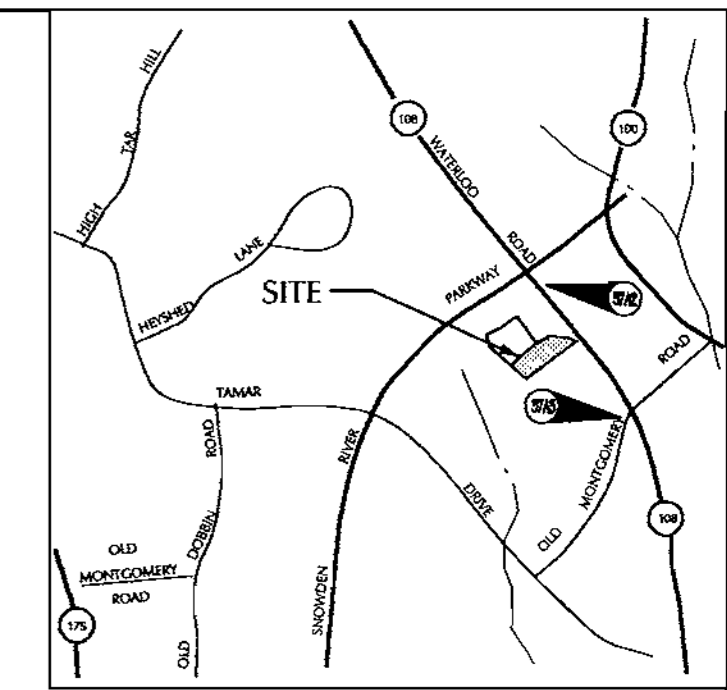


SHEET INDEX

SHEET	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
3	GRADING PLAN
4	SEDIMENT & EROSION CONTROL PLAN AND DRAINAGE AREA MAP
5	SEDIMENT & EROSION DETAILS
6	UTILITY PROFILES
7	LANDSCAPE PLAN & DETAILS
8	SITE DETAILS

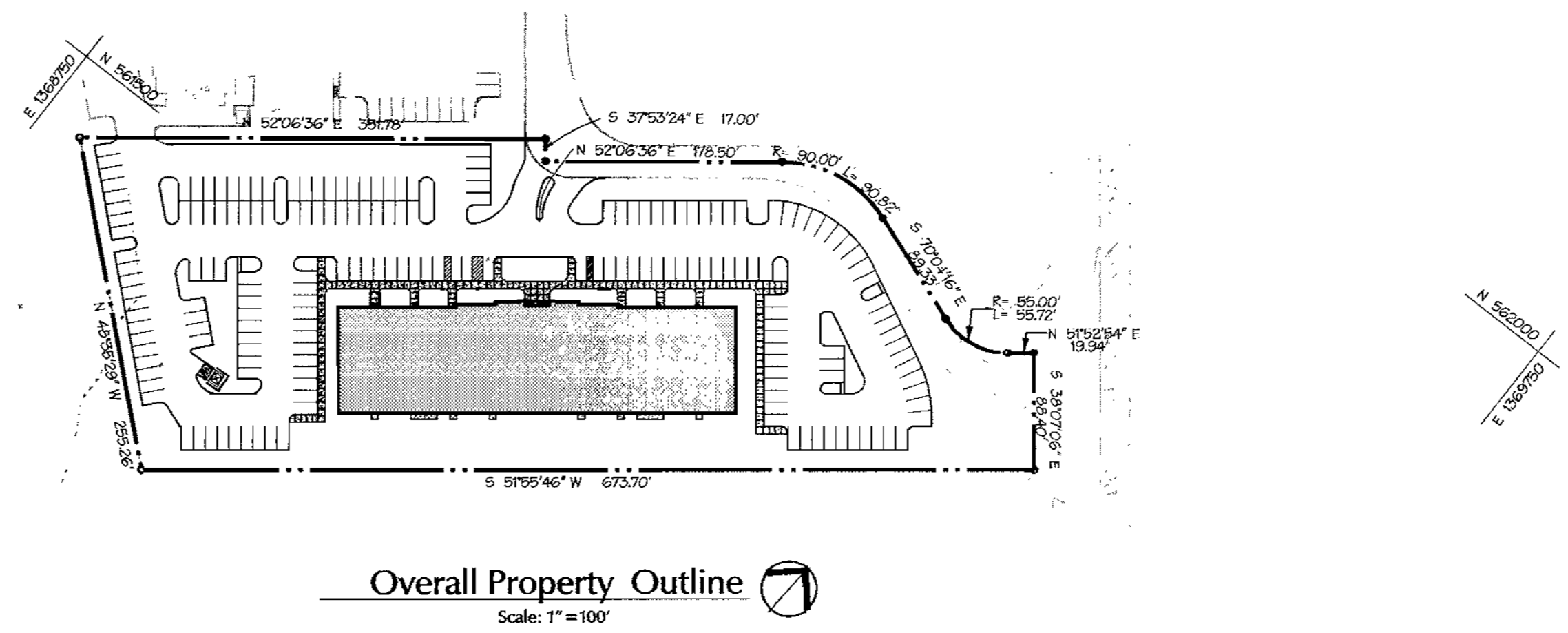
# Site Development Plan for Commercial/Office Building at Route 108 Commercial Parcel B-3



LOCATION MAP  
SCALE: 1" = 2000'

GENERAL NOTES

- All construction shall be performed in accordance with the latest standards and specifications of Howard County, plus MSHA standards and specifications if applicable or as specified.
- Approximate location of existing utilities are based solely on available records. Contractor shall verify the location of any utilities which may be impacted by the work. The contractor shall take all necessary precautions to protect the existing utilities and maintain uninterrupted service. Any damage incurred due to contractor's operation shall be repaired immediately at the contractor's expense.
- The contractor shall test pit existing utilities at least five (5) days before starting work shown on these drawings to verify their location and elevation. The contractor shall notify the engineer immediately if location of utilities is other than shown.
- The contractor shall notify 'Miss Utility' at 1-800-257-7777 at least 48 hours prior to any excavation work being done, and shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
- Any damage caused by the Contractor to existing public right-of-way, existing paving, existing curb and gutter, existing utilities, etc. shall be repaired at the Contractors expense.
- Topography taken from mass grading per F-98-101 dated May 11, 1998 by Gutshick Little & Weber, P.A.
- Public water and sewer provided by contract No. 24-3813-D
- All fill areas shall be compacted to a minimum of 95% of the maximum dry density as determined and verified in accordance with AASHTO T-100.
- Regional stormwater management and water quality are provided in a retention facility located on Open Space Lot 2 per F-98-101
- This Site is exempt from Forest Conservation Ordinance in accordance with Section 16.1202(b)(1)(iv), A Planned Unit Development
- There are no wetlands, floodplain, or streams on this site.
- Traffic Study by A/E Group Inc. was previously approved for this use per F-98-101, Date: May 1998.
- Operating existing valves, switches, services or start up of new services shall be coordinated with the owners representative.
- The building will be provided with a sprinkler system.
- Trench compaction for storm drains shall be in accordance with Howard County Design Manual IV, Std. No. G-2.01.
- Unless otherwise noted, dimensions from curb are measured at face of curb.
- Refer to architectural drawings for building dimensions.
- The Contractor shall coordinate the location of all water, sewer, and drain house connections with the mechanical drawings.
- The Contractor shall maintain 2.0 feet minimum cover over all utilities during construction.
- Unless otherwise noted, all utility connections shall be capped or plugged five feet from buildings.
- Electric, telephone, gas, cable, lighting, and retaining walls to be designed by others. Where those facilities are shown, they are for coordination purposes only.
- All Curb radii 5' unless otherwise noted.
- There are no known cemeteries or burial grounds on this site. However, upon discovery of any evidence of burial or graves, the developer will be subject to Section 16.1305 of the Howard County Subdivision and Land Development Regulations.
- All exterior lighting fixtures shall be installed in compliance with Section 134 of the Zoning Regulations.
- Geotechnical investigation by Robert T. Balter



BENCHMARK  
DESCRIPTION

HO. CO. STATION 37A2  
N 562,120.83 E 1,369,300.26 ELEV. 403.71  
40'± NORTHEAST OF MD ROUTE 108, 1100'± NORTHWEST OF OLD MONTGOMERY ROAD

HO. CO. STATION 37A3  
N 561,131.07 E 1,369,913.89 ELEV. 385.66  
SOUTHWEST OF THE INTERSECTION OF MD ROUTE 108 AND OLD MONTGOMERY ROAD

ADDRESS CHART	
PARCEL NUMBERS	STREET ADDRESS
B-3	5850 ROUTE 108

**APPROVED**  
PLANNING BOARD  
of HOWARD COUNTY  
DATE: JUNE 29, 2000

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 8/10/00  
CHIEF, DEVELOPMENT ENGINEERING DIVISION (DP)

*[Signature]* 8/30/00  
CHIEF, DIVISION OF LAND DEVELOPMENT

*[Signature]* 8/30/00  
DIRECTOR

SITE ANALYSIS DATA CHART

1. General Site Data

- Present Zoning: New Town Employment Center Comm
- Applicable DPZ File Reference: 9F 98-05, FDP PHASE 229, PB 315, WF-97-107, WP 98-34, F-98-101
- Proposed Use of Site or Structure(s): Commercial/Office Building
- Proposed Water and Sewer Systems: X Public - Private
- Any Other Information Which May be Relevant: N/A

2. Area Tabulation

- Total Project Area: 3.53 Acres  
(Indicate by Section and Area As Shown on Final Plat or As Shown on Deed)
- Net Area of Site: 3.53 Acres  
(Indicate by Section and Area As Shown on Final Plat)
- Area of This Plan Submission: 3.24 Acres
- Limit of Disturbed Area: 0.55 Acres
- Building Coverage of Site: 0.55 Acres and 15.6 % of Gross Area (Proposed)

3. Parking Space Data

- Floor Space on Each Level per Building(s) per Use: 24,000 SF
- Maximum Number of Employees, Tenants On-Site per Use: N/A
- Number of Parking Spaces Required by Zoning Regulations and Criteria: 168  
24,000 SF X 5.0 SP/1000 (NET COMM)=120 SPACES + 24,000 SF X 2.0 SP/1000 (NET OFFICE)=48 SPACES  
168 SPACES REQUIRED BY ZONING REGS AND CRITERIA - PROPOSED BUILDING TO BE TWO (2) FLOORS
- Total Number of Parking Spaces Provided On-Site: 168
- Number of Handicapped Parking Spaces Provided: 6 (HC INCLUDED IN TOTAL)
- Proposed building is two-stories



Building Elevation  
Not to Scale

7/14/00  
Date

Professional Engr. No. 10557

Date	No.	Revision Description

**Commercial/Office Building**  
at Route 108 Commercial Park - Parcel B-3

OWNER: The Howard Research and Development Corporation  
10275 Little Patuxent Parkway  
Columbia, Maryland 21044

DEVELOPER: AAK SNOWDEN  
8808 Columbia 100 Parkway  
Suite 101  
Columbia, Maryland 21045

**DMW**  
Daft - McCune - Walker, Inc.  
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals  
200 East Pennsylvania Avenue  
Towson, Maryland 21286  
410 296 3333  
Fax 296 4705

SUBDIVISION NAME	SECTION	AREA	LOT/AREA	PARCEL
Route 108 Commercial	SECTION 1	AREA 1		PARCEL B-3
PLAT OR LOT	BLOCK #	ZONE	TAXZONE MAP	ELECT. DISTRICT
1403	17	INT		6 th
WATER CODE			SEWER CODE	
****			*****	

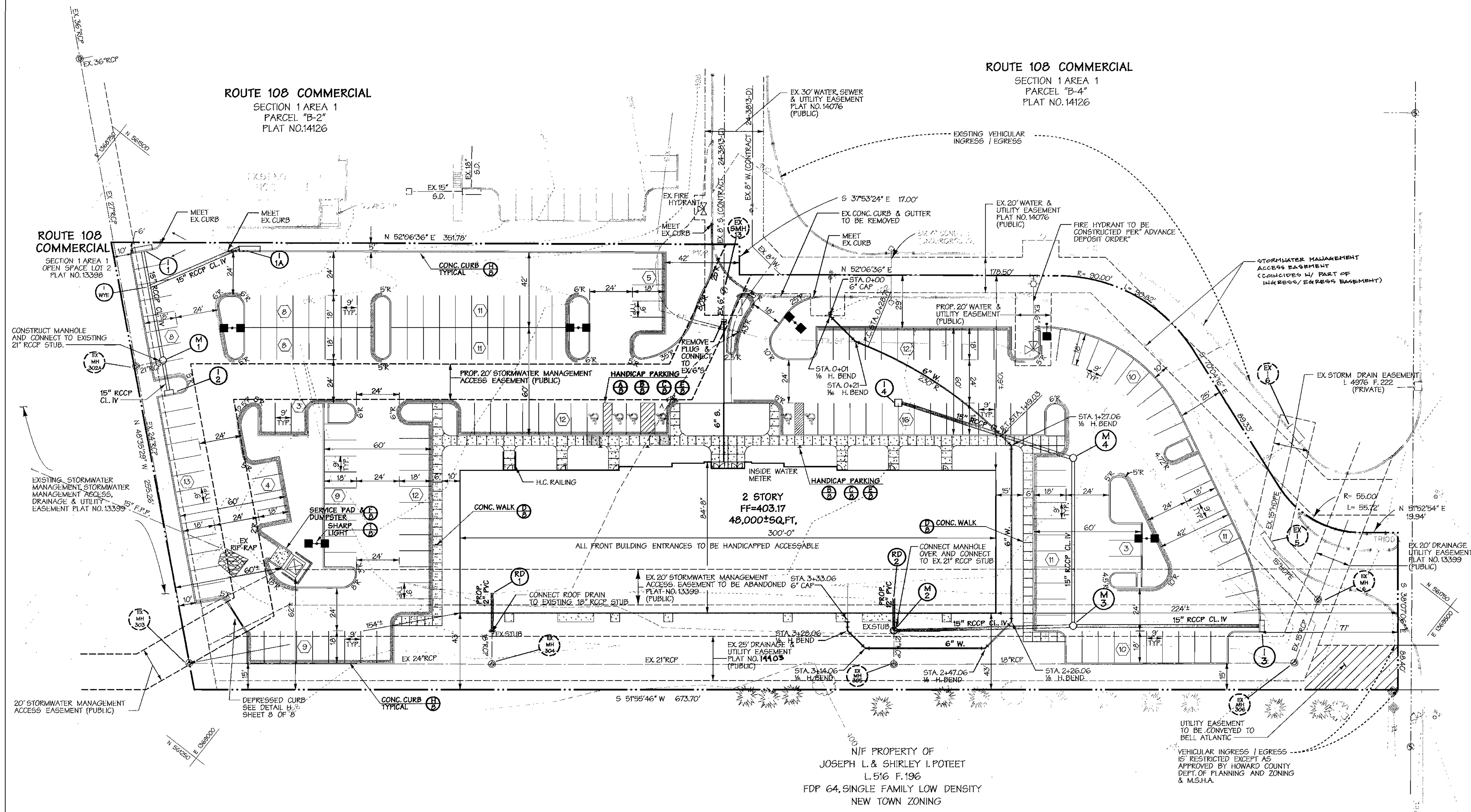
TITLE

**COVER SHEET**

Drn By: ADL	Scale: AS SHOWN	Proj. No. 00013.A
Des By: BG	Date: 7-12-00	1 of 8
Chk By:	Approved:	

