Construction Notes

- 1. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST 24 HOURS PRIOR TO STARTING ANY OF THE WORK SHOWN HEREON.
- 2. ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY THE HOWARD SOIL CONSERVATION
- 3. THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN ANY SCALED DIMENSIONS AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED
- 4. CONTRACTOR SHALL MEET ALL EXISTING IMPROVEMENTS SMOOTHLY FOR LINE, GRADE
- 5. ALL WORK SHOWN ON THESE PLANS SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AND OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND THE HOWARD COUNTY PLUMBING CODE, UNLESS OTHERWISE NOTED.
- 6. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM SUCH WORK, THE COST OF SUCH WORK SHALL BE INCLUDED IN THE BASE BID.
- 7. THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING, ETC. ARE TO BE REMOVED PRIOR TO PLACING A BID ON SUCH ITEMS.
- 8. THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE LOCATIONS ARE 1-800-257-7777 A MINIMUM OF 5 WORKING DAYS PRIOR TO DIGGING. THE CONTRACTOR SHALL UNDERGROUND UTILITIES AND THE PROPOSED LOCATION OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT G. W. STEPHENS AND THE OWNER OF THE UTILITY IMMEDIATELY. ANY DAMAGE OR DISRUPTION OF SERVICE SHALL BE AT THE EXPENSE OF THE CONTRACTOR. RELOCATION OF ANY EXISTING UTILITIES, IF NECESSARY, SHALL BE AT THE EXPENSE OF THE OWNER. THE CONTRACTOR SHALL COORDINATE RELOCATION OF THESE FACILITIES, IF NECESSARY.
- 9. CONTRACTOR SHALL PROTECT ALL EXISTING TREES OUTSIDE THE LIMIT OF DISTURBANCE AT ALL TIMES DURING CONSTRUCTION.
- 10. CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS NOT SCHEDULED FOR REMOVAL OR DEMOLITION. COST OF REPAIR TO EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE BASE BID. ALL EXISTING SITE FEATURES NOT BEING RETAINED SHALI BE REMOVED AND DISPOSED OF AT AN APPROVED LOCATION. ANY DAMAGE TO OFFSITE ROADS, RIGHTS OF WAY, OR ADJACENT PROPERTY SHALL BE REPAIRED IMMEDIATELY AT THE EXPENSE OF THE CONTRACTOR.
- 11. THE CONTRACTOR SHALL CLEAR THE PROJECT SITE OF ALL TREES, PAVING, STRUCTURES, ETC. WITHIN THE CONSTRUCTION AREA UNLESS OTHERWISE NOTED ON
- 12. ONLY SUITABLE MATERIAL SHALL BE USED AS FILL AND ALL FILL SHALL BE PLACED AND COMPACTED AS SPECIFIED IN THE SOILS REPORT PREPARED FOR THIS SITE OR AS RECOMMENDED BY THE SOILS ENGINEER EXCEPTING THOSE ASSOCIATED WITH LANDSCAPE BERMING, ALL GRADING UNDER PROPOSED PAYING, AND ALL FILL AND COMPACTION SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER.
- 13. CONTRACTOR SHALL PROVIDE MINIMUM 4 FOOT BENCH AT EDGE OF PAVING IN FILL AREAS. MAXIMUM SLOPE OF BENCH SHALL BE 4% (1/4 IN PER FOOT).
- 14 MAXIMUM SLOPE SHALL BE 2 HORIZONTALLY TO IVERTICALLY.
- 15. CONTRACTOR SHALL PLACE 4" MINIMUM TOPSOIL IN LANDSCAPE AREAS.
- 16. CONTRACTOR SHALL PLACE A WITNESS POST AT THE TERMINUS OF ALL UTILITY STUBS 17. CONTRACTOR SHALL PROVIDE A MINIMUM OF 1 FOOT OF PROTECTIVE FILL OVER STORM
- DRAIN PIPES DURING CONSTRUCTION. 18. ALL TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES."
- ALL STREET AND REGULATORY SIGNS SHALL BE INSTALLED PRIOR TO INSTALLATION 19. THE CONTRACTOR SHALL REPLACE ANY EXISTING BITUMINOUS PAVING OR SUB-BASE WHICH IS DAMAGED OR REMOVED DURING CONSTRUCTION. ALL EXCAVATED AREAS
- SHALL BE BACKFILLED AND IN ACCORDANCE WITH THE SOILS REPORT AND/OR AS DIRECTED BY GEOTECHNICAL ENGINEER. ANY AREAS TO BE PAVED WHICH EXHIBIT
- SDP00-048.
- 21. ALL LIGHTING TO COMPLY WITH ZONING REGULATION SPECIFICATIONS SECTION 134
- 22. ALL STORM DRAINS TO BE RCCP OR HDPE UNLESS OTHERWISE NOTED. 23. ACCESS ROAD TO PARCEL B-2 TO BE TYPICAL P-5 PAVEMENT SECTION



Reviewed for Howard SCD and meets Technical Requirements

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

APPROVED: Howard County Department of Planning and Zoning

8/6/00 CHIEF. DIVISION OF LAND DEVELOPMENT

march V. M. asel

8/18/00

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS
- 2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTIONS DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE
- 3. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:

MISS UTILITY 1-800-257-7777 C&P TELEPHONE COMPANY (410) 725-9976 HOWARD COUNTY BUREAU OF UTILITIES (410) 313-4900 AT&T CABLE LOCATION DIVISION (410) 393-3533 BALTIMORE GAS & ELECTRIC (410) 685-0123 STATE HIGHWAY ADMINISTRATION (410) 531-5533 HOWARD COUNTY DEPT. OF PUBLIC WORKS/ CONSTRUCTION INSPECTION DIVISION (410) 313-1880

LOCATION: FIRST ELECTION DISTRICT-TAX MAP 43-L4894/F0101-PARCEL 321 (PARCEL B-2) ZONING: M-2 PER THE 10/18/93 COMPREHENSIVE ZONING PLAN. TOTAL AREA: 5.00 ACRES +/-LIMIT OF DISTURBED AREA: 4.25 ACRES +/-

DPZ REFERENCE #: SDP-95-60 APPROVED ON JUNE 19, 1995 APPROVED ON AUGUST 31, 1999 APPROVED ON SEPTEMBER 23, 1999 APPROVED ON DECEMBER 30, 1999 APPROVED ON MARCH 16, 2000 - F-00-29 - SDP-00-48 APPROVED ON MARCH 16, 2000

5. EXISTING CONTOURS SHOWN HEREON IS BASED ON PROPOSED GRADING UNDER SDP-00-48 HOWARD BUSINESS PARK, PARCELS B-1 THRU B-4 AND TWO FOOT CONTOUR TOPOGRAPHY AND EXISTING CONDITIONS BASED ON AERIAL MAPPING TOPOGRAPHIC SURVEY BY WINGS AERIAL MAPPING CO., INC. IN FEBRUARY, 1999. BOUNDARY SHOWN HERE IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT SEPTEMBER. 1999 BY MILDENBERG, BOENDER & ASSOCIATES, INC.

GENERAL NOTES (CONT.)

SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS.

> STA. No. 43B6 N 550.601.597 ELEV. 210.54 E 1,376,866.071 N 551, 654.993 ELEV. 209.59 E 1,378,176.951 N 553,315.147 E 1,379, 982.153 N 548,305.502 ELEV. 134.53

7. WATER AND SEWER ARE PUBLIC, OVERALL CONTRACT NO. 14-3775-D PARCEL B-2 CONTRACT NO. 14-3878-D

8. STORMWATER MANAGEMENT QUANTITY CONTROL IS PROVIDED BY THE METHOD OF RETENTION UNDER SDP-00-48 (HOWARD BUSINESS PARK, PARCELS B-1 THRU B-4).

E 1,382,025.818

9. APFO ROAD TEST SATISFIED UNDER F-00-29, HOWARD BUSINESS PARK, PARCELS A-1 & B-1

10. WETLAND AND STREAM DELINEATION APPROVED UNDER F-00-29, HOWARD BUSINESS PARK

11. CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.

12. FOREST CONSERVATION REQUIREMENTS SATISFIED UNDER F-00-29, HOWARD

BUSINESSPARK, PARCELS A-1 & B-1 THRU B-4.

13. PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT. 14. SLOPES IN EXCESS OF 25% EXIST AND ARE IDENTIFIED WHERE THEY EXCEED 20,000 SQ. FT

15. EXISTING CONTOURS INDICATED WITHIN THE RIGHT OF WAY OF DORSEY RUN ROAD ARE PER THE PROPOSED ROAD GRADES SHOWN ON F-00-29.

16. NO BURIAL GROUNDS OR CEMETERIES ON SITE.

Site Developement Plans

Howard Business Park Parcel B-2 Howard County, Maryland SDP 00-115

Professional Certification

Index of Sheets

SHEET NO. 1 - COVER SHEET

SHEET NO. 2 - SITE PLAN

SHEET NO. 3 - SITE PLAN

SHEET NO. 4 - SITE PLAN DETAILS

SHEET NO. 5 - DRAINAGE AREA MAP AND PROFILES

SHEET NO. 6 - SEDIMENT EROSION CONTROL PLAN

SHEET NO. 7 - SEDIMENT EROSION CONTROL DETAILS & NOTES

SHEET NO. 8 - LANDSCAPE PLAN & DETAILS

Parking Tabulation A A

PARKING REQUIRED

Office Building (2000 of) + Trailer (2,928 of) = 12,000 of general Office

@ 3.3 SPACES/1,000 SQ.FT

= 40 SPACES

BENCHMARKS

BASED ON (NAD 83) MARYLAND STATE COORDINATE SYSTEM AS PROJECTED BY

N 550,601.597 E 1,376,866.071

N 551,654.993 E 1,378,176.951

N 553,315.147 E 1,379,982.153 ELEVATION = 195.75'

N 548,305.502 E 1,382,025.818

BENCHMARK #43B6

ELEVATION = 210.54'

BENCHMARK #43B2

ELEVATION = 209.59'

BENCHMARK #371A

BENCHMARK #43R1

ELEVATION = 134.53'

NAD 83

NAD 83

NAD 83

HOWARD COUNTY GEODETIC CONTROL STATIONS.

3,835SQ. FT. WAREHOUSE @ 0.5 SPACES/1,000 SQ. FT. = 2 SPACES

TOTAL REQUIRED = 42 SPACES

PARKING PROVIDED = 42 SPACES (INCLUDES 3 HANDICAPPED)

6 Make office trailer permanent & add new ADA deck/ramp to trailer. Remove future addition. by GLW 4/2020

OWNER / DEVELOPER STONEY RUN LLP

4253 MONTGOMERY ROAD LLICOTT CITY, MARYLAND 21043 410-465-6399

DESIGNED BY: P.R.C. DRAWN BY: K.E. CHECKED BY: P.R.C. REVISIONS SITE DATA & PARKING TAB REVISED BY

DATE 12 1/11

an6

STREET ADDRESS 7121 DORSEY RUN ROAD 7121 A DORSEY RUN ROAD SUBDIVISION NAME PARCEL # Howard Business Park ZONE MAP | ELECT. DIST. CENSUS TRAC LAT *F-00-29 | BLOCK * 14169 to 14171 WATER CODE B-01 SEWER CODE 2250000

Cover Sheet HOWARD BUSINESS PARK PARCEL B-2

PREVIOUS FILE NO'S: F 00-029, SDP 00-048, 14-3775-D SDP 00-115 ELECTION DISTRICT : 15t HOWARD CO., MARYLAND SHT. 1 OF 8

DATE: APRIL 4, 2000

ADDRESS CHART

APPROX. 1200' SOUTHWEST

TO HO. CO. 43B6

Site Data A

EXISTING ZONING = M-2

EXISTING USE = VACANT.

PROPOSED USE = OFFICE / WAREHOUSE

BUILDING COVERAGE = 15,843 of

FLOOR AREA = 15.843 S.F. OR 0.364AC.

% OF PARKING LOT COVERAGE = 63.25%

NUMBER OF PARKING SPACES REQUIRED = 42

% OF BUILDING COVERAGE =7.27%

FLOOR AREA RATIO = 0.0127

OPEN SPACE = 0.00

TOTAL PROJECT AREA = 217,800 SQ.FT. OR 5,00 AC. +/-

PROPERTY REFERENCE = PLAT NO. F 00 - 29, 14169 to 14171

TOTAL AREA OF PARKING LOT = 137,745 SQ. FT. OR 3.162 AC.

AREA TO BE DISTURBED = 185,300 SQ. FT. OR 4.25 ACRES

OFFICE TEALER WILL BE BOND

AREA TO BE VEGETATIVELY STABILIZED =54.111 SQ. FT. OR 1.24 AC.

AREA TO BE PAVED PLUS BUILDING AREA =150,420 SQ. FT. OR 3.45 AC.

NUMBER OF PARKING SPACES PROVIDED = 42 (INCLUDING 3 HANDICAPPED)

Vicinity Map

License No. 12075 Expiration bate: May 26, 2022

hereby certify that those plans were prefund or approved by me and

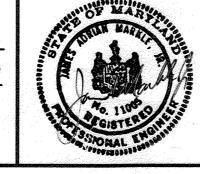
that I am a duly-licensed Professional engineer under the laws of the State

of Maryland, License No. 32629 Expiration date: February 22, 2024

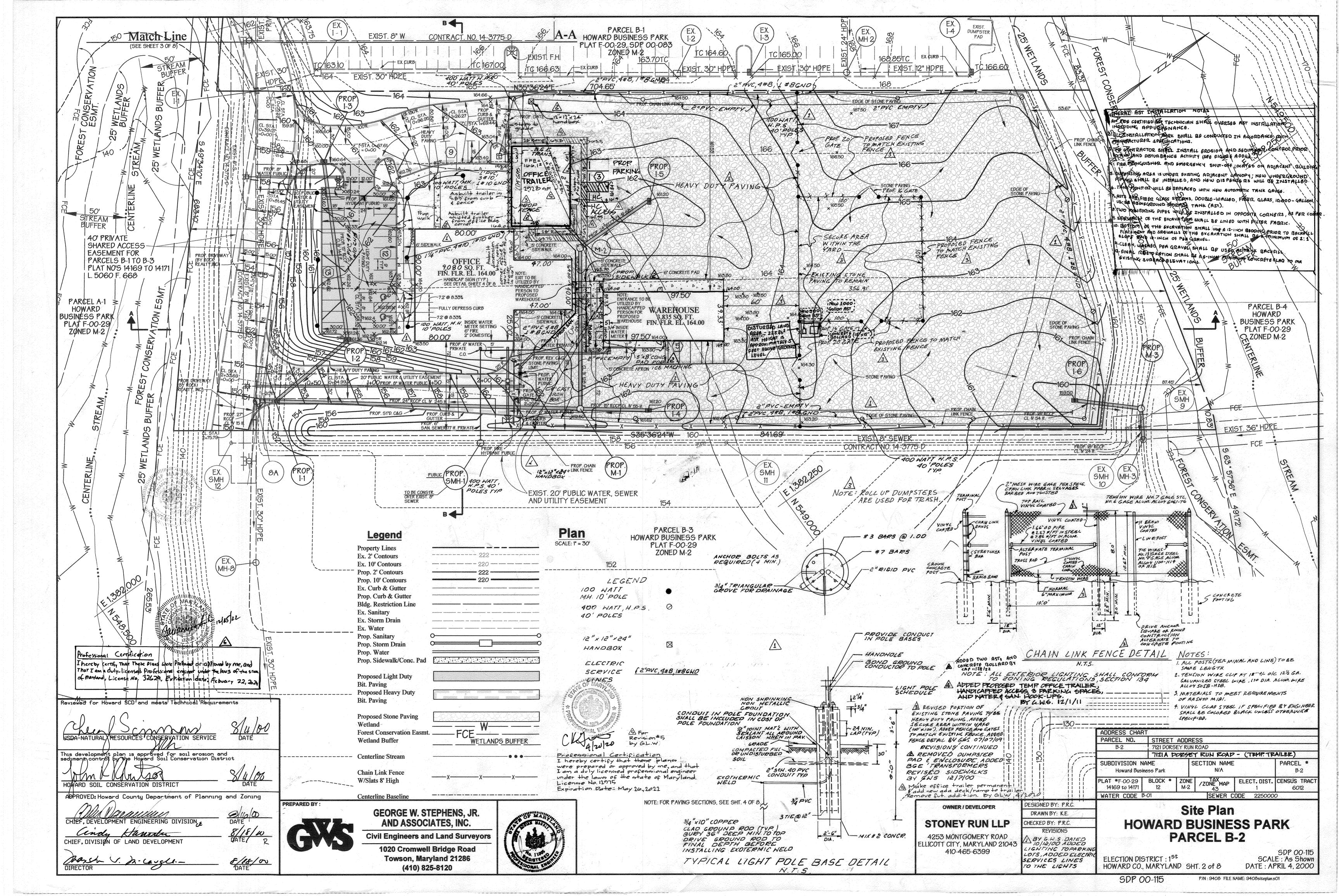
Professional Certification (5) I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed professional enameer under the laws of the state of Maryland.

