

**Construction Notes**

- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION DIVISION AT 410-313-1880 AT LEAST 24 HOURS PRIOR TO STARTING ANY OF THE WORK SHOWN HEREON.
- ALL AREAS NOT BEING PAVED OR RECEIVING BUILDING COVERAGE SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN ANY SCALED DIMENSIONS AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- CONTRACTOR SHALL MEET ALL EXISTING IMPROVEMENTS SMOOTHLY FOR LINE, GRADE AND FINISH.
- ALL WORK SHOWN ON THESE PLANS SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AND OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND THE HOWARD COUNTY PLUMBING CODE, UNLESS OTHERWISE NOTED.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM SUCH WORK. THE COST OF SUCH WORK SHALL BE INCLUDED IN THE BASE BID.
- THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING, ETC. ARE TO BE REMOVED PRIOR TO PLACING A BID ON SUCH ITEMS.
- THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE LOCATIONS ARE TAKEN FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 A MINIMUM OF 5 WORKING DAYS PRIOR TO DIGGING. THE CONTRACTOR SHALL CONFIRM TO HIS OWN SATISFACTION THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR PLACEMENT OF MATERIALS. IF ANY CONFLICT IS FOUND BETWEEN UNDERGROUND UTILITIES AND THE PROPOSED LOCATION OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT G. W. STEPHENS AND THE OWNER OF THE UTILITY IMMEDIATELY. ANY DAMAGE OR DISRUPTION OF SERVICE SHALL BE AT THE EXPENSE OF THE CONTRACTOR. RELOCATION OF ANY EXISTING UTILITIES, IF NECESSARY, SHALL BE AT THE EXPENSE OF THE OWNER. THE CONTRACTOR SHALL COORDINATE RELOCATION OF THESE FACILITIES, IF NECESSARY.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES OUTSIDE THE LIMIT OF DISTURBANCE AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS NOT SCHEDULED FOR REMOVAL OR DEMOLITION. COST OF REPAIR TO EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE BASE BID. ALL EXISTING SITE FEATURES NOT BEING RETAINED SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED LOCATION. ANY DAMAGE TO OFFSITE ROADS, RIGHTS OF WAY, OR ADJACENT PROPERTY SHALL BE REPAIRED IMMEDIATELY AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL CLEAR THE PROJECT SITE OF ALL TREES, PAVING, STRUCTURES, ETC. WITHIN THE CONSTRUCTION AREA UNLESS OTHERWISE NOTED ON THE PLAN.
- ONLY SUITABLE MATERIAL SHALL BE USED AS FILL AND ALL FILL SHALL BE PLACED AND COMPACTED AS SPECIFIED IN THE SOILS REPORT PREPARED FOR THIS SITE OR AS RECOMMENDED BY THE SOILS ENGINEER EXCEPTING THOSE ASSOCIATED WITH LANDSCAPE BERMING. ALL GRADING UNDER PROPOSED PAVING, AND ALL FILL AND COMPACTION SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL PROVIDE MINIMUM 4 FOOT BENCH AT EDGE OF PAVING IN FILL AREAS. MAXIMUM SLOPE OF BENCH SHALL BE 4% (1/4" IN PER FOOT).
- MAXIMUM SLOPE SHALL BE 2 HORIZONTALLY TO 1 VERTICALLY.
- CONTRACTOR SHALL PLACE 4" MINIMUM TOPSOIL IN LANDSCAPE AREAS.
- CONTRACTOR SHALL PLACE A WITNESS POST AT THE TERMINUS OF ALL UTILITY STUBS.
- CONTRACTOR SHALL PROVIDE A MINIMUM OF 1 FOOT OF PROTECTIVE FILL OVER STORM DRAIN PIPES DURING CONSTRUCTION.
- ALL TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". ALL STREET AND REGULATORY SIGNS SHALL BE INSTALLED PRIOR TO INSTALLATION OF FINISHED PAVING.
- THE CONTRACTOR SHALL REPLACE ANY EXISTING BITUMINOUS PAVING OR SUB-BASE WHICH IS DAMAGED OR REMOVED DURING CONSTRUCTION. ALL EXCAVATED AREAS SHALL BE BACKFILLED AND IN ACCORDANCE WITH THE SOILS REPORT AND/OR AS DIRECTED BY GEOTECHNICAL ENGINEER. ANY AREAS TO BE PAVED WHICH EXHIBIT UNSTABLE SUBGRADE CONDITIONS SHALL BE EXCAVATED TO BEARING SOIL, REFILLED AND COMPACTED.
- STORMWATER MANAGEMENT FOR THIS SITE IS PROVIDED IN PER MASS GRADING PLANS SDP00-048.
- ALL LIGHTING TO COMPLY WITH ZONING REGULATION SPECIFICATIONS SECTION 154 OUTDOOR LIGHTING.
- ALL STORM DRAINS TO BE RCCP OR HDPE UNLESS OTHERWISE NOTED.
- ACCESS ROAD TO PARCEL B-2 TO BE TYPICAL P-5 PAVEMENT SECTION.

**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTIONS DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:
  - MISS UTILITY 1-800-257-7777 (410) 725-9976
  - C&P TELEPHONE COMPANY (410) 313-4900
  - HOWARD COUNTY BUREAU OF UTILITIES (410) 393-3333
  - AT&T CABLE LOCATION DIVISION (410) 695-0223
  - BALTIMORE GAS & ELECTRIC (410) 531-5533
  - STATE HIGHWAY ADMINISTRATION (410) 531-5533
  - HOWARD COUNTY DEPT. OF PUBLIC WORKS/ CONSTRUCTION INSPECTION DIVISION (410) 313-1880
- PROJECT BACKGROUND:
  - LOCATION: FIRST ELECTION DISTRICT-TAX MAP 43-14894/F0101-PARCEL 321 (PARCEL B-2)
  - ZONING: M-2 PER THE 10/18/93 COMPREHENSIVE ZONING PLAN
  - TOTAL AREA: 5.00 ACRES +/-
  - LIMIT OF DISTURBED AREA: 4.25 ACRES +/-
  - DPZ REFERENCE #:
  - SDP-95-60 APPROVED ON JUNE 19, 1995
  - WP-00-23 APPROVED ON AUGUST 31, 1999
  - F-00-27 APPROVED ON SEPTEMBER 23, 1999
  - WP-00-26 APPROVED ON DECEMBER 30, 1999
  - F-00-29 APPROVED ON MARCH 16, 2000
  - SDP-00-48 APPROVED ON MARCH 16, 2000
- EXISTING CONTOURS SHOWN HEREON IS BASED ON PROPOSED GRADING UNDER SDP-00-48, HOWARD BUSINESS PARK, PARCELS B-1 THRU B-4 AND TWO FOOT CONTOUR TOPOGRAPHY AND EXISTING CONDITIONS BASED ON AERIAL MAPPING TOPOGRAPHIC SURVEY BY WINGS AERIAL MAPPING CO., INC. IN FEBRUARY, 1999. BOUNDARY SHOWN HERE IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT SEPTEMBER, 1999 BY MILDENBERG, BOENDER & ASSOCIATES, INC.

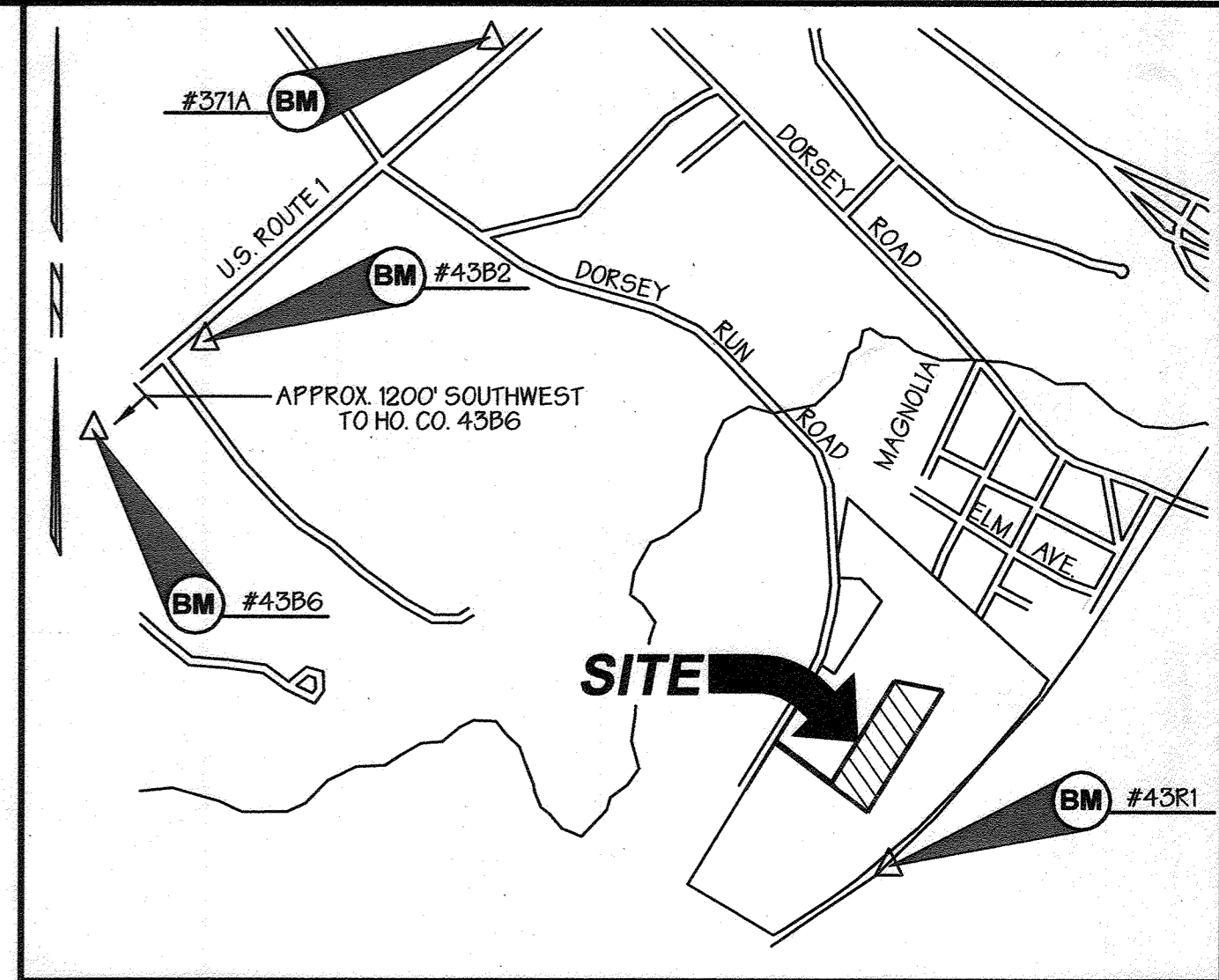
**GENERAL NOTES (CONT.)**

- HORIZONTAL AND VERTICAL DATUMS BASED ON (NAD83) MARYLAND STATE COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS.
 

STA No. 43B6	N 550,601.597	ELEV. 210.54
	E 1,376,866.071	
STA No. 43B2	N 551,654.993	ELEV. 209.59
	E 1,378,176.951	
STA No. 371A	N 553,315.147	ELEV. 195.75
	E 1,379,992.153	
STA No. 43R1	N 548,305.502	ELEV. 134.53
	E 1,382,025.818	
  - WATER AND SEWER ARE PUBLIC. OVERALL CONTRACT NO. 14-3775-D PARCEL B-2 CONTRACT NO. 14-3878-D
  - STORMWATER MANAGEMENT QUANTITY CONTROL IS PROVIDED BY THE METHOD OF RETENTION UNDER SDP-00-48 (HOWARD BUSINESS PARK, PARCELS B-1 THRU B-4).
  - APFO ROAD TEST SATISFIED UNDER F-00-29, HOWARD BUSINESS PARK, PARCELS A-1 & B-1 THRU B-4.
  - WETLAND AND STREAM DELINEATION APPROVED UNDER F-00-29, HOWARD BUSINESS PARK, PARCELS A-1 & B-1 THRU B-4.
  - CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
  - FOREST CONSERVATION REQUIREMENTS SATISFIED UNDER F-00-29, HOWARD BUSINESS PARK, PARCELS A-1 & B-1 THRU B-4.
  - PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
  - SLOPES IN EXCESS OF 25% EXIST AND ARE IDENTIFIED WHERE THEY EXCEED 20,000 SQ. FT.
  - EXISTING CONTOURS INDICATED WITHIN THE RIGHT OF WAY OF DORSEY RUN ROAD ARE PER THE PROPOSED ROAD GRADES SHOWN ON F-00-29.
  - NO BURIAL GROUNDS OR CEMETERIES ON SITE.
  - ALL CURB TO BE INSTALLED PER STANDARD R 3.01
- Note: SWM for revision #5 is not required due to the L&D for installation of new deck/ramp being less than 5000 sq. ft. Total L&D for revision #5 is 1000 sq. ft.*

**BENCHMARKS**

- NOTE: HORIZONTAL AND VERTICAL DATUMS BASED ON (NAD 83) MARYLAND STATE COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS.
- BENCHMARK #43B6**  
NAD 83  
N 550,601.597 E 1,376,866.071  
ELEVATION = 210.54'
  - BENCHMARK #43B2**  
NAD 83  
N 551,654.993 E 1,378,176.951  
ELEVATION = 209.59'
  - BENCHMARK #371A**  
NAD 83  
N 553,315.147 E 1,379,992.153  
ELEVATION = 195.75'
  - BENCHMARK #43R1**  
NAD 83  
N 548,305.502 E 1,382,025.818  
ELEVATION = 134.53'



**Vicinity Map**  
SCALE: 1" = 1000'

# Site Development Plans for Howard Business Park Parcel B-2 Howard County, Maryland SDP 00-115

**Site Data**

TOTAL PROJECT AREA = 217,800 SQ.FT. OR 5.00 AC. +/-  
 EXISTING ZONING = M-2  
 PROPERTY REFERENCE = PLAT NO. F 00 - 29, 14169 to 14171  
 EXISTING USE = VACANT  
 PROPOSED USE = OFFICE / WAREHOUSE  
 BUILDING COVERAGE = 15,843 sq. ft.  
 % OF BUILDING COVERAGE = 7.17%  
 FLOOR AREA = 15,843 S.F. OR 0.36 AC.  
 FLOOR AREA RATIO = 0.0717  
 AREA TO BE PAVED PLUS BUILDING AREA = 150,420 SQ. FT. OR 3.45 AC.  
 OPEN SPACE = 0.00  
 TOTAL AREA OF PARKING LOT = 137,745 SQ. FT. OR 3.162 AC.  
 % OF PARKING LOT COVERAGE = 63.25%  
 NUMBER OF PARKING SPACES REQUIRED = 42  
 NUMBER OF PARKING SPACES PROVIDED = 42 (INCLUDING 3 HANDICAPPED)  
 AREA TO BE DISTURBED = 185,300 SQ. FT. OR 4.25 ACRES  
 AREA TO BE VEGETATIVELY STABILIZED = 54,111 SQ. FT. OR 1.24 AC.  
**NOTE: AT THE TIME WHEN THE 6,100 SQ. FT. FUTURE APPROX. OFFICE TRAILER WILL BE REMOVED.**