**LEGEND**

- EX. MAJOR CONTOURS
- EX. MINOR CONTOURS
- PROP. STORM DRAIN
- PROP. SEWER
- PROP. WATER
- EX. STORM DRAIN
- EX. SEWER
- EX. WATER
- PARKING COUNT LABELS
- CONCRETE SIDEWALKS
- STANDARD CURB
- REVERSE CURB
- HANDICAP SYMBOLS
- HANDICAP RAMPS
- MANHOLE & INLET LABELS
- EX. MANHOLE & INLET LABELS
- DETAIL CALL OUTS
- PROP. LIGHT FIXTURE



**ROUTE 108 COMMERCIAL**  
SECTION 1 AREA 1  
PARCEL "B-4"  
PLAT NO. 14126

**ROUTE 108 COMMERCIAL**  
SECTION 1 AREA 1  
PARCEL "B-2"  
PLAT NO. 14126

**MARYLAND ROUTE 108**

**APPROVED**  
**PLANNING BOARD**  
of HOWARD COUNTY  
DATE June 29, 2000

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
*[Signature]* 8/10/00  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
*[Signature]* 8/20/00  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
*[Signature]* 8/20/00  
 PREPARED BY

Date No. Revision Description

**Commercial/Office Building**  
at Route 108 Commercial Park-Parcel B-3

OWNER: The Howard Research and Development Corporation  
 DEVELOPER: AAK SNOWDEN  
 10275 Little Patuxent Parkway, Suite 101  
 Columbia, Maryland 21044

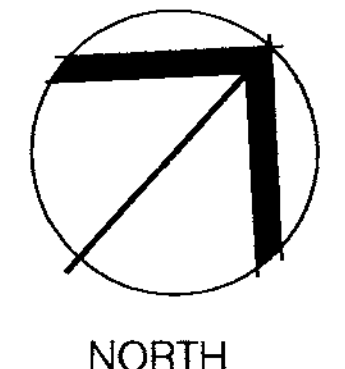
**DMW**  
Daft · McCune · Walker, Inc.  
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

200 East Pennsylvania Avenue  
Towson, Maryland 21286  
410 296 3333  
Fax 296 4706

SUBDIVISION NAME: SECTION 1 AREA 1		LOT/PARCEL: PARCEL B-3	
PLAT OF L&P: 14103	BLOCK: 17	LOT: 17	SECTION: 1
TAXING MAP: 17		ELECT. DISTRICT: 17	
WATER CODE: 17		SEWER CODE: 17	
TITLE: <b>SITE PLAN</b>			
Dwn By: ADL	Scale: 1"=30'	Proj. No. 00013.A	
Des By: BIG	Date: 7-12-00		
Chk By:	Approved:		<b>2 of 8</b>

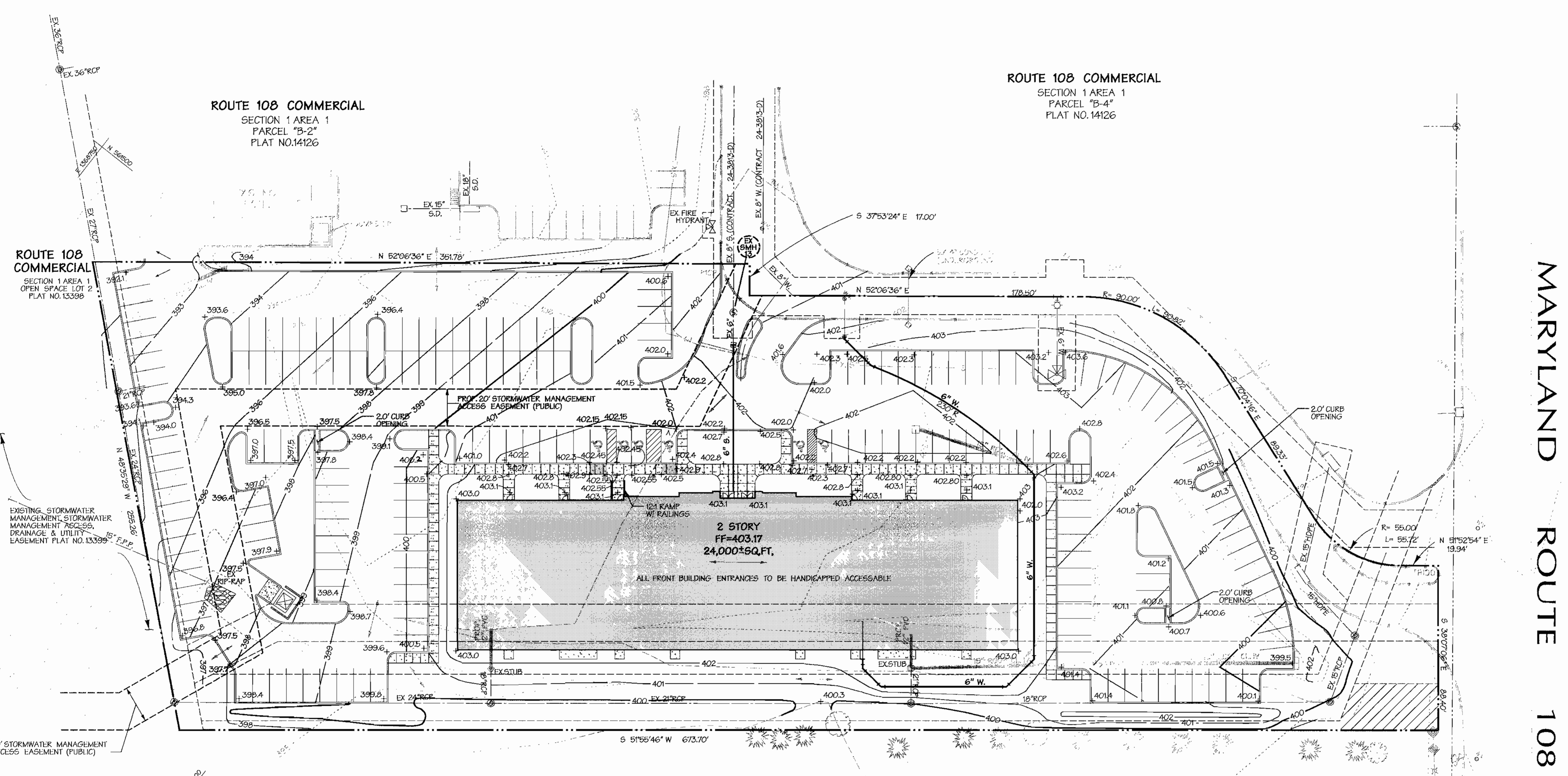
7/14/00  
Date

Professional Engr. No. 10551



**LEGEND**

MAJOR CONTOURS	— 400 —
MINOR CONTOURS	— 402 —
1' CONTOURS	— 402 —
SPOT ELEVATION	+ 401.5
HANDICAP RAMPS	[Symbol]
EX. MAJOR CONTOURS	--- 400 ---
EX. MINOR CONTOURS	--- 402 ---
PROP. STORM DRAIN	[Symbol]
PROP. SEWER	[Symbol]
PROP. WATER	[Symbol]
EX. STORM DRAIN	EX. 21" RCP
EX. SEWER	EX. 8" S.
EX. WATER	EX. 8" W.



**ROUTE 108 COMMERCIAL**  
SECTION 1 AREA 1  
PARCEL "B-4"  
PLAT NO. 14126

**ROUTE 108 COMMERCIAL**  
SECTION 1 AREA 1  
PARCEL "B-2"  
PLAT NO. 14126

**ROUTE 108 COMMERCIAL**  
SECTION 1 AREA 1  
OPEN SPACE LOT 2  
PLAT NO. 13398

MARYLAND ROUTE 108

**APPROVED**  
PLANNING BOARD  
of HOWARD COUNTY  
DATE JUNE 29, 2000

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>John D. Williams</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION /PS	8/17/00 DATE
<i>Cindy Hamilton</i> CHIEF, DIVISION OF LAND DEVELOPMENT	8/30/00 DATE R
<i>Paul R. Smith</i> DIRECTOR	8/30/00 DATE

N/F PROPERTY OF  
JOSEPH L. & SHIRLEY I. POTEET  
L. 516 F. 196  
FDP G4, SINGLE FAMILY LOW DENSITY  
NEW TOWN ZONING

Date	No.	Revision Description

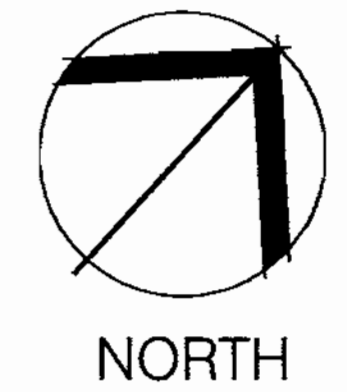
**Commercial / Office Building**  
at Route 108 Commercial Park - Parcel B-3

OWNER: The Howard Research and Development Corporation, 10275 Little Patuxent Parkway, Columbia, Maryland 21044  
DEVELOPER: AAK SNOWDEN, 8806 Columbia 100 Parkway, Suite 101, Columbia, Maryland 21045

**DMW**  
Daft · McCune · Walker, Inc.  
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals  
300 East Pennsylvania Avenue, Towson, Maryland 21286  
410 296 3333  
Fax 296 4705

7/21/00  
Date

Professional Engr. No. 10551

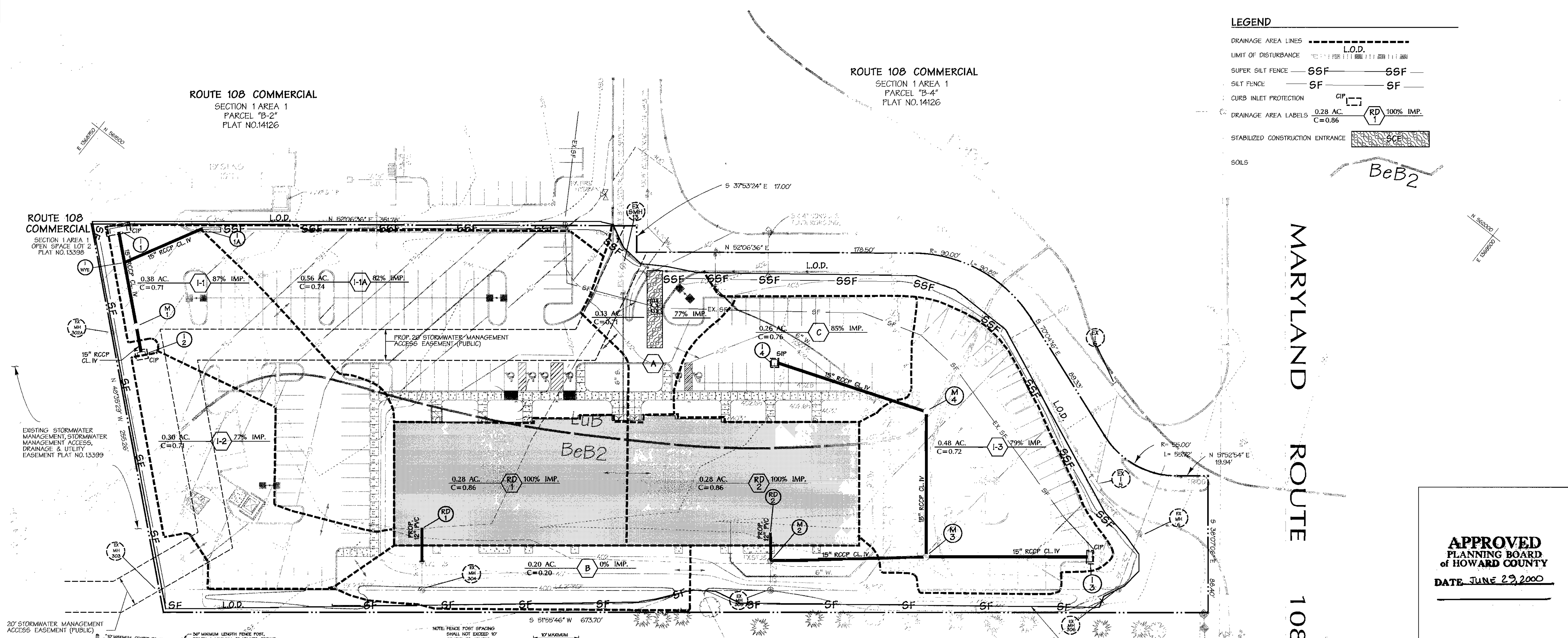


SUBDIVISION NAME: Route 108 Commercial		SECTION: SECTION 1 AREA 1		OFFICIAL #
PLAT NO. 14403	BLOCK # 17	LOT # NT	SECTION: 6th	PARCEL # B-3
TAXATION MAP		ELECT. DISTRICT		CENSUS TRACT
WATER CODE		SEWER CODE		*****
<b>GRADING PLAN</b>				
Drn By: ADL	Scale: 1"=30'	Proj. No. 00013.A		
Des By: BIS	Date: 7-12-00			
Chk By:	Approved:	<b>3 of 8</b>		