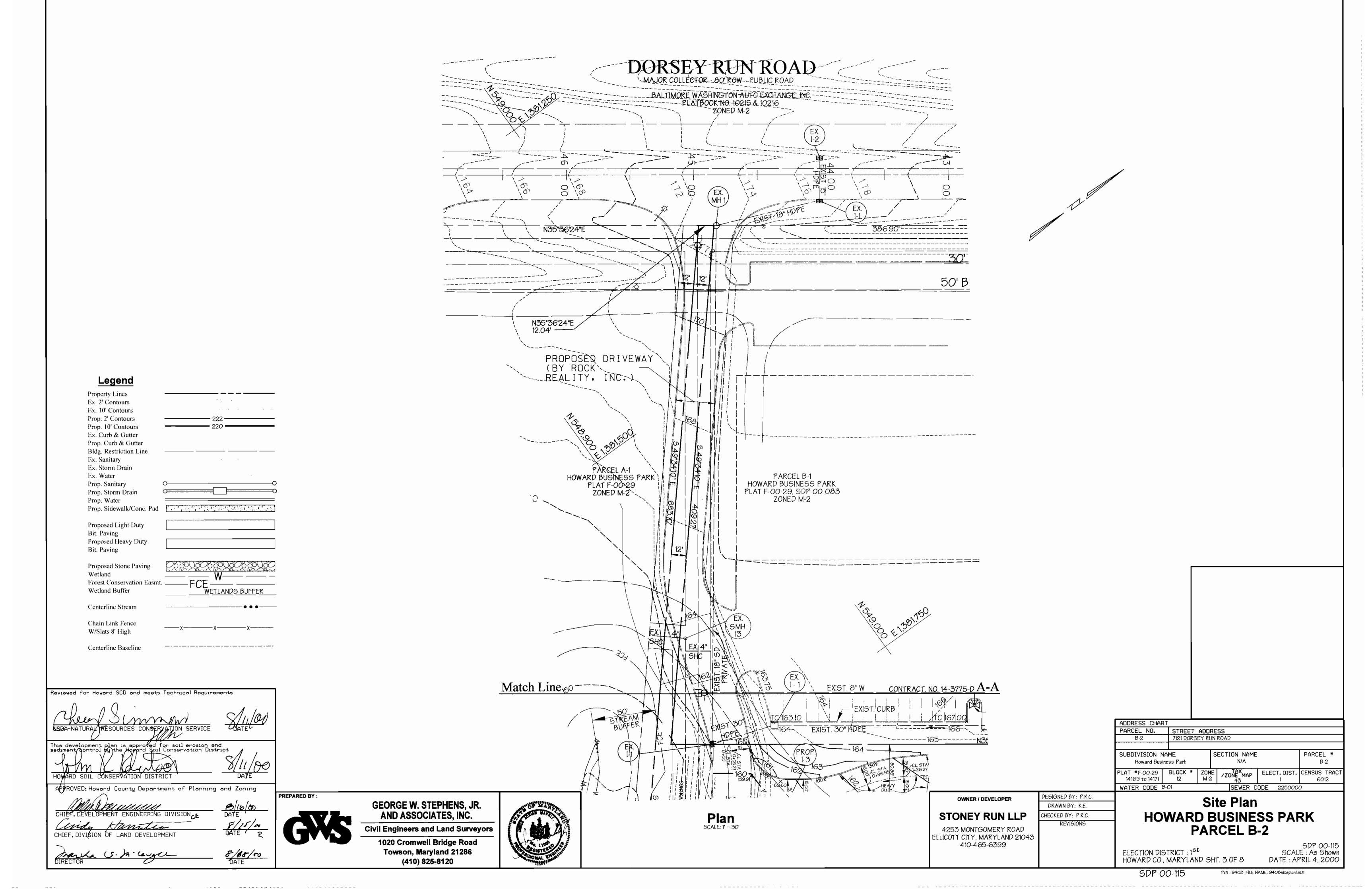
GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.

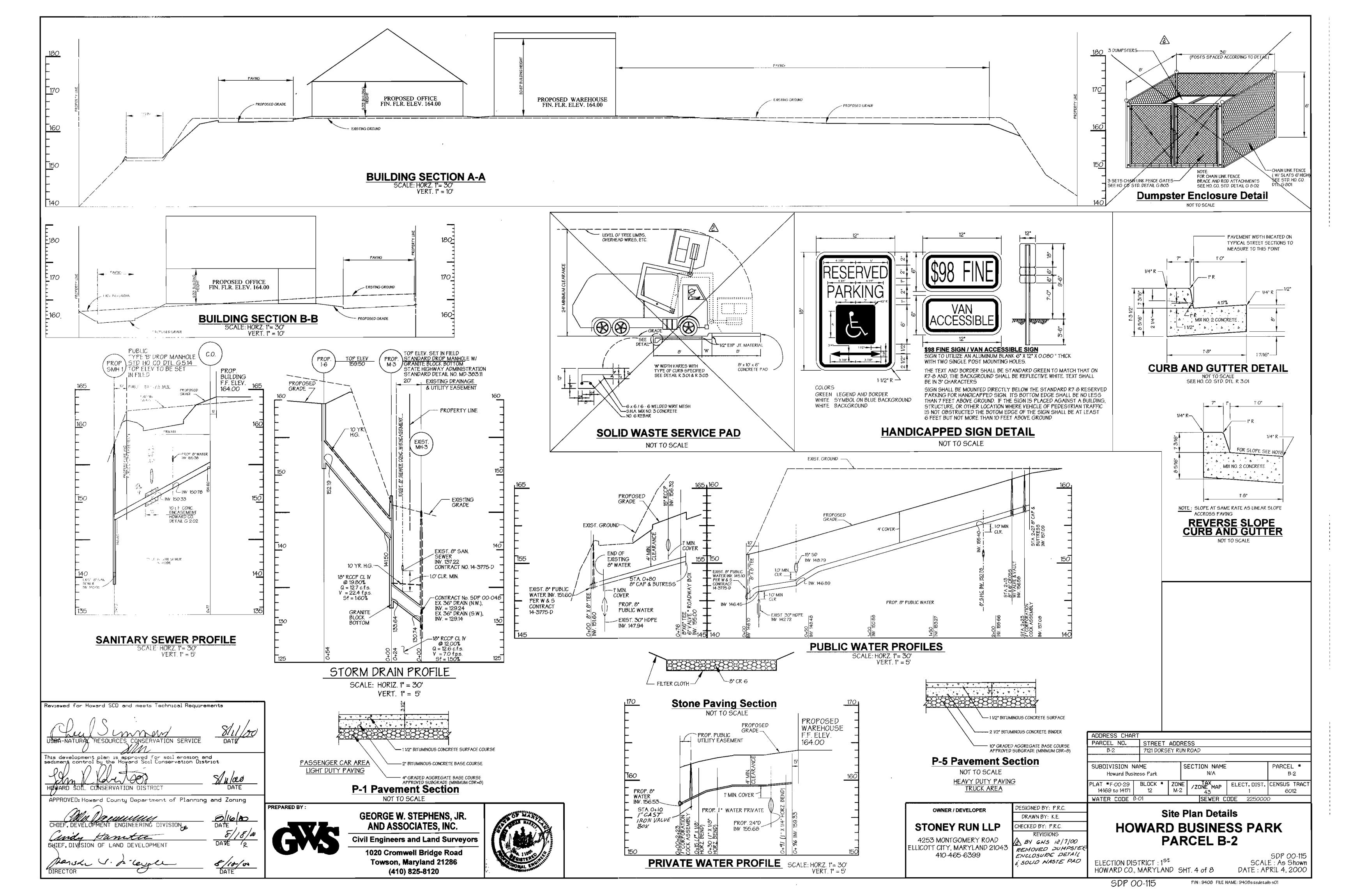
Civil Engineers and Land Surveyors 1020 Cromwell Bridge Road **Towson, Maryland 21286** (410) 825-8120

