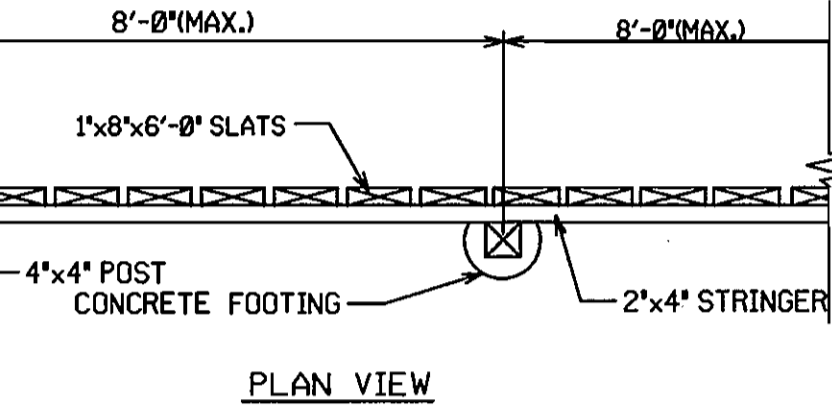
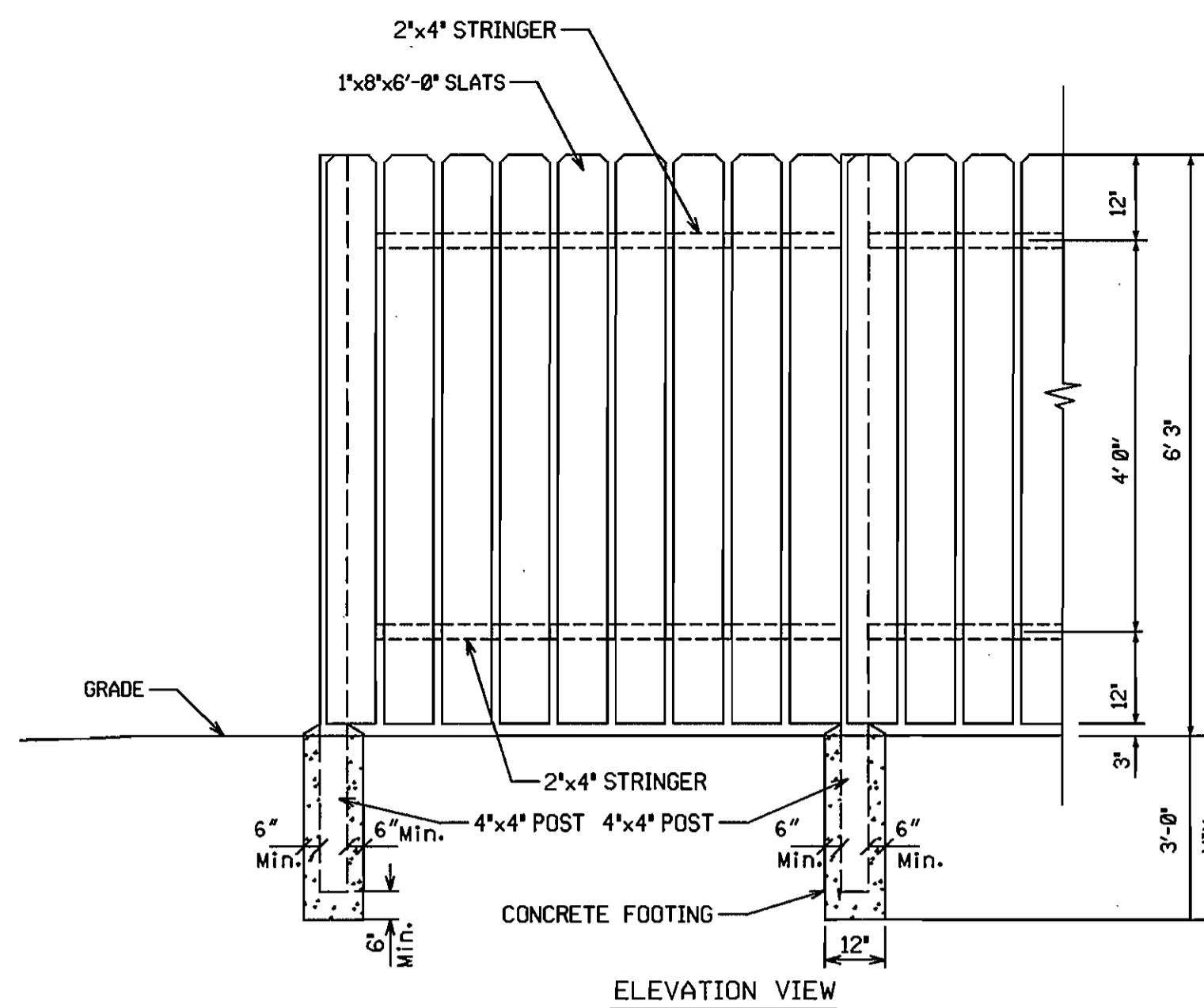
Richardson Engineering, LLC