ROUTE 108 COMMERCIAL  
SECTION 1 AREA 1  
PARCEL "B-2"  
PLAT NO.14126

ROUTE 108 COMMERCIAL  
SECTION 1 AREA 1  
OPEN SPACE LOT 2  
PLAT NO.13398

EXISTING STORMWATER  
MANAGEMENT, STORMWATER  
MANAGEMENT ACCESS,  
DRAINAGE & UTILITY  
EASEMENT PLAT NO.13399



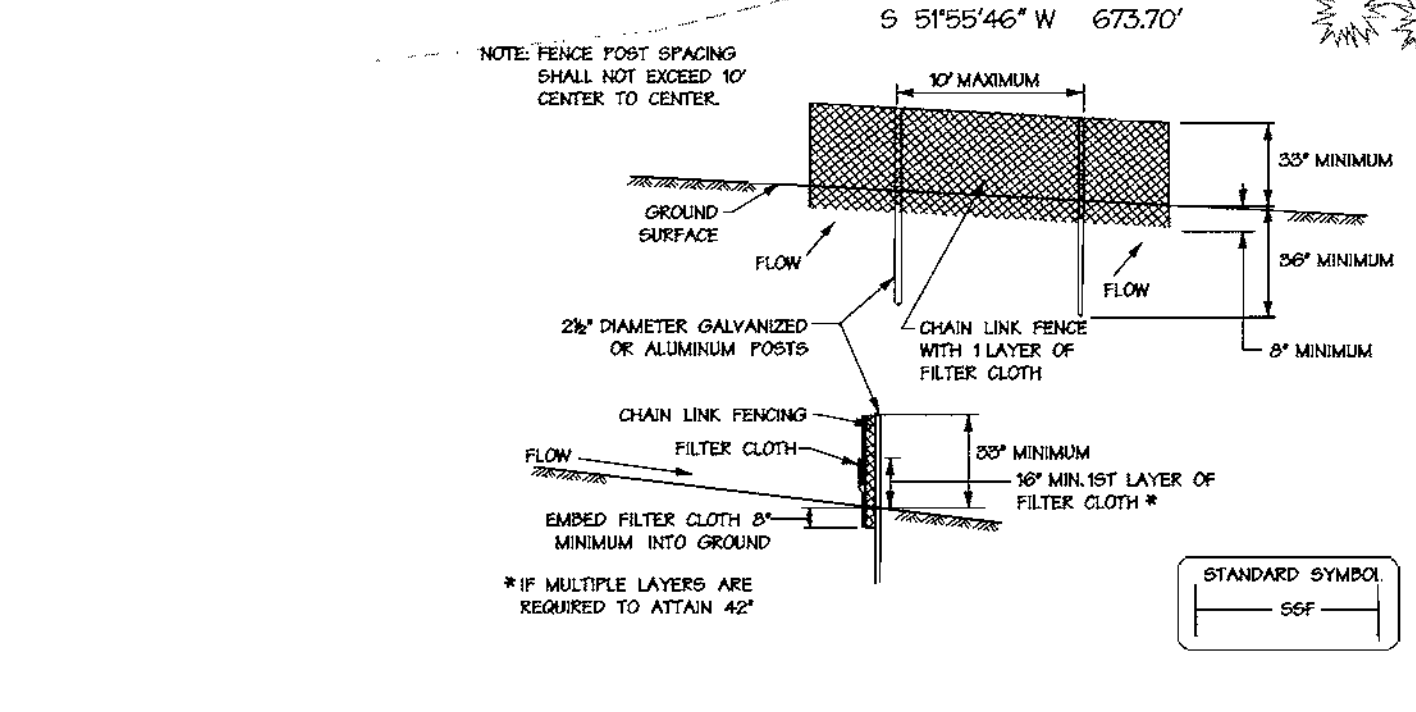
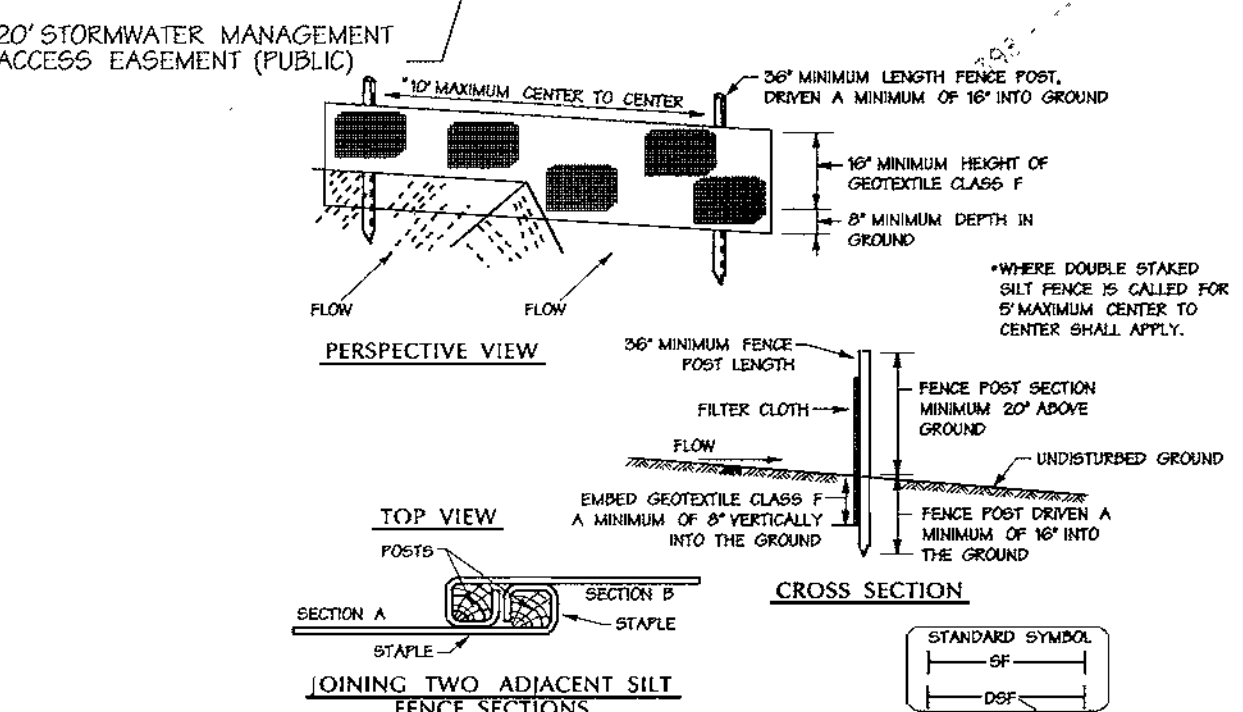
ROUTE 108 COMMERCIAL  
SECTION 1 AREA 1  
PARCEL "B-4"  
PLAT NO.14126

LEGEND

- DRAINAGE AREA LINES
- LIMIT OF DISTURBANCE L.O.D.
- SUPER SILT FENCE SSF
- SILT FENCE SF
- CURB INLET PROTECTION CIP
- DRAINAGE AREA LABELS 0.28 AC. C=0.86 RD 100% IMP.
- STABILIZED CONSTRUCTION ENTRANCE SCE
- SOILS BeB2

MARYLAND ROUTE 108

APPROVED  
PLANNING BOARD  
of HOWARD COUNTY  
DATE JUNE 29, 2000



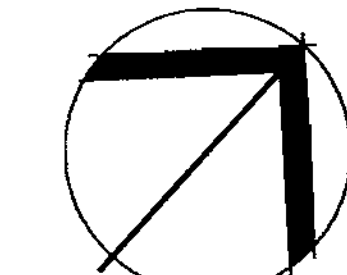
N/F PROPERTY OF  
JOSEPH L. & SHIRLEY I. POETEY  
L.516 F.196  
FDP 64, SINGLE FAMILY LOW DENSITY  
NEW TOWN ZONING

EXISTING SILT FENCE TO BE REMOVED AND SALVAGED. REINSTALL SALVAGED SILT FENCE HERE SHOWN.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director

Commercial/Office Building  
 at Route 108 Commercial Park-Parcel B-3  
 OWNER: The Howard Research and Development Corporation  
 DEVELOPER: AAX SNOWDEN  
 10275 Little Patuxent Parkway, Suite 101, Columbia, Maryland 21044  
 2805 Columbia 100 Parkway, Suite 101, Columbia, Maryland 21045

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 Daft - McCune - Walker, Inc.  
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals  
 200 East Pennsylvania Avenue, Towson, Maryland 21286  
 410 298 3333 Fax 296 4705



7/14/00  
Date



Silt Fence  
 REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.  
 CERTIFICATION BY THE ENGINEER:  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
 John W. Ramechin, S.E.  
 DATE 7/14/00

Not To Scale  
 Super Silt Fence  
 Not To Scale  
 CERTIFICATION BY THE DEVELOPER:  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 James M. Almon  
 DATE 1/13/00

Not To Scale  
 Stabilized Construction Entrance  
 Not To Scale

TITLE: SEDIMENT & EROSION CONTROL PLAN AND DRAINAGE AREA MAP  
 Dwn By: ADL Scale: 1"=30' Proj. No. 00013.A  
 Des By: BIS Date: 7-12-00  
 Chk By: Approved: 4 of 8

STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

Section I - Vegetative Stabilization Methods and Materials

- A. Site Preparation
1. Install erosion and sediment control structures (either temporary or permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins.
2. Perform all grading operations at right angles to the slope. Final grading and sloping is not usually necessary for temporary seeding.
3. Schedule required soil test to determine soil amendment composition and application rates for sites having disturbed areas over 5 acres.
B. Soil Amendments (Fertilizer and Lime Specifications)
1. Soil test must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory.
2. Fertilizers shall be applied in composition, free flowing and suitable for accurate application by approved equipment.
3. Lime materials shall be ground limestone (hydrated or burnt lime may be substituted) which contains at least 90% total oxides.

- G. Mulching Seeded Areas - Mulch shall be applied to all seeded areas where one species of grass is desired.
1. If grading is completed outside of the seeding season, mulch shall be applied as prescribed in this section and maintained until the seeding season returns and seeding can be performed in accordance with these specifications.
2. When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre.
3. Wood cellulose fiber used as a mulch shall be applied at a net dry weight of 1500 lbs. per acre.

Section II - Temporary Seeding

Vegetation - annual/grass or grain used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetative cover, Permanent Seeding is required.

Table with columns: SEED MIXTURE (HARDNESS ZONE), FERTILIZER RATE (10-10-10), LIME RATE. Includes rows for NO., SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS.

Section III - Permanent Seeding

Seeding grass and legumes to establish ground cover for a minimum period of one year on disturbed areas generally receiving low maintenance.

Table with columns: SEED MIXTURE (HARDNESS ZONE), FERTILIZER RATE (10-10-10), LIME RATE. Includes rows for NO., SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS.

Section IV - Sod - To provide quick cover on disturbed areas (21 grade or flatter).

- A. General Specifications
1. Class of turfgrass sod shall be Maryland or Virginia State Certified or Approved. Sod labels shall be made available to the job foreman and inspector.
2. Sod shall be machine cut at a uniform soil thickness of 3/4" plus or minus 1/4" at the time of cutting.
3. Standard size sections of sod shall be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grip on the upper 10 percent of the section.
B. Sod Installation
1. During periods of excessively high temperature or in areas having dry subsoil, the subsoil shall be lightly irrigated immediately prior to laying the sod.
2. The first row of sod shall be laid in a straight line with subsequent rows placed parallel to and tightly wedged against each other.
C. Sod Maintenance
1. In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in moisture absorption and retention properties and shall cover and hold grass seeds in contact with the soil without the strength of the grass seedlings.

Section V - Turfgrass Establishment

Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium high level of maintenance.

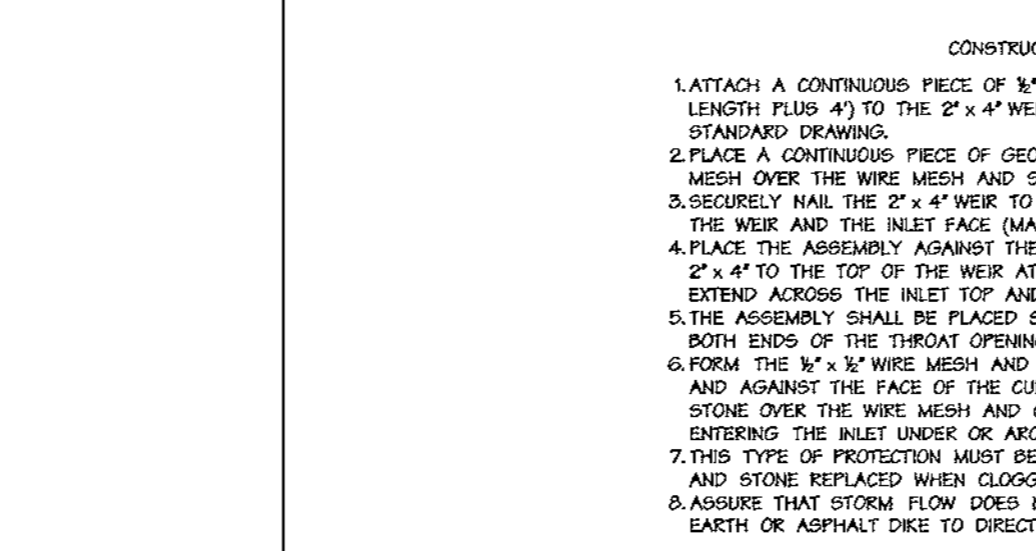
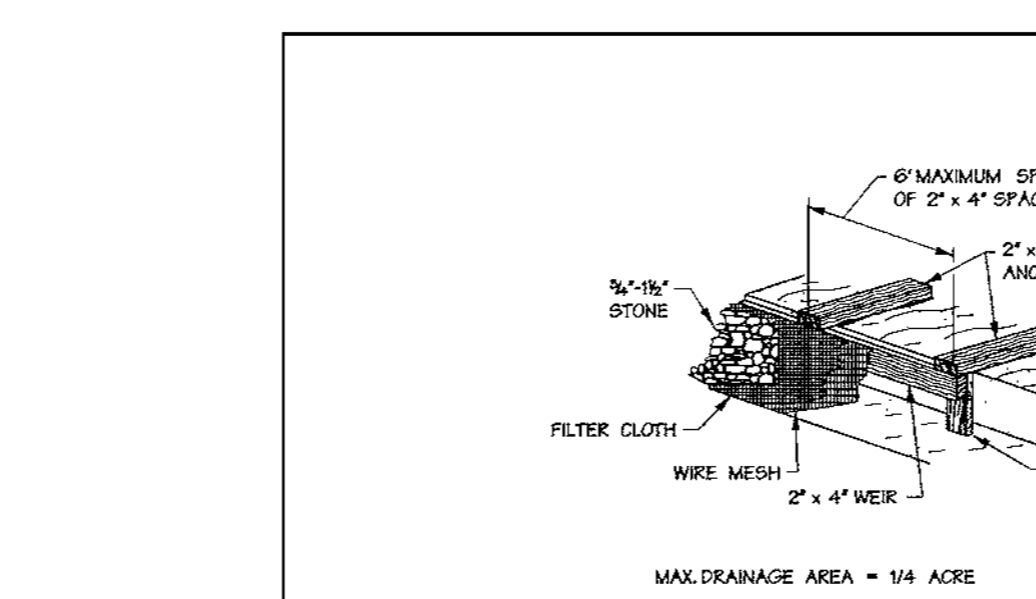
- A. Turfgrass Mixtures
1. Kentucky Bluegrass - Full sun mixture - For use in areas that receive intensive management.
2. Kentucky Bluegrass/Perennial Ryegrass - Full sun mixture - For use in full sun areas where rapid establishment is necessary.
3. Tall Fescue/Kentucky Bluegrass - Full sun mixture - For use in drought prone areas and/or for areas receiving low to medium maintenance.
4. Kentucky Bluegrass/Fine Fescue - Shade Mixture - For use in areas with shade in Bluegrass lawns.

Note: Turfgrass varieties should be selected from the most current University of Maryland Publication, Agronomy Mimeo #77, 'Turfgrass Culture Recommendations for Maryland'.

- B. Ideal times of seeding
Western MD: March 15 - June 1, August 1 - October 1 (Hardness Zones - 5a,6a)
Central MD: March 1 - May 15, August 15 - October 15 (Hardness Zones - 6b)
Southern MD, Eastern Shore: March 1 - May 15, August 15 - October 15 (Hardness Zones - 7a,7b)
C. Irrigation
If soil moisture is deficient, supply new seedlings with adequate water for plant growth (1/2" - 1" every 2 to 4 days depending on soil moisture) until they are firmly established.

