

SITE DEVELOPMENT PLAN

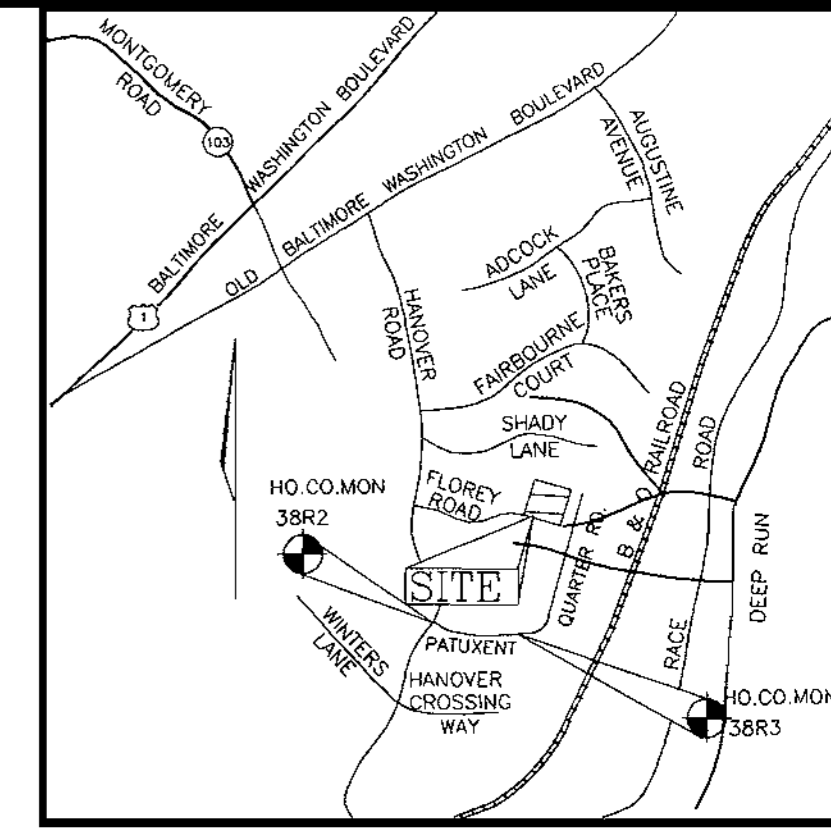
WHITETAIL WOODS

LOTS 1 THRU 17

HOWARD COUNTY, MARYLAND

GENERAL NOTES

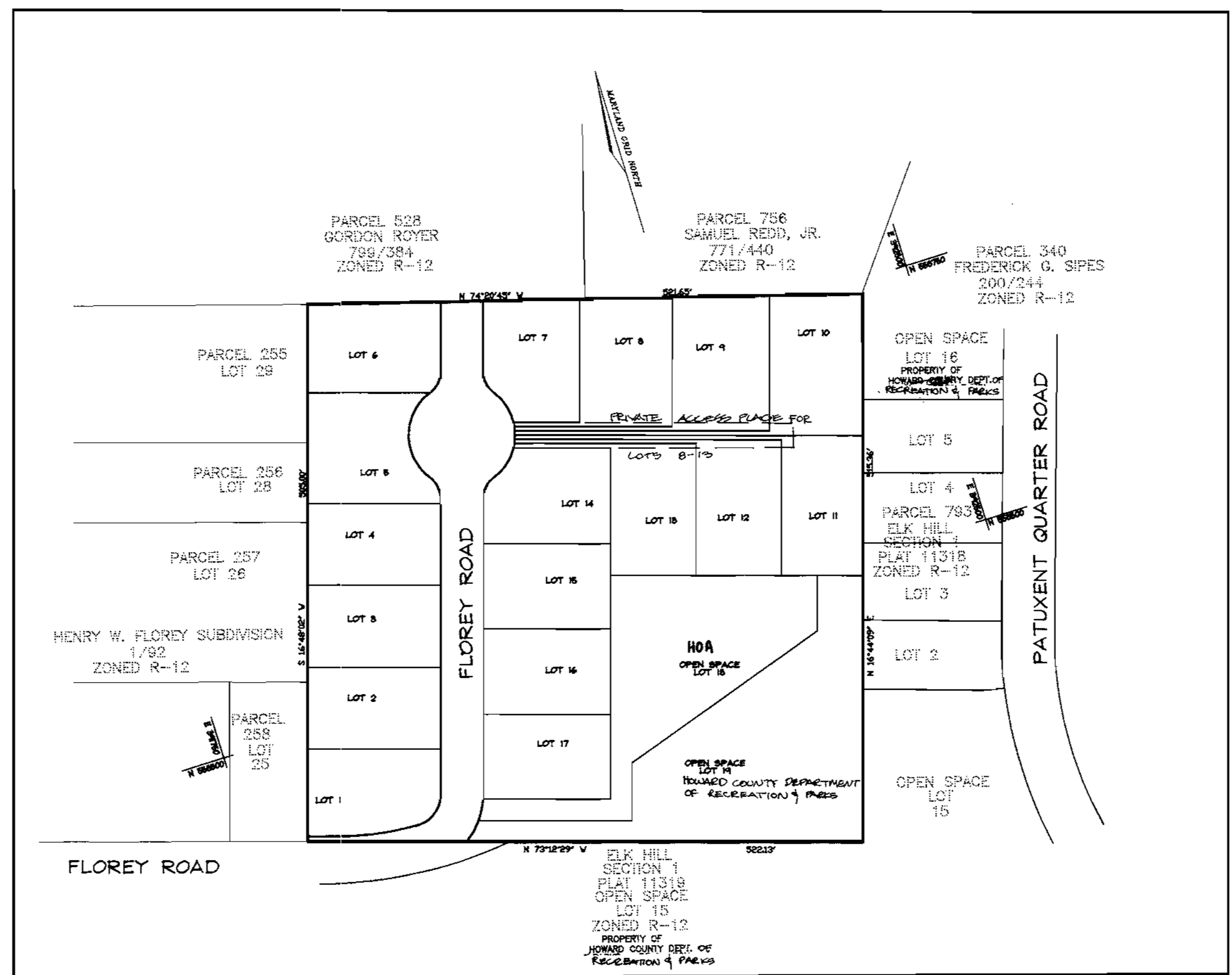
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 MISS UTILITY 1-800-257-7777
 BELL ATLANTIC TELEPHONE CO. 725-9976
 HOWARD COUNTY BUREAU OF UTILITIES: 313-2366
 AT&T CABLE LOCATION DIVISION: 393-3553
 B.G.E. CO. CONTRACTOR SERVICES: 850-4620
 B.G.E. CO. UNDERGROUND DAMAGE CONTROL: 787-4620
 STATE HIGHWAY ADMINISTRATION: 531-5533
- SITE ANALYSIS:
 AREA OF SITE: 6.112 AC
 AREA OF SUBMISSION: 4.1 AC
 PRESENT ZONING: R-12
 LIMIT OF DISTURBANCE: 3.7 AC
 PROPOSED USE OF SITE: SINGLE FAMILY DWELLINGS
 TOTAL NUMBER OF UNITS: 17
- PROJECT BACKGROUND:
 LOCATION: TAX MAP: 38 PARCEL: 262, BLOCK 15
 ZONING: R-12 PER 10-18-93 COMPREHENSIVE ZONING PLAN
 SUBDIVISION: WHITETAIL WOODS
 DPZ REFERENCES: P-99-08, S-98-11, F-99-160
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- STORMWATER MANAGEMENT TO BE PROVIDED BY AN EXTENDED DETENTION FACILITY. THIS FACILITY IS PRIVATELY OWNED AND JOINTLY MAINTAINED BY THE H.O.A. AND HOWARD COUNTY. APPROVED UNDER F-99-160.
- COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENTS.
- EXISTING TOPOGRAPHY IS BASED ON PLANS PREPARED BY VOGEL & ASSOC. DATED AUGUST, 1998.
- WATER AND SEWER CONTRACT NO. 14-3754-D
- FINANCIAL SURETY FOR THE PERIMETER LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT, IN THE AMOUNT OF \$16,350.00 FOR THE ROAD TRAILING FOR F-99-160. SEE SHEET 2, GENERAL NOTE #2, FOR THE SURETY AMOUNT REQUIRED WITH THE GRADING PERMIT FOR THIS SITE FOR LOT 1 AND FOR THE GARAGE PAD.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE CREATION OF A FOREST CONSERVATION EASEMENT ON LOT 19 AND BY THE PAYMENT OF A FEE-IN-LIEU OF ON-SITE OR OFF-SITE REFORESTATION. FOREST CONSERVATION OBLIGATIONS HAVE BEEN FULFILLED WITH THE FINAL PLAT, F99-160 BY AN EASEMENT RETENTION AREA OF .5983 ACRE.
- NO CONSTRUCTION OR GRADING IS PERMITTED WITHIN STREAMS, WETLANDS OR THEIR BUFFERS.
- IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- OPEN SPACE LOT 18 IS OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- DRIVEWAY APRONS ALONG FLOREY ROAD TO BE AS PER HOWARD COUNTY DRIVEWAY ENTRANCE DETAIL NO. R-6-03.
- STEEP SLOPES PREVIOUSLY PROVIDED AND APPROVED AS PER F-99-160.
- NO BURIAL GROUNDS OR CEMETERIES ARE LOCATED ON THIS PROPERTY.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENT OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 A) WIDTH - 12 FEET (14 FEET IF SERVING MORE THAN ONE RESIDENCE)
 B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING
 C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS
 D) STRUCTURES (CULVERTS/BRIDGES) - MUST SUPPORT 26 GROSS TON LOADING
 E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
 F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
 G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
- THIS SITE IS LOCATED WITHIN THE BALTIMORE WASHINGTON INTERNATIONAL FOUR-MILE HEIGHT RESTRICTION AREA. CONSTRUCTION PLANS ON THIS SITE HAVE BEEN REVIEWED BY THE MARYLAND AVIATION ADMINISTRATION AND APPROVED ON MARCH 14, 2000, PERMIT NO. 00-34.
- A PRIVATE ACCESS PLACE MAINTENANCE AGREEMENT FOR LOTS 8 TO 13 HAS BEEN RECORDED IN THE LAND RECORDS OF HOWARD COUNTY AS LIBER 5123 FOLIO 0351.



VICINITY MAP
SCALE: 1"=2000'

BENCHMARKS
 HOWARD COUNTY GEODETIC CONTROL STATIONS
 38R 2 N 557500.663 E 1391227.052
 38R 3 N 557417.823 E 1391983.177

ADDRESS CHART		
LOT	ADDRESS	
1	6030	FLOREY ROAD
2	6020	FLOREY ROAD
3	6010	FLOREY ROAD
4	6000	FLOREY ROAD
5	5990	FLOREY ROAD
6	5980	FLOREY ROAD
7	5970	FLOREY ROAD
8	5960	FLOREY ROAD
9	5950	FLOREY ROAD
10	6001	FLOREY ROAD
11	6005	FLOREY ROAD
12	6014	FLOREY ROAD
13	6013	FLOREY ROAD
14	6017	FLOREY ROAD
15	6021	FLOREY ROAD
16	6025	FLOREY ROAD
17	6029	FLOREY ROAD



PLAN
SCALE: 1"=100'

SUBDIVISIONS NAME	SECTION/AREA	LOTS
WHITETAIL WOODS	N/A	1-17

PLAT NO./BLOCK NO.	ZONE	TAX/ZONE ELECT.	DIST.	CENSUS TR.	
142205/14-2050	15	R-12	38	1st	6012

WATER CODE	SEWER CODE
AOI	2130000

NO.	REVISION	DATE

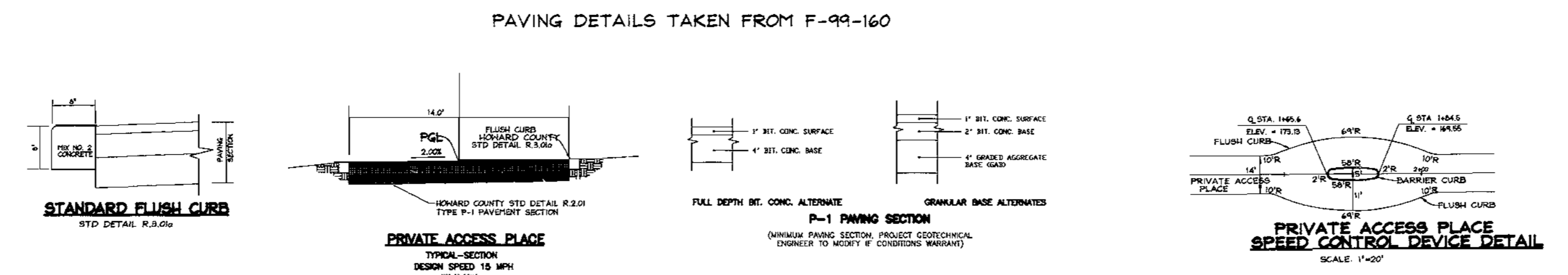
SHEET INDEX	
DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 3
SITE DEVELOPMENT PLAN	2 OF 3
DETAILS SHEET	3 OF 3

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 8/26/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE

[Signature] 10/13/00
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE

[Signature] 10/19/00
 DIRECTOR
 DATE



OWNER/DEVELOPER
 TRINITY HOMES
 c/o MICHAEL PFAU
 7320 GRACE DRIVE
 COLUMBIA, MARYLAND 21044
 (410) 730-3137

WHITETAIL WOODS
 LOTS 1-17
 COVER SHEET

TAX MAP# 38 PARCEL# 262 GRID# 15
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
 ENGINEERS SURVEYORS PLANNERS

3681 Park Avenue, Suite 101 • Elkott City, Maryland 21043
 Tel 410.461.9888 Fax 410.465.3666

DESIGN BY: T.R.
 DRAWN BY: T.R.
 CHECKED BY: M.H.M.
 DATE: MAY 22, 2000
 SCALE: AS SHOWN
 W.O. NO.: 99-185

1 SHEET OF 3

CATEGORY	ADJACENT TO ROADWAYS		ADJACENT TO PERIMETER PROPERTIES	
	LOT 1	LOT 2	D	CONCRETE PAD
Perimeter Landscaping	126	126	126	126
Evergreen Trees	No	No	Yes	Yes
Deciduous Trees	No	No	Yes	Yes
Number of Plants	150	150	150	150
Number of Plants	150	150	150	150

GENERAL NOTES

- The 0 of 4 proposed concrete pad is to be screened by 0 evergreen shrubs and the existing street trees.
- Surety in the amount of \$1500.00 for corner landscaping of Lot 1 and for the garbage pad site for the private access lots shall be paid at time of grading permit application. All other perimeter landscaping surety has been provided with the Developer's Agreement for the final plat, F99-160.

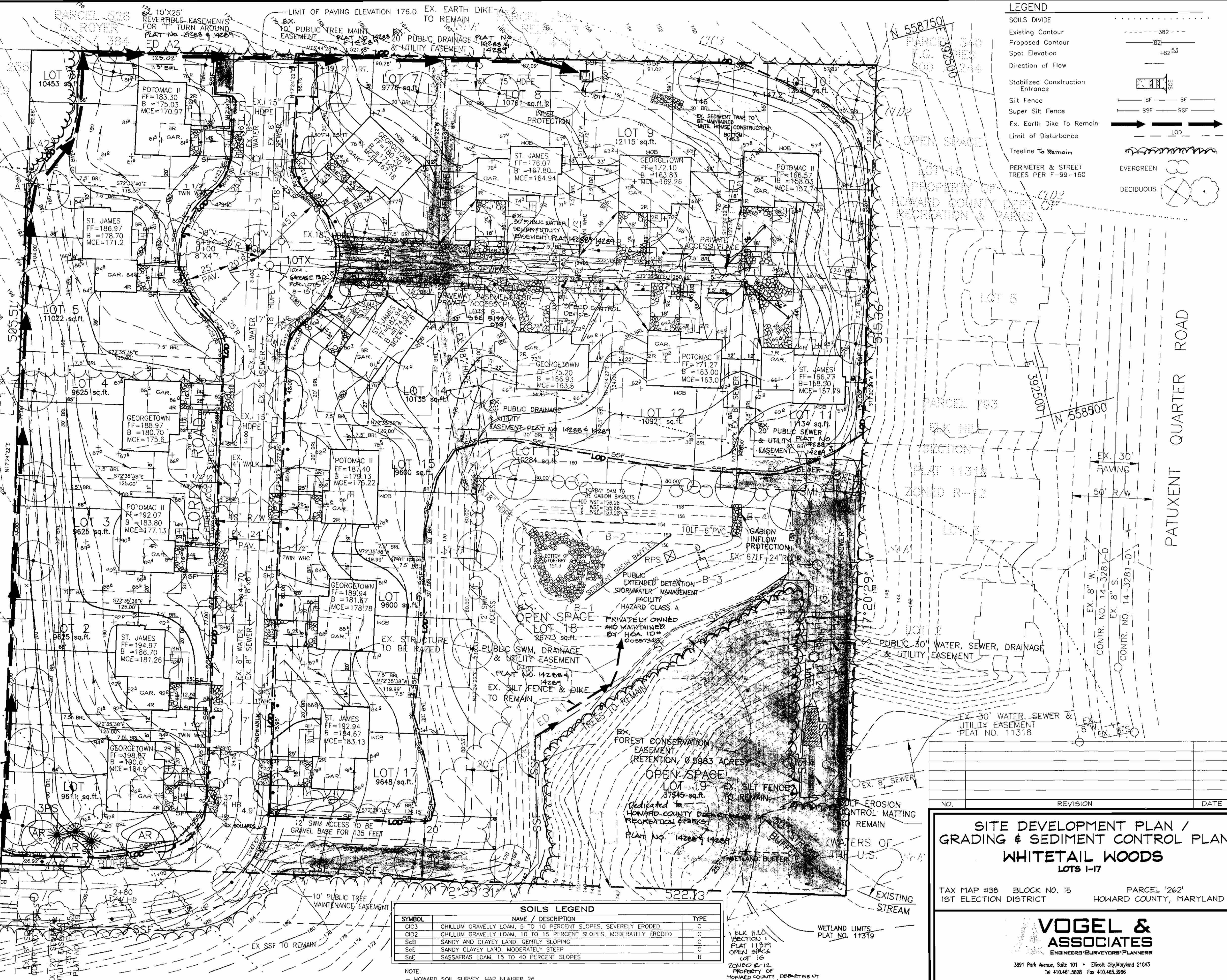
DEVELOPER'S BUILDER'S CERTIFICATE

WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN IS TO BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE NO. 14.10, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

KEY	PLAN	BOTANICAL NAME	SIZE	REF
AR	3	Acacia Rubra	2 1/2" - 3" Cal.	B # B
IG	3	Juniperus Horizontalis	6" - 8" HL.	B # B
IX	0	Juniperus Horizontalis	24" - 30" HL.	B # B

LEGEND

- SOILS DWDE
- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Flow
- Stabilized Construction Entrance
- Silt Fence
- Super Silt Fence
- Ex. Earth Dike to Remain
- Limit of Disturbance
- Treeline to Remain
- PERIMETER & STREET TREES PER F-99-160



NO.	REVISION	DATE

SITE DEVELOPMENT PLAN / GRADING & SEDIMENT CONTROL PLAN
WHITETAIL WOODS
 LOTS 1-17

TAX MAP #38 BLOCK NO. 15 PARCEL '262'
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
 ENGINEERS/SURVEYORS/PLANNERS

3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
 Tel 410.461.5628 Fax 410.465.3966

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John Simmons 7/24/00
 CHIEF DEVELOPER

Sandy Tamata 10/12/00
 CHIEF DIVISION OF LAND USE DEPARTMENT

Robert H. Vogel 10/19/00
 DATE

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert H. Vogel 10/19/00
 SIGNATURE OF ENGINEER
 ROBERT H. VOGEL

DEVELOPER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

John Simmons 5/17/00
 SIGNATURE OF DEVELOPER

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

John R. Robertson 7/24/00
 USDA-NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS *eligible* FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

John R. Robertson 7/24/00
 HOWARD SCD

OWNER / DEVELOPER

TRINITY HOMES
 c/o MICHAEL PFAU
 7320 GRACE DRIVE
 COLUMBIA, MARYLAND 21044
 (410) 730-3137

DESIGN BY: M.H.M.
 DRAWN BY: T.R.
 CHECKED BY: J.C.O.
 DATE: MAY 18, 2000
 SCALE: 1"=30'
 W.O. NO.: 99-185

2 SHEET OF 3

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLAYED AREAS NOT SUBJECT TO IMMEDIATE FURTHER STABILIZATION WHERE A PERMANENT, LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION - Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS - Apply 600 lbs per acre of 0-10-10 fertilizer (14 lbs/1000 sq ft.)

SEEDING - Apply 2 tons per acre of organic limestone (42 lbs/1000 sq ft.) before seeding. Apply 2 lbs per acre of 0-10-10 fertilizer (28 lbs/1000 sq ft.) before seeding. Apply 1/2 ton per acre of 0-10-10 fertilizer (1400 lbs/1000 sq ft.) before seeding. Apply 1/2 ton per acre of 0-10-10 fertilizer (1400 lbs/1000 sq ft.) before seeding. Apply 1/2 ton per acre of 0-10-10 fertilizer (1400 lbs/1000 sq ft.) before seeding.

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MULCHING - Apply 1/2 to 2 tons per acre (10 to 40 lbs/1000 sq ft.) of mulch material (straw, wood chips, etc.) immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2/8 galvanized steel mulch anchors spaced at 8' intervals.

MAINTENANCE - Inspect all seeded areas and make needed repairs, replacement seeds and reseeding.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION - Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS - Apply 600 lbs per acre of 0-10-10 fertilizer (14 lbs/1000 sq ft.)

SEEDING - Apply 2 tons per acre of organic limestone (42 lbs/1000 sq ft.) before seeding. Apply 2 lbs per acre of 0-10-10 fertilizer (28 lbs/1000 sq ft.) before seeding. Apply 1/2 ton per acre of 0-10-10 fertilizer (1400 lbs/1000 sq ft.) before seeding. Apply 1/2 ton per acre of 0-10-10 fertilizer (1400 lbs/1000 sq ft.) before seeding.

