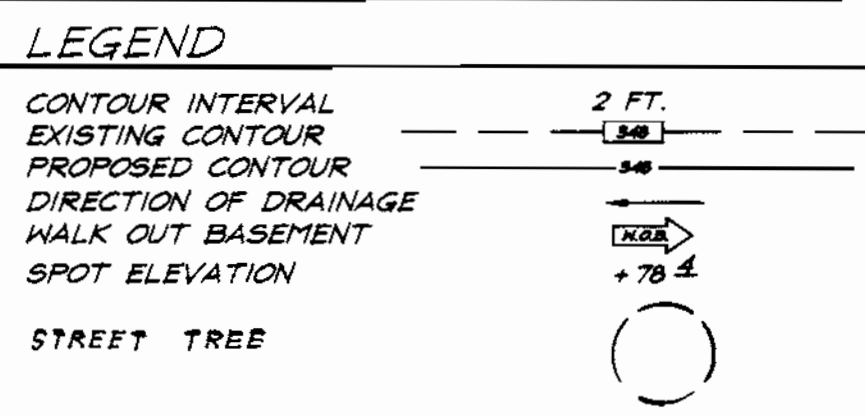
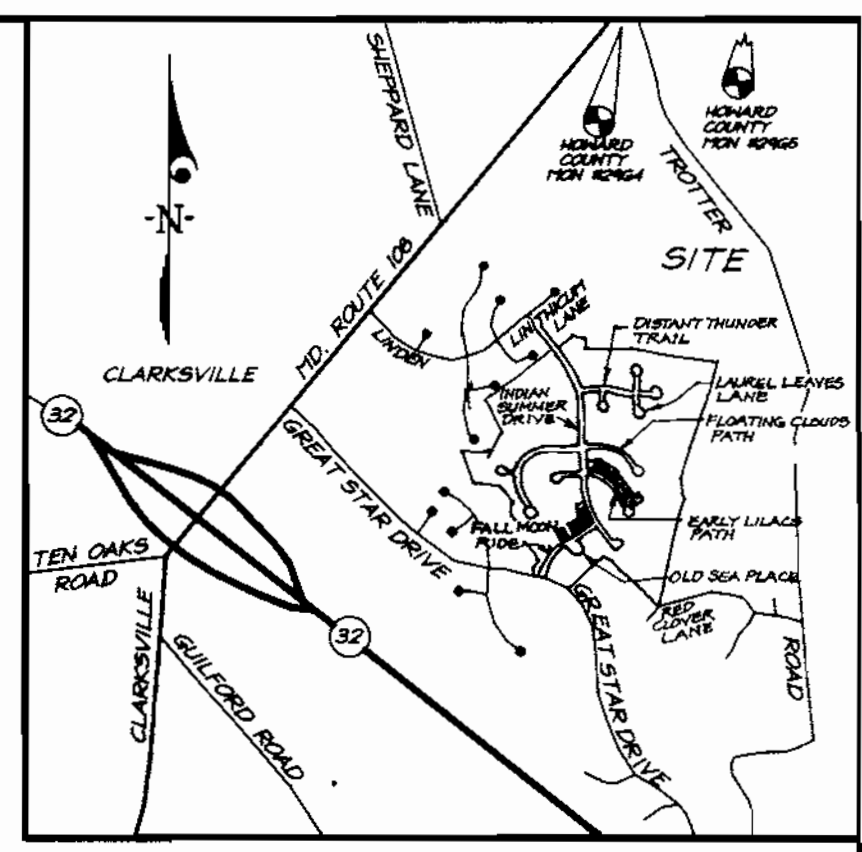


SCHEDULE A PERIMETER LANDSCAPE EDGE		
Category	Adjacent to Roadways	Adjacent to Wetlands
Landscape Type	B	B
Frontage/Perimeter	111	108
Number of Plants Required		
Shade Trees (1/50)	2	2
Evergreen Trees (1/40)	3	3
Shrubs		
Number of Plants Provided		
Shade Trees	2	2
Evergreen Trees	3	3
Surety Amounts	\$1050.00	\$1050.00



**BENCHMARKS:**  
Howard County Monument 2964  
Intersection of MD. Route 108 and Trotter Road  
Howard County Monument 2965  
an additional 2,544' Northeastern along MD. Route 108 away from Site

SHEET INDEX	
DESCRIPTION	SHEET NO.
Site Development Plan	1 of 4
Sediment & Erosion Control Plan	3 of 4



ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
34	12129 Early Lilacs Path
35	12125 Early Lilacs Path
36	12121 Early Lilacs Path
37	12117 Early Lilacs Path
38	12113 Early Lilacs Path
39	12109 Early Lilacs Path
40	12105 Early Lilacs Path
41	5883 Indian Summer Drive
233	5892 Indian Summer Drive
234	5896 Indian Summer Drive
235	5900 Indian Summer Drive
236	5936 Fall Moon Ride
237	5932 Fall Moon Ride
238	5920 Fall Moon Ride

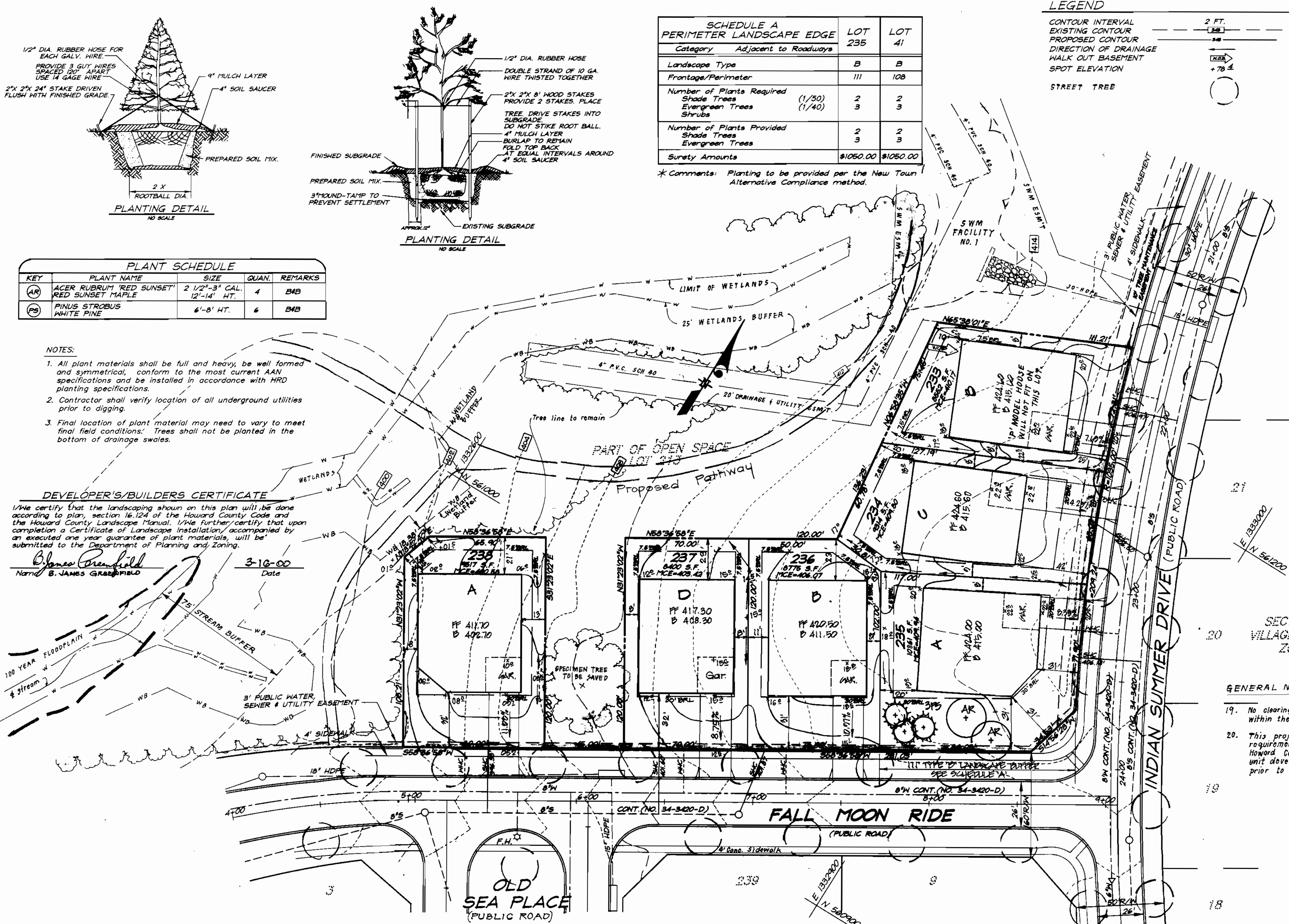
PLANT SCHEDULE				
KEY	PLANT NAME	SIZE	QUAN.	REMARKS
(AR)	ACER RUBRUM 'RED SUNSET'	2 1/2"-3" CAL.	4	BMB
(AR)	RED SUNSET MAPLE	12"-14" HT.	4	BMB
(PS)	PINUS STROBUS WHITE PINE	6'-8' HT.	6	BMB

- NOTES:**
- All plant materials shall be full and heavy, be well formed and symmetrical, conform to the most current AAN specifications and be installed in accordance with HRD planting specifications.
  - Contractor shall verify location of all underground utilities prior to digging.
  - Final location of plant material may need to vary to meet final field conditions. Trees shall not be planted in the bottom of drainage swales.

**DEVELOPER'S/BUILDERS CERTIFICATE**

I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

*Blanco Greenfield*  
Name: B. JAMES GREENFIELD  
Date: 3-16-00



SECTION 4 AREA 4  
VILLAGE OF RIVER HILL  
ZONED: NTSFLD

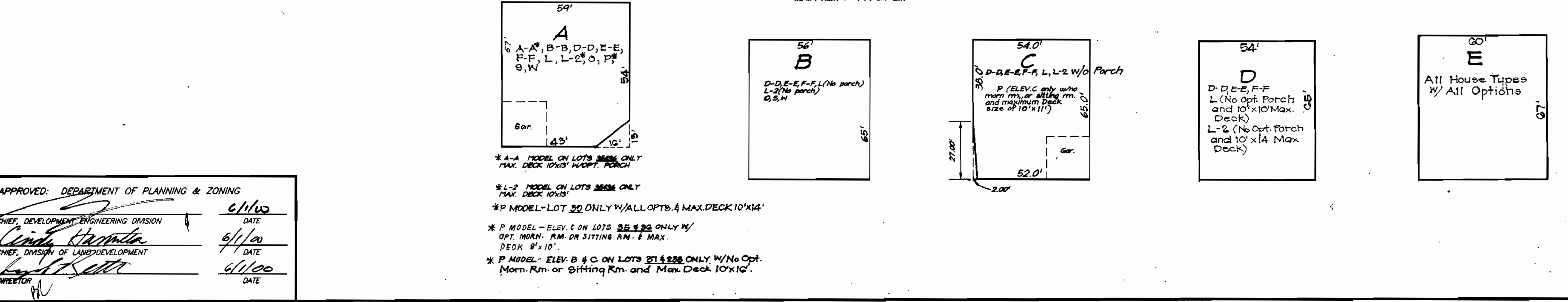
**GENERAL NOTES CONTINUED:**

- No clearing, grading or construction is permitted within the required wetlands, stream(s) or their buffers.
- This project is exempt from the forest conservation requirements per Section 18.1202(b)(1)(iv) of the Howard County Code because it is part of a planned unit development with preliminary plan approval prior to 12/31/92.
- For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R-23 & R-25.
- In accordance with FDP-Phase 222-A, Part 4, bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 3 feet into the front or rear setbacks. Exterior basement overhangs/stairways may not. Stormwater Management is provided per: F-96-130
- SHC Elevations shown are at the property lines.
- This plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and Landscape Manual. Financial Surety for the trees in schedule A in the amount of \$ 2,100 shall be part of the Builders Grading Permit Application (see schedule A - this sheet).

**OWNER / DEVELOPER**  
THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10275 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044

**SPECIAL NOTE:**

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-96-130 and/or approved Water and Sewer Plans Contract 1834-3420-D.



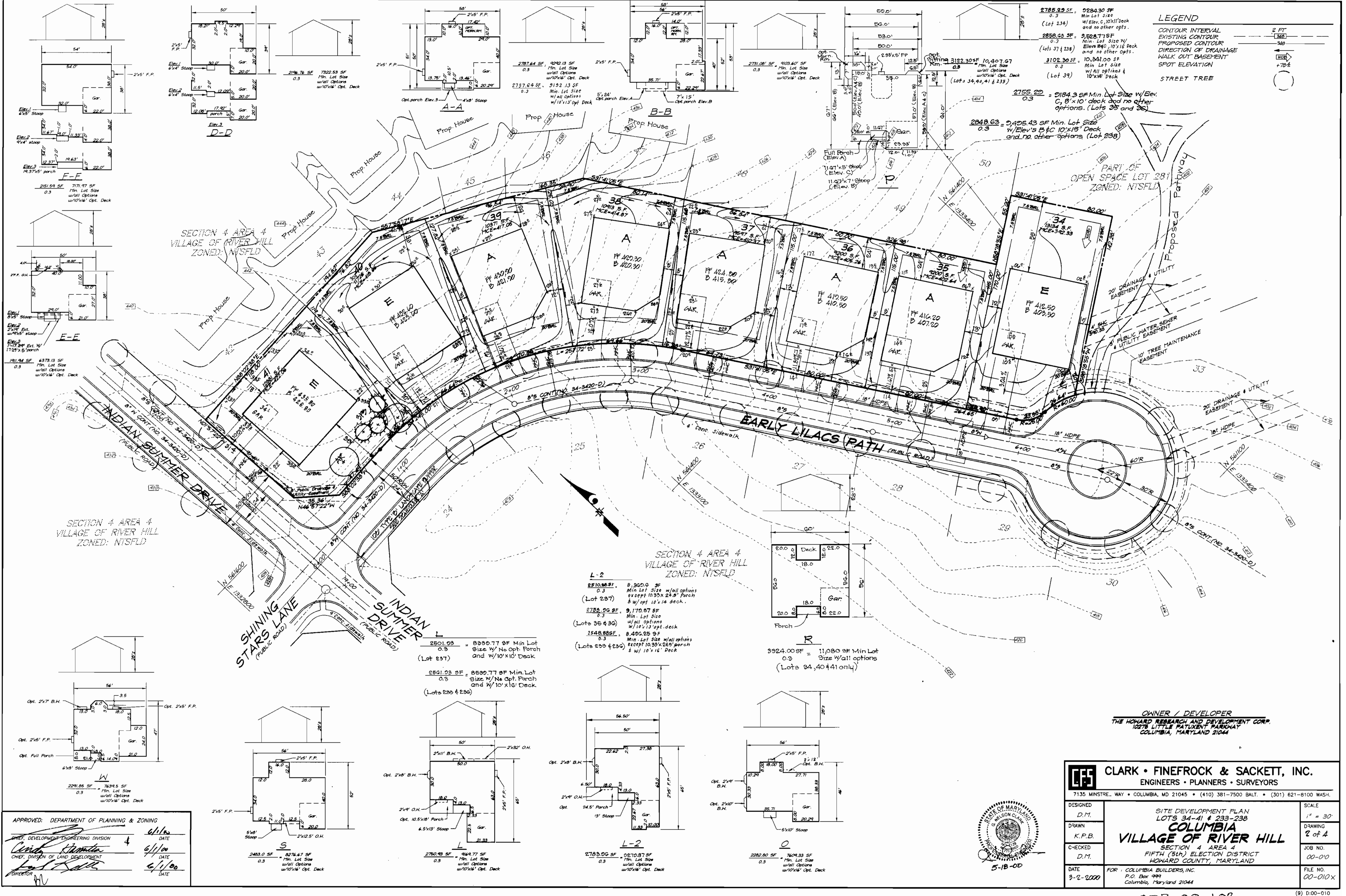
APPROVED: DEPARTMENT OF PLANNING & ZONING  
DATE: 6/1/00  
DATE: 6/1/00  
DATE: 6/1/00

SUBDIVISION NAME	COLUMBIA	SECTION/AREA	4/4	LOTS	34-41 & 233-238
PLAT NO.	12925 & 13206	BLOCK NO.	7	ZONE	NTSFLD
TAX MAP NO.	35	ELECTION DIST.	5TH	CENSUS TRACT	6055
WATER CODE	110	SEWER CODE	6653000		

**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS  
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALF. • (301) 621-8100 WASH.

DESIGNED	D.M.	SITE DEVELOPMENT PLAN LOTS 34-41 & 233-238 <b>COLUMBIA</b> <b>VILLAGE OF RIVER HILL</b> SECTION 4 AREA 4 FIFTH (5th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE	1" = 30'
DRAWN	K.P.B.		DRAWING	1 of 4
CHECKED	D.M.	JOB NO.	00-010	
DATE	3-2-2000	FOR: COLUMBIA BUILDERS, INC. P.O. Box 999 Columbia, Maryland 21044	FILE NO.	00-010X





**2785.29 SF** 0.3  
 (Lot 234)  
**2858.03 SF** 0.3  
 (Lots 37 & 238)  
**3102.30 SF** 0.3  
 (Lot 39)

**2785.29 SF** 0.3  
 Min Lot Size w/ Elev. C, 10'x16' Deck and no other opts.

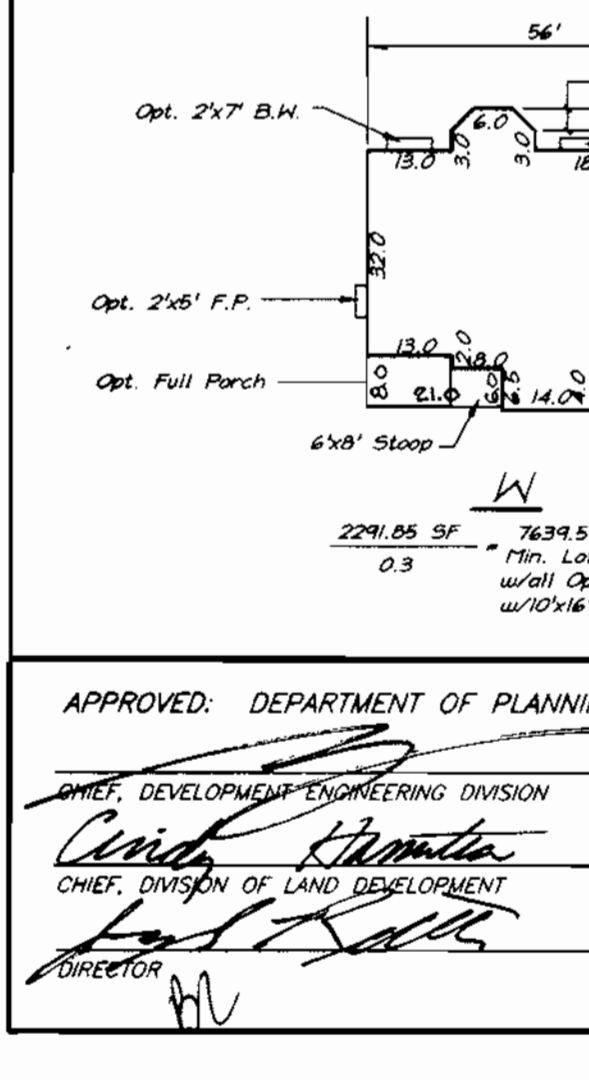
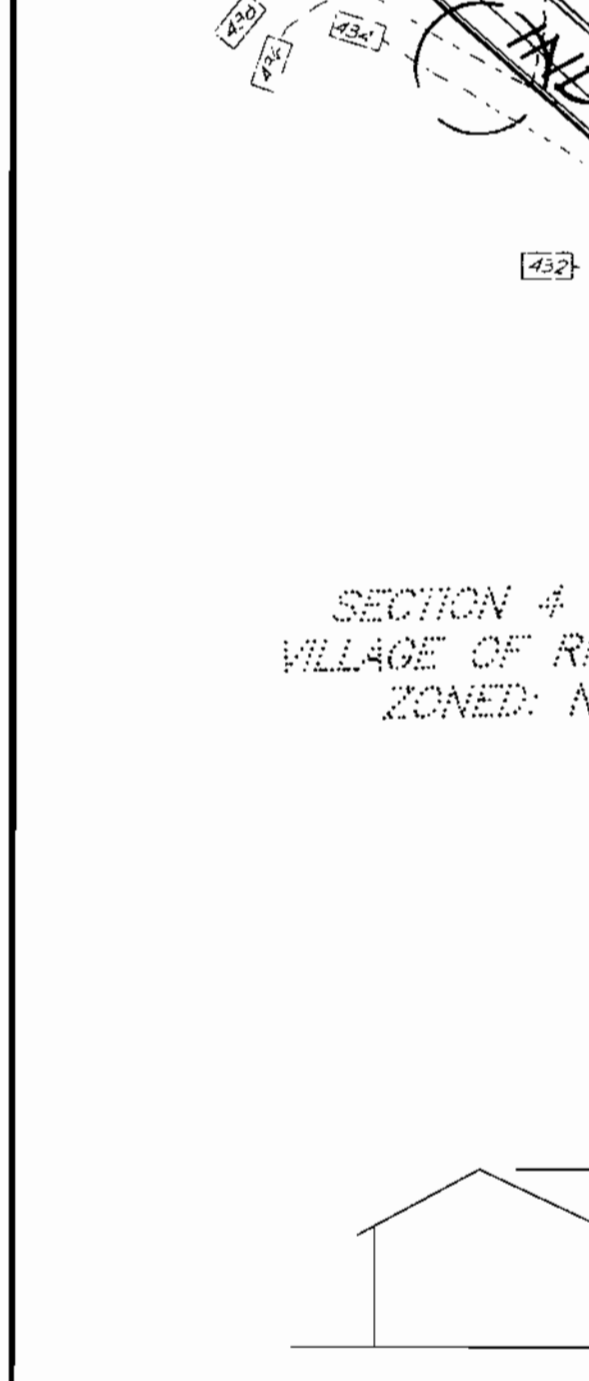
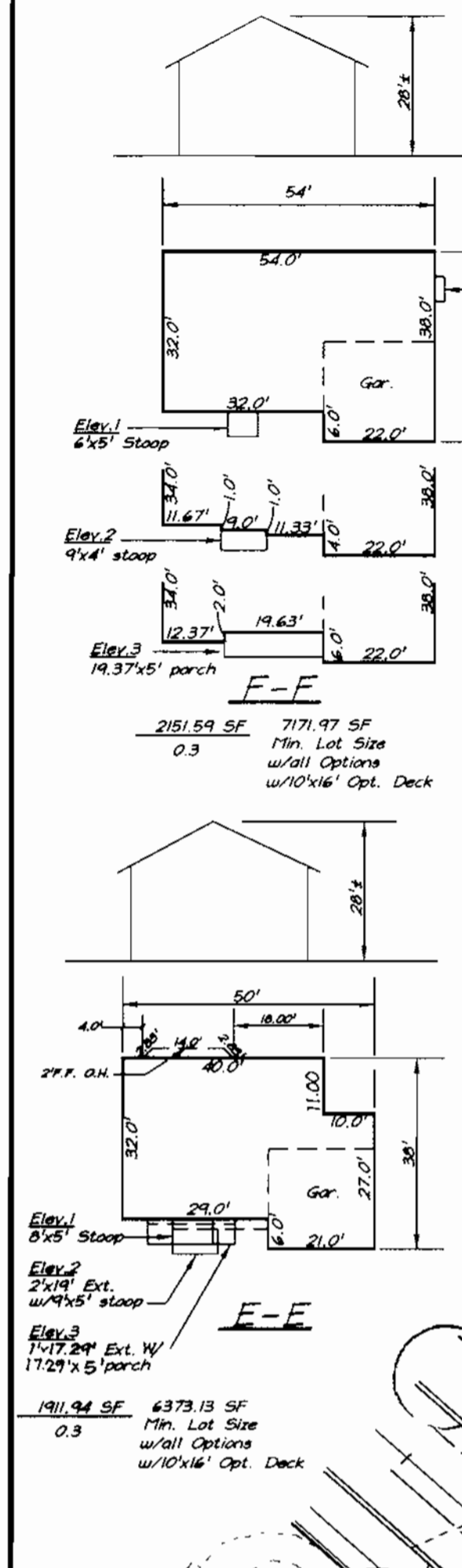
**2858.03 SF** 0.3  
 Min. Lot Size w/ Elev. B & C, 10'x16' Deck and no other opts.

**3102.30 SF** 0.3  
 Min Lot Size w/ All options & 10'x14' Deck

**LEGEND**

CONTOUR INTERVAL  
 EXISTING CONTOUR  
 PROPOSED CONTOUR  
 DIRECTION OF DRAINAGE  
 WALK OUT BASEMENT  
 SPOT ELEVATION  
 STREET TREE

2 FT  
 340  
 +78.4



APPROVED: DEPARTMENT OF PLANNING & ZONING

CHIEF, DEVELOPMENT & ENGINEERING DIVISION  
 DATE 6/1/00

CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE 6/1/00

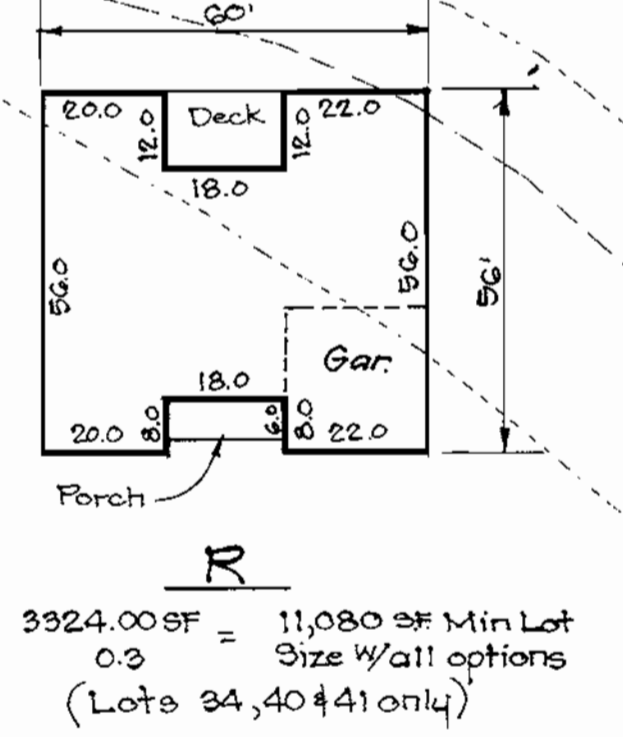
DIRECTOR  
 DATE 6/1/00

**L-2**  
**2510.88 SF** 0.3  
 (Lot 237)  
**2755.00 SF** 0.3  
 (Lots 35 & 36)  
**2548.88 SF** 0.3  
 (Lots 233 & 234)

**8,300.0 SF** Min. Lot Size w/all options except 10.33'x24.5' porch & w/opt 10'x14 deck.

**9,170.87 SF** Min. Lot Size w/all options w/10'x13' opt. deck

**8,400.25 SF** Min. Lot Size w/all options except 10.33'x24.5' porch & w/10'x16' Deck



**2501.09** 0.3  
 (Lot 237)  
**8350.77 SF** Min Lot Size w/ No Opt. Porch and w/10'x10' Deck

**2501.09 SF** 0.3  
 (Lots 233 & 234)  
**8590.77 SF** Min. Lot Size w/ No Opt. Porch and w/10'x10' Deck

**3924.00 SF** 0.3  
 (Lots 24, 40 & 41 only)  
**11,080 SF** Min Lot Size w/all options

**OWNER / DEVELOPER**  
 THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10278 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21044

**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTRE... WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

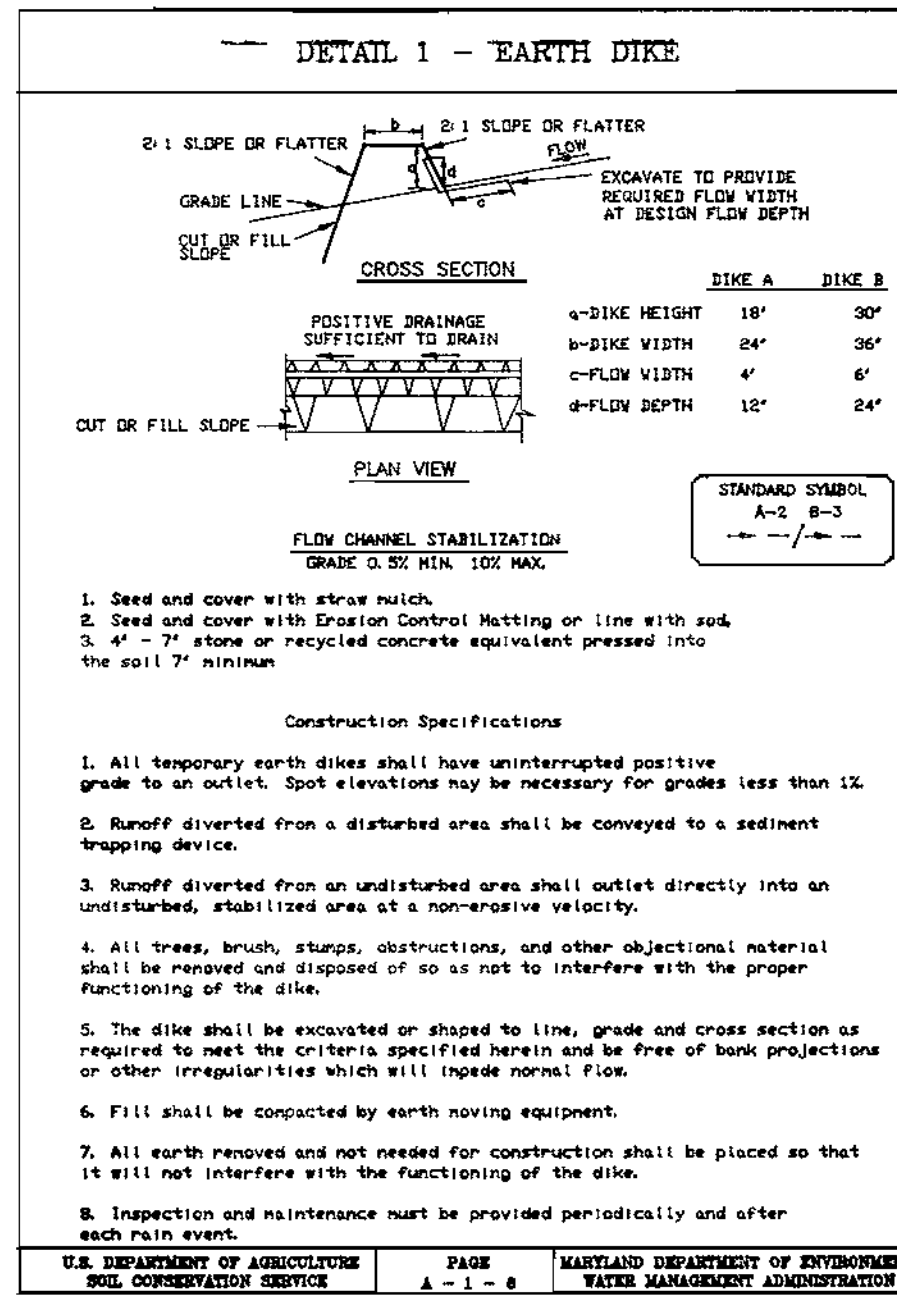
DESIGNED D.M.  
 DRAWN K.P.B.  
 C-CHECKED D.M.  
 DATE 3-2-2000

**SITE DEVELOPMENT PLAN**  
 LOTS 34-41 & 233-238  
**COLUMBIA**  
 VILLAGE OF RIVER HILL  
 SECTION 4 AREA 4  
 FIFTH (5th) ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