- D. Repairs and Maintenance
Inspect all seeded areas for failures and make necessary repairs, replacements, and reseedings within the planting season.
1. Once the vegetation is established, the site shall have 95% groundcover to be considered adequately stabilized.
2. If the stand provides less than 40% ground coverage, reestablish following original fine, fertilizer, seedling preparation and seeding recommendations.
3. If the stand provides between 40% and 94% ground coverage, overseeding and fertilizing using half of the rates originally applied may be necessary.
4. Maintenance fertilizer rates for permanent seedlings are shown in Table 24. For lawns and other medium high maintenance turfgrass areas, refer to the University of Maryland publication 'Lawn Care in Maryland' Bulletin No. 171.

VEGETATIVE STABILIZATION

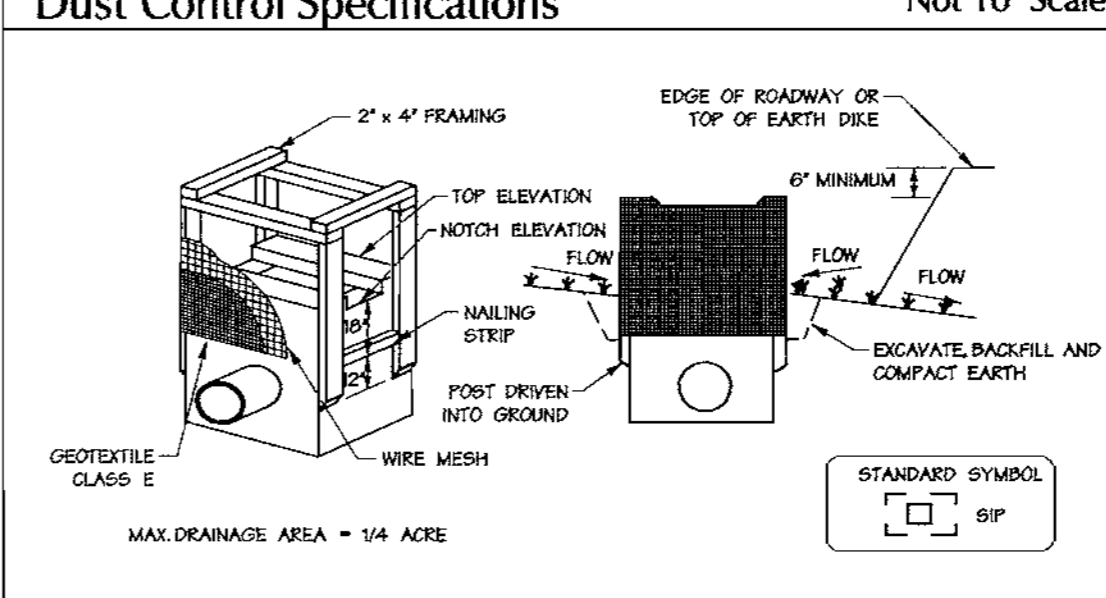


CERTIFICATION BY THE ENGINEER: I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DUST CONTROL SPECIFICATIONS

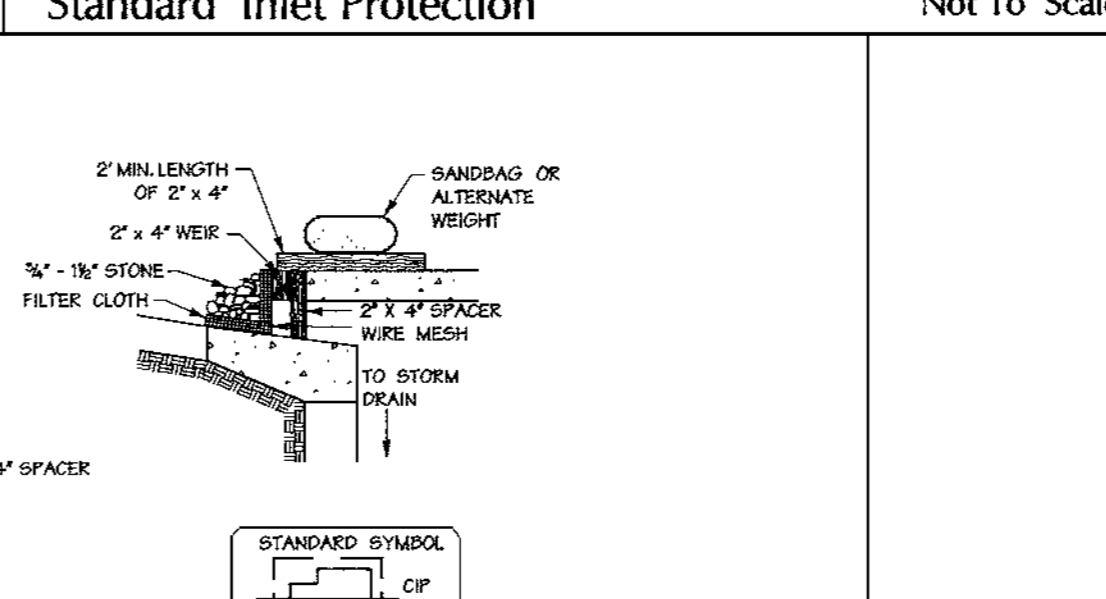
- TEMPORARY METHODS:
1. MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.
2. VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
3. TILLAGE - TO ROUGHEN SURFACE AND BRING CLOSER TO THE SURFACE THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS.
4. IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST REPEAT AS NEEDED AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THE RUNOFF BEGINS TO FLOW.
PERMANENT METHODS:
1. PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER AND VEGETATIVE STABILIZATION WITH SOIL EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.
2. TOPSOILING - COVERING WITH LESS ERODIBLE SOIL MATERIALS. SEE STANDARDS FOR TOPSOILING.
3. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

Dust Control Specifications



- 1. EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18\"
2. DRIVE THE 2x4 CONSTRUCTION GRADE LUMBER POSTS INTO THE GROUND AT EACH CORNER OF THE INLET. PLACE NAIL STRIPS BETWEEN THE POSTS ON THE ENDS OF THE INLET. ASSEMBLE THE TOP PORTION OF THE 2x4 FRAME USING THE OVERLAP JOINT SHOWN ON DETAIL THE TOP OF THE FRAME (WEIR) MUST BE 6\"
3. STRETCH THE 1/2x1/2 WIRE MESH TIGHTLY AROUND THE FRAME AND FASTEN SECURELY. THE ENDS MUST MEET AND OVERLAP AT A JOINT.
4. STRETCH THE GEOTEXTILE CLASS E TIGHTLY OVER THE WIRE MESH WITH THE GEOTEXTILE EXTENDING FROM THE TOP OF THE FRAME TO 18\"
5. BACKFILL AROUND THE INLET IN COMPACTED 6\"
6. THE INLET IS NOT IN A SHARP CORNER CONSTRUCT EARTH DIKE ACROSS THE DIKE LINE DIRECTLY BELOW IT. THE TOP OF THE EARTH DIKE SHOULD BE AT LEAST 6\"
7. THE STRUCTURE MUST BE INSPECTED PERIODICALLY AND AFTER EACH RAIN AND THE GEOTEXTILE REPLACED WHEN IT BECOMES CLOGGED.

Standard Inlet Protection



- CONSTRUCTION SPECIFICATIONS:
1. LATCH A CONTINUOUS PIECE OF 1/2x1/2 WIRE MESH (60\"
2. PLACE A CONTINUOUS PIECE OF GEOTEXTILE CLASS E THE SAME DIMENSIONS AS THE WIRE MESH OVER THE WIRE MESH AND SECURELY ATTACH IT TO THE 2x4 WEIR.
3. SECURELY NAIL THE 2x4 WEIR TO A 1/2\"
4. PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL (MINIMUM 2\"
5. THE INLET IS NOT IN A SHARP CORNER CONSTRUCT EARTH DIKE ACROSS THE DIKE LINE DIRECTLY BELOW IT. THE TOP OF THE EARTH DIKE SHOULD BE AT LEAST 6\"
6. THE STRUCTURE MUST BE INSPECTED PERIODICALLY AND AFTER EACH RAIN AND THE GEOTEXTILE REPLACED WHEN IT BECOMES CLOGGED.

Curb Inlet Protection (COG or COS Inlets)

CERTIFICATION BY THE DEVELOPER: I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Table with columns: ANALYSIS, TOTAL AREA OF SITE, AREA DISTURBED, AREA TO BE RECOVERED OR PAVED, TOTAL CUBIC YARDS, TOTAL HILL, etc.

Sediment Control General Notes

Table with columns: SEQUENCE, NUMBER OF DAYS. Includes rows for OBTAIN A GRADING PERMIT, INSTALL SEDIMENT AND EROSION CONTROL DEVICES, etc.

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: JUNE 29, 2000

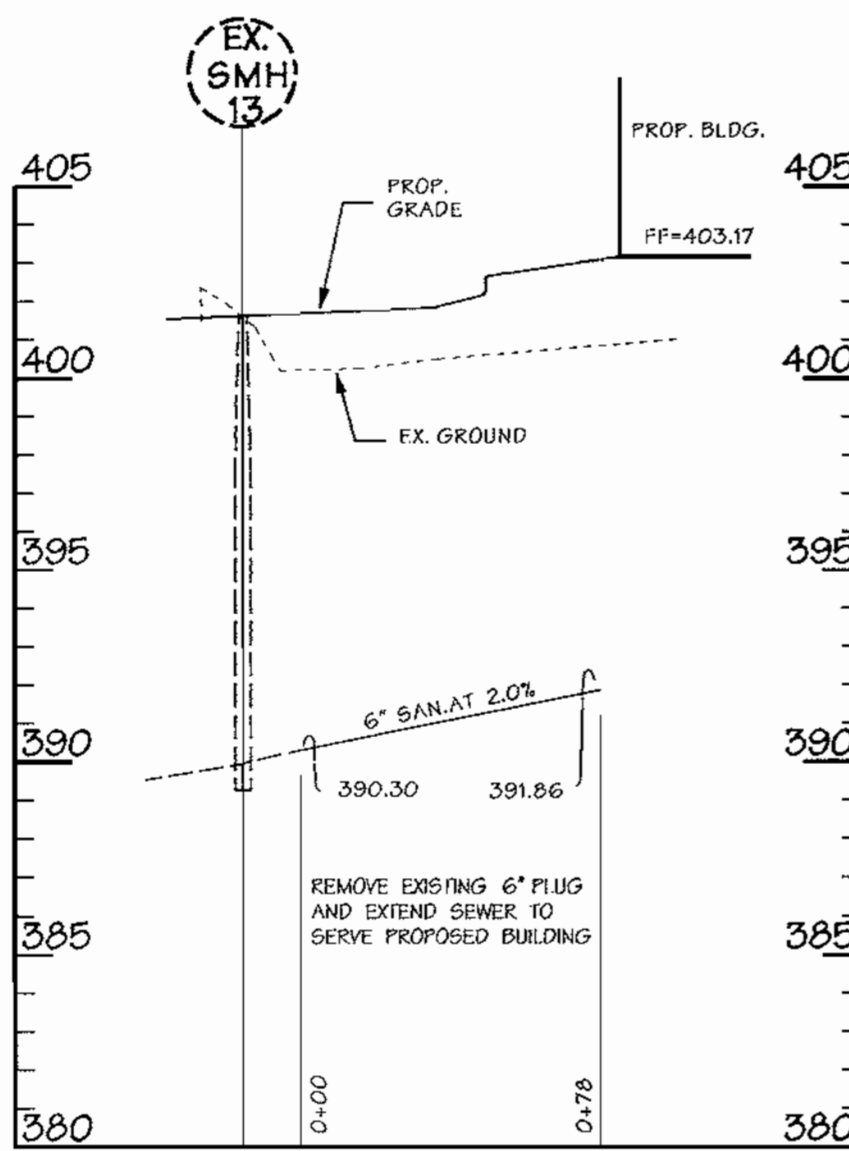
REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS.

Professional Engineer stamps and signatures for John W. Ranocchia, Esq. and June M. Allen. Includes dates 7/14/00 and 7/13/00.

DMW (Daft, McCune & Walker, Inc.) stamp and signature. Includes project details for Sediment & Erosion Control Details, Project No. 00013A, and date 7-12-00.

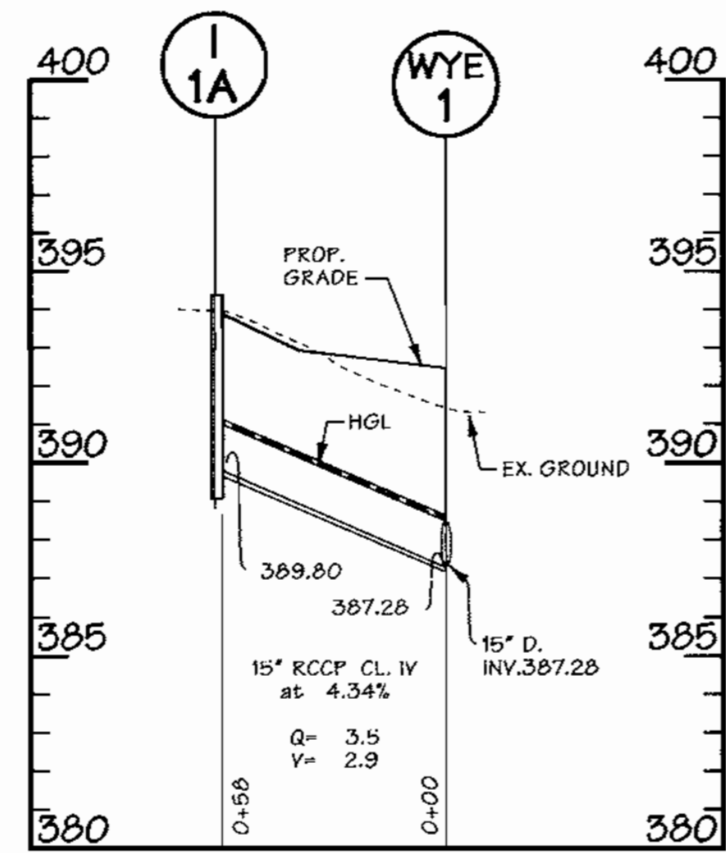
STRUCTURE SCHEDULE

NO.	TYPE	INV. OUT	INV. IN	TOP ELEV.	REMARKS	COORDINATES	
						NORTH	EAST
I-1A	A-10	388.80		384.28	HO CO STD. SD 4.02	561,482.2	1,569,248.4
I-1	A-5	388.75		382.60	HO CO STD. SD 4.01	561,455.5	1,569,201.5
I-2	A-5	387.85		384.50	HO CO STD. SD 4.01	561,405.0	1,569,260.6
I-3	A-5	386.75		400.0	HO CO STD. SD 4.01	561,075.4	1,569,422.7
I-4	S	388.00		401.50	HO CO STD. SD 4.22	561,649.5	1,569,196.4
M-1	STD. MANHOLE	382.65	384.25	393.52	HO CO STD. G 5.12	561,444.5	1,569,247.8
M-2	STD. MANHOLE	388.35	380.0	402.00	HO CO STD. G 5.12	561,847.2	1,569,265.4
M-3	STD. MANHOLE	384.80	385.0	401.00	HO CO STD. G 5.12	561,611.3	1,569,240.8
M-4	SHALLOW MH	387.20	387.40	402.26	HO CO STD. G 5.12	561,658.4	1,569,222.7
WYE-1	15"X15" BRICK	387.28	387.28		HO CO STD. G 5.12	561,442.0	1,569,216.4