MULCHING - Apply 1/2 to 2 tons per acre (10 to 40 lbs/1000 sq ft.) of mulch material (straw, wood chips, etc.) immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2/8 galvanized steel mulch anchors spaced at 8' intervals.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

SEDIMENT CONTROL NOTES

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection, Planning and Permitting, Sediment Control Division prior to the start of any construction (313-1955).

2. All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.

3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within (a) 14 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1; (b) 7 calendar days for all other disturbed or graded areas on the project site.

4. All sediment traps shown shall be fenced and warning signs posted around their perimeter in accordance with Section 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.

5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching (Sec. 6). Temporary stabilization with mulch alone shall be done when recommended seeding rates do not allow for proper germination and establishment of grasses.

6. All sediment control structures are to remain in place and are to be maintained in operable condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

7. Site Analysis:

Total Area	1.1 Acres
Area Disturbed	3.7 Acres
Area to be seeded	0.9 Acres
Area to be vegetatively stabilized	2.8 Acres
Total C.Y.	2600 C.Y.
Total S.C.Y.	1800 C.Y.

8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

9. Additional sediment controls must be provided if deemed necessary by the Howard County Sediment Control Inspector.

10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until the final approval by the inspection agency is made.

11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.

* To be determined by contractor, with pre-approval of the Sediment Control Inspector with an approved and active grading permit.

21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

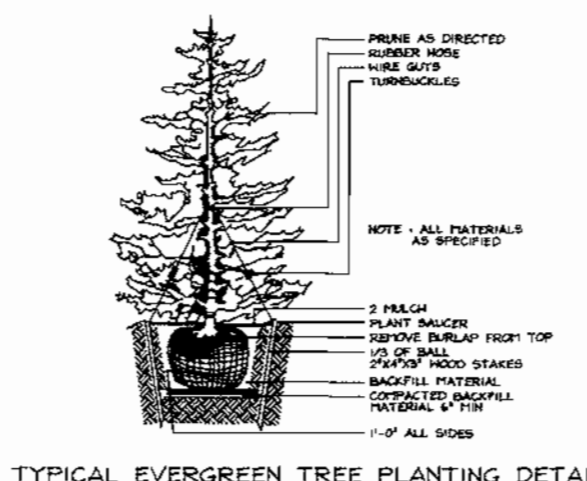
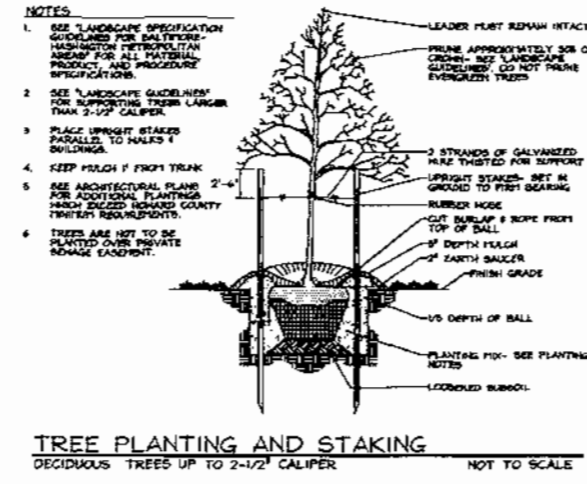
Purpose
To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish containing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given site type can be found in the representative soil profile section in the Soil Survey published by USDA-GCS in cooperation with Maryland Agricultural Experimental Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutedge, poison ivy, thistle, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.



DETAIL 33 - SUPER SILT FENCE

Construction Specifications

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 8" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt buildup removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (max.)	Test: MSMT 509
Flow Rate	0.3 gal/ft. Minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE H - 26 - 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

Construction Specifications

- Length - minimum of 50' (+ 30' for a single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. ** The plan approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey, a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F - 17 - 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 22 - SILT FENCE

Construction Specifications

- Fence posts shall be a minimum of 36" long, driven 16" minimum into the ground. Head posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighing not less than 100 pound per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft. Minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322
- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
- Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reaches 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E - 6 - 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SEQUENCE OF CONSTRUCTION

- Obtain Grading permit.
- Maintain existing sediment control devices as shown on plan F-99-160 to remain.
- Install sediment control as shown on plan in accordance with details (2 days)
- Clear and rough grade site (1 week)
- Construct house (3 months)
- Fine grade and stabilize the site with topsoil and seeding (see notes this plan) (3 days)
- After the site is permanently stabilized and all permission is granted from Howard County Sediment Control Inspector, remove sediment controls and stabilize any remaining disturbed areas.
- Final lot grade to be in substantial conformance with site development plan.
- During grading and after each rainfall, the contractor shall inspect and provide the necessary maintenance on the sediment erosion control measures shown hereon.
- Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be achieved within:
 - 7 calendar days for all perimeter sediment control structures, dikes, swales, ditch perimeter slopes and all slopes greater than 3:1; and
 - 14 calendar days for all other disturbed areas.
- Upon stabilization of all disturbed areas and with the approval of the sediment control inspector, remove all sediment control devices.

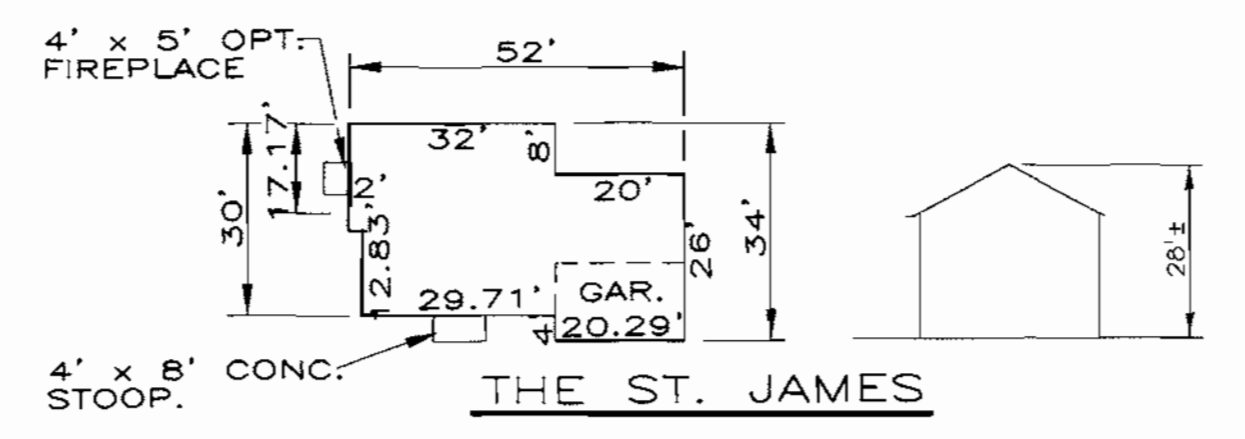
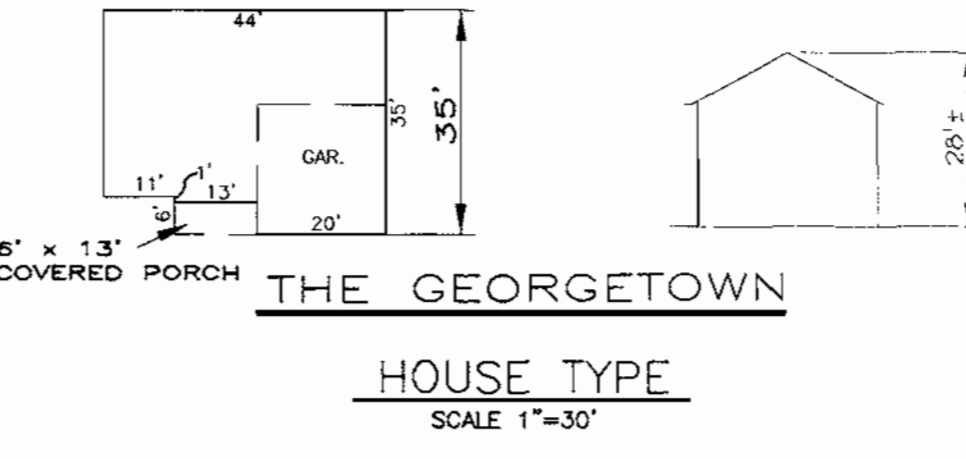
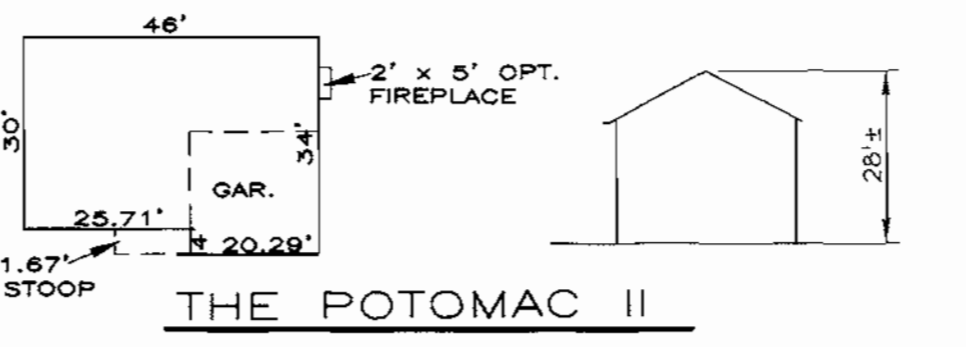
DETAIL 30 - EROSION CONTROL MATTING

Construction Specifications

- Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6'.
- Staple the 4" overlap in the channel center using an 18" spacing between staples.
- Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
- Staples shall be placed 2" apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
- Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shingle fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
- The discharge end of the matting liner should be similarly secured with 2 double rows of staples.

Note: If flow will enter from the edge of the matting then the area affected by the flow must be key-in.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE G - 22 - 2 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John Dammann 7/24/00
CHIEF OF ENGINEERING DIVISION DATE

Judy Hamilton 10/13/00
CHIEF DIVISION OF LAND DEVELOPMENT DATE

David Smith 10/19/00
DIRECTOR DATE

ENGINEERS CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Robert H. Vogel 8/24/00
SIGNATURE OF ENGINEER DATE
ROBERT H. VOGEL

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

John Dammann 5/17/00
SIGNATURE OF DEVELOPER DATE
HOWARD SCD

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Cheryl Simmons 7/24/00
OWNER / DEVELOPER DATE

John Dammann 7/24/00
SIGNATURE OF DEVELOPER DATE

OWNER / DEVELOPER

TRINITY HOMES
c/o MICHAEL PFAU
7520 GRACE DRIVE
COLUMBIA, MARYLAND 21044
(410) 730-3137

DETAIL SHEET
WHITETAIL WOODS
LOTS 1-17

TAX MAP #38 BLOCK NO. 15 PARCEL 262
ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
ENGINEERS/SURVEYORS/PLANNERS
3891 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
Tel 410.461.5828 Fax 410.463.3966

DESIGN BY: T. R.
DRAWN BY: T. R.
CHECKED BY: J. C. O.
DATE: MAY 18, 2000
SCALE: AS NOTED
W.O. NO.: 99-185

3 SHEET OF 3

MARYLAND GRID NORTH

CATEGORY	SCHEDULE A PER-METER LANDSCAPE EDGE		ADJACENT TO PERIMETER PROPERTIES
	ADJACENT TO ROADWAYS	ADJACENT TO CONCRETE PAD	
Hermetic Sealing Designation	LOT 1		
Under Tree of Roadway	126		10
Describe (if needed)	No		Yes
Credit for Existing Vegetation	No		No
Credit for New Tree or Berm	No		No
Describe (if needed)	No		No
Number of Plants per 100' of Edge	150 B	140 D	110 D
Evergreen trees			
Number of Plants per 100' of Edge	3 B 1		0 D
Other trees (if substitution)			0 D
Describe (if needed)			0 D

GENERAL NOTES

- The 0 of 4 proposed concrete pad is to be screened by 0 evergreen shrubs and the existing street trees.
- Surety for the amount of \$1500.00 for corner landscaping of lot 10 for the garbage pad site for the private access. This shall be paid at time of grading permit application.
- Other perimeter landscaping surety has been provided with the Developer's Agreement for the final plat, F99-160.

LEGEND

SOILS DIVIDE	
Existing Contour	- - - - -
Proposed Contour	_____
Spot Elevation	+82.53
Direction of Flow	→
Stabilized Construction Entrance	[Symbol]
Silt Fence	SF
Super Silt Fence	SSF
Ex. Earth Dike To Remain	[Symbol]
Limit of Disturbance	LOD
Treeline To Remain	[Symbol]
PERIMETER & STREET TREES PER F-99-160	EVERGREEN
	DECIDUOUS



DEVELOPER'S BUILDER'S CERTIFICATE

WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WAS DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE "HOMERIDGE COUNTY" CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature of Developer

6/20/00 DATE

KEY	QUAN.	BOTANICAL NAME	SIZE	REMARKS
AR	3	Aster	2 1/2" - 3" Col.	B 4 B
PS	3	Prunella Sp.	6" - 8" HL.	B 4 B
TX	0		24" - 30" HL.	B 4 B

FLOREY ROAD (PUBLIC)

SYMBOL	NAME / DESCRIPTION	TYPE
C1C3	CHILLUM GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES, SEVERELY ERODED	C
C1C2	CHILLUM GRAVELLY LOAM, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED	C
SCB	SANDY AND CLAYEY LAND, GENTLY SLOPING	C
SCS	SANDY CLAYEY LAND, MODERATELY STEEP	C
SSS	SASSAFRAS LOAM, 15 TO 40 PERCENT SLOPES	B

NOTE: - HOWARD SOIL SURVEY, MAP NUMBER 28

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Engineering

Chief, Division of Land Development

Director

7/24/00 DATE

10/13/00 DATE

10/19/00 DATE

ENGINEERS CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Engineer

ROBERT H. VOGEL

7/24/00 DATE

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Developer

7/24/00 DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Signature of Reviewer

7/24/00 DATE

THIS DEVELOPMENT PLAN IS FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Signature of Reviewer

7/24/00 DATE

OWNER / DEVELOPER

TRINITY HOMES

7320 GRACE DRIVE

COLUMBIA, MARYLAND 21044

(410) 730-3137

NO.	REVISION	DATE
2	REVISE HOUSE TYPE LOT 17	11.22.00
1	REVISE HOUSE TYPE LOT 7	11.8.00

SITE DEVELOPMENT PLAN / GRADING & SEDIMENT CONTROL PLAN

WHITETAIL WOODS

LOTS 1-17

TAX MAP #38 BLOCK NO. 15 PARCEL '262'

1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES

ENGINEERS/SURVEYORS/PLANNERS

3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043

Tel 410.461.5628 Fax 410.465.3966

DESIGN BY: M.H.M.

DRAWN BY: T.R.

CHECKED BY: J.C.O.

DATE: MAY 18, 2000

SCALE: 1"=30'

W.O. NO.: 99-185

2 SHEET OF 3

LEGEND

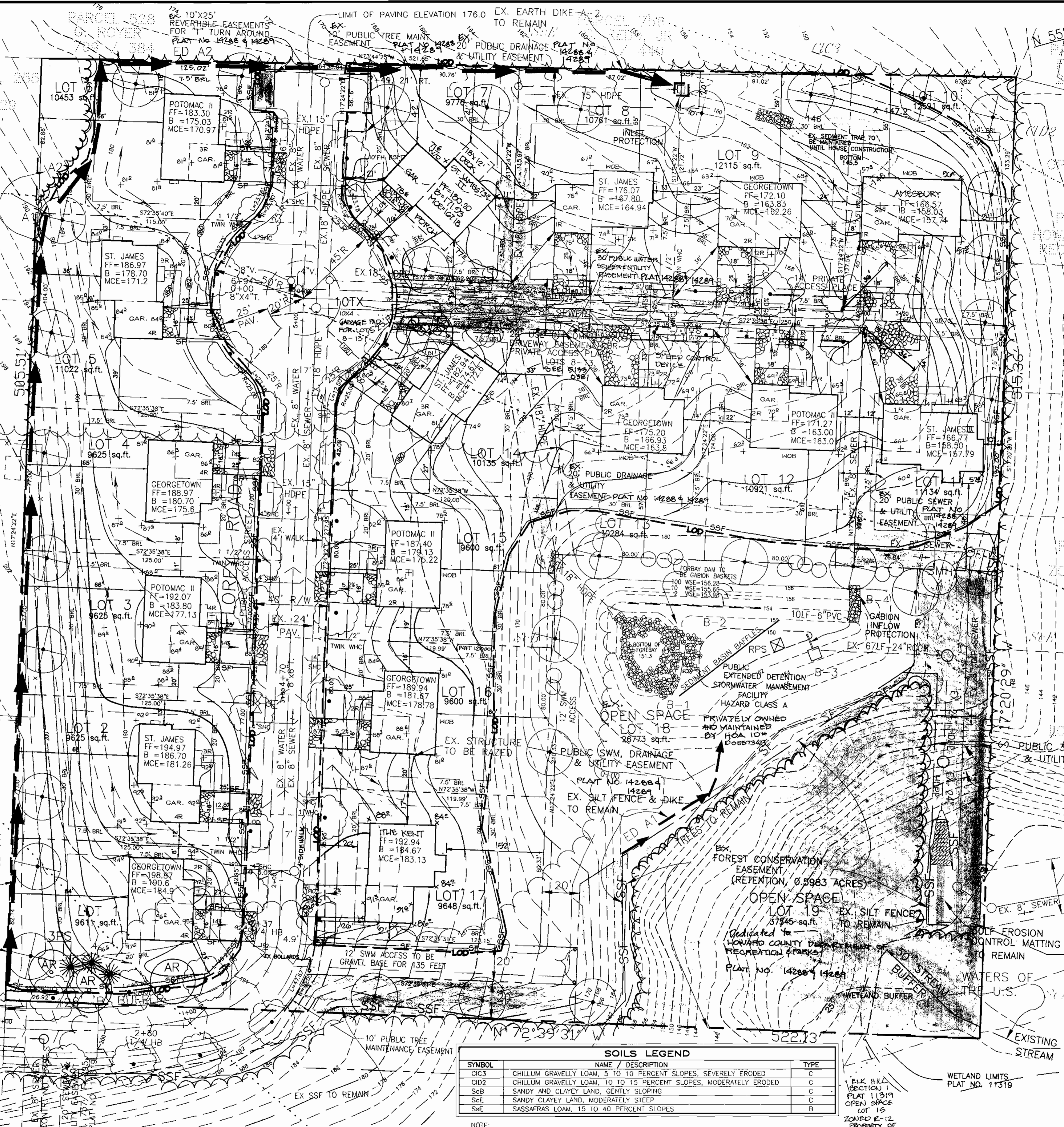
SOILS DIME	
Existing Contour	---
Proposed Contour	---
Spot Elevation	462.53
Direction of Flow	→
Stabilized Construction Entrance	---
Silt Fence	---
Super Silt Fence	---
Ex. Earth Dike To Remain	---
Limit of Disturbance	---
Treeline To Remain	---
PERIMETER & STREET TREES PER F-99-160	---
EVERGREEN	---
DECIDUOUS	---

SCHEDULE A PERIMETER LANDSCAPE EDGE

ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
Lot 10453	Lot 10454
Lot 10455	Lot 10456
Lot 10457	Lot 10458
Lot 10459	Lot 10460
Lot 10461	Lot 10462
Lot 10463	Lot 10464
Lot 10465	Lot 10466
Lot 10467	Lot 10468
Lot 10469	Lot 10470
Lot 10471	Lot 10472
Lot 10473	Lot 10474
Lot 10475	Lot 10476
Lot 10477	Lot 10478
Lot 10479	Lot 10480
Lot 10481	Lot 10482
Lot 10483	Lot 10484
Lot 10485	Lot 10486
Lot 10487	Lot 10488
Lot 10489	Lot 10490
Lot 10491	Lot 10492
Lot 10493	Lot 10494
Lot 10495	Lot 10496
Lot 10497	Lot 10498
Lot 10499	Lot 10500

GENERAL NOTES

- The 10' x 4' proposed concrete pad is to be screened w/ 10' evergreen shrubs and 10' existing street trees.
- Surety in the amount of \$1500.00 for corner landscaping of lot 10453 for the garbage pad site for the private access lots shall be paid at time of grading permit application. All other perimeter landscaping surety has been provided with the Developer's Agreement for the final plat, F99-160.



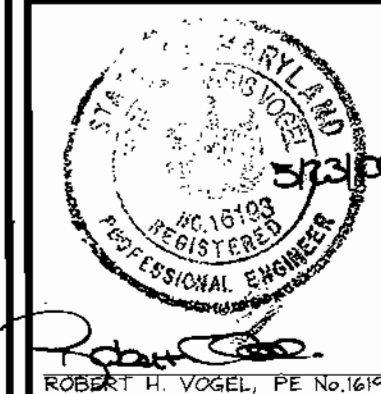
NO.	REVISION	DATE
4	REVISE HOUSE TYPE LOT 11	12.12.00
3	REVISE HOUSE TYPE LOT 10	12.12.00
2	REVISE HOUSE TYPE LOT 17	11.22.00
1	REVISE HOUSE TYPE LOT 7	11.08.00

SITE DEVELOPMENT PLAN / GRADING & SEDIMENT CONTROL PLAN
WHITETAIL WOODS
 LOTS 1-17

TAX MAP #38 BLOCK NO. 15 PARCEL '262'
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
 ENGINEERS/SURVEYORS/PLANNERS
 3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
 Tel 410.461.5628 Fax 410.465.3966

DESIGN BY: MHM	OWNER / DEVELOPER
DRAWN BY: T.R.	TRINITY HOMES
CHECKED BY: J.C.C.	c/o MICHAEL PFU
DATE: MAY 18, 2000	7320 GRACE DRIVE
SCALE: 1"=30'	COLUMBIA, MARYLAND 21044
W.O. NO.: 99-185	(410) 730-3137



LANDSCAPE SCHEDULE

KEY	Q.A.N.	PLANT NAME	SIZE	REM.
AR	1	Acacia saligna	2 1/2"-3" Cal.	B & B
PS	1	Prunus serotina	6'-8" Ht.	B & B
EX	C	Quercus macrocarpa	24'-30" Ht.	B & B

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Engineering Division
 Chief, Division of Land Development

ENGINEERS CERTIFICATE
 I, CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER'S CERTIFICATE
 I, ME CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
 USDA-NATURAL RESOURCES CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS advised FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

OWNER / DEVELOPER
 TRINITY HOMES
 c/o MICHAEL PFU
 7320 GRACE DRIVE
 COLUMBIA, MARYLAND 21044
 (410) 730-3137

PERMANENT SEEDING NOTES

APPLY TO GRAZED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS DESIRED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

1) Overseed Apply 2 tons per acre potash limestone (42 lbs/1000 sq ft.) and 600 lbs per acre 0-10-10 fertilizer (4 lbs/1000 sq ft.) before seeding narrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs per acre 30-0-0 urea-form fertilizer (2 lbs/1000 sq ft.)