**Index of Sheets**

- SHEET NO. 1 - COVER SHEET
- SHEET NO. 2 - SITE PLAN
- SHEET NO. 3 - SITE PLAN
- SHEET NO. 4 - SITE PLAN DETAILS
- SHEET NO. 5 - DRAINAGE AREA MAP AND PROFILES
- SHEET NO. 6 - SEDIMENT EROSION CONTROL PLAN
- SHEET NO. 7 - SEDIMENT EROSION CONTROL DETAILS & NOTES
- SHEET NO. 8 - LANDSCAPE PLAN & DETAILS

**Professional Certification**  
 I hereby certify that these plans were prepared or approved by me, and that I am a duly-licensed Professional Engineer under the laws of the state of Maryland, License No. 32629, Expiration date: February 22, 2024

**Professional Certification**  
 I hereby certify that these plans were prepared or approved by me, and that I am a duly-licensed professional engineer under the laws of the state of Maryland, License No. 12075, Expiration Date: May 26, 2022

**Parking Tabulation**

**PARKING REQUIRED:**  
 Office Building (7000 sq. ft.) + Trailer (1,212 sq. ft.) = 12,000 sq. ft. general office  
 @ 3.3 SPACES/1,000 SQ.FT. = 40 SPACES  
 3,835 SQ. FT. WAREHOUSE @ 0.5 SPACES/1,000 SQ. FT. = 2 SPACES  
**TOTAL REQUIRED = 42 SPACES**  
 PARKING PROVIDED = 42 SPACES (INCLUDES 3 HANDICAPPED)

*Make office trailer permanent & add new ADA deck/ramp to trailer. Remove to here addition by GLW 4/10/20*

Reviewed for Howard SCD and meets Technical Requirements

*Chief Simmons* / *Shulco*  
USDA-NATURAL RESOURCES CONSERVATION SERVICE / DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

*John Robertson* / *Shulco*  
HOWARD SOIL CONSERVATION DISTRICT / DATE

APPROVED: Howard County Department of Planning and Zoning

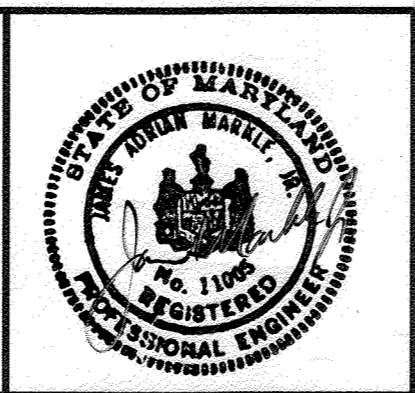
*Mark Cummings* / *Shulco*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION / DATE

*Candy Hamilton* / *Shulco*  
CHIEF, DIVISION OF LAND DEVELOPMENT / DATE

*Daniel V. D. Joyce* / *Shulco*  
DIRECTOR / DATE

PREPARED BY:

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
 Civil Engineers and Land Surveyors  
 1020 Cromwell Bridge Road  
 Towson, Maryland 21286  
 (410) 825-8120



NOTE: The owner shall provide a separate and independent sewer connection for each tenant or occupant of any building shown on this site development plan who will discharge non-domestic waste to the public sewerage system if each separate and independent sewer connection shall include a standard manhole and other waste pretreatment devices as required and approved by Howard County. Waste lines on the interior of the building shall be designed, constructed or modified such that non-domestic waste will be discharged to the separate and independent sewer connection. No tenant or occupant of any building shown on this site development plan shall discharge regulated non-domestic waste to the public sewerage system prior to installation of the separate and independent sewer connection and related interior waste lines. The above statement shall apply to all initial and future occupants or tenants.

OWNER / DEVELOPER  
**STONEY RUN LLP**  
 4253 MONTGOMERY ROAD  
 ELLICOTT CITY, MARYLAND 21043  
 410-465-6399

DESIGNED BY: P.R.C.  
 DRAWN BY: K.E.  
 CHECKED BY: P.R.C.  
 REVISIONS  
 SITE DATA & PARKING TAB. REVISED BY GWS DATE 12/11/11

ADDRESS CHART

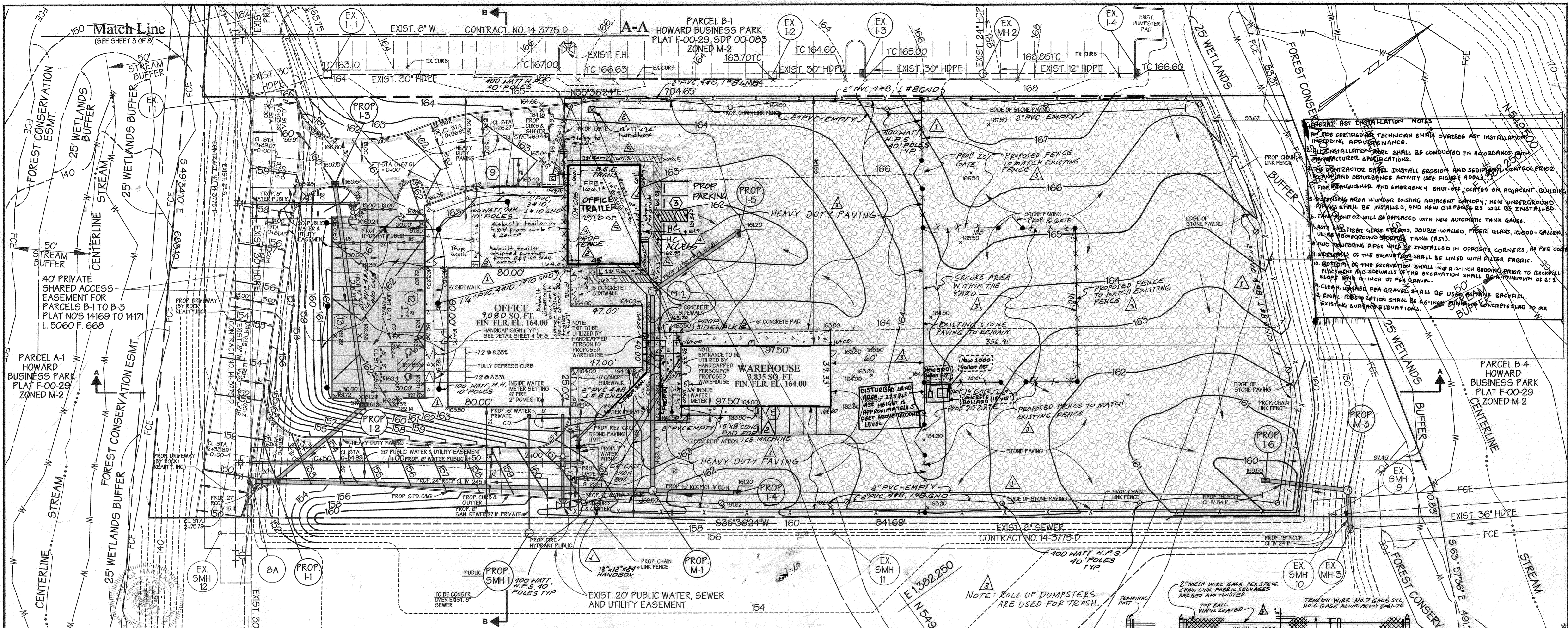
PARCEL NO. B-2	STREET ADDRESS 7121 DORSEY RUN ROAD
SUBDIVISION NAME Howard Business Park	SECTION NAME N/A
PLAT # F-00-29 14169 to 14171	BLOCK # 12 ZONE M-2
WATER CODE B-01	SEWER CODE 2250000

**Cover Sheet HOWARD BUSINESS PARK PARCEL B-2**

PREVIOUS FILE NOS: F 00-029, SDP 00-048, 14-3775-D, SDP 00-115

ELECTION DISTRICT: 1<sup>ST</sup> HOWARD CO., MARYLAND SHT. 1 OF 8

SCALE: As Shown DATE: APRIL 4, 2000



**GENERAL INSTALLATION NOTES**

- ALL CERTIFIED TECHNICIAN SHALL OVERSEE ALL INSTALLATION ACCORDING APPROPRIANCE.
- ALL INSTALLATION SHALL BE CONDUCTED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
- THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DISTURBANCE ACTIVITY (SEE FIGURE A004).
- FIRE EXTINGUISHER AND EMERGENCY SHUT-OFF LOCATES ON ADJACENT BUILDINGS.
- EXISTING AREA UNDER EXISTING ADJACENT CANOPY; NEW UNDERGROUND PIPING SHALL BE INSTALLED, AND NEW DISPENSERS WILL BE INSTALLED.
- THE CONTRACTOR WILL BE REPLACED WITH NEW AUTOMATIC TANK GAUGES.
- LASTS ARE FIBER GLASS SYSTEMS, DOUBLE-LOADED, FIBER GLASS, 10,000-GALLON US-28 UNDERGROUND STORAGE TANK (AST).
- STANDARD PIPING SHALL BE INSTALLED IN OPPOSITE CORNERS, AS PER CODE.
- SIDEWALKS OF THE EXCAVATION SHALL BE LINED WITH FILTER FABRIC.
- BOTTOM OF THE EXCAVATION SHALL HAVE A 12-INCH BEDDING PRIOR TO BACKFILL. SLOPE SHALL BE A MINIMUM OF 2:1.
- CLEAR WASHED PER GRAVEL SHALL BE USED FOR ALL GRAVEL.
- ALL REPAIRS SHALL BE A MINIMUM OF 10% CONCRETE TO ORIGINAL EXISTING SURFACE ELEVATIONS.

**Legend**

Property Lines	---
Ex. 2' Contours	--- 222
Ex. 10' Contours	--- 220
Prop. 2' Contours	--- 222
Prop. 10' Contours	--- 220
Ex. Curb & Gutter	---
Prop. Curb & Gutter	---
Bldg. Restriction Line	---
Ex. Sanitary	---
Ex. Storm Drain	---
Ex. Water	---
Prop. Sanitary	---
Prop. Storm Drain	---
Prop. Water	---
Prop. Sidewalk/Conc. Pad	---
Proposed Light Duty Bit. Paving	---
Proposed Heavy Duty Bit. Paving	---
Proposed Stone Paving	---
Wetland	---
Forest Conservation Easmt.	---
Wetland Buffer	---
Centerline Stream	---
Chain Link Fence W/Slats 8' High	---
Centerline Baseline	---

**Plan**  
SCALE: 1" = 30'

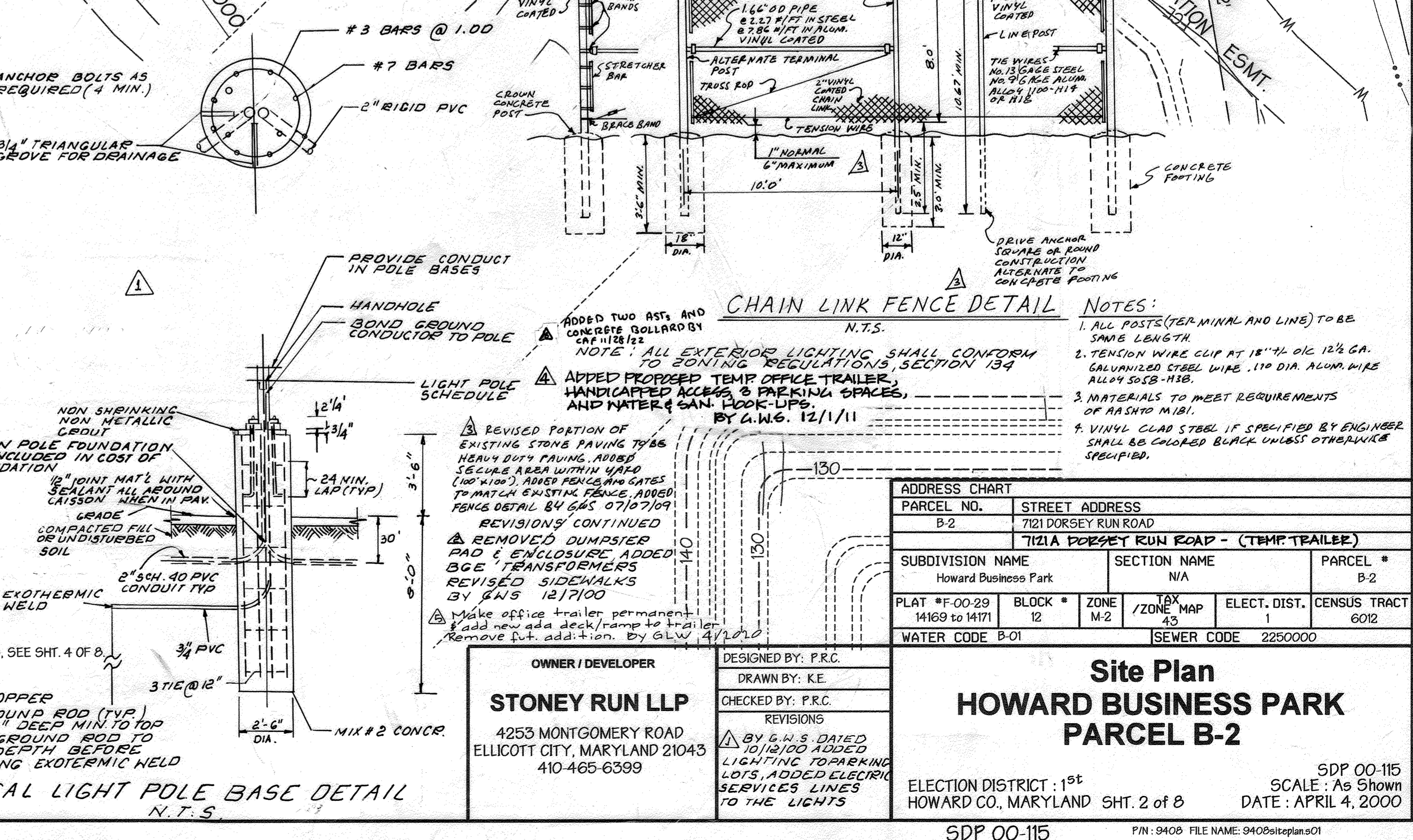
PARCEL B-3 HOWARD BUSINESS PARK  
PLAT F-00-29 ZONED M-2

**LEGEND**

- 100 WATT M.H. 10' POLE
- 400 WATT, H.P.S. 40' POLES
- 12" x 12" x 24" HANDBOX
- ELECTRIC WIRING (2" PVC, 4#8, 1#8 GND)

**Professional Certification**  
I hereby certify that these Plans were prepared or approved by me, and that I am a duly-licensed Professional Engineer under the laws of the state of Maryland, License No. 112715, Expiration Date: May 26, 2022.