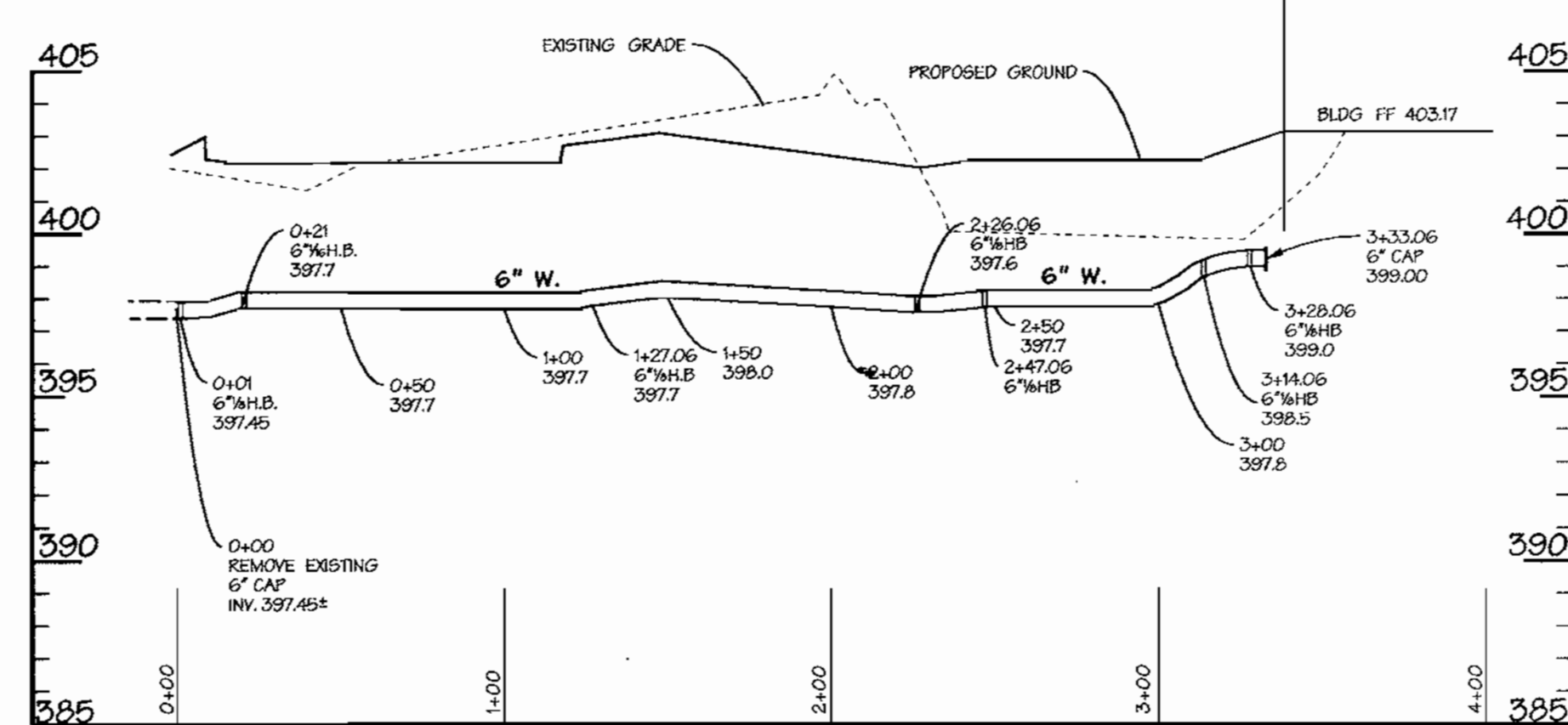
SEWER EXTENSION (PRIVATE)

SCALE: HORIZ. 1"=50'  
VERT. 1"=5'



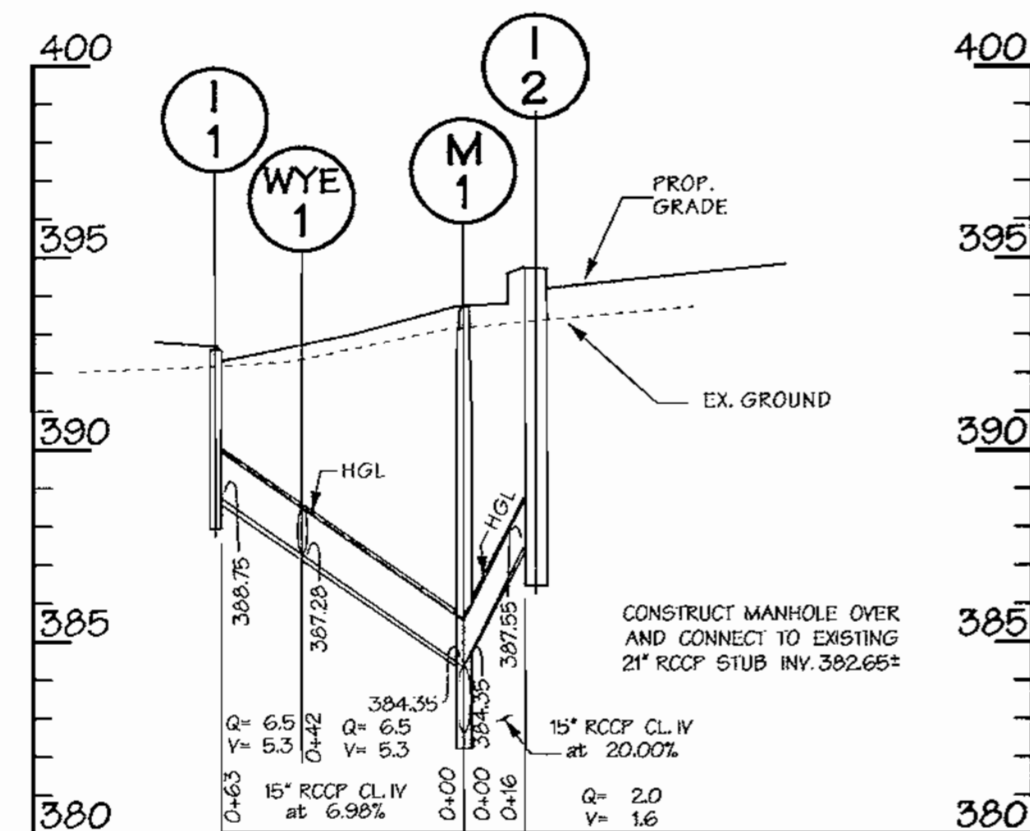
STORM DRAIN PROFILE

SCALE: HORIZ. 1"=50'  
VERT. 1"=5'



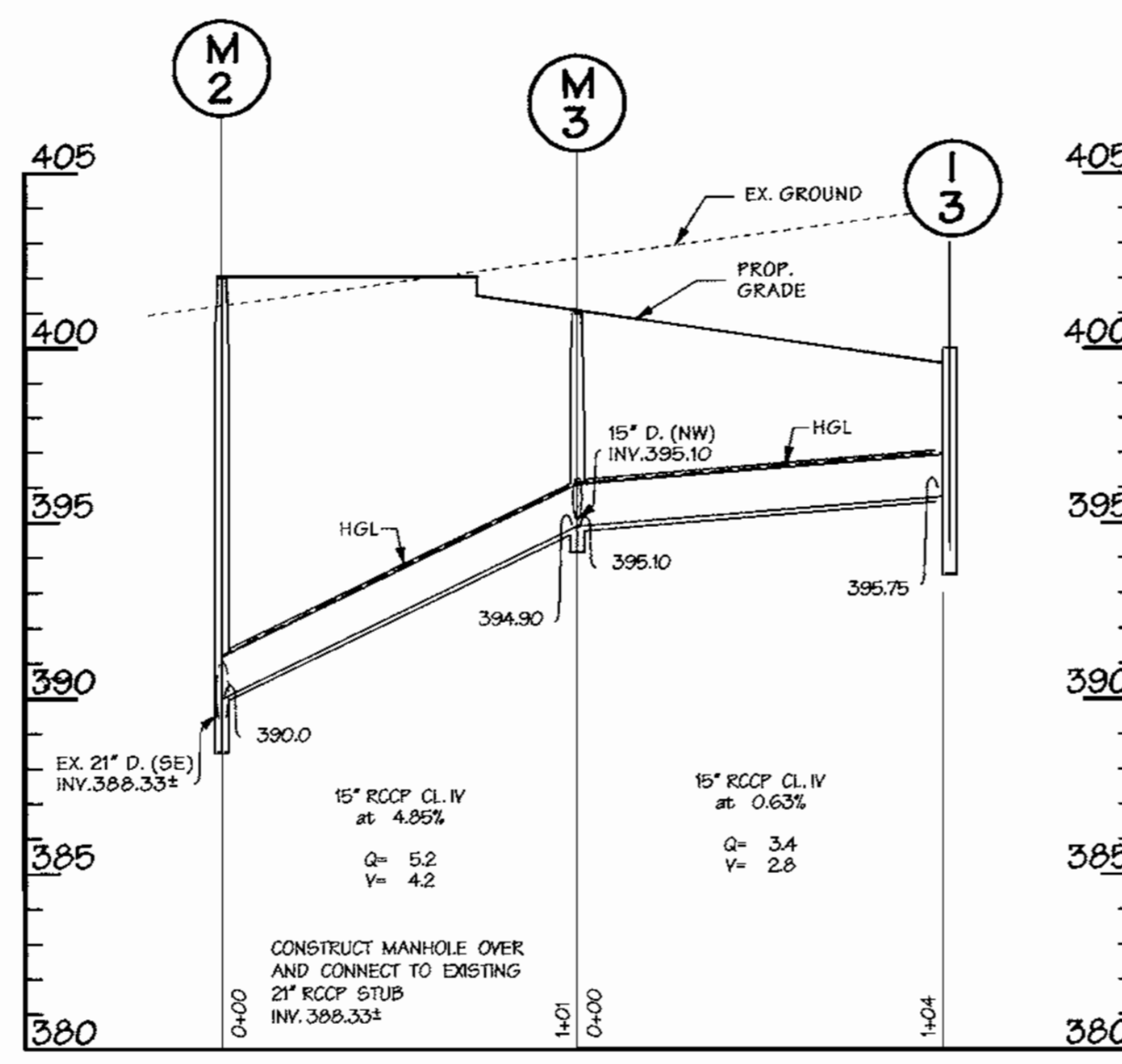
6" WATER EXTENSION (PRIVATE)

SCALE: HORIZ. 1"=50'  
VERT. 1"=5'



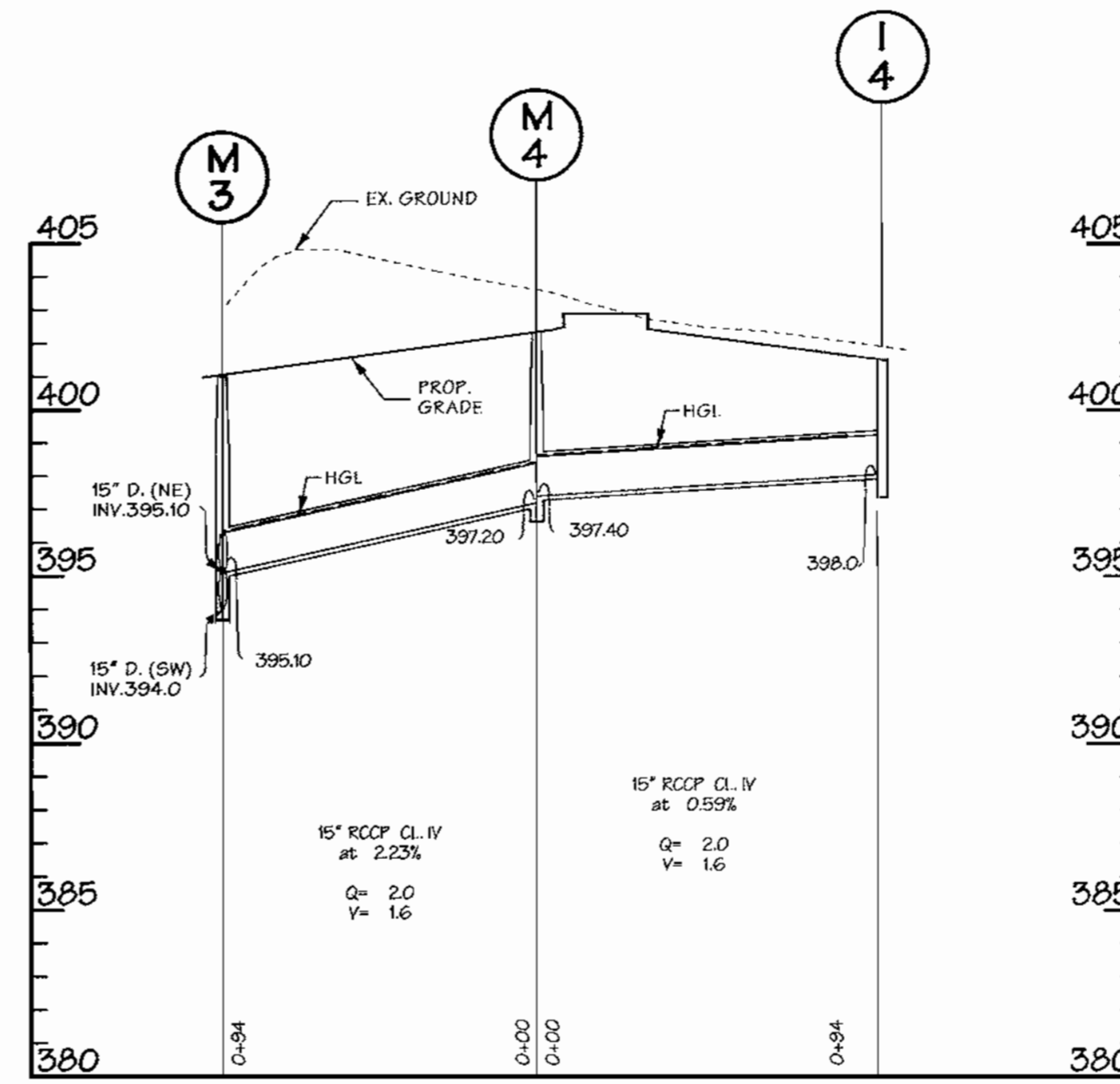
STORM DRAIN PROFILE

SCALE: HORIZ. 1"=50'  
VERT. 1"=5'



STORM DRAIN PROFILE

SCALE: HORIZ. 1"=50'  
VERT. 1"=5'



STORM DRAIN PROFILE

SCALE: HORIZ. 1"=50'  
VERT. 1"=5'

Topsoil Specifications

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

- This practice is limited to areas having 2:1 or flatter slopes where:
  - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
  - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
  - The original soil to be vegetated contains material toxic to plant growth.
  - The soil is so acidic that treatment with limestone is not feasible.

II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.