2) Overseed Apply 2 tons per acre potash limestone (42 lbs/1000 sq ft.) and apply 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft.) before seeding narrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (4 lbs/1000 sq ft.) of Kentucky 3 "a" Fescue for the period May 1 thru July 31, seed with 60 lbs. Kentucky 3 "a" Fescue per acre and 2 lbs. per acre (2 lbs/1000 sq ft.) of urea-form fertilizer. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre well anchored straw mulch and seeds on, soon as possible on the spring, and/or (2) use seed protector (3) Seed with 60 lbs/acre Kentucky 3 "a" Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft.) of mulched small grain straw, immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2 1/2 gallons per acre (5 gal/1000 sq ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 3 1/2 gallons per acre (8 gal/1000 sq ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, reseedings and reroadings.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft.)

SEEDING: For periods March 1 thru April 30 and from August 1 thru November 1, seed with 2 1/2 tons per acre of (3,2 100,000 sq ft.) for the period May 1 thru August 4, seed with 3 tons per acre of seeding mixtures (7 gal/1000 sq ft.) for the period November 29, protect site by mulch and seeds on as soon as possible in the spring or use sod.

MULCHING: Apply 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft.) of mulched small grain straw, immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2 1/2 gallons per acre (5 gal/1000 sq ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 3 1/2 gallons per acre (8 gal/1000 sq ft.) for anchoring.

REFER TO THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

SEDIMENT CONTROL NOTES

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection, Control and Permitting Sediment Control Division prior to the start of any construction (313-855).

2. All vegetation and structural practices are to be installed according to the provisions of 1-1 and are to be in accordance with the 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.

3. Following final soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within (a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1, (b) 14 days as to all other disturbed or graded areas on the project site.

4. All sediment traps/catchments shown must be placed and warning signs posted around trap perimeter in accordance with Vol 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.

5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, for permanent seeding, sod, temporary seeding, and mulching (Sec. G) temporary stabilization with mulch alone shall be done when recommended seeding status do not allow for proper germination and establishment of grasses.

6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

7. Site Analysis

Total Area	4.1 Acres
Area Disturbed	3.7 Acres
Area to be roofed or paved	0.8 Acres
Area to be vegetatively stabilized	2.9 Acres
Total Cut	2600 CY
Total Fill	1000 CY
Offsite water/runoff area location	

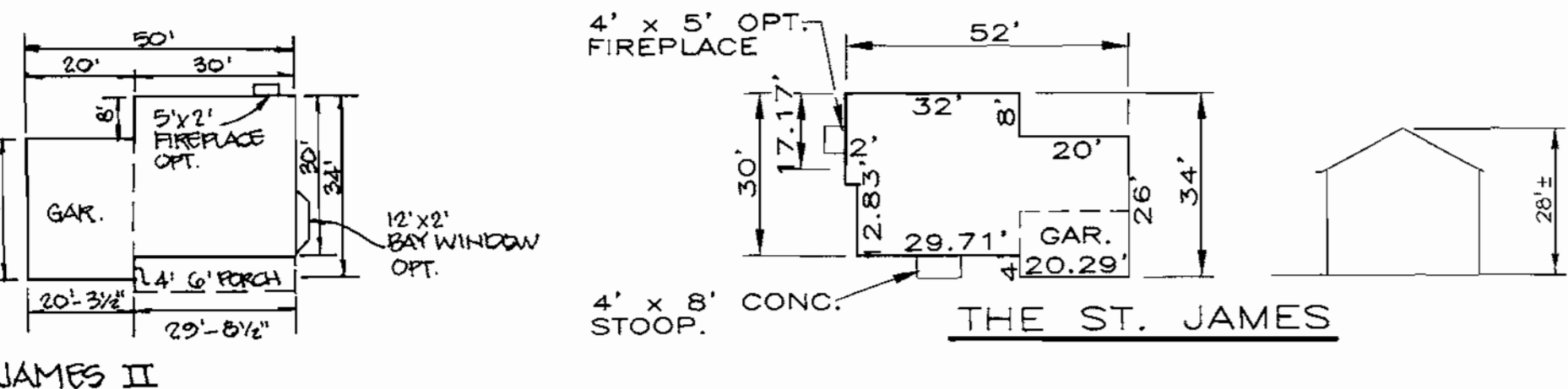
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

9. Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.

10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency and a request upon completion of installation of perimeter erosion and sediment control, but before proceeding with any other earth disturbance or grading. Other grading or grading inspection approvals may not be authorized until this final approval by the inspection agency is made.

11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.

* To be determined by contractor, with pre-approval of the Sediment Control Inspector with an approved and active grading permit.



21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose

To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.

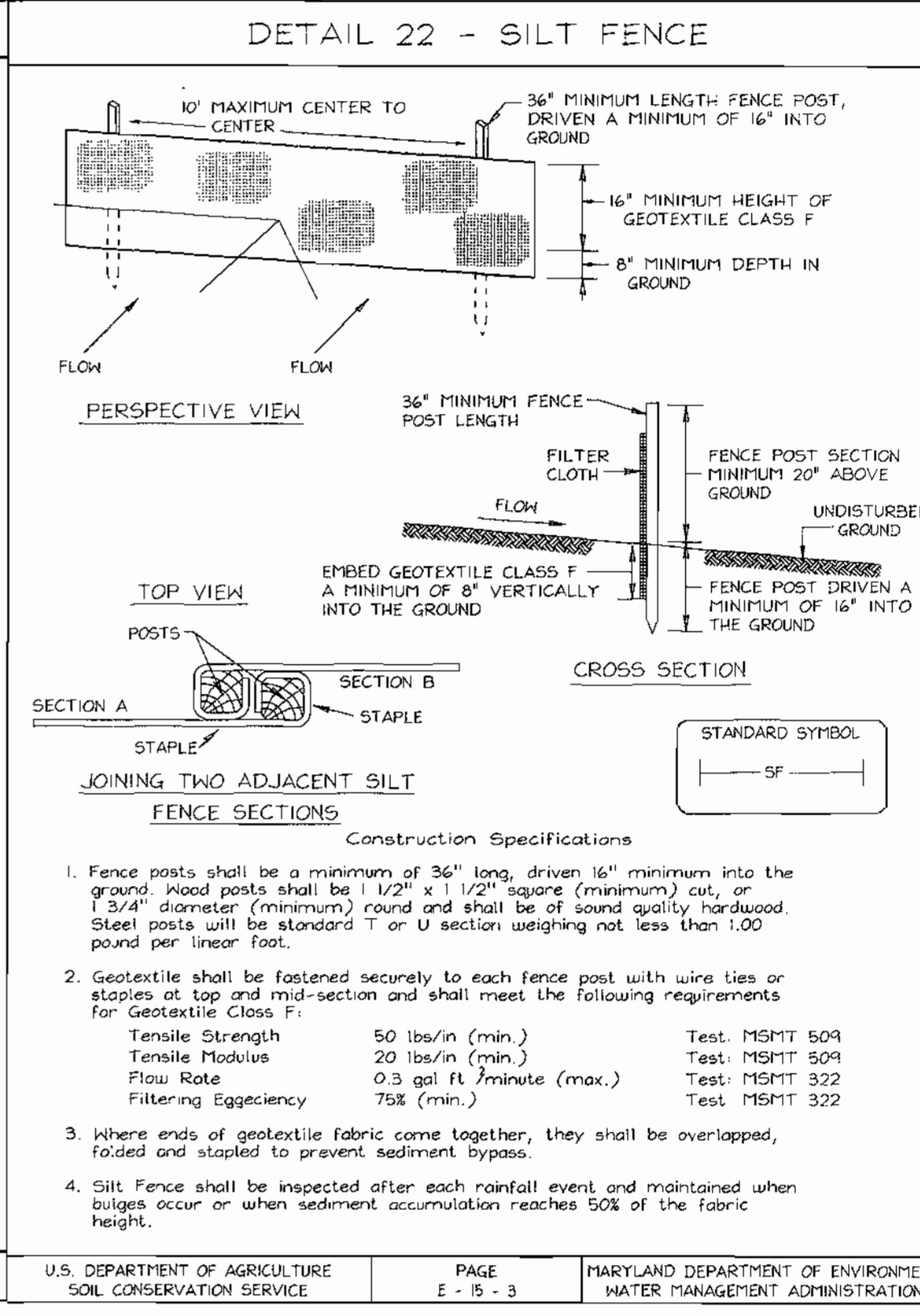
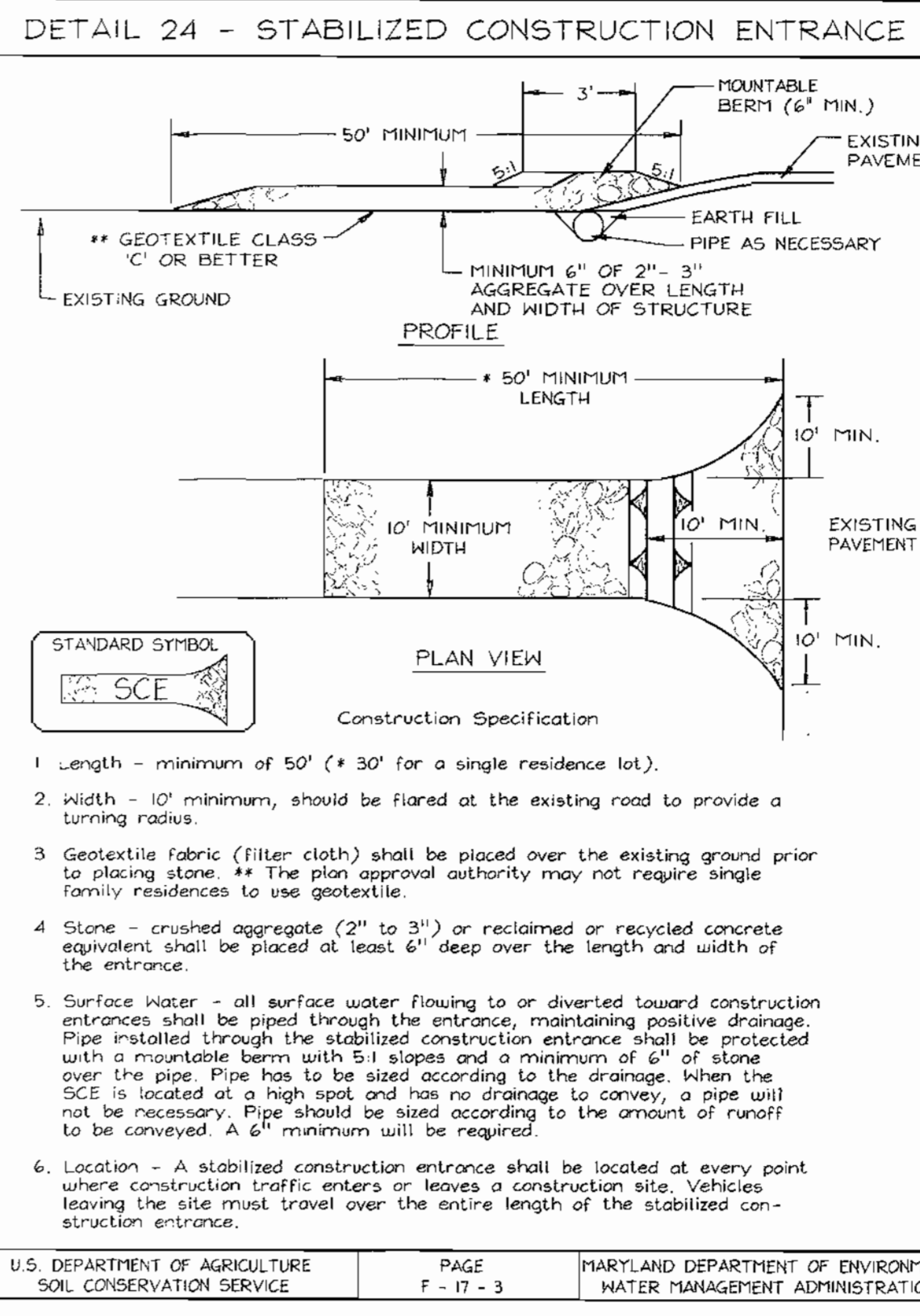
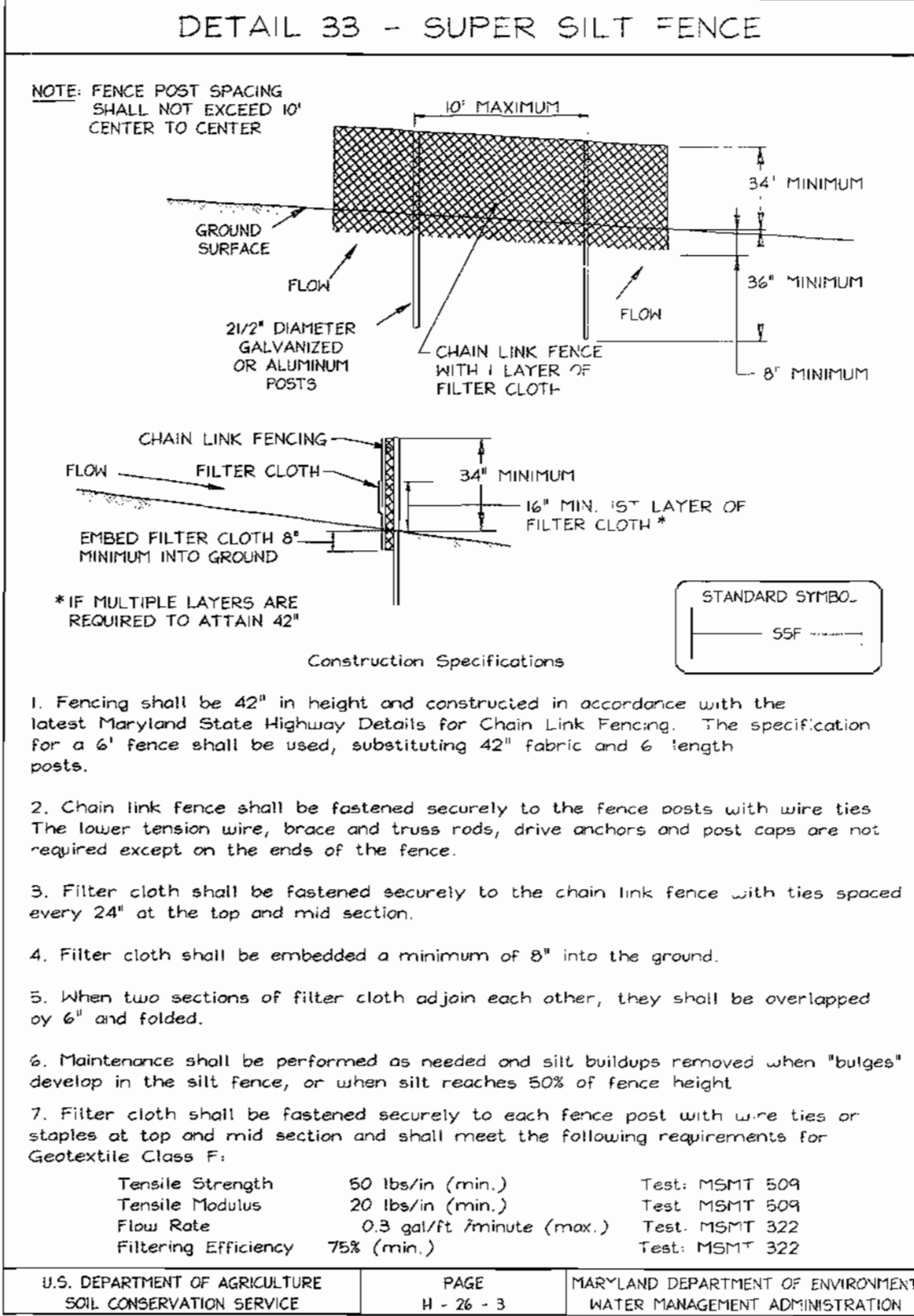
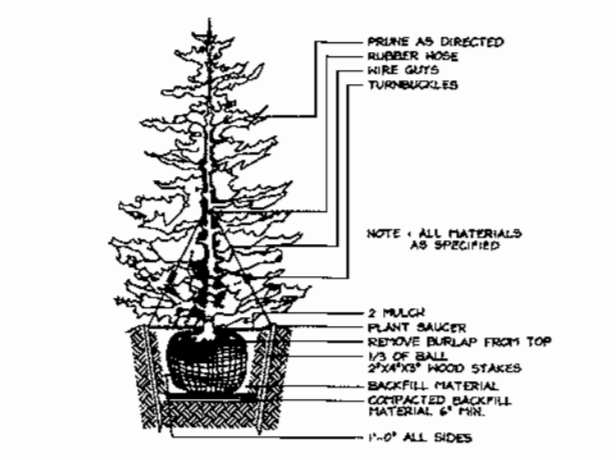
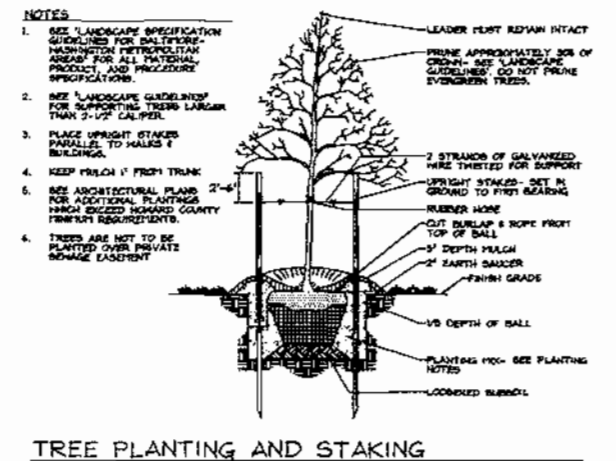
11. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

I. Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey, published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.

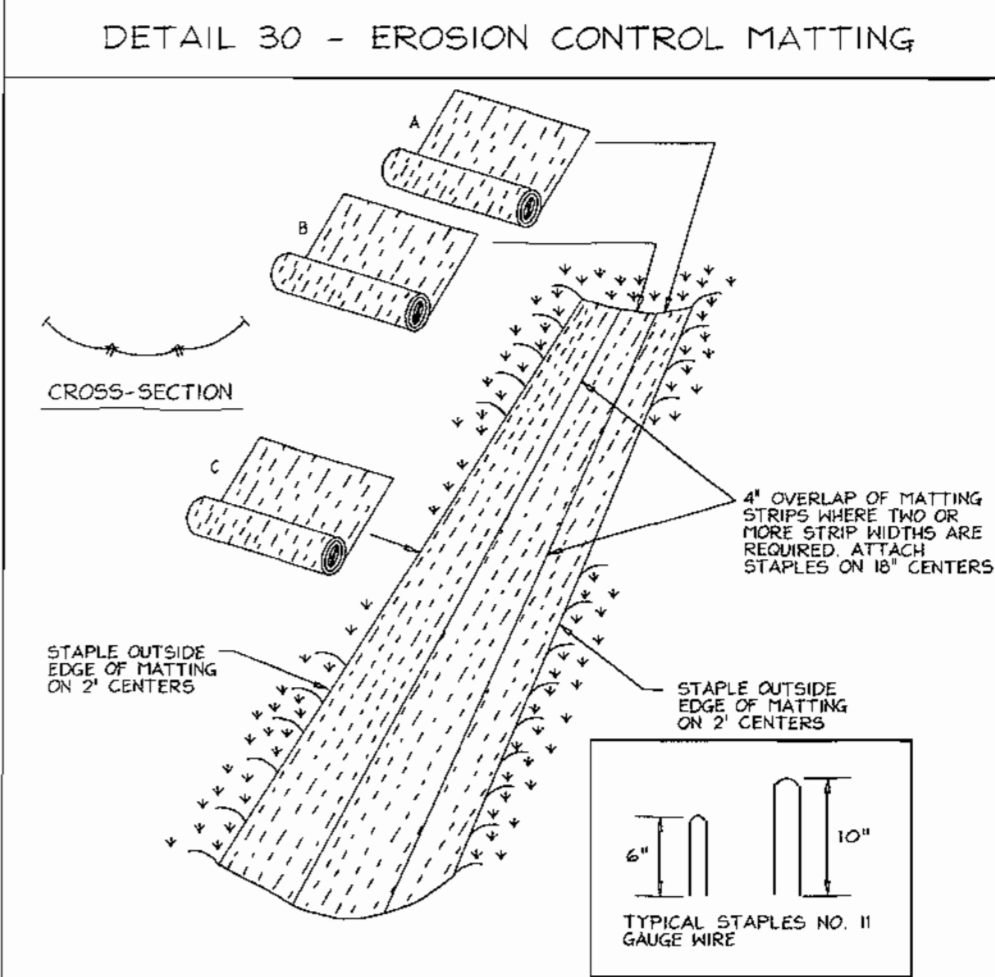
II. Topsoil Specifications - Soil to be used as topsoil must meet the following:

- Topsoil shall be a loamy, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of clinters, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 and 1/2" in diameter.
- Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
- Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.