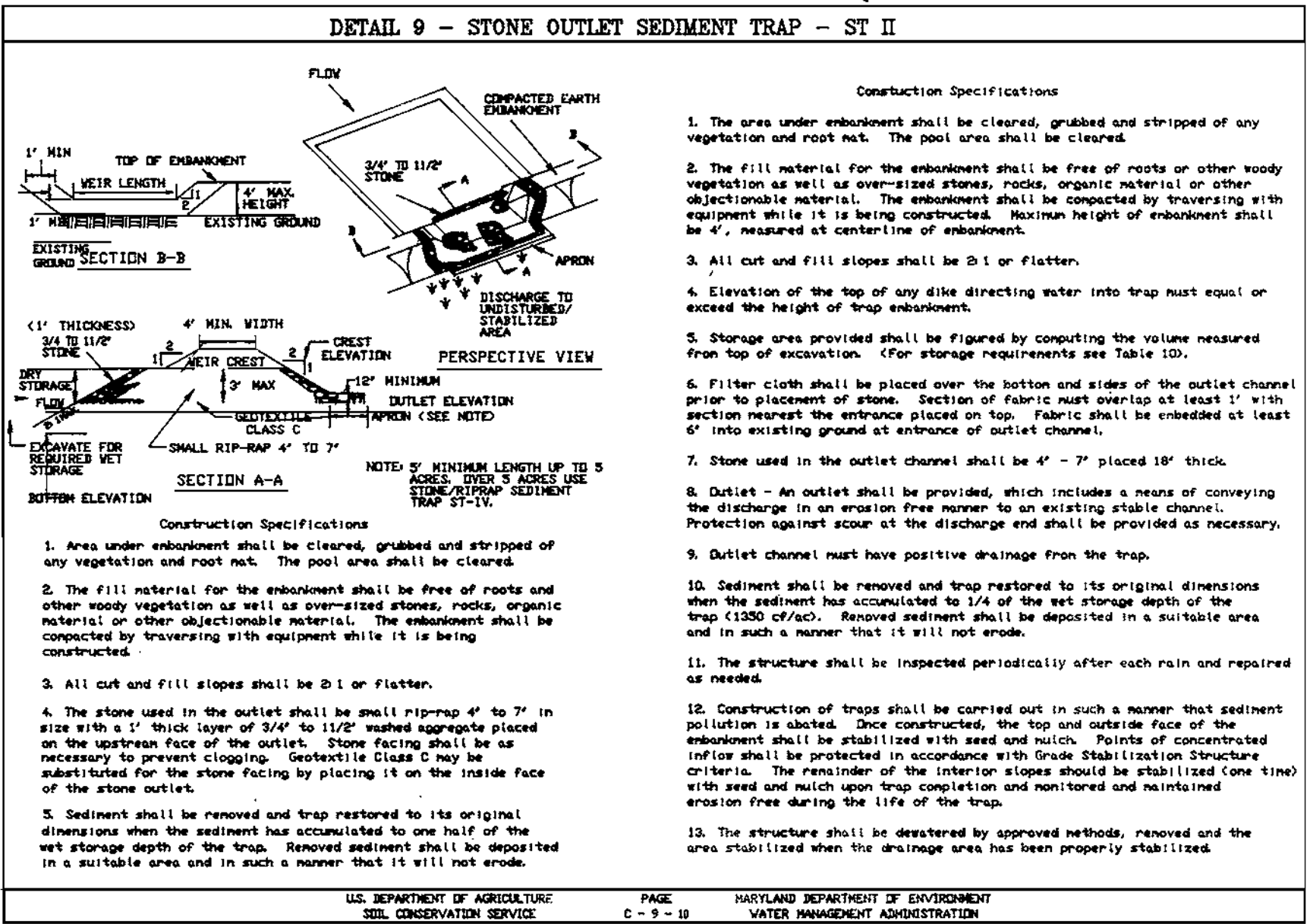
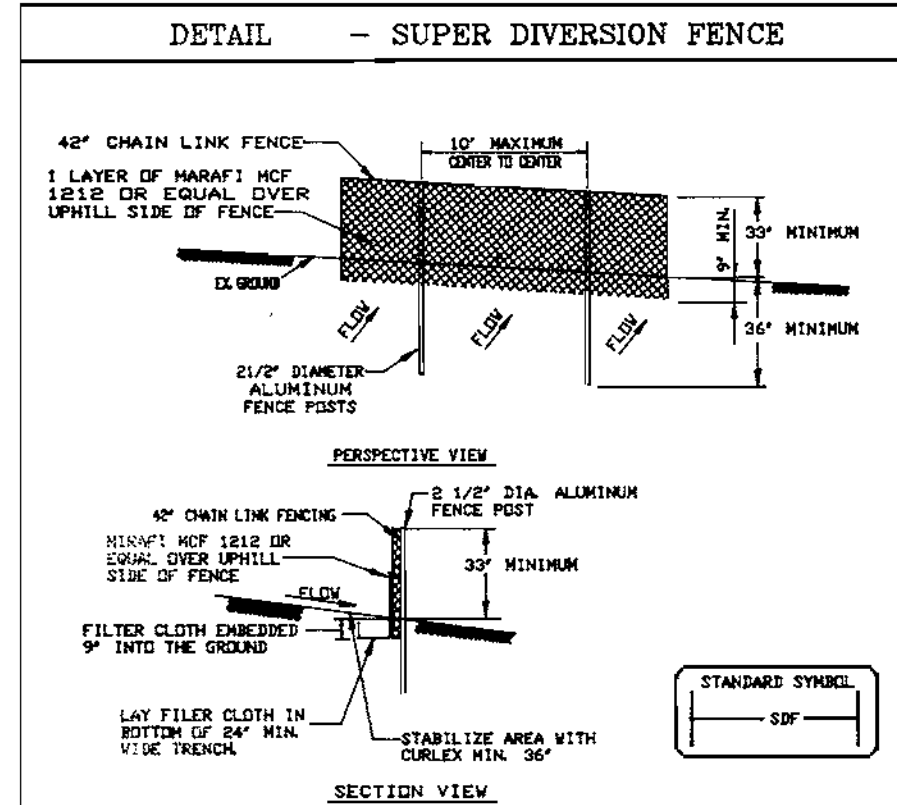
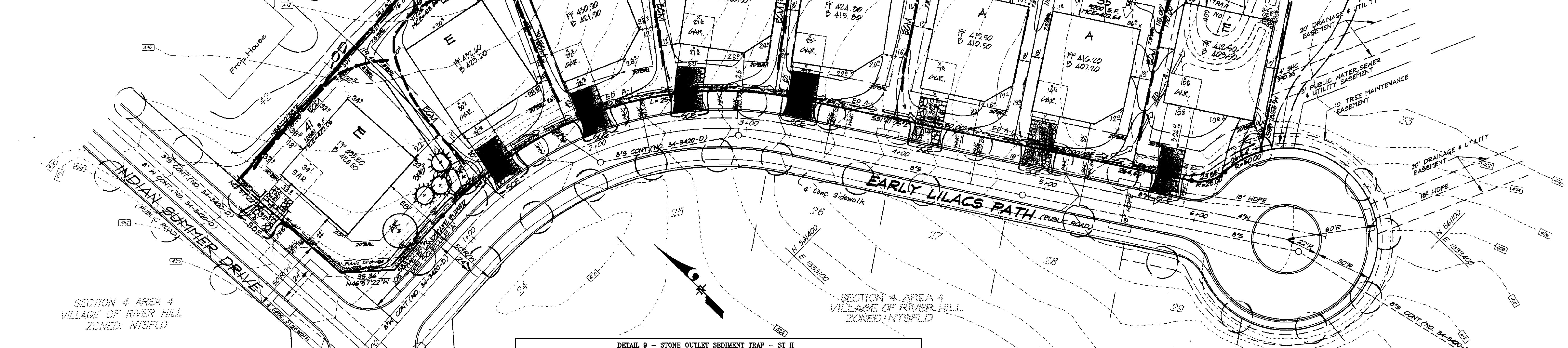
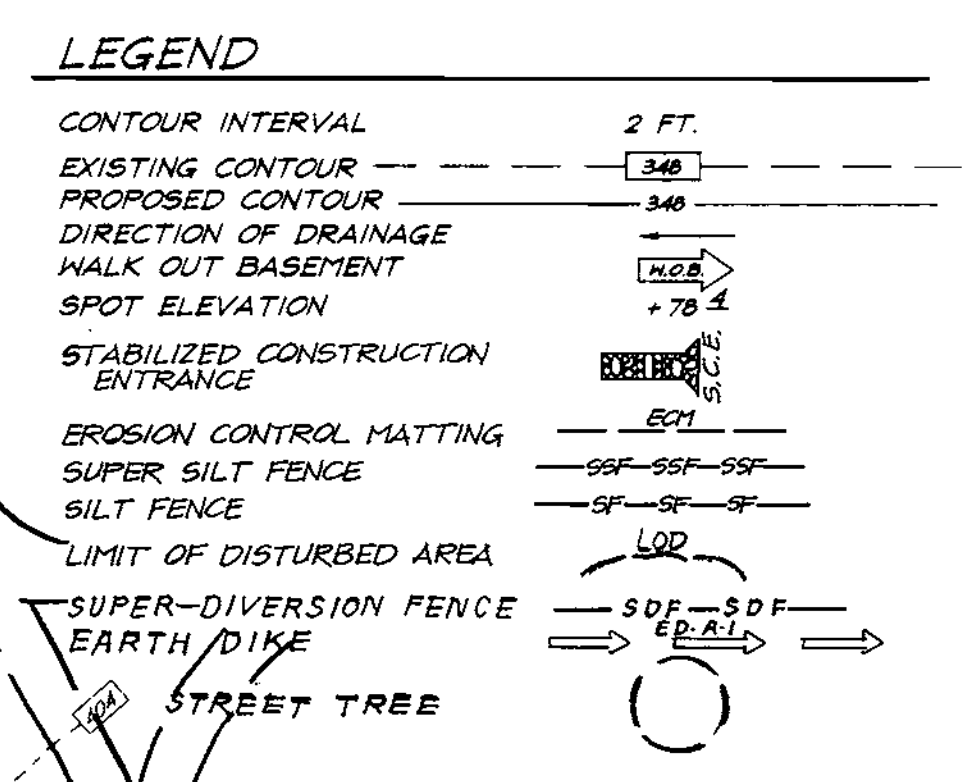
SCALE 1" = 30'  
 DRAWING 2 of 4  
 JOB NO. 00-010  
 FILE NO. 00-010 X

FOR: COLUMBIA BUILDERS, INC.  
 P.O. Box 999  
 Columbia, Maryland 21044





TRAP NUMBER 1	(SOST) TYPE II
DRAINAGE AREA =	1.3 AC
WET STORAGE REQUIRED =	2,340 CF
WET STORAGE PROVIDED =	2,800 CF
WET STORAGE ELEVATION =	4.02
STONE OUTLET ELEVATION =	4.03
DRY STORAGE REQUIRED =	2,340 CF
DRY STORAGE PROVIDED =	2,340 CF
STONE CREST ELEVATION =	4.03
TOP OF DAM ELEVATION =	4.04
DREST LENGTH =	10'
BOTTOM ELEVATION =	4.00
BOTTOM DIMENSIONS =	23' x 46'
CLEANOUT ELEVATION =	4.01
DRY STORAGE ELEVATION =	4.03



APPROVED: DEPARTMENT OF PLANNING & ZONING

DATE: 4/10/00

DATE: 4/10/00

DATE: 4/10/00

Reviewed for: HOWARD S.C.D. and Technical Requirements of the U.S. National Resource Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL, EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Roberts 5/31/00

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

Blaine Greenfield 3-16-00

JAMIE B. JAMES GREENFIELD

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

G. NELSON CLARK 3-17-00

OWNER / DEVELOPER  
THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10275 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044

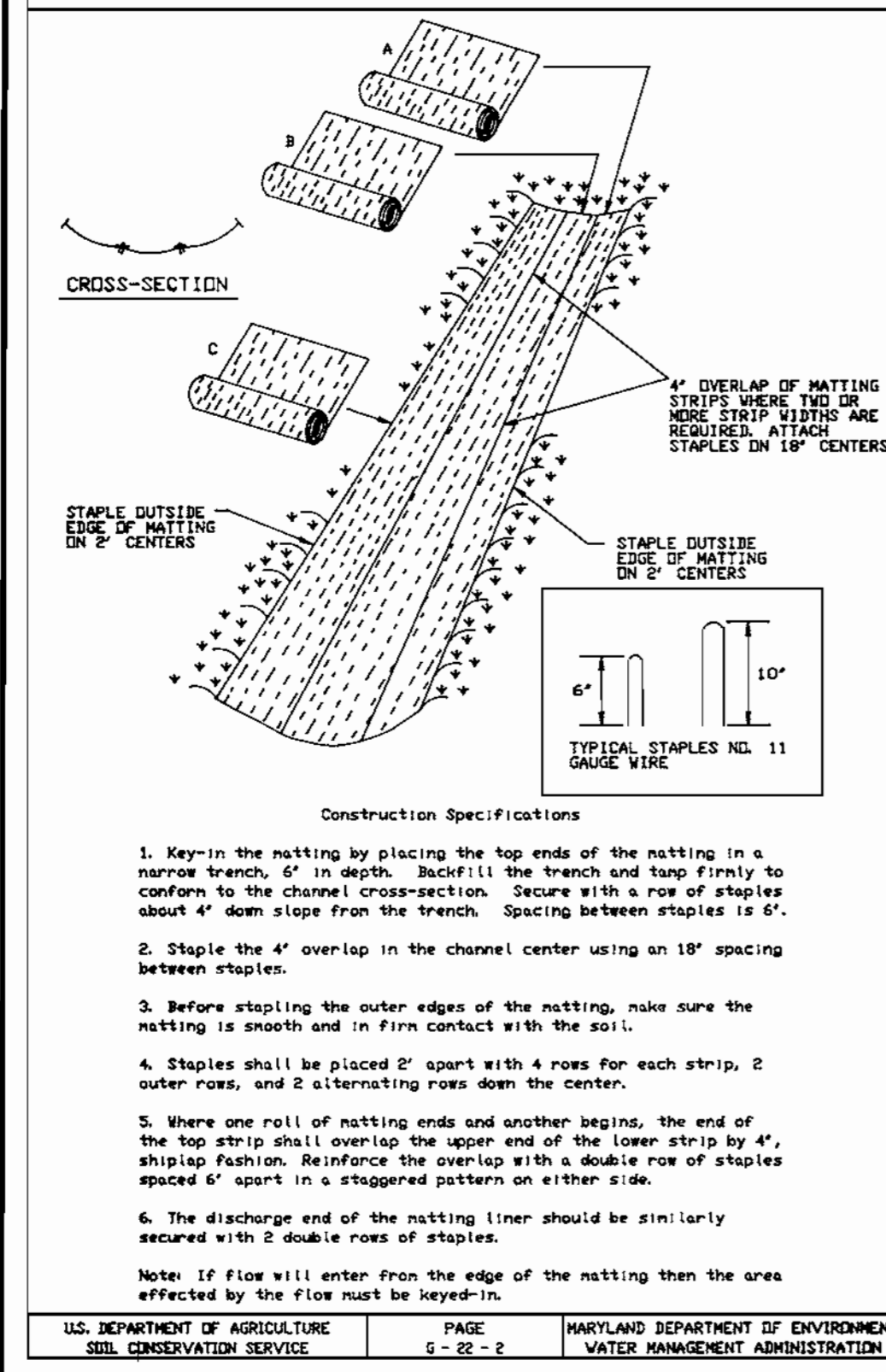
**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS

7135 MINISTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

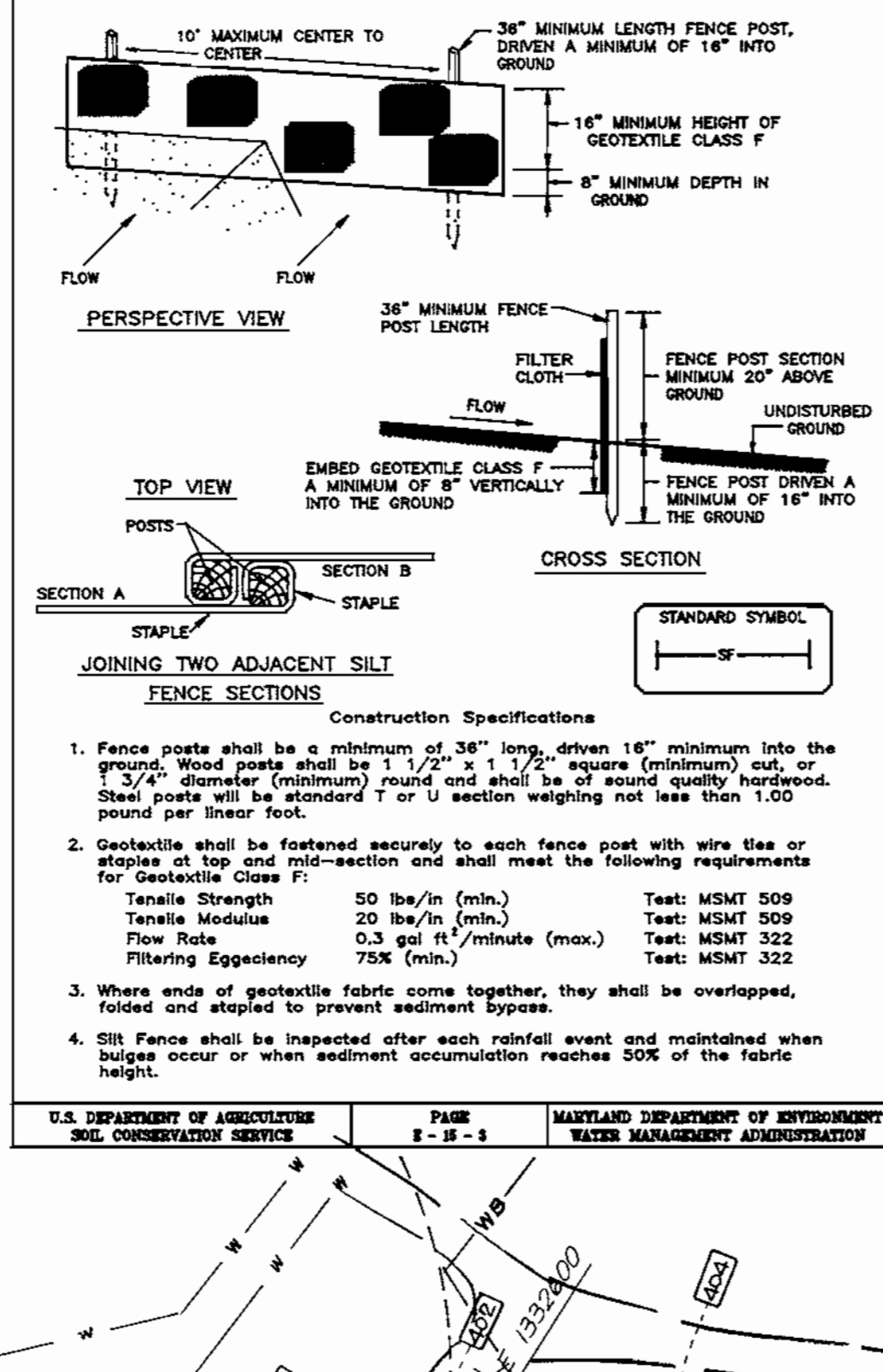
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DRAWN K.P.B.	LOTS 34-41 & 233-238	DRAWING 3 of 4
CHECKED D.M.	<b>COLUMBIA</b> SECTION 4, AREA 4	JOB NO. 00-010
DATE 3-2-2000	FIFTH (5th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	FILE NO. 00-0105E

FOR: COLUMBIA BUILDERS, INC.  
P.O. Box 999  
Columbia, Maryland 21044

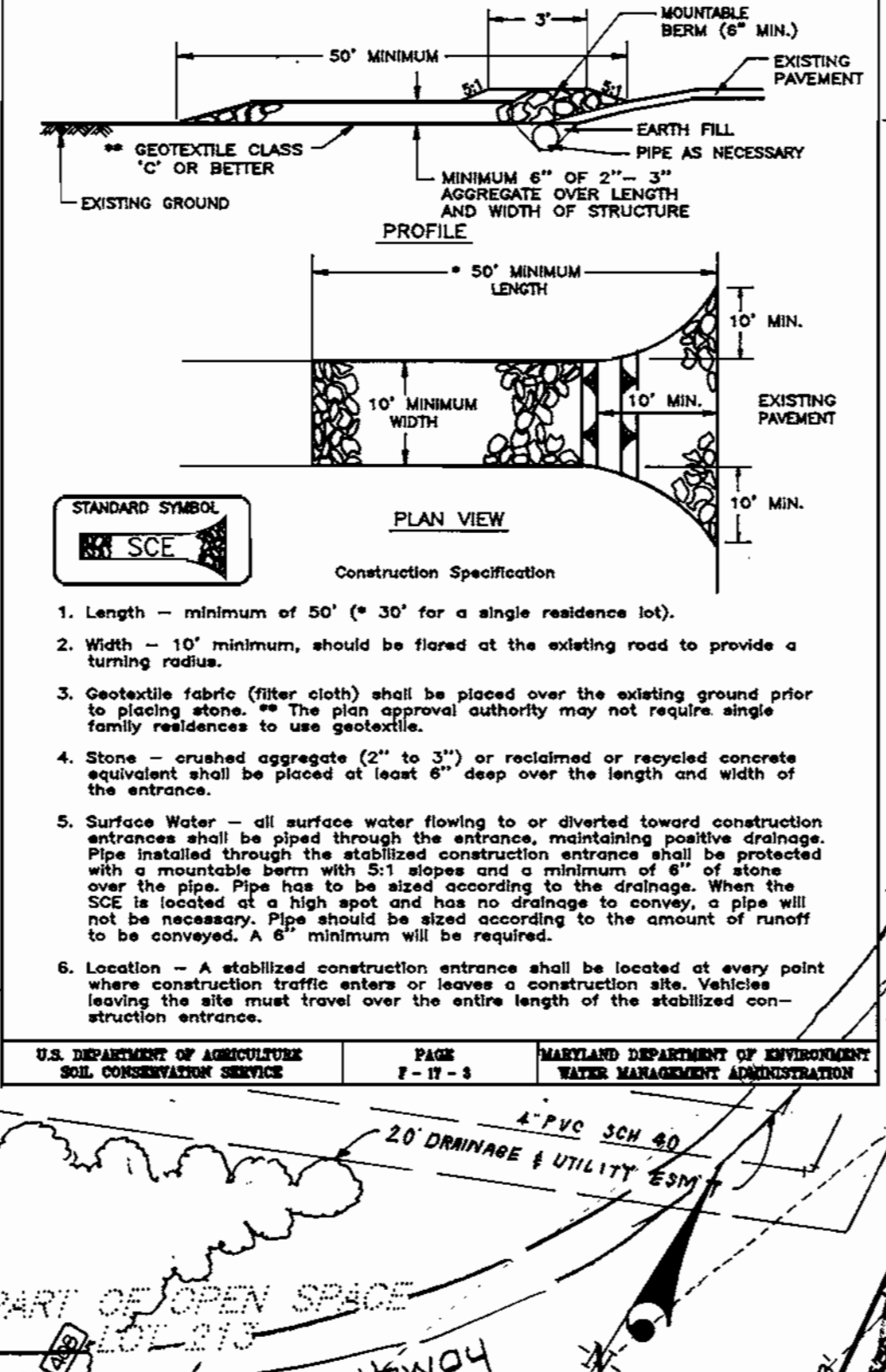
**DETAIL 30 - EROSION CONTROL MATTING**



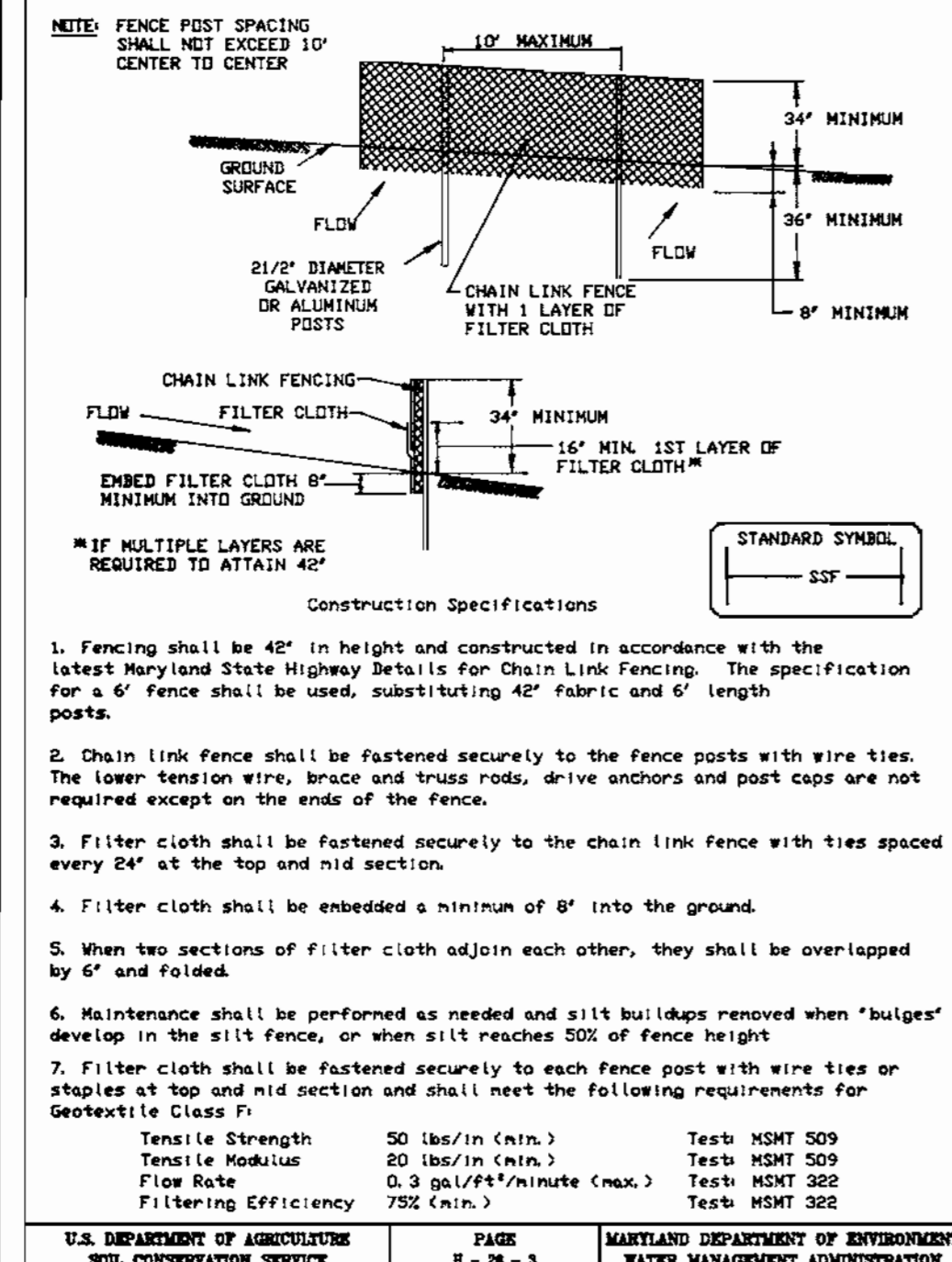
**DETAIL 22 - SILT FENCE**



**DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE**



**DETAIL 33 - SUPER SILT FENCE**



**APPROVED: DEPARTMENT OF PLANNING & ZONING**

DATE: 6/1/00  
 DATE: 6/1/00  
 DATE: 6/1/00

Reviewed for HOWARD S.C.D. and its Technical Requirements and this Technical Requirements U.S. National Resource Conservation Service

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I hereby certify that all development and construction will be done according to this plan of approval and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

NAME: B. JAMES GREENFIELD DATE: 3-16-00

**ENGINEER'S CERTIFICATE**

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

G. NELSON CLARK DATE: 3-17-00

**21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL**

**Definition**  
 Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

**Purpose**  
 To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, moderate toxic to plants, and/or unacceptable soil gradation.

**Conditions Where Practice Applies**

- This practice is limited to areas having 2:1 or flatter slopes where:
  - The texture of the exposed subsoil/parent material is not adequate to produce vegetable growth.
  - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
  - The original soil to be vegetated contains material toxic to plants grown.
  - The soil is so acidic that treatment with lime is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

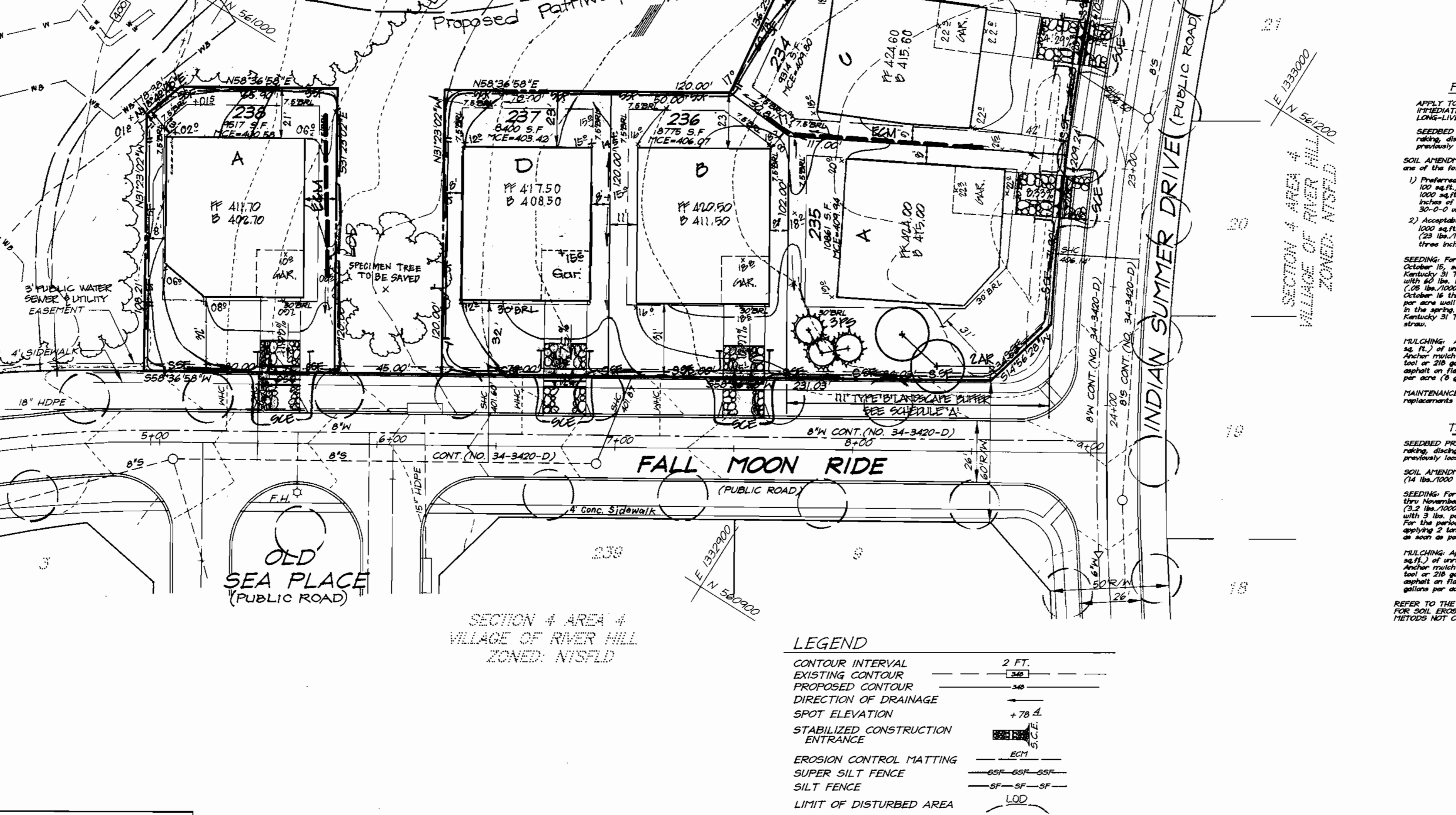
**Construction and Material Specifications**

- Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications. Typically, the depth of topsoil to be salvaged shall be given on the plans. The representative soil profile section in the Soil Survey publication, NCS-3 in cooperation with Maryland Agricultural Experiment Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
  - Topsoil shall be a loam, sandy loam, clay loam, all loam, sandy clay loam, heavy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall contain less than 5% by volume of organic material, such as coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 and 1/2" in diameter.
  - Topsoil must be free of plants or plant parts such as Berries, thorns, greenhouses, netting, paper, twine, or other as specified.
  - If the subsoil is either highly acidic or composed of heavy clay, the topsoil shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

**CONSTRUCTION SEQUENCE:**

NO. OF DAYS	
1	Obtain grading permit.
2	Install line protection fence.
3	Install sediment and erosion control devices and stabilize.
4	Excavate for foundations, rough grade and temporarily stabilize.
5	Construct structures, sidewalks and driveways.
6	Final grade, install Erosion Control Matting and stabilize in accordance with standards and specifications.
7	Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize.

\* Delay construction of houses on lots 3, 4.



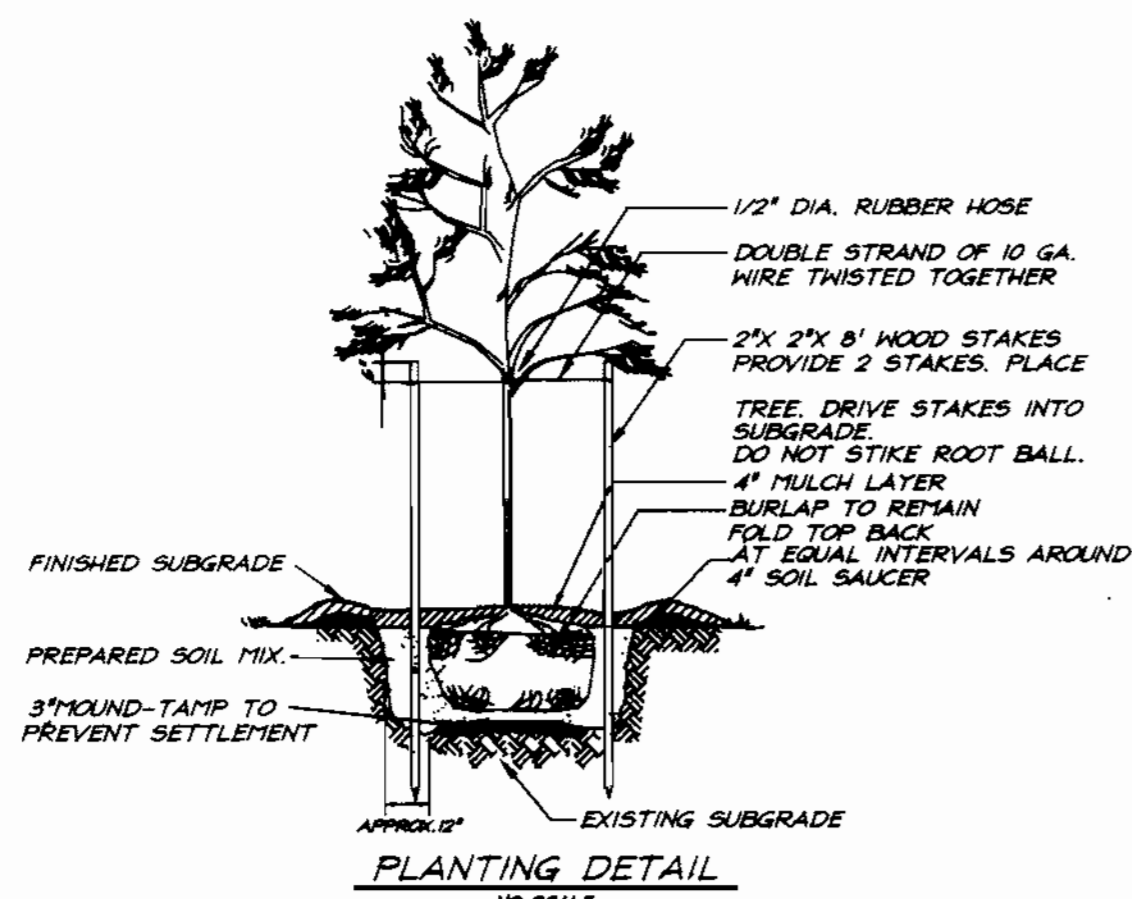
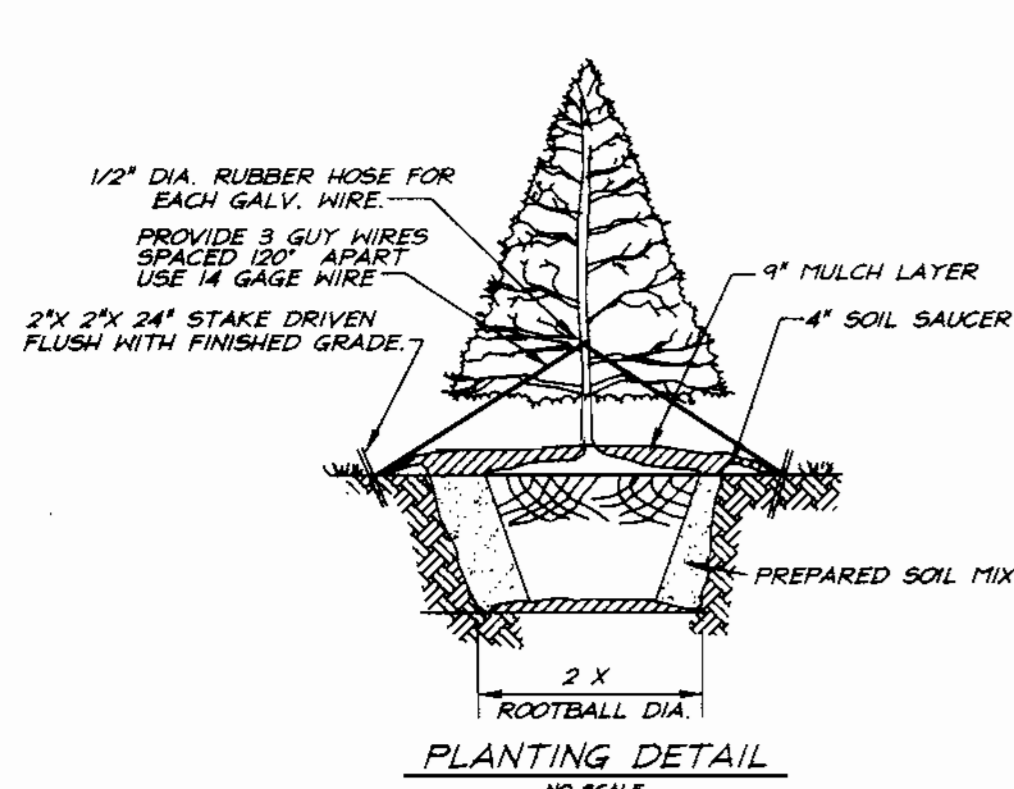
**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WAS-H.

