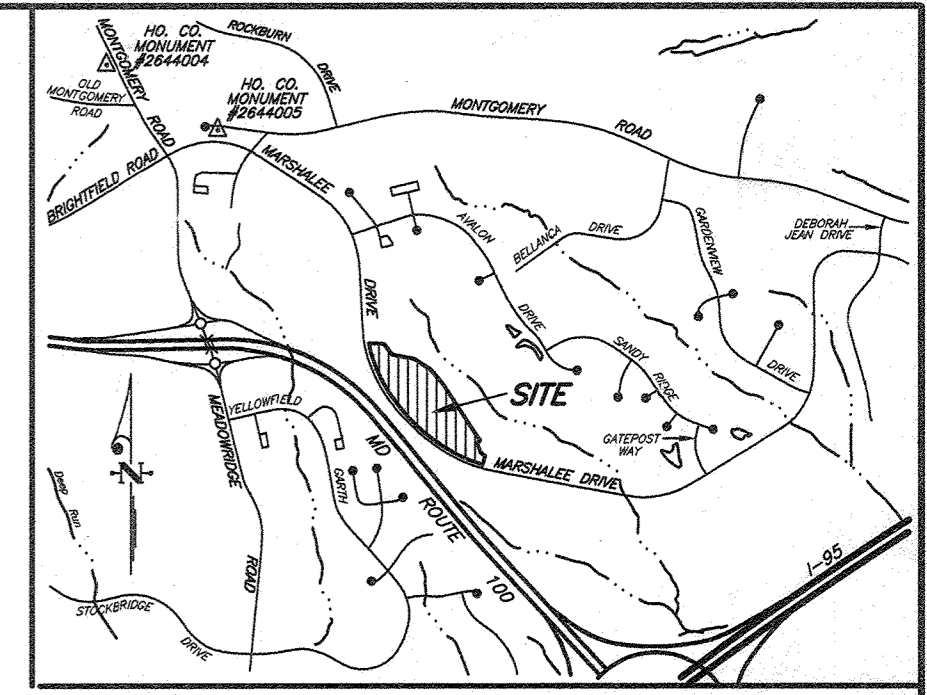


LYNDWOOD SQUARE PARCEL B-2 SITE DEVELOPMENT PLAN



VICINITY MAP
Scale: 1" = 2000'

WATER & SEWER NOTES

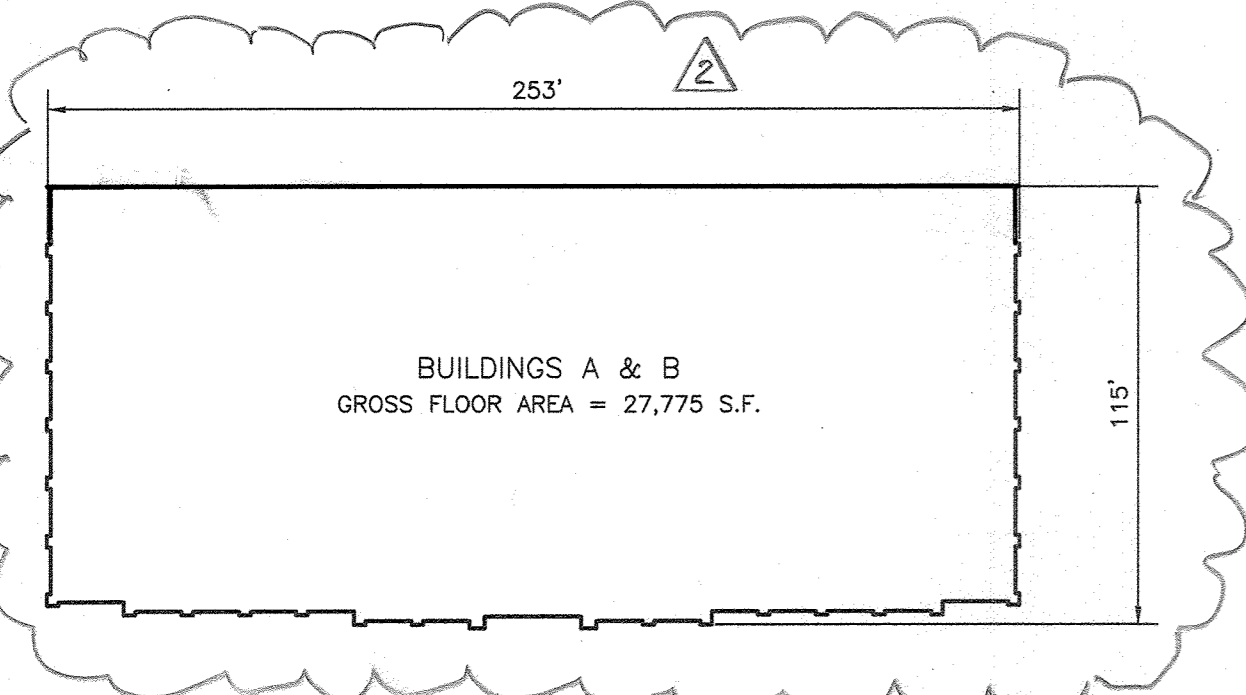
- All construction methods and materials for on-site water and sewer systems shall follow the current editions of the Howard County Plumbing Code, supplemented by the Howard County Standard Details and Specifications, where necessary.
- 4" and 6" sewer house connections shall be built to within 5' of the building at a slope of 2.00%.
- 6" and 8" P.V.C. Pipe shall meet the requirements of A.S.T.M. D.3034, wall thickness classification SDR-35.
- Water meters shall be located inside the building.
- Area where water house connections shall be built shall be at final grade, and the water house connections shall be laid with a minimum of 3.5' of cover. Water house connections to Buildings A & B shall be 4" Diameter, Ductile-Iron, Class 52. The Water house connection to Building C shall be 2" Diameter, Copper Type K.
- Water house connection shall be built to within 5' of the building.

BUILDING	SHC @ C.O.	MIN. CELLAR ELEV.
A	341.15	345.2
B	343.25	347.3

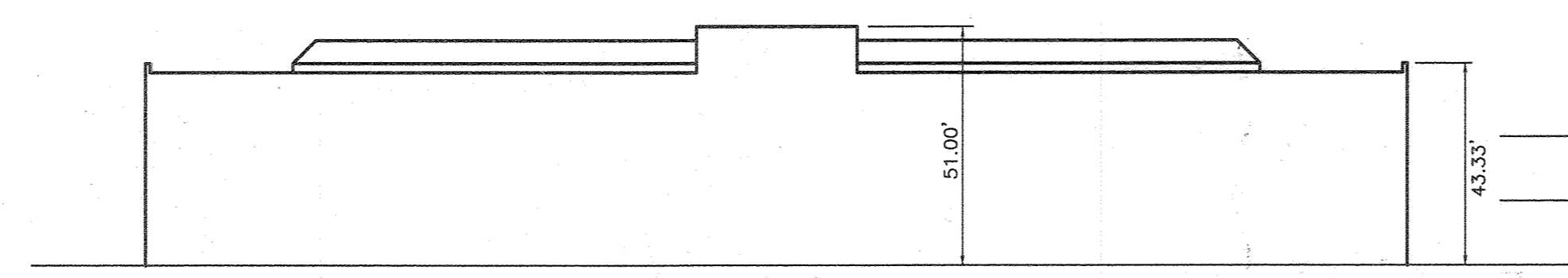
BUILDING	ADDRESS
A	6085 MARSHALEE DRIVE
B	6085 MARSHALEE DRIVE



LOCATION MAP
Scale: 1" = 600'



BUILDING FOOTPRINTS
NOT TO SCALE



FRONT ELEVATION - BUILDINGS A & B - THREE STORY
SETBACK CALCULATION 1.00' X 2 + 30' = 32.00' SETBACK FROM PUBLIC STREET RIGHT OF WAY

SCHEMATIC PROFILES
NOT TO SCALE

SHEET	DESCRIPTION
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	SITE DEVELOPMENT PLAN
4	SITE DEVELOPMENT PLAN
5	PAVING DETAILS
6	SIGNAGE, LIGHTING, AND LANDSCAPE DETAILS
7	STORM DRAIN PROFILES
8	PRIVATE WATER AND SEWER PROFILES
9	SEDIMENT AND EROSION CONTROL PLAN
10	SEDIMENT AND EROSION CONTROL PLAN
11	SEDIMENT AND EROSION CONTROL PLAN
12	SEDIMENT AND EROSION CONTROL DETAILS
13	LANDSCAPE PLAN AND DRAINAGE AREA MAP
14	LANDSCAPE PLAN AND DRAINAGE AREA MAP
15	LANDSCAPE PLAN AND DRAINAGE AREA MAP

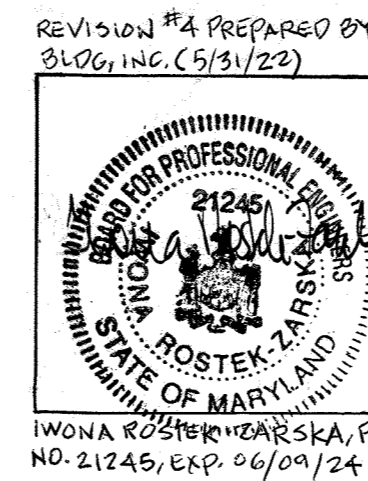
GENERAL NOTES:

- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA Standards and Specifications, if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Engineering, Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- Total Disturbed Area: 11.70 Acres
- Traffic control devices, markings, and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- Topographic survey on site was field-run at 2' contour intervals by Clark, Finefrock & Sackett, Inc., 12/99.
- Horizontal and vertical control based on Howard County Control Stations 2644004 and 2644005, NAD 27.
- Public water and sewer are proposed. Contract #14-3531-D(Sewer), Contract #14-3531-D(Water) Patapsco Drainage Area
- Stormwater Management for this project is being provided on site for quantity and quality. Quality control for this site is proposed by retention. Quantity control is by detention. The facility was constructed under Capital Project J-4136. The facility will be privately owned and maintained.
- Existing utilities and improvements shown are taken from available records.
- Trench compaction for storm drains within the road or street rights of way limits shall be in accordance with Howard County Design Manual, Vol IV, Std. No. G-2.01
- All compacted fill shall be in accordance with AASHTO T-180 requirements.
- Project is exempt from requirements for Forest Conservation Plans per Section 16.1202(b)(iii). Preliminary Plan P-93-11 approved prior to 12/31/92.
- No wetlands exist on site as determined by an investigation by Exploration Research Inc. and approved by the USACE in 1992.
- All fillet radii are 5' unless indicated otherwise.
- All soils are assumed to be type "C". The entire project area has been mass graded per plan SDP-98-08.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual. Financial surety for the required 99 trees in the amount of \$29,700.00 is part of the builder's grading permit application for Parcel B-2.
- The subject property is zoned PEC per ZB 877 R & M, May 1990.
- All exterior lighting shall comply with Zoning Regulations Section 13.4.
- Contractor shall maintain traffic on Marshalee Drive. See sheet 5.
- WP-00-101 Approved on August 3, 2000 to waive Section 16.119(f)(2), vehicular ingress and egress restricted to prevent commercial driveways from having direct access to arterial highways.

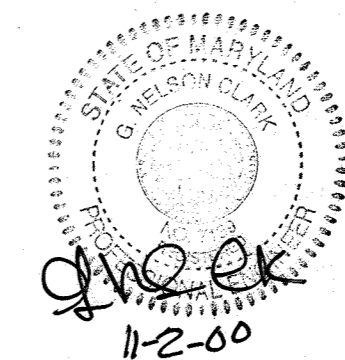
SITE ANALYSIS DATA CHART

- Total Project Area: 13.3754 acres or 582,632 square feet
 - Area of Plan Submission: 13.3754 acres
 - Limit of Disturbed Area: 11.10 acres
 - Present Zoning: PEC
 - Proposed Uses for Site and Structures: Office and Parking AND DAY CARE CENTER.
 - Gross Floor Area on each level of each Building: Buildings A & B: 28,375 94% OFFICE (160,057 SF) 6% DAY CARE CENTER (10,143 SF)
 - Total Gross Square Footage: 170,250 Square Feet
 - Maximum number of Employees = 550 OFFICE
 - Required Parking: 560 OFFICE (160,057 SF @ 0.33 SF/1000 SF) + DAY CARE CENTER (10,143 SF @ 3.0 SF/1000 SF)
 - Provided Parking: 196 spaces, including handicap spaces
 - Open Space for this project was provided as part of F-94-26 Green Space on site = 5.4394 ac. or 40.00%
 - Building Coverage of Site: 1.3028 acres, 9.74% of gross area
 - DPZ File References: P-93-11, F-94-26, SDP-98-08, F-96-115, F-01-046
- PHASE ONE - BUILDING A 85,125 S.F. GROSS FLOOR AREA (74,932 SF) 94% OFFICE (160,057 SF) 6% DAY CARE CENTER (10,143 SF) 44% PARKING SPACES INCLUDING 12 HANDICAP
- PHASE TWO - BUILDING B 85,125 S.F. GROSS FLOOR AREA 100% OFFICE 269 PARKING SPACES INCLUDING 8 HANDICAP
- TOTAL (Both Phases) 170,250 SQUARE FEET
TOTAL (Both Phases) 766 PARKING SPACES INCLUDING 190 COMPACT SPACES

LIMIT OF DISTURBANCE NOTE:
LIMIT OF DISTURBANCE FOR REVISION #A = 1,350 S.F.
WHEN CUMULATIVE LIMIT OF DISTURBANCE EXCEEDS 5,000 SF, STORMWATER MANAGEMENT WILL BE REQUIRED.



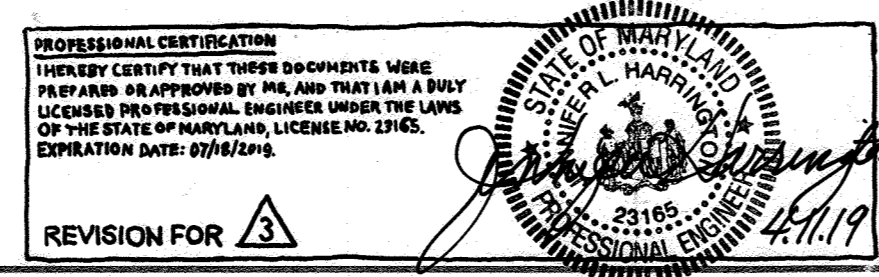
PROFESSIONAL CERTIFICATION
HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, IWONA ROSTEK-ZARSKA AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2024.



OWNER
100 INVESTMENT LIMITED PARTNERSHIP
9030 RED BRANCH ROAD, SUITE 200
COLUMBIA, MARYLAND 21045
PHONE: 410-997-7222

APPROVED: DEPARTMENT OF PLANNING & ZONING
[Signature] 11/15/00
[Signature] 11/21/00
[Signature] 11/29/00

ENGINEER/SURVEYOR
CLARK, FINEFROCK & SACKETT, INC.
7135 MINSTREL WAY, SUITE 201
COLUMBIA, MARYLAND 21045
PHONE: 410-381-7500



NO.	REVISION	DATE
4	REVISED "SITE ANALYSIS DATA CHART", ADDED OUTSIDE PLAY AREA AND DROP-OFF AREA.	5/15/22
3	REVISED PARKING DATA.	2-28-19
2	Revised Site Analysis chart & Bldg. S.F.	2-27-01
1	Revised parking data, building area, deleted building C	12-18-00
NR	REVISION	GATE

SUBDIVISION NAME		SECTION/AREA	LOTS/PARCELS		
LYNDWOOD SQUARE			PARCEL B-2		
PLAT NO.	GRID NO.	ZONING	TAX MAP NO.	ELECTION DIST.	CENSUS TRACT
14469	11	PEC	37	1ST	601.02
WATER CODE		SEWER CODE			
004		2153000			
CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.					
DESIGNED	COVER SHEET				SCALE
TD	LYNDWOOD SQUARE				AS SHOWN
DRAWN	PARCEL B-2				DRAWING
TD/LAI	COMMERCIAL OFFICE BUILDINGS				1 of 15
CHECKED	PLAT #12333 TAX MAP 37 GRID 11				JOB NO.
TD	FIRST (1st) ELECTION DISTRICT				99-186
				HOWARD COUNTY, MARYLAND	FILE NO.
DATE	FOR: TRAMMELL CROWNE, INC.				99-186 X
11/1/00	7315 HISCANSIN AVENUE, SUITE 300H BETHESDA, MARYLAND 20814				

PARCEL G-1
 WINDERS AT TROY PUBLIC GOLF COURSE
 HOWARD COUNTY, MARYLAND
 SDP-93-75 F-94-26
 ZONED PEG
 PLAT #12300

MARSHALEE
 (MINOR ARTERIAL)

DRIVE

WINDERCARE LEARNING CENTER
 EX. WATER AND UTILITY EASEMENT
 EX. SEWER AND UTILITY EASEMENT

SEE SHEET 3 FOR TRASH PAD/ ENCLOSURE DETAIL

TRASH CORRAL FORTE

MATCH LINE SEE SHEET 3

LEGEND

- +43.5 SPOT ELEVATION
- DRAINAGE FLOW DIRECTION
- - - 350 - - - EXISTING CONTOUR
- 350 — PROPOSED CONTOUR
- STORM DRAINAGE MANHOLE
- SANITARY SEWER MANHOLE
- 400W QV, 30'
- 400W VFT, 30'
- 250 WATT HPS PENDANT, 30" BRONZE FIBERGLASS 12' ARM
- SIGN
- GUARDRAIL W BEAM
- HANDICAP RAMP LEADING TO DEPRESSED CURB
- HCME MAIN ENTRANCE TO BE USED BY HANDICAPPED PERSONS
- HANDRAIL
- P-2 PAVING

STRIPING REMOVAL LEGEND

- PROPOSED ROAD STRIPING
- - - PROPOSED ROAD DASHED STRIPING
- SOLID YELLOW REMOVAL
- 35+20 6' RIGHT TO 38+00 6' RIGHT
- 37+40 6' LEFT TO 38+00 6' LEFT
- 41+65 6' RIGHT TO 44+70 6' RIGHT
- 43+90 6' LEFT TO 44+70 6' LEFT
- SOLID WHITE REMOVAL
- 32+00 18' LEFT TO 54+93.12 18' LEFT
- * IF NOT REMOVED AS PART OF SHOULDER RECONSTRUCTION, MODIFY TO MATCH PLAN

WATER AND SEWER STAKEOUT CHART				
SHEET NO.	BASELINE	BL STA.	OFFSET	DESCRIPTION
2 OF 15	'C'	0+44	60' RT.	0+21 CONNECT TO AND MAINTAIN ALIGNMENT AND GRADE OF 8" SEWER
3 OF 15	'C'	2+05	51' LT.	MANHOLE NO. 2
3 OF 15	'A'	6+18	48' RT.	MANHOLE NO. 3
3 OF 15	'B'	3+83	5' LT.	0+00 CONNECT TO PROP. 4" WATER
3 OF 15	'B'	3+83	16' RT.	0+00 CONNECT TO PROP. 4" WATER
3 OF 15	'A'	10+17	48' RT.	MANHOLE NO. 4

APPROVED: DEPARTMENT OF PLANNING & ZONING

William D. ...
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE 11/15/00

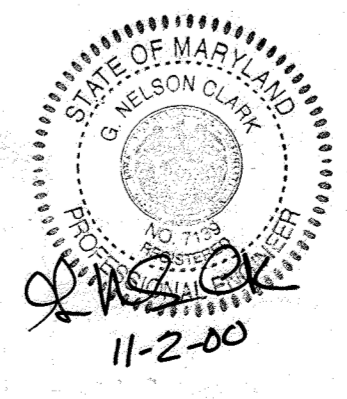
Cindy Hamilton
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE R 11/21/00

Joseph ...
 DIRECTOR
 DATE 11/29/00

REVISION 4 PREPARED BY: BLOG, INC. (5/31/22)

PROFESSIONAL ENGINEER
 STATE OF MARYLAND
 WYONA ROSTEK-ZARSKA, P.E.
 NO. 21249, EXP. 06/01/24

NO.	REVISION	DATE
1	REVISED "SITE ANALYSIS" DATA CHART MOVED OUTSIDE PLAY AREA AND DROP-OFF AREA.	5/31/22
2	Removed Guardrail	2-27-01
3	Added compact spaces, deleted San. MHS data	12-18-00
4	REVISION	DATE



CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED TD	SITE DEVELOPMENT PLAN LYNDWOOD SQUARE PARCEL B-2 COMMERCIAL OFFICE BUILDINGS PLAT #12333 TAX MAP 37 GRID 11 FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN TD/LAI		DRAWING 2 OF 15
CHECKED TD		JOB NO. 99-106
DATE 11/2/00		FILE NO. 99-106

FOR: TRAMMELL CROWN, INC.
 7515 WISCONSIN AVENUE, SUITE 300W
 BETHESDA, MARYLAND 20814

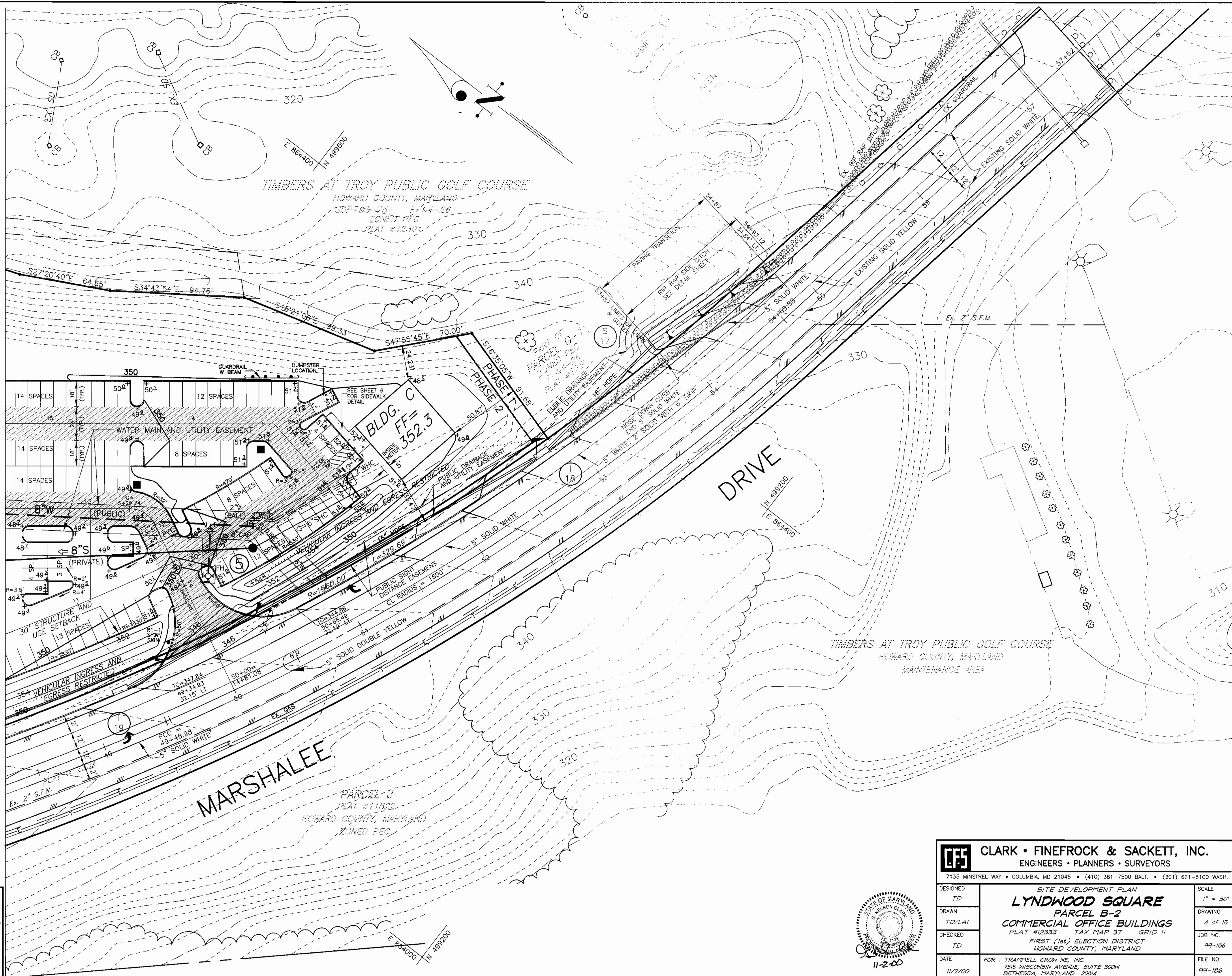
LEGEND

- 4.4' SPOT ELEVATION
- DRAINAGE - 1" DIA. - 10' DEPTH
- 350 EXISTING CURB
- 350 PROPOSED CURB
- STORM DRAINAGE MANHOLE
- SANITARY SEWER MANHOLE
- 400A C.V. 5'
- 400A 4" T. 5'
- 250 WAT. MAIN 12" DIA. 30' BRONZE BERG ASS. 12' ARM
- SIGN
- GUARDRAIL W/ BEAM
- HAND CAP - RAMP LEADING TO DEPRESSURE CURB
- H.C.M.E. MAIN ENTRANCE TO BE USED BY HANDICAPPED PERSONS
- HANDRAIL
- P-2 PAVING

STRIPING REMOVAL LEGEND

- PROPOSED ROAD STRIPING
- PROPOSED ROAD DASHED STRIPING
- SOLID YELLOW REMOVAL
- 35+20 6" RIGHT TO 36+00 6" RIGHT
- 37+40 6" RIGHT TO 38+00 6" RIGHT
- 41+65 6" RIGHT TO 44+70 6" RIGHT
- 43+90 6" RIGHT TO 44+70 6" RIGHT
- 47+65 6" RIGHT TO 50+45 6" RIGHT
- 49+95 6" RIGHT TO 50+45 6" RIGHT
- SOLID WHITE REMOVAL
- 32+00 18" LEFT TO 54+92 18" LEFT
- * IF NOT REMOVED AS PART OF RECONSTRUCTION, VOID TO MATCH PLAN

MATCH LINE SHEET 3



APPROVED: DEPARTMENT OF PLANNING & ZONING

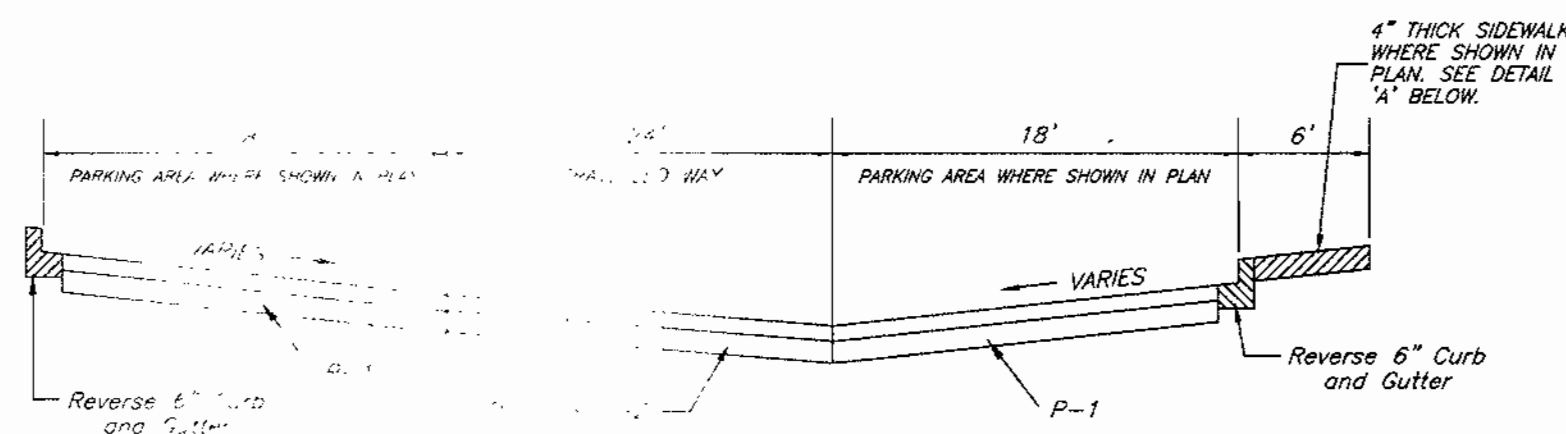
William Dammann 11/15/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE

Cindy Hanover 11/21/00
 CHIEF, DIVISION OF SITE DEVELOPMENT
 DATE

James Sackett 11/29/00
 DIRECTOR
 DATE

CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.		
DESIGNED TD	SITE DEVELOPMENT PLAN LYNDWOOD SQUARE PARCEL B-2 COMMERCIAL OFFICE BUILDINGS PLAT #12333 TAX MAP 37 GRID 11 FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN TD/LAI		DRAWING 4 of 15
CHECKED TD		JOB NO. 99-186
DATE 11/2/00	FOR: TRAMMELL CROWNE, INC. 7315 WISCONSIN AVENUE, SUITE 300A BETHESDA, MARYLAND 20814	FILE NO. 99-186





TYPICAL PAVING SECTION PRIVATE PARKING AREAS

ALTERNATE PAVING SECTION FOR PARKING AREAS

NO SCALE
(SECTION P-1, Modified)

ALTERNATE PAVING SECTION FOR TRAVELWAYS

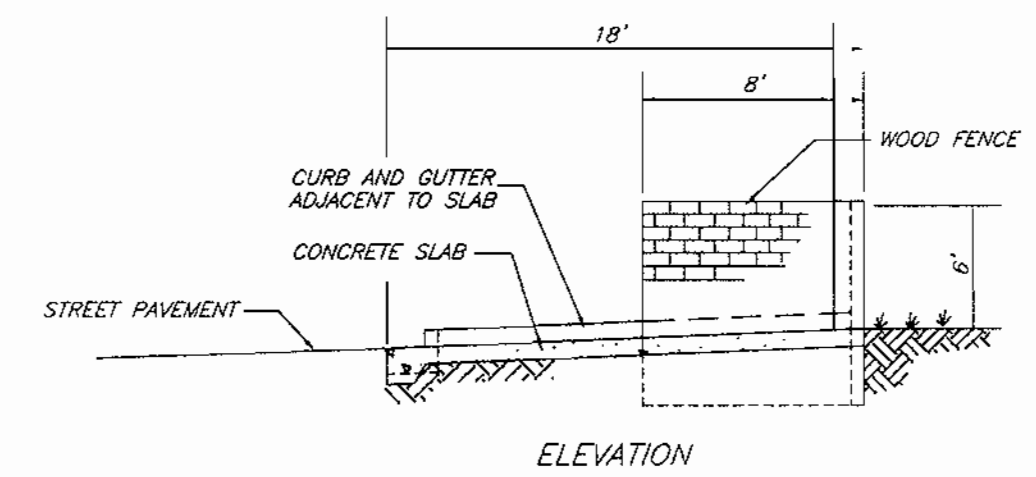
NO SCALE
(SECTION P-2, Modified)

STANDARD 6" COMBINATION CURB AND GUTTER

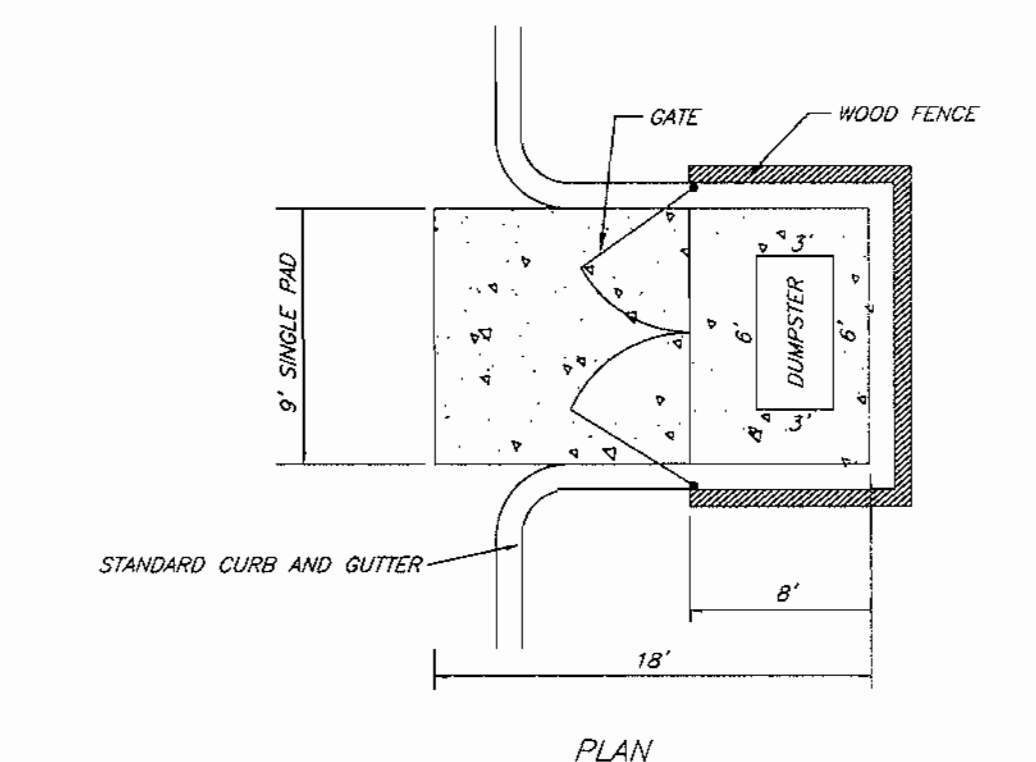
NO SCALE

REVERSE 6" COMBINATION CURB AND GUTTER

NO SCALE



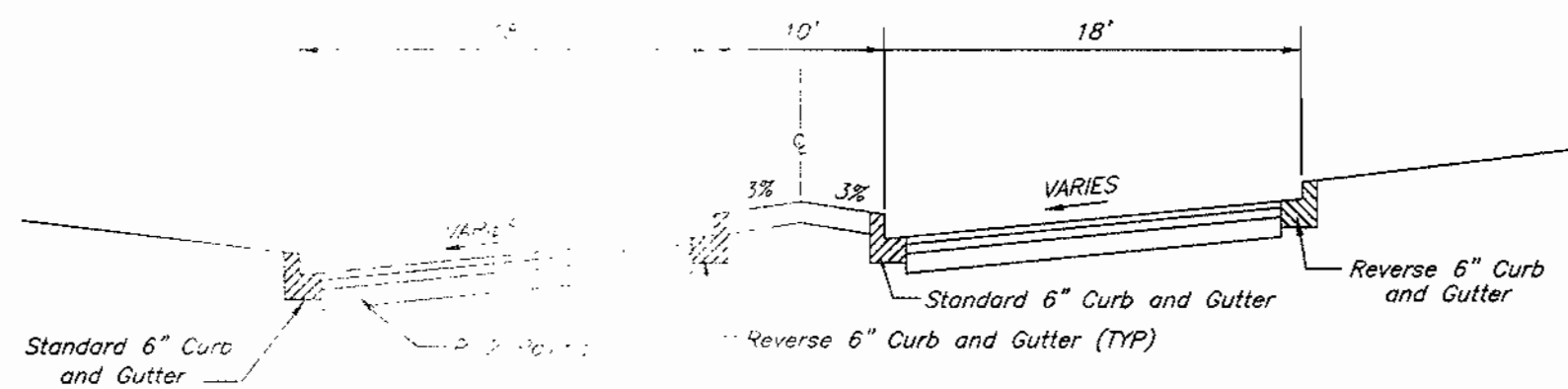
ELEVATION



PLAN

DUMPSTER PAD & ENCLOSURE

NO SCALE



TYPICAL PAVING SECTION MAIN ENTRANCE

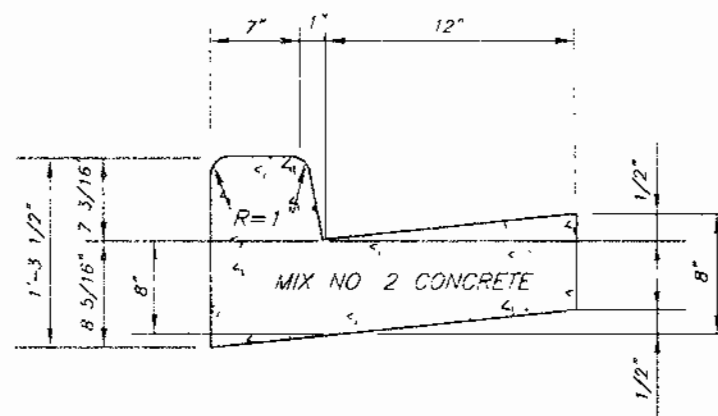
NO SCALE

ALTERNATE PAVING SECTION FOR PARKING AREAS

NO SCALE
(SECTION P-1, Modified)

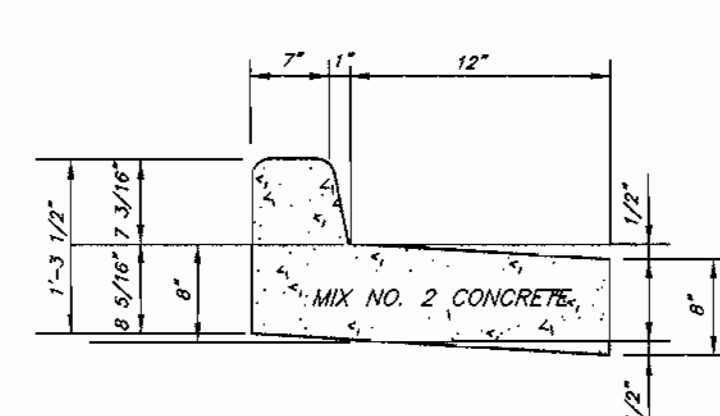
ALTERNATE PAVING SECTION FOR TRAVELWAYS

NO SCALE
(SECTION P-2, Modified)



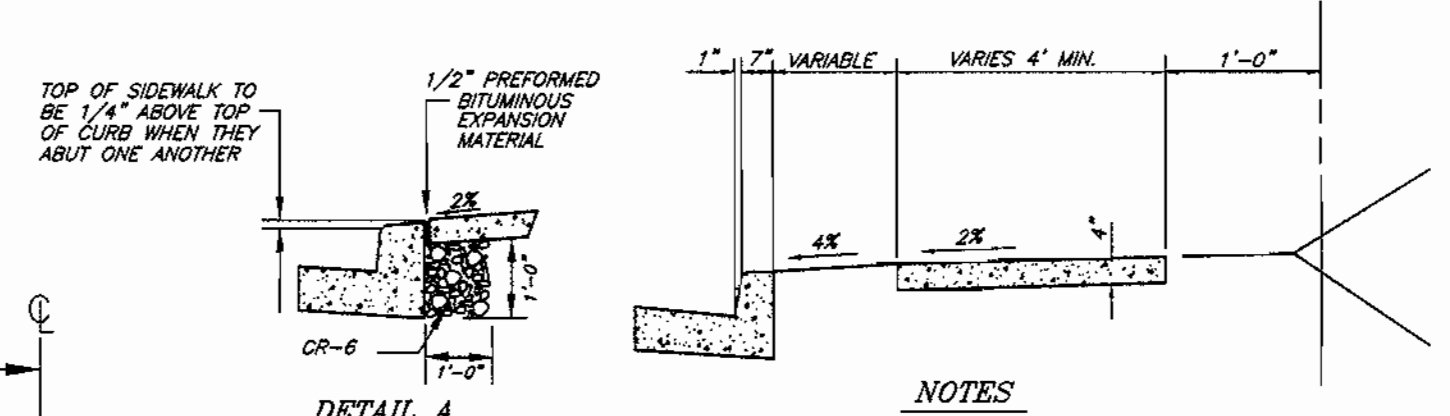
STANDARD 7" COMBINATION CURB AND GUTTER

NO SCALE



REVERSE 7" COMBINATION CURB AND GUTTER

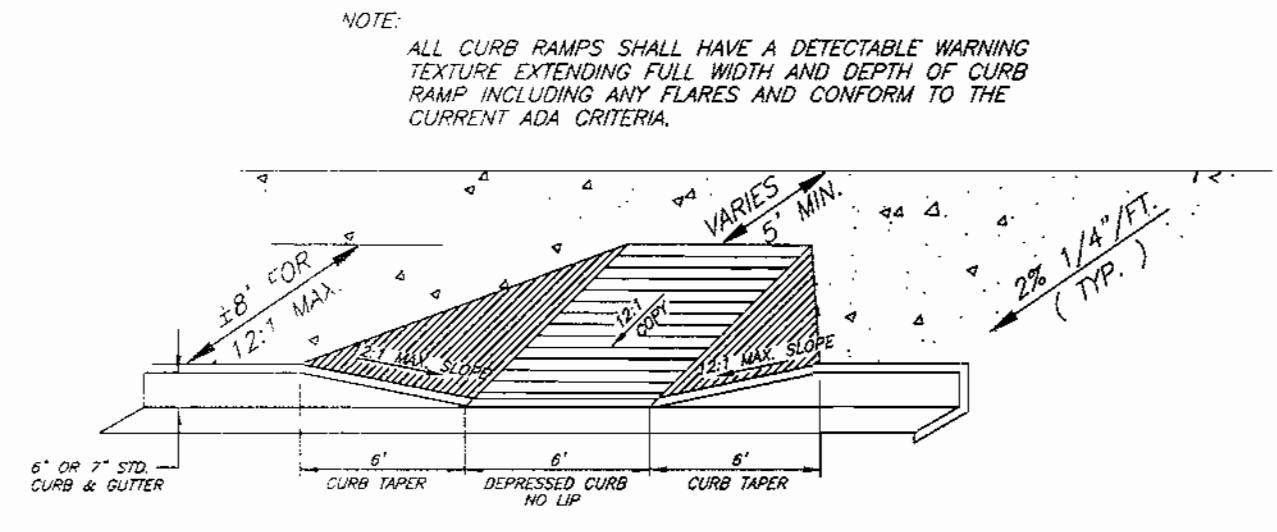
NO SCALE



CONCRETE SIDEWALK DETAIL

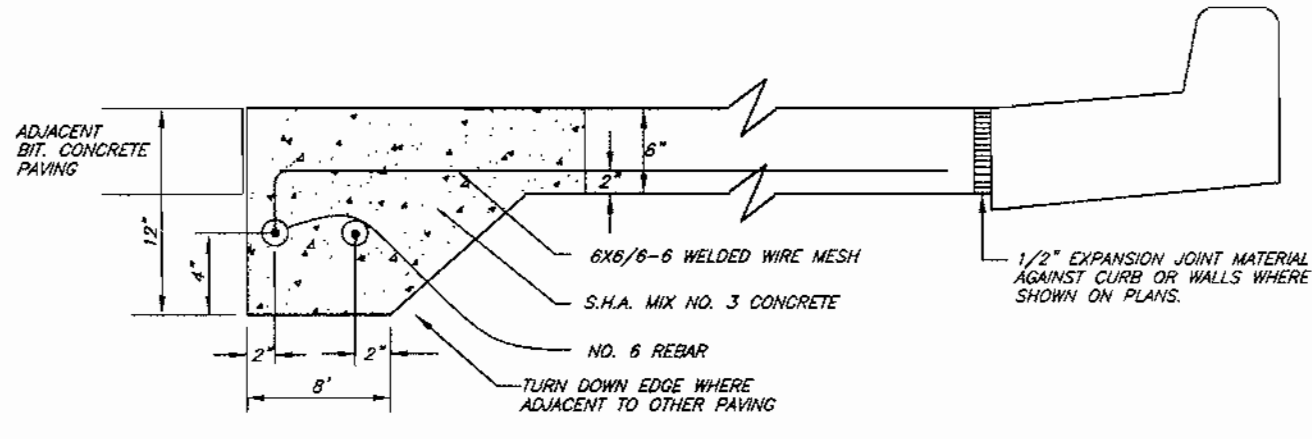
NO SCALE

- NOTES**
- SIDEWALK TO BE SLOPED IN 5' MAXIMUM SQUARES.
 - EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO BE MORE THAN 15' APART.
 - 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL IN EXPANSION JOINTS TO BE KEPT 1/4" BELOW SURFACE OF SIDEWALK.
 - CONCRETE TO BE MIX NO. 2.
 - WHEN SIDEWALK ADJUTS CURB WALK SHALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL BETWEEN SIDEWALK AND CURB AND RESTING ON A COMPACTED CRUSHED STONE BASE. SEE DETAIL A LEFT.