II. Topsoil Specifications - Soil to be used as topsoil must meet the following:

- Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slags, coarse fragments, gravel sticks, roots, trash, and other materials larger than 1 1/2 inch in diameter.
- Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutedge, poison ivy, thistle, or others as specified.
- Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

III. For sites having disturbed areas under 5 acres:

i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

III. For sites having disturbed areas over 5 acres:

i. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:

- pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
- Organic contents of topsoil shall be not less than 1.5 percent by weight.
- Topsoil having soluble salt content greater than 500 parts per million shall not be used.

or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

ii. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

V. Topsoil Application

i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Silt Fence and Sediment Traps and Basins.

ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.

iii. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.

iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

CONTRACTOR TO TEST PIT TO DETERMINE ACTUAL LOCATION AND ELEVATION OF EXISTING 6" CAP PRIOR TO LAYING PIPE.

Professional Engr. No. 10557

SDP-00-125

The State of Maryland Professional Engineer Seal

APPROVED PLANNING BOARD OF HOWARD COUNTY DATE JUNE 29, 2000

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Chief, Development Engineering Division: 8/17/00

Chief, Division of Land Development: 8/24/00

8/29/00

Commercial/Office Building at Route 108 Commercial Park - Parcel B-3

OWNER: The Howard Research and Development Corporation, 10275 Little Patuxent Parkway, Columbia, Maryland 21044

DEVELOPER: AAK SUNDEN, 8805 Columbia 100 Parkway, Suite 101, Columbia, Maryland 21045

DMW Daft - McCune - Walker, Inc. A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals. 200 East Pennsylvania Avenue, Towson, Maryland 21286. 410 296 3333 Fax 296 4705

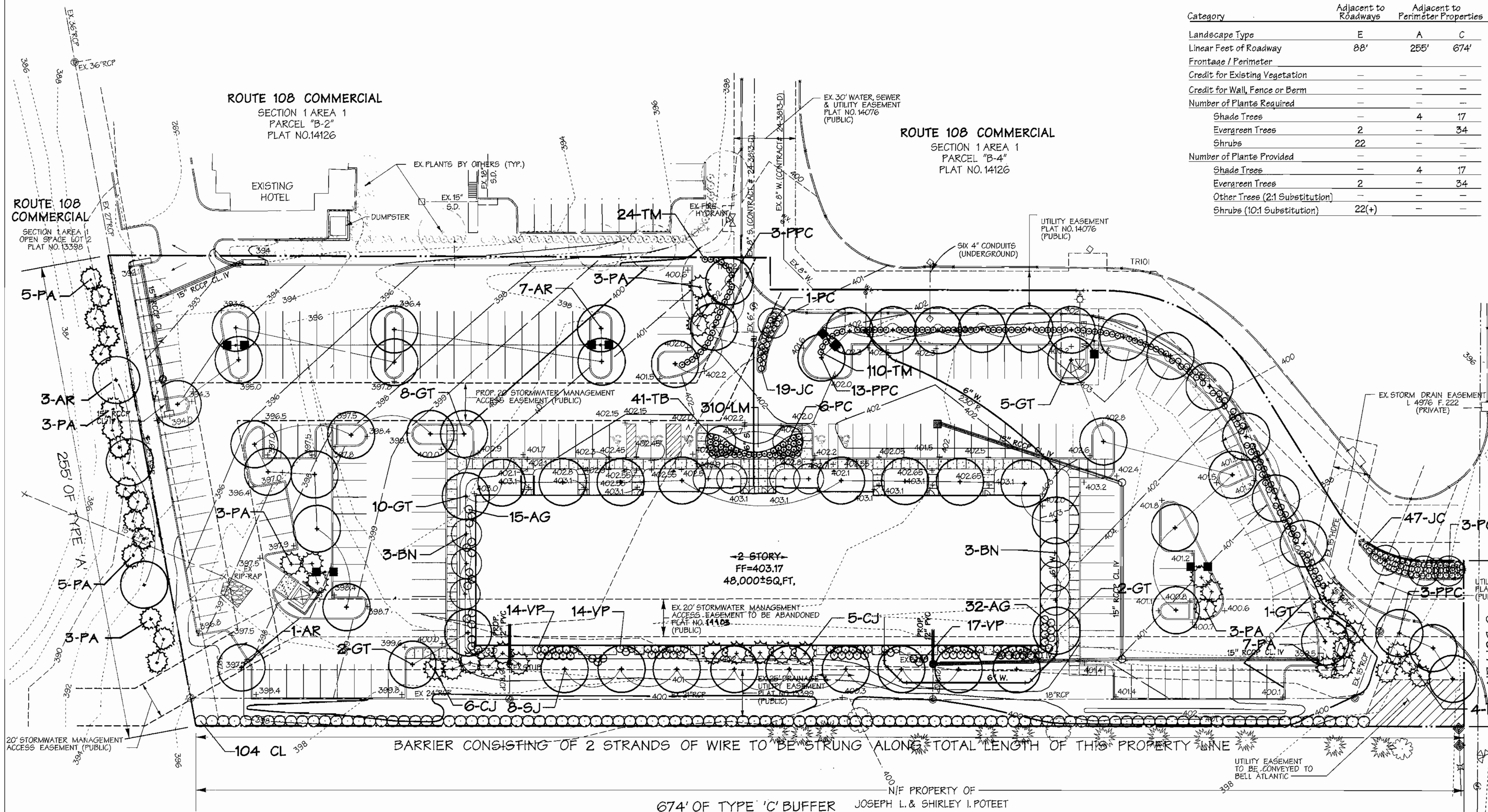
ROUTE 108 COMMERCIAL SECTION 1 AREA 1 LOT/PARCEL # PARCEL B-3

UTILITY PROFILES

Drn By: ADL Scale: 1"=30' Proj. No. 00013.A

Des By: BIS Date: 7-12-00

Chk By: Approved: 6 of 8



SCHEDULE A: PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways		Adjacent to Perimeter Properties	
	E	A	C	
Landscape Type				
Linear Feet of Roadway	88'	255'	674'	
Frontage / Perimeter				
Credit for Existing Vegetation	-	-	-	
Credit for Wall, Fence or Berm	-	-	-	
Number of Plants Required				
Shade Trees	-	4	17	
Evergreen Trees	2	-	34	
Shrubs	22	-	-	
Number of Plants Provided				
Shade Trees	-	4	17	
Evergreen Trees	2	-	34	
Other Trees (2:1 Substitution)	-	-	-	
Shrubs (10:1 Substitution)	22(+)	-	-	

SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	188
Number of trees required	9 (1/20 sp)
Number of trees provided	
Shade Trees	9
Other Trees (2:1 Substitution)	

General Planting Notes

- All plant material to meet A.A.N. Standards.
- Landscape Contractor to follow landscape specification guidelines for Baltimore Washington Metro area approved by LCAMW.
- No substitutions to be made without consent of Landscape Architect or Owner.
- All beds to be topped with three inches of hardwood mulch.
- Landscape Contractor to verify location of utilities with Owner before planting.
- Landscape Architect/Owner shall select, verify and/or approve all plant material. At Owner's discretion, specimen and other plant material will be selected.
- Landscape Contractor shall coordinate plant bed filling operations and plant material installation with General Contractor and Utilities Contractor. At the time of final inspection with acceptance, all electric, water, drainage, and fountain utilities, as well as all plant materials, shall remain undamaged. Likewise, Landscape Contractor and Utilities Contractor shall coordinate efforts to ensure that surface utilities are at the proper elevation relative to final grades.
- Contractor shall notify Miss Utility 72 hours prior to construction.
- The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Ho.Co. code per the new town alternative compliance method. Financial surety for the required landscaping in the amount of \$15,000.00 must be posted as part of the developer's agreement. (30 shade, 36 evergreen, 22 shrubs)
- Developer's/Builder's Certificate

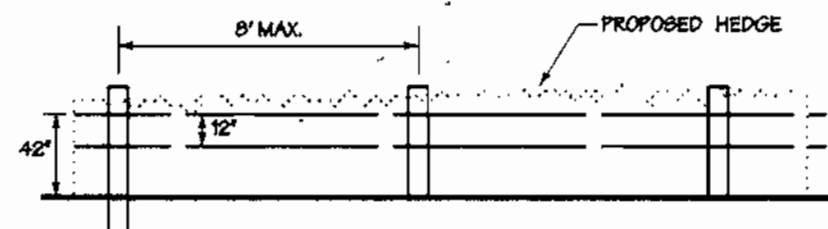
I/we certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County code and the Howard County Landscape Manual. I/we further certify that upon completion, a certification of landscape installation, accompanied by an executed one-year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

NAME John M. Oe DATE 2/13/00

**APPROVED**  
PLANNING BOARD  
of HOWARD COUNTY  
DATE JUNE 29, 2000

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
John M. Oe 8/17/00  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
Chris Hamella 7/29/00  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
James R. Smith 8/29/00  
 DIRECTOR

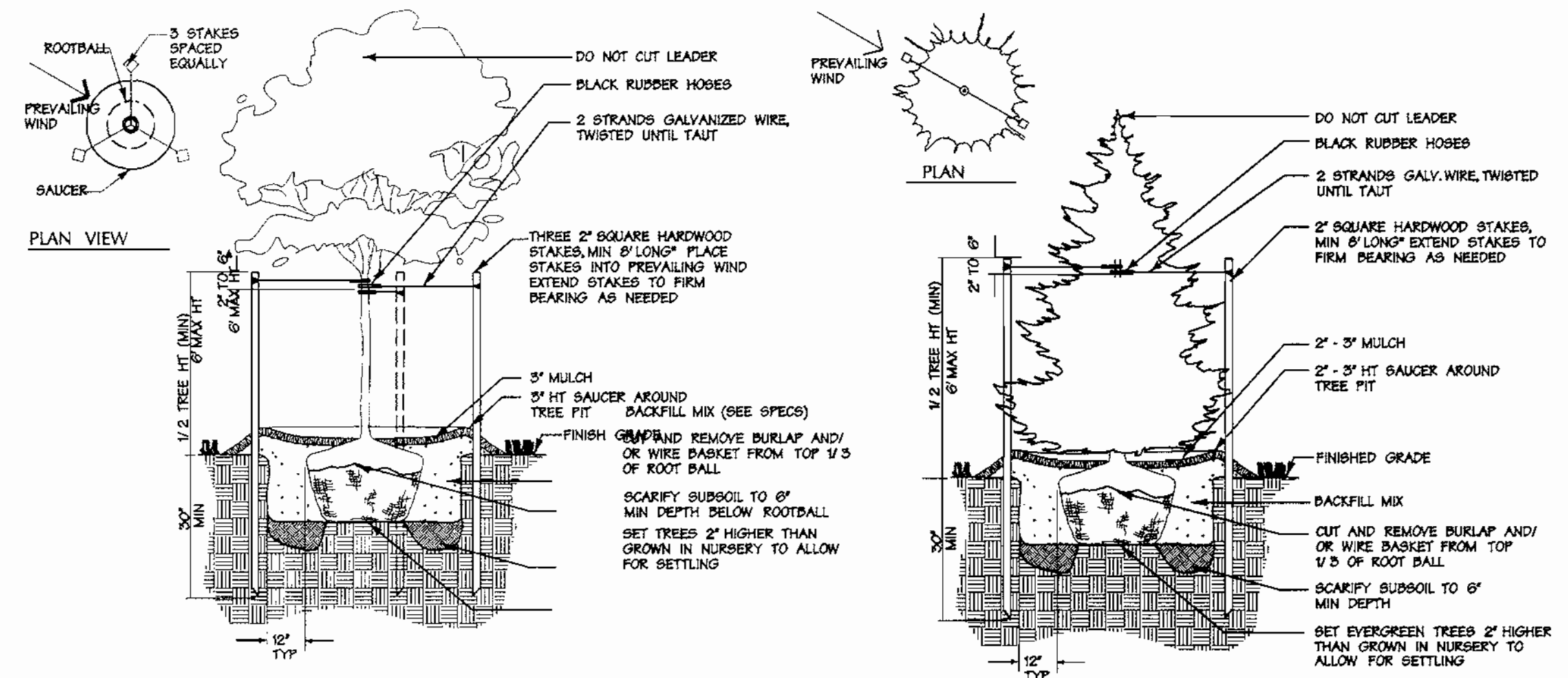
674' OF TYPE 'C' BUFFER  
 JOSEPH L. & SHIRLEY I. POTEET  
 L. 516 F. 196  
 FDP 64, SINGLE FAMILY LOW DENSITY  
 NEW TOWN ZONING



Barrier  
Not To Scale

PLANT LIST

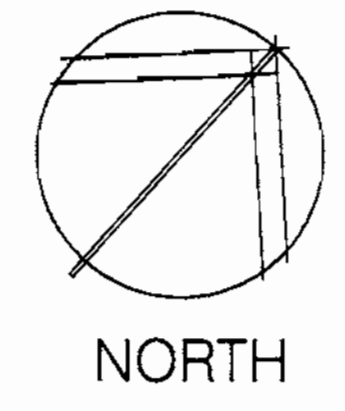
Key	Qty.	Botanical Name	Common Name	Size	Condition	Remarks
<b>Major Deciduous Trees:</b>						
AR	11	Acer rubrum 'October Glory'	Red Maple	3' - 3 1/2'-Cal.	B&B	Full
GT	28	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	3' - 3 1/2'-Cal.	B&B	Full
PCC	19	Pyrus calleryana 'Cleveland Select'	Cleveland Select Pear	3' - 3 1/2'-Cal.	B&B	Full
SJ	8	Sophora japonica 'Regent'	Regent Brand Scholartree	3' - 3 1/2'-Cal.	B&B	Full
<b>Minor Deciduous Trees:</b>						
BN	6	Betula nigra	River Birch	2'-2 1/2' Cal. 8'-10' Ht.	B&B	Multi-stem
PC	10	Prunus cerasifera 'Thundercloud'	Purple Leaf Plum	2'-2 1/2' Cal. 8'-10' Ht.	B&B	Full
<b>Evergreen:</b>						
CJ	11	Cryptomeria japonica 'Yoshino'	Yoshino Cryptomeria	7' - 9' Ht.	B&B	Full
FA	36	Picea abies	Norway Spruce	7' - 9' Ht.	B&B	Full
<b>Shrub:</b>						
AE	107	Abelia x Edward Goucher'	Edward Goucher Abelia	#3 Gal	Container	3' O.C.
AG	47	Abelia x grandiflora	Gloosey Abelia	#7 Gal	Container	3' O.C.
JC	66	Juniperus chinensis 'Sargentii'	Sargent Juniper	#3 Gal	Container	3' O.C.
CL	104	Cupressocyparis leylandii	Leyland Cypress	4' - 5' Ht.	B&B	6' O.C.
TB	41	Taxus baccata 'Repandens'	Spreading English Yew	#3 Gal	Container	3' O.C.
TM	134	Taxus media 'Hicksii'	Hickall Yew	#3 Gal	Container	3' O.C.
VP	45	Viburnum plicatum 'Shasta'	Doublefile Viburnum	3' - 4' Ht.	B&B	3' O.C.
<b>Perennials:</b>						
LM	310	Liriope muscari 'Big Blue'	Monroe White Liriope	#1 Gal		12' O.C.