DESIGNED	D.M.	SCALE
DRAWN	K.P.B.	1" = 30'
CHECKED	D.M. <td>JOB NO.</td>	JOB NO.
DATE	3-2-2000	00-010

**SEDIMENT AND EROSION CONTROL PLAN, NOTES & DETAILS**  
 LOTS 34-41 & 233-238  
**COLUMBIA VILLAGE OF RIVER HILL**  
 SECTION 4 AREA 4  
 FIFTH (5th) ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

FOR: COLUMBIA BUILDERS, INC.  
 P.O. Box 999  
 Columbia, Maryland 21044

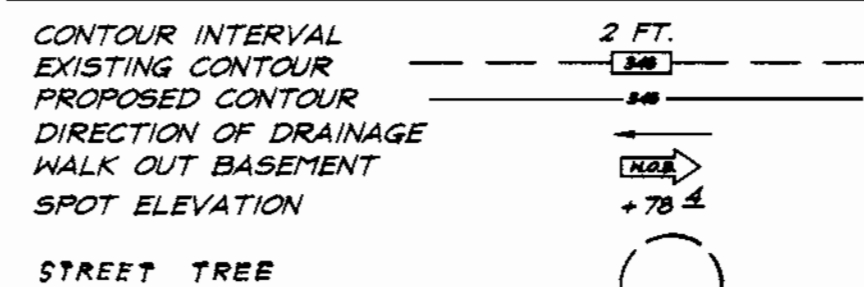
FILE NO. 00-0109E



SCHEDULE A PERIMETER LANDSCAPE EDGE		
Category	Adjacent to Roadways	Adjacent to Other
Landscape Type	B	B
Frontage/Perimeter	111	108
Number of Plants Required		
Shade Trees	(1/50)	2
Evergreen Trees	(1/40)	3
Shrubs		3
Number of Plants Provided		
Shade Trees	2	2
Evergreen Trees	3	3
Surety Amounts	\$1050.00	\$1050.00

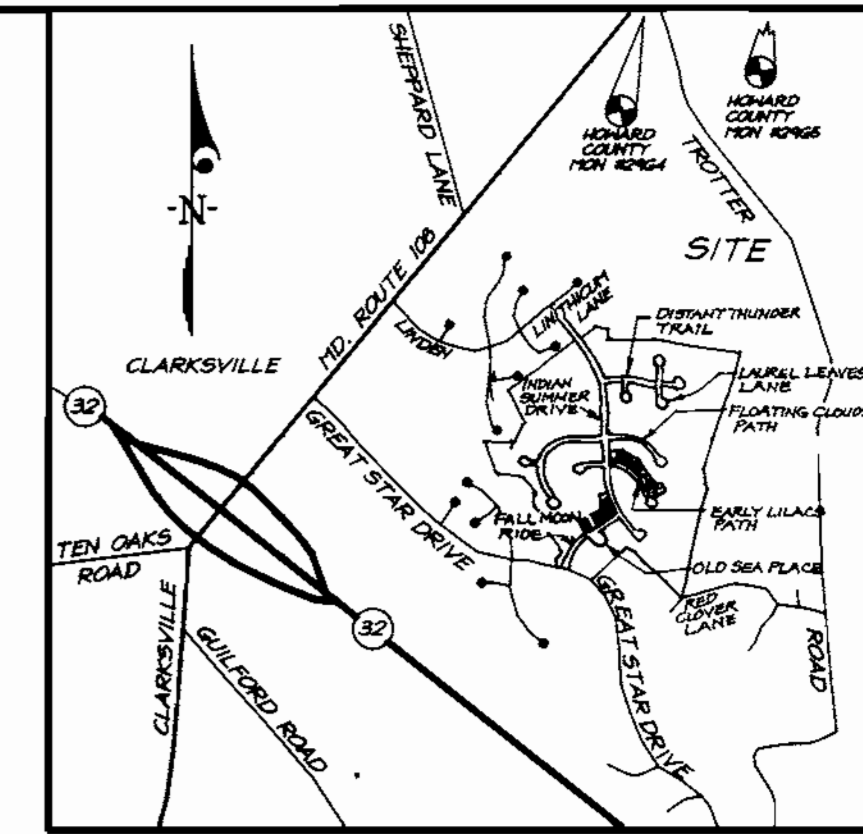
\*Comments: Planting to be provided per the New Town Alternative Compliance method.

**LEGEND**



**BENCHMARKS:**

Howard County Monument 2954  
Intersection of MD. Route 108 and Trotter Road  
Howard County Monument 2965  
an additional 2,544' Northeastly  
along MD. Route 108 away from Site



**VICINITY MAP**  
Scale: 1"=2000'

SHEET INDEX	
DESCRIPTION	SHEET NO.
Site Development Plan	1 & 2 of 4
Sediment & Erosion Control Plan	3 & 4 of 4

**ADDRESS CHART**

LOT NUMBER	STREET ADDRESS
34	12129 Early Lilia Path
35	12125 Early Lilia Path
36	12121 Early Lilia Path
37	12117 Early Lilia Path
38	12113 Early Lilia Path
39	12109 Early Lilia Path
40	12105 Early Lilia Path
41	5883 Indian Summer Drive
238	5892 Indian Summer Drive
234	5896 Indian Summer Drive
236	5900 Indian Summer Drive
235	5936 Fall Moon Ride
237	5932 Fall Moon Ride
238	5920 Fall Moon Ride

PLANT SCHEDULE				
KEY	PLANT NAME	SIZE	QUAN.	REMARKS
AR	ACER RUBRUM 'RED SUNSET'	2 1/2"-3" CAL.	4	BAB
AR	RED SUNSET MAPLE	12'-14' HT.	4	BAB
PS	PINUS STROBUS	6'-8' HT.	6	BAB
PS	WHITE PINE			

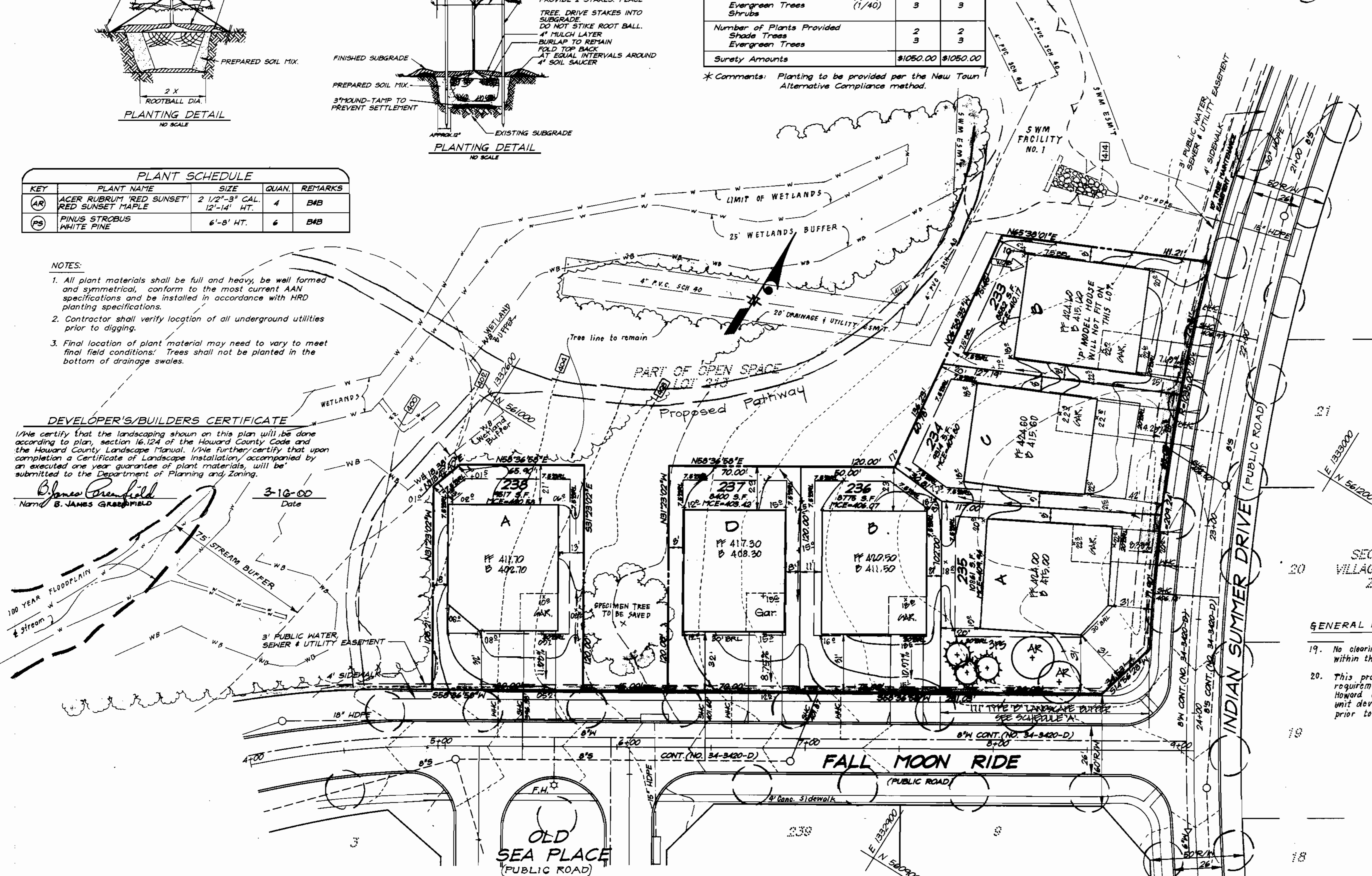
**NOTES:**

- All plant materials shall be full and heavy, be well formed and symmetrical, conform to the most current AAN specifications and be installed in accordance with HRD planting specifications.
- Contractor shall verify location of all underground utilities prior to digging.
- Final location of plant material may need to vary to meet final field conditions. Trees shall not be planted in the bottom of drainage swales.

**DEVELOPER'S/BUILDERS CERTIFICATE**

I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

*B. James Greenfield*  
Name: B. JAMES GREENFIELD  
Date: 3-16-00



SECTION 4 AREA 4  
VILLAGE OF RIVER HILL  
ZONED: NTSFLD

**GENERAL NOTES CONTINUED:**

- No clearing, grading or construction is permitted within the required wetlands, stream(s) or their buffers.
- This project is exempt from the forest conservation requirements per Section 16.1202(b)(1)(iv) of the Howard County Code because it is part of a planned unit development with preliminary plan approval prior to 12/31/92.
- In accordance with FDP-Phase 222-A, Part 4 bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 3 feet into the front or rear setbacks. Exterior basement stairways/stairways may not protrude into the yard.
- Stormwater management is provided per: F-96-130
- SHC Elevations shown are at the property lines.
- This plan has been prepared in accordance with the provisions of section 16.124 of the Howard County code and Landscape Manual. Financial Surety for the trees in schedule A in the amount of \$ 2,100 shall be part of the Builders Grading Permit Application (see schedule A - this sheet).

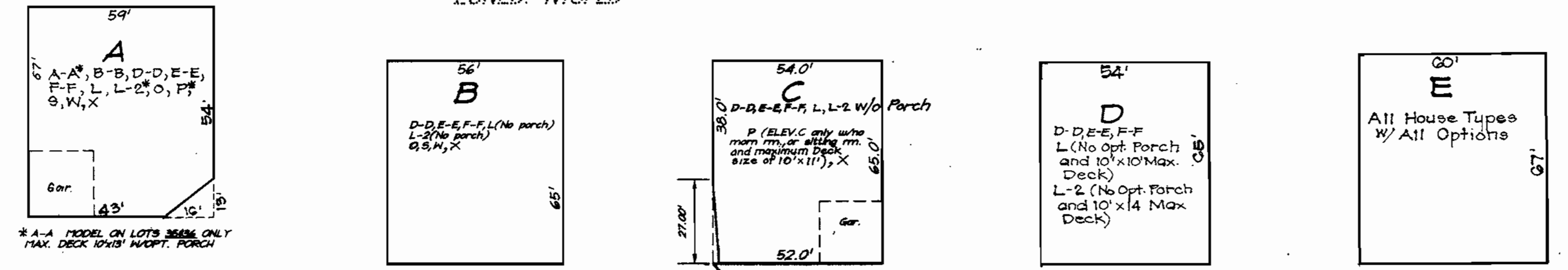
**OWNER / DEVELOPER**  
THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10276 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044

**SPECIAL NOTE:**  
This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-96-130 and/or approved Water and Sewer Plans Contract 834-3420-D.