CURB RAMP TYPE "G"

NO SCALE

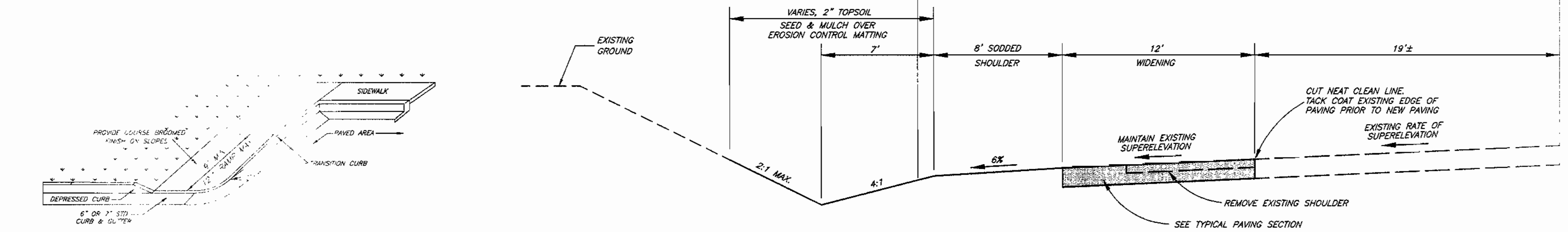


DUMPSTER PAD AND PAVING DETAIL

NO SCALE

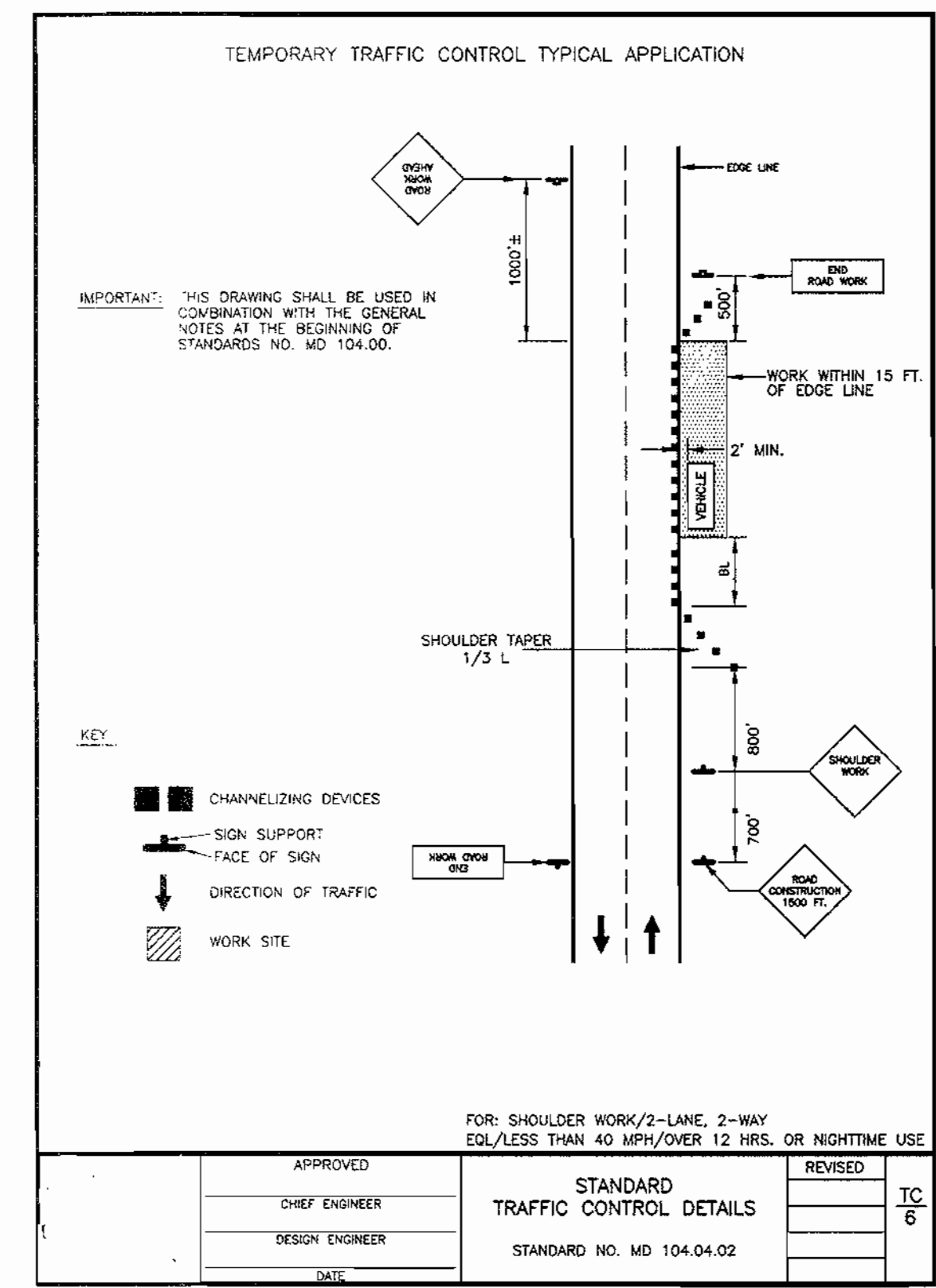
MARSHALEE DRIVE PAVEMENT WIDENING SECTION

SCALE: 1" = 5'
CL STA. 44+86.23 TO CL STA. 53+87



MARSHALEE DRIVE PAVEMENT WIDENING SECTION

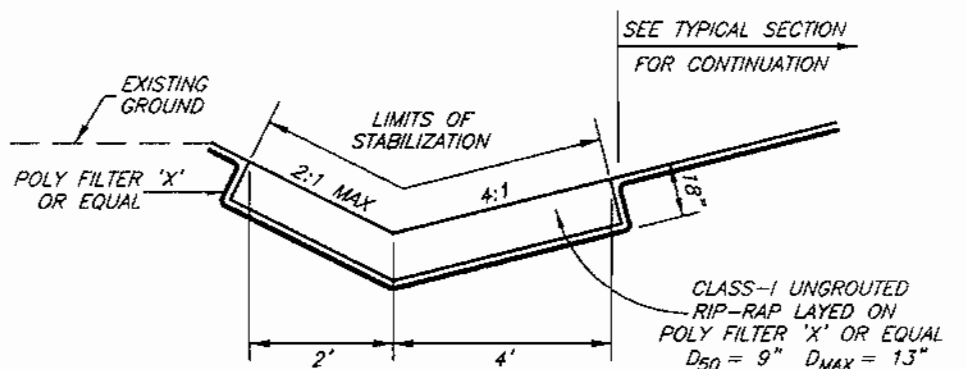
SCALE: 1" = 5'
CL STA. 32+00 TO CL STA. 35+00.92
CL STA. 38+23.20 TO CL STA. 43+35.02



APPROVED		REVISION	
CHIEF ENGINEER	DATE	NO.	DATE
DESIGN ENGINEER	DATE	1	11-2-00

HANDICAP RAMP AT ISLAND

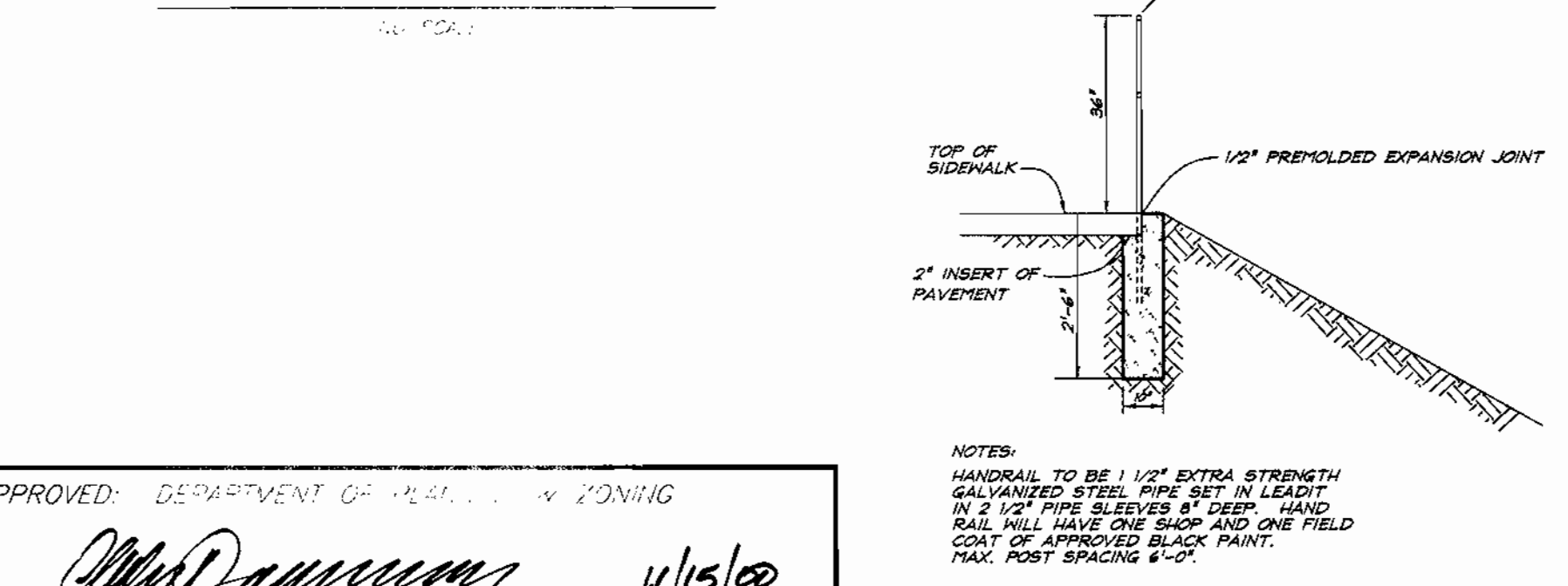
NO SCALE



PROPOSED RIP-RAP SIDE DITCH AT OUTFALL S-17

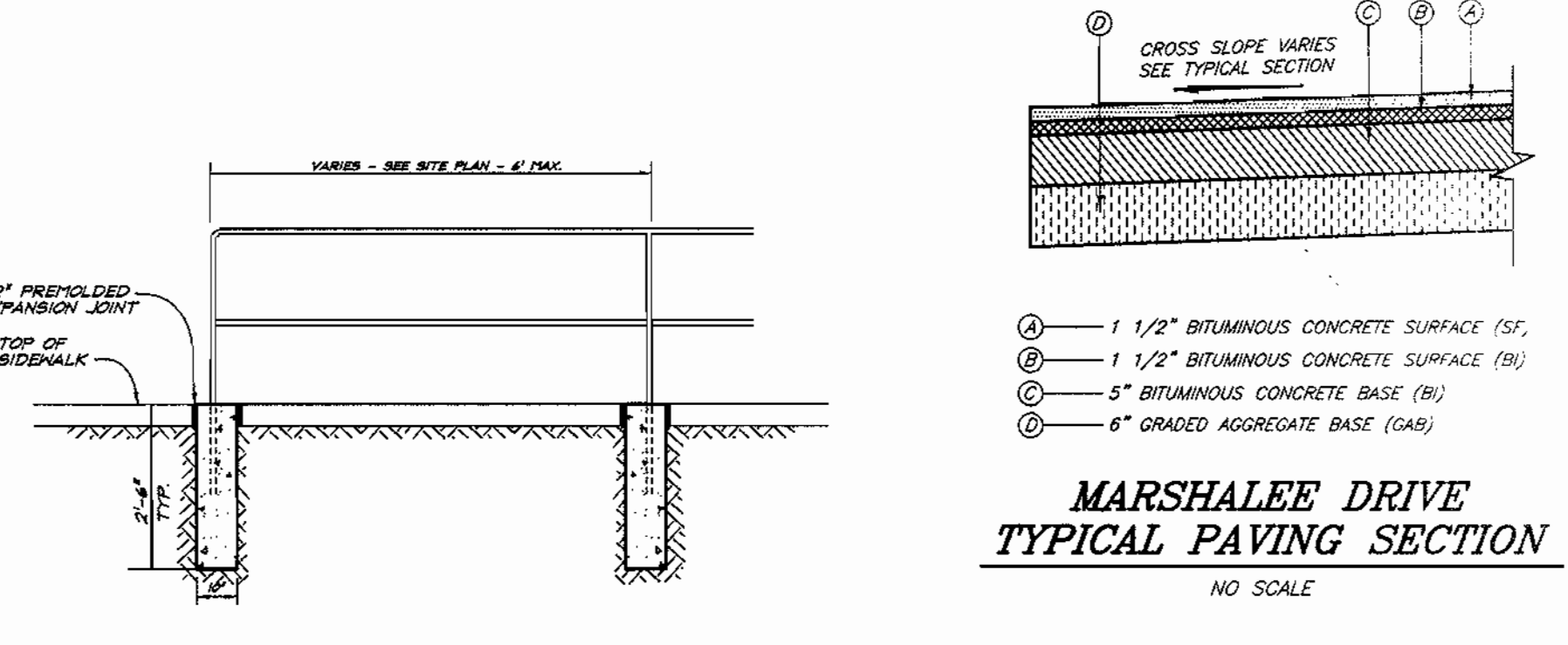
CL STA. 53+87 TO CL STA. 54+87

HANDICAP RAMP DETAILS



EXTERIOR HANDRAIL DETAIL

NOT TO SCALE



MARSHALEE DRIVE TYPICAL PAVING SECTION

NO SCALE

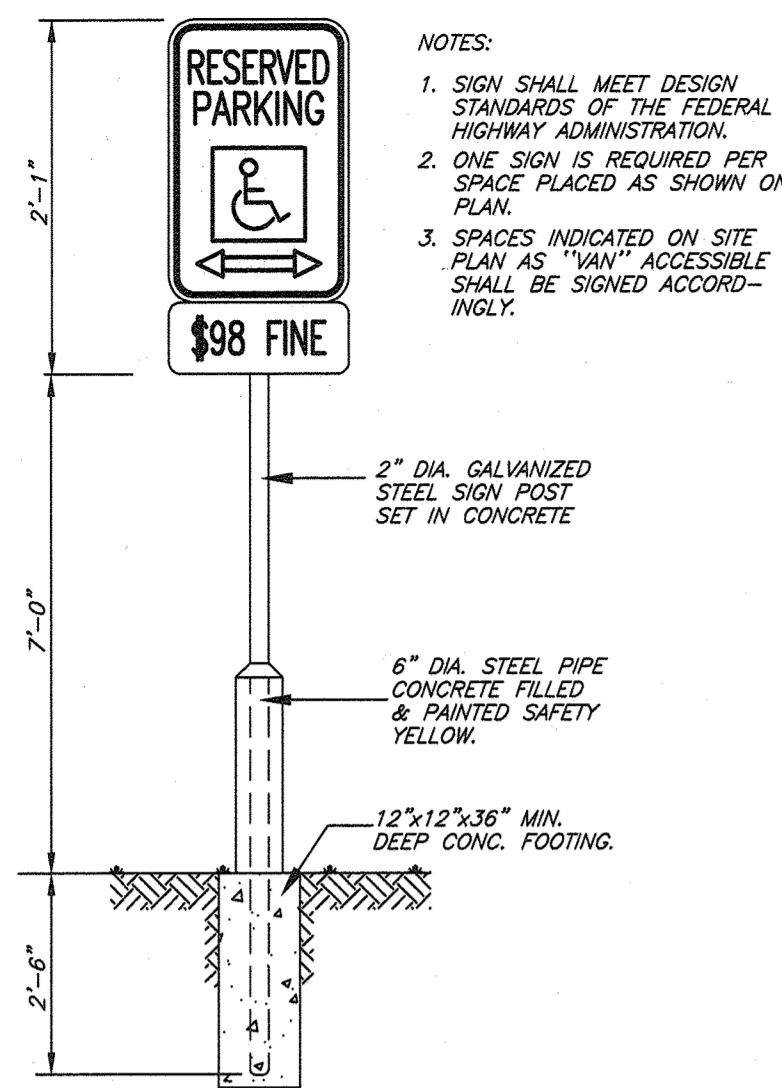
APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering
 Chief, Division of Land Development
 Director

DATE: 11/15/00
 DATE: 11/29/00
 DATE: 11/29/00

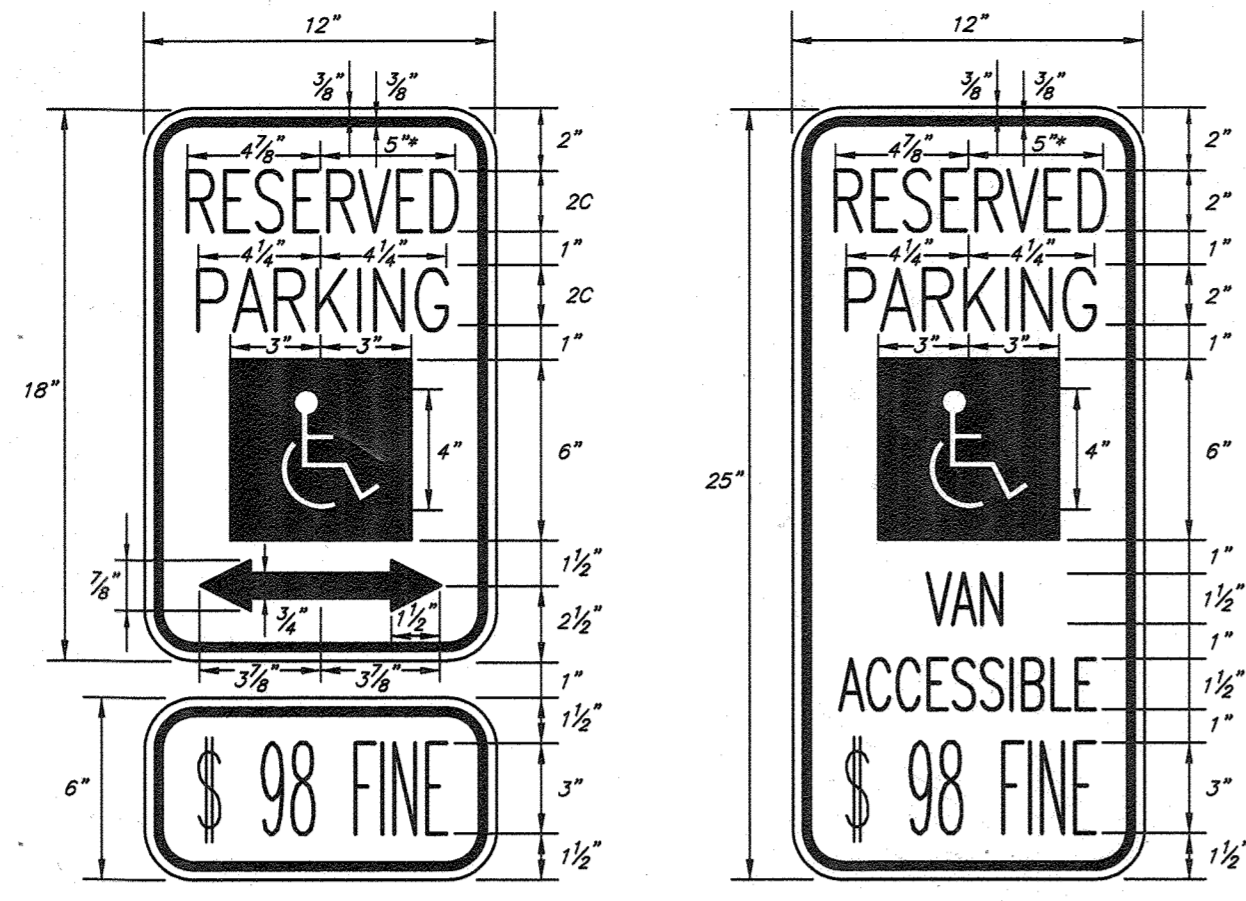
CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED	PAVING DETAILS	SCALE
TD	LYNDWOOD SQUARE	AS SHOWN
DRAWN	PARCEL B-2	DRAWING
TD/LAI	COMMERCIAL OFFICE BUILDINGS	5 of 15
CHECKED	PLAT #12333 TAX MAP 37 GRID 11	JOB NO.
TD	FIRST (1st) ELECTION DISTRICT	99-186
DATE	HONARD COUNTY, MARYLAND	FILE NO.
11/2/00	FOR: TRAMMELL CROWNE, INC.	99-186
	7315 WISCONSIN AVENUE, SUITE 300W	
	BETHESDA, MARYLAND 20814	



HANDICAP PARKING SIGN DETAIL
NO SCALE

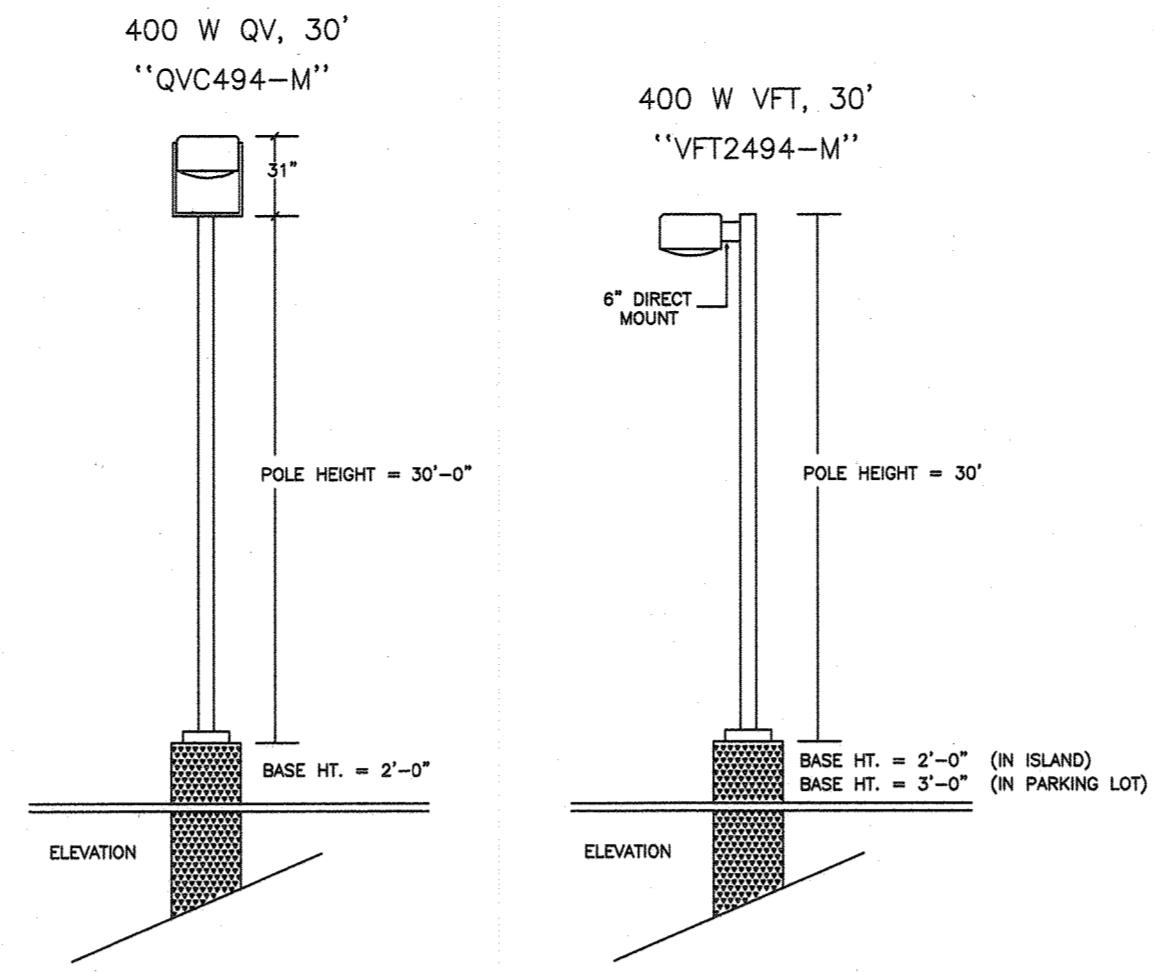


HANDICAP PARKING RESTRICTION SIGN DETAIL
NO SCALE

NOTES:
1. SIGN SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION.
2. ONE SIGN IS REQUIRED PER SPACE PLACED AS SHOWN ON PLAN.
3. SPACES INDICATED ON SITE PLAN AS "VAN" ACCESSIBLE SHALL BE SIGNED ACCORDINGLY.

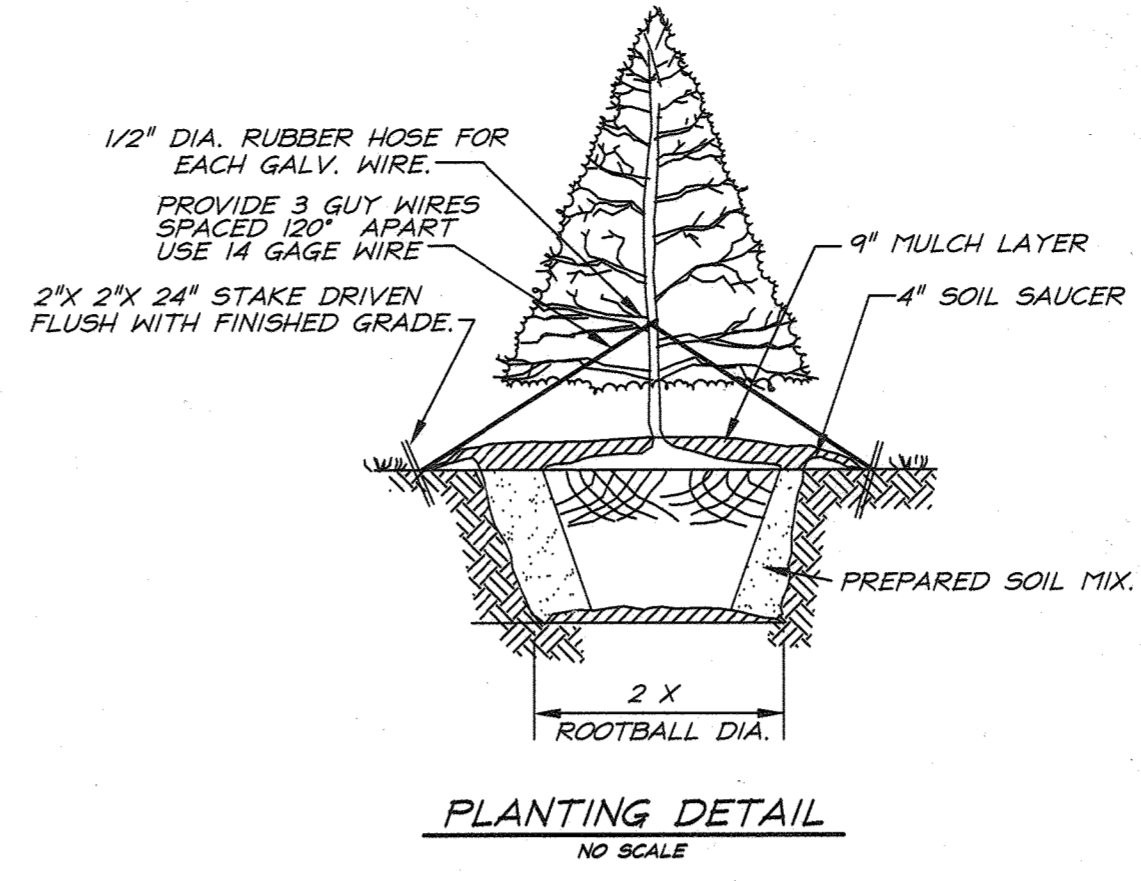
COLORS:
LEGEND AND BORDER: GREEN
SYMBOL WHITE ON BLUE BACKGROUND
BACKGROUND: WHITE

DETAILS TO CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL R7-8

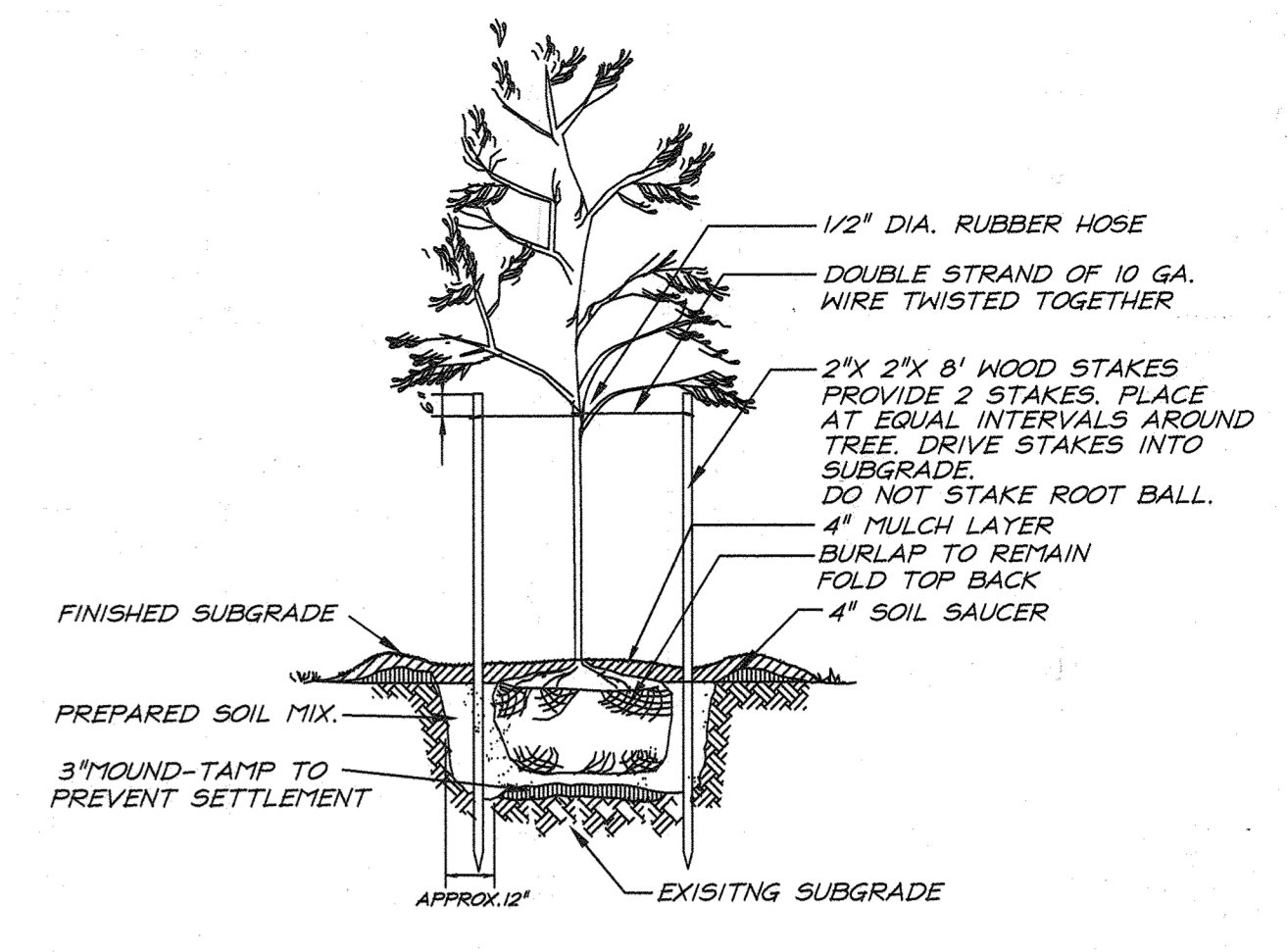


LIGHT DETAILS
NO SCALE

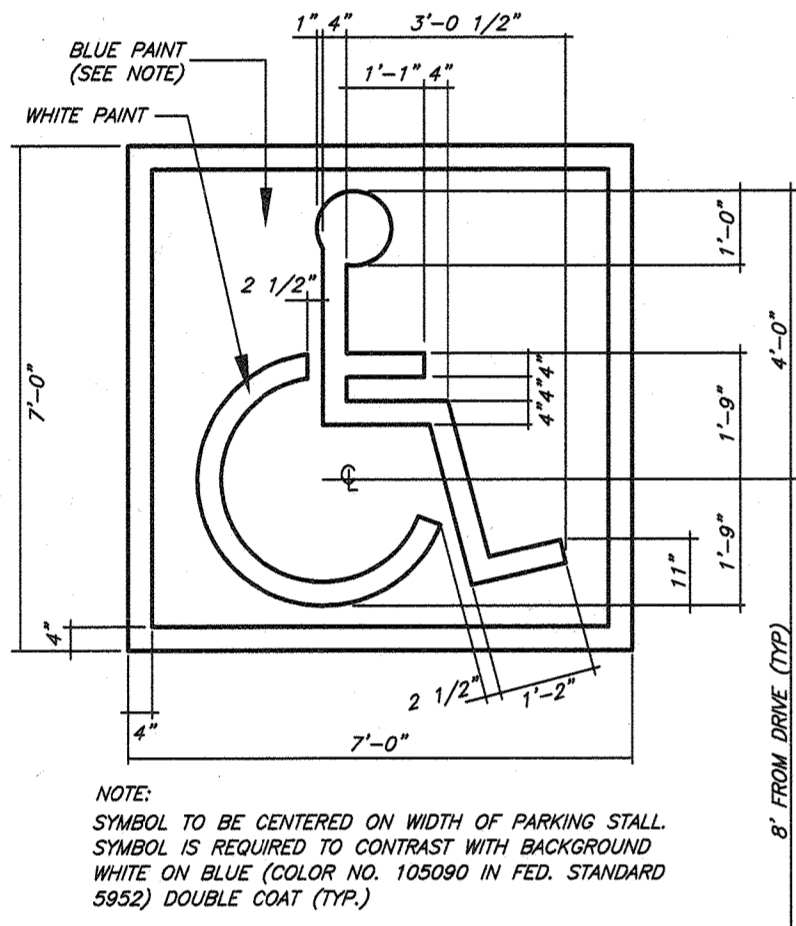
NOTE: LIGHTING TO BE FULL CUT-OFF



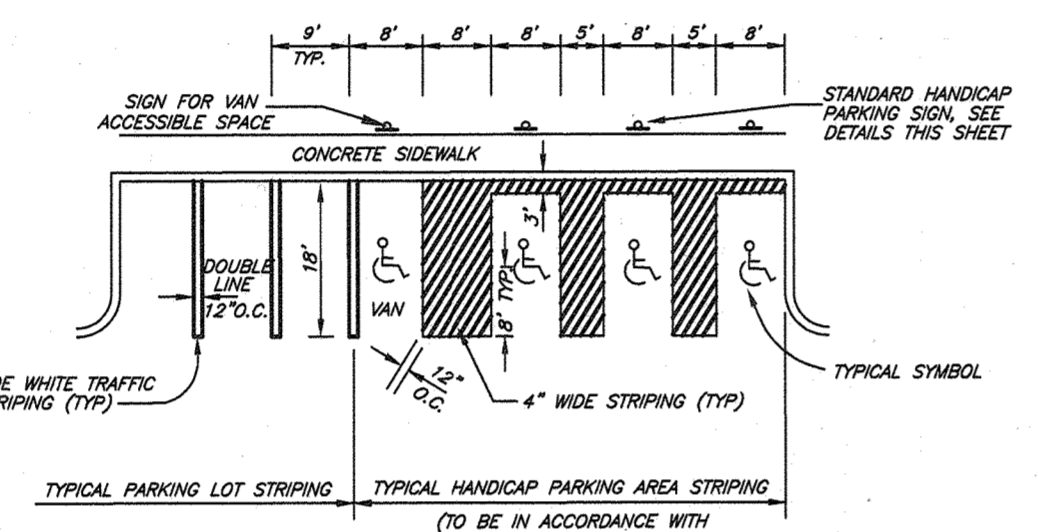
PLANTING DETAIL
NO SCALE



PLANTING DETAIL
NO SCALE



PAINTED SYMBOL
NO SCALE



TYPICAL STRIPING DETAILS FOR PARKING, HANDICAP SPACES AND CROSSWALKS
NO SCALE

PLANT SCHEDULE

SHADE TREES				
KEY	QUAN.	PLANT NAME	SIZE	REMARKS
AO	33	ACER RUBRUM 'OCTOBER GLORY' October Glory Red Maple	2 1/2" - 3" CAL. 12' - 14' Ht.	B & B Heavy
PA	82	PLATINUS ACERIFOLIA 'BLOODGOOD' Bloodgood London Plane Tree	2 1/2" - 3" CAL. 12' - 14' Ht.	B & B Heavy
GT	5	GLEDITSIA TRIACANTHOS I. SHADEMASTER Shademaster Honeylocust	2 1/2" - 3" CAL. 12' - 14' Ht.	B & B Heavy
FLOWERING/INTERMEDIATE SCALE TREES				
KEY	QUAN.	PLANT NAME	SIZE	REMARKS
BN	25	BETULA NIGRA 'HERITAGE' Heritage River Birch	2" - 2 1/2" CAL. 8' - 10' Ht.	B & B Heavy
PY	30	PRUNUS X YEDOENSIS Yoshino Cherry	2" - 2 1/2" CAL. 8' - 10' Ht.	B & B Heavy
EVERGREEN TREES				
KEY	QUAN.	PLANT NAME	SIZE	REMARKS
PS	64	PINUS STROBUS Eastern White Pine	6' - 8' Ht.	B & B Heavy

- NOTES:
- All plant materials shall be full and heavy, be well formed and symmetrical, conform to A.A.N. specifications and be installed in accordance with L.C.A.M.H. landscape specifications.
 - Call "MISS UTILITY" at 1-800-257-7777 for utility locations at least 48 hours before beginning construction.
 - All exterior lighting shall comply with Zoning Regulations Section 134.
 - This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.
 - Financial surety for the required landscaping has been posted as part of the DPW Developer's Agreement in the amount of \$39,000.00.
 - The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
 - All Pinus Strobus, Eastern White Pine trees, must be planted during the fall planting season in accordance with the Landscape Contractors Association Specifications Guidelines. All Pinus Strobus, Eastern White Pine trees, must be naturally grown, not sheared.