730 W. Podonia Road
Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

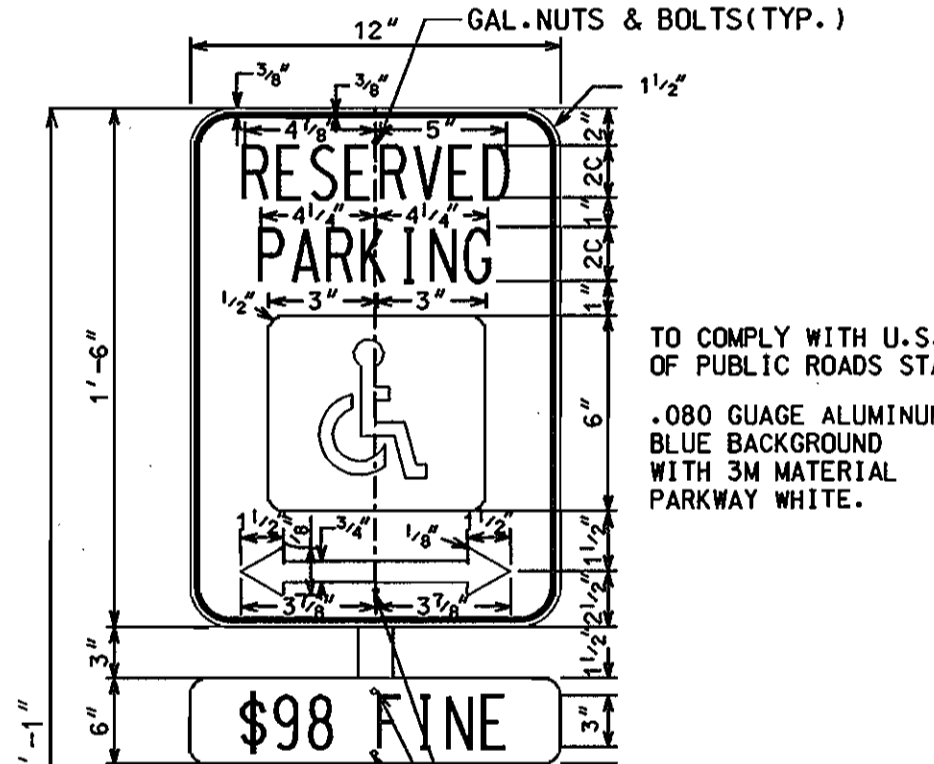
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DESIGNED BY: PCR
DRAWN BY: CADDS
PROJECT NO.: 99005
DATE: 7/19/00
SCALE: AS SHOWN
DRAWING NO. 6 OF 6

12/6/00
DATE

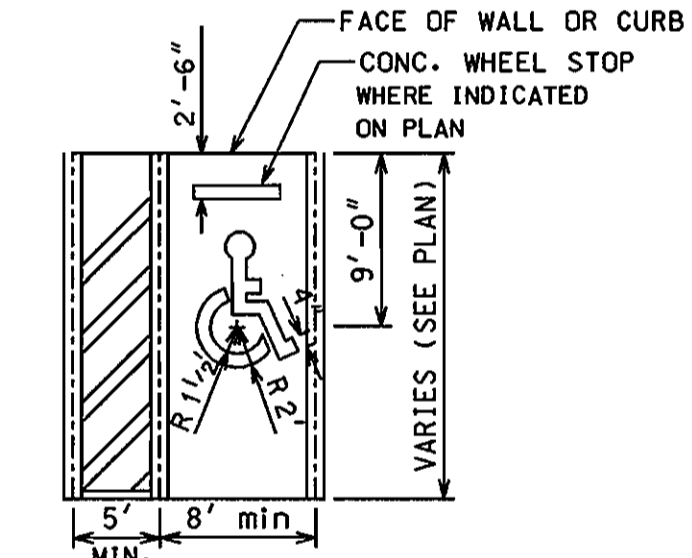
SURVEY INFORMATION PREPARED BY LDE, INC. DATED 6/99
TOPO INFORMATION BY GERHOLD, CROSS & ETZEL DATED 1/00



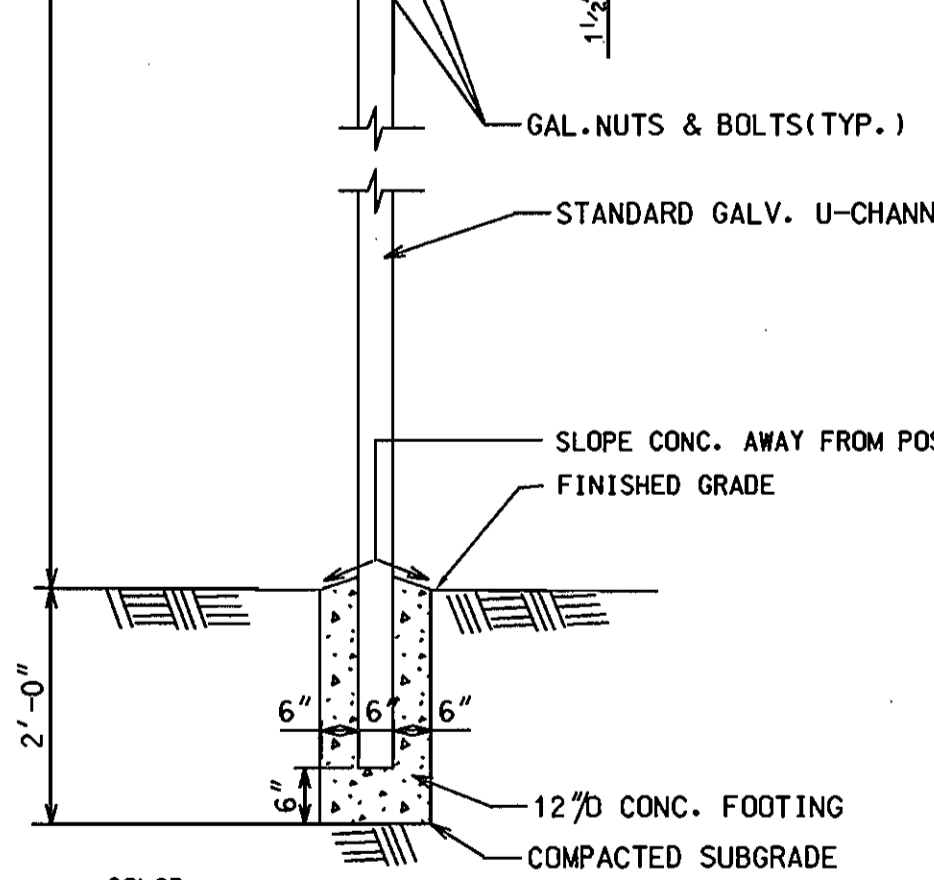
6' WOOD DUMPSTER ENCLOSURE FENCE DETAIL
NOT TO SCALE