NO.	REVISIONS	DATE
1	Add X hse. typical	9-1-00
2	REVISIONS	DATE

APPROVED: DEPARTMENT OF PLANNING & ZONING  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DIRECTOR

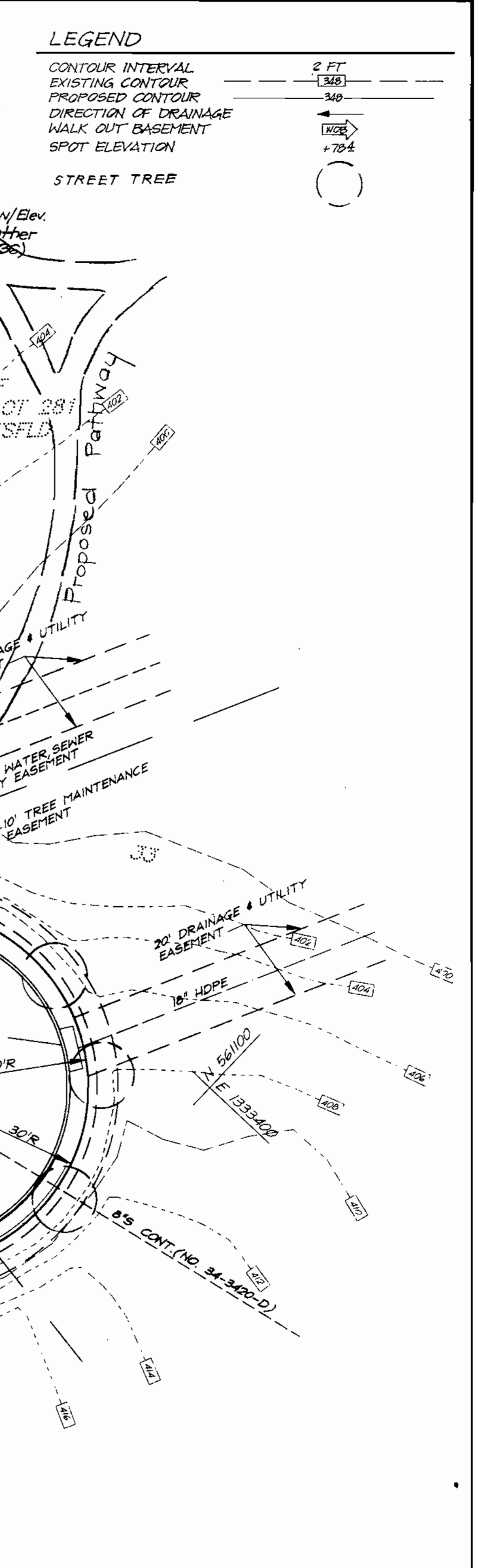
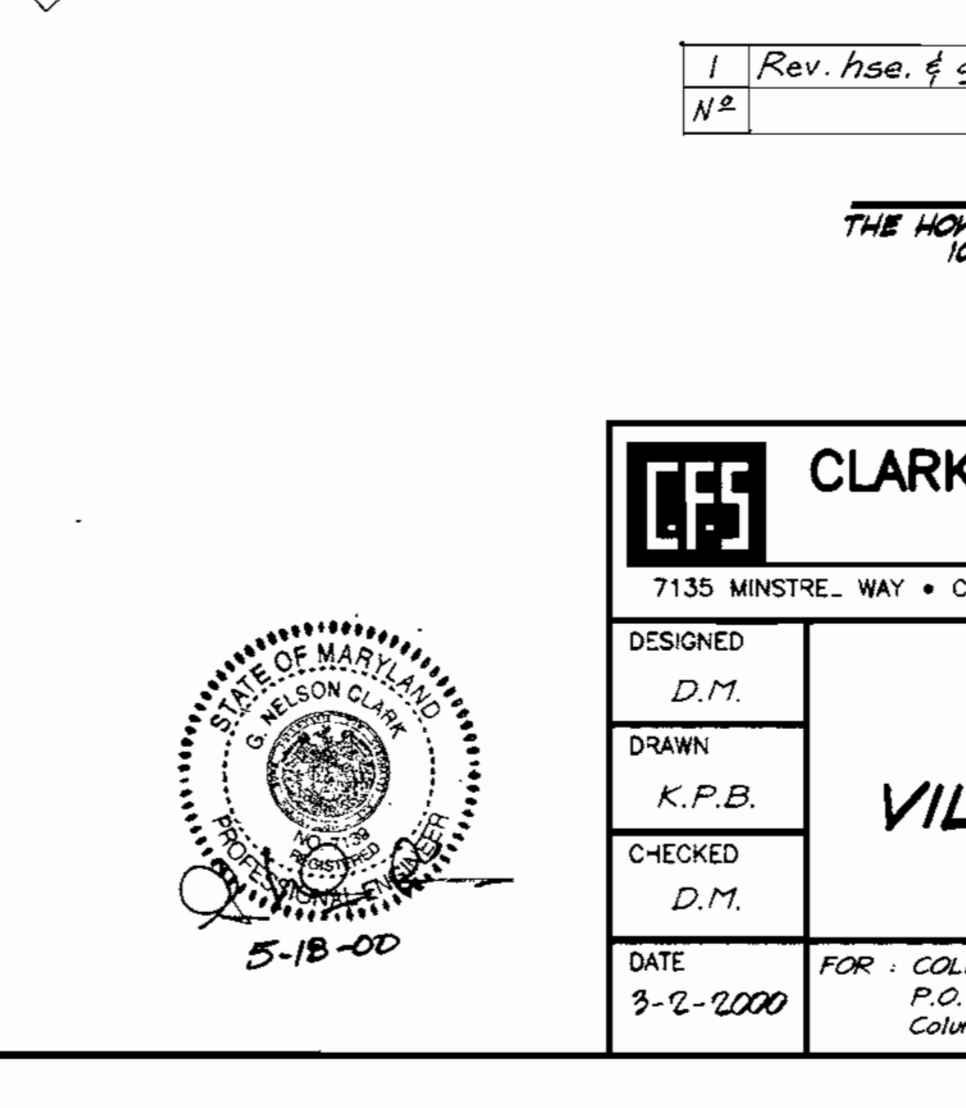
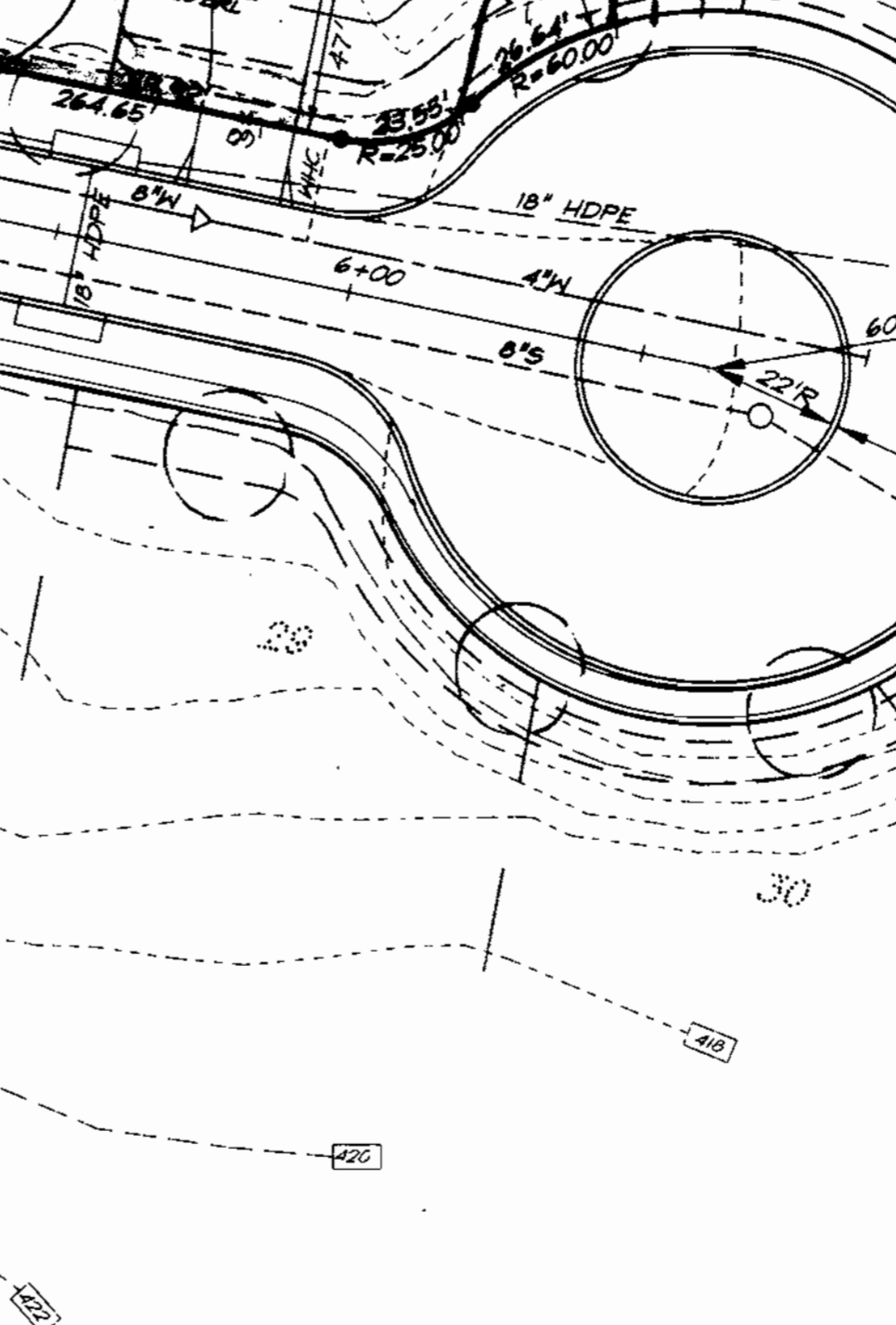
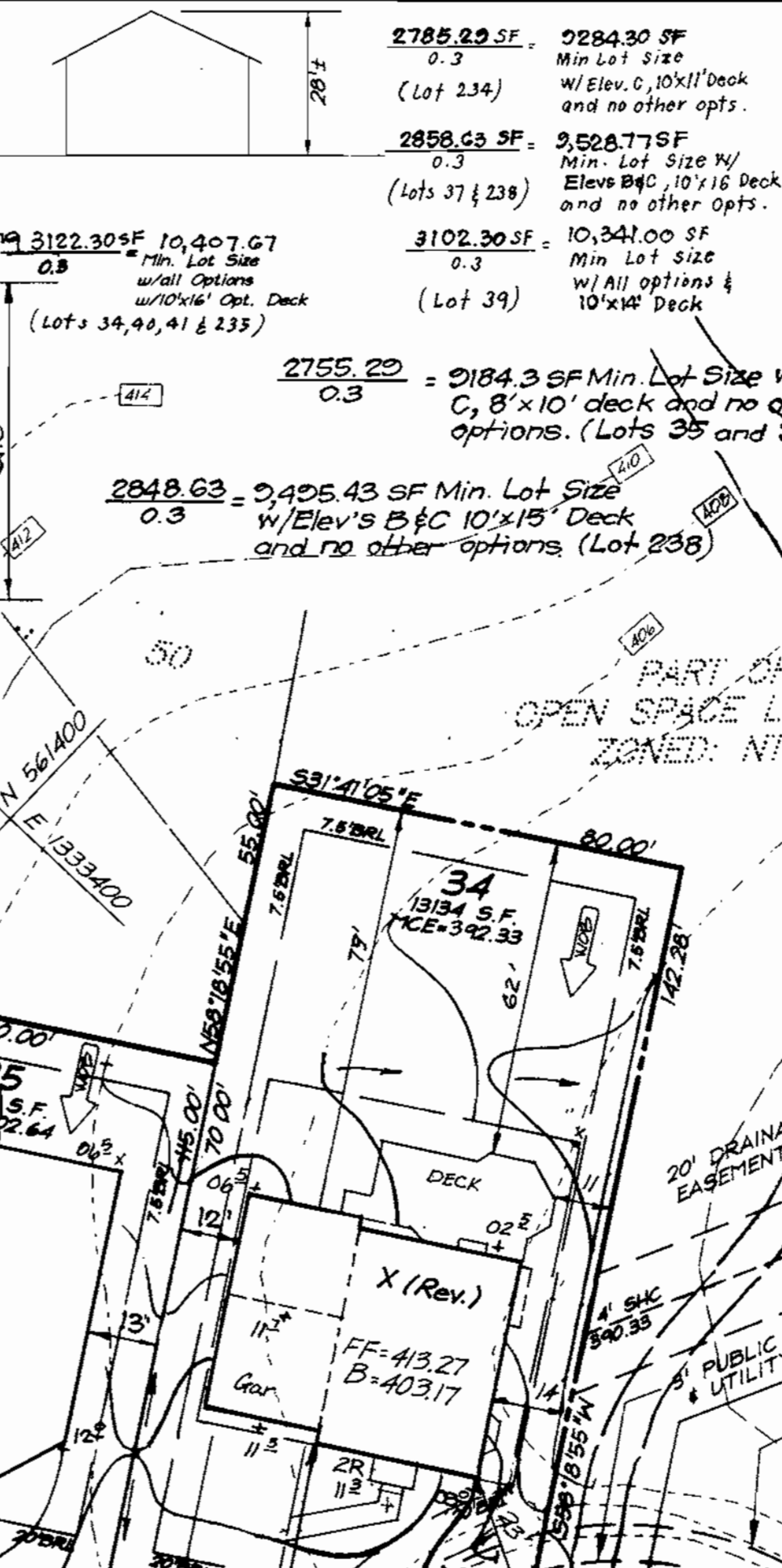
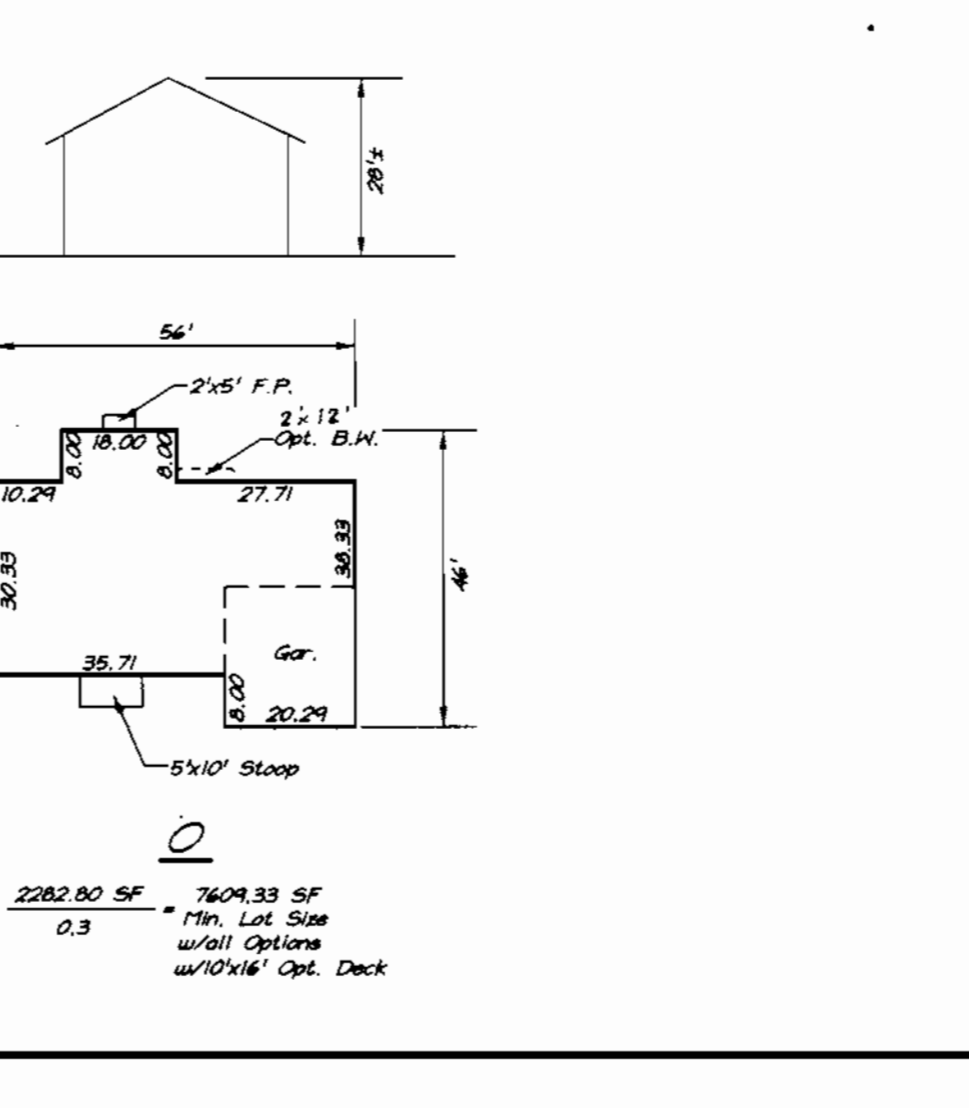
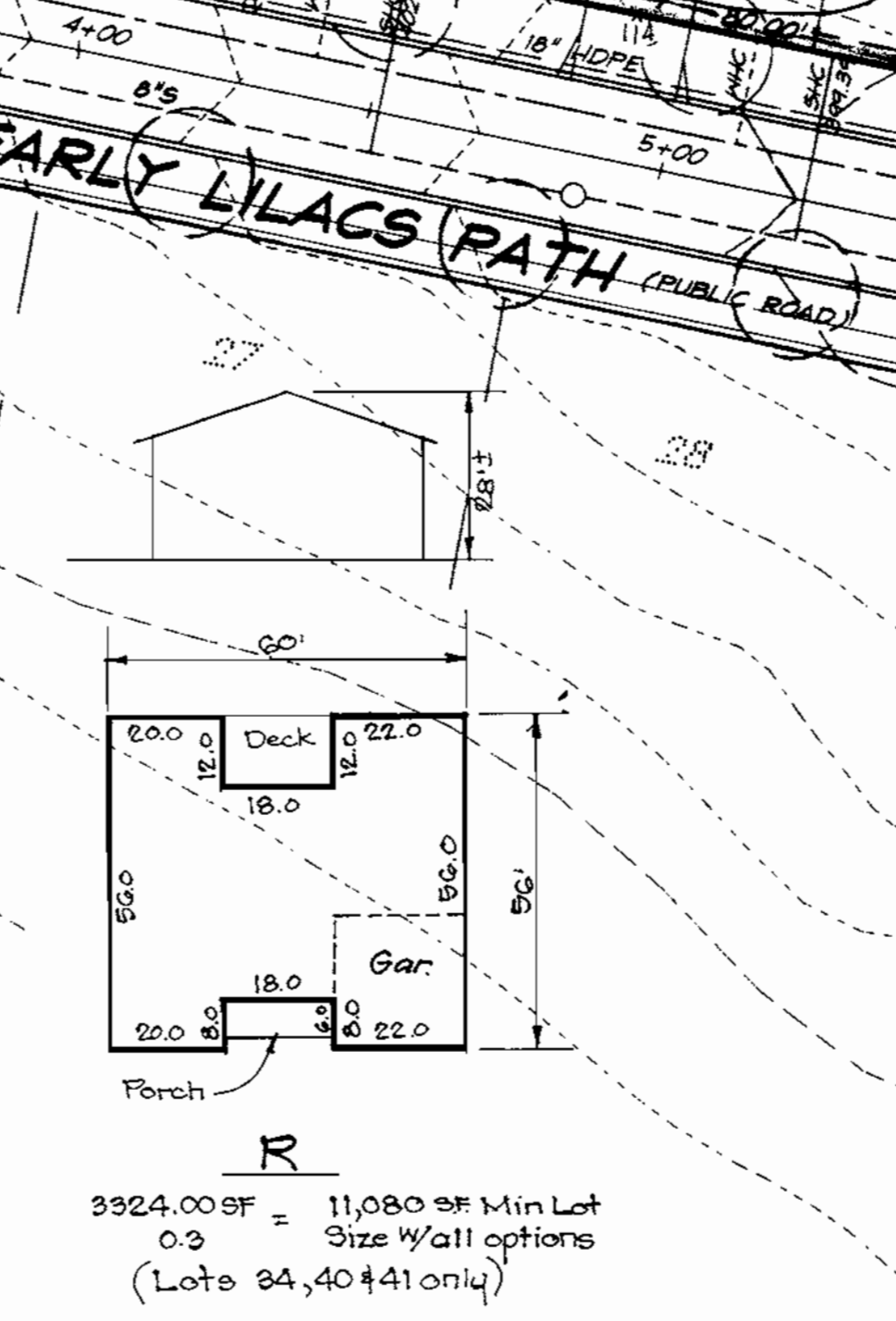
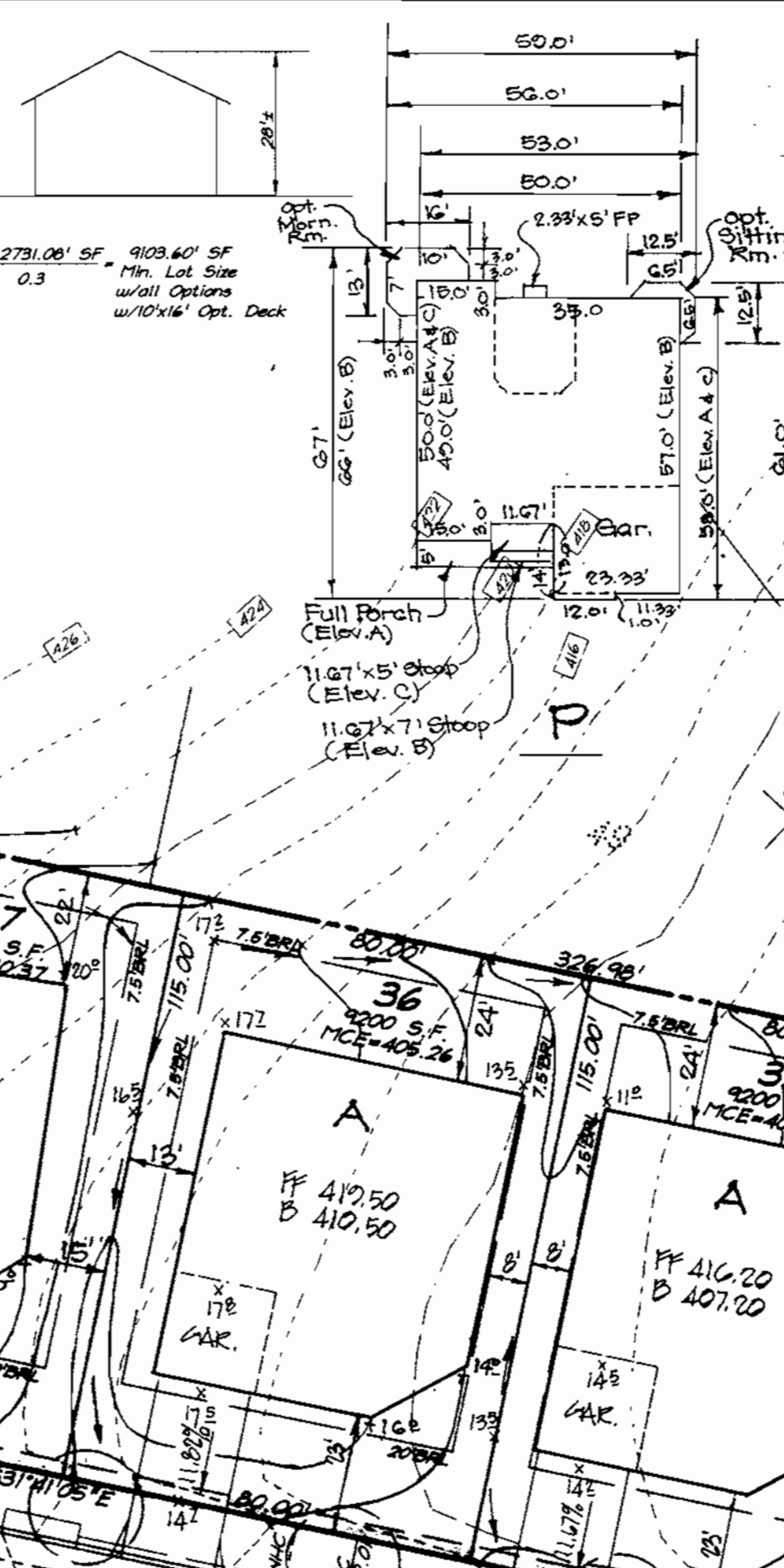
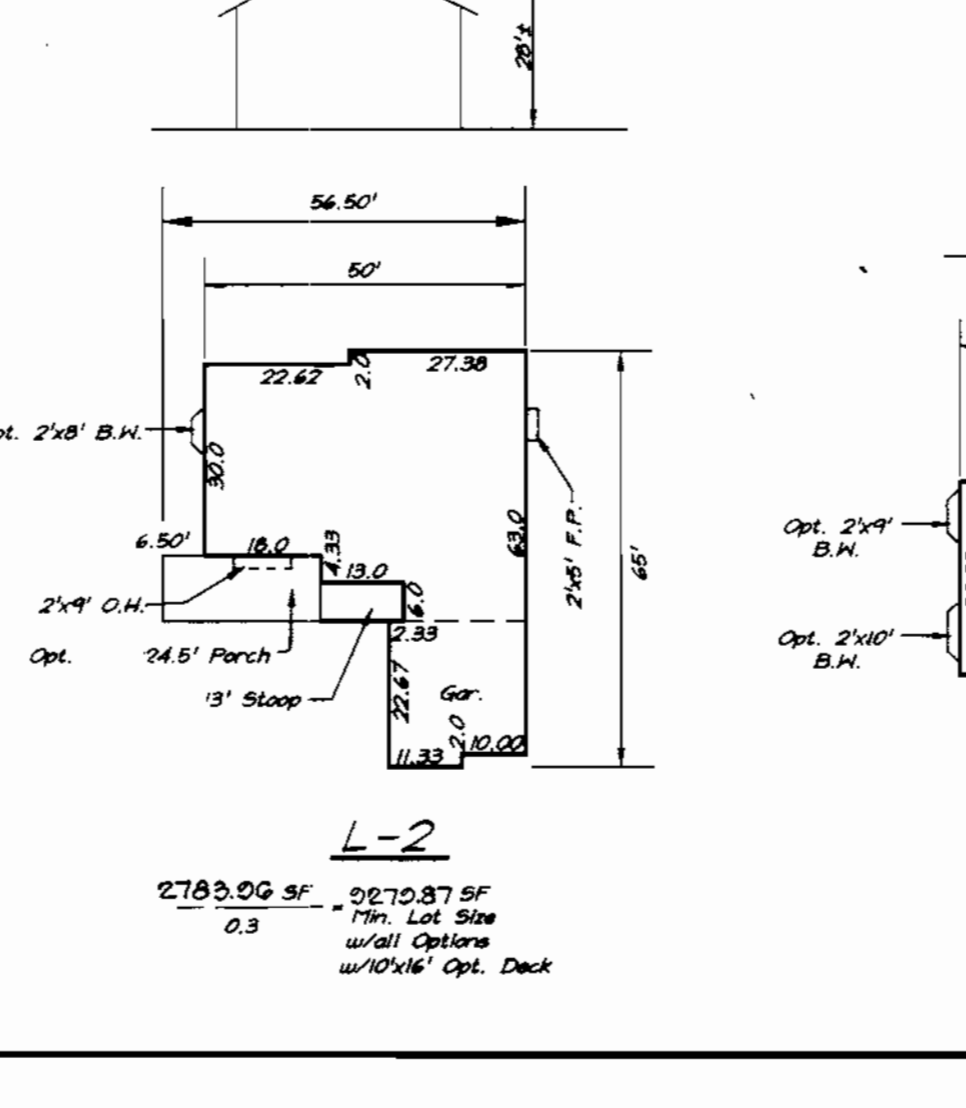
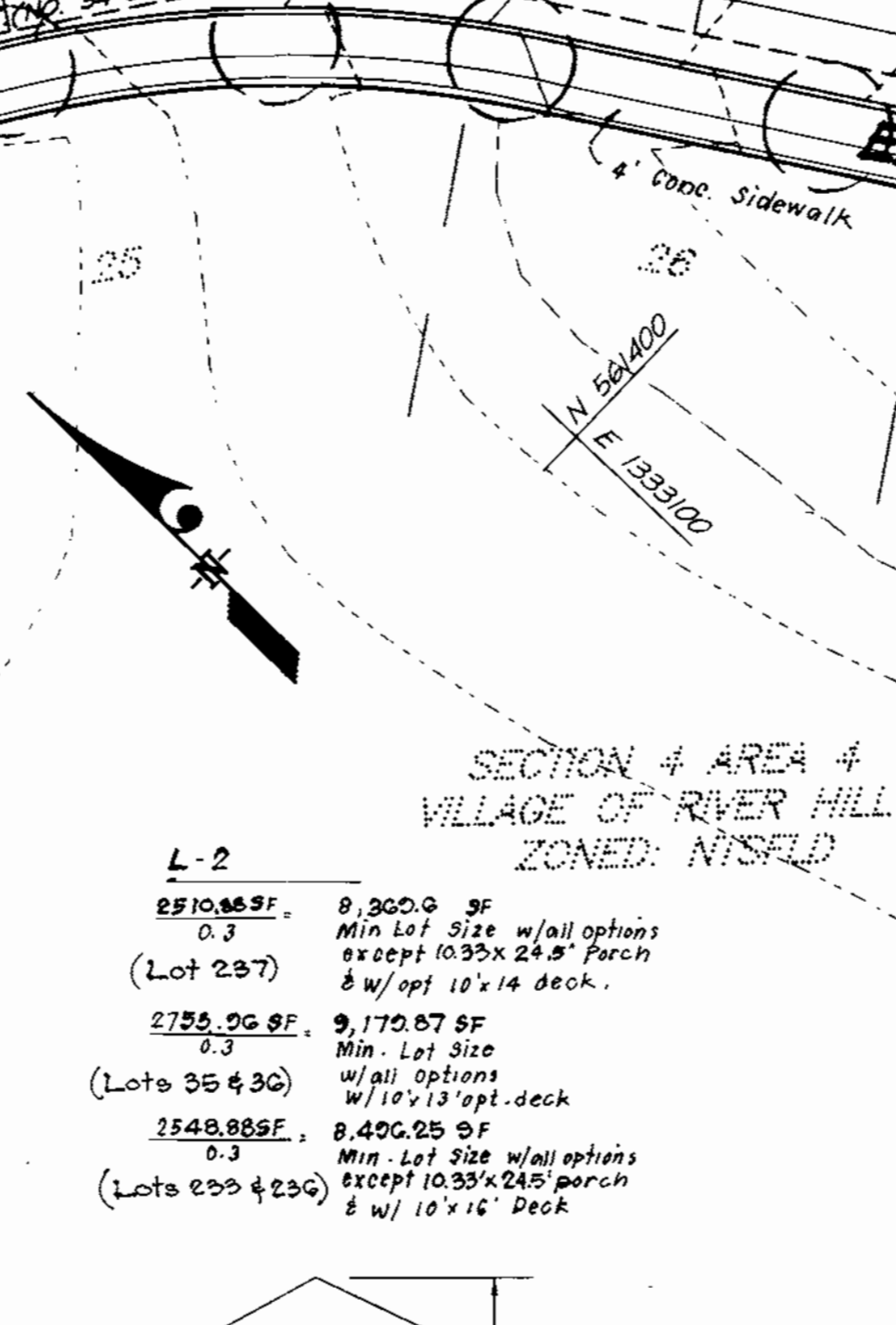
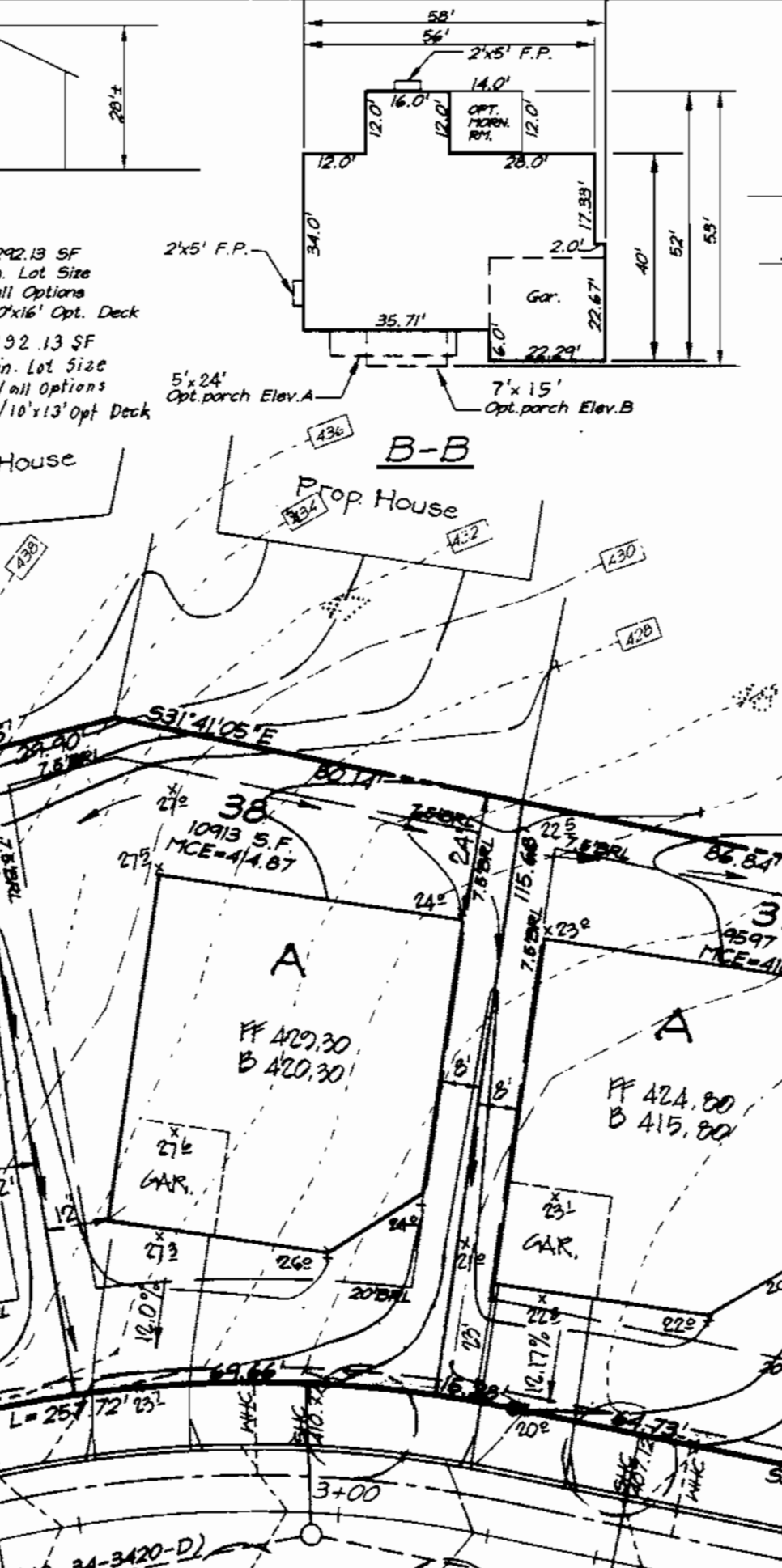
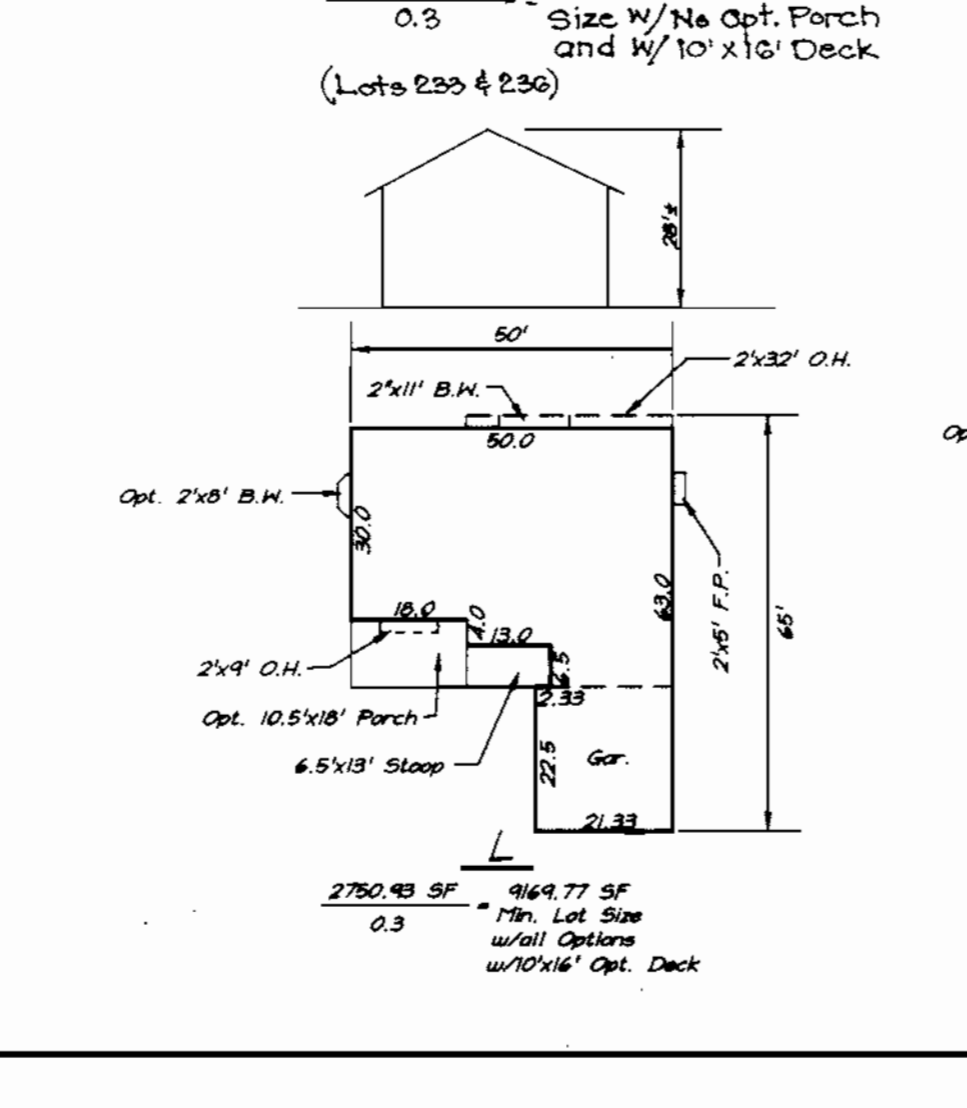
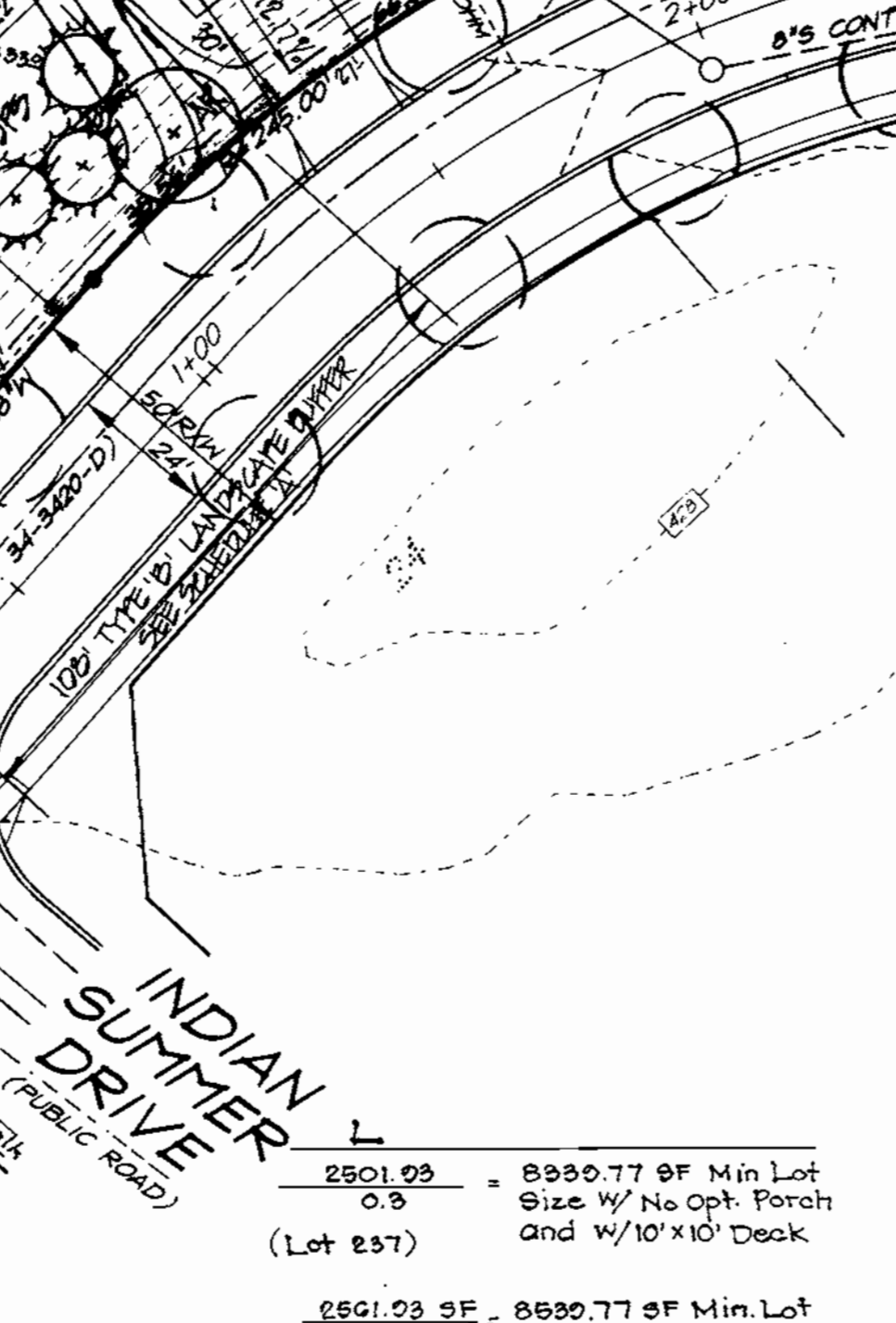
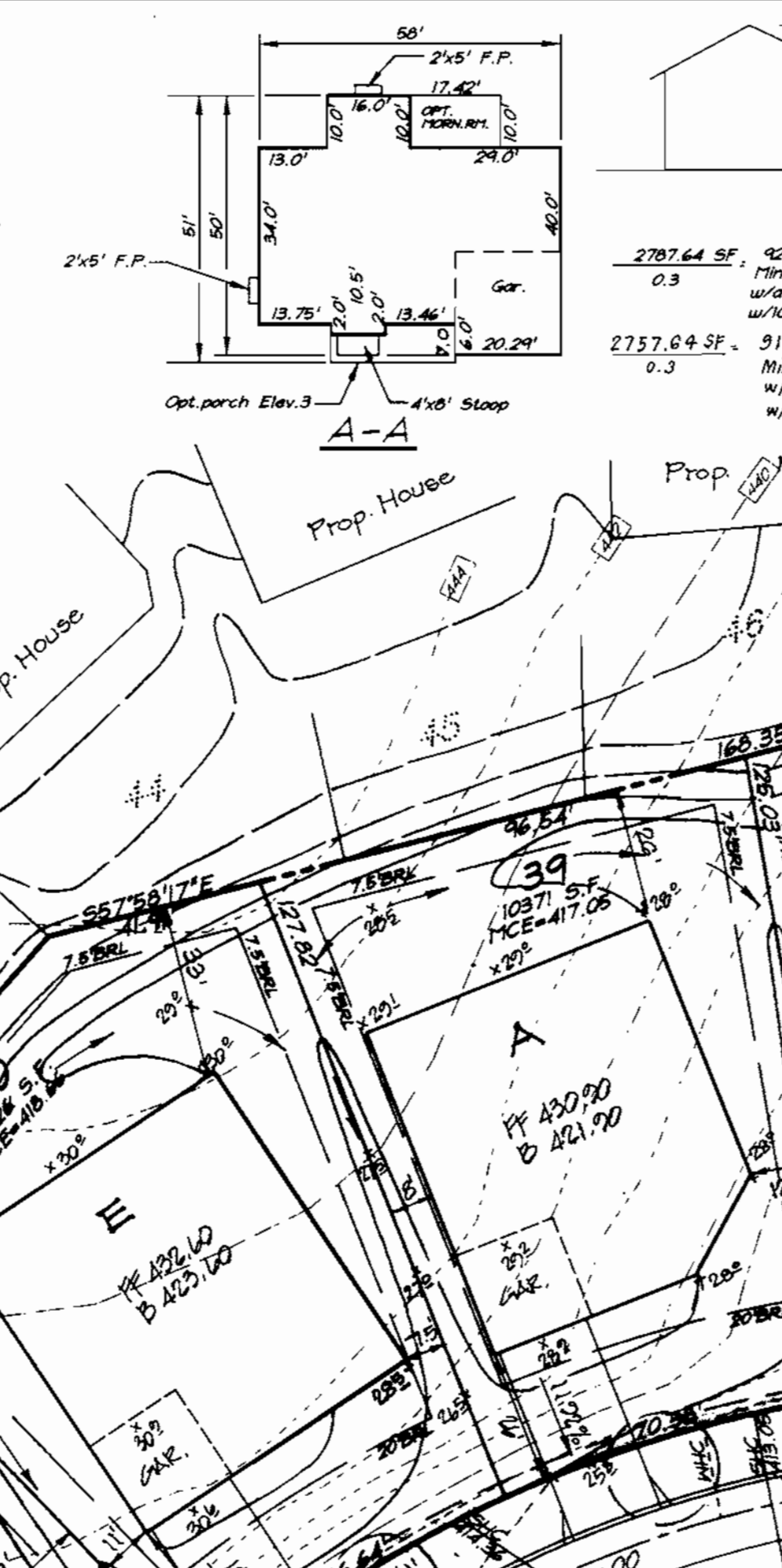
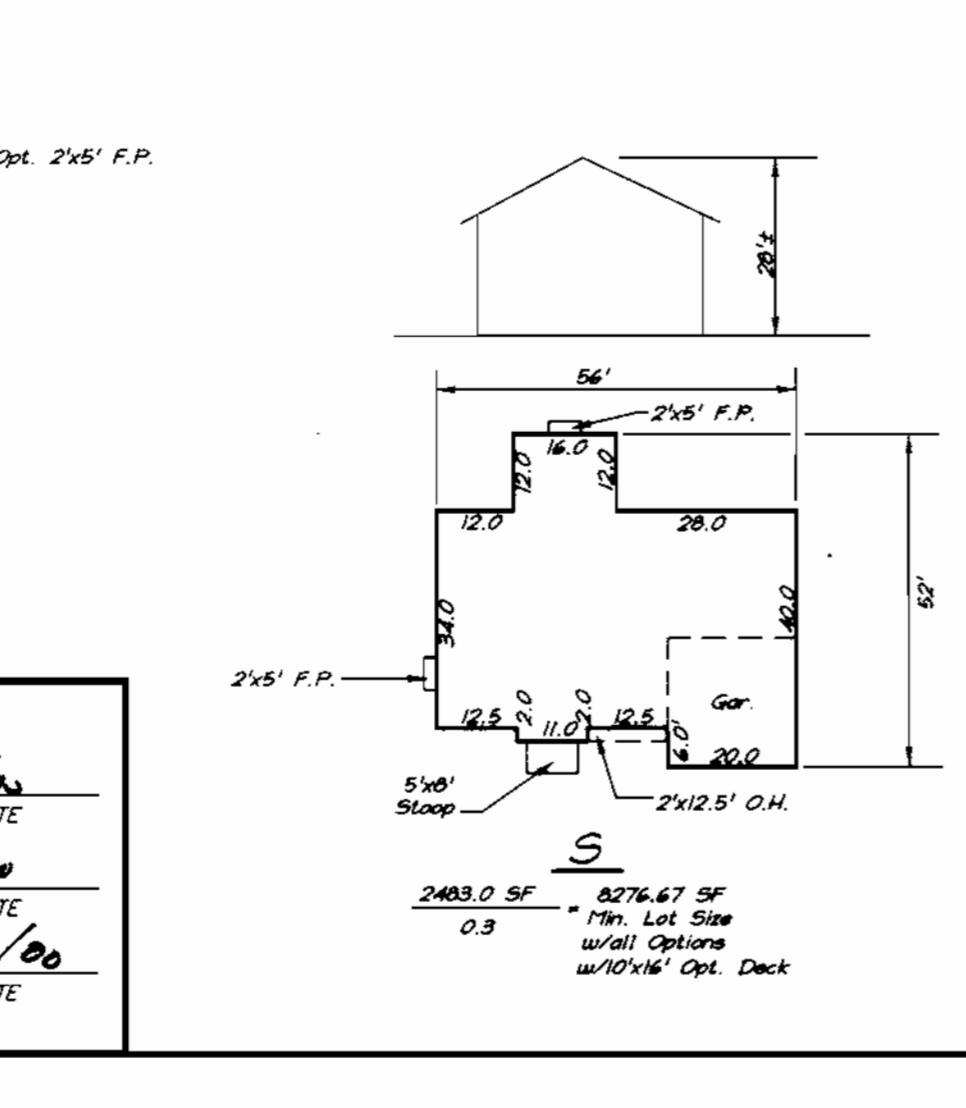
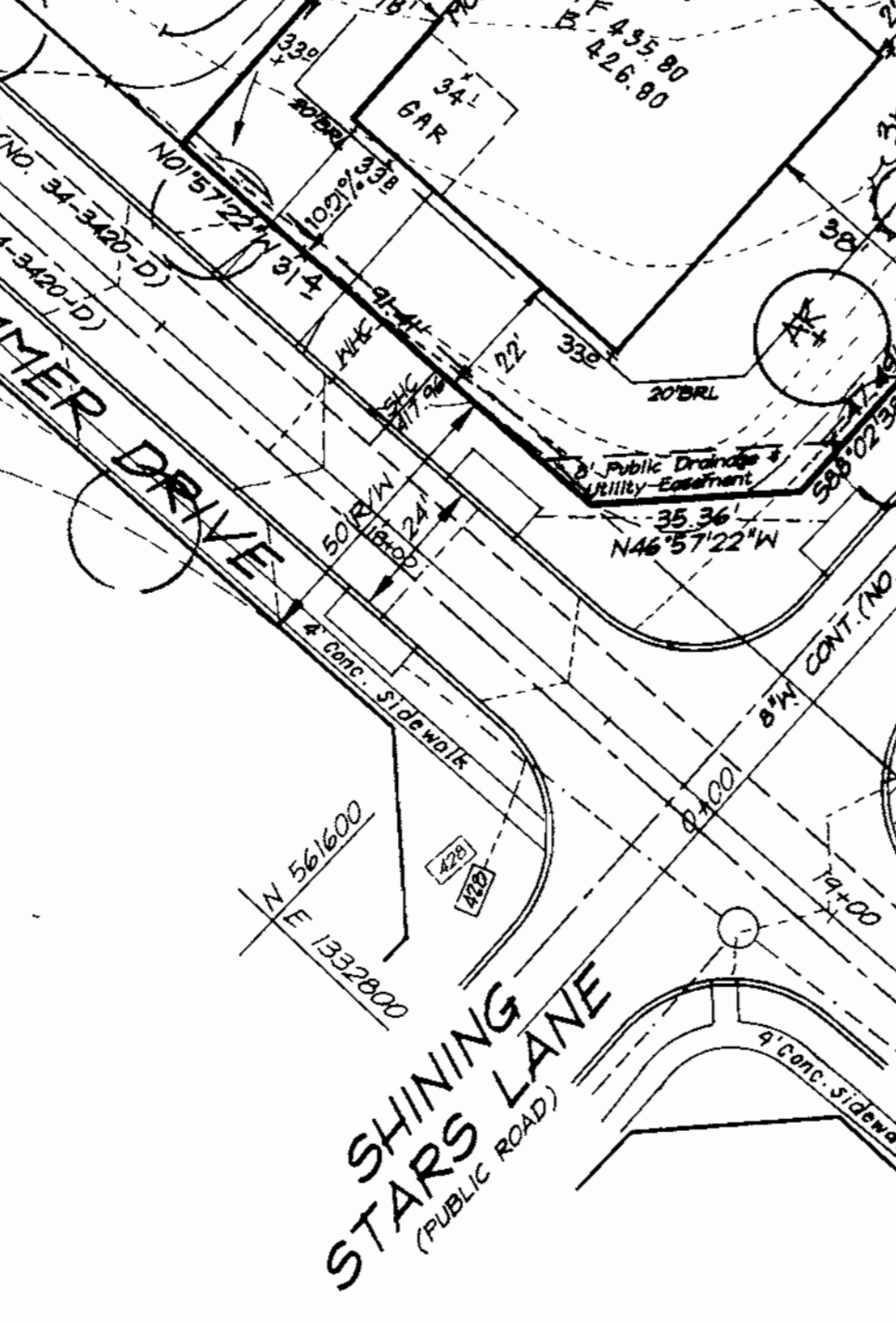
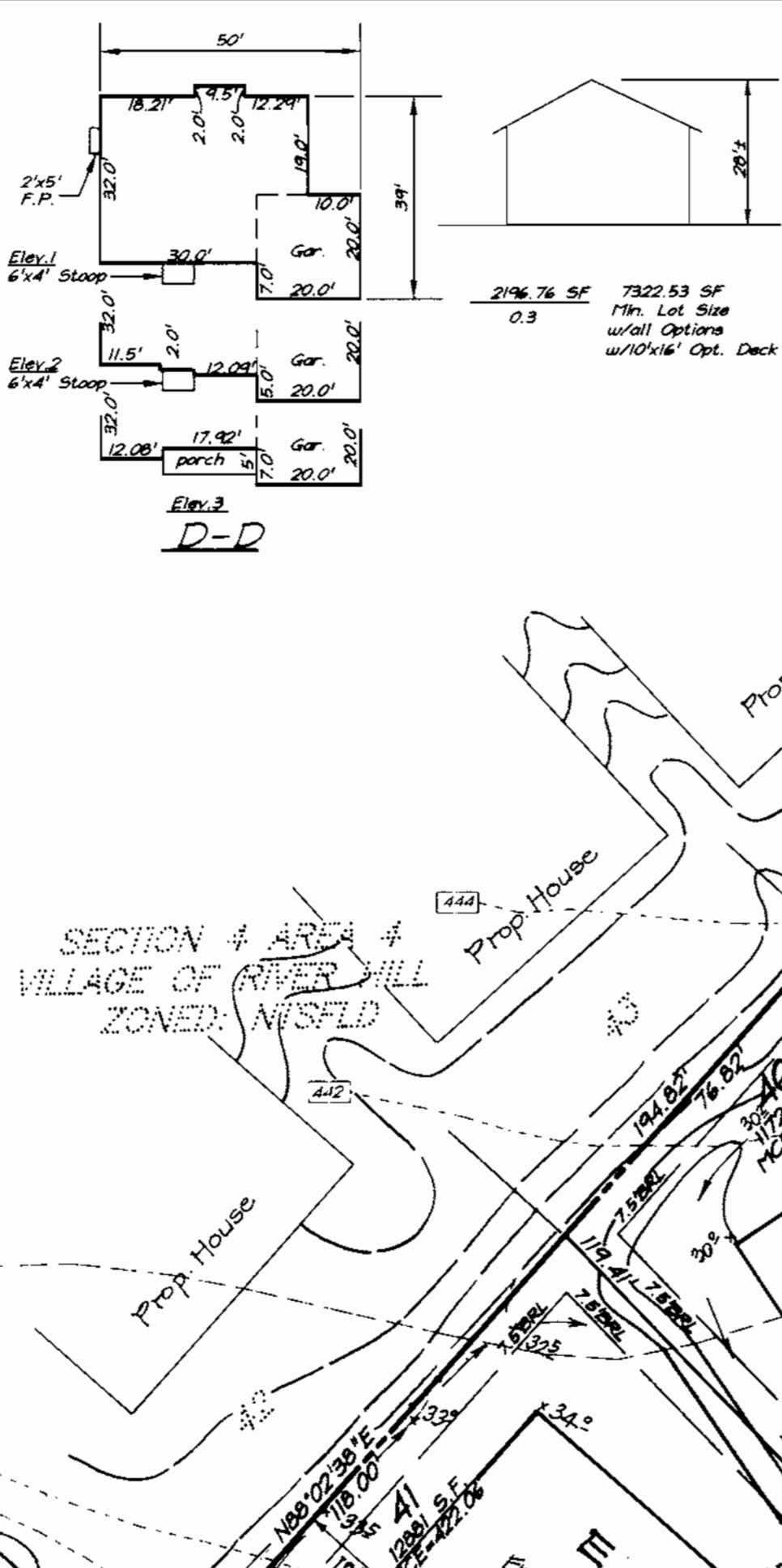
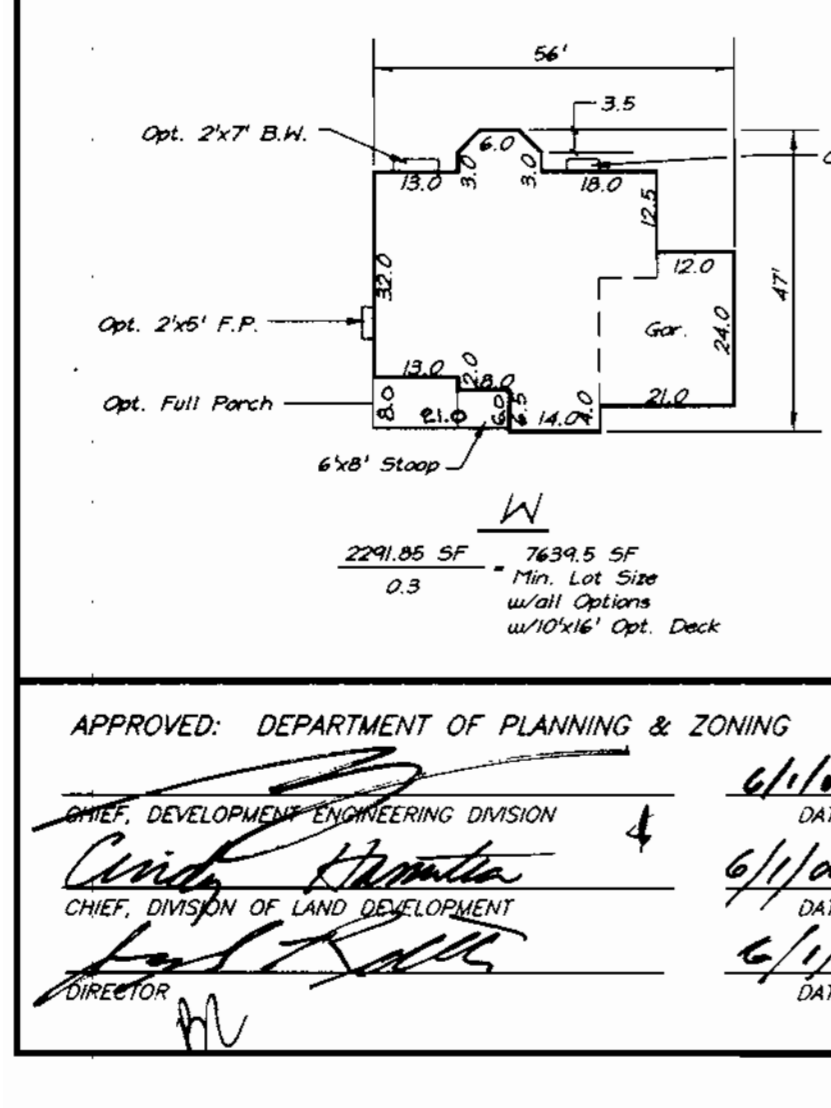
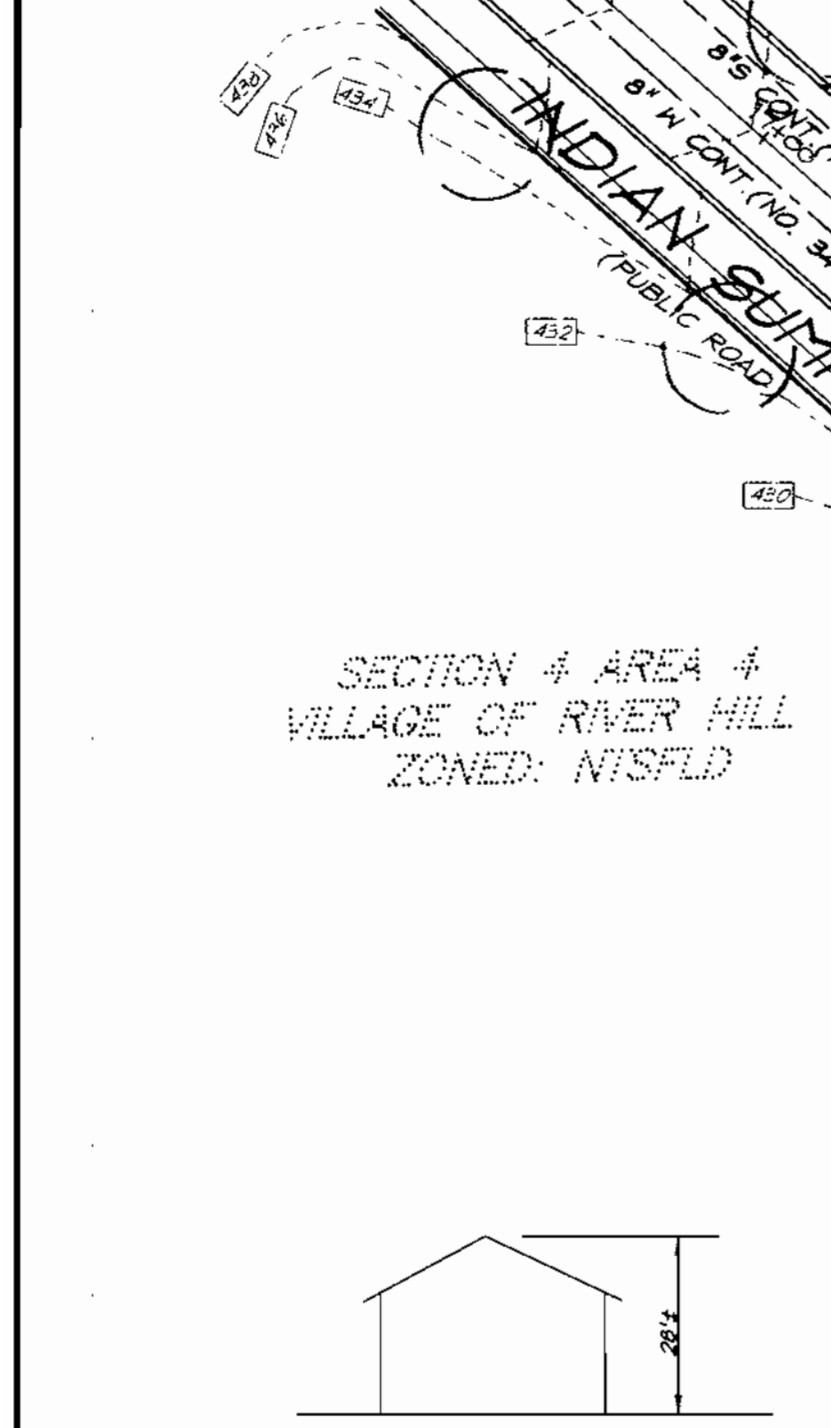
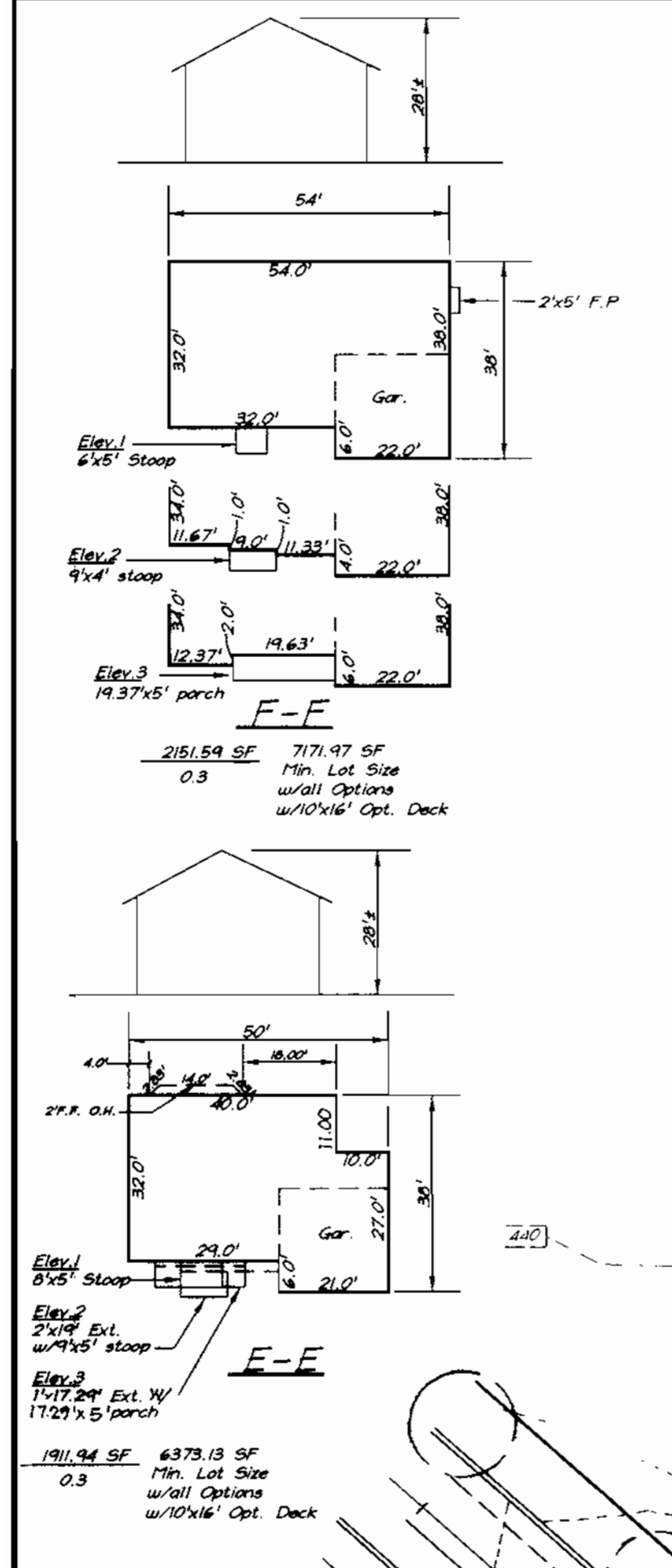
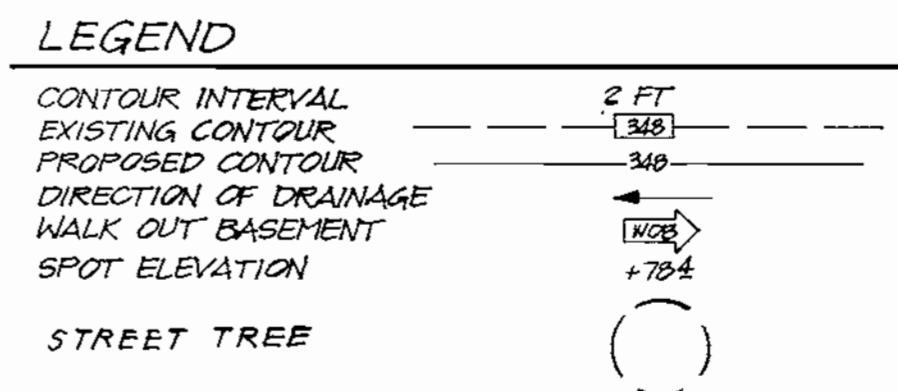
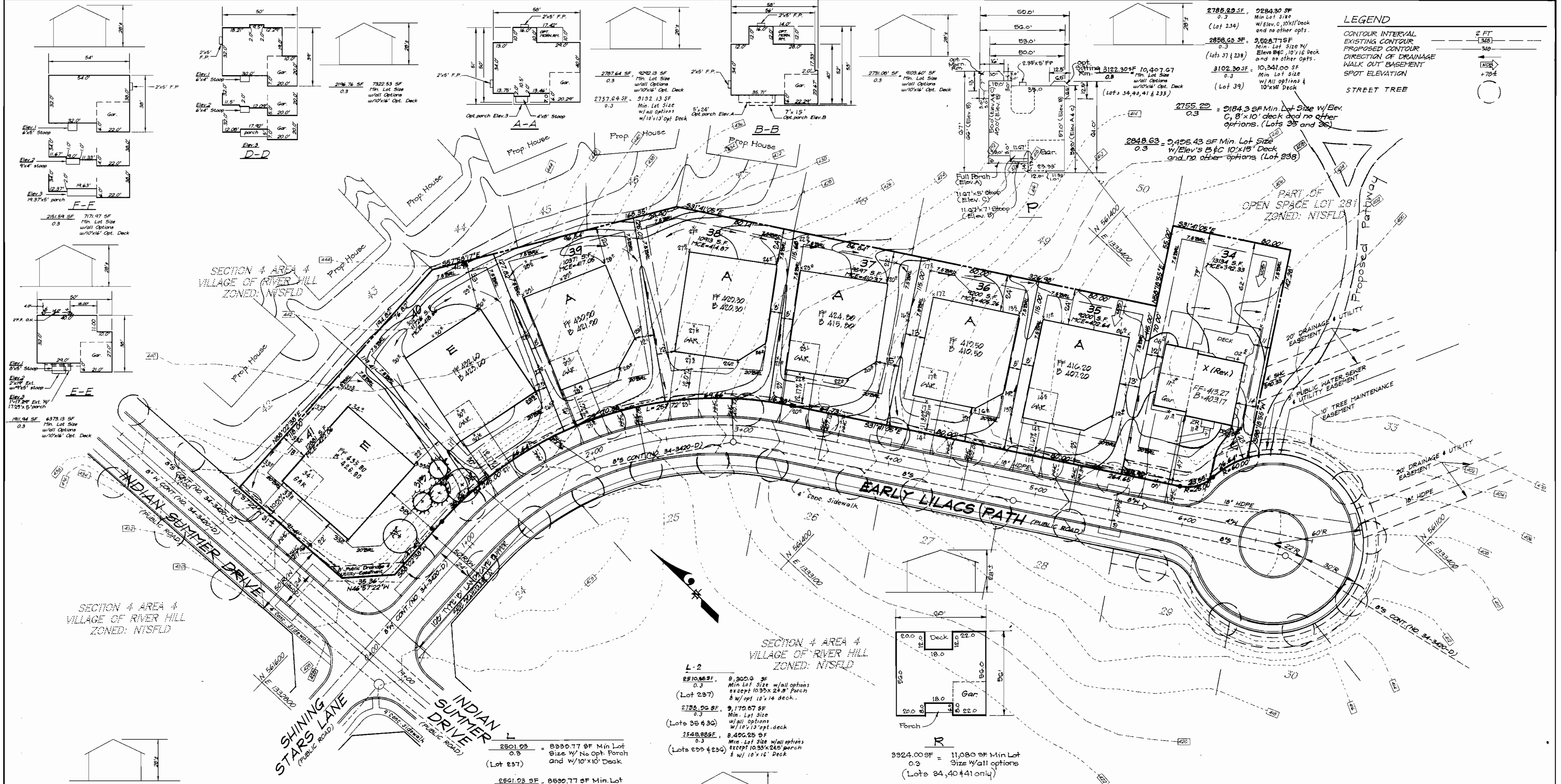
DATE: 6/1/00  
DATE: 6/1/00  
DATE: 6/1/00