SCHEDULE A - PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Perimeter Properties	Total Tree Units
Perimeter Number	1 2 3 4 5 6		
Landscape Type	E E E B A A		
Linear Feet of Frontage			
Roadway Frontage	560 500 120 120 1513 355		
Perimeter Properties			
Credit			
For Existing Vegetation			
For Berms (LF)	560 500 120		
Number of Plants Required			
Shade Trees	14 13 3 2 25 6		60
Evergreen Trees			
Shrubs	140 125 30		
Number of Plants Provided			
Shade Trees	9 8 1 2 12 4		36
Evergreen Trees			
Flowering Trees (1 Credit for 2 Trees)	10 10 5 30 5		60 for 30
Shrubs	* * *		

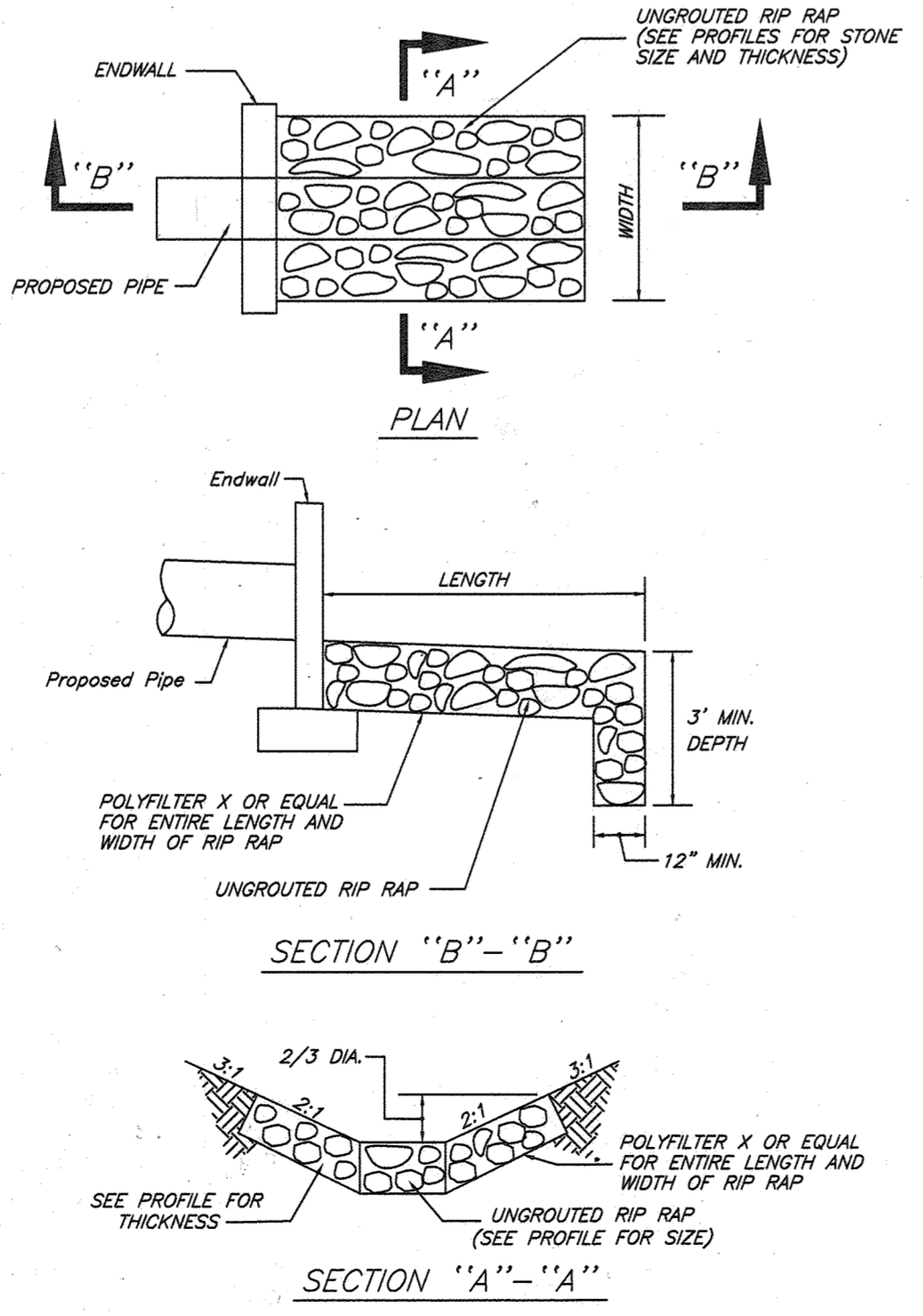
* Credit By Berms

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING

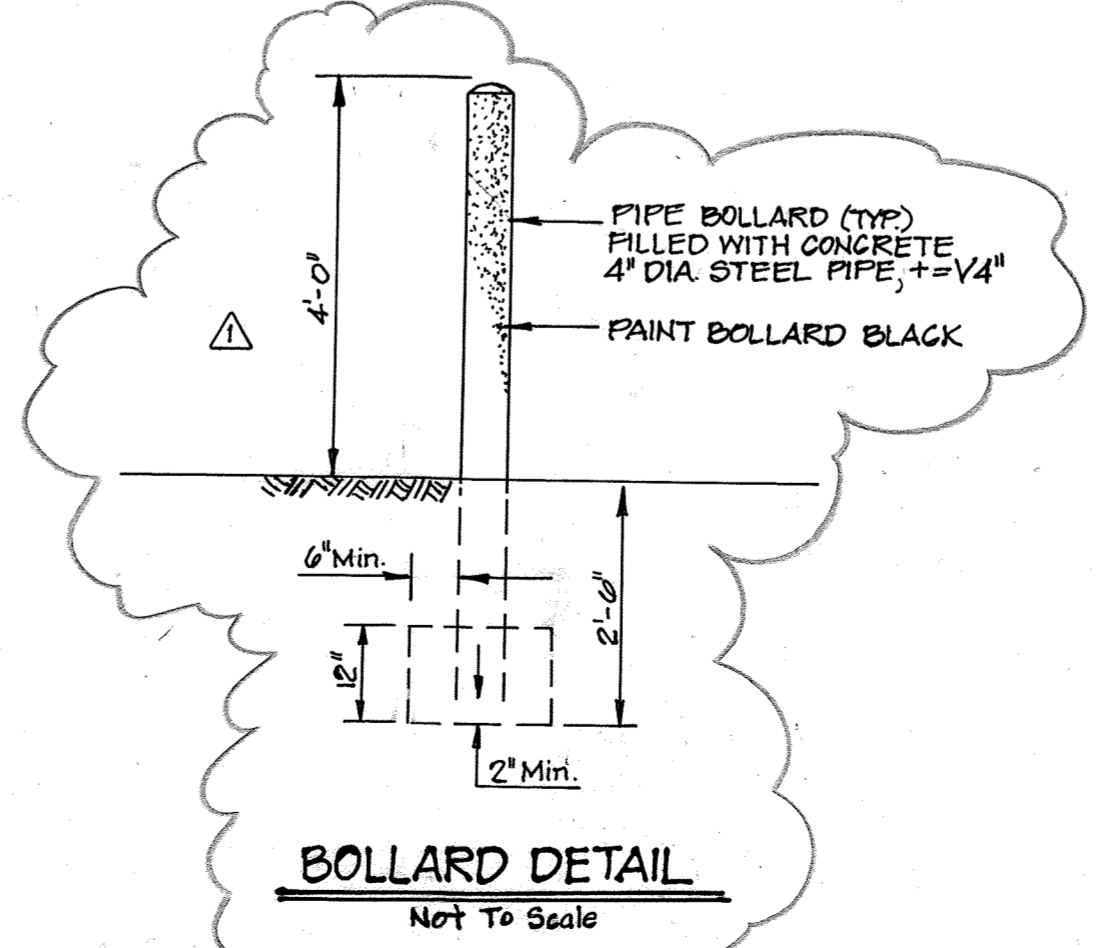
NUMBER OF PARKING SPACES	792
NUMBER OF TREES REQUIRED	40
NUMBER OF TREES PROVIDED	84

RIP RAP TABLE

STRUCTURE	WIDTH	LENGTH
S-1	9'	12'
S-17	18'	10'



UNGRADED RIP RAP DETAIL
NO SCALE



BOLLARD DETAIL
Not To Scale

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Designer: *[Signature]* Date: 11/1/00

REVISION #4 PREPARED BY:
BLDG. INC. (5/31/22)

[Signature]
PROFESSIONAL ENGINEER
STATE OF MARYLAND
No. 21245, exp. 06/01/24

APPROVED: DEPARTMENT OF PLANNING & ZONING

[Signature] 11/15/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 11/21/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE R

[Signature] 11/29/00
DIRECTOR DATE

REVISED PLANT SCHEDULES, MOVED OUTSIDE PLAY AREA AND DROP-OFF AREA.

6-31-22	
12-18-00	

ADDED BOLLARD DETAIL, DELETED BUILDING C DETAIL

REVISIONS

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

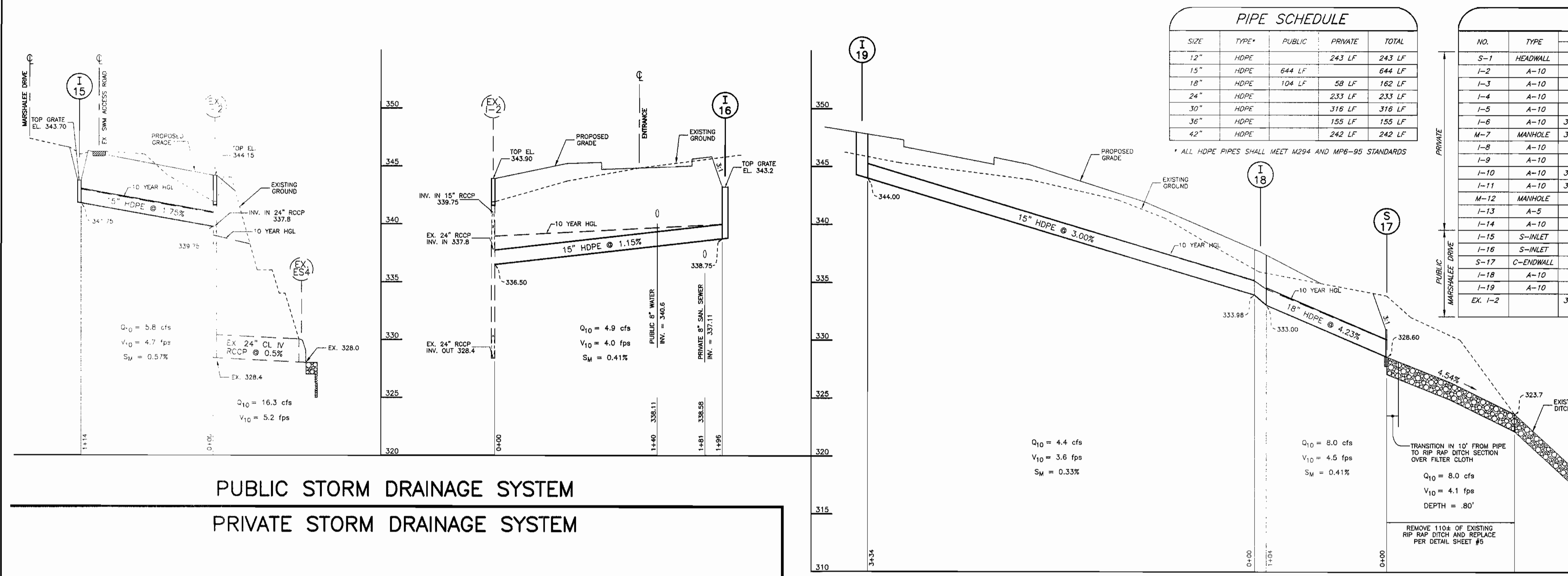
DESIGNED TD
DRAWN TD/LAI
CHECKED TD
DATE 10/12/00

SIGNAGE, LIGHTING AND LANDSCAPE DETAILS
LYNDWOOD SQUARE
PARCEL B-2
COMMERCIAL OFFICE BUILDINGS
PLAT #12333 TAX MAP 37 GRID 11
FIRST (1st) ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SCALE AS SHOWN
DRAWING 6 OF 15
JOB NO. 99-186
FILE NO. 99-186

FOR: TRAYMELL CROWNE, INC.
7315 WISCONSIN AVENUE, SUITE 300W
BETHESDA, MARYLAND 20814

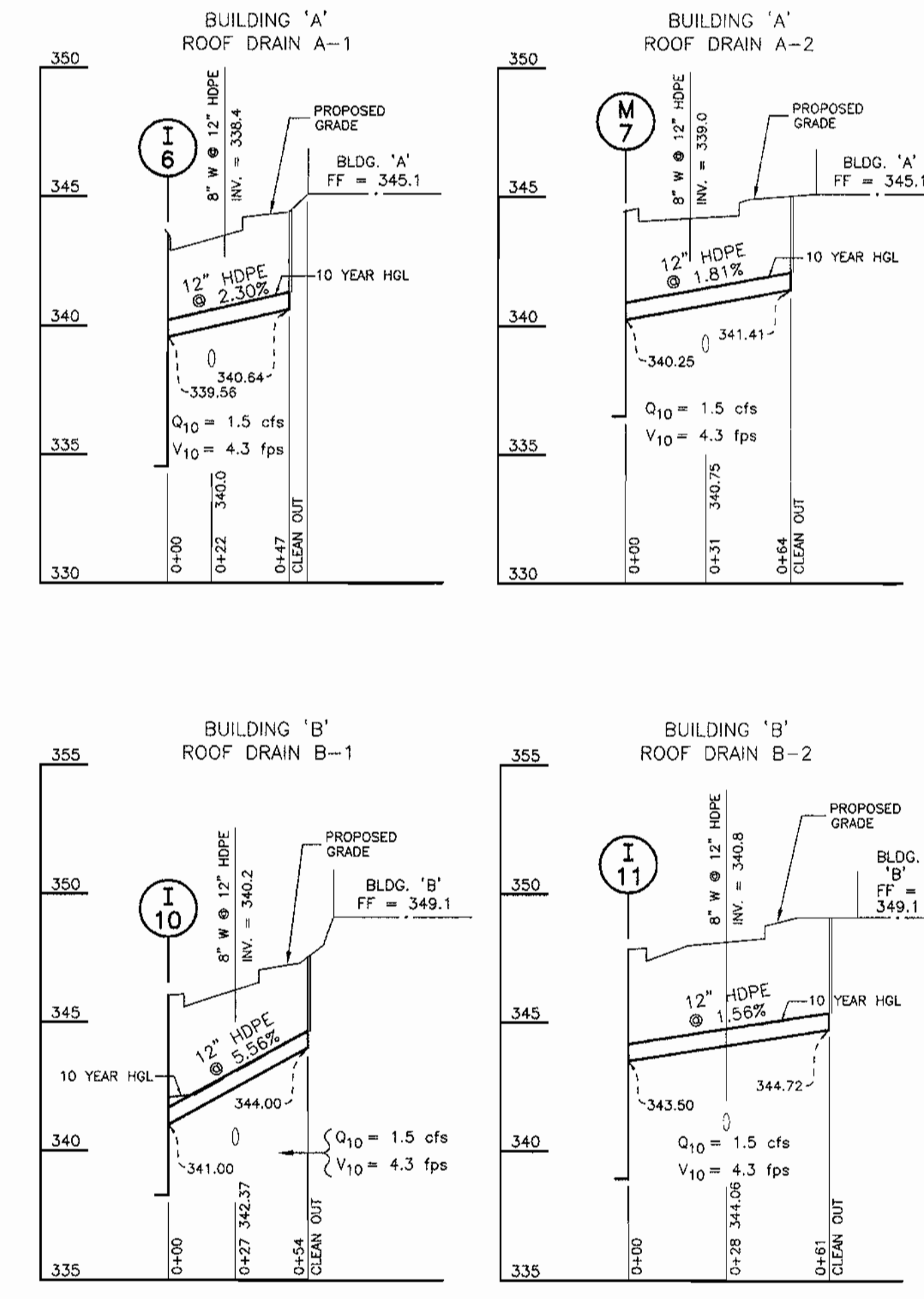
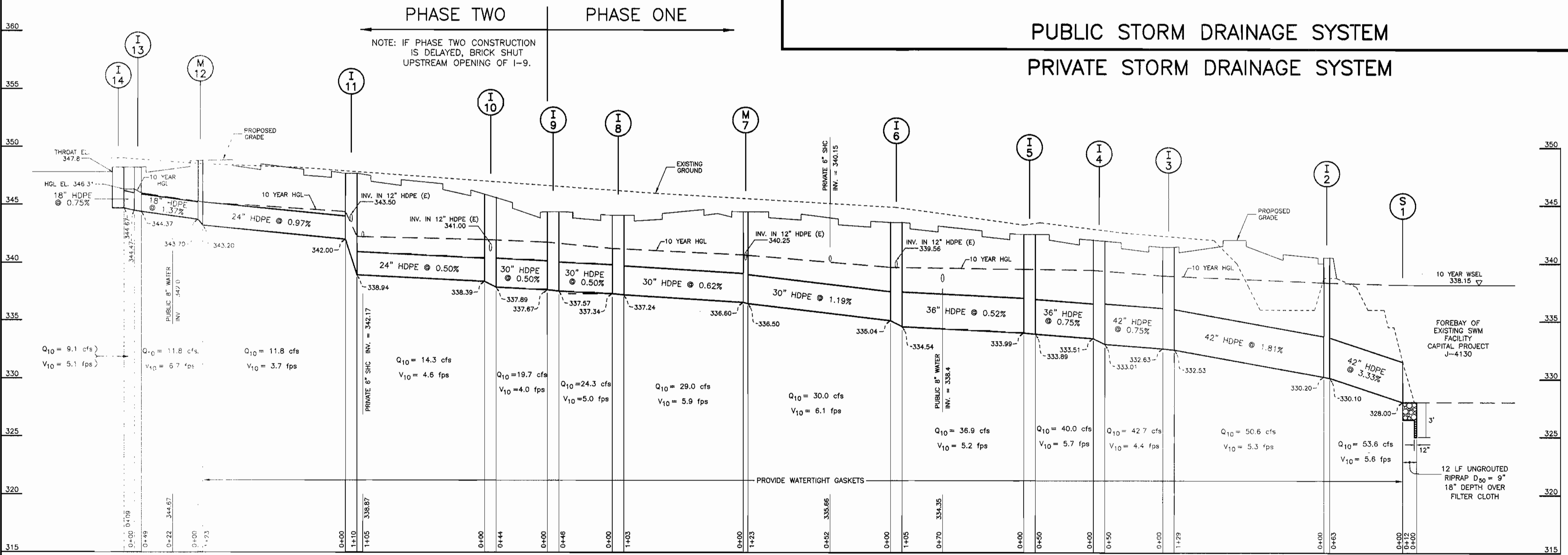
11-2-00



PIPE SCHEDULE				
SIZE	TYPE	PUBLIC	PRIVATE	TOTAL
12"	HDPE		243 LF	243 LF
15"	HDPE	644 LF		644 LF
18"	HDPE	104 LF	58 LF	162 LF
24"	HDPE	333.01	233 LF	233 LF
30"	HDPE	316 LF		316 LF
36"	HDPE	155 LF		155 LF
42"	HDPE		242 LF	242 LF

* ALL HDPE PIPES SHALL MEET M294 AND MP6-95 STANDARDS

STRUCTURE SCHEDULE						
NO.	TYPE	INVERT		TOP ELEVATION UPPER / LOWER	REMARKS	LOCATION
		IN	OUT			
S-1	HEADWALL	328.00	328.00	333.00	SD 5.11	BL 'A' 1+63.33 95.16' LT. CL @ FACE STR.
I-2	A-10	330.20	330.10	340.10	SD 4.02	BL 'A' 1+78.44 30.00' LT. CL @ FACE STR.
I-3	A-10	332.63	332.53	341.00	SD 4.02	BL 'A' 3+27.60 22.00' RT. CL @ FACE STR.
I-4	A-10	333.01		341.85/341.75	SD 4.02	BL 'A' 3+87.60 22.00' RT. CL @ FACE STR.
I-5	A-10	333.99	333.89	342.65/342.55	SD 4.02	BL 'A' 4+47.60 22.00' RT. CL @ FACE STR.
I-6	A-10	339.56/339.04		334.54	SD 4.02	BL 'A' 5+47.60 12.00' RT. CL @ FACE STR.
M-7	MANHOLE	340.25/336.60		344.45	G 5.11	BL 'A' 6+92.60 18.40' RT. CL STRUCTURE
I-8	A-10	337.34	337.24	344.10	SD 4.02	BL 'A' 8+02.60 12.00' RT. CL @ FACE STR.
I-9	A-10	337.67	337.57	344.50	SD 4.02	BL 'A' 8+58.10 22.00' RT. CL @ FACE STR.
I-10	A-10	341.00/338.39	337.89	345.76/346.04	SD 4.02	BL 'A' 9+11.60 22.00' RT. CL @ FACE STR.
I-11	A-10	343.50/342.00	338.94	347.74/347.86	SD 4.02	BL 'A' 10+31.60 22.00' RT. CL @ FACE STR.
M-12	MANHOLE	343.70	343.20	349.00	G 5.12	BL 'A' 11+61.60 18.40' RT. CL STRUCTURE
I-13	A-5	344.47	344.37	348.40	SD 4.40	BL 'A' 11+93.60 21.50' LT. CL @ FACE STR.
I-14	A-10			344.67	SD 4.02	BL 'A' 12+03.60 36.00' LT. CL @ FACE STR.
I-15	S-INLET			341.75	SD 4.22	STA. 35+02.99, 43.83' LT. CL STRUCTURE
I-16	S-INLET			339.75	SD 4.22	STA. 38+29.20, 43.10' LT. CL STRUCTURE
S-17	C-ENDWALL			328.60	SD 5.21	STA. 53+87.00, 47.42' LT. CL @ FACE STR.
I-18	A-10	333.98	333.00	338.00/337.49	SD 4.02	STA. 52+81.00, 32.13' LT. @ LOWER END
I-19	A-10			344.00	SD 4.02	STA. 49+31.88, 31.14' LT. @ LOWER END
EX. I-2		339.75/336.5	337.8	344.15		RAISE EX. STRUCTURE TO NEW GRADE ELEV. 344.15



PROFILE SCALES: HORIZ.: 1" = 50'
VERT.: 1" = 5'

NOTE: SEE SHEET 6 OF 15 FOR RIP RAP DETAIL.

APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

11/15/00
 11/16/00
 11/29/00

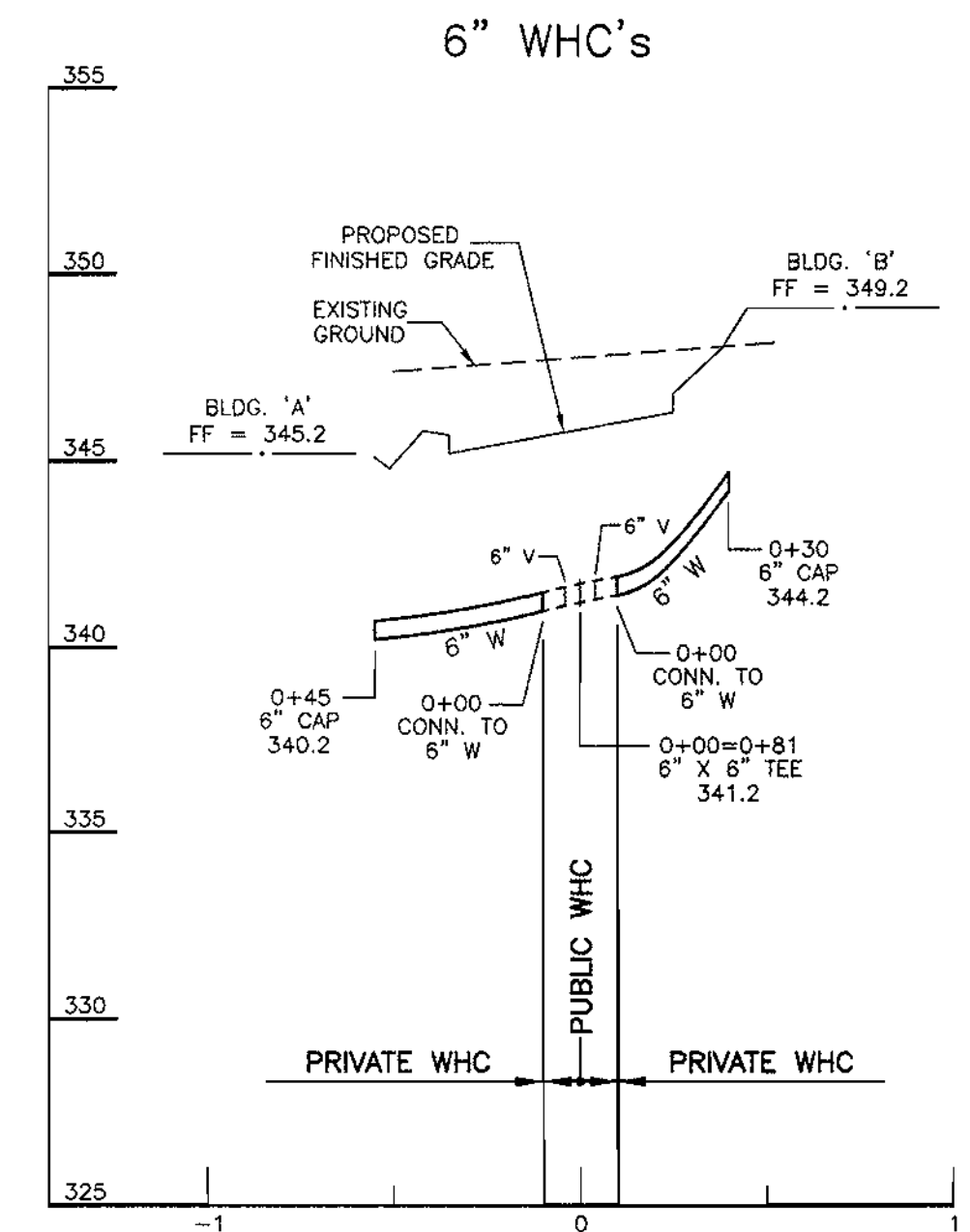
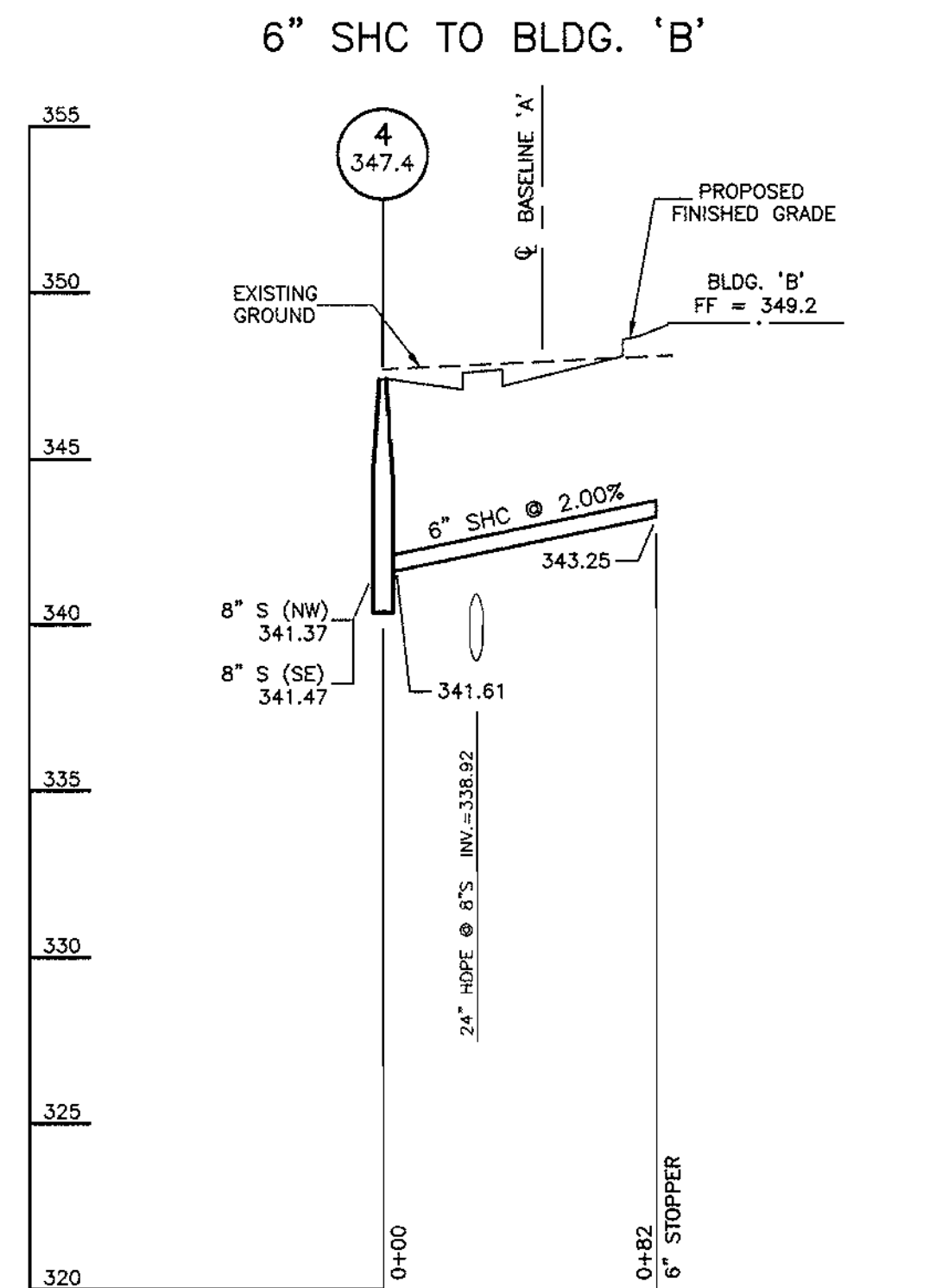
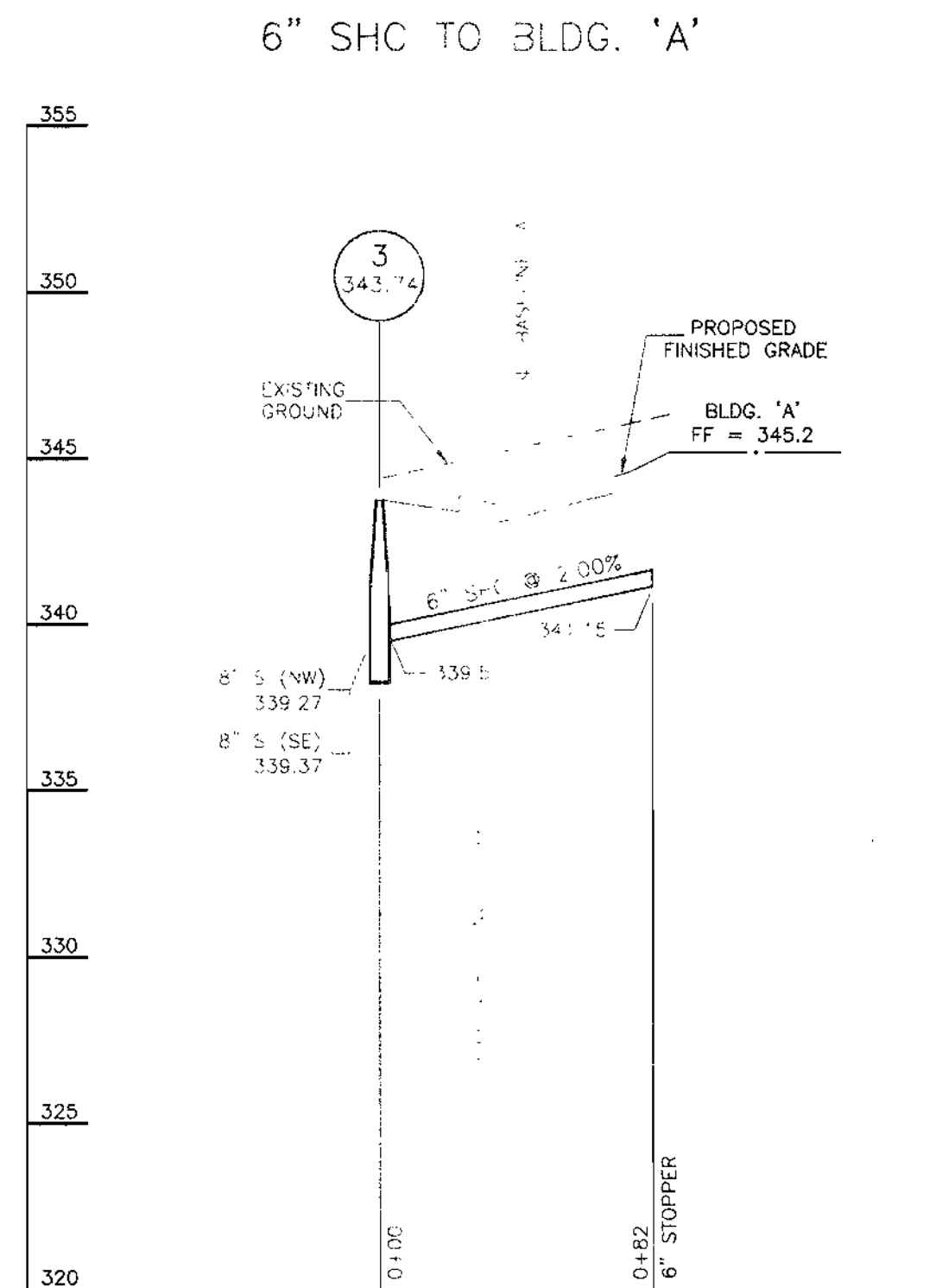
CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

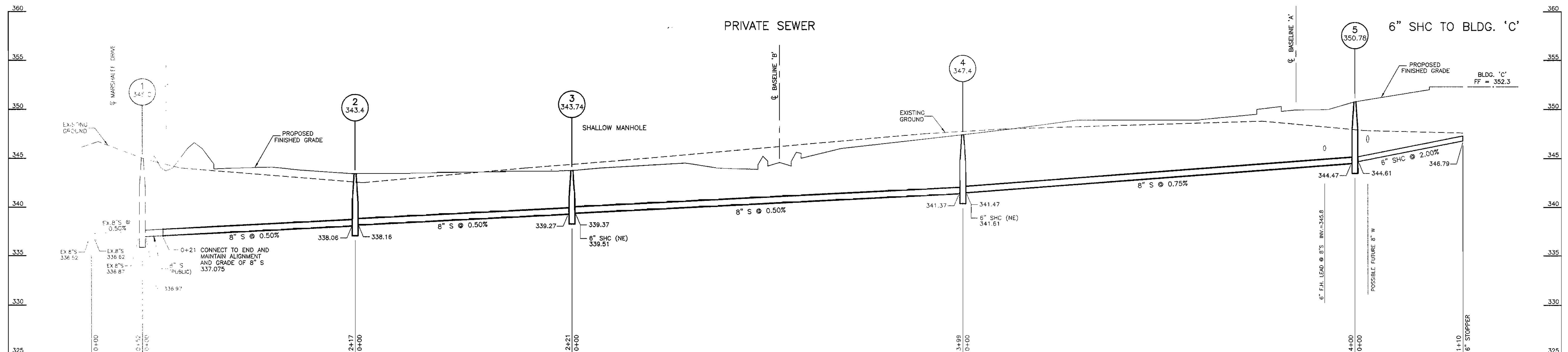
DESIGNED TD/DB	STORM DRAIN PROFILES AND DETAILS	SCALE AS SHOWN
DRAWN TD/LAI	LYNDWOOD SQUARE	DRAWING 7 of 15
CHECKED TD/DB	PARCEL B-2 COMMERCIAL OFFICE BUILDINGS	JOB NO. 99-186
DATE 11/2/00	PLAT #12333 TAX MAP 37 GRID 11 FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	FILE NO. 99-186

FOR: TRAMMELL CROWN INC.
 7915 WISCONSIN AVENUE, SUITE 300A
 BETHESDA, MARYLAND 20814





PROFILE SCALES: HORIZ.: 1" = 50'
VERT.: 1" = 5'

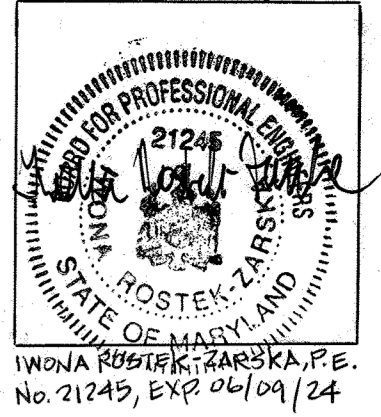


APPROVED: DEPARTMENT OF PLANNING & ZONING
William Deane 11/15/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Cindy Hancock 11/21/00
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
James S. Sackett 11/22/00
 DIRECTOR DATE

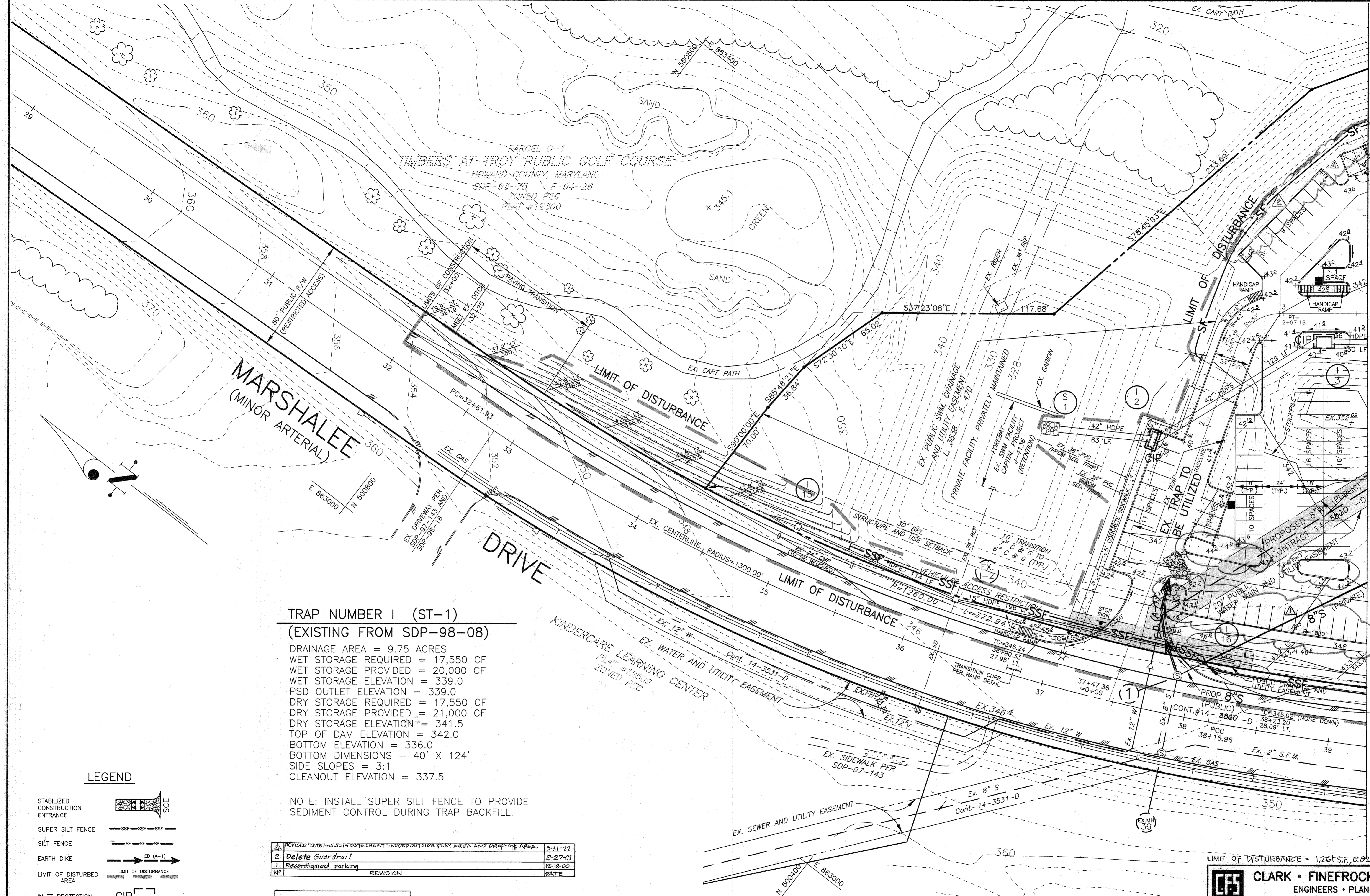


CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.		
DESIGNED	JR	SCALE
DRAWN	LAI	AS SHOWN
CHECKED	JR/TD	DRAWING
DATE	11/2/00	8 of 15
WATER AND SEWER PROFILES LYNDWOOD SQUARE PARCEL B-2 COMMERCIAL OFFICE BUILDINGS PLAT #12333 TAX MAP 37 GRID 11 FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND		JOB NO.
FOR: TRAMMELL CROWNE, INC. 7315 WISCONSIN AVENUE, SUITE 300H BETHESDA, MARYLAND 20814		99-186
		FILE NO.
		99-186

REVISION #4 PREPARED BY:
BLDG, INC. (5/31/22)



TRASH CORRAL
TRASH CORRAL GATE
SEE SHEET 3 FOR TRASH PAD
ENCLOSURE DETAIL



TRAP NUMBER 1 (ST-1)
(EXISTING FROM SDP-98-08)

DRAINAGE AREA = 9.75 ACRES
 WET STORAGE REQUIRED = 17,550 CF
 WET STORAGE PROVIDED = 20,000 CF
 WET STORAGE ELEVATION = 339.0
 PSD OUTLET ELEVATION = 339.0
 DRY STORAGE REQUIRED = 17,550 CF
 DRY STORAGE PROVIDED = 21,000 CF
 DRY STORAGE ELEVATION = 341.5
 TOP OF DAM ELEVATION = 342.0
 BOTTOM ELEVATION = 336.0
 BOTTOM DIMENSIONS = 40' X 124'
 SIDE SLOPES = 3:1
 CLEANOUT ELEVATION = 337.5

NOTE: INSTALL SUPER SILT FENCE TO PROVIDE
SEDIMENT CONTROL DURING TRAP BACKFILL.

LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- SUPER SILT FENCE
- SILT FENCE
- EARTH DIKE
- LIMIT OF DISTURBED AREA
- INLET PROTECTION

NO.	REVISION	DATE
1	Revised "SITE ANALYSIS DATA CHART", ADDED OUTSIDE PLAY AREA AND DROP-OFF AREA.	5-31-22
2	Delete Guardrail	2-27-01
1	Reconfigured parking	12-18-00

Reviewed for HOWARD S.C.D. and meets Technical Requirements
 J. Co. Winfield / w.s. 4/13/00
 Signature Date
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

J.R. Polston / w.s. 4/13/00
 Approved

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

NAME: [Signature] DATE: 11/1/00

ENGINEER'S CERTIFICATE

"I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

NAME: G. NIELSON CLARK DATE: 4-14-00



APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature] 4/15/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 11/21/00
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 11/22/00
 DIRECTOR

CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS

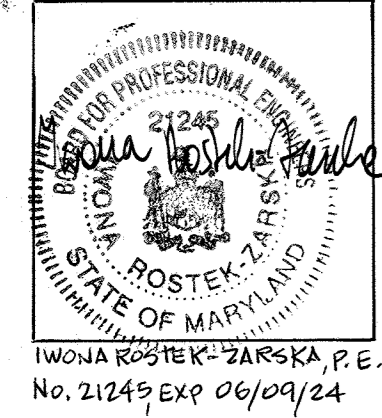
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED TD	SEDIMENT AND EROSION CONTROL PLAN	SCALE 1" = 30'
DRAWN TD/LAI	LYNDWOOD SQUARE	DRAWING 9 of 15
CHECKED TD	PARCEL B-2	JOB NO. 99-186
DATE 4/12/00	COMMERCIAL OFFICE BUILDINGS	FILE NO. 99-186
	PLAT #12333 TAX MAP 37 GRID 11	
	FIRST (1st) ELECTION DISTRICT	
	HOWARD COUNTY, MARYLAND	
	FOR: TRAMMELL CROWNE, INC.	
	7315 WISCONSIN AVENUE, SUITE 300W	
	BETHESDA, MARYLAND 20814	

SDP-00-119

MATCH LINE SEE SHEET 10

REVISION 4 PREPARED BY:
BLOGGING (5/31/22)

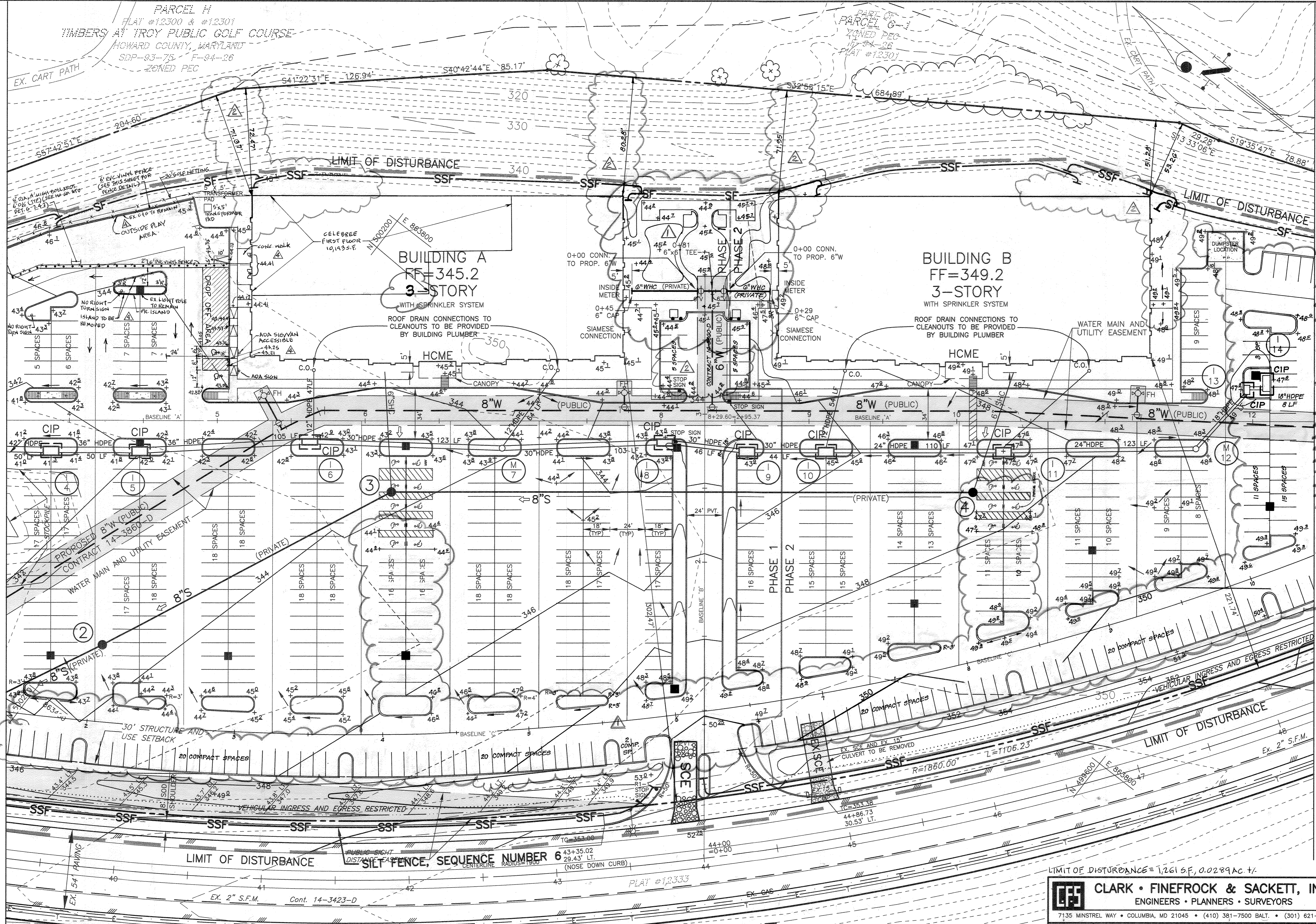


PARCEL H
PLAT #12300 & #12301
TIMBERS AT TROY PUBLIC GOLF COURSE
HOWARD COUNTY, MARYLAND
SDP-93-75 F-94-26
ZONED PEC

PARCEL G-1
XONED PEC
PLAT #12301

MATCH LINE SEE SHEET 9

MATCH LINE SEE SHEET 11



LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- SUPER SILT FENCE
- SILT FENCE
- EARTH DIKE
- LIMIT OF DISTURBED AREA
- INLET PROTECTION

Reviewed for HOWARD S.C.D. and meets Technical Requirements
G. B. Washfield 11/15/20
Signature Date
U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

J. R. Robinson 11/15/20
Approved

APPROVED: DEPARTMENT OF PLANNING & ZONING
William Dammann 11/15/20
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Cindy Kowalla 11/21/20
CHIEF, DIVISION OF LAND DEVELOPMENT
David Smith 11/22/20
DIRECTOR

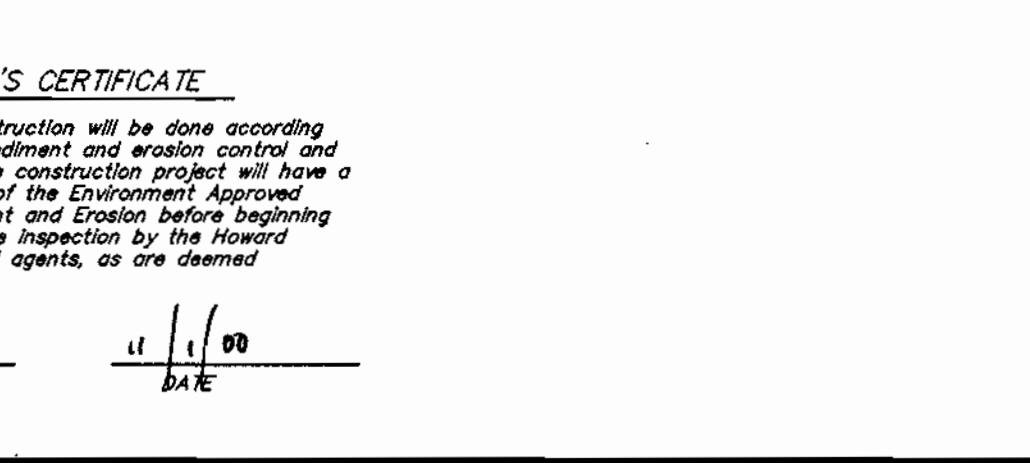
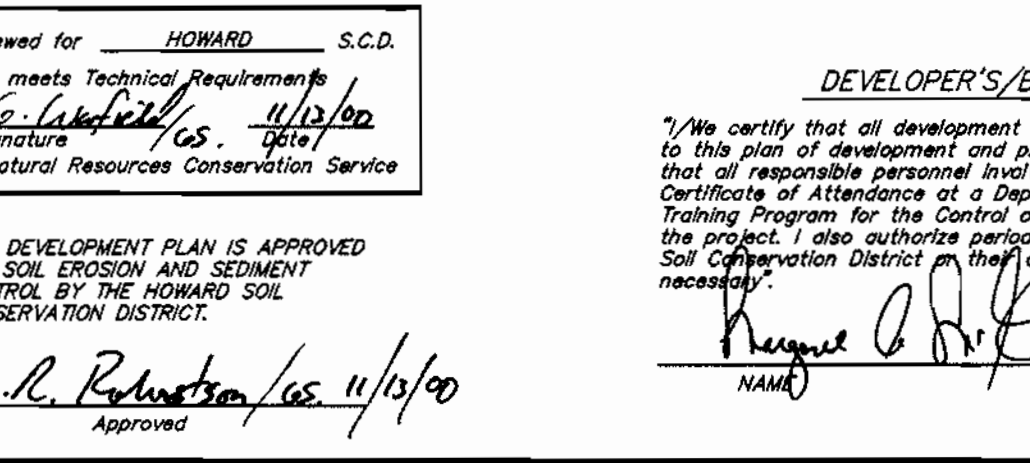
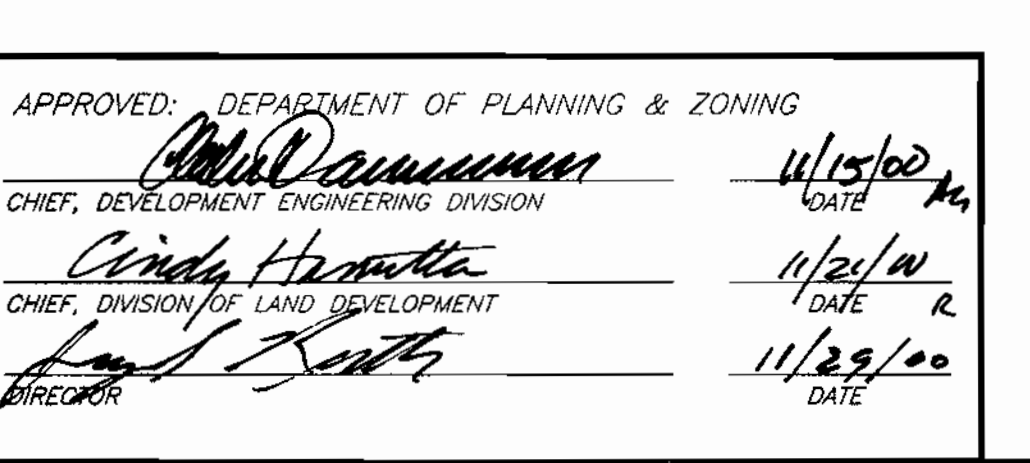
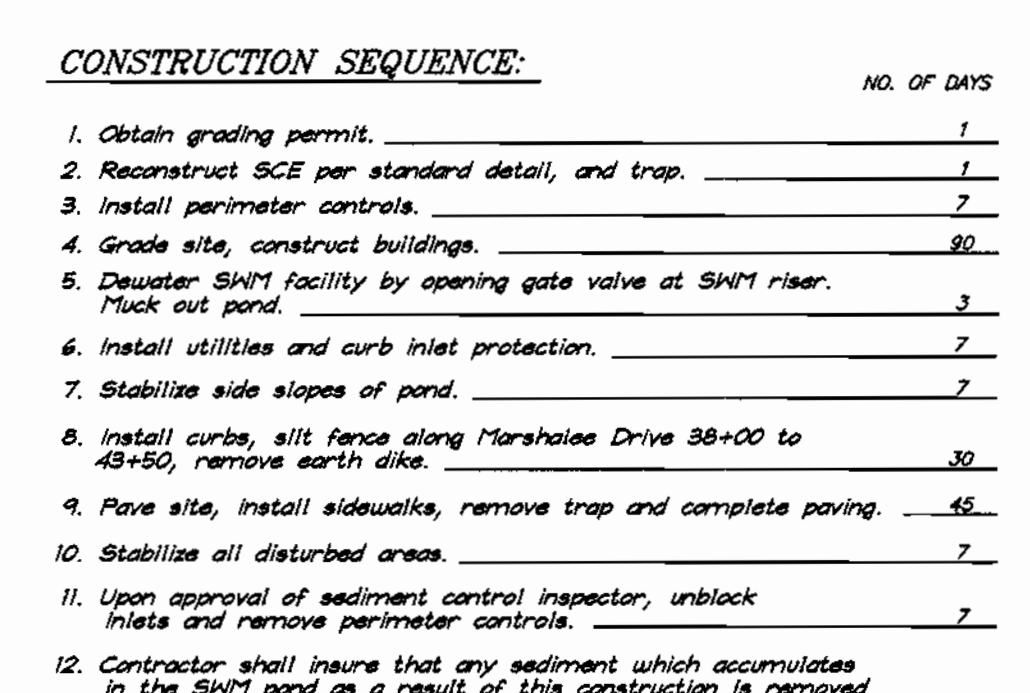
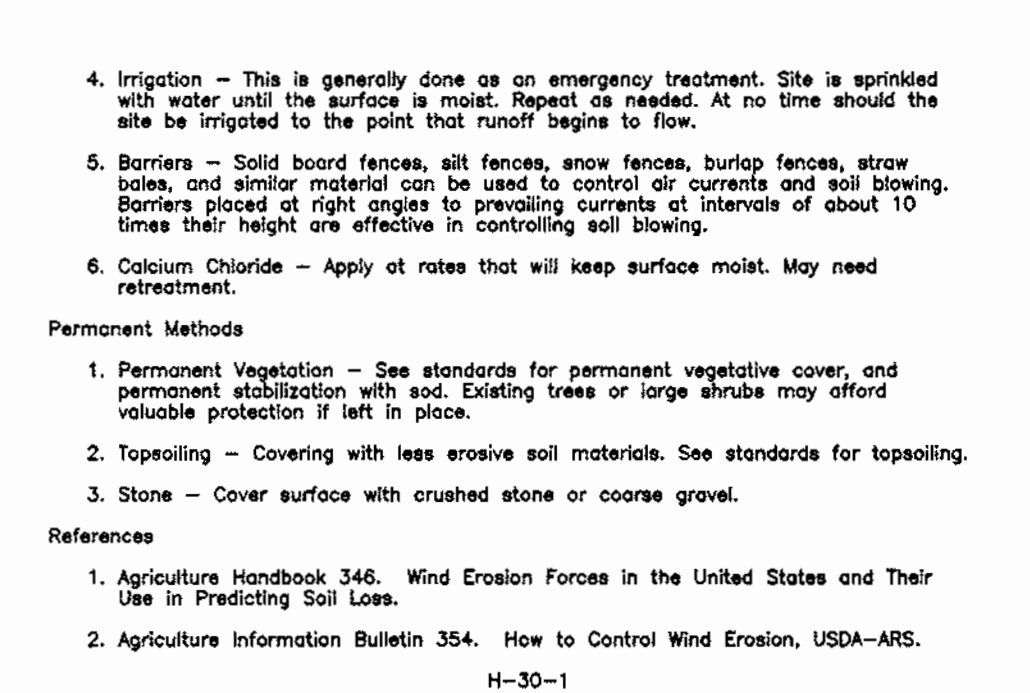
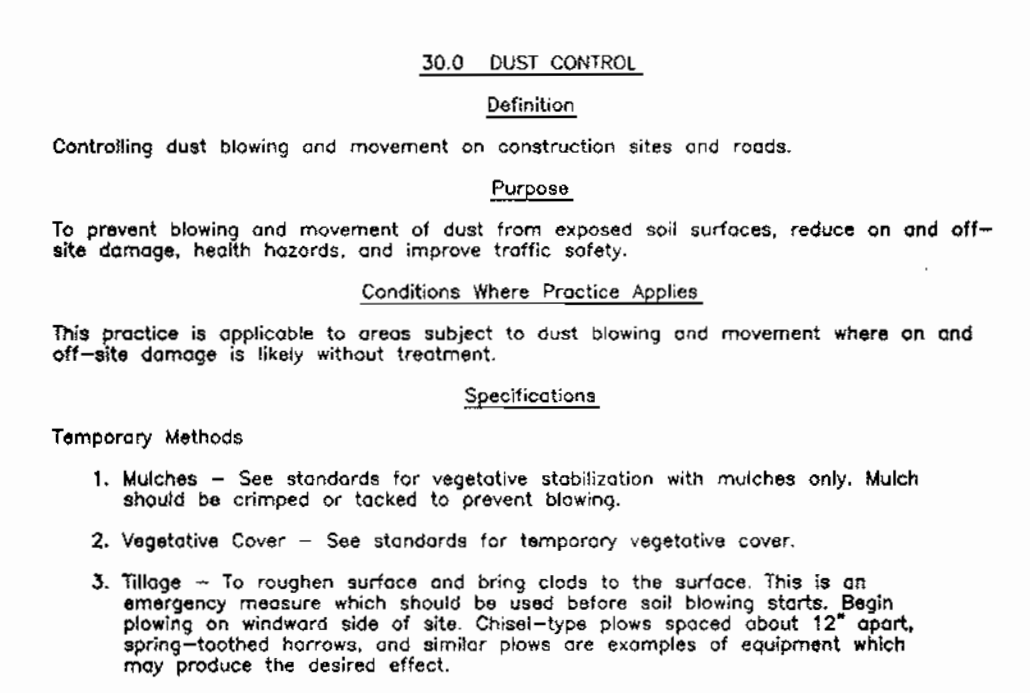
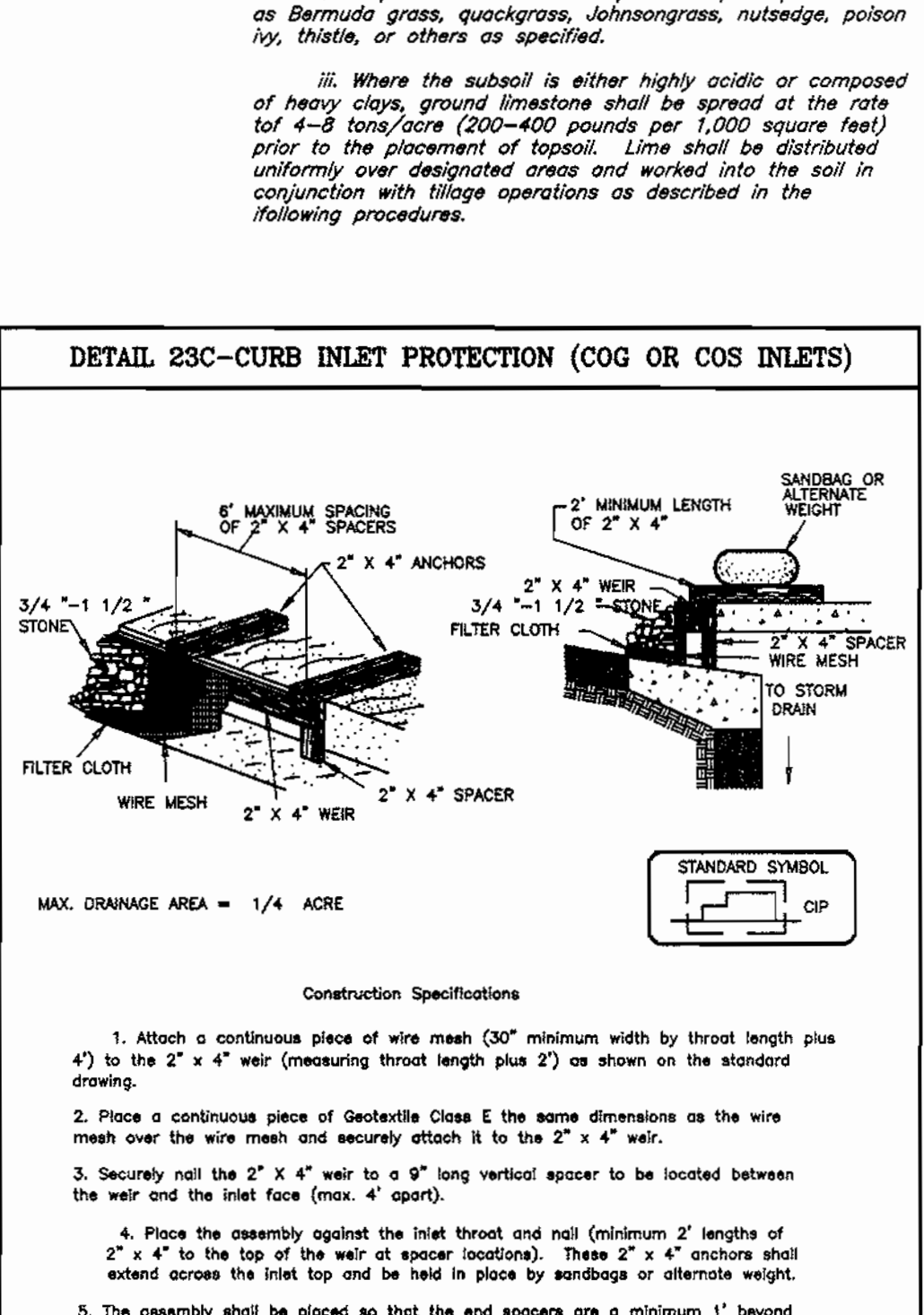
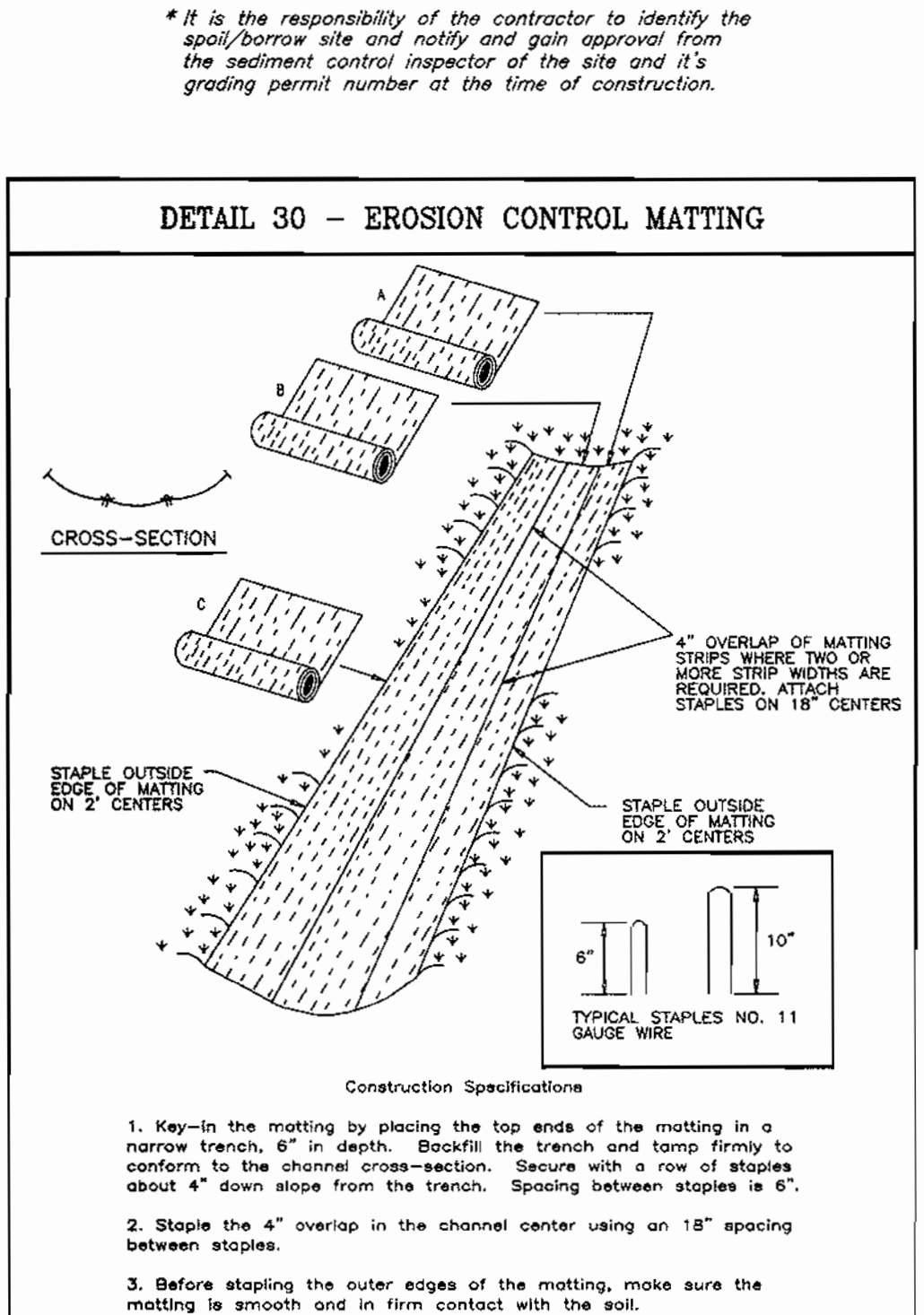
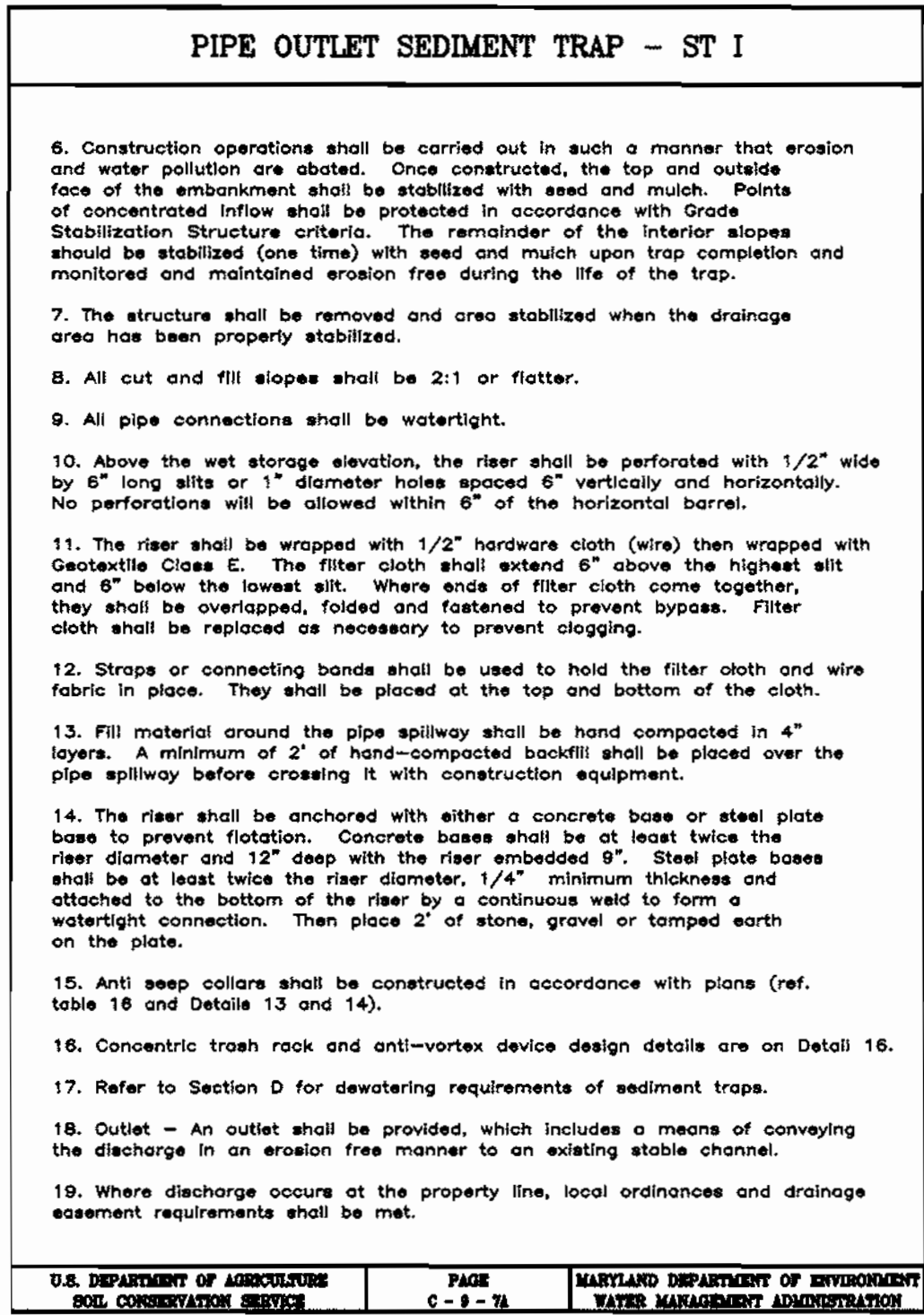
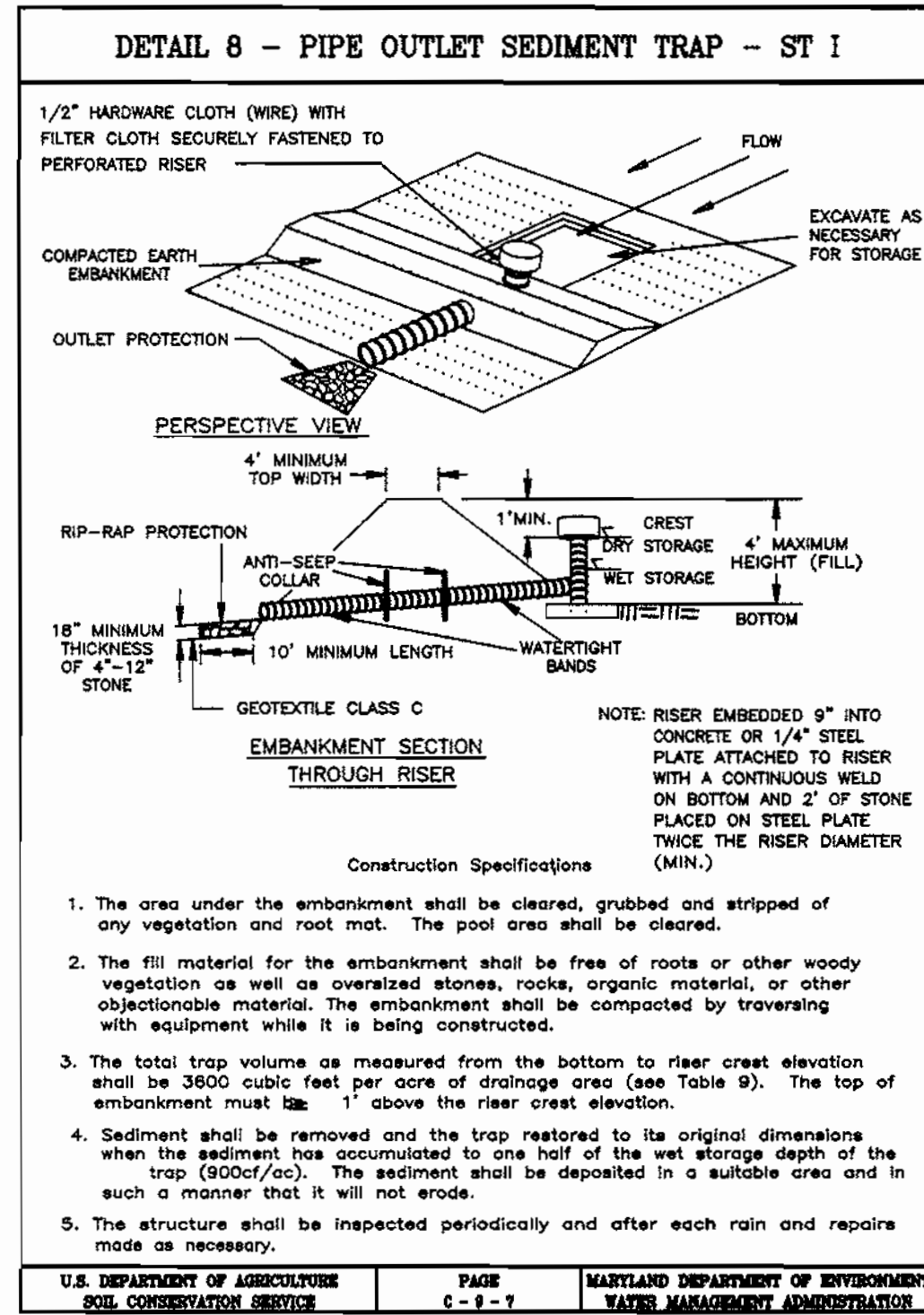
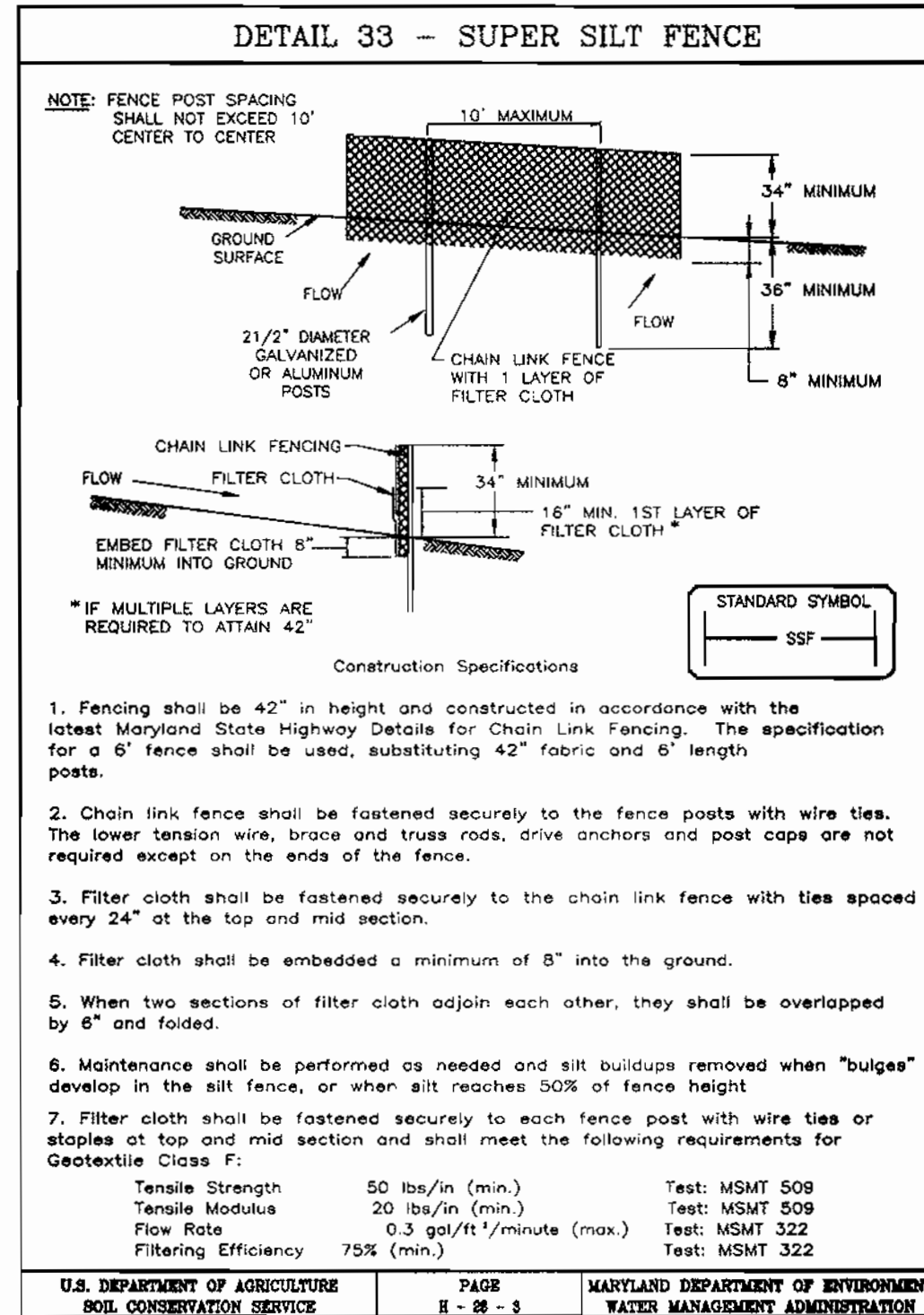
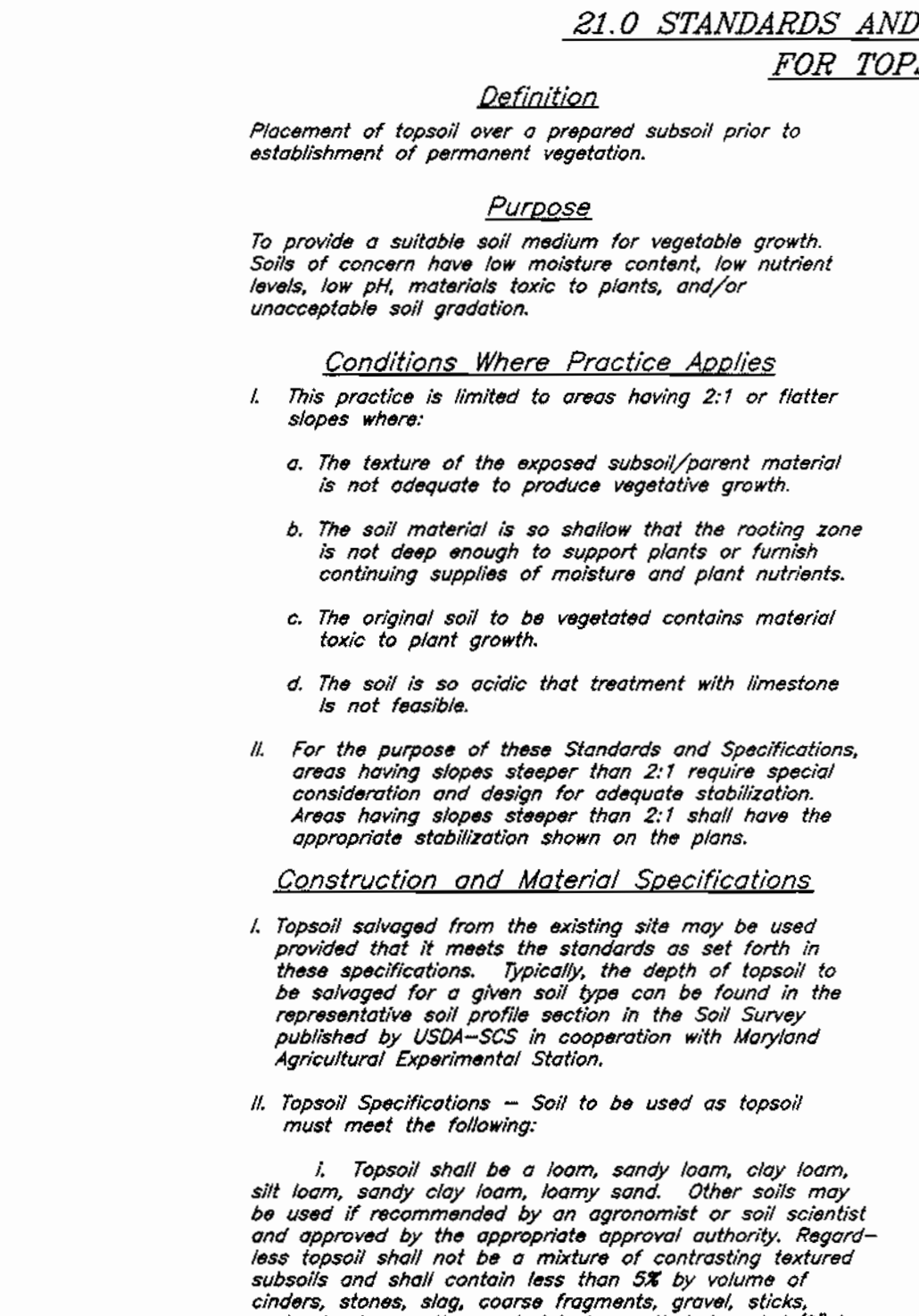
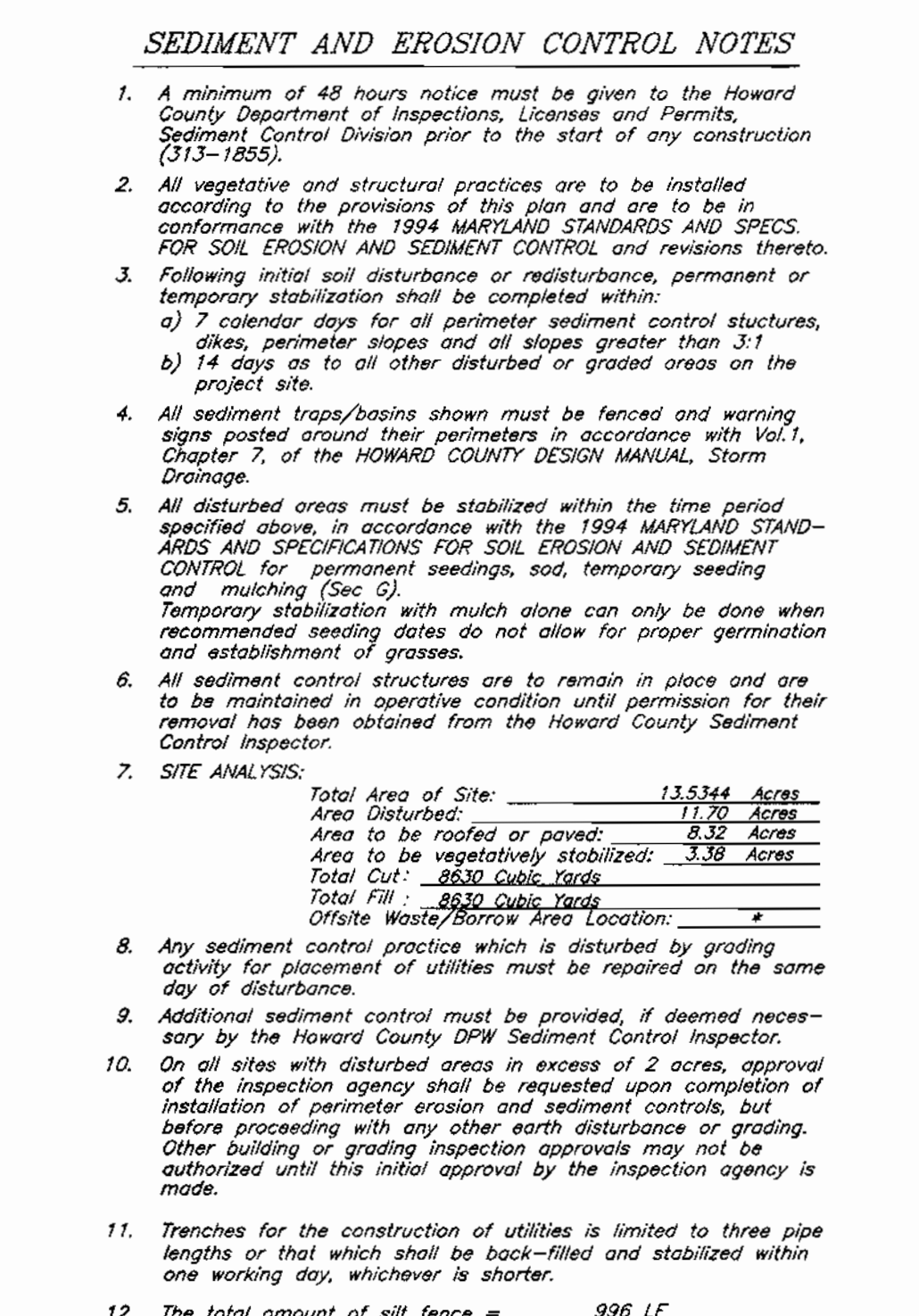
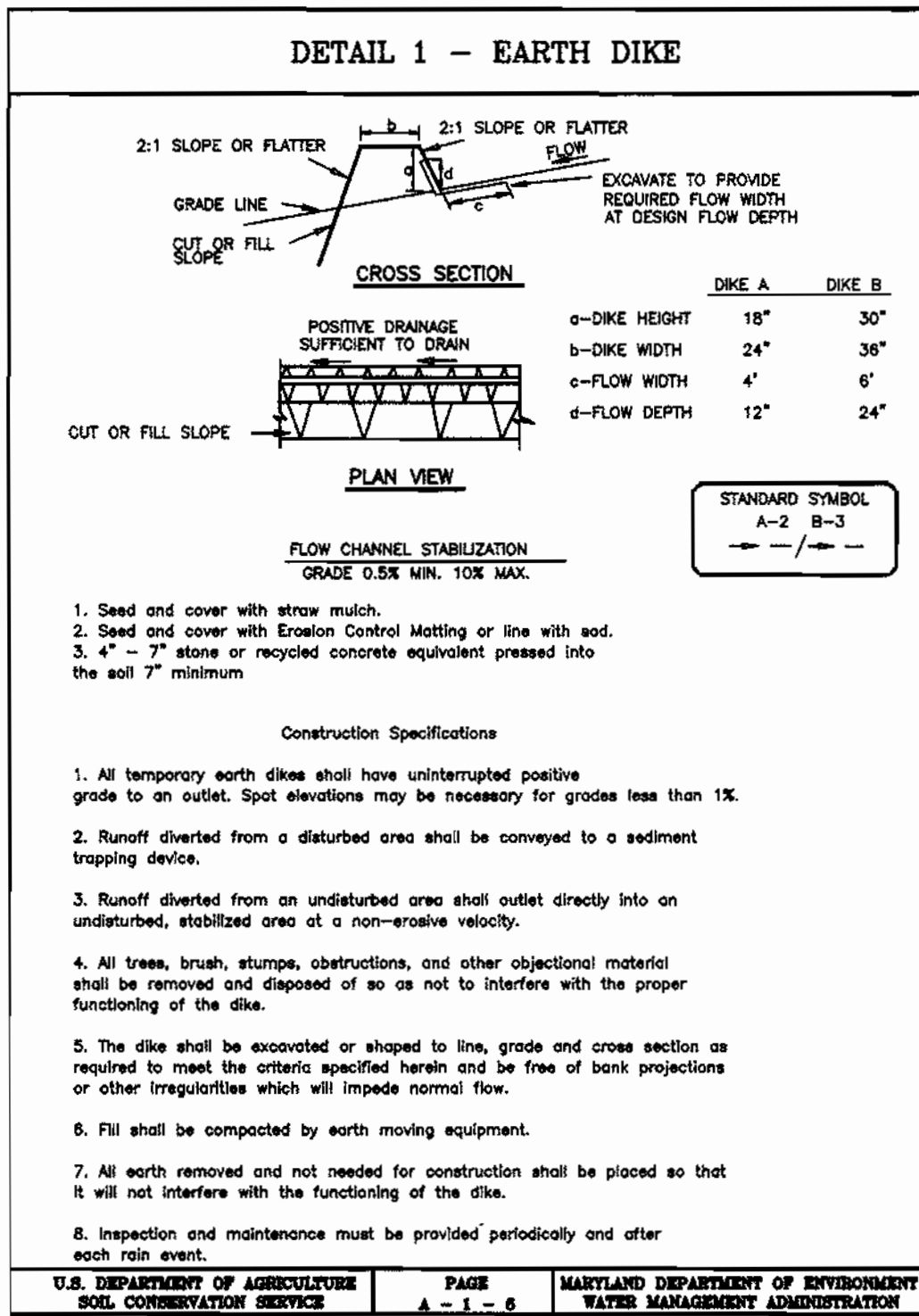
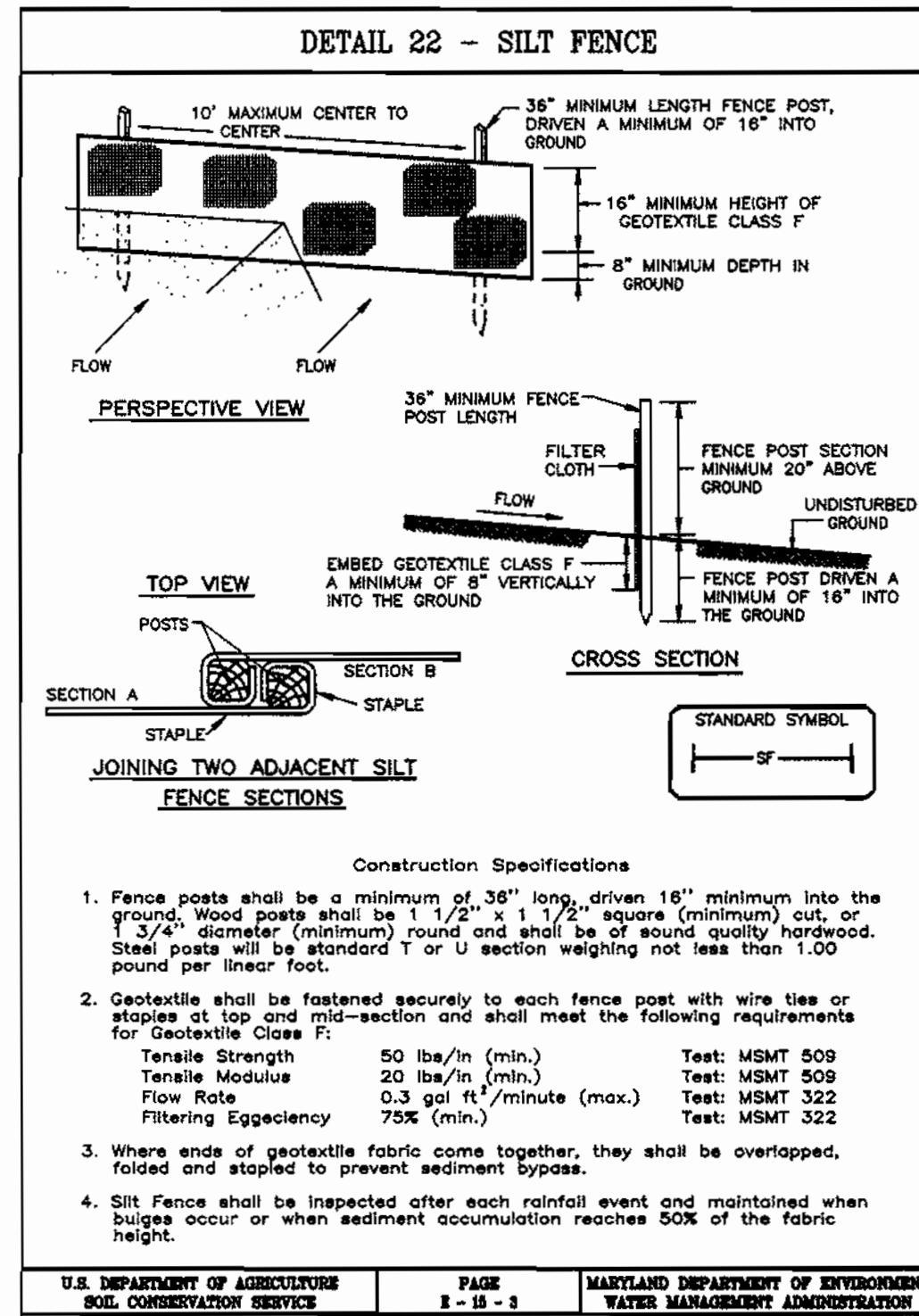
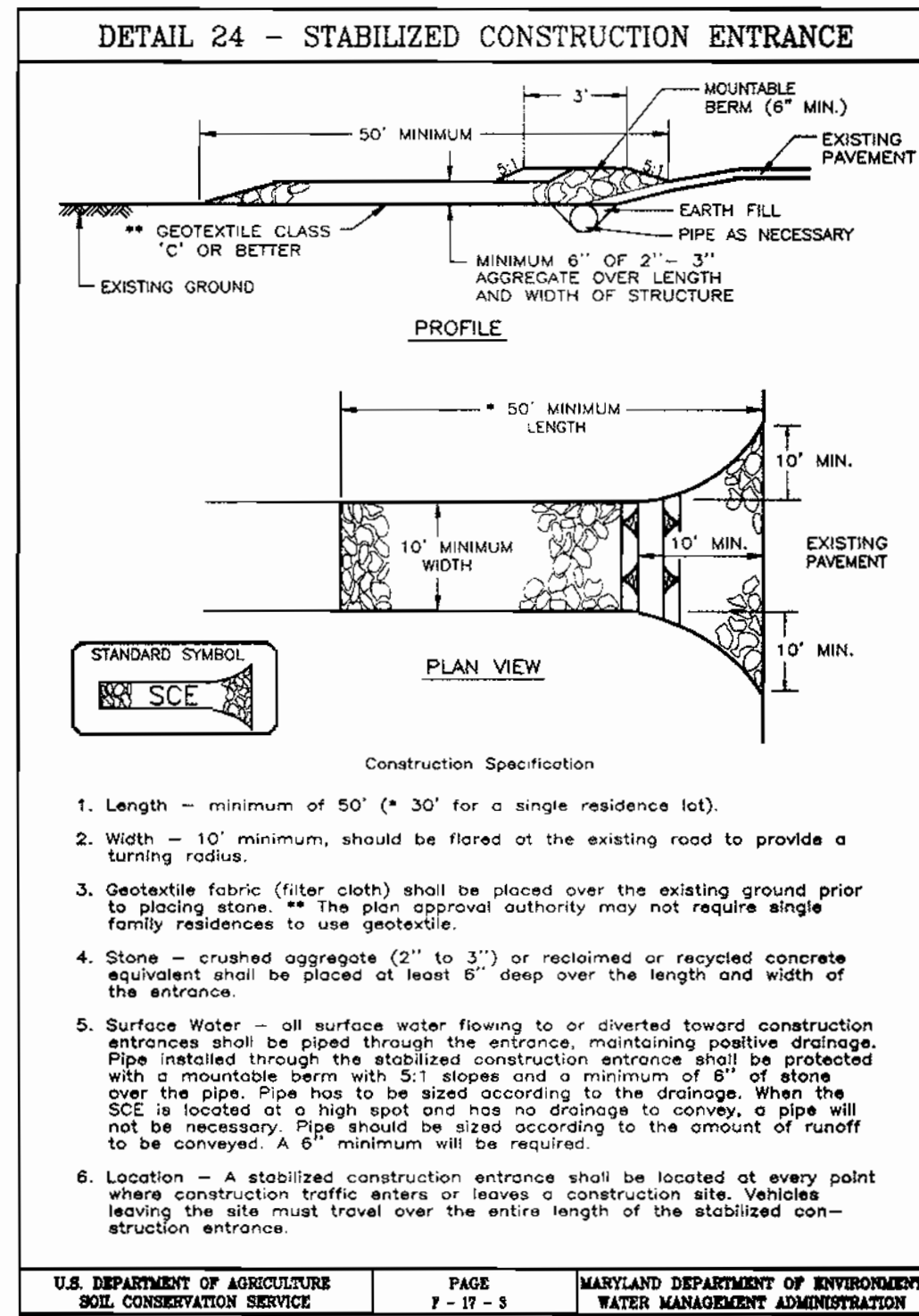
DEVELOPER'S/BUILDER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.
Dianna D... 11/1/20
NAME DATE

