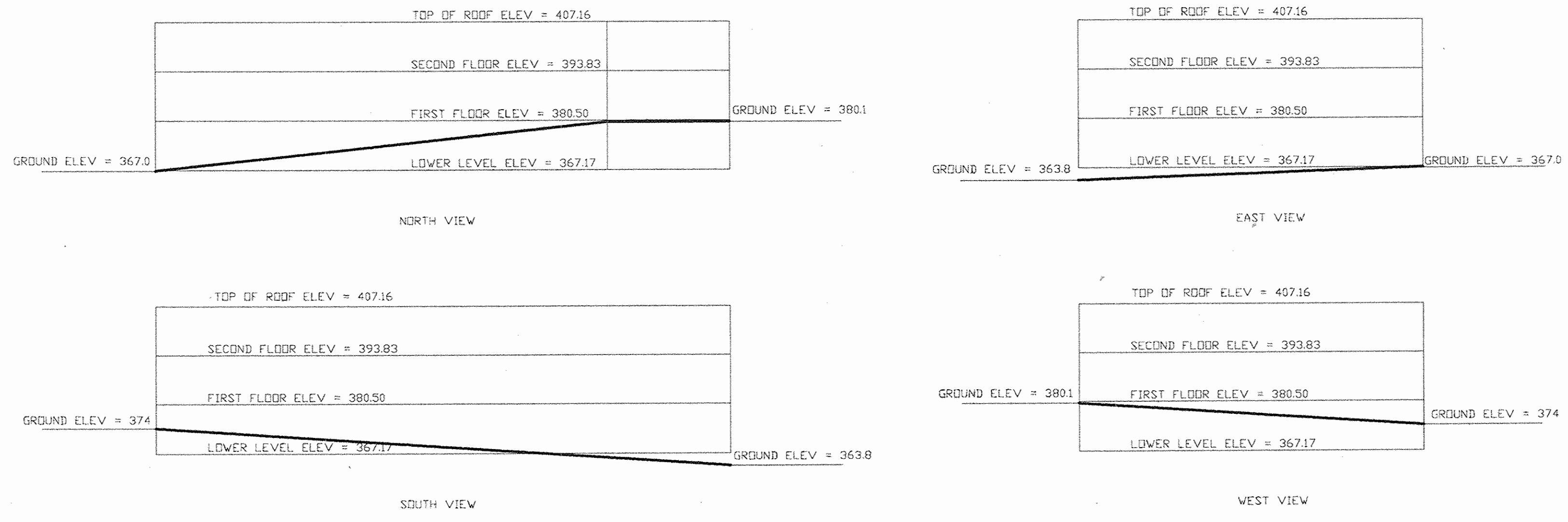


**GENERAL NOTES**

- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
- Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- All plan dimensions are to face of curb unless otherwise noted.
- The existing topography is taken from field run survey with two foot contour intervals prepared by Hicks Engineering Company, Inc. dated June 1999.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System. Howard County Monument Nos. 24AA and 24B5 were used for this project.
- Water is public. Existing Contract number 71-W, Little Patuxent drainage area Proposed water extension 24-3872-D
- Sewer is public. Contract number 20-0923-D, Little Patuxent drainage area
- Stormwater management will be accomplished using private underground extended detention for water quality and channel protection for the parking area and building as reflected in the MDE 2000 and Howard County Storm Drainage design manuals.
- Existing utilities are based on information supplied by the utility companies and verified in the field, where visible.
- There is a floodplain on this site. The floodplain is caused by the backwater of the Little Patuxent River. The Floodplain Report has been approved by Howard County Development Engineering Division, and the boundary is shown on the Site Plan Sheet 2 of 11).
- The wetlands delineation study for this project was prepared by Environmental Quality Resources, Inc., dated June, 1999, and was approved by the COE on September 10, 1999.
- The traffic study for this project was prepared by Street Traffic Solutions, Ltd., dated June 15, 2000, and was approved on January, 2001. An updated traffic study was submitted to DED and approved on 6/24/05 based on the revised use.
- The proposed Entrance driveway widening improvements and grading located within the wetlands, stream and their required buffers is considered necessary disturbances by the Department of Planning and Zoning in accordance with Section 16.116 (c) of the Subdivision and Land Development Regulations because there is no other reasonable alternative means of access to the property.
- No clearing, grading or construction is permitted within the wetlands, streams or their required buffers, except for the entranceway and the water and sewer lines which was determined essential by the Department of Planning and Zoning.
- Project background information : Election District: 02, Tax Map: 24, Zoning: B-1, Parcel: 13, Site Area: 3.47 acres.
- No burial grounds or cemetery exist on the subject property.
- Variations to reduce the required 30' structure and use setback from a residential district to 9.5 feet for parking spaces and 10 feet for a trash receptacle enclosure and to 2 foot and 18 feet for retaining walls for the proposed Restaurant and Medical Office development in a "B-1" zoning district was granted approval by the Howard County Board of Appeals on September 8, 2003 per BA Case No. BA-03-06V.
- This project complies with the forest conservation requirement of Section 16.1202 (b)(2)(i) of the Howard County Code and the Forest Conservation Manual with the filing of a Declaration of Intent for a single parcel/lot clearing less than 40,000 square feet of forest as determined prior to 12/17/01.
- The existing well and septic tank shall be removed within 90 days of issuance of building permit. A certified well driller shall abandon well and produce proper documentation to Howard County Health Dept. The contractor shall have the septic pumped out and fill with suitable material.
- A waiver of Design Manual, Volume I, Section 5.2.7.K.I.S, which requires the central structure for an pipe attenuation facility be composed of the same material as the storage facility was approved on April 2, 2001.
- A waiver of Design Manual, Volume III, Section 2.6.4, which requires a minimum distance between driveways on a minor arterial road to be 350' was approved on April 2, 2001.
- A Wetland Permit and Water Quality Certificate is being obtained from MDE and the Army Corp of Engineers. Tracking Number is 09-NY-0427/00560246
- All exterior light fixtures proposed for this project shall be oriented to direct light inwards and downward on-site away from adjoining residential properties and roads in accordance with Section 134 of the Howard County Zoning Regulations.
- The proposed 6" sewer house connection and 8" water main has been found to be essential disturbance per Section 16.116(c) of the Subdivision and Land Development Regulations.
- All driveway improvements for this project must be contained entirely within the existing 30-foot wide right-of-way of Parcel 13, recorded in Liber 4439 Folio 0509.
- This plan is subject applicable DPZ files, WP-03-71, BA-00-28V, BA-03-06V, WP-04-155, WP-05-50 and WP-07-123.
- This plan is subject to WF-03-71, WF-04-155 and WF-05-50 for a waiver to Section 16.156 of the Subdivision and Land Development Regulations to reactivate and extend the approval period for processing of SDP-00-116. WF-03-71 was approved on 2/11/03, WF-04-155 was approved on 11/10/04 and WF-05-50 was approved on 12/17/04.
- Development or construction on this property must comply with setback and buffer regulations in effect at the time of submission of the SDP. Waiver for application or building grading parking.
- The total disturbed off-site area for the construction of the water and sewer lines is 7,586 square feet. A fee-in-lieu in the amount of \$3,793.00 is to be paid to the Howard County Department of Recreation and Parks prior to the developer's Agreement being executed.
- No improvements shall be constructed or placed within the Public Water, Sewer & Utility Easement which will impede or hinder access to the water main. Improvements such as air-conditioning units, fireplace chimneys, decks, fencing, foundation plantings and trees shall not be placed within the easement.



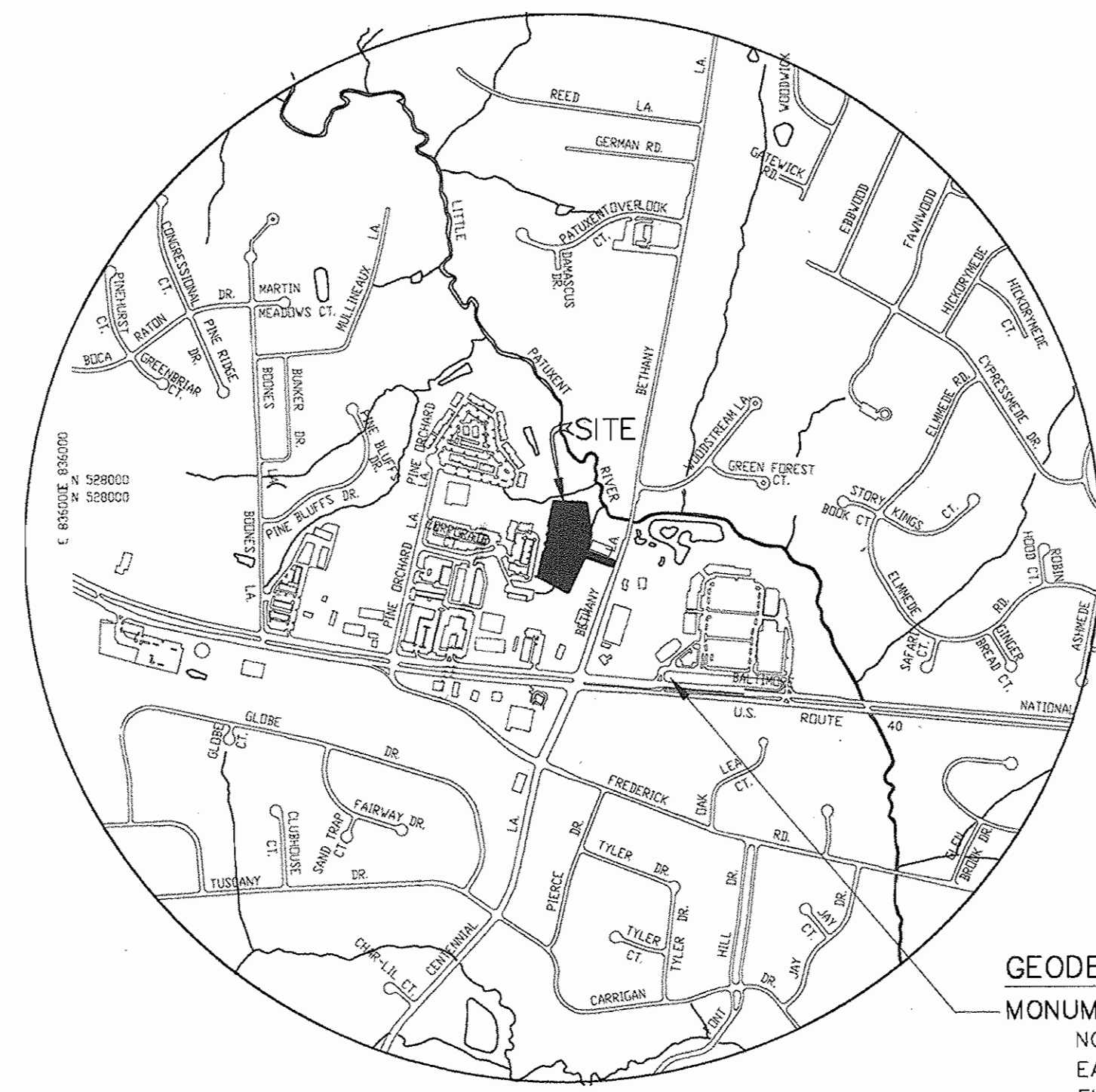
Average Building EI =  $380.4 + 363.8/2 = 372.10$   
 Roof EI = 407.16 (max)  
 Mean Building Height = 35.06

**INDEX OF DRAWINGS**

- Sheet 1 Cover Sheet
- Sheet 2 Site Development Plan
- Sheet 3 Layout Plan
- Sheet 4 Drainage Area Map
- Sheet 5 Storm Drain Profiles
- Sheet 6 Sediment and Erosion Control Plan
- Sheet 7 Sediment and Erosion Control Details
- Sheet 8 Landscape Plan
- Sheet 9 Site and Landscape Details
- Sheet 10 Retaining Wall and SWM Details
- Sheet 11 Utility Plan - Sewer, Gas, and Electric

# BETHANY LANE VILLAGE CENTER

## Howard County, Maryland



**GEODETTIC SURVEY CONTROL**

MONUMENT 24AA  
 NORTHING: 179,033.9219  
 EASTING: 412,274.3679  
 ELEVATION: 118.0419

MONUMENT 24B5  
 NORTHING: 178,904.6177  
 EASTING: 413,483.6190  
 ELEVATION: 119.1603

**LEGEND**

DESCRIPTION	EXISTING	PROPOSED
2' CONTOUR	--- 142 ---	--- 142 ---
10' CONTOUR	--- 140 ---	--- 140 ---
SPOT ELEVATION	+ (25.5)	+ 25.5
WATER MAIN	--- EX. 8" WATER ---	--- PROP. 8" WATER ---
WATER VALVE	--- W ---	--- W ---
FIRE HYDRANT	--- F ---	--- F ---
SEWER MAIN	--- EX. 8" SEWER ---	--- PROP. 8" SEWER ---
SEWER MANHOLE	--- S ---	--- S ---
STORM DRAIN	--- SD ---	--- SD ---
STORM DRAIN INLET	--- SDI ---	--- SDI ---
CURB/CURB & GUTTER	=====	=====
PROPERTY BOUNDARY	-----	-----
LOT LINE	-----	-----
RIGHT-OF-WAY	-----	-----
TREE LINE	YYYYYY	YYYYYY
FLOOD PLAIN BOUNDARY	-----	-----

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENT

*Jin Mays/CS* 4/28/05  
 SIGNATURE DATE  
**U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE**  
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 APPROVED: *[Signature]* 4/28/05  
 HOWARD SCD DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 4/28/05  
 Chief, Development Engineering Division Date  
*[Signature]* 7/1/05  
 Chief, Division of Land Development Date  
*[Signature]* 7/6/05  
 Director Date

**GENERAL NOTES CONT.**

30. PREFERENCE WAIVER PETITION WP-07-123 APPROVED JULY 20, 2007 TO REACTIVATE SDP-00-116. WAIVER OF SECTION 16.156 (M)(1)(L).

34. A BUILDING PERMIT WILL BE APPLIED FOR WITHIN 1-YEAR OF THE REDLINE APPROVAL DATE, FEBRUARY 14, 2008.

35. CONCRETE WHEEL STOPS TO BE PROVIDED AT ALL PARKING SPACES ADJACENT TO WALLS ON THE HIGH AND LOW SIDE OF THE WALL. WHEEL STOP TO BE LOCATED 2'-0" FROM WALL.

**ENGINEER'S CERTIFICATE**

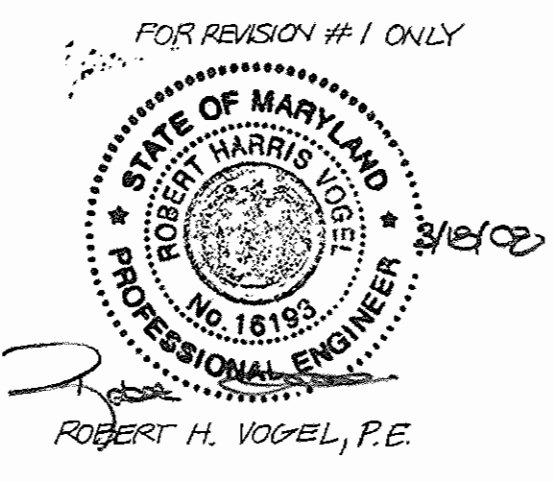
" I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT "

*[Signature]* 3.5.05  
 SIGNATURE OF ENGINEER DATE

**DEVELOPER'S CERTIFICATE**

" I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT "

*[Signature]* 5-27-05  
 SIGNATURE OF DEVELOPER DATE



**Site Analysis Data Chart**

The subject property is zoned "B-1, Business-Local"  
 Total Project Area: 3.47 acres or 151,153.0 square feet  
 Limit of Disturbed Area: 2.457 acres or 107,033 square feet

Lower Level  
 Medical Office/Office=14,500 sf  
 MEDICAL: 17,400 SF  
 OFFICE: 26,100 SF

First Floor  
 Medical Office/ Office = 14,500 sf

Second Floor  
 Medical Office/ Office= 14,500 sf  
 Total Floor Area = 43,500 sf

Number of parking spaces required: 174 Parking Spaces  
 (174 PS x 5.0 PS (Medical Office-40% Maximum) + 26.1 x 3.3 ( Office-60%))  
 Number of parking spaces provided on site: 174 (Total) = 133 Regular + 35 COMPACT + 6 HANDICAP  
 Building coverage on site: 0.3329 acres or 14,500 square feet and 9.56% of gross area  
 Principal uses of site/structure:  
 General Office and Medical Office  
 COMPACT SPACES ALLOWED: (25)(174) = 44 SPACES  
 COMPACT SPACES PROVIDED: 35 SPACES  
 REGULAR SPACES PROVIDED: 133 SPACES

**Owner/Developer**  
 3S Development, LLC  
 5700 Executive Drive  
 Baltimore Maryland 21228  
 410.719.2300

**Engineer/Surveyor**  
 Engelhardt Engineering, Inc.  
 P.O. Box 1506  
 Columbia, Maryland 21044  
 (410) 960-7334  
 jesa@verizon.net

Address Chart	
Lot/Parcel#	Street Address
13	3238 Bethany Lane

Permit Information Chart				
Subdivision Name	Section/Area	Parcel No.	N/A	
N/A	N/A	13		
Plot # or L/F	Grid #	Zoning	Tax Map No.	Elect Distr
191B FZ64	2	B-1	24	02
Water Code	Sewer Code			
HO 7	5980000			

**BETHANY LANE VILLAGE CENTER**  
 3S Development, LLC  
 Deed Reference: Liber 1113 Folio 204  
 General Office and Medical Office  
 Election District No. 02, Howard County, Maryland  
 Tax Map 24, Grid 2, Parcel Number 13  
 Scale: None Date: April 20, 2005  
 Sheet Number 1 of 13

No.	REVISION	DATE
1	REVISE PARKING LOT AND RETAINING WALL	5-10-08
	REVISION	

LINE	LENGTH	BEARING
L1	20.62	N83°57'08"E
L2	30.41	S76°31'10"E
L3	33.00	S57°16'13"E
L4	25.49	S83°45'04"E
L5	31.90	N71°35'02"E
L6	24.74	S44°53'14"E
L7	17.10	N40°42'55"E
L8	21.49	N80°56'26"E
L9	46.20	N61°03'45"E
L10	33.81	N44°18'31"E
L11	81.28	N25°04'38"E
L12	57.19	N27°28'51"E
L13	10.62	S73°22'44"E

LINE	LENGTH	BEARING
L14	8.30	S70°05'00"W
L15	11.00	N04°44'39"W
L16	32.59	N21°25'39"E
L17	43.97	N05°57'31"E
L18	32.54	N31°52'30"W
L19	11.59	N14°27'37"W
L20	24.48	N01°53'23"E
L21	24.09	N33°10'42"W
L22	50.54	N07°48'07"W
L23	28.36	N32°52'18"W
L24	22.36	N21°51'25"W
L25	25.35	N13°53'03"W
L26	34.51	N11°07'12"W
L27	11.94	N05°39'52"E

**ENGINEER'S CERTIFICATE**

" I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT "

*J. Elwood Scaggos* 3-5-05  
SIGNATURE OF ENGINEER DATE

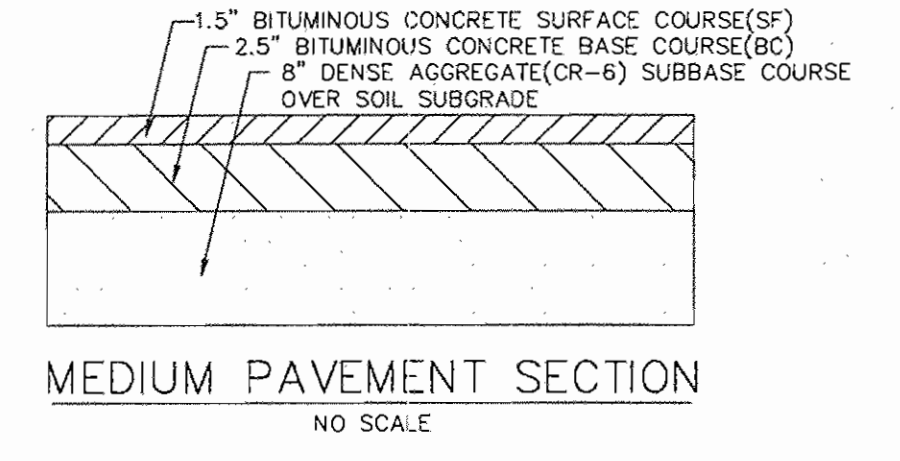
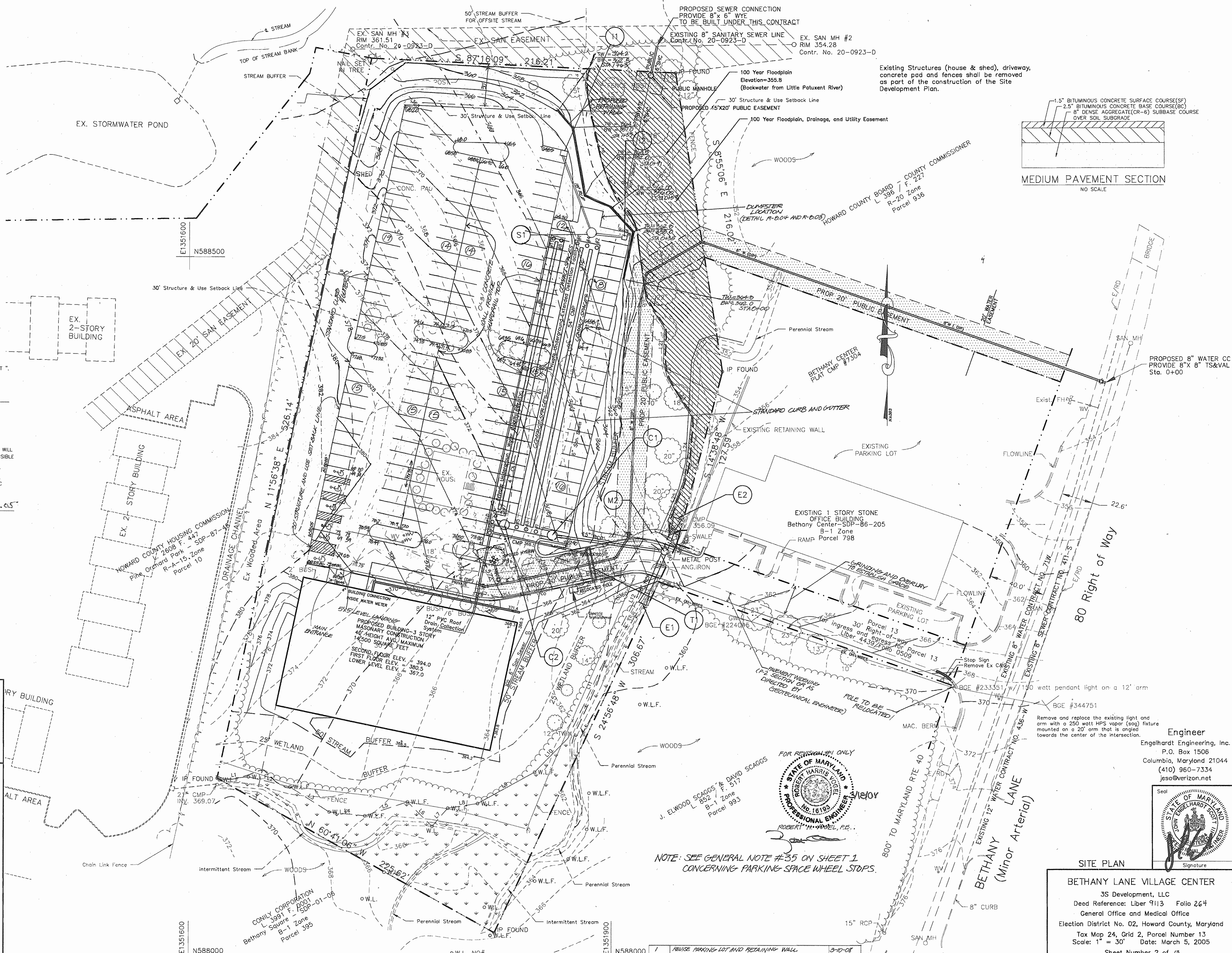
**DEVELOPER'S CERTIFICATE**

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*3D-member* 5-27-05  
SIGNATURE OF DEVELOPER DATE

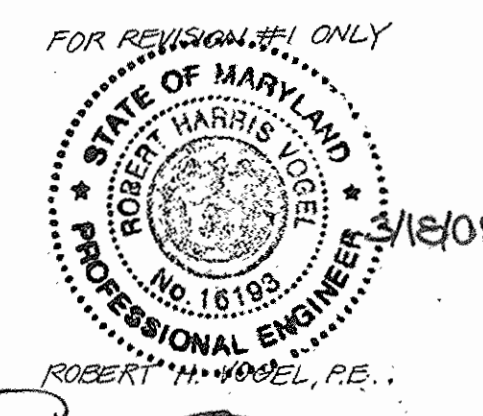
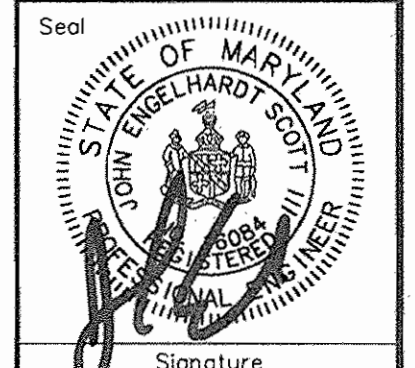
APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 6/29/05  
Chief, Development Engineering Division Date  
*[Signature]* 7/1/05  
Chief, Division of Land Development Date  
*[Signature]* 7/6/05  
Director Date



**SITE PLAN**  
BETHANY LANE VILLAGE CENTER  
35 Development, LLC  
Deed Reference: Liber 9113 Folia 264  
General Office and Medical Office  
Election District No. 02, Howard County, Maryland  
Tax Map 24, Grid 2, Parcel Number 13  
Scale: 1" = 30' Date: March 5, 2005  
Sheet Number 2 of 13

**Engineer**  
Engelhardt Engineering, Inc.  
P.O. Box 1506  
Columbia, Maryland 21044  
(410) 960-7334  
jesa@verizon.net



NOTE: SEE GENERAL NOTE #35 ON SHEET 1 CONCERNING PARKING SPACE WHEEL STOPS.