- \* A-A MODEL ON LOTS 233-238 ONLY MAX. DECK 10'x10'
- \* L-2 MODEL ON LOTS 233-238 ONLY
- \* P MODEL-L-2 ONLY W/ALL OPTS. & MAX. DECK 10'x14'
- \* P MODEL - ELEV. C ON LOTS 235 & 236 ONLY W/ OPT. MORN. RM. OR SITTING RM. & MAX. DECK 8'x10'
- \* P MODEL - ELEV. B & C ON LOTS 237 & 238 ONLY W/NO OPT. MORN. RM. OR SITTING RM. and Max. Deck 10'x10'



SUBDIVISION NAME COLUMBIA		SECTION/AREA 4/4	LOTS 34-41 & 233-238
PLAT NO. 12925 & 13286	BLOCK NO. 7	ZONE NTSFLD & NTSFMD	TAX MAP NO. 35 ELECTION DIST. 5TH CENSUS TRACT 6055
WATER CODE 110		SEWER CODE 6653000	
<b>CLARK • FINEFROCK &amp; SACKETT, INC.</b>			
ENGINEERS • PLANNERS • SURVEYORS			
7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.			
DESIGNED D.M.	SITE DEVELOPMENT PLAN LOTS 34-41 & 233-238		SCALE 1" = 30'
DRAWN K.P.B.	COLUMBIA VILLAGE OF RIVER HILL		DRAWING 1 of 4
CHECKED D.M.	SECTION 4 AREA 4 FIFTH (5th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND		JOB NO. 00-010
DATE 9-2-2000	FOR: COLUMBIA BUILDERS, INC. P.O. Box 999 Columbia, Maryland 21044		FILE NO. 00-010X



APPROVED: DEPARTMENT OF PLANNING & ZONING  
 DATE: 6/1/00  
 DATE: 6/1/00  
 DATE: 6/1/00

2501.02 = 8990.77 SF Min Lot Size w/ No Opt. Porch and w/10'x10' Deck (Lot 237)

2561.03 SF = 8890.77 SF Min Lot Size w/ No Opt. Porch and w/10'x10' Deck (Lots 239 & 238)

2501.02 = 8990.77 SF Min Lot Size w/ all options except 10.55x24.5' Porch & w/ 10'x14' Deck (Lots 35 & 36)

2548.88 SF = 8,406.25 SF Min Lot Size w/ all options except 10.55x24.5' porch & w/ 10'x14' Deck (Lots 239 & 238)

L-2  
 2510.88 SF = 8,902.0 SF Min Lot Size w/ all options except 10.55x24.5' Porch & w/ 10'x14' Deck (Lot 237)

2755.96 SF = 9,170.87 SF Min Lot Size w/ all options w/ 10'x13' opt. deck (Lots 239 & 238)

R  
 3324.00 SF = 11,080 SF Min Lot Size w/ all options (Lots 24, 40 & 41 only)

2755.96 SF = 9,170.87 SF Min Lot Size w/ all options w/ 10'x13' opt. Deck (Lots 37 & 238)

2858.63 SF = 9,626.77 SF Min Lot Size w/ Elev. C, 10'x18 Deck and no other opts. (Lots 37 & 238)

3102.30 SF = 10,341.00 SF Min Lot Size w/ all options & 10'x14' Deck (Lot 39)

2755.20 = 9184.3 SF Min Lot Size w/ Elev. C, 8'x10' deck and no other options. (Lots 35 and 36)

2848.63 = 9495.43 SF Min Lot Size w/ Elev's B & C 10'x15' Deck and no other options. (Lot 238)

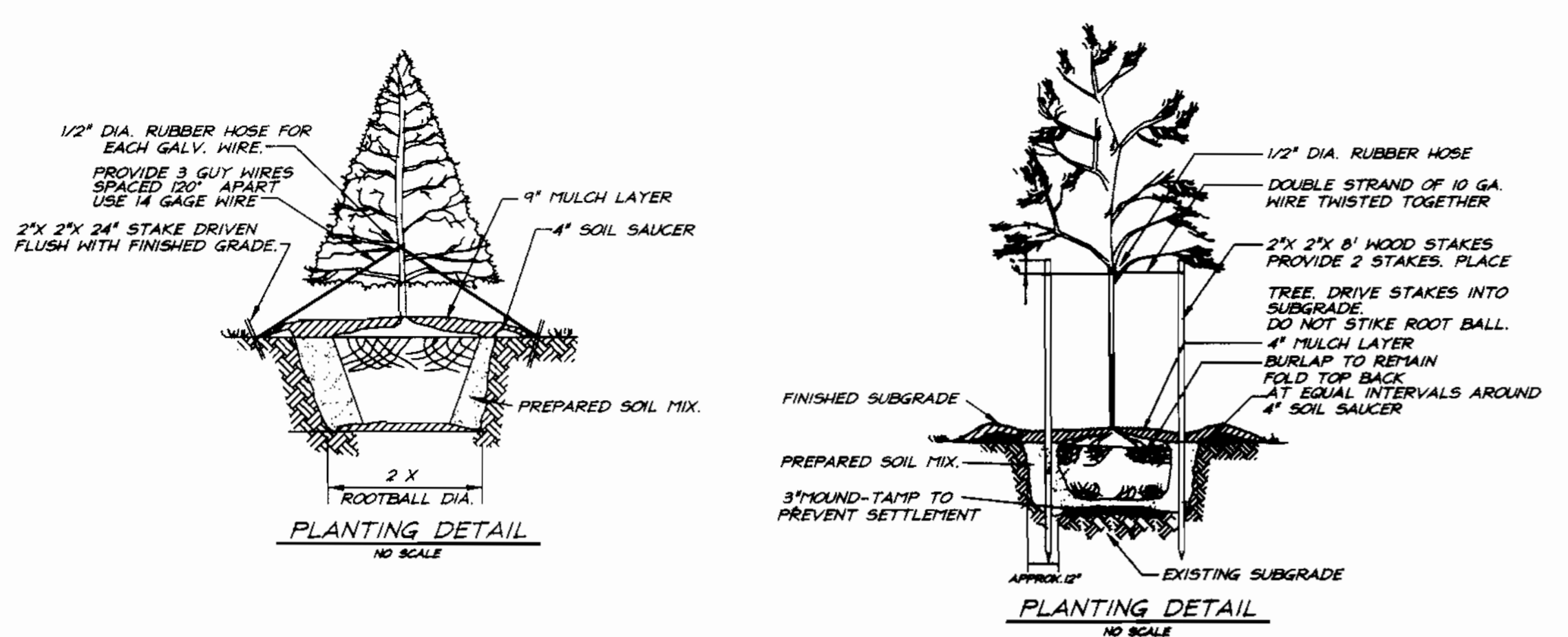
1	Rev. hse. & grd. lot 34 from 'E' Box to X (Rev.)	9-1-00
N2	REVISION	DATE

OWNER / DEVELOPER  
 THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10276 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21044

DESIGNED D.M.	SITE DEVELOPMENT PLAN LOTS 34-41 & 233-238 <b>COLUMBIA</b> SECTION 4 AREA 4 FIFTH (54th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN K.P.B.		DRAWING 2 of 4
CHECKED D.M.		JOB NO. 00-010
DATE 9-2-2000		FILE NO. 00-010 X

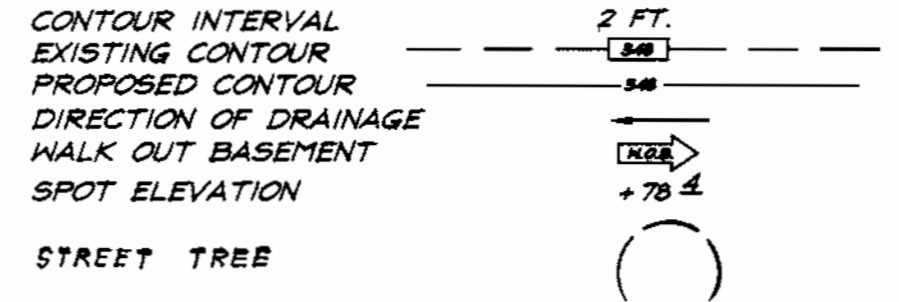
FOR: COLUMBIA BUILDERS, INC.  
 P.O. Box 999  
 Columbia, Maryland 21044





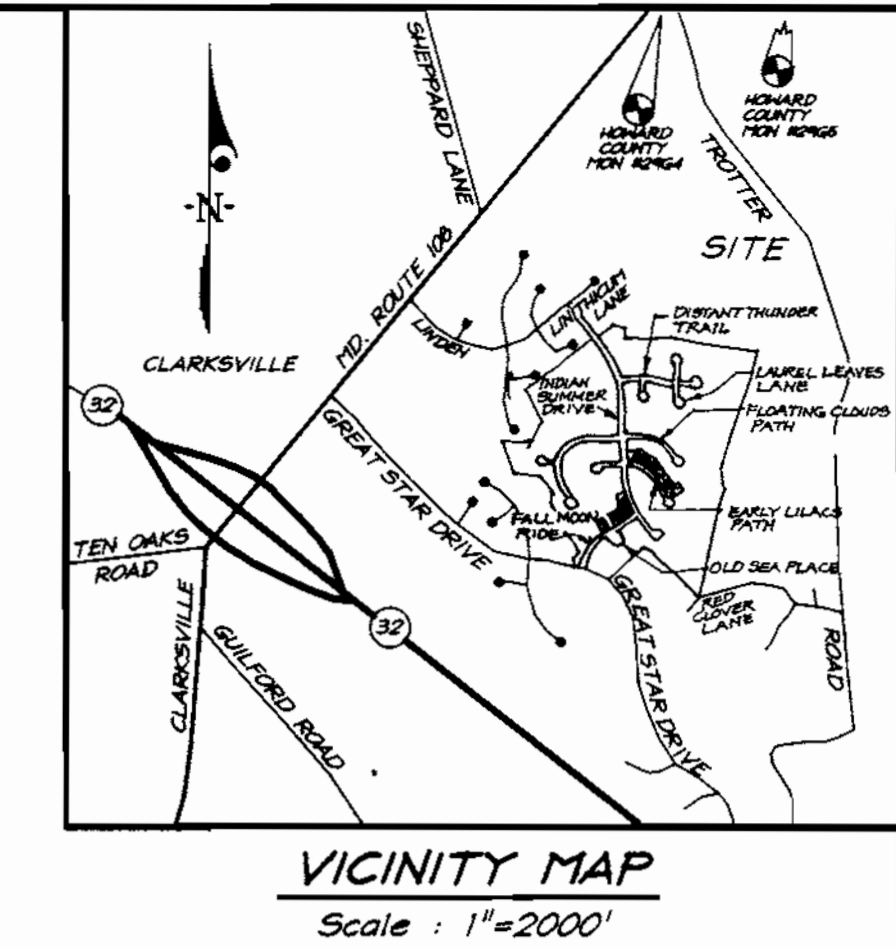
SCHEDULE A PERIMETER LANDSCAPE EDGE		
Category	LOT 235	LOT 41
Landscape Type	B	B
Frontage/Perimeter	111	108
Number of Plants Required		
Shade Trees (1/50)	2	2
Evergreen Trees (1/40)	3	3
Shrubs		
Number of Plants Provided		
Shade Trees	2	2
Evergreen Trees	3	3
Surety Amounts	\$1050.00	\$1050.00

**LEGEND**



**BENCHMARKS:**  
Howard County Monument 2964  
Intersection of MD. Route 108 and Trotter Road  
Howard County Monument 2965  
an additional 2,544'± Northeastly along MD. Route 108 away from Site

SHEET INDEX	
DESCRIPTION	SHEET NO.
Site Development Plan	1 & 2 of 4
Sediment & Erosion Control Plan	3 & 4 of 4



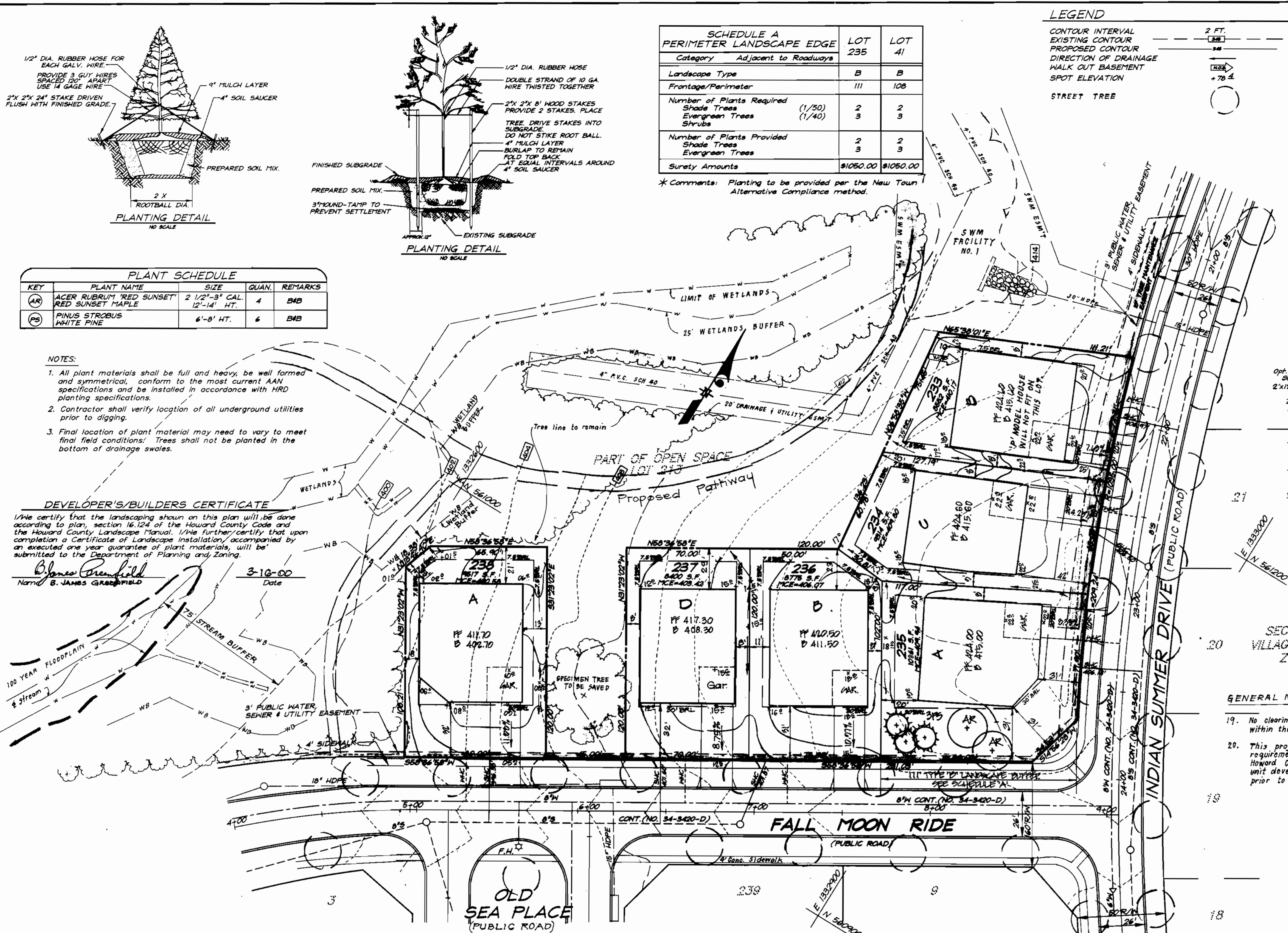
PLANT SCHEDULE				
KEY	PLANT NAME	SIZE	QUAN.	REMARKS
AR	ACER RUBRUM 'RED SUNSET'	2 1/2"-3" CAL.	4	BMB
	RED SUNSET MAPLE	12"-14" HT.		
PS	PINUS STROBUS	6"-8" HT.	6	BMB
	WHITE PINE			

- NOTES:**
- All plant materials shall be full and heavy, be well formed and symmetrical, conform to the most current AAN specifications and be installed in accordance with HRD planting specifications.
  - Contractor shall verify location of all underground utilities prior to digging.
  - Final location of plant material may need to vary to meet final field conditions. Trees shall not be planted in the bottom of drainage swales.

**DEVELOPER'S/BUILDERS CERTIFICATE**

I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

*B. James Greenfield*  
Name: B. JAMES GREENFIELD Date: 3-16-00



SECTION 4 AREA 4  
VILLAGE OF RIVER HILL  
ZONED: NISFLD

**GENERAL NOTES CONTINUED:**

- No clearing, grading or construction is permitted within the required wetlands, stream(s) or their buffers.
- This project is exempt from the forest conservation requirements per Section 16.1202(b)(1)(iv) of the Howard County Code because it is part of a planned unit development with preliminary plan approval prior to 12/31/92.
- In accordance with FDP-Phase 222-A, Part 4 bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 3 feet into the front or rear setbacks. Exterior basement overhangs/stairways may not encroach into any B.M. Stormwater Management is provided per: F-96-130
- SHC Elevations shown are at the property lines.
- This plan has been prepared in accordance with the provisions of section 16.124 of the Howard County code and Landscape Manual. Financial Surety for the trees in schedule A in the amount of \$2,100 shall be part of the Builders Grading Permit Application (see schedule A - this sheet).

**OWNER / DEVELOPER**  
THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10275 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044

**SPECIAL NOTE:**

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-96-130 and/or approved Water and Sewer Plans Contract #34-3420-D.