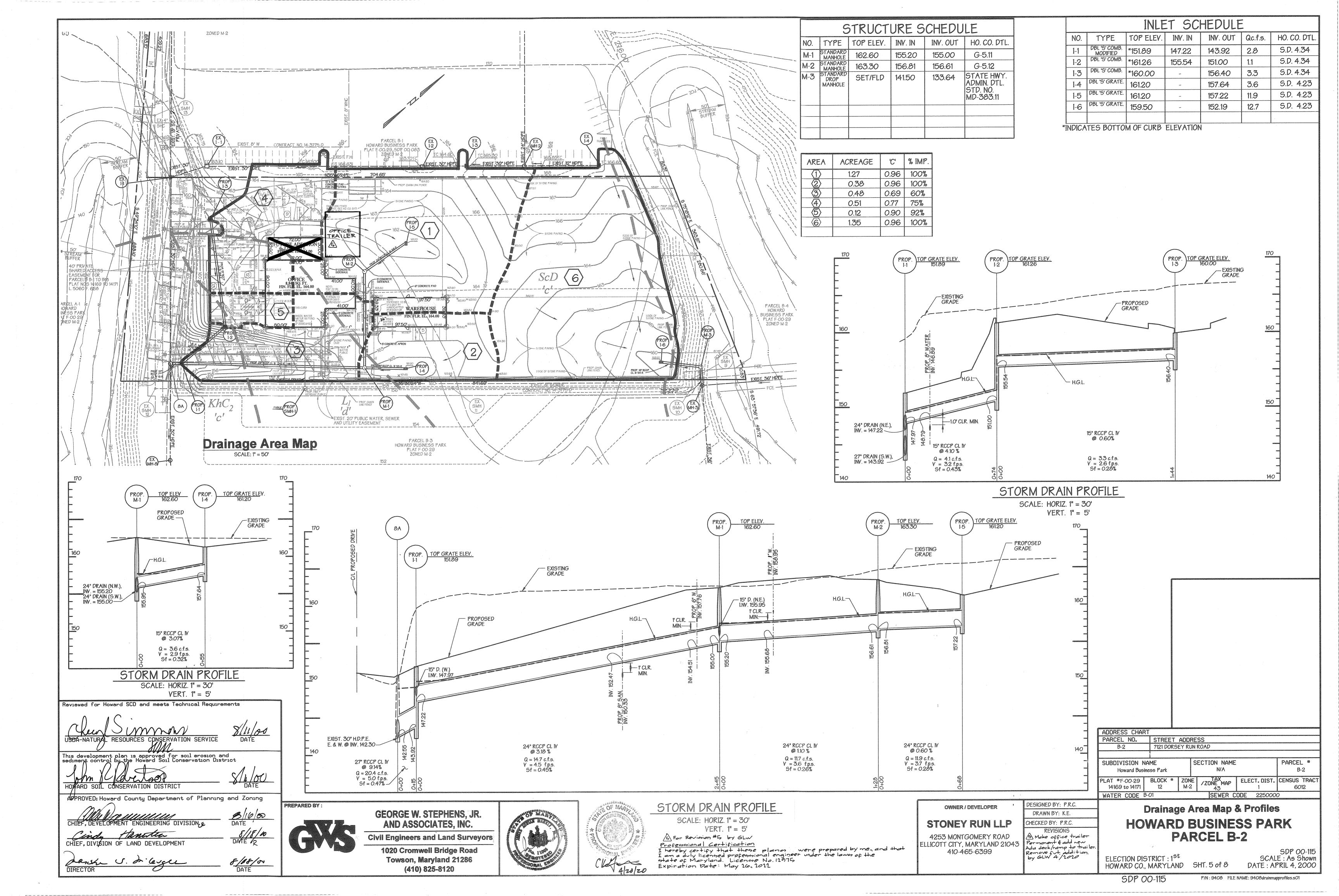


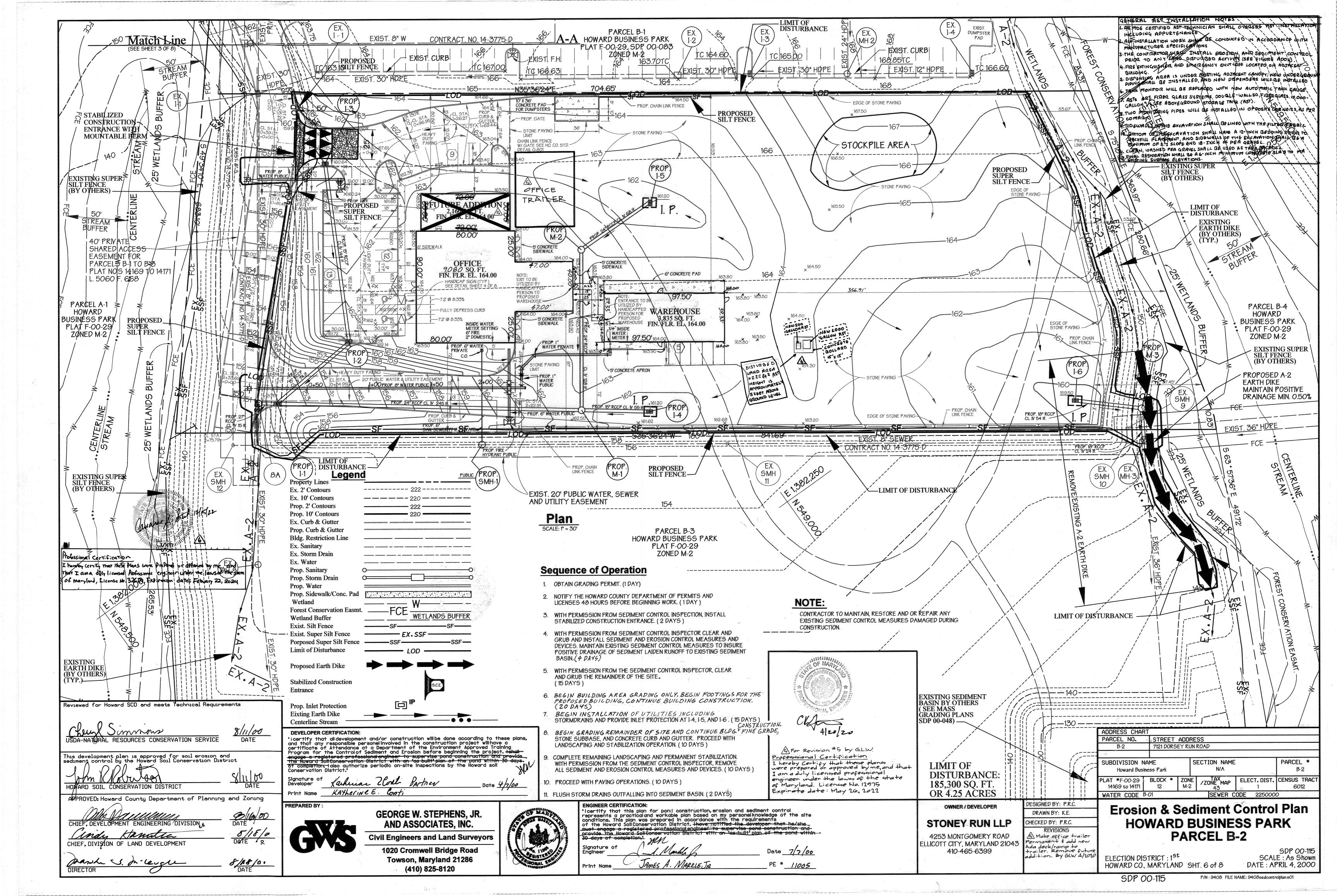
The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building, shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.











