

GENERAL NOTES

- TOPOGRAPHIC SURVEY WAS PROVIDED BY RBA GROUP DATED MARCH 5, 1998. THE BASE SURVEY IS GIVEN ON SHEET C-2 OF THIS DRAWING SET. ALL EXISTING SITE CONDITIONS SHALL BE DETERMINED BY EXAMINATION OF THE RBA SURVEY SHEETS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS GIVEN ON THESE DRAWINGS AND IN THE SPECIFICATION BOOKLET AS WELL AS STANDARD MARYLAND STATE HIGHWAY ADMINISTRATION AND HOWARD COUNTY SPECIFICATIONS WHICHEVER IS MORE RESTRICTIVE.
- DEVIATION FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT FROM THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.
- THE RBA GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES, OR PROCEDURES, UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND STANDARD CONSTRUCTION PRACTICES.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES WHICH ARE TO REMAIN FREE FROM DAMAGE AND MAINTAIN UNINTERRUPTED SERVICE TO ALL USERS. ANY DAMAGE INCURRED DUE TO THE CONTRACTOR'S OR SUBCONTRACTOR'S ACTIONS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK ON THE PROJECT:
 MISS UTILITY (800) 257-7777
 BALTIMORE GAS AND ELECTRIC CO. (410) 859-9065
 COMCAST CABLEVISION (410) 461-1362 EXT. 27
 BELL ATLANTIC TELEPHONE (410) 954-6281
 HOWARD COUNTY SCD (410) 465-3180
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO BEGINNING WORK. HE SHALL VERIFY SIZE AND LOCATIONS OF ALL UNDERGROUND UTILITIES AND TEST PIT AT PROPOSED TIE IN LOCATIONS. DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER WELL IN ADVANCE OF CONSTRUCTION START. START OF CONSTRUCTION BY THE CONTRACTOR SHALL CONSTITUTE FULL ACCEPTANCE OF ALL SITE CONDITIONS BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR CONSTRUCTION PRIOR TO BEGINNING WORK.
- ALL UTILITIES ARE TO REMAIN UNLESS DESIGNATED TO BE REMOVED AND ALL APPURTENANCES SHALL BE ADJUSTED TO FINISH GRADE.
- PRIOR TO START OF CONSTRUCTION CONTRACTOR SHALL STAKE OUT AND VERIFY LOCATIONS OF ALL IMPROVEMENTS AND UTILITY TIE IN LOCATIONS. CONTRACTOR SHALL PROVIDE CUT SHEETS TO THE COUNTY ENGINEER THREE (3) WORKING DAYS BEFORE STARTING CONSTRUCTION.
- SCALING OF THESE PLANS IS DISCOURAGED UNLESS DIRECTED BY THE ENGINEER. IN THE EVENT OF A DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS, THE FIGURED DIMENSIONS SHALL BE HELD.
- THE CONTRACTOR SHALL ENSURE THAT CURRENT AS-BUILT RECORDS ARE MAINTAINED DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION, CERTIFIED (i.e. P.E. STAMPED) AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE OWNER. THESE AS-BUILT DRAWINGS SHALL BE FOUND ACCEPTABLE BY HOWARD COUNTY PRIOR TO RELEASE OF ANY REMAINING SECURITY.
- CONTRACTOR SHALL MAINTAIN ALL SEDIMENT CONTROL DEVICES WITHIN THE LIMITS OF THE SITE DURING CONSTRUCTION OF THE SITE IMPROVEMENTS. CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AS MAY BE NECESSARY DURING CONSTRUCTION AND/OR BY GOVERNING AGENCIES.
- THE CONTRACTOR SHALL NOTIFY OF DEPARTMENT OF PUBLIC WORKS/ BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED ON THE PLAN.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 24C2 AND 18G1 WERE USED FOR THIS PROJECT. REFER TO LOCATION PLAN, THIS SHEET, FOR MONUMENT LOCATIONS.
- STORMWATER MANAGEMENT FACILITY WILL BE WITH A USE OF A DETENTION POND AND STORMCEPTER SYSTEM TO BE OWNED AND MAINTAINED PRIVATELY.
- EXISTING UTILITIES ARE BASED ON TOPOGRAPHIC SURVEY BY THE RBA GROUP DATED MARCH 5, 1998. A COPY OF THAT PLAN IS ON SHEET C-2.
- THE WETLANDS DELINEATION STUDY FOR THIS PROJECT WAS PREPARED BY CAMPBELL & NOLAN ASSOCIATES, INC., DATED JULY 28, 1999.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE RBA GROUP DATED NOVEMBER 15, 1999.
- THE FLOOD PLAN STUDY FOR THIS PROJECT WAS PREPARED BY PURDUM & JESCHKE, DATED 1976. THE STUDY WAS REVISED IN JULY 1999 BY PURDUM & JESCHKE, LLC AND APPROVED BY HOWARD COUNTY, DEVELOPMENT ENGINEERING.
- RELATED PLAN AND PLAT FILE NUMBERS:
 F98-150, WP-89-146, F-77-61, F-89-108, WP-90-64, WP-91-186, WP-92-214, F-98-13, WP-95-131, SDP 95-124 AND F 98-160.
- PUBLIC WATER AND SEWER HAVE BEEN APPROVED UNDER CONTRACTS W-9 AND 10-1129, RESPECTIVELY.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN FLOOD PLAINS, WETLANDS AND STREAMS OR THEIR BUFFERS EXCEPT AS DETERMINED ESSENTIAL BY THE DEPARTMENT OF PLANNING AND ZONING.
- LANDSCAPING OF THIS SITE HAS BEEN FULFILLED PER SECTION 16.124 OF THE SUBDIVISION REGULATIONS. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN MADE A PART OF THE DEVELOPER'S AGREEMENT.
- THIS SITE PLAN IS FOR IMPROVEMENTS ON PARCELS C-1, 156 AND 263 ONLY.
- A CROSS EASEMENT AND MAINTENANCE AGREEMENT FOR THE SWM POND LOCATED ACROSS PARCELS 156 AND 263 FOR THE BENEFIT OF PARCEL C-1 HAS BEEN RECORDED IN THE LAND RECORDS OFFICE OF HOWARD COUNTY, MARYLAND AS LIBER 5068 / FOLIO 223.
- A FOREST CONSERVATION EASEMENT FOR .44 ACRES OF AFFORESTATION HAS BEEN ESTABLISHED FOR THIS SITE. SURETY FOR THE .44 ACRES OF AFFORESTATION IN THE AMOUNT OF \$5750.00 WILL BE MADE A PART OF THE DEVELOPER'S AGREEMENT. AN EASEMENT PLAT OF FOREST CONSERVATION FOR THIS SITE IS RECORDED IN THE LAND RECORDS OFFICE OF HOWARD COUNTY, MD AS PLAT NUMBER 14112 ON 2-2-00, AND IS FILED UNDER THIS SITE DEVELOPMENT PLAN NUMBER, SDP-00-60.

STAKING NOTES

- ALL CURB RADI ARE 3 FEET UNLESS NOTED OTHERWISE. ALL SIDEWALK RADI ARE 2 FEET UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE MEASURED FROM FACE OF CURB AND FACE OF FINISHED STRUCTURE UNLESS NOTED OTHERWISE.
- BENCH MARK INFORMATION - HOWARD COUNTY GEODETIC CONTROL:
 24C2, ELEVATION: 354.775
 18G1, ELEVATION: 408.542
 LOCATION: (SEE LOCATION PLAN).

BROOKSIDE CENTER ROGERS AVENUE PARCEL C-1, PLAT NO. 13219 AND PARCELS 156 & 263 TAX MAP 17, GRID 24 HOWARD COUNTY, MARYLAND

UTILITY NOTES

- REFER TO THE MEP PLANS FOR THE CONTINUATION OF ALL UTILITIES INTO THE BUILDING.
- STANDARD CONCRETE THRUST BLOCKS SHALL BE INSTALLED AT EACH BEND OR TEE IN THE WATER AND FIRE SYSTEM PIPING NETWORK.
- EXTERIOR NATURAL GAS LINES ARE TO BE INSTALLED BY BALTIMORE GAS AND ELECTRIC INCLUDING THE METER. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE LINES WITH THE ONSITE UTILITY WORK INCLUDING ARRANGING THE SCHEDULE WITH BGE AND ALL SUBCONTRACTORS. CONTACT BGE AT (410) 859-9065 WELL IN ADVANCE OF ANTICIPATED CONSTRUCTION START.
- ELECTRIC WILL BE INSTALLED BY BALTIMORE GAS AND ELECTRIC WHICH INCLUDES THE PRIMARY CABLING AND SUPPLYING AND SETTING OF THE TRANSFORMER. THE CONTRACTOR SHALL SUPPLY AND INSTALL THE TRANSFORMER PAD AS PER BGE SPECIFICATIONS. THE CONTRACTOR MUST ALSO INSTALL THE CONDUITS WITH PULL WIRES FOR BGE CABLING. CONTRACTOR SHALL COORDINATE BGE WORK WITH ALL ONSITE CONSTRUCTION INCLUDING SCHEDULING OF THE INSTALLATION. CONTACT BGE AT (410) 859-9065 WELL IN ADVANCE OF ANTICIPATED CONSTRUCTION.
- ALL STORM DRAIN PIPES SHALL BE RCP UNLESS OTHERWISE NOTED ON THE PLAN.
- ALL SANITARY SEWER PIPE SHALL BE PVC SDR-35.
- ALL WATER MAINS SHALL BE DUCTILE IRON (TYTON) CLASS 52.
- WATER IS PUBLIC. METER TO BE PROVIDED OUTSIDE THE BUILDING AT THE PROPERTY LINE.
- SEWER IS PRIVATE. LINE CONNECTED TO THE COUNTY'S PUBLIC SEWER SYSTEM.
- ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING REGULATION SECTION 134.
- CONTRACTOR SHALL COORDINATE CABLE SERVICE AND CONDUIT REQUIREMENTS WITH COMCAST CABLEVISION. CONTACT COMCAST AT (410) 461-1362 EXT. 27 WELL IN ADVANCE OF ANTICIPATED CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE TELEPHONE SERVICE WITH BELL ATLANTIC. COORDINATE ALL CONDUIT REQUIREMENTS PRIOR TO CONSTRUCTION. CONTACT BELL ATLANTIC AT (410) 954-6281 WELL IN ADVANCE OF ANTICIPATED CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE ALL UTILITY LINE ROUTINGS WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO CONSTRUCTION. CONTACT THE ENGINEER IMMEDIATELY SHOULD A CONFLICT ARISE. ALLOW A MINIMUM OF 3 DAYS FOR ANY NECESSARY REDESIGN.

SITE ANALYSIS

- AREA OF PLAN SUBMISSION: 218523 S.F. (5.0166 ACRES)

PARCEL C-1	4.037 ACRES
PARCEL 263	0.511 ACRES
PARCEL 156	0.4686 ACRES
TOTAL	5.0166 ACRES
- FLOOD PLAIN AREA: 91,520 S.F. (2.101 ACRES)
- LIMIT OF DISTURBED AREA: 102,801 S.F. (2.36 ACRES)
- PRESENT ZONING: B-2
- EXISTING USE: VACANT LOT
- PROPOSED USE: CAR DEALERSHIP
- BUILDING DATA

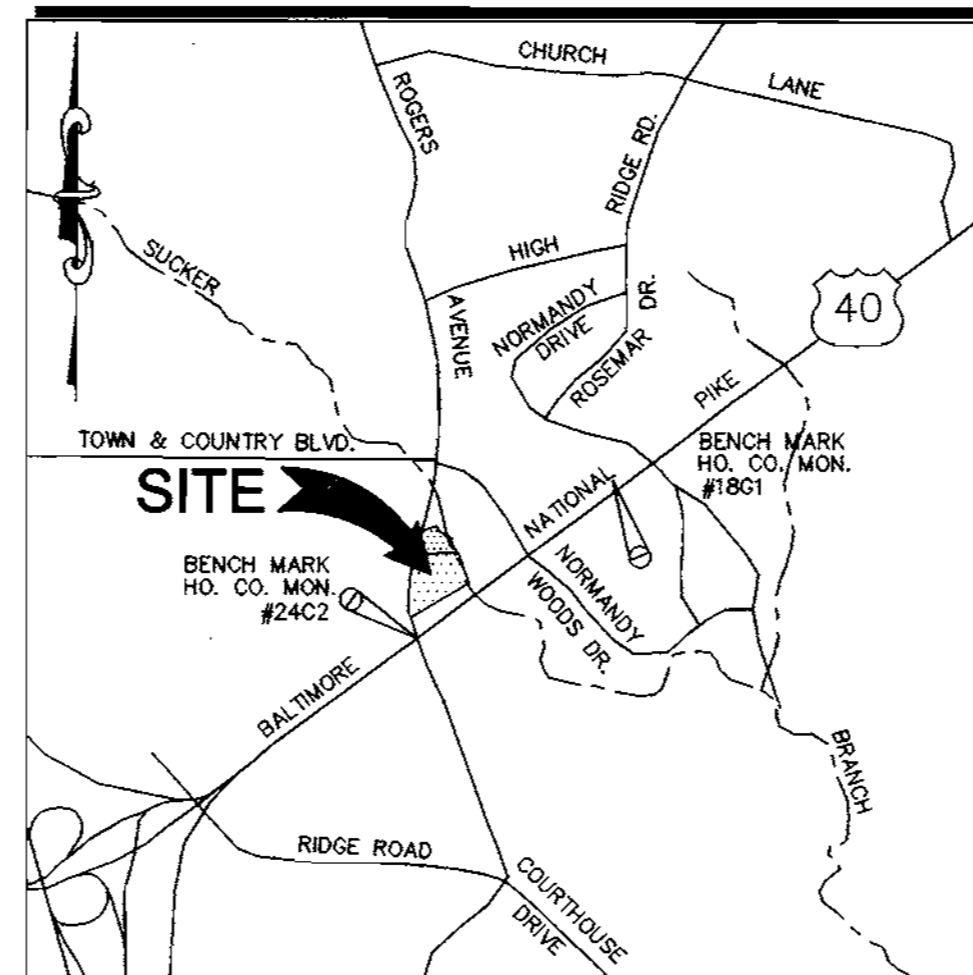
A. GROSS SQUARE FOOTAGES:	4,000 CSF
B. NUMBER OF STORES:	1
C. TOTAL BUILDING HEIGHT:	PROVIDED = 18 FT.
	MAX. BLDG. HEIGHT ALLOWED = 40 FT.
- PARKING DATA

A. TOTAL SPACES REQUIRED: 2 SPACES PER 1000 SF OF BUILDING AREA EXCLUDING SERVICE BAYS, PLUS 1 SPACE PER 1000 SF OF OUTDOOR DISPLAY AREA PLUS 3 SPACES PER SERVICE AREA.	6 SPACES
B. CALCULATION METHOD:	
BUILDING AREA, EXCLUDING SERVICE BAYS (2,550 SF)	6 SPACES
SERVICE BAY (4 BAYS)	12 SPACES
OUTDOOR DISPLAY AREA (91 X 162 S.F. = 14,742 SF)	15 SPACES
TOTAL	33 SPACES
C. NUMBER OF SPACES PROVIDED:	
1. 9' x 18' SPACES REQUIRED	31
2. HANDICAP ACCESSIBLE	2
3. 9' x 18' DISPLAY SPACES	91
4. TOTAL SPACES	124
- IMPERVIOUS COVERAGE DATA

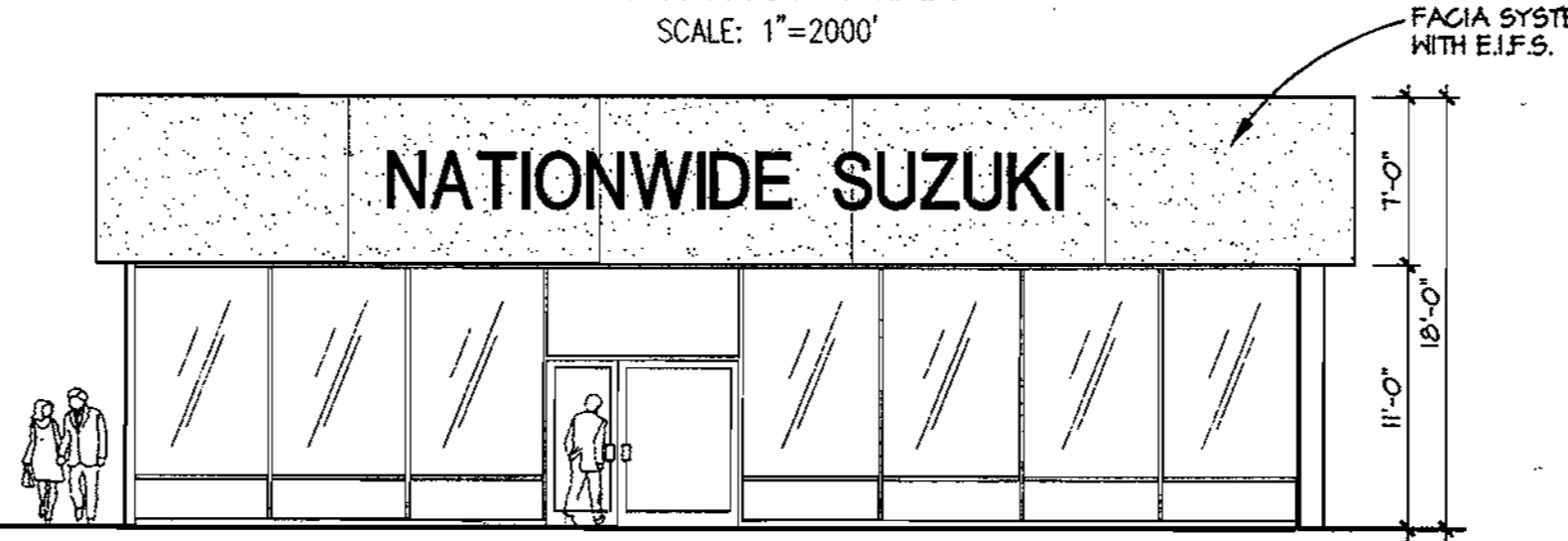
A. BUILDING:	4,000 SF (0.09 AC)
B. DRIVE AISLES:	30,484 SF (0.70 AC)
C. PARKING SPACES:	20,196SF (0.46 AC)
D. SIDEWALKS:	927 SF (0.02AC)
E. TOTAL COVERAGE:	55,607 SF (1.28 AC)
F. PERCENT OF PACEL (C-1)	31.71%
G. PERCENT OF SUBMISSION	25.56%
- B-2 ZONING SETBACK:

A. STRUCTURE AND USE FROM PUBLIC R/W	30 FT.
B. PARKING FROM PUBLIC R/W	10 FT.
C. STRUCTURE AND USE FROM RES. DISTRICTS = OTHER =	30 FT. NONE

SITE DEVELOPMENT PLAN



LOCATION PLAN
SCALE: 1"=2000'



BUILDING ELEVATION
SCALE: 1/8"=1'-0"
80 FT. x 50 FT. FOOTPRINT

OWNER:

NATIONWIDE MOTOR SALES

2085 YORK ROAD
TIMONIUM, MARYLAND 21093
(410) 252-8000

PREPARED BY:

The **RBA** Group
ENGINEERS • ARCHITECTS • PLANNERS
7164 COLUMBIA GATEWAY DRIVE
SUITE 205
COLUMBIA, MARYLAND 21046
(410) 312-0966

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
BROOKSIDE, PARCEL C-1 (PLAT NO. 13219)	3191 ROGERS AVE.

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL #			
BROOKSIDE CENTER		PARCEL C-1, 156 & 263			
PLAT NO.	BLOCK NO.	ZONING	TAX MAP	ELECTION DIST.	CENSUS TRACT
19192 + 13219	24	B-2	17	2nd	6026
WATER CODE	SEWER CODE				
F01				1452900	

LEGEND

LEGEND	EXISTING	PROPOSED	ABBREVIATIONS
CENTERLINE (WITH +25' TICS)	SEE SHEET C-2		R/W = RIGHT-OF-WAY
PROPERTY LINE			PL = PROPERTY LINE
CURB			INTX = INTERSECTION
GRADE CONTOUR			AHD = AHEAD
SPOT ELEVATION			BK = BACK
CURVE NUMBER			PC = POINT OF CURVATURE (HORIZONTAL)
FLARED END SECTION			PVC = POINT OF CURVE (VERTICAL)
HEADWALL			PT = POINT OF TANGENCY (HORIZONTAL)
STORM SEWER			PVT = POINT OF TANGENCY (VERTICAL)
YARD INLET			PI = POINT OF INTERSECTION
STANDARD INLET			DELTA = INTERNAL ANGLE
CURB INLET			R = RADIUS OF CURVE
STORM WATER MANHOLE			ARC = LENGTH OF CURVE
GENERAL CLEAN OUT			TAN = TANGENT OF CURVE LENGTH
SANITARY SEWER LINE AND MANHOLE			CHD LEN = LENGTH OF CHORD
DOMESTIC WATER LINE			CHD BRG = CHORD BEARING
FIRE LINE			CL = CENTERLINE
WATER METER			S.S.E. = SANITARY SEWER EASEMENT
TELEPHONE LINE			F.F.E. = LOWEST FINISH FLOOR ELEVATION
CABLE TV			MH = MANHOLE (STORM)
FIRE HYDRANT			SMH = MANHOLE (SEWER)
WATER LINE TEE			CI = COMBINATION INLET
GATE VALVE			YI = YARD INLET
PLUG (WITH 2" BLOW OFF VALVE)			HW = HEAD WALL
DOUBLE DETECTOR CHECK WITH BACKFLOW PREVENTOR			FES = FLARED END SECTION
IRRIGATION CUT OFF VALVE			RCP = REINFORCED CONCRETE PIPE
POWER POLE			CMP = CORRUGATED METAL PIPE
GAS METER			PVC = POLYVINYL CHLORIDE PIPE OR POINT OF VERTICAL CURVE
GAS LINE			DIP = DUCTILE IRON PIPE
CHAIN LINK FENCE			C&G = CURB AND GUTTER
FILTER FENCE			PROP = PROPOSED
WOOD FENCE			TC = TOP OF CURB
TRANSFORMER			BC = BOTTOM OF CURB
RETAINING WALLS			TW = TOP OF WALL
STRUCTURE NUMBER REFER TO PROFILE SHEETS (INLETS AND MANHOLES)			SW = BOTTOM OF WALL
LIMITS OF DISTURBANCE			SY = SQUARE YARD
PROPOSED TREE (TYPICAL)			SF = SQUARE FEET
SINGLE HEAD LIGHT			CF = CUBIC FEET
DOUBLE HEAD LIGHT			CY = CUBIC YARD
YARD LIGHT			CFS = CUBIC FEET PER SECOND
COORDINATE NUMBER			V = VELOCITY
DETAIL CALL-OUT			Smin = MINIMUM FRICTION SLOPE
TREE PROTECTION DEVICE (FENCE)			N = NORTH
AREA OF AFFORESTATION			GSF = GROSS SQUARE FEET
NONTIDAL WETLANDS			ASPH = ASPHALT
			D.O.T. = DEPARTMENT OF TRANSPORTATION
			C.O. = GENERAL CLEAN OUT
			STD = STANDARD
			LP = LOW POINT
			HP = HIGH POINT
			EOP = EDGE OF PAVEMENT
			DS = DOWNSPOUT

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APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/25/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] 4/29/00
 CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature] 4/28/00
 CHECKER

OWNER:
BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
 2085 YORK ROAD
 TIMONIUM, MD 21093
 (410) 252-8000

DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
 PARCEL C-1 (PLAT NO. 13219)
 AND PARCELS 156 & 263
 LIBER 3759, FOLIO 567
 2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
 HOWARD COUNTY, MARYLAND

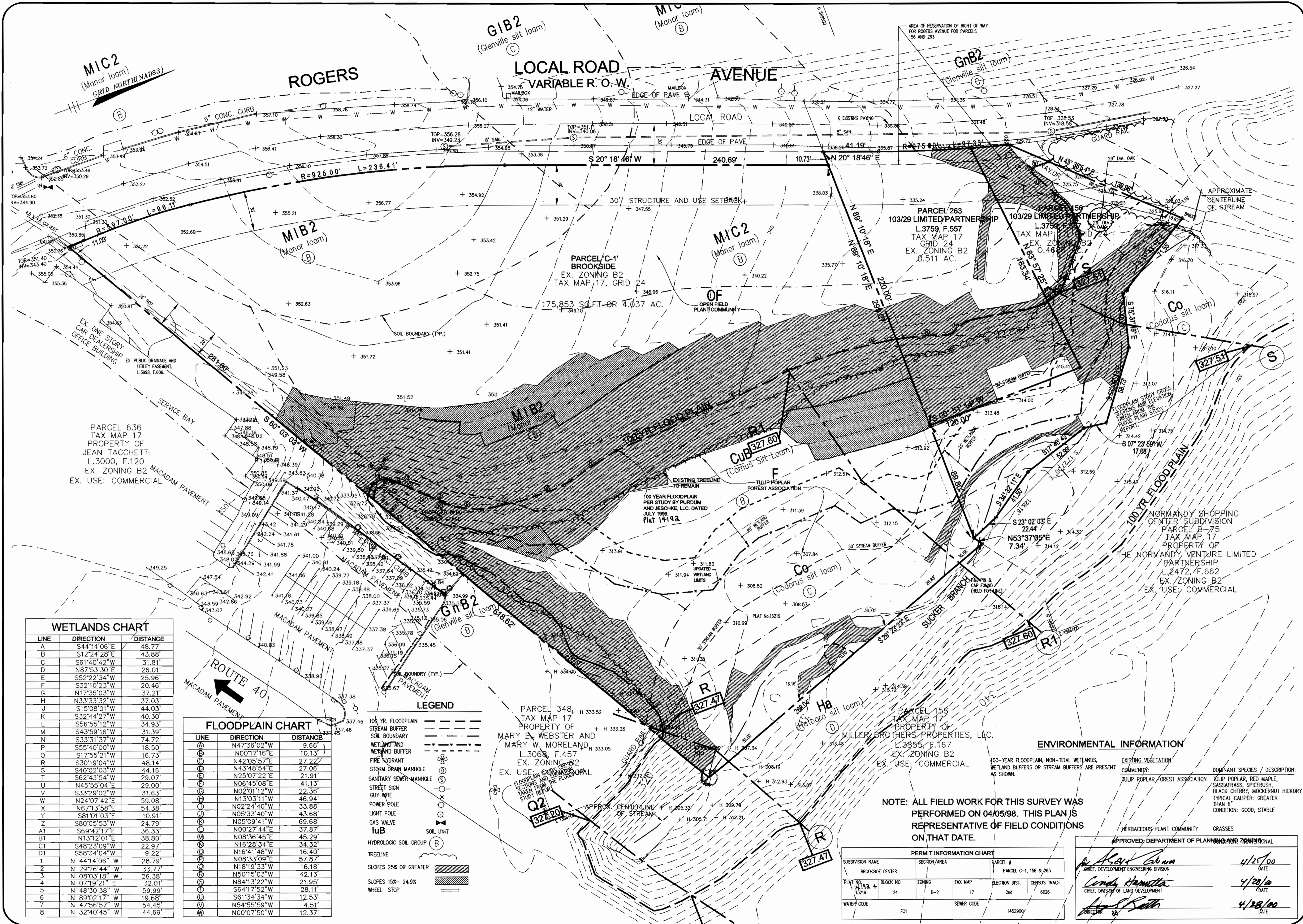
The **RBA** Group
 ENGINEERS • ARCHITECTS • PLANNERS
 Suite 205, Columbia, Maryland 21046
 Phone (410) 312-0966, Fax 312-0987

REVISIONS
 COUNTY COMMENTS 03/08/00

4/19/00

DATE: 11/15/99
 JOB NUMBER: M2618.00
 FILE NUMBER: 2618COV
 PLOTTED: 03/09/00
 DRAWN BY: RJ

TITLE SHEET
 SHEET C-1
 1 of 20

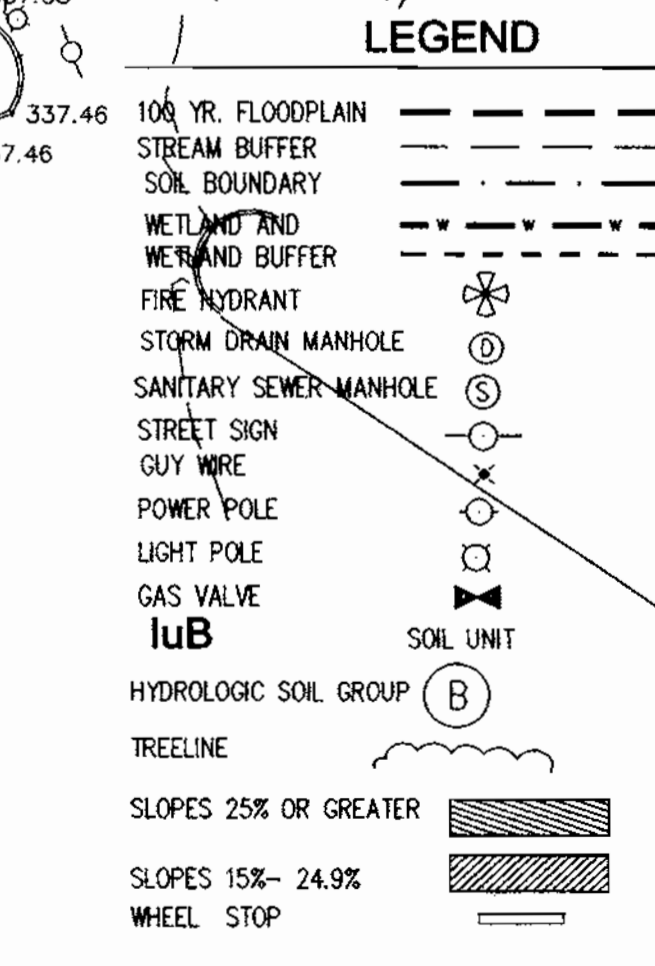


WETLANDS CHART

LINE	DIRECTION	DISTANCE
A	S44°14'06"E	48.77'
B	S12°24'28"E	43.88'
C	S61°40'42"W	31.81'
D	N87°53'30"E	26.01'
E	S52°22'34"W	25.96'
F	S32°10'23"W	20.46'
G	N17°35'03"W	37.21'
H	N33°33'32"W	37.03'
J	S15°08'01"W	44.03'
K	S32°44'27"W	40.30'
L	S56°55'12"W	34.93'
M	S43°59'16"W	31.39'
N	S33°31'37"W	74.72'
P	S65°40'00"W	18.50'
Q	S17°56'21"W	16.73'
R	S30°19'04"W	48.14'
S	S40°02'03"W	44.16'
T	S62°43'54"W	29.07'
U	N45°55'04"E	29.00'
V	S33°29'02"W	31.63'
W	N24°07'42"E	59.08'
X	N67°13'58"E	54.38'
Y	S81°01'03"E	10.91'
Z	S80°05'53"W	24.79'
A1	S69°42'17"E	36.33'
B1	N13°12'01"E	38.80'
C1	S48°23'09"W	22.97'
D1	S58°34'04"W	9.22'
1	N 44°14'06" W	28.79'
2	N 29°26'44" W	33.77'
3	N 09°03'18" W	26.38'
4	N 07°19'21" E	32.01'
5	N 48°30'38" W	59.99'
6	N 89°02'17" W	19.68'
7	N 47°56'57" W	54.45'
8	N 32°40'45" W	44.69'

FLOODPLAIN CHART

LINE	DIRECTION	DISTANCE
(A)	N47°36'02"W	9.66'
(B)	N00°17'16"E	10.13'
(C)	N42°05'57"E	27.22'
(D)	N43°48'54"E	27.06'
(E)	N25°07'22"E	21.91'
(F)	N06°45'08"E	41.13'
(G)	N02°01'12"W	22.36'
(H)	N13°03'11"W	46.94'
(I)	N02°24'40"W	33.88'
(J)	N05°33'40"W	43.68'
(K)	N05°09'41"W	69.68'
(L)	N00°27'44"E	37.87'
(M)	N08°36'45"E	45.29'
(N)	N16°28'34"E	34.32'
(O)	N16°41'48"W	16.40'
(P)	N08°33'09"E	57.87'
(Q)	N18°19'33"W	16.18'
(R)	N50°15'03"W	42.13'
(S)	N84°13'22"W	21.95'
(T)	S64°17'52"W	28.11'
(U)	S61°34'34"W	12.53'
(V)	N54°55'59"W	4.51'
(W)	N00°07'50"W	12.37'



PARCEL 348, TAX MAP 17, PROPERTY OF MARY W. WEBSTER AND MARY W. MORELAND, L.3068, F.457, EX. ZONING B2, EX. USE: COMMERCIAL

NOTE: ALL FIELD WORK FOR THIS SURVEY WAS PERFORMED ON 04/05/98. THIS PLAN IS REPRESENTATIVE OF FIELD CONDITIONS ON THAT DATE.

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL #
BROOKSIDE CENTER		156 & 263
PLAT NO. 1419A	BLOCK NO. 24	ZONING B-2, TAX MAP 17, ELECTION DIST. 2nd, GEN. DIST. 8026
WATER CODE F01	SEWER CODE 1452900	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

John A. Gray Chief, Development Engineering Division 4/25/00 DATE

Condy Hamilton Chief, Division of Land Development 4/28/00 DATE

April S. Smith 4/28/00 DATE

REVISIONS
COUNTY COMMENTS 03/08/00

OWNER: BROOKSIDE LLLP, C/O NATIONWIDE MOTOR SALES, 2085 YORK ROAD, TIMONIUM, MD 21093, (410) 252-8000

DEVELOPER: BROOKSIDE CENTER CAR SALES, PARCEL C-1 (PLAT NO. 13219) AND PARCELS 156 & 263, LIBER 3759, FOLIO 567, 2ND ELECTION DISTRICT, TAX MAP 17, GRID 24, HOWARD COUNTY, MARYLAND

THE RBA GROUP
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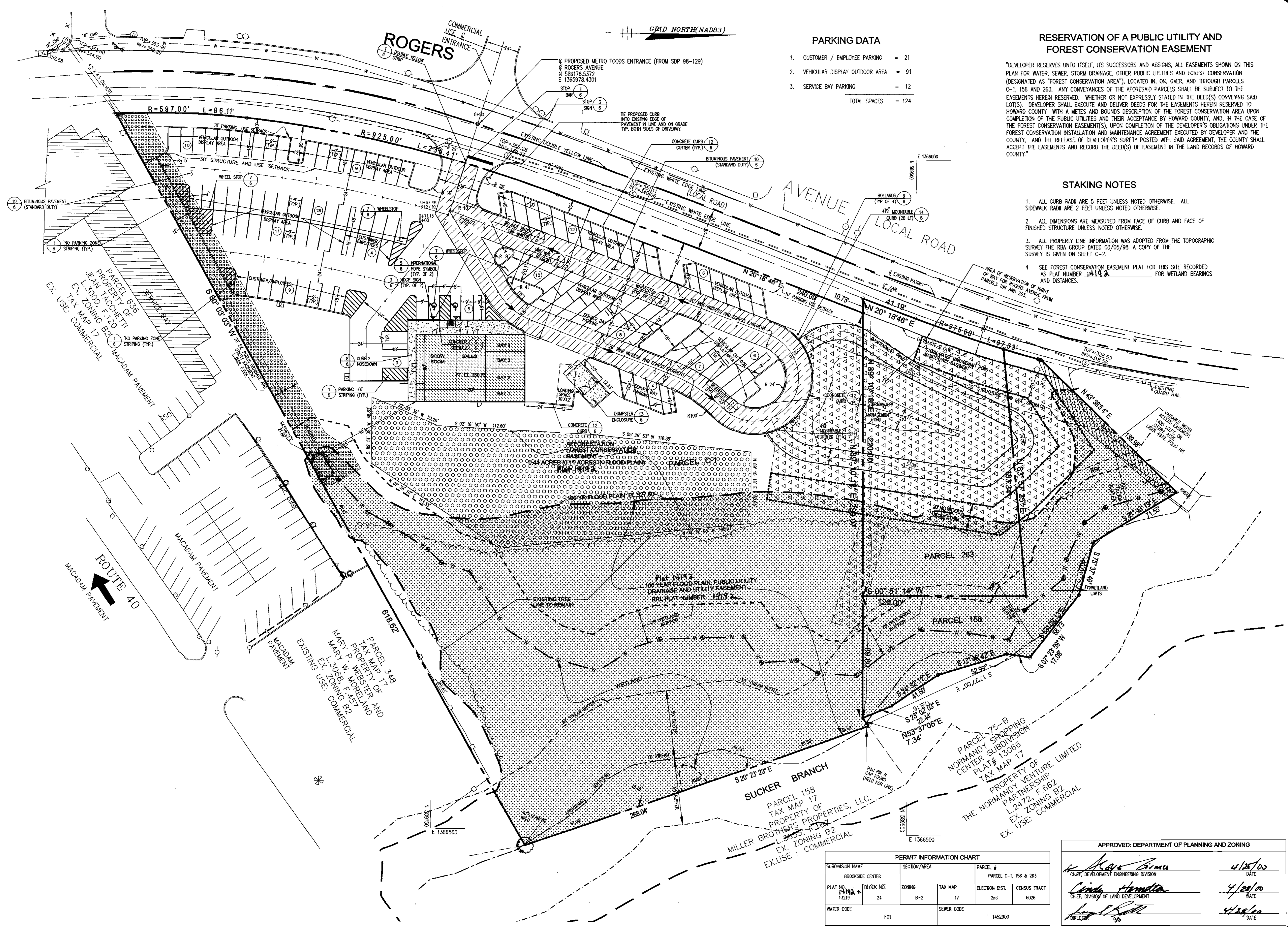
STATE OF MARYLAND
DEPARTMENT OF PLANNING AND ZONING

DATE: 11/15/99
JOB NUMBER: M2618
FILE NUMBER: 2618NDY
PLOTTED: 03/09/00
DRAWN BY: RJ

EXISTING CONDITIONS PLAN

SHEET C-2
2 of 20

SDP-00-60 2618 D 05



PARKING DATA

1. CUSTOMER / EMPLOYEE PARKING	= 21
2. VEHICULAR DISPLAY OUTDOOR AREA	= 91
3. SERVICE BAY PARKING	= 12
TOTAL SPACES	= 124

RESERVATION OF A PUBLIC UTILITY AND FOREST CONSERVATION EASEMENT

"DEVELOPER RESERVES UNTO ITSELF, ITS SUCCESSORS AND ASSIGNS, ALL EASEMENTS SHOWN ON THIS PLAN FOR WATER, SEWER, STORM DRAINAGE, OTHER PUBLIC UTILITIES AND FOREST CONSERVATION (DESIGNATED AS "FOREST CONSERVATION AREA"), LOCATED IN, ON, OVER, AND THROUGH PARCELS C-1, 156 AND 263. ANY CONVEYANCES OF THE AFORESAID PARCELS SHALL BE SUBJECT TO THE EASEMENTS HEREIN RESERVED. WHETHER OR NOT EXPRESSLY STATED IN THE DEED(S) CONVEYING SAID LOT(S), DEVELOPER SHALL EXECUTE AND DELIVER DEEDS FOR THE EASEMENTS HERIN RESERVED TO HOWARD COUNTY WITH A METES AND BOUNDS DESCRIPTION OF THE FOREST CONSERVATION AREA UPON COMPLETION OF THE PUBLIC UTILITIES AND THEIR ACCEPTANCE BY HOWARD COUNTY, AND, IN THE CASE OF THE FOREST CONSERVATION EASEMENT(S), UPON COMPLETION OF THE DEVELOPER'S OBLIGATIONS UNDER THE FOREST CONSERVATION INSTALLATION AND MAINTENANCE AGREEMENT EXECUTED BY DEVELOPER AND THE COUNTY, AND THE RELEASE OF DEVELOPER'S SURETY POSTED WITH SAID AGREEMENT, THE COUNTY SHALL ACCEPT THE EASEMENTS AND RECORD THE DEED(S) OF EASEMENT IN THE LAND RECORDS OF HOWARD COUNTY."

- STAKING NOTES**
1. ALL CURB RADII ARE 5 FEET UNLESS NOTED OTHERWISE. ALL SIDEWALK RADII ARE 2 FEET UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS ARE MEASURED FROM FACE OF CURB AND FACE OF FINISHED STRUCTURE UNLESS NOTED OTHERWISE.
 3. ALL PROPERTY LINE INFORMATION WAS ADOPTED FROM THE TOPOGRAPHIC SURVEY THE RBA GROUP DATED 03/05/98. A COPY OF THE SURVEY IS GIVEN ON SHEET C-2.
 4. SEE FOREST CONSERVATION EASEMENT PLAT FOR THIS SITE RECORDED AS PLAT NUMBER **14192** FOR WETLAND BEARINGS AND DISTANCES.