No.	REVISION	DATE
1	REMOVE PARKING LOT AND RETAINING WALL	3-10-08

NOTES:

1. Dimensions are to face of curb.

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

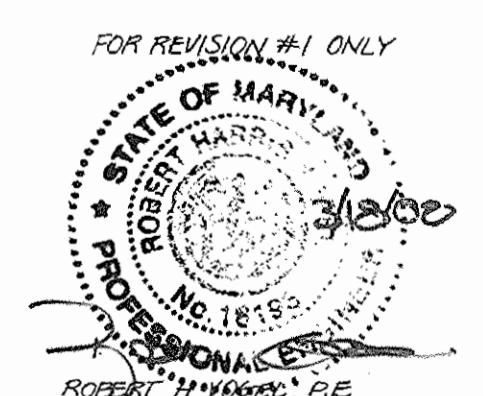
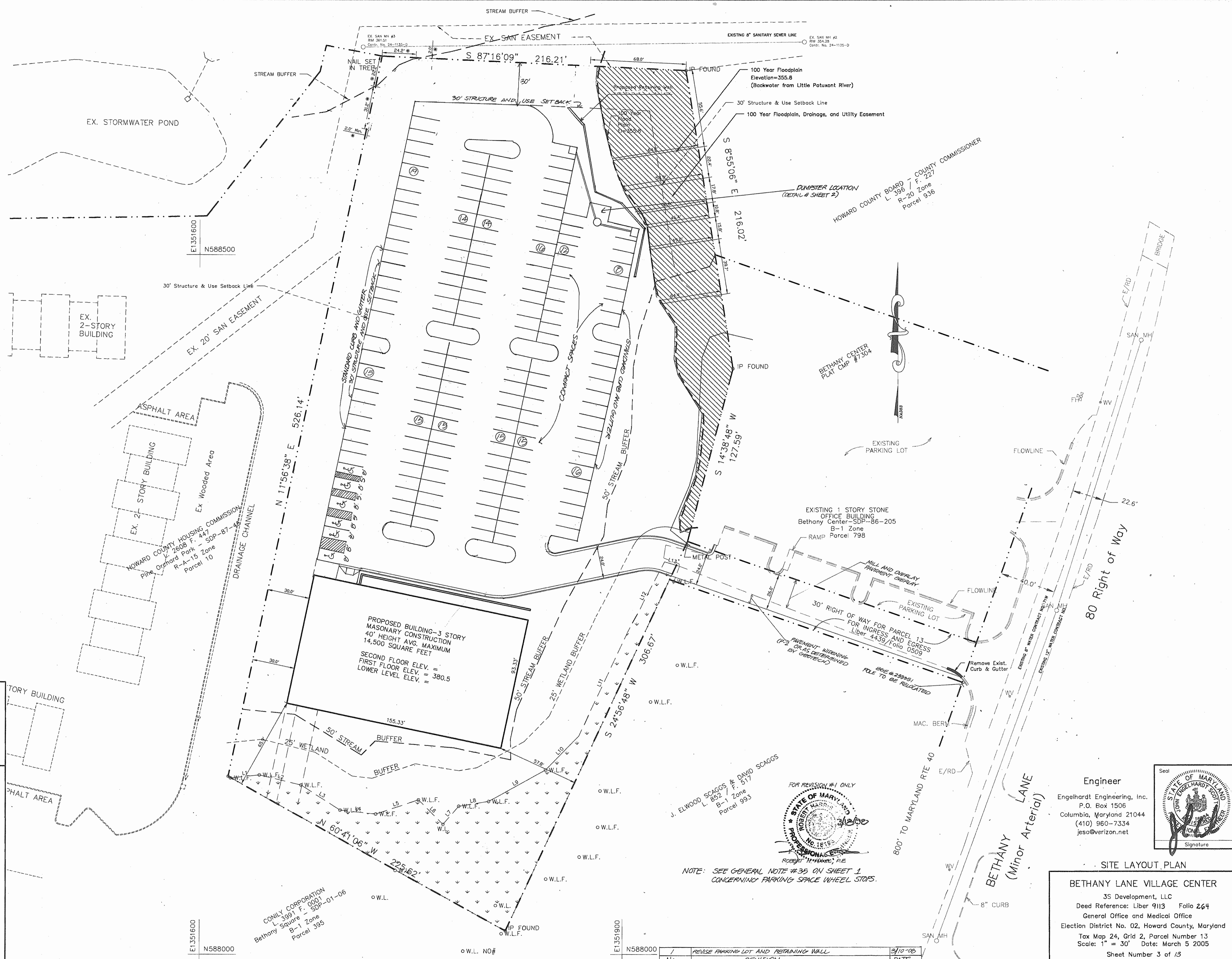
*3D-member* 5-27-05  
SIGNATURE OF DEVELOPER DATE

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]* 3-5-05  
SIGNATURE OF ENGINEER DATE

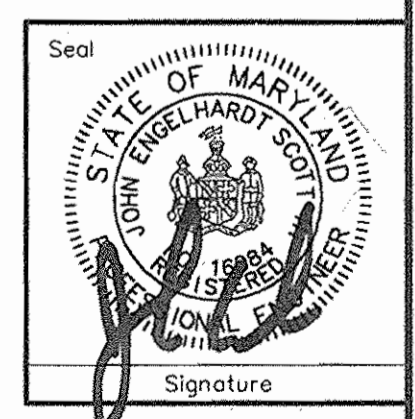
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 10/21/05  
 Chief, Development Engineering Division Date  
*[Signature]* 2/1/05  
 Chief, Division of Land Development Date  
*[Signature]* 2/16/05  
 Director Date



J. ELWOOD SCAGGS & DAVID SCAGGS  
 L. 852 F. 517  
 B-1 Zone  
 Parcel 993

NOTE: SEE GENERAL NOTE #35 ON SHEET 1 CONCERNING PARKING SPACE WHEEL STOPS.

SITE LAYOUT PLAN  
 BETHANY LANE VILLAGE CENTER  
 3S Development, LLC  
 Deed Reference: Liber 9113 Folio 264  
 General Office and Medical Office  
 Election District No. 02, Howard County, Maryland  
 Tax Map 24, Grid 2, Parcel Number 13  
 Scale: 1" = 30' Date: March 5 2005  
 Sheet Number 3 of 13

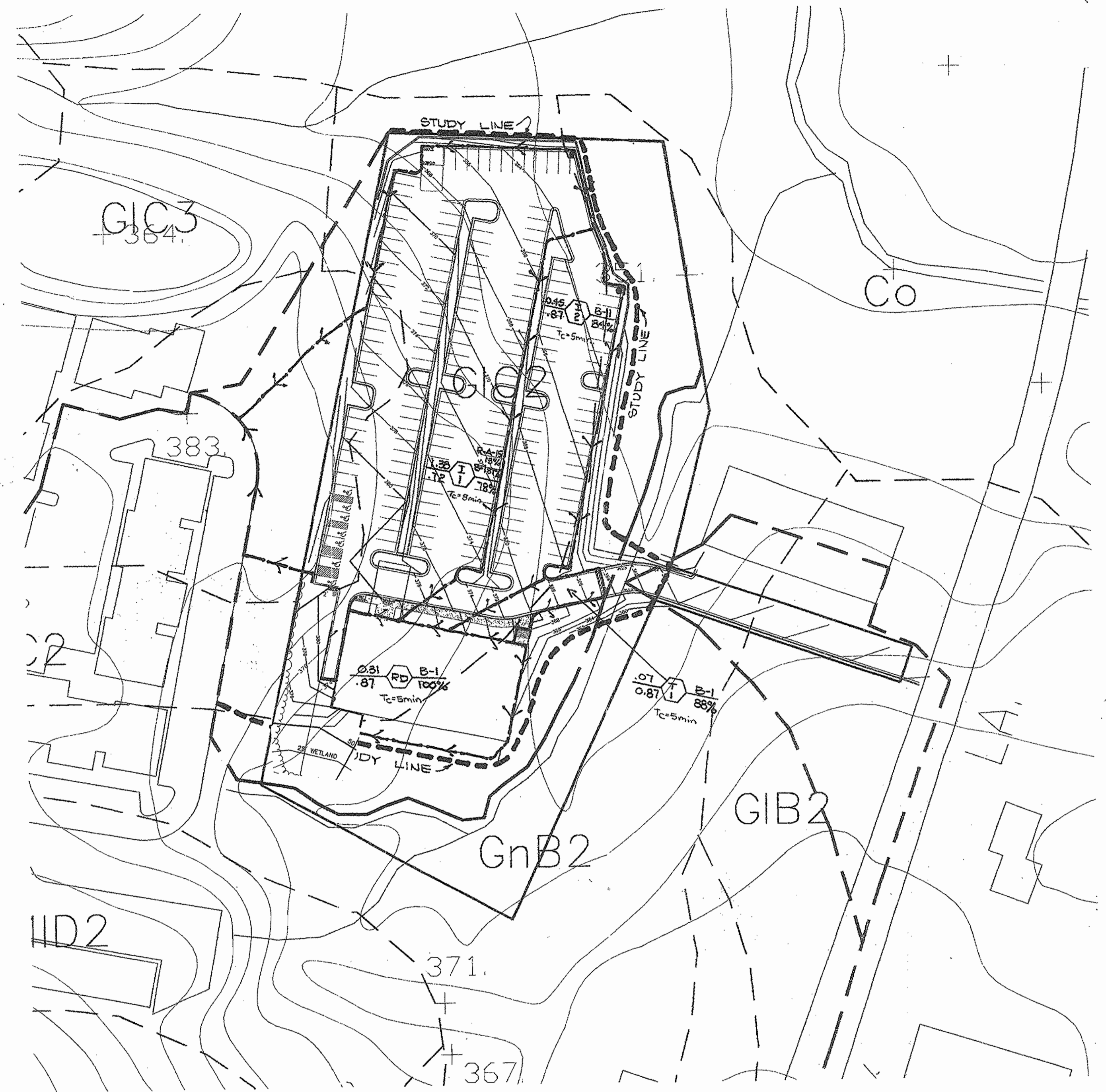


Engineer  
 Engelhardt Engineering, Inc.  
 P.O. Box 1506  
 Columbia, Maryland 21044  
 (410) 960-7334  
 jeso@verizon.net

No.	REVISION	DATE
1	REVISE PARKING LOT AND RETAINING WALL	3/10/05
	MAC CURB	





PRESENT CONDITION




PROPOSED CONDITION

APPROVED: DEPARTMENT OF PLANNING AND ZONING

  
 Chief, Development Engineering Division  
 Date: 6/29/05

  
 Chief, Division of Land Development  
 Date: 7/1/05

  
 Director  
 Date: 7/4/05

Area	Water Quality Volume/Recharge Volume					
	Area (Ac)	% Imp.	R <sub>s</sub>	S	WQ, (Cu Ft)	Re, (Cu Ft)
I-1	1.38	78	0.75	0.26	3767	979
I-2	0.45	84	0.81	0.26	1317	342
T-1	0.07	88	0.84	0.26	214	56
RD (Roof Drain)	0.31	100	0.95	0.26	1069	278


DEVELOPER'S CERTIFICATE

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 SIGNATURE OF DEVELOPER  
 DATE: 5-27-05

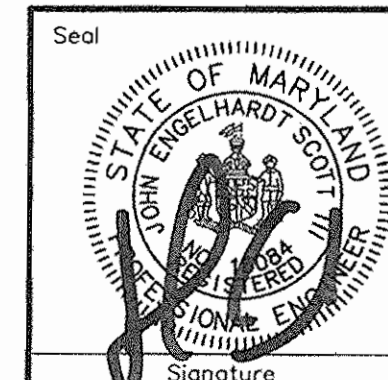
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 SIGNATURE OF ENGINEER  
 DATE: 3-5-05