SEQUENCE OF CONSTRUCTION

- Obtain Grading permit.
- Maintain existing sediment control devices as shown on plan F-99-160 to remain.
- Install sediment control as shown on plan in accordance with details (2 days).
- Clear and rough grade site. (1 week)
- Construct house. (3 months)
- Final grade and stabilize the site with topsoil and seeding (see notes this plan). (3 days)
- After the site is permanently stabilized and approval is granted from Howard County Sediment Control Inspector, remove sediment controls and stabilize any remaining disturbed areas.
- Final top grade to be in substantial conformance with site development plan.
- During grading and after each rainfall, the contractor shall inspect and provide the necessary maintenance on the sediment erosion control measures shown herein.
- Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be achieved within:
 - 7 calendar days for all perimeter sediment control structures, dikes, swales, ditch perimeter slopes and all slopes greater than 3:1, and
 - 14 calendar days for all other disturbed areas.
- Upon stabilization of all disturbed areas and with the approval of the sediment control inspector, remove all sediment control devices.



Construction Specifications

- Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
- Staple the 4" overlap in the channel center using an 18" spacing between staples.
- Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
- Staples shall be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
- Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shingle fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
- The discharge end of the matting liner should be similarly secured with 2 double rows of staples.

Note: If flow will enter from the edge of the matting then the area affected by the flow must be key-in.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE G-22-2	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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4	ADD HOUSE TYPE (THE ST. JAMES III)	12,12.00
3	ADD HOUSE TYPE (THE AMESBURY)	12,12.00
2	ADD HOUSE TYPE (THE KENT)	11,22.00
1	ADD HOUSE TYPE (THE ST. JAMES II)	11,8.00
NO.	REVISION	DATE

**DETAIL SHEET
WHITETAIL WOODS
LOTS 1-17**

TAX MAP #38 BLOCK NO. 15 PARCEL 262
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
ENGINEERS/SURVEYORS/PLANNERS

3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
Tel 410.461.3828 Fax 410.465.3995

DESIGN BY: T.R.
DRAWN BY: T.R.
CHECKED BY: J.L.C.G.
DATE: MAY 18, 2000
SCALE: AS NOTED
W.O. NO.: 99-185

3 SHEET OF 3

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Robert H. Vogel
CHIEF DEVELOPMENT ENGINEERING DIVISION
DATE: 7/26/00

John J. Hennessey
CHIEF SECTION OF LAND DEVELOPMENT
DATE: 10/13/00

Robert H. Vogel
DIRECTOR
DATE: 10/19/00

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert H. Vogel
SIGNATURE OF ENGINEER
ROBERT H. VOGEL
DATE: 7/26/00

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

John J. Hennessey
SIGNATURE OF DEVELOPER
DATE: 5/17/00

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Cheryl Simmons
DATE: 7/24/00

John J. Hennessey
DATE: 7/24/00

OWNER / DEVELOPER

TRINITY HOMES
c/o MICHAEL PFAU
7320 GRACE DRIVE
COLUMBIA, MARYLAND 21044
(410) 730-3137

PERMANENT SEEDING NOTES

APPLY TO GRAZING OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DEVELOPMENT WHERE PERMANENT LONG-LIVED VEGETATIVE COVER IS DESIRED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following alternatives:

- 1) Superphosphate 2 tons per acre dolomitic limestone (42 lbs./100 sq. ft.) and urea (42 lbs. per acre) (10-10-10 fertilizer) (14 lbs./1000 sq. ft.) before seeding - narrow or a 50-0-0 fertilizer (28 lbs./1000 sq. ft.) before seeding - wide.
- 2) Acceptable: Apply 2 tons per acre dolomitic limestone (42 lbs./100 sq. ft.) and apply 1000 lbs. per acre 0-0-0 fertilizer (28 lbs./1000 sq. ft.) before seeding - narrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 40 lbs. per acre (1/4 ton/1000 sq. ft.) of Kentucky 31 grass. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre or 2 lbs. per acre (0.5 lbs./1000 sq. ft.) of urea nitrogen. During the period of October 16 thru February 28, protect site by October (1) 2 tons per acre well-rotted straw mulch and seed as soon as possible in the spring. October (2) use seed Option (3) Fescue with 60 lb/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 2 to 3 tons per acre (10 to 10 lbs./1000 sq. ft.) of well-rotted straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2lb gal/acre (5 gal/1000 sq. ft.) of emulsified asphalt or 2 lb/acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas or slopes 8 feet or higher. Use 348 gallons per acre (8 gal/1000 sq. ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements or reseedings.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq. ft.)

SEEDING: For the periods March 1 thru April 30 and August 1 thru November 15, seed with 2 1/2 bushels per acre of annual ryegrass (3.2 lbs./1000 sq. ft.) for the period May 1 thru August 14, seed with 3 lbs. per acre of annual ryegrass (0.75 lbs./1000 sq. ft.). For the period November 16 thru February 28, protect site by October (1) 2 tons per acre well-rotted straw mulch and seed as soon as possible in the spring, or use seed.

MULCHING: Apply 2 to 3 tons per acre (10 to 10 lbs./1000 sq. ft.) of well-rotted straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2lb gal/acre (5 gal/1000 sq. ft.) of emulsified asphalt or 2 lb/acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas or slopes 8 feet or higher. Use 348 gallons per acre (8 gal/1000 sq. ft.) for anchoring.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

SEDIMENT CONTROL NOTES

1. A minimum of 24 hours notice must be given to the Howard County Department of Inspection, Permits and Sediment Control Division prior to the start of any construction activity.
2. All vegetation and structural practices are to be installed according to the provisions of this plan and to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
3. Following initial site disturbance or redistribution, permanent or temporary stabilization shall be completed within: (a) 14 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1; (b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps, basins and structures must be fenced and warning signs posted around them in accordance with Part 4, Chapter 7, HOWARD COUNTY DESIGN MANUAL - Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching (See 7). Temporary stabilization with mulch alone shall be done when recommended seeding rates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in a structurally sound condition until their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:

Total Area	4.1 Acres
Area Disturbed	3.7 Acres
Area to be seeded or paved	0.9 Acres
Area to be vegetatively stabilized	2.8 Acres
Total C.Y.	2600 C.Y.
Total S.Y.	1000 C.Y.
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this final approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back filled and stabilized within one working day, whichever is shorter.

* To be determined by contractor with pre-approval of the Sediment Control Inspector with an approved and active grading permit.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF ENGINEER: [Signature] DATE: 10/13/00

CHIEF DIVISION OF LAND DEVELOPMENT: [Signature] DATE: 10/19/00

21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

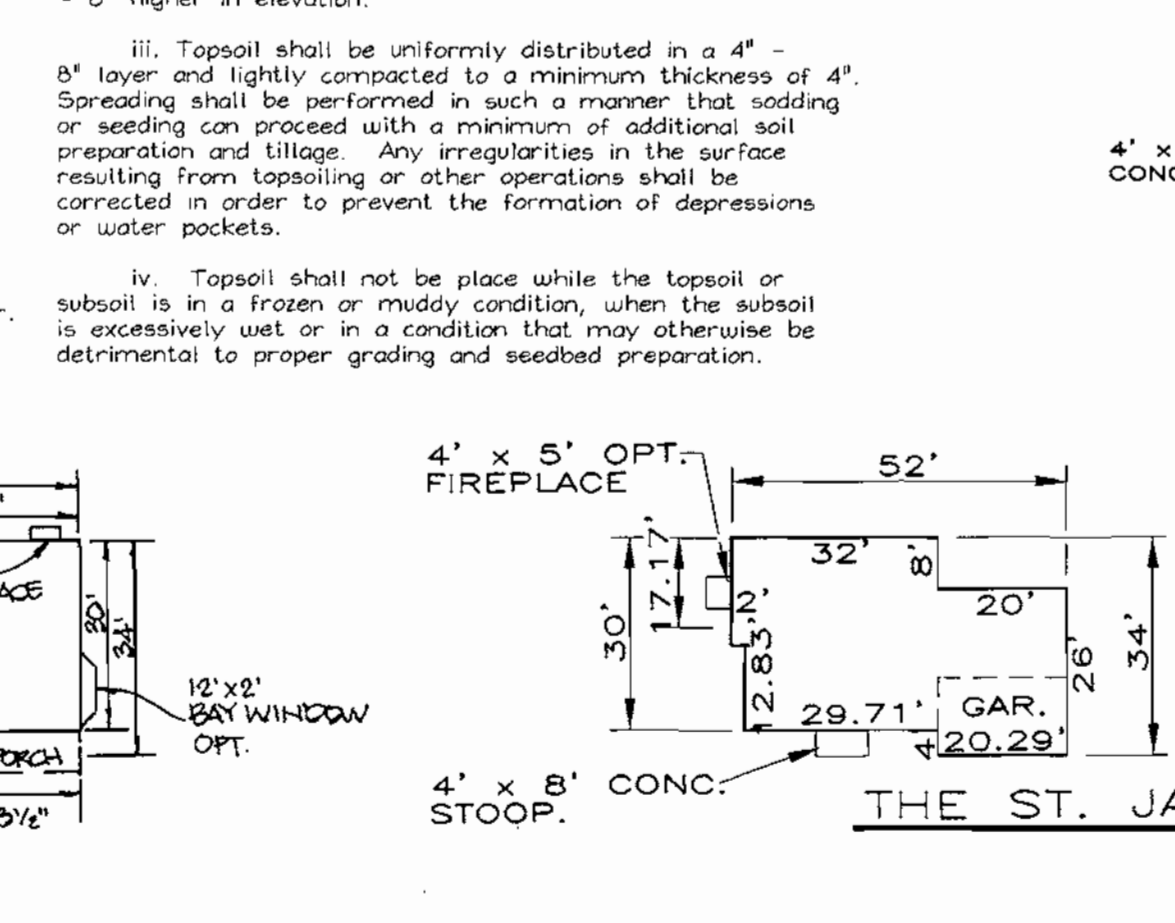
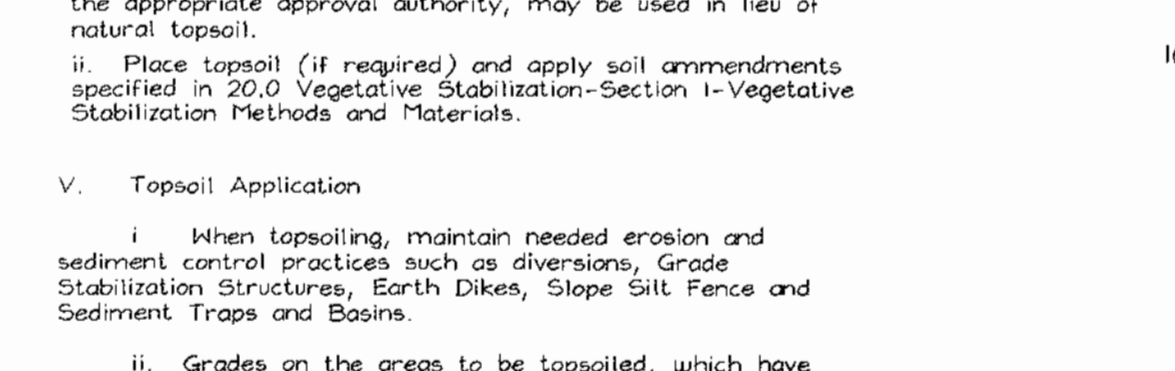
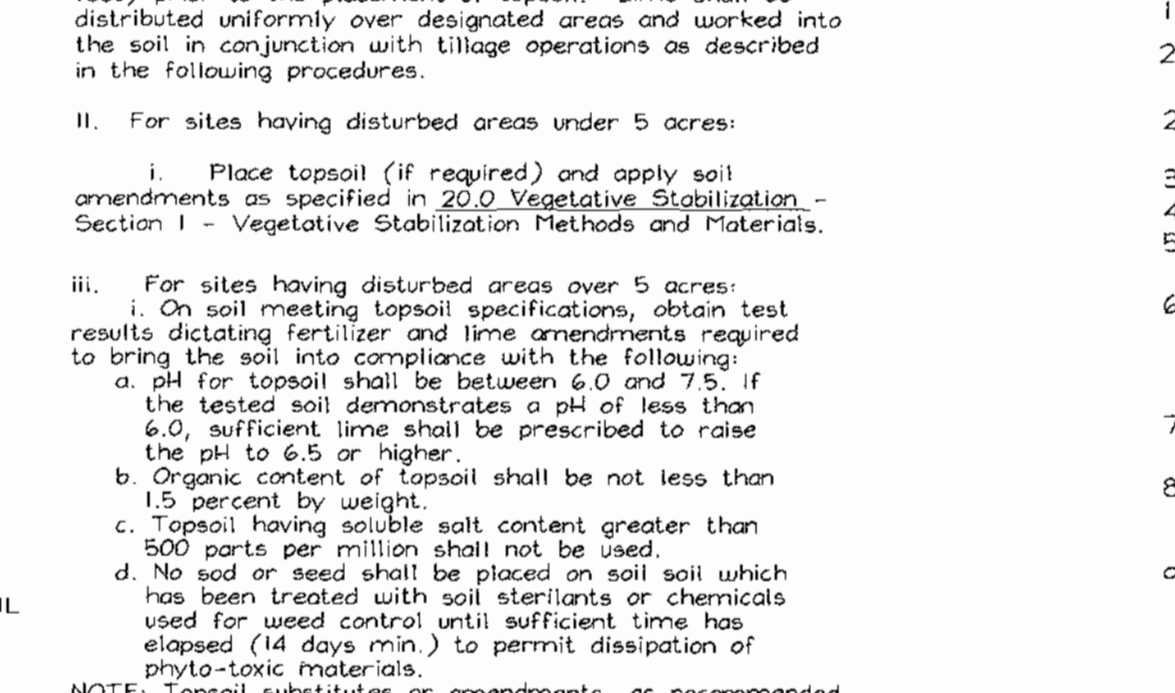
Purpose
To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

1. This practice is limited to areas having 2:1 or flatter slopes where:
 - a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish containing supplies of moisture and plant nutrients.
 - c. The original soil to be vegetated contains material toxic to plant growth.
 - d. The soil is so acidic that treatment with limestone is not feasible.
2. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

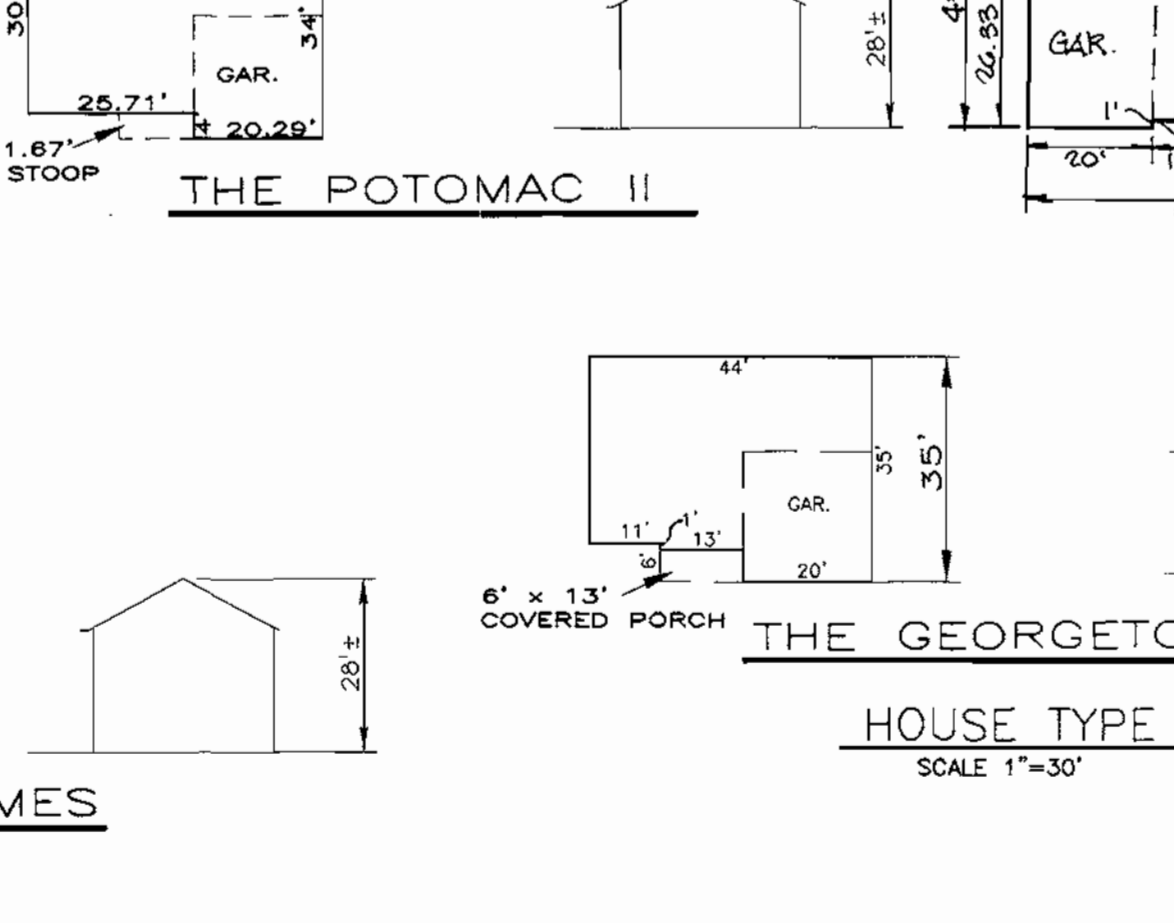
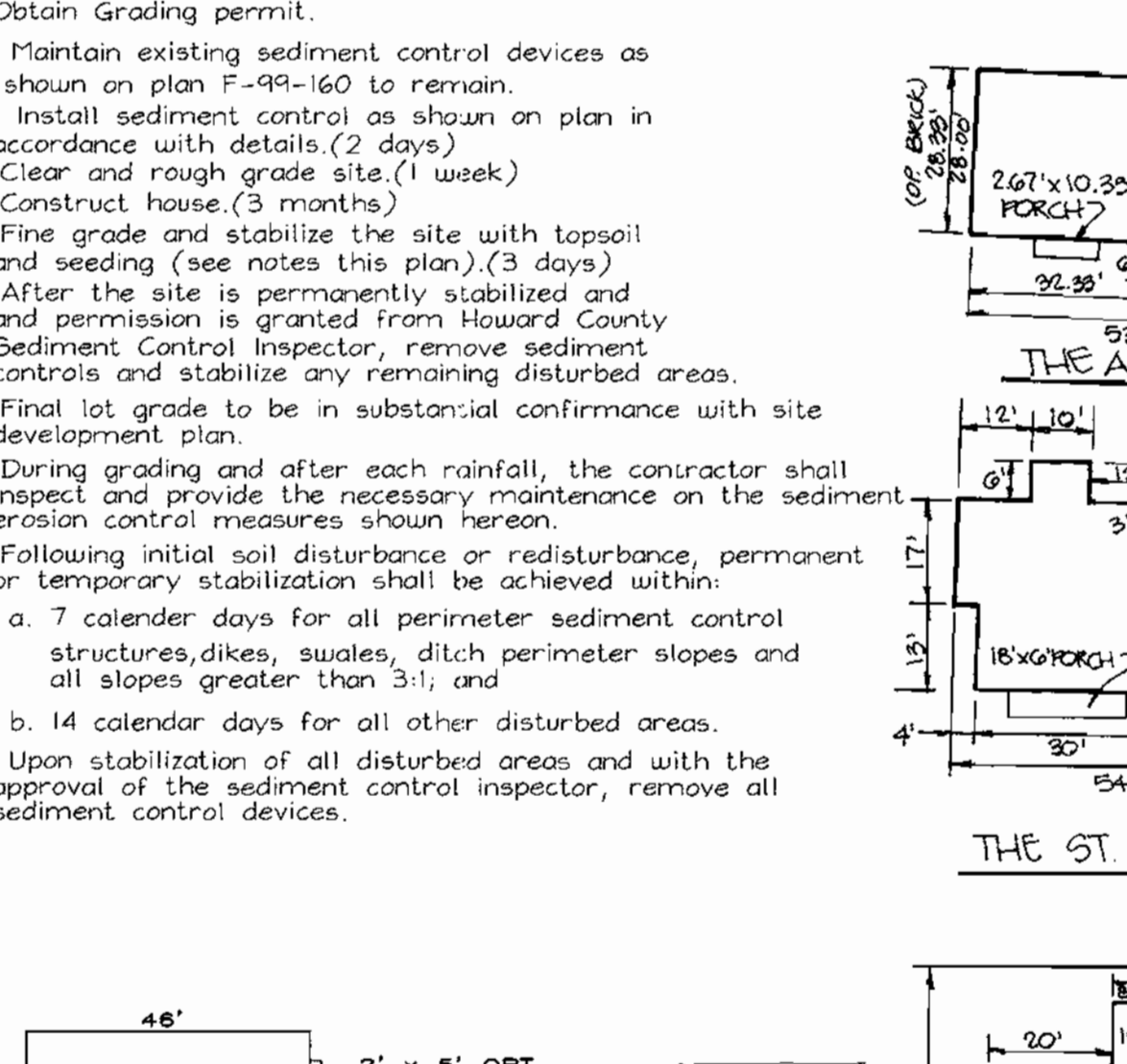
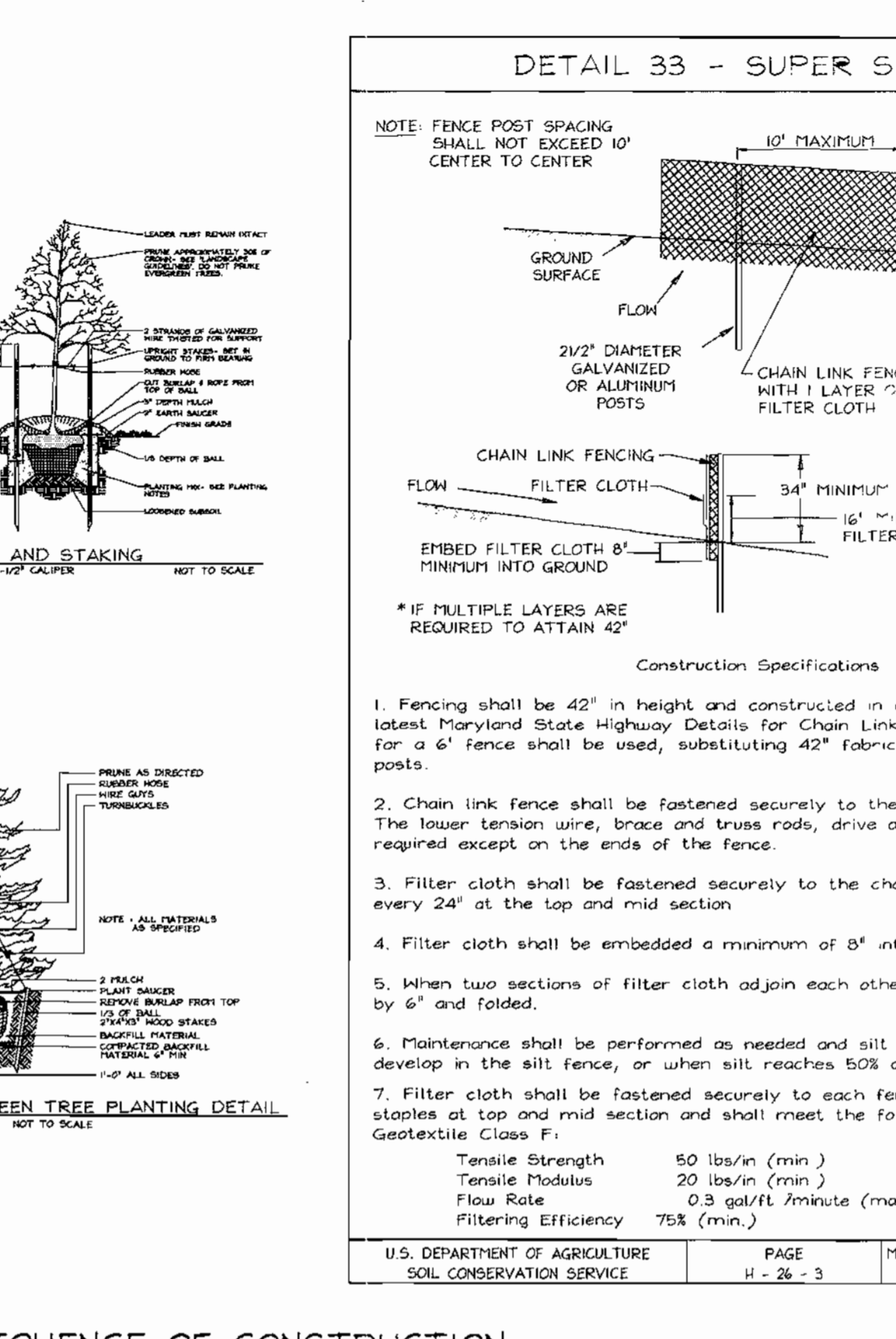
1. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
2. Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 4" and 1/2" in diameter.
 - ii. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutgrass, poison ivy, thistle, or others as specified.
 - iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
 - a. For sites having disturbed areas under 5 acres:
 - i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
 - ii. For sites having disturbed areas over 5 acres:
 - i. On soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - a. pH for topsoil shall be between 6.0 and 7.5; if the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - b. Organic content of topsoil shall be not less than 1.5 percent by weight.
 - c. Topsoil having soluble salt content greater than 300 parts per million shall not be used.
 - d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
 - ii. Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
 - ii. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization-Section I-Vegetative Stabilization Methods and Materials.