SITE DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
 PARCEL C-1 (PLAT NO. 13219)
 AND PARCELS 156 & 263
 LIBER 3759, FOLIO 557
 2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
 HOWARD COUNTY, MARYLAND

OWNER:
BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
 2085 YORK ROAD
 TIMONIUM, MD 21093
 (410) 252-8000

The RBA Group
 ARCHITECTS • PLANNERS
 ENGINEERS • ARCHITECTS • PLANNERS
 7164 Columbia Gateway Drive
 Suite 200, Columbia, Maryland 21046
 Phone (410) 312-9999, Fax 312-9897

REVISIONS

COUNTY COMMENTS	03/08/00
-----------------	----------

STATE OF MARYLAND
 DEPARTMENT OF PLANNING AND ZONING
 DIVISION OF LAND DEVELOPMENT

GRAPHIC SCALE 1"=30'

DATE: 11/15/99
 JOB NUMBER: M2618
 FILE NUMBER: 2618BASE
 PLOTTED: 03/09/00
 DRAWN BY: RJ

SITE PLAN

SHEET **C-3**
 3 of 20

DATE: 11/15/99
 JOB NUMBER: M2618
 FILE NUMBER: 2618BASE
 PLOTTED: 03/09/00
 DRAWN BY: RJ

PERMIT INFORMATION CHART

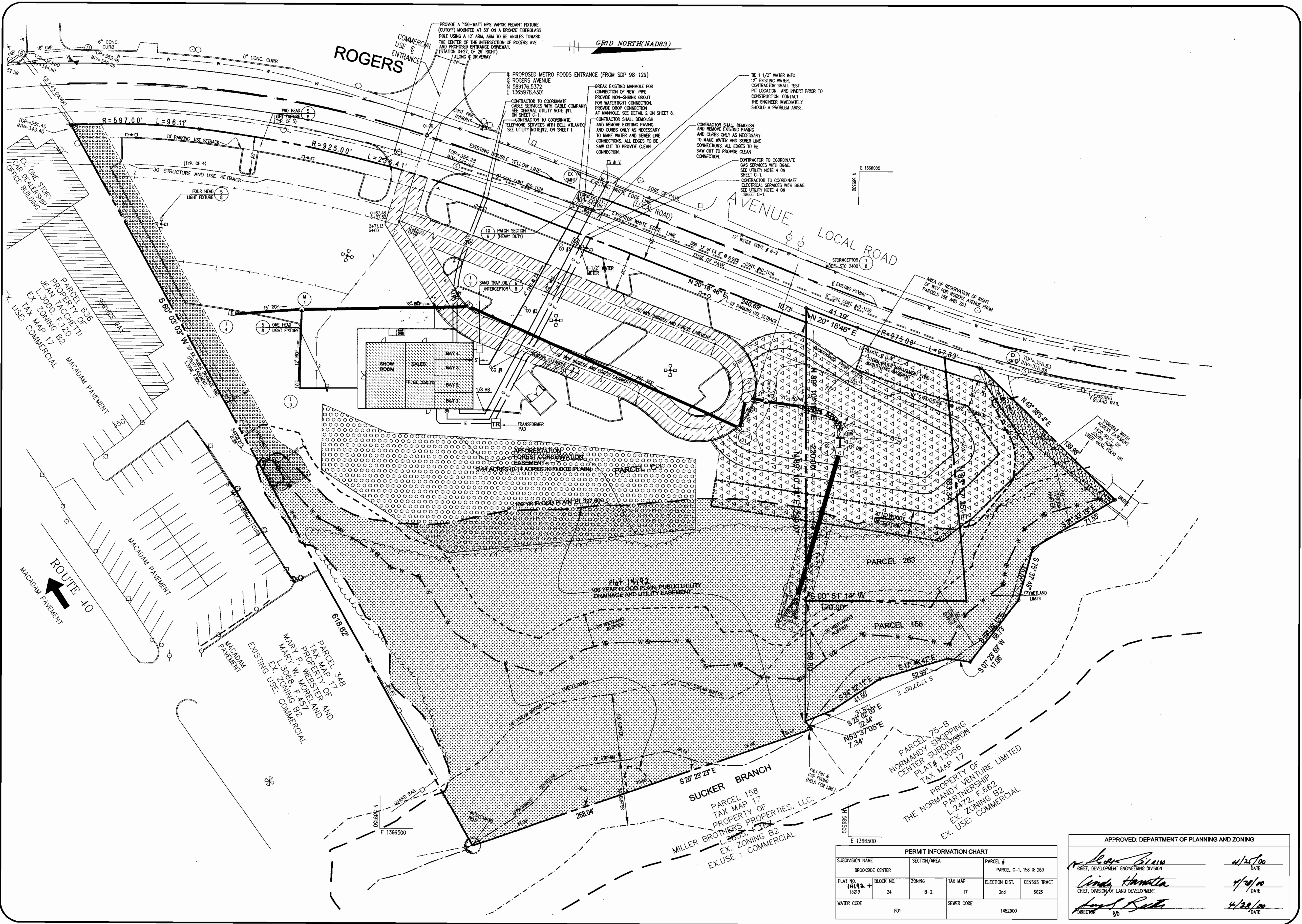
SUBDIVISION NAME	BROOKSIDE CENTER	SECTION/AREA	PARCEL #	PARCEL C-1, 156 & 263							
PLAT NO.	14192	BLOCK NO.	24	ZONING	B-2	TAX MAP	17	ELECTION DIST.	2nd	CENSUS TRACT	6026
WATER CODE	F01	SEWER CODE	1452900								

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Michael A. Gorman 4/28/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Hamblin 4/28/00
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Joseph L. Roth 4/28/00
 DIRECTOR DATE



GRID NORTH (NAD83)

ROGERS AVENUE

AVENUE LOCAL ROAD

SUCKER BRANCH

PARCEL 75-B
NORMANDY SHOPPING
CENTER SUBDIVISION
PLAT # 13066
TAX MAP 17
PROPERTY OF
THE NORMANDY VENTURE LIMITED
PARTNERSHIP
L.2472, F.662
EX. USE: COMMERCIAL

PARCEL 158
TAX MAP 17
PROPERTY OF
MILLER BROTHERS PROPERTIES, LLC.
L.3655, F.178
EX. USE: COMMERCIAL

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	PARCEL #			
BROOKSIDE CENTER		PARCEL C-1, 156 & 263			
PLAT NO. 14192 +	BLOCK NO. 24	ZONING B-2	TAX MAP 17	ELECTION DIST. 2nd	CENSUS TRACT 6026
WATER CODE	F01	SEWER CODE	1452900		

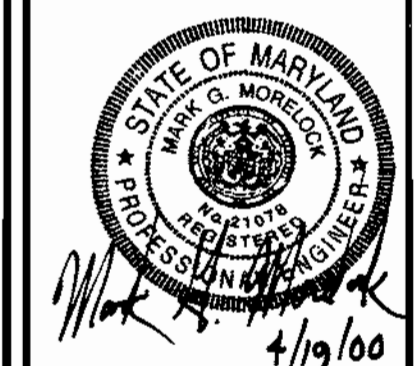
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<i>John Brown</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	4/25/00 DATE
<i>Conrad Hamilton</i> CHIEF, DIVISION OF LAND DEVELOPMENT	4/25/00 DATE
<i>Joseph S. Butler</i> DIRECTOR	4/28/00 DATE

SITE DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 156 & 263
LIBER 3759, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
2085 YORK ROAD
TIMONIUM, MD 21083
(410) 252-8000

The RBA Group
ENGINEERS • ARCHITECTS • PLANNERS
1764 Columbia Gateway Drive
Suite 206, Columbia, Maryland 21046
Phone (410) 312-0986, Fax 312-0987

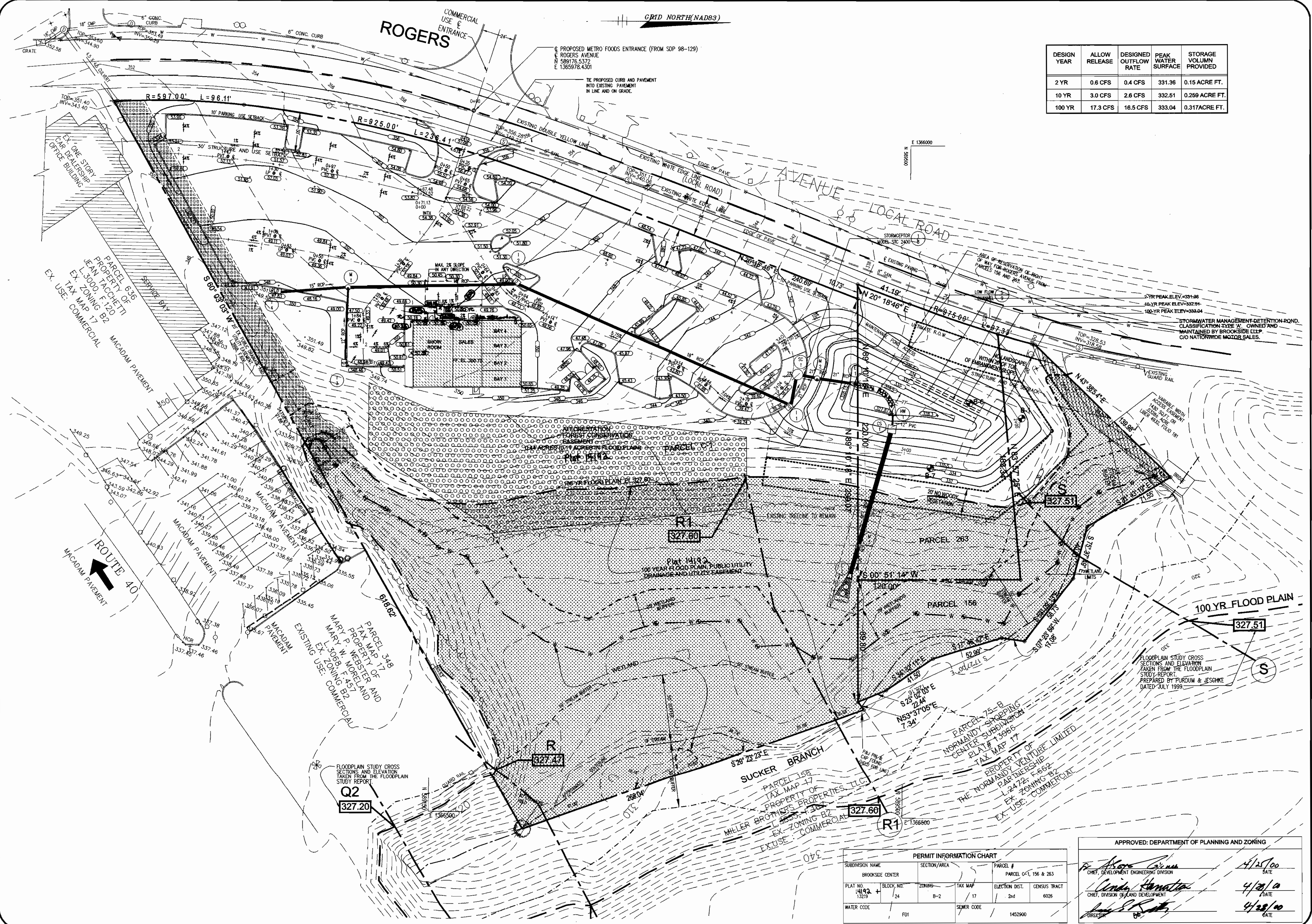
REVISIONS
COUNTY COMMENTS 03/08/00



GRAPHIC SCALE 1"=30'

DATE: 11/15/99
JOB NUMBER: M2618
FILE NUMBER: 2618BASE
PLOTTED: 03/09/00
DRAWN BY: RJ

UTILITY PLAN
SHEET C-4
4 of 20



DESIGN YEAR	ALLOW RELEASE	DESIGNED OUTFLOW RATE	PEAK WATER SURFACE	STORAGE VOLUME PROVIDED
2 YR	0.6 CFS	0.4 CFS	331.36	0.15 ACRE FT.
10 YR	3.0 CFS	2.6 CFS	332.51	0.259 ACRE FT.
100 YR	17.3 CFS	16.5 CFS	333.04	0.317 ACRE FT.

SITE DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
 PARCEL C-1 (PLAT NO. 13219)
 AND PARCELS 156 & 263
 LIBER 3759, FOLIO 557
 2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
 HOWARD COUNTY, MARYLAND

OWNER:
BROOKSIDE LLP
C/O NATIONWIDE MOTOR SALES
 2085 YORK ROAD
 TIMONIUM, MD 21083
 (410) 252-8000

The RBA Group
 ENGINEERS • ARCHITECTS • PLANNERS
 Suite 764 Columbia Gateway Drive
 Phone (410) 312-0966 Fax 312-0897

REVISIONS	COUNTY COMMENTS
03/08/00	



DATE: 11/15/99
 JOB NUMBER: M2165
 FILE NUMBER: 2618BASE
 PLOTTED: 03/09/00
 DRAWN BY: Rd

GRAPHIC SCALE 1"=30'

DATE: 4/25/00
 DATE: 4/25/00
 DATE: 4/25/00

DATE: 4/25/00

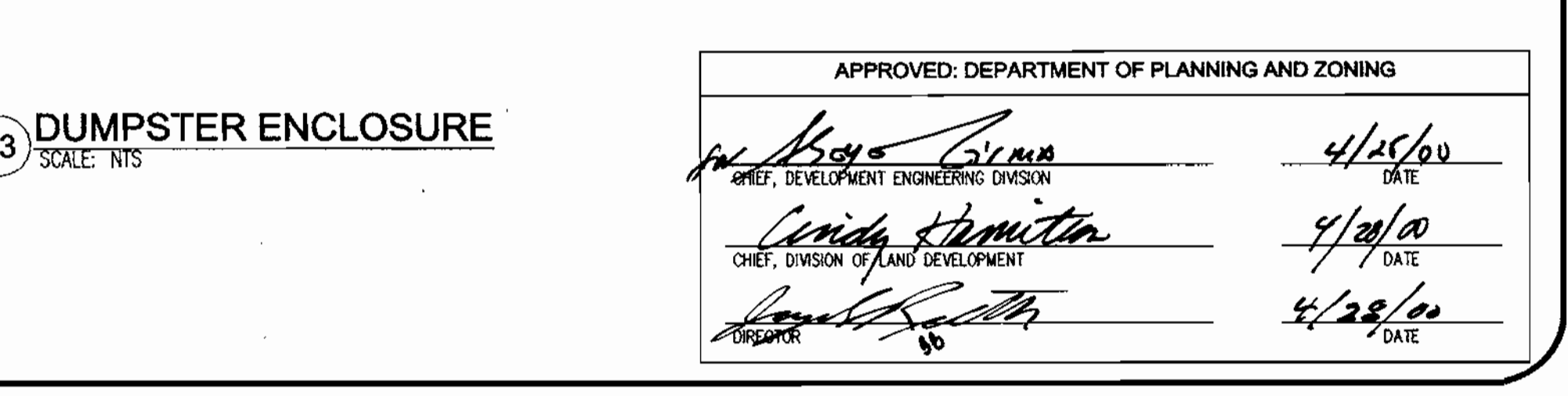
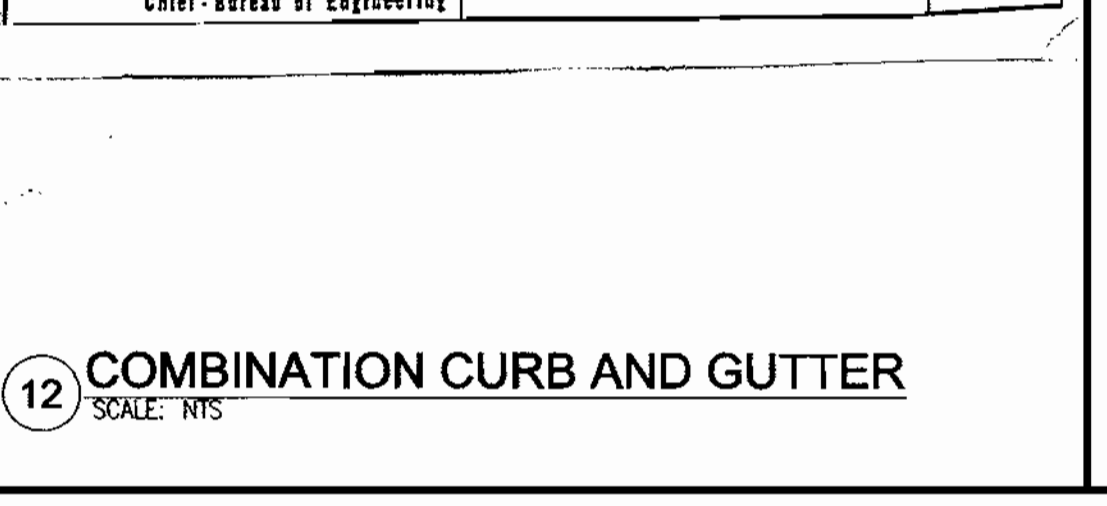
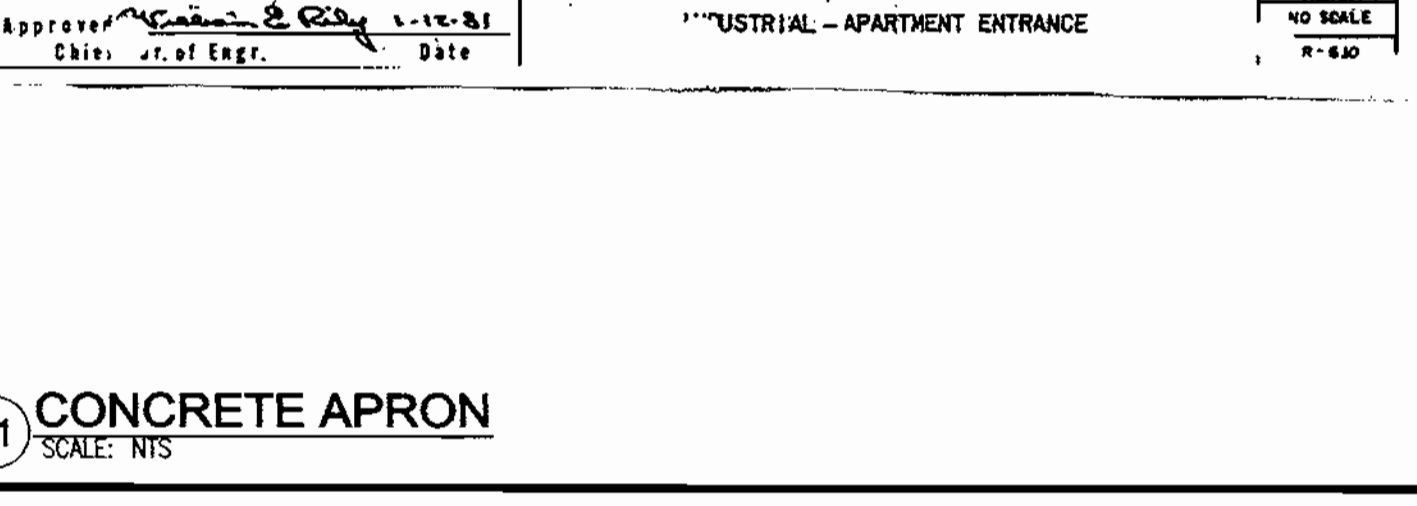
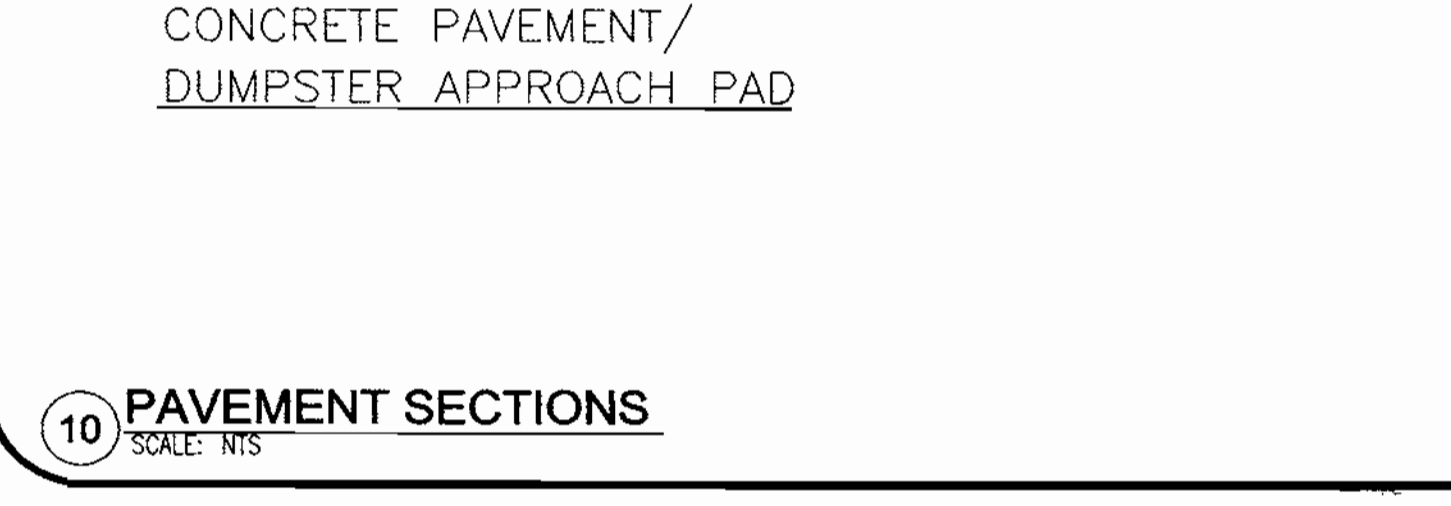
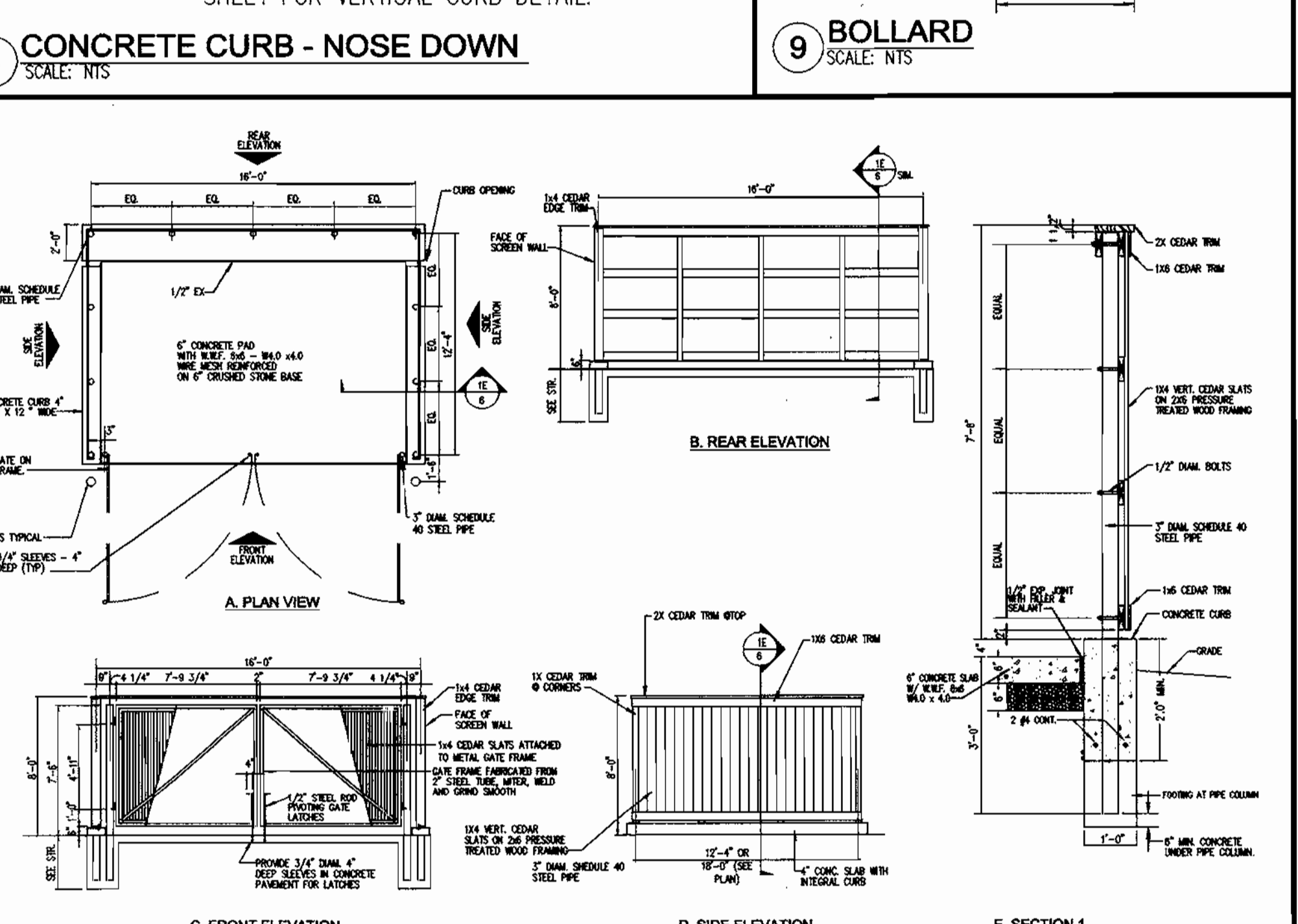
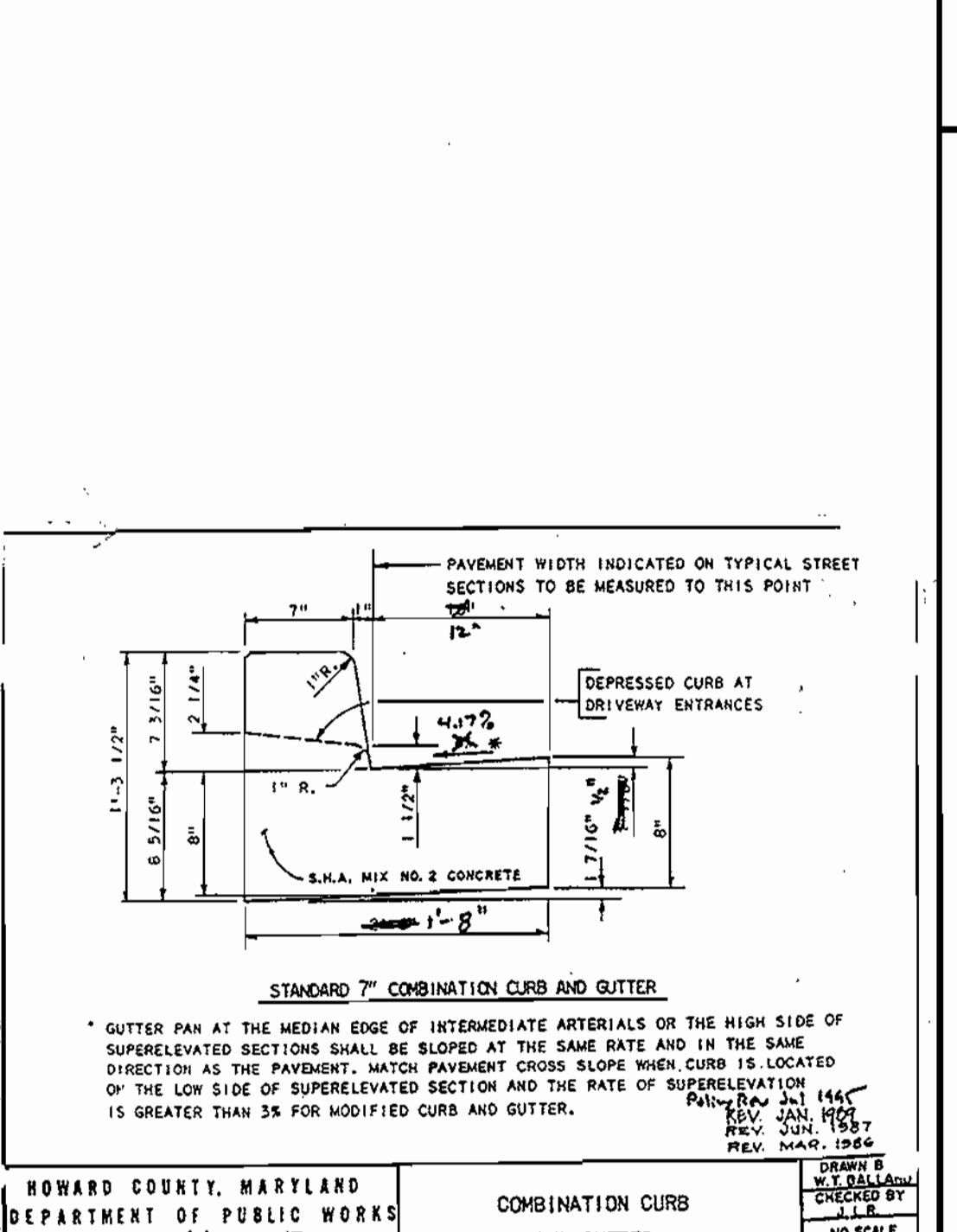
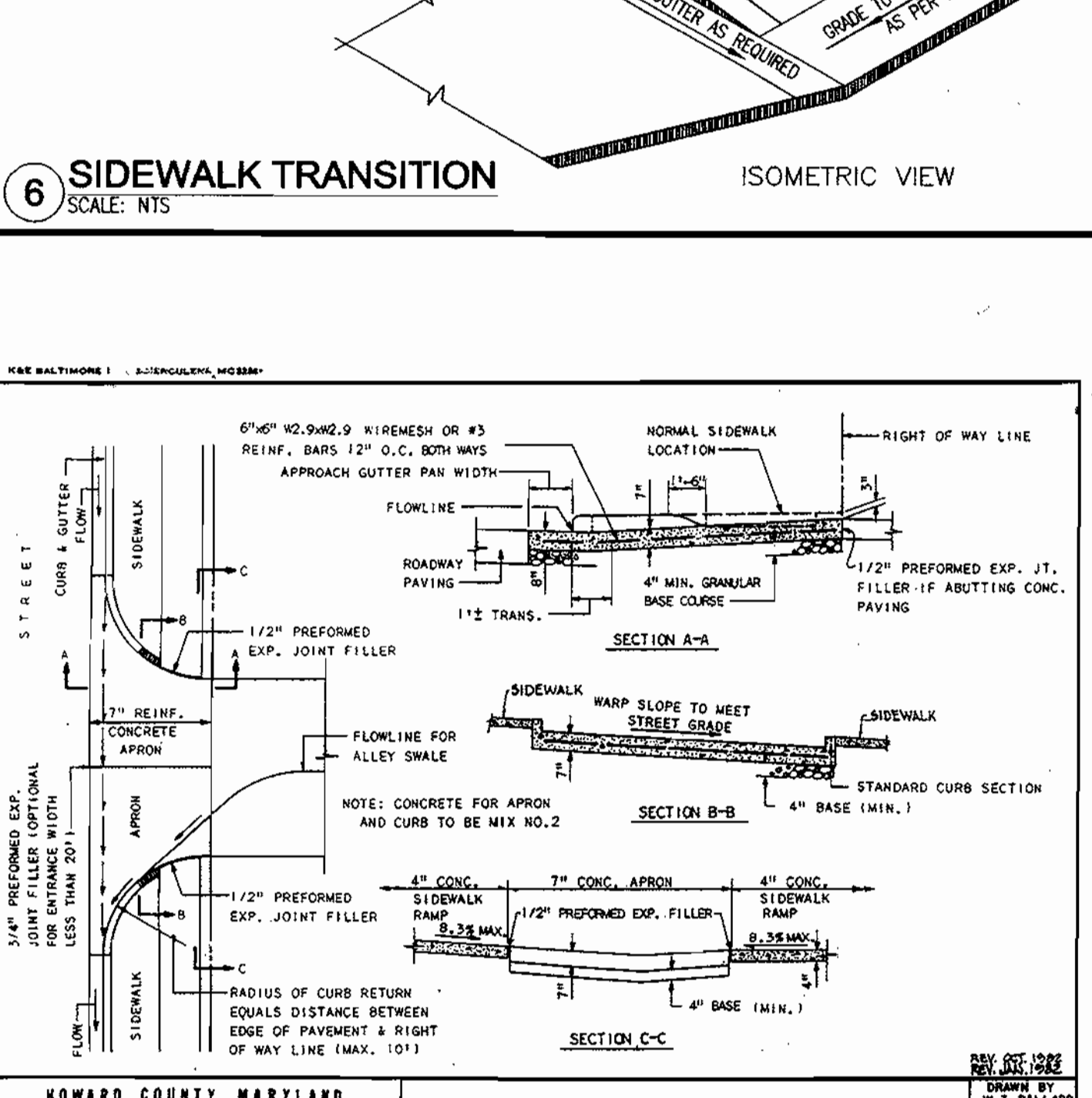
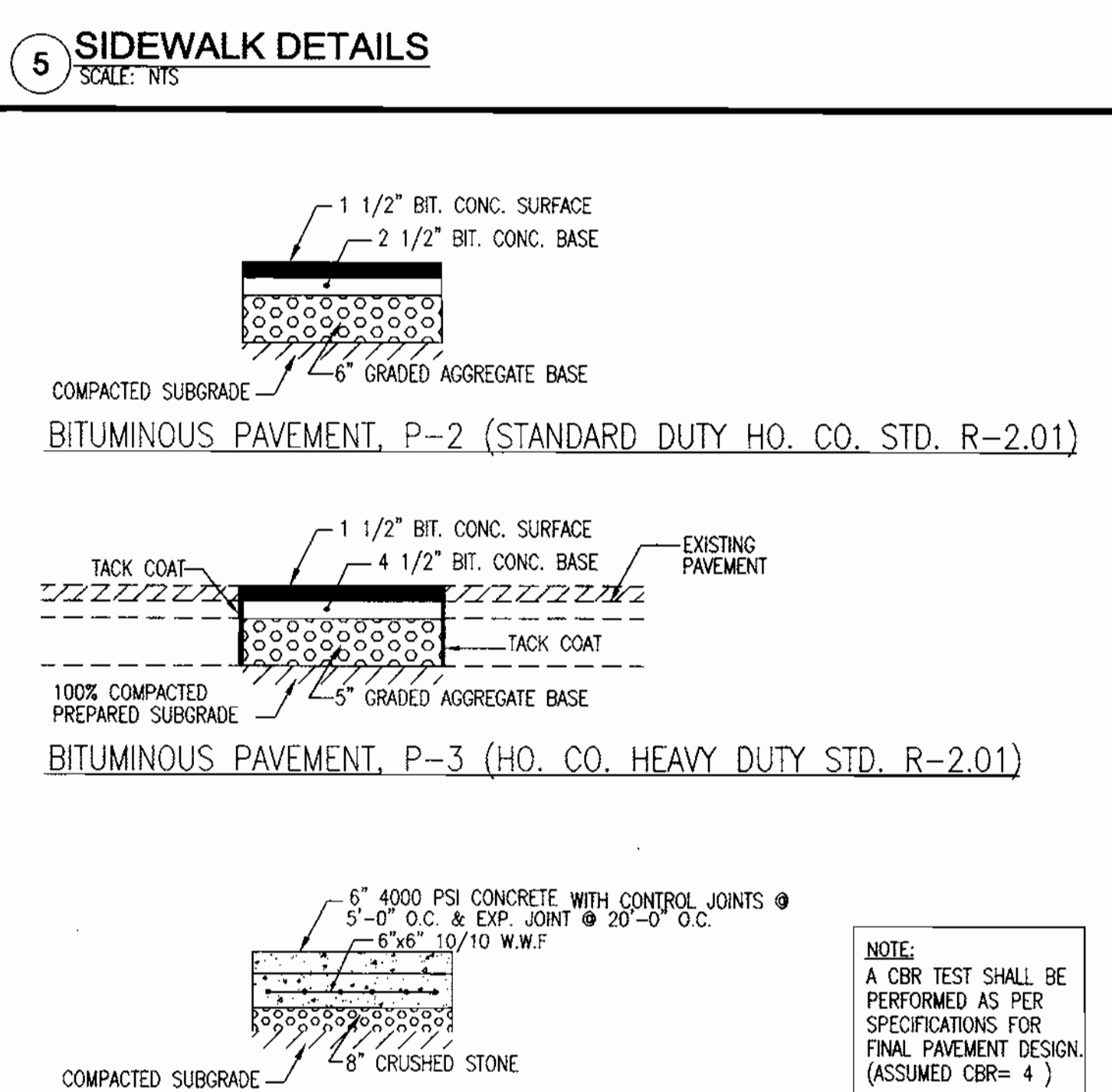
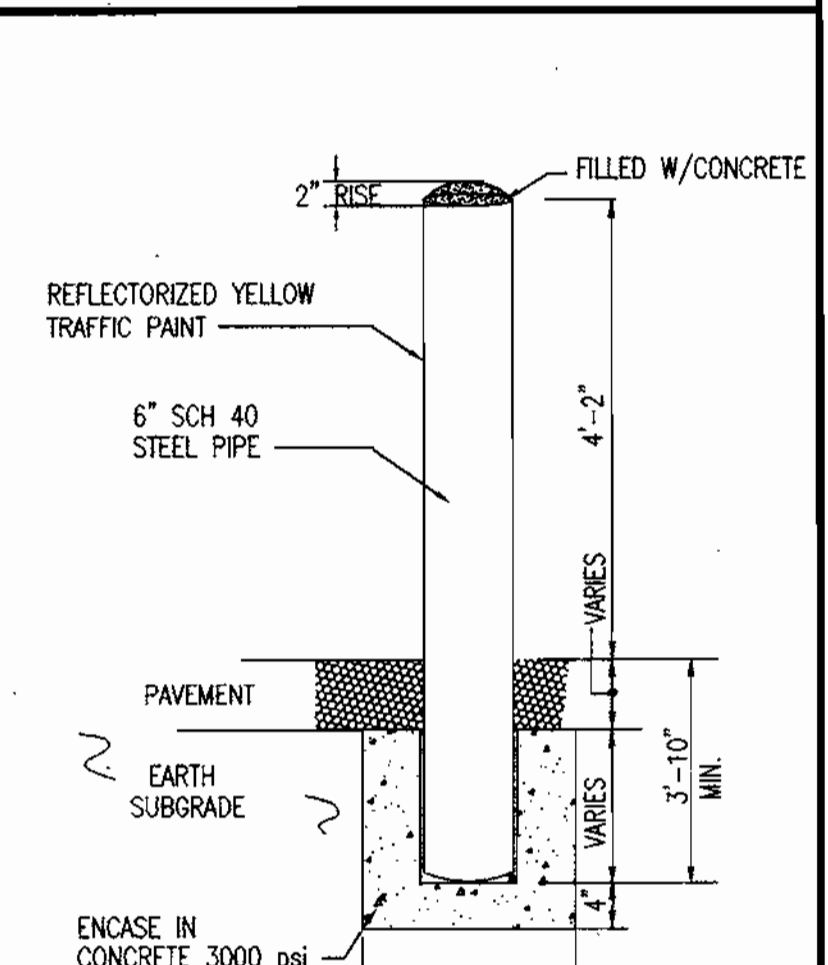
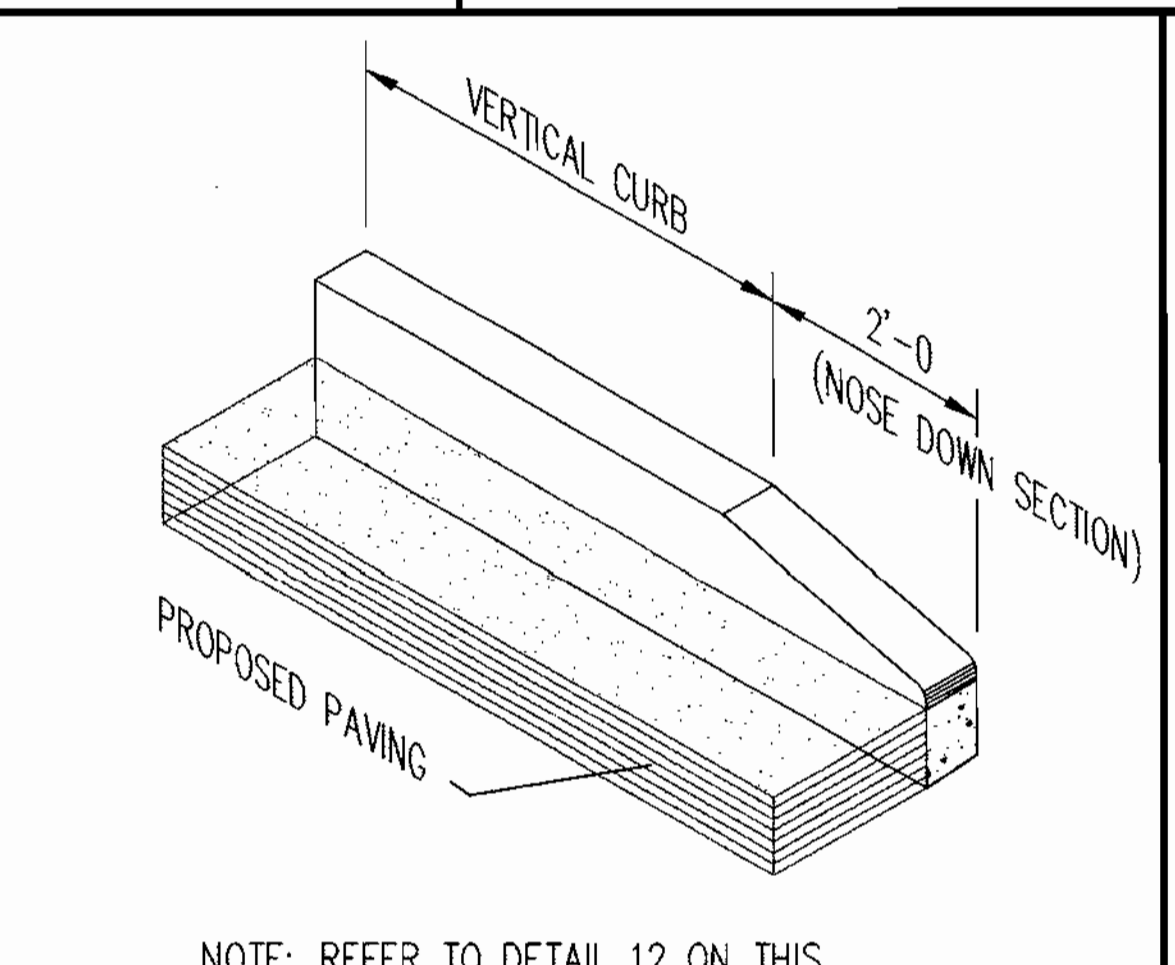
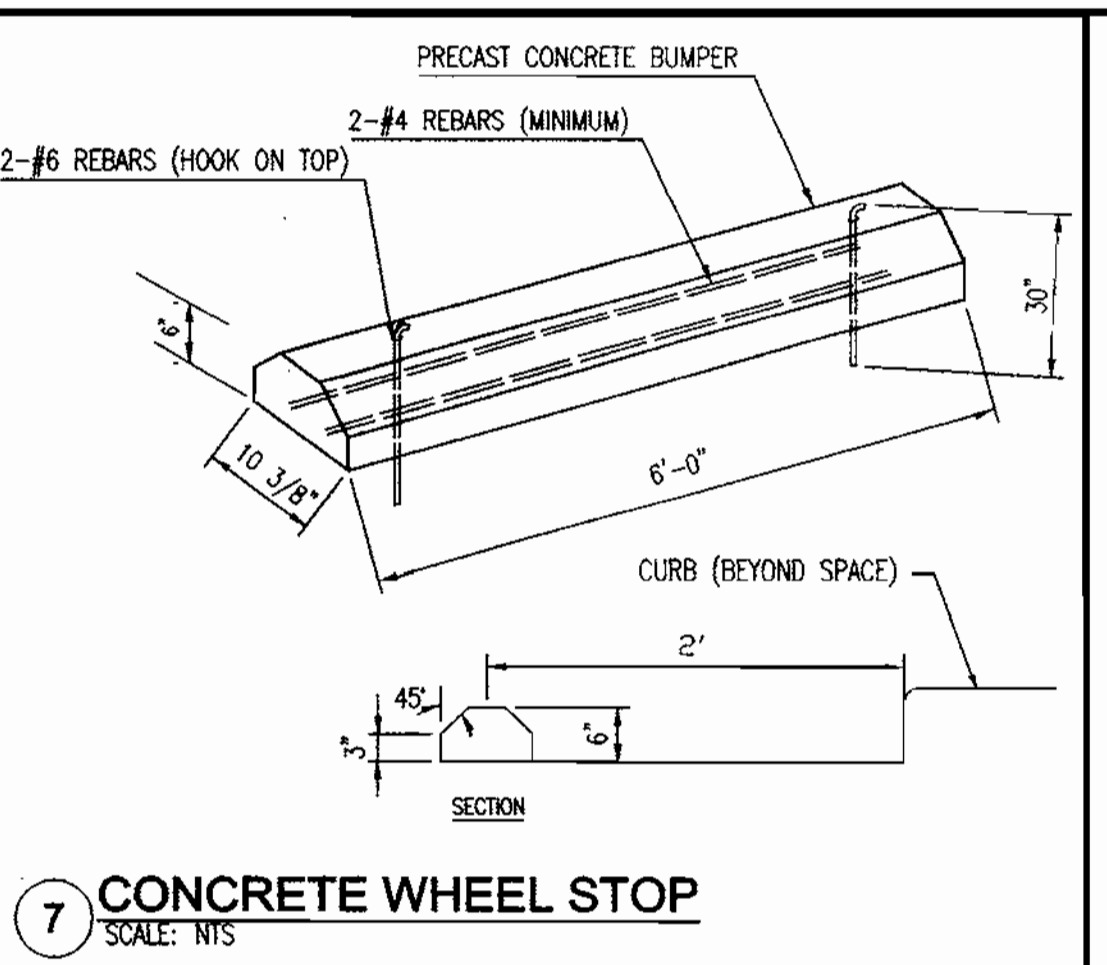
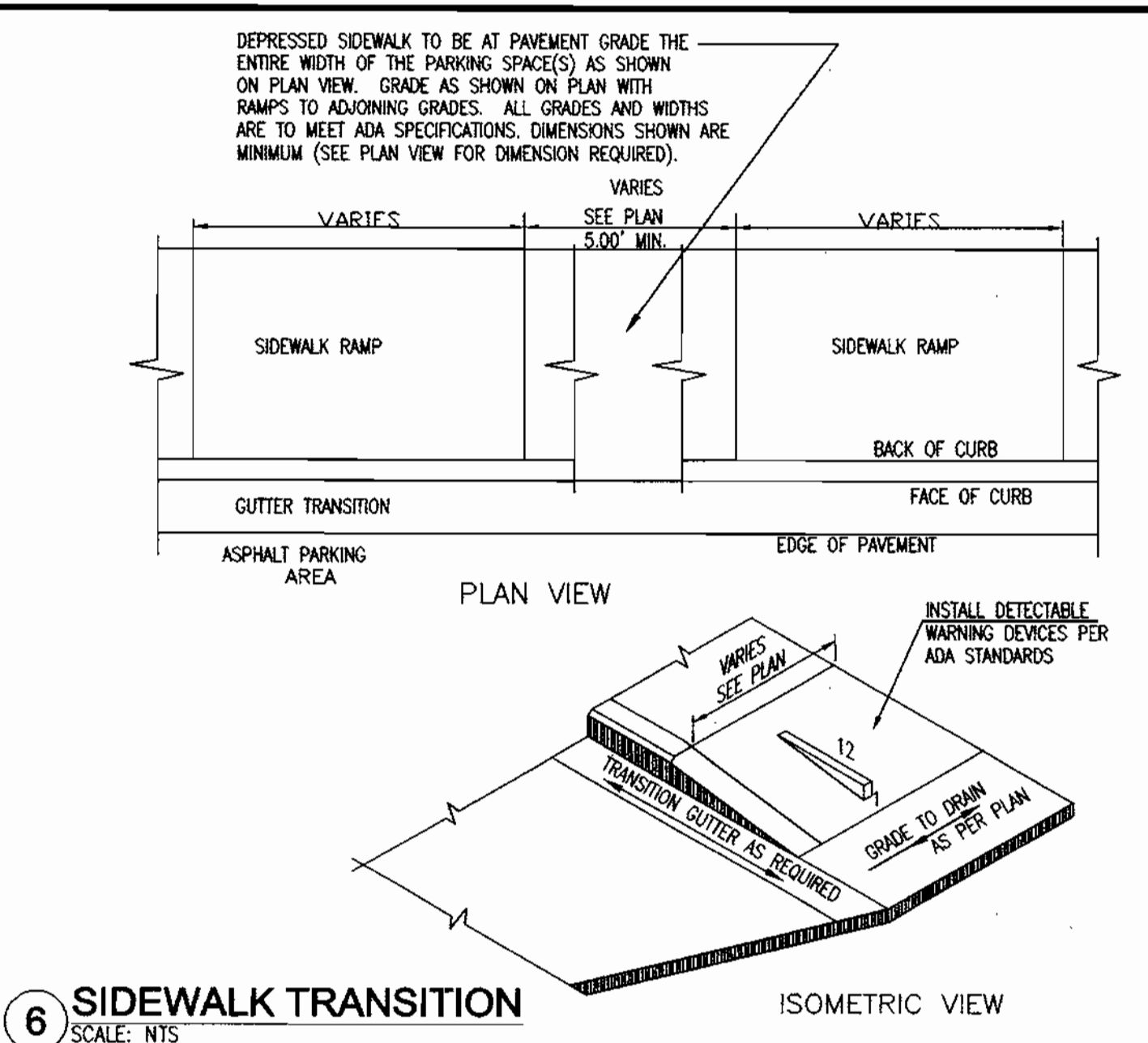
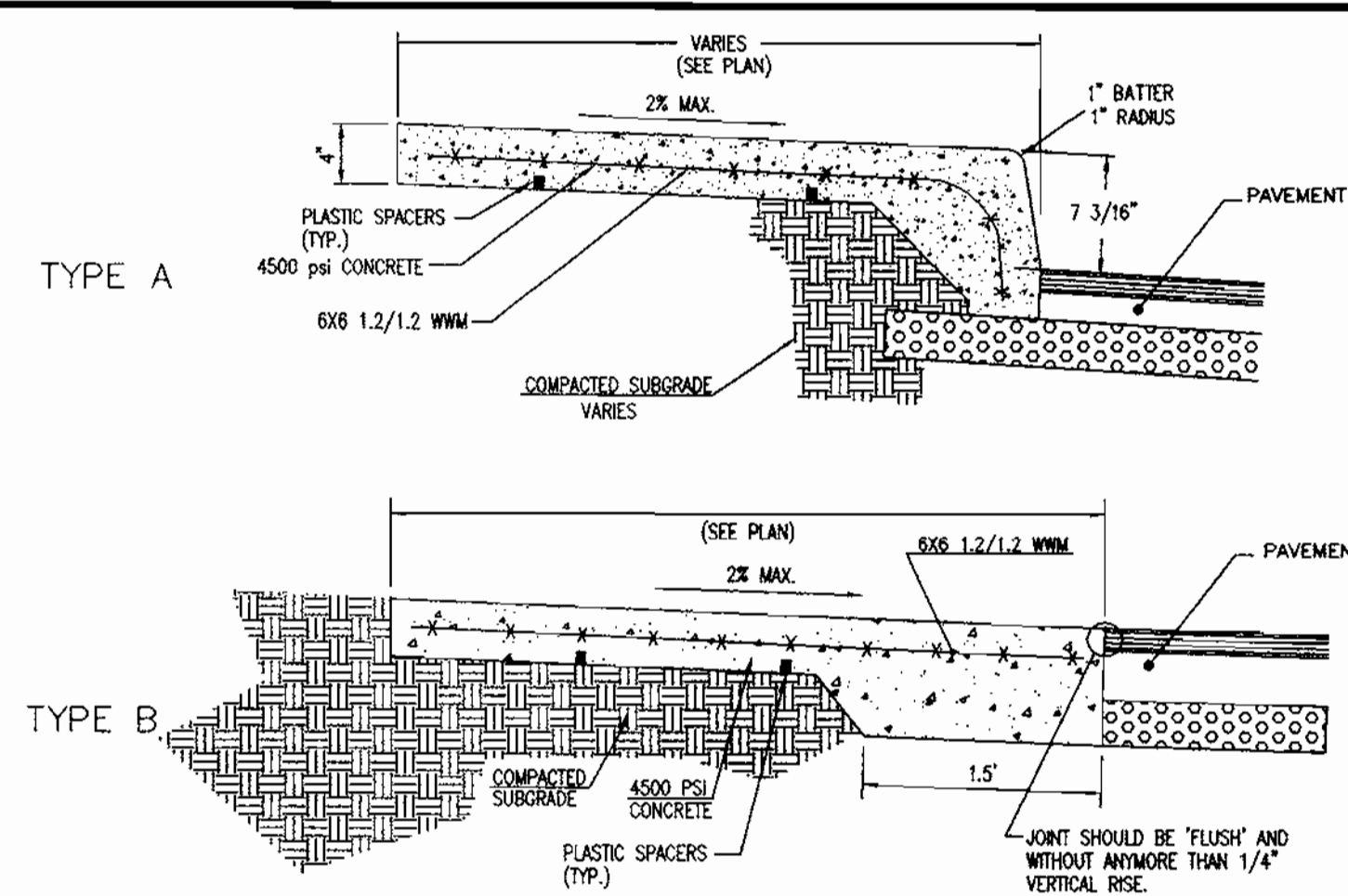
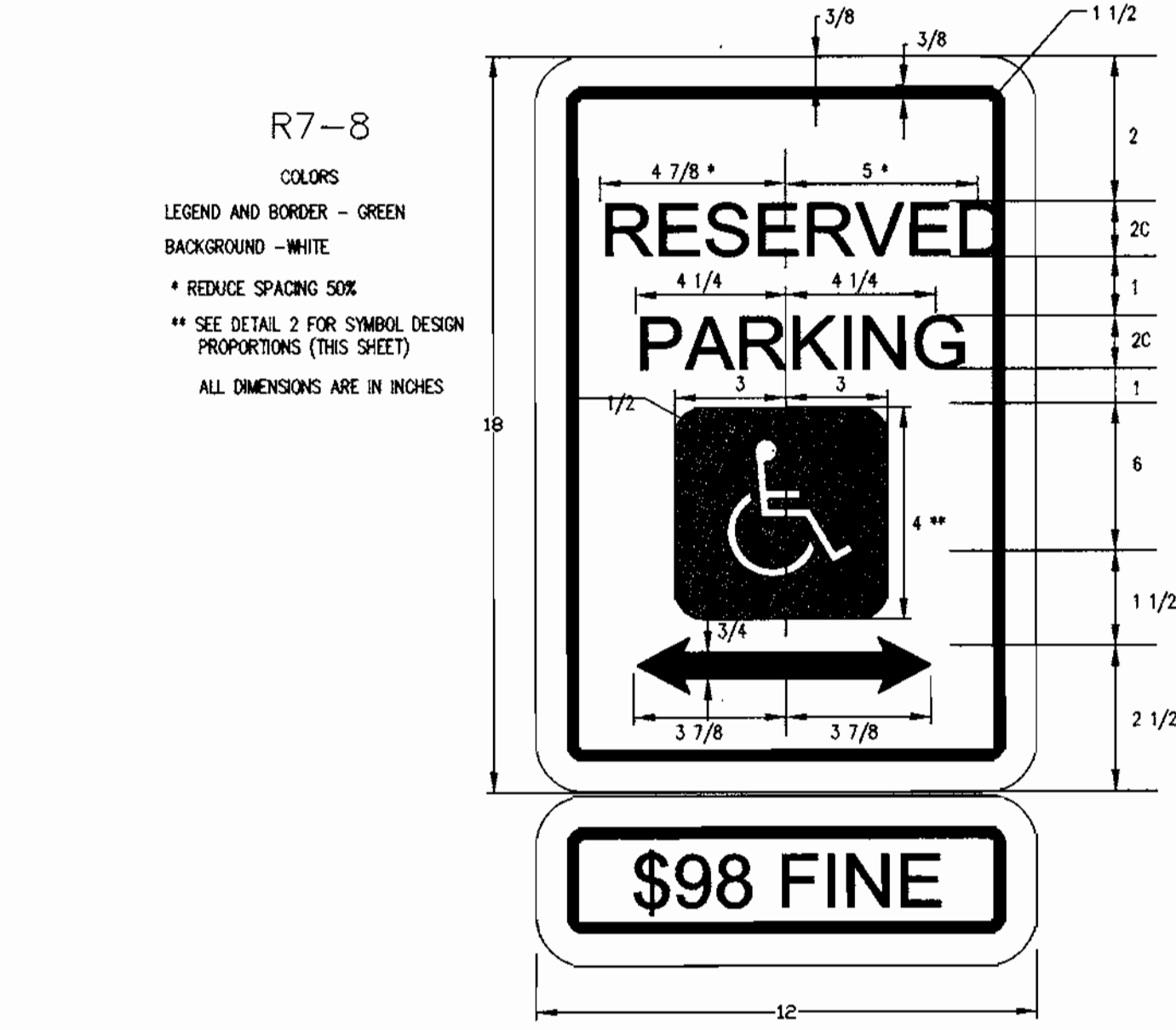
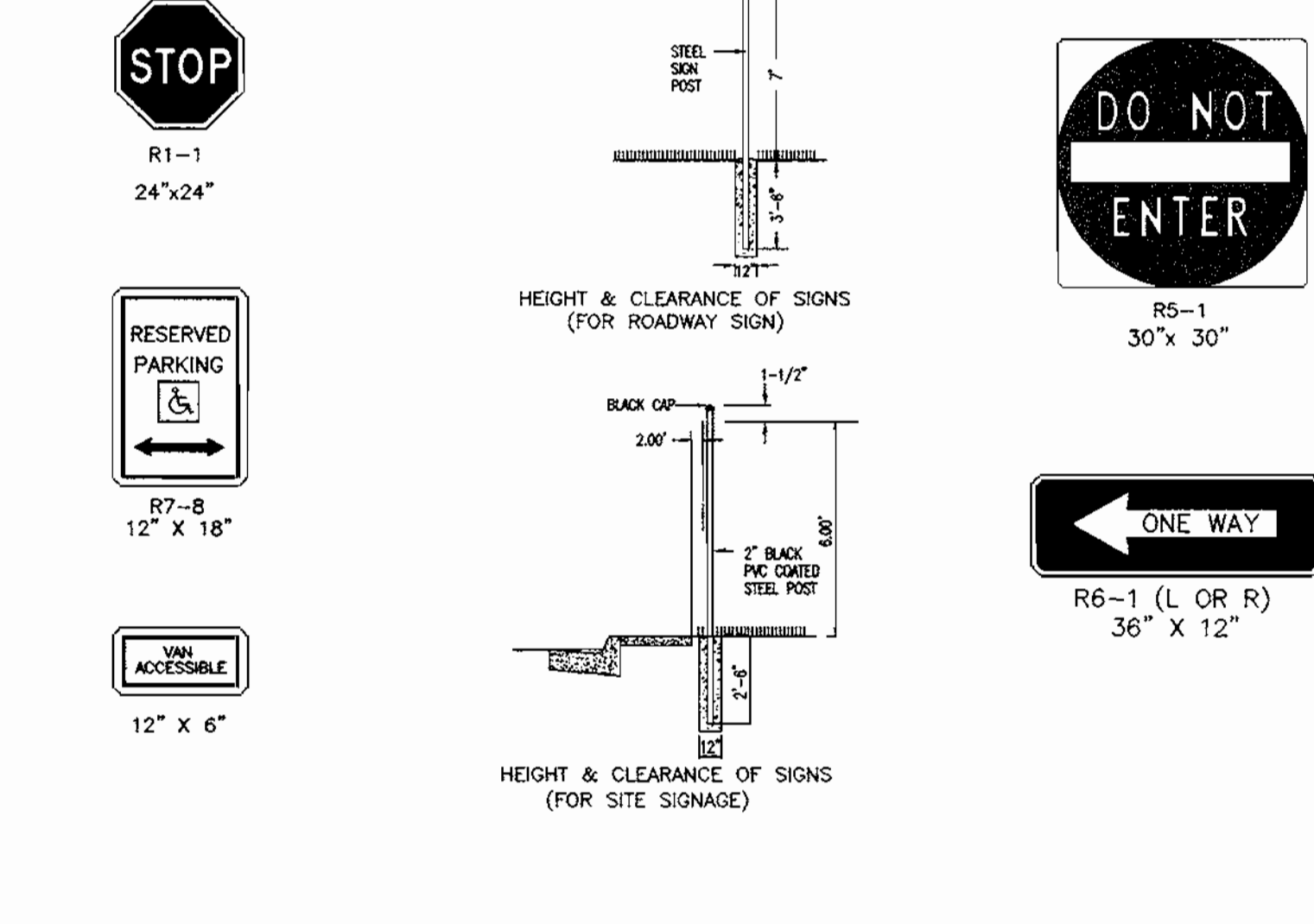
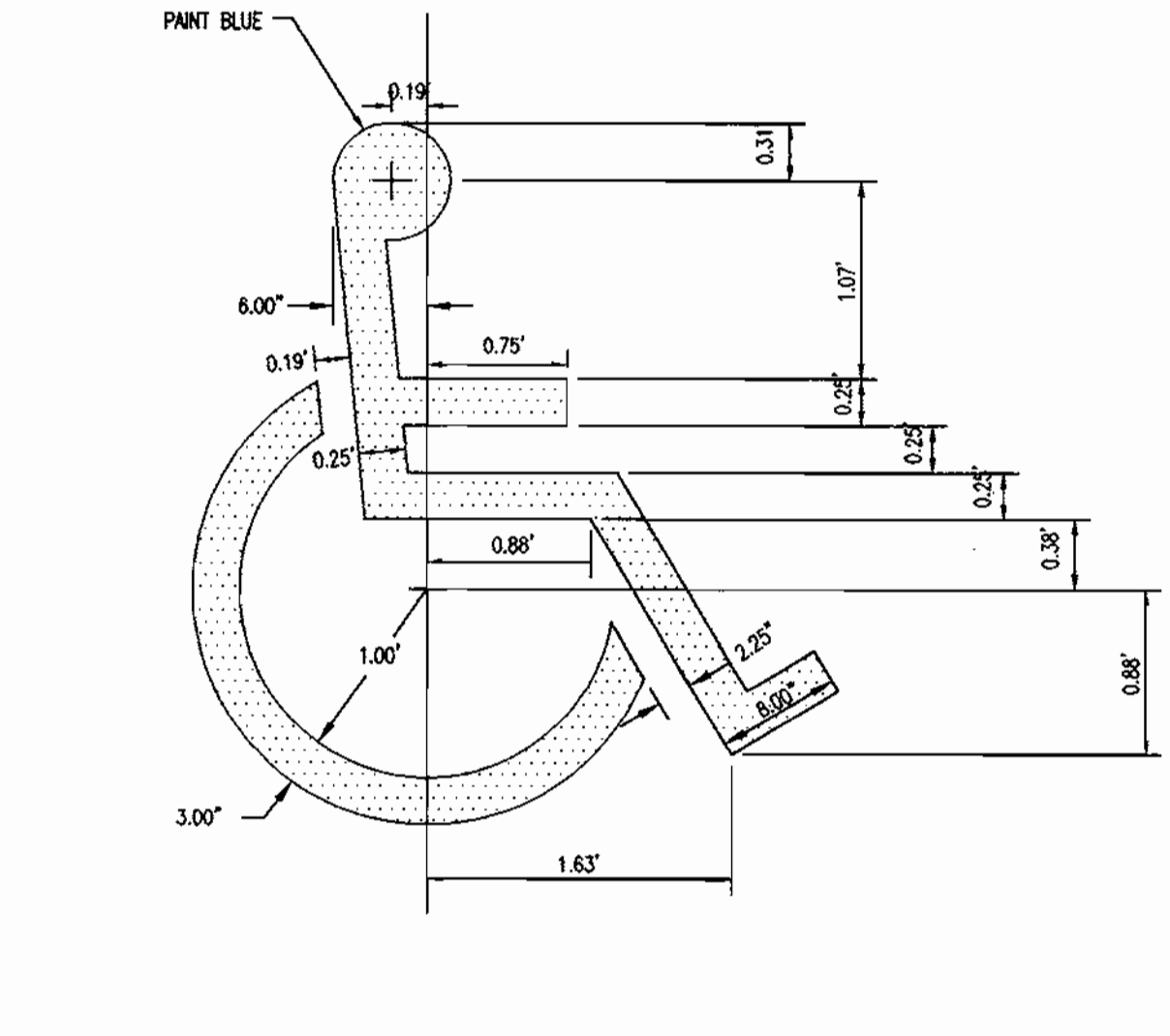
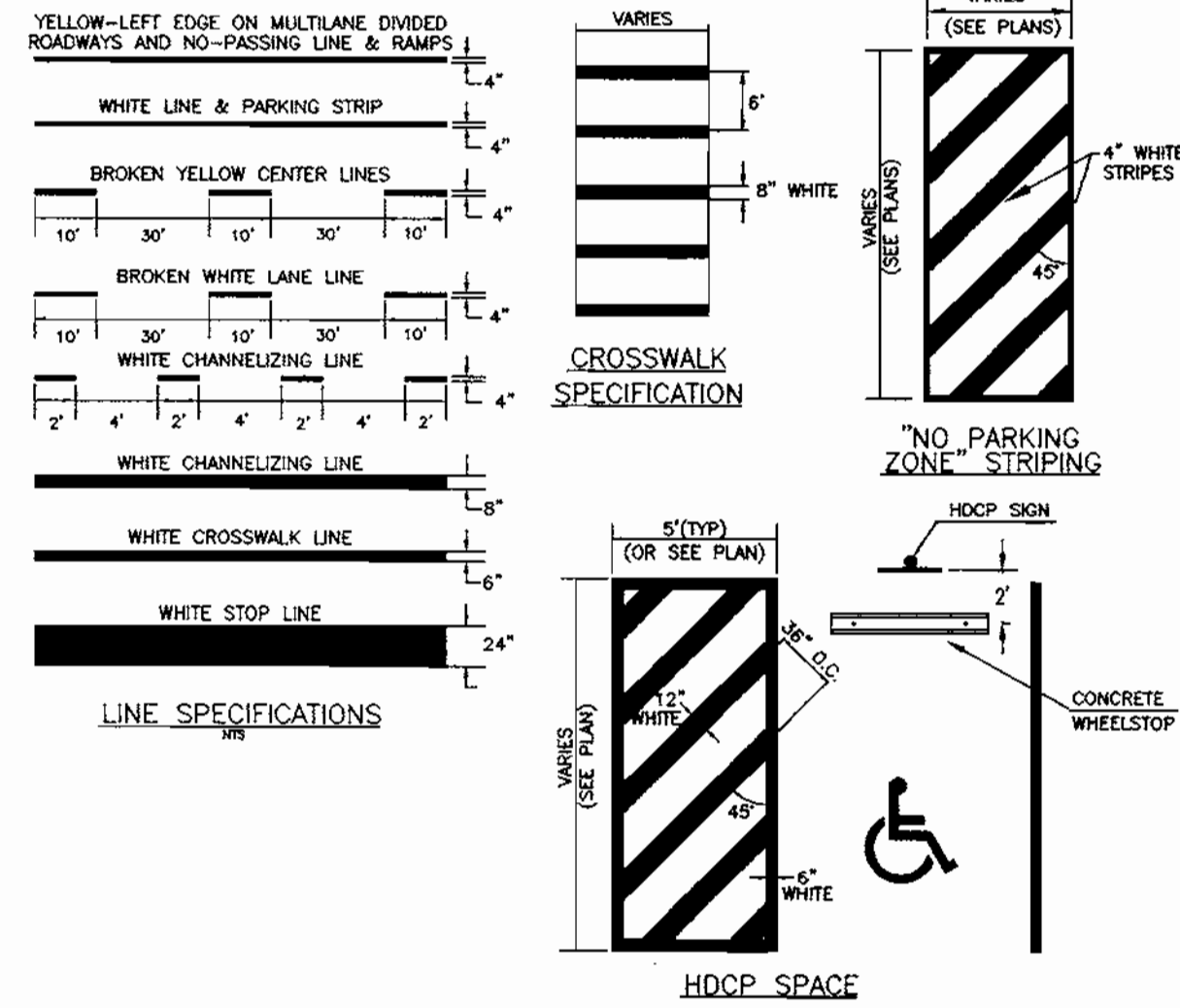
PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	PARCEL #	
BROOKSIDE CENTER		PARCEL C-1, 156 & 263	
PLAT NO.	BLOCK NO.	ZONING	TAX MAP
1492	24	B-2	17
WATER CODE	F01	SEWER CODE	1452900
		ELECTION DIST.	2nd
		CENSUS TRACT	6026