ENGINEER'S CERTIFICATE
I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
G. Nelson Clark 11-2-20
DATE

No.	REVISION	DATE
1	REVISED SITE ANALYSIS DATA CHART, ADDED OUTSIDE PLAY AREA AND DROP-OFF AREA.	5-31-23
2	Revised footprint, grading, delete guardrails, revise 3&E Controls	2-27-01
1	Reconfigures Parking	12-18-00

CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED	SCALE
TD	1" = 30'
DRAWN	DRAWING
TD/LAI	10 of 15
CHECKED	JOB NO.
TD	99-186
DATE	FILE NO.
11/1/00	99-186



CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED	TD	SEDIMENT AND EROSION CONTROL DETAILS	SCALE	AS SHOWN
DRAWN	TD/LAI	LYNDWOOD SQUARE	DRAWING	12 OF 15
CHECKED	TD	PARCEL B-2	JOB NO.	99-186
DATE	10/12/00	COMMERCIAL OFFICE BUILDINGS	FILE NO.	99-186

PLAT #12333 TAX MAP 37 GRID II

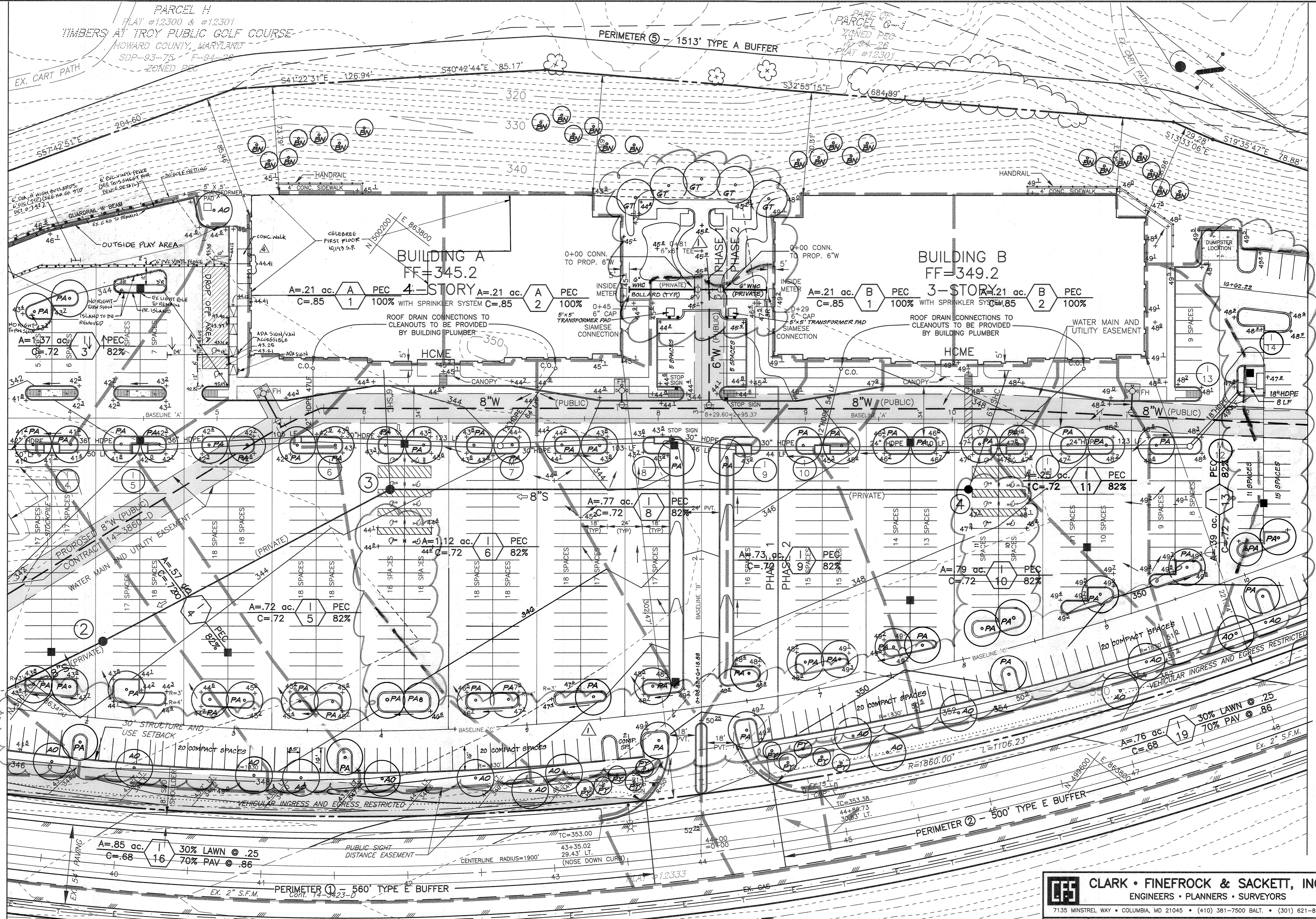
FIRST (1st) ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FOR: TRAMMELL CROWN NE, INC.
7315 WISCONSIN AVENUE, SUITE 300W
BETHESDA, MARYLAND 20814

(#10) C:\Drawing Files\99186\SeeDetail

PARCEL H
 PLAT #12300 & #12301
 TIMBERS AT TROY PUBLIC GOLF COURSE
 HOWARD COUNTY, MARYLAND
 SDP-83-75 F-94-28
 ZONED DC

PARCEL G-1
 ZONED DC
 PLAT #12301



MATCH LINE SEE SHEET 13

MATCH LINE SEE SHEET 15

NOTE:
 The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

REVISION #4 PREPARED BY:
 BLDG, INC. (5/15/22)

APPROVED: DEPARTMENT OF PLANNING & ZONING

Robert J. Sackett
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 11/15/22

Cindy Hamstra
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 11/21/22

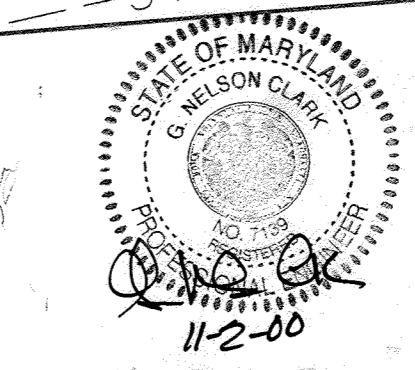
Joseph A. Smith
 DIRECTOR
 DATE: 11/29/22

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one-year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Reshawn O. Smith
 Name
 DATE: 11/1/22

1	REMOVED 3 TREES, ADDED OUTSIDE PLAY AREA AND DROP-OFF AREA	5-31-22
2	Reconfigure Parking and Landscape	12-18-20
No.	REVISION	DATE



CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS

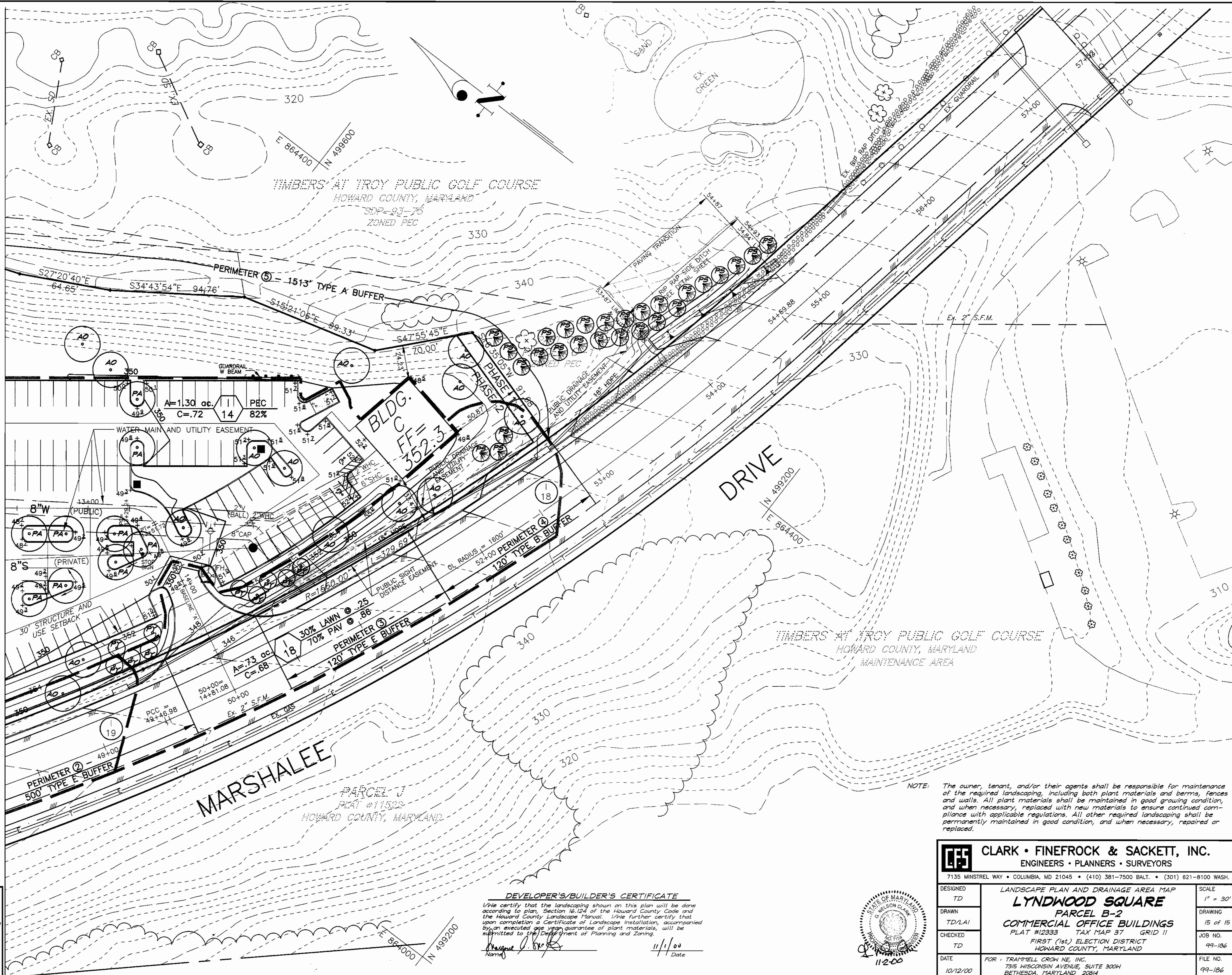
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED TD	LANDSCAPE PLAN AND DRAINAGE AREA MAP LYNDWOOD SQUARE PARCEL B-2 COMMERCIAL OFFICE BUILDINGS PLAT #12333 TAX MAP 37 GRID 11 FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN TD/LAI		DRAWING 14 OF 15
CHECKED TD		JOB NO. 99-186
DATE 11/1/22		FILE NO. 99-186
FOR: TRAMMELL CROW NE, INC. 7315 WISCONSIN AVENUE, SUITE 300W BETHESDA, MARYLAND 20814		

LEGEND

- +4.3^S SPOT ELEVATION
- DRAINAGE FLOW DIRECTION
- - -350- - - EXISTING CONTOUR
- 350— PROPOSED CONTOUR
- STORM DRAINAGE MANHOLE
- SANITARY SEWER MANHOLE
- 400W QV, 30'
- 400W VFT, 30'
- ⊙ 250 WATT 4PNS PENDANT, 30' BRONZE FIBERGLASS 12' ARM SIGN
- GUARDRAIL W BEAM
- HANDICAP RAMP LEADING TO DEPRESSED CURB
- HCME MAIN ENTRANCE TO BE USED BY HANDICAPPED PERSONS
- HANDRAIL

MATCH LINE SHEET 14



APPROVED: DEPARTMENT OF PLANNING & ZONING

[Signature] 11/15/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 11/21/00
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 11/29/00
 DIRECTOR DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

[Signature] 11/1/00
 Name Date

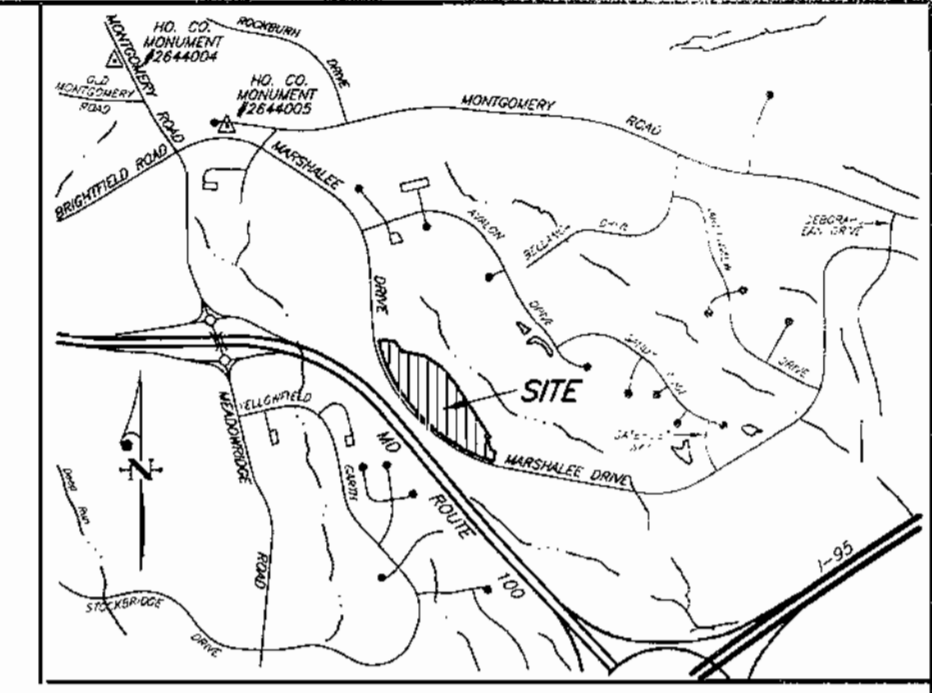
NOTE: The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED TD	LANDSCAPE PLAN AND DRAINAGE AREA MAP LYNDWOOD SQUARE PARCEL B-2 COMMERCIAL OFFICE BUILDINGS PLAT #12333 TAX MAP 37 GRID 11 FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN TD/LAI		DRAWING 15 of 15
CHECKED TD		JOB NO. 99-186
DATE 10/12/00	FOR: TRAMMELL CROWNE, INC. 7315 WISCONSIN AVENUE, SUITE 300H BETHESDA, MARYLAND 20814	FILE NO. 99-186

LYNDWOOD SQUARE PARCEL B-2 SITE DEVELOPMENT PLAN



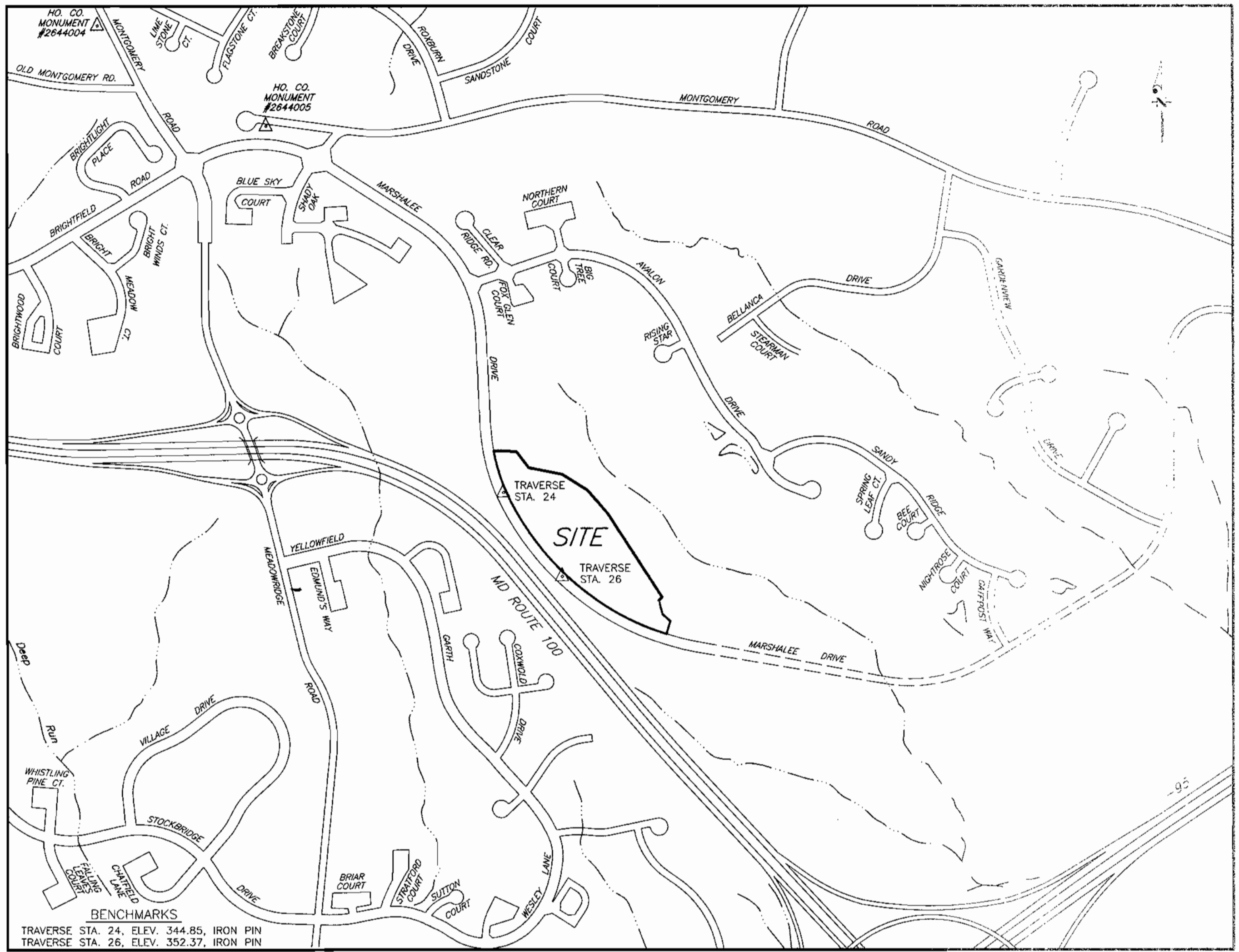
VICINITY MAP
Scale: 1" = 2000'

WATER & SEWER NOTES

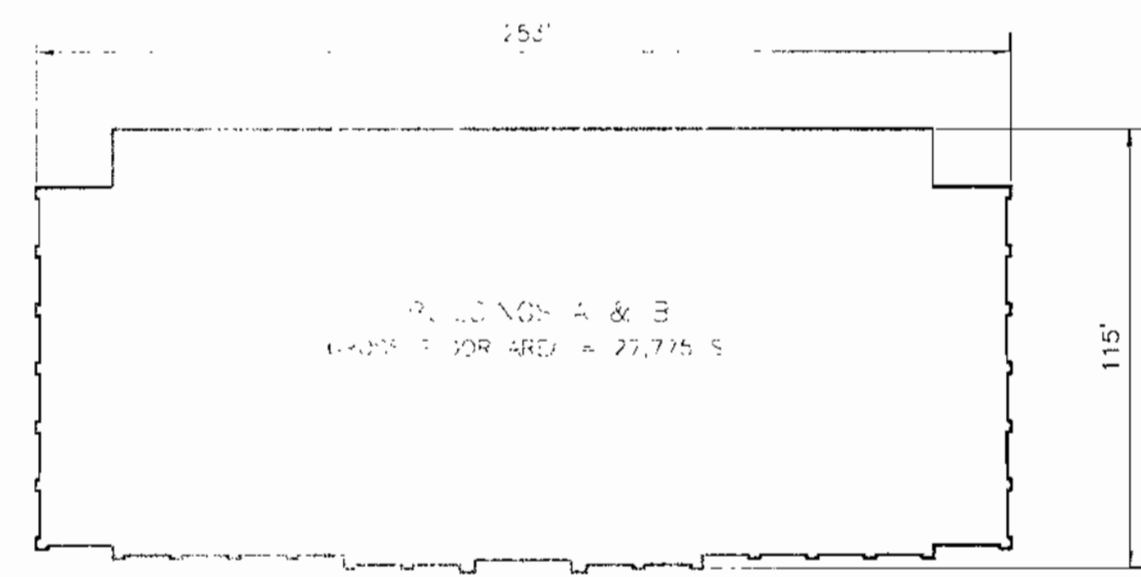
- All construction methods and materials for on-site water and sewer systems shall follow the current editions of the Howard County, Maryland Code, supplemented by the Howard County Standards Details and Specifications, where necessary.
- 4" and 6" sewer house connections shall be built to within 5' of the building at a slope of 2.00%.
- 6" and 8" water pipe shall meet the requirements of A.S.T.M. D 3034 "S" thickness classification SDR-35.
- Water meters shall be located near the building.
- Areas where water house connections shall be built shall be at a 2" grade and the water house connections shall be at a 2" to a maximum of 3.5" of cover. Water house connections for Buildings A & B shall be 4" Diameter. Connections for Class B2 shall be water house connection to Building C shall be 2" Diameter, Copper Type K.
- Water house connection shall be built to within 5' of the building.

Building	Water Connection	Water Connection	Water Connection
1	347.15	347.2	347.3
2	347.25	347.3	347.3

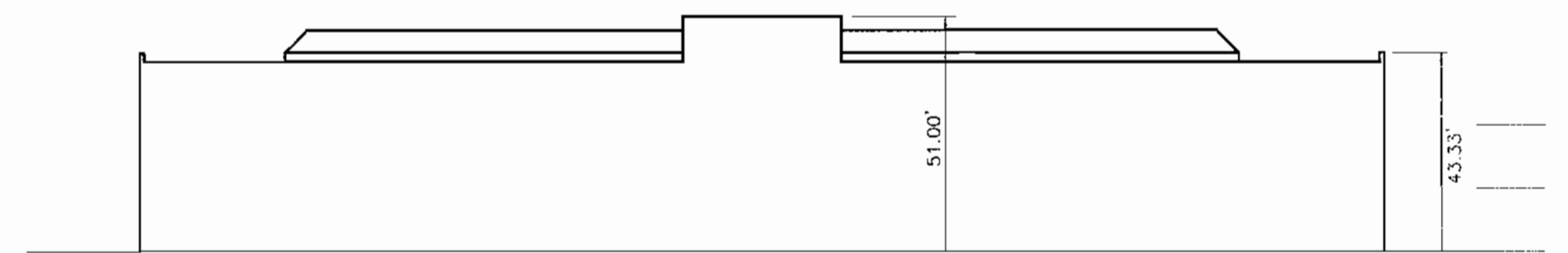
Building	Address
1	6095 MARSHALEE DRIVE
2	6095 MARSHALEE DRIVE



LOCATION MAP
Scale: 1" = 600'



BUILDING FOOTPRINTS
NOT TO SCALE



FRONT ELEVATION - BUILDINGS A & B - THREE STORY
SETBACK CALCULATION 1.00' X 2 + 30' = 32.00' SETBACK FROM PUBLIC STREET RIGHT OF WAY

SCHEMATIC PROFILES
NOT TO SCALE

SHEET	DESCRIPTION
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	SITE DEVELOPMENT PLAN
4	SITE DEVELOPMENT PLAN
5	PAVING DETAILS
6	SIGNAGE, LIGHTING, AND LANDSCAPE DETAILS
7	STORM DRAIN PROFILES
8	PRIVATE WATER AND SEWER PROFILES
9	SEDIMENT AND EROSION CONTROL PLAN
10	SEDIMENT AND EROSION CONTROL PLAN
11	SEDIMENT AND EROSION CONTROL PLAN
12	SEDIMENT AND EROSION CONTROL DETAILS
13	LANDSCAPE PLAN AND DRAINAGE AREA MAP
14	LANDSCAPE PLAN AND DRAINAGE AREA MAP
15	LANDSCAPE PLAN AND DRAINAGE AREA MAP

SITE ANALYSIS DATA CHART

- Total Project Area: 13.3754 acres or 582,632 square feet
 - Area of Plan Submission: 13.3754 acres
 - Limit of Disturbed Area: 11.10 acres
 - Present Zoning: PEG
 - Proposed Uses for Site and Structures: Office and Parking
 - Gross Floor Area on each level of each Building: Buildings A & B: 27,775 166,650 Total Gross 100% Office
 - Total Gross Square Footage: 169,150 Square Feet
 - Maximum number of Employees = 550
 - Required Parking: 250 @ 3.31/1000 SF
 - Provided Parking: 792 spaces, including 18 handicap spaces
 - Open Space for this project was provided as part of F-94-26 Green Space on site = 5.4669 acres or 40.00%
 - Building Coverage of Site: 1.2753 acres, 9.53% of gross area
 - DPZ File References: P-93-11, F-94-26, SDP-98-08, F-96-115, F-01-046
- PHASE ONE -
BUILDING A 83,325 S.F. GROSS FLOOR AREA 100% OFFICE
469 PARKING SPACES INCLUDING 10 HANDICAP
- PHASE TWO -
BUILDING B 83,325 S.F. GROSS FLOOR AREA 100% OFFICE
323 PARKING SPACES INCLUDING 8 HANDICAP

TOTAL (Both Phases) 169,150 SQUARE FEET
TOTAL (Both Phases) 792 PARKING SPACES INCLUDING 190 COMPACT SPACES

SUBDIVISION NAME		SECTION/AREA	LOTS/PARCELS	
LYNDWOOD SQUARE			PARCEL B-2	
PLAT NO.	GRID NO.	ZONING	TAX MAP NO.	ELECTION DIST. CENSUS TRACT
14469	11	PEC	37	1ST 601.02
WATER CODE		SEWER CODE		
004		2153000		
CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS				
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8700 WASH.				
DESIGNED	COVER SHEET			SCALE
TD	LYNDWOOD SQUARE			AS SHOWN
DRAWN	PARCEL B-2			DRAWING
TD/LAI	COMMERCIAL OFFICE BUILDINGS			1 of 15
CHECKED	PLAT #12333 TAX MAP 37 GRID 11			JOB NO.
TD	FIRST (1st) ELECTION DISTRICT			99-186
DATE	HOWARD COUNTY, MARYLAND			FILE NO.
11/15/00	FOR: TRIMMELL CROWN INC.			99-186 X
	7315 WISCONSIN AVENUE, SUITE 300W			
	BETHESDA, MARYLAND 20814			

APPROVED: *[Signature]* 11/15/00
CHIEF DEVELOPER

[Signature] 11/21/00
CHIEF DIVISION

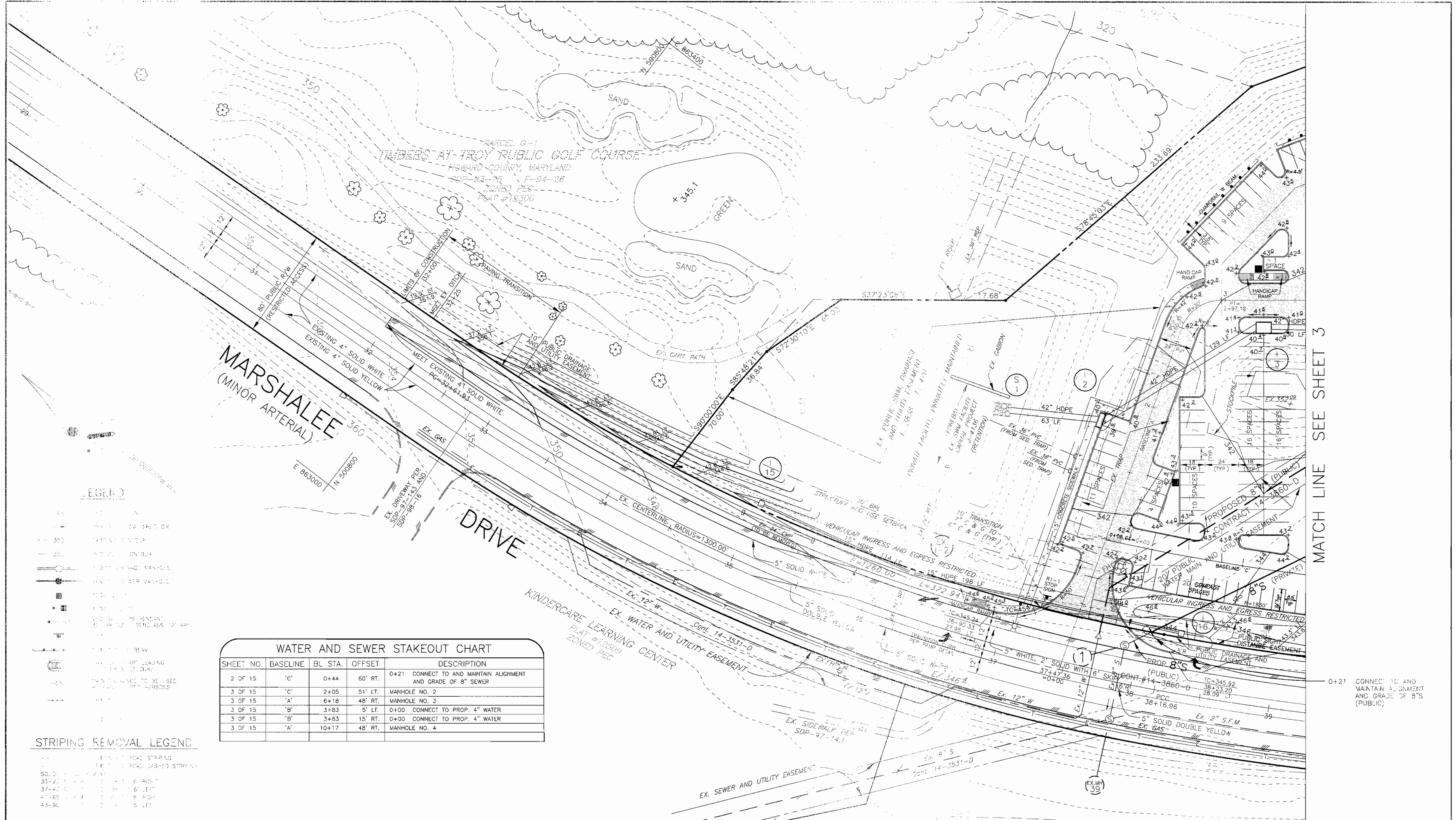
[Signature] 11/29/00
DIRECTOR

ENGINEER/SURVEYOR
CLARK, FINEFROCK & SACKETT, INC.
7135 MINSTREL WAY, SUITE 201
COLUMBIA, MARYLAND 21045
PHONE: 410-381-7500

NO	REVISION	DATE
1	Revised parking data, building area, deleted building C	12-18-00



OWNER
100 INVESTMENT LIMITED PARTNERSHIP
9030 RED BRANCH ROAD, SUITE 200
COLUMBIA, MARYLAND 21045
PHONE: 410-997-7222



MARSHALEE
(MINOR ARTERIAL)