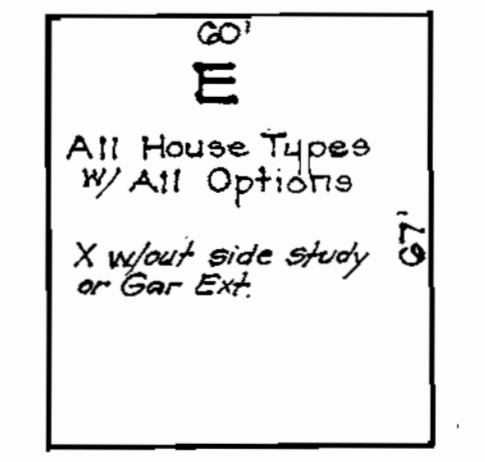
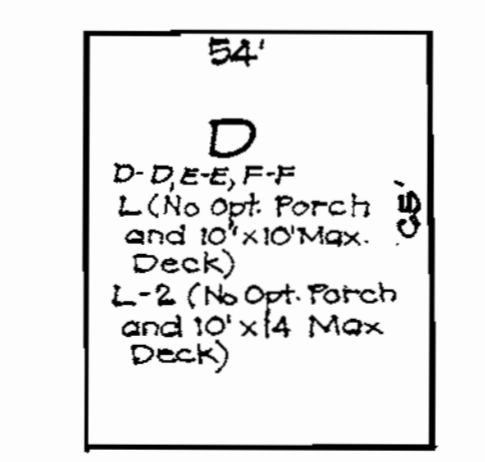
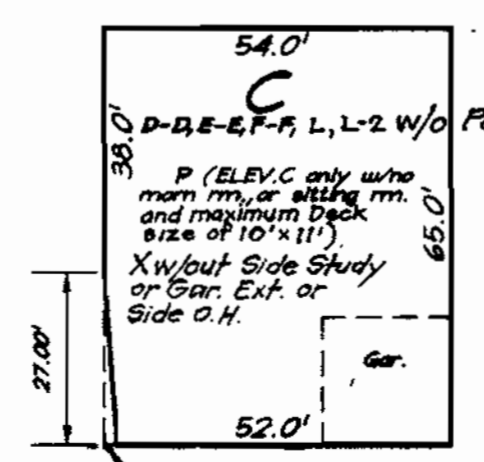
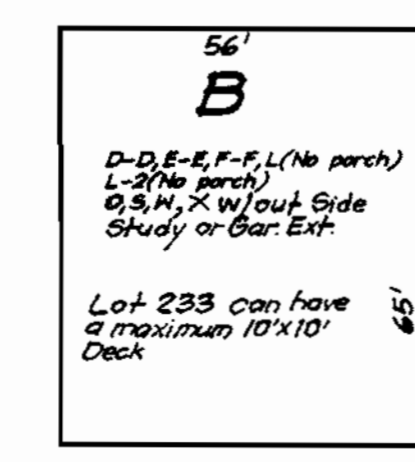
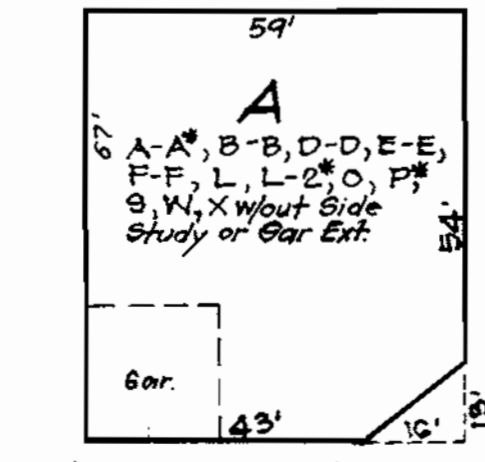
NO.	REVISIONS	DATE
2	Add options to X hse. typical	9-18-00
1	Add X hse. typical	9-1-00

APPROVED: DEPARTMENT OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 6/1/00

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 6/1/00

DIRECTOR: *[Signature]* DATE: 6/1/00



SUBDIVISION NAME	COLUMBIA	SECTION/AREA	LOTS
VILLAGE OF RIVER HILL	4/4		34-41 & 233-238

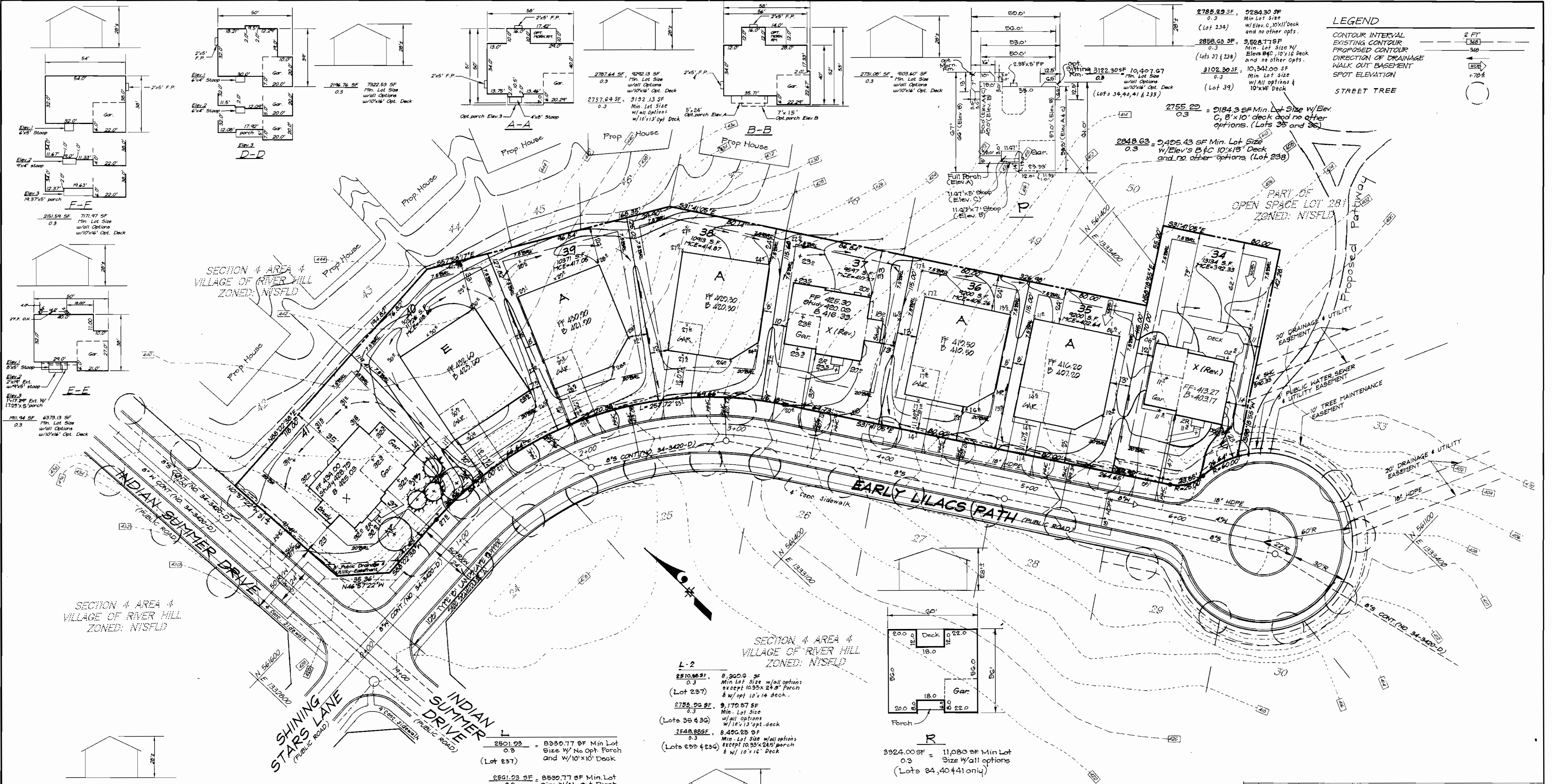
**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED: D.M. DATE: 6/1/00  
DRAWN: K.P.B. DATE: 6/1/00  
CHECKED: D.M. DATE: 6/1/00  
DATE: 3-2-2000

SCALE: 1" = 30'  
DRAWING: 1 of 4  
JOB NO.: 00-010  
FILE NO.: 00-010X

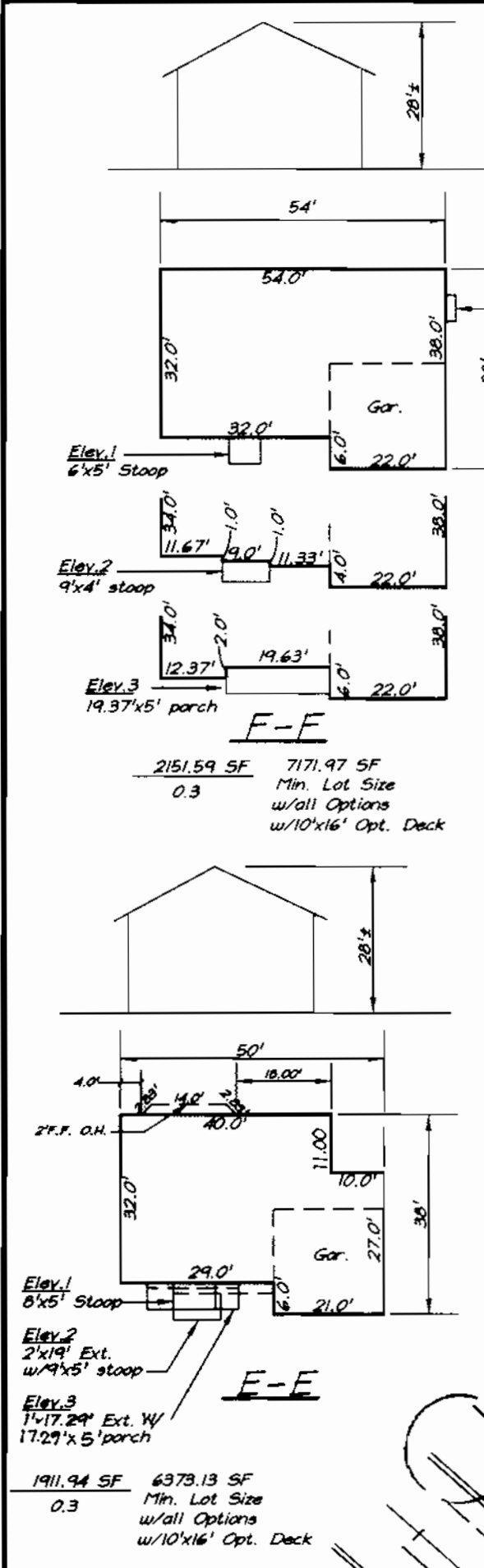
FOR: COLUMBIA BUILDERS, INC.  
P.O. Box 999  
Columbia, Maryland 21044



2785.29 SF 0.3 (Lot 234)	9284.30 SF Min. Lot Size w/ Elev. C, 10'x11' Deck and no other opts.
2858.63 SF 0.3 (Lots 37 & 238)	9508.77 SF Min. Lot Size w/ Elevs B & C, 10'x16' Deck and no other opts.
3102.30 SF 0.3 (Lot 39)	10,341.00 SF Min. Lot Size w/ All options & 10'x14' Deck
2755.29 0.3	= 9184.3 SF Min. Lot Size w/ Elev. C, 8'x10' deck and no other options. (Lots 35 and 36)
2848.63 0.3	= 9495.43 SF Min. Lot Size w/ Elev's B & C, 10'x15' Deck and no other options. (Lot 238)

**LEGEND**

- CONTOUR INTERVAL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DIRECTION OF DRAINAGE
- WALK OUT BASEMENT
- SPOT ELEVATION
- STREET TREE

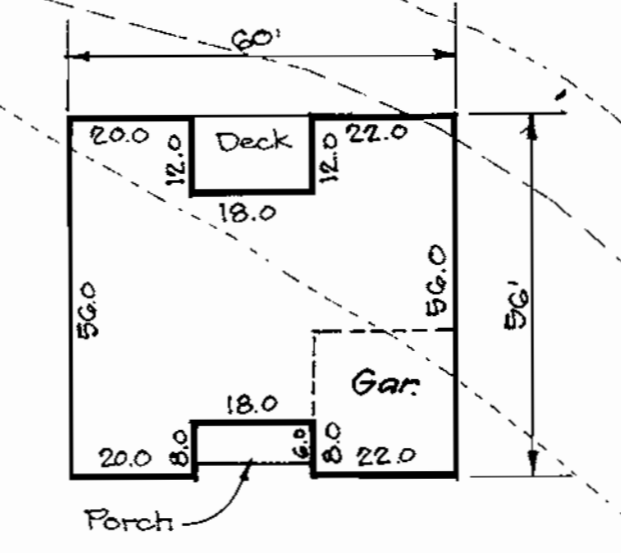


SECTION 4 AREA 4  
VILLAGE OF RIVER HILL  
ZONED: NISFLD

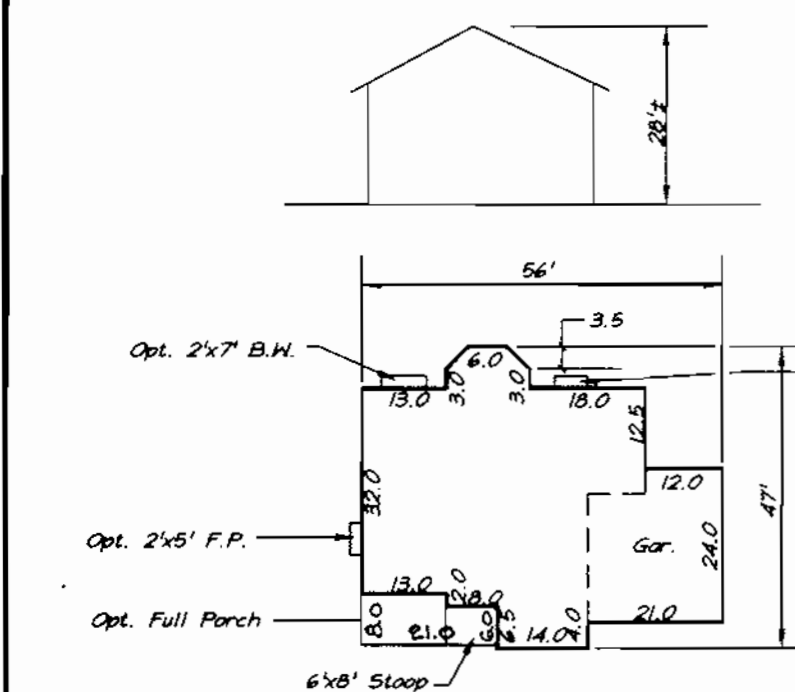
SECTION 4 AREA 4  
VILLAGE OF RIVER HILL  
ZONED: NISFLD

SECTION 4 AREA 4  
VILLAGE OF RIVER HILL  
ZONED: NISFLD

L-2 8910.89 SF 0.3 (Lot 237)	8,900.00 SF Min. Lot Size w/all options except 10.33'x24.8' porch & w/opt 10'x14 deck.
2785.29 SF 0.3 (Lots 235 & 236)	9,170.87 SF Min. Lot Size w/all options w/12'x13' opt. deck
2548.88 SF 0.3 (Lots 235 & 236)	8,420.85 SF Min. Lot Size w/all options except 10.33'x24.5' porch & w/10'x16' Deck



R  
3924.00 SF = 11,080 SF Min Lot  
0.3  
Size w/all options  
(Lots 24, 40 & 41 only)



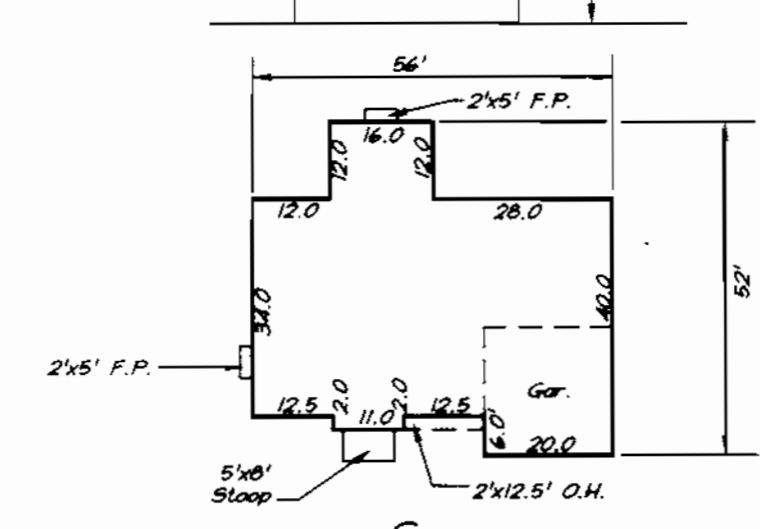
W  
2291.85 SF  
0.3  
Min. Lot Size  
w/all options  
w/10'x16' Opt. Deck

APPROVED: DEPARTMENT OF PLANNING & ZONING  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DIRECTOR

DATE: 6/1/00  
DATE: 6/1/00  
DATE: 6/1/00

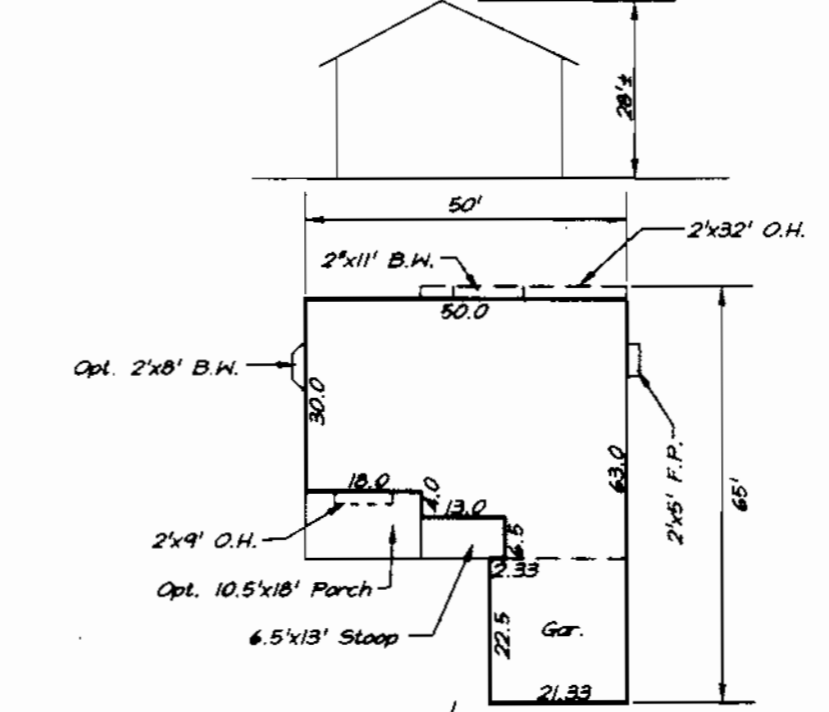
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0.3  
Size w/No Opt. Porch  
and w/10'x10' Deck  
(Lot 237)

2501.23 SF = 8530.77 SF Min Lot  
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Size w/No Opt. Porch  
and w/10'x10' Deck  
(Lots 235 & 236)

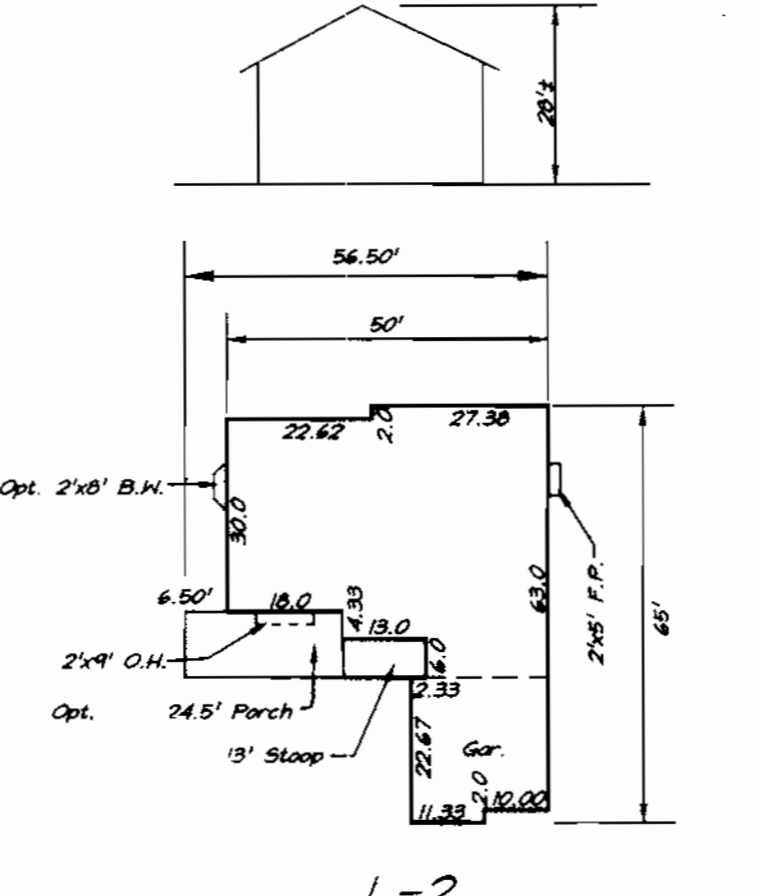


L  
2483.0 SF  
0.3  
2276.67 SF  
Min. Lot Size  
w/all options  
w/10'x16' Opt. Deck

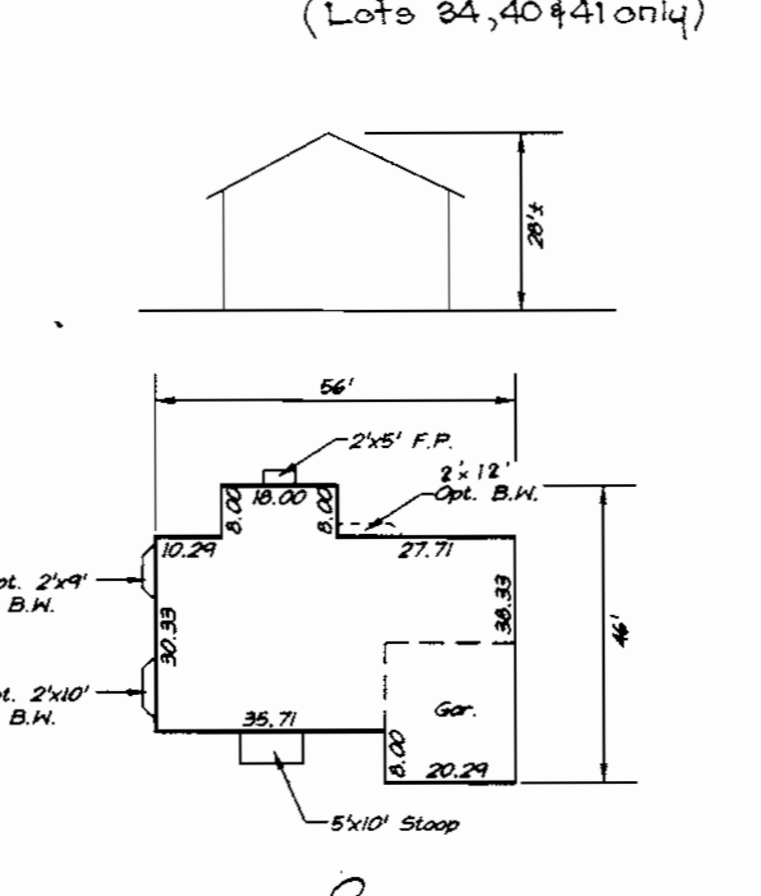
2785.29 SF = 9170.87 SF  
0.3  
Min. Lot Size  
w/all options  
w/12'x13' opt. deck  
(Lots 235 & 236)



L  
2785.29 SF  
0.3  
9169.77 SF  
Min. Lot Size  
w/all options  
w/10'x16' Opt. Deck



L-2  
2785.29 SF  
0.3  
9270.87 SF  
Min. Lot Size  
w/all options  
w/10'x16' Opt. Deck



O  
2282.80 SF  
0.3  
7609.33 SF  
Min. Lot Size  
w/all options  
w/10'x16' Opt. Deck

3	Rev. hse. fgrd. lots 27 & 41	5-18-00
1	Rev. hse. & grd. lot 24 from 'E' Box to X (Rev.)	9-1-00
N <sup>2</sup>	REVISION	DATE

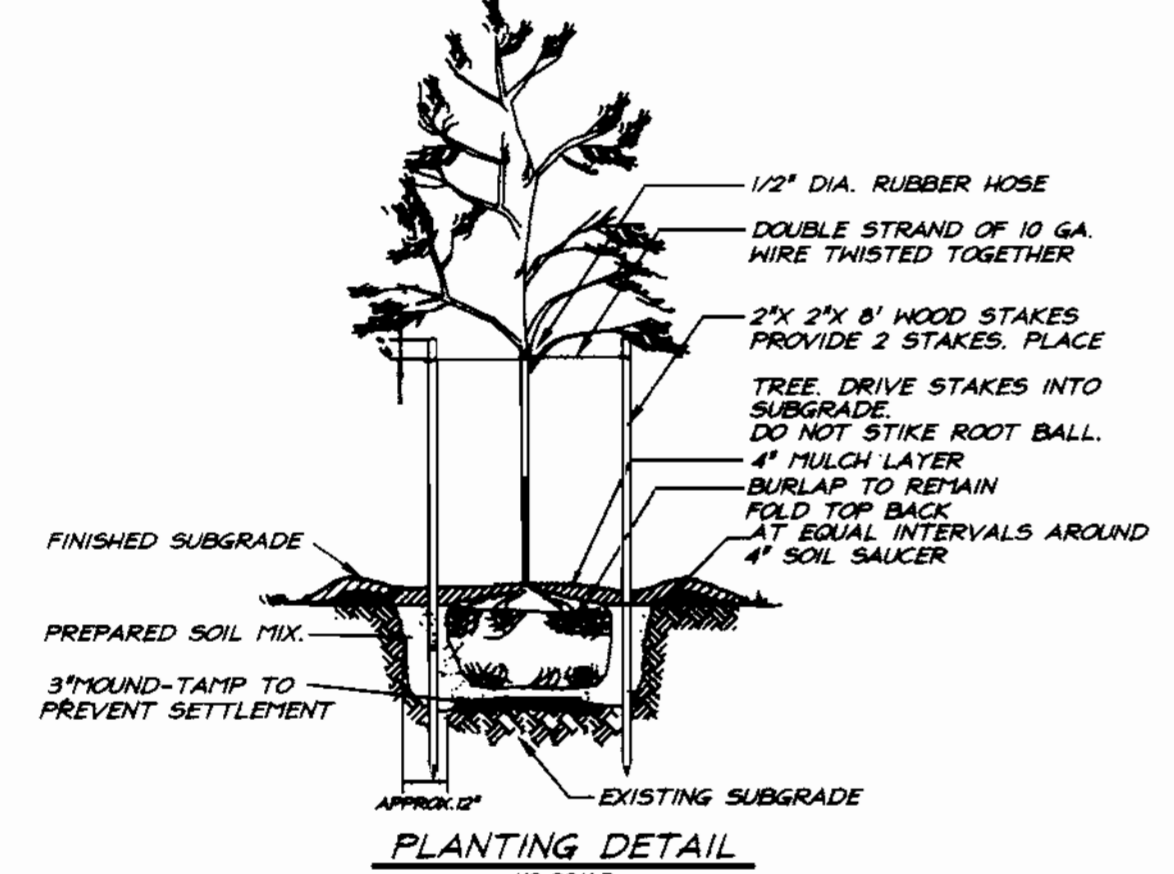
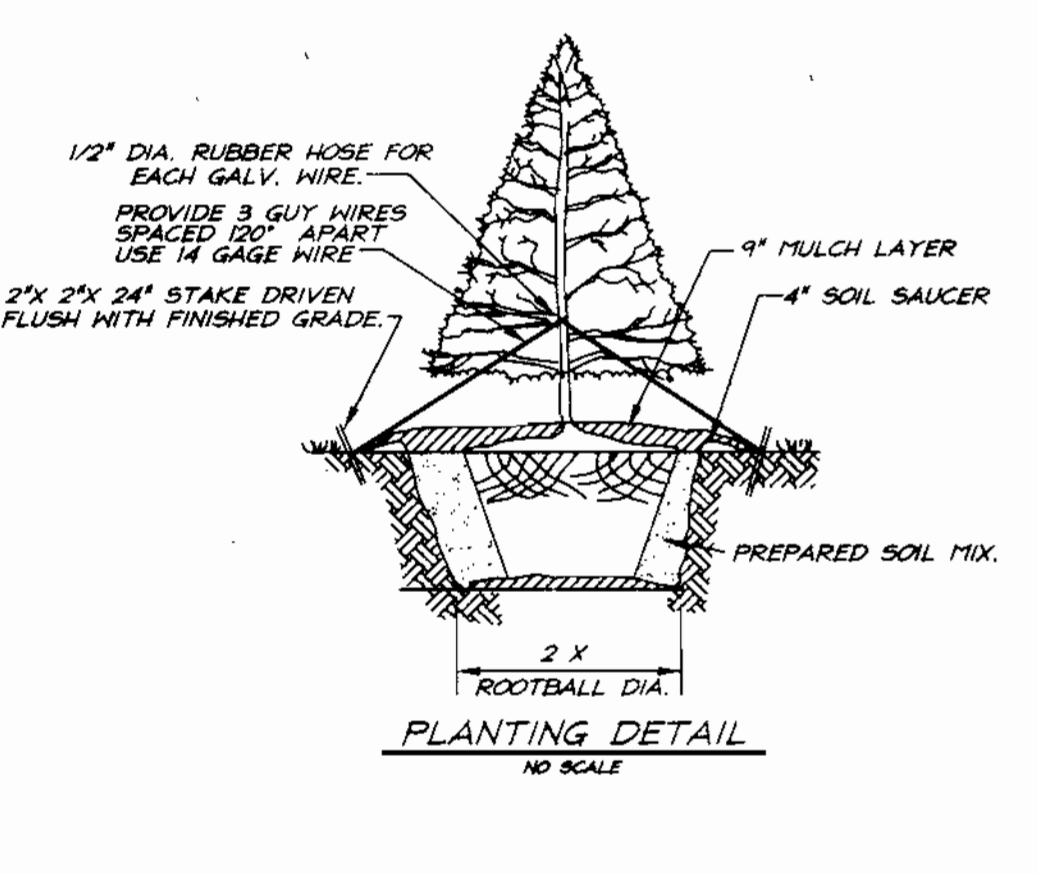
OWNER / DEVELOPER  
THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10276 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044

**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS  
7135 MINSTRE WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED D.M.	SITE DEVELOPMENT PLAN LOTS 34-41 & 233-238 <b>COLUMBIA</b> <b>VILLAGE OF RIVER HILL</b> SECTION 4 AREA 4 FIFTH (5th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'	
DRAWN K.P.B.		JOB NO. 00-010	
CHECKED D.M.		FILE NO. 00-010X	
DATE 3-2-2000		FOR: COLUMBIA BUILDERS, INC. P.O. Box 999 Columbia, Maryland 21044	



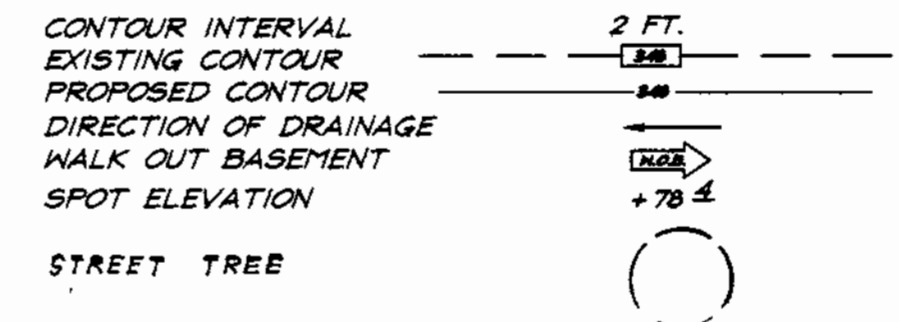




SCHEDULE A PERIMETER LANDSCAPE EDGE		
Category	Adjacent to Roadways	Adjacent to Other
Landscape Type	B	B
Frontage/Perimeter	111	108
Number of Plants Required		
Shade Trees (1/30)	2	2
Evergreen Trees (1/40)	3	3
Shrubs		
Number of Plants Provided		
Shade Trees	2	2
Evergreen Trees	3	3
Surety Amounts	\$1050.00	\$1050.00

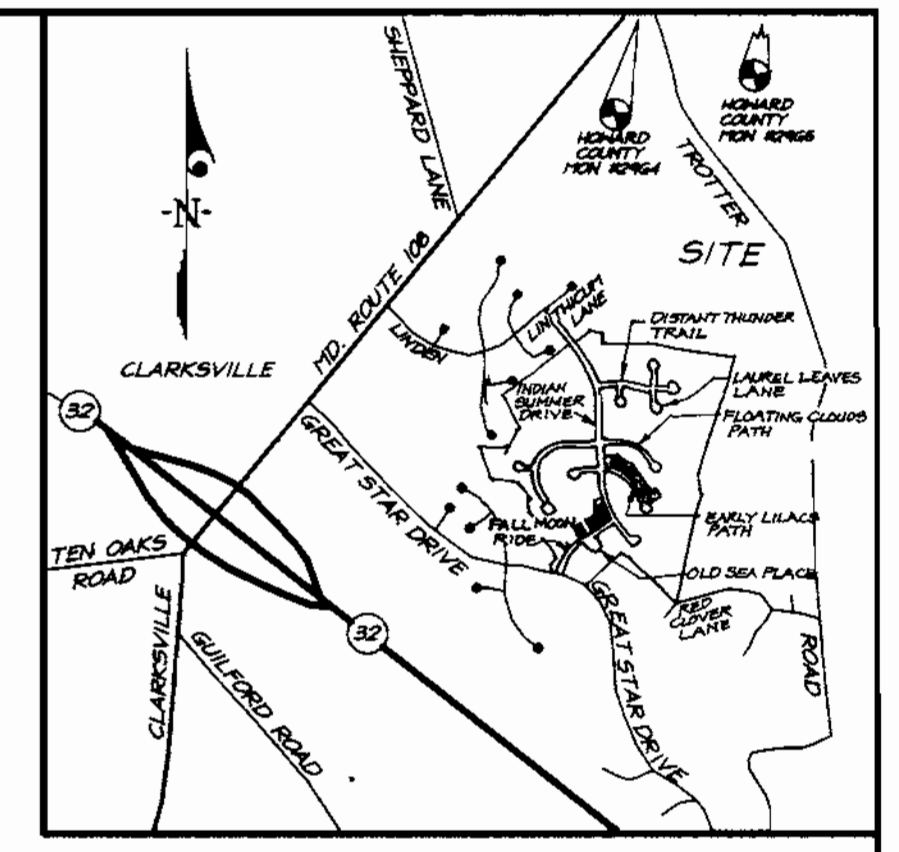
\*Comments: Planting to be provided per the New Town Alternative Compliance method.