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Reviewed for Howard SCD and meets Technical Requirements

*Chief Simmons* 8/14/20  
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District

*Howard Soil Conservation District* 8/15/20  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Howard County Department of Planning and Zoning

*Chief Development Engineering Division* 8/15/20  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Chief, Division of Land Development* 8/15/20  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Director* 8/15/20  
DIRECTOR DATE

PREPARED BY:

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
1020 Cromwell Bridge Road  
Towson, Maryland 21286  
(410) 825-8120

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**OWNER / DEVELOPER**  
**STONEY RUN LLP**  
4253 MONTGOMERY ROAD  
ELLCOTT CITY, MARYLAND 21043  
410-465-6399

**DESIGNED BY: P.R.C.**  
DRAWN BY: KE  
CHECKED BY: P.R.C.  
REVISIONS

BY G.W.S. DATED 10/12/2000 ADDED LIGHTING TO PARKING LOTS, ADDED ELECTRIC SERVICES LINES TO THE LIGHTS

**ADDRESS CHART**

PARCEL NO.	STREET ADDRESS
B-2	7121 DORSEY RUN ROAD
7121A DORSEY RUN ROAD - (TRAILER)	

SUBDIVISION NAME	SECTION NAME	PARCEL #
Howard Business Park	NA	B-2

PLAT #	BLOCK #	ZONE	ELECT. DIST.	CENSUS TRACT
F-00-29	12	M-2	1	6012

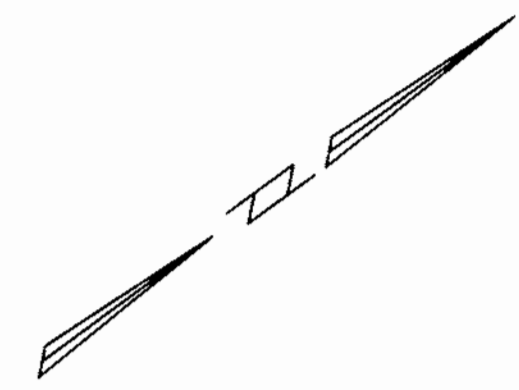
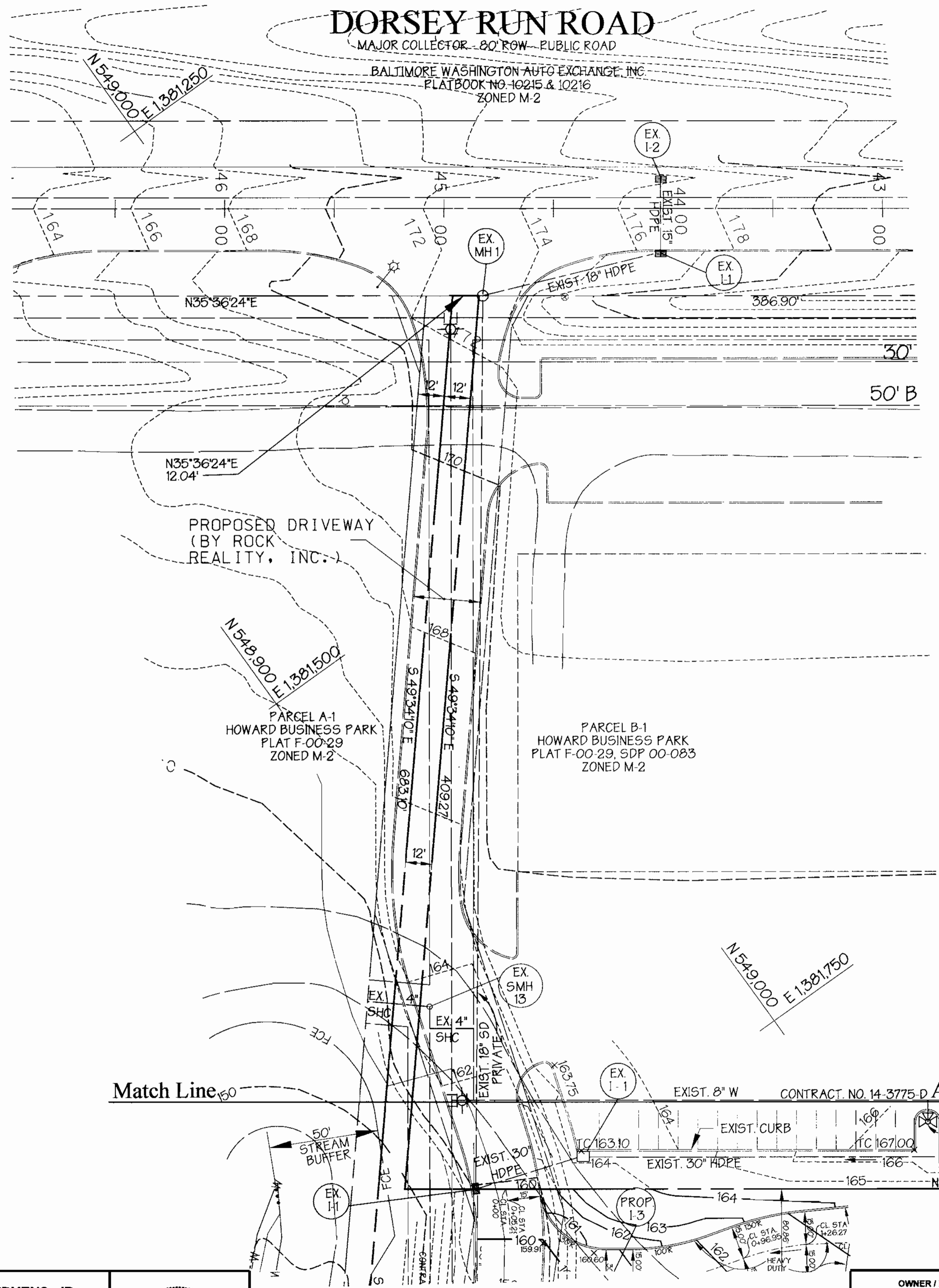
WATER CODE	SEWER CODE
B-01	2250000

**Site Plan**  
**HOWARD BUSINESS PARK**  
**PARCEL B-2**

ELECTION DISTRICT: 1<sup>ST</sup>  
HOWARD CO., MARYLAND SHT. 2 of 8

SDP 00-115  
SCALE: As Shown  
DATE: APRIL 4, 2000

SDP 00-115  
P/N: 9408 FILE NAME: 9408Siteplan.s01



**Legend**

- Property Lines \_\_\_\_\_
- Ex. 2' Contours \_\_\_\_\_
- Ex. 10' Contours \_\_\_\_\_
- Prop. 2' Contours \_\_\_\_\_ 222
- Prop. 10' Contours \_\_\_\_\_ 220
- Ex. Curb & Gutter \_\_\_\_\_
- Prop. Curb & Gutter \_\_\_\_\_
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- Ex. Storm Drain \_\_\_\_\_
- Ex. Water \_\_\_\_\_
- Prop. Sanitary \_\_\_\_\_
- Prop. Storm Drain \_\_\_\_\_
- Prop. Water \_\_\_\_\_
- Prop. Sidewalk/Conc. Pad \_\_\_\_\_
  
- Proposed Light Duty Bit. Paving \_\_\_\_\_
- Proposed Heavy Duty Bit. Paving \_\_\_\_\_
  
- Proposed Stone Paving \_\_\_\_\_
- Wetland \_\_\_\_\_
- Forest Conservation Easmt. \_\_\_\_\_ FCE
- Wetland Buffer \_\_\_\_\_ WETLANDS BUFFER
  
- Centerline Stream \_\_\_\_\_
  
- Chain Link Fence W/Slats 8' High \_\_\_\_\_ X-X-X
- Centerline Baseline \_\_\_\_\_

Reviewed for Howard SCD and meets Technical Requirements

*Cheryl Simmons* *8/16/00*  
 NSBA-NATURAL RESOURCES CONSERVATION SERVICE DATE

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District  
*John R. Blanton* *8/11/00*  
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Howard County Department of Planning and Zoning  
*Frank S. McGehee* *8/10/00*  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*Cindy Hamilton* *8/15/00*  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
*Frank S. McGehee* *8/10/00*  
 DIRECTOR DATE

PREPARED BY:  
**GWS**  
**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
 Civil Engineers and Land Surveyors  
 1020 Cromwell Bridge Road  
 Towson, Maryland 21286  
 (410) 825-8120