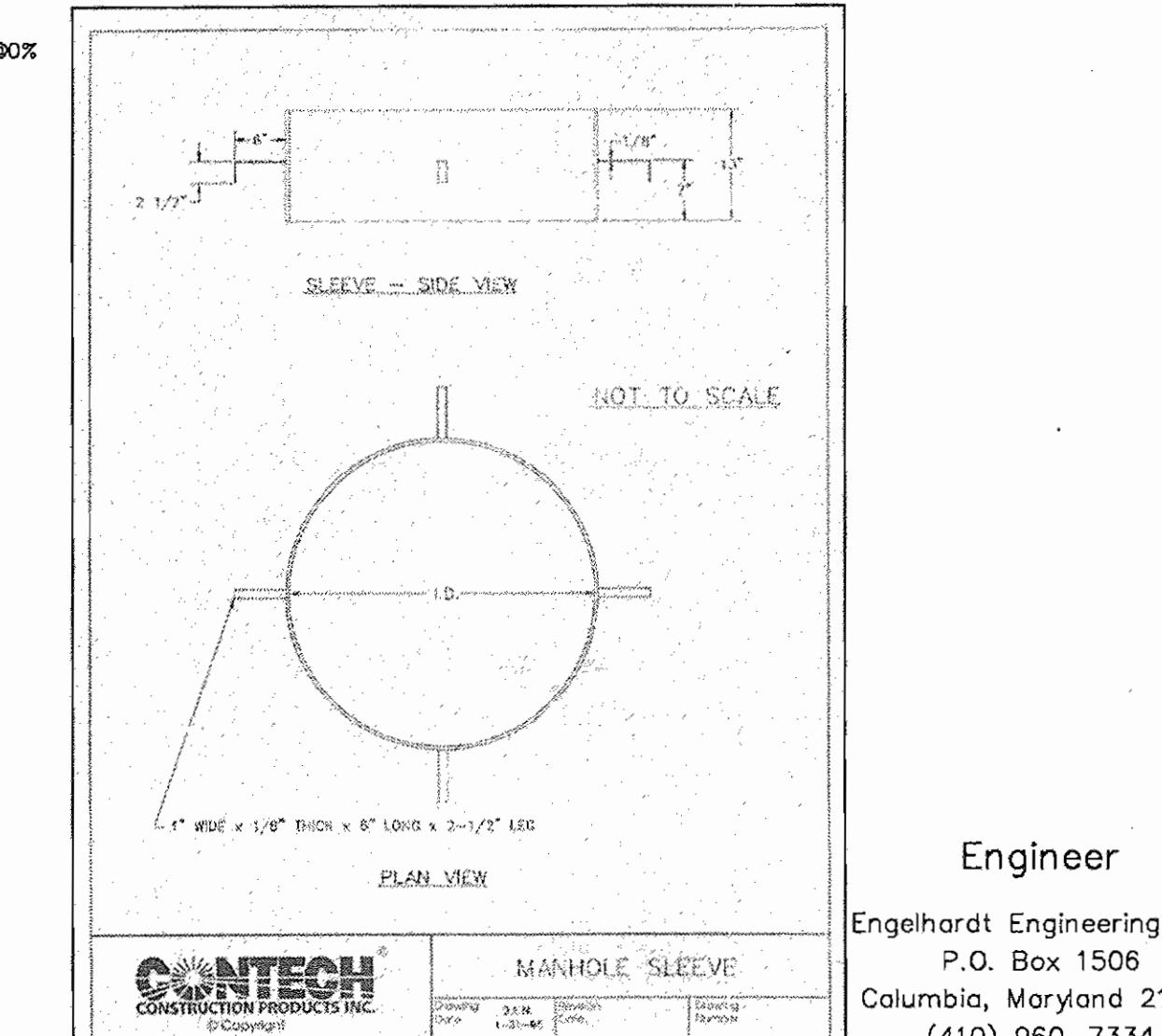
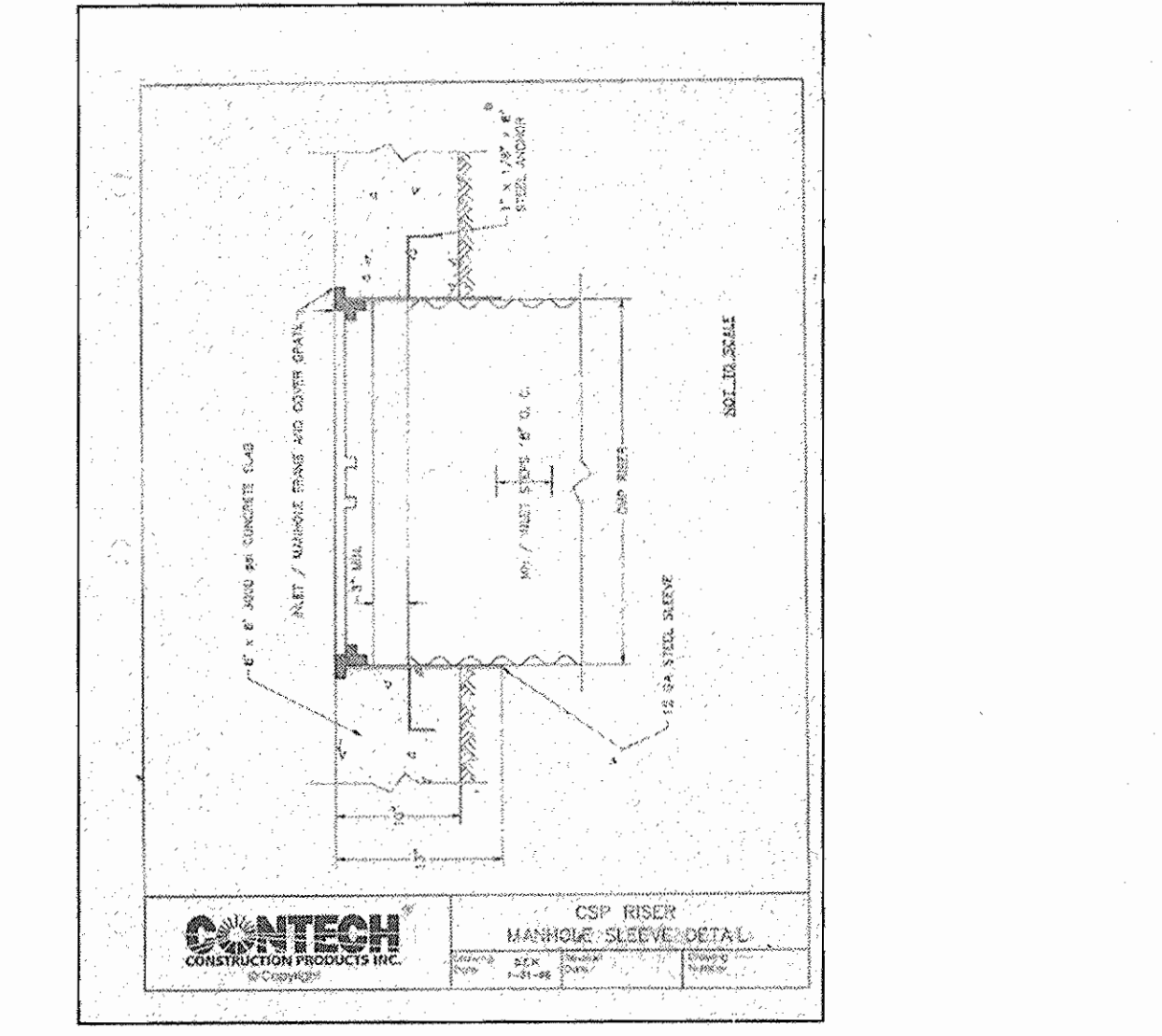
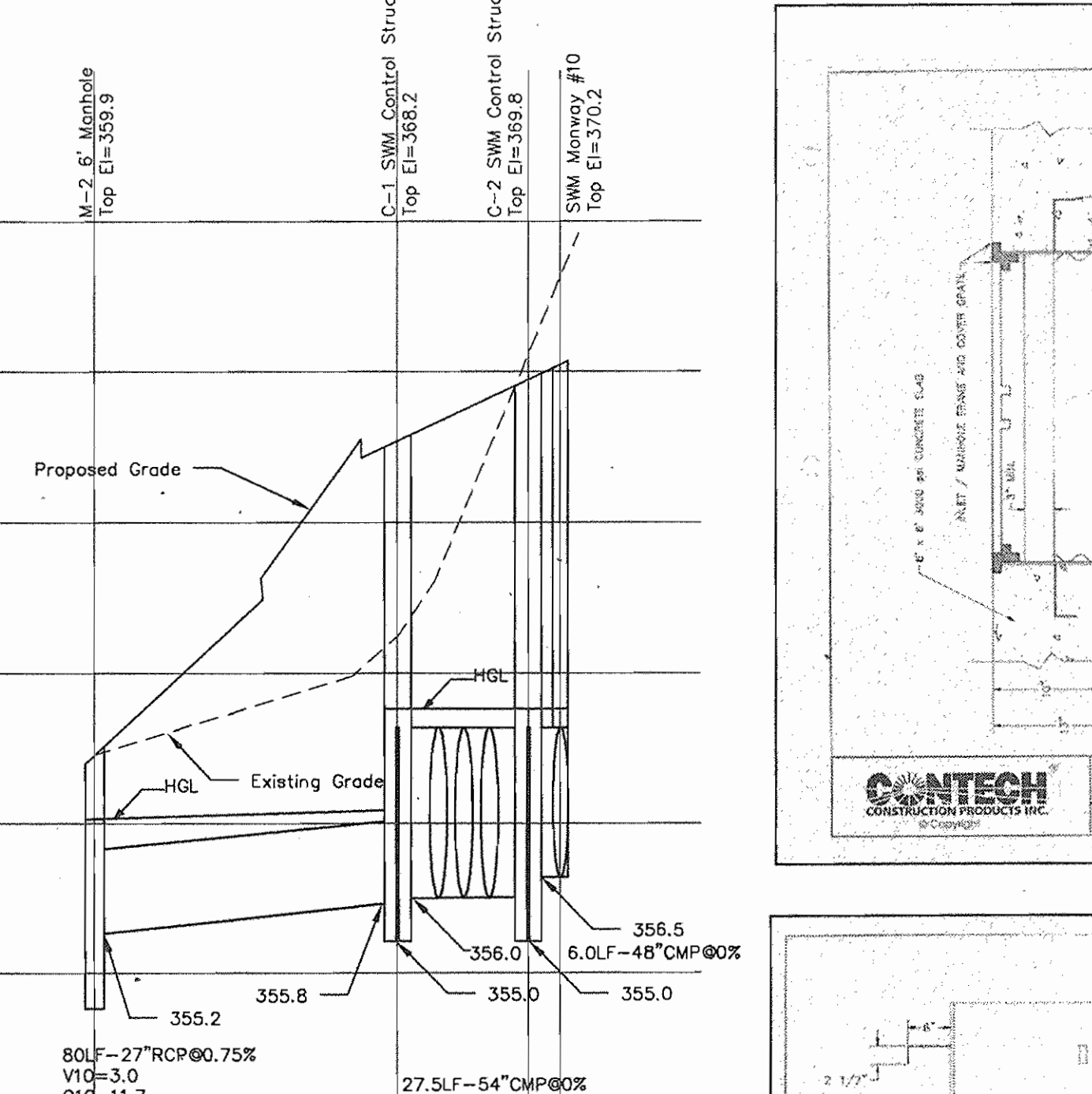
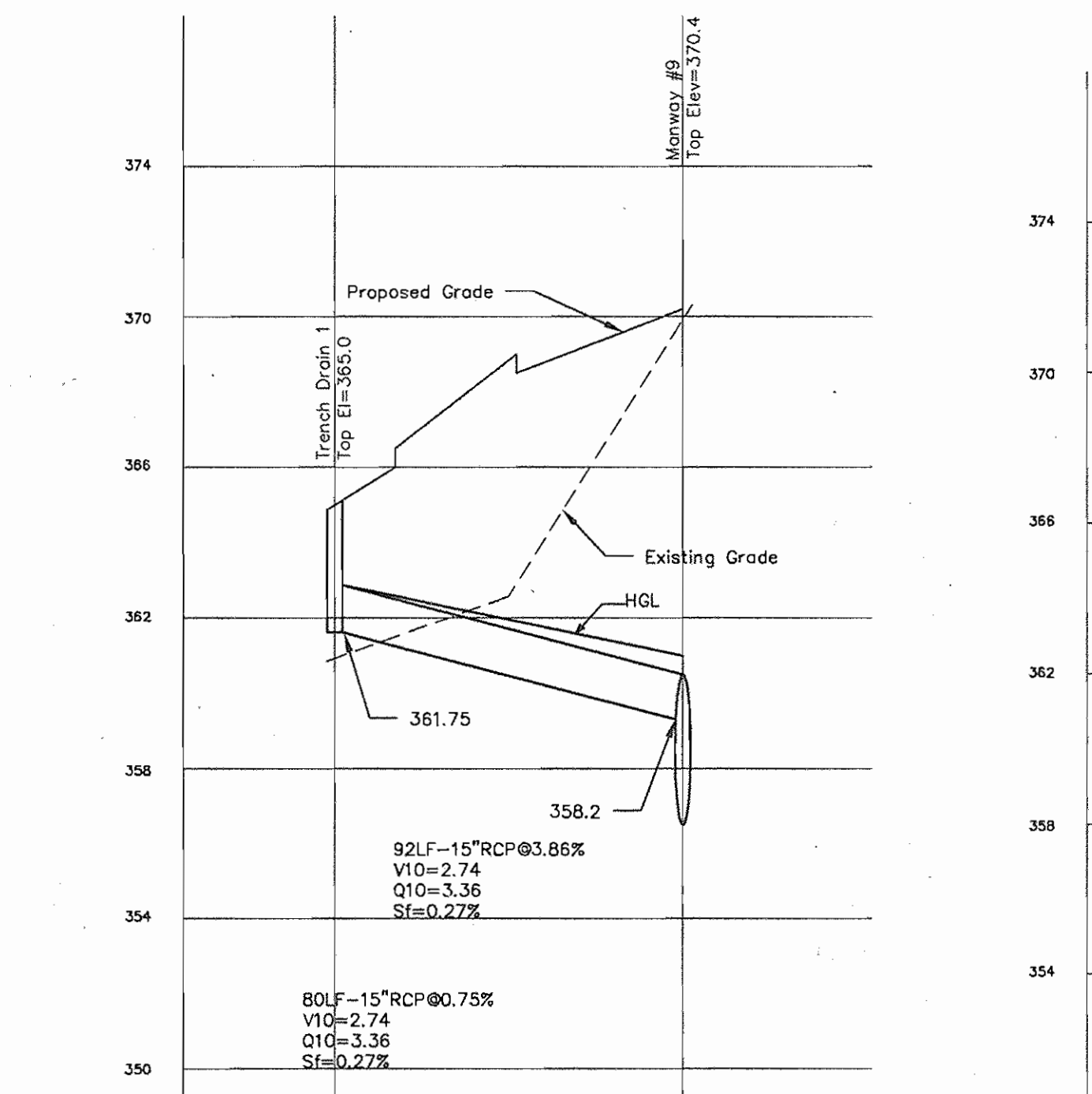
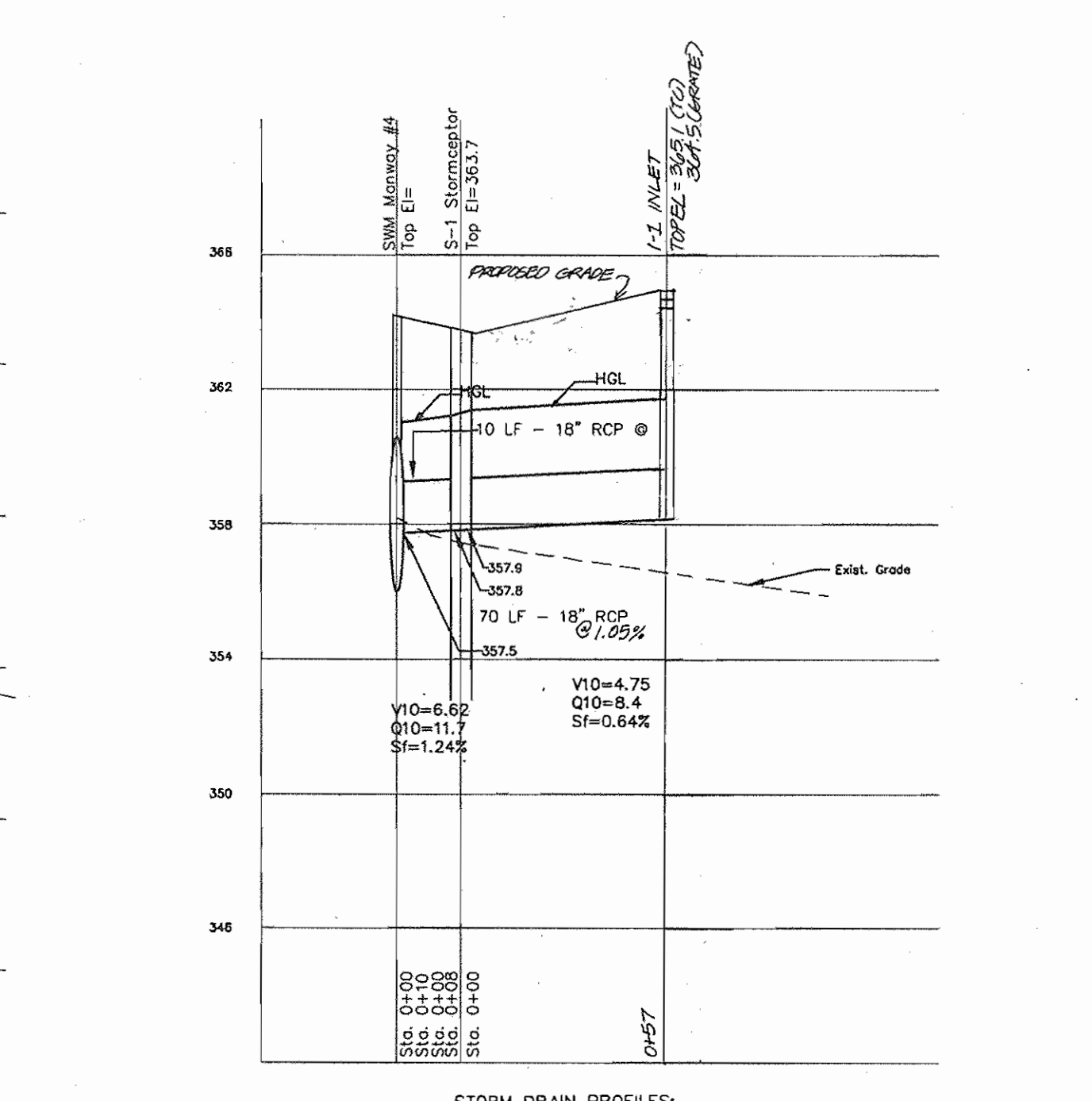
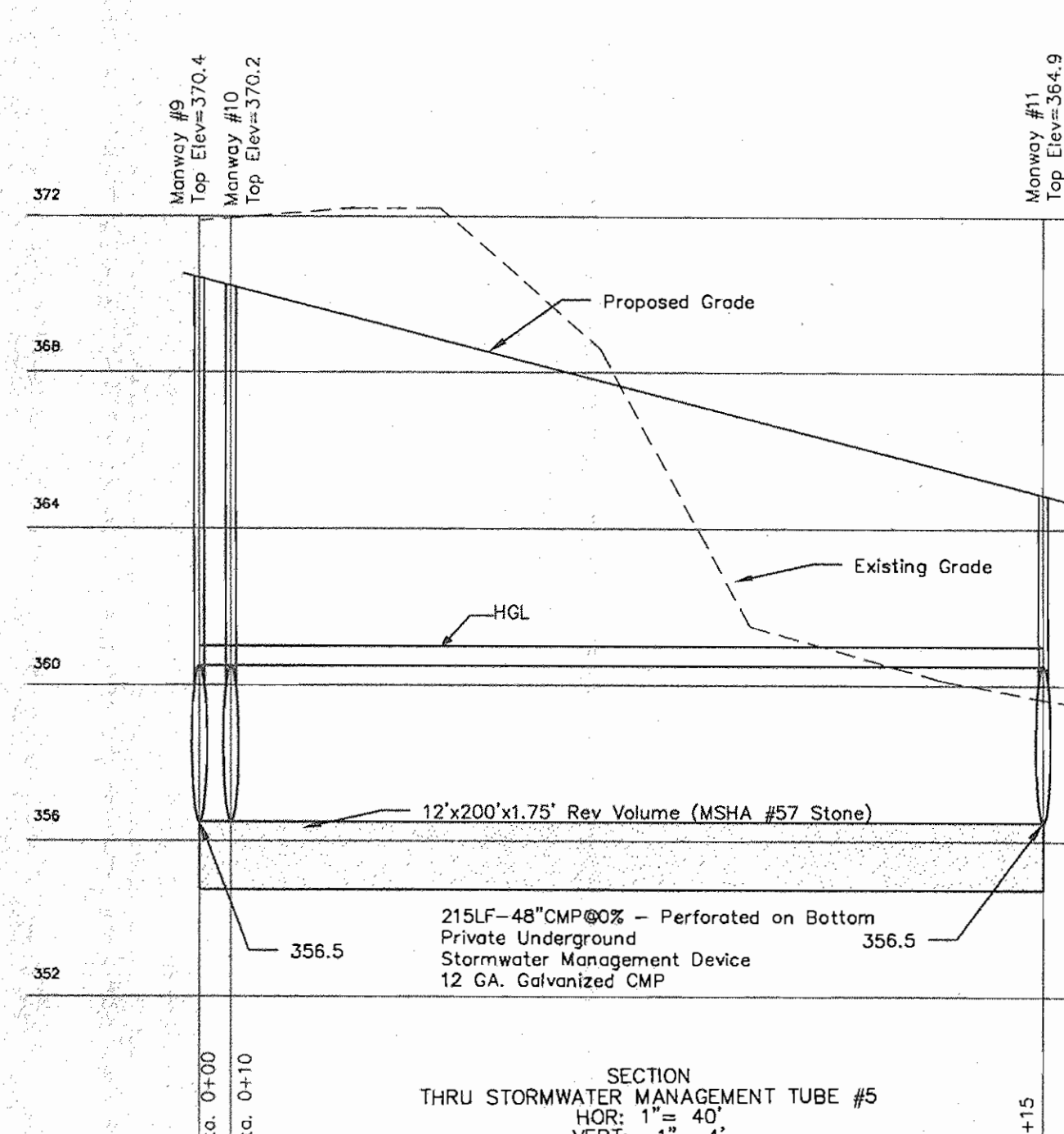
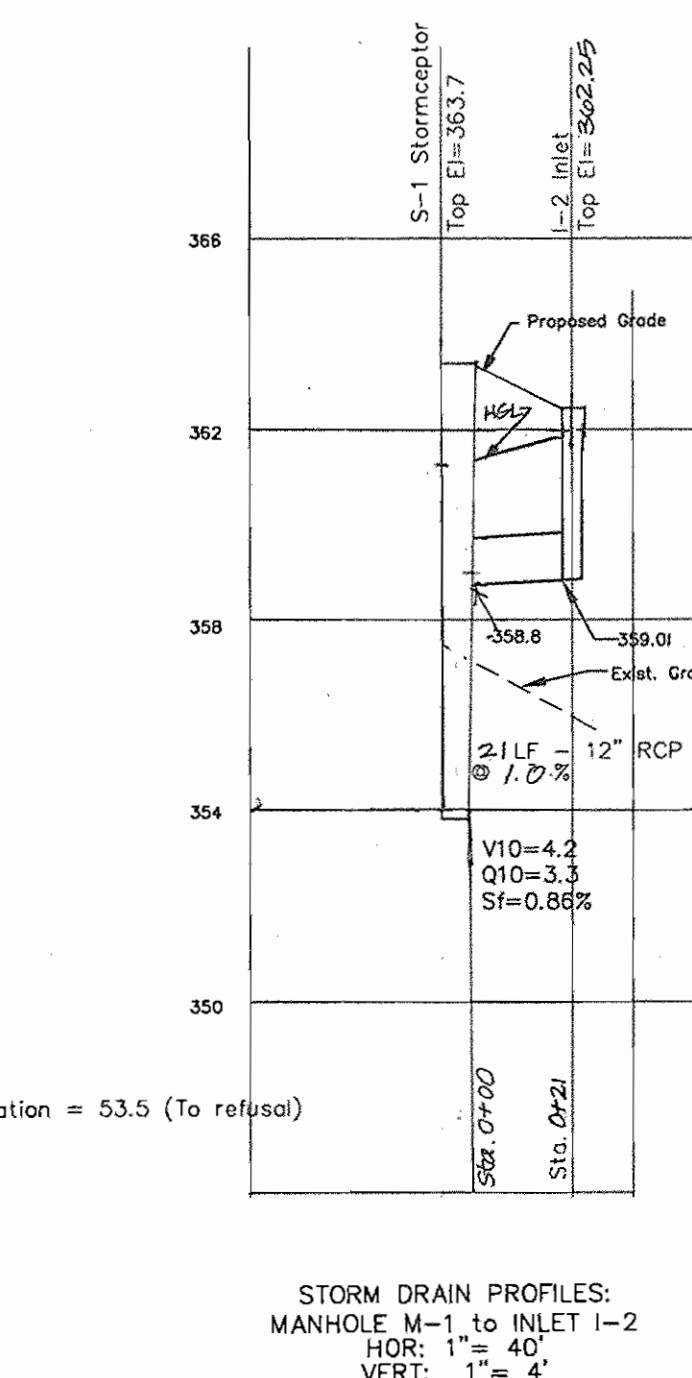
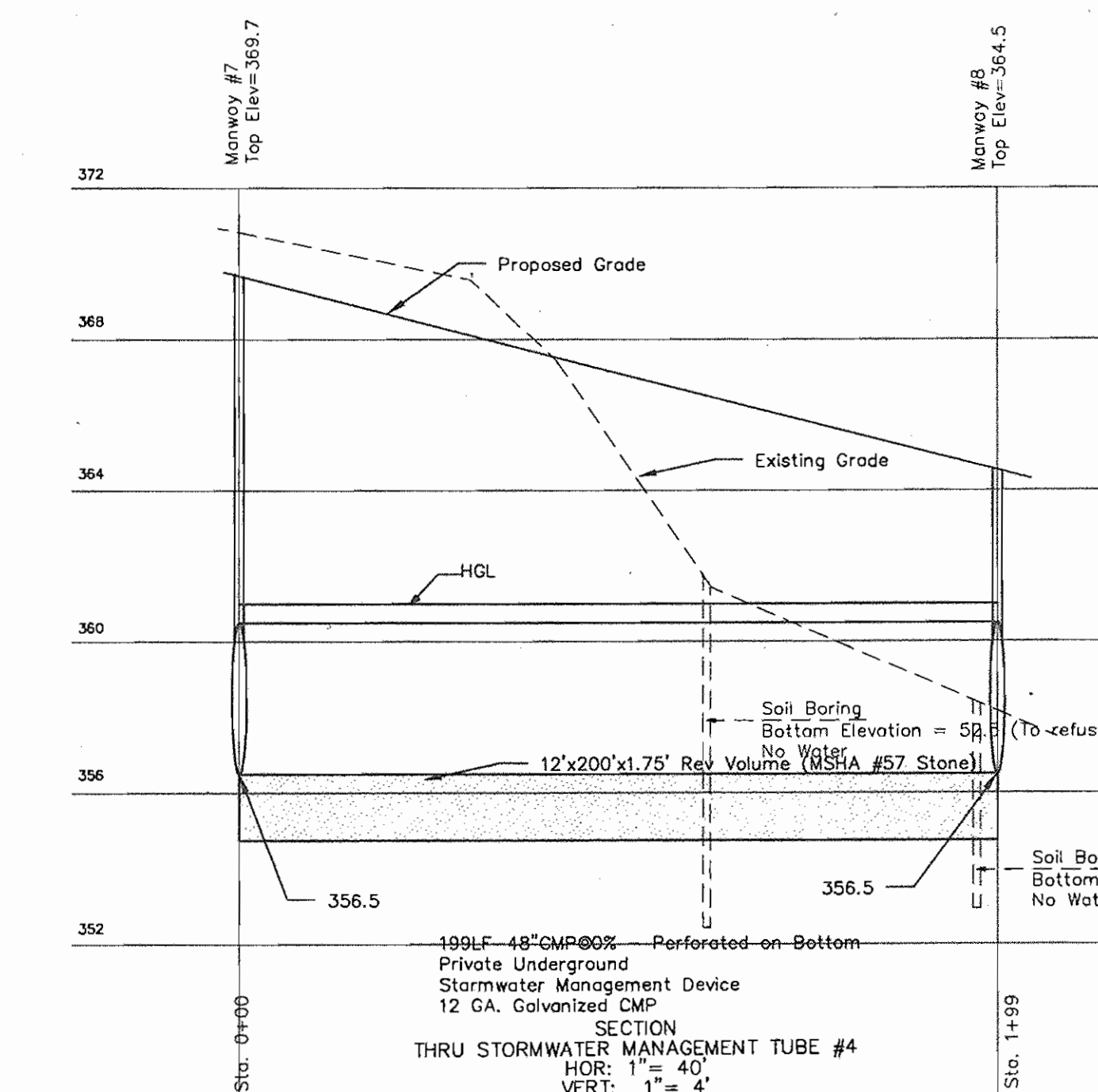
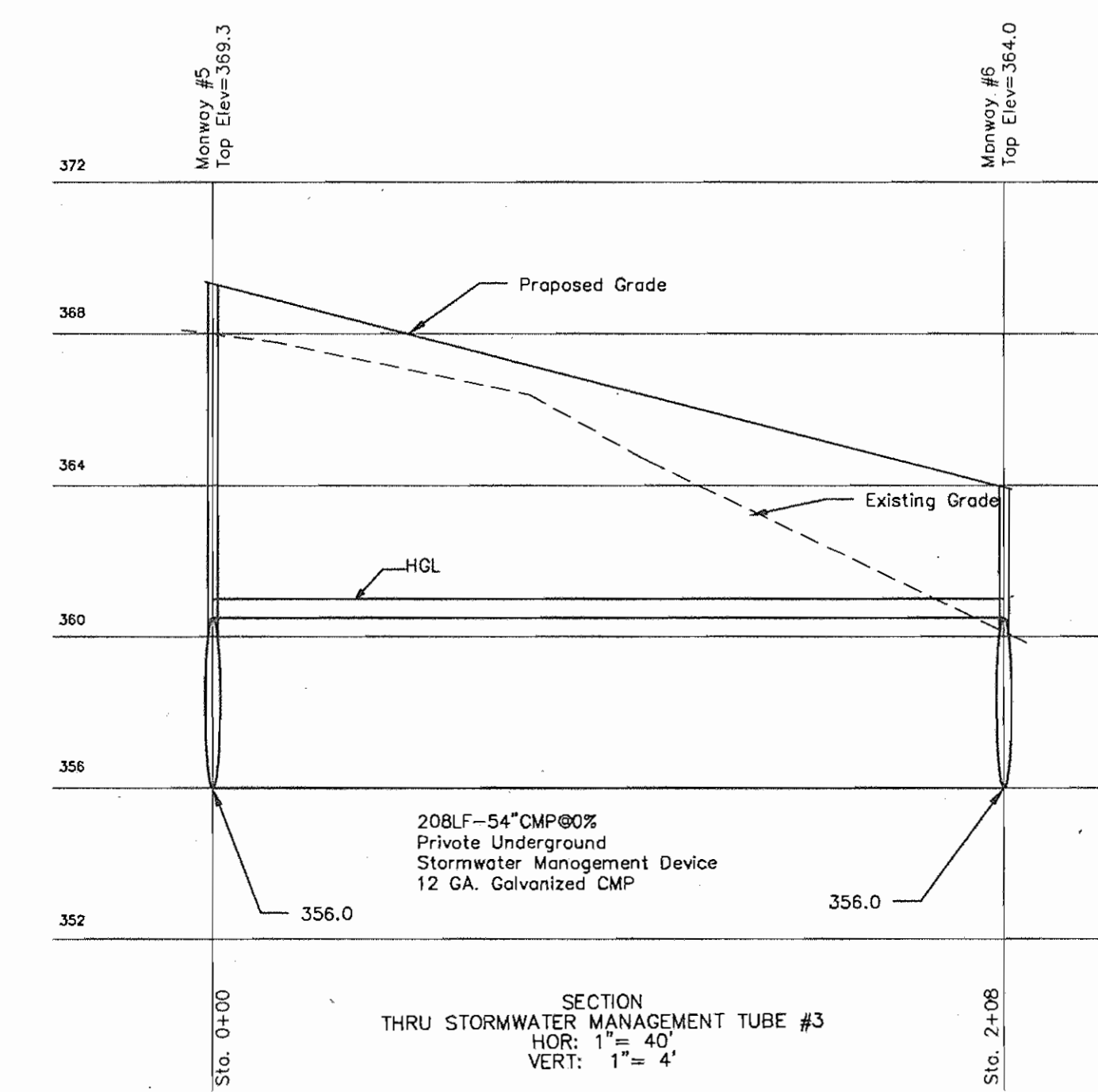
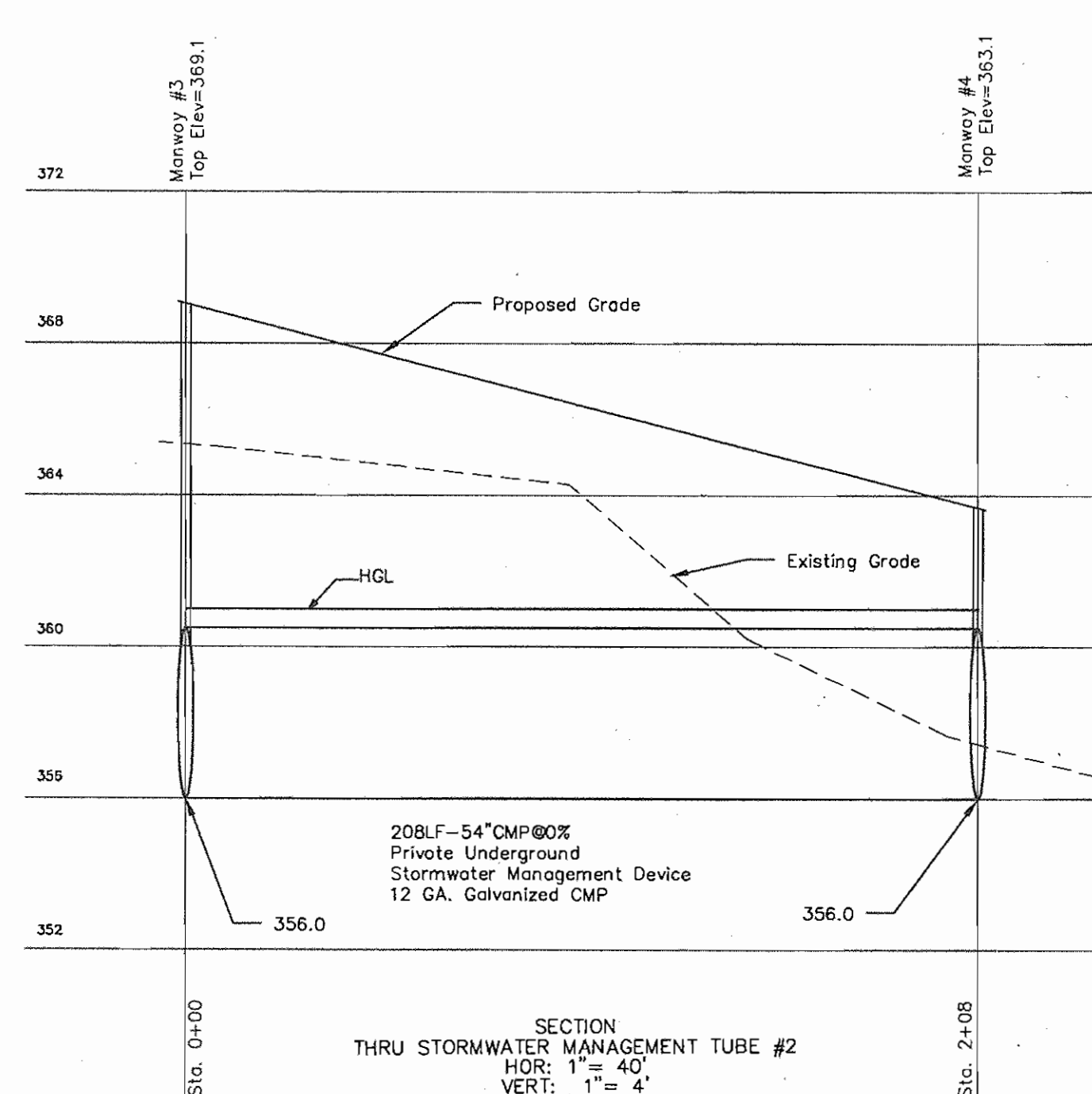
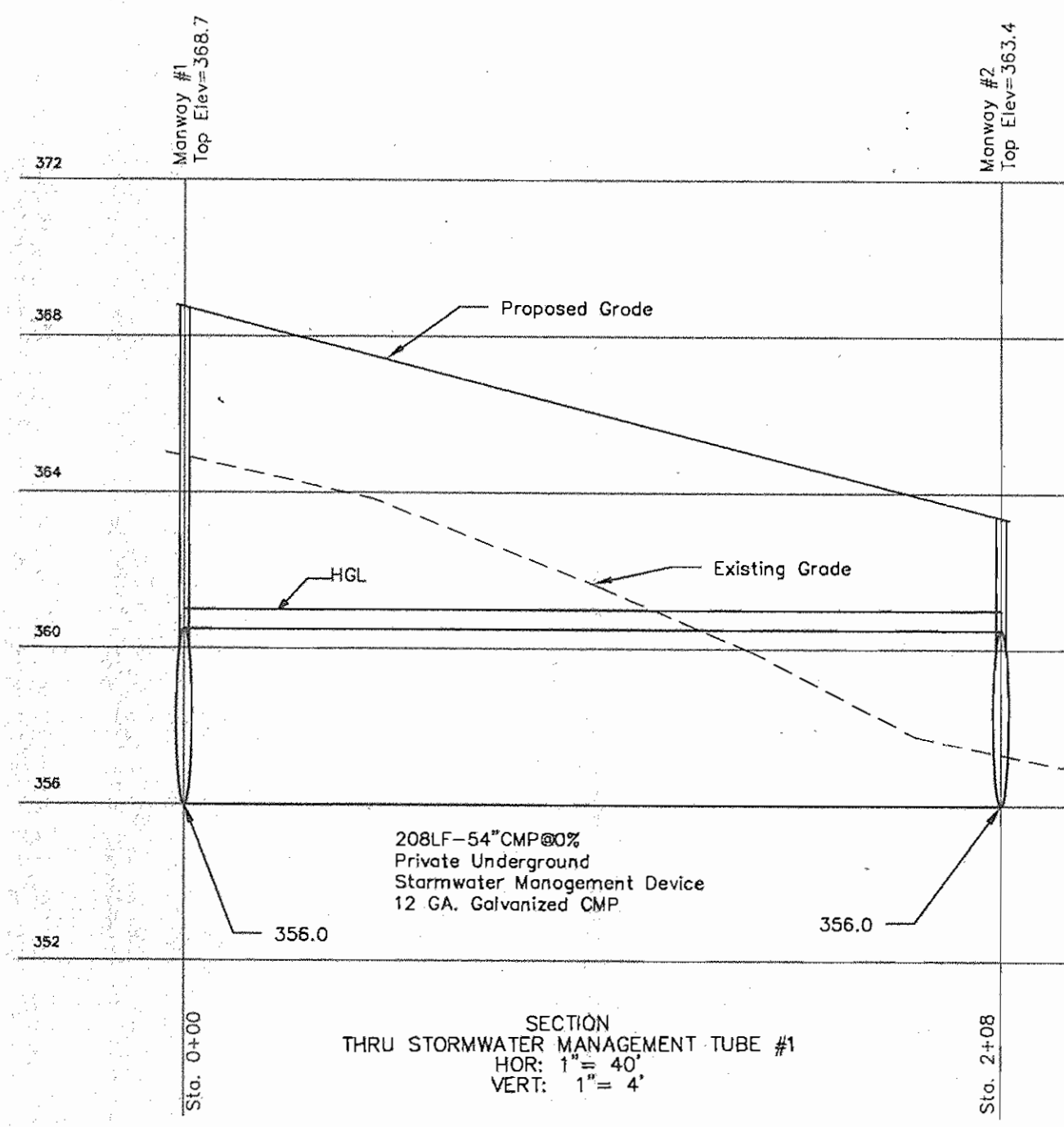
Engineer

Engelhardt Engineering, Inc.  
 P.O. Box 1506  
 Columbia, Maryland 21044  
 (410) 960-7334  
 jeso@verizon.net



POST DEVELOPEMNT CONDITIONS DRAINAGE AREA MAP

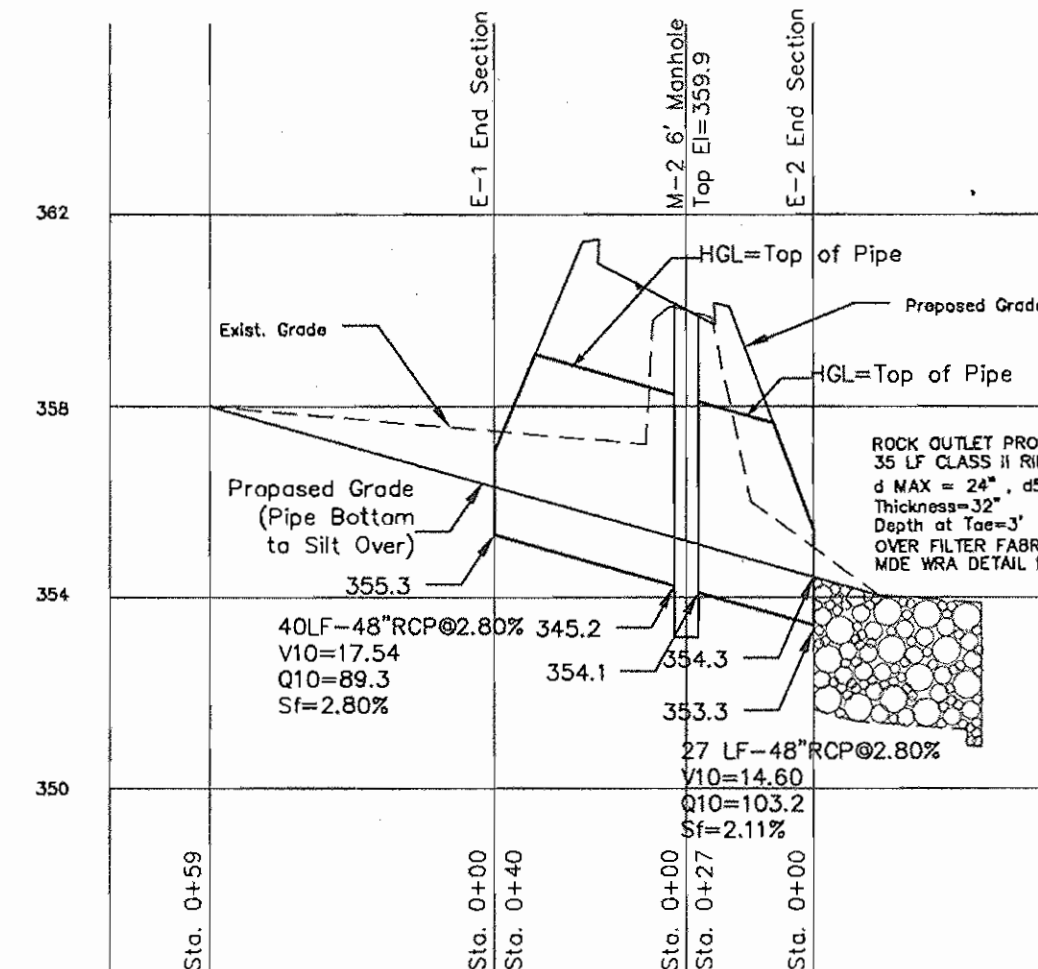
**BETHANY LANE VILLAGE CENTER**  
 3S Development, LLC  
 Deed Reference: Liber 9113 Folio 264  
 General Office and Medical Office  
 Election District No. 02, Howard County, Maryland  
 Tax Map 24, Grid 2, Parcel Number 13  
 Scale: 1" = 60' Date: April, 2000  
 Sheet Number 4 of 13



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director

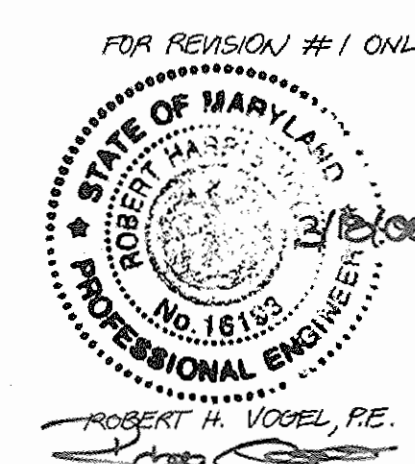
ENGINEER'S CERTIFICATE  
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
 SIGNATURE OF ENGINEER: [Signature]  
 DATE: 3-5-05

DEVELOPER'S CERTIFICATE  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 SIGNATURE OF DEVELOPER: [Signature]  
 DATE: 5-27-05



Type	Class/Ga.	Length
54" CMP	12	624
48" CMP	12	414
15" CMP	14	92
48" RCP	C1 IV	67
27" RCP	C1 IV	80
18" RCP	C1 IV	70
15" RCP	C1 IV	27

Structure	Description	SD
E-1	End Section	SD 5.52
E-2	End Section	SD 5.52
C-1	Control Structure	Mod. SHA 384.09
C-2	Control Structure	Mod. SHA 384.09
T-1	Trench Drain	SD 4.15
MH-2	Manhole	G 5.13
I-1	WR Inlet	SD 4.35
I-2	WR Inlet	SD 4.35



NO.	REVISION	DATE
1	REVISE PARKING LOT AND RETAINING WALL	3-10-05

STORM DRAIN PROFILES  
 BETHANY LANE VILLAGE CENTER  
 3S Development, LLC  
 Deed Reference: Liber 9113 Folio 264  
 General Office and Medical Office  
 Election District No. 02, Howard County, Maryland  
 Tax Map 24, Grid 2, Parcel Number 13  
 Scale: As Shown Date March 5, 2005  
 Sheet Number 5 of 13

**SEDIMENT CONTROL GENERAL NOTES:**

"THE PURPOSE OF THIS PLAN IS TO SHOW THE TEMPORARY SEDIMENT CONTROL DEVICES AND FACILITIES TO CONTAIN AND PREVENT SEDIMENT LADEN WATER FROM LEAVING THE DISTURBED AREAS.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH HOWARD COUNTY SPECIFICATIONS AND DETAILS, UNLESS OTHERWISE NOTED.