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/25/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE

[Signature] 4/25/00
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE

[Signature] 4/25/00
 DIRECTOR
 DATE



APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/25/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 4/20/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 4/28/00
DATE

OWNER: BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
2085 YORK ROAD
TIMONIUM, MD 21083
(410) 252-8000

DEVELOPMENT PLANS FOR: BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 156 & 263
LIBER 3759, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

REVISIONS
COUNTY COMMENTS 03/08/00

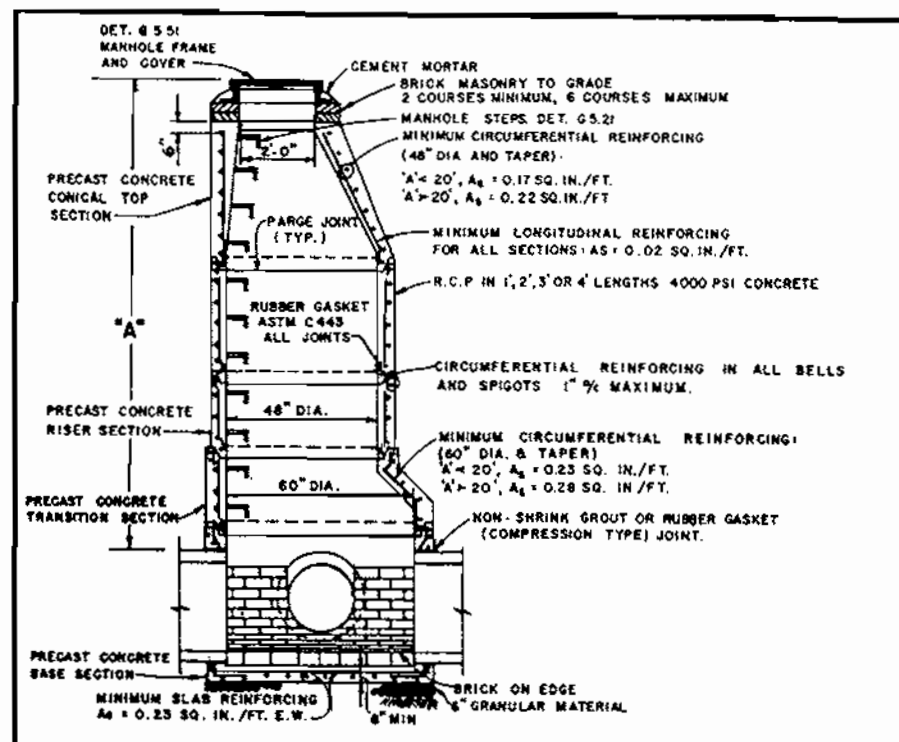
THE RBA Group
ENGINEERS & ARCHITECTS • PLANNERS
Suite 704 Columbia Gateway Drive
Timonium, MD 21083
Phone (410) 312-0866 Fax 312-0897

STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER
4/19/00

DATE: 01/12/99
JOB NUMBER: M2618.00
FILE NUMBER: 2618DET1
PLOTTED: 03/09/00
DRAWN BY: RJ

DETAILS I

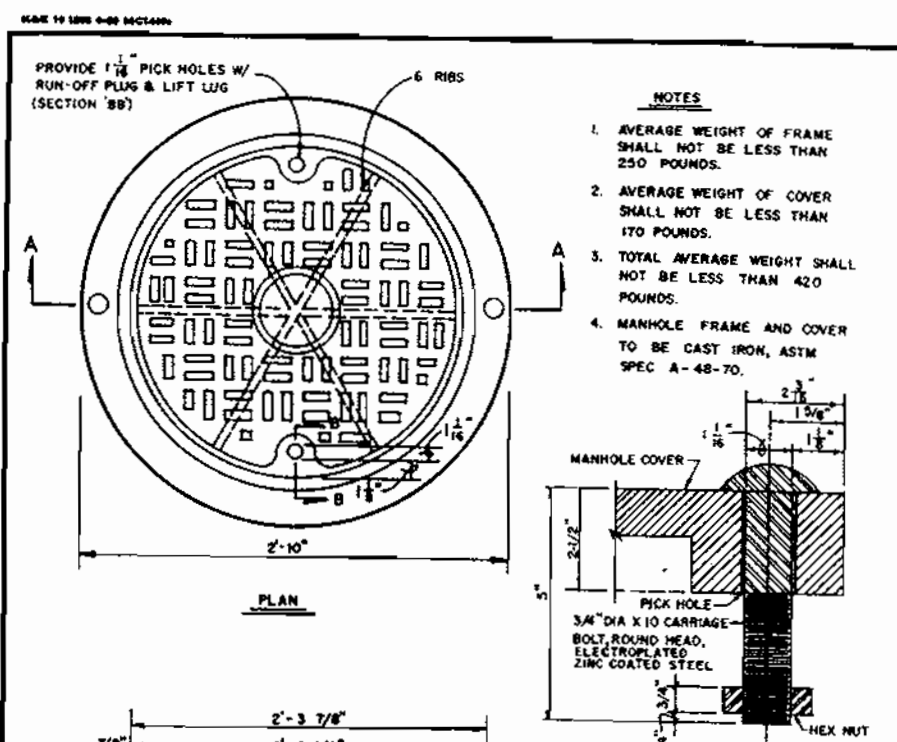
SHEET C-6
6 of 20



GENERAL NOTES APPLICABLE TO ALL PRECAST MANHOLES

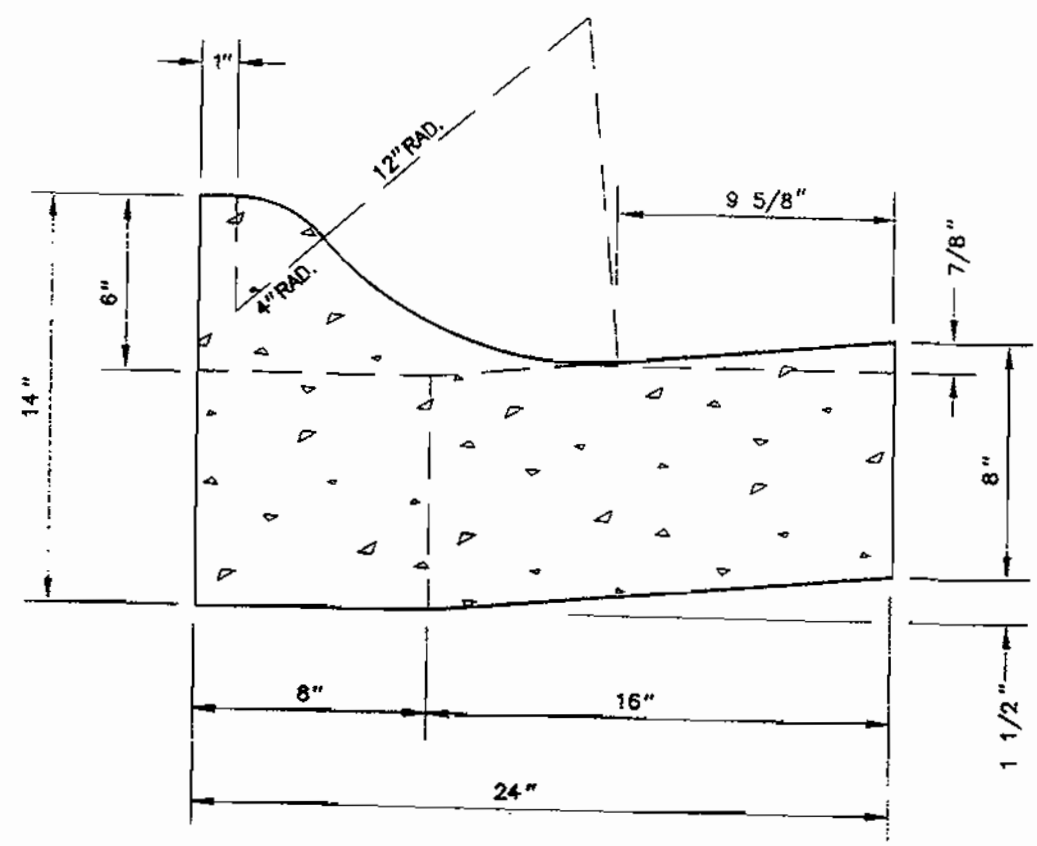
- MANHOLE BASE SHALL BE BEDED ON 6" MIN. CANEULAR MATERIAL ON FIRM SUBGRADE.
- EXCAVATION RETURN PIPES SHALL BE HANDLED WITH BRANGLAR OR SELECT MATERIAL 1/3 OF WAY TO TOP OF PIPE.
- CONNECTION BETWEEN MANHOLE WALL AND SEWER SHALL BE NON-SHRINK GROUT OR RUBBER GASKET (COMPRESSION TYPE) JOINT.
- MANHOLE STEPS SHALL BE AS SPECIFIED ON DETAIL 6-21. MANHOLE COVER SHALL BE AS SPECIFIED ON DETAIL 6-22.
- PROVIDE 2 COATS OF POLYURETHANE ELASTOMERIC TYPE SEALANT COMPLYING WITH FS TT-S-00227.

HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] Chief-Bureau of Engineering



MANHOLE FRAME AND COVER

HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] Chief-Bureau of Engineering

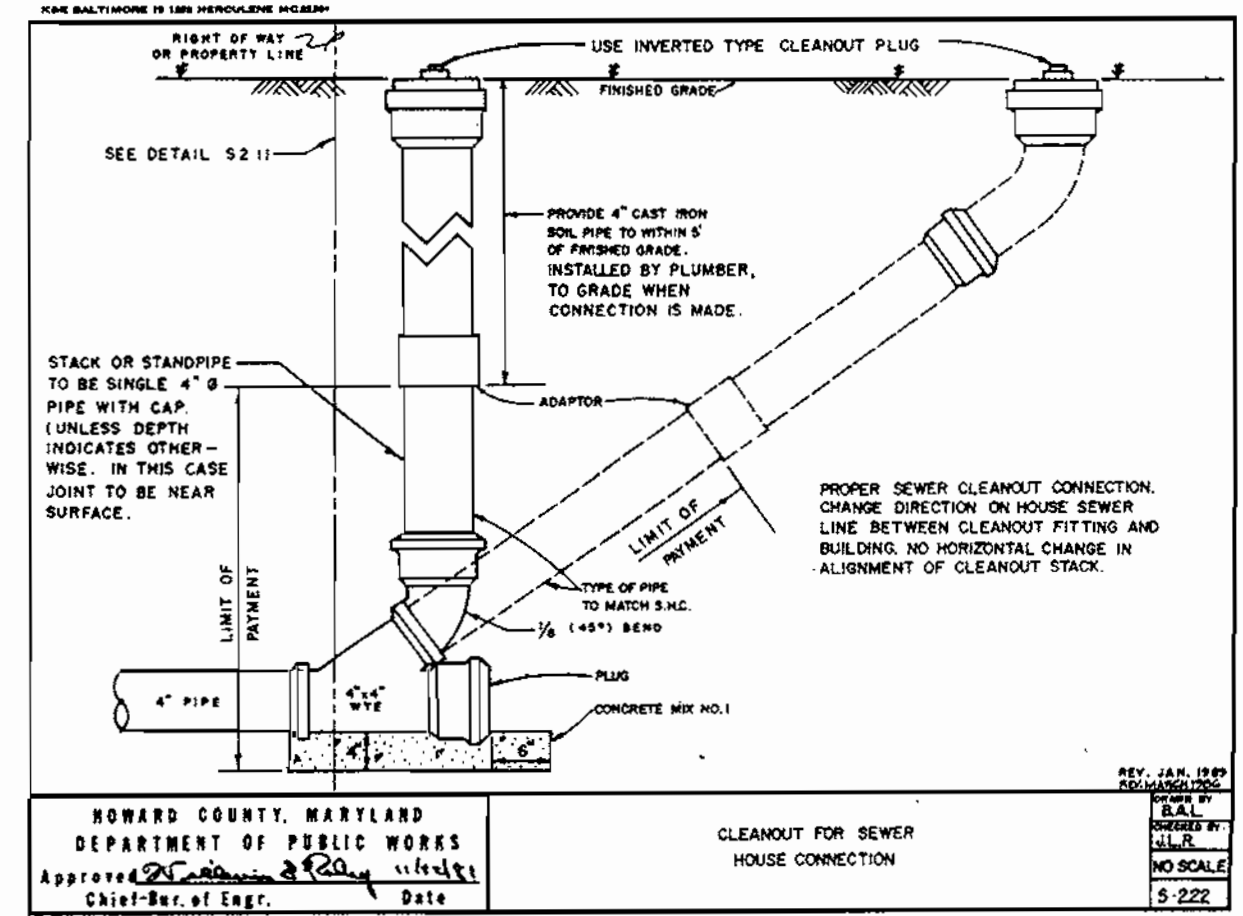
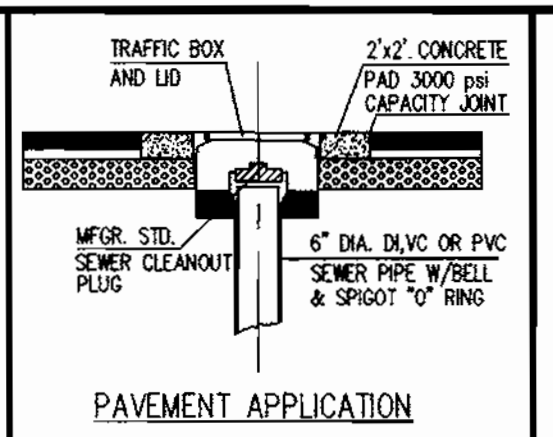


MOUNTABLE CURB

GENERAL NOTES

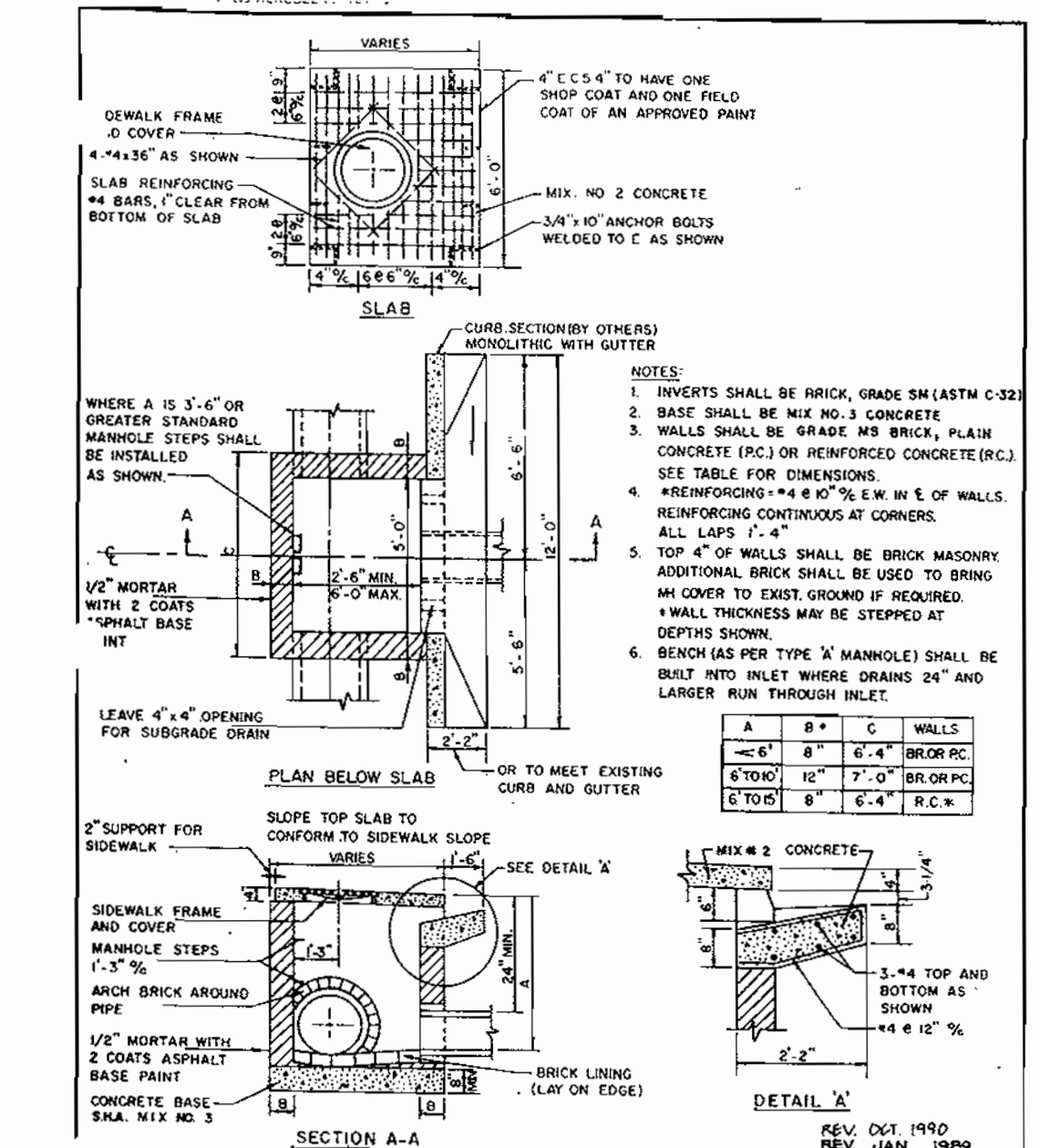
- REFER TO HOWARD COUNTY DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR MATERIALS, METHODS OF CONSTRUCTION AND EXPANSION JOINT LOCATIONS.
- THIS STANDARD SHALL BE USED ON PRIMARY, SECONDARY AND TERTIARY RESIDENTIAL ROADS EXCEPT AT CURB RETURNS AND INLET THROATS.
- WHENEVER STANDARD CURB IS USED IN CONJUNCTION WITH THIS STANDARD, A TWO FOOT TRANSITION SHALL BE PROVIDED FROM STANDARD CURB TO MOUNTABLE CURB; FOR CURB RETURNS AND CURB SECTIONS WHICH INCLUDE INLETS.
- THE STANDARD DISTANCE BETWEEN JOINTS SHALL BE TEN FEET (MAXIMUM AND MINIMUM DISTANCES SHALL BE THIRTEEN FEET AND FIVE FEET RESPECTIVELY).
- EXPANSION JOINT MATERIAL SHALL BE 1/2 INCH PREFORMED CORK, TRIMMED AND SEALED WITH NON-STAINING TWO-COMPONENT POLYSULFIDE OR POLYURETHANE ELASTOMERIC TYPE SEALANT COMPLYING WITH FS TT-S-00227.

HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] Chief-Bureau of Engineering



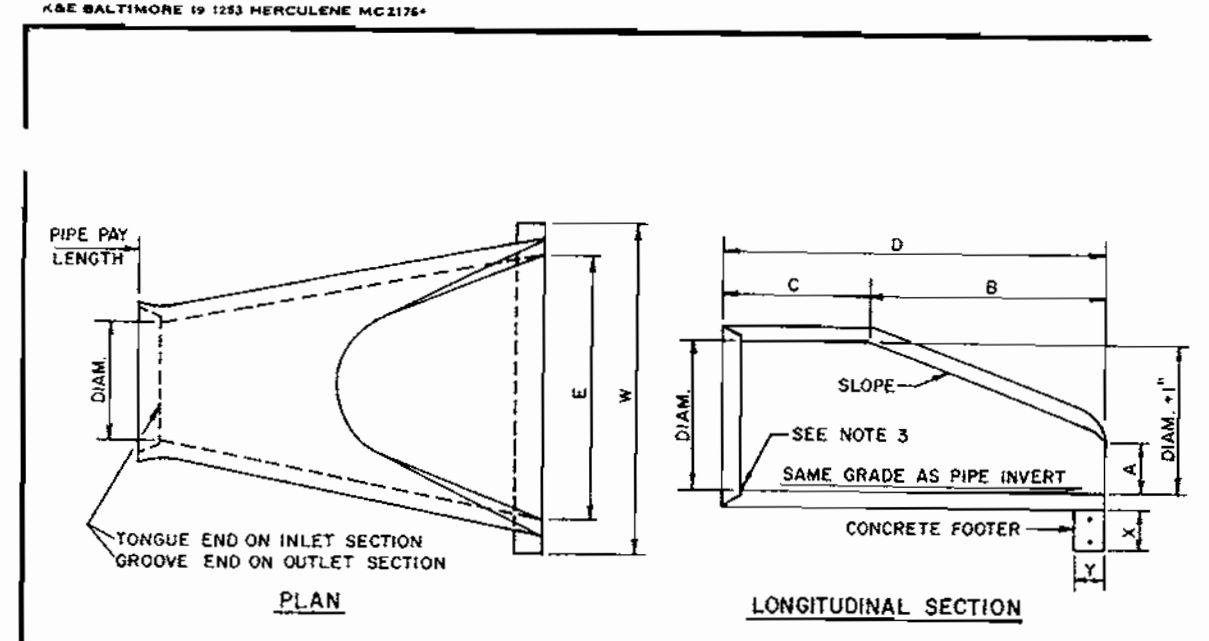
GENERAL CLEANOUT

HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] Chief-Bureau of Engineering



TYPE 'A-5' INLET

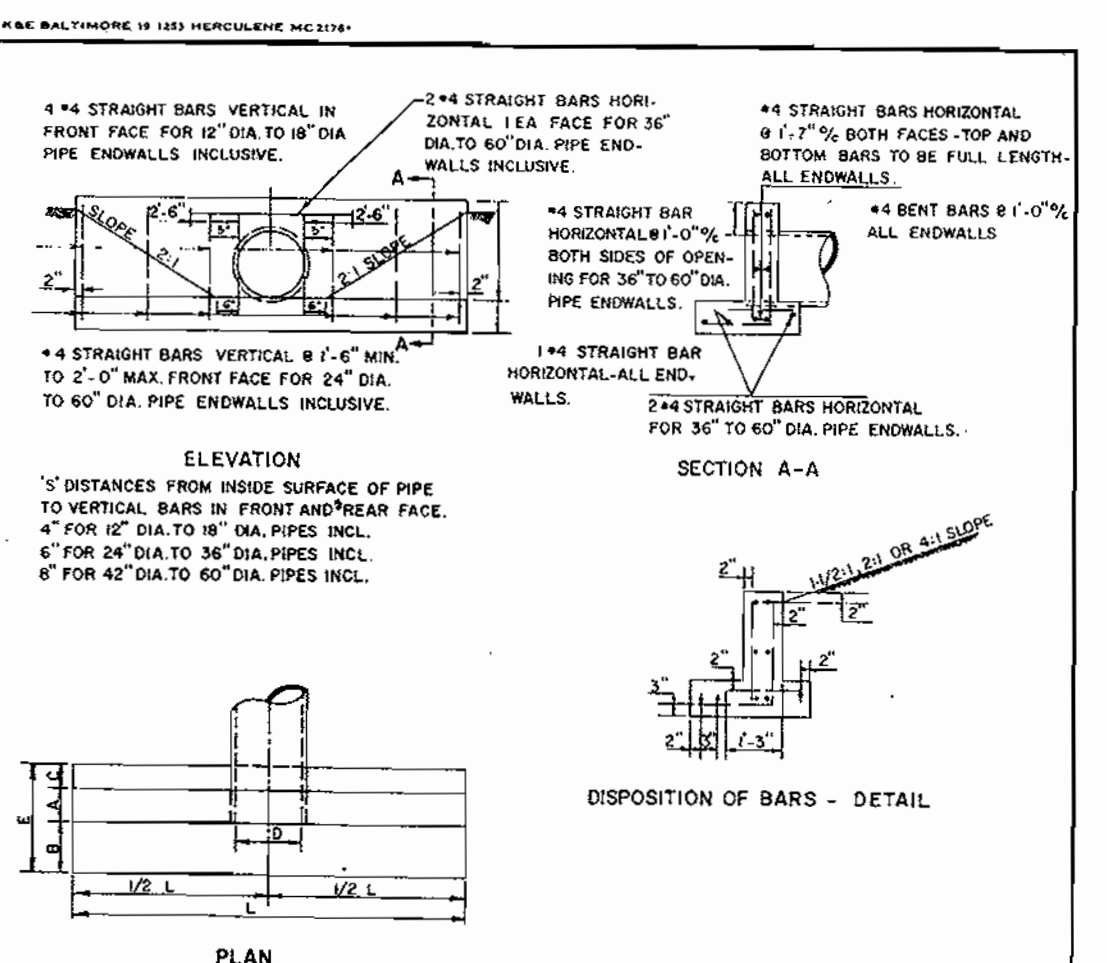
HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] Chief-Bureau of Engineering



END SECTION

DIAM	SLOPE	CONCRETE END SECTION				CONCRETE FOOTER			
		A	B	C	D	E	W	X	Y
15"	3:1	8 1/2"	2'-4"	3'-10"	6'-2"	2'-6"	3'-6"	12"	9"
18"	3:1	10 1/4"	2'-2"	4'-0"	6'-2"	3'-0"	4'-0"	12"	9"
24"	3:1	11"	3'-7"	2'-7"	6'-3"	5'-0"	6'-0"	15"	9"
30"	3:1	17'-1"	4'-5"	1'-0"	6'-3"	5'-0"	6'-0"	15"	9"
36"	3:1	17'-3 1/2"	5'-3"	3'-1"	6'-1 1/2"	6'-0"	7'-3"	15"	9"
42"	3:1	17'-5 1/4"	5'-5"	2'-10"	6'-3"	6'-6"	7'-9"	15"	9"
48"	3:1	2'-1"	6'-0"	2'-2"	6'-2"	7'-0"	8'-6"	18"	12"
54"	2:1	2'-5"	5'-2"	2'-10"	6'-0"	7'-6"	9'-0"	18"	12"
60"	2:1	2'-7"	4'-11"	3'-8 1/2"	6'-7 1/2"	8'-0"	9'-6"	18"	12"
66"	2:1	2'-4"	6'-6"	1'-9"	6'-3"	8'-6"	10'-0"	18"	12"
72"	2:1	2'-10"	6'-6"	1'-9"	6'-3"	9'-0"	10'-9"	18"	12"

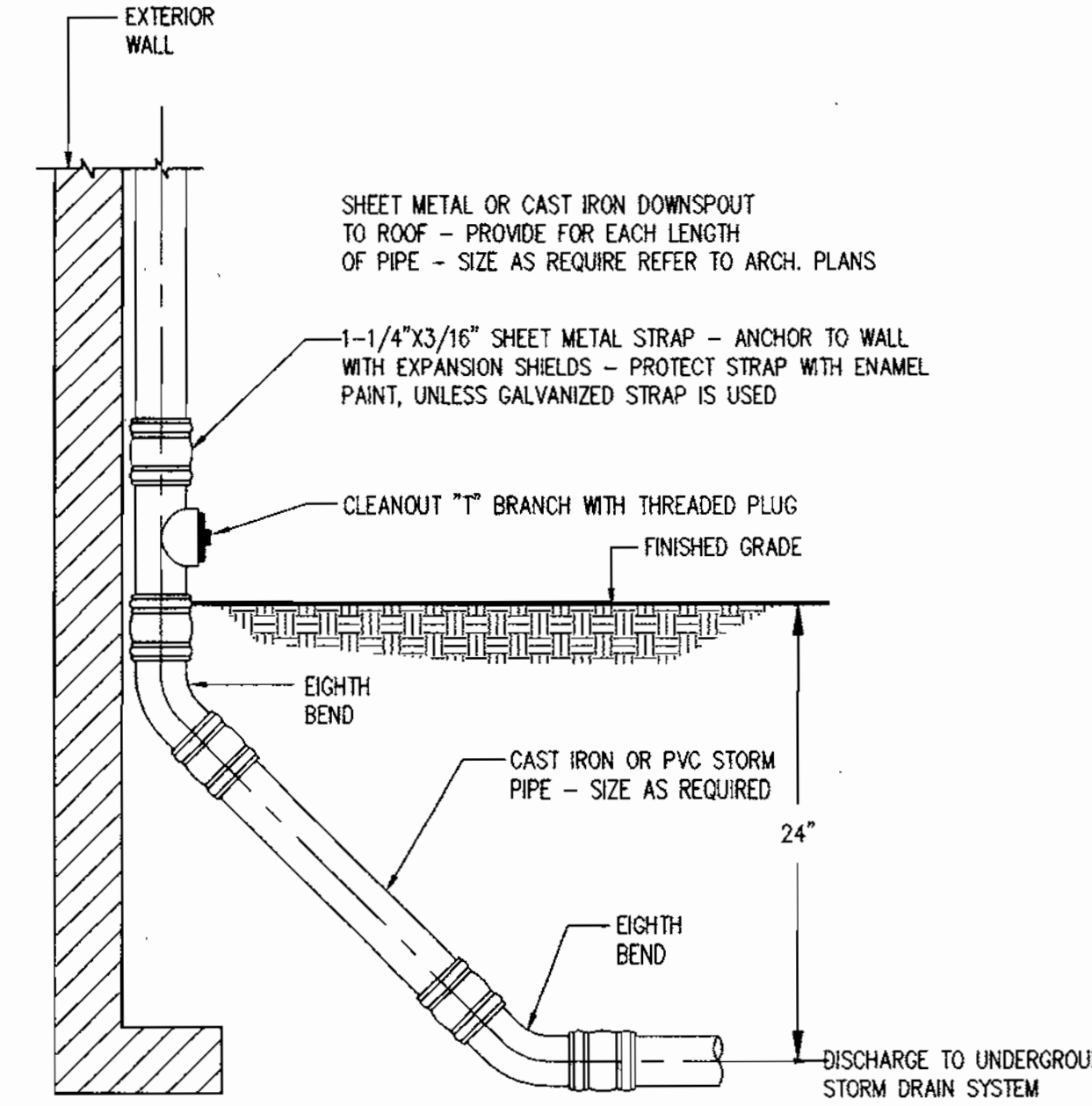
HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] Chief-Bureau of Engineering



TYPE 'C' ENDWALL

DIAM	AREA IN SQ. FT.	A	B	C	E	F	H	L	VOLUME CONCRETE C.Y.	CONC. C.Y.	REIN. LB.
15"	0.29	2'	2'	2'	2'	2'	2'	2'	0.13	0.13	38
18"	0.56	2'	2'	2'	2'	2'	2'	2'	0.26	0.26	56
24"	1.13	2'	2'	2'	2'	2'	2'	2'	0.52	0.52	112
30"	1.75	2'	2'	2'	2'	2'	2'	2'	0.79	0.79	156
36"	2.36	2'	2'	2'	2'	2'	2'	2'	1.06	1.06	200
42"	2.97	2'	2'	2'	2'	2'	2'	2'	1.33	1.33	244
48"	3.58	2'	2'	2'	2'	2'	2'	2'	1.60	1.60	288
54"	4.19	2'	2'	2'	2'	2'	2'	2'	1.87	1.87	332
60"	4.80	2'	2'	2'	2'	2'	2'	2'	2.14	2.14	376
66"	5.41	2'	2'	2'	2'	2'	2'	2'	2.41	2.41	420
72"	6.02	2'	2'	2'	2'	2'	2'	2'	2.68	2.68	464

HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] Chief-Bureau of Engineering



DOWNSPOUT CONNECTION

HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] Chief-Bureau of Engineering

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] DATE: 4/25/00

[Signature] DATE: 4/20/00

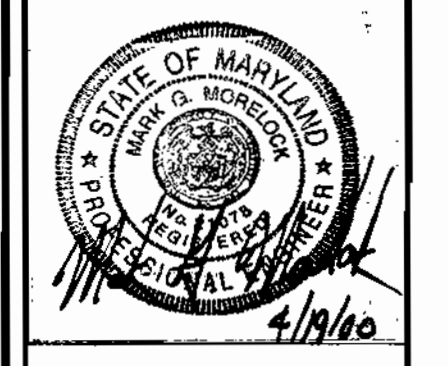
[Signature] DATE: 4/28/00

OWNER: BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
2085 YORK ROAD
TIMONIUM, MD 21093
(410) 252-8000

DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
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LIBER 3759, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

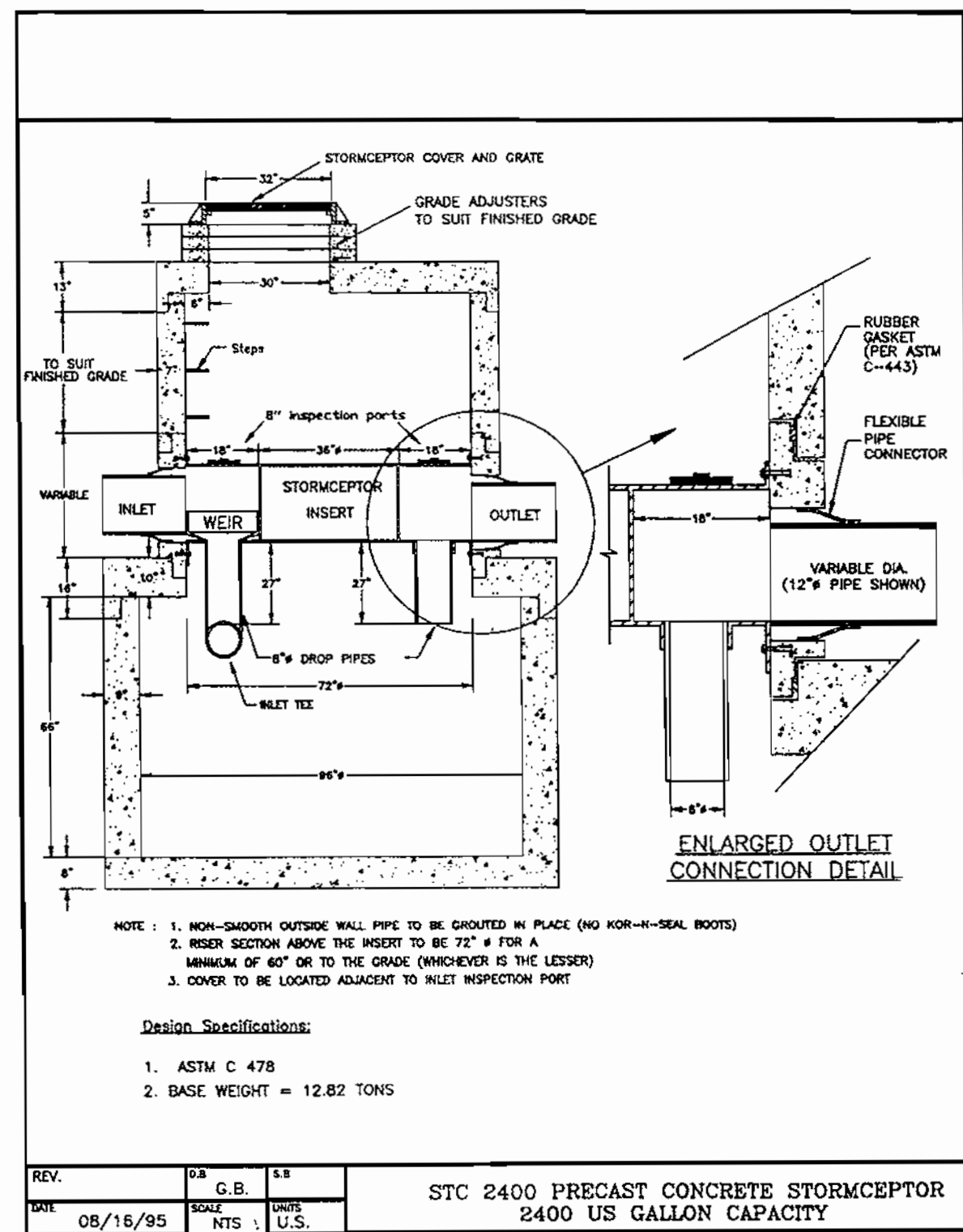
The RBA Group
ARCHITECTS & PLANNERS
Suite 205, Columbia, Maryland 21046
Phone (410) 312-0888, Fax 312-0897

REVISIONS
COUNTY COMMENTS 03/08/00



DATE: 01/12/99
JOB NUMBER: M2618.00
FILE NUMBER: 26180ET2
PLOTTED: 03/09/00
DRAWN BY: RJ

DETAILS II
SHEET C-7
7 of 20



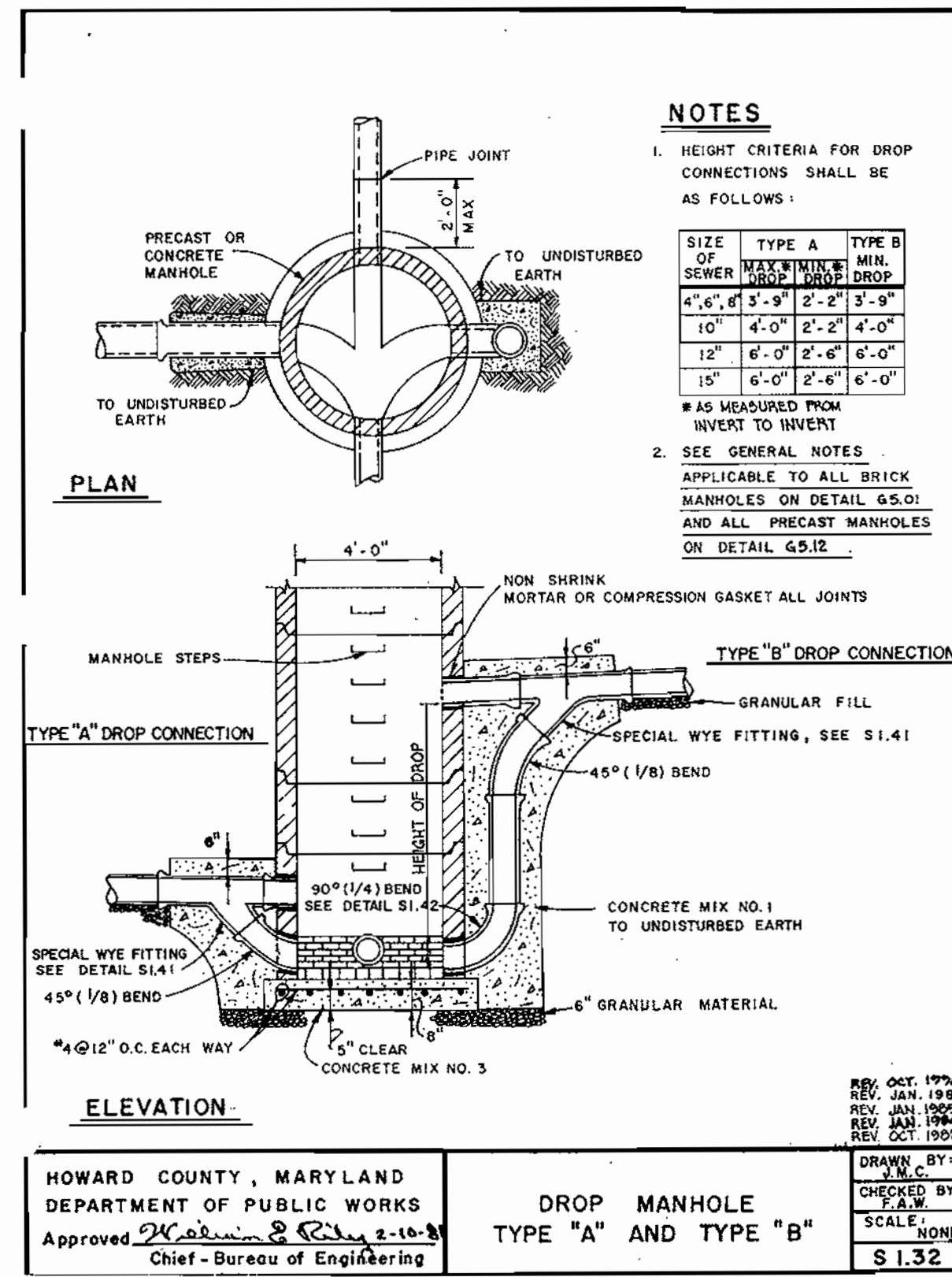
STORMCEPTOR STC 2400 PRECAST CONCRETE STORMCEPTOR
2400 US GALLON CAPACITY

MODEL	MAX. TREATED FLOW RATE (GPM)**	SEWAGE CAPACITY (GAL)	OIL CAPACITY (GAL)	TOTAL CAPACITY (GAL)
STC 900	285	70	280	635
STC 1200	385	110	280	775
STC 1800	485	150	280	915
STC 2400	475	210	280	965
STC 3000	475	300	280	1055
STC 4800	600	515	275	1490
STC 6000	800	675	275	1750
STC 7200	1110	800	280	2190

PIPE DIAMETER D (IN)	PIPE MATERIAL	MIN. H (IN)	H (IN)	L (IN)
10	PVC	22	36	8
10	CONC / PC RB	22	36	7
12	PVC / PC RB	22	36	9
12	CONCRETE	22	42	11
15	PVC / PC RB	22	42	8.5
15	CONCRETE	22	48	11.5
18	PVC / PC RB	32	48	10
18	CONCRETE	32	48	11
21	PVC / PC RB	32	48	9.5
21	CONCRETE	32	54	11.5
24	PVC	32	48	9
24	PC RB	32	54	10
24	CONCRETE	32	54	11
27	PVC	32	54	8.5
27	CONCRETE	44	60	11.5
30	CONCRETE	44	60	12
33	CONCRETE	44	60	12.5
36	CONCRETE	44	60	13

Stormceptor Separator Specifications (Concrete)

REV. 09/08/95
G.B. NTS
S.S. U.S.



Stormceptor® Order Form

This document is to be filled out on SWM Plan by the designer.

For Office Use Only
Order # _____ Date _____

Which plant will be manufacturing the unit:

Manhole #	261
Finish Top elevation (ft)	239.31
Top slab elevation (ft)	239.31
Inlet pipe invert (ft)	231.48
Outlet pipe invert (ft)	231.40
Pipe Type	RCP
Inlet Pipe Inside Dia. (in) (ID)	21"
Inlet Pipe Outside Dia. (in) (OD)	24 1/2"
Outlet Pipe Inside Dia. (in) (ID)	21"
Outlet Pipe Outside Dia. (in) (OD)	24 1/2"

Stormceptor Model # (Circle One): 900 1200 1800 2400 3000 4800 6000 7200

Install Type (Circle One): Commercial Industrial Residential Highway/DOT Gas Station Man/Govt Other (Be specific as possible)

(Circle One): Single Inlet Multiple Inlet Impervious Drainage Area (in acres) 1.74

This installation is... (Circle One): New Construction or Retrofit

Contractor Information:
Contractor: To be Determined Contact Person _____
Phone: _____ Fax: _____

Owner (Maintainer) Information:
Owner: BROOKSIDE MOTOR SALES Contact Person: Mr. Bill Schaeffer
Phone: (410) 252-2222 Fax: _____

Project Details:
Name of Project: BROOKSIDE CENTER Design Firm: THE RBA GROUP
Deliver install by (date): _____
Address of installation: ROGERS AVENUE City: ELLICOTT CITY State: MD
Designer Contact: MARK G. MOSELMAN Phone: (410) 252-0966 Fax: (410) 252-0927
Approving Agency: HOWARD COUNTY Contract: RHL THOMPSON Phone: (410) 323-2420

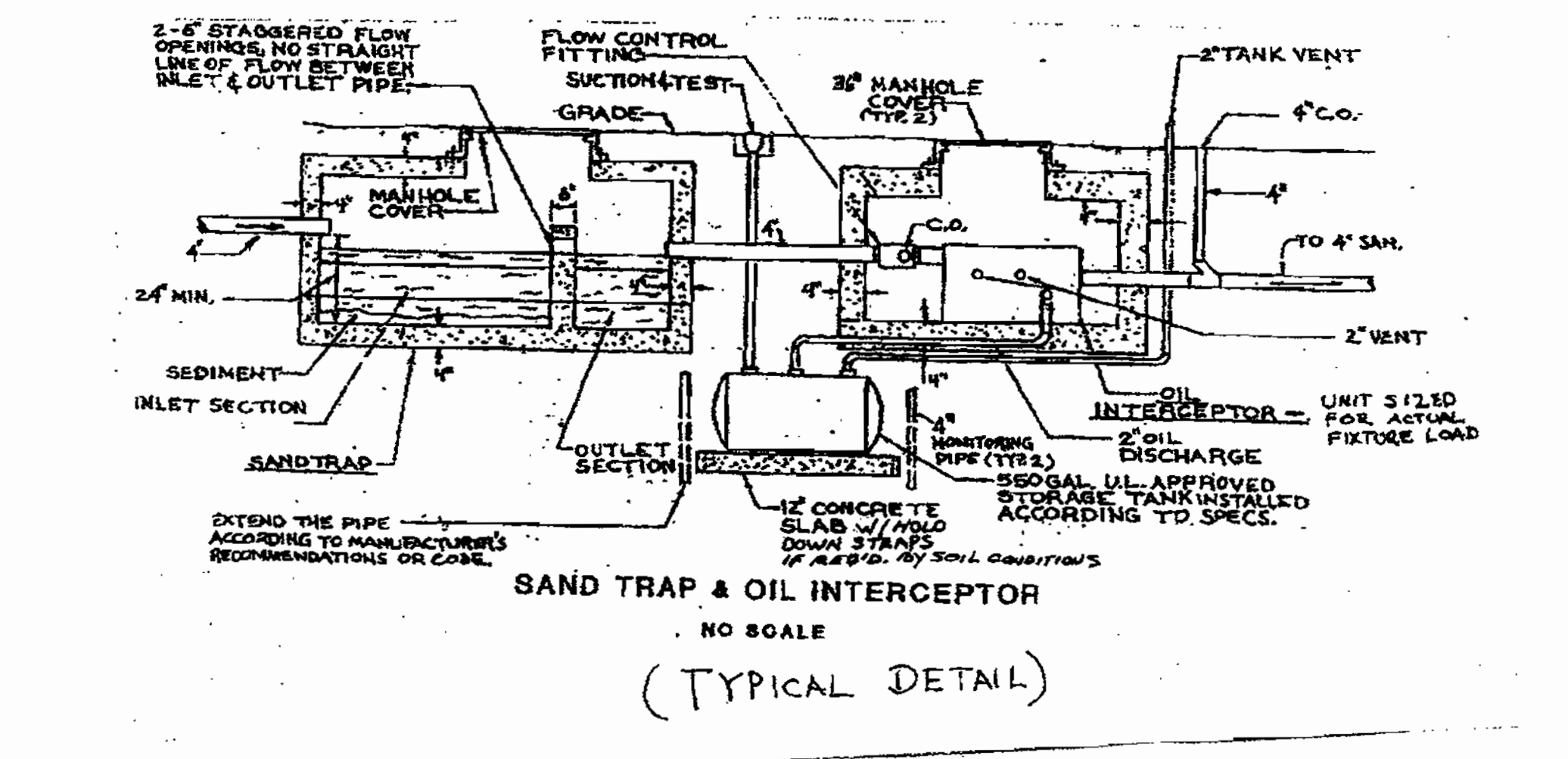
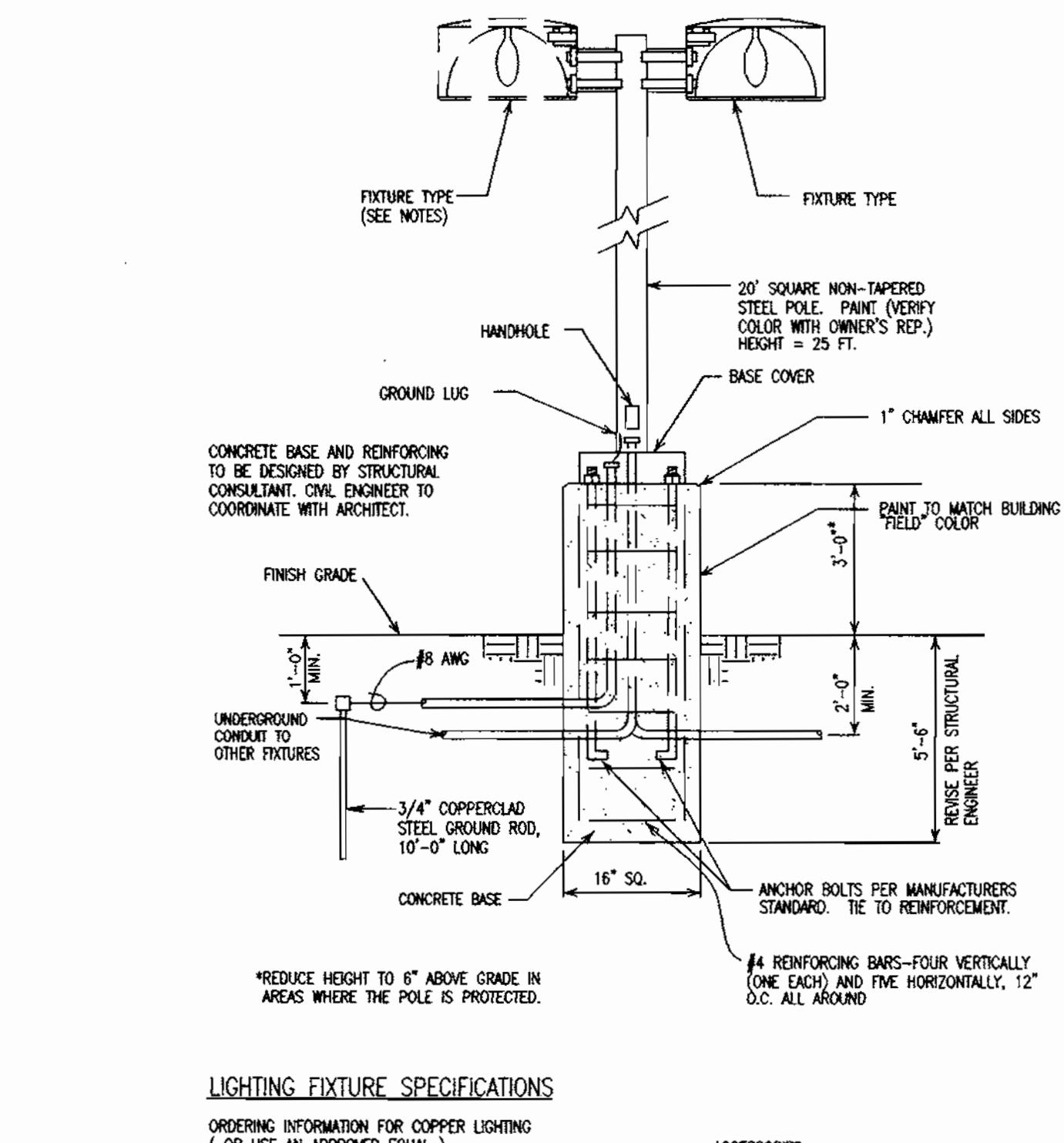
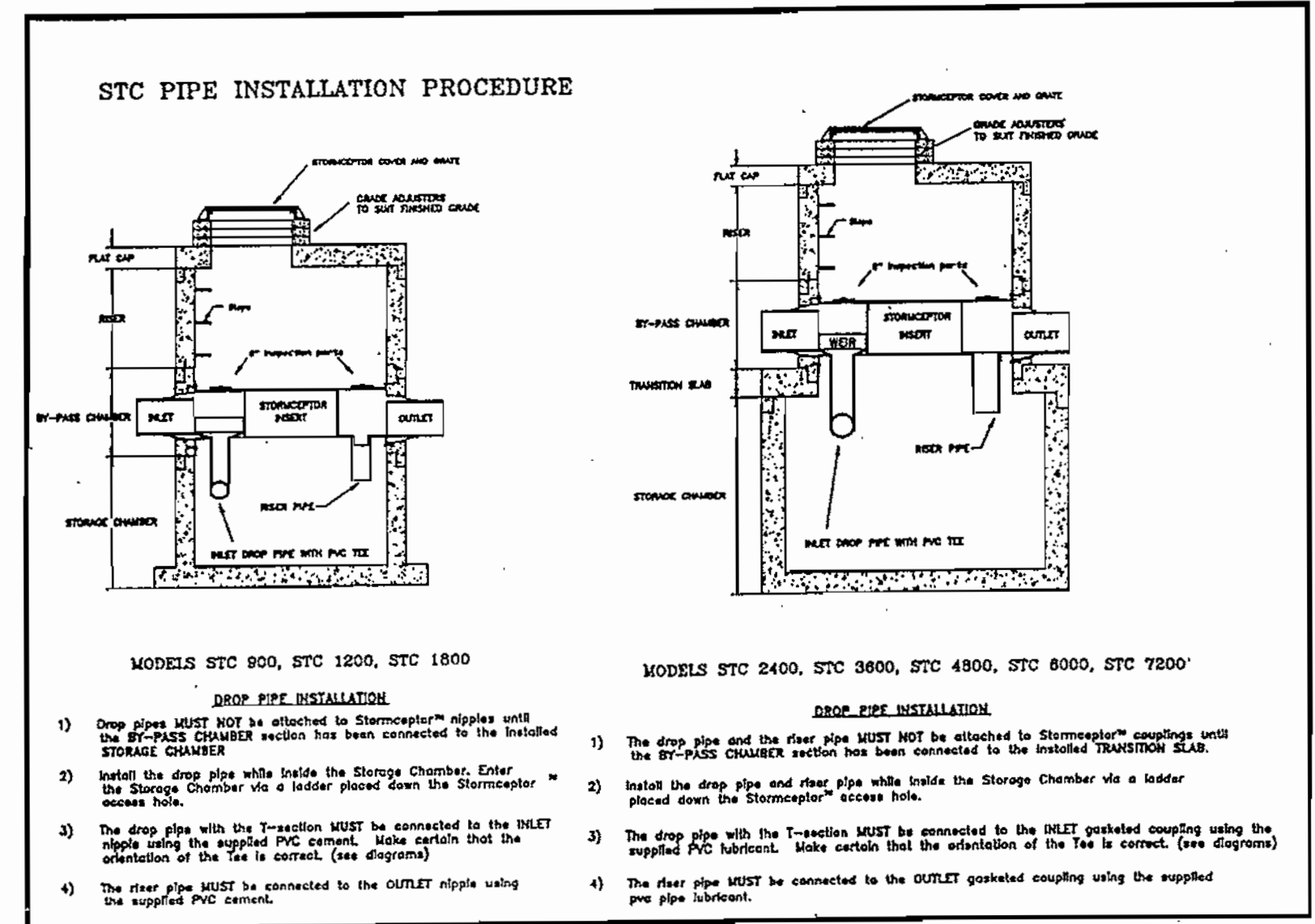
Please fax this sheet back to: Stormceptor Corp. at (301) 762-4190
Attention: Vincent H. Berg, P.E. (301) 762-8361

For technical assistance please call Stormceptor Corporation toll free at (800) 762-4703
All lifting apparatus to be provided by the installation contractor.

1 STORMCEPTOR STC 2400
SCALE: NTS

2 DROP CONNECTOR
SCALE: NTS

3 FORM STC 2400
SCALE: NTS



4 PIPE INSTALLATION PROCEDURE
SCALE: NTS

5 LIGHT FIXTURE DETAIL
SCALE: NTS

6 SAND TRAP AND OIL INTERCEPTOR
SCALE: NTS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: _____ DATE: 4/25/00

Chief, Division of Land Development: _____ DATE: 4/25/00

Director: _____ DATE: 4/28/00

BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 156 & 263
LIBER 37559, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
2085 YORK ROAD
TIMONIUM, MD 21093
(410) 252-8000

RBA
Group
ARCHITECTS • PLANNERS
Suite 205, Columbia, Maryland 21046
Phone (410) 312-0866, Fax 312-0867

REVISIONS
COUNTY COMMENTS 03/08/00

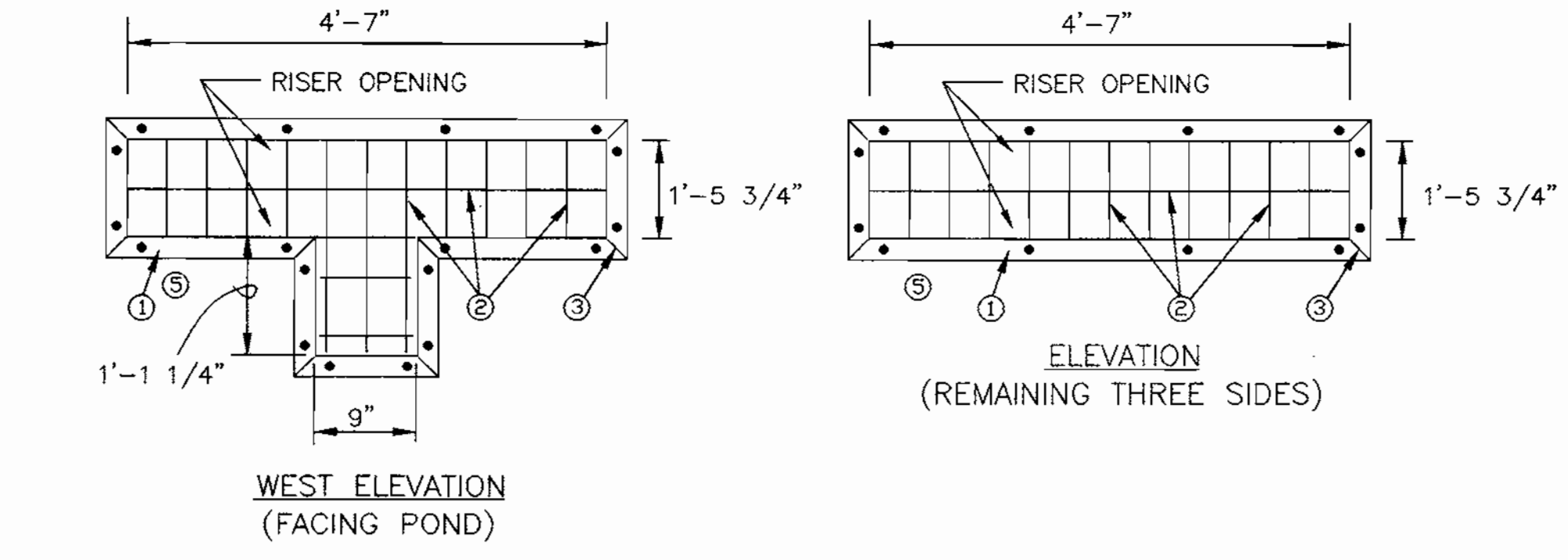
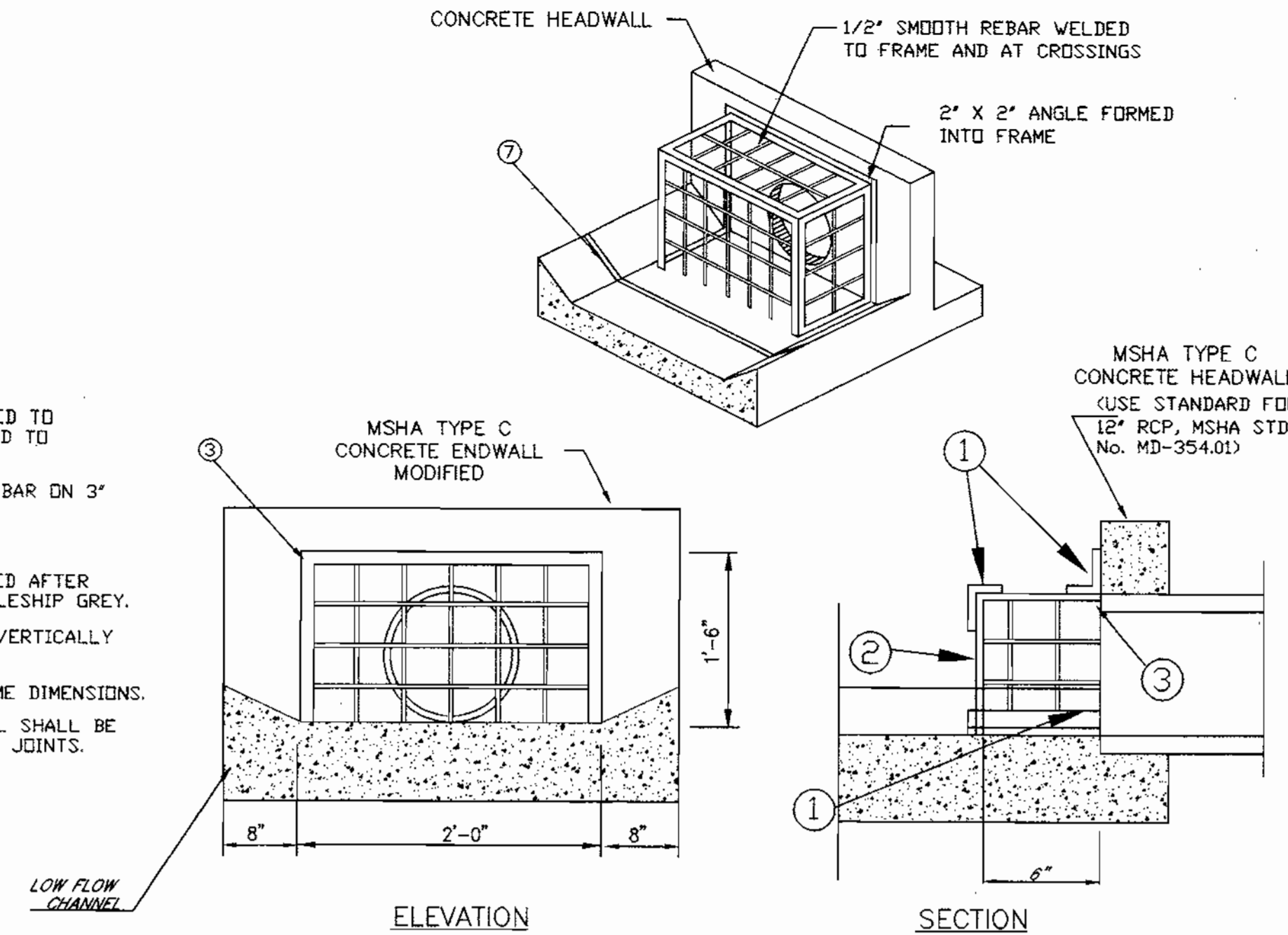
DATE: 01/12/99
JOB NUMBER: M2618.00
FILE NUMBER: 26180ET3
PLOTTED: 03/09/00
DRAWN BY: RJ

DETAILS III

SHEET C-8
8 of 20

- NOTES
- 2" x 2" METAL ANGLE FABRICATED TO THE GIVEN DIMENSIONS & BOLTED TO RISER EVERY 6 INCHES.
 - 1/2" METAL ROD OR SMOOTH RE-BAR ON 3" CENTERS WELDED TO FRAME.
 - WELDED
 - ALL MATERIAL TO BE GALVANIZED AFTER FABRICATION AND PAINTED BATTLESHIP GREY.
 - CENTER RACK HORIZONTALLY & VERTICALLY OVER OPENINGS.
 - DIMENSIONS ARE INSIDE OF FRAME DIMENSIONS.
 - ASPHALT JOINT FILLER MATERIAL SHALL BE PLACED BETWEEN ALL CONCRETE JOINTS.

1 LOW FLOW TRASH RACK
SCALE: NTS



2 HIGH STAGE TRASH RACK
SCALE: NTS

- NOTES
- 4" x 3" METAL ANGLE FABRICATED TO THE GIVEN DIMENSIONS & BOLTED TO RISER EVERY 24" MIN.
 - 1/2" METAL ROD OR SMOOTH RE-BAR ON 6" CENTERS WELDED TO FRAME.
 - WELDED
 - ALL MATERIAL TO BE GALVANIZED AFTER FABRICATION AND PAINTED BATTLESHIP GREY.
 - CENTER RACK HORIZONTALLY & VERTICALLY OVER OPENINGS.
 - DIMENSIONS ARE INSIDE OF FRAME DIMENSIONS.

OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE

- Stormceptor water quality structures will require periodic inspection and cleaning to maintain operation and function. Owners will have the Stormceptor unit inspected yearly or as required by Howard County, utilizing the Stormceptor Inspection/Monitoring Form. Inspections can be done by using a clear Plexiglas tube ("sludge judge") to extract a water column sample. When sediment depths exceed the specified level (Table 9 of Technical Manual), then cleaning of the unit is required.
- Stormceptor water quality structures must be checked and cleaned immediately after petroleum spills; contact the appropriate regulatory agencies.
- Maintenance of Stormceptor units should be done by a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons and other materials in unit. The proper cleaning and disposal of the removed materials and liquid must be followed.
- Inlet and outlet pipes must be checked for any obstructions and if any obstructions are found, they must be removed. Structural parts of the Stormceptor must be repaired as needed.
- Owner shall retain and make Stormceptor Inspection/Monitoring Forms available to Howard County officials upon request.

SITE AND IMPERVIOUS DRAINAGE AREA DATA		
SITE AREA (ACRES)	GREEN SPACE (ACRES)	IMPERVIOUS AREA (ACRES)
1.96	0.53	1.43

OPERATION AND MAINTENANCE SCHEDULE OF PRIVATELY OWNED AND MAINTAINED STORMWATER MANAGEMENT FACILITY - DETENTION POND 'CLASS C'

- ROUTINE MAINTENANCE**
- FACILITY SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHOULD BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE POND IS FUNCTIONING PROPERLY. INSPECTIONS SHALL BE COMPLETED IN ACCORDANCE WITH THE CHECKLIST AND REQUIREMENTS CONTAINED WITHIN USDA, SCS "STANDARDS AND SPECIFICATIONS FOR PONDS" (MD-378). THE POND OWNER(S) AND ANY HEIRS, SUCCESSORS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE SAFETY OF THE POND AND THE CONTINUED OPERATION, SURVEILLANCE, INSPECTION, AND MAINTENANCE THEREOF. THE POND OWNER(S) SHALL PROMPTLY NOTIFY THE SOIL CONSERVATION DISTRICT OF ANY UNUSUAL OBSERVATIONS OF DISTRESS SUCH AS EXCESSIVE SEEPAGE, TURBID SEEPAGE, SLIDING OR SLUMPING.
 - THE TOP AND SIDE SLOPES OF THE EMBANKMENT SHALL BE MOWED A MINIMUM OF TWO (2) TIMES A YEAR, ONCE IN JUNE AND ONCE IN SEPTEMBER. OTHER SLOPES SHOULD BE MOWED AS NEEDED.
 - DEBRIS AND LITTER NEXT TO THE OUTLET STRUCTURE AND WITHIN THE POND AREA SHALL BE REMOVED DURING PERIODIC INSPECTIONS AND AS NEEDED.
 - VISIBLE SIGNS OF EROSION IN THE POND AS WELL AS THE RIPRAP OUTLET AREA SHALL BE REPAIRED AS SOON AS IT IS NOTICED.