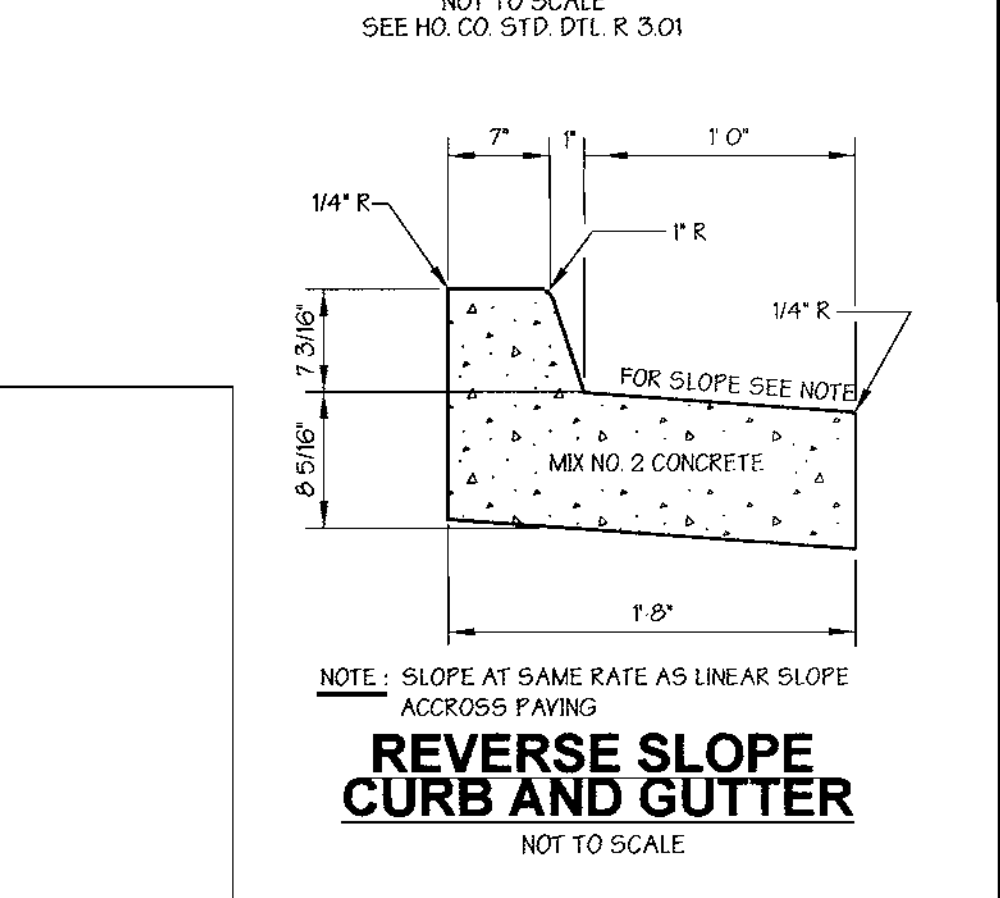
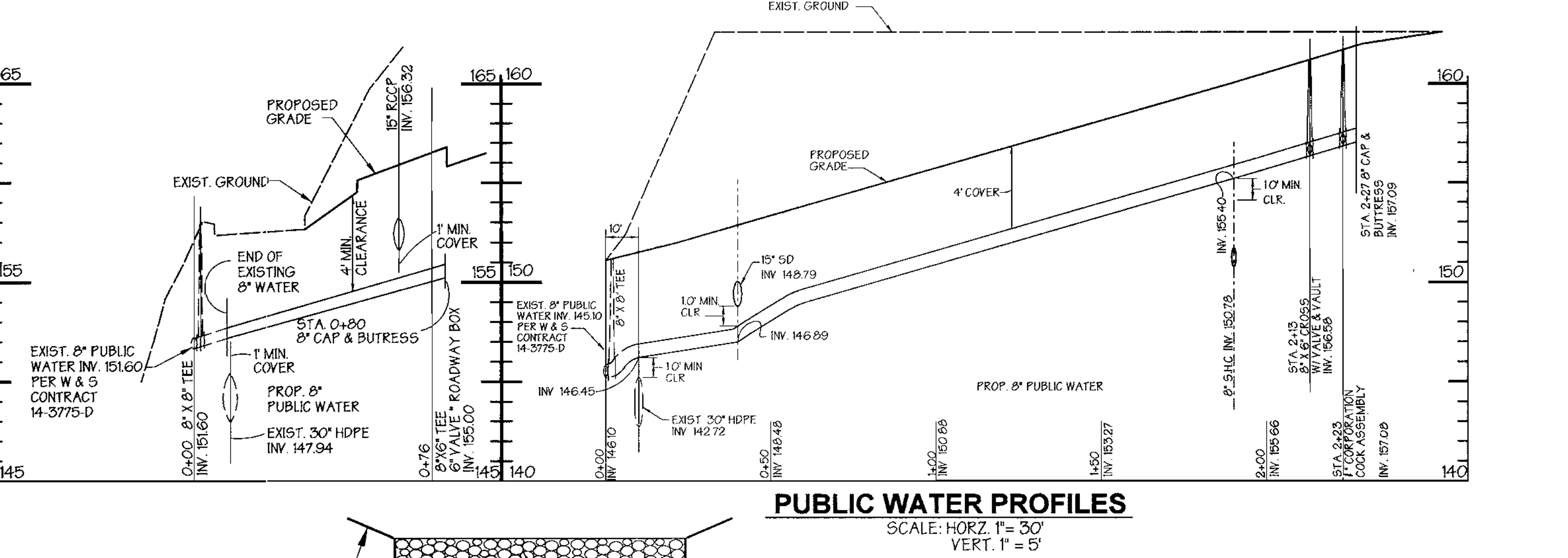
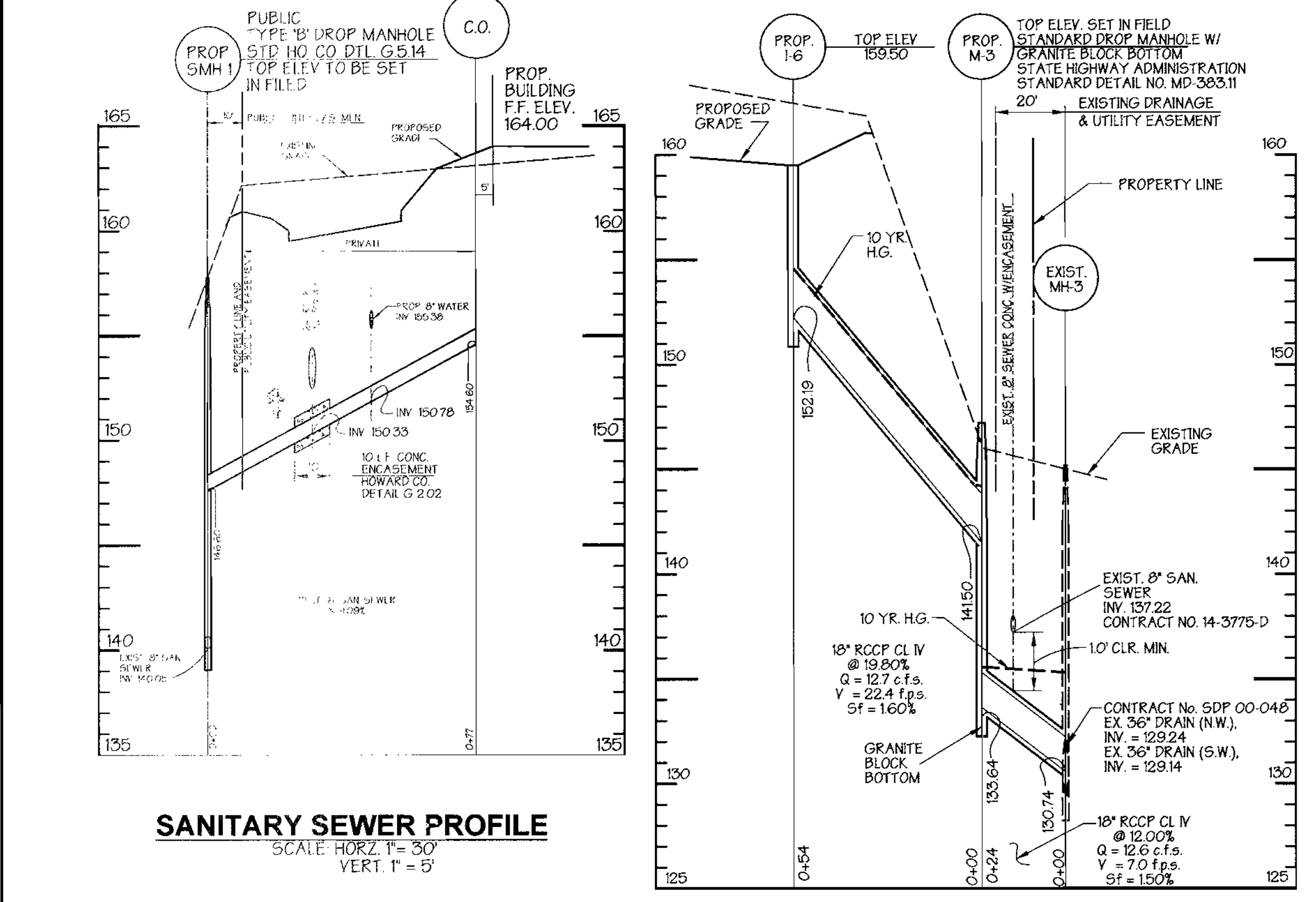
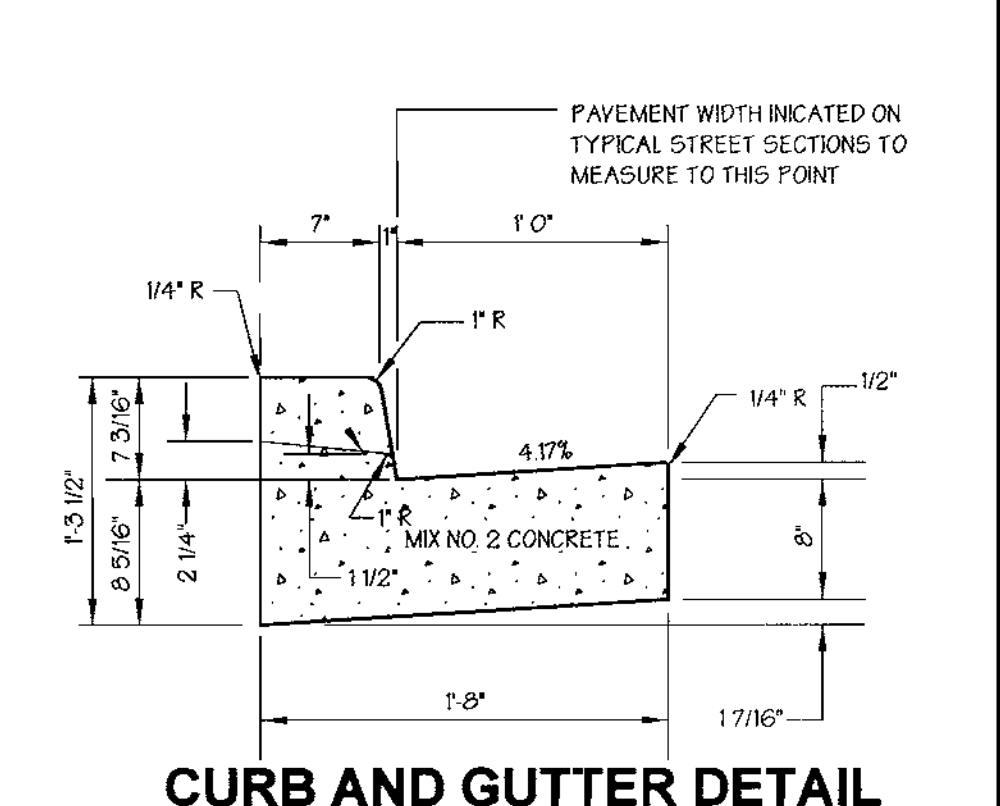
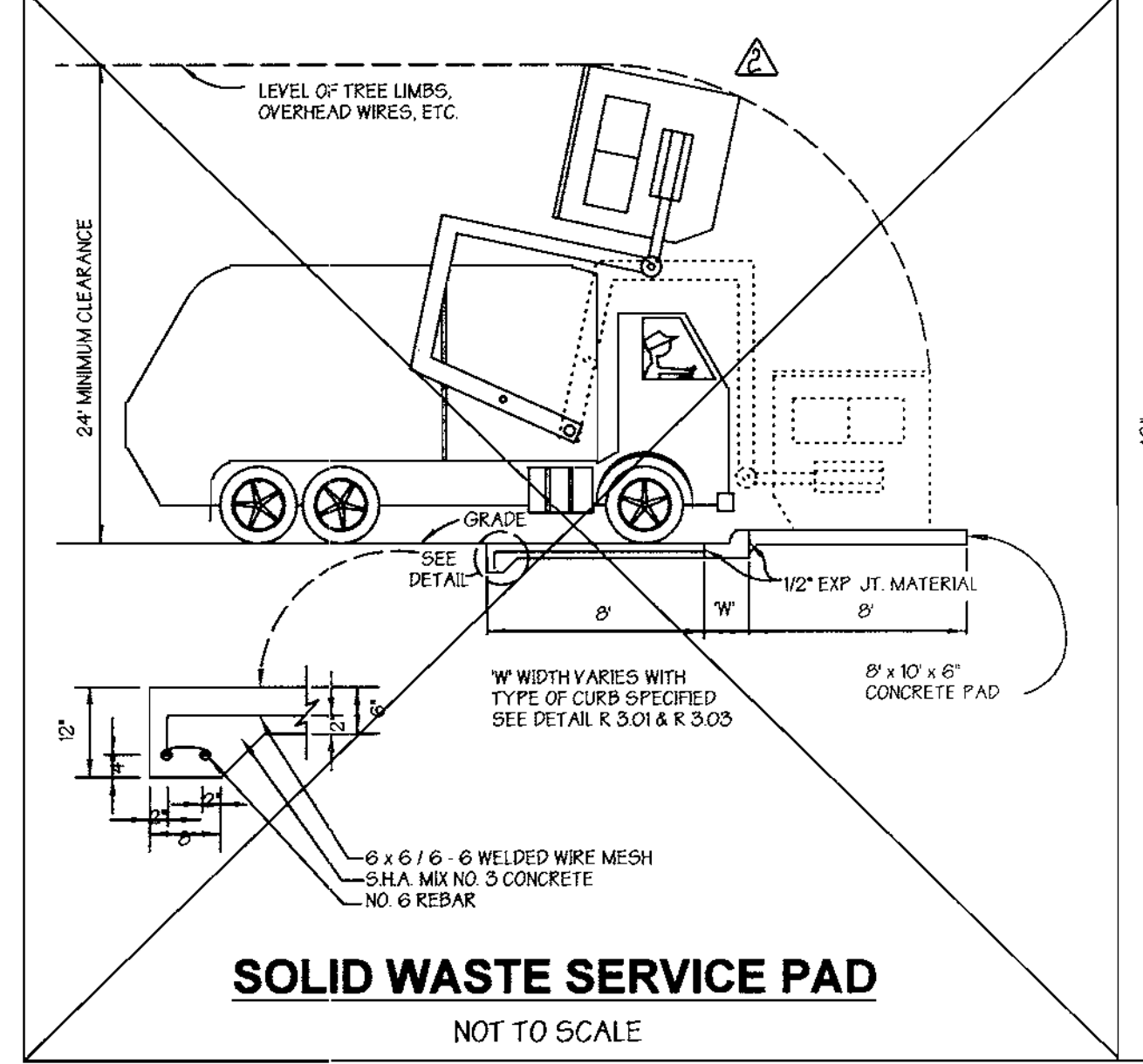
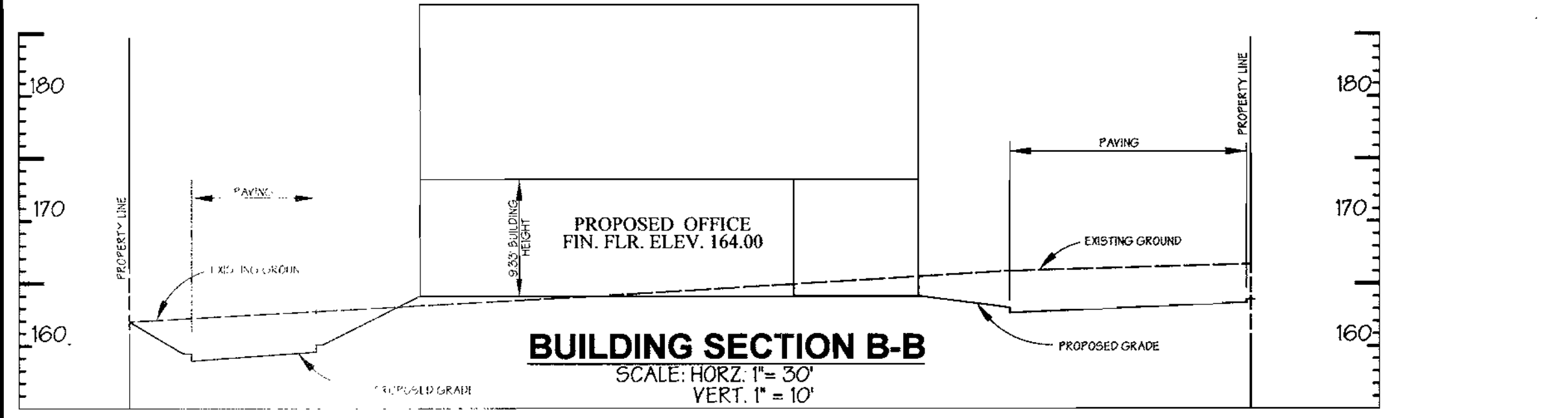
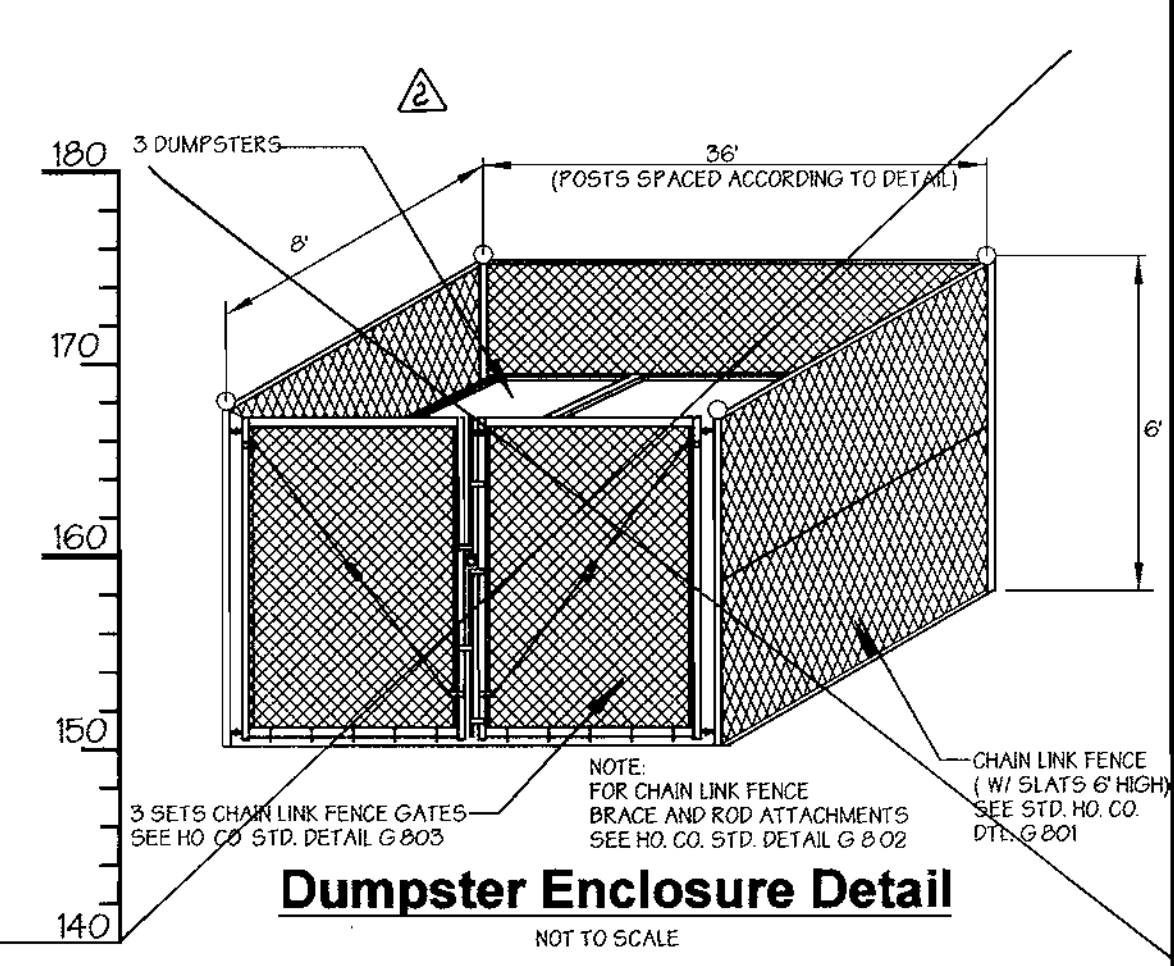
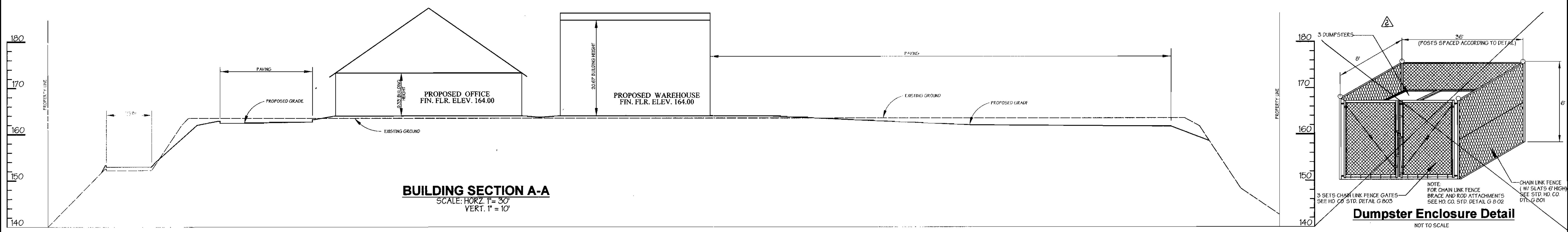
**Plan**  
 SCALE: 1" = 30'