- 1.) THE BASE INFORMATION SHOWN HEREON IS DERIVED FROM FIELD RUN SURVEYS AND PUBLIC RECORD INFORMATION. THE TOPOGRAPHIC INFORMATION FROM THE SURVEY IS SURFACE EXPLORATION AND INVESTIGATION ONLY. THE UNDERGROUND SERVICES HAVE NOT BEEN VERIFIED BY THESE PLANS.
- 2.) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY.
- 3.) THE CONTRACTOR SHALL CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST 72 HOURS BEFORE START OF WORK.
- 4.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE, INVESTIGATE ALL CONDITIONS THAT AFFECT HIS WORK, BECOME FAMILIAR WITH THE EXISTING CONDITIONS, AND ALL DRAWINGS AND SPECIFICATIONS.
- 5.) ANY DAMAGE TO EXISTING SERVICES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S SOLE EXPENSE.
- 6.) FAILURE TO SHOW OR SPECIFICALLY MENTION WORK THAT IS NECESSARY OR IMPLIED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL MATERIALS, LABOR AND TESTING FOR A COMPLETE PRODUCT.
- 7.) THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER, SHALL BE RESPONSIBLE FOR DISCARDING WASTE AND/OR EXCESS MATERIALS AND DEBRIS FROM THE SITE IN A LEGAL MANNER ACCORDING TO ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- 8.) THE PARTIES THAT ENTER THIS SITE MUST MONITOR OPERATIONS FOR CLEANLINESS. IT IS THEIR RESPONSIBILITY TO KEEP THE SITE AND PUBLIC STREETS CLEAN AND FREE OF TRACKED MUD OR OTHER DEBRIS.
- 9.) CONTACT THE CIVIL ENGINEER AT THE ADDRESS AND PHONE NUMBERS SHOWN ON THE PLAN IF ANY UTILITY AS LOCATED VARIES FROM THE LOCATIONS SHOWN HEREON.
- 10.) REFER TO THE SEDIMENT CONTROL DETAIL AND SPECIFICATIONS FOR CONSTRUCTION DETAILS AND SEEDING NOTES.

**SEQUENCE OF CONSTRUCTION:**

- 1.) Obtain all necessary and required permits for completion of all work shown on these plans.
- 2.) Call the Howard County Building Inspections division, coordinate and attend a pre-construction meeting. Duration: 1 Day
- 3.) Install 24" flexible pipe, earthen dike, and stone dike. Once stabilized, construct pipe between E-1 and E-2. Stub out pipe from M-2 to S-2 and C-1 and block shut. When completed and at inspector approval, remove flexible pipe and dikes. 10 days
- 4.) Install the stone construction entrance and all super silt fence and silt fence per the plan or as directed by the building officials. Duration: 5 Days
- 5.) With the inspectors approval clear, grade and stockpile topsoil in a location agreeable to the general contractor. Construct building, storm drain system and stormwater management facility, install water, electric, and sewer lines. Once Storm Drain inlet are constructed, install inlet protection. Duration: 7 Months
- 6.) Install retaining walls, fine grade, base pave parking areas and walks. Stabilize all areas with permanent seeding, unless otherwise coordinated with the inspector and engineer. Duration: 7 Weeks
- 7.) Contractor may remove erosion and sediment control devices upon permission from the Sediment Control inspector.
- 8.) Maintenance- Duration: On going by owners

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENT.

*John M. Vogel, P.E.*  
SIGNATURE DATE

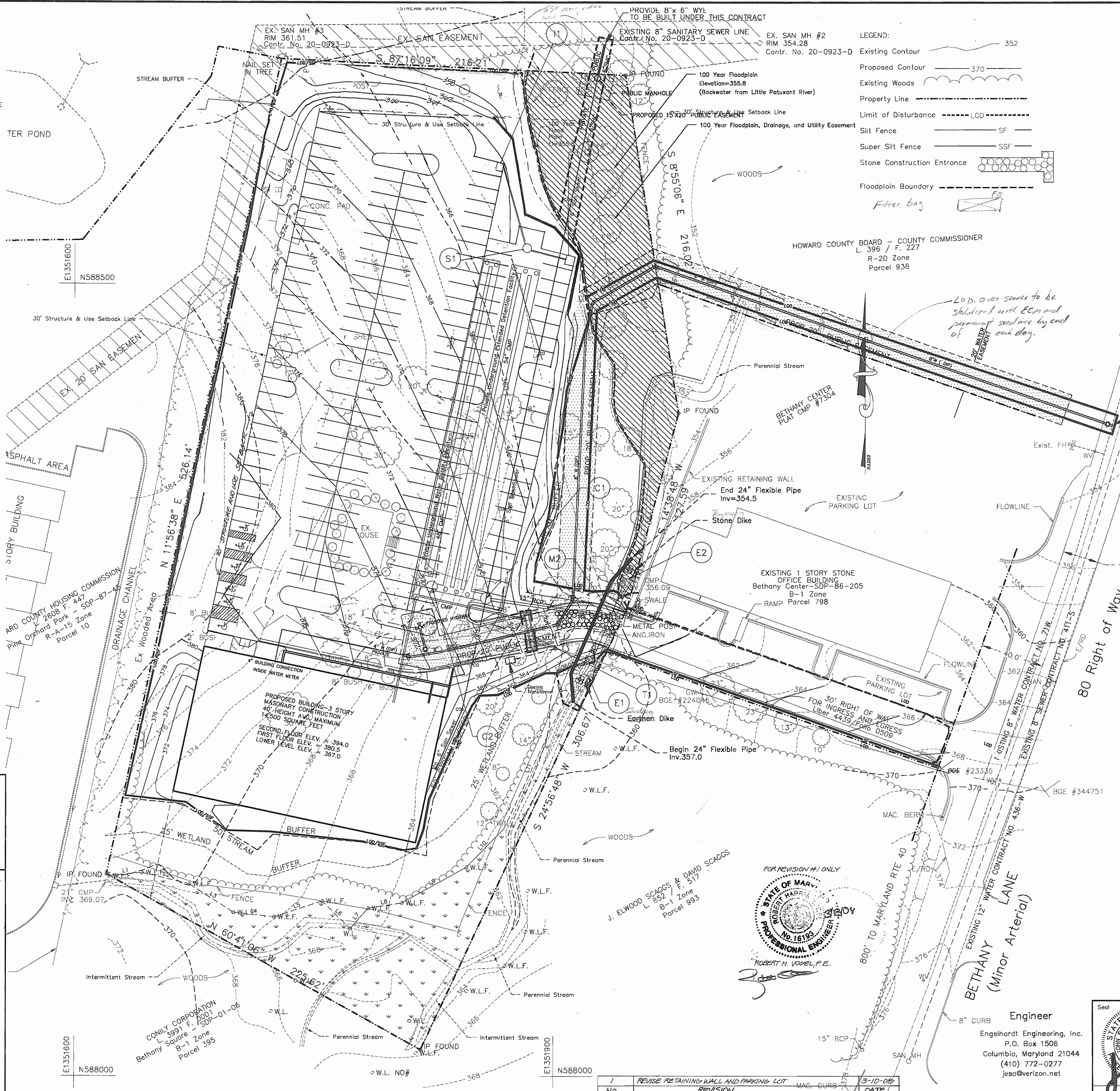
**U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE**

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *John M. Vogel, P.E.*  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*David M. ...* 7/1/05  
Chief, Development Engineering Division Date  
*Cindy ...* 7/1/05  
Chief, Division of Land Development Date  
*David ...* 7/1/05  
Director Date



**LEGEND:**

- Existing Contour 352
- Proposed Contour 370
- Existing Woods
- Property Line
- Limit of Disturbance LOD
- Silt Fence SF
- Super Silt Fence SSF
- Stone Construction Entrance
- Floodplain Boundary
- Filter bag

**DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*John M. Vogel, P.E.* 3-10-05  
SIGNATURE OF DEVELOPER DATE

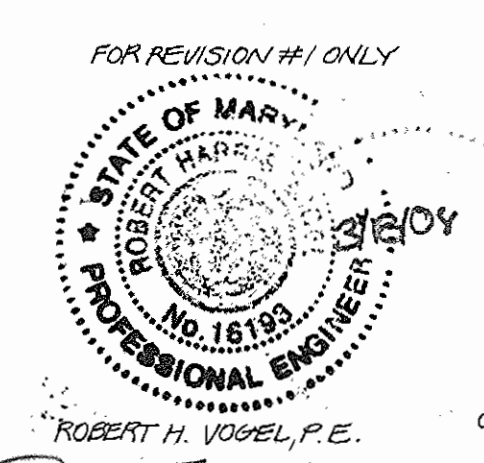
**ENGINEER'S CERTIFICATE**

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

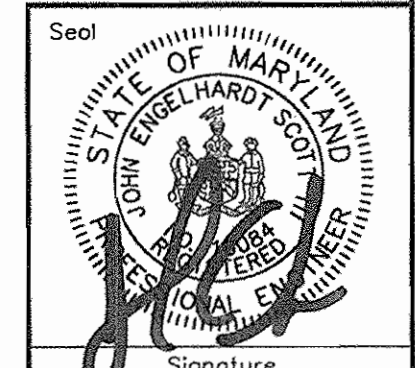
*John M. Vogel, P.E.* 3-10-05  
SIGNATURE OF ENGINEER DATE

**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND FACILITIES**

1. The underground stormwater management facility is privately owned and it shall be the responsibility of the owner to periodically inspect and clean the facility to maintain its operation and function.
2. The underground stormwater management facility shall be inspected yearly at a minimum and after especially severe storm events.
3. When sediment accumulation of more than 2" is observed or any debris that might obstruct the outfall is observed, the facility shall be cleaned.
4. The facility shall be cleaned immediately after petroleum spills. The owner shall contact the appropriate regulatory agencies notifying them of the spill and cleanup operation.
5. The sediment and debris shall be removed from the underground stormwater management facility by vacuum truck or other manual means. The owner shall follow proper cleaning and disposal of the removed material and liquid.
6. The inlet and outlet pipes shall be checked of any obstructions at least once every six(6) months. If obstructions are found, the owner shall have them removed and properly disposed of.



**Engineer**  
Engelhardt Engineering, Inc.  
P.O. Box 1506  
Columbia, Maryland 21044  
(410) 772-0277  
jeso@verizon.net



**BETHANY LANE VILLAGE CENTER**  
35 Development, LLC  
Deed Reference: Liber 9113 Folio 264  
General Office and Medical Office  
Election District No. 02, Howard County, Maryland  
Tax Map 24, Grid 2, Parcel Number 13  
Scale: 1" = 30' Date March 5, 2005  
Sheet Number 6 of 13

NO.	REVISION	DATE
1	REVISE RETAINING WALL AND PARKING LOT	3-10-05
	REVISION	

CONSTRUCTION NOTES:

- All graded and disturbed areas including slopes shall be protected during clearing and construction in accordance with the approved erosion and sediment control plan until they are adequately stabilized.
- All erosion and sediment control practices and measures shall be constructed, applied and maintained in accordance with the approved sediment control plan and all applicable Local, State, and Federal Standards and Specifications for Soil Erosion and Sediment Control.
- Topsoil required for the establishment of vegetation shall be stockpiled in the amount necessary to complete finished grading of all exposed areas.
- Areas to be filled shall be cleared, grubbed and stripped of topsoil, remove trees, vegetation, roots or other objectionable materials.
- Areas which are to be top soiled shall be scarified to a minimum depth of three (3) inches prior to placement of topsoil.
- All fills shall be compacted to 95% maximum density ASTM D-1557 (AASHTO T-180) Method-C at optimum moisture as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc. shall be compacted in accordance with above stated or local requirements and codes, whichever are more stringent.
- All fill shall be placed and compacted in layers not to exceed eight inches (8") in thickness.
- Except for approved landfills or nonstructural fills, fill material shall be free of brush, rubbish, rocks, logs stumps, building debris and other objectionable materials that would interfere with, or prevent, construction of satisfactory fills.
- Frozen materials or soft, waxy or highly compressible materials shall not be incorporated into fill slopes or structural fills. Fill shall not be placed on a frozen foundation.
- Groundwater, Seeps or springs encountered during construction shall be handled in accordance with the local Building Code, Standards and Specifications for Surface Drain or other approved methods. If conditions are not stated, employ a design professional for foundation design and construction inspections. Require a final certification after foundation cure period and prior to first floor decking is placed.
- Stockpiles, borrow areas, and spoil areas shall be shown on the plans and shall be subject to the provisions of all applicable local, state, and federal Standard and Specifications.
- Grade all disturbed areas with positive drainage at 2% (percent) slope minimum.
- Footers for building or house construction to be in virgin soil or on compacted soils designed and specified by a Registered Engineer.
- Trees shall not be removed from building pad locations unless approved for building pad grading has been acquired or until such time as Grading plans for each lot are completed, submitted, and approved with each building permit application.

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF DEVELOPER: *B. W. MERRILL* DATE: *5-21-05*

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENT

SIGNATURE: *Jim Meyer / os 4/26/05* DATE: *4/26/05*

U.S.D.A NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *[Signature]* DATE: *4/26/05*

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* DATE: *4/26/05*

Chief, Division of Land Development: *[Signature]* DATE: *7/1/05*

Director: *[Signature]* DATE: *7/6/05*

21.0 STANDARD AND SPECIFICATIONS

FOR

TOPSOIL

Definition

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Condition Where Practice Applies

- This practice is limited to areas having 2:1 or flatter slopes where:
  - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
  - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish containing supplies of moisture and plant nutrients.
  - The original soil to be vegetated contains material toxic to plant growth.
  - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
  - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, clumps, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
  - Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
- Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

HOWARD SOIL CONSERVATION DISTRICT

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Soil Amendments - Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments - In lieu of soil test recommendations, use one of the following schedules:

- For periods March 1 - April 30, and August 1 - October 15, seed with 60 lbs/acre (4.4 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 - July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs/acre of OS 1800 urea. For the period of October 16 - February 28, present site by OS 1800. For the period March 1 - April 30, and August 1 - October 15, seed with 60 lbs/acre of OS 1800 urea (2.0 lbs/1000 sq. ft.) of certified urea on flat areas. On slope 8:1 or higher, use 248 gal/acre (8 gal/1000 sq. ft.) of urea for seeding.

Minimum: - Apply 1-1/2 to 2 tons per acre (30 to 60 lbs/1000 sq. ft.) of amended urea plus straw immediately after seeding. Another mulch immediately after application using mulch anchoring tool at 218 gallons per acre (5.5 gal/1000 sq. ft.) of amended urea on flat areas. On slope 8:1 or higher, use 248 gal/acre (8 gal/1000 sq. ft.) of urea for seeding.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be re-disturbed where a short-term vegetative cover is needed.

Soil Amendments - Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments - Apply 600 lbs/acre 10-10-10 fertilizer (4 lbs/1000 sq. ft.).

Seeding - For periods March 1 - April 30, and August 1 - October 15, seed with 2-1/2 lbs/acre per acre of annual ryegrass (3.2 lbs/1000 sq. ft.). For the period May 1 - August 14, seed with 3 lbs/acre of weeping lovegrass (6.0 lbs/1000 sq. ft.). For the period November 16 - February 28, present site by applying 2 tons/acre of well incubated raw mulch and seed as soon as possible in the spring. (OS 2 - Use only OS 2 - Seed with 60 lbs/acre of Kentucky 31 Tall Fescue and seeds with 2 tons/acre well incubated straw.

Minimum: - Apply 1-1/2 to 2 tons per acre (30 to 60 lbs/1000 sq. ft.) of amended urea plus straw immediately after seeding. Another mulch immediately after application using mulch anchoring tool at 218 gal/acre (5.5 gal/1000 sq. ft.) of amended urea on flat areas. On slope 8:1 or higher, use 248 gal/acre (8 gal/1000 sq. ft.) of urea for seeding.

Note: In the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, for additional trees and shrubs see cover.

Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

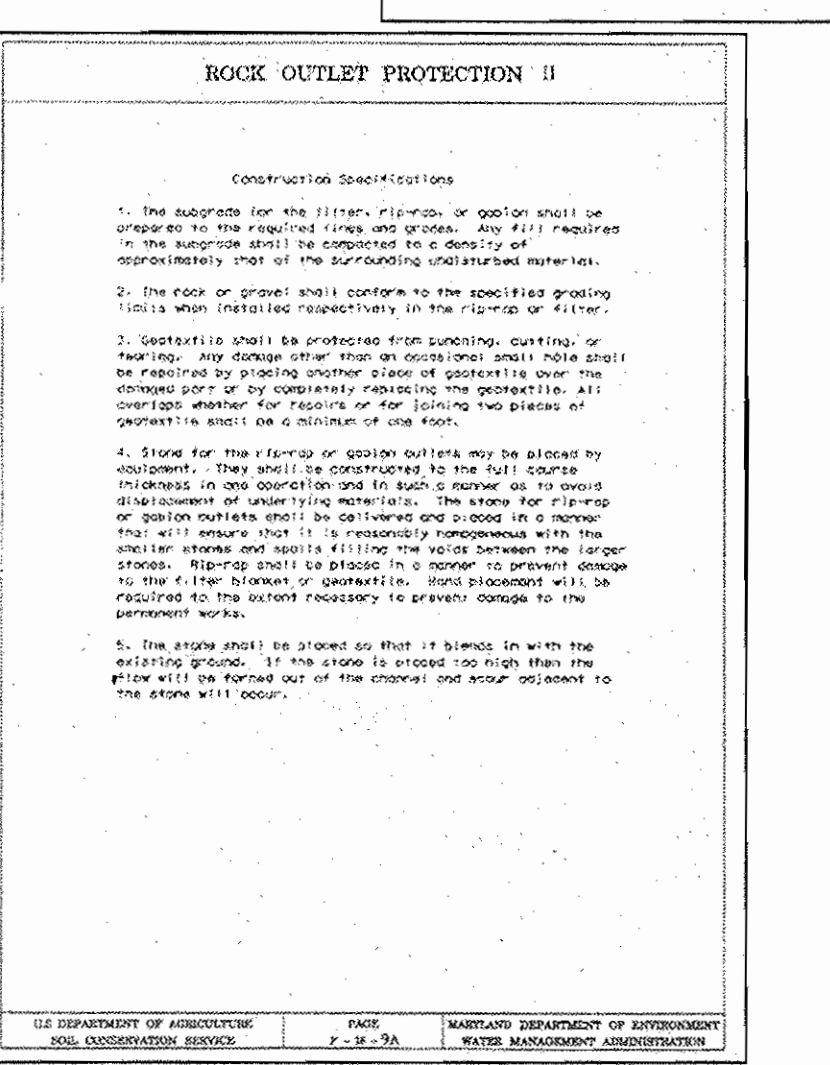
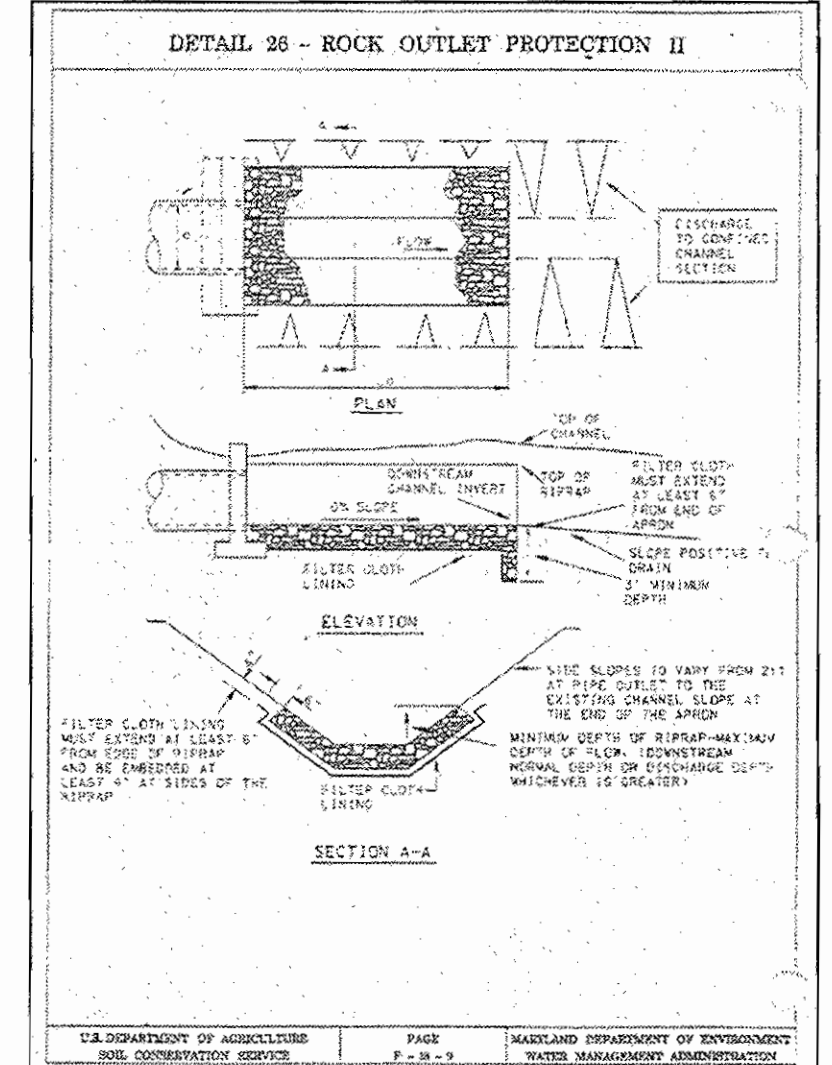
- Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
  - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
  - Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
  - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
- Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Seeding, MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1975.