ENGINEERS CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

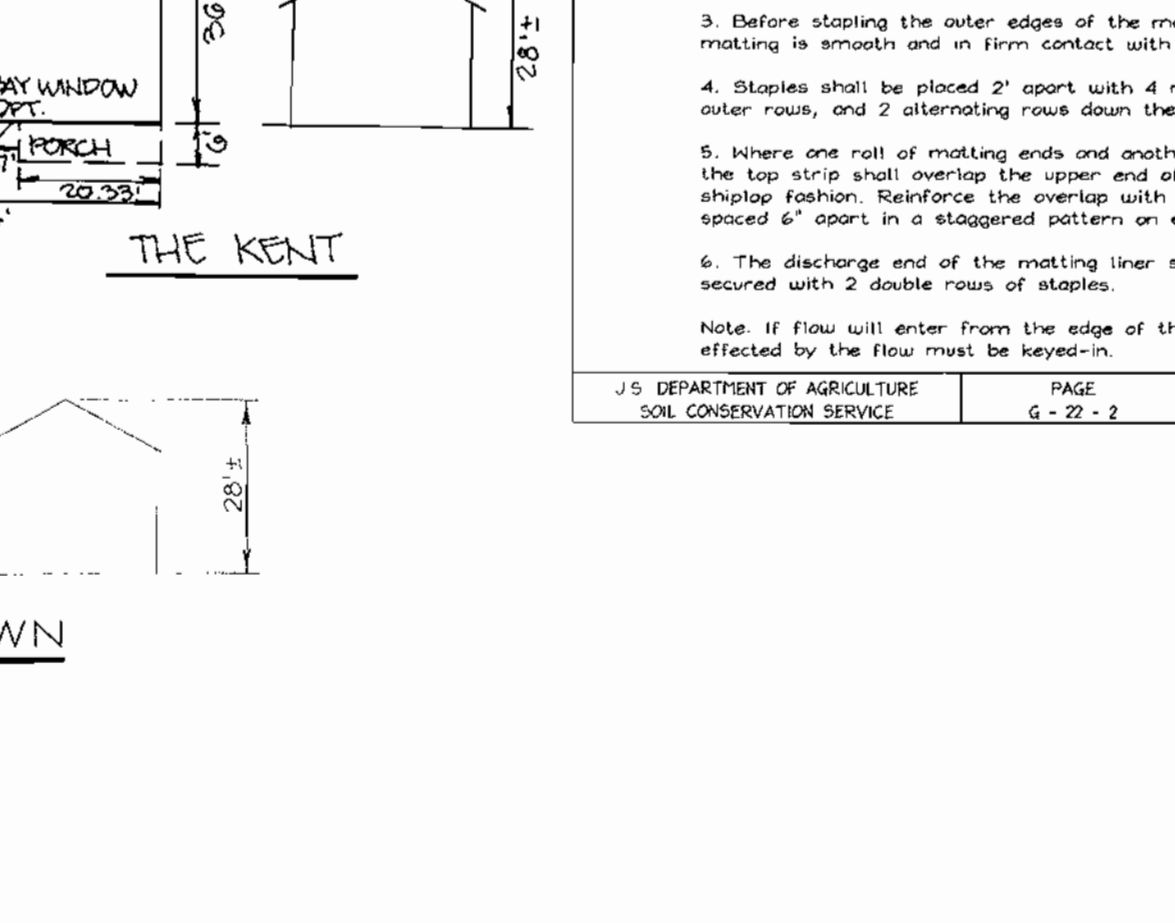
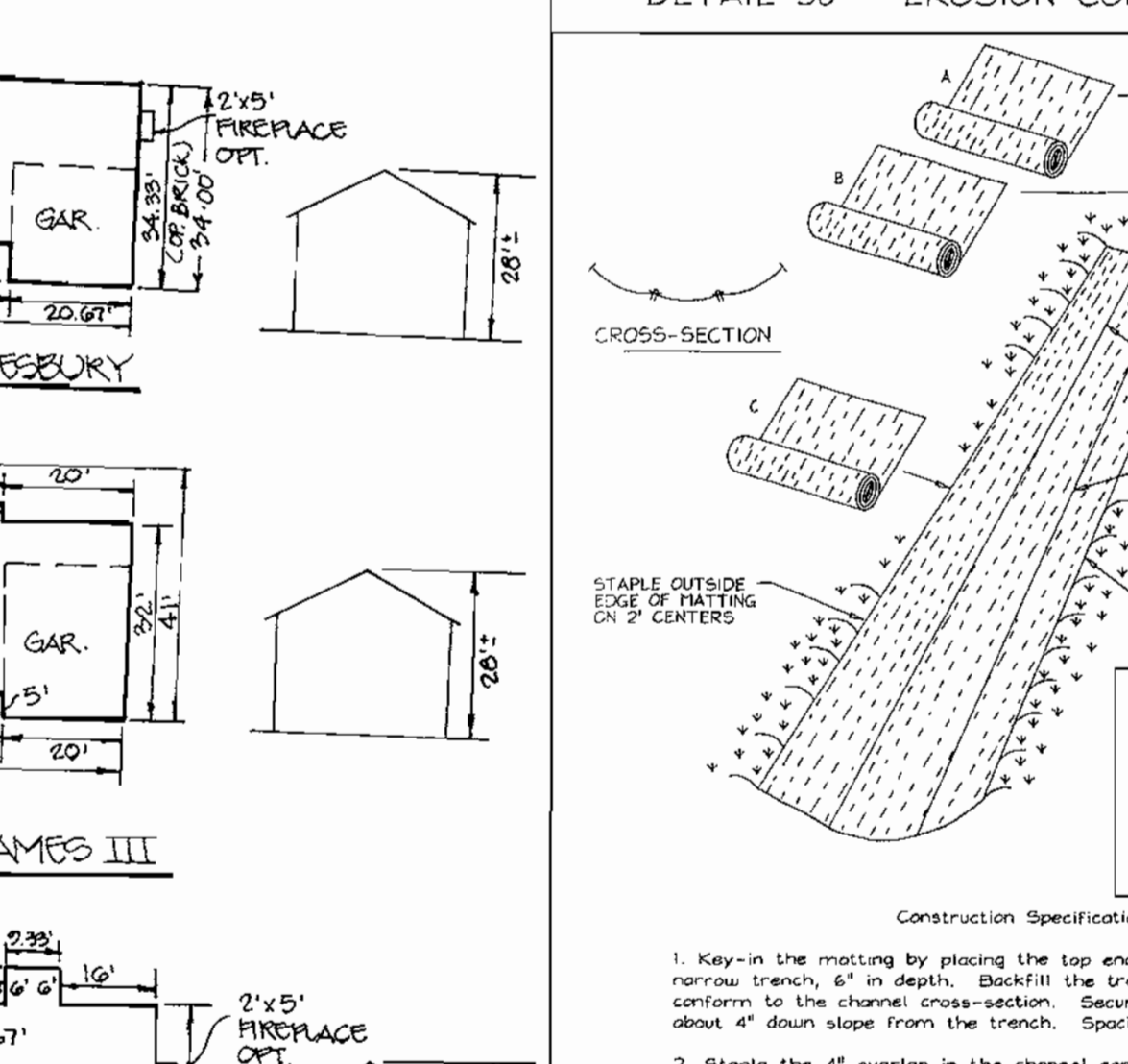
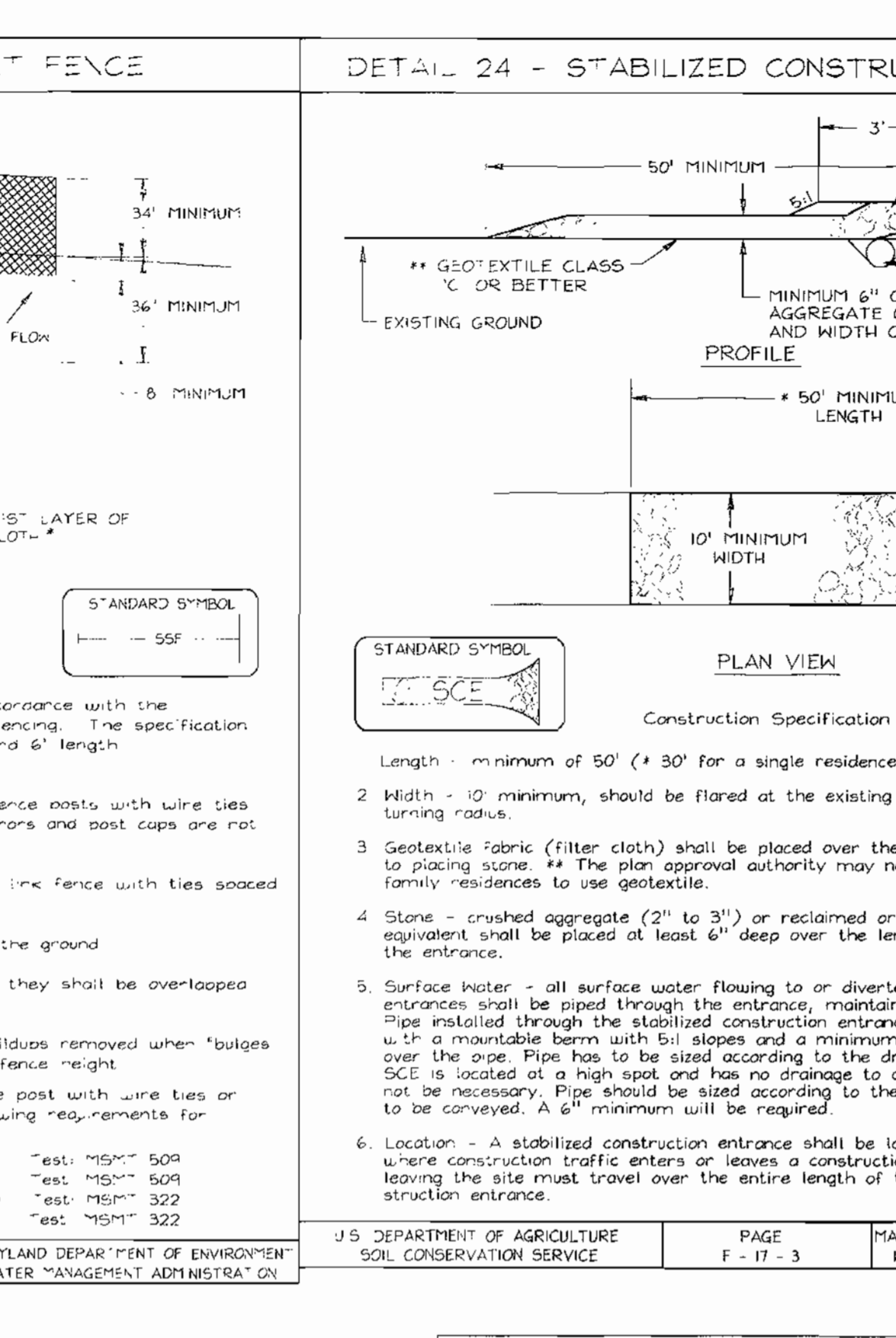
ROBERT H. VOGEL



DEVELOPER'S CERTIFICATE

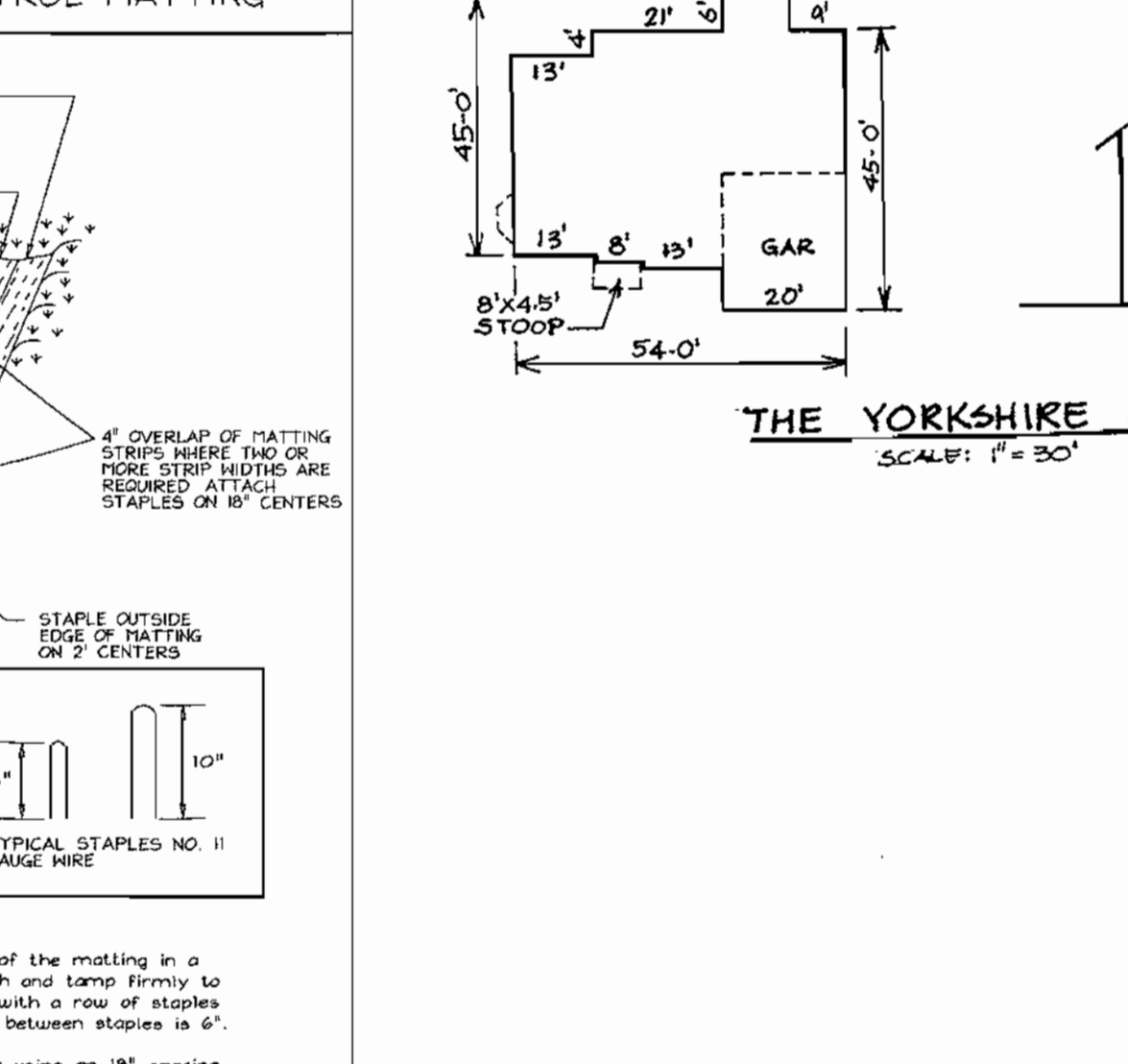
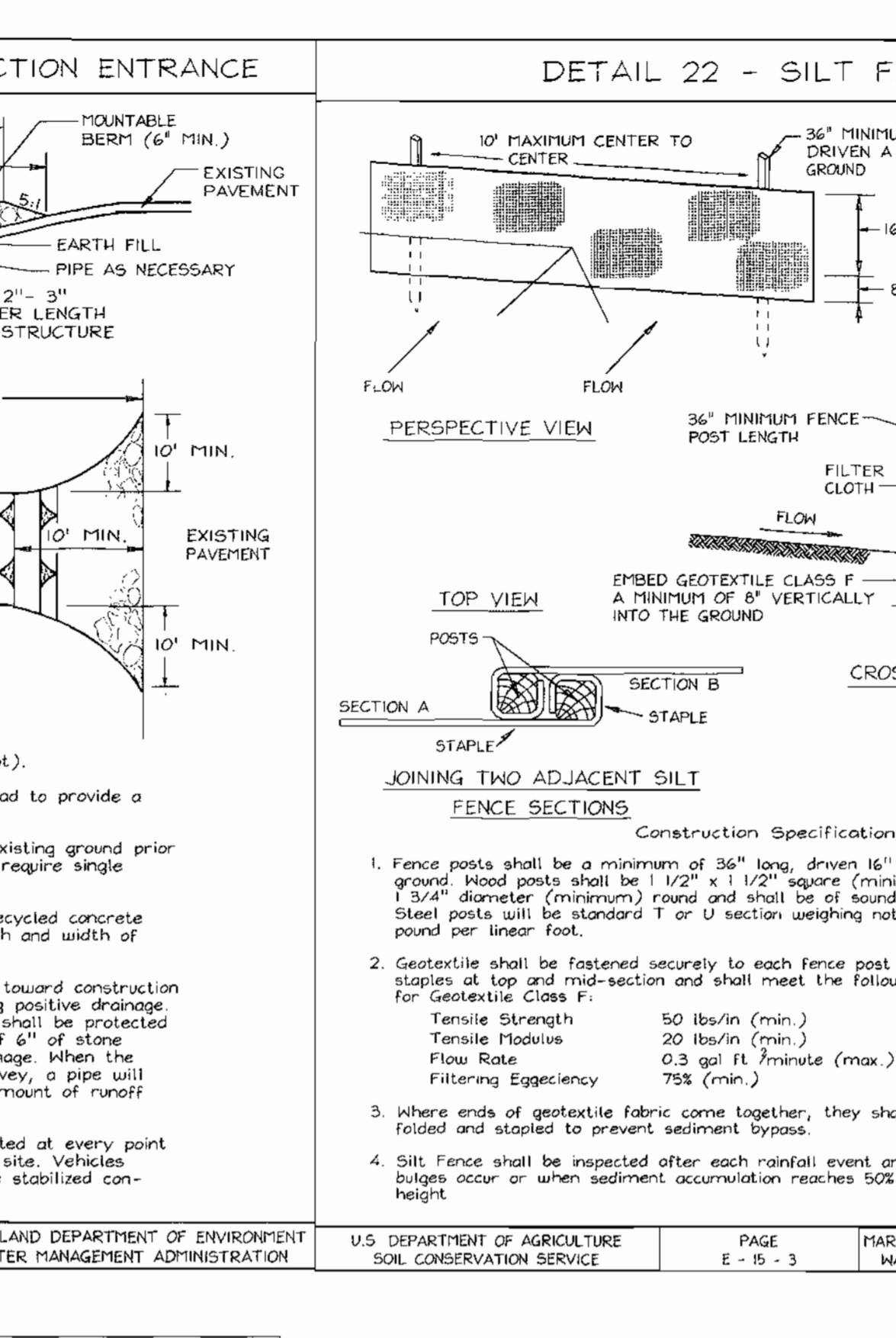
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

John Simmons



REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

John Simmons



NO	REVISION	DATE
5	ADD HOUSE TYPE YORKSHIRE MANOR	05/14/01
4	ADD HOUSE TYPE (THE ST. JAMES III)	12/12/00
3	ADD HOUSE TYPE (THE AMESBURY)	12/12/00
2	ADD HOUSE TYPE (THE KENT)	11/22/00
1	ADD HOUSE TYPE (THE ST. JAMES II)	11/8/00
0		

DETAIL SHEET
WHITETAIL WOODS
LOTS 1-17

TAX MAP 43B BLOCK NO. 15 PARCEL 262
3ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
ENGINEERS/SURVEYORS/PLANNERS

3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
Tel: 410.461.5828 Fax: 410.465.3969

DESIGN BY: T. R.
DRAWN BY: T. R.
CHECKED BY: J. C. O.
DATE: MAY 18, 2000
SCALE: AS NOTED
W.O. NO.: 99-185

3 SHEET OF 3

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
1. Material / Portage Designation / Landscape Type	LOT 1	D CONCRETE PAD
2. Near Feet of Roadway / Edge/Corner	126	10
3. Credit for Existing Vegetation / Yes, No, or near feet	No	Yes+ 10'
4. Describe below if needed / Credit for Wall, Fence or Barrier / Yes, No, or near feet	No	No
5. Describe below if needed / Number of Plants Required	150 3	150 0
6. Number of Plants Provided	140 3	110 1
7. Evergreen Trees	3	0
8. Shrubs	9	0
9. Other Trees (211 Substitutor) / Shrubs (0: Substitutor) / Describe Plant Substitution Credits (Below if needed)	1	10

GENERAL NOTES

The 10 by 4' proposed concrete pad is to be screened by 0 evergreen shrubs and the existing street trees.