NOTE: PAINT IS TO BE YELLOW TRAFFIC PAINT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS (TWO COATS REQUIRED)

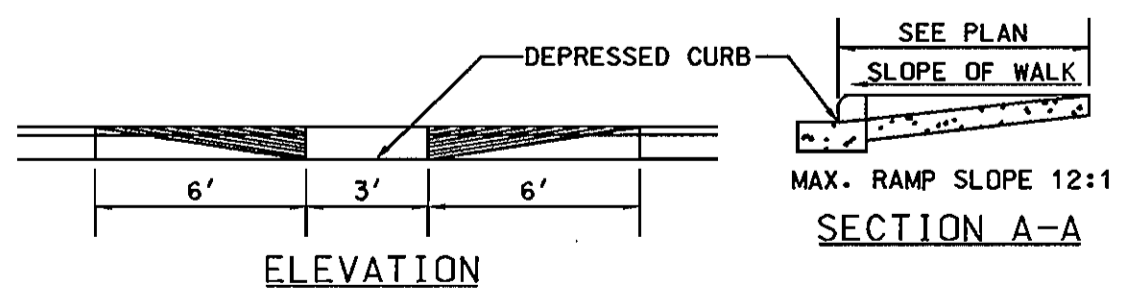
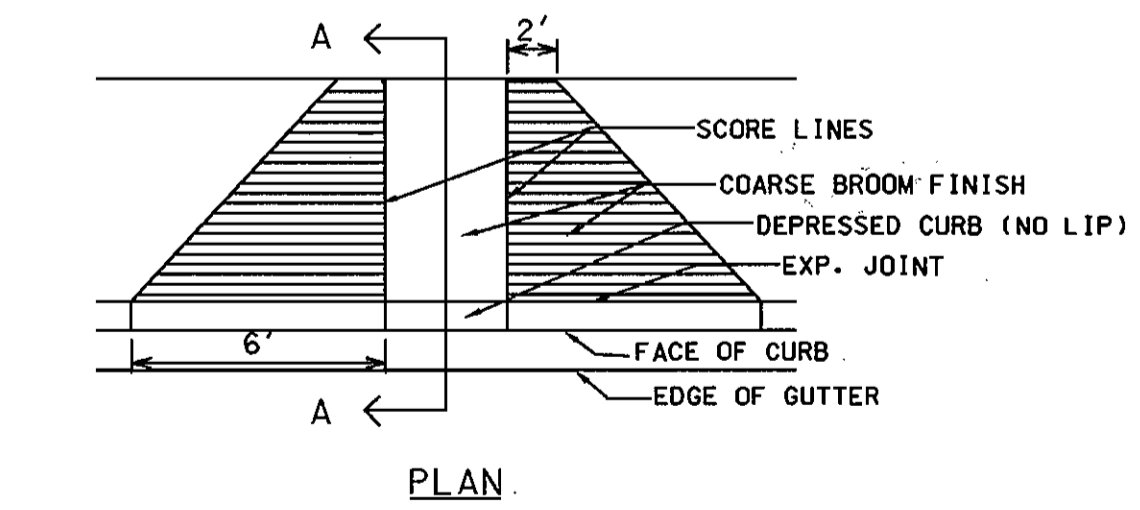