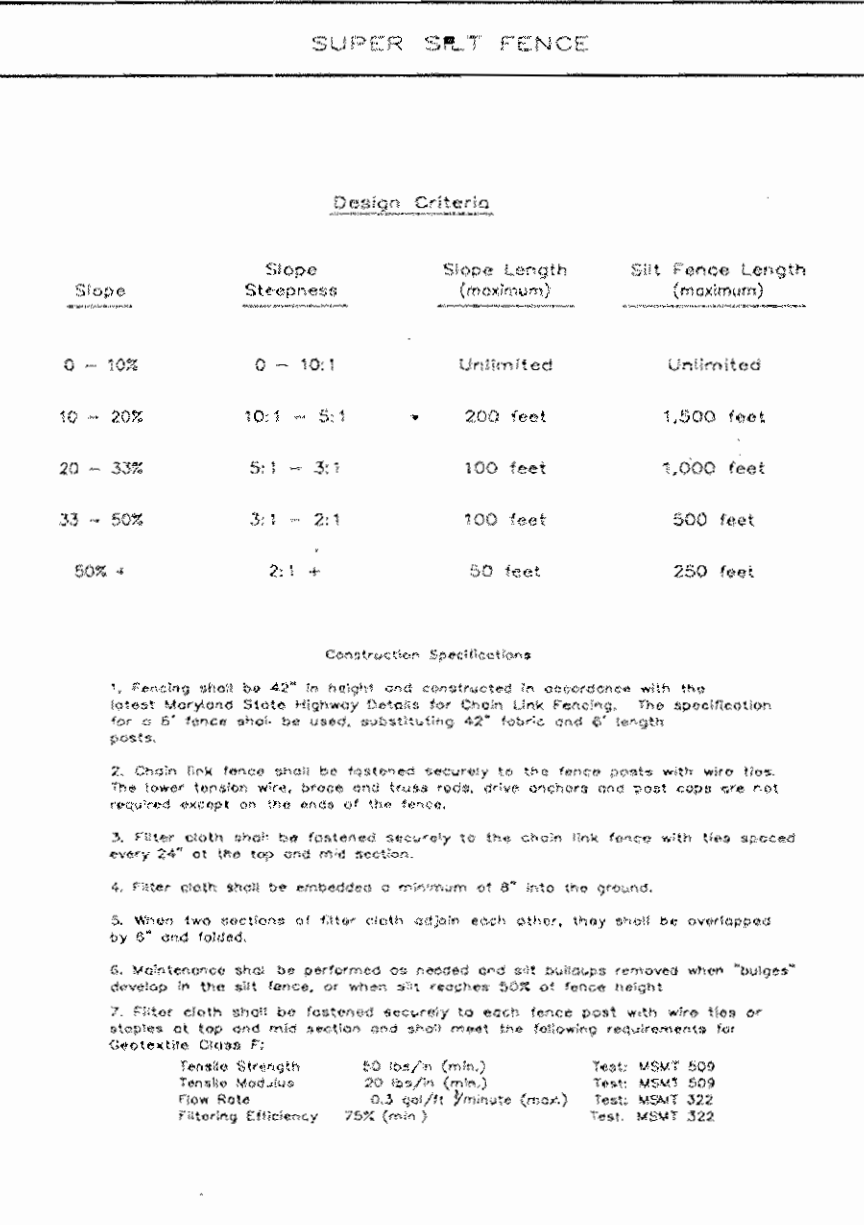
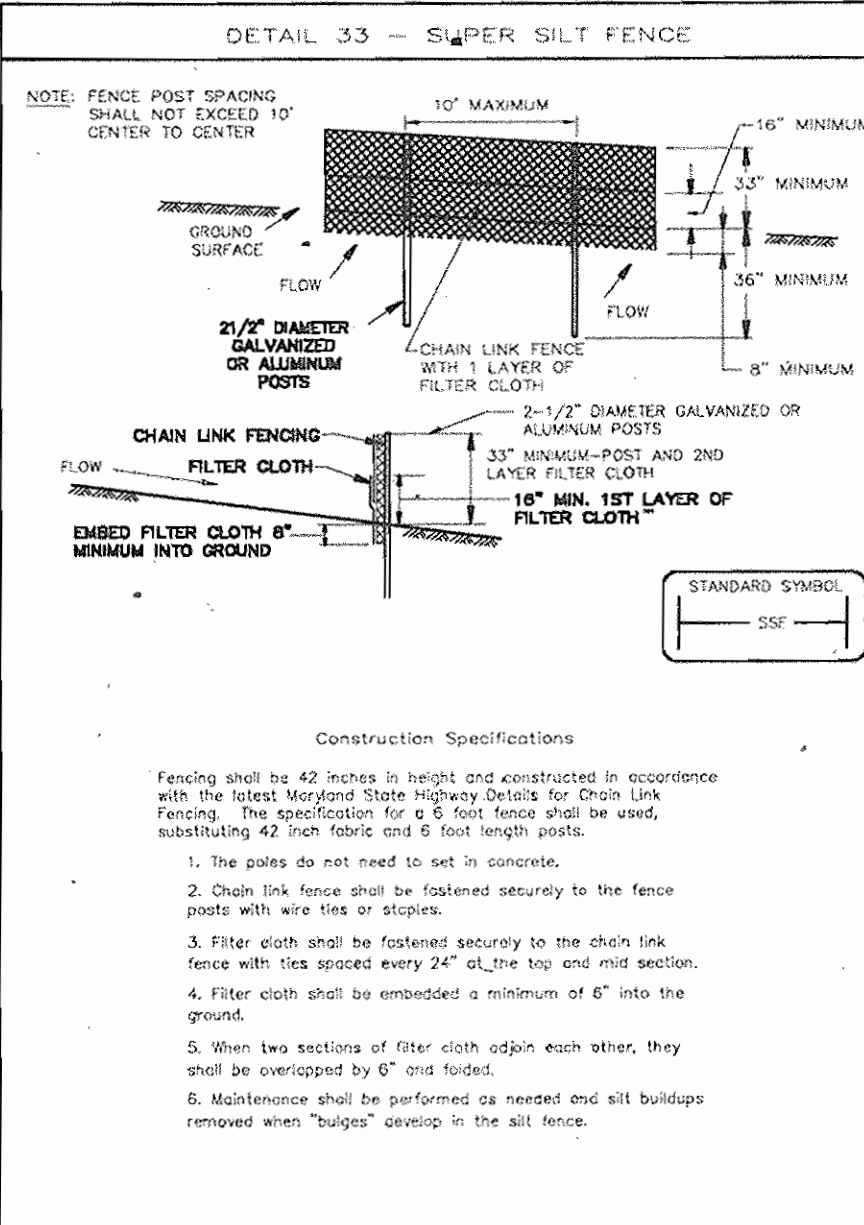
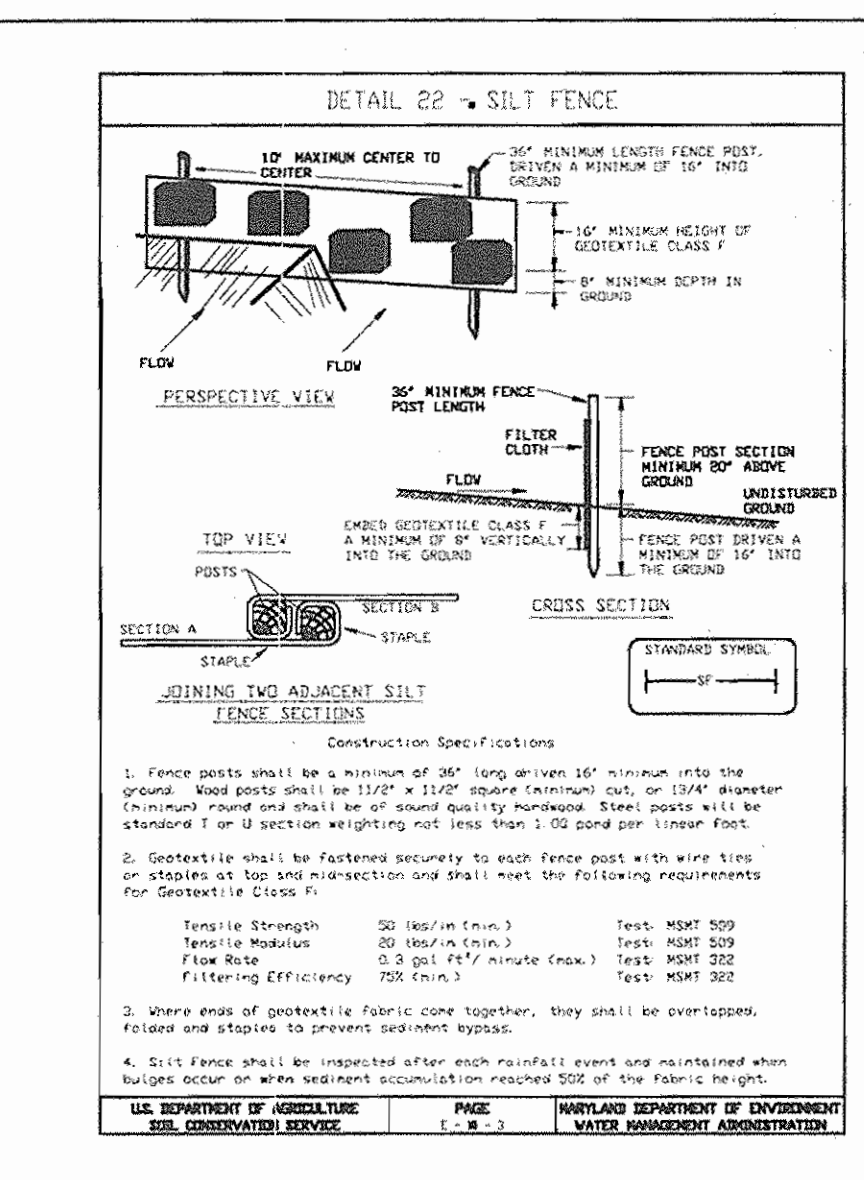
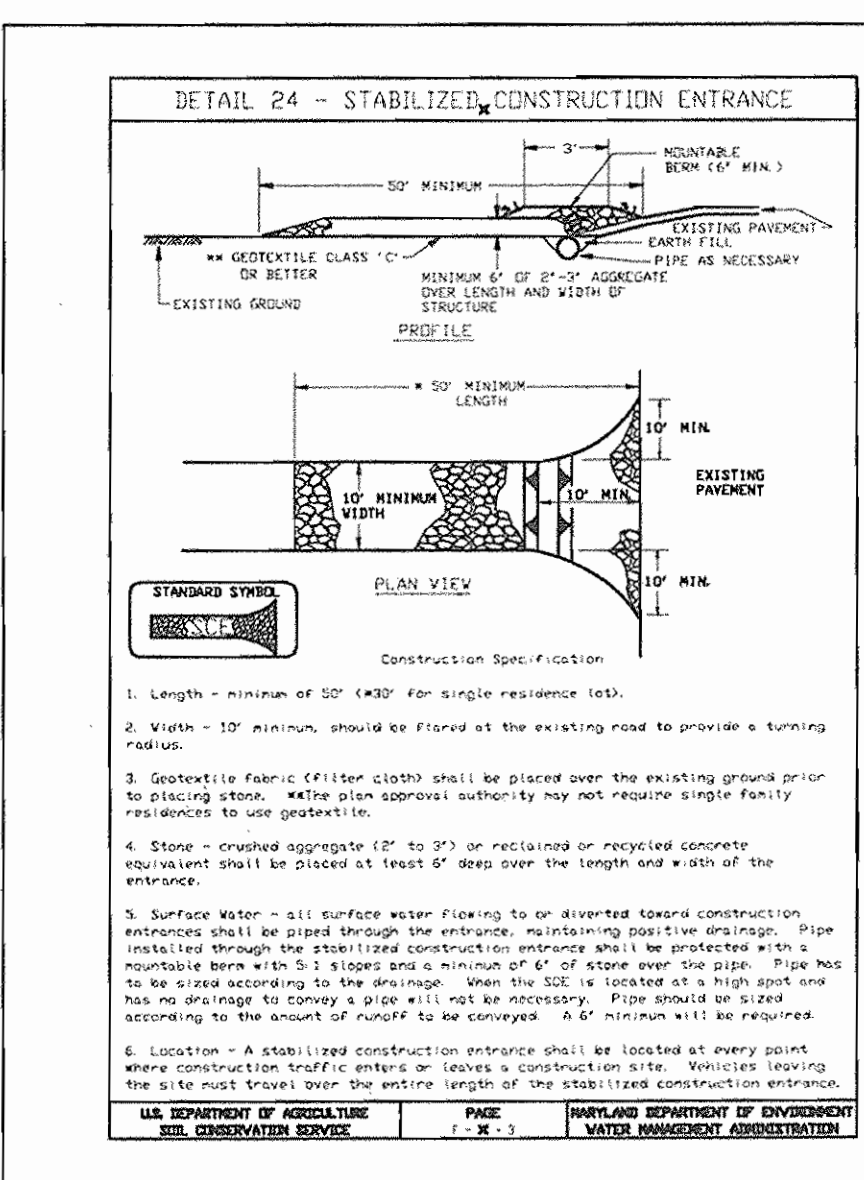
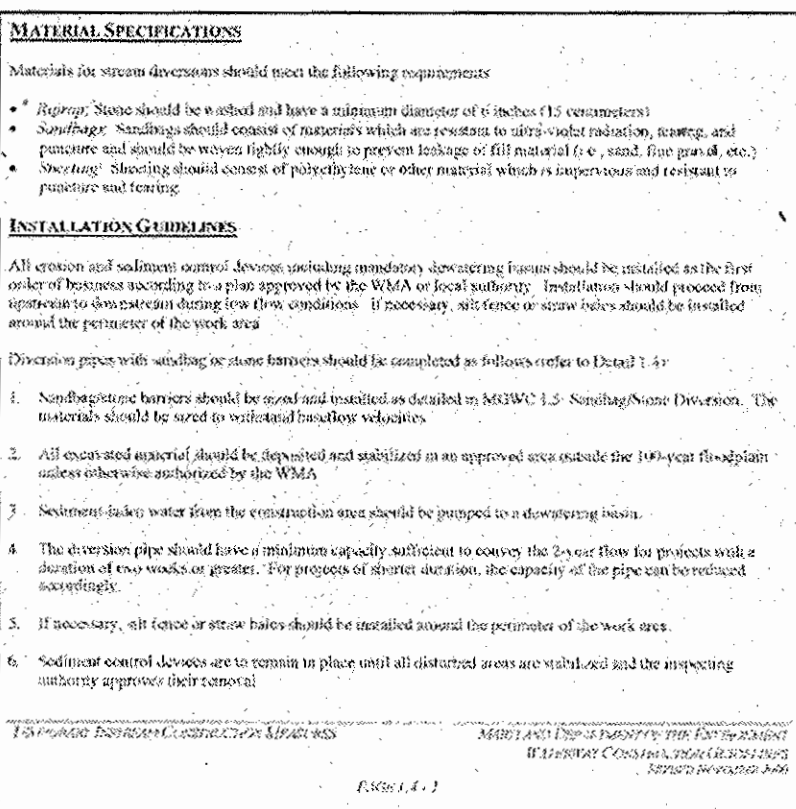
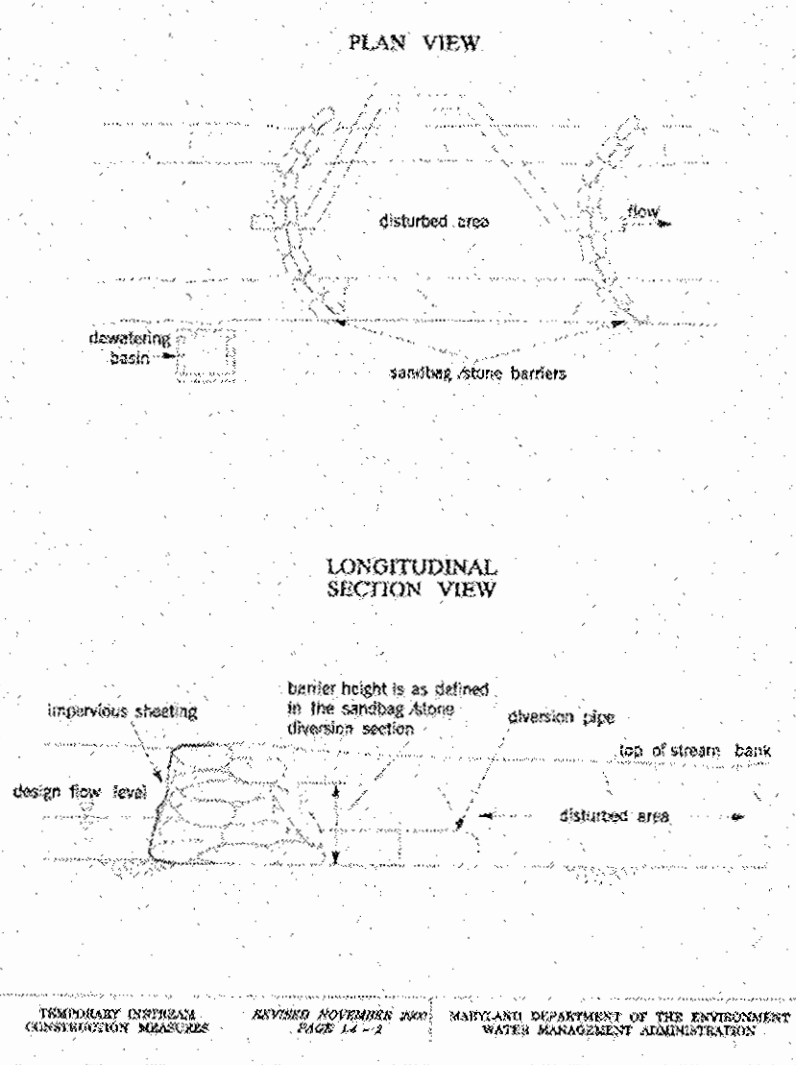
ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

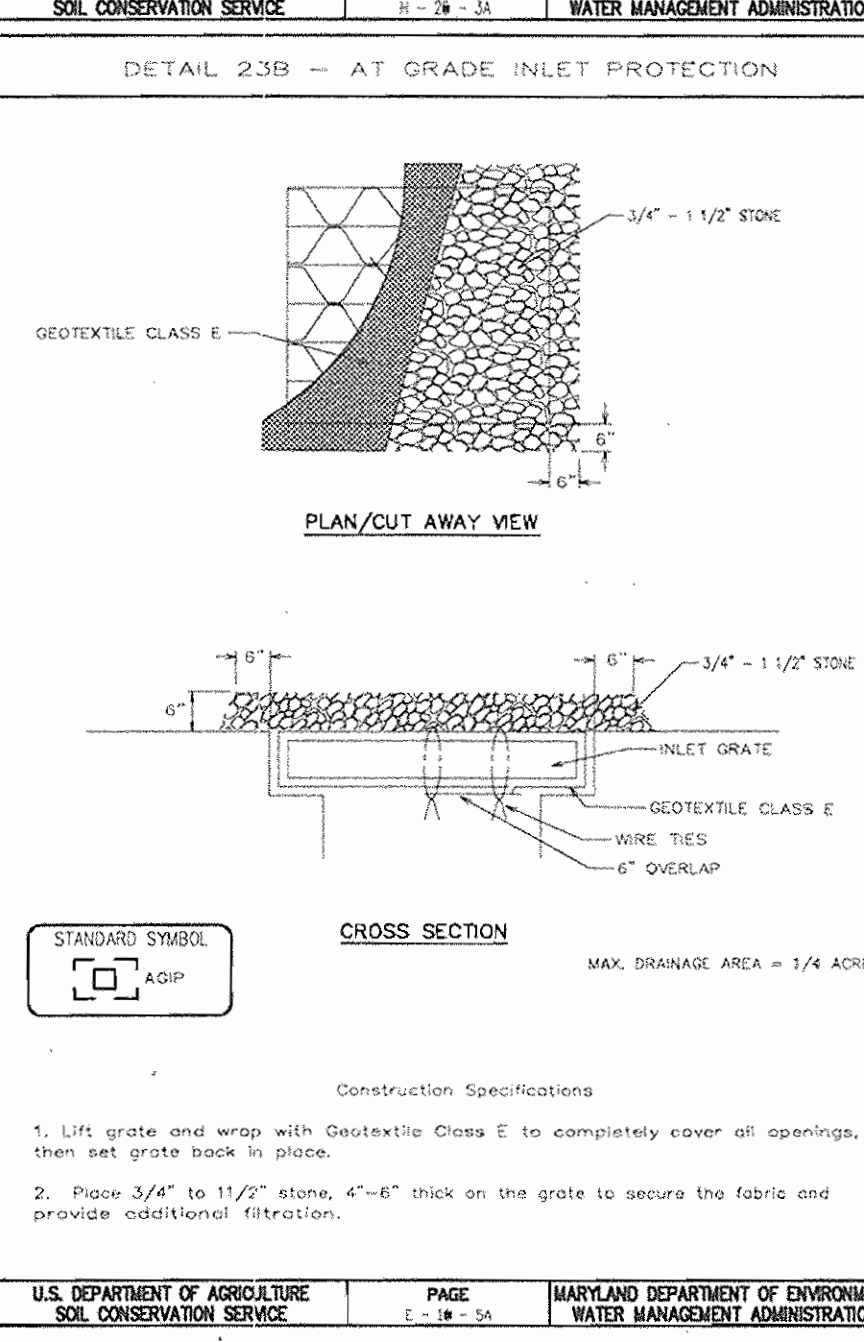
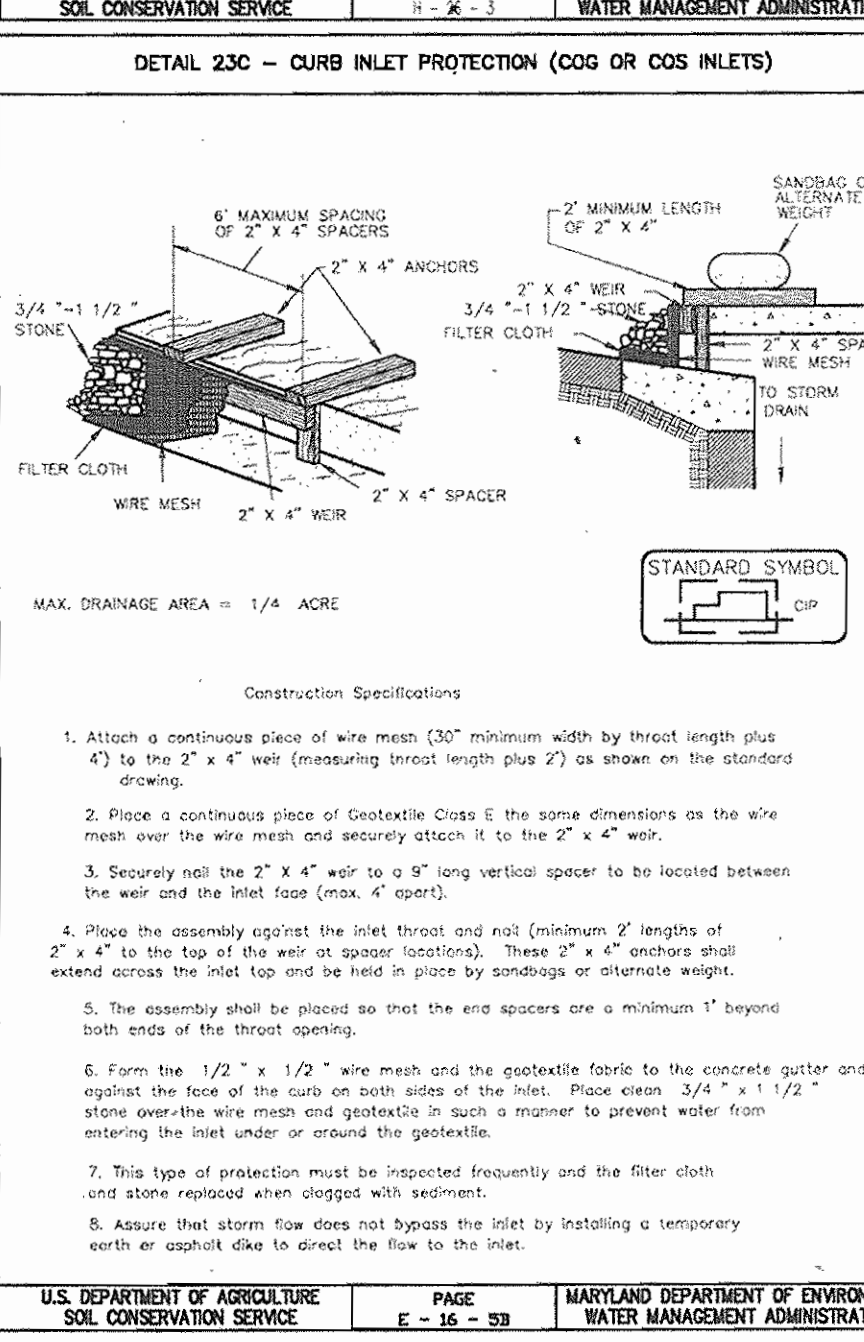
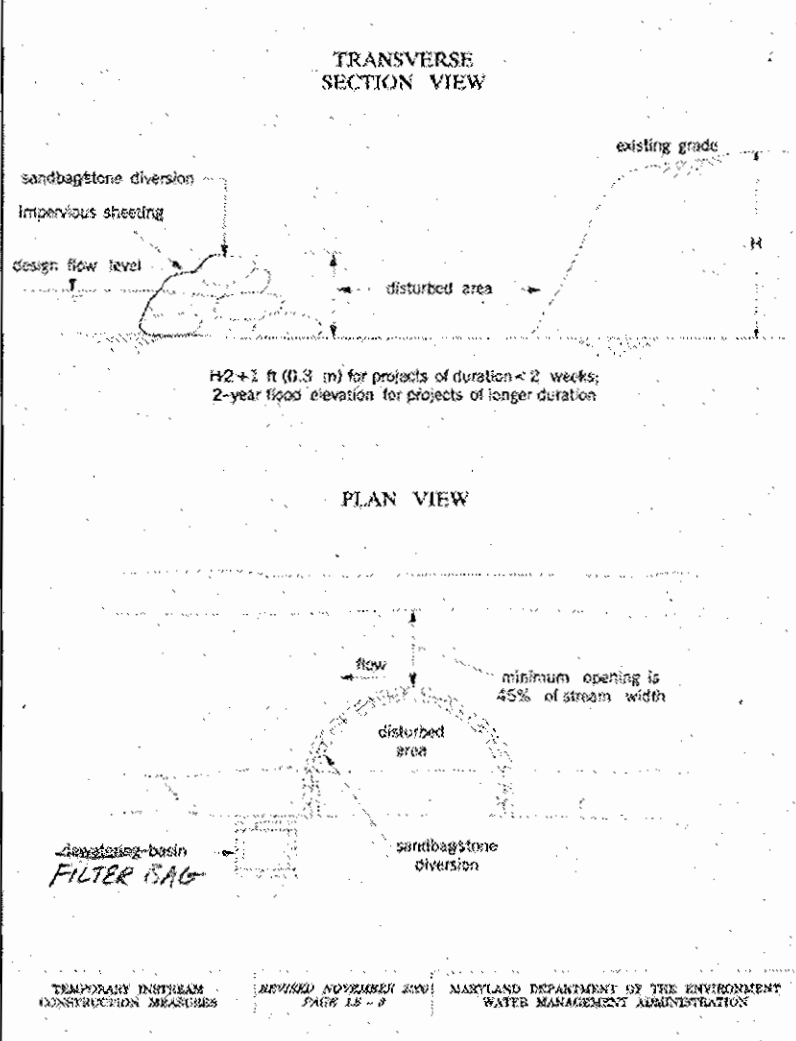
SIGNATURE OF ENGINEER: *[Signature]* DATE: *3.5.05*



Maryland's Guidelines To Waterway Construction DETAIL 14: DIVERSION PIPE

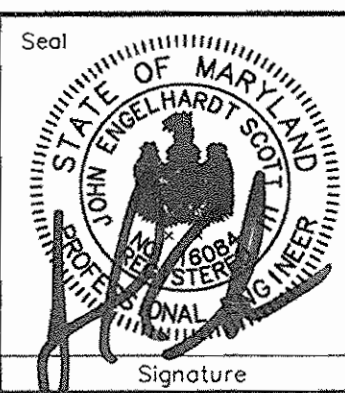


Maryland's Guidelines To Waterway Construction DETAIL 15: SANDBAGSTONE DIVERSION

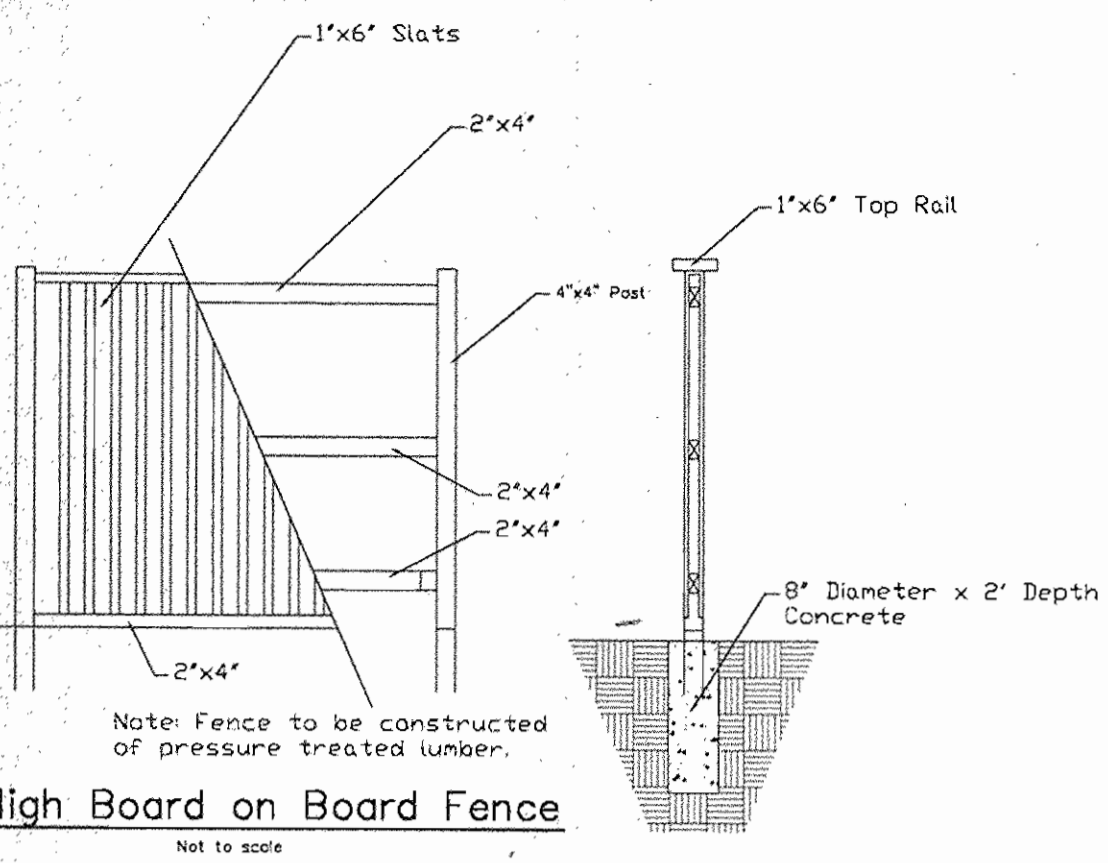


CALL "MISS UTILITY" TELEPHONE 1-800-257-7777 FOR UTILITY LOCATION AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION.

Engineer  
Engelhardt Engineering, Inc.  
P.O. Box 1506  
Columbia, Maryland 21044  
(410) 960-7334  
jeso@verizon.net



BETHANY LANE VILLAGE CENTER  
3S Development, LLC  
Deed Reference: Liber 9113 Folia 264  
General Office and Medical Office  
Election District No. 02, Howard County, Maryland  
Tax Map 24, Grid 2, Parcel Number 13  
Scale: No Scale Date March 5, 2005  
Sheet Number 7 of 13  
SDP-00-116



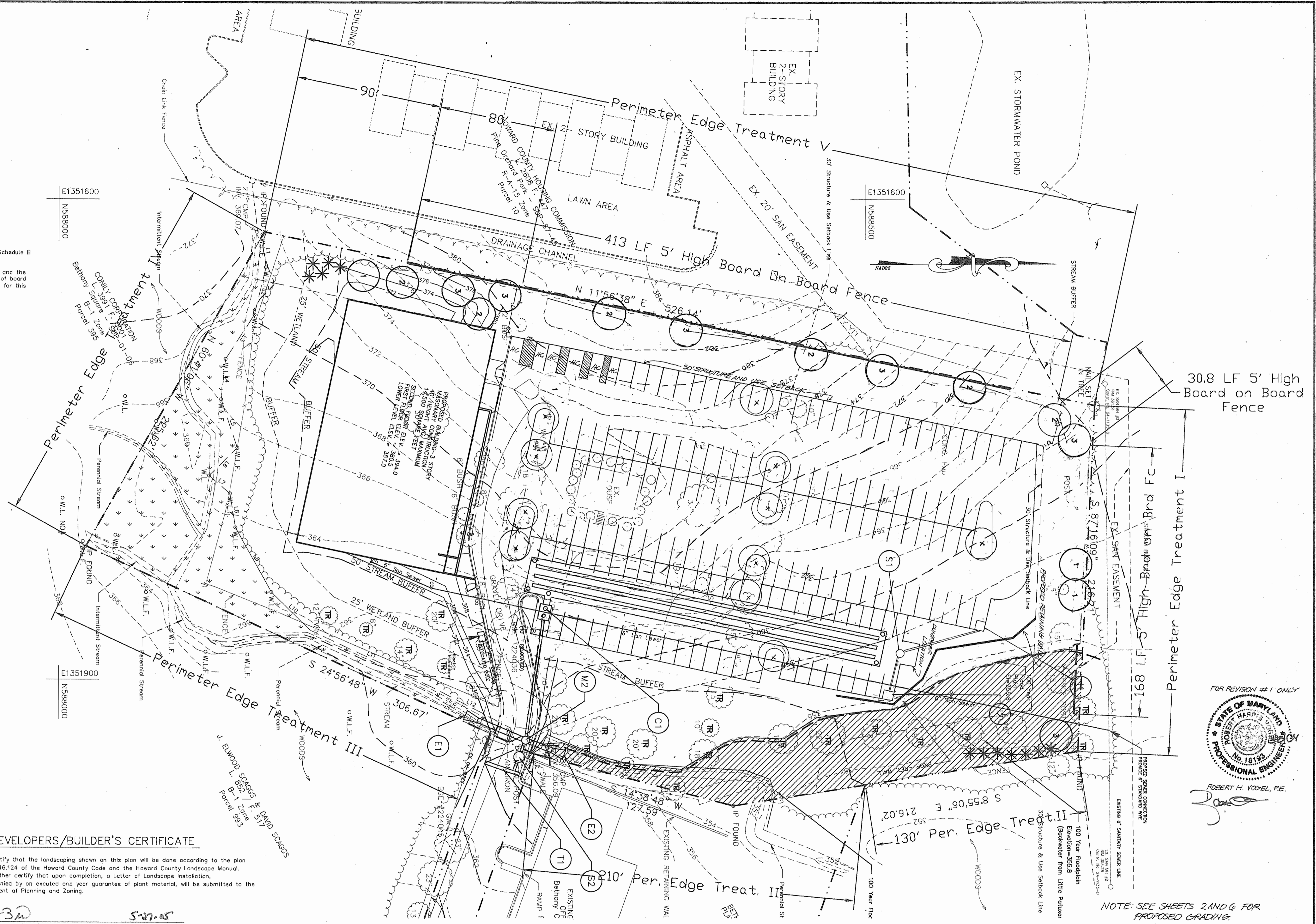
**5' High Board on Board Fence**  
Not to scale

**NOTES:**

1. See Sheet 9 of 11 for landscape planting notes, details, and Schedule A (Perimeter Landscape Edge) & Schedule B (Parking Lot Internal Landscaping).
2. This plan has been prepared in accordance with provisions of Section 16.124 of the Howard County Code and the Landscape Manual. Financial surety for the required 39 shade trees, 12 evergreen trees and 612 linear feet of board on board fencing in the amount of \$19,620.00 has been posted as part of the DPW, Developer's Agreement for this project.
3. All existing structures location on Parcel 13 will be razed as a part of the construction of this project.