OWNER / DEVELOPER  
**STONEY RUN LLP**  
 4253 MONTGOMERY ROAD  
 ELLICOTT CITY, MARYLAND 21043  
 410-465-6399

DESIGNED BY: P.R.C.  
 DRAWN BY: K.E.  
 CHECKED BY: P.R.C.  
 REVISIONS

ADDRESS CHART	
PARCEL NO. B-2	STREET ADDRESS 7121 DORSEY RUN ROAD
SUBDIVISION NAME Howard Business Park	SECTION NAME N/A
PLAT # F-00-29 14169 to 14171	BLOCK # 12
ZONE M-2	WATER CODE B-01
ELECT. DIST. 1	SEWER CODE 2250000
CENSUS TRACT 6012	PARCEL # B-2

**Site Plan**  
**HOWARD BUSINESS PARK**  
**PARCEL B-2**  
 ELECTION DISTRICT: 1<sup>st</sup>  
 HOWARD CO., MARYLAND SHT. 3 OF 8  
 SDP 00-115  
 SCALE: As Shown  
 DATE: APRIL 4, 2000



Reviewed for Howard SCD and meets Technical Requirements

*Chief Summers* 8/11/00  
USBA-NATURAL RESOURCES CONSERVATION SERVICE DATE

*John R. Blunt* 8/10/00  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Howard County Department of Planning and Zoning

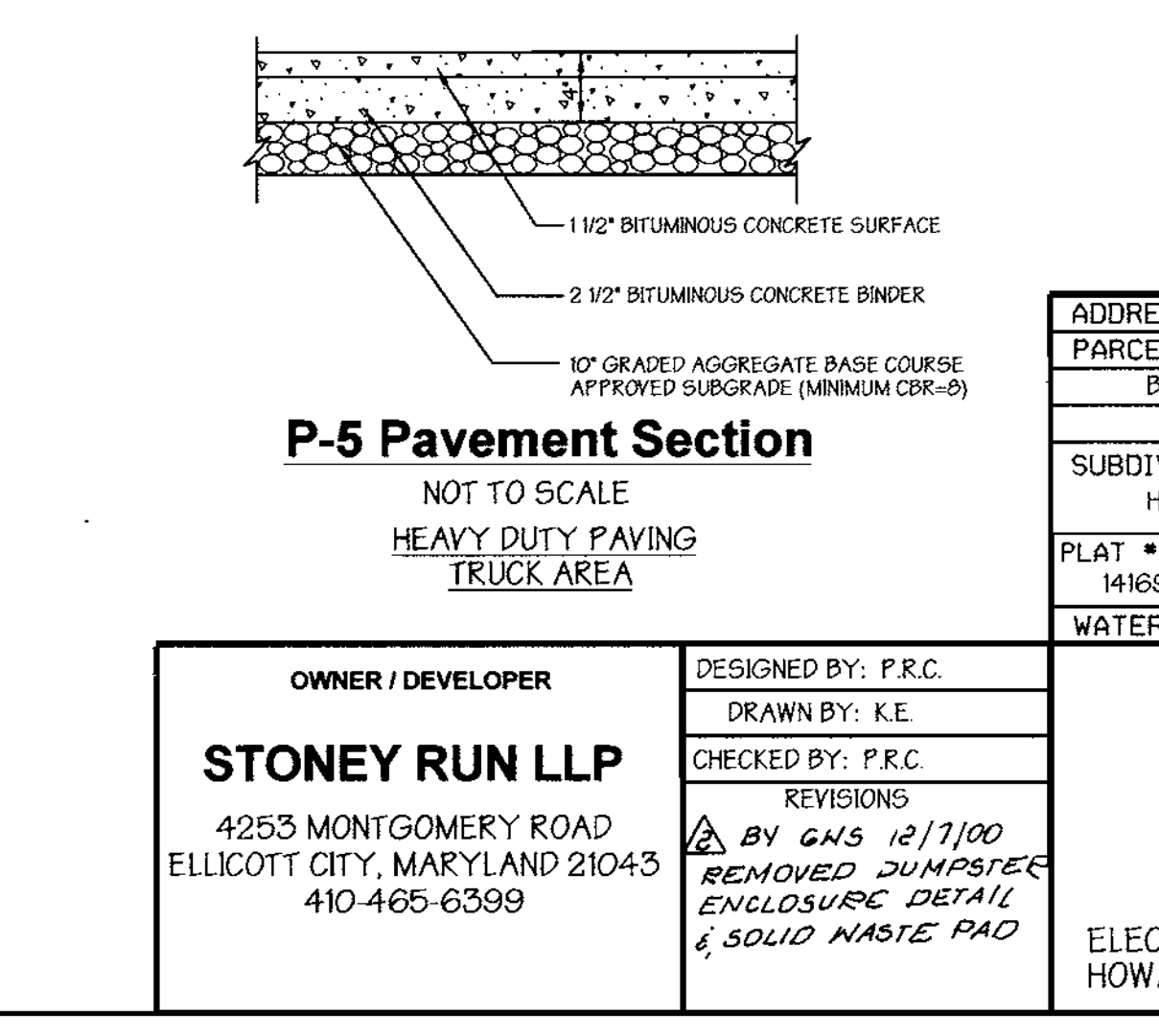
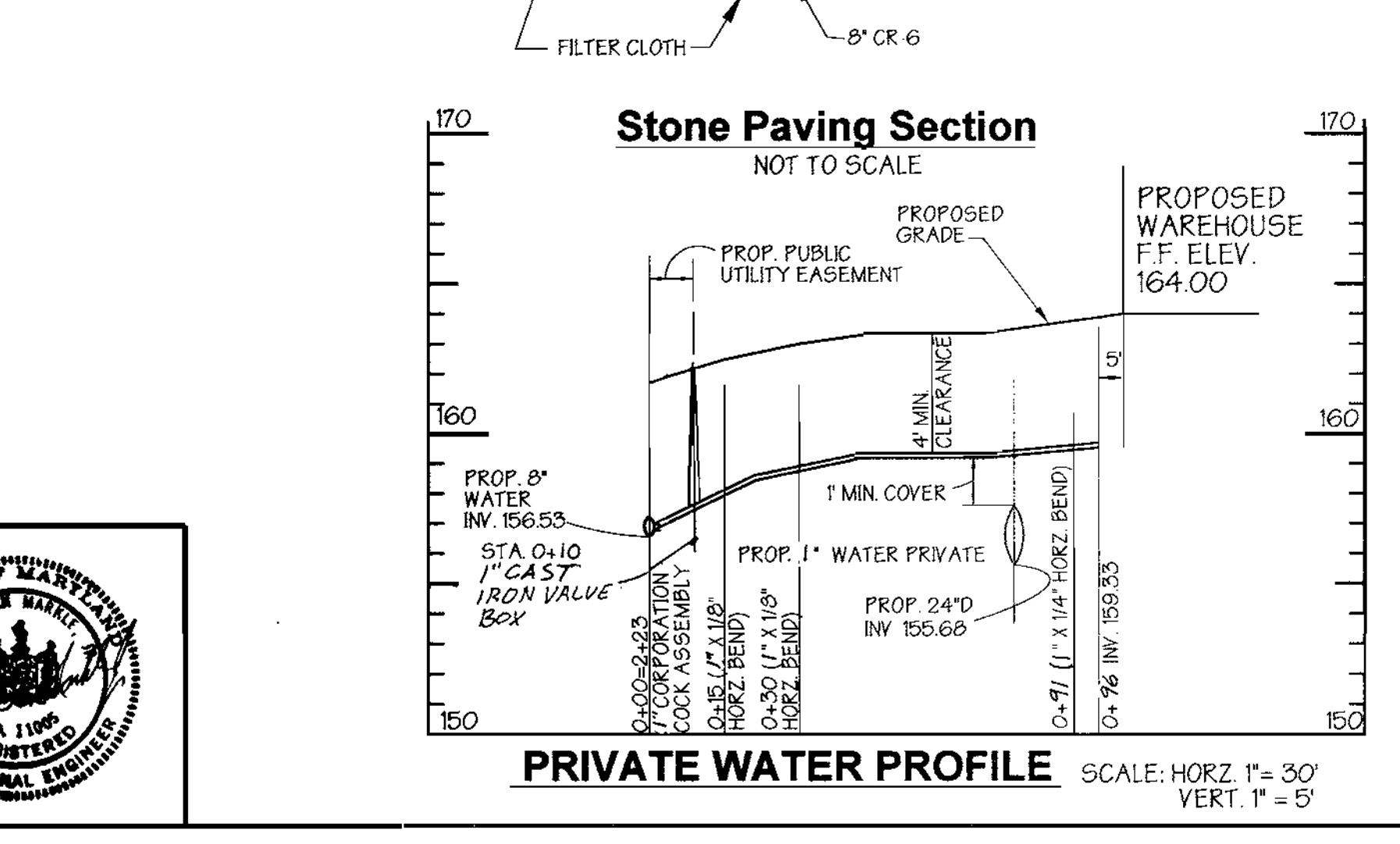
*John P. Demunier* 8/16/00  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Cathy Hamilton* 8/15/00  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

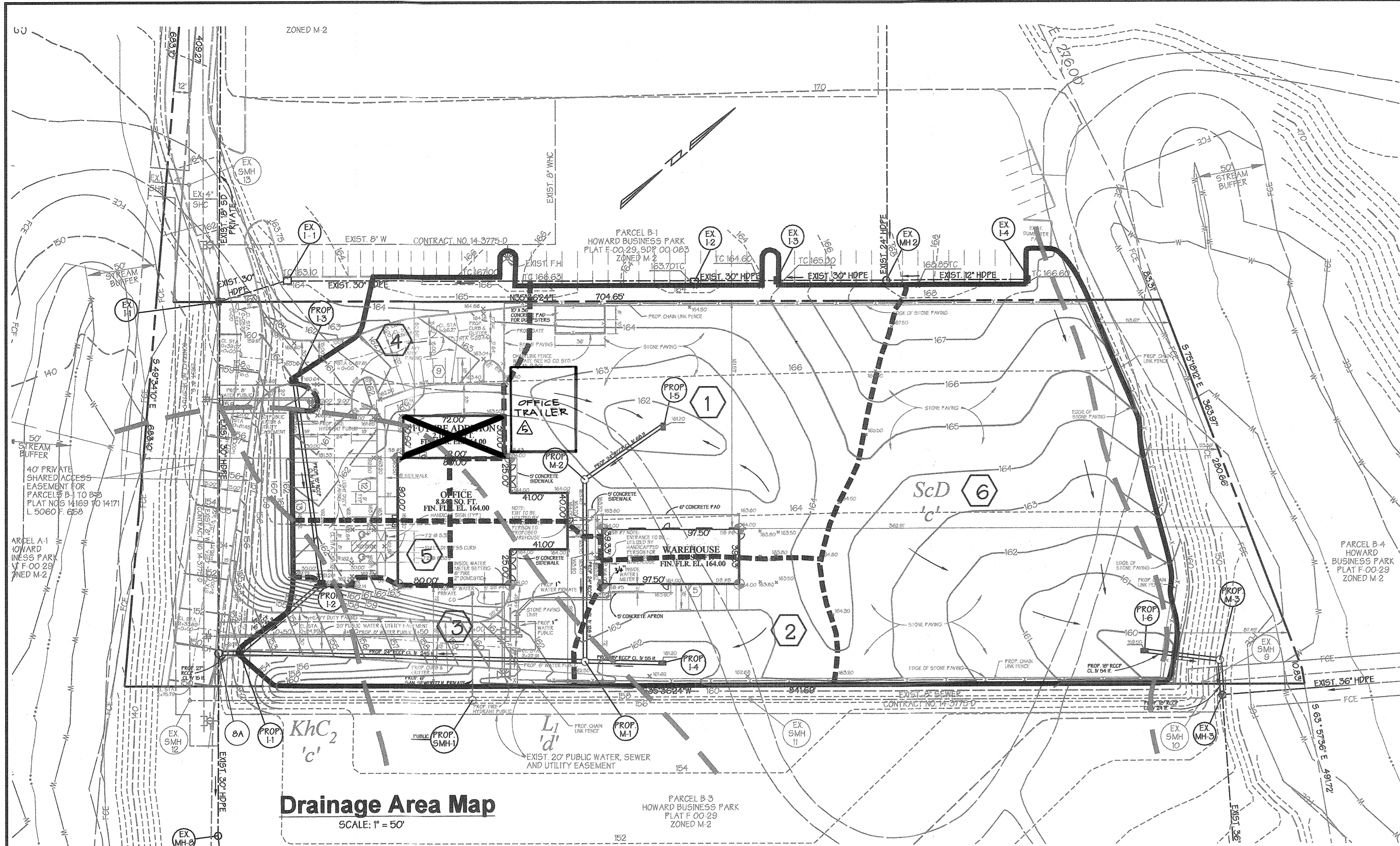
*Parshu V. Dey* 8/10/00  
DIRECTOR DATE

PREPARED BY:

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
1020 Cromwell Bridge Road  
Towson, Maryland 21286  
(410) 825-8120



ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
B-2	7121 DORSEY RUN ROAD				
SUBDIVISION NAME: Howard Business Park					
SECTION NAME: N/A					
PARCEL #: B-2					
PLAT # F-00 29	BLOCK # 12	ZONE M-2	1/4" / ZONE MAP 43	ELECT. DIST. 1	CENSUS TRACT 6012
WATER CODE B-01			SEWER CODE 2250000		
<b>Site Plan Details</b>					
<b>HOWARD BUSINESS PARK</b>					
<b>PARCEL B-2</b>					
ELECTION DISTRICT: 1 <sup>st</sup>				SDP 00-115	
HOWARD CO., MARYLAND SHT. 4 of 8				SCALE: As Shown	
				DATE: APRIL 4, 2000	