**LEGEND**



**BENCHMARKS:**

Howard County Monument 2964  
Intersection of MD. Route 108 and Trotter Road  
Howard County Monument 2965  
an additional 2,544'± Northeastly along MD. Route 108 away from Site



SHEET INDEX	
DESCRIPTION	SHEET NO.
Site Development Plan	1 & 2 of 4
Sediment & Erosion Control Plan	3 & 4 of 4

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
34	12129 Early Lilacs Path
35	12125 Early Lilacs Path
36	12121 Early Lilacs Path
37	12117 Early Lilacs Path
38	12113 Early Lilacs Path
39	12109 Early Lilacs Path
40	12105 Early Lilacs Path
41	12101 Early Lilacs Path
238	5892 Indian Summer Drive
239	5896 Indian Summer Drive
240	5900 Indian Summer Drive
236	5936 Fall Moon Ride
237	5932 Fall Moon Ride
238	5920 Fall Moon Ride

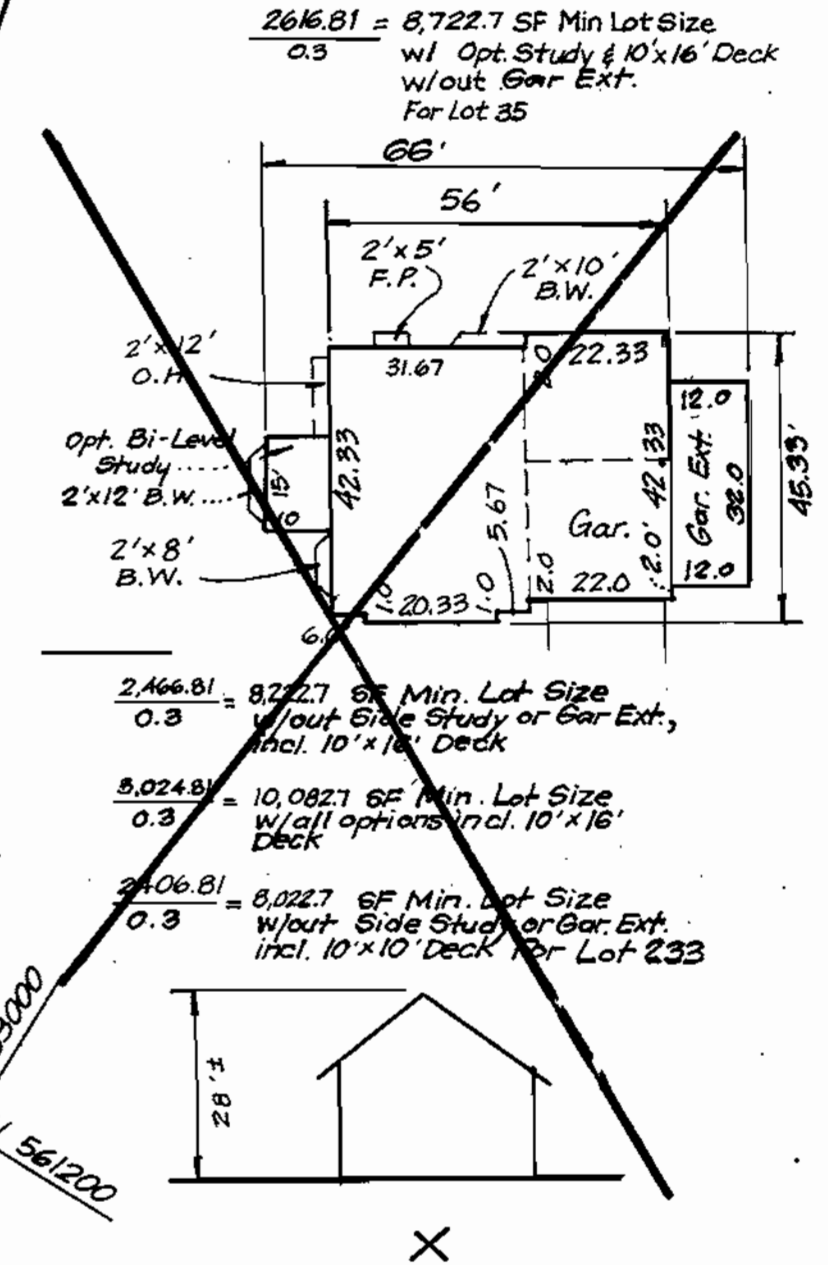
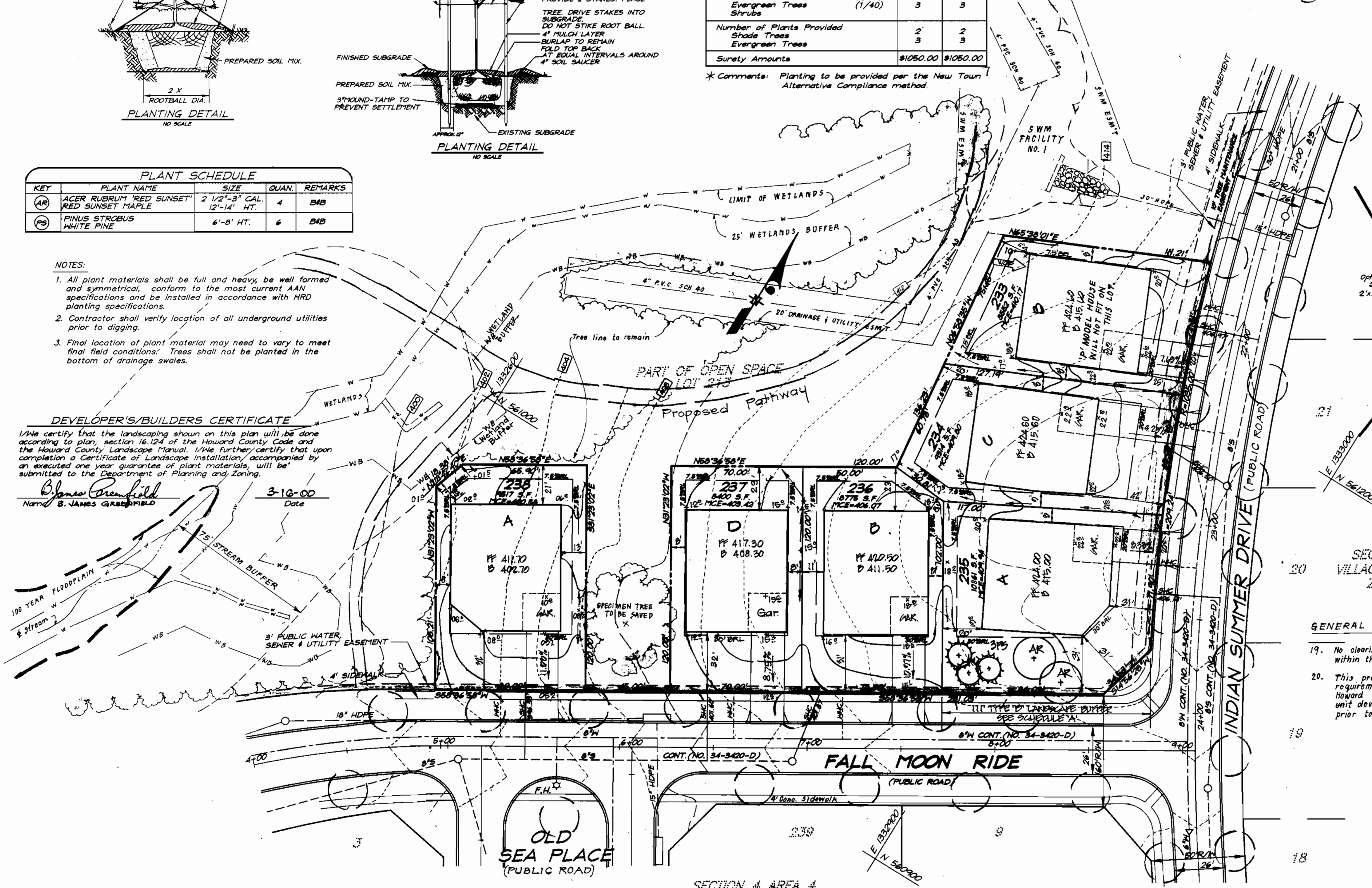
PLANT SCHEDULE				
KEY	PLANT NAME	SIZE	QUAN.	REMARKS
AR	ACER RUBRUM 'RED SUNSET'	2 1/2"-3" CAL.	4	BAB
	RED SUNSET MAPLE	12'-14' HT.		
PS	PINUS STROBUS	6'-8' HT.	6	BAB
	WHITE PINE			

- NOTES:**
- All plant materials shall be full and heavy, be well formed and symmetrical, conform to the most current AAN specifications and be installed in accordance with HRD planting specifications.
  - Contractor shall verify location of all underground utilities prior to digging.
  - Final location of plant material may need to vary to meet final field conditions. Trees shall not be planted in the bottom of drainage swales.

**DEVELOPER'S/BUILDERS CERTIFICATE**

I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Name: B. James Greenfield Date: 3-10-00



SECTION 4 AREA 4  
VILLAGE OF RIVER HILL  
ZONED: NTSFLD

**GENERAL NOTES CONTINUED:**

- No clearing, grading or construction is permitted within the required wetlands, stream (s) or their buffers.
- This project is exempt from the forest conservation requirements per Section 18.1202 (b) (1) (iv) of the Howard County Code because it is part of a planned unit development with preliminary plan approval prior to 12/31/92.
- In accordance with FDP-Phase 222-A, Part 4 bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 3 feet into the front or rear setbacks. Exterior basement stairways may not encroach into any setbacks.
- Stormwater Management is provided per: F-96-130
- SHC Elevations shown are at the property lines.
- This plan has been prepared in accordance with the provisions of section 16.124 of the Howard County code and Landscape Manual. Financial Surety for the trees in schedule A in the amount of \$ 2,100 shall be part of the Builders Grading Permit Application (see schedule A - this sheet).

**OWNER / DEVELOPER**  
THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10276 LITTLE PATRIOT PARKWAY  
COLUMBIA, MARYLAND 21044

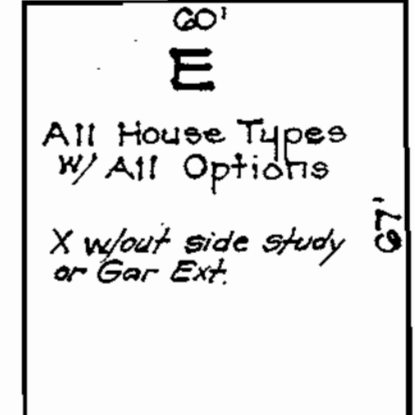
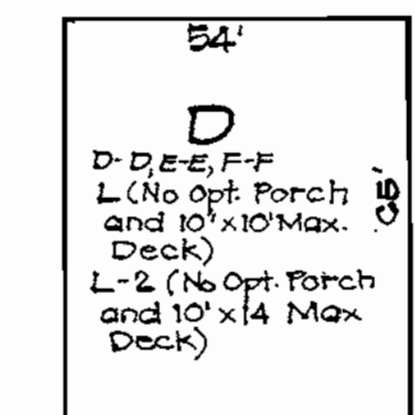
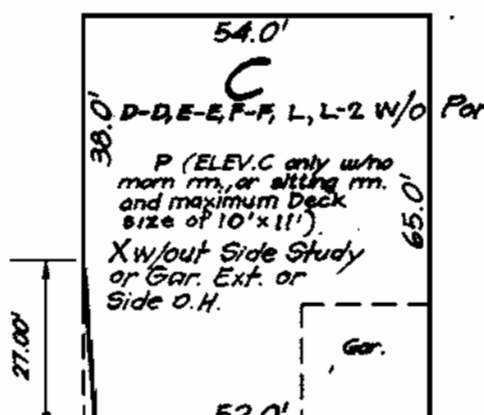
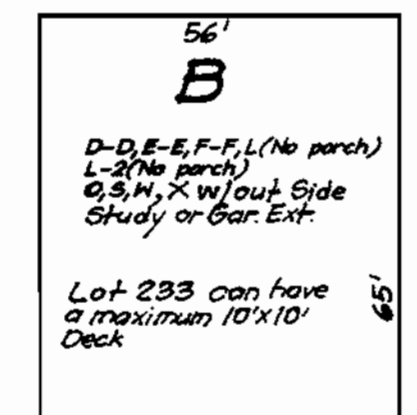
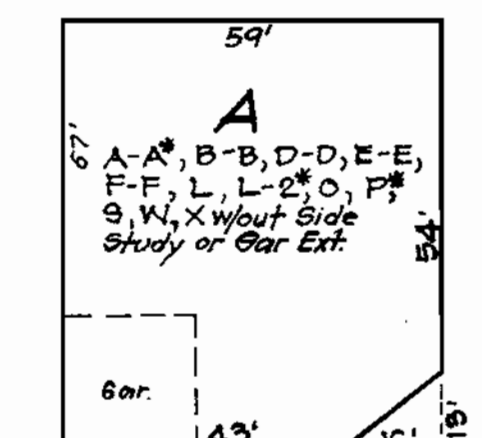
**SPECIAL NOTE:**

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-96-130 and/or approved Water and Sewer Plans Contract #34-3420-D.

NO.	REVISIONS	DATE
3	Rev. Rear Bldg. dimension of X house typical	2-2-01
2	Add options to X hse. typical	5-18-00
1	Add X hse. typical	9-1-00

APPROVED: DEPARTMENT OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: Cinda Horvath 6/1/00  
CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature] 6/1/00  
DIRECTOR: [Signature] 6/1/00



- \* A-A MODEL ON LOTS 233-239 ONLY MAX. DECK 10'x10' OPT. PORCH
- \* P MODEL - LOTS 233-239 ONLY W/ OPT. MORN. RM. OR SITTING RM. & MAX. DECK 8'x10'
- \* P MODEL - ELEV. B # C ON LOTS 233-239 ONLY W/ No Opt. Morn. Rm. or Sitting Rm. and Max. Deck 10'x10'

SUBDIVISION NAME	COLUMBIA VILLAGE OF RIVER HILL	SECTION/AREA	A/A	LOTS	34-41 & 233-238
PLAT NO.	12929 & 13286	ZONING	NTSFLD	TAX MAP NO.	35
WATER CODE	110	SEWER CODE	6653000	ELECTION DIST.	5TH
				CENSUS TRACT	6055

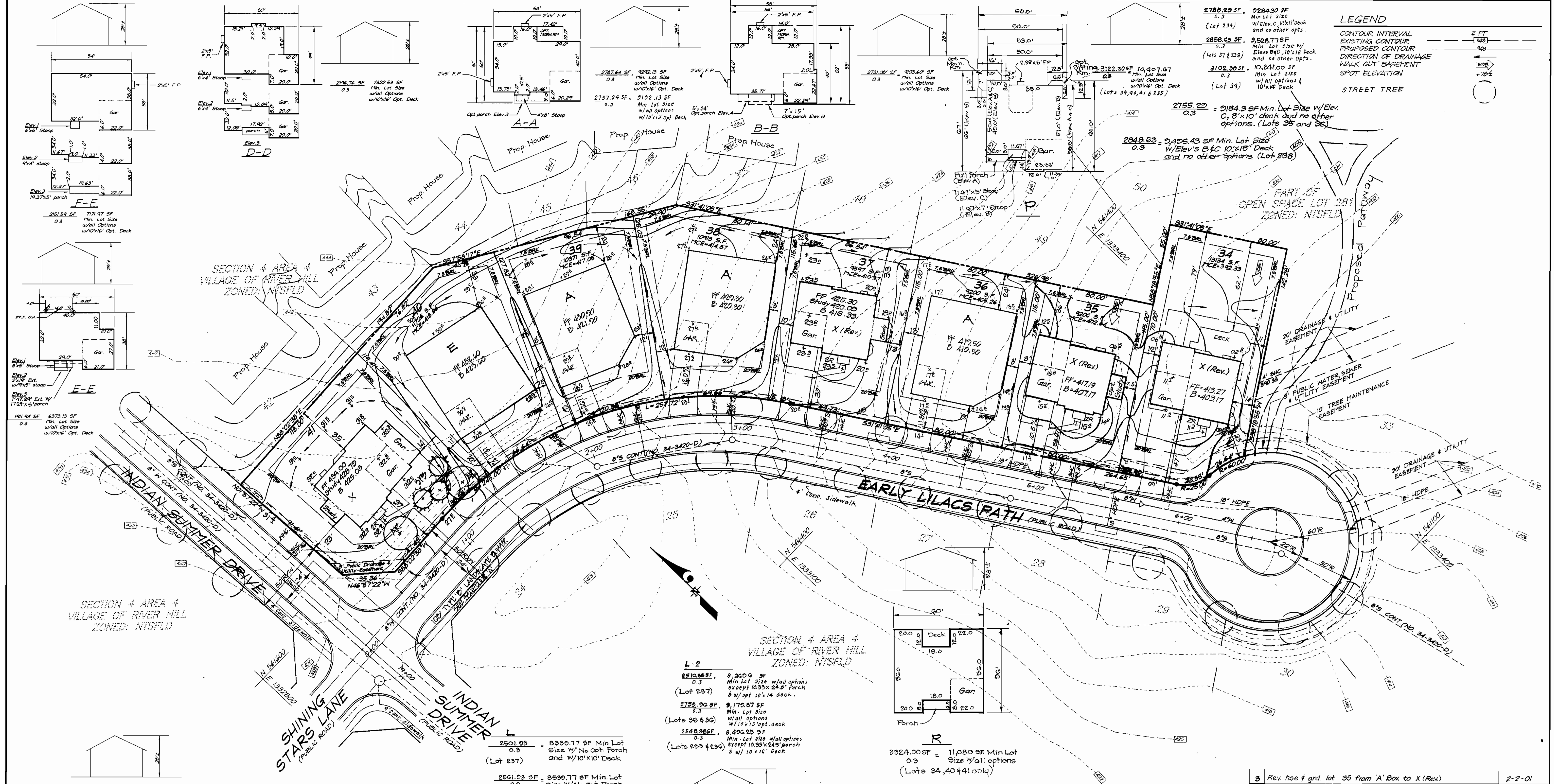
**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED	D.M.	SCALE	1" = 30'
DRAWN	K.P.B.	DRAWING	1 of 4
CHECKED	D.M.	JOB NO.	00-010
DATE	3-2-2000	FILE NO.	00-010X

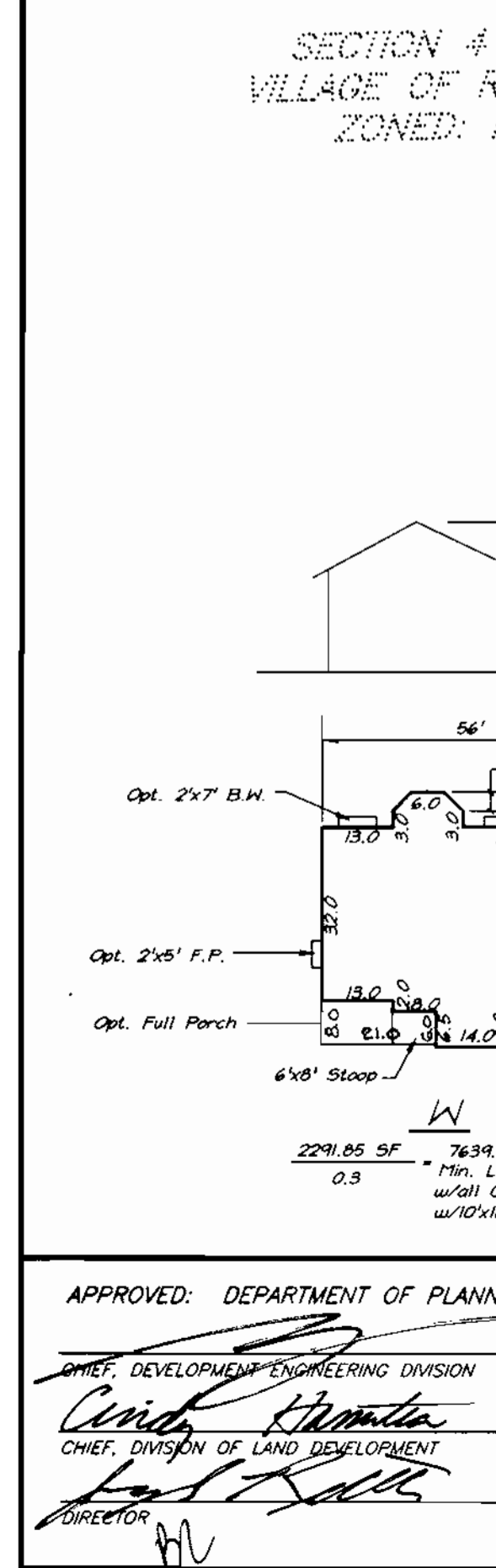
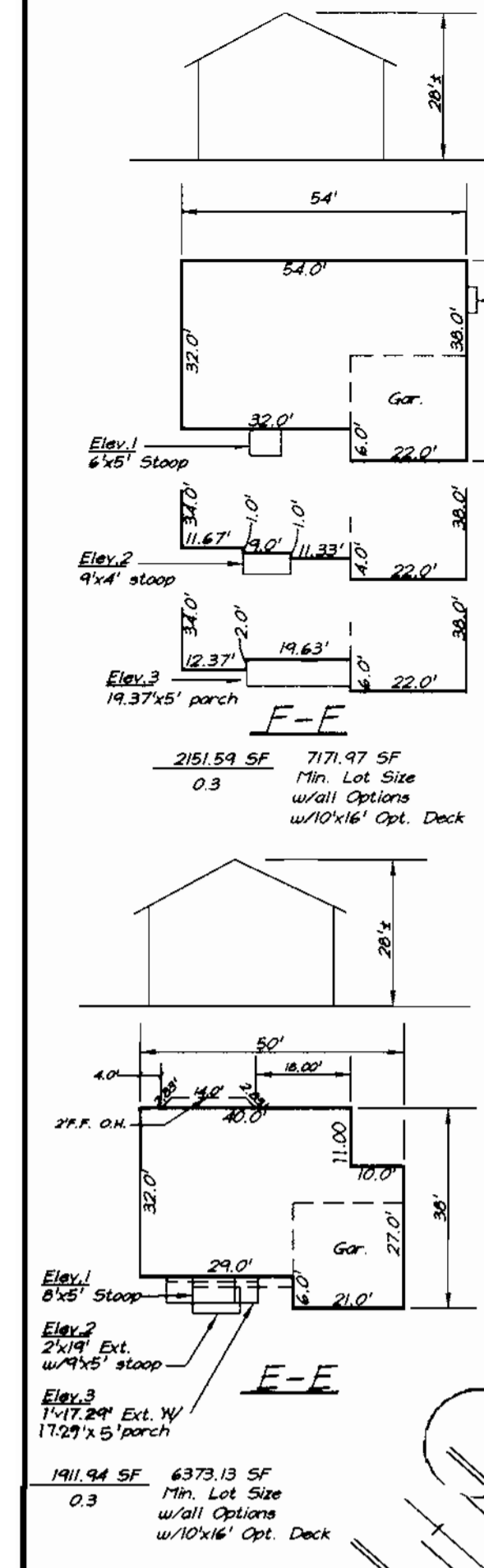
SITE DEVELOPMENT PLAN  
LOTS 34-41 & 233-238  
**COLUMBIA VILLAGE OF RIVER HILL**  
SECTION 4 AREA 4  
FIFTH (5th) ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

FOR: COLUMBIA BUILDERS, INC.  
P.O. Box 999  
Columbia, Maryland 21044



**LEGEND**

CONTOUR INTERVAL  
EXISTING CONTOUR  
PROPOSED CONTOUR  
DIRECTION OF DRAINAGE  
WALK OUT BASEMENT  
SPOT ELEVATION  
STREET TREE



APPROVED: DEPARTMENT OF PLANNING & ZONING

DATE: 6/1/00

DATE: 6/1/00

DATE: 6/1/00

**L-2**

8510.66 SF, 8,300.0 SF  
Min Lot Size w/all options  
except 10.33x24.5' porch  
& w/opt 10'x14' deck.

(Lot 237)

2758.20 SF, 9,170.67 SF  
Min. Lot Size  
w/all options  
w/10'x13' opt. deck

(Lots 35 & 36)

2548.88 SF, 8,490.25 SF  
Min. Lot Size w/all options  
except 10.33x24.5' porch  
& w/10'x16' Deck

(Lots 38 & 39)

2501.03 = 8330.77 SF Min Lot  
Size w/No Opt. Porch  
and w/10'x10' Deck

(Lot 237)

2501.03 SF = 8530.77 SF Min. Lot  
Size w/No Opt. Porch  
and w/10'x16' Deck

(Lots 235 & 236)

3924.00 SF = 11,080 SF Min Lot  
Size w/all options  
(Lots 34, 40 & 41 only)

3	Rev. hse. f. grd. lot 35 from 'A' Box to X (Rev.)	2-2-01
2	Rev. hse. f. grd. lots 37 & 41	2-18-00
1	Rev. hse. f. grd. lot 34 from 'E' Box to X (Rev.)	9-1-00
REVISION		DATE

**OWNER / DEVELOPER**  
THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10278 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044

**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

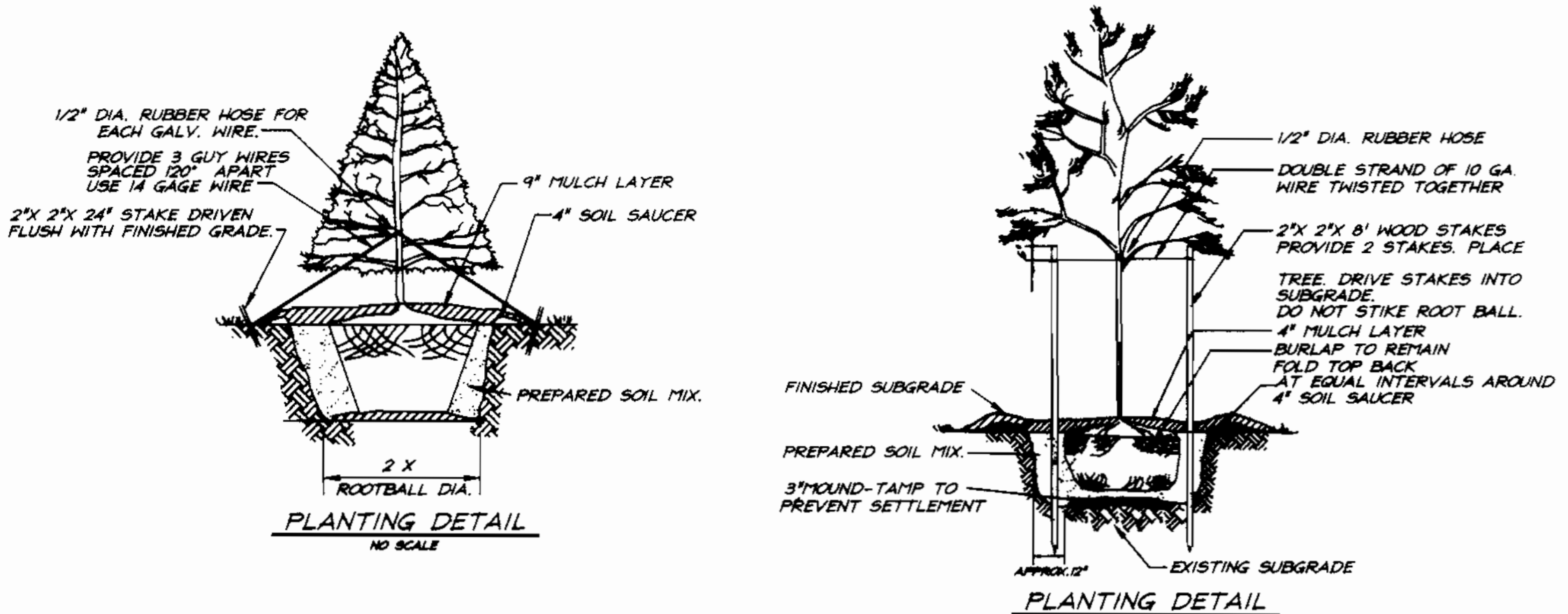
DESIGNED: D.M.  
DRAWN: K.P.B.  
C-CHECKED: D.M.  
DATE: 3-2-2000

SCALE: 1" = 30'  
DRAWING: 2 of 4  
JOB NO.: 00-010  
FILE NO.: 00-010X

SITE DEVELOPMENT PLAN  
LOTS 34-41 & 233-238  
**COLUMBIA VILLAGE OF RIVER HILL**  
SECTION 4 AREA 4  
FIFTH (5th) ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

FOR: COLUMBIA BUILDERS, INC.  
P.O. Box 999  
Columbia, Maryland 21044

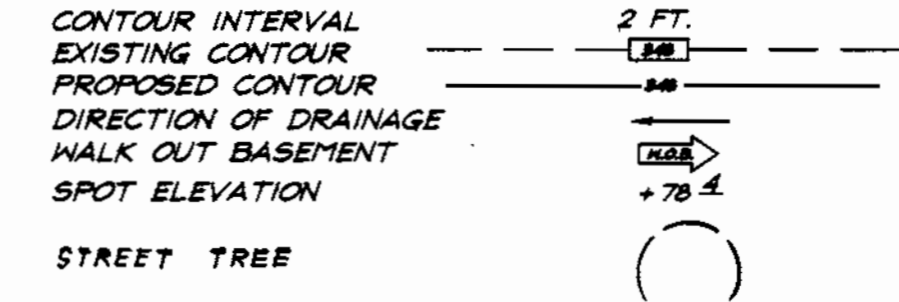




SCHEDULE A PERIMETER LANDSCAPE EDGE		
Category	Adjacent to Roadways	Adjacent to Other
Landscape Type	B	B
Frontage/Perimeter	111	108
Number of Plants Required		
Shade Trees	(1/50)	2
Evergreen Trees	(1/40)	3
Shrubs		3
Number of Plants Provided		
Shade Trees	2	2
Evergreen Trees	3	3
Surety Amounts	\$1050.00	\$1050.00

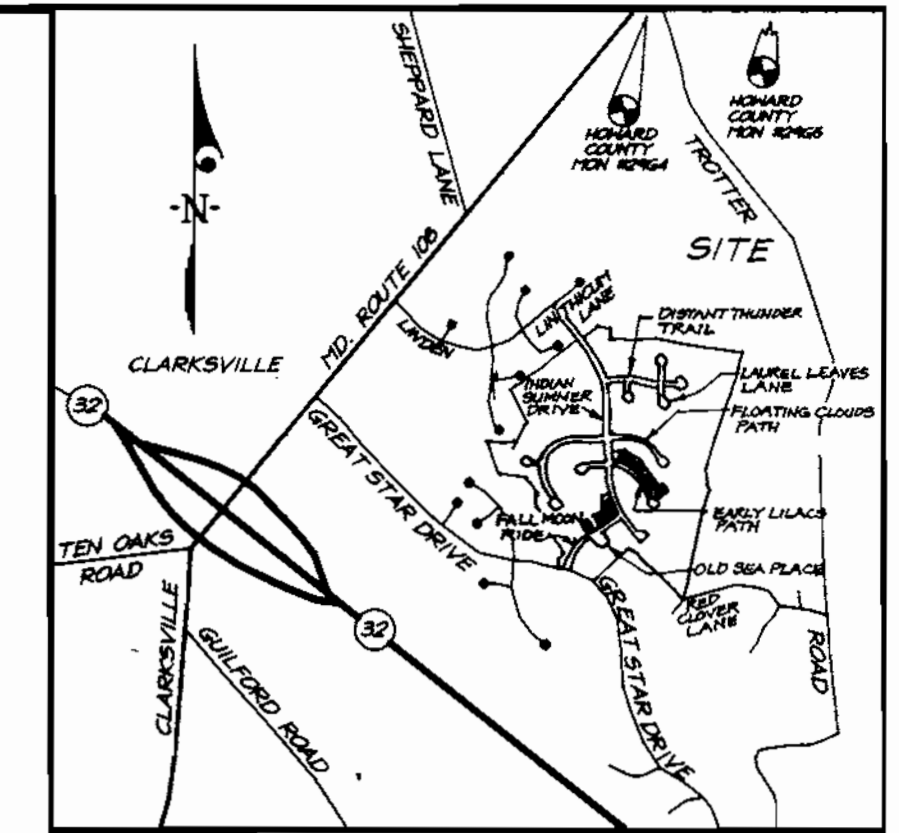
\* Comments: Planting to be provided per the New Town Alternative Compliance method.

**LEGEND**



**BENCHMARKS:**

Howard County Monument 2964  
Intersection of MD. Route 108 and Trotter Road  
  
Howard County Monument 2965  
an additional 2,544'2" Northeastly along MD. Route 108 away from Site



**VICINITY MAP**  
Scale: 1"=2000'

SHEET INDEX	
DESCRIPTION	SHEET NO.
Site Development Plan	1 of 4
Sediment & Erosion Control Plan	3 of 4

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
34	12129 Early Lilacs Path
35	12125 Early Lilacs Path
36	12121 Early Lilacs Path
37	12117 Early Lilacs Path
38	12113 Early Lilacs Path
39	12109 Early Lilacs Path
40	12105 Early Lilacs Path
41	12101 Early Lilacs Path
239	5892 Indian Summer Drive
234	5896 Indian Summer Drive
235	5900 Indian Summer Drive
236	5936 Fall Moon Ride
237	5932 Fall Moon Ride
238	5920 Fall Moon Ride

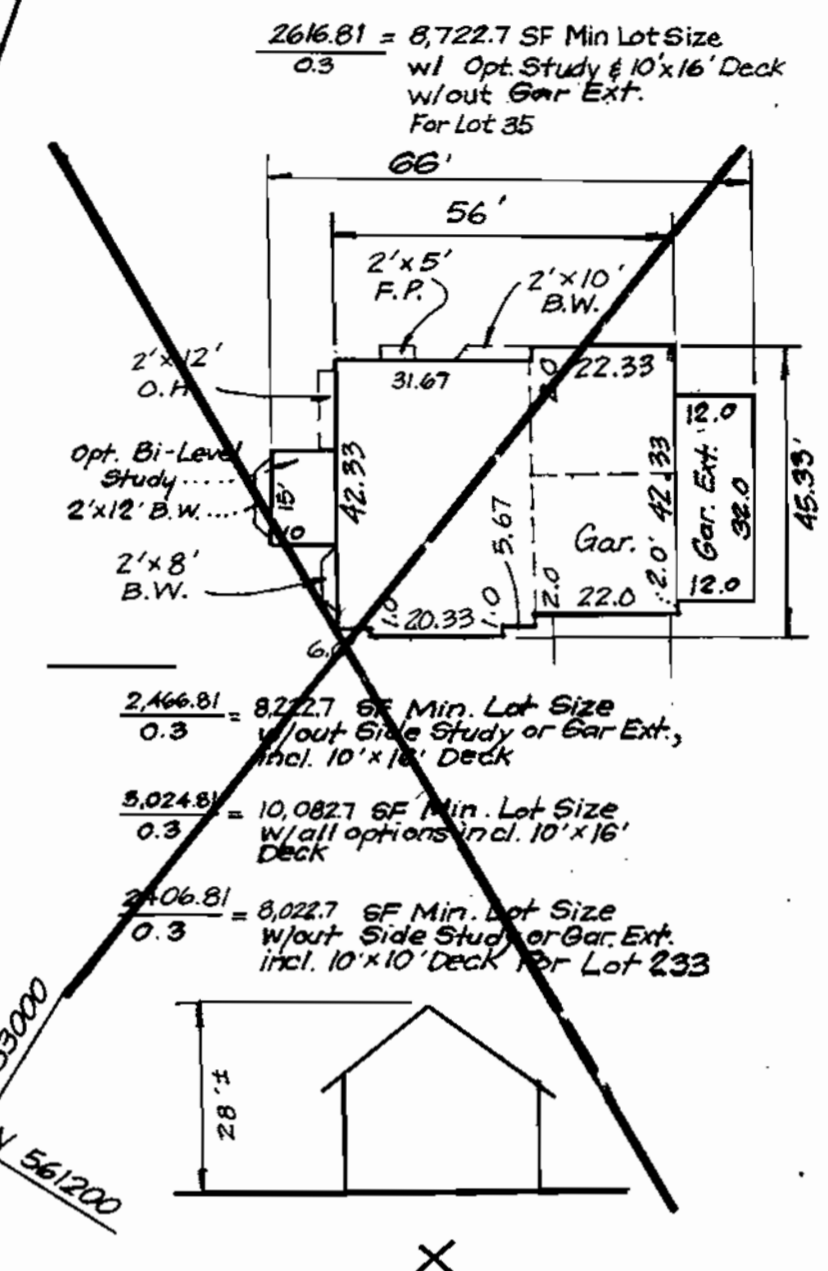
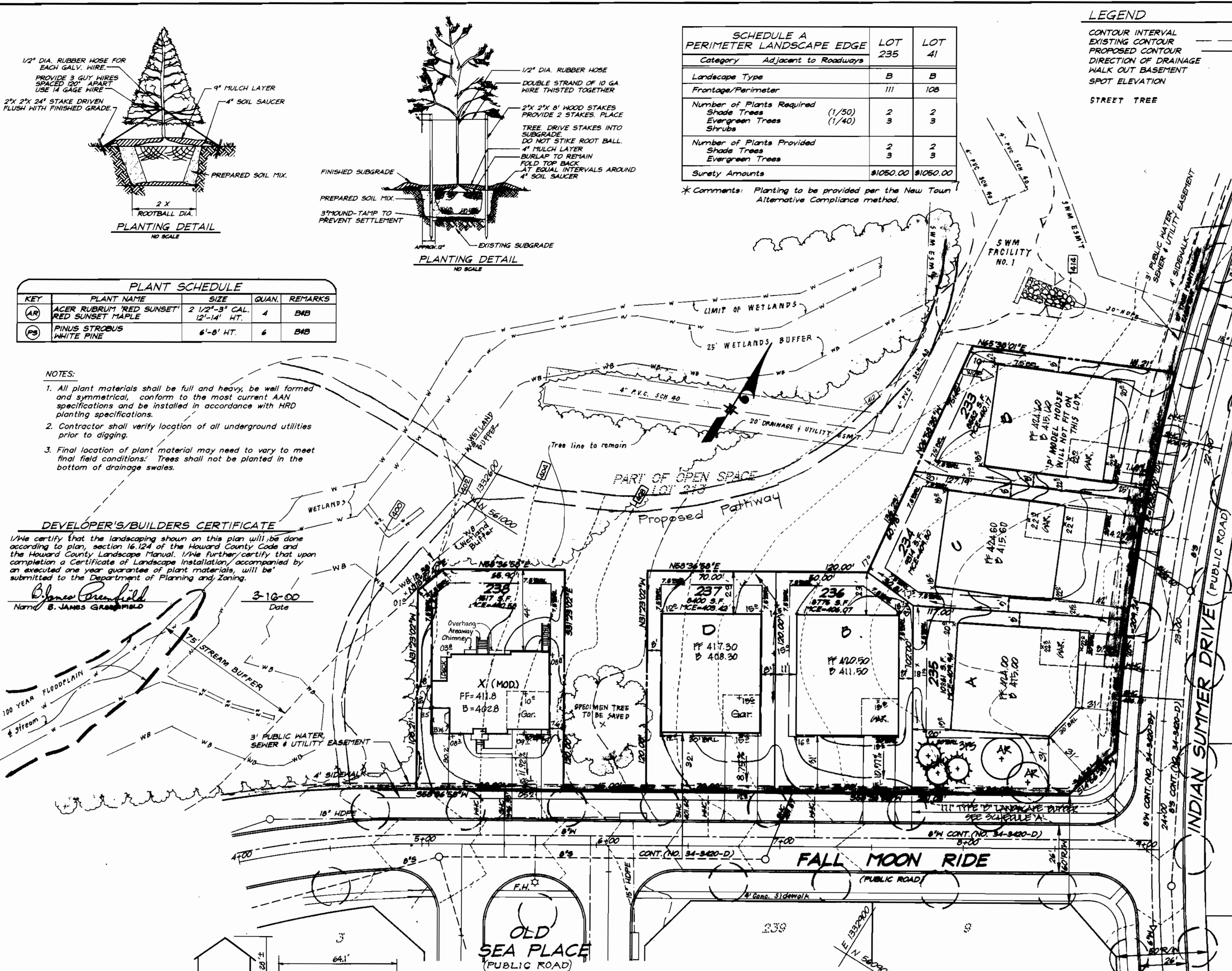
PLANT SCHEDULE				
KEY	PLANT NAME	SIZE	QUAN.	REMARKS
(AR)	ACER RUBRUM 'RED SUNSET'	2 1/2"-3" CAL.	4	BMB
(AR)	RED SUNSET MAPLE	12"-14" HT.	4	BMB
(P)	PINUS STROBUS	6'-8" HT.	6	BMB
(P)	WHITE PINE			

- NOTES:**
- All plant materials shall be full and heavy, be well formed and symmetrical, conform to the most current AAN specifications and be installed in accordance with HRD planting specifications.
  - Contractor shall verify location of all underground utilities prior to digging.
  - Final location of plant material may need to vary to meet final field conditions: Trees shall not be planted in the bottom of drainage swales.