HANDICAPPED PARKING
NOT TO SCALE

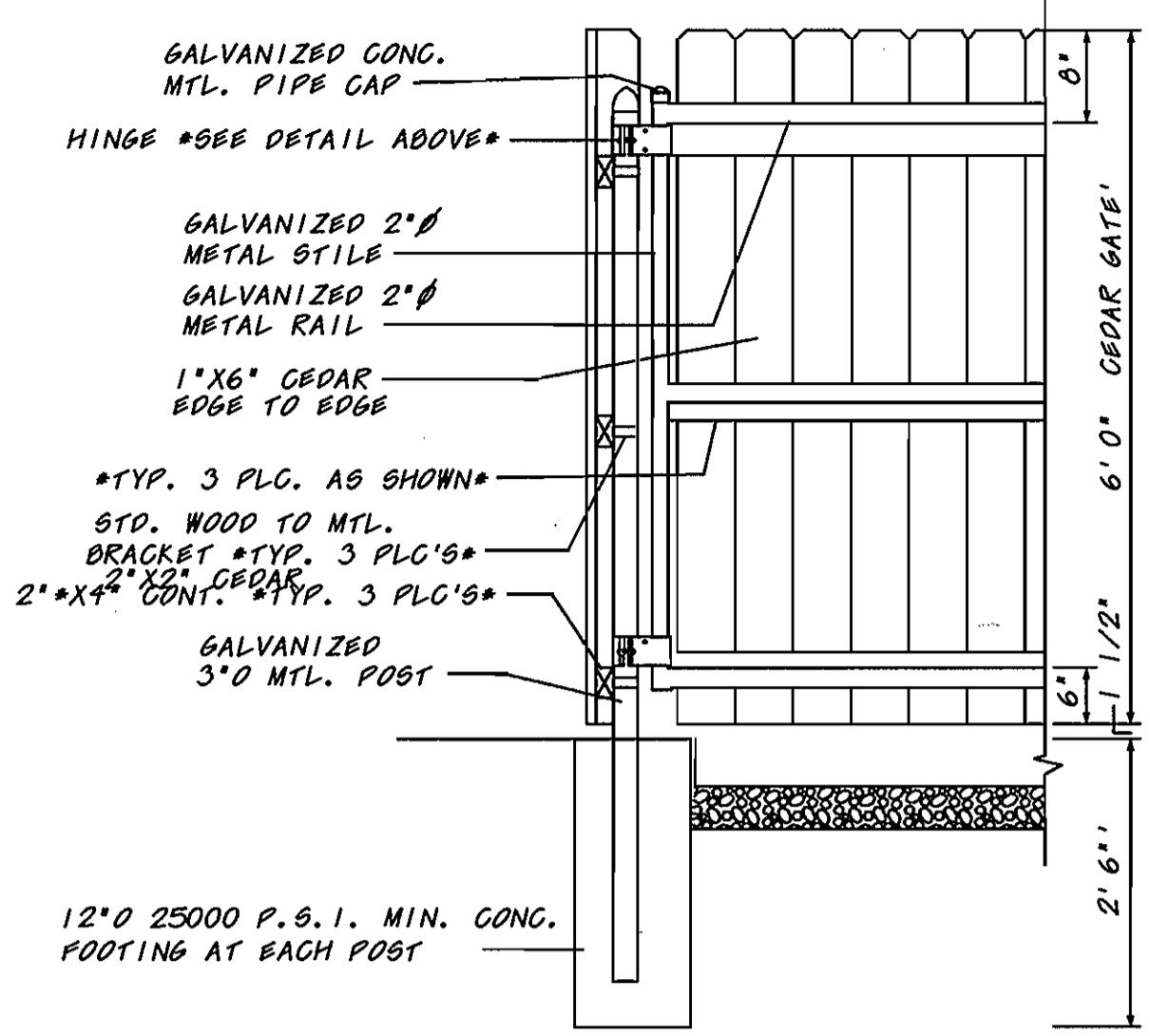


COLOR :
LEGEND AND BORDER-GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND-WHITE
NOTE : PROVIDE SIGN FOR EACH SPACE
INSTALL SIGNS AS INDICATED ON SITE PLAN