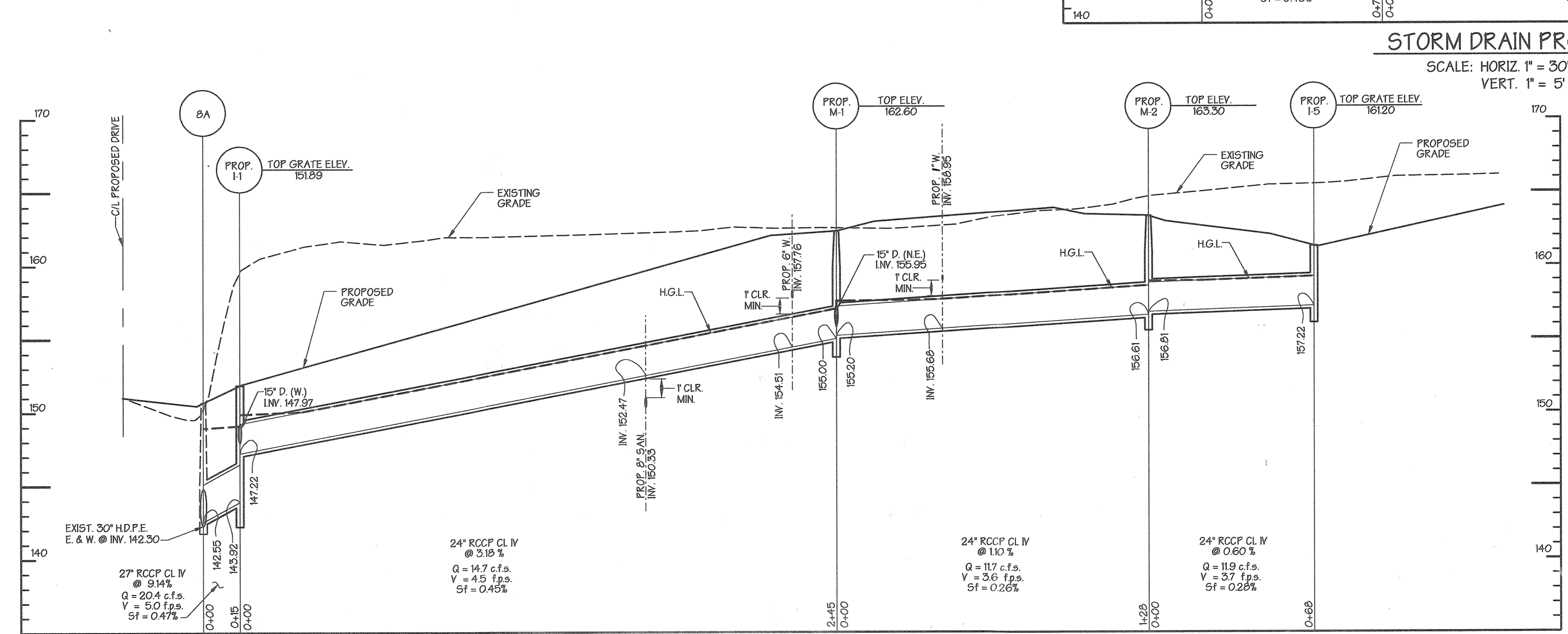
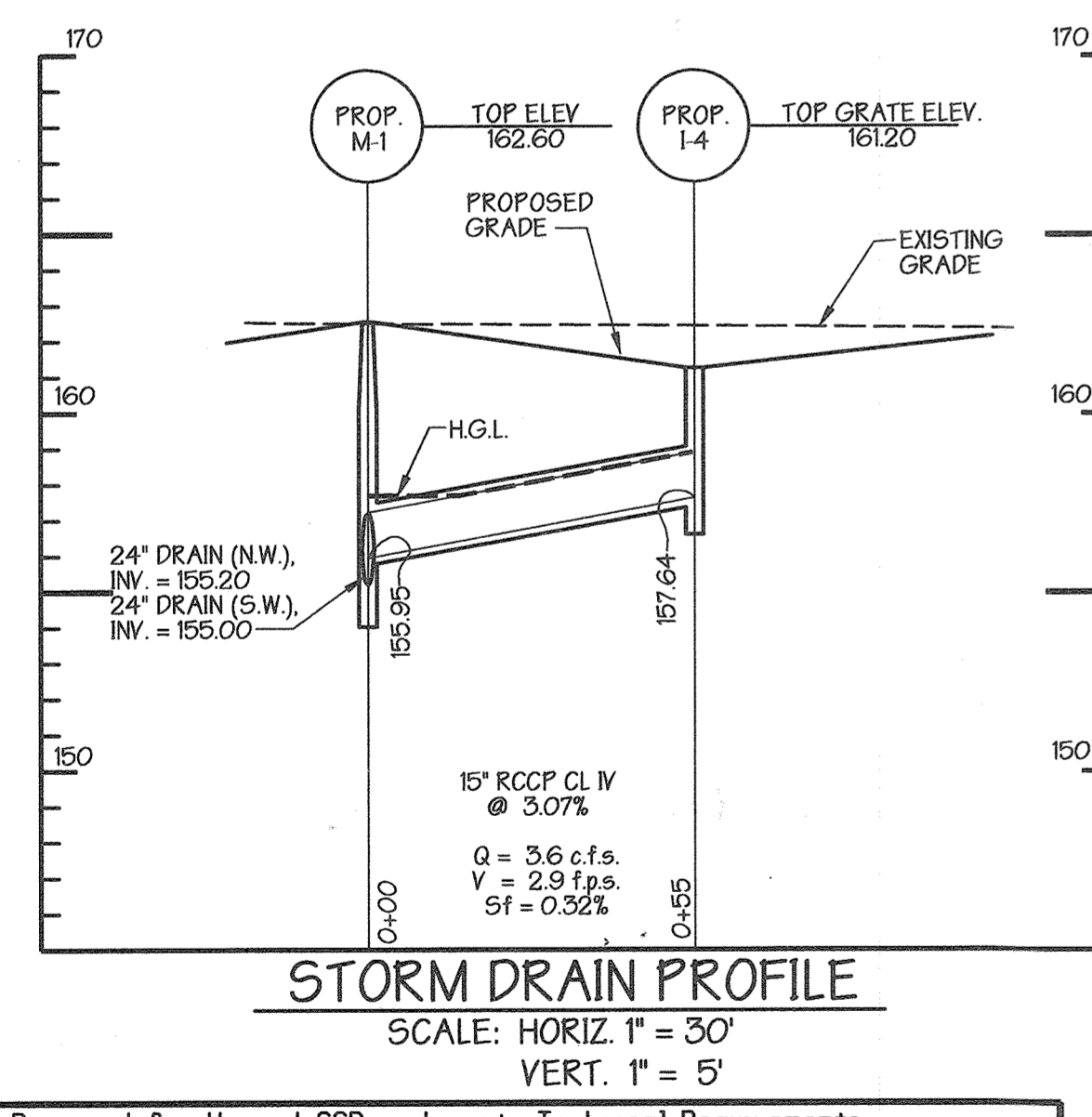
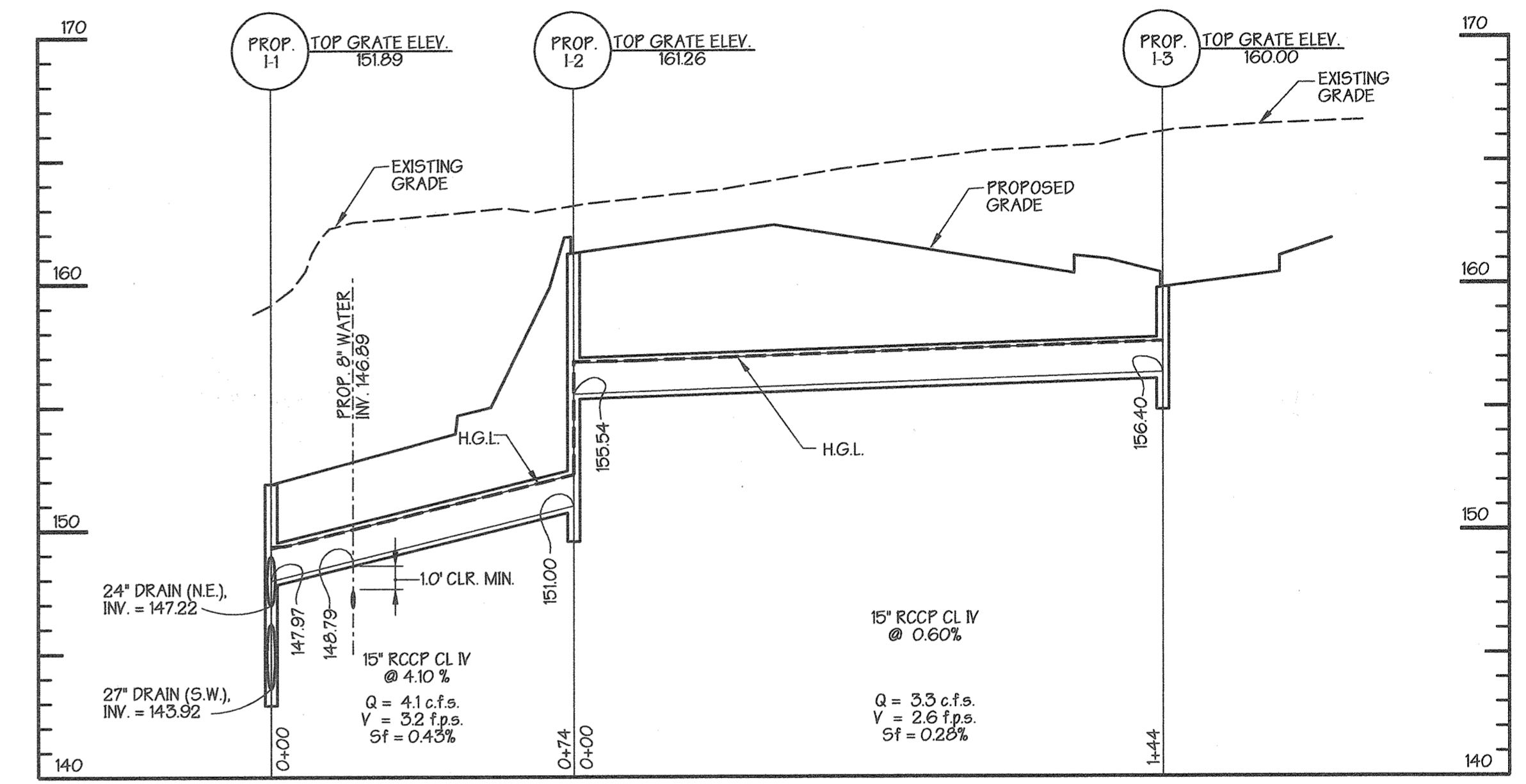


STRUCTURE SCHEDULE					
NO.	TYPE	TOP ELEV.	INV. IN.	INV. OUT.	HO. CO. DTL.
M-1	STANDARD MANHOLE	162.60	155.20	155.00	G-5.11
M-2	STANDARD MANHOLE	163.30	156.81	156.61	G-5.12
M-3	STANDARD DROP MANHOLE	SET/FLD	141.50	133.64	STATE HWY. ADMIN. DTL. STD. NO. MD-383.11

INLET SCHEDULE						
NO.	TYPE	TOP ELEV.	INV. IN.	INV. OUT.	Qc.f.s.	HO. CO. DTL.
I-1	DBL 'S' COMB. MODIFIED	*151.89	147.22	143.92	2.8	S.D. 4.34
I-2	DBL 'S' COMB.	*161.26	155.54	151.00	1.1	S.D. 4.34
I-3	DBL 'S' COMB.	*160.00	-	156.40	3.3	S.D. 4.34
I-4	DBL 'S' GRATE	161.20	-	157.64	3.6	S.D. 4.23
I-5	DBL 'S' GRATE	161.20	-	157.22	11.9	S.D. 4.23
I-6	DBL 'S' GRATE	159.50	-	152.19	12.7	S.D. 4.23

\*INDICATES BOTTOM OF CURB ELEVATION

AREA	ACREAGE	'C'	% IMP.
1	1.27	0.96	100%
2	0.38	0.96	100%
3	0.48	0.69	60%
4	0.51	0.77	75%
5	0.12	0.90	92%
6	1.35	0.96	100%



Reviewed for Howard SCD and meets Technical Requirements

*Chief Simmons* 8/16/10  
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

*John P. Roberts* 8/16/10  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: Howard County Department of Planning and Zoning

*Chief Development Engineering Division* 8/16/10  
DATE

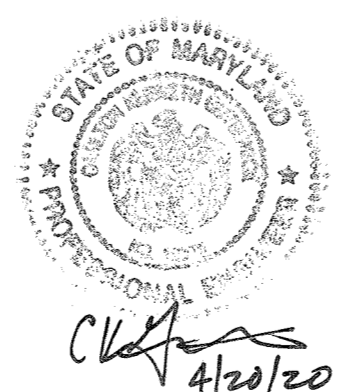
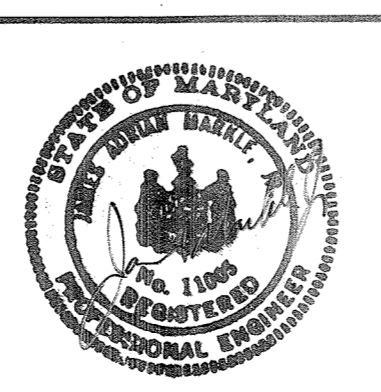
*Chief, Division of Land Development* 8/16/10  
DATE

*Director* 8/16/10  
DATE

PREPARED BY:

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors

1020 Cromwell Bridge Road  
Towson, Maryland 21286  
(410) 825-8120



**STORM DRAIN PROFILE**  
SCALE: HORIZ. 1" = 30'  
VERT. 1" = 5'

For Revision #5 by GLW  
Professional Certification  
I hereby certify that these plans were prepared by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 11088  
Expiration Date: May 20, 2011

OWNER / DEVELOPER  
**STONEY RUN LLP**  
4253 MONTGOMERY ROAD  
ELLCOTT CITY, MARYLAND 21043  
410-465-6399

DESIGNED BY: P.R.C.  
DRAWN BY: K.E.  
CHECKED BY: P.R.C.

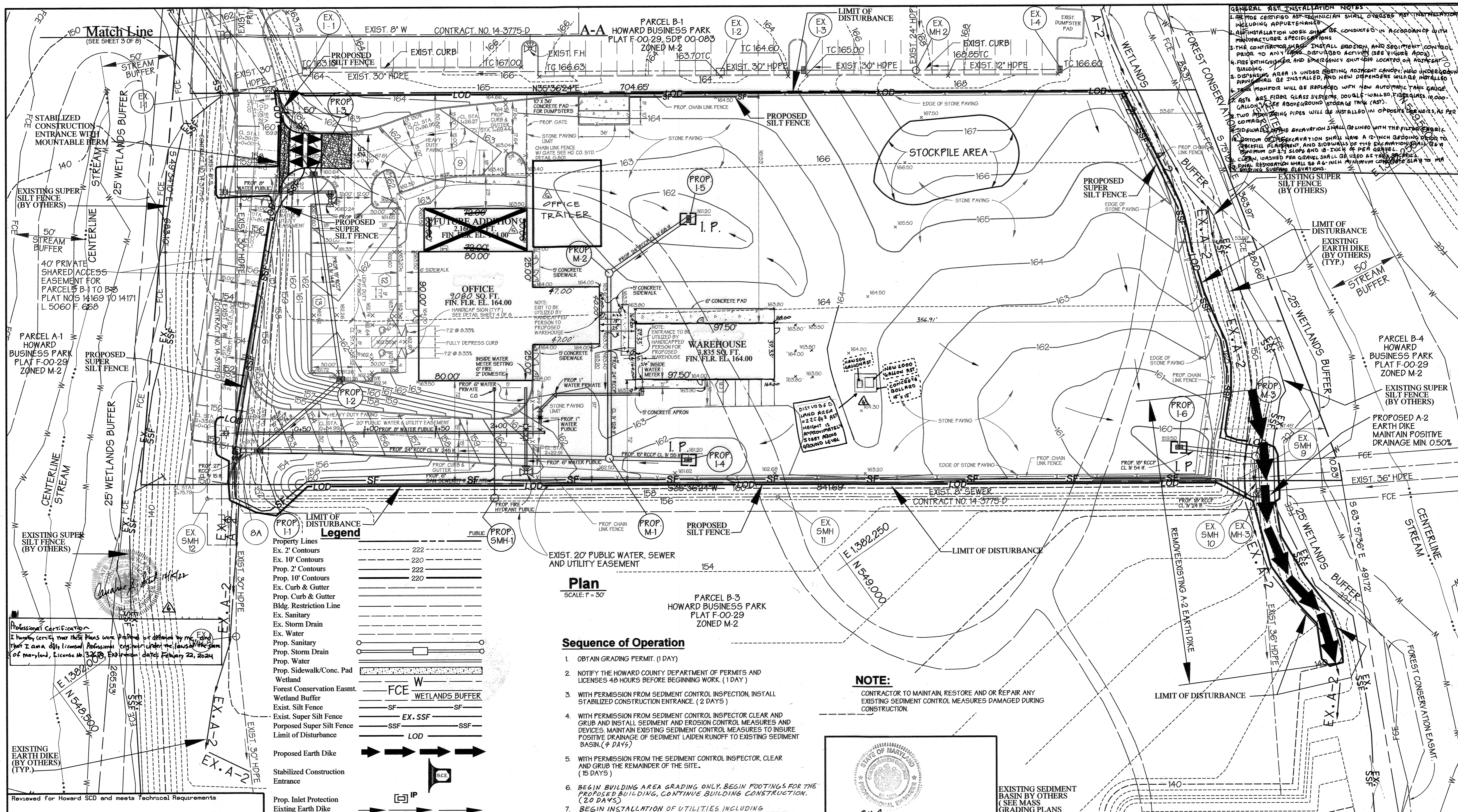
REVISIONS  
Make office trailer permanent & add new deck/frame to that. Remove cut addition by GLW 4/10/10