2. Surety in the amount of \$1500.00 for corner landscaping of Lot 1 and for the garbage pad site for the private access lots shall be paid at time of grading permit application. All other perimeter landscaping surety has been provided with the Developer's Agreement for the final plat, F99-160.

DEVELOPER'S BUILDER'S CERTIFICATE

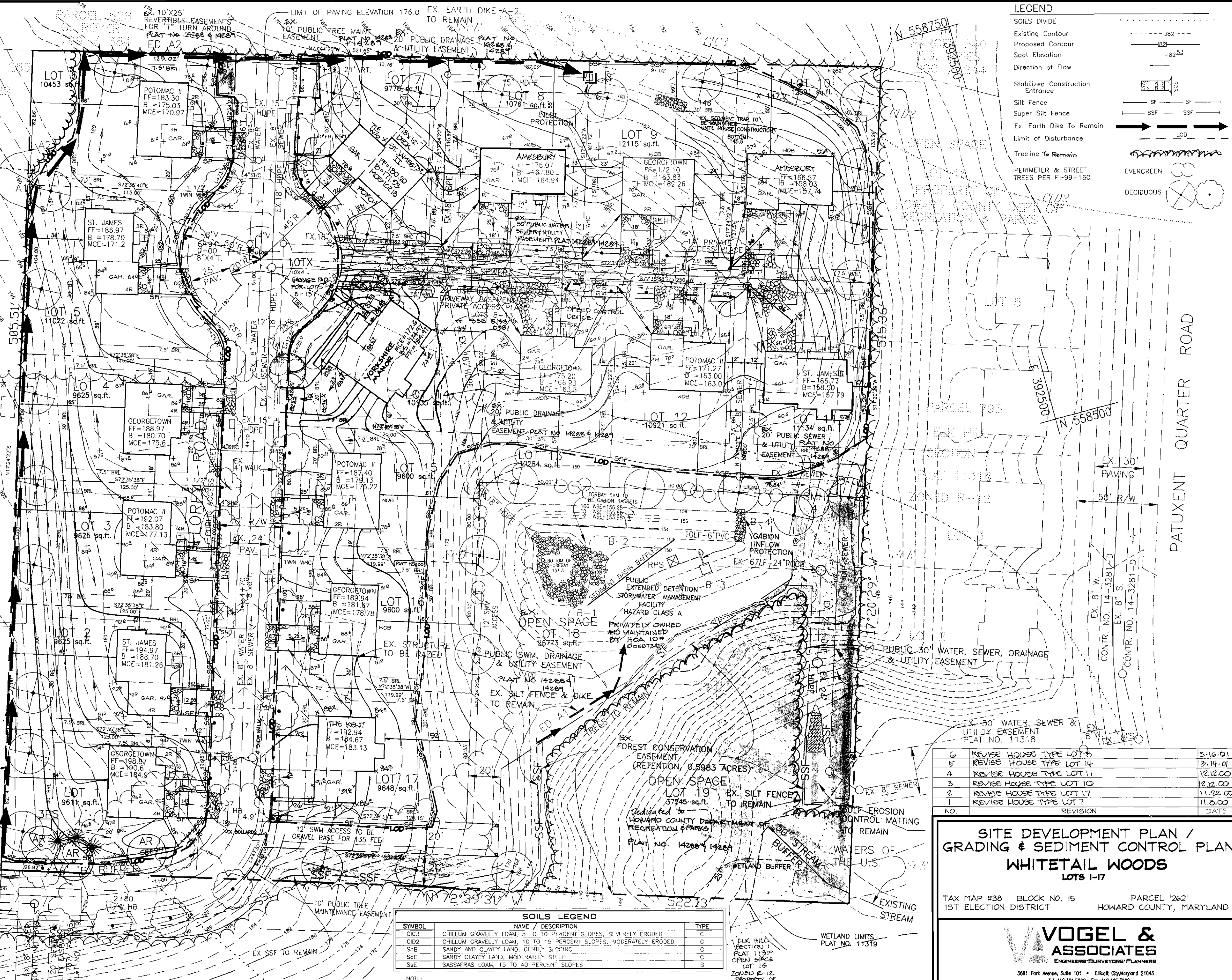
I HEREBY CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WAS DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE MARYLAND COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. ALL WORK IS CERTIFIED THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPING INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Neil M...
MANAGER OF DEVELOPER

DATE: 6/20/00

KEY QUAN	BOTANICAL NAME	SIZE	REMARKS
AR 3	Star Jasmine	2 1/2" - 3" Cal.	B 4 B
PS 5	Star Jasmine	6" - 8" HT.	B 4 B
TX 1	Star Jasmine	24" - 30" HT.	B 4 B

SOILS DMDE	
Existing Contour	--- 382 ---
Proposed Contour	--- 82 ---
Spot Elevation	+82.53
Direction of Flow	→
Stabilized Construction Entrance	--- SCE ---
Silt Fence	--- SF ---
Super Silt Fence	--- SSF ---
Ex. Earth Dike to Remain	--- ED ---
Limit of Disturbance	--- LD ---
Treeline to Remain	--- TR ---
PERIMETER & STREET TREES PER F-99-160	EVERGREEN
	DECIDUOUS



SYMBOL	NAME / DESCRIPTION	TYPE
C1C3	CHILLUM GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES, SEVERELY ERODED	C
C1D2	CHILLUM GRAVELLY LOAM, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED	C
S1B	SANDY AND CLAYEY LOAM, GENTLY SLOPING	C
S1E	SANDY CLAYEY LAND, MODERATELY SLOPING	C
S1E	SASSAFRAS LOAM, 15 TO 40 PERCENT SLOPES	B

NO.	REVISION	DATE
6	REVISE HOUSE TYPE LOT 6	2-16-01
5	REVISE HOUSE TYPE LOT 14	2-14-01
4	REVISE HOUSE TYPE LOT 11	12-12-00
3	REVISE HOUSE TYPE LOT 10	12-12-00
2	REVISE HOUSE TYPE LOT 17	11-22-00
1	REVISE HOUSE TYPE LOT 7	11-20-00

SITE DEVELOPMENT PLAN / GRADING & SEDIMENT CONTROL PLAN
WHITETAIL WOODS
 LOTS 1-17

TAX MAP #38 BLOCK NO. 15 PARCEL '262'
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
 ENGINEERS/SURVEYORS/PLANNERS

3681 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
 Tel 410.461.5828 Fax 410.465.3966

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Neil M...
CHIEF OF PLANNING ENGINEERING DIVISION

Cindy...
CHIEF OF SECTION OF LAND DEVELOPMENT

Robert H. Vogel
DATE: 10/19/00

ENGINEERS CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert H. Vogel
SIGNATURE OF ENGINEER
ROBERT H. VOGEL

DATE: 5/17/00

DEVELOPER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Neil M...
SIGNATURE OF DEVELOPER

DATE: 5/17/00

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Cheryl Simmons
USDA-NATURAL RESOURCES CONSERVATION SERVICE

DATE: 7/24/00

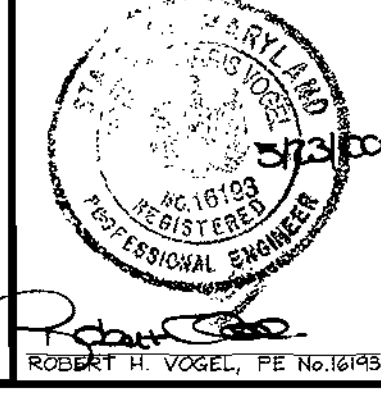
THIS DEVELOPMENT PLAN IS *substantially* FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

John Polutson
HOWARD SCD

DATE: 7/24/00

OWNER / DEVELOPER

TRINITY HOMES
 c/o MICHAEL PFAU
 7320 GRACE DRIVE
 COLUMBIA, MARYLAND 21044
 (410) 730-3137



DESIGN BY: MHM
 DRAWN BY: T.R.
 CHECKED BY: J.C.O.
 DATE: MAY 18, 2000
 SCALE: 1"=30'
 W.C. NO.: 99-185

2 SHEET OF 3

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- 1) Preferred - Apply 2 tons per acre dolomitic limestone (42 lbs./1000 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 urethane fertilizer (9 lbs./1000 sq.ft.).
2) Acceptable - Apply 2 tons per acre dolomitic limestone (42 lbs./1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (14 lbs./1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.5 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use seed Option (3) Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2lb gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 3 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.
MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.).

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 1/2 bushel per acre of annual ryegrass (3.2 lbs./1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (0.7 lbs./1000 sq.ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2lb gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 3 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

SEDIMENT CONTROL NOTES

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits Sediment Control Division prior to the start of any construction (313-1855).

2. All vegetation and structural practices are to be installed according to the provisions of this plan in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.

3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: (a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1, (b) 14 days to all other disturbed or graded areas on the project site.

4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.

5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching (Sec. G). Temporary stabilization with mulch alone shall be done when recommended seeding dates do not allow for proper germination and establishment of grasses.

6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

7. Site Analysis:

Table with 2 columns: Description and Value. Includes Total Area (4.1 Acres), Area Disturbed (3.7 Acres), Area to be seeded or paved (0.8 Acres), Area to be vegetatively stabilized (2.9 Acres), Total Cut (2600 CY), Total Fill (1000 CY), and Offsite waste/borrow area location.

8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

9. Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.

10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.

* To be determined by contractor, with pre-approval of the Sediment Control Inspector with an approved and active grading permit.

21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

1. This practice is limited to areas having 2:1 or flatter slopes where:

- a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
c. The original soil to be vegetated contains material toxic to plant growth.
d. The soil is so acidic that treatment with limestone is not feasible.

11. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.

II. Topsoil Specifications - Soil to be used as topsoil must meet the following:

i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, concrete fragments, gravel, sticks, trash, or other materials larger than 1 and 1/2" in diameter.

ii. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.

iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

II. For sites having disturbed areas under 5 acres:

i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

iii. For sites having disturbed areas over 5 acres:
1. On soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
b. Organic content of topsoil shall be not less than 15 percent by weight.
c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
d. No soil or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

NOTE: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

ii. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization-Section I-Vegetative Stabilization Methods and Materials.

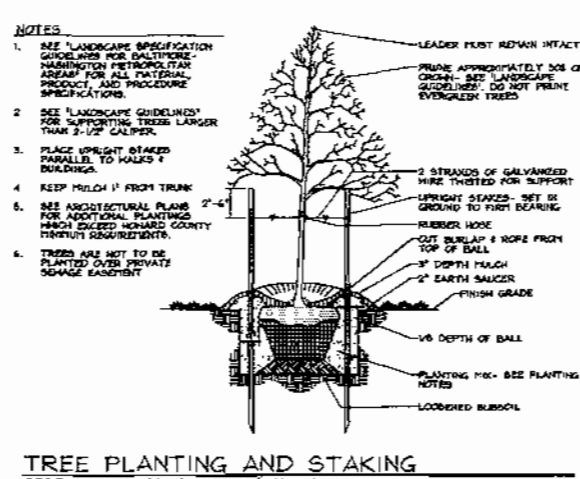
V. Topsoil Application

i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.

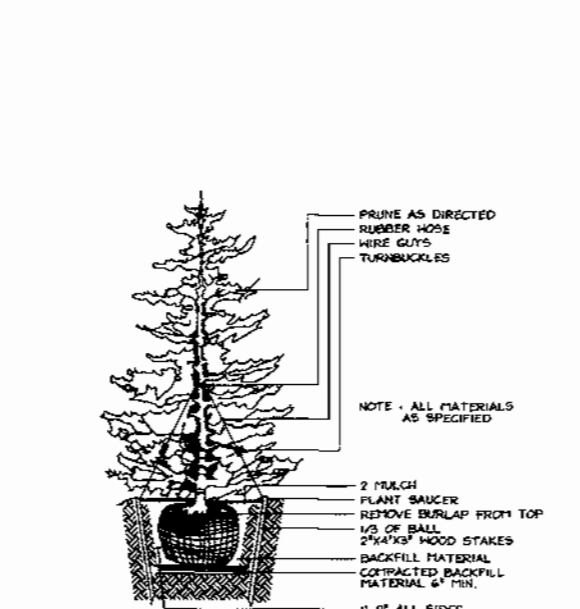
ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.

iii. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.

iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

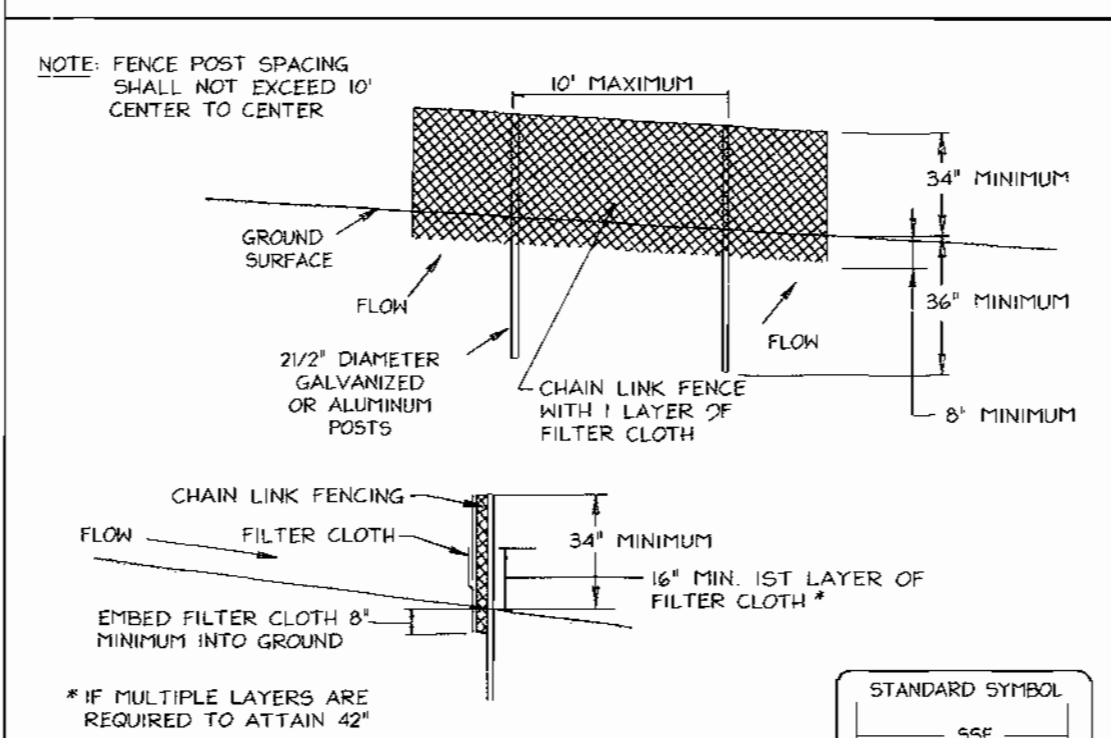


TYPICAL EVERGREEN TREE PLANTING DETAIL



TYPICAL EVERGREEN TREE PLANTING DETAIL

DETAIL 33 - SUPER SILT FENCE

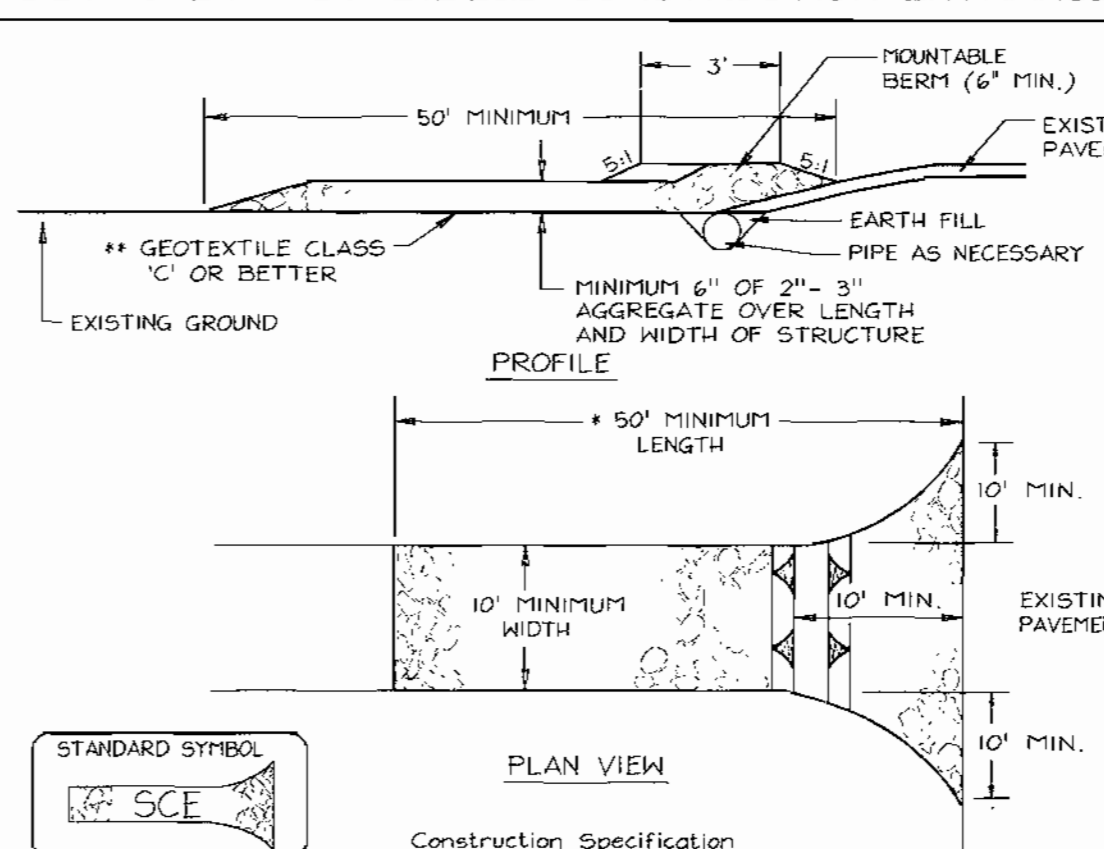


Construction Specifications

- 1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
4. Filter cloth shall be embedded a minimum of 8" into the ground.
5. When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
6. Maintenance shall be performed as needed and silt buildup removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:
Tensile Strength 50 lbs/in (min.) Test: MSHT 509
Tensile Modulus 20 lbs/in (min.) Test: MSHT 509
Flow Rate 0.3 gal/ft/minute (max.) Test: MSHT 322
Filtering Efficiency 75% (min.) Test: MSHT 322

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE H - 26 - 3, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