Stabilization Specifications

Section 1 Yeartative Stabilization Methods and Materials

- Finstall erosion and sediment control structures (either temporary or permanent) such as diversions
- grade stabilization structures, berms, waterways, or sediment control basins il Perform all grading operations at right angles to the slope Fina: grading and shaping is not usually
- iii Schedule required soil tests to determine soil amendment composition and application rates for sites having disturbed area over 5 acres
- B Soil Amendments (Fertilizer and Lime Specifications)

necessary for temporary seeding

- i. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 areas. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory. Soil samples may be taken for engineering purposes may also be used for offemical analysis
- II Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority Fortilizers shall all be delivered to the site fully labeled according to the applicable state fortilizer laws and shall bear the name, trade name or trademark and warrantee of the
- iii ilme materials shall be ground imestone (hydrated or burnt lime may be substituted) which contains at least 50% total oxides (calcium oxide plus magnesium oxide) I imestone shall be ground to such fineness that at least 50% will pass through a #100 mosh sieve and 98 100% will pass through a #20 mosh sieve.
- iv incorporate lime and fertilizer into the too $3\cdot 5^{\circ}$ of soil by disking or other suitable means.
- v Soil Amendments. Use only one of the following schedules
- i Preferred Apply 2 tons per acre dolomitic limestone (92 lbs / 100 sf) and 600 lbs. per acre to to 10 10 fertilizer (14 lbs / 100 s.f.) Before seeding, harrow or disc into upper three inches of soil. At time of seeding apply 400 lbs, per acre 30.0.0 auriform fertilizer (91 lbs / 100 s.f.).
- ii Acceptable Apply 2 tons per acre dolomtic limestone (92bs / 1000 sf) and 1000 bs. per acre 10 to to fortilizer (23 lbs / 3000 s f) before seeding harrow or disc upper three inches of soll

C. Seedbed Preparation

i. Temporary Seeding

- a Seedbed preparation shall consist of loosening soil to a depth of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened it should not be rolled or dragged smooth but left in the roughened condition. Sloped areas (greater than 3.9) should not be tracked leaving the surface in an irregular condition with ridges running parallel to the contour of the slope
- b. Apply fortillzor and time as prescribed on the plans
- c Incorporate lime and fertilizer into the top 3 5 of soil by disking or other suitable means

il Permanent Seeding

- a Minimum soil conditions required for permanent vegetative establishment.
- 1 Soil pH shall be between 60 and 70
- 2. Soluble salts shall be loss than 500 parts per million (ppm) 3 The soil shall contain less than 40% clay but enough fine grained material (> 30% slit plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is If lovegrass or serecia lespedeza is to be planted, then a sandy soil (<30% silt plus clay) would be acceptable
- 4 Soil shall contain 15% minimum organic matter by weight 5 Soil must contain sufficient pore space to permit adequate root penetration.
- 6 If these conditions cannot be met by soils on site, adding topsoil is required in accordance with Section 21 Standard and Specification for Topsoil
- b Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarified or otherwise loosened to a cepth of 3 5' to permit bonding of the topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil from sliding down a slope
- c. Apply soil amendments as per soil test or as included on the plans.
- d. Mix soil amendments into the top 3 5 of topsoil by disking or other sultable means. Lawn areas should be raked to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Where site conditions will not permit normal seedbed preparation, loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface. Steep slopes (steeper than 3-1) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 1 3" of soil should be loose and friable. Seedbed loosening may not be necessary on rewly disturbed areas

D Seed Specifications

- I All seed must meet the requirements of the Maryland State Seed Law All seed shall be subject to re testing by a recognized seed laboratory. All seed used shall have been tested within the 6 months immediately preceding the date of sowing such material in this job
- Il Inoculant The moculant for treating legime seed in the seed mixture shall be a pure culture of nitrogen fixing bacteria prepared specifically for the species inoculants shall not be used later than the date indicated on the container Add fresh inoculant as directed on package. Use four times the recommended rate when hydroseeding NOTF it is very important to keep inoculant as cool as possible until used. Temperatures above 75 80 degrees F. can weaken bacteria and make inoculant less effective.
- NOTE: SEED TAGS SHALL BE MADE AVAILABLE TO THE INSPECTOR TO VERIFY TYPE AND RATE OF SEED USED. E Methods of Seeding
- 1 Hydroseeding Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeder, or a cultipacker seeder
- a. If fortilizer is being applied at the time of seeding, the application rates amounts will not exceed the following. nitrogen; maximum of 100 lbs per acre total soluble nitrogen, P205 (phosphorus): 200 bs /ac ; K2O (potassium); 200 lbs /ac
- b Lime use only ground agricultural limestone, (Up to 3 tons per acre may be applied by hydroseeding) time when hydrosecdina
- Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without Interruption

Reviewed for Howard SCD and meets Technical Requirements

il. Dry Seeding: This includes use of conventional drop or broadcast spreaders

- a. Seed spread dry shall be incorporated into the subsoil at the rates prescribed on the Temporary or Permanent Seeding Summaries or Tables 25 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact
- b Where practical, seed should be applied in two directions perpendicular to each other Apply half the seeding rate in each direction.
- iii Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil
- a. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting
- b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction
- F Mulch Specifications (In order of preference)
- i. Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonably bright in color, and shall not be musty, moldy, caked, decayed, or excessively dusty and shall be free of noxious weed seeds as specified in the Maryland Seed Law.
- ii Wood Cellulose Fiber Mulch (WCFM)
- a WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical state
- b. WCFM shall be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
- c. WCFM, including dye, shall contain no germination or growth inhibiting factors.
- d. WCFM materials shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fortilizer and other additives to form a homogeneous sturry. The mulch material shall form a blotter like ground cover, on application, having moisture absorption and percolation properties and shall cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
- e. WCFM material shall contain no elements or compounds at concentration levels that will be phyto-toxic
- f WCFM must conform to the following physical requirements: fiber length to approximately 10 mm., diameter approximately 1 mm., pH range of 4 0 to 8.5, ash content of 1.6% maximum and water holding capacity of 90% minimum.
- NOTE: ONLY STERILE STRAW MULCH SHOULD BE USED IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.
- G. Mulching Seeded Areas Mulch shall be applied to all seeded areas immediately after seeding. i If grading is completed outside of the seeding season, mulch alone shall be applied as prescribed in this section and maintained until the seeding season returns and seeding can be performed in accordance with these specifications.
- ii. When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre. Mulch shall be applied to a uniform loose depth of between 1" and 2". Mulch applied shall achieve a uniform distribution and depth so that the soil surface is not exposed. If a mulch anchoring tool is to be used, the rate should be increased to 25 tons/acre
- iii. Wood cellulose fiber used as a mulch shall be applied at a net dry weight of 1,500 bs per acre. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 bs of wood cellulose fiber per 100 gallons of water.
- H. Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediately following mulch Mulch anchoring shall be performed immediately following mulch application to minimize loss by wind or water This may be done by one of the following methods (listed by preference), depending upon size of area and crosion hazard:
- i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of two (2) inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should be used on the contour if possible.
- ii. Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a net dry weight of 750 pounds/acre. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water
- iii Application of liquid binders should be heavier at the edges where wind catches mulch, such as in valleys and on the crests of banks. The remainder of area should appear uniform after binder application Synthetic binders such as Acrylic DLR (Argo Tack), DCA 70, Petroset, Terra Tax II, Terra Tack AR or other approved equal may be used at rates recommended by the manufacturer to anchor mulch
- iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer's recommendations Netting is usually available in rolls 4' to 15' feet wide and 300 to 3000 feet long. Section II - Temporary Seeding

Vegetation annual grass or grain used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetative cover, Permanent Seeding is required.