- NON-ROUTINE MAINTENANCE**
- STRUCTURAL COMPONENTS OF THE POND SUCH AS THE DAM, THE RISER, AND THE PIPES SHALL BE REPAIRED UPON THE DETECTION OF ANY DAMAGE. THE COMPONENTS SHOULD BE INSPECTED DURING ROUTINE MAINTENANCE OPERATIONS.
 - SEDIMENT SHOULD BE REMOVED WHEN ITS ACCUMULATION EXCEEDS THE FOREBAY VOLUME OR INTERFERES WITH THE FUNCTION OF THE RISER, WHEN DEEMED NECESSARY FOR AESTHETIC REASONS, OR WHEN DEEMED NECESSARY BY THE HOWARD COUNTY'S DEPARTMENT OF PUBLIC WORKS.

CERTIFICATION BY THE ENGINEER

"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

Mark H. Winkler 4-19-00
SIGNATURE OF ENGINEER DATE
PRINT NAME BELOW SIGNATURE

Cheryl Sumner 4/25/00
DATE
USDA-NATURAL RESOURCES CONSERVATION SERVICE

John A. ... 4/25/00
DATE
HOWARD SOIL CONSERVATION DISTRICT

CERTIFICATION BY THE DEVELOPER/BUILDER

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAY OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 4-19-00
SIGNATURE OF DEVELOPER/BUILDER DATE
PRINT NAME BELOW SIGNATURE

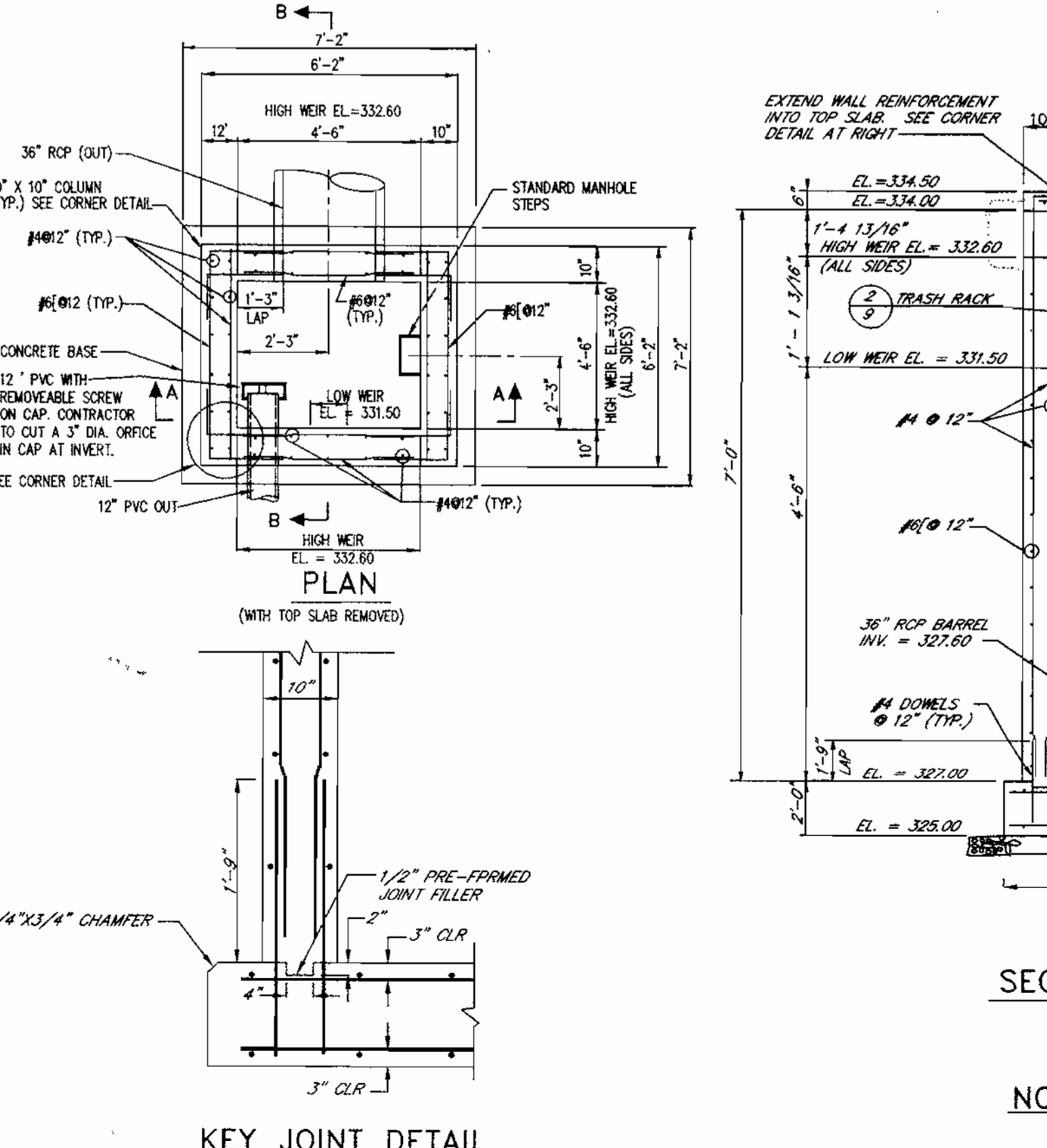
APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/25/00
DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 4/25/00
DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

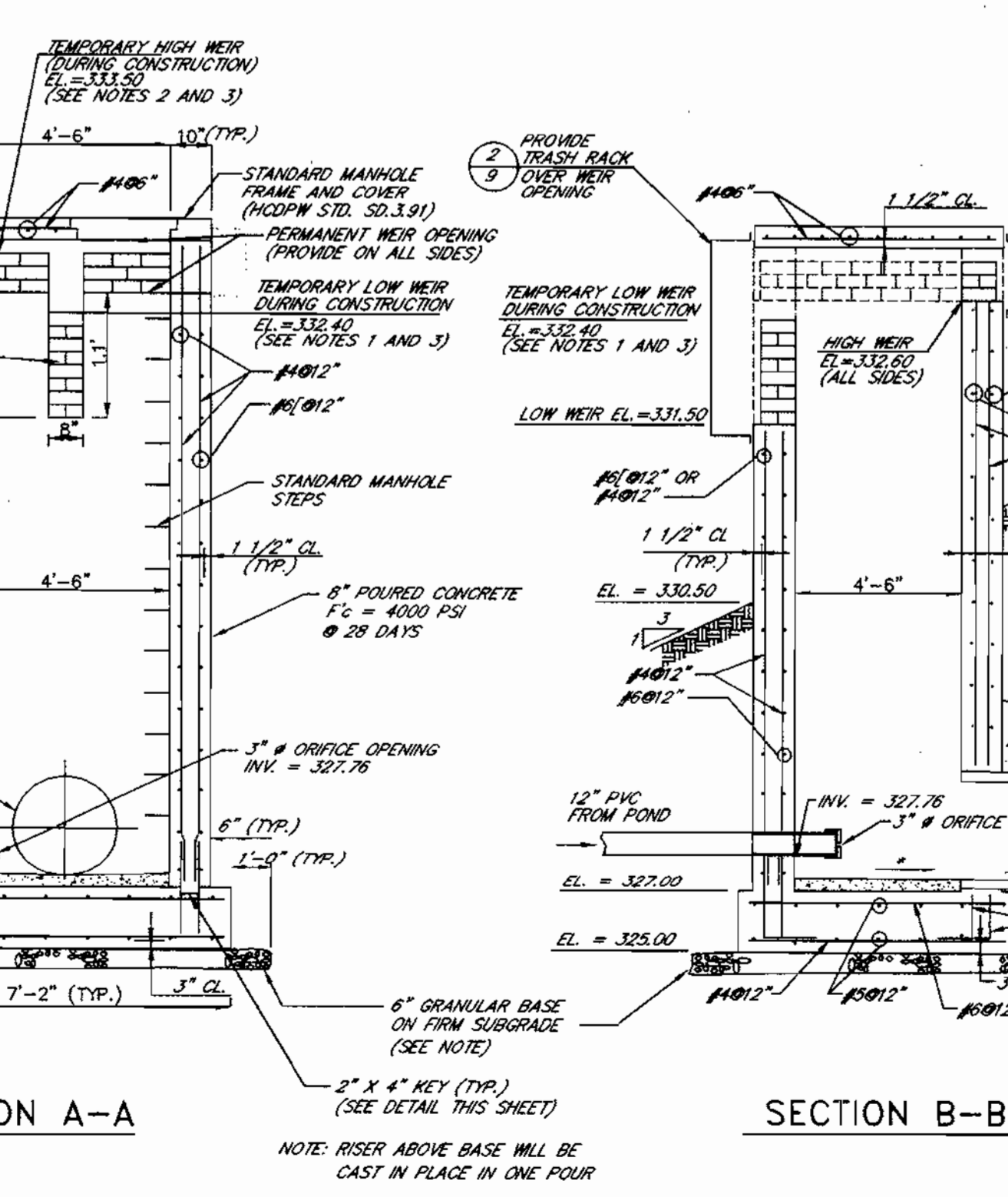
[Signature] 4/25/00
DATE
DIRECTOR

3 ANTI-SEEP COLLAR
SCALE: NTS



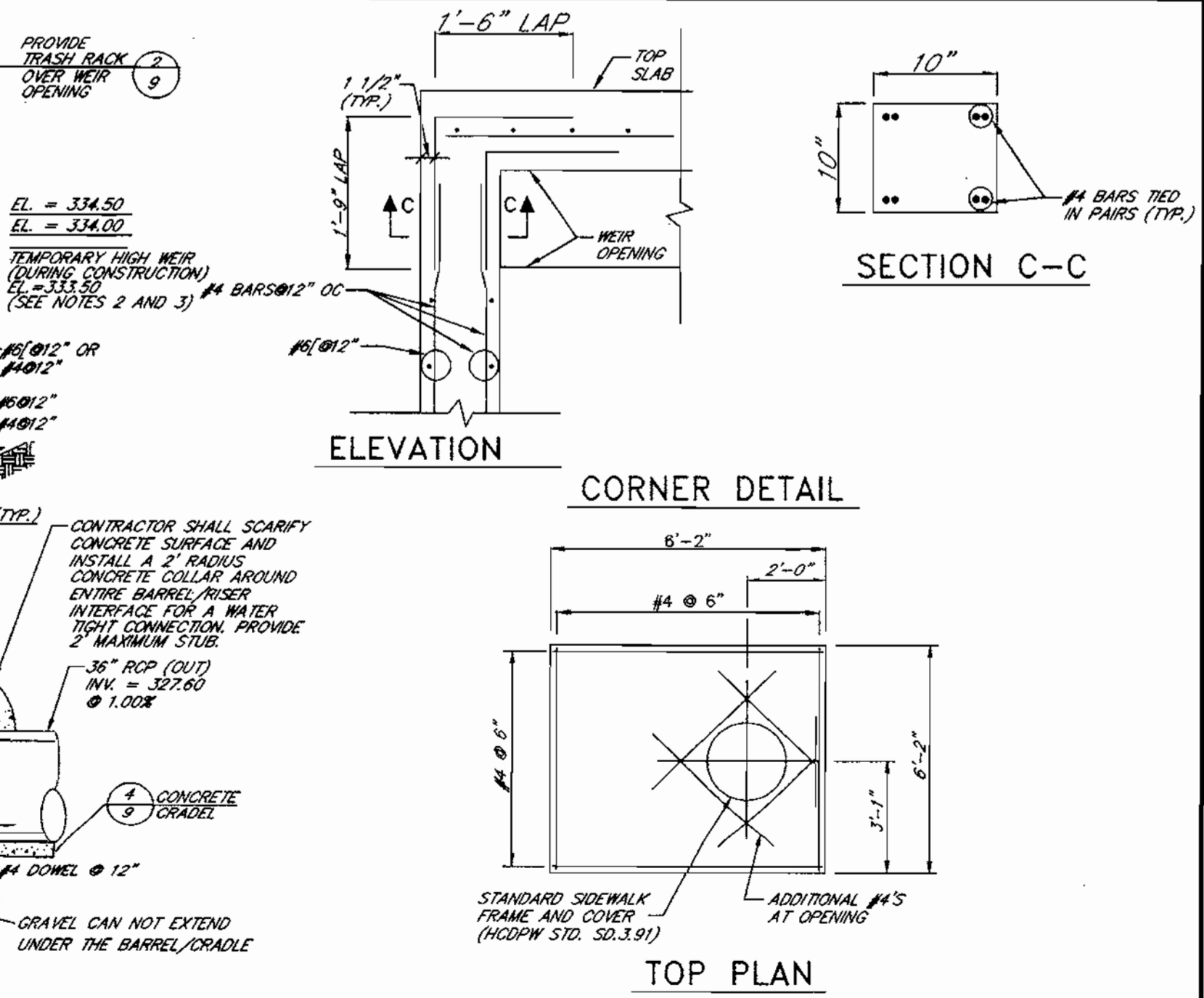
6 RISER/CONTROL STRUCTURE (PERMANENT AND TEMPORARY)
SCALE: NTS

4 CONCRETE CRADLE
SCALE: NTS



- NOTES
- AFTER INSTALLING CONTROL STRUCTURE TO PERMANENT DIMENSIONS, CONTRACTOR TO CLOSE THE LOW WEIR UTILIZING BRICK AND MORTAR TO ELEVATION 332.40. THIS BRICK-UP IS TO BE MAINTAINED FOR THE DURATION OF CONSTRUCTION UNTIL SITE HAS BEEN STABILIZED WITH FINAL GROUND COVER.
 - AFTER INSTALLING CONTROL STRUCTURE TO ITS PERMANENT DIMENSIONS, CONTRACTOR TO CLOSE THE HIGH WEIR ON ALL SIDES UTILIZING BRICK AND MORTAR TO ELEVATION 333.50. THIS BRICK-UP IS TO BE MAINTAINED FOR THE DURATION OF CONSTRUCTION UNTIL SITE HAS BEEN STABILIZED WITH FINAL GROUND COVER.
 - AT THE END OF CONSTRUCTION, CONTRACTOR TO REMOVE ALL BRICK AND MORTAR SO THAT THE LOW WEIR (8" WIDE) IS AT ELEVATION 331.50 AND THE HIGH WEIR (4'-6" OPENING ALL SIDES) IS AT ELEVATION 332.60.

5 LOW FLOW CHANNEL (CONCRETE)
SCALE: NTS



CERTIFICATION BY THE DEVELOPER/BUILDER

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAY OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 4-19-00
SIGNATURE OF DEVELOPER/BUILDER DATE
PRINT NAME BELOW SIGNATURE

SITE DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 166 & 263
LIBER 3759, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

OWNER:
BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
2085 YORK ROAD
TIMONIUM, MD 21093
(410) 252-8000

RBA-INC.
REGISTERED PROFESSIONAL ENGINEERS & ARCHITECTS • PLANNERS
7184 Columbia Gateway Drive
Suite 205, Columbia, Maryland 21046
Phone (410) 312-0660, Fax 312-0687

REVISIONS
COUNTY COMMENTS 03/08/00
COUNTY COMMENTS 04/19/00

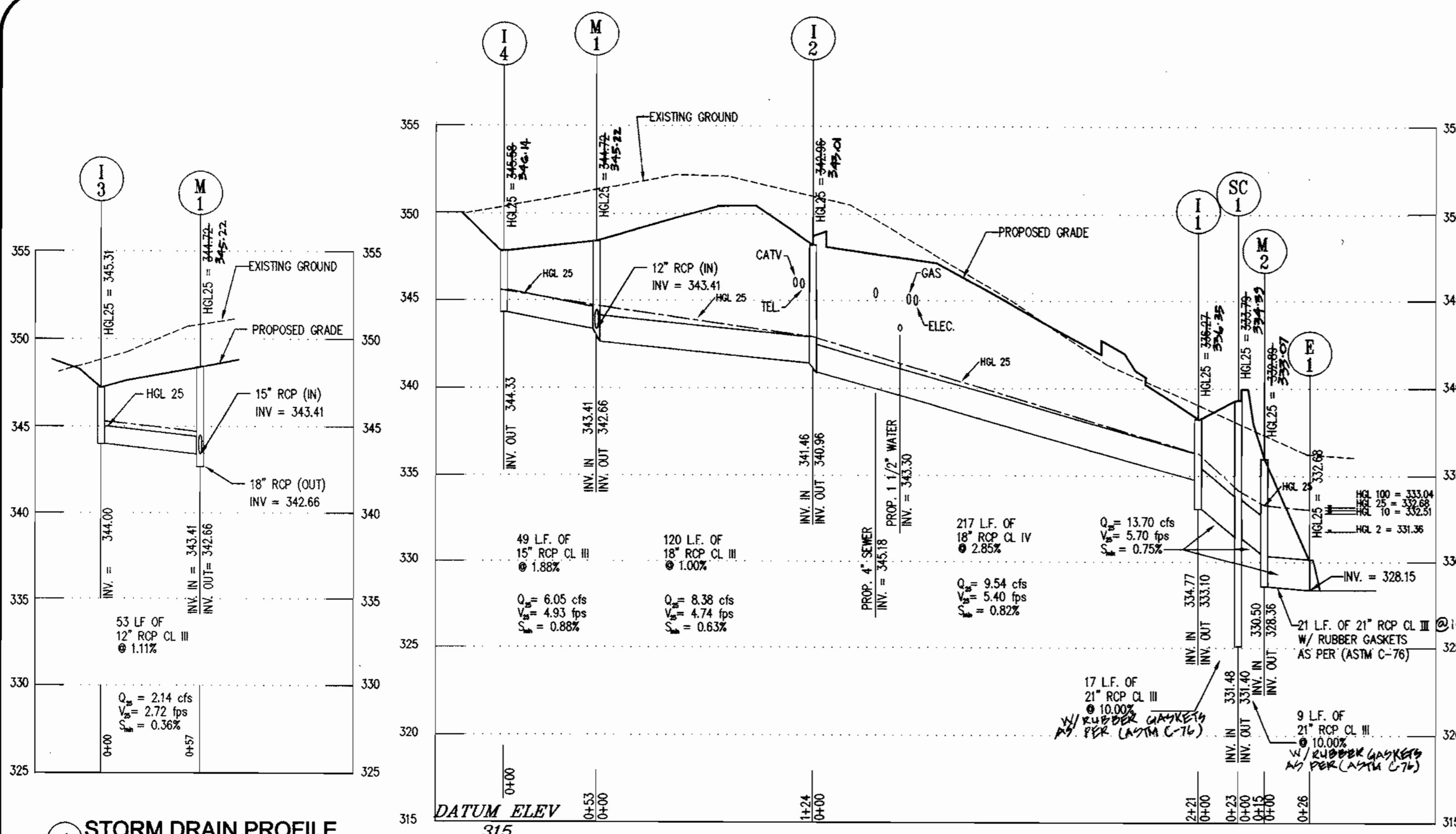
STATE OF MARYLAND
DEPARTMENT OF THE ENVIRONMENT
SOIL CONSERVATION DISTRICT

DATE: 01/12/99
JOB NUMBER: M2618.00
FILE NUMBER: 2618DE4
PLOTTED: 04/19/00
DRAWN BY: RJ

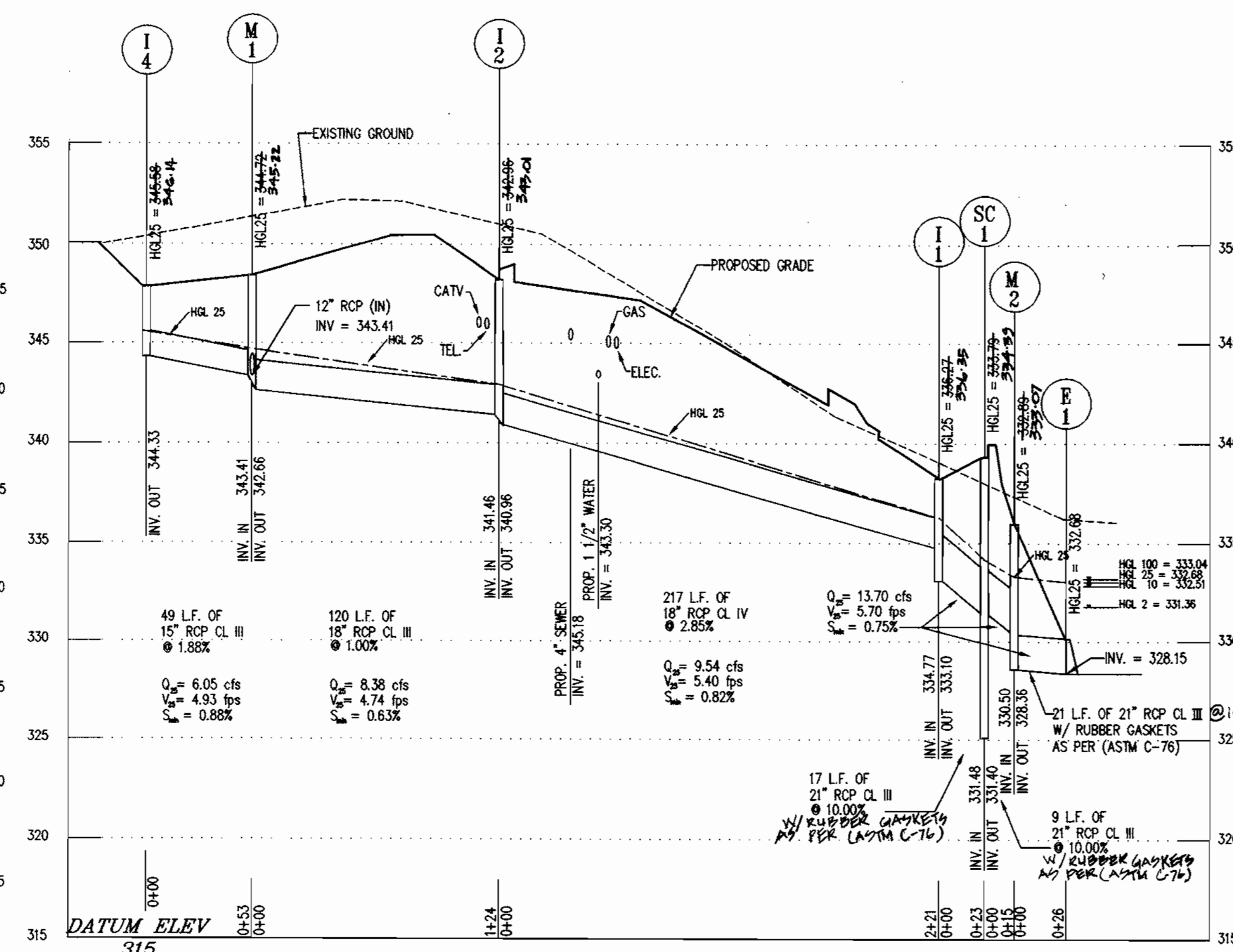
DATE: 01/12/99
JOB NUMBER: M2618.00
FILE NUMBER: 2618DE4
PLOTTED: 04/19/00
DRAWN BY: RJ

STORM WATER MANAGEMENT DETAILS

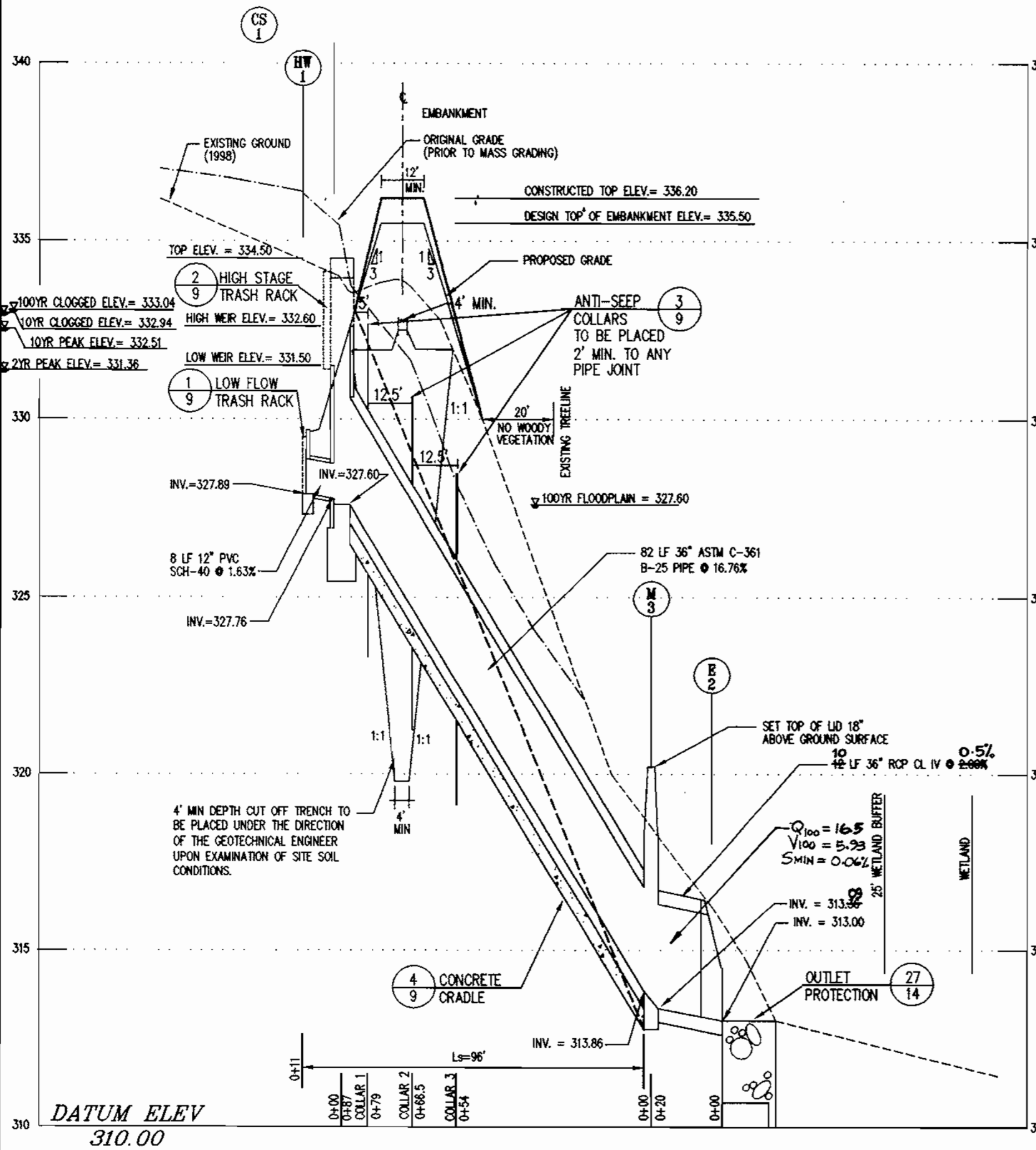
SHEET C-9
9 of 20



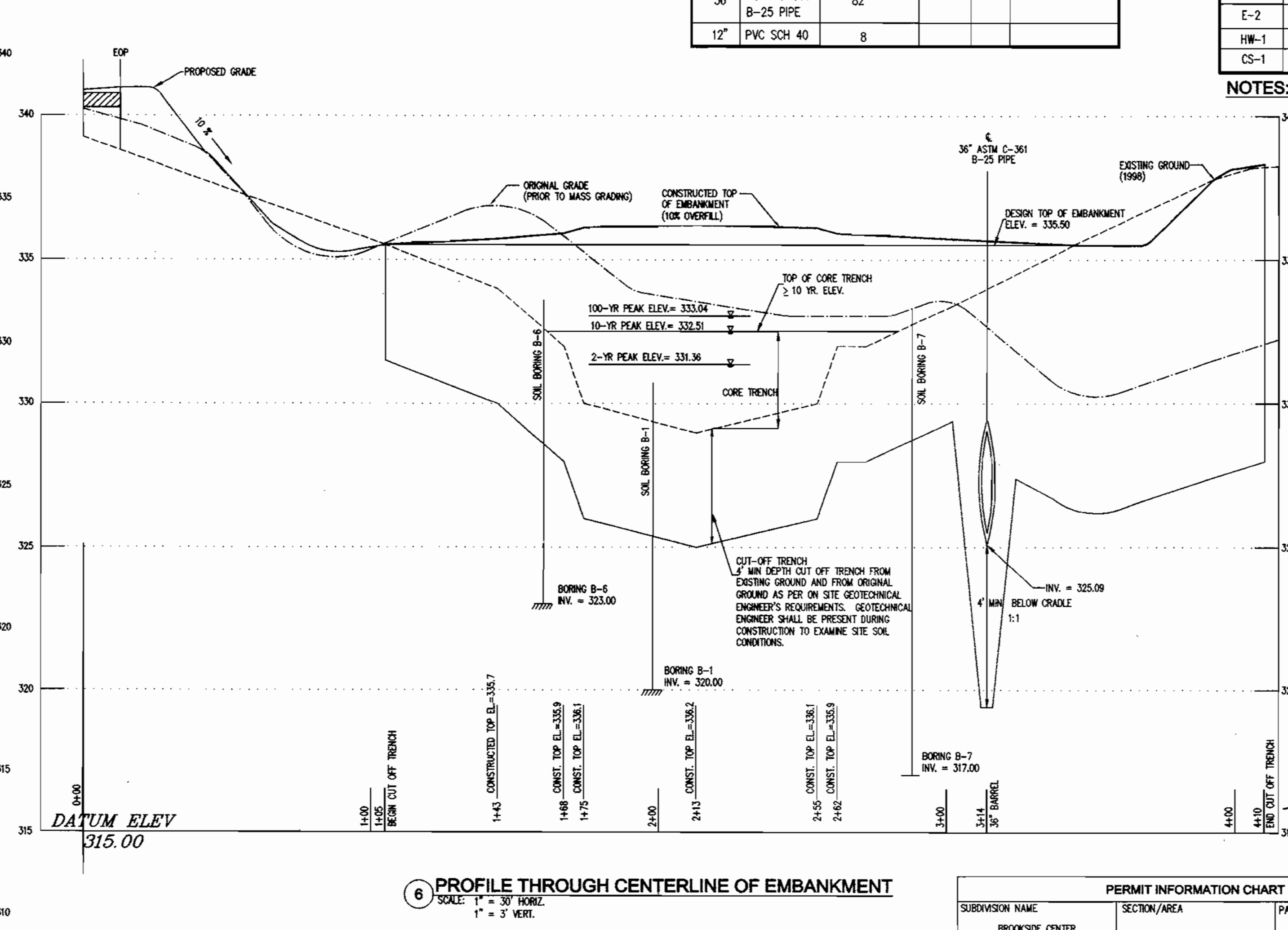
1 STORM DRAIN PROFILE
SCALE: 1" = 50' HORIZ.
1" = 5' VERT.



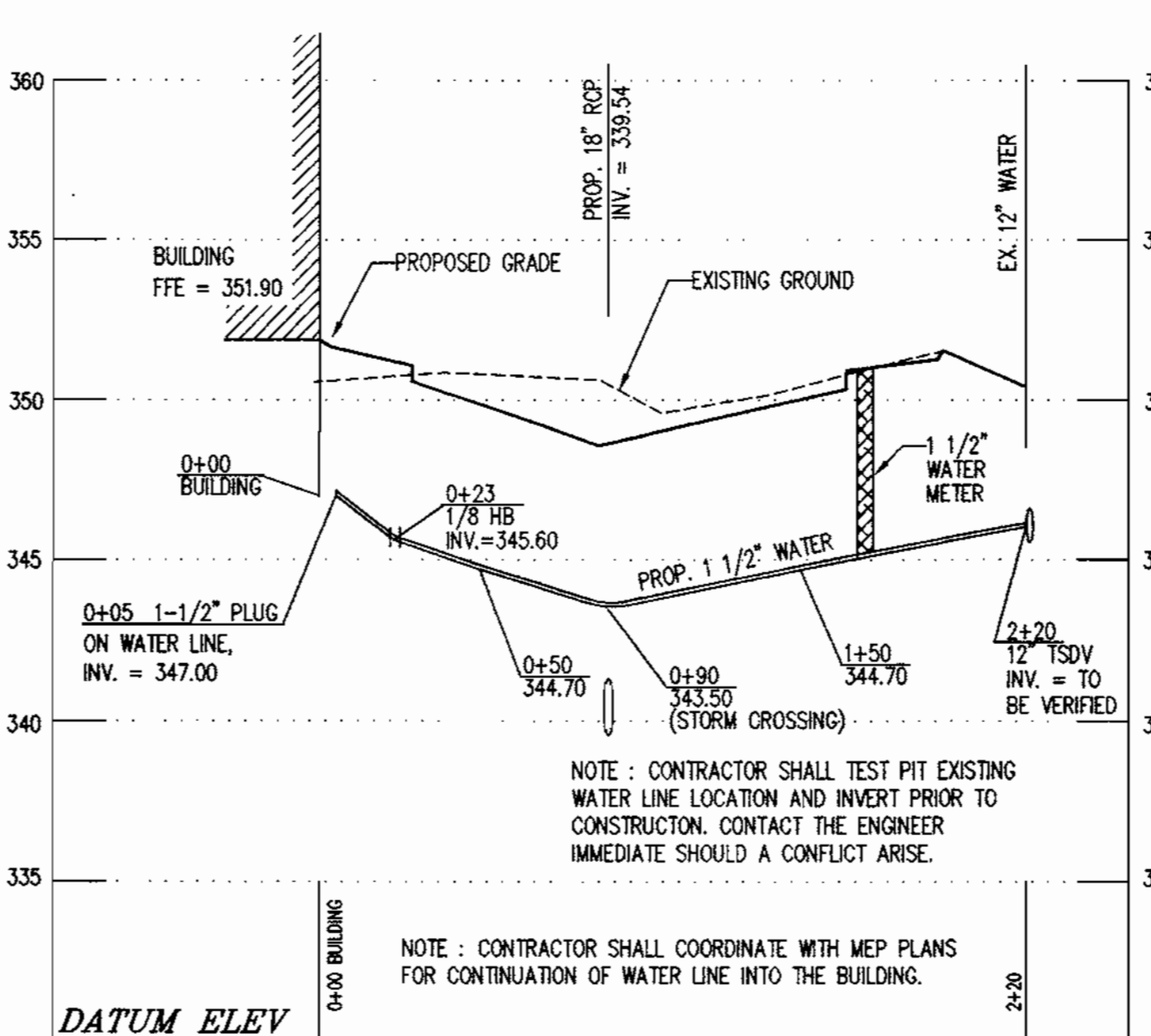
2 STORM DRAIN PROFILE
SCALE: 1" = 50' HORIZ.
1" = 5' VERT.



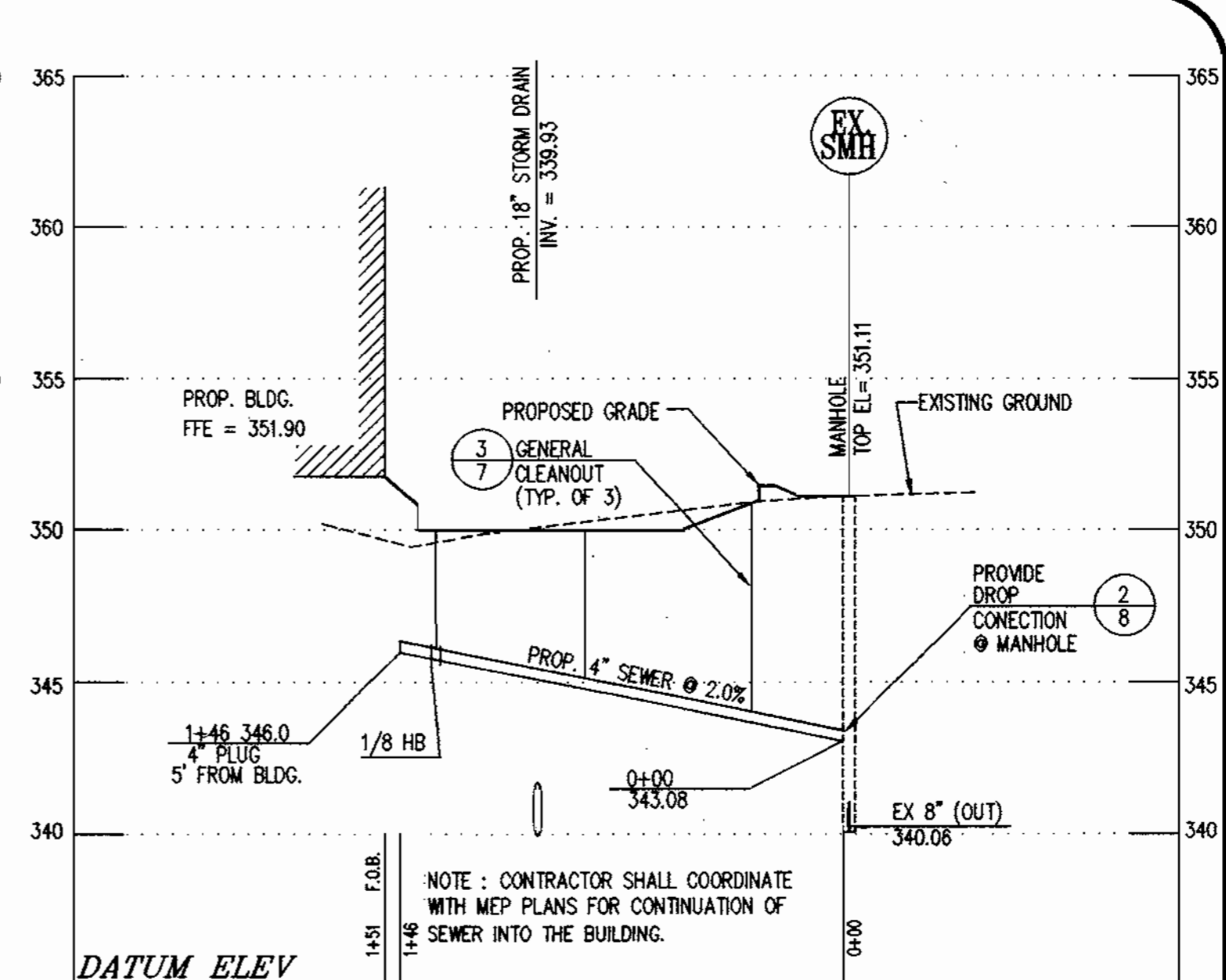
5 PROFILE THROUGH PRINCIPAL STRUCTURE
SCALE: 1" = 30' HORIZ.
1" = 3' VERT.



6 PROFILE THROUGH CENTERLINE OF EMBANKMENT
SCALE: 1" = 30' HORIZ.
1" = 3' VERT.



3 WATER LINE PROFILE
SCALE: 1" = 50' HORIZ.
1" = 5' VERT.



4 SEWER LINE PROFILE
SCALE: 1" = 50' HORIZ.
1" = 5' VERT.

PIPE SCHEDULE					
SIZE	TYPE	LINEAR FOOTAGE	SIZE	TYPE	LINEAR FOOTAGE
STORM DRAIN					
12"	RCP CL III	53	1 1/2"	COPP.	215
15"	RCP CL III	49	SEWER		
18"	RCP CL III	120	4"	PVC	146
18"	RCP CL IV	217			
21"	RCP CL III	47			
36"	RCP CL IV	42-10			
36"	ASTM C-361 B-25 PIPE	82			
12"	PVC SCH 40	8			

STRUCTURE SCHEDULE						
NUMBER	TYPE	LOCATION		TOP ELEVATION		REMARKS
		STATION	OFFSET	UPPER	LOWER	
I-1	TYPE "A-5" INLET	3+04	9 FT, RT	348.43	348.43	5'-0" x 2'-6" HO. CO. STD. SD 4.01
I-2	TYPE "A-5" INLET	0+83	9 FT, LT	349.00	349.00	5'-0" x 2'-6" HO. CO. STD. SD 4.01
I-3	TYPE "A-5" INLET	2+13	12 FT, RT	349.13	349.06	5'-0" x 2'-6" HO. CO. STD. SD 4.01
I-4	TYPE "A-5" INLET	0+83	30 FT, LT	348.43	348.43	5'-0" x 2'-6" HO. CO. STD. SD 4.01
M-1	PRECAST MANHOLE	0+31	19 FT, LT	TOP = 349.30	D = 4 FT	HO. CO. STD. SD G.5.11
M-2	PRECAST MANHOLE	3+24	19 FT, RT	TOP = 336.50	D = 4 FT	HO. CO. STD. SD G.5.11
M-3	PRECAST MANHOLE	SEE PLAN	SEE PLAN	TOP = 320.40	D = 5 FT	HO. CO. STD. SD G.5.11
SC-1	STORMCEPTOR SITC-2400	3+23	4 FT, RT	TOP = 339.31	D = 8 FT	STORMCEPTOR SITC-2400 SEE DETAIL 1 ON SHEET 3
E-1	END SECTION	SEE PLAN	SEE PLAN	INV = 328.15	D = 21"	HO. CO. STD. 5.51 (21")
E-2	END SECTION	SEE PLAN	SEE PLAN	INV = 313.00	D = 36"	HO. CO. STD. 5.51 (36")
HW-1	TYPE "C" ENDWALL	SEE PLAN	SEE PLAN	INV = 327.89	D = 12"	HO. CO. STD. SD 5.21
CS-1	CONTROL STRUCTURE	SEE PLAN	SEE PLAN	---	---	SEE DETAILS ON SHEET 9

NOTES: 1) ALL STRUCTURES ARE HOWARD COUNTY STANDARDS UNLESS NOTED OTHERWISE. REFER TO SHEET C-7 FOR DETAILS.
2) STATIONS ARE GIVEN TO CENTER OF STRUCTURE AT FACE OF CURB FOR CURB INLETS AND TO CENTER OF STRUCTURE FOR ALL OTHER STRUCTURES.
3) ELEVATIONS ARE GIVEN TO TOP OF CURB FOR CURB INLETS, TOP OF GRATE FOR GRATE INLETS AND TOP OF LID FOR MANHOLES.