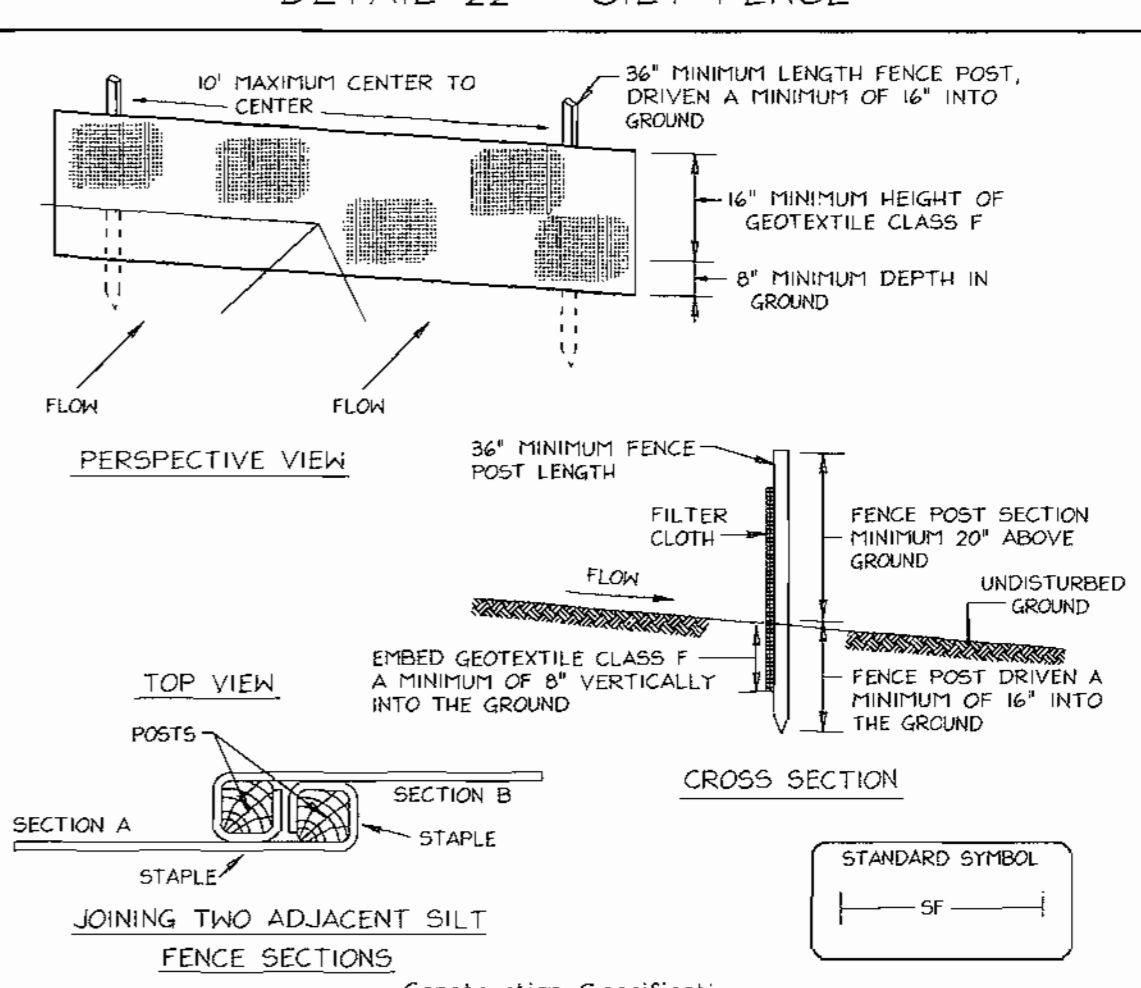


Construction Specifications

- 1. Length - minimum of 50' (+ 30' for a single residence lot).
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. The plan approval authority may not require single family residences to use geotextile.
4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey, a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE F - 17 - 3, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

DETAIL 22 - SILT FENCE



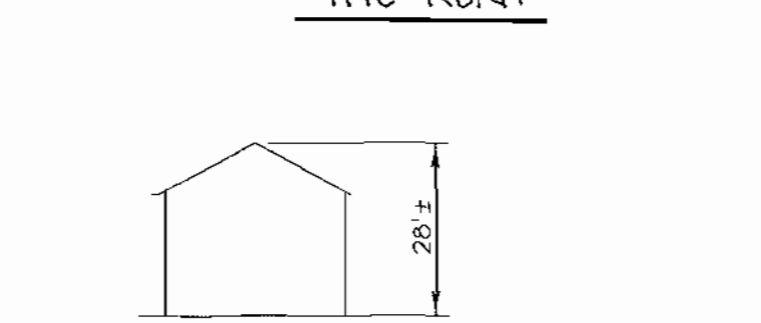
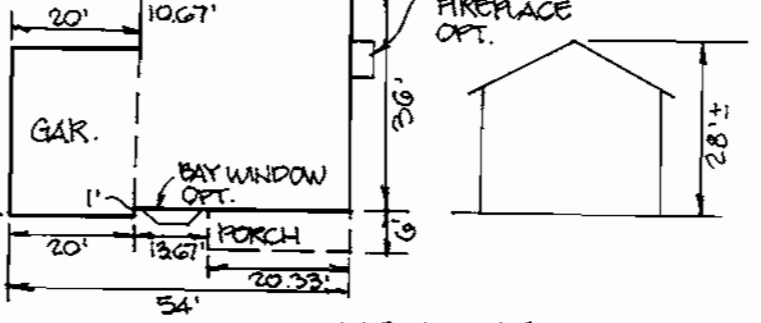
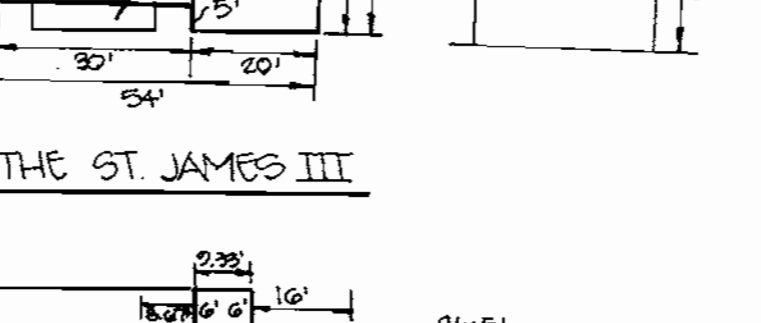
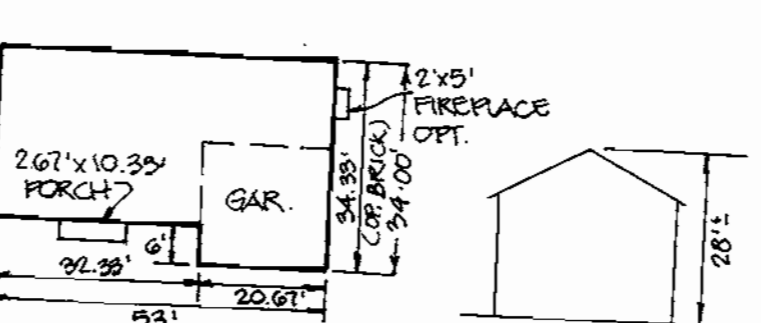
Construction Specifications

- 1. Fence posts shall be a minimum of 36" long, driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighing not less than 1.00 pound per linear foot.
2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:
Tensile Strength 50 lbs/in (min.) Test: MSHT 509
Tensile Modulus 20 lbs/in (min.) Test: MSHT 509
Flow Rate 0.3 gal/ft/minute (max.) Test: MSHT 322
Filtering Efficiency 75% (min.) Test: MSHT 322
3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
4. Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reaches 50% of the fabric height.

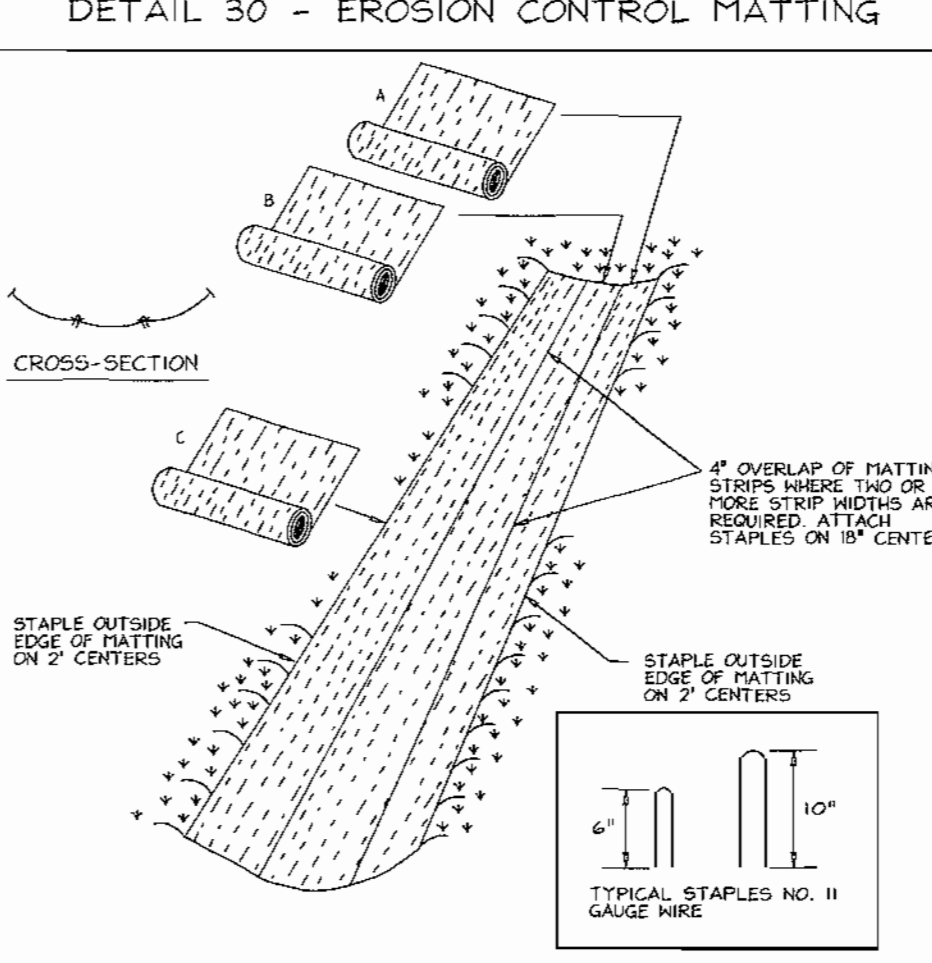
Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE E - 16 - 3, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.

SEQUENCE OF CONSTRUCTION

- 1. Obtain Grading permit.
2. Maintain existing sediment control devices as shown on plan F-99-160 to remain.
2b. Install sediment control as shown on plan in accordance with details (2 days)
3. Clear and rough grade site (1 week)
4. Construct house (3 months)
5. Fine grade and stabilize the site with topsoil and seeding (see notes this plan) (3 days)
6. After the site is permanently stabilized and permission is granted from Howard County Sediment Control Inspector, remove sediment controls and stabilize any remaining disturbed areas.
7. Final top grade to be in substantial conformance with site development plan.
8. During grading and after each rainfall, the contractor shall inspect and provide the necessary maintenance on the sediment erosion control measures shown hereon.
9. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be achieved within:
a. 7 calendar days for all perimeter sediment control structures, dikes, swales, ditch perimeter slopes and all slopes greater than 3:1; and
b. 14 calendar days for all other disturbed areas.
10. Upon stabilization of all disturbed areas and with the approval of the sediment control inspector, remove all sediment control devices.



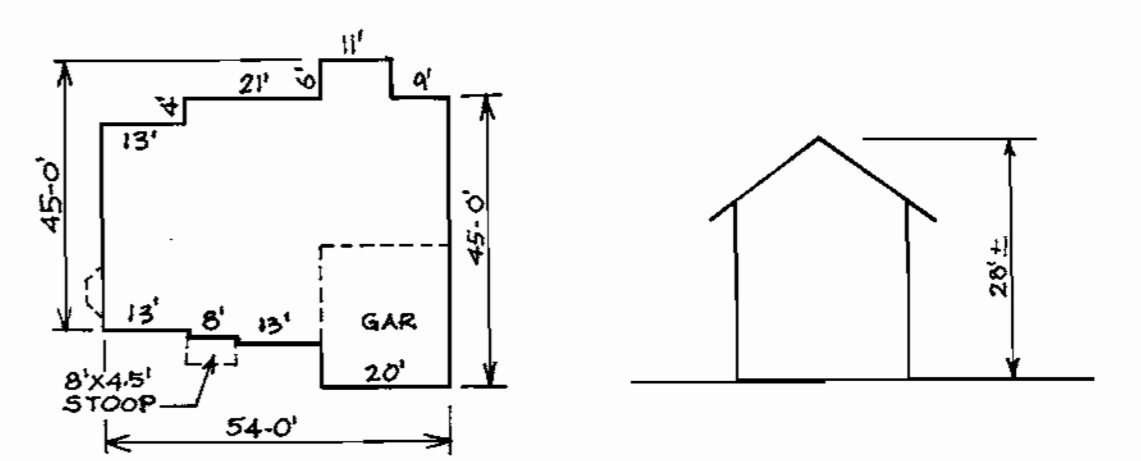
DETAIL 30 - EROSION CONTROL MATTING



Construction Specifications

- 1. Key-in the matting by placing the top ends of the matting in a narrow trench, 2" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
2. Staple the 4" overlap in the channel center using an 18" spacing between staples.
3. Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
4. Staples shall be placed 2" apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
5. Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shingle fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
6. The discharge end of the matting liner should be similarly secured with a double row of staples.
Note: If flow will enter from the edge of the matting then the area affected by the flow must be keyed-in.

Table with 4 columns: U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, PAGE G - 22 - 2, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION, MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION.



THE YORKSHIRE MANOR SCALE: 1" = 30"

Table with 4 columns: Item, Description, Amount, Date. Includes items like ADD OPT. AREAWAY & FIREPLACE (ST JAMES), ADD HOUSE TYPE YORKSHIRE MANOR, ADD HOUSE TYPE (THE ST. JAMES III), ADD HOUSE TYPE (THE AMESBURY), ADD HOUSE TYPE (THE KENT), ADD HOUSE TYPE (THE ST. JAMES II).

Table with 4 columns: No., Revision, Description, Date. Includes revision 1: ADD HOUSE TYPE (THE ST. JAMES II).

DETAIL SHEET WHITETAIL WOODS LOTS 1-17

TAX MAP #38 BLOCK NO. 15 PARCEL 262
ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES ENGINEERS SURVEYORS-PLANNERS
3691 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
Tel 410.461.5828 Fax 410.465.3965

Professional Engineer seal for Robert H. Vogel, PE No. 16198. Includes design, draw, check, and date information.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Includes signatures and dates for Chief Development Engineering Division and Chief, Division of Land Development.

ENGINEERS CERTIFICATE. I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER'S CERTIFICATE. I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS. Includes signatures and dates for Cheryl Simmons and John Robertson.

OWNER / DEVELOPER. TRINITY HOMES c/o MICHAEL PFALL 7320 GRACE DRIVE COLUMBIA, MARYLAND 21044 (410) 730-3137

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
Perimeter/Frontage Landscape Type	LOT 1	D CONCRETE PAD
Linear Feet of Roadway Frontage/Perimeter	126	10
Credit for Existing Vegetation (Yes, No, Linear Feet. Describe below if needed)	No	Yes 10'
Credit for Mail, Fence or Berm (Yes, No, Linear Feet. Describe below if needed)	No	No
Number of Plants Required	150 3	140 0
Shade Trees	140 3	110 1
Evergreen Trees		
Shrubs		
Number of Plants Provided		
Shade Trees		
Evergreen Trees		
Other Trees (2:1 Substitution)	3	0
Shrubs (10:1 Substitution)	1	10
Describe Plant Substitution Credits Below if needed		

GENERAL NOTES

- The 10' by 4' proposed concrete pad is to be screened by 10 evergreen shrubs and the existing street trees.
- Surety in the amount of \$1500.00 for corner landscaping of Lot 1 and for the garbage pad site for the private access lots shall be paid at time of grading permit application. All other perimeter landscaping surety has been provided with the Developer's Agreement for the final plat, F99-160.

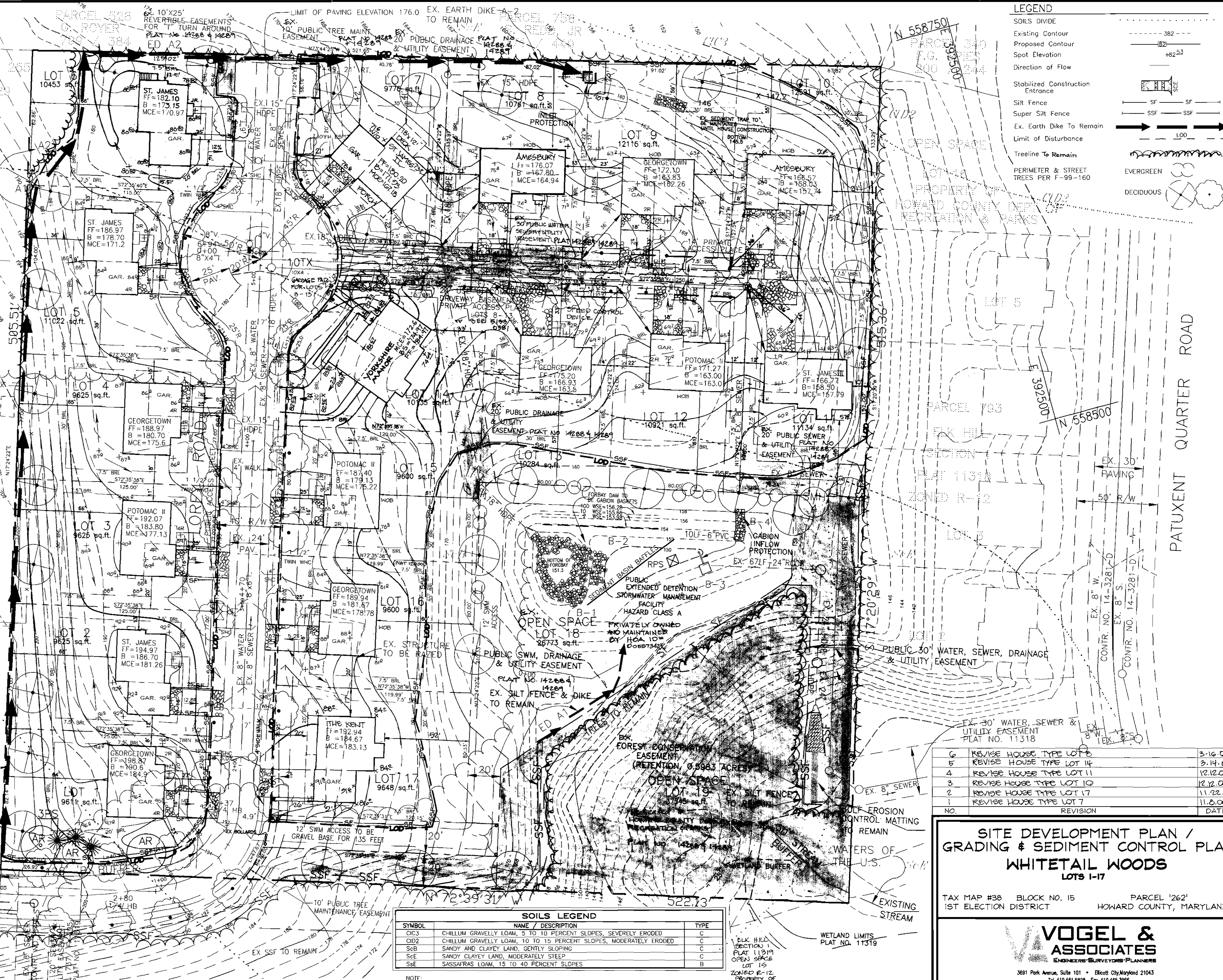
DEVELOPER'S BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature of Developer: *Neil M...*
 DATE: 6/20/00

KEY	QUAN.	BOTANICAL NAME	SIZE	REM.
AR	3	Acer Rubrum October Glory Red Maple	2 1/2"-3" Cal.	B 4 B
PS	3	Pinus Strobus Ember Hill Pine	6'-8" Ht.	B 4 B
TX	10	Taxus x media 'Hicksii' Hicksii Yew	24-30" Ht.	B 4 B

FLOREY ROAD (PUBLIC)
 EX. 50' R/W



LEGEND

SOILS DIVIDE	---
Existing Contour	--- 382 ---
Proposed Contour	--- 82 ---
Spot Elevation	482.53
Direction of Flow	→
Stabilized Construction Entrance	--- S ---
Silt Fence	--- SF ---
Super Silt Fence	--- SSF ---
Ex. Earth Dike To Remain	--- E ---
Limit of Disturbance	--- L ---
Treeline To Remain	--- T ---
PERIMETER & STREET TREES PER F-99-160	--- P ---
EVERGREEN	--- E ---
DECIDUOUS	--- D ---

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	TYPE
C1C3	CHILLUM GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES, SEVERELY ERODED	C
C1C2	CHILLUM GRAVELLY LOAM, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED	C
SCB	SANDY AND CLAYEY LAND, GENTLY SLOPING	C
SCe	SANDY CLAYEY LAND, MODERATELY STEEP	C
SSe	SASSAFRAS LOAM, 15 TO 40 PERCENT SLOPES	B

NO.	REVISION	DATE
6	REVISE HOUSE TYPE LOT 6	3-16-01
5	REVISE HOUSE TYPE LOT 14	2-14-01
4	REVISE HOUSE TYPE LOT 11	12-12-00
3	REVISE HOUSE TYPE LOT 10	12-12-00
2	REVISE HOUSE TYPE LOT 7	11-22-00
1	REVISE HOUSE TYPE LOT 17	11-22-00
NO.	REVISION	DATE

SITE DEVELOPMENT PLAN / GRADING & SEDIMENT CONTROL PLAN
WHITETAIL WOODS
 LOTS 1-17

TAX MAP #38 BLOCK NO. 15 PARCEL '262'
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
 ENGINEERS SURVEYORS PLANNERS

3681 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
 Tel 410.461.5828 Fax 410.465.3966

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Neil M...
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 7/24/00

John R. Polutson
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 10/13/00

Robert H. Vogel
 DIRECTOR
 DATE: 10/19/00

ENGINEERS CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert H. Vogel
 SIGNATURE OF ENGINEER
 ROBERT H. VOGEL
 DATE: 5/17/00

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Neil M...
 SIGNATURE OF DEVELOPER
 DATE: 5/17/00

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Cheryl Simmons
 USDA-NATURAL RESOURCES CONSERVATION SERVICE
 DATE: 7/24/00

THIS DEVELOPMENT PLAN IS *adequate* FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

John R. Polutson
 HOWARD SCD
 DATE: 7/24/00

OWNER / DEVELOPER

TRINITY HOMES
 c/o MICHAEL PFAU
 7320 GRACE DRIVE
 COLUMBIA, MARYLAND 21044
 (410) 730-3137

DESIGN BY: MMH
 DRAWN BY: T.R.
 CHECKED BY: J.C.O.
 DATE: MAY 18, 2000
 SCALE: 1"=30'
 W.O. NO.: 00-185

2 SHEET OF 3

SCHEDULE A PERIMETER LANDSCAPE EDGE			
CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES	CONCRETE PAD
Perimeter/Frontage Designation	LOT B	D	
Linear Feet of Roadway Edge/Perimeter	126	10	
Credit for Existing Vegetation (Yes, No, Linear Feet)	No	Yes*	
Credit for Hill Fence or Berm (Yes, No, Linear Feet)	No	No	
Number of Plants Required	150 3	140 C	
Number of Plants Provided	140 3	110 1	
Evergreen Trees	140 3	110 1	
Other Trees (2:1 Substitution)	0	0	
Shrubs (1:1 Substitution)	0	0	
Describe Plant Substitution Credits Below if needed			

GENERAL NOTES

- The 10' by 4' proposed concrete pad is to be screened by 10 evergreen shrubs and the existing street trees.
- Surety in the amount of \$1500.00 for corner landscaping of Lot 1 and for the garbage pad site for the private access lots shall be paid at time of grading permit application. All other perimeter landscaping surety has been provided with the Developer's Agreement for the final plat, F99-160.