A Seed Mixtures Permanent Seeding

- i select one or more off the species or mixtures listed in Table 25 for the appropriate Plant Hardiness Zone (from flaure 5) and enter them in Permanent Seeding Summary below, along with application rates and seeding dates. Seeding depths can be estimated using Table 26. If this Summary is not put on the construction plans and completed, then Table 25 must be put on the plans. Additional planting specifications for exceptional sites such as shorelines, streambanks, dunes or for special purposes such as wildlife or asthetic treatment may be found in USDA-SCS Technical Field Office Guide, Section 342 Critical Area Planting. For special lawn maintainance areas, see Sections IV Sod and V Turfgrass.
- II For sites having disturbed areas over 5 acros, the rates shownon this table shall be deleted and the rates recommended by the testing agency shall be written in
- iii. For areas recieving low maintenance, apply ureaform fertilizer (46-0-0) at 3-1/2 ibs/1000 sq. ft. (150 bs/ac), in addition to the above soil ammendments shown in the table below, to be performed at the

Section III - Permanent Seeding

time of seeding

- Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated. Seeding grass and legumes to establish ground cover for a minimum period of one year on disturbed areas.
 - generally receiving low maintenance A Seed Mixtures - Permanent Seeding
 - i selectione or more off the species or mixtures listed in Table 25 for the appropriate Plant Hardiness Zone (from figure 5) and enter them in Permanent Seeding Summary below, along with application rates and seeding dates. Seeding depths can be estimated using Table 26. If this Summary is not put on the construction plans and completed, then Table 25 must be put on the plans, Additional planting specifications for exceptional sites such as shorelines, streambanks, dunes or for special purposes such as wildlife or asthetic treatment may be found in USDA-SCS Technical Field Office Guide, Section 342 Critical Area Planting For special lawn maintainance areas, see Sections IV Sod and Y Turfgrass.
 - If For sites having disturbed areas over 5 acres, the rates shownen this table shall be deleted and the rates recommended by the testing agency shall be written in.
 - iii. For areas recieving low maintenance, apply ureaform fertilizer (46 0 0) at 3-1/2 bs/1000 sq. ft. (150 lbs/ac), in addition to the above soil ammendments shown in the table below, to be performed at the

Section IV - Sod: To provide quick cover on disturbed areas (2:1 grade or steeper)

- A. General specifications
 - I. Class of turfgrass sod shall be Maryland or Yirginia State Certified or Approval. Sod labels shall be made available to the lob foreman and inspector.
 - il Sod shall be machine out at a uniform soil thickness of 3/4", plus or minus 1/4", at the time of cutting Measurement for thickness shall exclude top growth and thatch. Individual pieces of sod shall be cut to the suppliers width and length. Maximum allowable deviation from standard widths and lengths shall be 5 percent. Broken pads and torn or uneven ends will not be acceptable.
 - III Standard size sections of sod shall be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section
 - iv. Sod shall not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival.
 - v. Sod shall be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted
 - within this period shall be approved by an agronomist or soll scientist prior to its installation. vi. Site Preparation: Fertilizer and Lime application rates will be determined by soil test. Under unusual circumstances where there is insufficent time for a complete soil test, fertilizer and lime may be applied in amounts shown under vi-b, below.
 - a Prior to sodding, the surface will be cleared of all trash, debris, and of all roots, brush, wire, grade stakes and other objects that would interfere with planting, fertilizing, or maintenance operations.
 - b Where soil is acid or composted of heavy clays, ground limestone will be spread at the rate of 2 tons per acre(100 bs. / 1000 s.f.). In all soils 1000 bs. per acre (25 bs. / 1000 s.f.) of 10-10-10 fortilizer or equivalent will be uniformly applied and mixed into the top thre inches of soil with the required time
 - c. All areas recieving sod will be uniformly fine graded. Hard packed earth will be scarified prior to placement of sod.

B. Sod Installation

- 1. During periods of excessively high temperature or in areas having dry subsoil, the subsoil shall be lightly irrigated immediately prior to laying the sod.
- ii The first row of sod shall be laid in a straight line with subsequent rows placed parallel to and tightly wedged against each other. Lateral joints shall be staggered to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent volds which would cause drying of the roots.
- iii. Wherever possible, sod shall be laid with the long edges parallel to the contour and with staggering joints. Sod shall be rolled and tamped, pegged or otherwise secured to prevent slippage on slopes and to ensure solld contact between sod roots and the underlying soll surface
- ly Sod shall be watered immediately following rolling or tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. The operations of laying, tamping and irrigating for any piece of sod shall be completed within eight hours.

C. Sod Maintenance

- i. In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain moist soil to a depth of 4°. Watering should be done during the heat of the day to prevent wilting.
- II. After the first week, sod watering is required as necessary to maintain adequate moisture content.
- III. The first mowing of sod should not be attempted until the sod is firmly rooted. No more than 1/3 of the grass leaf shall be removed by the initial cutting or subsequent cuttings. Grass height shall be maintained between 2° and 3° unless otherwise specified

Section IV - Turfarass Establishment

Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance. Areas to receive seed shall be tilled by disking or other approved methods to a depth of 2 to 4 inches, leveled and raked to prepare a proper seedbed. Stones and debris over 11/2 inches in diameter shall be removed. The resulting seedbed shall be in such condition that future mowing of grasses will pose no difficulty.

NOTE: Choose certified material Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line

A. Turfgrass Mixtures

- i Kentucky Bluegrass Fall sun mixture For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and eastern shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 20 pounds/1000 square feet. A minimum of three bixegrass cultivars should be chosen ranging from a minimum of 10% to a maximum of 35% of the mixture by weight.
- Kentucky Blucarass/Perennial Rye Full sun mixture · For use in full sun areas where rapk establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryagrass Cultivars/ Certified Kentucky Bluegrass Seeding rate: 2 pounds mixture/1000 square feet. A minimum of 3 Kentucky Bluegrass Cultivars must be chosen, with each cultivar ranging from 10% to 35% of the mixture by weight.
- III. Tall Fescue/Kentucky Bluegrass Full sun mixture For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes; certified Tall Fescue Cultivars 95 · 100%, certified Kentucky Bluegrass Cultivars 0 · 5%. Seeding rate 5 to 8 \$ /1000 square feet. One or more cultivars may be blended
- lv. Kentucky Bluegrass/Fine Fescue Shade Mixture For use in areas with shade in Bluegrass lawns For establishment in high quality, intensively managed turf area. Mixture includes; certified Kentucky Bluegrass Cultivars 30 - 40% and certified Fine Fescue and 60 - 70%. Seeding rate: 11/2 - 3 lbs./1000 square feet. A minimum of 3 Kentucky bluegrass cultivars must be chosen, with each cultivar ranging from a minimum of 10% to a maximum of 35% of the mixture by weight.
- NOTE: Turfgrass varieties should be selected from those listed in the most current University of Maryland Publication, Agronomy Mimeo #77, "Turfgrass Cultivar Recommendations for Maryland"

B. Ideal times of seeding

- Western MD: March 15 June 1, August 1 October 1 (Hardiness Zones 5b, 6a)
- Central MD: March 1-May 15, August 15-October 15 (Hardiness Zones 6b)
- Southern MD, Eastern Shore: March 1-May 15, August 15-October 15 (Hardiness Zones · 7a, 7b) C. Irrigation
- If soil moisture is deficient, supply new seedings with adequate water for plant growth (1/2" " every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites
- D. Repairs and Maintenance
 - Inspect all seeded areas for failures and make necessary repairs, replacements, and reseedings within the planting season.

i Once the vegetation is established, the site shall have 95% groundcover to be considered adequately

- II. If the stand provides less than 40% ground coverage, reestablish following original lime, fertilizer.
- III. If the stand provides between 40% and 94% ground coverage, overseeding and fortilizing using half of the rates originally applied may be necessary
- ly. Maintenance fertilizer rates for permanent seedings are shown in Table 24. For lawns and other medium to high maintenance turfgrass areas, refer to the University of Maryland publication "Lawn Care in Maryland' Bulletin No. 171.