ADDRESS CHART					
PARCEL NO.	STREET ADDRESS				
B-2	7121 DORSEY RUN ROAD				
SUBDIVISION NAME		SECTION NAME		PARCEL #	
Howard Business Park		N/A		B-2	
PLAT #	F-00-29	BLOCK #	ZONE	ELECT. DIST.	CENSUS TRACT
14169 to 14171	12	M-2	43	1	6012
WATER CODE B-01				SEWER CODE 2250000	

**Drainage Area Map & Profiles**  
**HOWARD BUSINESS PARK**  
**PARCEL B-2**

ELECTION DISTRICT : 1<sup>st</sup>  
HOWARD CO., MARYLAND SHT. 5 of 8

SDP 00-115  
SCALE : As Shown  
DATE : APRIL 4, 2000



**GENERAL A&S INSTALLATION NOTES**

1. ALL A&S CERTIFIED A&S TECHNICIANS SHALL VERIFY THE INSTALLATION INCLUDING APPROPRIATE...
2. ALL INSTALLATION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS...
3. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL PRIOR TO ANY GRADING OR CONSTRUCTION ACTIVITY (SEE FIGURE A000)...
4. FIRE EXTINGUISHER AND EMERGENCY SHUT-OFF LOCATED ON ADJACENT BUILDING AREA IS UNDER EXISTING ADJACENT CANOPY; NEW UNDERGROUND DISPENSERS TO BE INSTALLED, AND NEW DISPENSERS WILL BE INSTALLED...
5. MONITOR WILL BE REPLACED WITH NEW AUTOMATIC TANK GAUGE...
6. TWO 12" FIBER GLASS SYSTEMS DOUBLE WALL 50' FIBER GLASS 1000' GAL CAPACITY ABOVEGROUND STORAGE TANK (AST)...
7. TWO 12" FIBER GLASS SYSTEMS DOUBLE WALL 50' FIBER GLASS 1000' GAL CAPACITY ABOVEGROUND STORAGE TANK (AST)...
8. SIDEWALKS TO BE EXCAVATED SHALL BE LINED WITH THE FIBER GLASS...
9. BOTTOM OF EXCAVATION SHALL HAVE A 12" INCH BEDDING ROAD TO ROCKS...
10. SIDEWALKS TO BE EXCAVATED SHALL BE LINED WITH THE FIBER GLASS...
11. SIDEWALKS TO BE EXCAVATED SHALL BE LINED WITH THE FIBER GLASS...
12. SIDEWALKS TO BE EXCAVATED SHALL BE LINED WITH THE FIBER GLASS...

**Professional Certification**  
I hereby certify that these plans were prepared or designed by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 32718, Expiration date: February 22, 2024.

*Charles Simmons*  
USDA-NATURAL RESOURCES CONSERVATION SERVICE  
DATE: 8/11/00

*John Robertson*  
HOWARD SOIL CONSERVATION DISTRICT  
DATE: 8/11/00

APPROVED: Howard County Department of Planning and Zoning  
*John Robertson* DATE: 8/16/00  
*Cindy Hamata* DATE: 8/15/00  
*Frank S. DeLuca* DATE: 8/18/00

**DEVELOPER CERTIFICATION:**  
I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a certificate of attendance of a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I am a registered professional engineer and I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 32718, Expiration date: February 22, 2024.

Signature of Developer: *Katharine Cloit Partner* Date: 4/1/00  
Print Name: *KATHARINE E. Cloit*

**PREPARED BY:**  
**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
1020 Cromwell Bridge Road  
Towson, Maryland 21286  
(410) 825-8120

**Plan**  
SCALE: 1" = 30'

**Sequence of Operation**

1. OBTAIN GRADING PERMIT. (1 DAY)
2. NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS BEFORE BEGINNING WORK. (1 DAY)
3. WITH PERMISSION FROM SEDIMENT CONTROL INSPECTOR, INSTALL STABILIZED CONSTRUCTION ENTRANCE. (2 DAYS)
4. WITH PERMISSION FROM SEDIMENT CONTROL INSPECTOR CLEAR AND GRUB AND INSTALL SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES. MAINTAIN EXISTING SEDIMENT CONTROL MEASURES TO INSURE POSITIVE DRAINAGE OF SEDIMENT LAIDEN RUNOFF TO EXISTING SEDIMENT BASIN. (4 DAYS)
5. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB THE REMAINDER OF THE SITE. (15 DAYS)
6. BEGIN BUILDING AREA GRADING ONLY. BEGIN FOOTINGS FOR THE PROPOSED BUILDING. CONTINUE BUILDING CONSTRUCTION. (20 DAYS)
7. BEGIN INSTALLATION OF UTILITIES INCLUDING STORMDRAINS AND PROVIDE INLET PROTECTION AT 1-4, 1-5, AND 1-6. (15 DAYS)
8. BEGIN GRADING REMAINDER OF SITE AND CONTINUE BLDG. CONSTRUCTION. STONE SUBBASE, AND CONCRETE CURB AND GUTTER. PROCEED WITH LANDSCAPING AND STABILIZATION OPERATION. (10 DAYS)
9. COMPLETE REMAINING LANDSCAPING AND PERMANENT STABILIZATION WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES. (10 DAYS)
10. PROCEED WITH PAVING OPERATIONS. (10 DAYS)
11. FLUSH STORM DRAINS OUTFALLING INTO SEDIMENT BASIN (2 DAYS)

**NOTE:**  
CONTRACTOR TO MAINTAIN, RESTORE AND OR REPAIR ANY EXISTING SEDIMENT CONTROL MEASURES DAMAGED DURING CONSTRUCTION.

**Professional Certification**  
I hereby certify that these plans were prepared or designed by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 12975, Expiration date: May 20, 2022.

Signature of Engineer: *James A. Marble, Jr.* Date: 7/7/00  
Print Name: *JAMES A. MARBLE, JR.* PE # 11005

**OWNER / DEVELOPER**  
**STONEY RUN LLP**  
4255 MONTGOMERY ROAD  
ELLCOTT CITY, MARYLAND 21043  
410-465-6399

**DESIGNED BY: P.R.C.**  
DRAWN BY: K.E.  
CHECKED BY: P.R.C.

**REVISIONS**  
1. Make office trailer permanent & add new ADA stack/ramp to trailer. Remove future addition. By G.W. 4/1/00

**ADDRESS CHART**

PARCEL NO. B-2	STREET ADDRESS 7121 DORSEY RUN ROAD
SUBDIVISION NAME Howard Business Park	SECTION NAME N/A
PLAT # F-00-29 14169 TO 14171	BLOCK # 12
ZONE M-2	ZONING MAP 43
ELECT. DIST. 1	CENSUS TRACT 6012
WATER CODE B-01	SEWER CODE 2250000

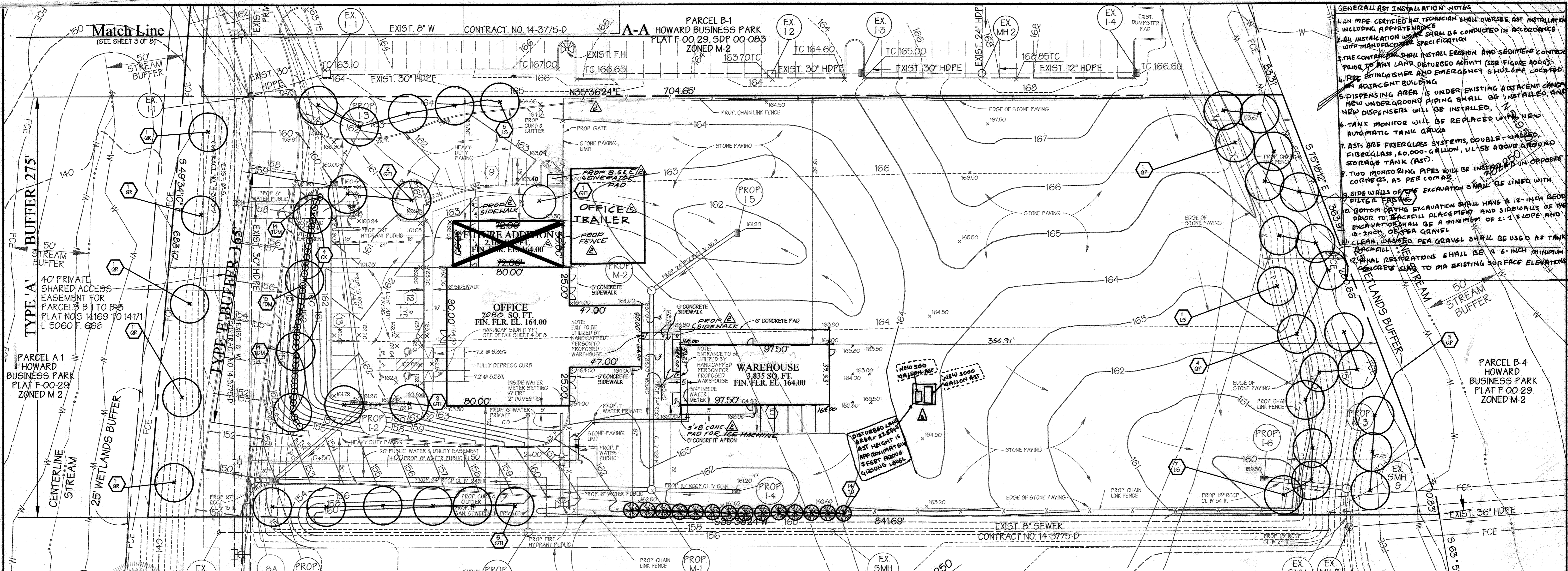
**LIMIT OF DISTURBANCE: 185,300 SQ. FT. OR 4.25 ACRES**

**Erosion & Sediment Control Plan**  
**HOWARD BUSINESS PARK**  
**PARCEL B-2**

ELECTION DISTRICT: 1<sup>st</sup>  
HOWARD CO., MARYLAND SHT. 6 of 8  
SDP 00-115  
SCALE: As Shown  
DATE: APRIL 4, 2000

SDP 00-115  
PIN: 9408 FILE NAME: 9408sedcontrolplans01





**GENERAL INSTALLATION NOTES**

1. AN PIPE CERTIFIED BY TECHNICIAN SHALL OVERSEE ALL INSTALLATION INCLUDING APPURTENANCES.
2. ALL INSTALLATION SHALL BE CONDUCTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.
3. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL PRIOR TO ANY LAND DISTURBED ACTIVITY (SEE FIGURE A001).
4. FIRE EXTINGUISHER AND EMERGENCY SHUT-OFF LOCATED IN ADJACENT BUILDING.
5. DISPENSING AREA IS UNDER EXISTING ADJACENT CANOPY. NEW UNDERGROUND PIPING SHALL BE INSTALLED, AND NEW DISPENSERS WILL BE REPLACED WITH NEW AUTOMATIC TANK GRAB.
6. TANK MONITOR WILL BE REPLACED WITH NEW AUTOMATIC TANK GRAB.
7. ASTS ARE FIBERGLASS SYSTEMS, DOUBLE-WALLED, FIBERGLASS, 10,000-GALLON, UL-158 ABOVE GROUND STORAGE TANK (AST).
8. TWO MONITOR PIPES WILL BE INSTALLED IN OPPOSITE CORNERS, AS PER COMAB.
9. SIDE WALLS OF THE EXCAVATION SHALL BE LINED WITH FILTER FABRIC.
10. BOTTOM OF THE EXCAVATION SHALL HAVE A 12-INCH BED OF SAND TO BE FULL PLACEMENT AND SIDEWALLS OF THE EXCAVATION SHALL BE A MINIMUM OF 1:1 SLOPE AND 8-INCH OF CLEAN, WASHED PEA GRAVEL SHALL BE USED AS TANK BACKFILL.
11. CHANNEL RESTRICTIONS SHALL BE A 6-INCH MINIMUM CONCRETE SLAB TO MA EXISTING SURFACE ELEVATION.

**Professional Certification**  
I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the state of Maryland, License No. 37624, Expiration Date: February 22, 2024.