Greater Than 3" Cal. Tree Planting  
Not To Scale

Evergreen Tree Planting  
Not To Scale

Shrub Bed Planting  
Not To Scale



8-1-00  
Date



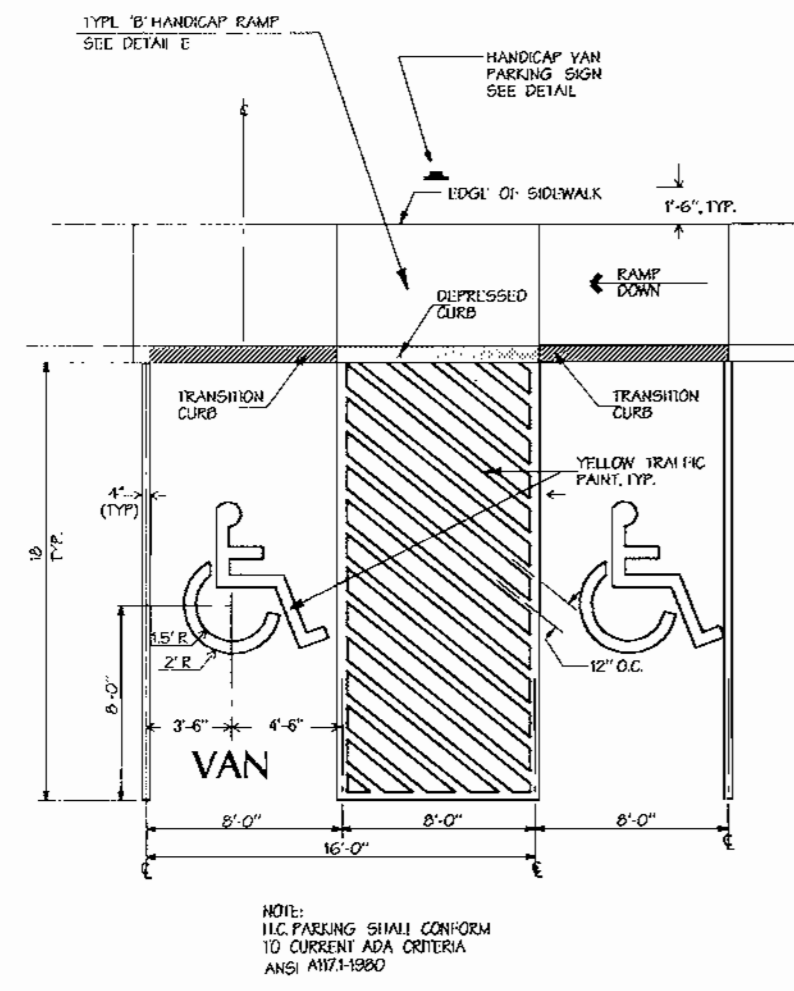
Date No. Revision Description  
**Commercial/Office Building**  
 at Route 108 Commercial Park-Parcel B-3

OWNER: The Howard Research and Development Corporation  
 DEVELOPER: AAK SHOWNEN  
 10275 Little Patuxent Parkway, Suite 101, Columbia, Maryland 21044

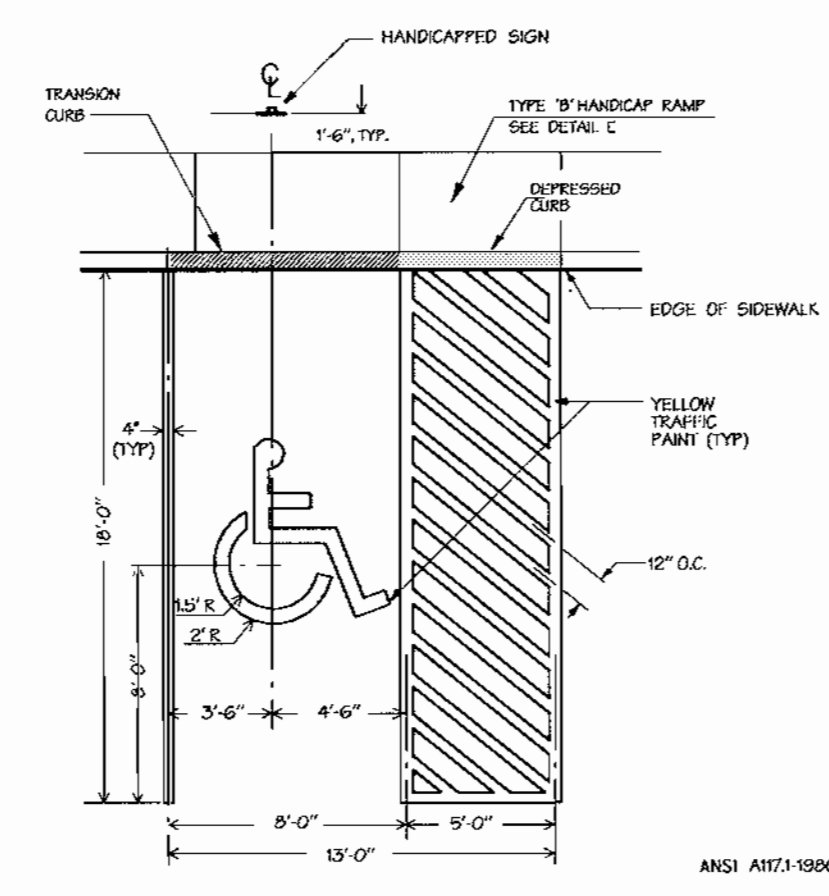
**DMW**  
 DaM - McCune - Walker, Inc.  
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals  
 200 East Pennsylvania Avenue, Towson, Maryland 21286  
 410 296 3333  
 Fax 296 4705

LANDSCAPE PLAN & DETAILS

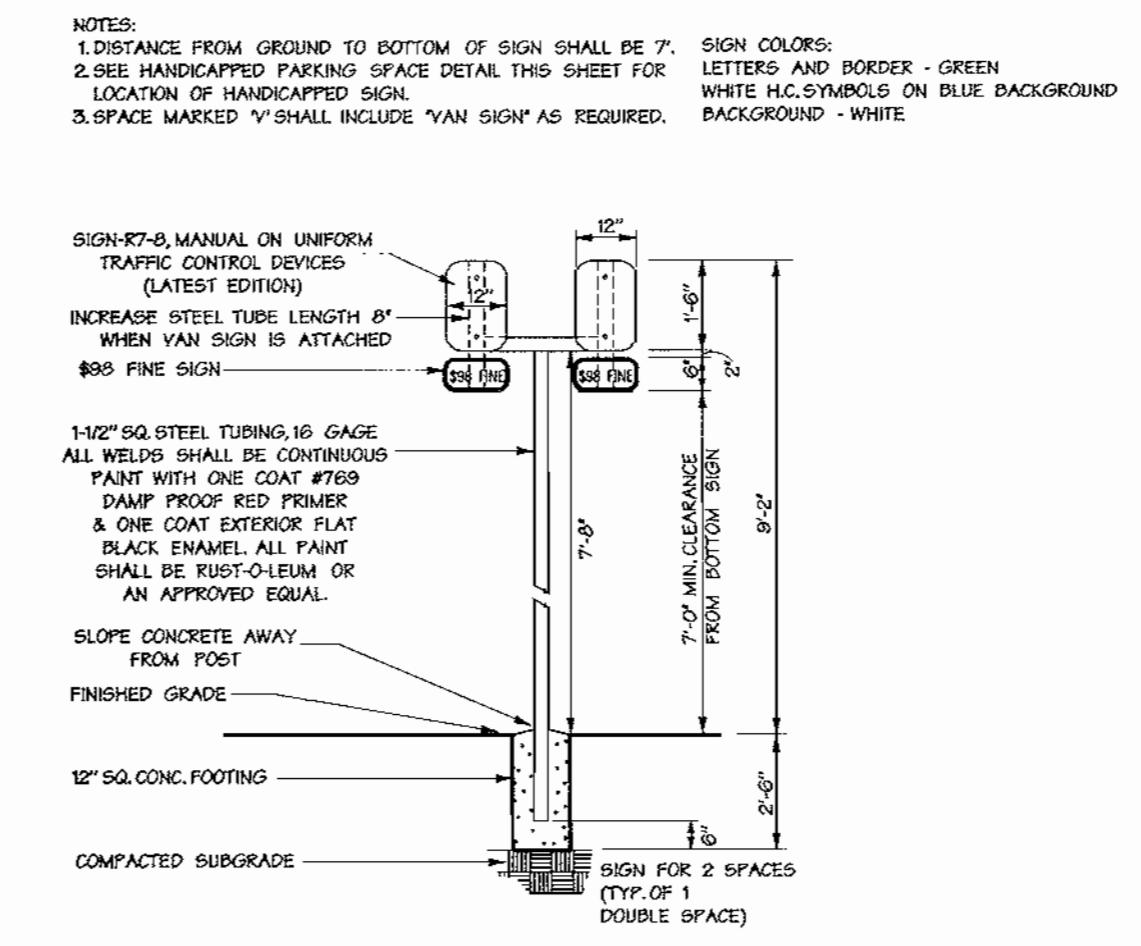
Drn By: FWK Scale: 1"=30'  
 Des By: MJF Date: 7-12-00  
 Chk By: Approved: Proj. No. 00013.A  
**7 of 8**



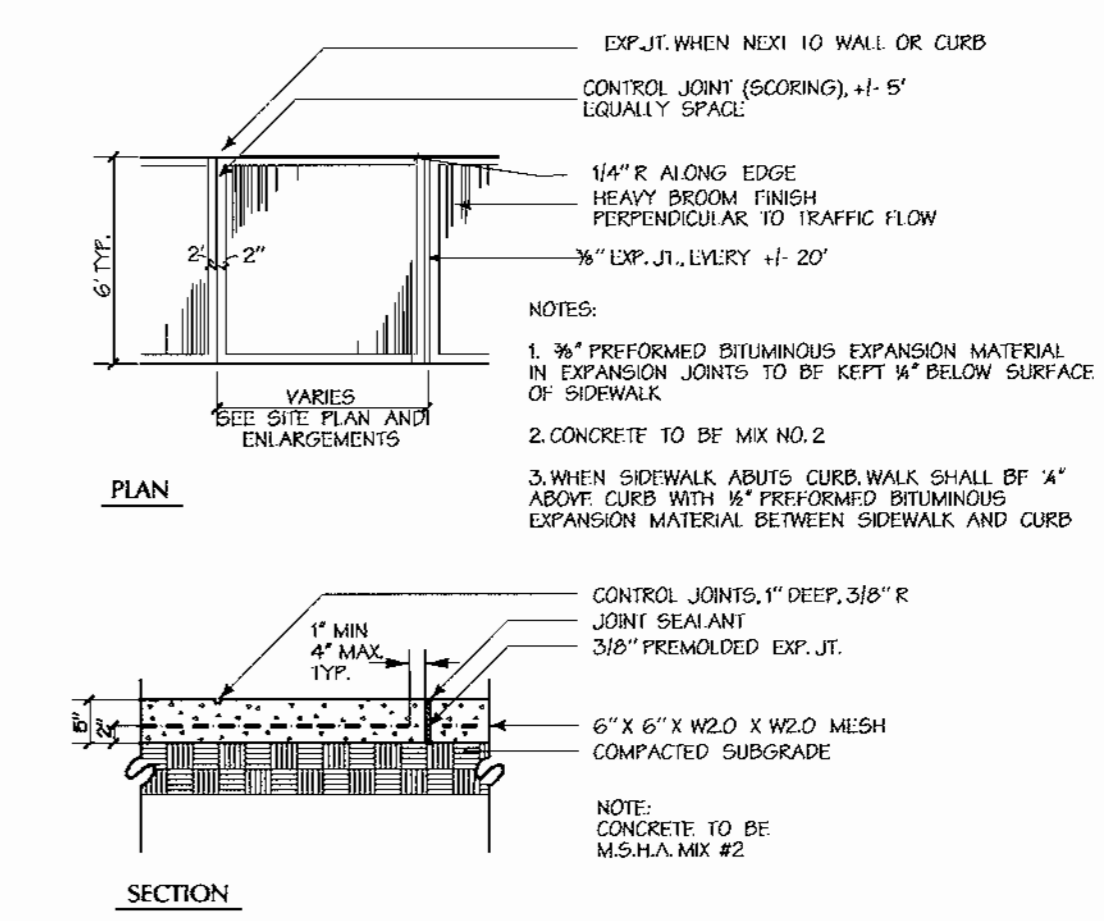
**A Handicap Parking: Van & Standard**  
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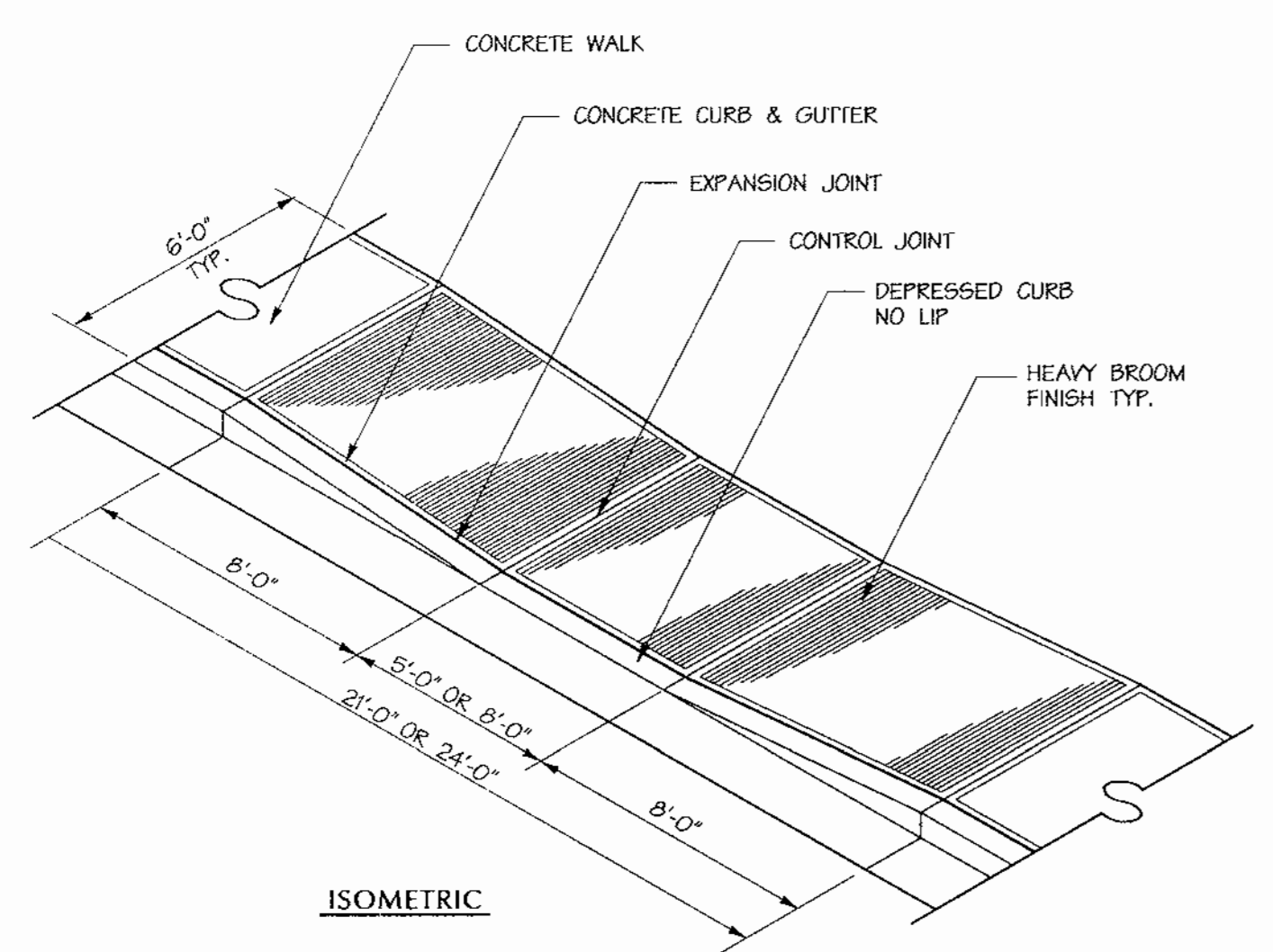
**B Handicap Parking Space**  
Not To Scale