ENGINEER CERTIFICATION:

SEED MIX E AVAILABLE) 20N0.5 TALL PESCUE (75%) /3 X X X KENTIKK BUTEGRASS FOR CREEPING RED FESCUE OR A HARD FESCUE (40%) REDTOP (10%) 6b X X TALL FESCUE (86%) PEREMBAL RYEGRASS (10%) KENTUCKY BLUEGRASS (5%) x x x CHEWINGS FESCUE (80%) PERENNIAL RYEGRASS (20%) Tall Fescur (85%) or Perennal Ryegrass (50%) Plus Orownyeechor WEEPING LOVEGRASS (17) /a X X WEEPING LOVEGRASS (21 SERECIA LESPEDEZA (15% REDTOP (6%) PLUS BIRDSFOOT TREEFOIL (19%) TAIL FESCUE (86 TALL FESCUE (801 HARD FESCUE (20% HARD FESCUE (1005) A USED BY SHA ON SLOPED AREAS, ADD A LEGUME FOR SLOPES > THAN 3.1 B USED IN MEDIAN AREAS BY SHA SHADE TOLERANT C. POPULAR MIX. PRODUCES PERMANENT GROUNDCOYER QUICKLY BLUEGRASS THICKENS STAND

PAK008-55 765

Table 25 Fermanent Speding for Low Maintenance Areas

D BEST USE ON SHADY SLOPES NOT ON POORLY DRAMED CLAYS

E. USE ON LOW MAINTENANCE, STEEP SLOPES USE TALL FFSCUE IN DRAUGHTY CONDITIONS E SUITABLE FOR SEEDING IN MID SUMMER

WEEPING LOVEGRASS MAY BE SEEDED WITH TALL FESCUE IN MID SUMMER SERECIA LESPEDEZA IS BEST SUITED FOR ZONES 7a AND 7b USE ON POORLY DRAINED SOILS DITCHES OR WATERWAYS BIRDSTOOT TREEFOILS BEST FOR ZONES 5b, 6a, ABOYE 2,000 FEET USE IN AREAS OF MOIST SHADE, POA TRIVIALIS THRIVES IN WET SHADY AREAS J TALL FESCUE MAY BE SEEDED ALONE THE HARD FESCUE PROVIDES BETTER SHADE TOLERANCE AND PRODUCES A BETTER STAND. K. LOW FERTILITY GRASS. REQUIRES INFREQUENT MOWING GOOD COMPANION FOR WINDFLOWERS

FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES THE RATES SHOWN ABOVE FOR

FERTILIZER RATE	FERMANEN	LIME RATE				
(10 20 20) N 90LBIAC (2.0 LB/1000 S.F.)	P2Q5 175 EB/AC (4 O EB/1000 S F.)	K20 175 (BIAC (40 (BIOOO SF)	2 TONS/AC (100 LB/1000 S F)			

PERMANENT SEEDING SHALL BE DELETED AND THE RATES RECOMMENDED BY THE SOIL resting agency shall be used. Soil testing shall be performed at the time of fine GRADING AND THE RESULTS SHALL BE FURNISHED TO THE SEDIMENT CONTROL INSPECTOR

Sediment Control Notes

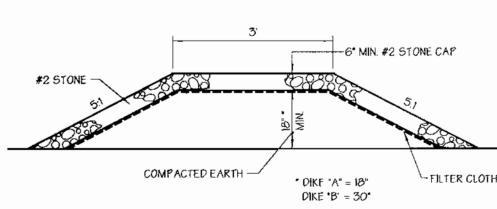
- 1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNT DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMEN) CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313 1855). 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL TROSION AND SEDIMENT CONTROL AND REVISIONS THERETO
- TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL
- SLOPES GREATER THAN 3:1, B) 14 DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE

3. FOLLOWING INITIAL SOIL DISTURBANCH OR RE DISTURBANCE, PERMANENT OR

- 4 IF REQUIRED BY SEDIMENT CONTROL INSPECTOR SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE 5 ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOYE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL' FOR PERMANENT SEEDING, SOD,
- TEMPORARY SEEDING AND MULCHING (SEC G) TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NO ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSIES 6. ALL SEDIMENT CONTROL STRUCTURES ARE 10 REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 7. SITE ANALYSIS: TOTAL AREA OF SITE 500 ACRES AREA DISTURBED 4.76 ACRES 207,345 Sq. Ft. AREA TO BE ROOFED OR PAVED 345 ACRES

WHICHEVER IS SHORTER

- AREA TO BE VEGETATIVELY STABILIZED 124 ACRES TOTAL CUT 500.00 CY TOTAL FILL COO OO CY. (INCLUDES 15% COMPACTION) OFFSITE WASTE/BORROW AREA LOCATION: EXCESS OUT SHALL
- BE TAKEN TO A SITE WITH AN OPEN GRADING PERMIT ANY SERIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE 9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS SEDIMENT CONTROL INSPECTOR 10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES. APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED LIPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY
- OTHER EARTH DISTURBANCE OR GRADING OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. 11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY.



Stone Mountable Berm

Fertilizer Rates Permanent Seeding Temporary Seeding

Fertilizer Rate (10-10-10)	Lime Rate			Lime Rate		
			N	P205	K20	
600 blac Hb/1000 s.f)	2 Tons/ac (100b/1000 s f)	2	90 b/ac (2.0b/ 1000 s f)	175 b/ac (4 0b/ 1000 s f)	175 Blac (4 Obl 1000 s f)	2 tons (100 t 1000 s

4. Stone - crushed aggregate (2" to 3") or recialmed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the Geotextile shall be fastened securely to each fence post with wire ties 5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 51 slopes and a minimum of 6 of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a pipe Pipe has has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6 minimum will be required. 50 lbs/in (min.) Test: MSMT 50 20 lbs/in (min.) Test: MSMT 30 0.3 gal ft*/ minute (max.) Test: MSMT 32 75% (min.) Test: MSMT 32 3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass 6. Location - A stabilized construction entrance shall be located at every point 4.5IIf Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT DEP DETAIL 1 - EARTH DIKE DETAIL 23B - AT GRADE INLET PROTECTION DETAIL 33 - SUPER SILT FENCE 2: SLOPE OR FLATTER 33' MINIMUN CROSS SECTION . DIKE A DIKE & EOTEXTILE CLASS POSITIVE DRAINAGE O'DIKE HEIGHI IO'S SUFFICIENT TO DRAIN b-DIKE WIDTH 24' C-FLOW WIDTH 4' -- 8° MINIMUM d-FLOW DEPTH 12" CUT OR FILL SLOI 2½ DIAMETER GALVANIZED OR ALUMINUM POSTS (6) GAUGE OR HEAVIER-CHAIN LINK FENCING PLAN VIEW GEOTEXTILE CLASS A FILTER CLOTH STANDARD SYNE A-2 B-3 i3° minimum-post 1. Seed and cover with straw mulch. 2. Seed and cover with Erosian Control Matting or line with sod. 3.4*-7* stone or recycled concrete equivalent pressed into Construction Specifications Construction Specifications I. All temporary earth dikes shall have uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than IZ. i. Fencing shall be 42° high and constructed in accordance with the latest Maryland State Highway (SHA) Details for Chain Link Fencing. The SHA specifications for a 6 foot fence shall be used, substituting 42 Inch fabric and 6 foot length posts. 2.Runoff diverted from a disturbed area shall be conveyed to a sediment translog device. 3. Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area at a non-erosive velocity. 2. The posts do not need to be set in concrete. 3. Chain link fence shall be fastened securely to the fence posts with wire ties or staples. The lower fension wire, brace and truss rods, drive anchors and post apps are not required except on the ends of the fence. The chain link fence shall be six (6) gauge or heavier. STANDARD SYMBO 4. All trees, brush, stumps, obstructions, and other objectional material shall be removed and disposed of so as not to interfere with the proper functioning of the dike. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24 at the top and mid section. 5. Filter cioth shall be embedded a minimum of 8' into the ground. 6. Fill shall be compacted by earth moving equipment. 6. When two sections of geotextile fabric adjoin each other, they shall be overlapped by 6° and folded. i. Uff grate and wrap with Geolextile Class ${\it E}$ to completely cover all openings, then set grate back in place. 7. All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike. '. Maintenance shall be performed as needed and silt bulldups removed when bulges' develop in the silt fence, or when silt reaches 50% of the fence height. 8. inspection and maintenance must be provided periodically and after each rain event. 2. Place % to i/2 stone, 4-6 thick on the grate to secure the fabric and provide additional filtration