HANDICAP PARKING SIGN DETAIL
NOT TO SCALE

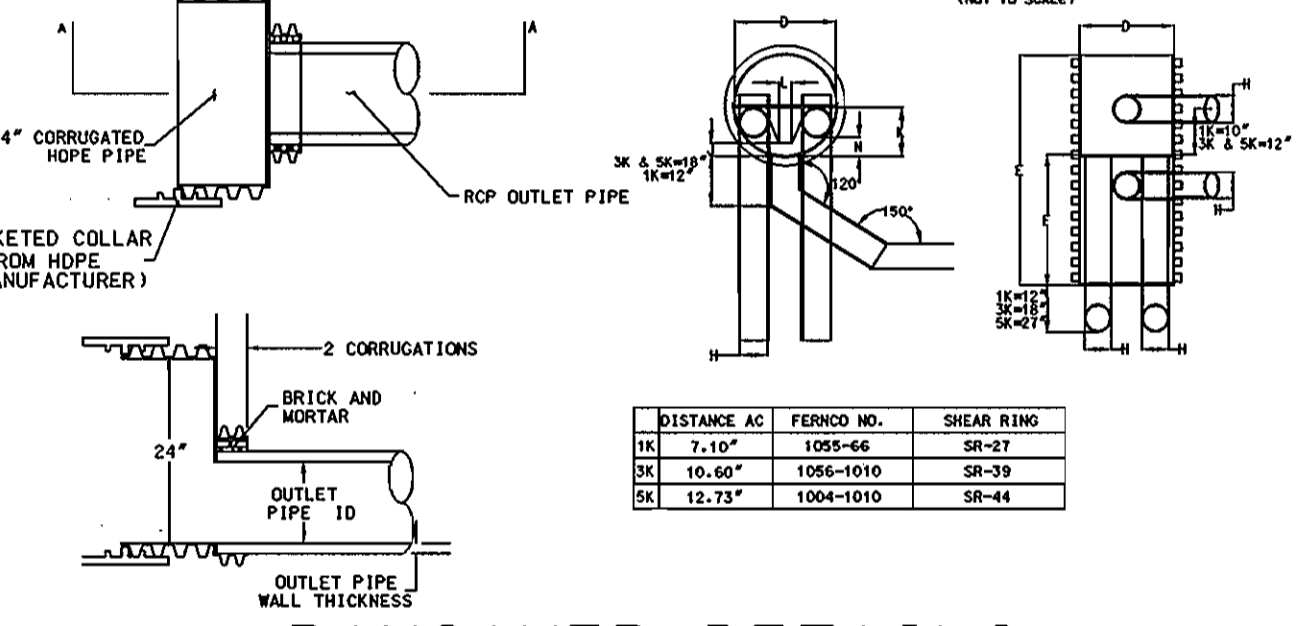
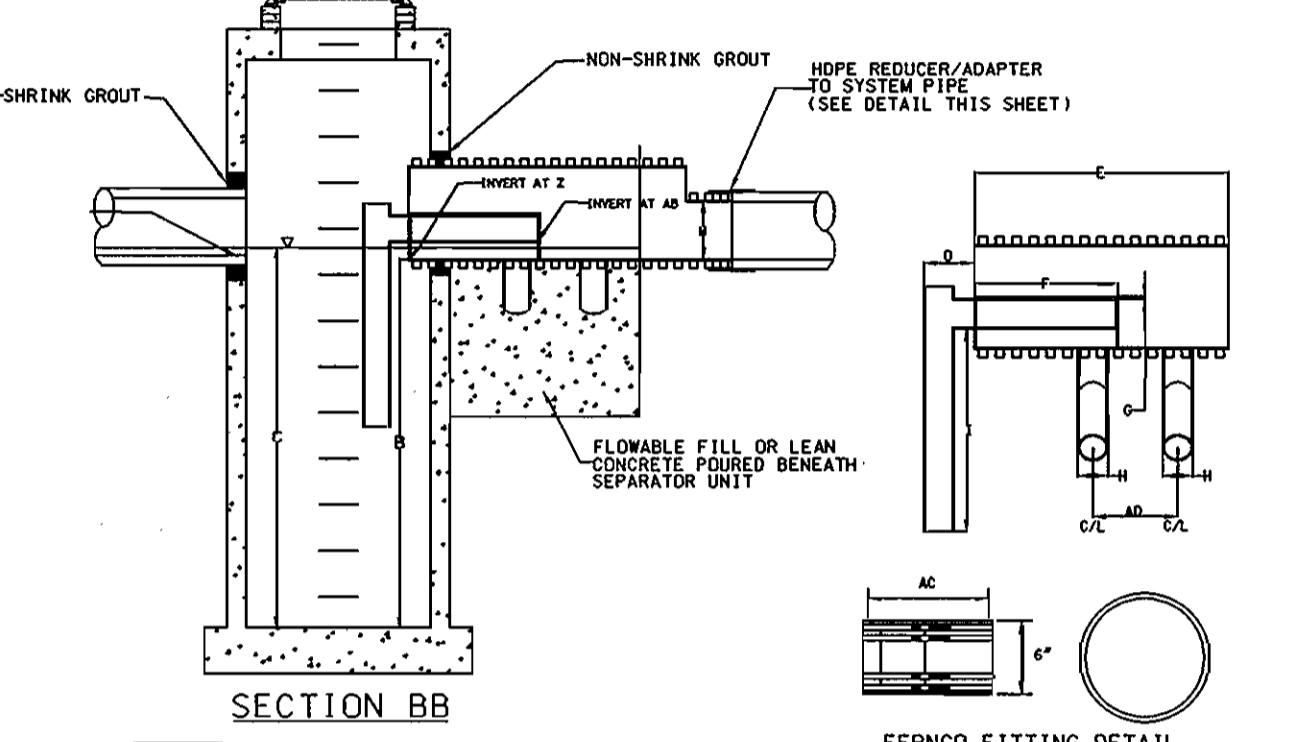
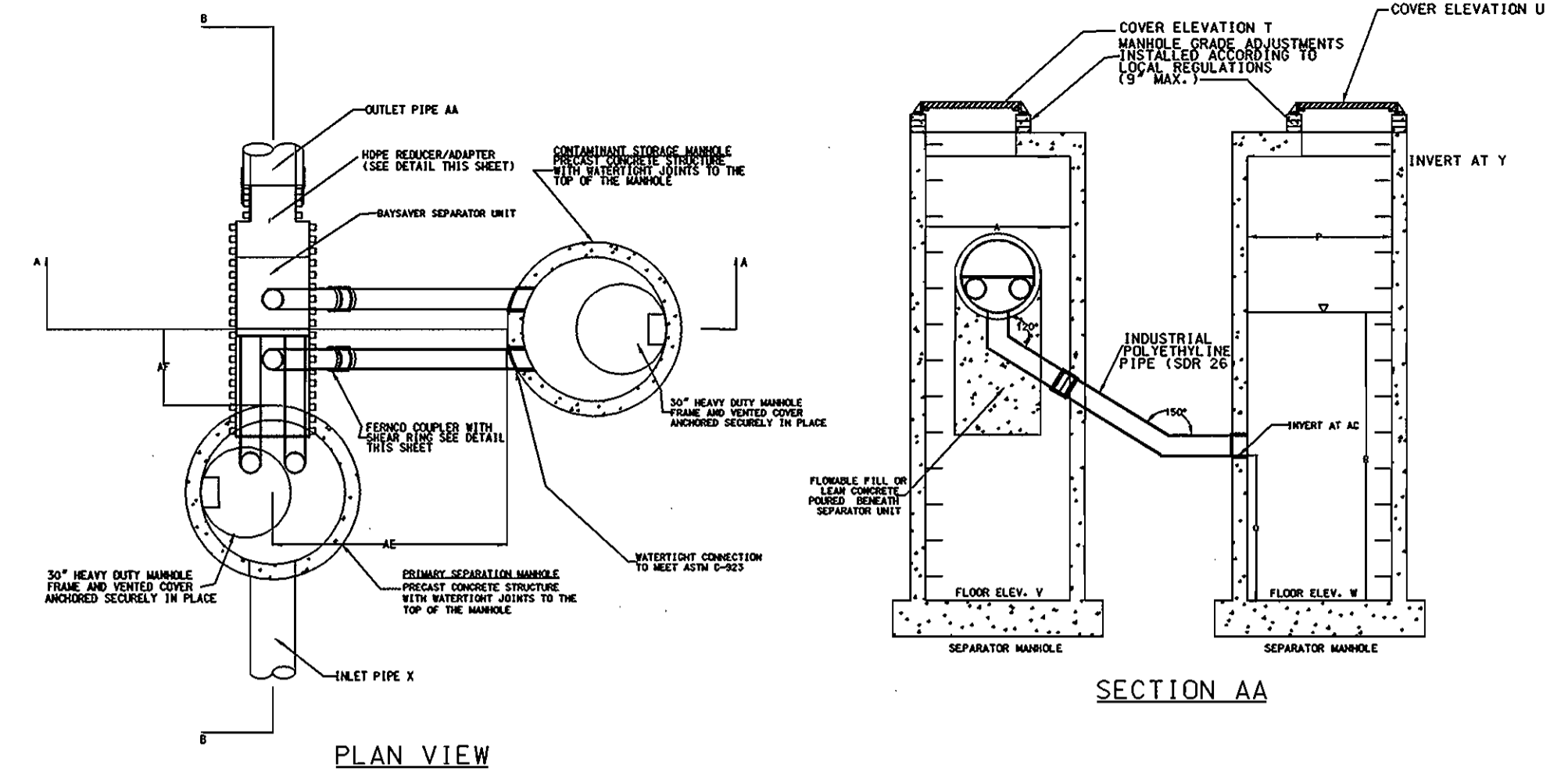