*Charles J. [Signature]*  
Professional Engineer

**Legend**

Property Lines	---
Ex. 2' Contours	--- 222 ---
Ex. 10' Contours	--- 220 ---
Prop. 2' Contours	--- 222 ---
Prop. 10' Contours	--- 220 ---
Ex. Curb & Gutter	---
Prop. Curb & Gutter	---
Bldg. Restriction Line	---
Ex. Sanitary	---
Ex. Storm Drain	---
Ex. Water	---
Prop. Sanitary	---
Prop. Storm Drain	---
Prop. Water	---
Prop. Sidewalk/Conc. Pad	---

**Wetland**  
Forest Conservation Easmt. --- FCE ---  
Wetland Buffer --- W ---

**Proposed Major Deciduous Tree** (Symbol: \*)

**Proposed Evergreen Tree** (Symbol: /)

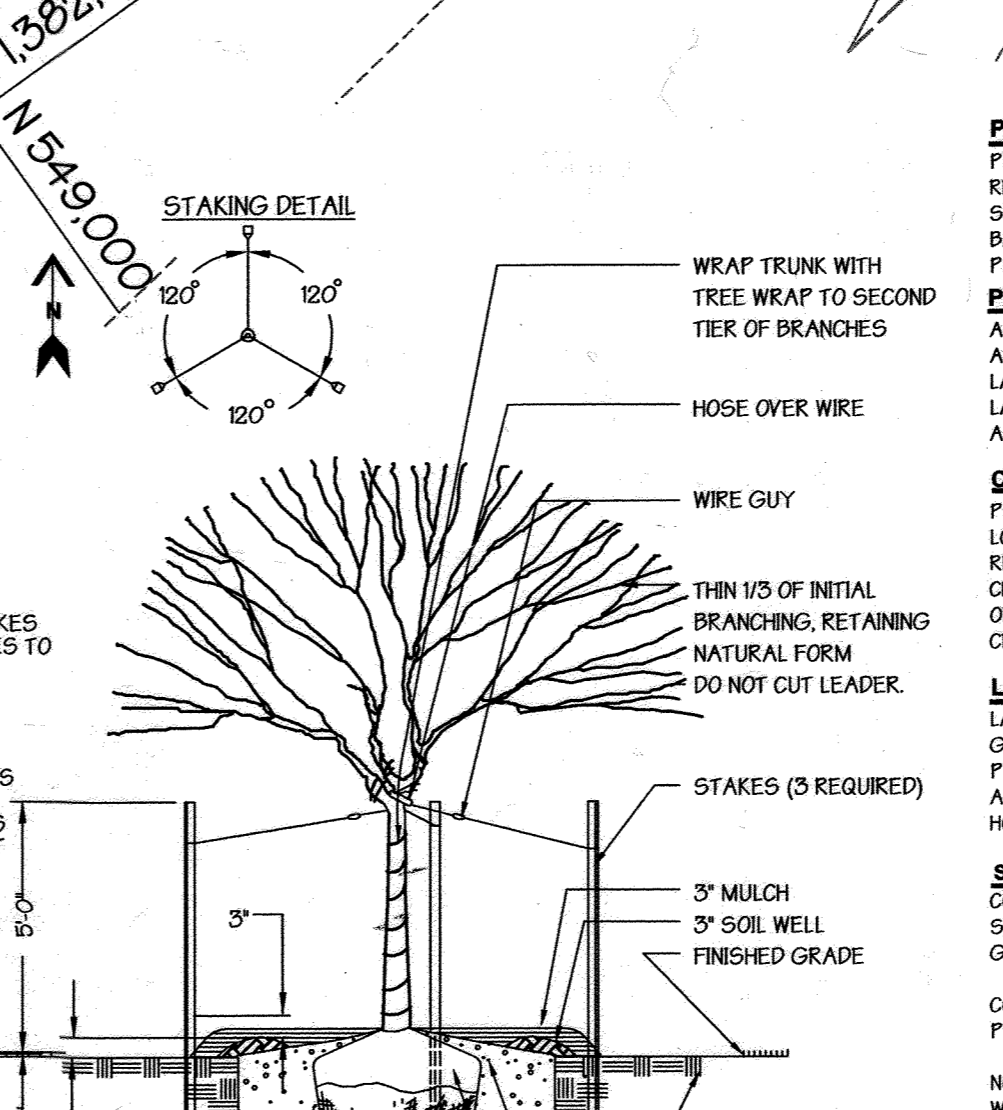
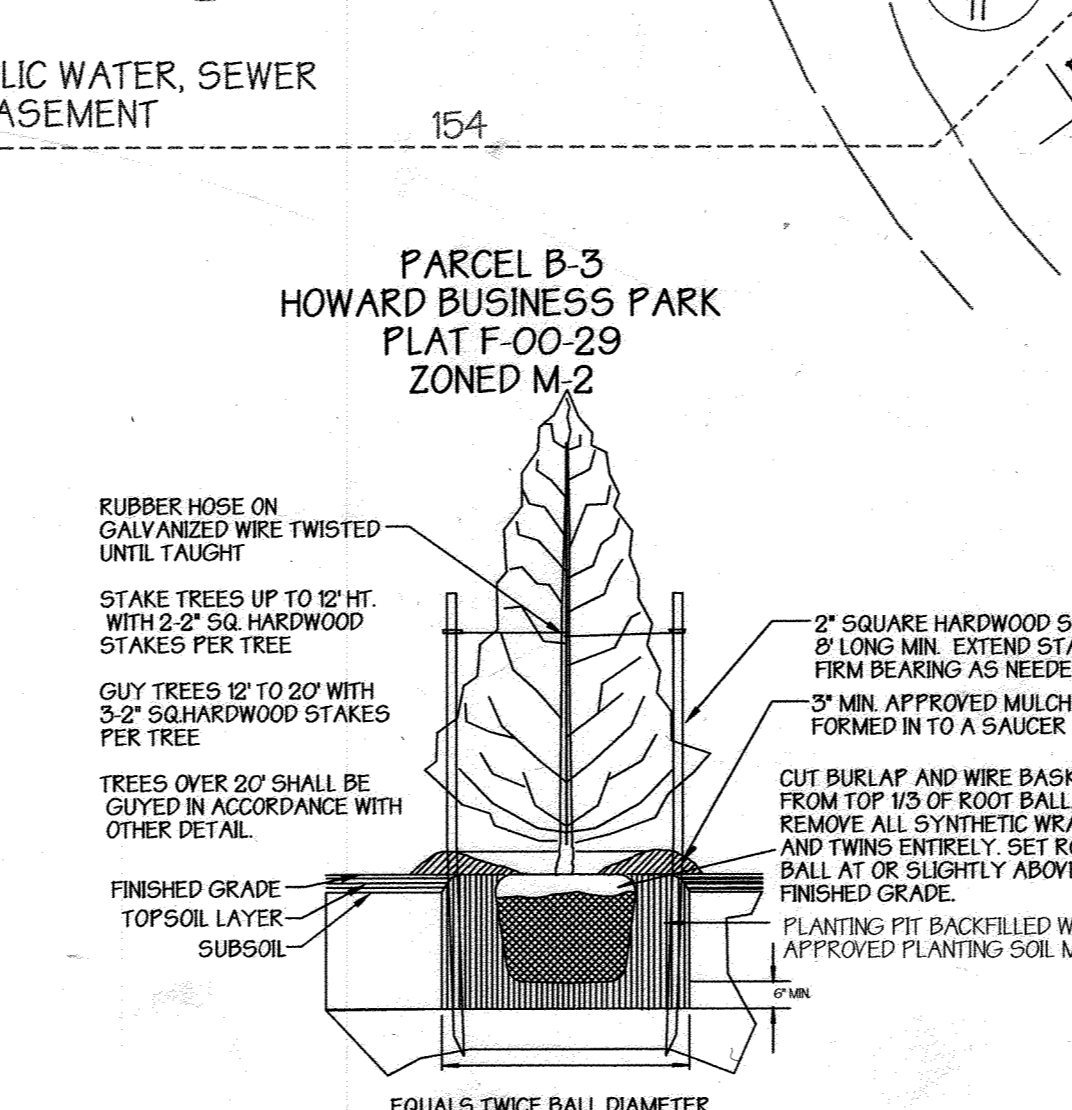
**Proposed Shrub** (Symbol: ○)

**Plan**  
SCALE: 1" = 30'

**SCHEDULE A PERIMETER LANDSCAPE EDGE**

ROADWAYS	A	E
Linear Feet of Roadway Frontage Perimeter	275'	165'
Grass for existing Vegetation (Yes, No Linear Feet)	N/A	N/A
Grass for Wall, Fence, or Berm (Yes, No Linear Feet)	N/A	N/A
Number of Plants Required		
Shade Trees (0-1)	5	4
Shrubs	0	41
Number of Plants Provided		
Shade Trees (2-1 sub)	5	4
Other Trees (2-1 sub)	0	0
Shrubs (10-1 sub)	0	41

Comments:



**PLANTING NOTES**  
PLANT LOCATIONS SHALL BE FIELD ADJUSTED TO AVOID UTILITIES. CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO START OF WORK. ALL TREES AND SHRUBS SHALL BE MULCHED TO A MINIMUM OF 18" BEYOND THE EDGE OF THE ROOT BALL. SHRUBS MASSSES SHALL BE PLANTED IN CONTINUOUS MULCH BEDS. ALL WIRE, PLASTIC AND TWINE TIES SHALL BE REMOVED FROM TOP OF THE ROOT BALL.

**PLANT STANDARDS**  
ALL NURSERY STOCK SHALL BE TOP QUALITY AND IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. "AMERICAN STANDARDS FOR NURSERY STOCK", LATEST EDITION. INFERIOR NURSERY STOCK WILL BE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT. BARE ROOT SHALL NOT BE ALLOWED FOR ANY TREE DEFINED AS MAJOR DECIDUOUS, MINOR DECIDUOUS OR EVERGREEN.

**CHANGES MAY IMPACT REQUIRED CERTIFICATION**  
PLANT TYPES (DECIDUOUS TREES, EVERGREEN, ETC.), QUANTITIES, SPACING, LOCATION, AND SPECIES SHOWN ON THE APPROVED LANDSCAPE PLAN ARE BASED ON REQUIREMENTS STATED IN THE LATEST HOWARD COUNTY LANDSCAPE MANUAL. ANY CHANGE IN THESE ITEMS MAY AFFECT THE REQUIRED APPROVAL AND CERTIFICATION OF THE INSTALLED PLANTING. OWNER IS REQUIRED TO ARRANGE AND PAY FOR CERTIFICATION BY LANDSCAPE ARCHITECT.

**LANDSCAPE SPECIFICATIONS**  
LANDSCAPE SPECIFICATION SHALL CONFORM TO LCA LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREA INCLUDING PLANTING PROCEDURES AND SOIL PREPARATION FOR SHRUBS AND PERENNIAL BEDS. A ONE-YEAR WARRANTY PERIOD SHALL BE REQUIRED. MAINTENANCE REQUIRED TO HONOR THE ONE-YEAR WARRANTY SHALL BE PERFORMED AS PART OF THIS CONTRACT.

**SPECIAL PROVISIONS TO LCA STANDARD SPECIFICATIONS**  
CONTRACTOR IS ENCOURAGED TO PERFORM SOIL TESTING. TEST RESULTS SHALL BE SUBMITTED 30 DAYS BEFORE PLANTING. FAILURE TO PERFORM TESTING WILL NOT VOID GUARANTEED PROVISIONS.

CONTRACTOR SHALL REVIEW AND TEST SUBSOIL DRAINAGE CHARACTERISTICS 30 DAYS PRIOR TO PLANTING AND NOTIFY OWNER UNACCEPTABLE CONDITIONS.

NO EXCEPTIONS TO THE GUARANTEE PROVISIONS ARE ALLOWED UNLESS AGREED TO IN WRITING PRIOR TO PLANTING.

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPE TREES, IN THE AMOUNT OF \$54,500.00, IS PART OF THE DEVELOPER'S AGREEMENT.

**ADDRESS CHART**

PARCEL NO.	STREET ADDRESS
B-2	7121 DORSEY RUN ROAD

**SUBDIVISION NAME** Howard Business Park  
**SECTION NAME** N/A  
**PARCEL #** B-2

**PLAT #** F-00-29  
**BLOCK #** 12  
**ZONE** M-2  
**MAP** 43  
**ELECT. DIST.** 1  
**CENSUS TRACT** 6012

**WATER CODE** B-01  
**SEWER CODE** 2250000

**OWNER / DEVELOPER**  
**STONEY RUN LLP**  
4253 MONTGOMERY ROAD  
ELLCOTT CITY, MARYLAND 21043  
410-465-6399

**DESIGNED BY:** P.R.C.  
**DRAWN BY:** K.E.  
**CHECKED BY:** P.R.C.

**REVISIONS**  
#2 BY CWS 12/10/20  
REMOVED 2 QUANTITIES AND ENCLOSED RELOCATED TREE  
REVISED SIDEWALKS  
ADDED GENERATOR & ICE MACHINE PADS.

**LANDSCAPE PLAN**  
**HOWARD BUSINESS PARK**  
**PARCEL B-2**

**SEWER DISTRICT:** 1st  
**HOWARD CO., MARYLAND** SHT. 8 of 8

**SDP 00-115**  
SCALE: AS SHOWN  
DATE: APRIL 4, 2000

**SDP 00-115**  
P/N: 9408 FILE NAME: 9408landscapeplan.s01

**Professional Certification**  
I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the state of Maryland, License No. 37624, Expiration Date: February 22, 2024.

*Charles J. [Signature]*  
Professional Engineer

**Reviewed for Howard SCD and meets Technical Requirements**

*Deaf Simmons* 8/1/00  
USDA NATURAL RESOURCES CONSERVATION SERVICE DATE

**This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District**

*John [Signature]* 8/1/00  
HOWARD SOIL CONSERVATION DISTRICT DATE

**APPROVED:** Howard County Department of Planning and Zoning

*Chris [Signature]* 8/15/00  
CHIEF, DEVELOPMENT ENGINEERING DIVISION, DATE

*Cecily [Signature]* 8/15/00  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Mark Dr. [Signature]* 8/15/00  
DIRECTOR DATE

**DEVELOPER'S / BUILDER'S CERTIFICATION**

I HEREBY CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR WARRANTY OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*Kathrine Cont* 4/10/00  
NAME DATE

*Kathrine E. Cont*  
PRINT NAME

**PREPARED BY:**

**GEORGE W. STEPHENS, JR. AND ASSOCIATES, INC.**  
Civil Engineers and Land Surveyors  
1020 Cromwell Bridge Road  
Towson, Maryland 21286  
(410) 825-8120

**STATE OF MARYLAND**  
LAND SURVEYORS

**SCHEDULE B PARKING LOT INTERNAL LANDSCAPING**

Number of Parking Spaces	39
Number of Trees Required	2
Number of Trees Provided	5
Shade Trees	0
Other Trees (2-1 sub)	0

**PLANT SCHEDULE**

KEY	QUANT.	BOTANICAL NAME / COMMON NAME	SIZE / COND.	SPACING	REMARKS
TREES					
CK	4	Cladrastis kentuckia / Yellowwood	2 1/2 - 3" cal / B&B	As Shown	Full Crown
GT	11	Gladiolus trichanthos Inermis / Shademaster / Shademaster Honeylocust	2 1/2 - 3" cal / B&B	As Shown	Full Crown
LS	15	Liquidambar styraciflua / Sweetgum	2 1/2 - 3" cal / B&B	As Shown	Full Crown
OP	8	Opuntia polyacantha / Pin Oak	2 1/2 - 3" cal / B&B	As Shown	Full Crown
OK	5	Quercus rubra / Northern Red Oak	2 1/2 - 3" cal / B&B	As Shown	Full Crown
TO	14	Thuja occidentalis / Emerald Green Arborvitae	6 to 8 ft., B&B	As Shown	Heavy
YDM	41	Taxus media / densiformis / Dense Yew	30 - 36" B&B	As Shown	Heavy

**OWNER / DEVELOPER**  
**STONEY RUN LLP**  
4253 MONTGOMERY ROAD  
ELLCOTT CITY, MARYLAND 21043  
410-465-6399

**DESIGNED BY:** P.R.C.  
**DRAWN BY:** K.E.  
**CHECKED BY:** P.R.C.

**REVISIONS**  
#2 BY CWS 12/10/20  
REMOVED 2 QUANTITIES AND ENCLOSED RELOCATED TREE  
REVISED SIDEWALKS  
ADDED GENERATOR & ICE MACHINE PADS.

**LANDSCAPE PLAN**  
**HOWARD BUSINESS PARK**  
**PARCEL B-2**

**SEWER DISTRICT:** 1st  
**HOWARD CO., MARYLAND** SHT. 8 of 8

**SDP 00-115**  
SCALE: AS SHOWN  
DATE: APRIL 4, 2000

**SDP 00-115**  
P/N: 9408 FILE NAME: 9408landscapeplan.s01