**Legend**

- Existing Shrub
- Existing Tree (To Be Removed)
- Existing Tree (To Remain)
- Proposed Shade Tree
- Proposed Evergreen
- Proposed 5' High Board on Board Fence
- Proposed Double Headed Pole Light
- Proposed Single Headed Pole Light



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director

Date: 6/29/05  
 Date: 7/1/05  
 Date: 7/6/05

**DEVELOPERS/BUILDER'S CERTIFICATE**

I/We certify that the landscaping shown on this plan will be done according to the plan Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion, a Letter of Landscape Installation, accompanied by an excused one year guarantee of plant material, will be submitted to the Department of Planning and Zoning.

3-D (OWNER'S NAME) DATE: 5-27-05

**DEVELOPER'S CERTIFICATE**

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

3-D (SIGNATURE OF DEVELOPER) DATE: 5-27-05

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

JPC (SIGNATURE OF ENGINEER) DATE: 3-5-05

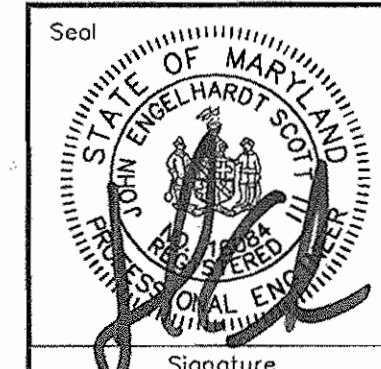
1	REVISE RETAINING WALL AND PARKING LOT	3-10-00
NO.	REVISION	DATE

Symbol	Quantity	Botanical/Common Name	Size	Comments
1	10	Acer rubrum 'October Glory' / October Glory Red Maple	2 1/2" - 3" Cal.	
2	10	Platanus occidentalis / Sycamore	2 1/2" - 3" Cal.	
3	6	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	2 1/2" - 3" Cal.	
4	12	Cupressocyparis leylandii / Leyland Cypress	6'-8' Ht.	

**NOTE:**

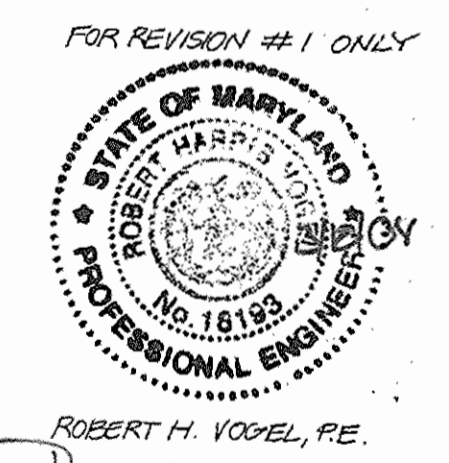
At the time of plant installation, all shrubs and trees as listed and approved herewith, shall be of the proper height requirements in accordance with the Howard County Landscape Manual. In addition, no substitution or relocation of the required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from the approved Landscape Plan may result in denial or delay in the release of the landscape surety until such time as all required material are planted and/or revisions are made to the applicable plans and certifications.

Engineer  
 Engelhardt Engineering, Inc.  
 P.O. Box 1506  
 Columbia, Maryland 21044  
 (410) 772-0277  
 jesa@verizon.net



**LANDSCAPE PLAN**

**BETHANY LANE VILLAGE CENTER**  
 35 Development, LLC  
 Deed Reference: Liber 9113 Folio 264  
 General Office and Medical Office  
 Election District No. 02, Howard County, Maryland  
 Tax Map 24, Grid 2, Parcel Number 13  
 Scale: 1" = 30' Date: March 5, 2005  
 Sheet Number 8 of 13



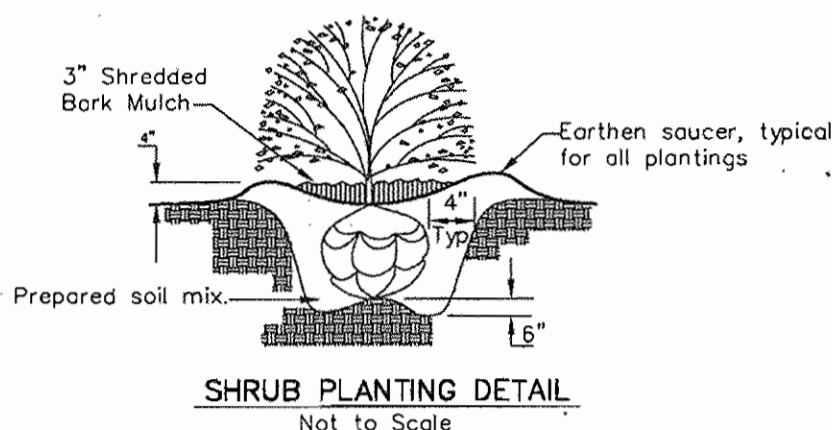
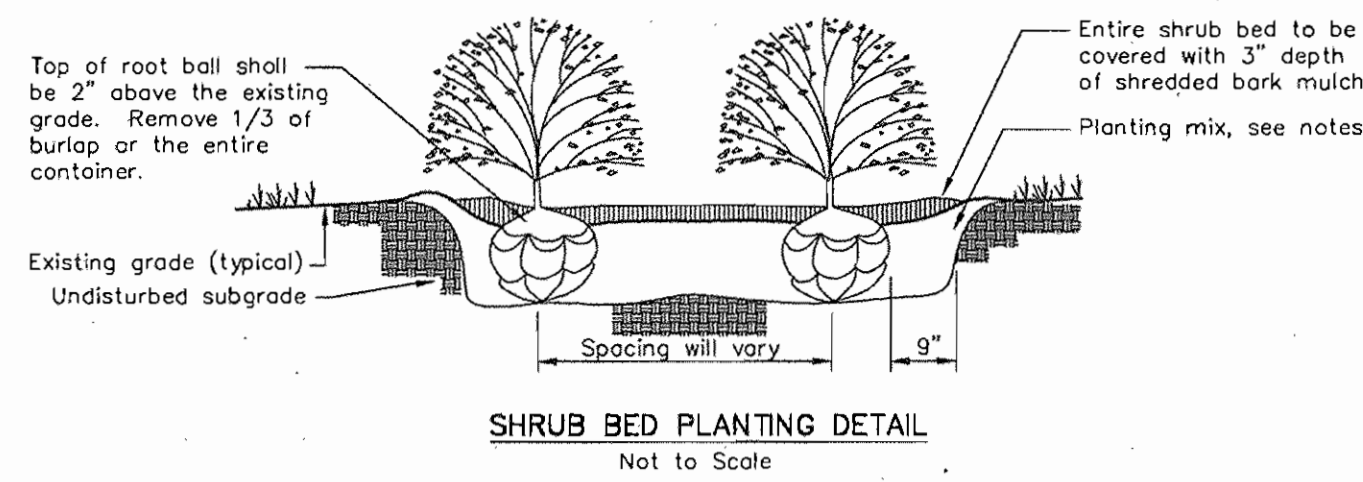
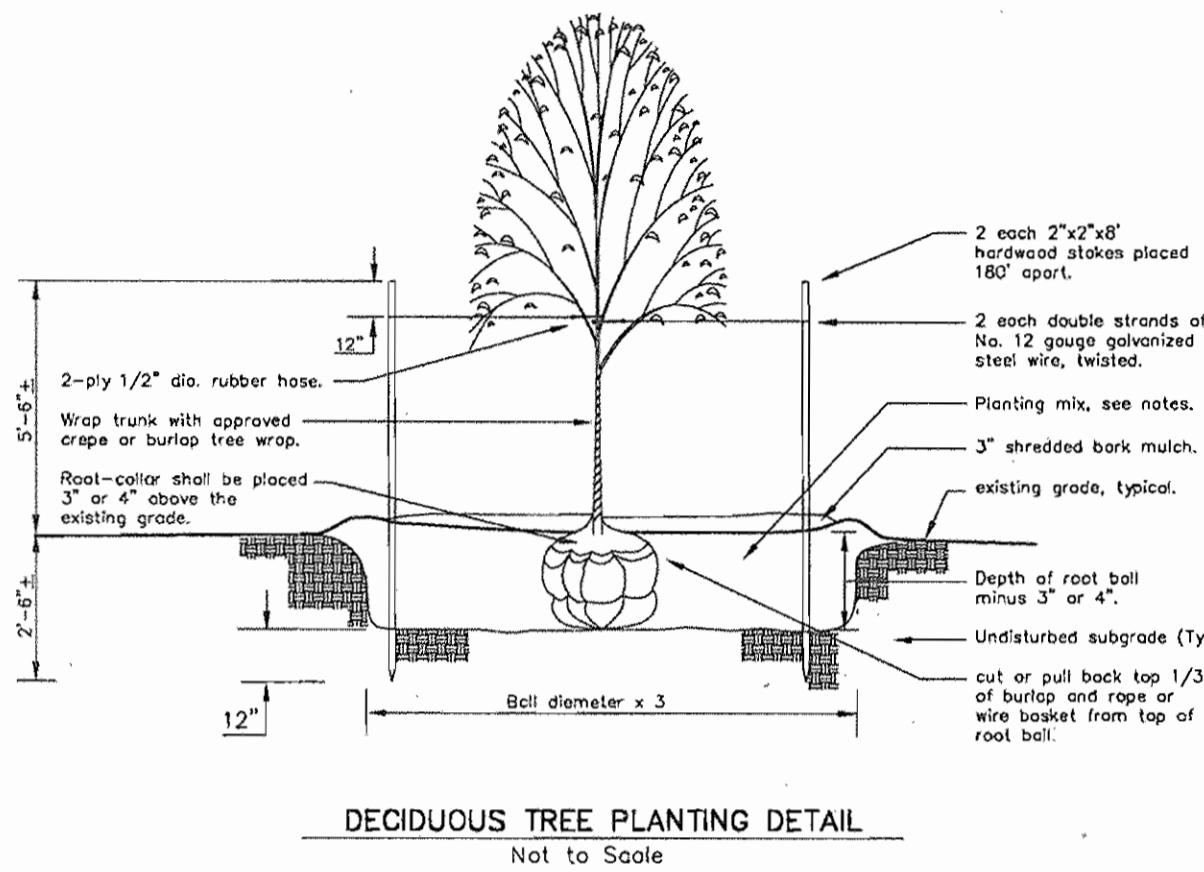
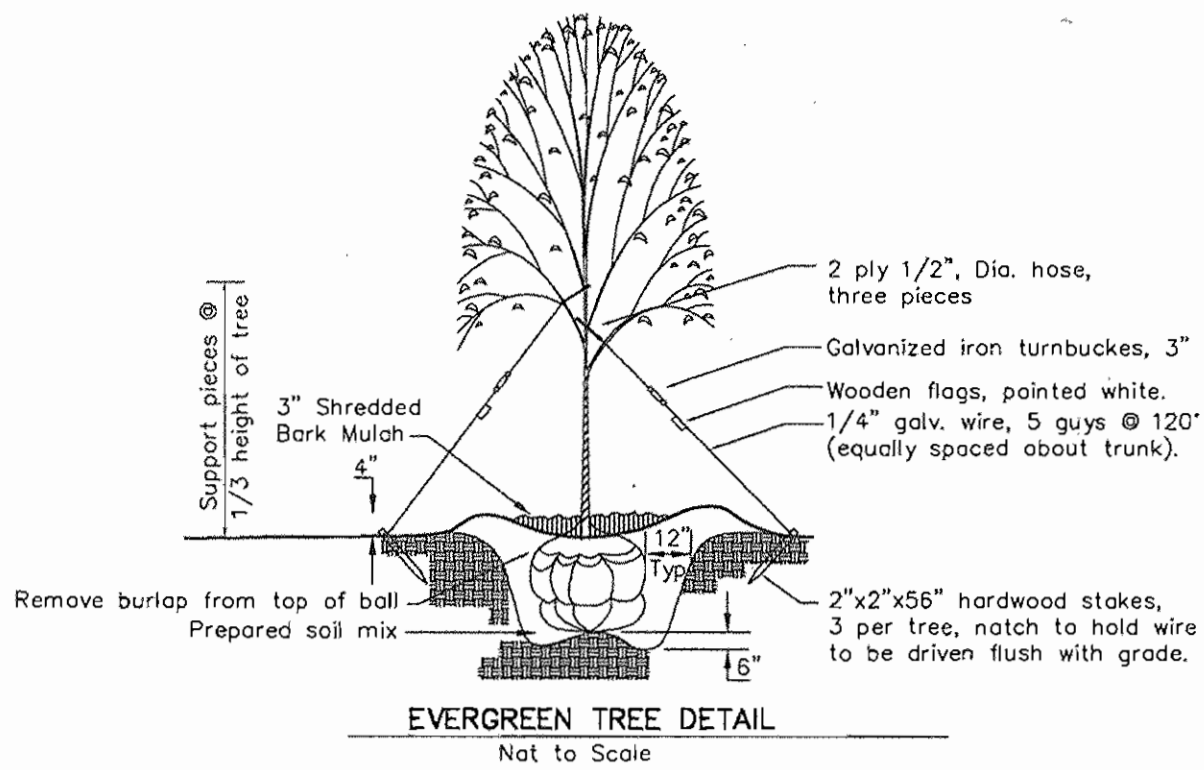
FOR REVISION #1 ONLY  
 ROBERT H. VOGEL, P.E.

NOTE: SEE SHEETS 2 AND 6 FOR PROPOSED GRADING

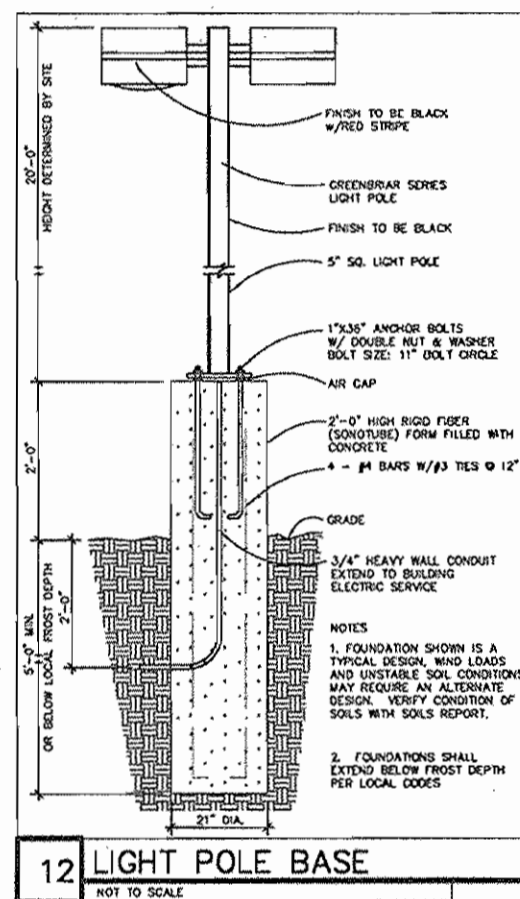


**GENERAL LANDSCAPING NOTES**

- Plants supplied shall conform in all respects to the current edition of the American Standard for Nursery Stock (ANSI Z60.1). They shall be first class representatives of their species and varieties, nursery grown in accordance with good horticultural practice and grown in climatic conditions similar to those in the locality of the project. Plant names shall be those given in the latest edition of Standard Plant Names, American Joint Committee on Horticultural Nomenclature. All plant shall conform to all requirements of the Howard County Landscape Manual.
- Plants shall be sound, vigorous and healthy, well branched and densely foliated when in leaf. They shall be free of disease and insect pests and shall have healthy, well-developed root systems. Trunks and branches shall be free of cuts and abrasions over one inch (1") in any dimension. Plants in leaf shall be sprayed with anti-desiccant immediately before digging to firm the leaves, branches and twigs (optional).
- No substitutions shall be made without the approval of the Landscape Architect.
- Balled and burlapped plants shall be dug with firm natural balls of earth, of diameter and depth to include most of the fibrous roots. The container shall be long enough for the root system to have developed sufficiently to hold its soil together firm and whole. No plants shall be loose in the container.
- Root-balls of all plants shall be adequately protected at all times from sun and drying of winds or frost.
- The owner or his representative shall be notified prior to beginning planting operations.
- Planting (backfill) mix shall be composed of three parts of the soil immediately adjacent to the plant pit or bed to one part approved organic matter.
- Tree staking materials shall be rough-sawn hardwood two inches by two inches (2" x 2") stock of a length to conform to the requirements of the tree planting detail shown on the planting plan.
- Staking ties shall be doubled strands of twelve (12) or fourteen (14) gauge galvanized steel wire, twisted, and furnished with protective sections of corded 1/2" diameter rubber hose or nylon webbing at least one and one-half inches (1 1/2") wide or polypropylene chainlock strapping manufactured for the purpose.
- Mulch: Immediately after planting operations are completed all trees and shrub planting pits shall be covered with a two inch (2") layer of shredded hardwood bark mulch or any other material approved by the owner or his representative. The limit of this mulch for trees shall be the area of the pit and for shrubs in beds, the entire area of the shrub bed.
- Conditions detrimental to plants: The contractor shall notify the project representative in writing of all soil or drainage conditions which the contractor considers detrimental to the growth of the plants. He shall state the conditions and submit a proposal for correcting the conditions, including any change in cost for review and acceptance by the project representative.
- Minor adjustments to tree location may be necessary due to field conditions and final grading. The contractor shall notify the owner if major adjustments are required.
- Stake-out outlines of planting beds and centers of individual planting pits: These locations are to be approved in the field by the Landscape Architect before planting operations begin.
- Excavate staked-out areas and prepare planting mix as discussed above. One planting mix shall be used to backfill the planting pits and beds. One ounce (1 oz.) of 18-6-25 slow-release fertilizer shall be incorporated into soil for each plant at the time of planting.
- Set plants so that the root-ball rests on firm ground and the root-crown is three inches to four inches (3" - 4") higher than the surrounding grade. Backfill with planting mix and tamp lightly in eight inch (8") increments. Water thoroughly to eliminate air pockets in the backfill. Remove all materials from the top of the ball. Complete backfilling with planting mix to bring soil level to surrounding grade.
- Protect plants at all times from sun and drying winds. Plants that cannot be planted immediately shall be kept in the shade, well protected with topsail, peat moss or other acceptable material and shall be kept well watered. Plants shall not remain unplanted for more than three (3) calendar days.
- Plants shall not be bound with wire or rope at any time so as to damage the bark or break branches or twigs. Plants shall be lifted from the bottom of the ball only.
- All plants are to be watered thoroughly on the day of the planting, even if it is raining.
- Stake plants immediately after planting, taking care that they stand plumb after staking. Stakes and staking materials shall be removed at the end of the growing period.
- Any items not addressed in this section shall be in conformance with the applicable requirements of the Landscape Specification Guidelines of the Landscape Contractors Association, MD-DC-VA, latest edition.
- All plant material shall be guaranteed for a period of one (1) year after formal acceptance by the owner or his representative. Plants which are not in a healthy and vigorous condition shall be replaced during the next planting season.
- All areas disturbed by construction activities but not otherwise planted, paved or mulched shall be hydroseeded with the following seed mix:  
95% turf-type tall fescue (tri-blend) of equal parts of three of the following varieties: Adventure, Finelawn 1, Mustang, Olympic or Rebel.  
5% Kentucky Bluegrass (Adelphi, Gnome or Kenblue) seed at a rate of 250-350 lbs./acre.
- Sod composition shall be comparable to turf which will be established by hydroseeding operations described above.



Note:  
Lights will 150 watt MH lights  
in a full cut off box on  
20 foot poles.



**SCHEDULE A PERIMETER LANDSCAPE EDGE I**

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Linear Feet of Roadway Frontage/Perimeter	N/A	C
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	---	NO
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	---	YES
Number of Plants Required	---	4
Number of Plants Provided	---	4

**SCHEDULE A PERIMETER LANDSCAPE EDGE II**

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Linear Feet of Roadway Frontage/Perimeter	N/A	C
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	---	YES
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	---	NO
Number of Plants Required	---	3
Number of Plants Provided	---	3

**SCHEDULE A PERIMETER LANDSCAPE EDGE III**

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Linear Feet of Roadway Frontage/Perimeter	N/A	A
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	---	YES
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	---	NO
Number of Plants Required	---	4
Number of Plants Provided	---	4

**SCHEDULE A PERIMETER LANDSCAPE EDGE IV**

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Linear Feet of Roadway Frontage/Perimeter	N/A	C
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	---	NO
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	---	YES
Number of Plants Required	---	2
Number of Plants Provided	---	2

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL, REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*J. Ch...* 3.5.05  
SIGNATURE OF ENGINEER DATE