DRIVE

WATER AND SEWER STAKEOUT CHART				
SHEET NO.	BASELINE	BL STA.	OFFSET	DESCRIPTION
2 OF 15	'C'	0+44	60' RT.	0+21 CONNECT TO AND MAINTAIN ALIGNMENT AND GRADE OF 8" SEWER
3 OF 15	'C'	2+05	51' LT.	MANHOLE NO. 2
3 OF 15	'A'	6+18	48' RT.	MANHOLE NO. 3
3 OF 15	'B'	3+83	5' LT.	0+00 CONNECT TO PROP. 4" WATER
3 OF 15	'B'	3+83	15' RT.	0+00 CONNECT TO PROP. 4" WATER
3 OF 15	'A'	10+17	48' RT.	MANHOLE NO. 4

- LEGEND**
- 4" SOLID WHITE
 - 4" SOLID YELLOW
 - 10" HDPE
 - 15" HDPE
 - 20" HDPE
 - 30" HDPE
 - 42" HDPE
 - 60" HDPE
 - 8" SOLID WHITE
 - 8" SOLID YELLOW
 - 12" W
 - 18" W
 - 24" W
 - 30" W
 - 36" W
 - 42" W
 - 48" W
 - 54" W
 - 60" W
 - 66" W
 - 72" W
 - 78" W
 - 84" W
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 - 96" W
 - 102" W
 - 108" W
 - 114" W
 - 120" W
 - 126" W
 - 132" W
 - 138" W
 - 144" W
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 - 624" W
 - 630" W
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 - 678" W
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 - 708" W
 - 714" W
 - 720" W
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- STRIPING REMOVAL LEGEND**
- 2" SOLID WHITE
 - 4" SOLID WHITE
 - 6" SOLID WHITE
 - 8" SOLID WHITE
 - 10" SOLID WHITE
 - 12" SOLID WHITE
 - 14" SOLID WHITE
 - 16" SOLID WHITE
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 - 296" SOLID WHITE
 - 298" SOLID WHITE
 - 300" SOLID WHITE

APPROVED: *Abdul Qadir* 11/15/00
 CHIEF, DESIGN & ZONING
Cathy Hamilton 11/15/00
 CHIEF, DESIGN & ZONING
Joseph R. Korte 11/23/00
 DIRECTOR

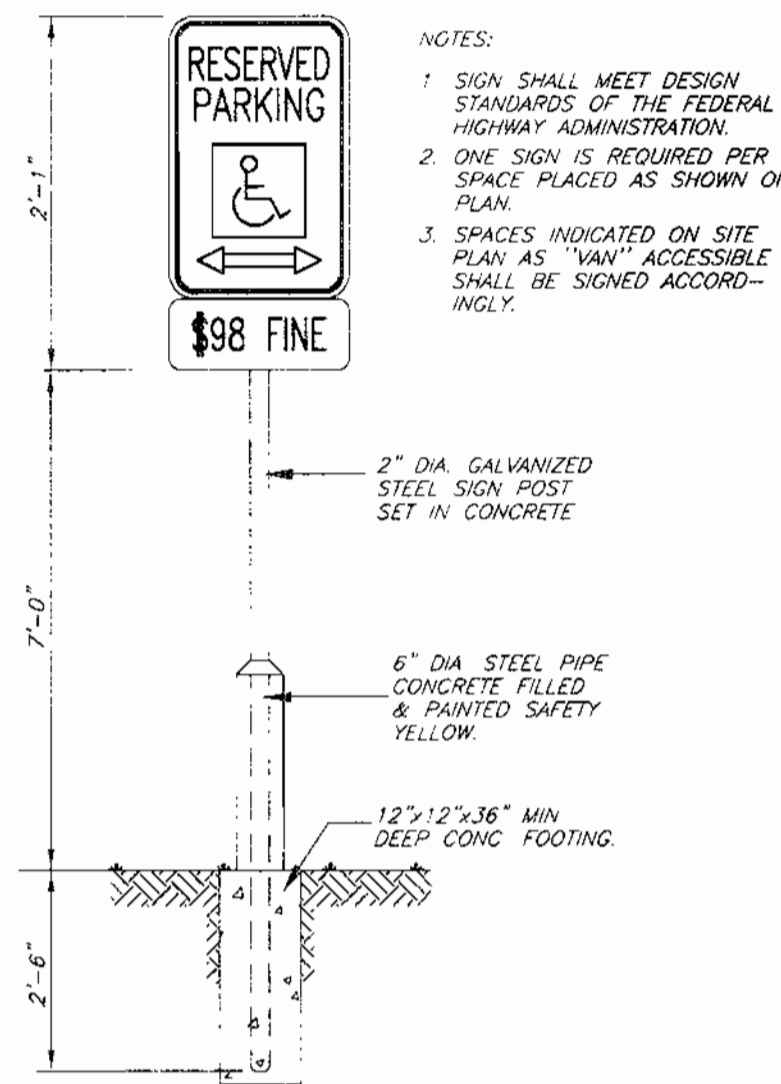
1. Added compact spaces, deleted San. MH5 dots
 REVISION DATE 12-10-00



CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINISTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

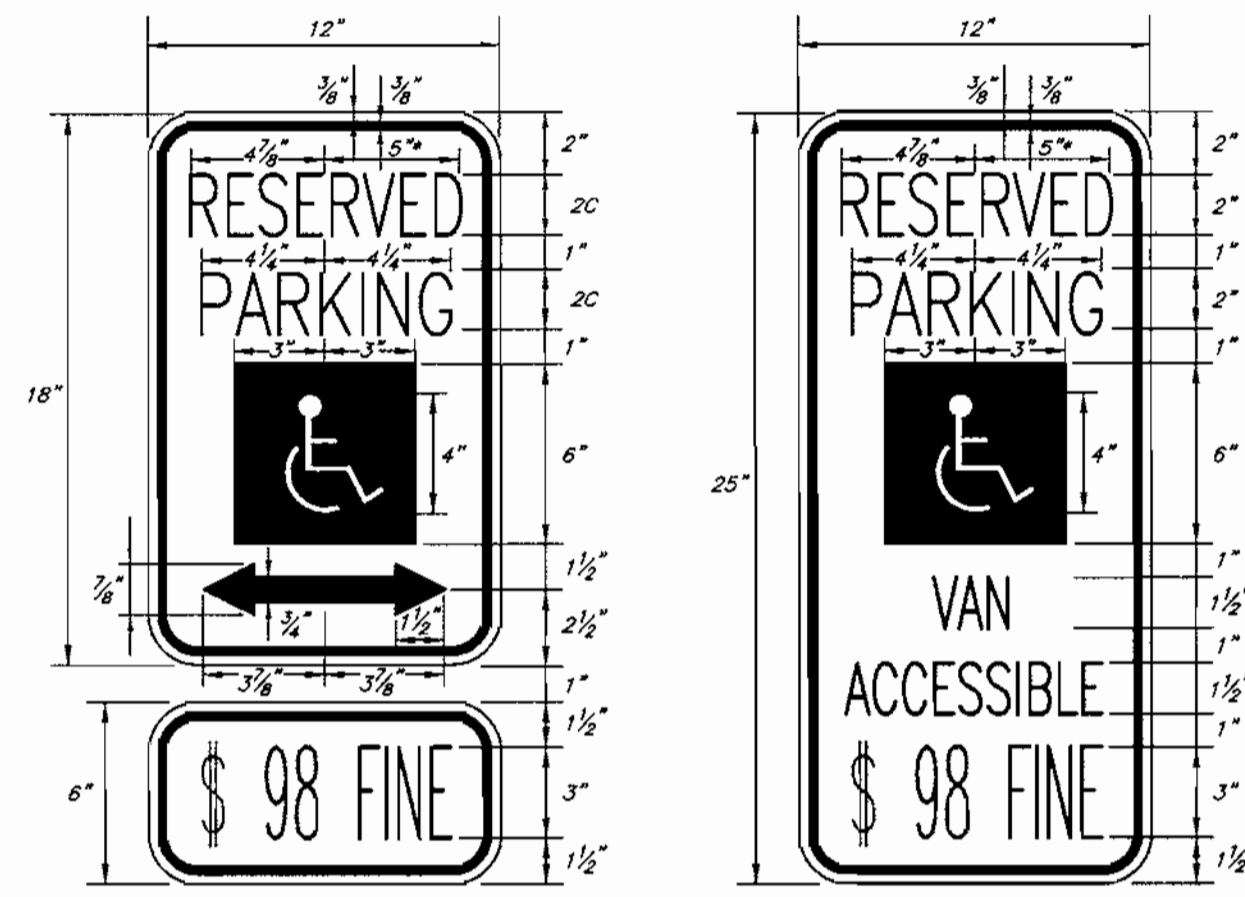
DESIGNED TD	SITE DEVELOPMENT PLAN LYNDWOOD SQUARE PARCEL B-2 COMMERCIAL OFFICE BUILDINGS PLAT #12333 TAX MAP 37 GRID 11 FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN TD/LAI		DRAWING 2 OF 15
CHECKED TD		JOB NO. 99-186
DATE 11/2/00		FILE NO. 99-186
FOR: TRAMMELL CROWNE, INC. 7315 WISCONSIN AVENUE, SUITE 300W BETHESDA, MARYLAND 20814		

MATCH LINE SEE SHEET 3



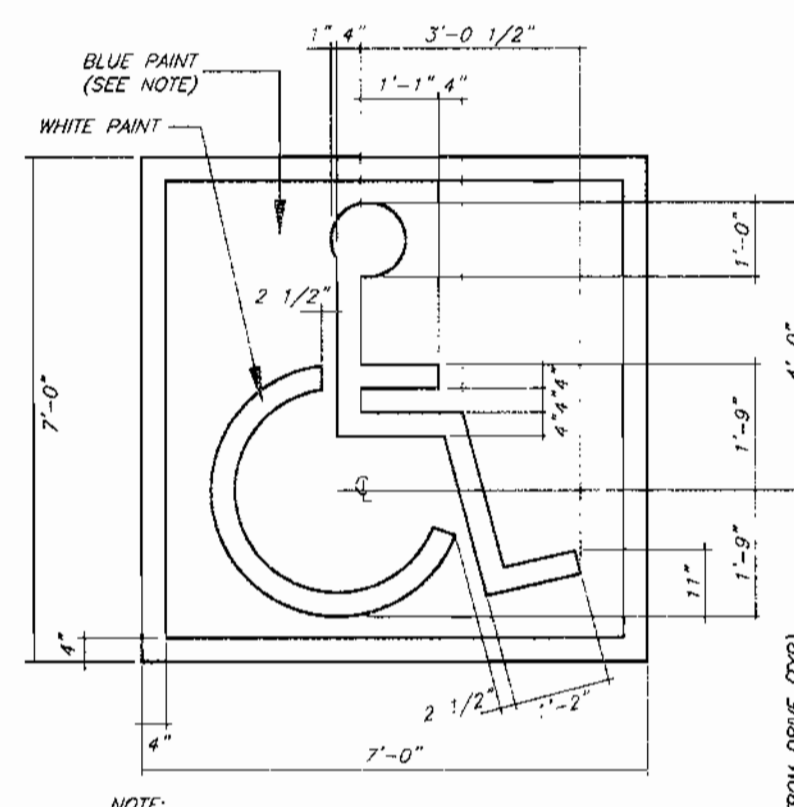
HANDICAP PARKING SIGN DETAIL

NO SCALE



HANDICAP PARKING RESTRICTION SIGN DETAIL

NO SCALE

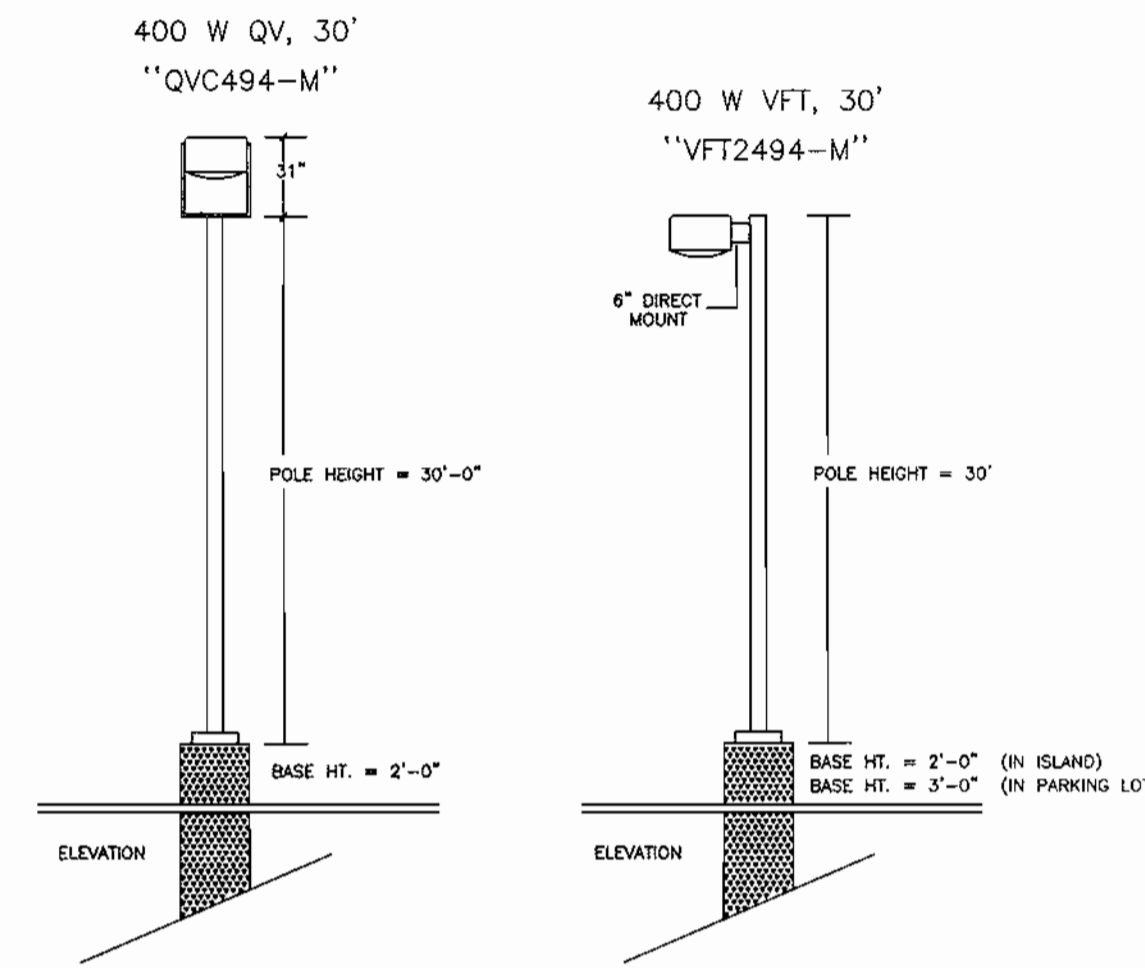


PAINTED SYMBOL

NO SCALE

COLORS:
LEGEND AND BORDER: GREEN
SYMBOL WHITE ON BLUE BACKGROUND
BACKGROUND: WHITE

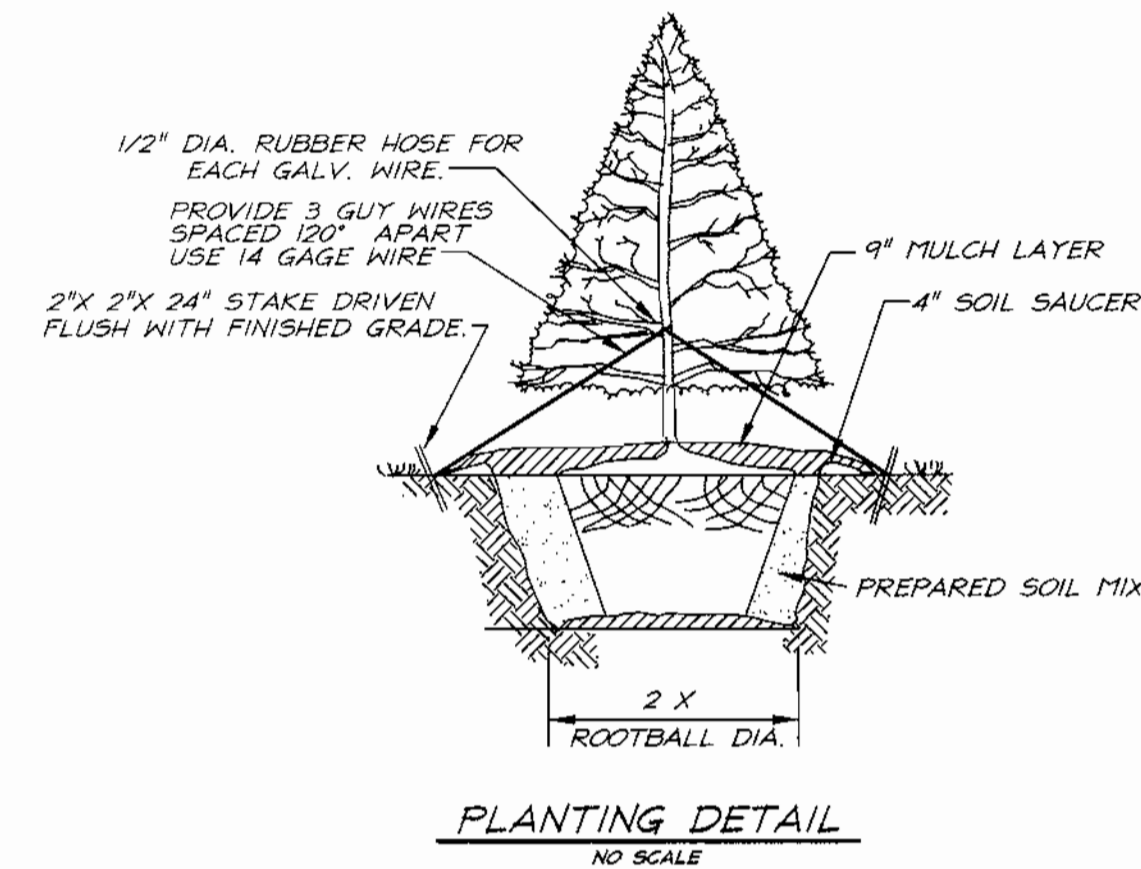
DETAILS TO CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL R7-8



LIGHT DETAILS

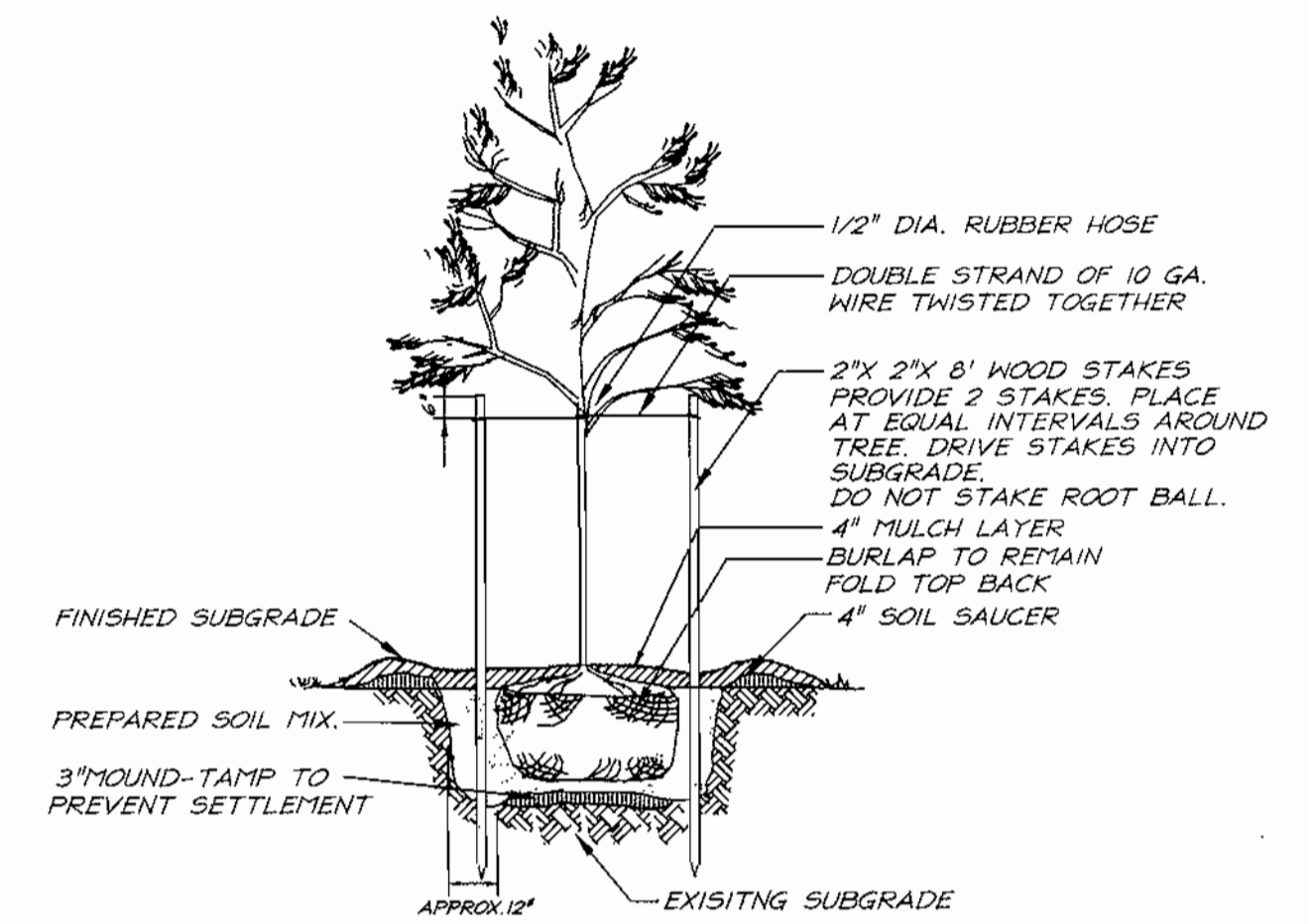
NO SCALE

NOTE: LIGHTING TO BE FULL CUT-OFF



PLANTING DETAIL

NO SCALE



PLANTING DETAIL

NO SCALE

TYPICAL STRIPING DETAILS FOR PARKING, HANDICAP SPACES AND CROSSWALKS

NO SCALE

PLANT SCHEDULE				
SHADE TREES				
KEY	QUAN.	PLANT NAME	SIZE	REMARKS
AO	34	ACER RUBRUM 'OCTOBER GLORY' October Glory Red Maple	2 1/2" - 3" CAL. 12' - 14' Ht.	B # B Heavy
PA	84	PLATANUS ACERIFOLIA 'BLOODGOOD' Bloodgood London Plane Tree	2 1/2" - 3" CAL. 12' - 14' Ht.	B # B Heavy
GT	5	GLEDITSIA TRIACANTHOS I. SHADEMASTER Shademaster Honeylocust	2 1/2" - 3" CAL. 12' - 14' Ht.	B # B Heavy
FLOWERING/INTERMEDIATE SCALE TREES				
KEY	QUAN.	PLANT NAME	SIZE	REMARKS
BN	25	BETULA NIGRA 'HERITAGE' Heritage River Birch	2" - 2 1/2" CAL. 8' - 10' Ht.	B # B Heavy
PY	30	PRUNUS X YEDOENSIS Yoshino Cherry	2" - 2 1/2" CAL. 8' - 10' Ht.	B # B Heavy
EVERGREEN TREES				
KEY	QUAN.	PLANT NAME	SIZE	REMARKS
PS	64	PINUS STROBUS Eastern White Pine	6' - 8' Ht.	B # B Heavy

NOTES:

- All plant materials shall be full and heavy, be well formed and symmetrical, conform to A.A.N. specifications and be installed in accordance with L.C.A.M.W. landscape specifications.
- Call "MISS UTILITY" at 1-800-257-7777 for utility locations at least 48 hours before beginning construction.
- All exterior lighting shall comply with Zoning Regulations Section 134.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.
- Financial surety for the required landscaping has been posted as part of the DPW Developer's Agreement in the amount of \$39,000.00.
- The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
- All Pinus Strobus, Eastern White Pine trees, must be planted during the fall planting season in accordance with the Landscape Contractors Association Specifications Guidelines. All Pinus Strobus, Eastern White Pine trees, must be naturally grown, not sheared.

SCHEDULE A - PERIMETER LANDSCAPE EDGE

Category	Adjacent to						Total Tree Units
	Roadways	1	2	3	4	5	
Perimeter Number							
Landscape Type	E	E	E	B	A	A	
Linear Feet of Frontage							
Roadway Frontage	560	500	120	120	1513	355	
Perimeter Properties							
Credit							
For Existing Vegetation							
For Berms (LF)	560	500	120				
Number of Plants Required							
Shade Trees	14	13	3	2	25	6	60
Evergreen Trees				3			
Shrubs	140	125	30				
Number of Plants Provided							
Shade Trees	9	8	1	2	12	4	36
Evergreen trees							
Flowering Trees (1 Credit for 2 Trees)	10	10	5		30	5	60 for 30
Shrubs	*	*	*				

* Credit By Berms

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING

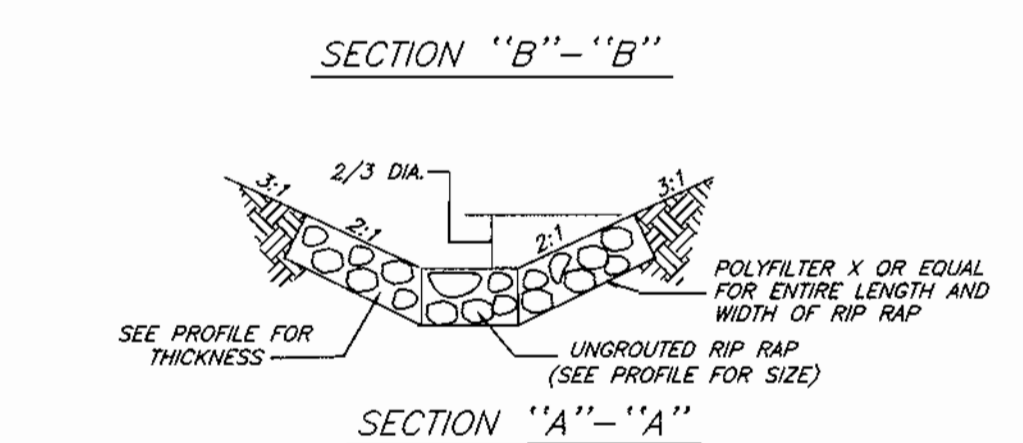
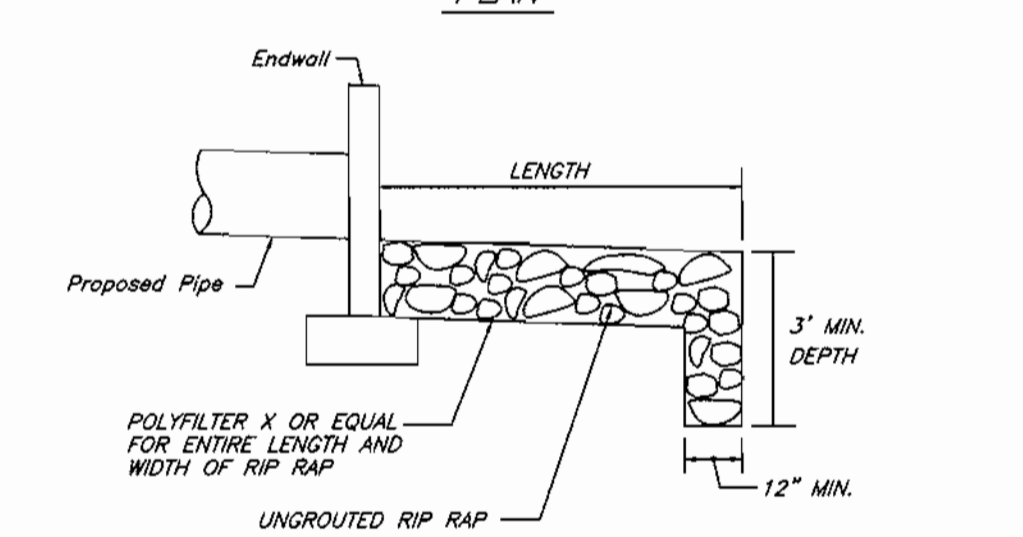
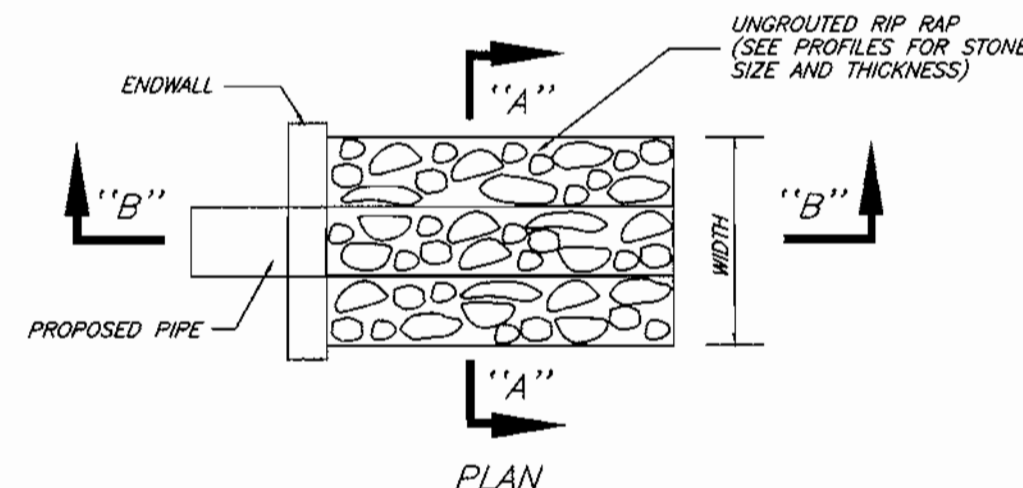
NUMBER OF PARKING SPACES	792
NUMBER OF TREES PROVIDED	40
NUMBER OF TREES PROVIDED	87

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

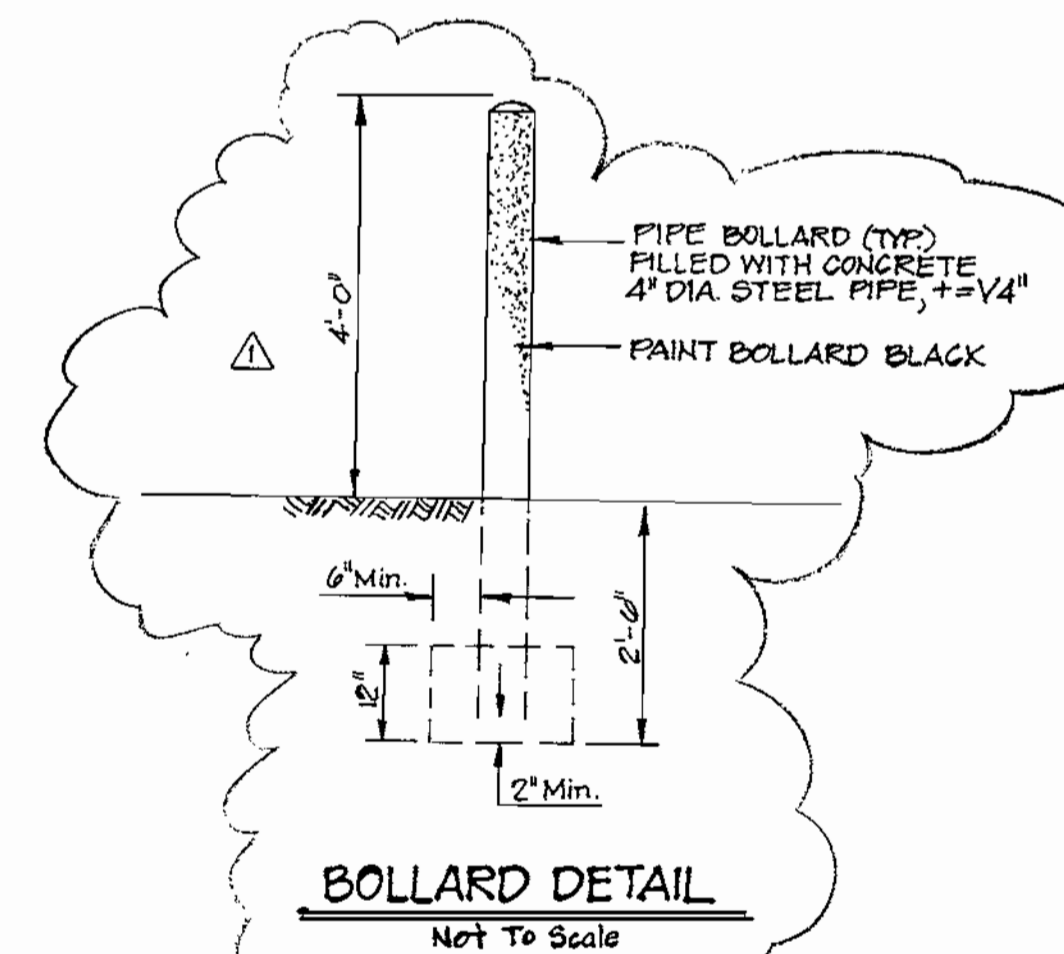
Signature *Date* 11/1/00

RIP RAP TABLE		
STRUCTURE	WIDTH	LENGTH
S-1	9'	12'
S-17	18'	10'



UNGROUTED RIP RAP DETAIL

NO SCALE



BOLLARD DETAIL

Not To Scale

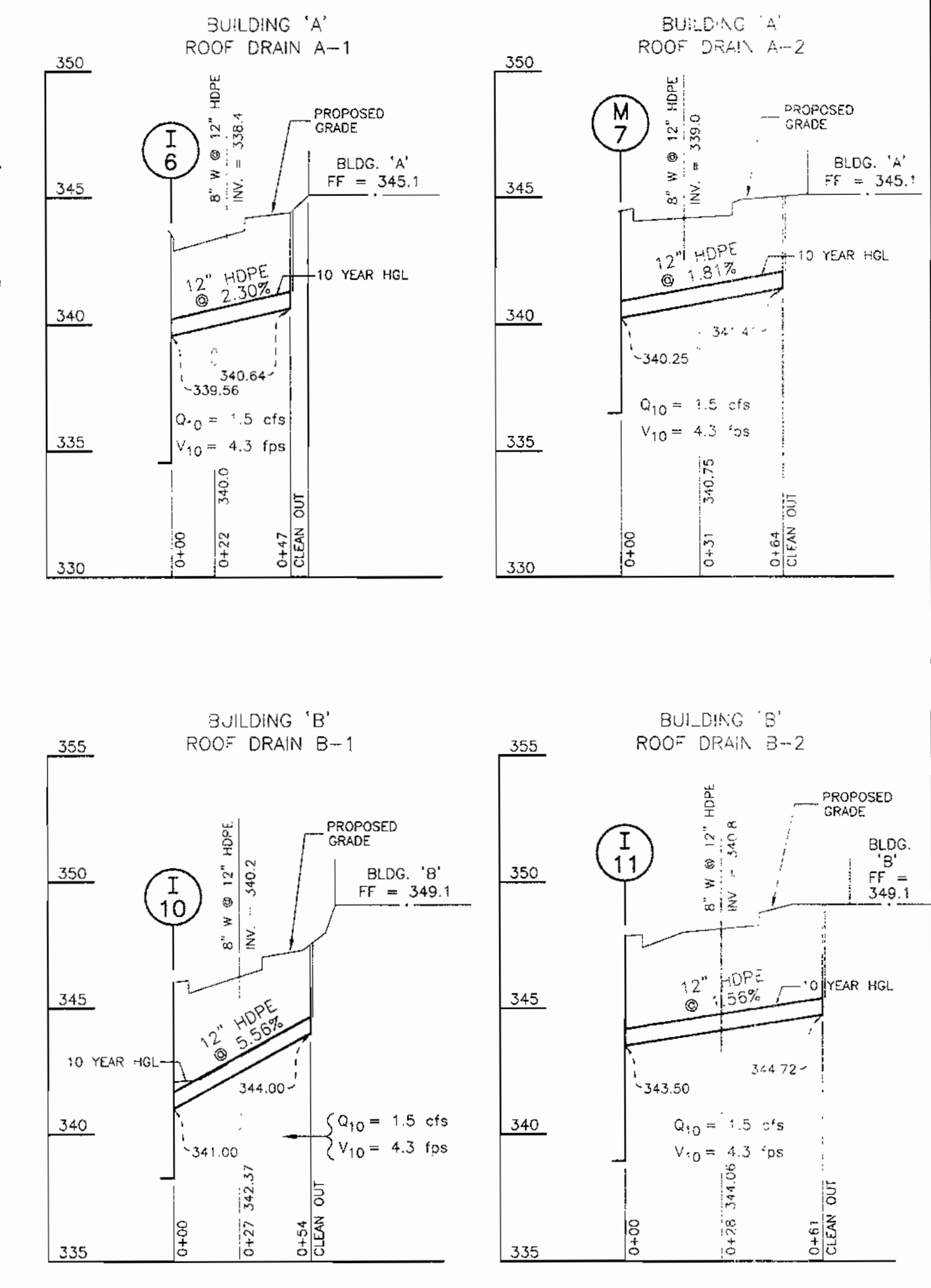
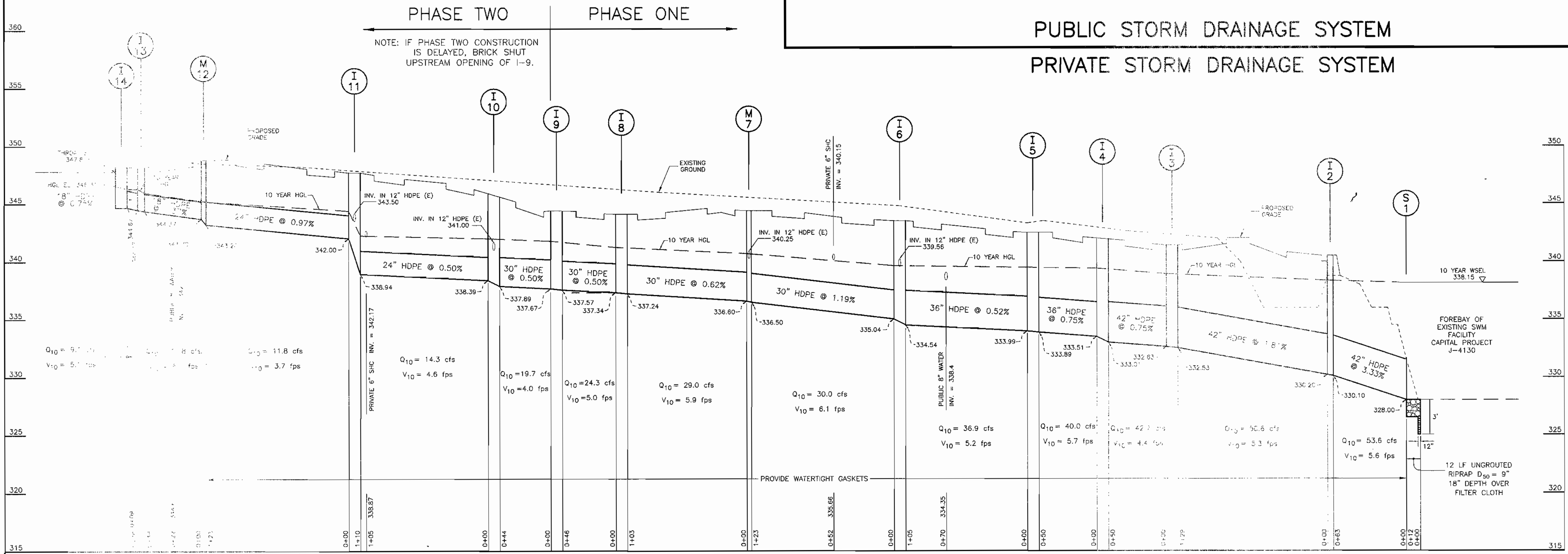
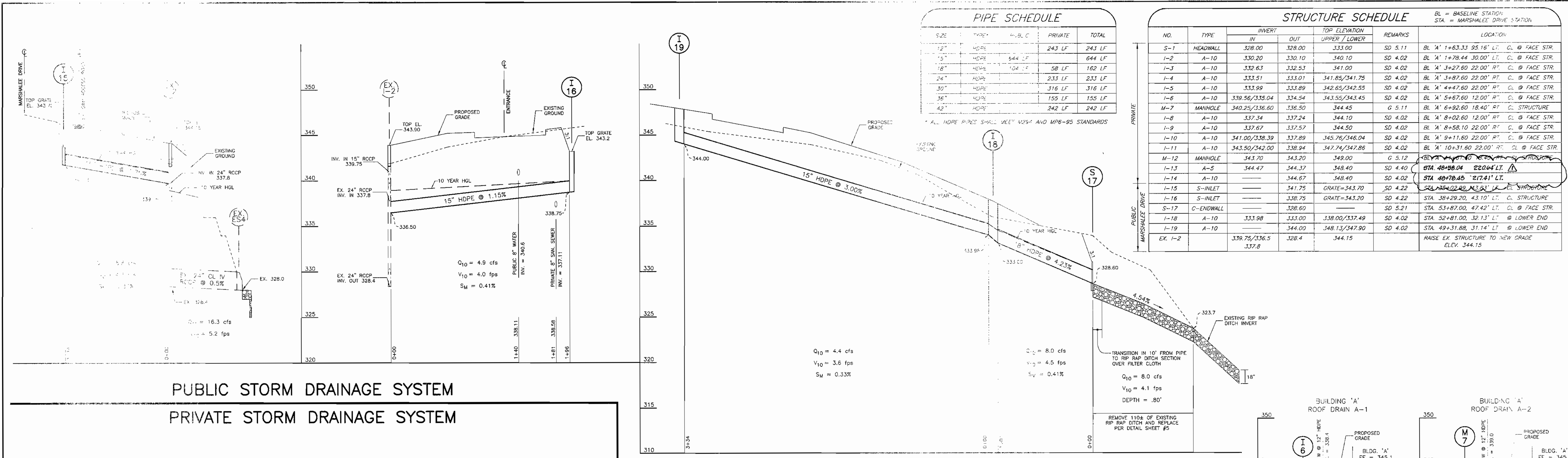
APPROVED: DEPARTMENT OF PLANNING & ZONING

Signature 11/15/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Signature 11/21/00
CHIEF, DIVISION OF LAND DEVELOPMENT
Signature 11/23/00
DIRECTOR

REVISIONS	DATE
Added bollard detail, deleted building C detail	12-18-00



CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS		
7135 MISTRELL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.		
DESIGNED TD	SIGNAGE, LIGHTING AND LANDSCAPE DETAILS	SCALE AS SHOWN
DRAWN TD/LAI	LYNDWOOD SQUARE	DRAWING 6 of 15
CHECKED TD	PARCEL B-2 COMMERCIAL OFFICE BUILDINGS PLAT #12933 TAX MAP 37 GRID 11	JOB NO. 99-186
DATE 10/12/00	FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	FILE NO. 99-186
	FOR: TRAMMELL CROWNE, INC. 7315 WISCONSIN AVENUE, SUITE 300W BETHESDA, MARYLAND 20814	



PROFILE SCALES: HORIZ.: 1" = 50'
VERT.: 1" = 5'

NOTE: SEE SHEET 6 OF 15 FOR RIP RAP DETAIL.