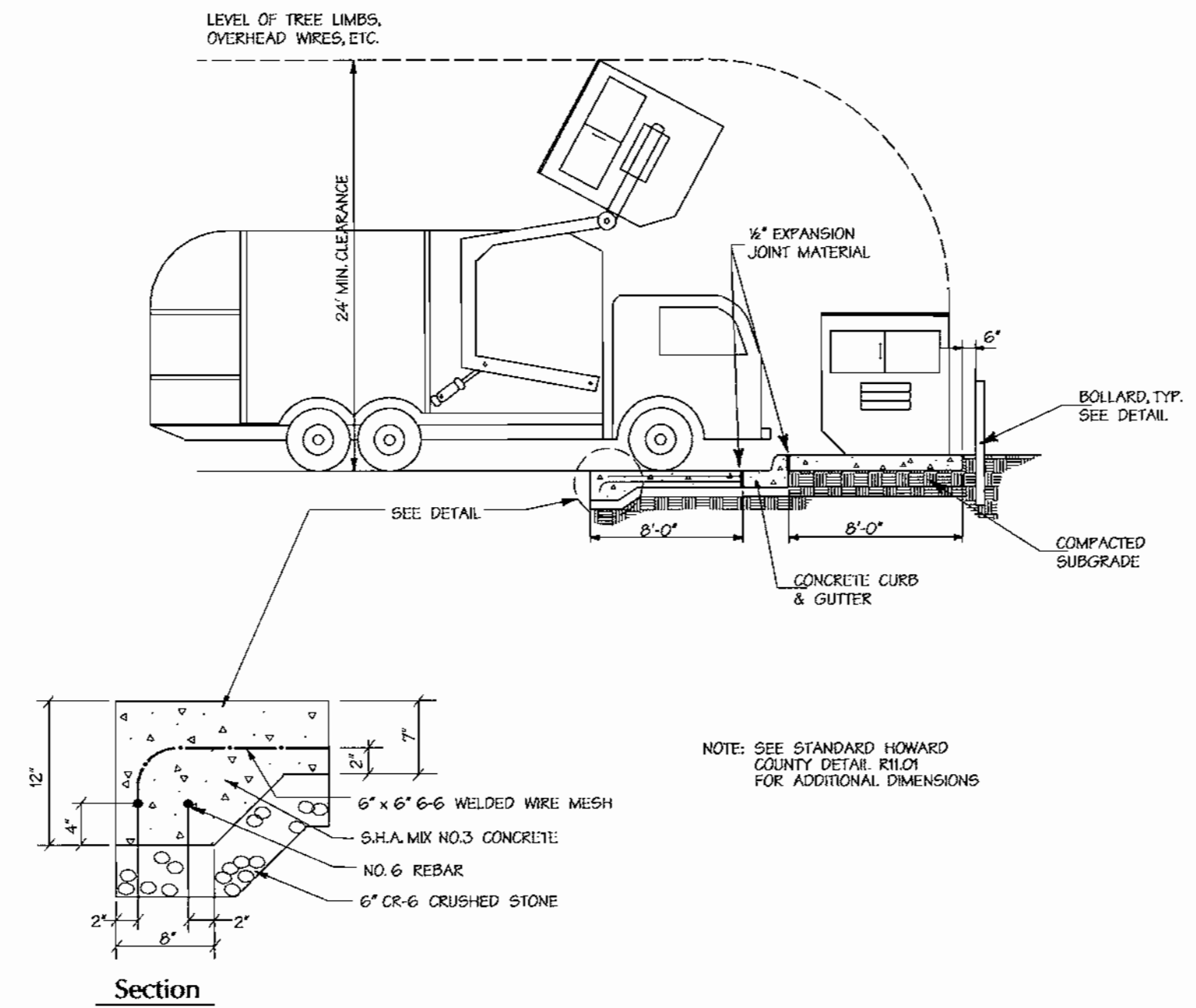
**C Handicap Parking Signs**  
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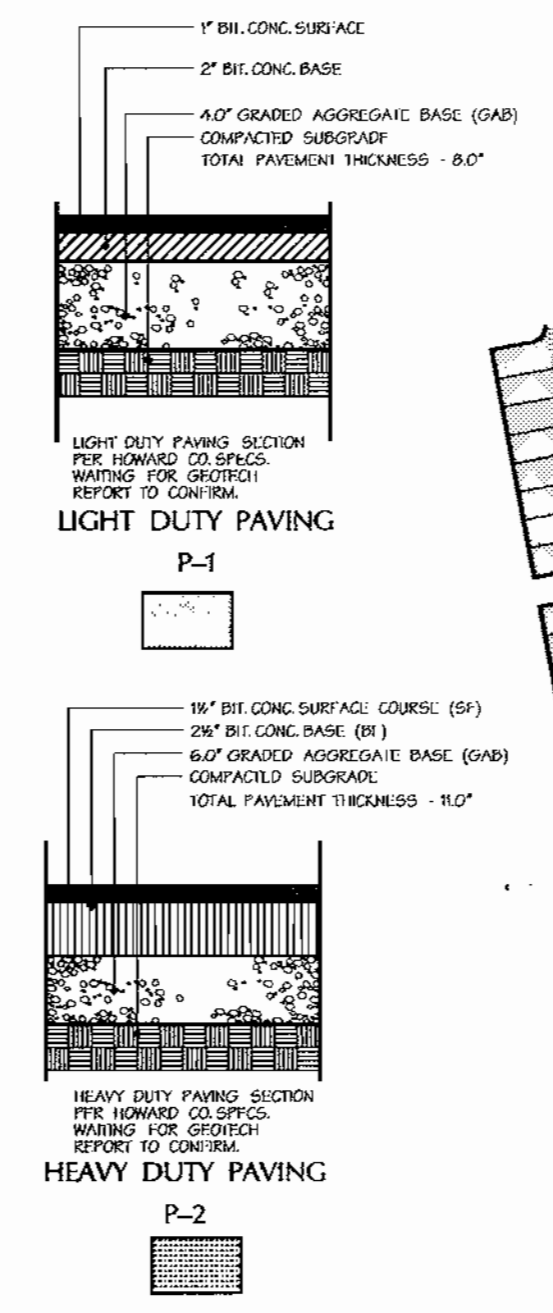
**D Concrete Walk**  
Not To Scale



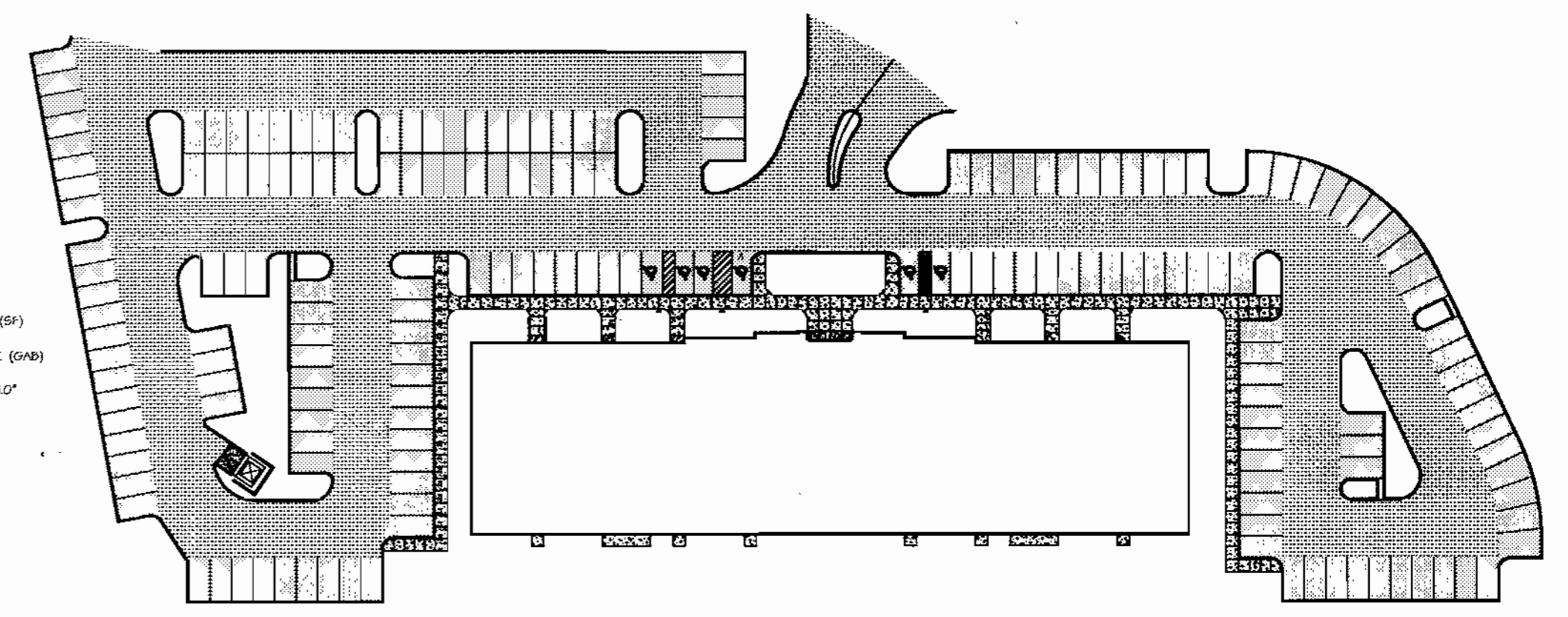
**E Type "B" Handicapped Ramp**  
Not To Scale



**F Service Pad & Dumpster Bin**  
Not To Scale



**G Paving Detail**  
Not To Scale



**APPROVED**  
PLANNING BOARD  
of HOWARD COUNTY  
DATE JUNE 29, 2000

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 Chief, Development Engineering Division: [Signature] 8/17/00  
 Chief, Division of Land Development: [Signature] 8/29/00  
 Director: [Signature] 8/30/00

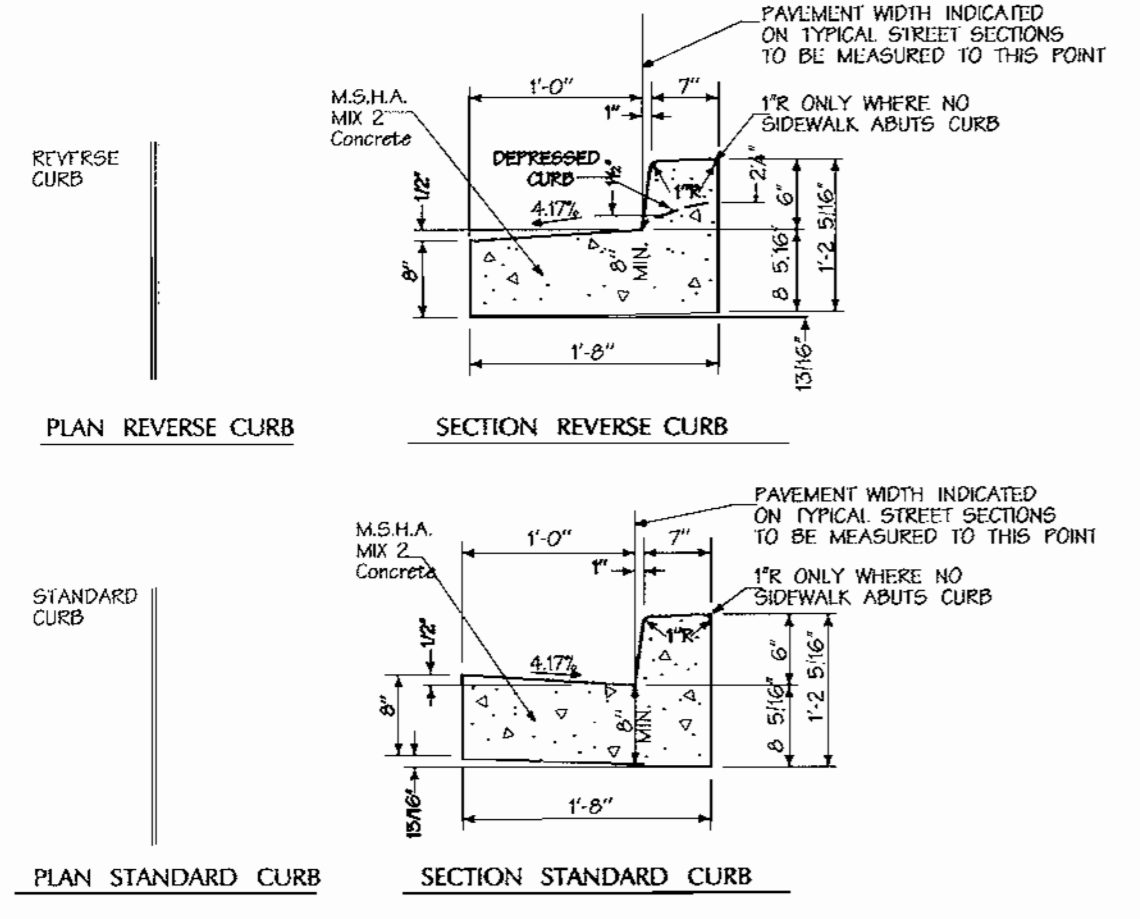
**Commercial / Office Building**  
at Route 108 Commercial Park-Parcel B-3  
 OWNER: The Howard Research and Development Corporation  
 DEVELOPER: AAK SNOWDEN  
 10275 Little Patuxent Parkway, Suite 101, Columbia, Maryland 21044  
 8805 Columbia 100 Parkway, Columbia, Maryland 21045

**DMW**  
Daft · McCune · Walker, Inc.  
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals  
 200 East Pennsylvania Avenue, Towson, Maryland 21286  
 410 296 3833, Fax 396 4705

Professional Engineer No. 651  
 Date: 8-1-00  
 [Professional Seal]

**SITE DETAILS**  
 Drn By: ADL Scale: 1"=30' Proj. No. 00013.A  
 Des By: BIS Date: 7-12-00  
 Chk By: Approved: 8 of 8

**H Concrete Curb, Typical**  
Not To Scale



**I Sharp Cutoff Area Light**  
Not To Scale