HANDICAPPED RAMP
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

- GENERAL**
THIS STORMWATER MANAGEMENT FACILITY SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY'S STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION VOLUME IV AND AS AMENDED.
- TIMING**
THIS UNDERGROUND MANAGEMENT FACILITY SHALL NOT BE CONSTRUCTED OR PLACED IN SERVICE UNTIL ALL OF THE CONTRIBUTING AREA HAS BEEN STABILIZED AND APPROVED BY THE RESPONSIBLE INSPECTOR.
- STRUCTURAL BACKFILL MATERIAL**
THE BACKFILL MATERIAL SHALL BE TAKEN FROM AN APPROVED BORROW AREA. ALL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, WOOD, RUBBISH, OVERSIZED STONES, FROZEN OR OTHER OBJECTIONABLE MATERIAL.
PLACEMENT & COMPACTION
THE BACKFILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED 4 INCHES IN THICKNESS AND COMPACTED BY HAND TEMPER OR OTHER COMPACTION EQUIPMENT. THE MATERIAL NEEDS TO FILL COMPLETELY ALL SPACES UNDER AND ADJACENT TO THE PIPES. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE CLOSER THAN 4 FEET, MEASURED HORIZONTALLY, TO ANY PART OF A STRUCTURE OR PIPE UNLESS THERE IS A COMPACTED FILL OF 24 INCHES OR GREATER OVER THE STRUCTURE OR PIPE.
- PIPE CONDUITS**
MATERIALS (CORRUGATED STEEL PIPE)
THIS PIPE AND ITS APPURTENANCES SHALL BE GALVANIZED AND FULLY BITUMINOUS COATED AND SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATIONS M-190 TYPE A WITH WATERTIGHT COUPLING BANDS. ANY BITUMINOUS COATING DAMAGED OR OTHERWISE REMOVED SHALL BE REPLACED WITH COLD APPLIED BITUMINOUS COATING COMPOUND. COATINGS SHALL HAVE A MINIMUM COATING THICKNESS OF 10 MIL ON BOTH SIDES OF PIPE AND SHALL MEET REQUIREMENTS OF AASHTO M-245 AND M-246.
CONNECTIONS
ALL CONNECTIONS WITH PIPES MUST BE COMPLETELY WATERTIGHT. WATERTIGHT COUPLING BANDS OR FLANGES SHALL BE USED AT ALL JOINTS. DIMPLE BANDS ARE NOT CONSIDERED TO BE WATERTIGHT.
BEDDING
THE PIPE SHALL BE FIRMLY AND UNIFORMLY BEDDED THROUGHOUT ITS ENTIRE LENGTH. WHERE ROCK OR SOFT, SPONGY OR OTHER UNSUITABLE SOIL IS ENCOUNTERED, ALL SUCH MATERIALS SHALL BE REMOVED AND REPLACED WITH SUITABLE EARTH MATERIAL COMPACTED TO PROVIDE ADEQUATE SUPPORT.
LAYING PIPE
THE PIPE SHALL BE PLACED WITH INSIDE CIRCUMFERENTIAL LAPS POINTING DOWNSTREAM AND WITH THE LONGITUDINAL LAPS AT THE SIDES. BACKFILLING SHALL CONFORM TO STRUCTURAL BACKFILL AS SHOWN ABOVE.
OTHER DETAIL
SILT, TRAPPING MANHOLES, ETC. SHALL BE AS SHOWN ON THE DRAWINGS.
- CONCRETE**
CONCRETE SHALL MEET MINIMUM REQUIREMENTS SET FORTH IN MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 918 (PORTLAND CEMENT CONCRETE MIXTURES), MIX NO. 3. REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60. REBARS SHALL HAVE 3" COVER (MINIMUM) AND A MINIMUM OVERLAP OF 30 BAR DIAMETERS, EXCEPT AS NOTED ON THE PLAN. STEEL ANGLES AND ANCHOR BARS SHALL BE ASTM A-36.
- EROSION CONTROL FACILITIES**
ALL DISTURBED AREA SHALL BE CONTROLLED BY AN EROSION AND SEDIMENT CONTROL PLAN WHICH HAS BEEN APPROVED BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT (HOSCD). PROVIDE INLET PROTECTION FOR THOSE INLETS LOCATED ABOVE THE FACILITY UNTIL THE CONTRIBUTING AREAS HAVE BEEN STABILIZED.
- FILTER CLOTH**
ALL FILTER CLOTH SHALL BE POLYFILTER - X OR EQUIVALENT.
- RIPRAP**
ALL RIPRAP SHALL CONFORM TO HOWARD COUNTY SPECIFICATIONS.
- CONSTRUCTION INSPECTION BY DESIGNATED ENGINEERS**
THE CONSTRUCTION OF THIS FACILITY, AND CERTIFICATION THAT THIS FACILITY HAS BEEN BUILT IN ACCORDANCE WITH THE PLANS, SHALL BE UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER. THE ENGINEER SHALL BE NOTIFIED SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT ARRANGEMENTS CAN BE MADE FOR 1) INSPECTION OF PIPE TRENCH AND BEDDING, 2) INSPECTION OF SPECIAL PIPE SECTIONS AND FIXTURES, AND 3) SUPERVISION OF BACKFILLING OPERATIONS. THE ENGINEER SHALL DIRECT THE HANDLING OF WATER DURING CONSTRUCTION. MINOR CHANGES NOT AFFECTING THE INTEGRITY OR PERFORMANCE OF THE FACILITY, AND THE REMOVAL AND REPLACEMENT OF DEFECTIVE FILL.