CERTIFICATION BY THE ENGINEER

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

Walter H. Morlock
SIGNATURE OF ENGINEER
PRINT NAME BELOW SIGNATURE
DATE: 4-19-00

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

Paul S. ...
SIGNATURE OF HOWARD SOIL CONSERVATION SERVICE
DATE: 4/25/00

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Walter H. Morlock
SIGNATURE OF HOWARD SOIL CONSERVATION DISTRICT
DATE: 4/25/00

CERTIFICATION BY THE DEVELOPER/BUILDER

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Walter H. Morlock
SIGNATURE OF DEVELOPER
PRINT NAME BELOW SIGNATURE
DATE: 4-19-00

PERMIT INFORMATION CHART					
SUBDIVISION NAME	BROOKSIDE CENTER		SECTION/AREA	PARCEL #	
PLAT NO.	14192 + 13219	BLOCK NO.	24	ZONING	B-2
TAX MAP	17	ELECTION DIST.	2nd	CENSUS TRACT	6026
WATER CODE	F01	SEWER CODE	1452900		

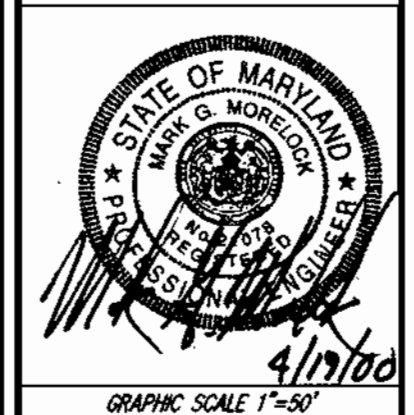
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>K. ...</i>	4/25/00
<i>Cindy ...</i>	4/28/00
<i>Paul ...</i>	4/28/00

SITE DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 156 & 263
LIBER 3759, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

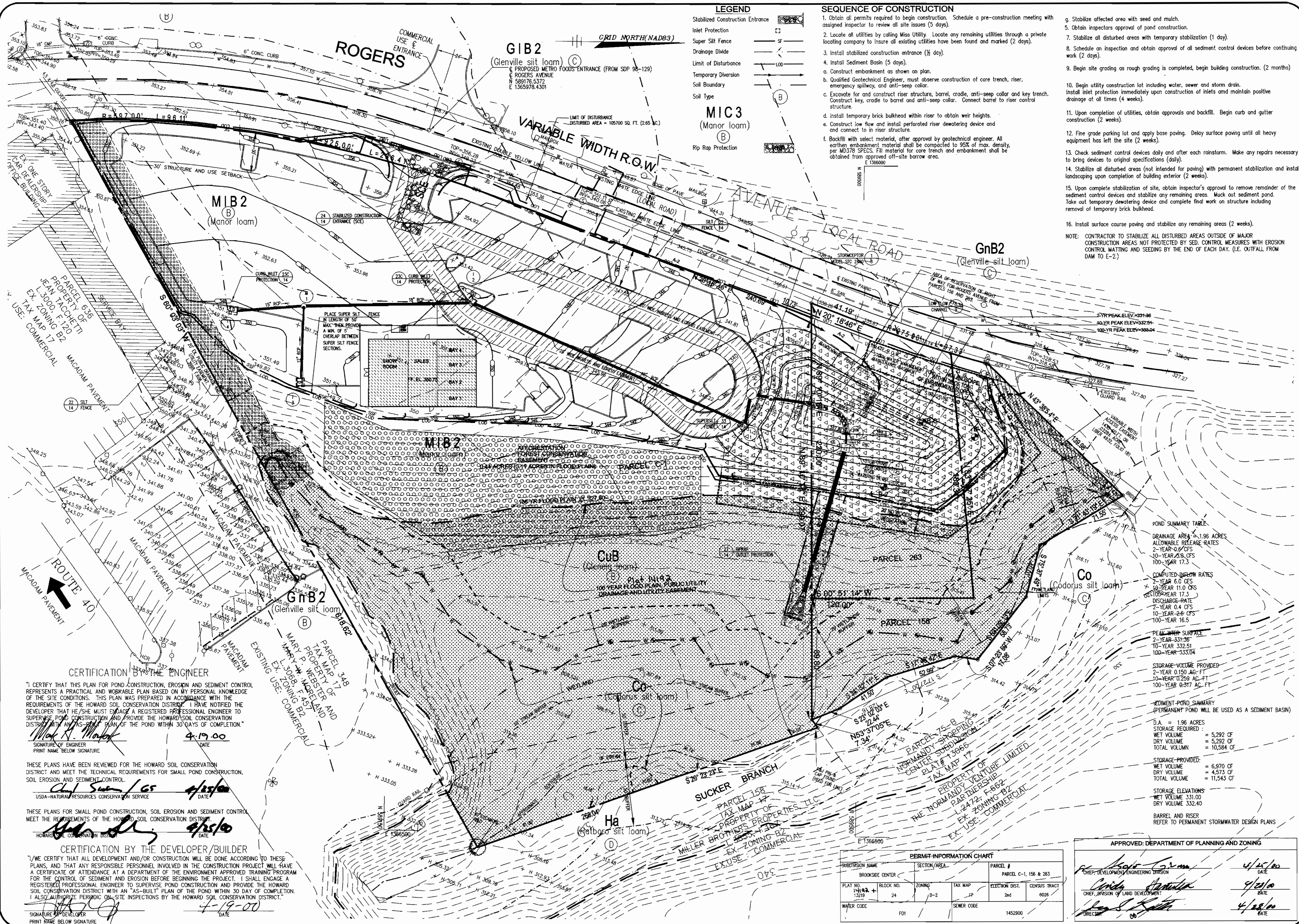
OWNER:
BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
2085 YORK ROAD
TIMONIUM, MD 21093
(410) 252-8000

The **RBA** Group
ENGINEERS • ARCHITECTS • PLANNERS
7164 Columbia Gateway Drive
Suite 200, Columbia, Maryland 21046
Phone (410) 326-0888, Fax 318-9887

REVISIONS	
COUNTY COMMENTS	03/08/00



DATE:	11/15/99
JOB NUMBER:	M2618.00
FILE NUMBER:	2618PROF
PLOTTED:	03/07/00
DRAWN BY:	MP
PROFILES	
SHEET	C-11
	11 of 20



LEGEND

- Stabilized Construction Entrance
- Inlet Protection
- Super Silt Fence
- Drainage Divide
- Limit of Disturbance
- Temporary Diversion
- Soil Boundary
- Soil Type

- SEQUENCE OF CONSTRUCTION**
- Obtain all permits required to begin construction. Schedule a pre-construction meeting with assigned inspector to review all site issues (5 days).
 - Locate all utilities by calling Miss Utility. Locate any remaining utilities through a private locating company to insure all existing utilities have been found and marked (2 days).
 - Install stabilized construction entrance (1/2 day).
 - Install Sediment Basin (5 days).
 - Construct embankment as shown on plan.
 - Qualified Geotechnical Engineer, must observe construction of core trench, riser, emergency spillway, and anti-seep collar.
 - Excavate for and construct riser structure, barrel, cradle, anti-seep collar and key trench. Construct key, cradle to barrel and anti-seep collar. Connect barrel to riser control structure.
 - Install temporary brick bulkhead within riser to obtain weir heights.
 - Construct low flow and install perforated riser dewatering device and connect to in riser structure.
 - Backfill with select material, after approval by geotechnical engineer. All earthen embankment material shall be compacted to 95% of max. density, per MD378 SPECS. Fill material for core trench and embankment shall be obtained from approved off-site borrow area.
 - Stabilize affected area with seed and mulch.
 - Obtain inspectors approval of pond construction.
 - Stabilize all disturbed areas with temporary stabilization (1 day).
 - Schedule an inspection and obtain approval of all sediment control devices before continuing work (2 days).
 - Begin site grading as rough grading is completed, begin building construction. (2 months)
 - Qualified Geotechnical Engineer, must observe construction of core trench, riser, emergency spillway, and anti-seep collar.
 - Excavate for and construct riser structure, barrel, cradle, anti-seep collar and key trench. Construct key, cradle to barrel and anti-seep collar. Connect barrel to riser control structure.
 - Install temporary brick bulkhead within riser to obtain weir heights.
 - Construct low flow and install perforated riser dewatering device and connect to in riser structure.
 - Backfill with select material, after approval by geotechnical engineer. All earthen embankment material shall be compacted to 95% of max. density, per MD378 SPECS. Fill material for core trench and embankment shall be obtained from approved off-site borrow area.
 - Stabilize affected area with seed and mulch.
 - Obtain inspectors approval of pond construction.
 - Stabilize all disturbed areas with temporary stabilization (1 day).
 - Schedule an inspection and obtain approval of all sediment control devices before continuing work (2 days).
 - Begin site grading as rough grading is completed, begin building construction. (2 months)
 - Qualified Geotechnical Engineer, must observe construction of core trench, riser, emergency spillway, and anti-seep collar.
 - Excavate for and construct riser structure, barrel, cradle, anti-seep collar and key trench. Construct key, cradle to barrel and anti-seep collar. Connect barrel to riser control structure.
 - Install temporary brick bulkhead within riser to obtain weir heights.
 - Construct low flow and install perforated riser dewatering device and connect to in riser structure.
 - Backfill with select material, after approval by geotechnical engineer. All earthen embankment material shall be compacted to 95% of max. density, per MD378 SPECS. Fill material for core trench and embankment shall be obtained from approved off-site borrow area.

NOTE: CONTRACTOR TO STABILIZE ALL DISTURBED AREAS OUTSIDE OF MAJOR CONSTRUCTION AREAS NOT PROTECTED BY SED. CONTROL MEASURES WITH EROSION CONTROL MATTING AND SEEDING BY THE END OF EACH DAY. (I.E. OUTFALL FROM DAM TO E-2.)

POND SUMMARY TABLE

DRAINAGE AREA	1.96 ACRES
ALLOWABLE RELEASE RATES	
2-YEAR 0.6 CFS	
10-YEAR 0.8 CFS	
100-YEAR 17.3 CFS	
COMPUTED INFLOW RATES	
2-YEAR 6.0 CFS	
10-YEAR 11.0 CFS	
100-YEAR 17.3 CFS	
DISCHARGE RATE	
2-YEAR 0.4 CFS	
10-YEAR 2.0 CFS	
100-YEAR 16.5 CFS	
PEAK WATER SURFACE	
2-YEAR 331.36'	
10-YEAR 332.51'	
100-YEAR 333.04'	
STORAGE VOLUME PROVIDED	
2-YEAR 0.150 AC-FT	
10-YEAR 0.258 AC-FT	
100-YEAR 0.317 AC-FT	
SEDIMENT POND SUMMARY	
(PERMANENT POND WILL BE USED AS A SEDIMENT BASIN)	
D.A. = 1.96 ACRES	
STORAGE REQUIRED:	
WET VOLUME = 5,292 CF	
DRY VOLUME = 5,292 CF	
TOTAL VOLUME = 10,584 CF	
STORAGE PROVIDED:	
WET VOLUME = 6,970 CF	
DRY VOLUME = 4,573 CF	
TOTAL VOLUME = 11,543 CF	
STORAGE ELEVATIONS:	
WET VOLUME 331.00'	
DRY VOLUME 332.40'	
BARREL AND RISER	
REFER TO PERMANENT STORMWATER DESIGN PLANS	

CERTIFICATION BY THE ENGINEER

I, CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST EMPLOY A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

Mark A. Marlow 4-19-00
SIGNATURE OF ENGINEER DATE
PRINT NAME BELOW SIGNATURE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

Chad Swain/GS 4/25/00
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Howard Soil Conservation Dist. 4/25/00
HOWARD SOIL CONSERVATION DISTRICT DATE

CERTIFICATION BY THE DEVELOPER/BUILDER

I, WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAY OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Mark A. Marlow 4-19-00
SIGNATURE OF DEVELOPER DATE
PRINT NAME BELOW SIGNATURE

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL #
BROOKSIDE CENTER		PARCEL C-1, 156 & 263
PLAT NO. 14102 + 13219	BLOCK NO. 24	ZONING B-2
TAX MAP 17	ELECTION DIST. 2nd	CENSUS TRACT 6026
WATER CODE FO1	SEWER CODE	1452900

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chad Swain/GS 4/25/00
CHIEF DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Swain/GS 4/25/00
CHIEF DIVISION OF LAND DEVELOPMENT DATE

Mark A. Marlow 4/25/00
DIRECTOR DATE

OWNER: BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
2085 YORK ROAD
TIMONIUM, MD 21083
(410) 252-8000

DEVELOPMENT PLANS FOR: BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 156 & 263
LIBER 37359, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

REVISIONS

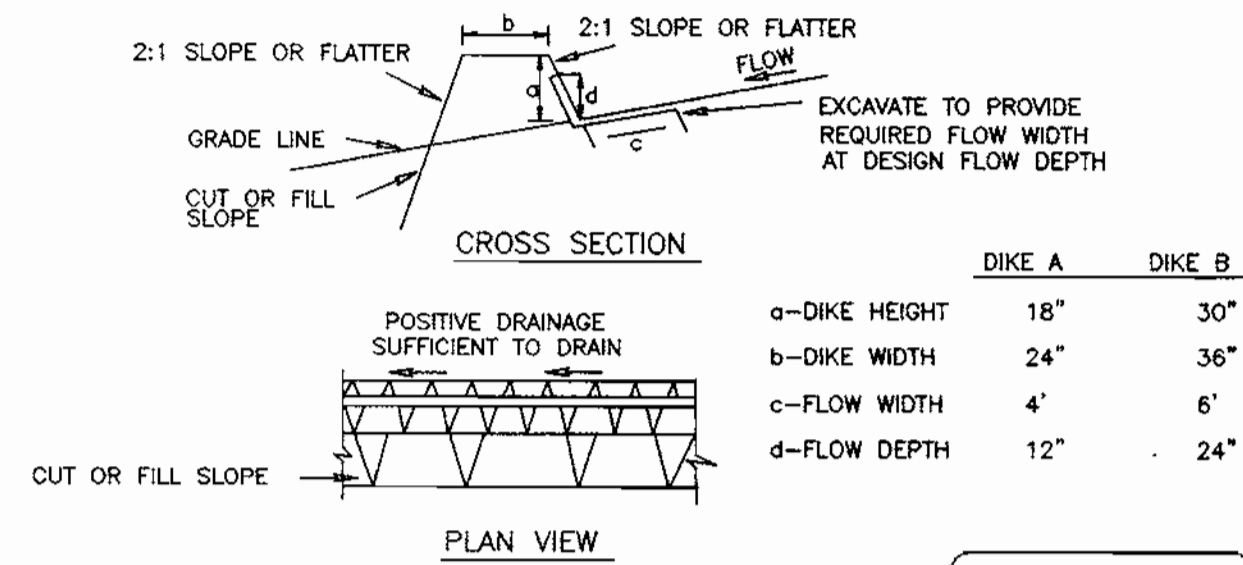
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JOB NUMBER	M2618
FILE NUMBER	2618BASE
PLOTTED	03/09/00
DRAWN BY	RJ

SEDIMENT CONTROL PLAN

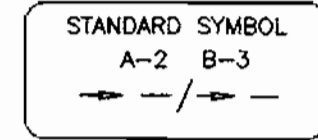
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12 OF 20

SNP-00-00 2618 D 05

DETAIL 1 - EARTH DIKE



	DIKE A	DIKE B
a-DIKE HEIGHT	18"	30"
b-DIKE WIDTH	24"	36"
c-FLOW WIDTH	4'	6'
d-FLOW DEPTH	12"	24"



- Seed and cover with straw mulch.
- Seed and cover with Erosion Control Matting or line with sod.
- 4" - 7" stone or recycled concrete equivalent pressed into the soil 7" minimum.

Construction Specifications

- All temporary earth dikes shall have uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
- Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
- Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area at a non-erosive velocity.
- All trees, brush, stumps, obstructions, and other objectional material shall be removed and disposed of so as not to interfere with the proper functioning of the dike.
- The dike shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede normal flow.
- Fill shall be compacted by earth moving equipment.
- All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike.
- Inspection and maintenance must be provided periodically and after each rain event.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE A-1-6 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

Table 24 Maintenance Fertilization for Permanent Seedings
Use Soil Test Results or Rates Shown Below

Seeding Mixture	Type	lb/ac	lb/1000 sq ft	Time	Mowing
Tall fescue makes up 70% or more of cover	10-10-10 or 30-15-15	500	11.5	Yearly or as needed. Fall	Not closer than 3" if occasional mowing is desired
Crownvetch Sericea Lespedeza Birdfoot Trefoil	0-20-0	400	9.2	Spring, the year following establishment and every 4-5 years thereafter	Do not mow crownvetch
Fairly uniform stand of tall fescue and sericea lespedeza, or birdfoot trefoil	5-10-10	500	11.5	Fall the year following establishment and every 4-5 years thereafter	Not required, no closer than 4" in the fall after seed has matured
Weeping lovegrass & sericea lespedeza	5-10-10	500	11.5	Spring, the year following establishment and every 3-4 years thereafter	Not required, no closer than 4" in the fall after seed has matured
Red & chewings fescue, Kentucky bluegrass, hard fescue mixtures	20-10-10	250	5.8	September, 30 days later, December, May 20, June 30, if needed	Not no closer than 2" for red fescue and K. bluegrass, 3" for fescue

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Table 26 Temporary Seeding Rates, Depths, and Dates

SPECIES	MINIMUM SEEDING RATES PER ACRE	PLANTING DEPTH INCHES	HARDNESS ZONES* AND SEEDING DATES**														
			7a and 7b		8a		8b		8c		8d		8e				
CHOOSE ONE: BARLEY OATS RYE*	2.5 BU. (122lb) or 3 BU. (90lb) or 2.5 BU. (140lb)	2.80 2.21 3.22	1-2	X	-	X	-	X	-	X	-	X	-	X	-	X	-
BARLEY OR RYE PLUS FOXTAIL MILLET*	150 lbs	3.45	1	X	X	X	X	X	X	X	X	X	X	X	X	X	X
WEEDING LOVEGRASS*	4 lbs	.09	1/4-1/2	-	X	-	-	X	-	-	-	X	-	-	-	X	-
ANNUAL RYEGRASS	50 lbs	1.15	1/4-1/2	X	-	-	11/1	X	-	-	11/1	X	-	-	-	8/15	-
MILLET*	50 lbs	1.15	1/2	-	X	-	-	X	-	-	X	-	-	-	-	X	-

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- * Applicable on slopes of 3:1 or flatter
- ** Refer to Figure A - Adopted from USDA, ARS Miscellaneous Publication #1475, January 1980
- ** Between fall and spring seeding dates, use mulch only if ground is frozen and reseed when thawed
- ** May be used as a nurse crop for late fall/early winter permanent seedings, add 56 lbs/ac to the permanent seeding mixture
- ** Maryland State Highway Administration Temporary Seed Mix
- ** May be used as a nurse crop for mid-summer permanent seedings. Add 2 lbs/ac to permanent seed mix.
- ** May be used as a nurse crop for mid-summer permanent seedings. Add 10 lbs/ac to the permanent seeding mix.

Table 25 Permanent Seeding for Low Maintenance Areas (Cont'd)

MIX	SEED MIX (USE CERTIFIED MATERIAL IF AVAILABLE)	PLANTING RATE LBS/AC	SITE CONDITIONS	RECOMMENDED PLANTING DATES														
				3/15-5/15	5/15-7/15	7/15-9/15	9/15-11/15	11/15-1/15	1/15-3/15	3/15-5/15	5/15-7/15	7/15-9/15	9/15-11/15	11/15-1/15				
7	TALL FESCUE (83%), WEEDING LOVEGRASS (2%) PLUS SERICEA LESPEDEZA (15%)	110 3 20	DRY TO VERY DRY	5b	X	X	X	X	X	X	X	X	X	X	X	X	X	
	8	REED CANARYGRASS (75%), REDTOP (5%) PLUS BIRDFOOT TREFLOL* (15%)	40 3 10	WET TO MODERATELY DRY	5b	X	X	X	X	X	X	X	X	X	X	X	X	X
		9	TALL FESCUE (86%), POA TRIVIALIS (7%), BIRDFOOT TREFLOL (7%)	125 10 10	WET TO MODERATELY DRY	5b	X	X	X	X	X	X	X	X	X	X	X	X
			10	TALL FESCUE (80%), HARD FESCUE (20%)	120 30	MOIST TO DRY	5b	X	X	X	X	X	X	X	X	X	X	X
11	HARD FESCUE (100%)	.75		MOIST TO DRY	5b	X	X	X	X	X	X	X	X	X	X	X	X	

- NOTES: G/WEEDING LOVEGRASS MAY BE SEEDING WITH TALL FESCUE IN MID-SUMMER. SERICEA LESPEDEZA IS BEST SUITED FOR ZONES 7a and 7b.
- H/USE ON POORLY DRAINAGE SOILS-DITCHES OR WATERWAYS. BIRDFOOT TREFLOLS BEST FOR ZONES 5b, 6a, ABOVE 2,000 FT.
- I/USE IN AREAS OF MOST SHADE. POA TRIVIALIS THRIVES IN WET SHADY AREAS.
- J/TALL FESCUE MAY BE SEEDING ALONE. THE HARD FESCUE PROVIDES BETTER SHADE TOLERANCE AND PRODUCES A BETTER STAND.
- K/LOW FERTILITY GRASS. REQUIRES INFREQUENT MOWING, GOOD COMPANION FOR WILDFLOWERS.

G-20-19

Table 25 Permanent Seeding for Low Maintenance Areas

MIX	SEED MIX (USE CERTIFIED MATERIAL IF AVAILABLE)	PLANTING RATE LBS/AC	SITE CONDITIONS	RECOMMENDED PLANTING DATES													
				3/15-5/15	5/15-7/15	7/15-9/15	9/15-11/15	11/15-1/15	1/15-3/15	3/15-5/15	5/15-7/15	7/15-9/15	9/15-11/15	11/15-1/15			
1	TALL FESCUE (75%), CANADA BLUEGRASS (10%), KENTUCKY BLUEGRASS (10%), REDTOP (5%)	150	3.4	MOIST TO DRY	5b	X	X	X	X	X	X	X	X	X	X	X	X
					6a	X	X	X	X	X	X	X	X	X	X	X	
					6b	X	X	X	X	X	X	X	X	X	X	X	
					7a	X	X	X	X	X	X	X	X	X	X	X	
2	KENTUCKY BLUEGRASS (50%), CREEPING RED FESCUE OR A HARD FESCUE (40%), REDTOP (10%)	150	3.4	MOIST TO MODERATELY DRY TO DRY	5b	X	X	X	X	X	X	X	X	X	X	X	X
					6a	X	X	X	X	X	X	X	X	X	X	X	
					6b	X	X	X	X	X	X	X	X	X	X	X	
					7b	X	X	X	X	X	X	X	X	X	X	X	
3	TALL FESCUE (85%), PERENNIAL RYEGRASS (10%), KENTUCKY BLUEGRASS (5%)	125 15 10	2.9 .34 .23	MOIST TO DRY	5b	X	X	X	X	X	X	X	X	X	X	X	X
					6a	X	X	X	X	X	X	X	X	X	X		
					6b	X	X	X	X	X	X	X	X	X	X	X	
					7a	X	X	X	X	X	X	X	X	X	X	X	
4	RED FESCUE OR CHEWINGS FESCUE (80%), PERENNIAL RYEGRASS (20%)	60 60 15	.92 .92 .34	MOIST TO DRY	5b	X	X	X	X	X	X	X	X	X	X	X	X
					6a	X	X	X	X	X	X	X	X	X	X		
					6b	X	X	X	X	X	X	X	X	X	X	X	
					7a	X	X	X	X	X	X	X	X	X	X	X	
5	TALL FESCUE (85%) OR PERENNIAL RYEGRASS (50%) PLUS CROWNVECH OR FLATPEA	110 20 20 20	2.5 .46 .46 .46	MOIST TO DRY	5b	X	X	X	X	X	X	X	X	X	X	X	X
					6a	X	X	X	X	X	X	X	X	X	X		
					6b	X	X	X	X	X	X	X	X	X	X	X	
					7a	X	X	X	X	X	X	X	X	X	X	X	
6	WEEDING LOVEGRASS (17%), SERICEA LESPEDEZA (83%)	4 20	.09 .46	DRY TO VERY DRY	5b	X	X	X	X	X	X	X	X	X	X	X	
					7a	X	X	X	X	X	X	X	X	X	X		

- NOTES: A/SEED BY GRAIN OR SLOPED AREAS. ADD A LEGUME FOR SLOPES > 3:1.
- B/SEED IN WETTER AREAS BY GRAIN. BLUEGRASS THRIVES STAND.
- C/POPULAR MIX-PRODUCES PERMANENT GROUNDCOVER QUICKLY. BLUEGRASS THRIVES STAND.
- D/BEST USE ON SHADY SLOPES NOT ON POORLY DRAINAGE CLAYS.
- E/USE IN LOW MAINTENANCE, STEEP SLOPES. USE TALL FESCUE IN DRAUGHTY COND. CROWNVECH BEST FOR 5b, 6a, 6b.
- F/SUITABLE FOR SEEDING IN MID-SUMMER.

G-20-18

- 31 See Table for a list of recommended varieties best suited for Maryland.
- 32 Refer to Figure 5.
- 33 Recommended planting dates are indicated by an X. For seeding during time periods not recommended use a nurse crop such as weeping love grass or millet (mid-summer), or cereal rye (late fall to early spring) refer to Table 26 Temporary Seeding
- 34 Maryland State Highway Administration Approved Mixes.

CERTIFICATION BY THE ENGINEER

"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

Mark H. Morlock
SIGNATURE OF ENGINEER
PRINT NAME BELOW SIGNATURE
DATE 4-19-00

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

Cheryl Simler
USDA-NATURAL RESOURCES CONSERVATION SERVICE
DATE 4/19/00

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John S. [Signature]
HOWARD SOIL CONSERVATION DISTRICT
DATE 4-19-00

CERTIFICATION BY THE DEVELOPER/BUILDER

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAY OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature]
SIGNATURE OF DEVELOPER
PRINT NAME BELOW SIGNATURE
DATE 4-19-00

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/28/00
CHIEF, DEVELOPMENT/ENGINEERING DIVISION
[Signature] 4/28/00
CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature] 4/28/00
DATE

BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 156 & 263
LIBER 3759, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
2085 YORK ROAD
TIMONIUM, MD 21093
(410) 252-8000

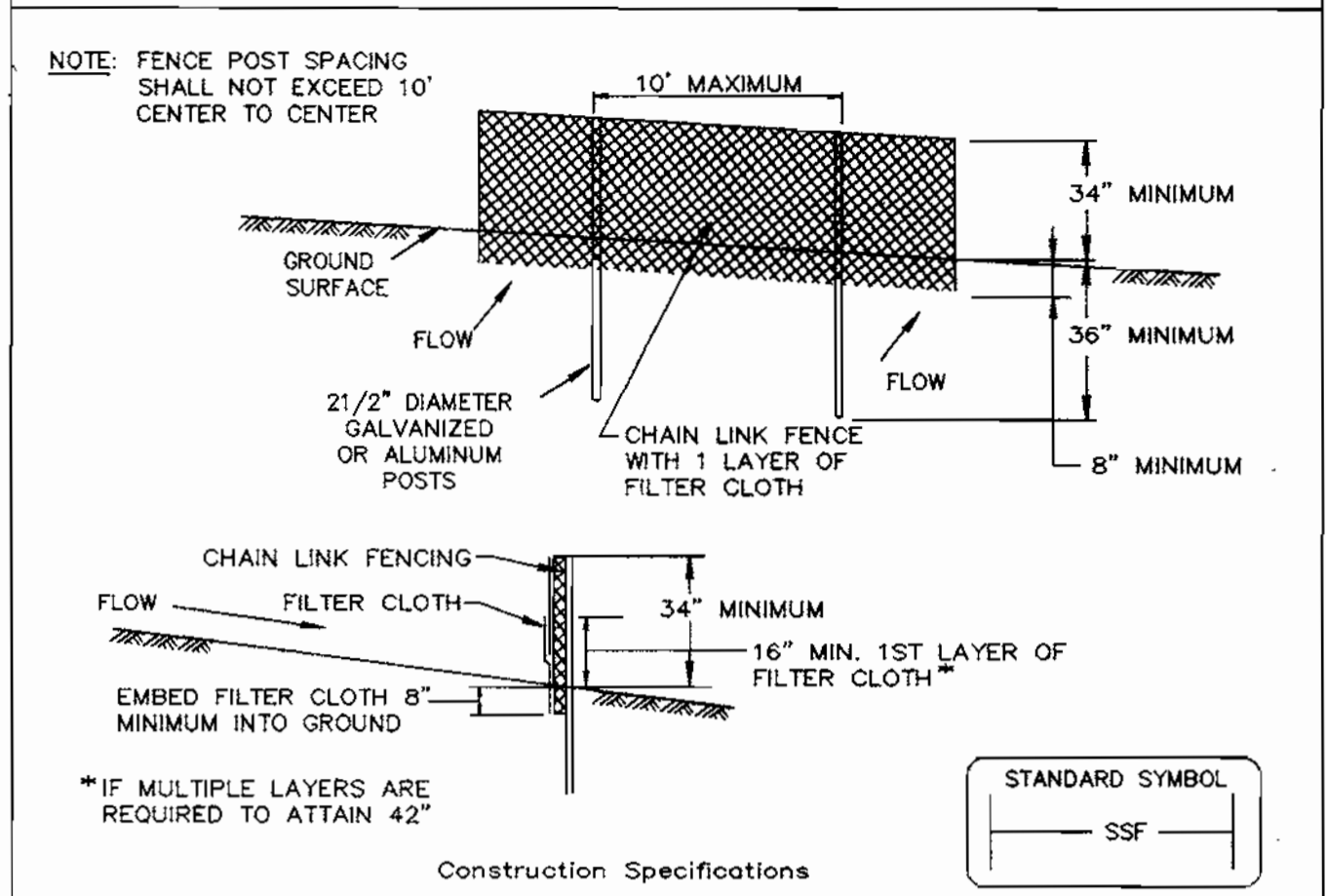
The RBA Group
ENGINEERS • ARCHITECTS • PLANNERS
Suite 204, Columbia, Maryland 21046
Phone (410) 312-0986, Fax 312-0887

REVISIONS
COUNTY COMMENTS 03/08/00



DATE: 11/15/99
JOB NUMBER: M2618.00
FILE NUMBER: 2618S01
PLOTTED: 03/09/00
DRAWN BY: RJ
SEDIMENT CONTROL DETAILS 1
SHEET C-13
13 OF 20

DETAIL 33 - SUPER SILT FENCE



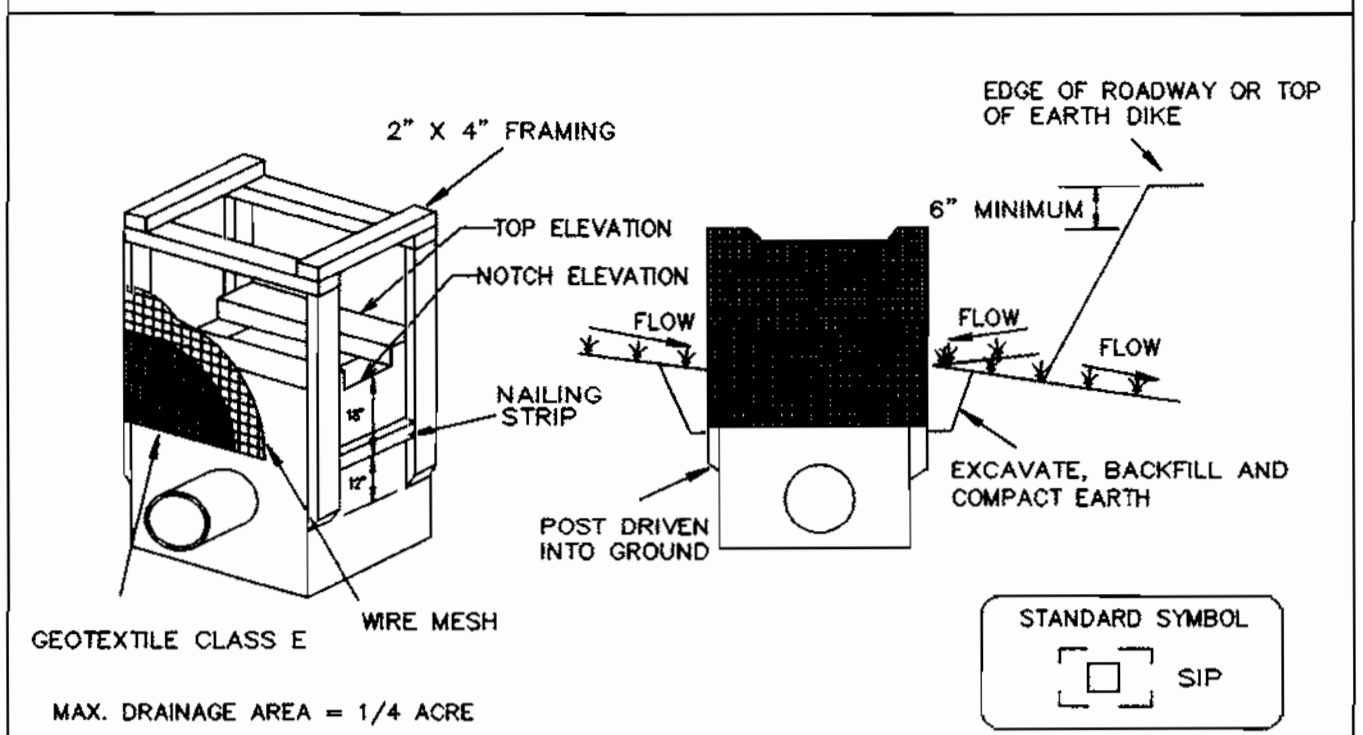
Construction Specifications

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 8" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft ² /minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE H - 26 - 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 23A - STANDARD INLET PROTECTION

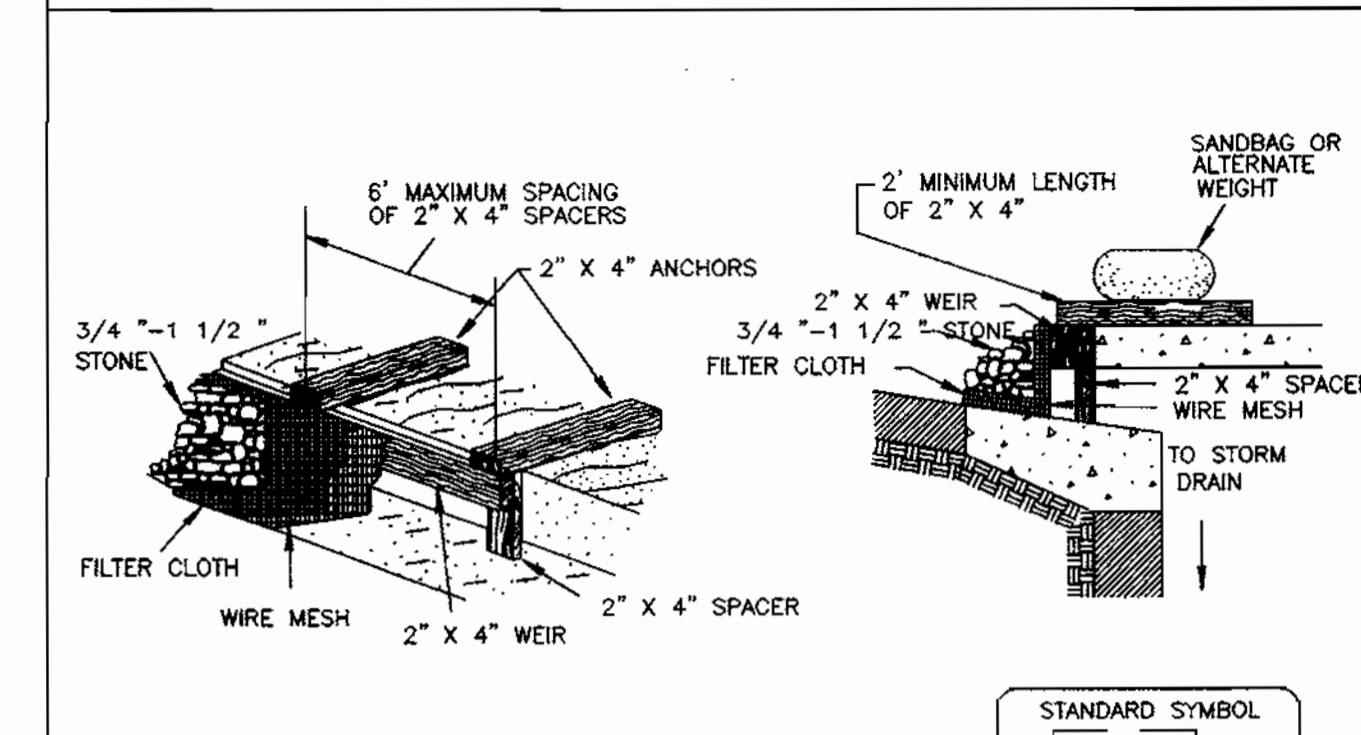


Construction Specifications

- Excavate completely around the inlet to a depth of 18" below the notch elevation.
- Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet. Place nail strips between the posts on the ends of the inlet. Assemble the top portion of the 2" x 4" frame using the overlap joint shown on Detail 23A. The top of the frame (weir) must be 6" below adjacent roadways where flooding and safety issues may arise.
- Stretch the 1/2" x 1/2" wire mesh tightly around the frame and fasten securely. The ends must meet and overlap at a post.
- Stretch the Geotextile Class E tightly over the wire mesh with the geotextile extending from the top of the frame to 18" below the inlet notch elevation. Fasten the geotextile firmly to the frame. The ends of the geotextile must meet at a post, be overlapped and folded, then fastened down.
- Backfill around the inlet in compacted 6" layers until the layer of earth is level with the notch elevation on the ends and top elevation on the sides.
- If the inlet is not in a sump, construct a compacted earth dike across the ditch line directly below it. The top of the earth dike should be at least 6" higher than the top of the frame.
- The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E - 16 - 5 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 23C - CURB INLET PROTECTION (COG OR COS INLETS)

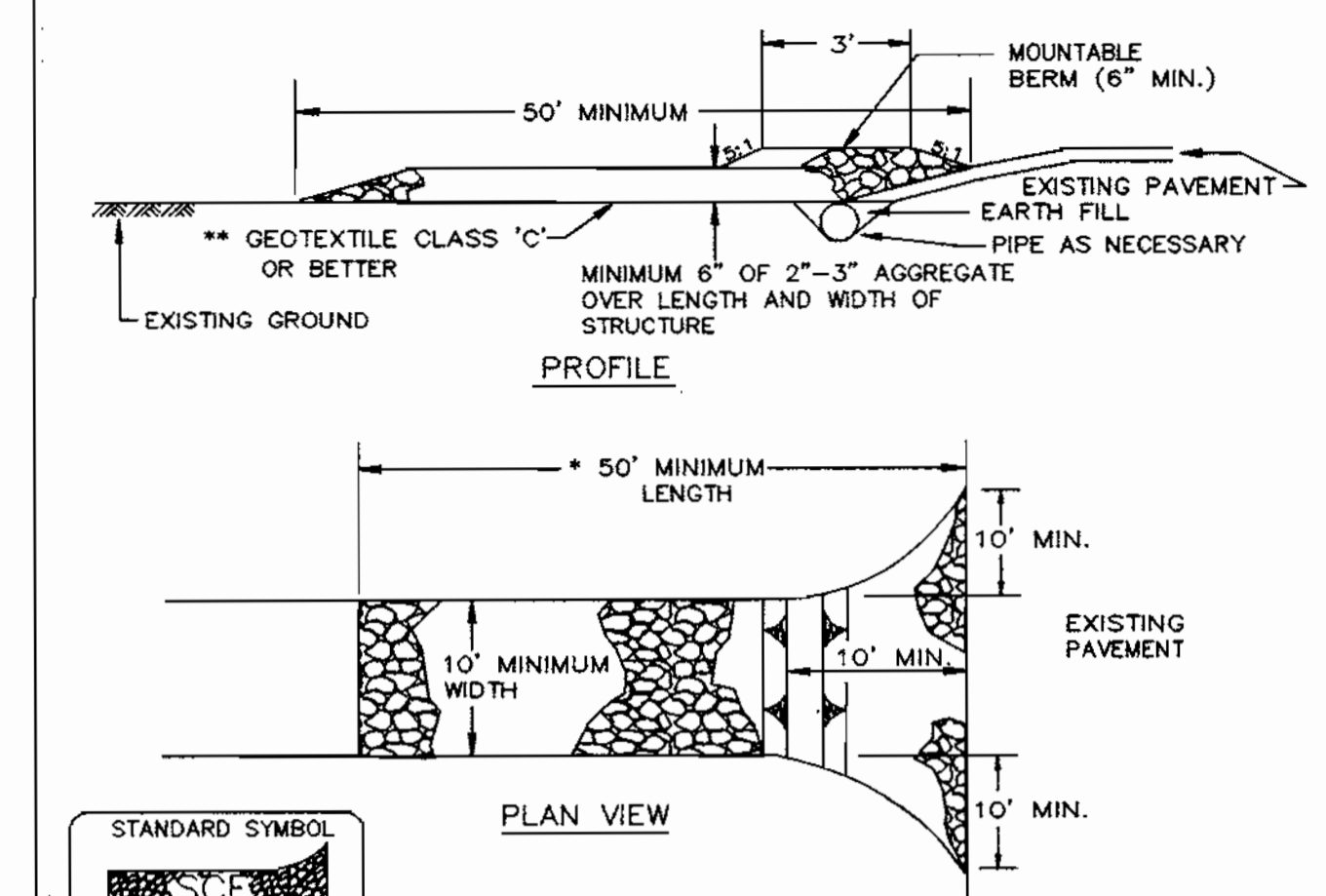


Construction Specifications

- Attach a continuous piece of wire mesh (30" minimum width by throat length plus 4") to the 2" x 4" weir (measuring throat length plus 2") as shown on the standard drawing.
- Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2" x 4" weir.
- Securely nail the 2" x 4" weir to a 9" long vertical spacer to be located between the weir and the inlet face (max. 4' apart).
- Place the assembly against the inlet throat and nail (minimum 2" lengths of 2" x 4" to the top of the weir at spacer locations). These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
- The assembly shall be placed so that the end spacers are a minimum 1' beyond both ends of the throat opening.
- Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
- This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
- Assure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E - 16 - 5B MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

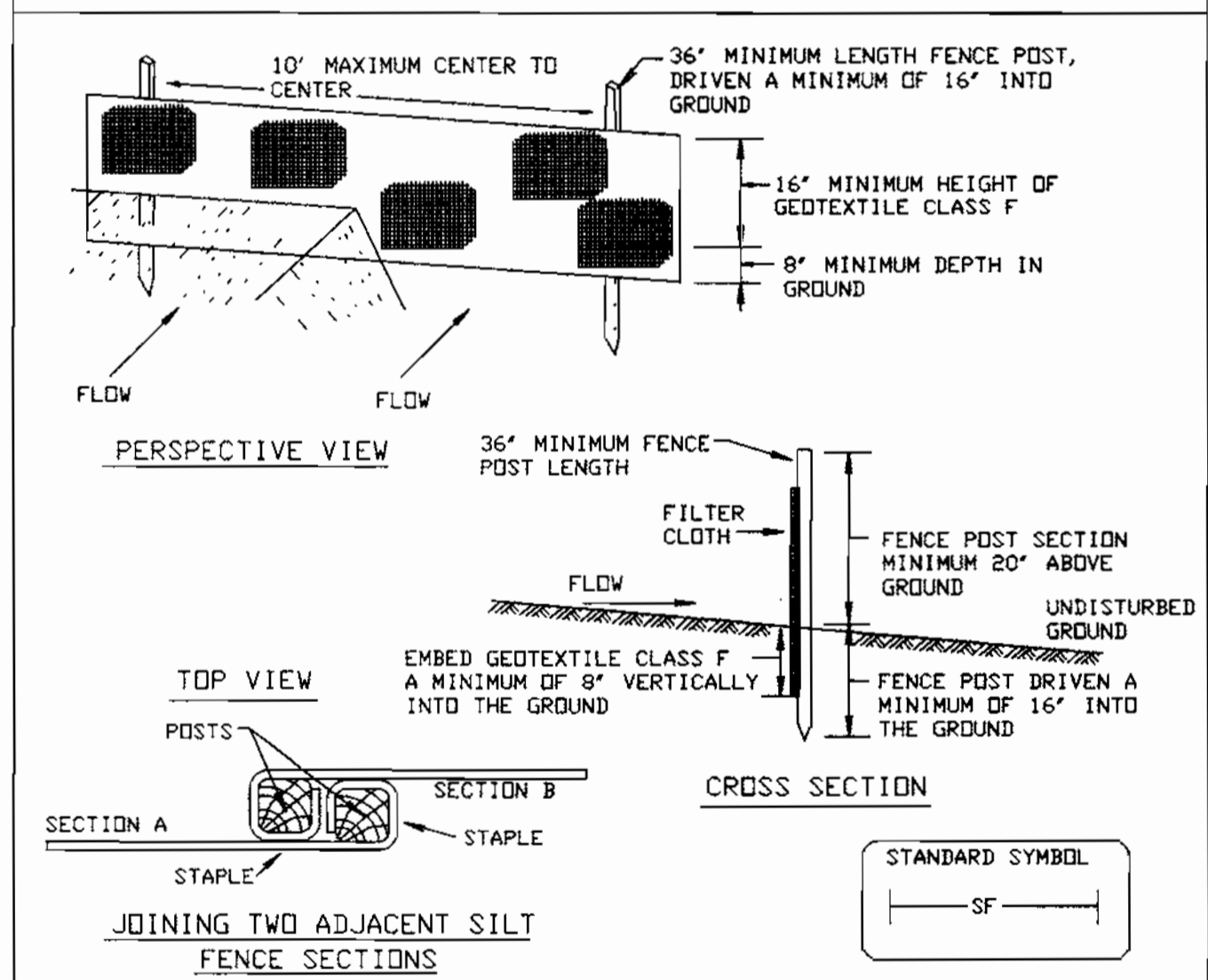


Construction Specification

- Length - minimum of 50' (*30' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F - 17 - 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 22 - SILT FENCE