DEVELOPER'S BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Muel far
 SIGNATURE OF DEVELOPER

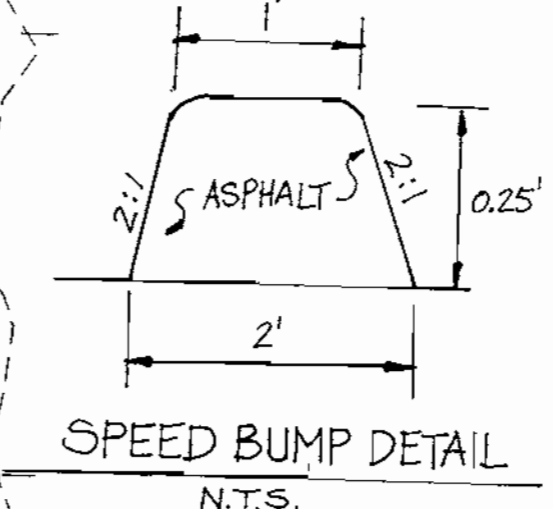
6/20/00
 DATE

KEY	QUAN.	BOTANICAL NAME	SIZE	REH.
AR	3	Acer rubrum October Glory Red Maple	2 1/2"-3" Cal.	B 4 B
PS	3	Pinus strobus Eastern White Pine	6'-8' Ht.	B 4 B
TX	10	Taxus x media 'Hicksii' Hicksii Yew	24-30" Ht.	B 4 B

FLOREY ROAD (PUBLIC)
 EX. 30' R/W

LEGEND

SOILS DMDE	---
Existing Contour	---
Proposed Contour	---
Spot Elevation	---
Direction of Flow	---
Stabilized Construction Entrance	---
Silt Fence	---
Super Silt Fence	---
Ex. Earth Dike to Remain	---
Limit of Disturbance	---
Treeline to Remain	---
PERIMETER & STREET TREES PER F-99-160	---
EVERGREEN	---
DECIDUOUS	---



NO.	REVISION	DATE
6	REVISE HOUSE TYPE LOT 8	3-16-01
5	REVISE HOUSE TYPE LOT 14	3-14-01
4	REVISE HOUSE TYPE LOT 11	12-12-00
3	REVISE HOUSE TYPE LOT 10	12-12-00
2	REVISE HOUSE TYPE LOT 17	11-22-00
1	REVISE HOUSE TYPE LOT 7	11-8-00

SITE DEVELOPMENT PLAN / GRADING & SEDIMENT CONTROL PLAN
WHITETAIL WOODS
 LOTS 1-17

TAX MAP #38 BLOCK NO. 15 PARCEL '262'
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
 ENGINEERS/SURVEYORS/PLANNERS
 3591 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
 Tel 410.461.5828 Fax 410.465.3966

DESIGN BY: M.H.M.
 DRAWN BY: T.R.
 CHECKED BY: J.C.O.
 DATE: MAY 18, 2000
 SCALE: 1"=30'
 N.O. NO.: 99-185
 2 SHEET OF 3

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	TYPE
C1C3	CHILLUM GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES, SEVERELY ERODED	C
C1C2	CHILLUM GRAVELLY LOAM, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED	C
ScB	SANDY AND CLAYEY LAND, GENTLY SLOPING	C
ScE	SANDY CLAYEY LAND, MODERATELY STEEP	C
SaE	SASSAFRAS LOAM, 15 TO 40 PERCENT SLOPES	B

NOTE: - HOWARD SOIL SURVEY, MAP NUMBER 26

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Michael J. ...
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
Andy ...
 CHIEF, DIVISION OF LAND DEVELOPMENT
Robert H. Vogel
 DIRECTOR

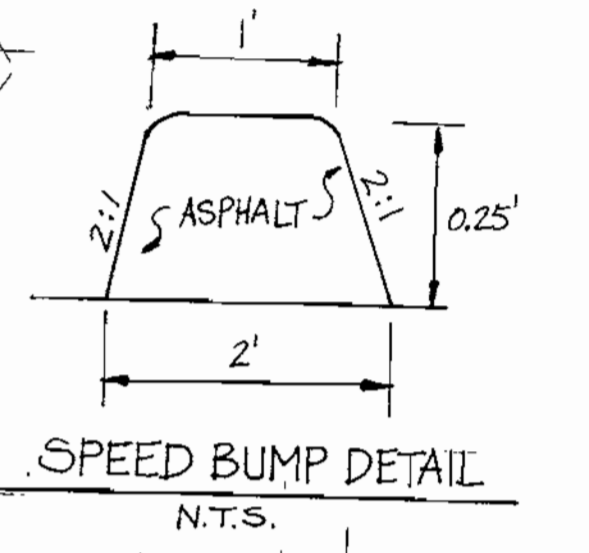
ENGINEERS CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Robert H. Vogel
 SIGNATURE OF ENGINEER
 ROBERT H. VOGEL
 DATE: 7/24/00

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
Muel far
 SIGNATURE OF DEVELOPER
 DATE: 5/17/00

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
Cheryl Simmons 7/24/00
 USDA-NATURAL RESOURCES CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
John Robertson 7/24/00
 HOWARD SCD

16	REVISE HOUSE TYPE LOT 15	10/31/01
15	REVISE HOUSE TYPE LOT 5	10/22/01
14	REVISE HOUSE TYPE LOT 2	10/22/01
13	REVISE HOUSE TYPE LOT 3	10/4/01
12	REVISE HOUSE TYPE LOT 16	8/28/01
11	REVISE HOUSE TYPE LOT 13	8/21/01
10	ADD SPEED BUMPS TO PRIVATE DRIVE	8/13/01
9	MOVE HOUSE LOT 6	7/18/01
8	REVISE HOUSE TYPE LOT 7	6/27/01
7	REVISE REVISION LOT 6	5/17/01

LEGEND	
SOILS DVIDE	---
Existing Contour	--- 382 ---
Proposed Contour	--- 182 ---
Spot Elevation	+82.53
Direction of Flow	→
Stabilized Construction Entrance	
Silt Fence	SF --- SF
Super Silt Fence	SSF --- SSF
Ex. Earth Dike to Remain	--- 100 ---
Limit of Disturbance	---
Treeline to Remain	
PERIMETER & STREET TREES PER F-99-160	EVERGREEN
	DECIDUOUS



SCHEDULE A PERIMETER LANDSCAPE EDGE			
CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES	
Perimeter/Frontage Designation	LOT B	ID	CONCRETE PAD
Linear Feet of Roadway Frontage/Perimeter	126	10	
Credit for Existing Vegetation (Yes, No, Linear Feet. Describe below if needed)	No	Yes 10'	
Credit for Mail, Fence or Berm (Yes, No, Linear Feet. Describe below if needed)	No	No	
Number of Plants Required	150 B 140 S	160 O 110 I	
Number of Plants Provided	3	0	
Shade Trees			
Evergreen Trees			
Other Trees (2:1 Substitution)			
Shrubs (10:1 Substitution)			
Describe Plant Substitution Credits Below if needed			

GENERAL NOTES

- The 10' by 4' proposed concrete pad is to be screened by 10 evergreen shrubs and the existing street trees.
- Surety in the amount of \$1500.00 for corner landscaping of Lot 1 and for the garbage pad site for the private access lots shall be paid at time of grading permit application. All other perimeter landscaping surety has been provided with the Developer's Agreement for the final plat, F99-160.

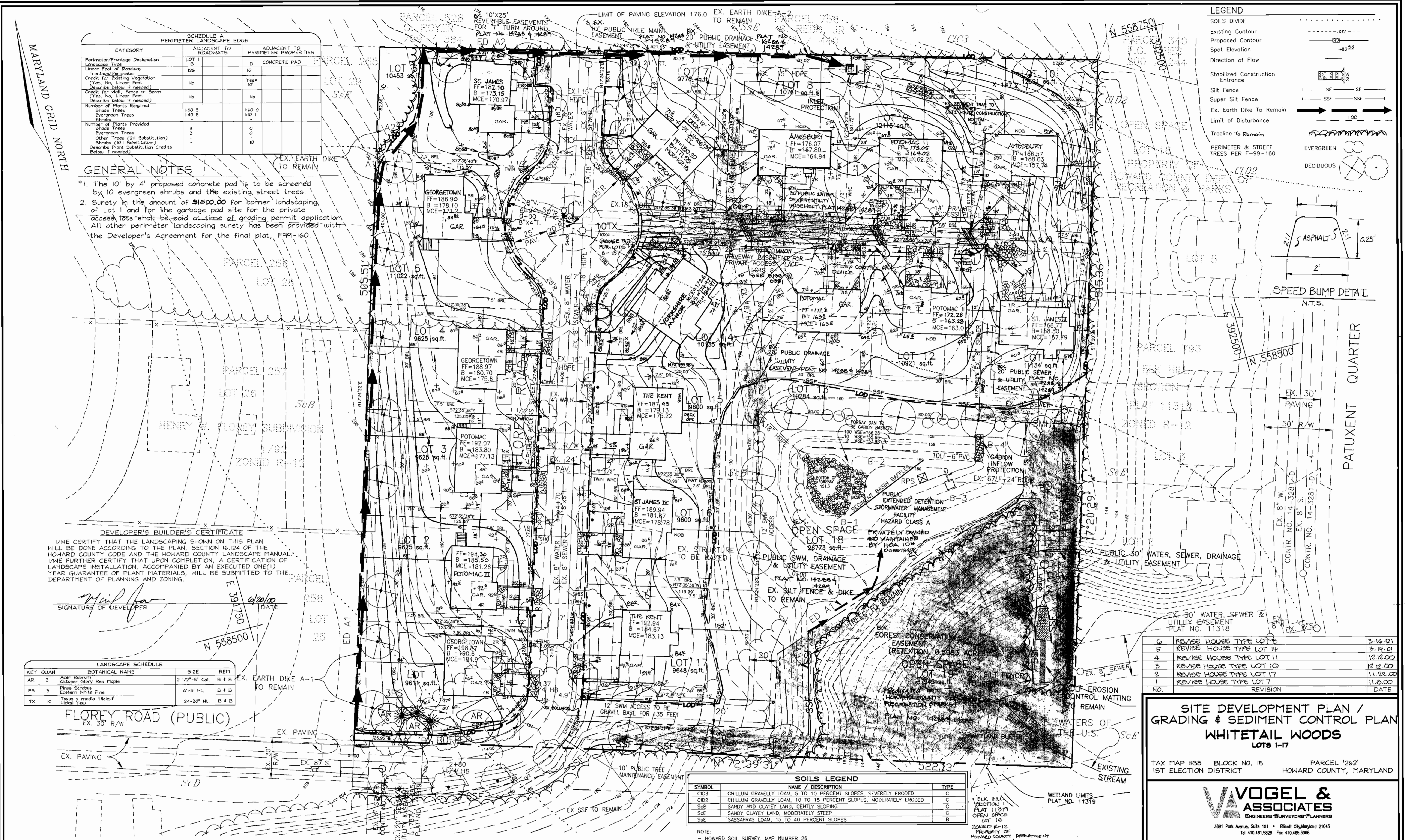
DEVELOPER'S BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER: *M. J. ...*
DATE: 6/20/00

KEY	QUAN	BOTANICAL NAME	SIZE	RETI
AR	3	Acer Rubrum October Glory Red Maple	2 1/2" - 3" Col.	B # B
PS	3	Pinus Strobus Eastern White Pine	6' - 8' Ht.	B # B
TX	10	Taxus x media 'Hicksii' Hickory Tree	24 - 30" Ht.	B # B

FLOREY ROAD (PUBLIC)
EX. 30' R/W



SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	TYPE
C1C3	CHILLUM GRAVELLY LOAM, 8 TO 10 PERCENT SLOPES, SEVERELY ERODED	C
C1D2	CHILLUM GRAVELLY LOAM, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED	C
ScB	SANDY AND CLAYEY LAND, GENTLY SLOPING	C
ScE	SANDY CLAYEY LAND, MODERATELY STEEP	C
SsE	SASSAFRAS LOAM, 15 TO 40 PERCENT SLOPES	B

NOTE: - HOWARD SOIL SURVEY, MAP NUMBER 26

NO.	REVISION	DATE
6	REVISE HOUSE TYPE LOT 6	3-16-01
5	REVISE HOUSE TYPE LOT 14	3-14-01
4	REVISE HOUSE TYPE LOT 11	12-12-00
3	REVISE HOUSE TYPE LOT 10	12-12-00
2	REVISE HOUSE TYPE LOT 17	11-22-00
1	REVISE HOUSE TYPE LOT 7	11-8-00

SITE DEVELOPMENT PLAN / GRADING & SEDIMENT CONTROL PLAN
WHITETAIL WOODS
LOTS 1-17

TAX MAP #38 BLOCK NO. 15 PARCEL '262'
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
ENGINEERS-SURVEYORS-PLANNERS

3891 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
Tel 410.461.5828 Fax 410.465.3966

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

M. J. ...
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 7/20/00

Linda ...
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 10/13/00

David ...
DIRECTOR
DATE: 10/19/00

ENGINEERS CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert H. Vogel
SIGNATURE OF ENGINEER
ROBERT H. VOGEL
DATE: 7/20/00

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

M. J. ...
SIGNATURE OF DEVELOPER
DATE: 5/17/00

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Keyl Simmons
USDA-NATURAL RESOURCES CONSERVATION SERVICE
DATE: 7/24/00

John Robertson
HOWARD SCD
DATE: 7/24/00

NO.	REVISION	DATE
18	REVISE AS-BUILT GRADING LOT 12	12/18/01
17	REVISE AS-BUILT GRADING LOT 9	12/18/01
16	REVISE HOUSE TYPE LOT 15	10/18/01
15	REVISE HOUSE TYPE LOT 5	10/22/01
14	REVISE HOUSE TYPE LOT 2	10/22/01
13	REVISE HOUSE TYPE LOT 3	10/4/01
12	REVISE HOUSE TYPE LOT 16	8/28/01
11	REVISE HOUSE TYPE LOT 13	8/21/01
10	ADD SPEED BUMPS TO PRIVATE DRIVE	7/18/01
9	ADD HOUSES LOT 6	7/18/01
8	REVISE HOUSE TYPE LOT 9	6/27/01
7	REVISE REVISION LOT 6	15-11-01



DESIGN BY: M.H.M.
DRAWN BY: T.R.
CHECKED BY: J.C.O.
DATE: MAY 18, 2000
SCALE: 1"=30'
W.O. NO.: 99-195

2 SHEET OF 3

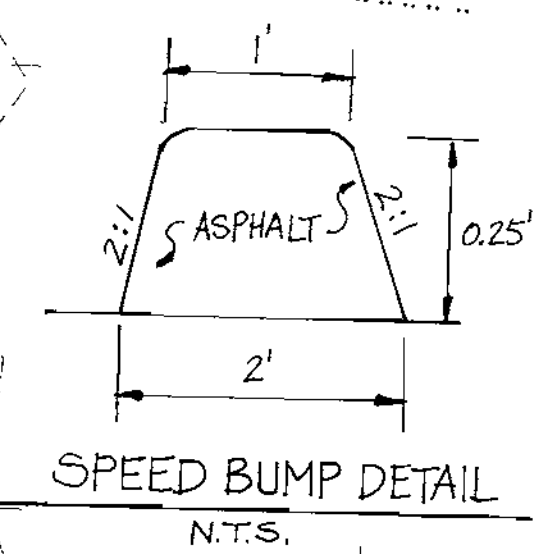
SCHEDULE A PERIMETER LANDSCAPE EDGE		
CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
Perimeter/Frontage Designation	LOT 1	D CONCRETE PAD
Linear Feet of Roadway Frontage/Perimeter	126	10
Credit for Existing Vegetation (Yes, No, Linear Feet. Describe below if needed)	No	Yes 10'
Credit for Wall, Fence or Berm (Yes, No, Linear Feet. Describe below if needed)	No	No
Number of Plants Required	150 3	160 0
Shade Trees	140 3	110 1
Number of Plants Provided	3	0
Shade Trees	3	0
Evergreen Trees	3	0
Other Trees (2:1 Substitution) (Describe Plant Substitution Credits Below if needed)	3	10

GENERAL NOTES

- The 10' by 4' proposed concrete pad is to be screened by 10 evergreen shrubs and the existing street trees.
- Surety in the amount of \$1500.00 for corner landscaping of Lot 1 and for the garbage pad site for the private access lots shall be paid at time of grading permit application. All other perimeter landscaping surety has been provided with the Developer's Agreement for the final plot, F99-160.

LEGEND

SOILS DIVIDE	---
Existing Contour	-----
Proposed Contour	-----
Spot Elevation	+82.53
Direction of Flow	→
Stabilized Construction Entrance	[Symbol]
Silt Fence	--- SF --- SF ---
Super Silt Fence	--- SSF --- SSF ---
Ex. Earth Dike to Remain	→ LOD →
Limit of Disturbance	→ LOD →
Treeline to Remain	[Symbol]
PERIMETER & STREET TREES PER F-99-160	EVERGREEN [Symbol]
	DECIDUOUS [Symbol]



DEVELOPER'S BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Mail fa
SIGNATURE OF DEVELOPER

DATE: 6/20/00

LANDSCAPE SCHEDULE

KEY	QUAN	BOTANICAL NAME	SIZE	REMARKS
AR	3	Acer Roburum October Glory Red Maple	2 1/2" - 3" Cal.	B 4 B
PS	3	Pinus Strobus Eastern White Pine	6" - 8" HL.	B 4 B
TX	10	Taxus media 'Hicksii' Hickory	24" - 30" HL.	B 4 B

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	TYPE
C1C3	CHILLUM GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES, SEVERELY ERODED	C
C1D2	CHILLUM GRAVELLY LOAM, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED	C
S1B	SANDY AND CLAYEY LAND, GENTLY SLOPING	C
S1E	SANDY CLAYEY LAND, MODERATELY STEEP	C
S1E	SASSAFRAS LOAM, 15 TO 40 PERCENT SLOPES	B

NO.	REVISION	DATE
6	REVISE HOUSE TYPE LOT 6	3-16-01
5	REVISE HOUSE TYPE LOT 14	2-14-01
4	REVISE HOUSE TYPE LOT 11	12-12-00
3	REVISE HOUSE TYPE LOT 10	12-12-00
2	REVISE HOUSE TYPE LOT 17	11-22-00
1	REVISE HOUSE TYPE LOT 7	11-6-00
NO.	REVISION	DATE

SITE DEVELOPMENT PLAN / GRADING & SEDIMENT CONTROL PLAN
WHITETAIL WOODS
LOTS 1-17

TAX MAP #38 BLOCK NO. 15 PARCEL '262'
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

VOGEL & ASSOCIATES
ENGINEERS-RELIEVE/PLANNERS

3591 Park Avenue, Suite 101 • Ellicott City, Maryland 21043
Tel 410.461.5828 Fax 410.465.3966

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Robert H. Vogel
CHIEF, DEVELOPMENT ENGINEERING DIVISION

John J. Smith
CHIEF, DIVISION OF LAND DEVELOPMENT

David Smith
DIRECTOR

ENGINEERS CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Robert H. Vogel
SIGNATURE OF ENGINEER
ROBERT H. VOGEL

DATE: 7/24/00

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Mail fa
SIGNATURE OF DEVELOPER

DATE: 5/17/00

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Cheryl Simmons
USDA-NATURAL RESOURCES CONSERVATION SERVICE

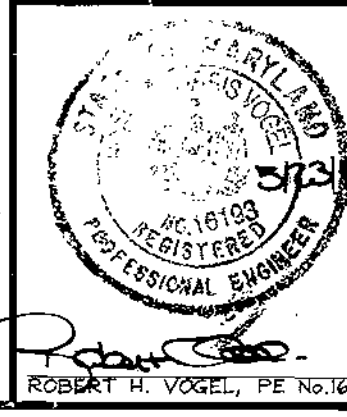
DATE: 7/24/00

THIS DEVELOPMENT PLAN IS *submittal* FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

John R. Robertson
HOWARD SCD

DATE: 7/24/00

19	REVISE HOUSE ELEVATION LOT 1	12/16/01
18	REVISE AS-BUILT GRADING LOT 12	12/18/01
17	REVISE AS-BUILT GRADING LOT 9	12/18/01
16	REVISE HOUSE TYPE LOT 15	10/18/01
15	REVISE HOUSE TYPE LOT 5	10/18/01
14	REVISE HOUSE TYPE LOT 2	10/22/01
13	REVISE HOUSE TYPE LOT 3	10/22/01
12	REVISE HOUSE TYPE LOT 16	8/22/01
11	REVISE HOUSE TYPE LOT 13	8/21/01
10	ADD SPEED BUMPS TO PRIVATE DRIVE	8/13/01
9	MOVE HOUSE LOT 6	7/18/01
8	REVISE HOUSE TYPE LOT 7	6/21/01
7	REDLINE REVISION LOT 6	5-17-01



DESIGN BY: MHM
DRAWN BY: T.R.
CHECKED BY: J.C.O.
DATE: MAY 18, 2000
SCALE: 1"=30'
W.O. NO.: 99-185

2 SHEET OF 3