BAYSAYER DETAILS
N.T.S.

SS1 BAYSAYER SEPARATION SYSTEM SEPARATOR UNIT ORDER FORM

PROJECT: OAKLAND RIDGE ADDRESS: 2320 CENTRAL AVENUE, NE COLUMBIA, MO DESIGNER: RICHARDSON ENGINEERING, LLC CONTACT: BOB RICHARDSON PHONE: 410-560-1502 FAX: 410-560-0127
DELIVERY DATE: OWNER: WELLS FARGO COMMERCIAL PROPERTIES TRUST CONTRACTOR: CONTACT: ADDRESS: 26 MAIN STREET CHATHAM, NEW JERSEY 07920

SEPARATOR UNIT MODEL:
1K
3K
5K

CIRCLE SYSTEM ORIENTATION ABOVE

MANHOLE SPECIFICATIONS:
PRIMARY MANHOLE DIAMETER: 60"
STORAGE MANHOLE DIAMETER: 60"
FLOOR ELEVATIONS:
PRIMARY MANHOLE: 422.77
STORAGE MANHOLE: 422.77
PRIMARY MANHOLE INVERT ELEVATIONS:
SEPARATOR UNIT: 430.77
INLET PIPE (3"): 430.00
MANHOLE COVER ELEVATIONS:
PRIMARY MANHOLE: 435.00
STORAGE MANHOLE: 435.00
PLEASE SHOW ORIENTATION (INCLUDING ANGLE), SIZE AND MATERIAL FOR EACH INLET PIPE ABOVE.

FOR QUESTIONS, PRICES, OR TECHNICAL SUPPORT, PLEASE CONTACT
1030 W. MOUNTAIN DRIVE MOUNTAIN VIEW, NJ 07096
PHONE (301) 829-6470 MOUNTAIN VIEW, NJ 07096 FAX (301) 829-3747