APPROVED: [Signature] 11/15/00
CHIEF, DEVELOPMENT ENGINEERING & DESIGN

[Signature] 11/14/00
CHIEF, DIVISION OF PUBLIC WORKS

[Signature] 11/29/00
DIRECTOR

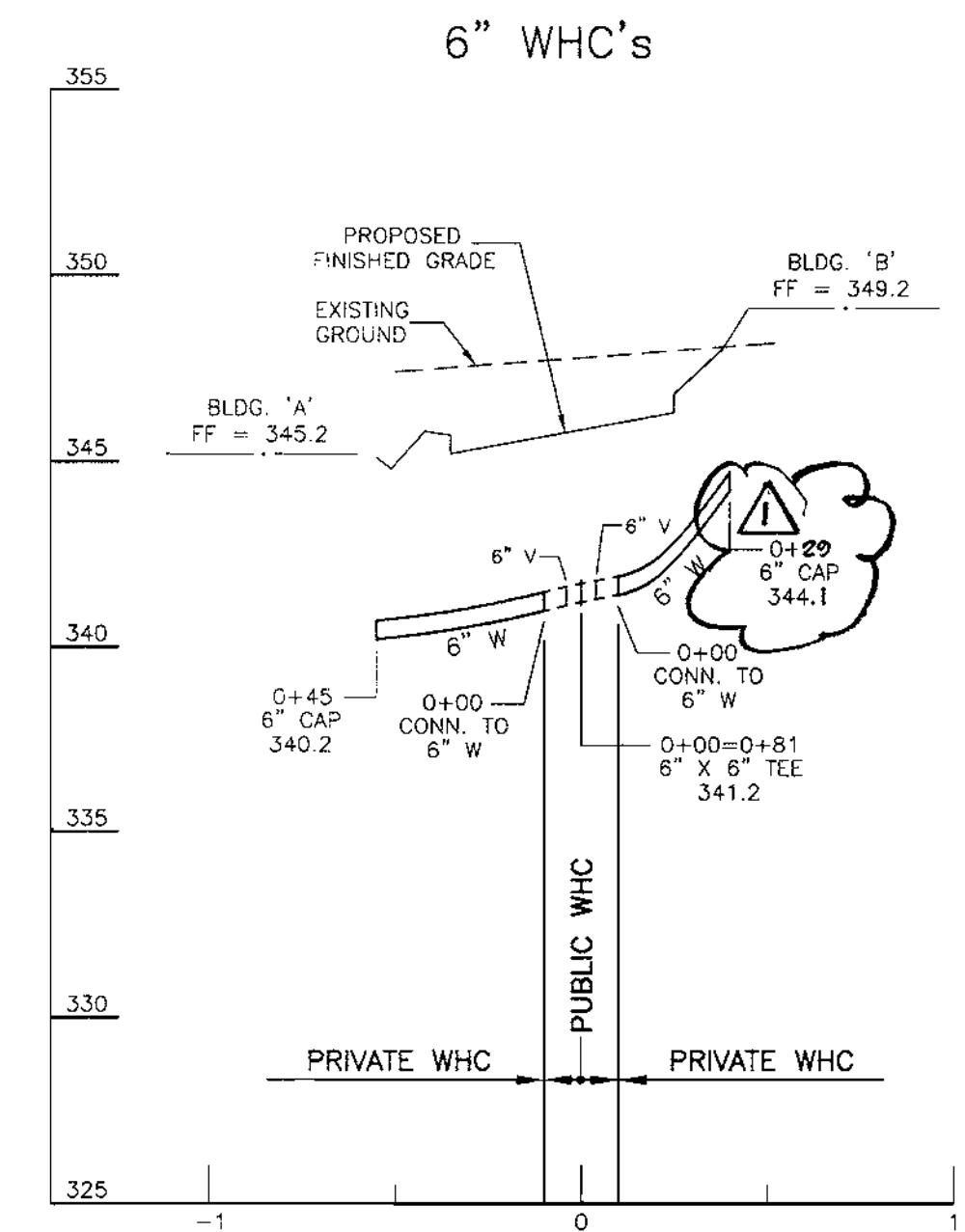
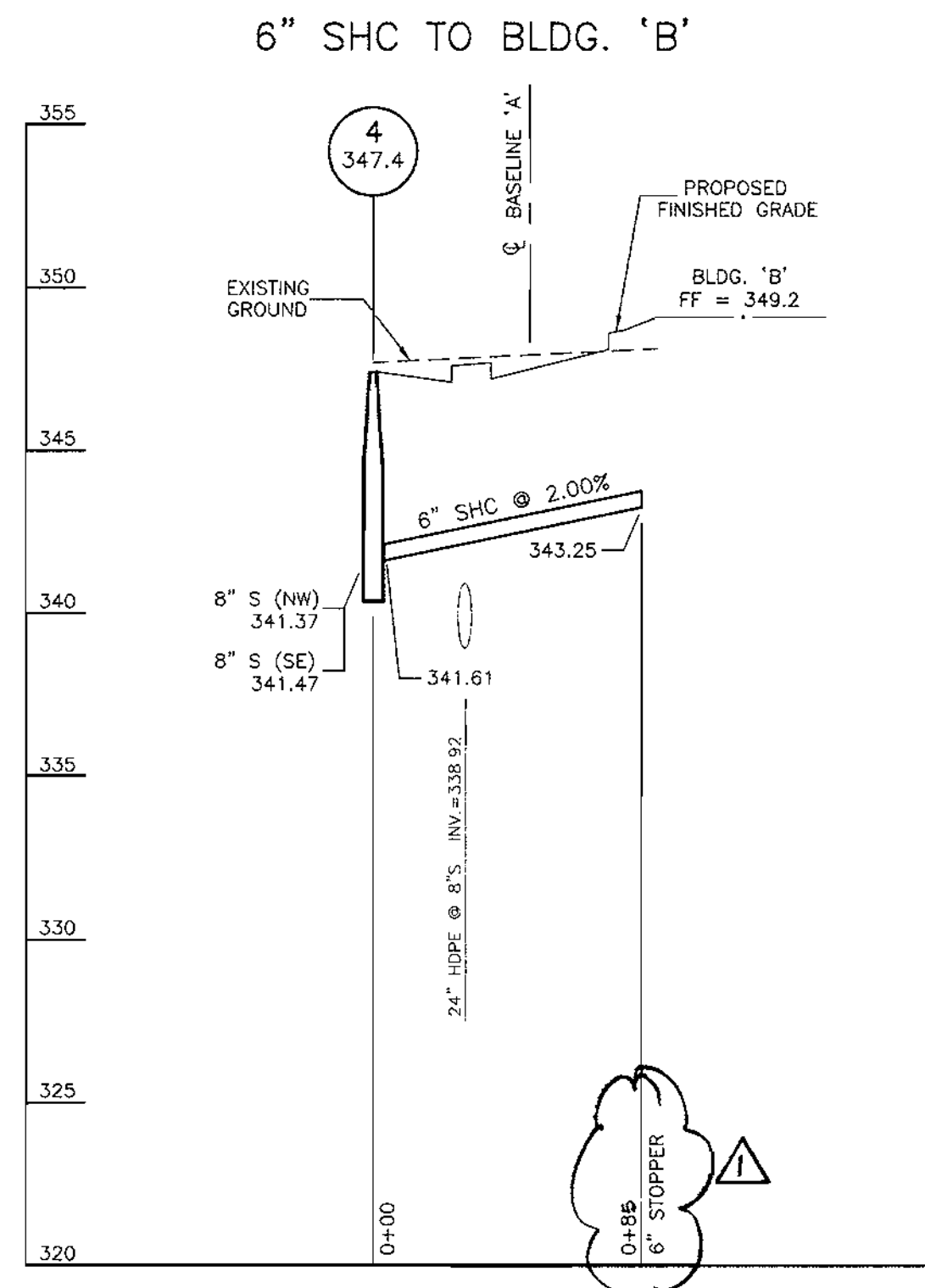
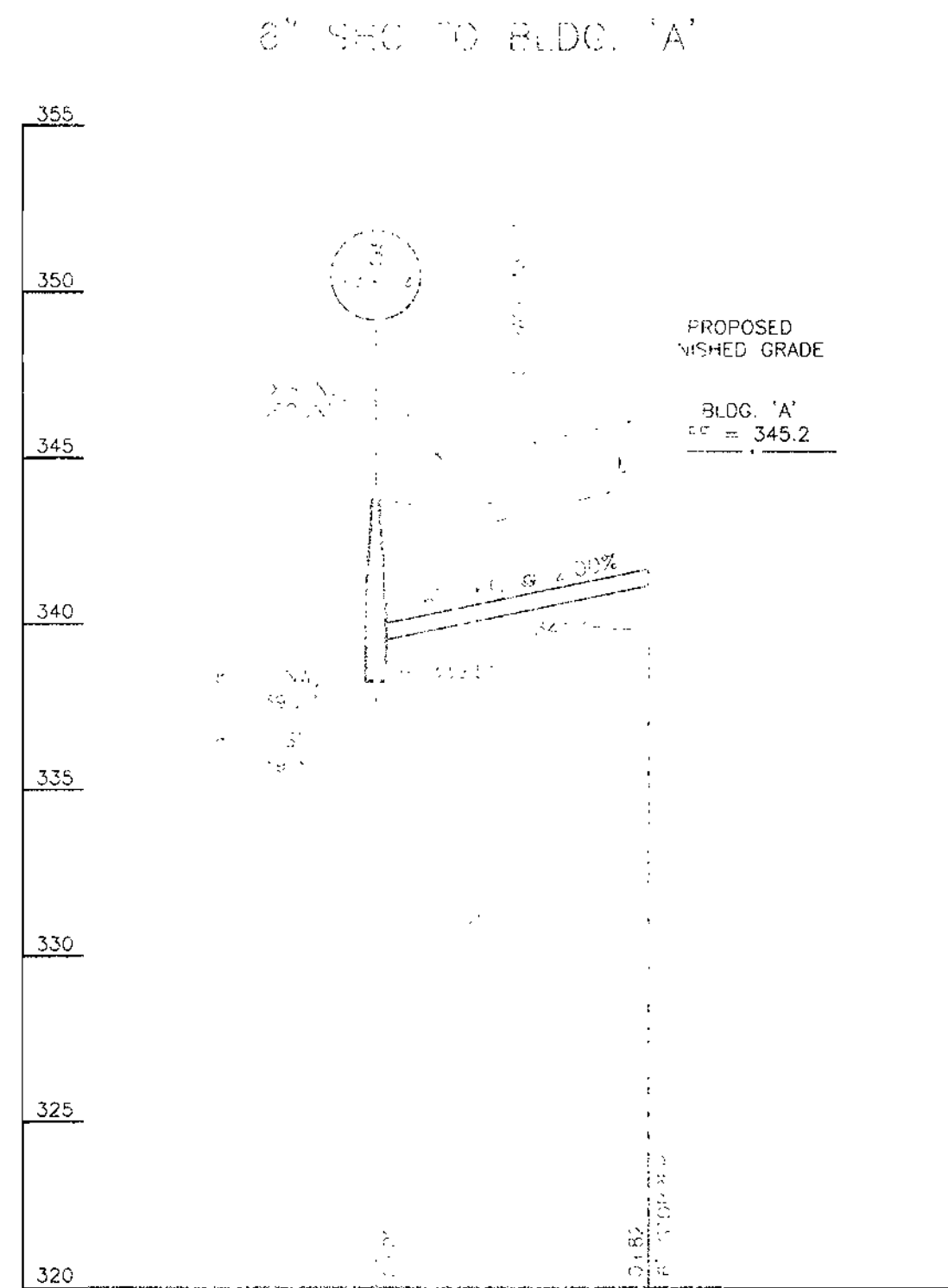
NO.	REVISIONS	DATE
1	Rev. I-13, I-14 location	12-08-00



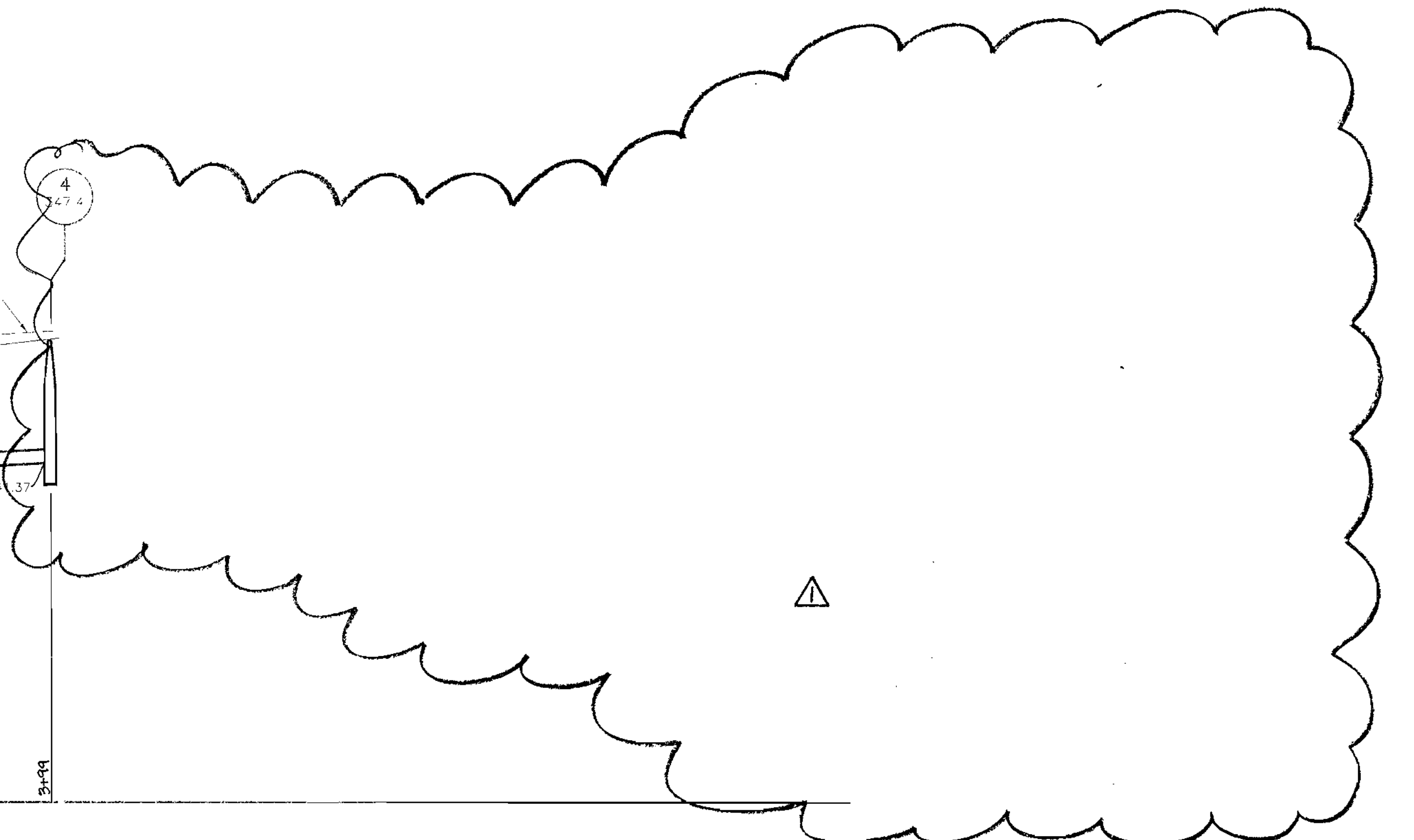
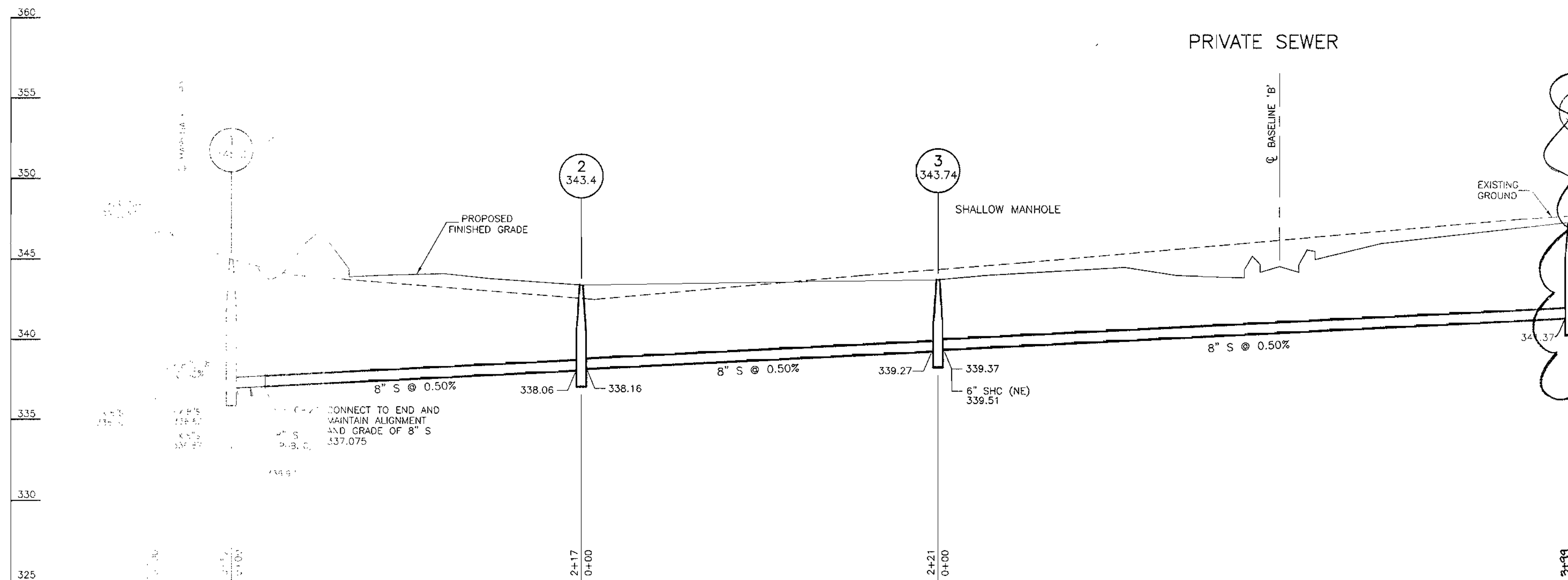
CLARK • FINEFROCK & SACKETT, INC.
ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED TD/DB	STORM DRAIN PROFILES AND DETAILS LYNDWOOD SQUARE	SCALE AS SHOWN
DRAWN TD/LAI	PARCEL B-2 COMMERCIAL OFFICE BUILDINGS	DRAWING 7 of 15
CHECKED TD/DB	PLAT #12333 TAX MAP 37 GRID 11 FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	JOB NO. 99-186
DATE 11/2/00	FOR: TRIMMELL CROWNE, INC. 7315 WISCONSIN AVENUE, SUITE 300W BETHESDA, MARYLAND 20814	FILE NO. 99-186



PROFILE SCALES: HORIZ.: 1" = 50'
VERT.: 1" = 5'

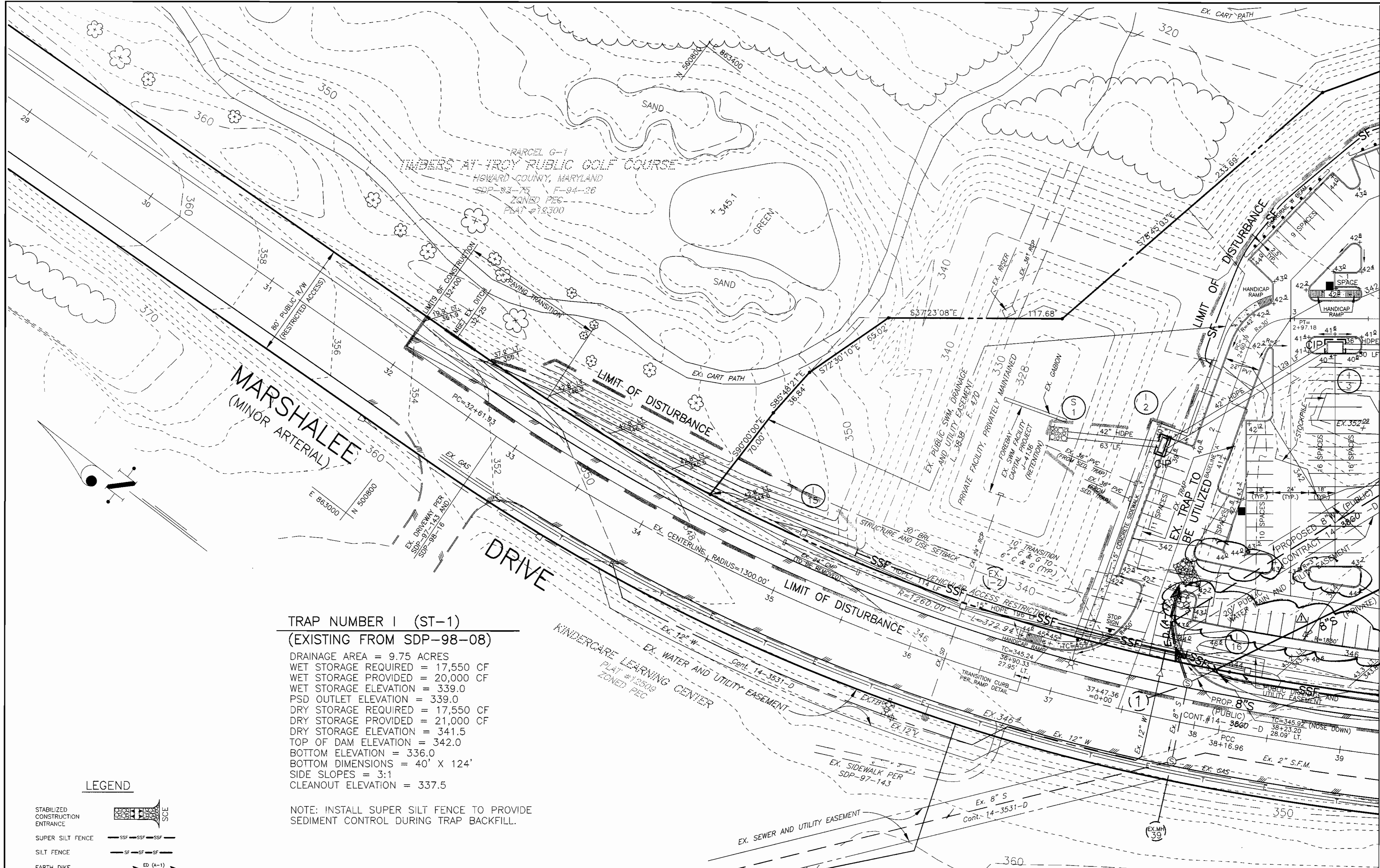


APPROVED: *[Signature]* 11/15/00
CHIEF, DEVELOPMENT & DESIGN
[Signature] 11/21/00
CHIEF, DIVISION
[Signature] 11/22/00
DIRECTOR



CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.		
DESIGNED JR	WATER AND SEWER PROFILES LYNDWOOD SQUARE PARCEL B-2 COMMERCIAL OFFICE BUILDINGS FLAT #12333 TAX MAP 37 GRID 11 FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE AS SHOWN DRAWING 8 of 15 JOB NO. 99-106 FILE NO. 99-106
DRAWN LAI		
CHECKED JR/TD		
DATE 11/2/00	FOR: TRAMMELL CROW NE, INC. 7315 WISCONSIN AVENUE, SUITE 300A BETHESDA, MARYLAND 20814	

1 Deleted 6" SHC to Bldg. 'C', adjusted SHC & WHC length to bldg. 'B' 12-18-00
NB Date



**TRAP NUMBER 1 (ST-1)
(EXISTING FROM SDP-98-08)**

DRAINAGE AREA = 9.75 ACRES
 WET STORAGE REQUIRED = 17,550 CF
 WET STORAGE PROVIDED = 20,000 CF
 WET STORAGE ELEVATION = 339.0
 PSD OUTLET ELEVATION = 339.0
 DRY STORAGE REQUIRED = 17,550 CF
 DRY STORAGE PROVIDED = 21,000 CF
 DRY STORAGE ELEVATION = 341.5
 TOP OF DAM ELEVATION = 342.0
 BOTTOM ELEVATION = 336.0
 BOTTOM DIMENSIONS = 40' X 124'
 SIDE SLOPES = 3:1
 CLEANOUT ELEVATION = 337.5

NOTE: INSTALL SUPER SILT FENCE TO PROVIDE SEDIMENT CONTROL DURING TRAP BACKFILL.

LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- SUPER SILT FENCE
- SILT FENCE
- EARTH DIKE
- LIMIT OF DISTURBED AREA
- INLET PROTECTION

NO.	REVISION	DATE
1	Reconfigured parking	12-18-00

Reviewed for HOWARD S.C.D. and meets Technical Requirements
J. R. Roberts 4/13/00
 Signature Date
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

J. R. Roberts / *as* 4/13/00
 Approved

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

Thomas J. DeS... 11/1/00
 NAME DATE

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

G. Nelson Clark 4-11-00
 NAME DATE



CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED	SCALE
TD	1" = 30'
DRAWN	DRAWING
TD/LAI	9 of 15
CHECKED	JOB NO.
TD	99-186
DATE	FILE NO.
4/12/00	99-186

SEDIMENT AND EROSION CONTROL PLAN
LYNDWOOD SQUARE
PARCEL B-2
COMMERCIAL OFFICE BUILDINGS
 PLAT #12333 TAX MAP 37 GRID 11
 FIRST (1st) ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

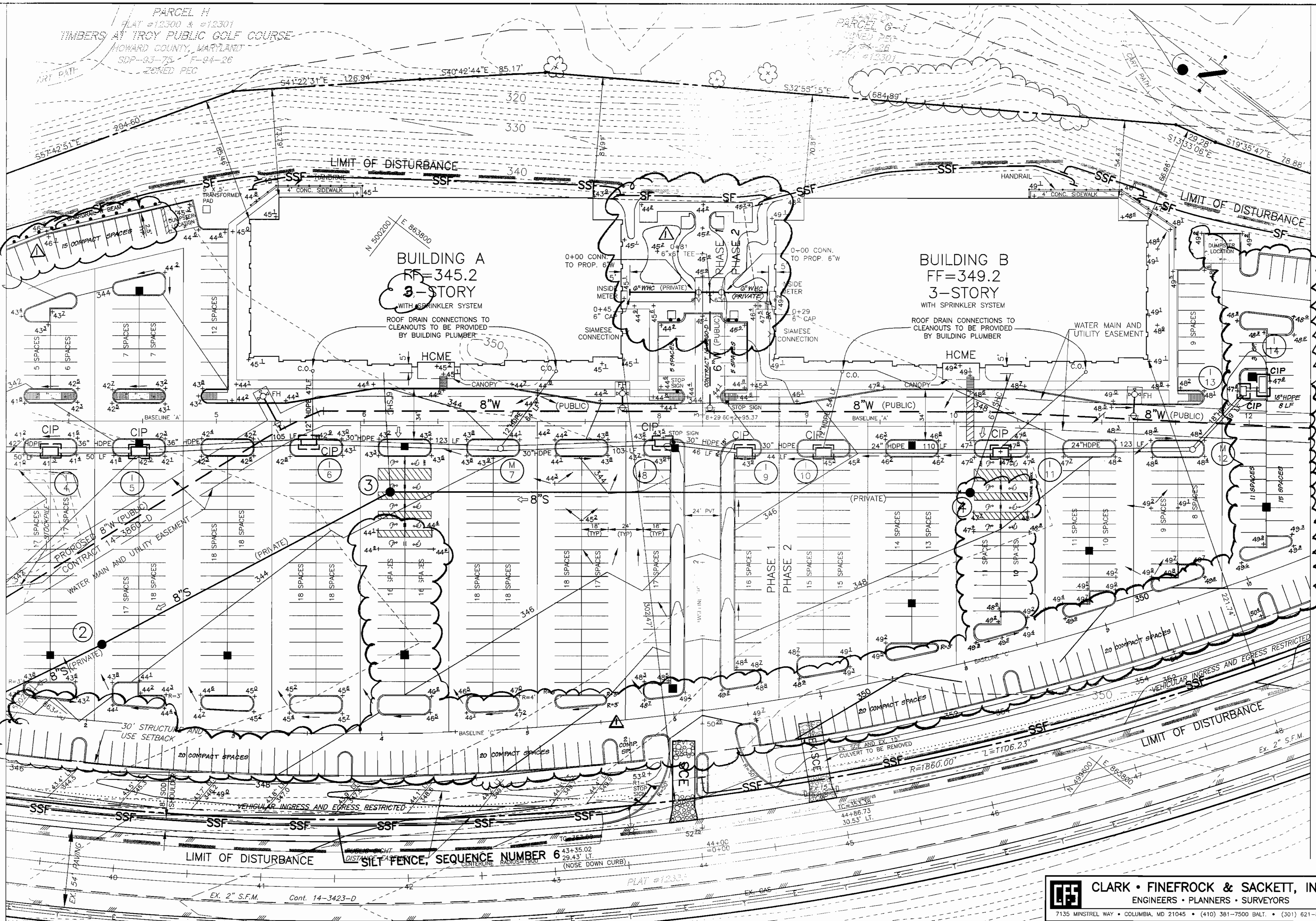
FOR: TRIMMELL CROW NE, INC.
 7315 WISCONSIN AVENUE, SUITE 300W
 BETHESDA, MARYLAND 20814

MATCH LINE SEE SHEET 10

PARCEL H
 PLAT #12300 & #12301
 TIMBERS AT TROY PUBLIC GOLF COURSE
 HOWARD COUNTY, MARYLAND
 SDP-00-75 F-04-26
 ZONED PEC

MATCH LINE SEE SHEET 9

MATCH LINE SEE SHEET 10



Reviewed for HOWARD S.C.D. and meets technical requirements
J. R. Robinson 11/15/00
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

J. R. Robinson 11/15/00
 Approved

APPROVED: DEPARTMENT OF PLANNING & ZONING

[Signature] 11/15/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 11/21/00
 CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 11/29/00
 DIRECTOR

DEVELOPER'S/BUILDER'S CERTIFICATE

I hereby certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District of their authorized agents, as are deemed necessary.

[Signature] 11/11/00
 NAME DATE

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

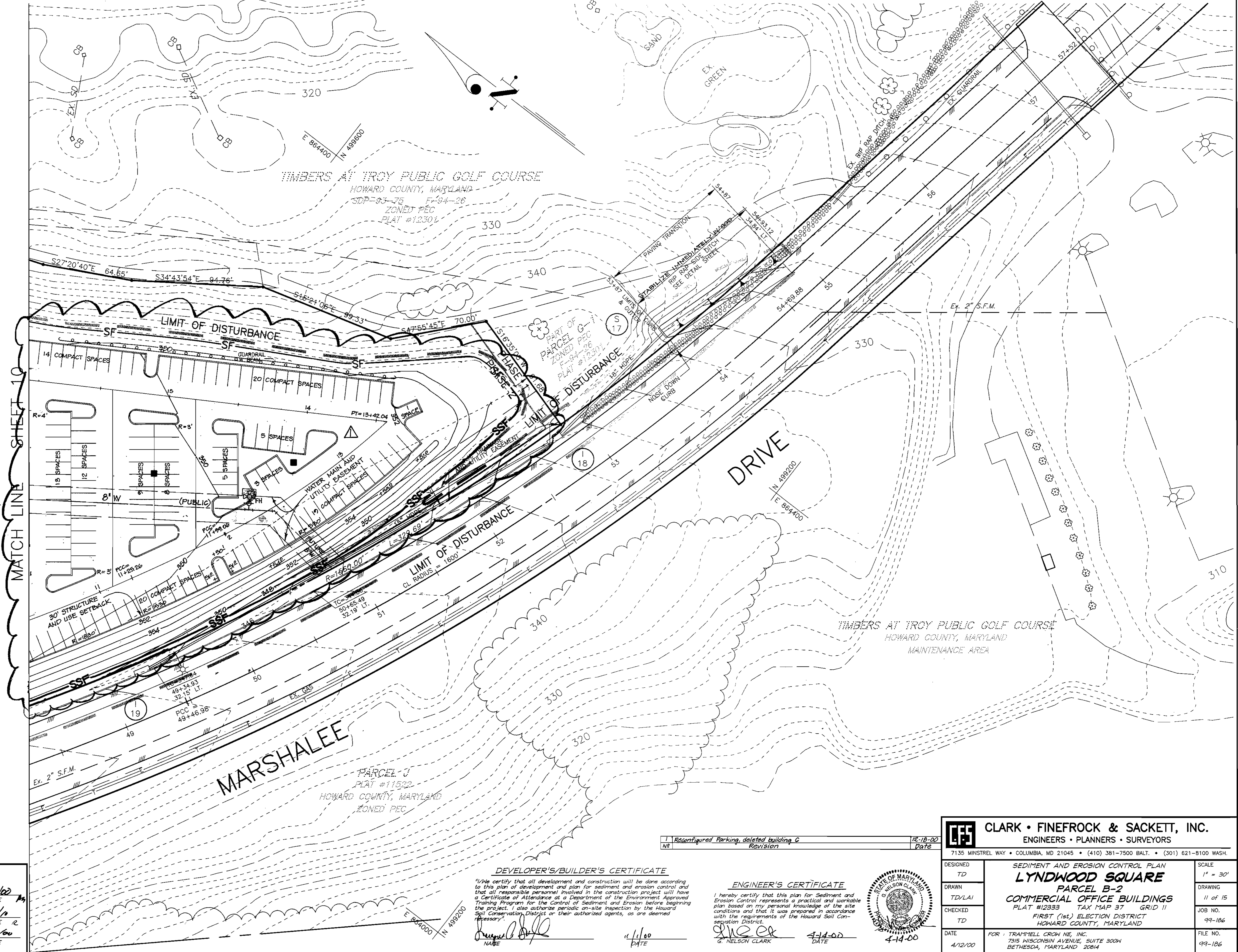
[Signature] 11-2-00
 G. NELSON CLARK DATE

NO.	REVISION	DATE
1	Reconfigure Parking	12-18-00



CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED	SCALE
TD	1" = 30'
DRAWN	DRAWING
TD/LAI	10 of 15
CHECKED	JOB NO.
TD	99-186
DATE	FILE NO.
11/1/00	99-186



LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- SUPER SILT FENCE
- SILT FENCE
- EARTH DIKE
- LIMIT OF DISTURBED AREA
- INLET PROTECTION

Reviewed for HOWARD S.C.D. and meets Technical Requirements
J.G. Warfield/65 11/13/00
 Signature Date
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

J.R. Robinson/65 11/13/00
 Approved

APPROVED: DEPARTMENT OF PLANNING & ZONING
[Signature] 11/15/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
[Signature] 11/11/00
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
[Signature] 11/25/00
 DIRECTOR DATE

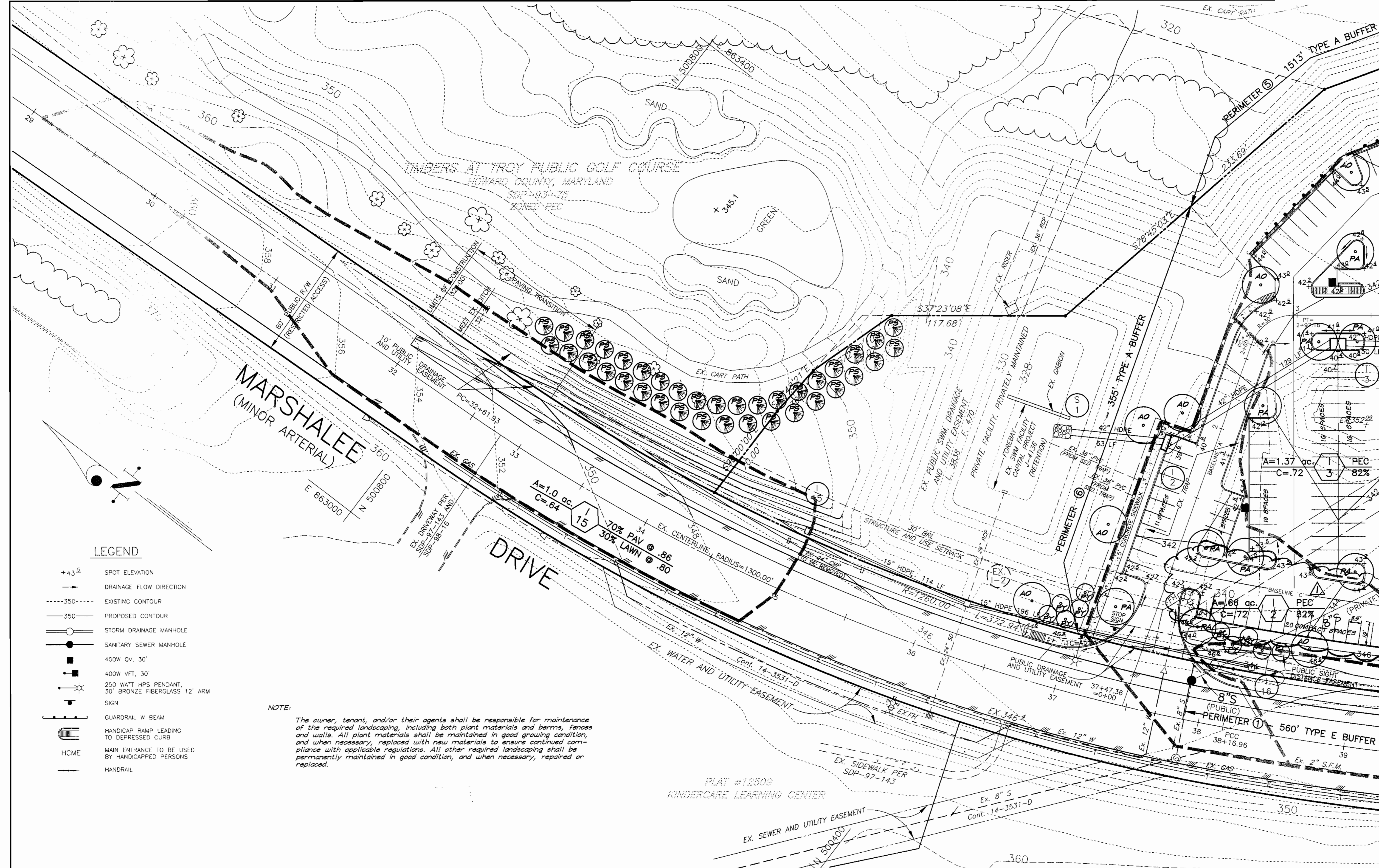
DEVELOPER'S/BUILDER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.
[Signature] 11/10
 NAME DATE

ENGINEER'S CERTIFICATE
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
[Signature] 4-14-00
 G. NELSON CLARK DATE



1	Reconfigured Parking, deleted building C	11-18-00
NR	Revision	Date

CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.		
DESIGNED TD	SEDIMENT AND EROSION CONTROL PLAN LYNDWOOD SQUARE PARCEL B-2 COMMERCIAL OFFICE BUILDINGS FLAT #12333 TAX MAP 37 GRID 11 FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN TD/LAI		DRAWING 11 of 15
CHECKED TD		JOB NO. 99-186
DATE 4/12/00	FOR: TRAMMELL CROWNE, INC. 7315 WISCONSIN AVENUE, SUITE 300W BETHESDA, MARYLAND 20814	FILE NO. 99-186



MATCH LINE SEE SHEET 14

LEGEND

- +43.2 SPOT ELEVATION
- DRAINAGE FLOW DIRECTION
- - - 350 EXISTING CONTOUR
- 350 PROPOSED CONTOUR
- STORM DRAINAGE MANHOLE
- SANITARY SEWER MANHOLE
- 400W QV, 30'
- 400W VFT, 30'
- ⊙ 250 WAT HPS PENDANT, 30' BRONZE FIBERGLASS 12' ARM
- ⊙ SIGN
- GUARDRAIL W BEAM
- HANDICAP RAMP LEADING TO DEPRESSED CURB
- HCME MAIN ENTRANCE TO BE USED BY HANDICAPPED PERSONS
- HANDRAIL

NOTE:
 The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

APPROVED: DEPARTMENT OF PLANNING & ZONING

[Signature] 11/15/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 11/15/00
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 11/29/00
 DIRECTOR DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by a executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Name: *[Signature]* Date: 11/15/00