**DEVELOPER'S CERTIFICATE**

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

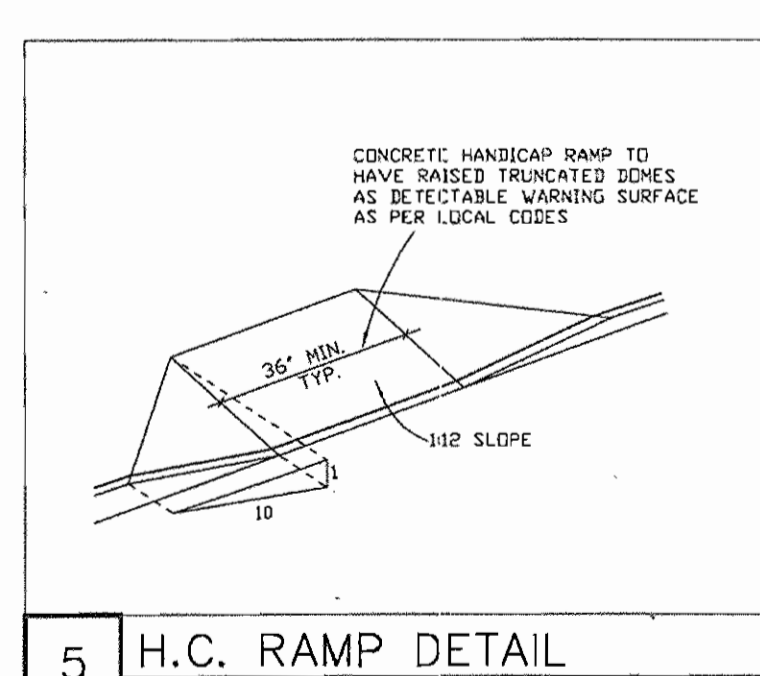
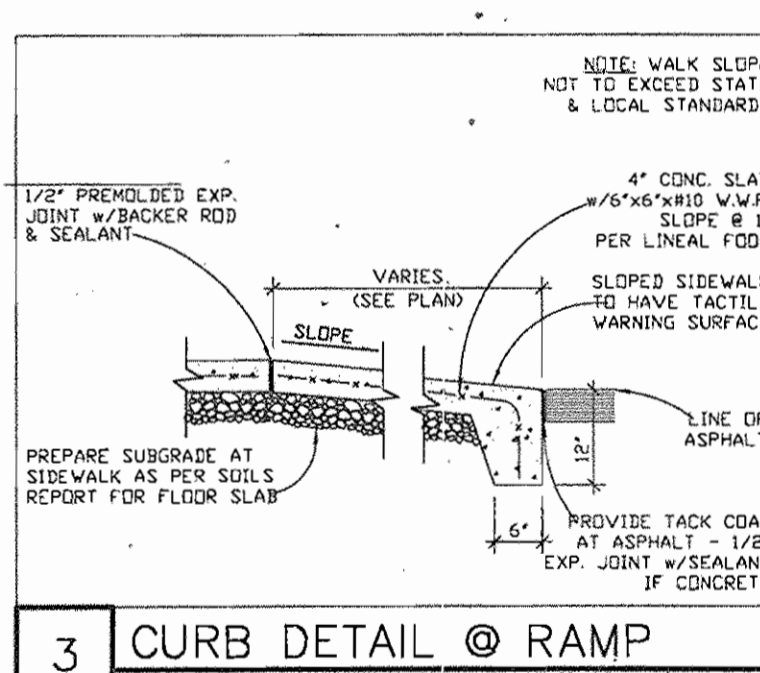
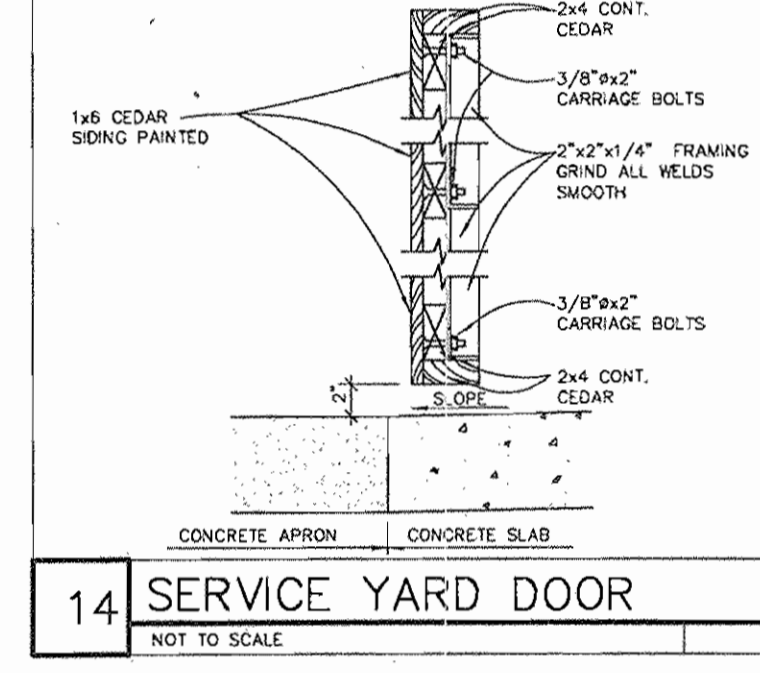
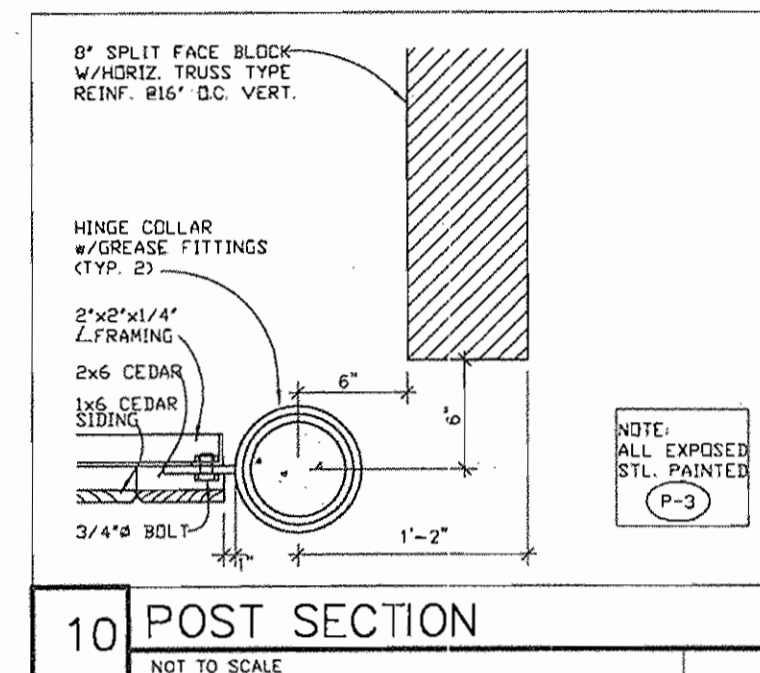
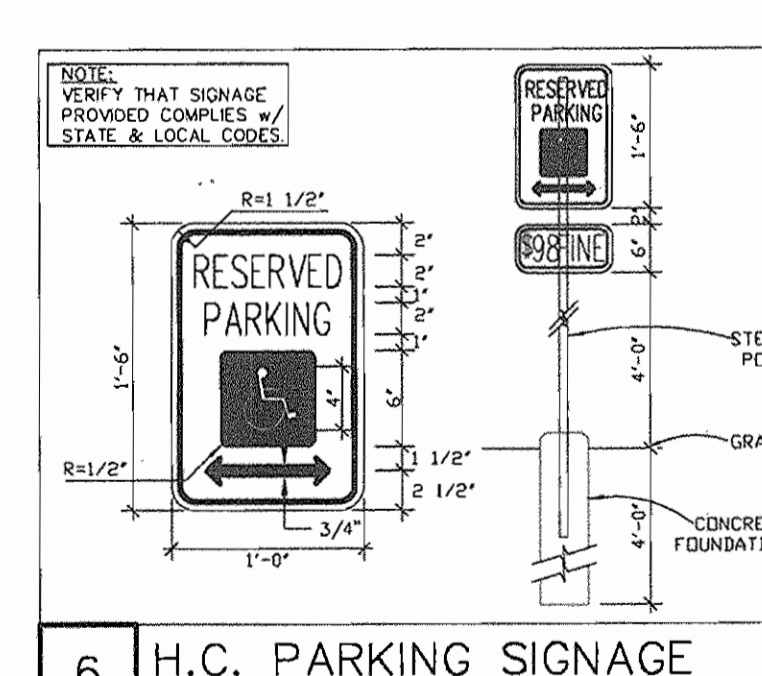
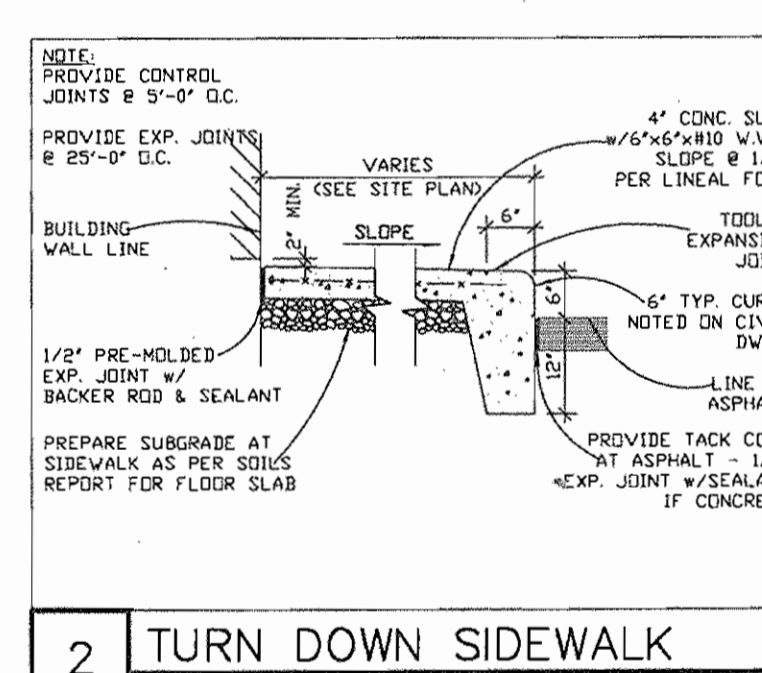
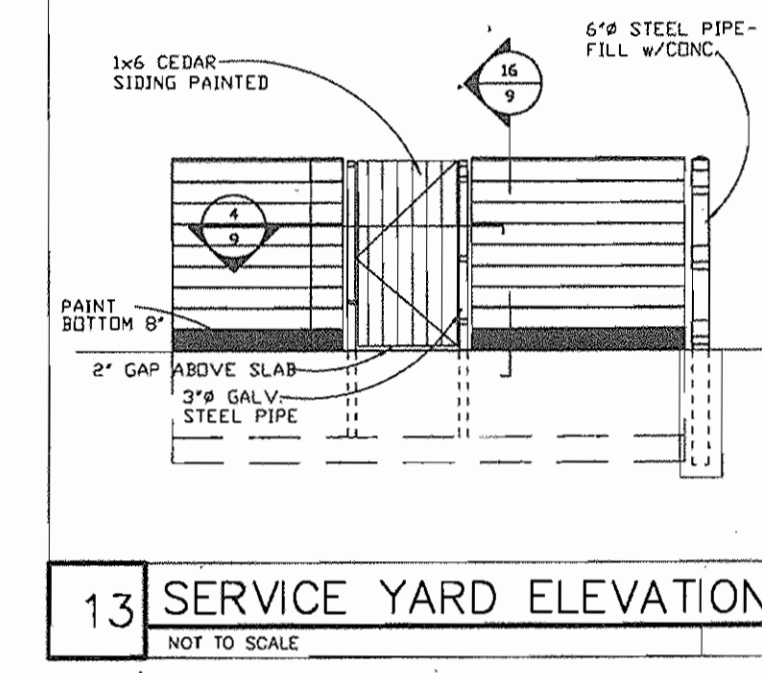
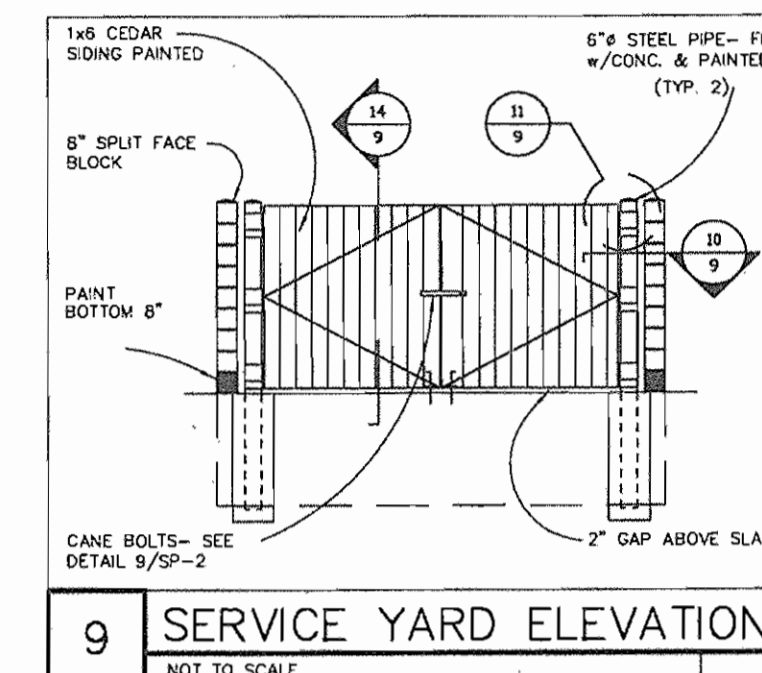
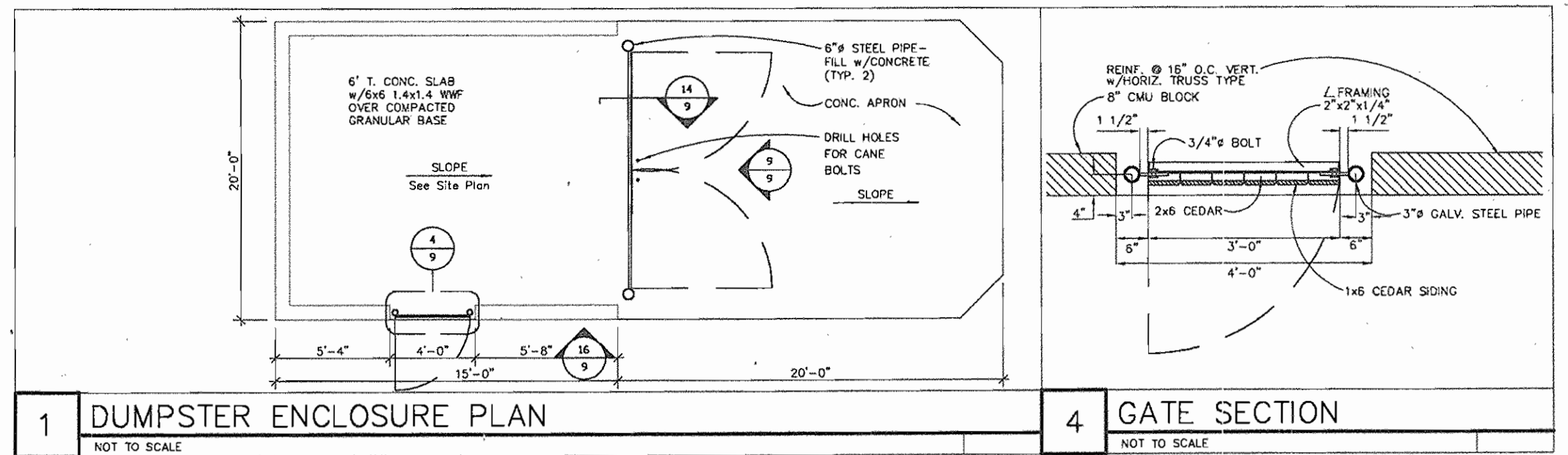
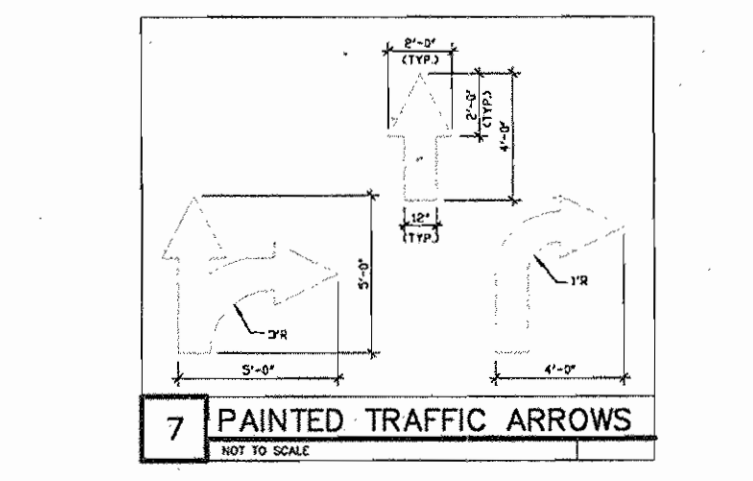
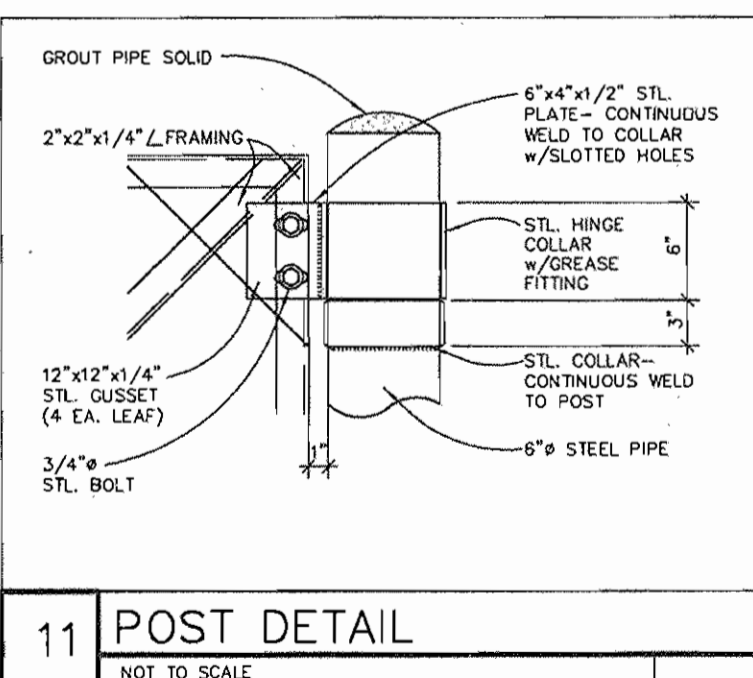
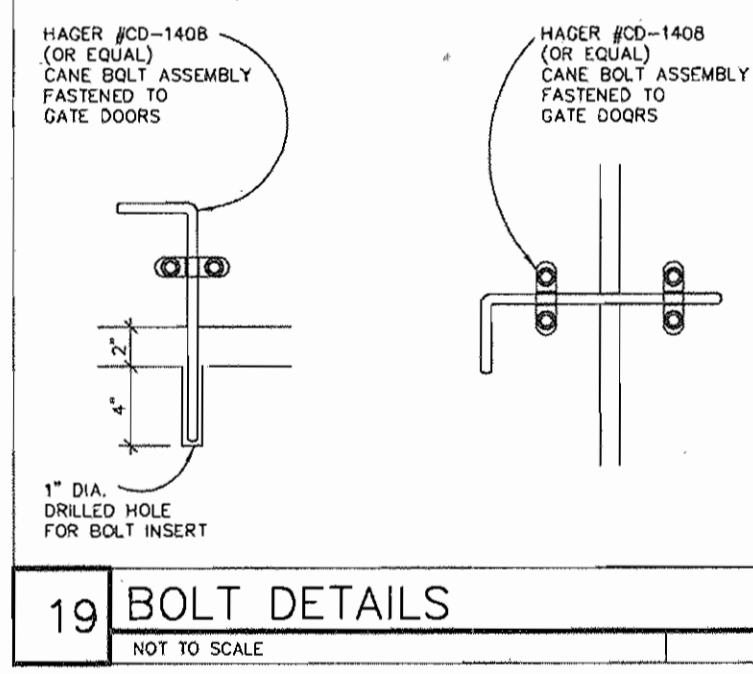
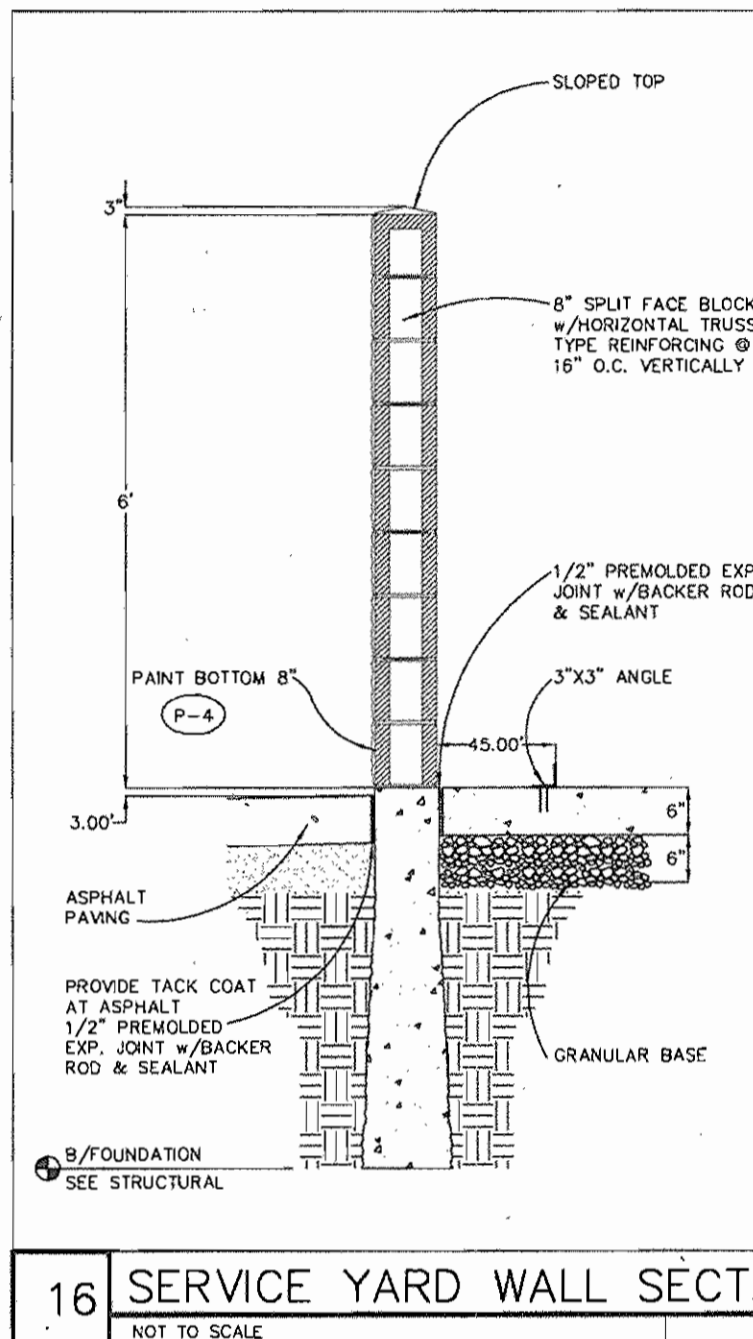
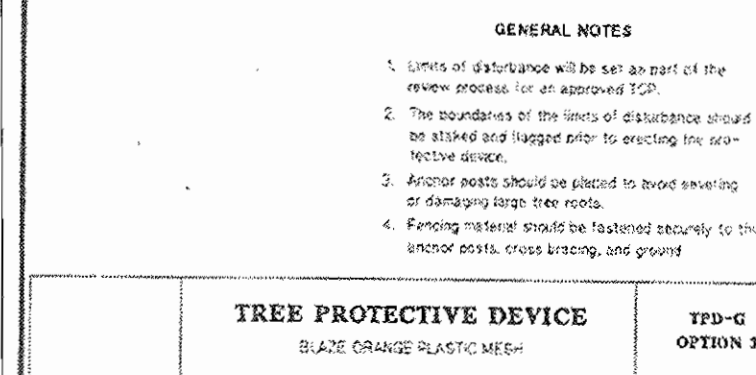
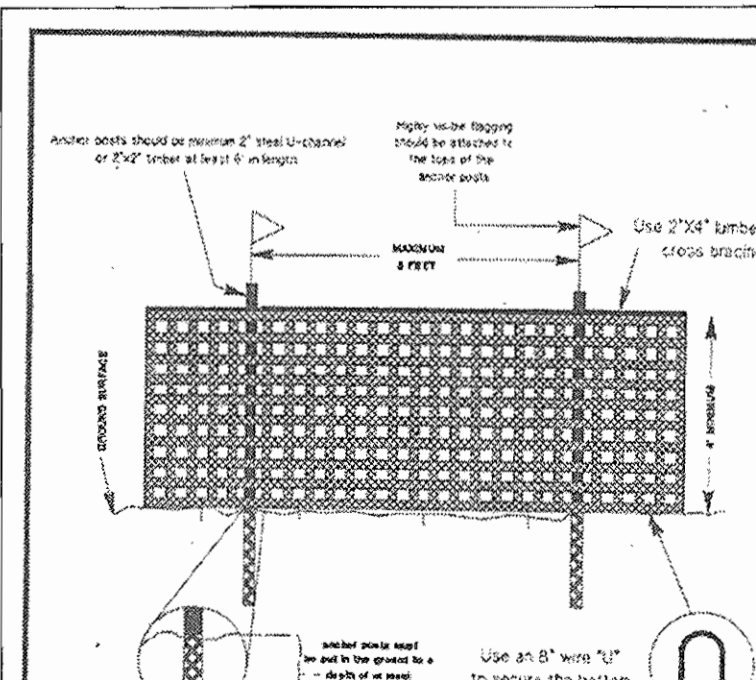
*B. A. ...* 5-27-05  
SIGNATURE OF DEVELOPER DATE

**SCHEDULE B PARKING LOT INTERNAL LANDSCAPING**

Number of Parking Spaces	174
Number of Trees Provided	9
Number of Trees Provided	11

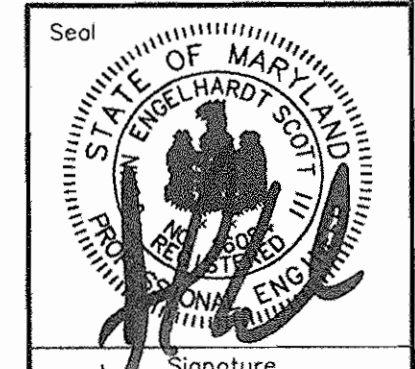
**SCHEDULE A PERIMETER LANDSCAPE EDGE V**

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Linear Feet of Roadway Frontage/Perimeter	N/A	A
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	---	YES
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	---	NO
Number of Plants Required	---	5
Number of Plants Provided	---	5

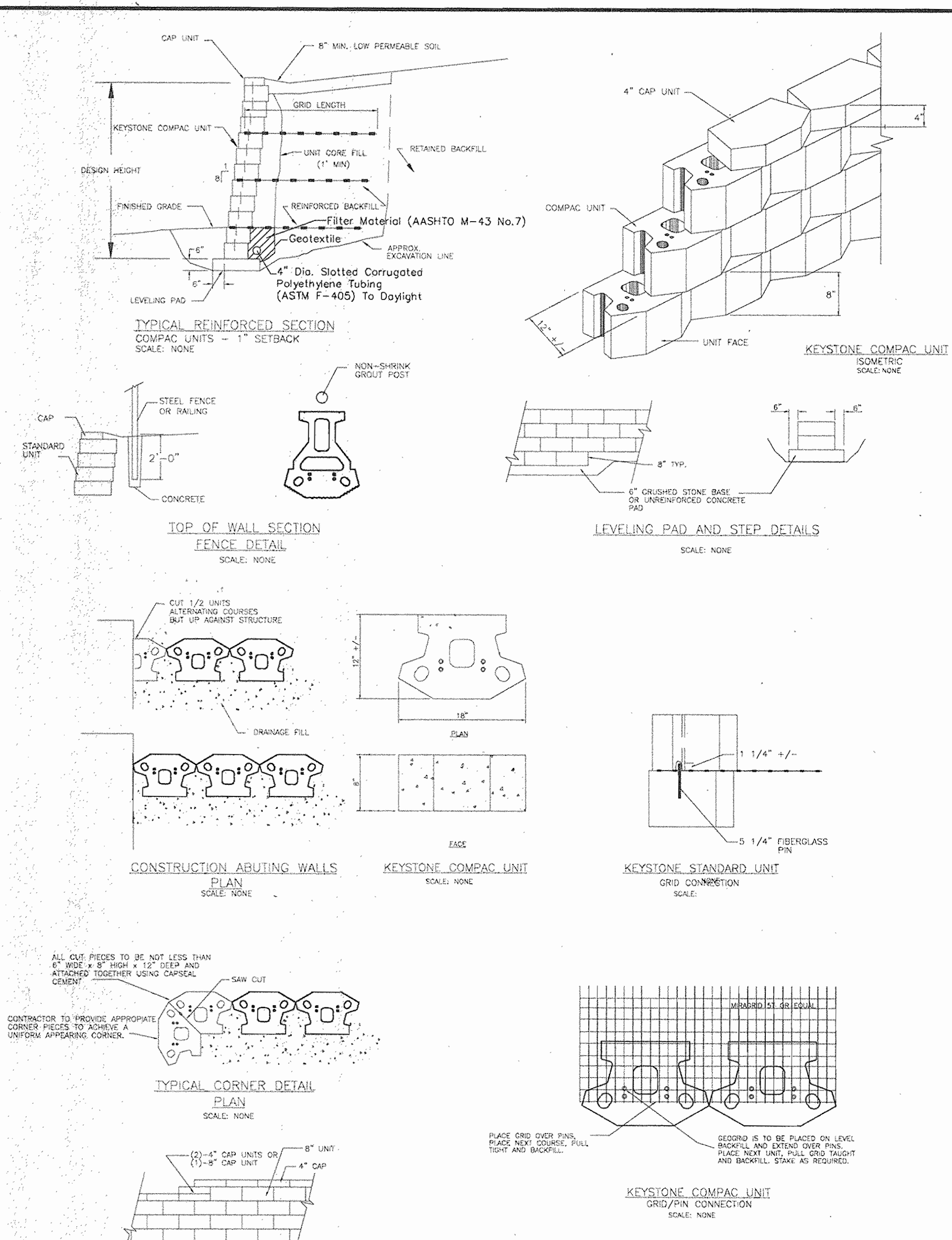


**SITE AND LANDSCAPE DETAILS**

Engineer  
Engelbert Engineering, Inc.  
P.O. Box 1506  
Columbia, Maryland 21044  
(410) 960-7334  
jesa@verizon.net



**BETHANY LANE VILLAGE CENTER**  
3S Development, LLC  
Deed Reference: Liber 9113 Folio 244  
General Office and Medical Office  
Election District No. 02, Howard County, Maryland  
Tax Map 24, Grid 2, Parcel Number 13  
Scale: As Shown Date March 5, 2005  
Sheet Number 9 of 13



**KEYSTONE RETAINING WALL DESIGN**  
Based on Rankine-w/Batter (vertical soil interface) Methodology  
Royalall Ver 24, July 11, 1997  
J. R. Scott & Associates, Inc.

Project: Bethany Lane Village Center  
Proj. No.: 99010  
Design Parameters

Date: 10/10/01  
By: JMS

Soil Parameters	f	c	γ	φ	β
Reinforced Fill:	32	0	115	33	115
Retained Fill:	32	0	115	33	115
Foundation Fill:	32	0	115	33	115
Reinforce Fill Type:	Silt & sands				
Unit Fill:	Crushed Stone, 1 inch minus				

Factors of Safety: Sliding: 1.50, Overturning: 1.50, Bearing: 2.00, Pullout: 1.50, Uplift: 1.50, Connection: 1.50, Serviceability: A

Reinforcing Parameters: Miraflo Geogrids  
Unit Type: ST-200 (21.5 in)  
Leveling Pad: Crushed Stone  
Wall Height: 6.00 ft, embedment: 1.00 ft  
Backslope Geometry: 26.60 deg, slope 3.00 ft high  
Surcharge: 12, 100 pcf uniform surcharge 0.0 - 150 pcf uniform surcharge

Layer	Height	Length	Rein.	T <sub>1</sub>	T <sub>2</sub>	T <sub>3</sub>	T <sub>4</sub>	T <sub>5</sub>	T <sub>6</sub>
1	4.00	7.00	Miraflo ST 200	555	484	419	354	289	224
2	2.00	8.00	Miraflo ST 200	555	484	419	354	289	224
3	2.00	8.00	Miraflo ST 200	555	484	419	354	289	224

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Reinforcing Parameters: Miraflo Geogrids  
Unit Type: ST-200 (21.5 in)  
Leveling Pad: Crushed Stone  
Wall Height: 8.00 ft, embedment: 1.00 ft  
Backslope Geometry: 26.60 deg, slope 3.00 ft high  
Surcharge: 12, 100 pcf uniform surcharge 0.0 - 150 pcf uniform surcharge

Layer	Height	Length	Rein.	T <sub>1</sub>	T <sub>2</sub>	T <sub>3</sub>	T <sub>4</sub>	T <sub>5</sub>	T <sub>6</sub>
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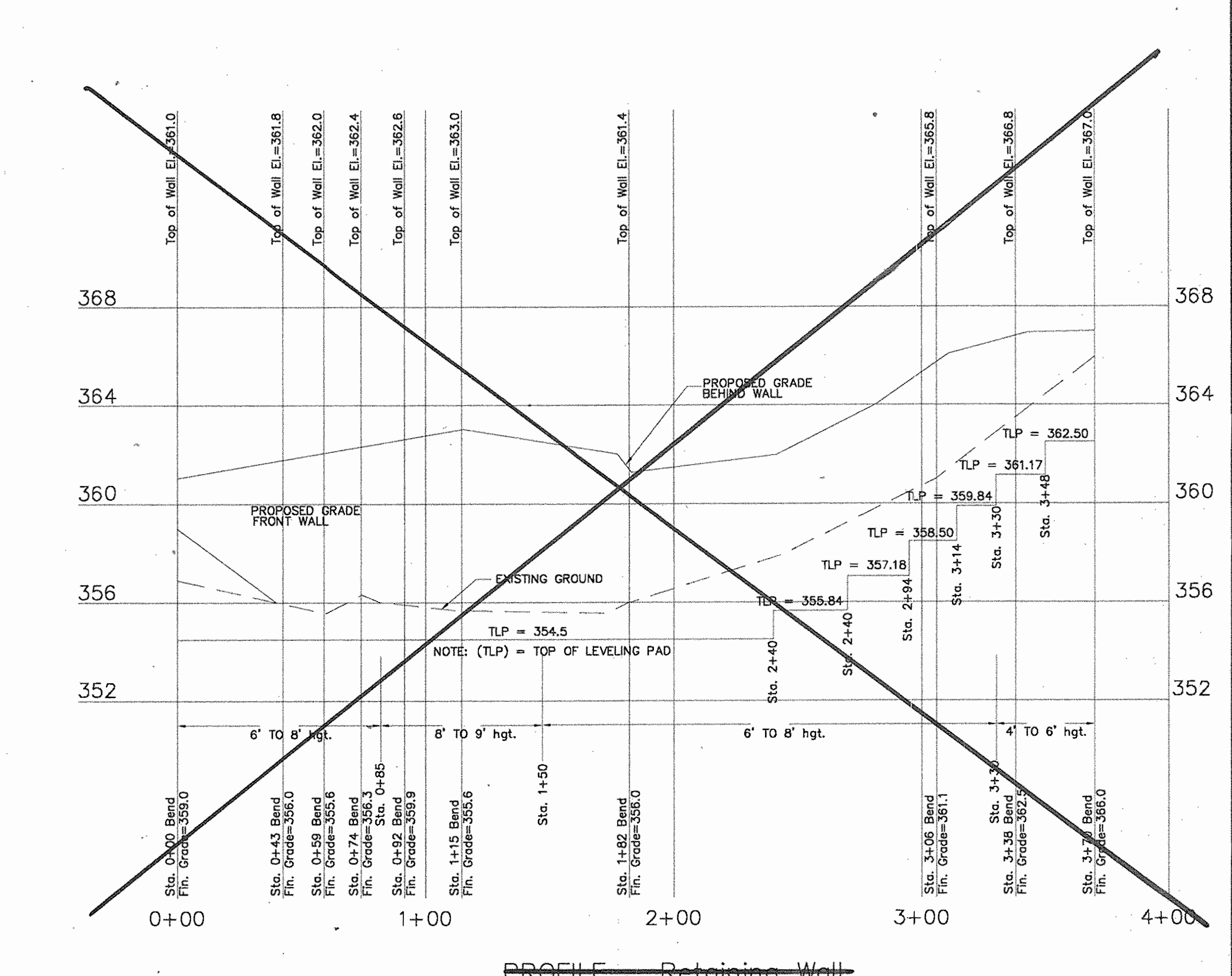
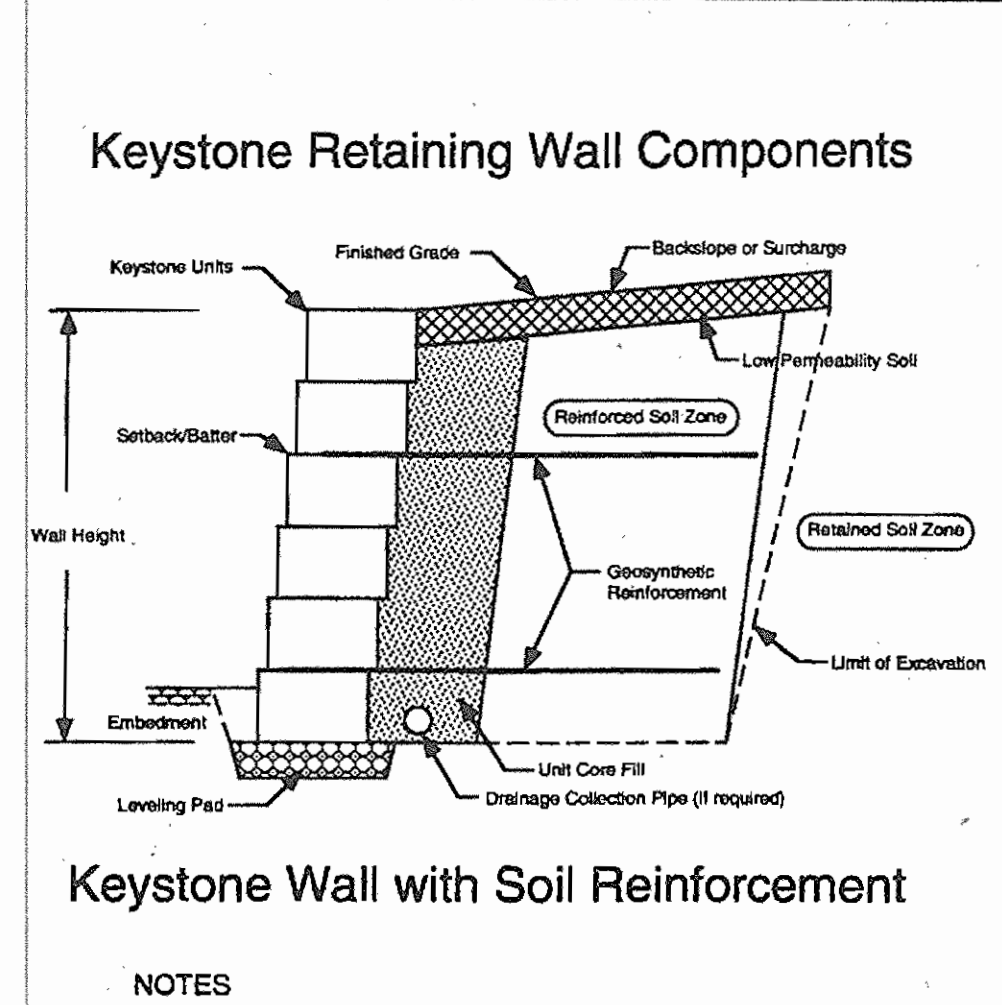
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3	2.00	8.00	Miraflo ST 200	555	484	419	354	289	224