Construction Specifications

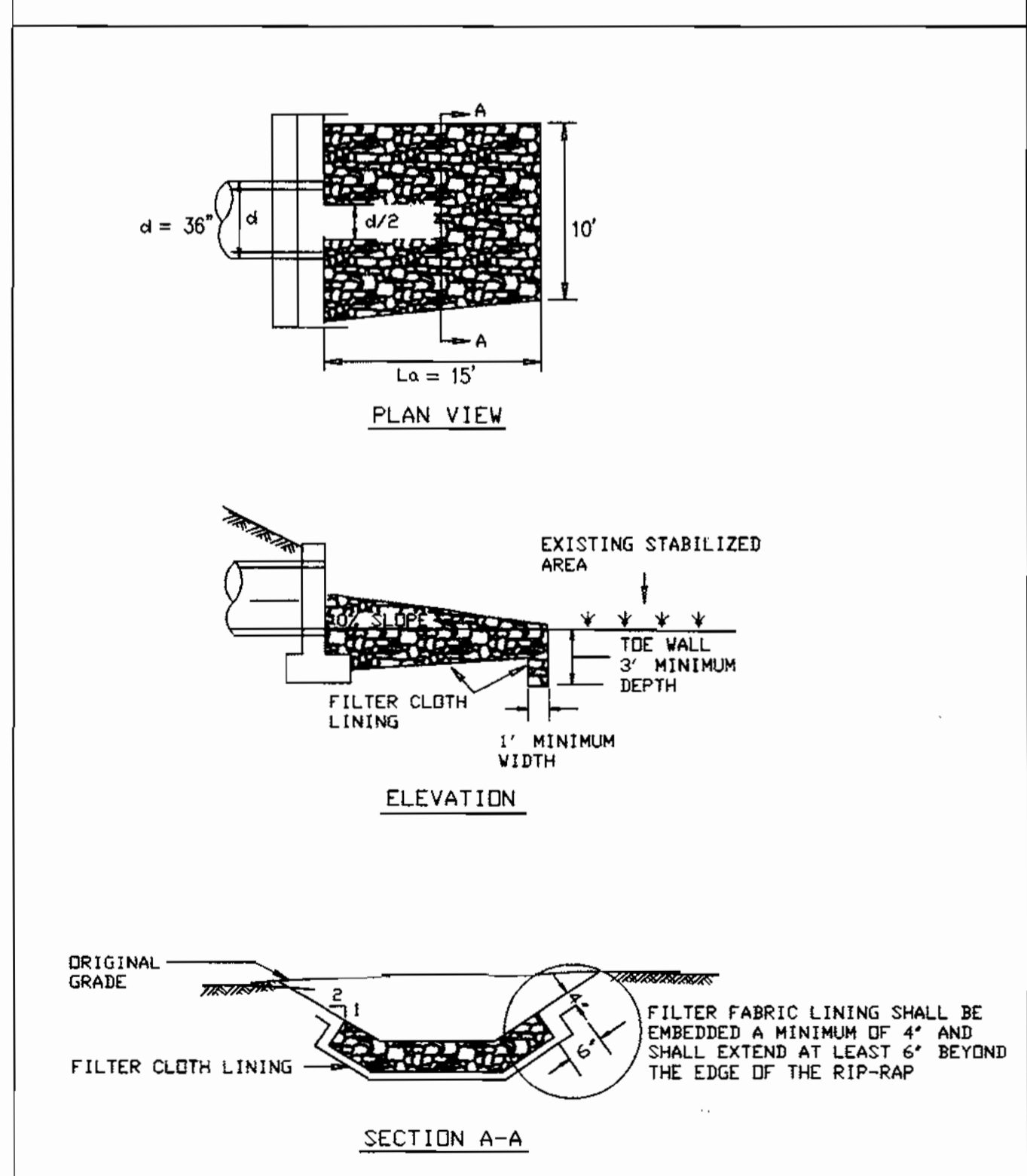
- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pound per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft ² /minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
- Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E - 15 - 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 27 - ROCK OUTLET PROTECTION III



Construction Specifications

- The subgrade for the filter, rip-rap, or gabion shall be prepared to the required lines and grades. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
- The rock or gravel shall conform to the specified grading limits when installed respectively in the rip-rap or filter.
- Geotextile shall be protected from punching, cutting, or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of geotextile over the damaged part or by completely replacing the geotextile. All overlaps whether for repairs or for joining two pieces of geotextile shall be a minimum of one foot.
- Stone for the rip-rap or gabion outlets may be placed by equipment. They shall be constructed to the full course thickness in one operation and in such a manner as to avoid displacement of underlying materials. The stone for rip-rap or gabion outlets shall be delivered and placed in a manner that will ensure that it is reasonably homogeneous with the smaller stones and spalls filling the voids between the larger stones. Rip-rap shall be placed in a manner to prevent damage to the filter blanket or geotextile. Hand placement will be required to the extent necessary to prevent damage to the permanent works.
- The stone shall be placed so that it blends in with the existing ground. If the stone is placed too high then the flow will be forced out of the channel and scour adjacent to the stone will occur.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F - 18 - 10 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

ROCK OUTLET PROTECTION III

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U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F - 18 - 10A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

CERTIFICATION BY THE ENGINEER

"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

Mark H. Mark 4-19-00
SIGNATURE OF ENGINEER DATE
PRINT NAME BELOW SIGNATURE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

Cheryl Simms 4/20/00
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Cheryl Simms 4/20/00
HOWARD SOIL CONSERVATION DISTRICT DATE

CERTIFICATION BY THE DEVELOPER/BUILDER

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAY OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 4-19-00
SIGNATURE OF DEVELOPER DATE
PRINT NAME BELOW SIGNATURE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/25/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 4/26/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 4/28/00
DIRECTOR DATE

BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 166 & 263
LIBER 3759, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

BROOKSIDE LLLP
OWNERS:
C/O NATIONWIDE MOTOR SALES
2085 YORK ROAD
TIMONIUM, MD 21083
(410) 252-8000

The RBA Group
ENGINEERS & ARCHITECTS • PLANNERS
Suite 206, Columbia Gateway Drive
Columbia, Maryland 21046
Phone: (410) 382-0886 Fax: 382-0887

REVISIONS
COUNTY COMMENTS 03/08/00

STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER

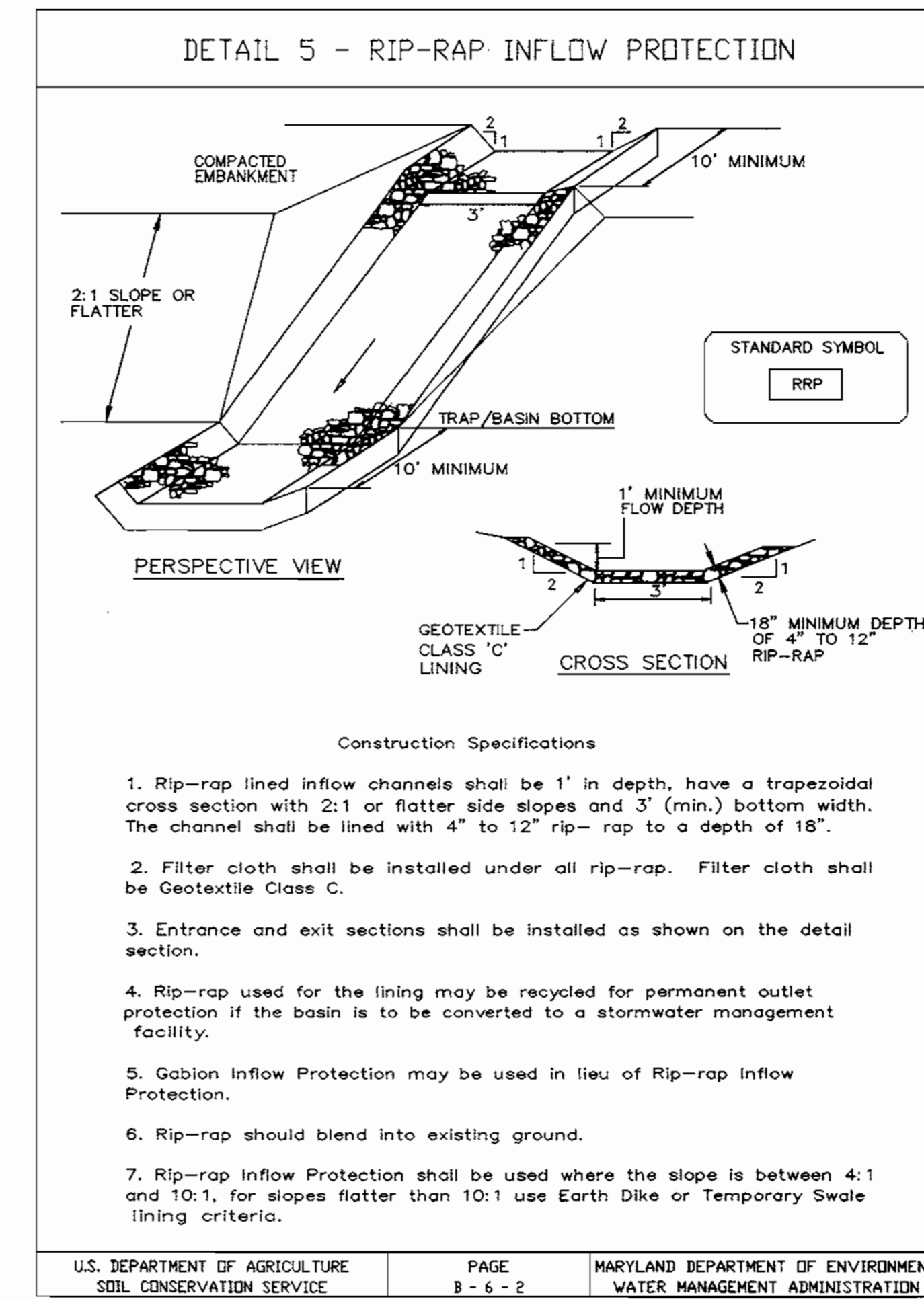
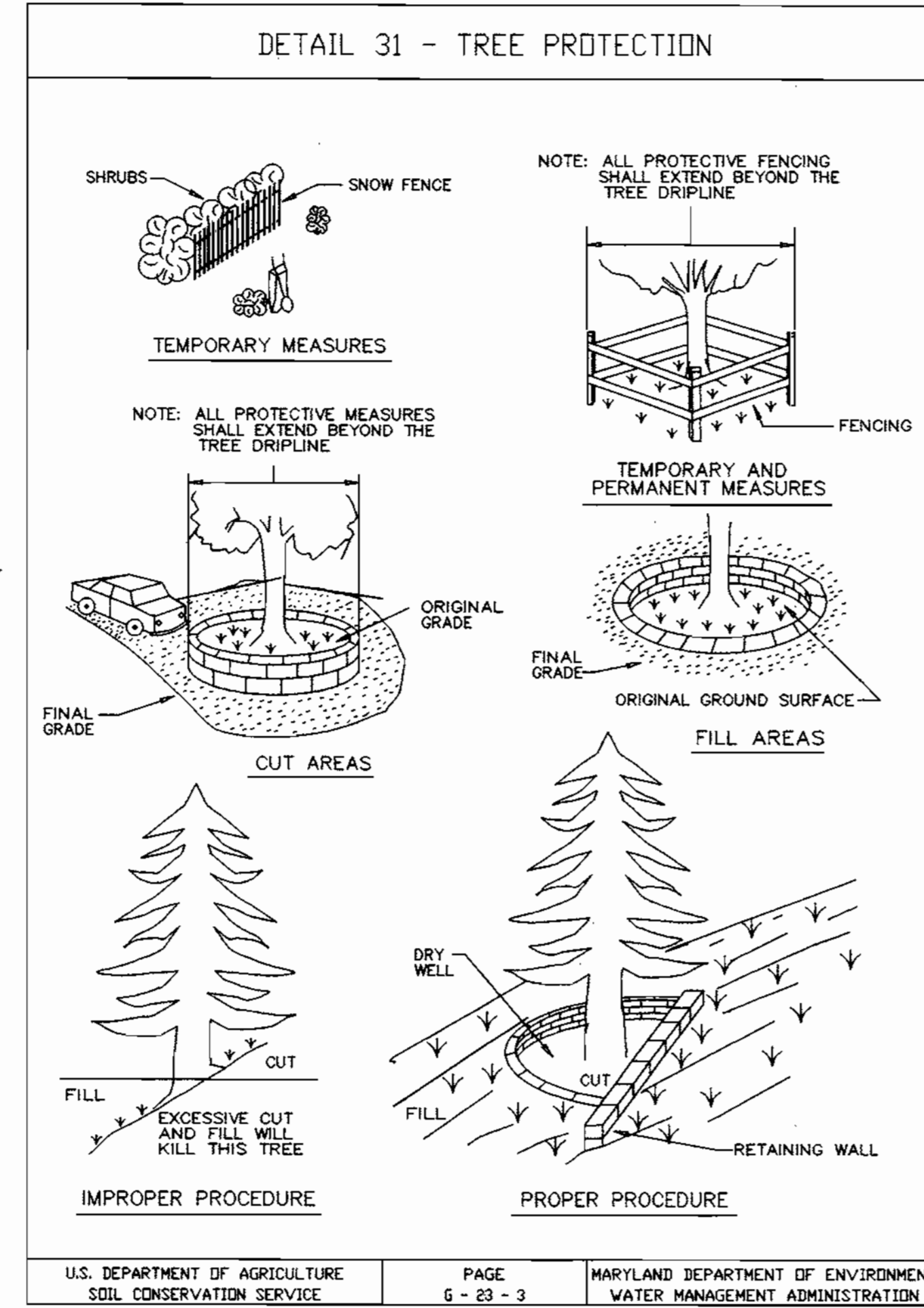
[Signature]
DATE: 11/15/99
JOB NUMBER: M2618.00
FILE NUMBER: 2618SED2
PLOTTED: 03/09/00
DRAWN BY: RJ

SEDIMENT CONTROL DETAILS II

SHEET C-14
14 of 20

HOWARD SOIL CONSERVATION DISTRICT
STANDARD SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
- Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1; b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Volume 1, Chapter 12 of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, for permanent seeding (Section 51), sod (Section 54), temporary seeding (Section 50) and mulching (Section 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
Total Area of Site 5.0166 Acres
Area Disturbed 2.3584 Acres
Area to be Roofed or Paved 1.2717 Acres
Area to be Vegetatively Stabilized 1.0867 Acres
Total Cut Cubic Yards
Total Fill Cubic Yards
Off-site Waste/borrow Area Location To be determined by Contractor
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized by the end of each work day, whichever is shorter.



21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION.
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

PURPOSE.
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

CONDITIONS WHERE PRACTICE APPLIES.
i. This practice is limited to areas having 2:1 or flatter slopes where:
a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
c. The original soil to be vegetated contains material toxic to plant growth.
d. The soil is so acidic that treatment with limestone is not feasible.

ii. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

CONSTRUCTION AND MATERIAL SPECIFICATIONS.
i. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
ii. Topsoil Specifications - Soil to be used as topsoil must meet the following:
i. Topsoil shall be a loam, sandy loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
ii. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.

G-21-1 1994

iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

iii. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.

iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

vi. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:
i. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.05.
b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
ii. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding. MD-VA, Pub.#1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

G-21-2 1994

iii. For sites having disturbed areas under 5 acres:
i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
iv. For sites having disturbed areas over 5 acres:
i. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrate a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
b. Organic content of topsoil shall be not less than 1.5 percent by weight.
c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
ii. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
v. Topsoil Application:
i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, about 4" - 8" higher in elevation.

G-21-3 1994

CERTIFICATION BY THE ENGINEER

"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

Mark H. Madala 4-19-00
SIGNATURE OF ENGINEER DATE
PRINT NAME BELOW SIGNATURE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

Chad Swain/CS 4/25/00
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John A. ... 4/25/00
HOWARD SOIL CONSERVATION DISTRICT DATE

CERTIFICATION BY THE DEVELOPER/BUILDER

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAY OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 4-19-00
SIGNATURE OF DEVELOPER DATE
PRINT NAME BELOW SIGNATURE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/25/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 4/29/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 4/28/00
DATE

SITE DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 156 & 263
LIBER 3759, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

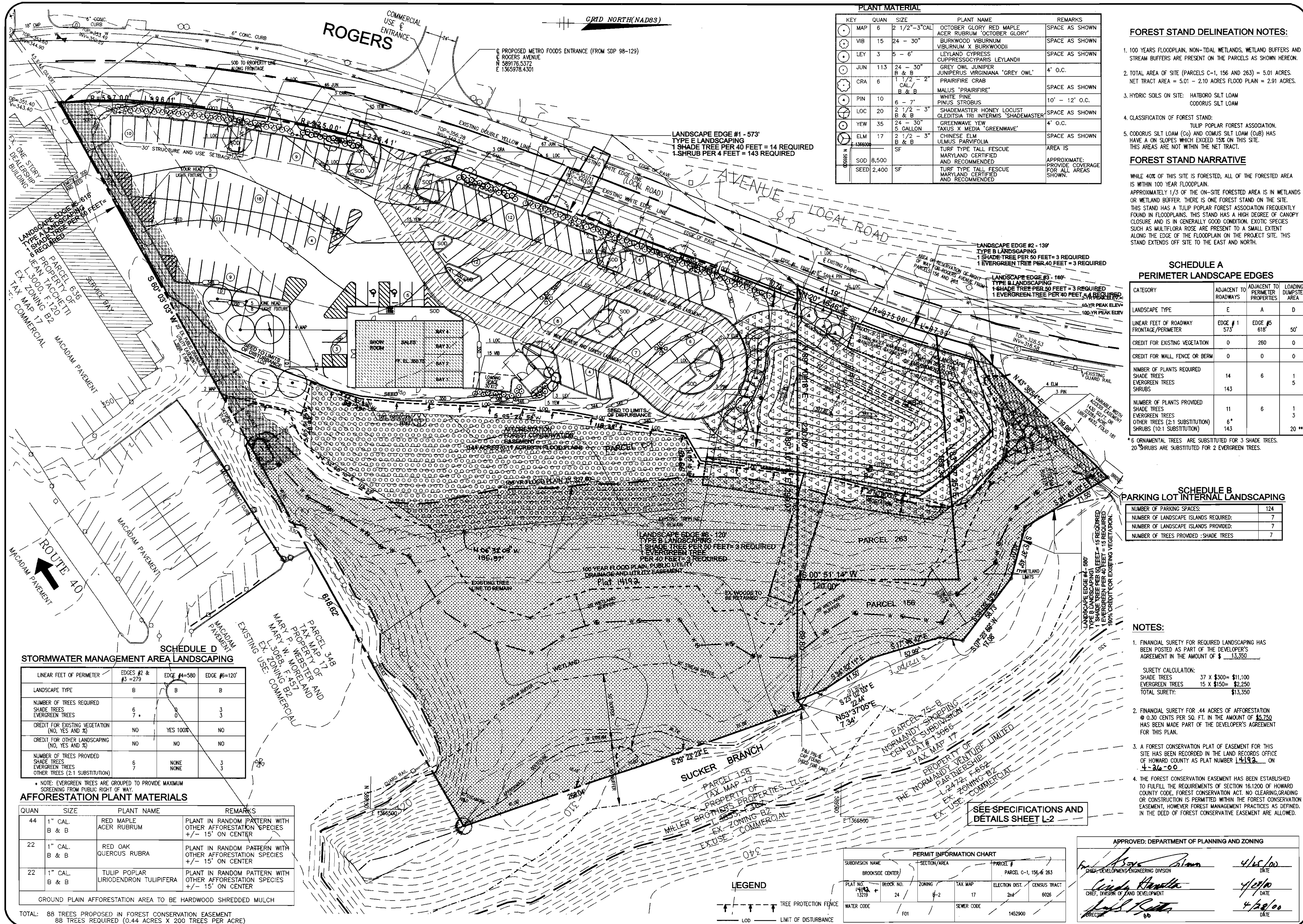
OWNER:
BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
2085 YORK ROAD
TIMONIUM, MD 21093
(410) 252-8000

RBA-
Group
ARCHITECTS & PLANNERS
ENGINEERS • PLANNERS
Suite 205, Columbia, Maryland 21046
Phone (410) 312-0866, Fax 312-0897

REVISIONS
COUNTY COMMENTS 03/08/00



DATE: 11/15/99
JOB NUMBER: M2618.00
FILE NUMBER: 2618SD3
PLOTTED: 03/09/00
DRAWN BY: RJ
SEDIMENT CONTROL DETAILS III
SHEET C-15
15 of 20



PLANT MATERIAL

KEY	QUAN	SIZE	PLANT NAME	REMARKS
MAP	6	2 1/2" - 3" CAL	OCTOBER GLORY RED MAPLE ACER RUBRUM 'OCTOBER GLORY'	SPACE AS SHOWN
VIB	15	24" - 30"	BURKWOOD VIBURNUM VIBURNUM X BURKWOODII	SPACE AS SHOWN
LEY	3	5' - 6'	LEYLAND CYPRESS CUPRESSOCYPARIS LEYLANDII	SPACE AS SHOWN
JUN	113	24" - 30" B & B	GREY OWL JUNIPER JUNIPERUS VIRGINIANA 'GREY OWL'	4' O.C.
CRA	6	1 1/2" - 2" B & B	PRAIRIFIRE CRAB MALUS 'PRAIRIFIRE'	SPACE AS SHOWN
PIN	10	6" - 7"	WHITE PINE PINUS STROBUS	10' - 12' O.C.
LOC	20	2 1/2" - 3" B & B	SHADEMASTER HONEY LOCUST GLEDTISIA TRI-INTERMIS 'SHADEMASTER'	SPACE AS SHOWN
YEW	35	24" - 30" 5 GALLON	GREENWAVE YEW TAXUS X MEDIA 'GREENWAVE'	4' O.C.
ELM	17	2 1/2" - 3" B & B	CHINESE ELM ULMUS PARVIFOLIA	SPACE AS SHOWN
SOD	8,500	SF	TURF TYPE TALL FESCUE MARYLAND CERTIFIED AND RECOMMENDED	AREA IS APPROXIMATELY: PROVIDE COVERAGE FOR ALL AREAS SHOWN.
SEED	2,400	SF	TURF TYPE TALL FESCUE MARYLAND CERTIFIED AND RECOMMENDED	

- FOREST STAND DELINEATION NOTES:**
- 100 YEAR FLOODPLAIN, NON-TIDAL WETLANDS, WETLAND BUFFERS AND STREAM BUFFERS ARE PRESENT ON THE PARCELS AS SHOWN HEREON.
 - TOTAL AREA OF SITE (PARCELS C-1, 156 AND 263) = 5.01 ACRES. NET TRACT AREA = 5.01 - 2.10 ACRES FLOOD PLAIN = 2.91 ACRES.
 - HYDRIC SOILS ON SITE: HATBORO SILT LOAM
CODORUS SILT LOAM
 - CLASSIFICATION OF FOREST STAND:
TULIP POPLAR FOREST ASSOCIATION.
 - CODORUS SILT LOAM (Co) AND COMUS SILT LOAM (CbB) HAS HAVE A ON SLOPES WHICH EXCEED 15% ON THIS SITE. THIS AREAS ARE NOT WITHIN THE NET TRACT.

FOREST STAND NARRATIVE

WHILE 40% OF THIS SITE IS FORESTED, ALL OF THE FORESTED AREA IS WITHIN 100 YEAR FLOODPLAIN. APPROXIMATELY 1/3 OF THE ON-SITE FORESTED AREA IS IN WETLANDS OR WETLAND BUFFER. THERE IS ONE FOREST STAND ON THE SITE. THIS STAND HAS A TULIP POPLAR FOREST ASSOCIATION FREQUENTLY FOUND IN FLOODPLAINS. THIS STAND HAS A HIGH DEGREE OF CANOPY CLOSURE AND IS IN GENERALLY GOOD CONDITION. EXOTIC SPECIES SUCH AS MULTIFLORA ROSE ARE PRESENT TO A SMALL EXTENT ALONG THE EDGE OF THE FLOODPLAIN ON THE PROJECT SITE. THIS STAND EXTENDS OFF SITE TO THE EAST AND NORTH.

SCHEDULE A PERIMETER LANDSCAPE EDGES

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES	LOADING DUMPSTER AREA
LANDSCAPE TYPE	E	A	D
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	EDGE #1 573'	EDGE #5 618'	50'
CREDIT FOR EXISTING VEGETATION (NO, YES AND %)	0	260	0
CREDIT FOR WALL, FENCE OR BERM	0	0	0
NUMBER OF PLANTS REQUIRED			
SHADE TREES	14	6	1
EVERGREEN TREES	143		5
SHRUBS			
NUMBER OF PLANTS PROVIDED			
SHADE TREES	11	6	1
EVERGREEN TREES			3
OTHER TREES (2:1 SUBSTITUTION)	6*		
SHRUBS (10:1 SUBSTITUTION)	143		20**

* 6 ORNAMENTAL TREES ARE SUBSTITUTED FOR 3 SHADE TREES.
** 20 SHRUBS ARE SUBSTITUTED FOR 2 EVERGREEN TREES.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES:	124
NUMBER OF LANDSCAPE ISLANDS REQUIRED:	7
NUMBER OF LANDSCAPE ISLANDS PROVIDED:	7
NUMBER OF TREES PROVIDED : SHADE TREES	7

- NOTES:**
- FINANCIAL SURETY FOR REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$ 13,350.
SURETY CALCULATION:
SHADE TREES 37 X \$300 = \$11,100
EVERGREEN TREES 15 X \$150 = \$2,250
TOTAL SURETY: \$13,350
 - FINANCIAL SURETY FOR 44 ACRES OF AFFORESTATION @ 0.30 CENTS PER SQ. FT. IN THE AMOUNT OF \$5,750 HAS BEEN MADE PART OF THE DEVELOPER'S AGREEMENT FOR THIS PLAN.
 - A FOREST CONSERVATION PLAT OF EASEMENT FOR THIS SITE HAS BEEN RECORDED IN THE LAND RECORDS OFFICE OF HOWARD COUNTY AS PLAT NUMBER 14192 ON 4-26-00.
 - THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF HOWARD COUNTY CODE, FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATIVE EASEMENT ARE ALLOWED.

SCHEDULE D STORMWATER MANAGEMENT AREA LANDSCAPING

LINEAR FEET OF PERIMETER	EDGES #2 & #3 = 279'	EDGE #4 = 580'	EDGE #6 = 120'
LANDSCAPE TYPE	B	B	B
NUMBER OF TREES REQUIRED			
SHADE TREES	6	0	3
EVERGREEN TREES	7	0	3
CREDIT FOR EXISTING VEGETATION (NO, YES AND %)	NO	YES 100%	NO
CREDIT FOR OTHER LANDSCAPING (NO, YES AND %)	NO	NO	NO
NUMBER OF TREES PROVIDED			
SHADE TREES	6	NONE	3
EVERGREEN TREES	7	NONE	3
OTHER TREES (2:1 SUBSTITUTION)			

* NOTE: EVERGREEN TREES ARE GROUPED TO PROVIDE MAXIMUM SCREENING FROM PUBLIC RIGHT OF WAY.

AFFORESTATION PLANT MATERIALS

QUAN	SIZE	PLANT NAME	REMARKS
44	1" CAL. B & B	RED MAPLE ACER RUBRUM	PLANT IN RANDOM PATTERN WITH OTHER AFFORESTATION SPECIES +/- 15' ON CENTER
22	1" CAL. B & B	RED OAK QUERCUS RUBRA	PLANT IN RANDOM PATTERN WITH OTHER AFFORESTATION SPECIES +/- 15' ON CENTER
22	1" CAL. B & B	TULIP POPLAR LIRIODENDRON TULIPIFERA	PLANT IN RANDOM PATTERN WITH OTHER AFFORESTATION SPECIES +/- 15' ON CENTER

GROUND PLAIN AFFORESTATION AREA TO BE HARDWOOD SHREDDED MULCH

TOTAL: 88 TREES PROPOSED IN FOREST CONSERVATION EASEMENT
88 TREES REQUIRED (0.44 ACRES X 200 TREES PER ACRE)

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL #
BROOKSIDE CENTER		PARCEL C-1, 156 & 263
PLAT NO. 14192	BLOCK NO. 24	ZONING: F-2
TAX MAP: 17	ELECTION DIST. 2nd	CENSUS TRACT 6026
WATER CODE: F01	SEWER CODE: 1452900	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DATE: 11/15/99
JOB NUMBER: W2618
FILE NUMBER: 2618BASE
PLOTTED: 03/09/00
DRAWN BY: RJ

DATE: 4/26/00
DATE: 4/27/00
DATE: 4/28/00

LANDSCAPE AND AFFORESTATION PLAN

SHEET L-1
16 OF 20

OWNER: BROOKSIDE MOTOR SALES
2086 YORK ROAD
TIMONUM, MD 21083
(410) 252-9000

OWNER: BROOKSIDE MOTOR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 156 & 263
LIBER 3759, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

THE RBA GROUP
ENGINEERS & ARCHITECTS • PLANNERS
Suite 104 Columbia Gateway Drive #46
Phone (410) 312-9866, Fax 312-0897

DATE: 11/15/99
JOB NUMBER: W2618
FILE NUMBER: 2618BASE
PLOTTED: 03/09/00
DRAWN BY: RJ

LANDSCAPE ARCHITECT
THE RBA GROUP
1000 ANNUNCIATION
OF MARYLAND
70 YEARS

GRAPHIC SCALE 1"=30'

SHEET L-1
16 OF 20

SDP-00-60

2618 D 05

AFFORESTATION PLANTING NOTES AND SPECIFICATIONS

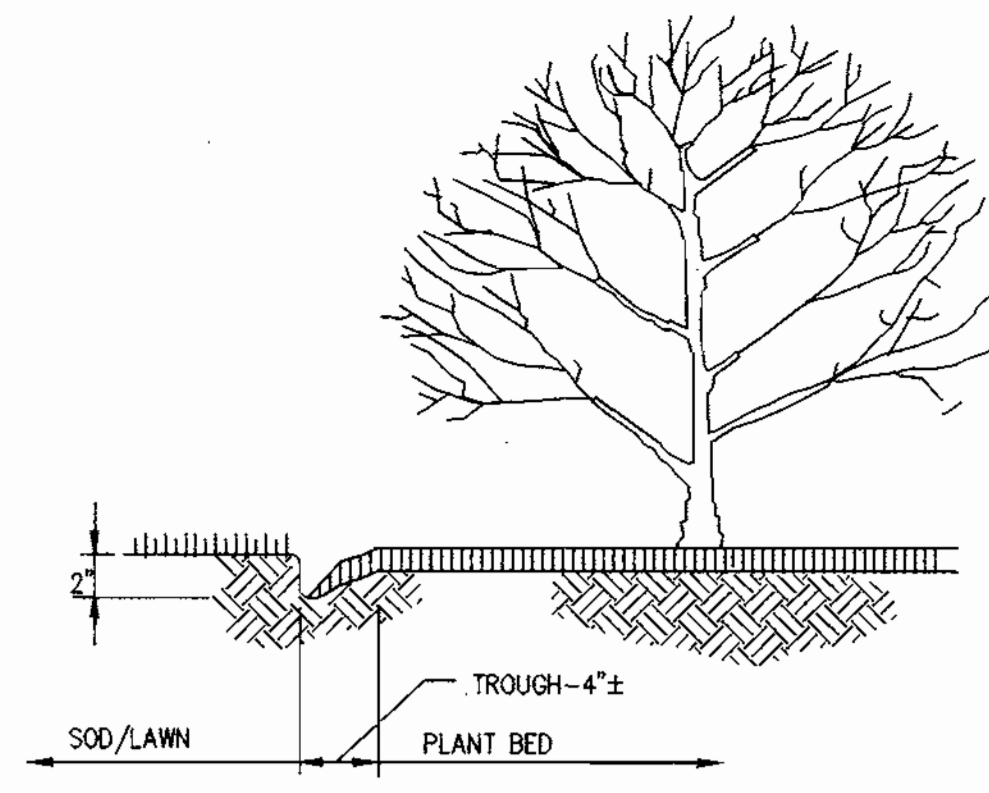
- AFFORESTATION AREA REQUIRED = 44 ACRE (19,166 S.F.). AFFORESTATION IS PROPOSED ALONG THE EDGE OF THE EXISTING ON-SITE FOREST AS SHOWN ON L-1.
- THE AFFORESTATION AREA WILL BE RECORDED AS NON-DEVELOPABLE OPEN SPACE. PLANTING WILL BE BONDED AS PART OF THE DEVELOPER'S AGREEMENT.
- AFFORESTATION PLANTING MUST CONFORM TO THE LANDSCAPE PLANTING NOTES AND SPECIFICATIONS AND PLANTING DETAIL 4. HEREON IN ADDITION TO THESE AFFORESTATION NOTES.
- PRE-PLANTING CONSIDERATIONS
 - IN AREAS WITH SUBSTANTIAL GROWTH OF INVASIVE GROUNDCOVER SPECIES, MEASURES SHALL BE TAKEN TO REMOVE AND CONTROL INVASIVES. THE INFESTED AREAS SHOULD BE MOWN PRIOR TO COMMENCEMENT OF PLANTING. NECESSARY WEED CONTROL MEASURES MULCHING, PERIODIC MOWING AROUND THE REFORESTATION PLANTINGS, AND FABRIC COVERINGS. THE USE OF CHEMICAL WEED CONTROLS WILL BE LIMITED TO EXTREME CASES.
 - SOILS ANALYSIS WILL BE CONDUCTED PRIOR TO COMMENCEMENT OF REFORESTATION. ON LAND WHERE EXTENSIVE AGRICULTURAL USE HAS OCCURRED IN THE PAST, TEST PITS WILL BE DUG IN AREAS OF UNDISTURBED SOIL TO DETERMINE IF A FRAGIPAN LAYER IS PRESENT. IF FRAGIPAN IS PRESENT, IT SHOULD BE PIERCED BY AUGURING AND PLANTING HOLES SHOULD BE DUG TO TWICE THE NORMAL DIAMETER FOR THE MATERIAL PLANTED.
 - SOILS SHOULD BE TREATED BY INCORPORATING NATURAL MULCH WITHIN THE TOP 12 INCHES, OR AMENDMENTS AS DETERMINED BY THE SOILS ANALYSIS. NATURAL AMENDMENTS, SUCH AS ORGANIC MULCH OR LEAF MOLD COMPOST, ARE PREFERRED.
 - IF FILL MATERIAL IS USED AT THE PLANTING SITE, IT SHOULD BE CLEAN FILL WITH 12 INCHES OF NATIVE SOIL. STOCKPILING OF NATIVE TOP SOILS MUST BE DONE IN SUCH A WAY THAT THE HEIGHT OF THE PILE DOES NOT DAMAGE THE SEED BANK.
- PLANT MATERIAL STORAGE

IT IS RECOMMENDED THAT PLANTING OCCUR WITHIN 24 HOURS OF DELIVERY TO THE SITE. PLANT MATERIALS WHICH ARE LEFT UNPLANTED FOR MORE THAN 24 HOURS SHOULD BE PROTECTED FROM DIRECT SUN AND WEATHER AND KEPT MOIST. NURSERY STOCK SHOULD NOT BE LEFT UNPLANTED FOR MORE THAN TWO (2) WEEKS.
- ON-SITE INSPECTION

PRIOR TO PLANTING, PLANTING STOCK SHOULD BE INSPECTED. PLANTS NOT CONFORMING TO STANDARD NURSERYMAN SPECIFICATIONS FOR SIZE, FORM, VIGOR, ROOTS, TRUNK WOUNDS, INSECTS, AND DISEASE SHOULD BE REPLACED.
- PLANTING SPECIFICATIONS
 - CONTAINER GROWN STOCK: SUCCESSFUL PLANTING OF CONTAINER GROWN STOCK REQUIRES CAREFUL SITE PREPARATION AND INSPECTION OF THE PLANT MATERIAL, ROOT SYSTEM. CAUTION IS RECOMMENDED WHEN SELECTING PLANTS GROWN IN A SOILS MEDIUM DIFFERING FROM THAT OF THE PLANTING SITE. THE PLANT SHOULD BE REMOVED FROM THE CONTAINER AND THE ROOTS GENTLY LOOSENED FROM THE SOILS. IF THE ROOTS ENIRCLE THE ROOT BALL, SUBSTITUTION IS STRONGLY RECOMMENDED.
 - BALLED AND BURLAPPED TREES: BALLED AND BURLAPPED TREES MUST BE HANDLED WITH CARE WHILE PLANTING. TREES SHOULD NOT BE PICKED UP BY THE TRUNK OR DROPPED. AS BOTH PRACTICES WILL TEND TO SEPARATE THE TRUNK FROM THE ROOT BALL. PRIOR TO PLANTING, ROOT BALLS SHOULD BE KEPT MOIST.
 - PLANTING FIELDS SHOULD BE CREATED EQUAL TO 2.5 TIMES THE DIAMETER OF THE ROOT BALL. USE WATERING TO SETTLE SOIL BACKFILLED AROUND TREES. STOCKPILED NATIVE TOP SOILS, IF AVAILABLE, SHOULD BE USED TO BACKFILL THE PLANTING FIELD WITH 1/3 COMPOSTED MANURE OR COMMERCIAL LEAF COMPOST.
 - PLANTING FIELD AND COVERED WITH 2 TO 4 INCHES OF MULCH.
 - STAKING OF TREES IS NOT RECOMMENDED EXCEPT IN AREAS OF HIGH WINDS. MOVEMENT IS NECESSARY TO STRENGTHEN THE TRUNK OF THE PLANTED TREE. IF STAKES ARE USED, THEY SHOULD BE REMOVED AFTER THE FIRST GROWING SEASON. WRAPPING IS ALSO NOT RECOMMENDED DUE TO THE INCREASED OPPORTUNITIES FOR INSECT INFESTATION AND DISEASE.
- POST-PLANTING MANAGEMENT
 - SOIL STABILIZATION: FOR AREAS OF LARGE-SCALE DISTURBANCE, SOILS AROUND NEW TREES MUST BE STABILIZED USING A NON-TURF-BUILDING GROUNDCOVER OF ENGINEERING FABRIC.
 - PROTECTIVE DEVICES: TO PREVENT DAMAGE OF PLANTED AREAS, ALL REFORESTATION AND AFFORESTATION SITES MUST BE POSTED WITH APPROPRIATE SIGNS AND FENCED. SEE DETAIL THIS SHEET. CONSTRUCTION EQUIPMENT SHALL BE PROHIBITED IN THESE AREAS.
 - THE TREES PLANTED IN THE AFFORESTATION AREA SHOWN HEREON WILL BE PROTECTED AND MAINTAINED BY STANDARD LANDSCAPE MAINTENANCE MEASURES INCLUDING SUPPLEMENTAL IRRIGATION, FEEDING AND WEED CONTROL MEASURES.
 - THE POST CONSTRUCTION MANAGEMENT PERIOD SHALL BE A MINIMUM OF 2 GROWING SEASONS.

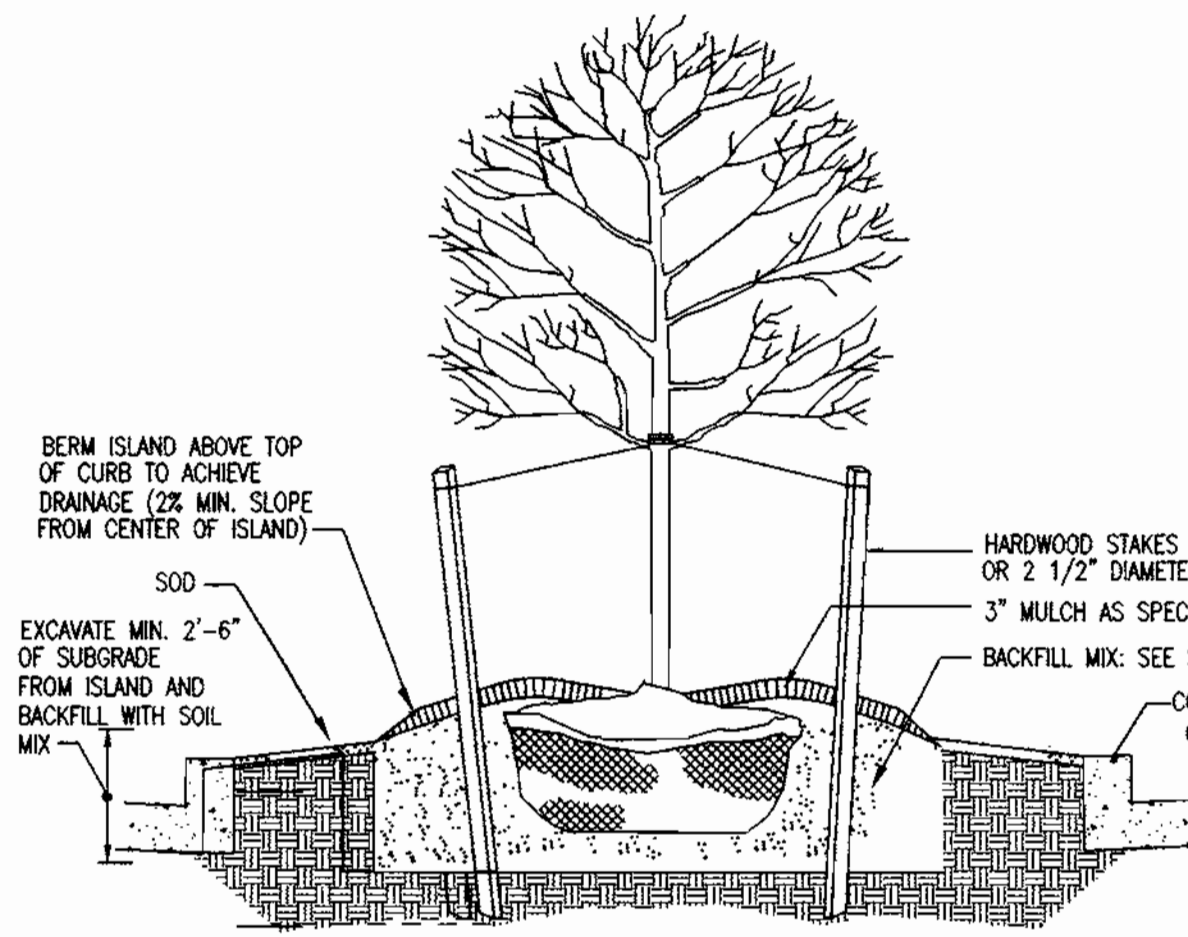
LANDSCAPE PLANTING NOTES AND SPECIFICATIONS

- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO UTILITIES DURING THE COURSE OF THE WORK. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO UTILITIES, SITE STRUCTURES, ETC., RESULTING FROM LANDSCAPE CONSTRUCTION.
- ALL PLANTS MUST BE VIGOROUS, HEALTHY MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS AND TREES MUST MEET REQUIREMENTS SPECIFIED IN THE PLANT LIST. THE PLANT SIZE GIVEN SHALL TAKE PRECEDENCE OVER CONTAINER SIZE WHERE BOTH ARE GIVEN.
- ALL TREES MUST BE CUED OR STAKED AS SHOWN IN THE DETAILS.
- ALL TREES AND SHRUBS MUST BE MULCHED WITH 2-3" SHREDDED HARDWOOD MULCH. BACK FILL MIX SHALL BE 2/3 NATIVE SOIL AND 1/3 COMPOSTED MANURE OR COMMERCIAL LEAF COMPOST.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR COMPLETELY MAINTAINING THE WORK (INCLUDING BUT NOT LIMITED TO: WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF ALL PLANTING AREAS AND LAWNS UNTIL INITIAL ACCEPTANCE OF THE WORK BY THE LANDSCAPE ARCHITECT OR OWNER.
- CONTRACTOR WILL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF INITIAL ACCEPTANCE. CONTRACTOR WILL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
- CONTRACTOR WILL STAKE OR MARK ALL PLANT MATERIAL LOCATIONS PRIOR TO INSTALLATION. CONTRACTOR SHALL HAVE OWNERS REPRESENTATIVE APPROVE ALL STAKING PRIOR TO INSTALLATION.
- ANY MATERIAL WHICH DIES, OR DEFOOLIATES (PRIOR TO ACCEPTANCE OF THE WORK) WILL BE PROMPTLY REMOVED AND REPLACED.
- STANDARDS SET FORTH IN 'AMERICAN STANDARD FOR NURSERY STOCK', CONSTITUTE THE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL. 'LANDSCAPE SPECIFICATION GUIDELINES' BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MD, DC AND VA SHALL BE FOLLOWED FOR PLANTING PROCEDURES, PRODUCT SPECIFICATIONS AND GENERAL CONDITIONS.
- THE OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR SOIL SAMPLING AND TESTS TO DETERMINE EXACT FERTILIZER REQUIREMENTS.
- LANDSCAPE CONTRACTOR IS TO BE RESPONSIBLE FOR WATERING ALL PLANT MATERIALS UNTIL THE TIME THE PERMANENT IRRIGATION SYSTEM IS FULLY FUNCTIONAL. IF THE SITE DEVELOPMENT PLANS DO NOT INCLUDE AN IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO WATER ALL PLANT MATERIALS UNTIL INITIAL ACCEPTANCE OF THE LANDSCAPING.
- CHEMICAL WEED CONTROL MUST BE APPLIED TO ALL SHRUB AND TREE AREAS PRIOR TO ANY PLANTING INSTALLATION.
- SUBSTITUTIONS MAY BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ALL SUBSTITUTIONS MUST BE OF EQUIVALENT TYPE AND SIZE. SUBMIT LIST TO: THE RBA GROUP, 7164 COLUMBIA GATEWAY DR, STE 205, COLUMBIA, MD 21046, 410-312-0966, (F) 410-312-0897, ATTN: LANDSCAPE ARCHITECTURE.
- CONTRACTOR TO ALLOW FIVE WORKING DAYS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.
- ALL AREAS DISTURBED DURING INSTALLATION MUST BE SEEDED UNLESS NOTED OTHERWISE.
- THE LANDSCAPE PLAN IS FOR LANDSCAPING ONLY.