**DEVELOPER'S/BUILDERS CERTIFICATE**

I/We certify that the landscaping shown on this plan will be done according to plan, section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a Certificate of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

*Blaine Greenfield*  
Name: **B. JAMES GREENFIELD** Date: **3-10-00**



**SECTION 4 AREA 4 VILLAGE OF RIVER HILL ZONED: NTSFLD**

**GENERAL NOTES CONTINUED:**

- No clearing, grading or construction is permitted within the required wetlands, stream(s) or their buffers.
- This project is exempt from the forest conservation requirements per Section 18.1202.(b)(1)(iv) of the Howard County Code because it is part of a planned unit development with preliminary plan approval prior to 12/31/92.

**GENERAL NOTES:**

- Subject property is zoned: NTSFMD & NTSFLD per 10-18-93 Comprehensive Zoning Plan.
- The total area included in this submission is: 3.27 Acres.
- The total number of lots included in this submission is: 14
- Improvement to property: Single Family Detached
- The maximum lot coverage permitted is: 30% per FDP 222-A, Part IX.
- Department of Planning and Zoning reference file numbers: 93-21P-15-11, F-96-130, W&S Cont. No. 34-3420-D, F-08-120
- Utilities shown as existing are taken from approved Water and Sewer plans Contract #34-3420-D, approved Road Construction plans F-96-130, and actual field survey.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- All roadways are public and existing.
- The existing topography was taken from Road Construction Plans prepared by D&F, Micuna, Walker Inc. 7-10-97
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 2964 & 2965
- The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least twenty-four (24) hours prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
- In accordance with FDP-Phase 222-A, Part 4 bay windows or chimneys not more than 10 feet in width may project not more than 4 feet into any setbacks; porches and decks may project not more than 3 feet into the front or rear setbacks. Exterior basement awnings/shrubs may not encroach into any DR.
- Stormwater Management is provided per: F-96-130
- SHC Elevations shown are at the property lines.
- This plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and Landscape Manual. Financial Surety for the trees in schedule A in the amount of \$ 2,100 shall be part of the Builders Grading Permit Application (see schedule A - this sheet).

**OWNER / DEVELOPER**  
THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
12275 LITTLE PATIENT PARKWAY  
COLUMBIA, MARYLAND 21044

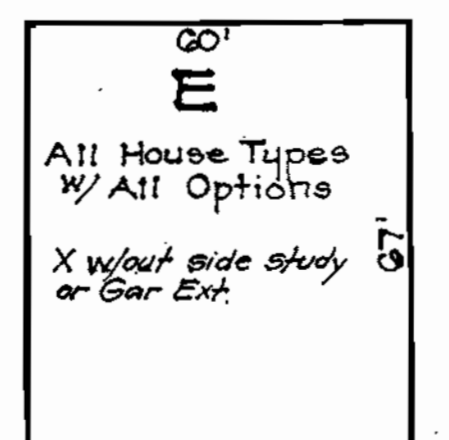
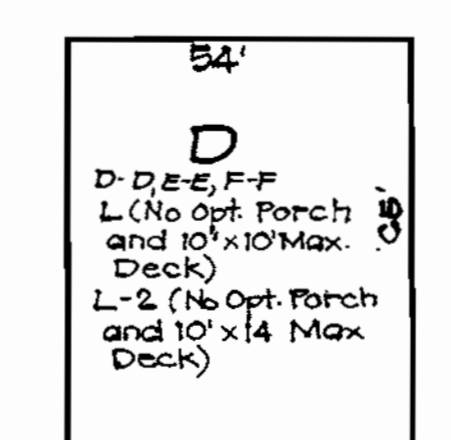
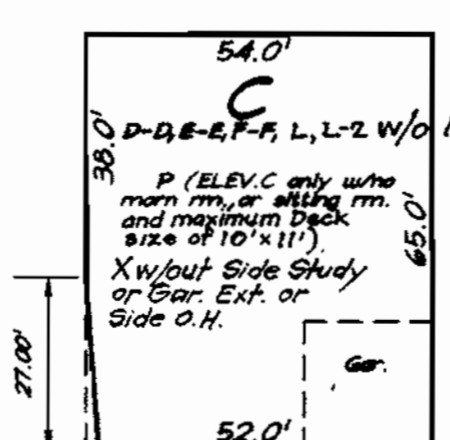
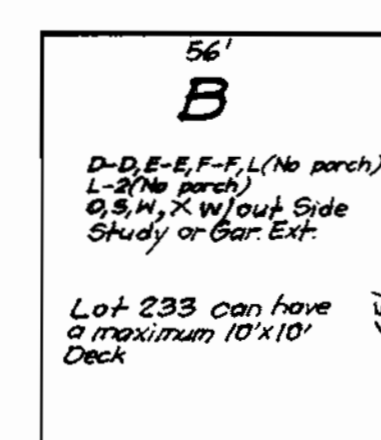
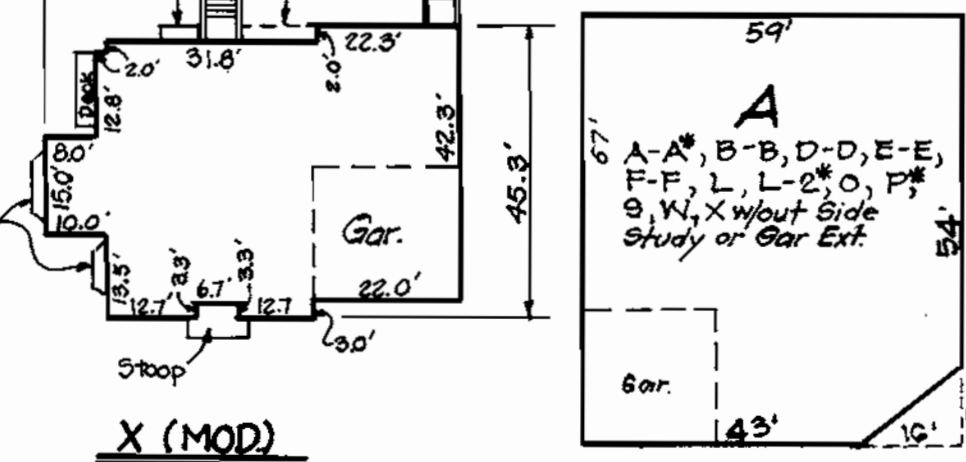
**SPECIAL NOTE:**

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans F-96-130 and/or approved Water and Sewer Plans Contract #34-3420-D.

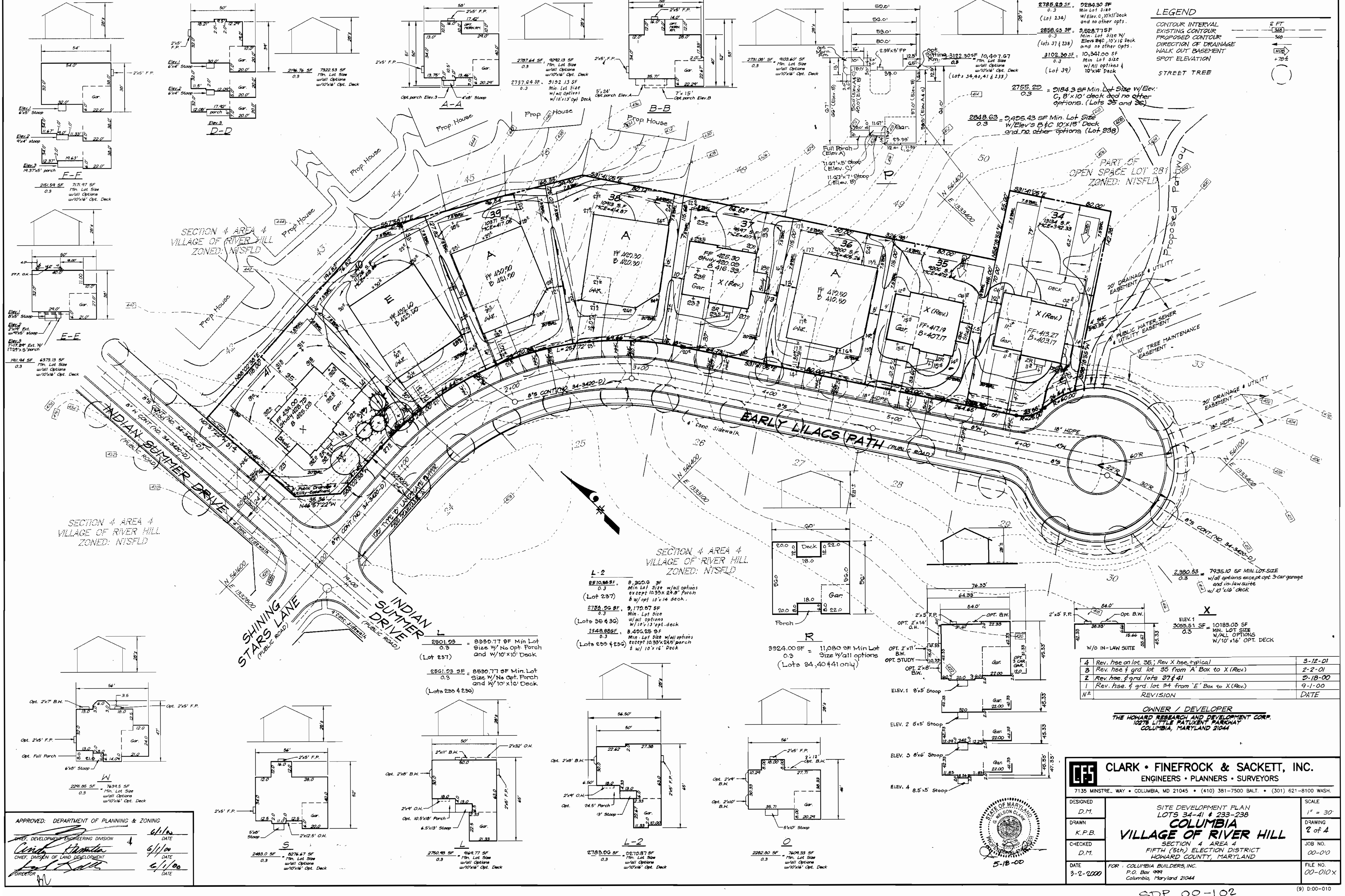
NO.	REVISIONS	DATE
4	Rev. 4' Gabled hse. 'X' Mod. Rev. hse. & grad. lot 238 to 'X' hse.	5-8-01
3	Rev. Rear Blg. dimension of 'X' house typical	2-2-01
2	Add options to 'X' hse. typical	9-18-00
1	Add 'X' hse. typical	9-1-00
N/S		

APPROVED: DEPARTMENT OF PLANNING & ZONING  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
*Blaine Greenfield*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
*Blaine Greenfield*  
DIRECTOR

DATE: 6/1/00  
DATE: 6/1/00  
DATE: 6/1/00



SUBDIVISION NAME		COLUMBIA	SECTION/AREA	4/4	LOTS	34-41 & 233-238					
PLAT NO.	12295	BLOCK NO.	7	ZONE	NTSFLD	TAX MAP NO.	35	ELECTION DIST.	5TH	CENSUS TRACT	6055
WATER CODE	110	SEWER CODE	6653000								
<b>CLARK • FINEFROCK &amp; SACKETT, INC.</b> ENGINEERS • PLANNERS • SURVEYORS 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALF. • (301) 621-8100 WASH.											
DESIGNED	D.M.	SITE DEVELOPMENT PLAN				SCALE	1" = 30'				
DRAWN	K.P.B.	LOTS 34-41 & 233-238				DRAWING	1 of 4				
CHECKED	D.M.	SECTION 4 AREA 4				JOB NO.	00-010				
DATE	3-2-2000	FIFTH (5th) ELECTION DISTRICT				FILE NO.	00-010X				
		FOR: COLUMBIA BUILDERS, INC.									
		P.O. Box 499									
		Columbia, Maryland 21044									



**LEGEND**

CONTOUR INTERVAL 2 FT

EXISTING CONTOUR

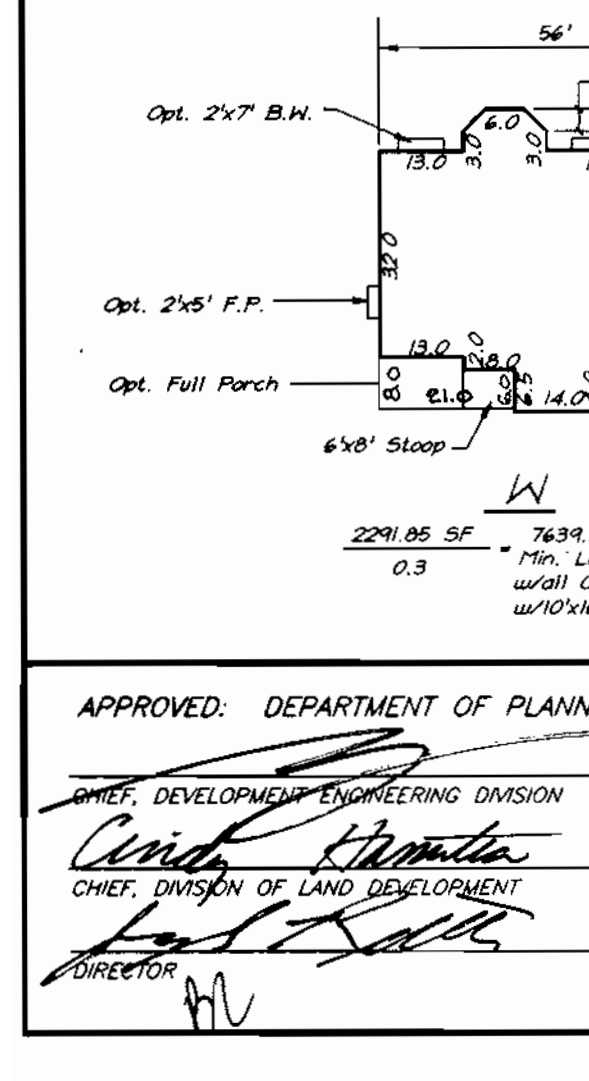
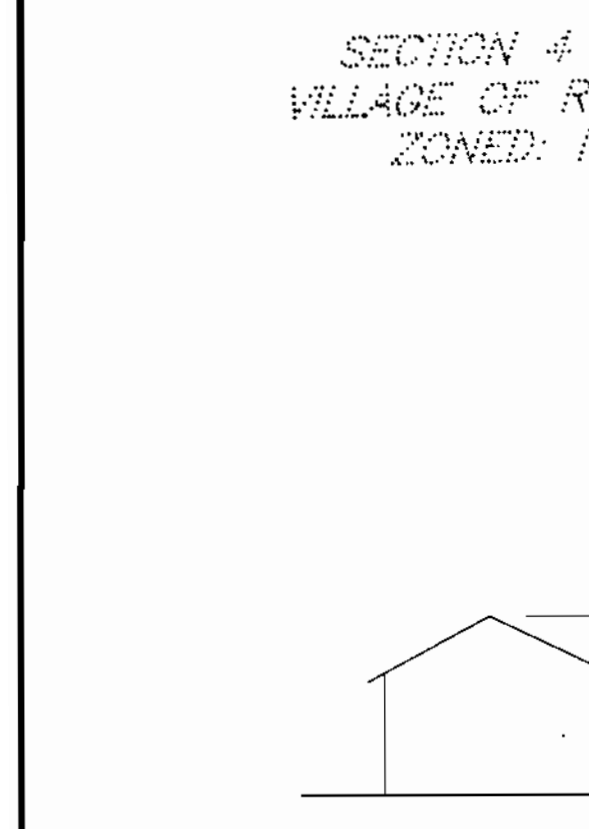
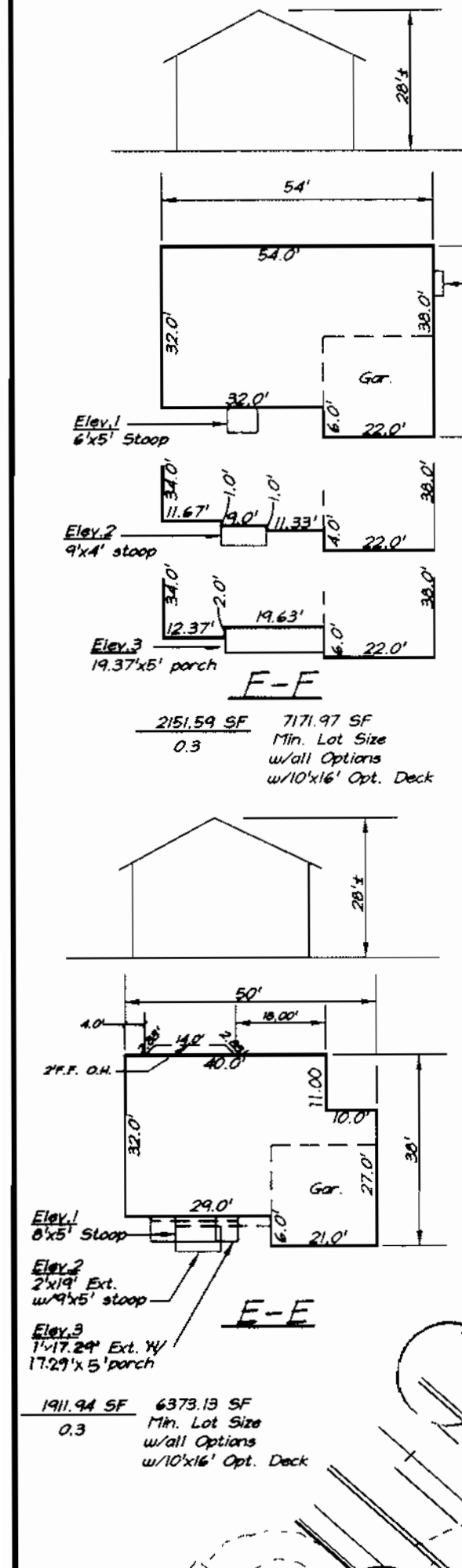
PROPOSED CONTOUR

DIRECTION OF DRAINAGE

WALK OUT BASEMENT

SPOT ELEVATION

STREET TREE



APPROVED: DEPARTMENT OF PLANNING & ZONING

DATE: 6/1/00

DATE: 6/1/00

DATE: 6/1/00

**L-2**

8510.00 SF = 8,900.00 SF Min Lot Size w/all options except 10.35'x24.8' Porch & w/10'x14' Deck (Lot 237)

2758.00 SF = 9,170.07 SF Min Lot Size w/all options w/10'x13' Opt. Deck (Lots 235 & 236)

2548.00 SF = 8,406.25 SF Min Lot Size w/all options except 10.35'x24.8' Porch & w/10'x16' Deck (Lots 233 & 234)

**2501.03** = 8380.77 SF Min Lot Size w/No Opt. Porch and w/10'x10' Deck (Lot 237)

**2501.03** = 8590.77 SF Min Lot Size w/No Opt. Porch and w/10'x16' Deck (Lots 233 & 234)

**2501.03** = 8590.77 SF Min Lot Size w/No Opt. Porch and w/10'x16' Deck (Lots 233 & 234)

**L-2**

2788.00 SF = 9,210.87 SF Min Lot Size w/all options w/10'x16' Opt. Deck

2282.00 SF = 8,409.33 SF Min Lot Size w/all options w/10'x16' Opt. Deck

**R**

3324.00 SF = 11,080 SF Min Lot Size w/all options (Lots 24, 40 & 41 only)

**X**

ELEV. 1 3055.51 SF = 10188.00 SF Min Lot Size w/all options w/10'x16' OPT. DECK

**X**

2300.00 = 7935.10 SF MIN LOT SIZE w/all options except opt 3 car garage and w/10'x16' deck

NO.	REVISION	DATE
4	Rev. hse on lot 35; Rev X hse typical	3-12-01
3	Rev. hse of grad. lot 35 from 'A' Box to X (Rev.)	2-2-01
2	Rev. hse of grad. lots 37 & 41	2-18-00
1	Rev. hse. of grad. lot 34 from 'E' Box to X (Rev.)	9-1-00

**OWNER / DEVELOPER**

THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
10275 LITTLE PATENTERS PARKWAY  
COLUMBIA, MARYLAND 21044

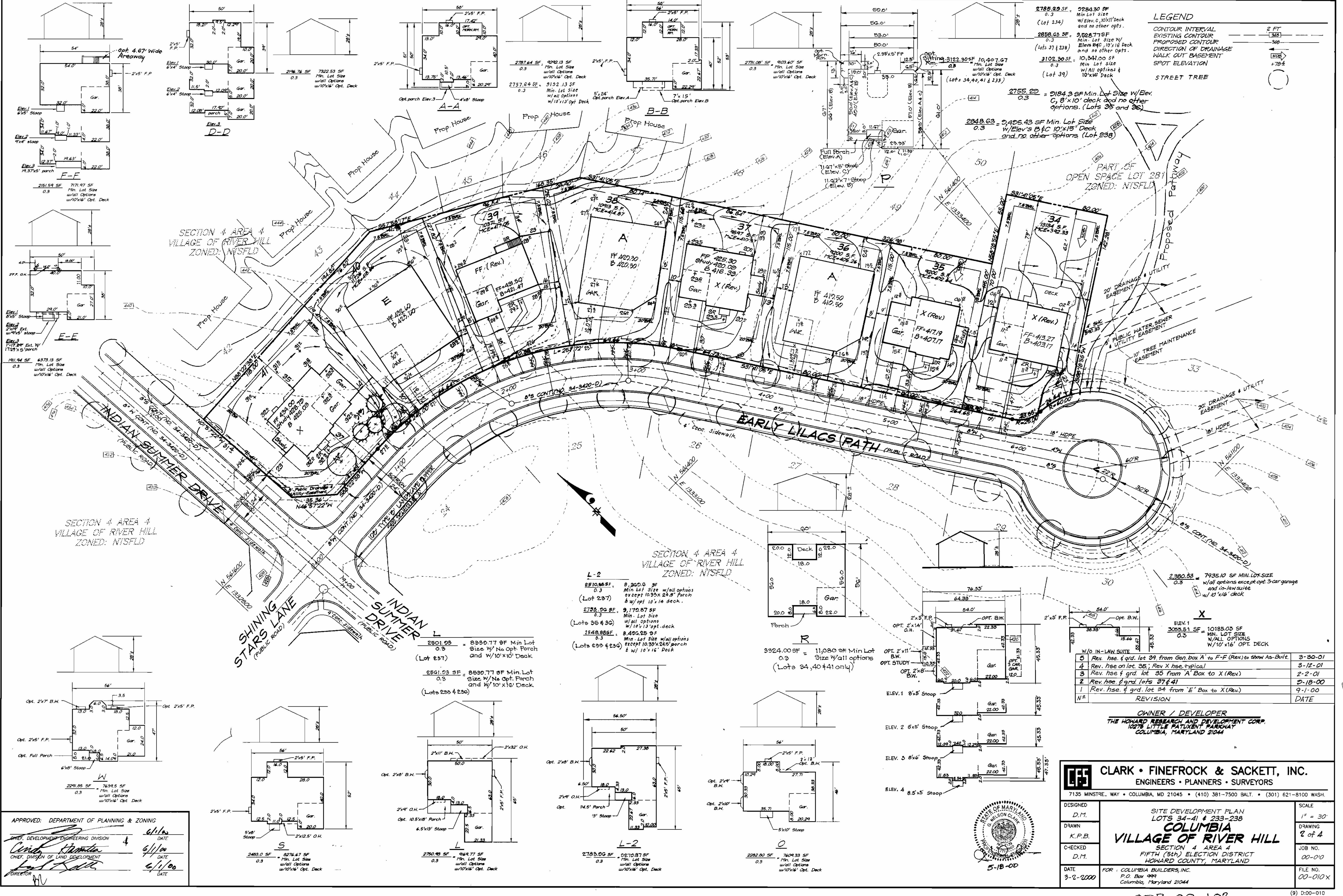
**CLARK • FINEFROCK & SACKETT, INC.**  
ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTRE WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED D.M.	<b>SITE DEVELOPMENT PLAN</b> <b>LOTS 34-41 &amp; 233-238</b> <b>COLUMBIA</b> <b>VILLAGE OF RIVER HILL</b> SECTION 4 AREA 4 FIFTH (5th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN K.P.B.		DRAWING 2 of 4
CHECKED D.M.		JOB NO. 00-010
DATE 3-2-0000		FILE NO. 00-010X

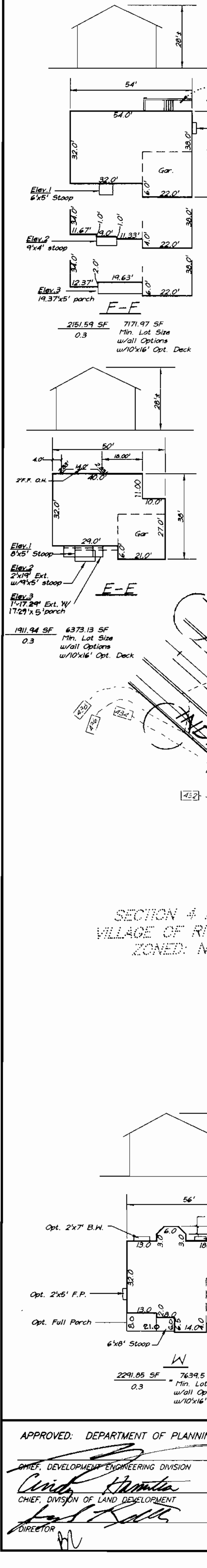
FOR: COLUMBIA BUILDERS, INC.  
P.O. Box 999  
Columbia, Maryland 21044

5-18-00



**LEGEND**

CONTOUR INTERVAL	2 FT
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
DIRECTION OF DRAINAGE	→
WALK OUT BASEMENT	⬇
SPOT ELEVATION	+78.4
STREET TREE	( )



SECTION 4 AREA 4  
VILLAGE OF RIVER HILL  
ZONED: NISFLD

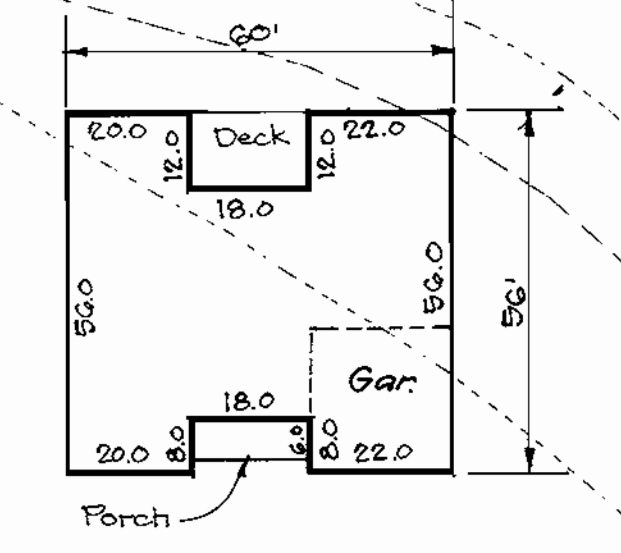
SECTION 4 AREA 4  
VILLAGE OF RIVER HILL  
ZONED: NISFLD

SECTION 4 AREA 4  
VILLAGE OF RIVER HILL  
ZONED: NISFLD

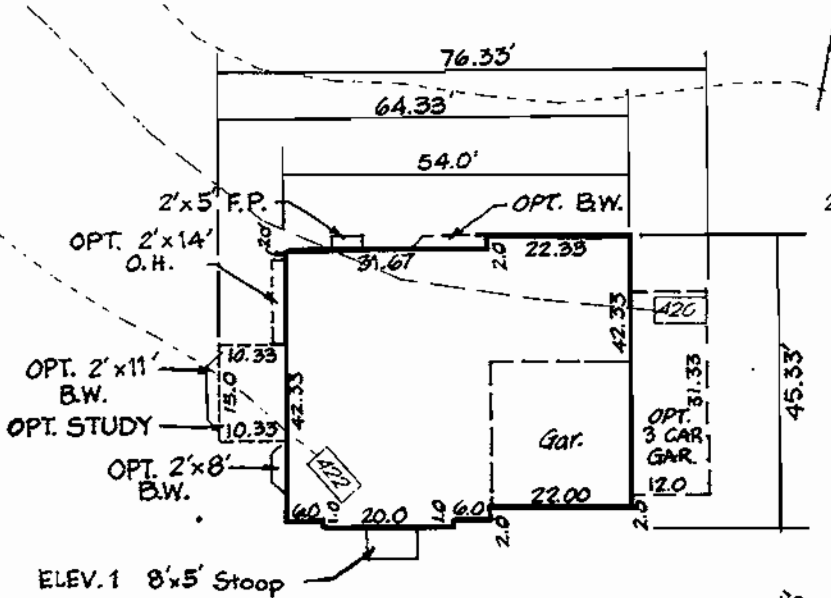
- L-2**  
 2510.00 SF 8,300.00 SF  
 0.3 Min Lot Size w/all options  
 (Lot 237) except 10.5'x24.5' porch  
 & w/10'x14' deck
- 2785.00 SF 9,170.87 SF  
 0.3 Min Lot Size  
 (Lots 235 & 236) w/all options  
 w/10'x13' opt. deck
- 2548.88 SF 8,400.25 SF  
 0.3 Min Lot Size w/all options  
 (Lots 233 & 234) except 10.5'x24.5' porch  
 & w/10'x16' deck

2501.00 SF 8950.77 SF Min Lot  
 0.3 Size w/ No Opt. Porch  
 (Lot 237) and w/10'x10' Deck

2501.00 SF 8950.77 SF Min Lot  
 0.3 Size w/ No Opt. Porch  
 (Lots 233 & 234) and w/10'x10' Deck



3924.00 SF = 11,080 SF Min Lot  
 0.3 Size w/all options  
 (Lots 24, 40 & 41 only)



**X**  
 3088.81 SF 10185.03 SF  
 0.3 Min Lot Size  
 w/all options  
 w/10'x16' OPT. DECK

W/O IN-LAW SUITE	REVISION	DATE
5	Rev. hse. of grd. lot 39 from Gen. box A' to F-F (Rev.) to show As-Built.	3-30-01
4	Rev. hse. on lot 35; Rev X hse. typical	3-12-01
3	Rev. hse. of grd. lot 35 from 'A' Box to X (Rev.)	2-2-01
2	Rev. hse. of grd. lots 37 & 41	2-18-00
1	Rev. hse. of grd. lot 24 from 'E' Box to X (Rev.)	9-1-00

**OWNER / DEVELOPER**  
 THE HOWARD RESEARCH AND DEVELOPMENT CORP.  
 10276 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21044

APPROVED: DEPARTMENT OF PLANNING & ZONING  
 CHIEF DEVELOPER/ENGINEERING DIVISION  
 CHIEF DIVISION OF LAND DEVELOPMENT  
 DIRECTOR

6/1/00  
 6/1/00  
 6/1/00

**CLARK • FINEFROCK & SACKETT, INC.**  
 ENGINEERS • PLANNERS • SURVEYORS

7135 MINSTRE. WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED D.M.	SITE DEVELOPMENT PLAN LOTS 34-41 & 233-238 <b>COLUMBIA</b> <b>VILLAGE OF RIVER HILL</b> SECTION 4 AREA 4 FIFTH (56th) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30'
DRAWN K.P.B.		DRAWING 2 OF 4
CHECKED D.M.		JOB NO. 00-010
DATE 3-2-2000		FILE NO. 00-010X

FOR: COLUMBIA BUILDERS, INC.  
 P.O. Box 999  
 Columbia, Maryland 21044