**DEVELOPER'S CERTIFICATE**

" I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Signature of Developer: *[Signature]*  
Date: 5-27-05

**ENGINEER'S CERTIFICATE**

" I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Signature of Engineer: *[Signature]*  
Date: 7-5-05

**APPROVED:** DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* Date: 10/10/05

Chief, Division of Land Development: *[Signature]* Date: 7/1/05

Director: *[Signature]* Date: 7/6/05

**NOTES:**  
1.) Wall construction shall be performed under the observation of a Maryland Registered Professional Engineer.  
2.) Foundation soils must be examined by the engineer to assure the actual foundation soil strength meets or exceeds the assumed design strength.  
3.) Handrails 36" height shall be placed where the top of the wall elevation exceeds 30" above existing ground. Guardrails shall be placed where the top of the wall elevation exceeds 36" above existing ground.

**5.0 Maintenance Procedures**

Maintenance of the Stormceptor® is performed using vacuum trucks. The Vacuum Service Industry is a well established sector of the service industry which cleans underground tanks, sewers and catch-basins. Costs to clean the Stormceptor® vary based on the size of the unit and transportation distances.

**5.2 Maintenance Prevention**

Although annual maintenance is recommended, adequate data on the maintenance of Stormceptor® units is not available. Accordingly, it is recommended that annual maintenance be performed initially, and that the frequency of maintenance be increased or reduced based on local conditions (i.e. if the unit is filling up with sediment more quickly than projected, maintenance may be required more frequently; conversely once the site has stabilized maintenance may only be required once every two or three years).

**5.3 Spills**

The Stormceptor® is often implemented in areas where the potential for spills is great. The Stormceptor® should be cleaned immediately after a spill occurs. Appropriate regulatory agencies should also be notified in the event of a spill.

**5.4 Disposal**

Requirements for the disposal of material from the Stormceptor® are similar to that of any other "BMP". Disposal options for the sediment will probably range from disposal in a sanitary landfill to incineration in a licensed facility. Petroleum waste products collected in the Stormceptor® (oil/chemical/fuel spills) should be removed by a licensed waste management company.

**5.5 Inspection**

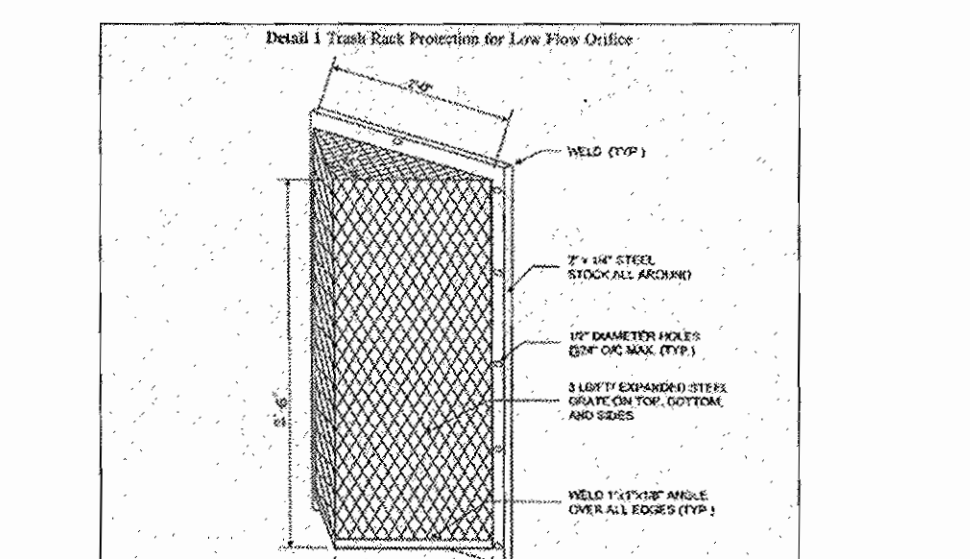
The Stormceptor® can be easily inspected visually for oil and fuels by removing the manhole cover (i.e. oil can be seen and smell from the surface). Similarly, the depth of sediment can be measured from the surface without entry into the Stormceptor® via a dipstick tube equipped with a ball valve (sludge judge). Maintenance should be performed once the sediment depth exceeds the guideline values provided in Table 9.

**Table 9. Sediment Depths Indicating Required Maintenance\***

Model	Sediment Depth (feet)
2400	1.00

\* based on 15% of the Stormceptor's sediment storage

Eight inch inspection ports are also provided on the insert for inspection and maintenance purposes (Figure 7). These ports are directly above the drop inlet pipe and riser outlet pipe and allow maintenance personnel to check for, and clear, obstructions in the Stormceptor®. Personnel outside openings of the storm drain insert and to inspect the Stormceptor®, and facilitate sewer flushing.



**Concrete Stormceptor® Order Request Form**

Contractor Information:  
Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_  
State: \_\_\_\_\_  
Zip Code: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_

Owner Information:  
Name: *[Name]*  
Address: *[Address]*  
City: *[City]*  
State: *[State]*  
Zip Code: *[Zip]*  
Contact: *[Contact]*  
Phone: *[Phone]*  
Fax: *[Fax]*

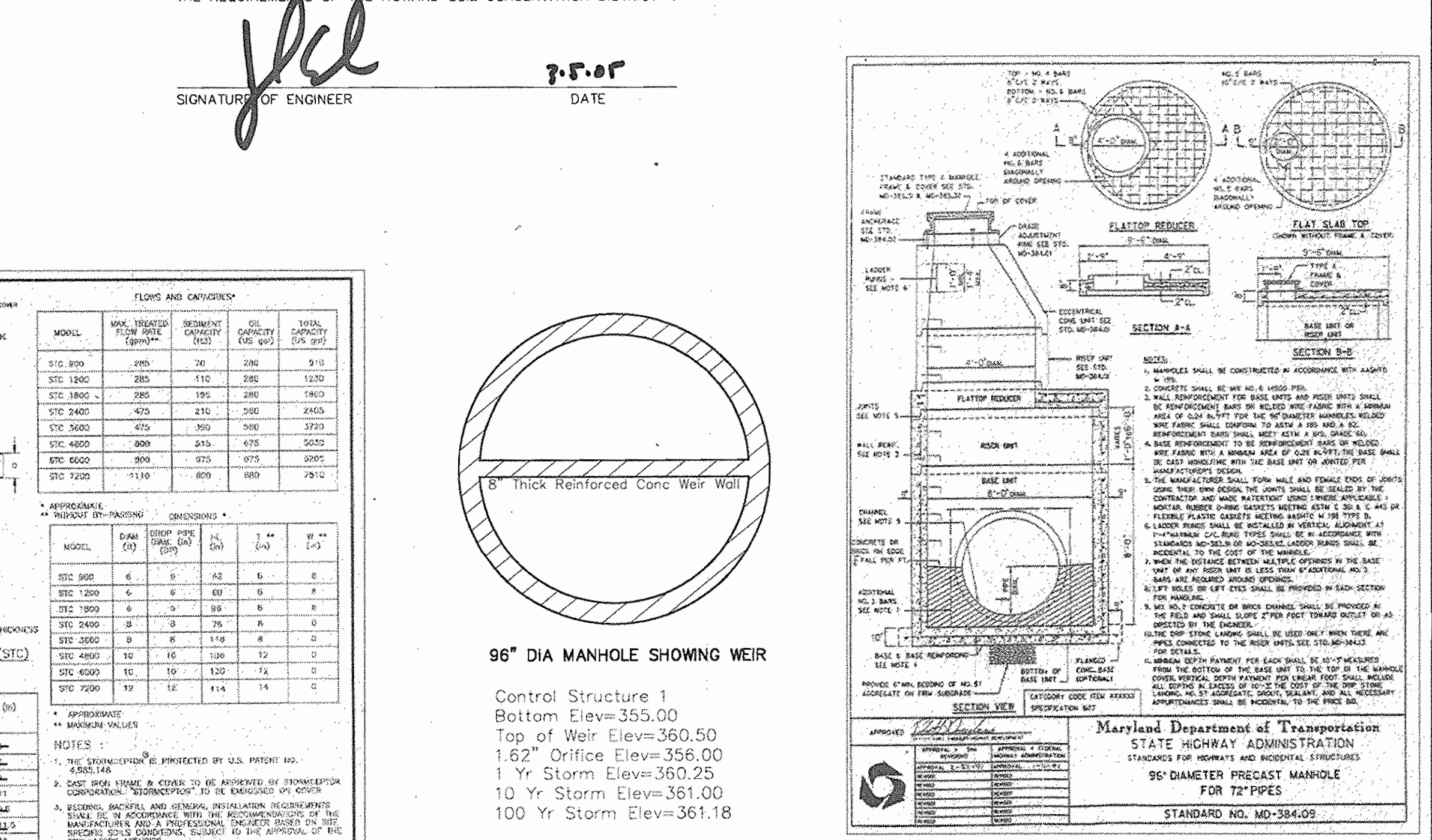
Stormceptor® Model:  900  1200  1500  1800  2400

Insert Size:  22"  24"  26"  28"  30"  32"  34"  36"  38"  40"  42"  44"  46"  48"  50"  52"  54"  56"  58"  60"

Manhole Number: \_\_\_\_\_  
Top Elevation (ft): \_\_\_\_\_  
Inlet Pipe Invert (ft): \_\_\_\_\_  
Outlet Pipe Invert (ft): \_\_\_\_\_  
Pipe Inside Diameter (in) (ID): \_\_\_\_\_  
Pipe Outside Diameter (in) (OD): \_\_\_\_\_

Project Name: *[Name]*  
Approximate time frame until required delivery (weeks): *[Time]*  
Delivery Address: *[Address]*  
City: *[City]* State: *[State]* Zip Code: *[Zip]*  
Designer Company: *[Company]*  
Designer Contact: *[Name]* Phone: *[Phone]* Fax: *[Fax]*

For Technical Assistance and Stormceptor Order Information  
Please Call Stormceptor Corporation at (301) 762-8361 or toll free at 1 (800) 762-0783



**ENGINEER'S CERTIFICATE**

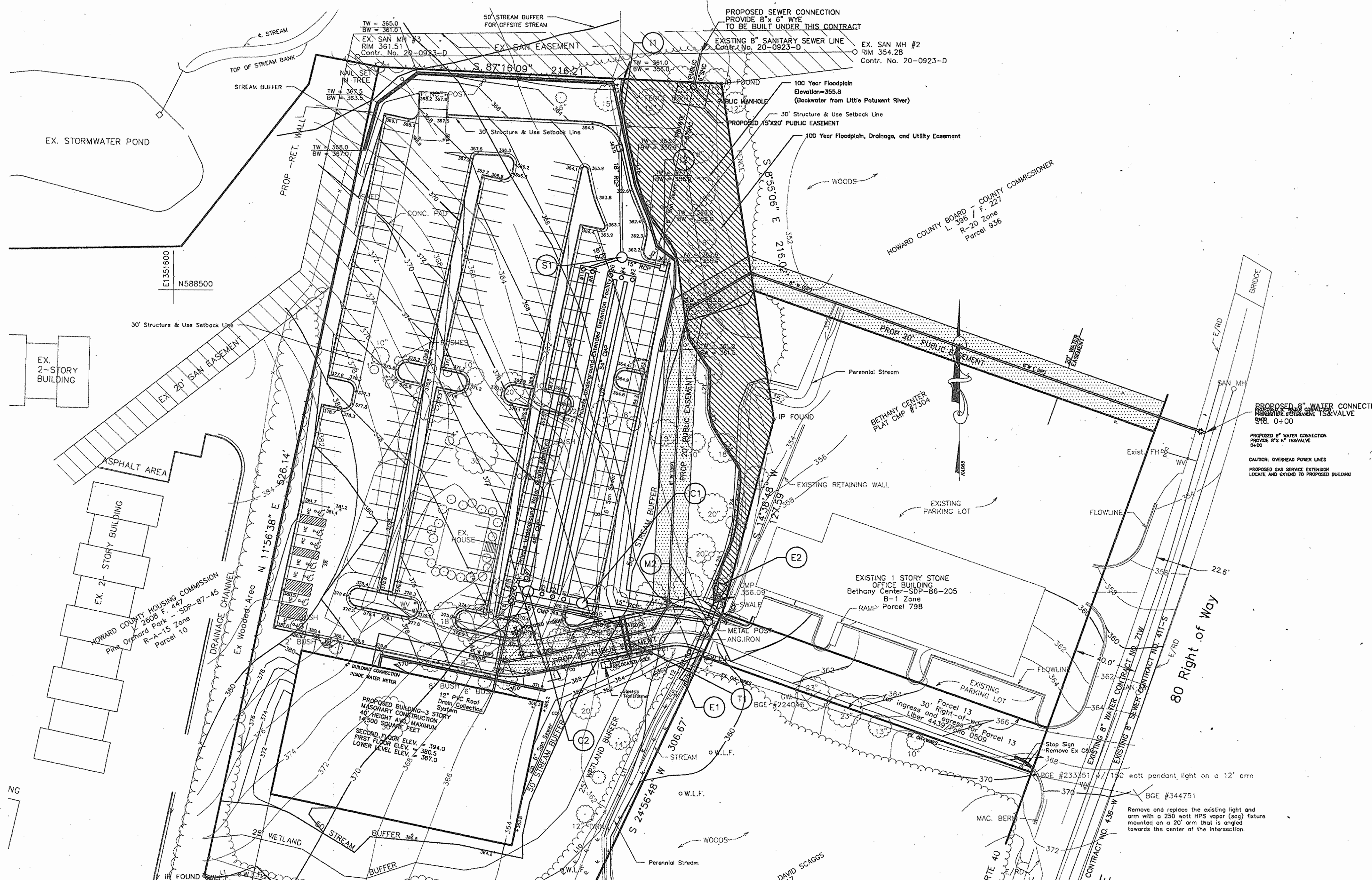
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*[Signature]*  
 SIGNATURE ENGINEER  
 3-05-05  
 DATE

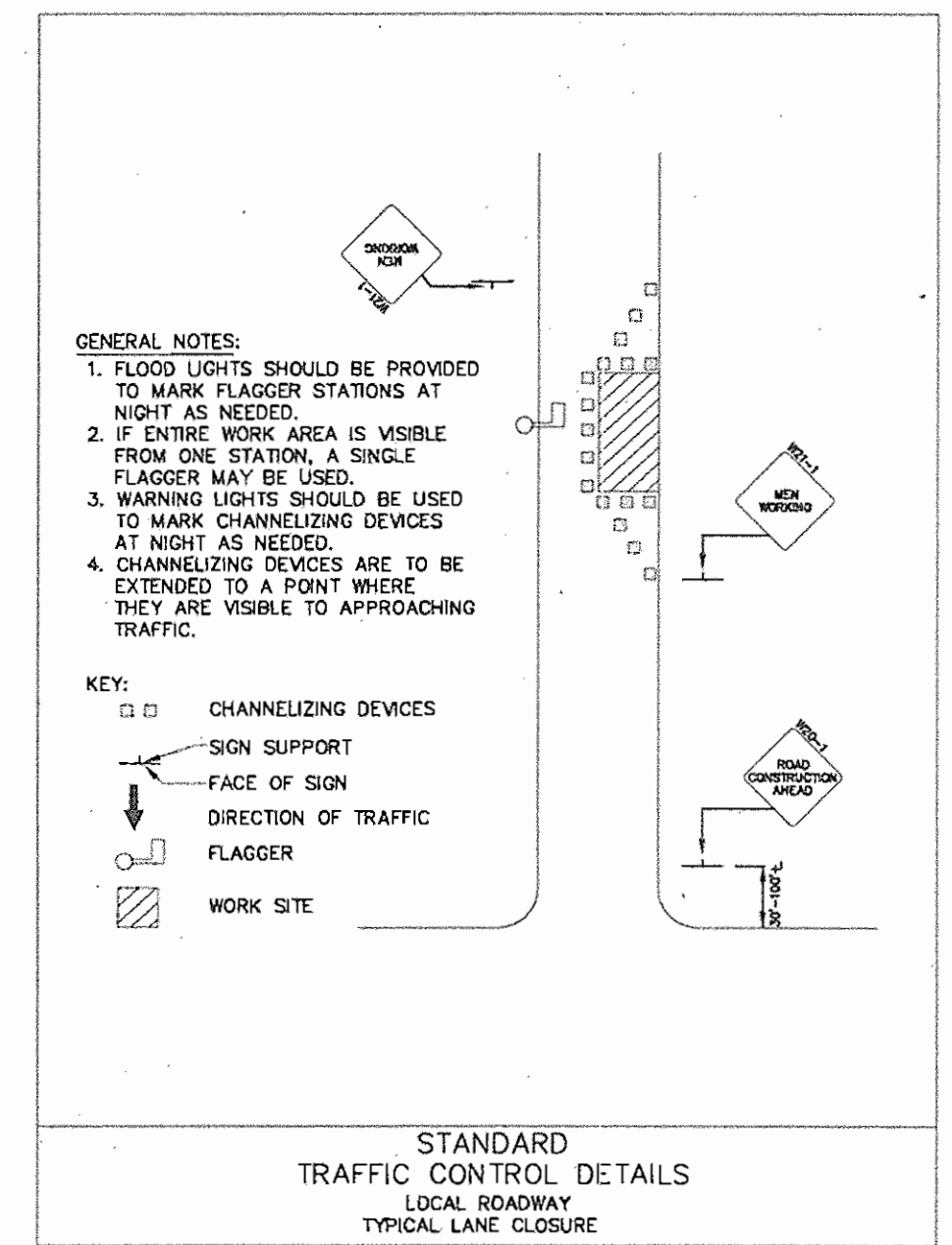
**DEVELOPER'S CERTIFICATE**

"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]*  
 SIGNATURE OF DEVELOPER  
 5-27-05  
 DATE



- UTILITY PLAN GENERAL NOTES:
- 1.) THE PURPOSE OF THIS PLAN IS TO SHOW THE UTILITY SERVICES EXISTING AND PROPOSED FOR SERVICE TO THE PROPOSED COMMUNITY BUILDING.
  - 2.) FOR ELECTRIC, CABLE, TELEPHONE AND GAS SERVICE, THE OWNER MUST CONTRACT WITH EACH FOR DESIGN AND INSTALLATION OF SERVICES. BY JES, INC. SHOWING PROPOSED SERVICES IT IS NOT IMPLIED OR WARRANTED THAT SERVICES ARE AVAILABLE.
  - 3.) THE BASE INFORMATION SHOWN HEREON IS DERIVED FROM FIELD RUN SURVEYS AND PUBLIC RECORD INFORMATION. THE TOPOGRAPHIC INFORMATION FROM THE SURVEY IS SURFACE EXPLORATION AND INVESTIGATION ONLY. THE UNDERGROUND SERVICES HAVE NOT BEEN VERIFIED BY THESE PLANS.
  - 4.) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SAFETY.
  - 5.) THE CONTRACTOR SHALL CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST 72 HOURS BEFORE START OF WORK.
  - 6.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE, INVESTIGATE ALL CONDITIONS THAT AFFECT HIS WORK, BECOME FAMILIAR WITH THE EXISTING CONDITIONS, AND ALL DRAWINGS AND SPECIFICATIONS.
  - 7.) ANY DAMAGE TO EXISTING SERVICES SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTORS SOLE EXPENSE.
  - 8.) FAILURE TO SHOW OR SPECIFICALLY MENTION WORK THAT IS NECESSARY OR IMPLIED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL MATERIALS, LABOR AND TESTING FOR A COMPLETE PRODUCT.
  - 9.) THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER, SHALL BE RESPONSIBLE FOR DISCARDING WASTE AND/OR EXCESS MATERIALS AND DEBRIS FROM THE SITE IN A LEGAL MANNER ACCORDING TO ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
  - 10.) THE UTILITY COMPANIES AND/OR CONTRACTOR MUST MONITOR OPERATIONS FOR CLEANLINESS. IT IS THEIR RESPONSIBILITY TO KEEP THE SITE AND PUBLIC STREETS CLEAN AND FREE OF TRACKED MUD OR OTHER DEBRIS.
  - 11.) CONTACT THE CIVIL ENGINEER AT THE ADDRESS AND PHONE NUMBERS SHOWN ON THE PLAN IF ANY UTILITY AS LOCATED VARIES FROM THE LOCATIONS SHOWN HEREON.

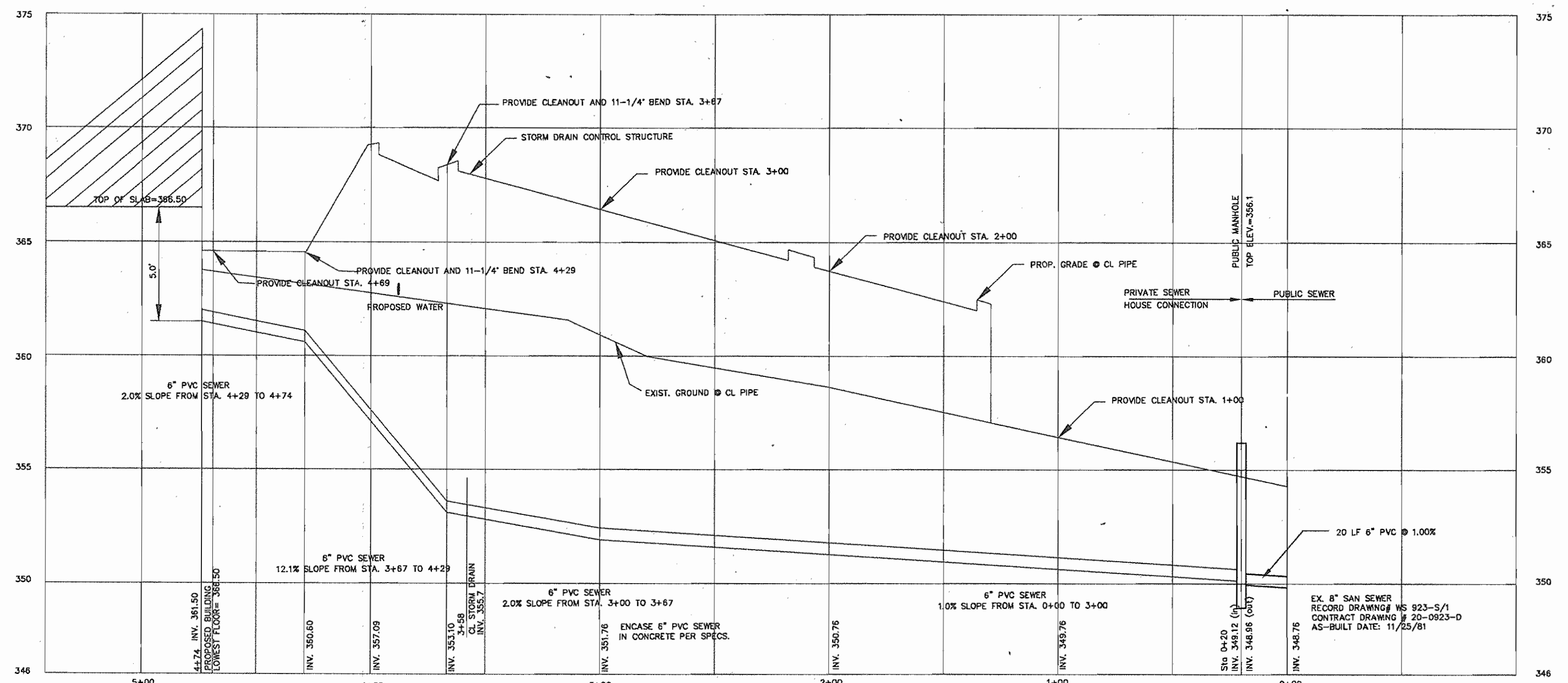


APPROVED: DEPARTMENT OF PLANNING AND ZONING

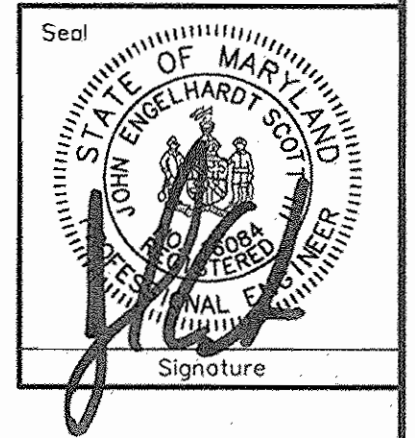
*[Signature]* 6/29/05  
 Chief, Development Engineering Division Date

*[Signature]* 7/1/05  
 Chief, Division of Land Development Date

*[Signature]* 7/9/05  
 Director Date



Engineer  
 Engelhardt Engineering, Inc.  
 P.O. Box 1506  
 Columbia, Maryland 21044  
 (410) 960-7334  
 jes@verizon.net



UTILITY PLAN- SEWER, GAS AND ELECTRIC  
 SEWER PROFILE- 6" BUILDING CONNECTION

**BETHANY LANE VILLAGE CENTER**  
 3S Development, LLC  
 Deed Reference: Liber 9113 Folio 264  
 General Office and Medical Office  
 Election District No. 02, Howard County, Maryland  
 Tax Map 24, Grid 2, Parcel Number 13  
 Scale: 1" = 40' Date March 5, 2005  
 Sheet Number 11 of 13