- INSTALLATION INSTRUCTIONS**
- CALL LOCAL UTILITY LOCATOR TO MAKE CERTAIN IT IS SAFE TO EXCAVATE.
 - STAKE OUT THE LOCATION OF THE PRIMARY AND STORAGE STRUCTURES AND EXCAVATE THE HOLE. EXCAVATION MUST PROVIDE ADEQUATE SPACE TO CONNECT INLET PIPES TO THE SEPARATOR MANHOLE AND THE BAYSAYER UNIT. INSTALL STRUCTURES ON SOLID SUBGRADE AS DIRECTED BY A GEOTECHNICAL ENGINEER.
 - VERIFY THE SUBGRADE ELEVATION AGAINST THE MANHOLE DIMENSIONS AND CONNECTING STORM DRAIN INVERTS. ADJUST BASE AGGREGATE IF NECESSARY.
 - INSTALL THE PRIMARY MANHOLE AND STORAGE MANHOLE. MAKE SURE THE BASES ARE LEVEL AND THAT THE STORAGE MANHOLE OPENINGS ARE ALIGNED WITH THE SEPARATOR UNIT. INSTALL RUBBER GASKETS ON BASE UNITS AND COAT WITH LUBRICATING GREASE. INSTALL ADDITIONAL MANHOLE SECTIONS AS REQUIRED.
 - SEAL ALL LIFT HOLES ACCORDING TO APPLICABLE REGULATIONS.
 - BACKFILL BASE SECTIONS OF MANHOLES TO INVERT OF STORAGE MANHOLE CONNECTING PIPES. USING AN APPROVED BACKFILL MATERIAL. BACKFILL AND COMPACT IN LIFTS WHICH ALLOW FOR ACCEPTABLE COMPACTION. BACKFILL COMPACTION SHOULD BE SUPERVISED BY A GEOTECHNICAL ENGINEER.
 - INSTALL BAYSAYER SEPARATOR UNIT AND CONNECTING PIPES. SEAL ALL CONNECTING JOINTS AND INSTALL REDUCER OR REDUCER/ADAPTER. PROVIDE TEMPORARY SUPPORTS AND HOLD-DOWNS AS NECESSARY TO STABILIZE UNIT DURING REMAINING BACKFILL OPERATION.
 - BACKFILL SEPARATOR UNIT AND MANHOLES. AREAS NOT ACCESSIBLE TO COMPACTION EQUIPMENT MUST BE BACKFILLED WITH STONE OR FLOWABLE FILL. CONCRETE BACKFILL IS NOT ACCEPTABLE. BACKFILL COMPACTION SHOULD BE SUPERVISED BY A GEOTECHNICAL ENGINEER.
 - INSTALL AND SET MANHOLE COVER GRADE ADJUSTMENTS AS NECESSARY.
 - INSTALL AND SET MANHOLE FRAME AND COVER UNITS.
 - FILL STRUCTURES WITH WATER.
 - THE SEPARATION MANHOLE AND THE STORAGE MANHOLE SHALL BE CLEANED WHEN SEDIMENT CONTROL MEASURES ARE REMOVED AND THE SITE IS PERMANENTLY STABILIZED. SEDIMENT AND DEBRIS MUST BE DISPOSED OF PROPERLY.

- MAINTENANCE INSTRUCTIONS**
- REMOVE THE TWO 30" MANHOLE COVERS TO PROVIDE ACCESS TO THE CONTAMINANT STORAGE.
 - REMOVE ALL WATER, DEBRIS, OILS AND SEDIMENT FROM THE STORAGE MANHOLE USING A VACUUM TRUCK OR OTHER EQUIPMENT.
 - USING A HIGH PRESSURE HOSE CLEAN THE STORAGE MANHOLE AND REMOVE THE CLEANING WATER USING THE VACUUM TRUCK.
 - USING A SUBMERSIBLE PUMP, PUMP THE BULK OF THE WATER FROM THE PRIMARY MANHOLE INTO THE CLEAN STORAGE MANHOLE. THE PUMP INTAKE MUST BE KEPT BELOW THE WATER SURFACE AND PUMPING MUST BE STOPPED WHEN THE WATER SURFACE FALLS TO A LEVEL ONE FOOT ABOVE THE ACCUMULATED SEDIMENTS.
 - REMOVE THE REMAINING WATER AND SEDIMENT FROM THE PRIMARY MANHOLE USING A VACUUM TRUCK OR OTHER EQUIPMENT.
 - USING A HIGH PRESSURE HOSE CLEAN THE PRIMARY MANHOLE AND REMOVE THE CLEANING WATER USING THE VACUUM TRUCK.
 - FILL THE TWO STRUCTURES WITH CLEAN WATER.
 - REPLACE THE TWO 30" MANHOLE COVERS.
 - DISPOSE OF THE CONTAMINATED WATER AT AN APPROVED FACILITY. LOCAL REGULATIONS OFTEN PROHIBIT DISCHARGE OF THIS MATERIAL TO THE SANITARY SEWER; THE LOCAL SEWER AUTHORITY MUST AUTHORIZE SUCH A DISCHARGE.

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: Nov 1, 2000

7/23/07 @ NEW OWNER
DATE NO. REVISION
OWNER/DEVELOPER
WELLS FARGO PROPERTIES INC.
2320 CENTRAL AVENUE, NE
MINNEAPOLIS, MN 55470
Attn: CARRIE TIMMINS, PH 612-667-8714
PROJECT: **OAKLAND RIDGE OFFICE PARK RENOVATION**
TITLE
STORM & SITE DETAILS

Richardson Engineering, LLC
730 W. Padonia Road
Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

CHECKED BY: PCR
DESIGNED BY: PCR
DRAWN BY: CADDS
PROJECT NO.: 99005
DATE: 7/19/00
SCALE: AS SHOWN
DRAWING NO. 4 OF 6
DATE: 12/6/00

SUBDIVISION NAME		SECTION/AREA		LOT/PARCEL	
OAKLAND RIDGE INDUSTRIAL PARK		SECTION 1		6, 7 & 8	
PLAT * OR L/P	BLOCK *	ZONING	TAX/ZONING MAP	ELECTION DIST	CENSUS TRACT
PLAT 12/65	17	NT-IND.	30	2ND	6067.03
WATER CODE		SEWER CODE			
604		5657400			

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Mrs. Richardson
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Cindy Anagnost
CHIEF, DIVISION OF LAND DEVELOPMENT
3/6/01
3/7/01
3/9/01