SILT FENCE

Slit Fance Design Criteria

Slope Length

uniimited

125 feet

100 feet

60 feet

40 feet

20 feet

system, soil Class A) maximum slope length and slit fence length will be unlimited, in these areas a slit fence may be the only perimeter control

Stope Steepness

Flatter than 50:1

50:1 to 10:1

10:1 to 5:1

5d to 3d

3:1 to 2:1

FENCE POST SECTION
WINIMUM 20 ABOVE
GROUND

FENCE POST DRIVER MINIMUM OF 16 INTO

STANDARD SYMBOL

}----SF-------

CROSS SECTION

(Maximum) Slit Fance Length

unilmited

1,000 feet

750 feet

500 feet

250 feet

125 feet

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANC

PROFILE

A IO. MINIMON B

1. Length - minimum of 50' (=30' for single residence lot).

PLAN YIEW

to placing state. **The plan approval authority may not require single residences to use geotextile.

Construction Specification

2.Width - 10' minimum, should be flared at the existing road to provide a turning

3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior

PLAN/CUT AWAY VIEW

CROSS SECTION

Construction Specifications

S.S. DEPARTMENT OF AGRICULTURE PAGE MARTLAND DEPARTMENT OF ENVIRONMENT U.S. DEPARTMENT OF AGRICULTURE PAGE MARTLAND DEPARTMENT OF ENVIRONMENT SOIL CONSERVATION SERVICE E - 18 - 54. WATER MANAGEMENT ADMINISTRATION SOIL CONSERVATION SERVICE E - 18 - 54.

" GEOTEXTILE CLASS 'C'

LEXISTING GROUND

STANDARD SYMBOL

SCE

THIS SHEET)

THIS

- 34 - 11/2 STONE

-GEOTEXTILE CLASS E

---WIRE TIES

--- 6' OVERLAP

MAX. DRAINAGE AREA - 1/4 ACRE

24 O MATERIALS SPECIFICATIONS Table 27 Geotextile Fabrics

DETAIL 22 - SILT FENCE

PERSPECTIVE VIEW 36° MINIMUM FENCE-

TOP VIEW A MINIMUM OF 8 VERTICALLY

i. Fence posts shall be a minimum of 36° long driven 16° minimum into the ground. Wood posts shall be 1/2° x 1/2° square (minimum) cut, or 1/4° diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be

standard T or U section weighting not less than 1.00 pand per linear fox

JOINING TWO ADJACENT SILT

FENCE SECTIONS

CLASS	APPARENT OPENING SIZE MM MAX.	GRAB TENSILE STRENGTH LB. MIN.	BURST STRENGTH PSI MIN			
A	A 0.30 ** B 0.60		500			
В			320			
С	030	200	320			
D	0.60	90	145			
Ε	E 0.30		145			
F (SILT FENCE)	040.080	90	190			

The properties shall be determined in accordance with the following procedures: · Apparent opening size MSMT 323 Grab tensile strength ASTM D 1682: 4 x 8" specimen, 1x2" clamps, 12" /min. strain rate in both

* US Std Slove CW-02215 ** 0.50 MM. MAX FOR SUPER SILT FENCE

principal directions of geotextile fabric Burst strength ASTM D 3786 The fabric shall be inert to commonly encountered chemicals and hydrocarbons, and will be not and mildew resistant it shall be

manufactured from fibers consisting of long chain synthetic polymers, and composed of a minimum of 85% by weight of

polyolephins, polyesters, or polymides. The geotextile fabric shall resist deterioration from ultraviolet exposure.

In addition, Classes A through E shall have a 0.01 cm./sec minimum permeability when tested in accordance with MSMT 507. and an apparent minimum elongation of 20 percent (20%) when tested in accordance with the grab tensile strength requirements

Class F geotextile fabrics for silt fence have a 50 b./in. minimum tensile strength and a 20 b./in. minimum tensile modules when tested in accordance with MSMT 509. The material shall also have a 0.3 gal/ft /min, flow rate and seventy-five percent (75%) minimum filtering efficiency when tested in accordance with MSMT 322

Geotextile fabrics used in the construction of silt fence shall resist deterioration from ultraviolet exposure. The fabric shall contain

sufficient amounts of ultraviolet ray inhibitors and stabilizers to provide a minimum of 12 months of expected usable construction

Table 26 - Temporary Seeding Rates, Depths, and Dates

	MINIMUM SE	PLANTING	HARDINESS ZONES AND SEEDING DATES									
SPECIES -	RATES		DEPTH	7a and 7b		6b		6a and 5b		Þ		
	PER ACRE	185./1000 50. Ff.	INCHES	2/1 4/30	5/1 8/14	8/15 - 11/30	3/1 4/30	5/1 8/14	8/15 11/15	3/15 5/31	6/1 7/31	8/1 10/3
CHOOSE ONE. BARLEY OATS RYE	2.5 B.U. (122 bs.) 3 B U (96 bs.) 2.5 B.U (140 bs.)	2.80 2.21 3.22	1 2 1 2 1 2	X X		BY 10/15 X	X X X		BY 10/15 X	x x x		BY 10/1 X
BARLEY OR RYE PLUS FOXTAIL MILLET	150 lbs	345	1	X	X	10/15 X	X	X X	10/15 X	X	X	10/I X
WELPING LOYEGRASS	4 lbs.	09	1/4 1/2		Х			х			х	
ANNUAL RYFGRASS	50 b s	115	1/4 1/2	x		11/1	x	-	17/1	х		8/15
MILLLT	50 lbs.	1.15	1/2	[Х			Х			Х	

SUBDIVISION NAME SECTION NAME PARCEL # B-2 Howard Business Park ELECT. DIST. CENSUS TRAC 'LAT #F-00-29 BLOCK * ZONE 14169 to 14171 WATER CODE B-01 SEWER CODE 2250000

SDP 00-115

SCALE: As Shown DATE: APRIL 4, 2000

This development plan is approved for soil erosion and ediment (control by the Howard Spil Conservation District APPROVED: Howard County Department of Planning and Zoning

PREPARED BY

DEVELOPER CERTIFICATION:

GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.

certify that all development and/or construction will be done according to these plans,

and that any responsible personelinvolved in the construction project will have a

of completion. I also authorize periodic on-site inspections by the Howard soll Conservation District.

Lathrine Plonts Bartrer

KATHERINE E. Cont

certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. Hendlengage a registered professional engineer to supervise pend construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days

Civil Engineers and Land Surveyors 1020 Cromwell Bridge Road Towson, Maryland 21286

(410) 825-8120



seedbed preparation and seeding recommendations

certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personel knowledge of the site onditions. This plan was prepared in accordance with the requirements the Howard Soli Conservation District. I have notified the develope

> - Make PE # 11005

410-465-6399

life at a temperature range of O to 120 degrees F.

STONEY RUN LLP 4253 MONTGOMERY ROAD ELLICOTT CITY, MARYLAND 21043

OWNER / DEVELOPER

DRAWN BY: K.E. HECKED BY: P.R.C. REVISIONS

DESIGNED BY: P.R.C.

ADDRESS CHART

PARCEL NO. | STREET ADDRESS

Erosion & Sediment Control Notes & Details **HOWARD BUSINESS PARK** PARCEL B-2

7121 DORSEY RUN ROAD

ELECTION DISTRICT : 15t HOWARD CO., MARYLAND SHT. 7 of 8

P/N: 9408 FILE NAME: 9408sedcontroldetails.s01