PLAT #12509
 KINDERCARE LEARNING CENTER

No.	REVISION	DATE
1	Reconfigure Parking	12-18-00



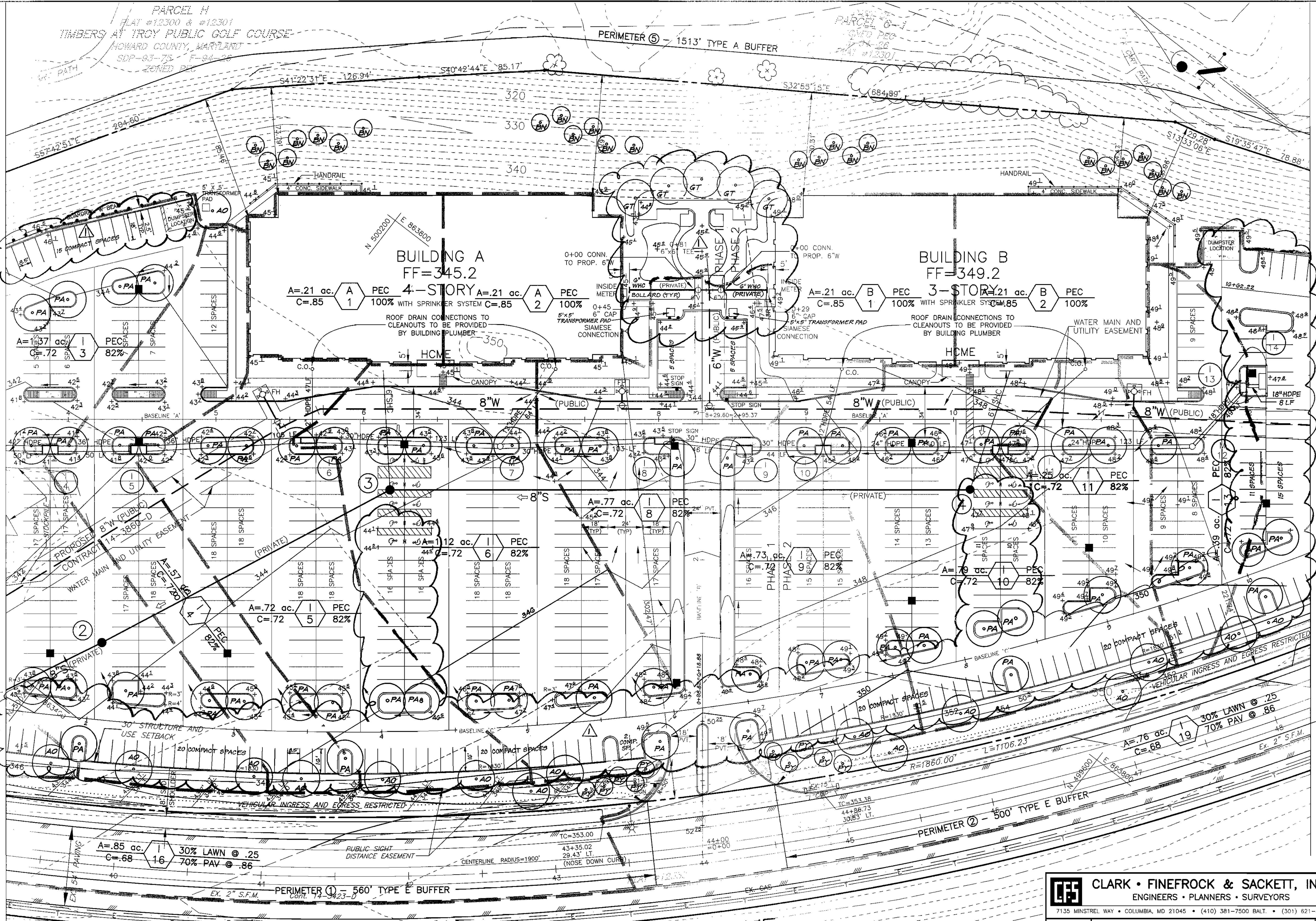
CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 WINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.		
DESIGNED TD	LANDSCAPE PLAN AND DRAINAGE AREA MAP	SCALE 1" = 30'
DRAWN TD/LAI	LYNDWOOD SQUARE	DRAWING 13 of 15
CHECKED TD	PARCEL B-2 COMMERCIAL OFFICE BUILDINGS PLAT #12333 TAX MAP 37 GRID 11	JOB NO. 99-186
DATE 10/12/00	FOR: TRAMMELL CROW NE, INC. 7315 WISCONSIN AVENUE, SUITE 300W BETHESDA, MARYLAND 20814	FILE NO. 99-186

PARCEL H
 LAT #12300 & #12301
 TIMBERS AT TROY PUBLIC GOLF COURSE
 HOWARD COUNTY, MARYLAND
 SDP-93-75 F-94-22
 ZONED PD

PARCEL G-1
 QUD PEC
 QUD 2E
 #12301

MATCH LINE SEE SHEET 13

MATCH LINE SEE SHEET 15



NOTE:
 The owner, tenant and/or their agents shall be responsible for maintenance of the required landscaping including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

APPROVED: DEPARTMENT OF PLANNING & ZONING
 [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature]
 DIRECTOR

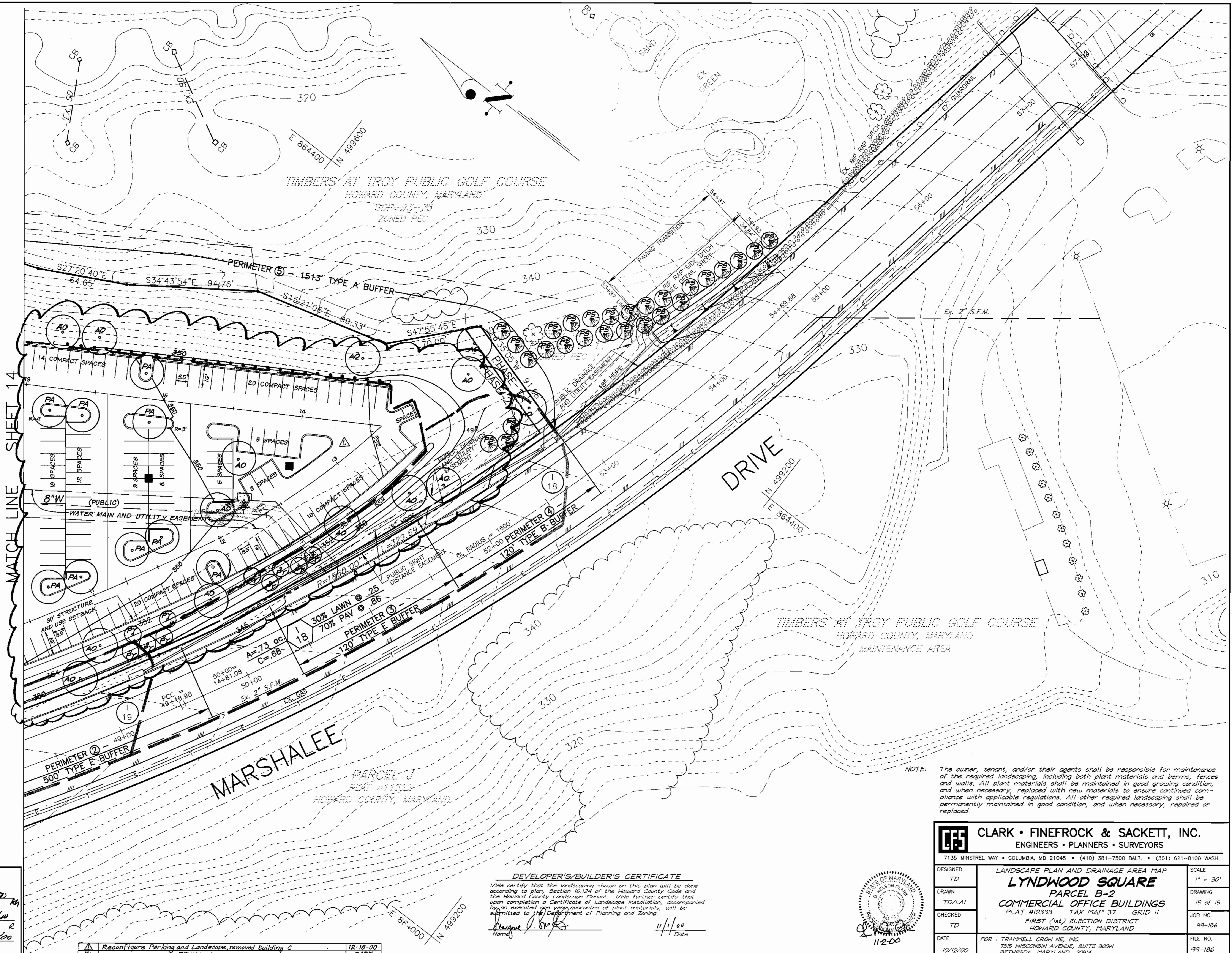
DEVELOPER'S/BUILDER'S CERTIFICATE
 I/We certify that the landscaping shown on this plan will be done according to plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one-year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.
 [Signature] 11/10
 Name Date

1	Reconfigure Parking and Landscape	12-18-00
No.	REVISION	DATE

CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.		
DESIGNED TD	LANDSCAPE PLAN AND DRAINAGE AREA MAP	SCALE 1" = 30'
DRAWN TD/LAI	LYNDWOOD SQUARE	DRAWING 14 of 15
CHECKED TD	PARCEL B-2 COMMERCIAL OFFICE BUILDINGS PLAT #12333 TAX MAP 37 GRID 11	JOB NO. 99-186
DATE 11/10	FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	FILE NO. 99-186
FOR: TRAIMMELL CROWN INC. 7315 WISCONSIN AVENUE, SUITE 300W BETHESDA, MARYLAND 20814		

LEGEND

- +43.5 SPOT ELEVATION
- DRAINAGE FLOW DIRECTION
- - -350- - - EXISTING CONTOUR
- 350— PROPOSED CONTOUR
- STORM DRAINAGE MANHOLE
- SANITARY SEWER MANHOLE
- 400W DV, 30'
- 400W VFT, 30'
- ⊙ 250 WATT HPS PENDANT, 30' BRONZE FIBERGLASS 12' ARM SIGN
- GUARDRAIL W BEAM
- HANDICAP RAMP LEADING TO DEPRESSED CURB
- HCME MAIN ENTRANCE TO BE USED BY HANDICAPPED PERSONS
- HANDRAIL



MATCH LINE SHEET 14

NOTE: The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

APPROVED: DEPARTMENT OF PLANNING & ZONING

[Signature] 11/15/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 11/21/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 11/23/00
DIRECTOR DATE

1	Reconfigure Parking and Landscape, removed building C	12-18-00
No.	REVISION	DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

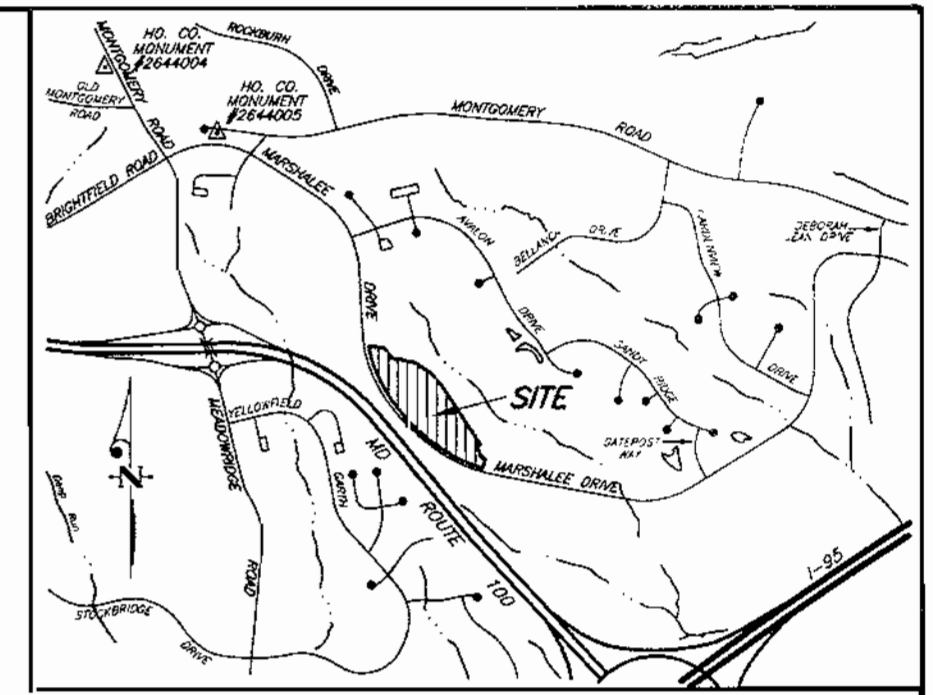
I/We certify that the landscaping shown on this plan will be done according to plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

[Signature] 11/1/00
Name Date



CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 521-8100 WASH.		
DESIGNED	LANDSCAPE PLAN AND DRAINAGE AREA MAP	SCALE
TD	LYNDWOOD SQUARE	1" = 30'
DRAWN	PARCEL B-2	DRAWING
TD/LAI	COMMERCIAL OFFICE BUILDINGS	15 of 15
CHECKED	PLAT #12333 TAX MAP 37 GRID II	JOB NO.
TD	FIRST (1st) ELECTION DISTRICT	99-186
DATE	HOWARD COUNTY, MARYLAND	FILE NO.
10/12/00	FOR: TRAMMELL CROWN, INC. 7315 WISCONSIN AVENUE, SUITE 300W BETHESDA, MARYLAND 20814	99-186

LYNDWOOD SQUARE PARCEL B-2 SITE DEVELOPMENT PLAN



VICINITY MAP
Scale: 1" = 2000'

WATER & SEWER NOTES

1. All construction methods and materials for on-site water and sewer systems shall follow the current editions of the Howard County Plumbing Code supplemented by the Howard County Standard Details and Specifications, where necessary.
2. 4" and 6" sewer house connections shall be built to within 5' of the building at a slope of 2.00%.
3. 6" and 8" P.V.C. Pipe shall meet the requirements of A.S.T.M. D3034, wall thickness classification SDR-35.
4. Water meters shall be located inside the building.
5. Area where water house connections shall be built shall be at final grade and the water house connections shall be laid with a minimum of 3.5' of cover. Water house connections to Buildings A & B shall be 4" Diameter, Ductile-Iron, Class 52. The water house connection to Building C shall be 2" Diameter Copper Type K.
6. Water house connector shall be built to within 5' of the building.

BUILDING	SID @ CURB	MIN. CELLAR ELEV.
A	347.5	345.2
B	347.5	347.3

BUILDING	ADDRESS
A	6085 MARSHALE DRIVE
B	6095 MARSHALE DRIVE



LOCATION MAP
Scale: 1" = 600'

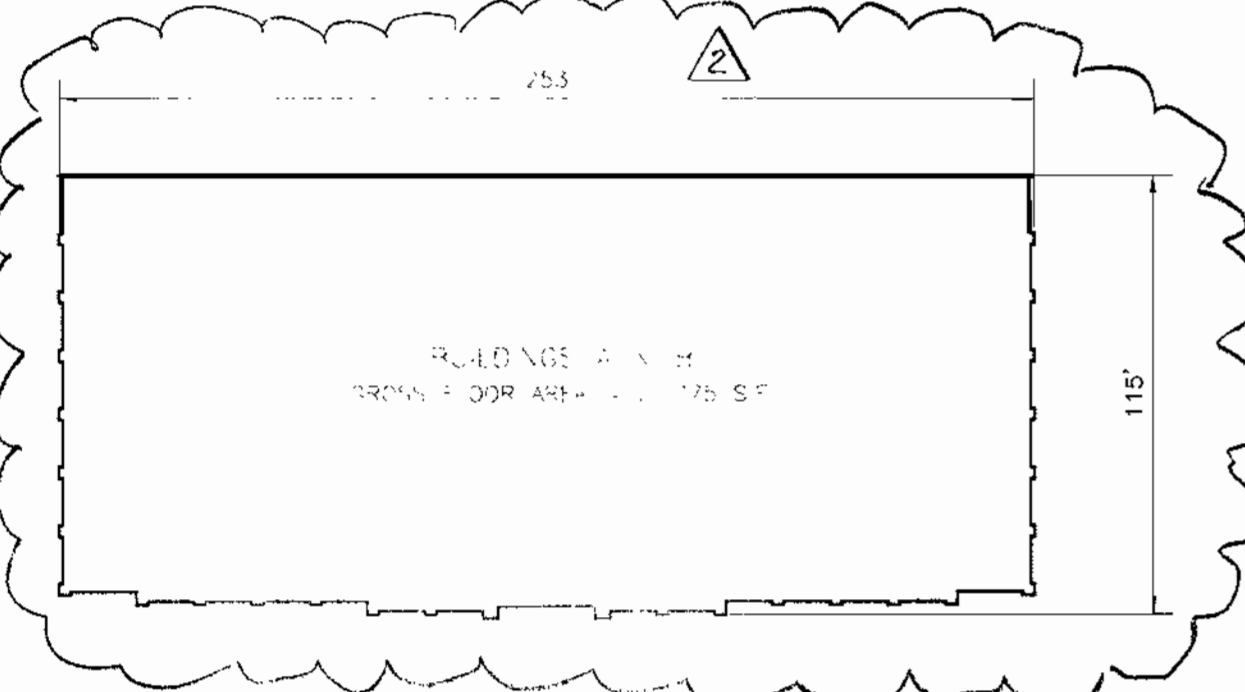
SHEET	DESCRIPTION
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	SITE DEVELOPMENT PLAN
4	SITE DEVELOPMENT PLAN
5	PAVING DETAILS
6	SIGNAGE, LIGHTING, AND LANDSCAPE DETAILS
7	STORM DRAIN PROFILES
8	PRIVATE WATER AND SEWER PROFILES
9	SEDIMENT AND EROSION CONTROL PLAN
10	SEDIMENT AND EROSION CONTROL PLAN
11	SEDIMENT AND EROSION CONTROL PLAN
12	SEDIMENT AND EROSION CONTROL DETAILS
13	LANDSCAPE PLAN AND DRAINAGE AREA MAP
14	LANDSCAPE PLAN AND DRAINAGE AREA MAP
15	LANDSCAPE PLAN AND DRAINAGE AREA MAP

GENERAL NOTES:

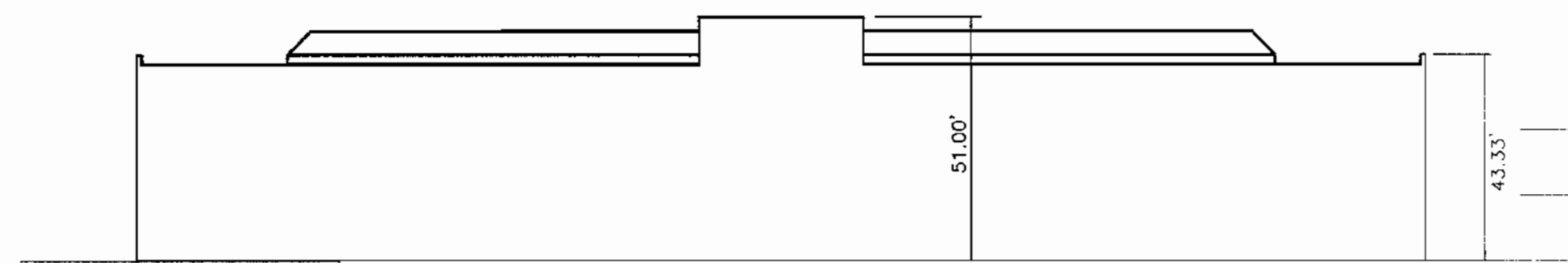
1. All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA Standards and Specifications, if applicable.
2. The contractor shall notify the Department of Public Works/Bureau of Engineering, Construction Inspection Division at (410) 315-1880 at least five (5) working days prior to the start of work.
3. The contractor shall notify "Miss Utility" at 1-800-257-7177 at least 48 hours prior to any excavation work.
4. Total Disturbed Area: 11.70 Acres
5. Traffic control devices, markings, and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
6. Topographic survey on site was field-run at 2' contour intervals by Clark, Finefrock & Sackett, Inc., 12/99.
7. Horizontal and vertical control based on Howard County Control Stations 2644004 and 2644005, NAD 27.
8. Public water and sewer are proposed. Contract #14-3531-D(Sewer), Contract #14-3531-D(Water) Patapasco Drainage Area
9. Stormwater Management for this project is being provided on site for quantity and quality. Quality control for this site is proposed by retention. Quantity control is by detention. The facility was constructed under Capital Project J-4156. The facility will be privately owned and maintained.
10. Existing utilities and improvements shown are taken from available records.
11. Trench compaction for storm drains within the road or street rights of way limits shall be in accordance with Howard County Design Manual, Vol IV, Std. No. G-2.01
12. All compacted fill shall be in accordance with AASHTO T-180 requirements.
13. Project is exempt from requirements for Forest Conservation Plans per Section 16.1202(b)(iii), Preliminary Plan P-93-11 approved prior to 12/31/92.
14. No wetlands exist on site as determined by an investigation by Exploration Research Inc. and approved by the USACE in 1992.
15. All fillet radii are 5' unless indicated otherwise.
16. All soils are assumed to be type "C". The entire project area has been mass graded per plan SDP-98-08.
17. This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual. Financial surety for the required 99 trees in the amount of \$29,700.00 is part of the builders grading permit application for Parcel B-2.
18. The exterior property is zoned PEC per ZB 877 R & M, May 1990.
19. All exterior lighting shall comply with Zoning Regulations Section 13-4.
20. Contractor shall maintain traffic on Marshalee Drive. See sheet 5.
21. WP-00-101 Approved on August 3, 2000 to waive Section 16.119(f)(2), vehicular ingress and egress restricted to prevent commercial driveways from having direct access to arterial highways.

SITE ANALYSIS DATA CHART

- a. Total Project Area: 13.3754 acres or 582,632 square feet
 - b. Area of Plan Submission: 13.3754 acres
 - c. Limit of Disturbed Area: 11.10 acres
 - d. Present Zoning: PEC
 - e. Proposed Uses for Site and Structures: Office and Parking
 - f. Gross Floor Area on each level of each Building: Buildings A & B: 20,375 170,250 Total Gross 100% Office
 - g. Total Gross Square Footage: 170,250 Square Feet
 - h. Maximum number of Employees = 550
 - i. Required Parking: 502 @ 3.3/1000 SF
 - j. Provided Parking: 792 spaces, including 18 handicap spaces
 - k. Open Space for this project was provided as part of F-94-26 Green Space on site = 5.4394 ac. or 40.00%
 - l. Building Coverage of Site: 1.3028 acres, 9.74% of gross area
 - m. DPZ File References: P-93-11, F-94-26, SDP-98-08, F-96-115, F-01-046
- PHASE ONE -
BUILDING A 85,125 S.F. GROSS FLOOR AREA 100% OFFICE
409 PARKING SPACES INCLUDING 10 HANDICAP
- PHASE TWO -
BUILDING B 85,125 S.F. GROSS FLOOR AREA 100% OFFICE
323 PARKING SPACES INCLUDING 8 HANDICAP
- TOTAL (Both Phases) 170,250 SQUARE FEET
TOTAL (Both Phases) 792 PARKING SPACES INCLUDING 180 COMPACT SPACES



BUILDING FOOTPRINTS
NOT TO SCALE



FRONT ELEVATION - BUILDINGS A & B - THREE STORY
SETBACK CALCULATION 1.00' X 2 + 30' = 32.00' SETBACK FROM PUBLIC STREET RIGHT OF WAY

SCHEMATIC PROFILES
NOT TO SCALE

APPROVED: DEPARTMENT OF PLANNING & ZONING

[Signature] 11/15/00
CHIEF, DEVELOPMENT & ZONING

[Signature] 11/21/00
CHIEF, DIVISION OF DEVELOPMENT

[Signature] 11/29/00
DIRECTOR

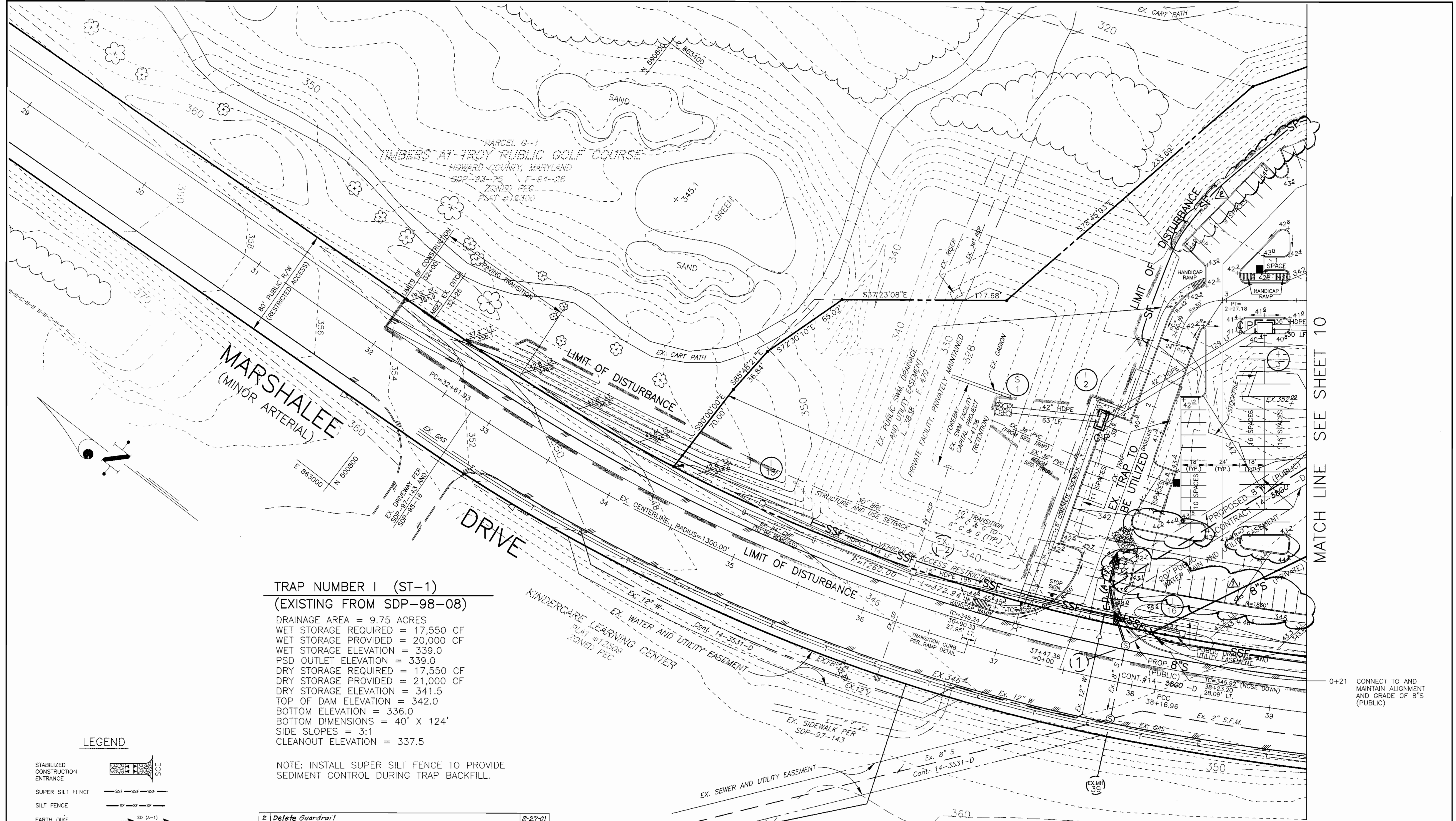
ENGINEER/SURVEYOR
CLARK, FINEFROCK & SACKETT, INC.
7135 MINSTREL WAY, SUITE 201
COLUMBIA, MARYLAND 21045
PHONE: 410-381-7500

2	Revised Site Analysis chart & Bldg. S.F.	2-27-01
1	Revised parking data, building area, deleted building C	12-18-00
REV	REVISION	DATE

OWNER
100 INVESTMENT LIMITED PARTNERSHIP
9030 RED BRANCH ROAD, SUITE 200
COLUMBIA, MARYLAND 21045
PHONE: 410-997-7222



SUBDIVISION NAME LYNDWOOD SQUARE		SECTION/AREA	LOTS/PARCELS PARCEL B-2		
PLAT NO. 14469	GRID NO. 11	ZONING PEC	TAX MAP NO. 37	ELECTION DIST. 15T	CENSUS TRACT 6011 02
WATER CODE 004		SEWER CODE 2153000			
CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.					
DESIGNED TD	COVER SHEET LYNDWOOD SQUARE PARCEL B-2				SCALE AS SHOWN
DRAWN TD/LAI	COMMERCIAL OFFICE BUILDINGS PLAT #12333 TAX MAP 37 GRID 11				DRAWING 1 of 15
CHECKED TD	FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND				JOB NO. 99-186
DATE 11/1/00	FOR: TRAMMELL CROW NE, INC. 7315 WISCONSIN AVENUE, SUITE 300W BETHESDA, MARYLAND 20814				FILE NO. 99-186 X



TRAP NUMBER 1 (ST-1)
(EXISTING FROM SDP-98-08)

DRAINAGE AREA = 9.75 ACRES
 WET STORAGE REQUIRED = 17,550 CF
 WET STORAGE PROVIDED = 20,000 CF
 WET STORAGE ELEVATION = 339.0
 PSD OUTLET ELEVATION = 339.0
 DRY STORAGE REQUIRED = 17,550 CF
 DRY STORAGE PROVIDED = 21,000 CF
 DRY STORAGE ELEVATION = 341.5
 TOP OF DAM ELEVATION = 342.0
 BOTTOM ELEVATION = 336.0
 BOTTOM DIMENSIONS = 40' X 124'
 SIDE SLOPES = 3:1
 CLEANOUT ELEVATION = 337.5

NOTE: INSTALL SUPER SILT FENCE TO PROVIDE SEDIMENT CONTROL DURING TRAP BACKFILL.

LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- SUPER SILT FENCE
- SILT FENCE
- EARTH DIKE
- LIMIT OF DISTURBED AREA
- LIMIT OF DISTURBANCE
- INLET PROTECTION

NO.	REVISION	DATE
2	Delete Guardrail	2-27-01
1	Reconfigured parking	12-18-00

Reviewed for HOWARD S.C.D. and meets Technical Requirements
J. R. P.../as 4/13/00
 Signature Date
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

J. R. P.../as 4/13/00
 Approved

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

James J. ... 4/11/00
 NAME DATE

ENGINEER'S CERTIFICATE

"I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

G. Nelson Clark 4-14-00
 NAME DATE

APPROVED: DEPARTMENT OF PLANNING & ZONING
[Signature] 4/15/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] 4/21/00
 CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature] 4/29/00
 DIRECTOR



CLARK • FINEFROCK & SACKETT, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED TD	SEDIMENT AND EROSION CONTROL PLAN LYNDWOOD SQUARE PARCEL B-2 COMMERCIAL OFFICE BUILDINGS PLAT #12333 TAX MAP 37 GRID 11 FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN TD/LAI		DRAWING 9 of 15
CHECKED TD		JOB NO. 99-186
DATE 4/12/00		FILE NO. 99-186

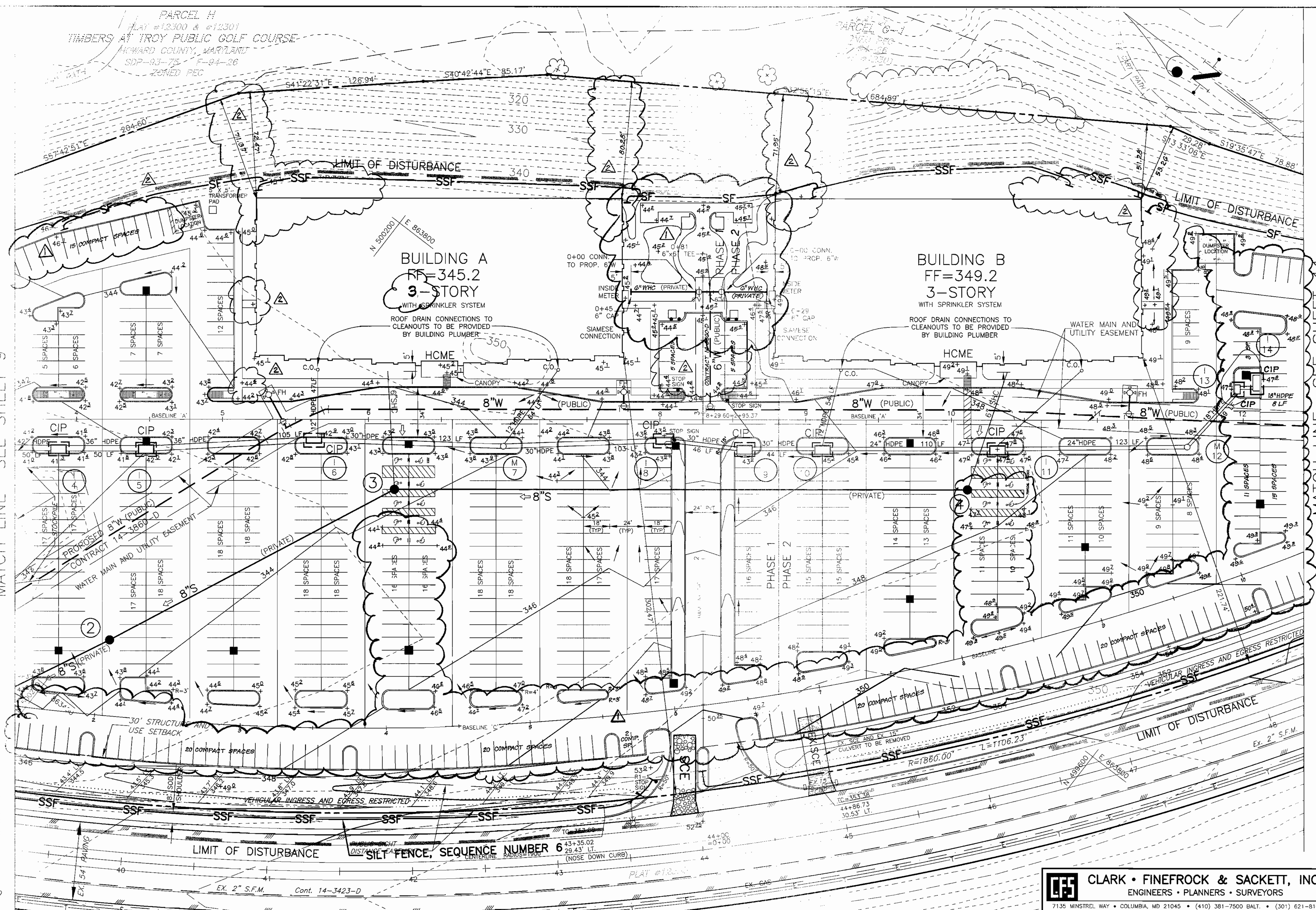
FOR: TRAMMELL CROW NE, INC.
 7315 WISCONSIN AVENUE, SUITE 300W
 BETHESDA, MARYLAND 20814

MATCH LINE SEE SHEET 10

PARCEL H
 PLAT #12300 & #12301
 TIMBERS AT TROY PUBLIC GOLF COURSE
 HOWARD COUNTY, MARYLAND
 SDP-03-75 F-04-26
 ZONED PEC

MATCH LINE SEE SHEET 9

MATCH LINE SEE SHEET 10



LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- SUPER SILT FENCE
- SILT FENCE
- EARTH DIKE
- LIMIT OF DISTURBANCE AREA
- INLET PROTECTION

Reviewed for HOWARD S.C.D. and meets Technical Requirements
J.R. Roberts 11/10/00
 Signature Date
 U.S. Natural Resources Consultant or Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL CONSERVATION AND SCD PER CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
J.R. Roberts 11/10/00
 Approved

APPROVED DEPARTMENT OF PLANNING & ZONING
[Signature] 11/15/00
 CHIEF, DEVELOPMENT & ZONING DIVISION
[Signature] 11/21/00
 CHIEF, DIVISION OF DEVELOPMENT
[Signature] 11/29/00
 DIRECTOR

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.
[Signature] 11/11/00
 NAME DATE

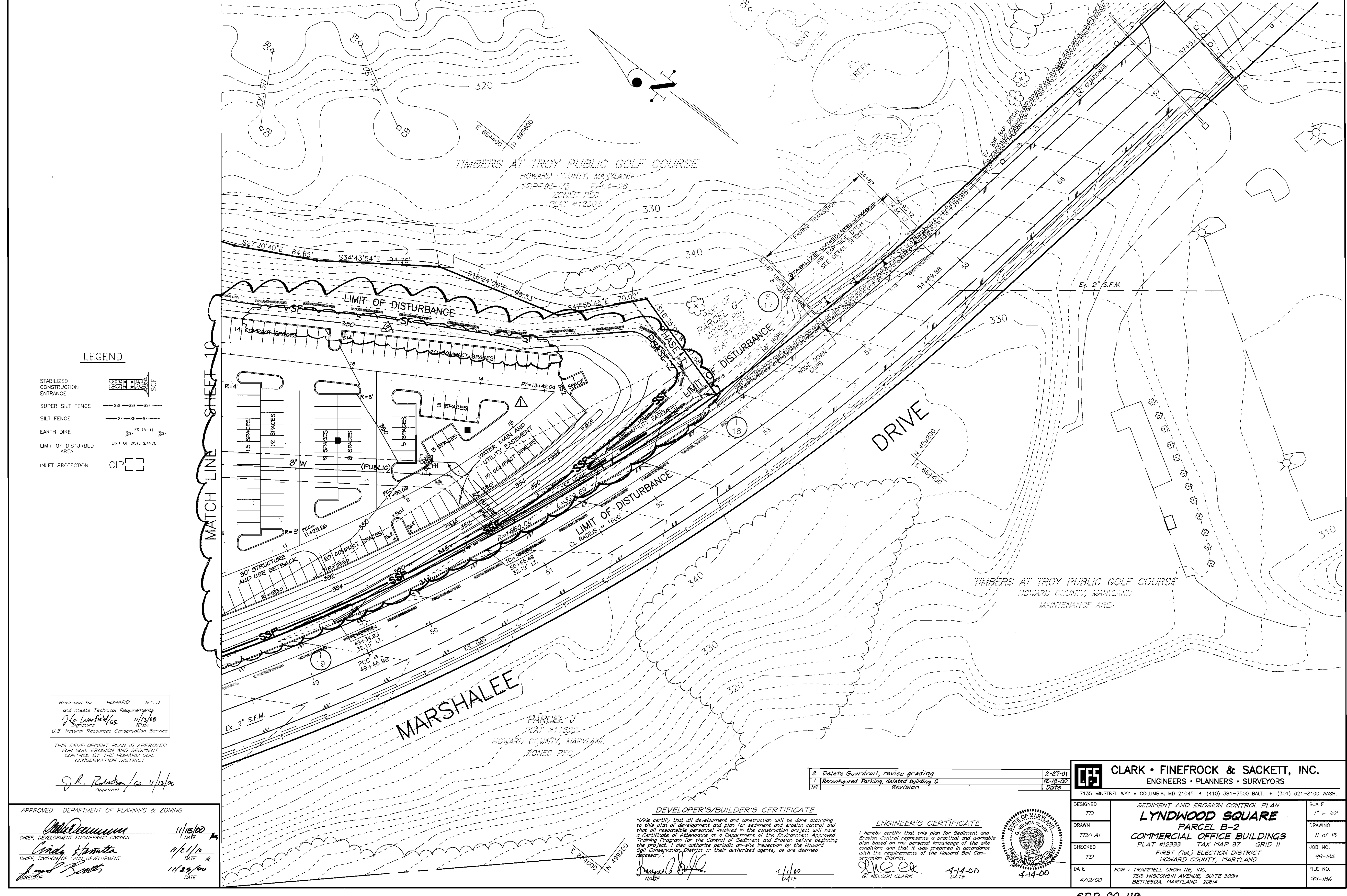
SILT FENCE, SEQUENCE NUMBER 6

No.	REVISION	DATE
2	Revised footprint, gradings, delete guardrails, revise 9#E Controls	2-27-01
1	Reconfigure Parking	12-18-00

ENGINEER'S CERTIFICATE
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
[Signature] 11-2-00
 G. NELSON CLARK DATE



CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.	
DESIGNED TD	SCALE 1" = 30'
DRAWN TD/LAI	DRAWING 10 of 15
CHECKED TD	JOB NO. 99-186
DATE 11/1/00	FILE NO. 99-186
SEDIMENT AND EROSION PLAN LYNDWOOD SQUARE PARCEL B-2 COMMERCIAL OFFICE BUILDINGS PLAT #12333 TAX MAP 37 GRID II FIRST (1st) ELECTION DISTRICT HOWARD COUNTY, MARYLAND FOR: TRAMMELL CROW NE, INC. 7315 WISCONSIN AVENUE, SUITE 300N BETHESDA, MARYLAND 20814	



LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- SUPER SILT FENCE
- SILT FENCE
- EARTH DIKE
- LIMIT OF DISTURBED AREA
- INLET PROTECTION

Reviewed for HOWARD S.C.D. and meets Technical Requirements
J.G. Warfield/CS 11/13/02
 Signature Date
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

J.R. Robinson/CS 11/13/00
 Approved

APPROVED: DEPARTMENT OF PLANNING & ZONING
[Signature] 11/15/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
[Signature] 11/11/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
[Signature] 11/25/00
 DIRECTOR DATE

2 Delete Guardrail, revise grading	2-27-01
1 Reconfigured Parking, deleted Building C	12-18-00
Revision	Date

DEVELOPER'S/BUILDER'S CERTIFICATE

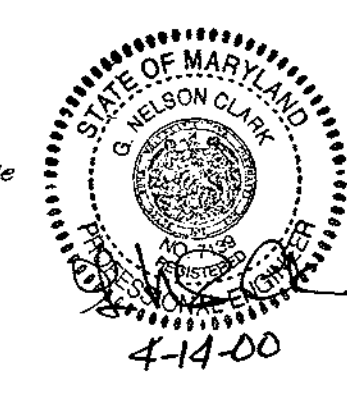
"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

[Signature] 11/00
 NAME DATE

ENGINEER'S CERTIFICATE

"I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

[Signature] 4-14-00
 G. NELSON CLARK DATE



CLARK • FINEFROCK & SACKETT, INC. ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.		
DESIGNED	SEDIMENT AND EROSION CONTROL PLAN	SCALE
TD	LYNDWOOD SQUARE	1" = 30'
DRAWN	PARCEL B-2	DRAWING
TD/LAI	COMMERCIAL OFFICE BUILDINGS	11 of 15
CHECKED	PLAT #12333 TAX MAP 37 GRID II	JOB NO.
TD	FIRST (1st) ELECTION DISTRICT	99-186
DATE	HONARD COUNTY, MARYLAND	FILE NO.
4/12/00	FOR: TRAMMELL CROW NE, INC. 7315 WISCONSIN AVENUE, SUITE 300N BETHESDA, MARYLAND 20814	99-186