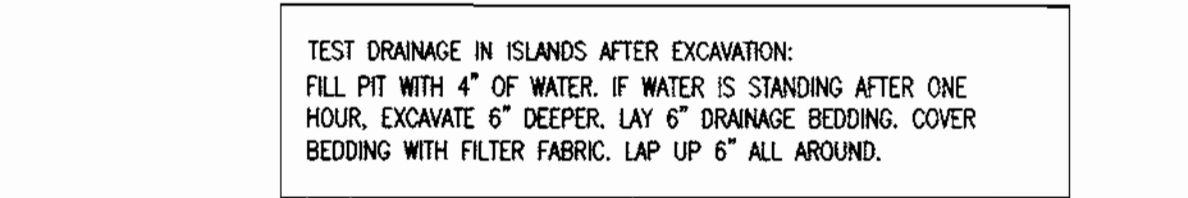
- CUT PLANT BEDS IN SMOOTH CURVES
- CUT EDGE OF SOD VERTICALLY TO CREATE CLEAN EDGE.

1 PLANT BED EDGING
SCALE: NTS



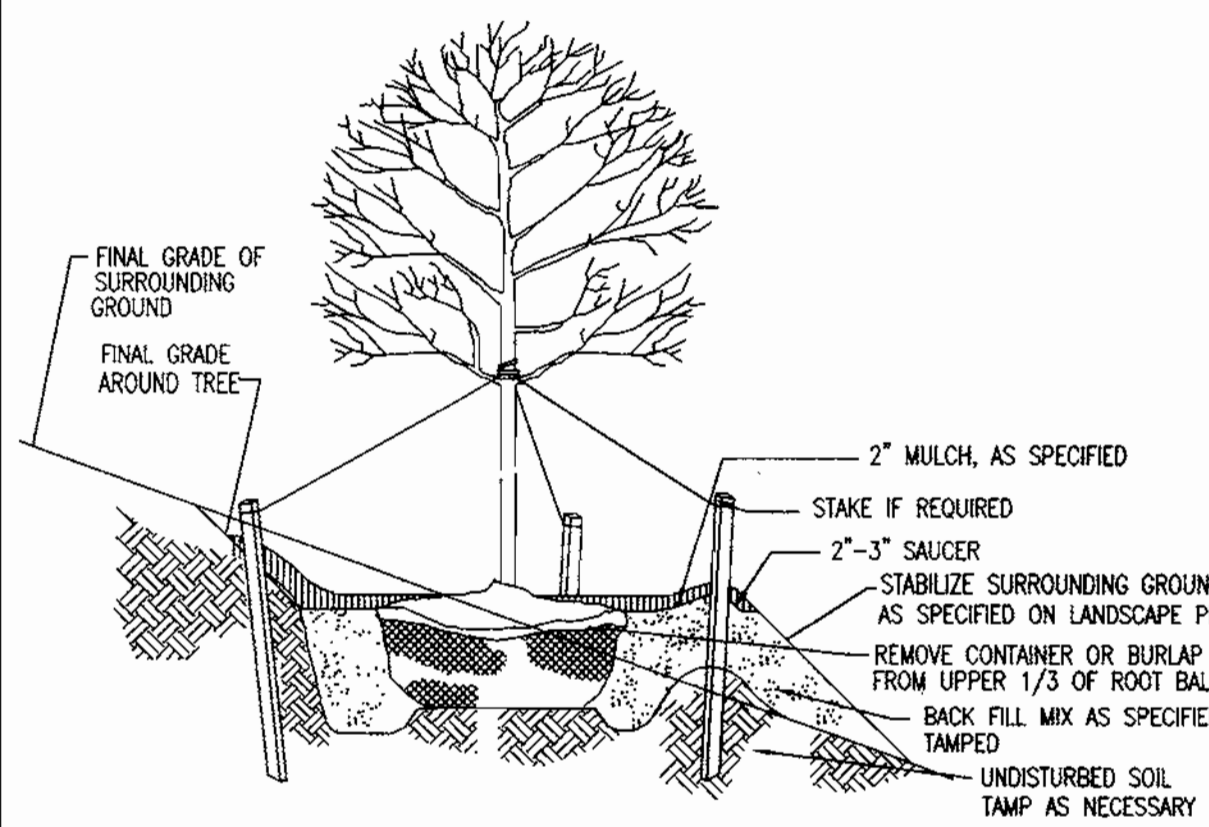
- 1/6 OF ROOT BALL TO BE SET ABOVE GRADE
- SCARIFY SIDES OF PIT TO 4"
- FOR CONTAINER MATERIAL, SLASH ROOT BALL FROM TOP TO BOTTOM, 1" DEEP MIN.
- REMOVE DEAD OR BROKEN BRANCHES, RETAIN NATURAL FORM.

2 MASS SHRUB PLANTING
SCALE: NTS

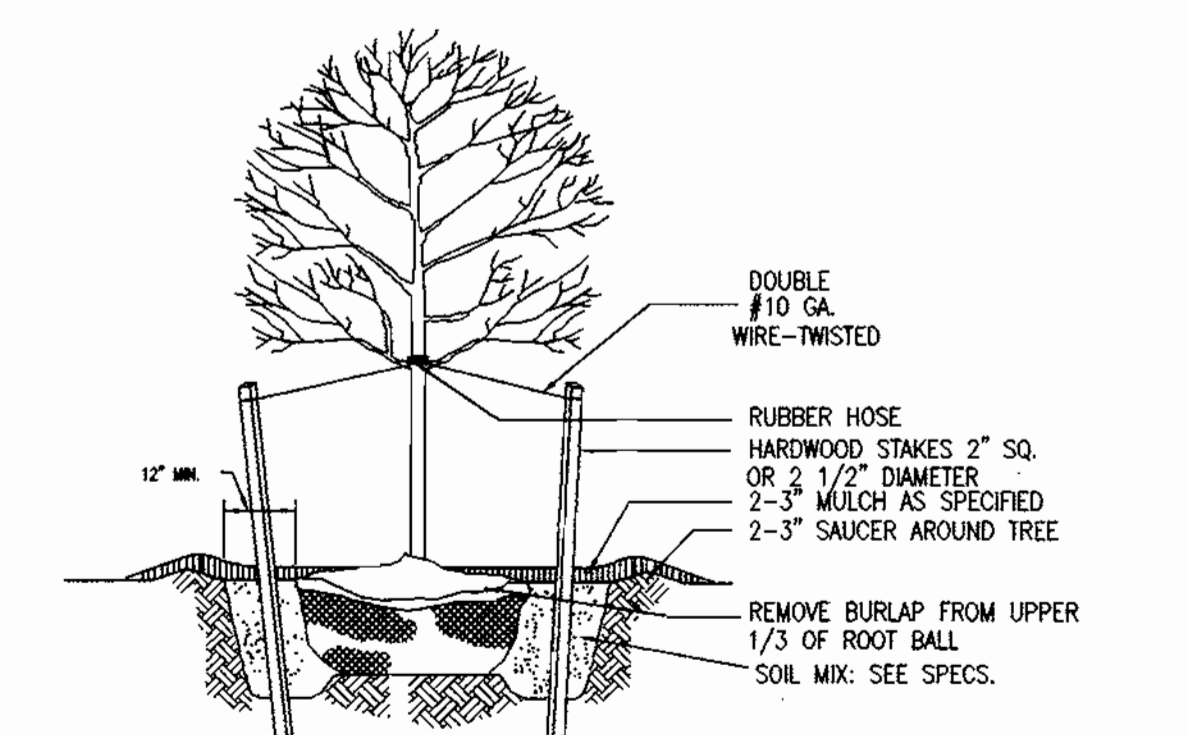


TEST DRAINAGE IN ISLANDS AFTER EXCAVATION: FILL PIT WITH 4" OF WATER. IF WATER IS STANDING AFTER ONE HOUR, EXCAVATE 6" DEEPER. LAY 6" DRAINAGE BEDDING. COVER BEDDING WITH FILTER FABRIC. LAP UP 6" ALL AROUND.

3 TREE ISLAND DETAIL
SCALE: NTS



4 TREE PLANTING ON SLOPES
SCALE: NTS

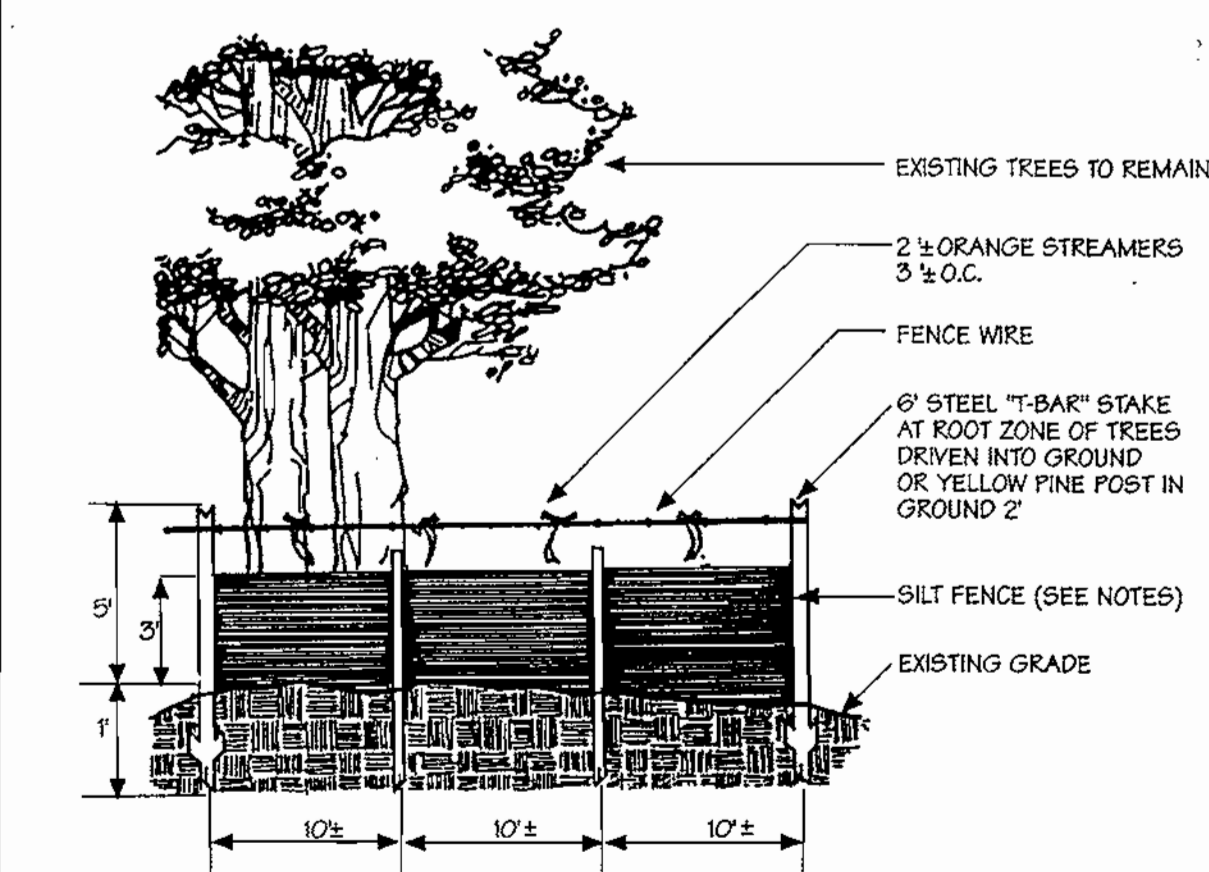


- REMOVE DEAD OR BROKEN BRANCHES, RETAINING NATURAL SHAPE.
- NEVER CUT CENTRAL LEADER.
- SET TREE WITH 1/6 ROOT BALL ABOVE GRADE.
- STAKES, WIRES & HOSES SHALL BE REMOVED AFTER ONE YEAR.
- SCARIFY SUBSOIL TO A MIN. 4" DEPTH.
- PLACE STAKES PARALLEL TO WALKS.

5 DECIDUOUS TREE PLANTING
SCALE: NTS

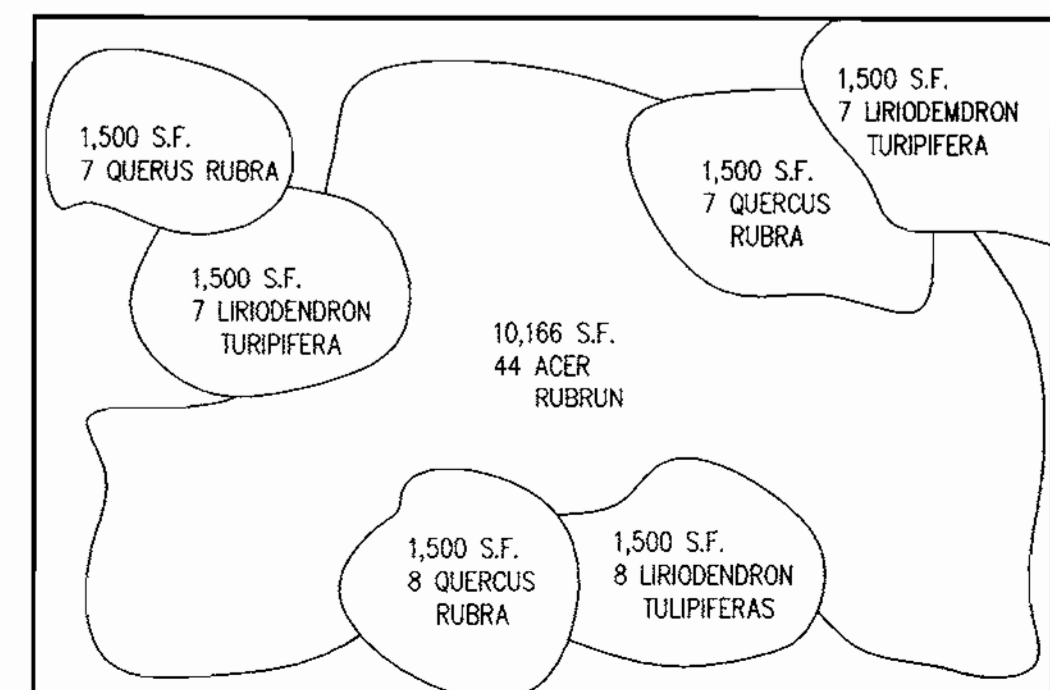
TREE SUPPORT SCHEDULE-EVERGREEN & DECIDUOUS

TREE HEIGHT	TREE CALIPER	STAKE
6-8'	1 - 1 1/2"	2 @ 5'
8-10'	1 1/2 - 2"	2 @ 5'
10-12'	1 1/2 - 2"	2 @ 7 - 8'
12-14'	2 1/2 - 3"	3 @ 8'
14-16'	3 - 4"	3 @ 8'



- Notes:
- Silt fence to be heeled into the soil.
 - Wire, snow fences, etc. for tree protection only.
 - Boundaries of Retention Area will be established as part of the forest conservation plan review process.
 - Boundaries of Retention Area should be staked and flagged prior to installing device.
 - Avoid root damage when placing anchor posts.
 - Device should be properly maintained throughout construction.
 - Protection signs are also required, see Figure C-4.
 - Locate fence outside the Critical Root Zone.

6 SILT FENCE AND TREE PROTECTION
SCALE: NTS



TYPICAL AFFORESTATION PLANTING DIAGRAM

FOREST CONSERVATION WORKSHEET
VERSION 1.0

NET TRACT AREA

A. Total tract area =	5.01
B. Area within 100-year floodplain =	2.10
C. Area to remain in agricultural production =	0.00
D. Net tract area =	2.91

LAND USE CATEGORY (from table 3.2.1, page 40, Manual)

Input the number "1" under the appropriate land use Zoning, and limit to only one entry.

ARA	MDR	IDA	HDR	MPD	CIA
0	0	0	0	0	1

E. Afforestation Threshold 15% x D = 0.44
F. Conservation Threshold 15% x D = 0.44

EXISTING FOREST COVER

G. Existing forest cover (excluding floodplain) =	0.00
H. Area of forest above afforestation threshold =	0.00
I. Area of forest above conservation threshold =	0.00

BREAK EVEN POINT

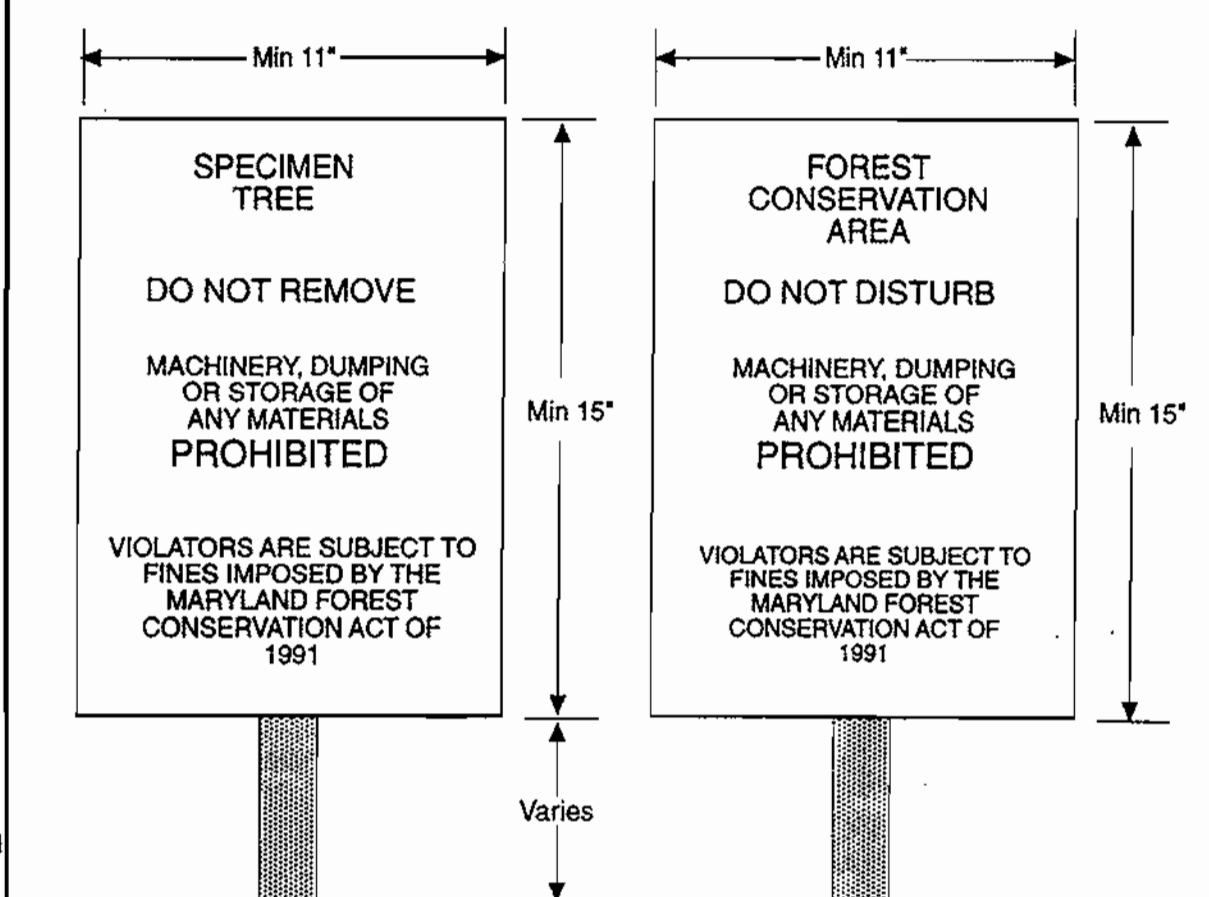
J. Forest retention above threshold with no mitigation =	0.00
K. Clearing permitted without mitigation =	0.00

PROPOSED FOREST CLEARING

L. Total area of forest to be cleared =	0.00	Cannot exceed existing
M. Total area of forest to be retained =	0.00	

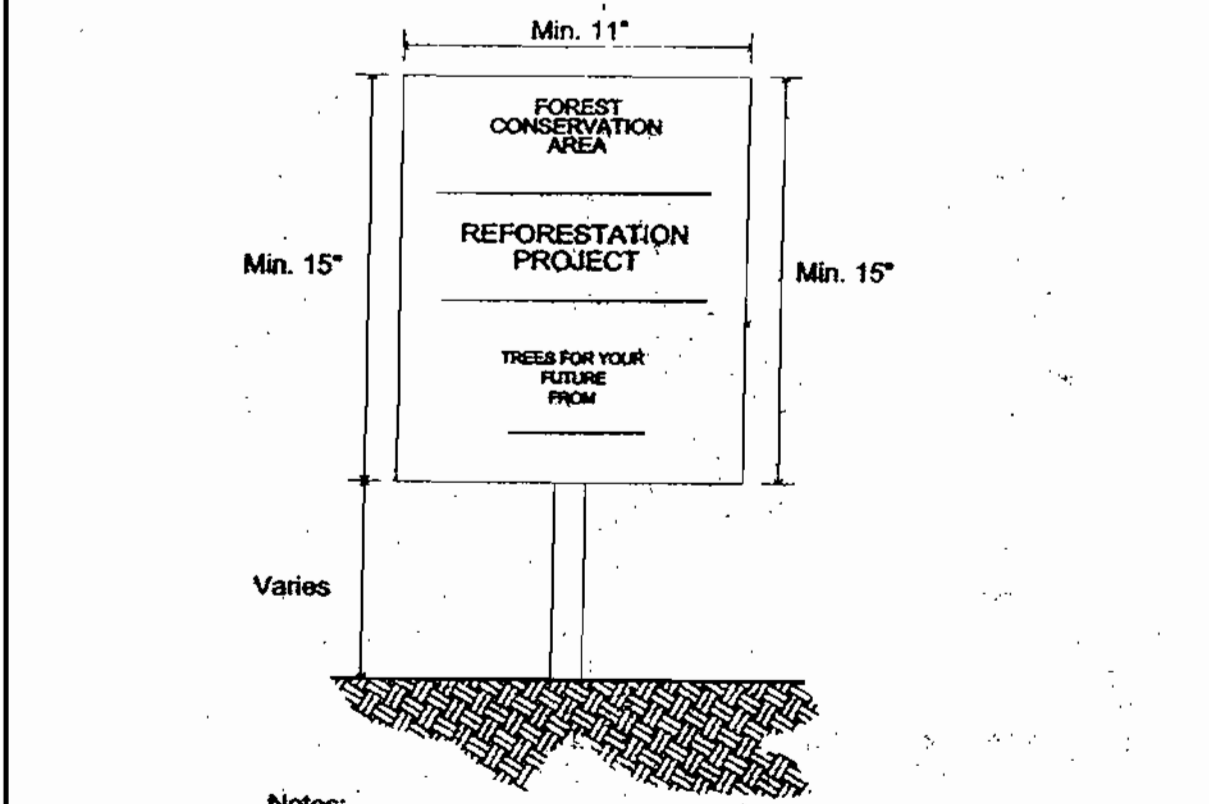
PLANTING REQUIREMENTS

N. Reforestation for clearing above conservation threshold =	0.00		
P. Reforestation for clearing below conservation threshold =	0.00	1.00	1.00
Q. Credit for retention above conservation threshold =	0.00		
R. Total reforestation required =	0.00	1.00	1.00
S. Total afforestation required =	0.44		
T. Total reforestation and afforestation required =	0.44		



- Notes:
- Bottom of signs to be higher than top of tree protection fence.
 - Signs to be placed approximately 50' feet apart. Conditions on site affecting visibility may warrant placing signs closer or farther apart.
 - Attachment of signs to trees is prohibited.

Source: Adapted from Forest Conservation Manual, 1991



- Notes:
- The signs notify construction workers and future residents of the newly planted material, improving the trees' survival rate.
 - Signs may be adapted by residents for identification of forest retention areas in long term.

7 FOREST RETENTION AREA SIGNAGE
SCALE: NTS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/25/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 4/25/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

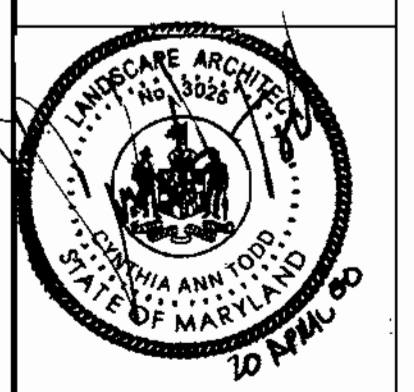
[Signature] 4/28/00
DIRECTOR DATE

SITE DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 156 & 263
LIBER 3759, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

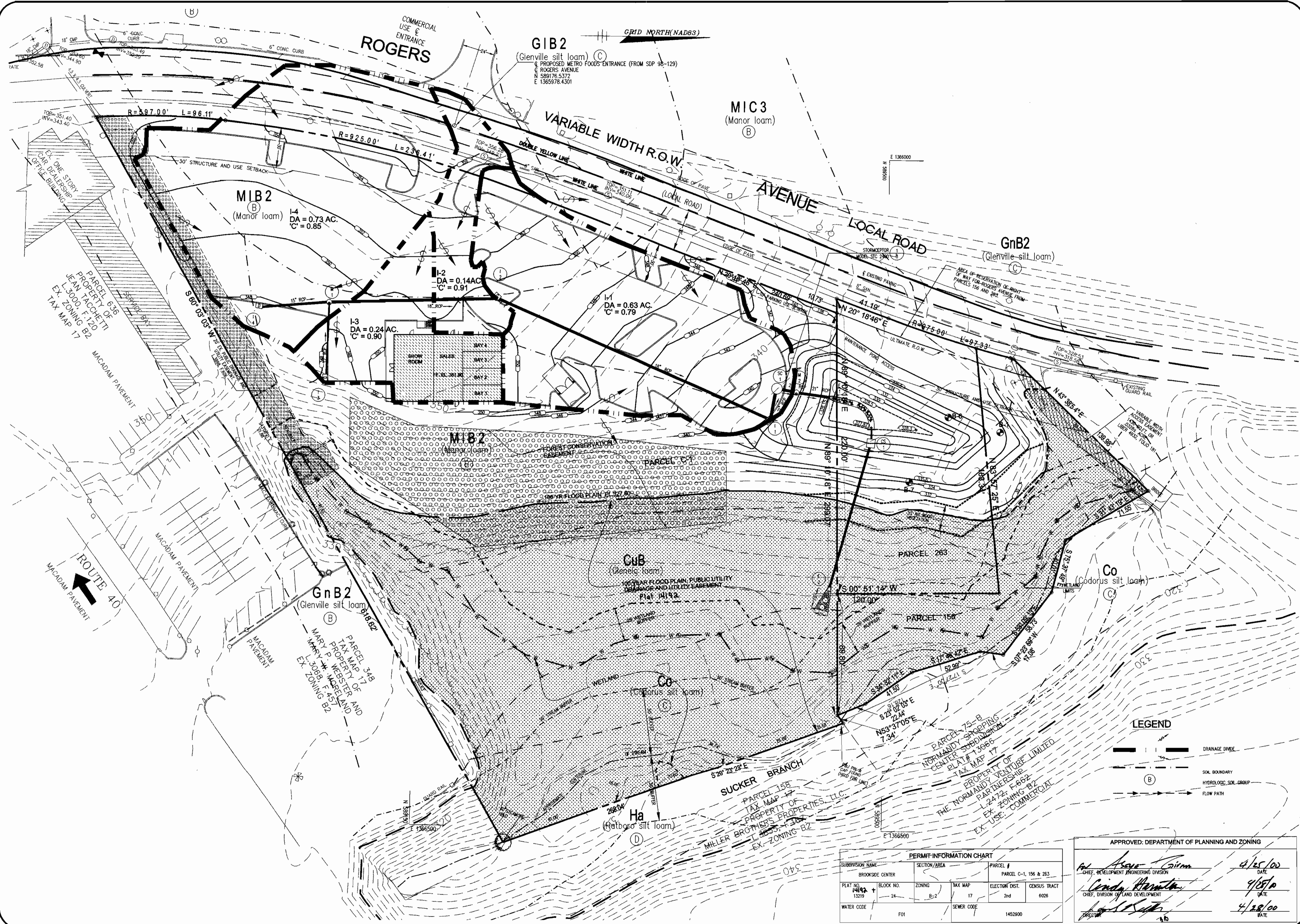
OWNER:
BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
2085 YORK ROAD
TIMONIUM, MD 21083
(410) 252-8000

RBA Group
ENGINEERS • ARCHITECTS • PLANNERS
Suite 100, Columbia Gateway Drive
Columbia, MD 21046
Phone: (410) 312-0896 Fax: 312-0897

REVISIONS
COUNTY COMMENTS 03/08/00



DATE: 02/17/99
JOB NUMBER: M2618
FILE NUMBER: 2618FCD1
PLOTTED: 03/09/00
DRAWN BY: RJ
LANDSCAPE AND AFFORESTATION SPECIFICATIONS
SHEET L-2
17 OF 20



SITE DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
 PARCEL C-1 (PLAT NO. 13219)
 AND PARCELS 156 & 263
 LIBER 37399, FOLIO 557
 2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
 HOWARD COUNTY, MARYLAND

OWNER:
BROOKSIDE LLP
C/O NATIONWIDE MOTOR SALES
 2085 YORK ROAD
 TIMONIUM, MD 21083
 (410) 252-8000

The RBA Group
ENGINEERS & ARCHITECTS • PLANNERS
 7164 Columbia Gateway Drive
 Suite 400
 Pikesville, MD 21113
 Phone: (410) 312-9968; Fax: (410) 312-4097

REVISIONS
 COUNTY COMMENTS 03/08/00



DATE: 11/15/99
 JOB NUMBER: M2618
 FILE NUMBER: 2618BASE
 PLOTTED: 03/09/00
 DRAWN BY: RJ
DRAINAGE AREA MAP
 SHEET: D-1
 18 of 20

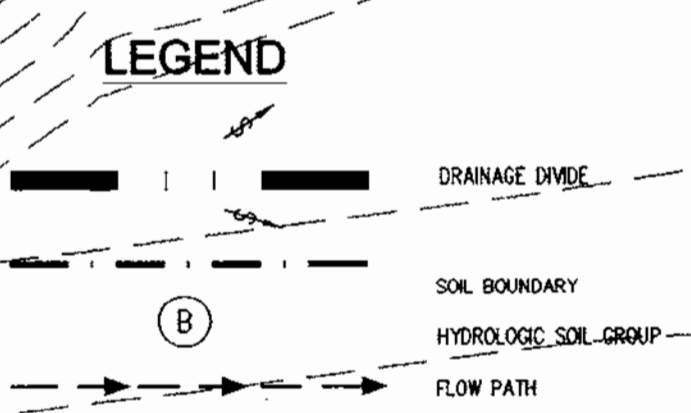
PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	PARCEL #	PLAT NO.	BLOCK NO.
BROOKSIDE CENTER		PARCEL C-1, 156 & 263	14192	24
			13219	
WATER CODE	F01	SEWER CODE	2nd	6026
			1452900	

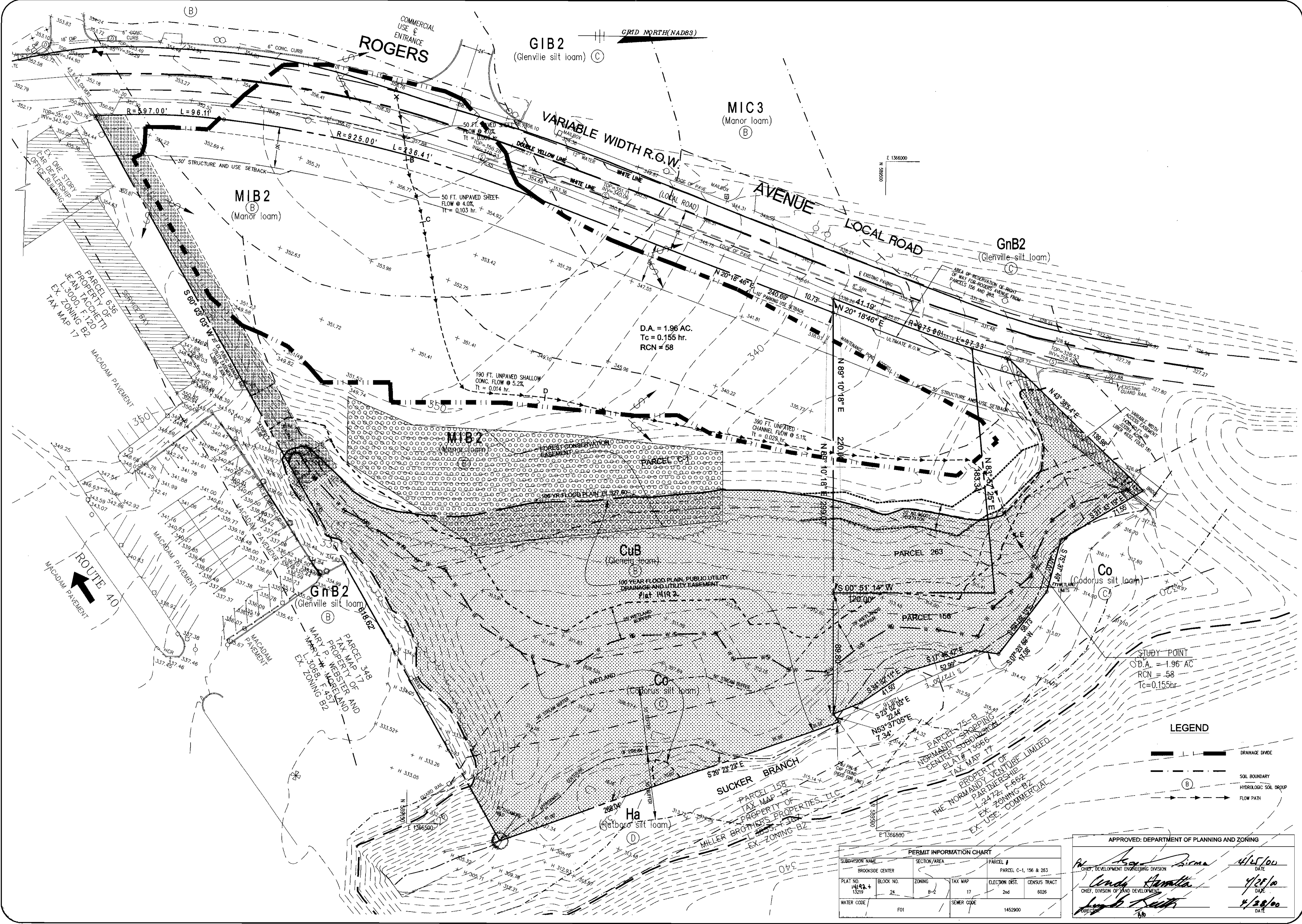
APPROVED: DEPARTMENT OF PLANNING AND ZONING

Al Asava 4/25/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Harmita 4/25/00
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

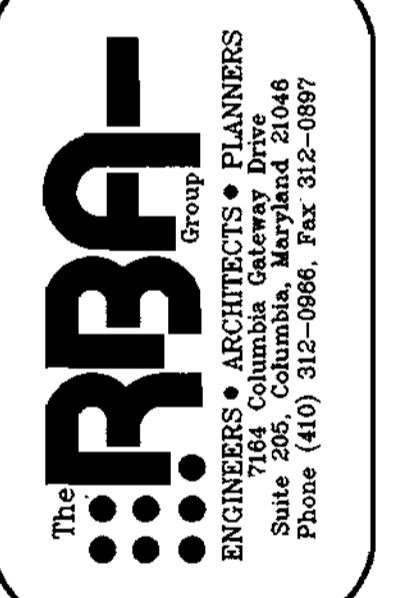
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 DIRECTOR DATE



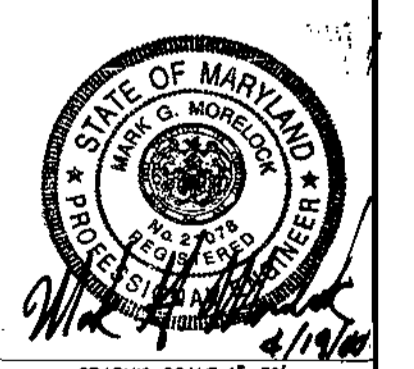


SITE DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
 PARCEL C-1 (PLAT NO. 13219)
 AND PARCELS 156 & 263
 LIBER 3759, FOLIO 557
 2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
 HOWARD COUNTY, MARYLAND

OWNER:
BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
 2085 YORK ROAD
 TIMONIUM, MD 21083
 (410) 252-8000



REVISIONS
 COUNTY COMMENTS 03/08/00



DATE: 11/15/99
 JOB NUMBER: M2165
 FILE NUMBER: 2618BASE
 PLOTTED: 03/08/00
 DRAWN BY: RJ
DRAINAGE AREA MAP
 PRE-DEVELOPED
 CONDITION
 SHEET D-2
 19 of 20

PERMIT INFORMATION CHART					
SUBMISSION NAME	SECTION/AREA	PARCEL #	PARCEL C-1, 156 & 263		
BROOKSIDE CENTER					
PLAT NO. 14192+	BLOCK NO. 24	ZONING B-2	TAX MAP 17	ELECTION DIST. 2nd	CENSUS TRACT 6026
WATER CODE	F01	SEWER CODE	1452900		

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/25/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE

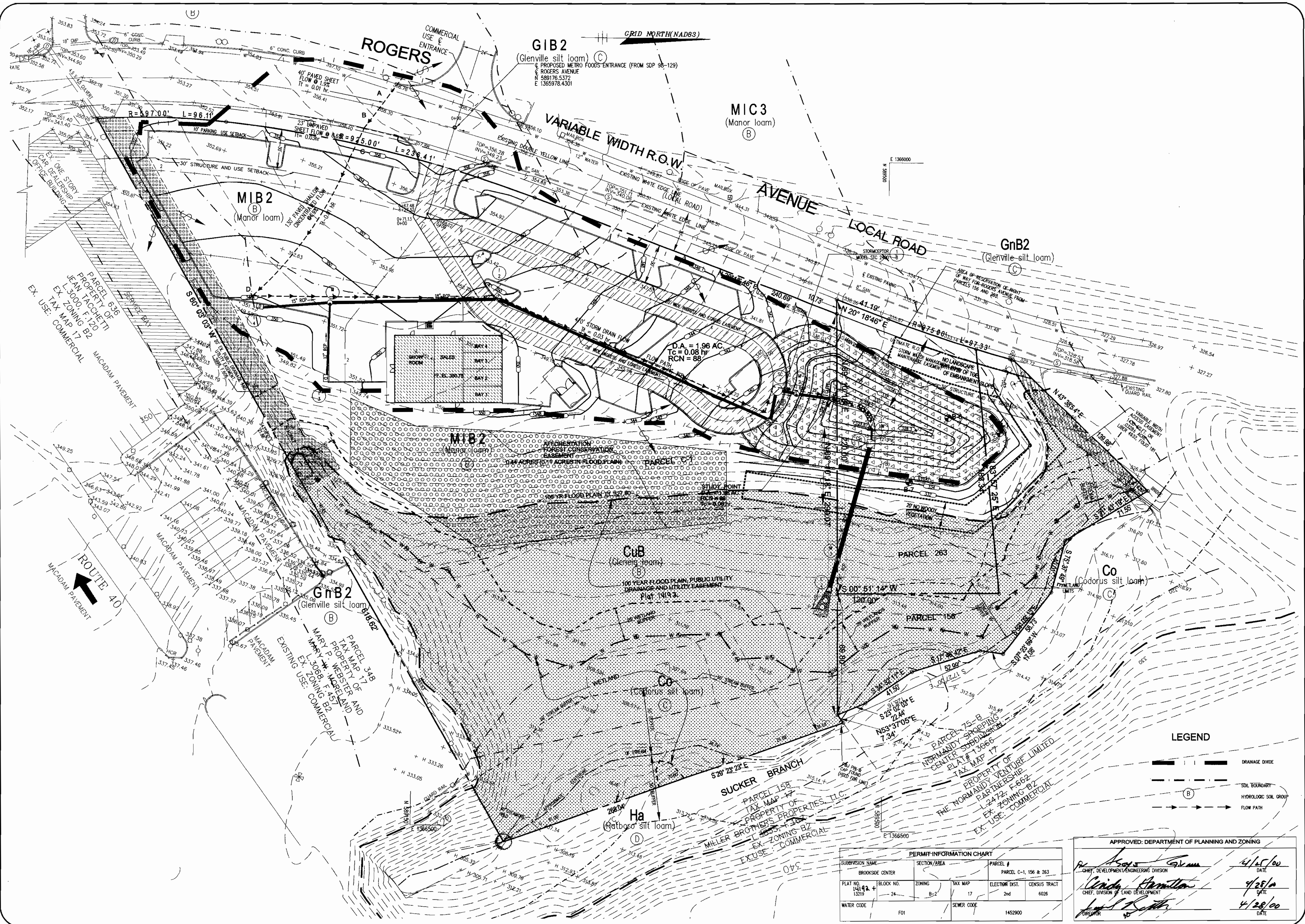
[Signature] 4/28/00
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE

[Signature] 4/28/00
 DATE

LEGEND

- DRAINAGE DIVIDE
- SOIL BOUNDARY
- HYDROLOGIC SOIL GROUP
- FLOW PATH

STUDY POINT
 O.B.A. = 1.96 AC
 RCN = 58
 Tc = 0.155hr

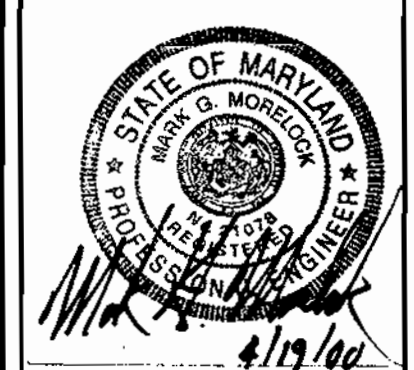


OWNER:
BROOKSIDE ILLP
C/O NATIONWIDE MOTOR SALES
 2085 YORK ROAD
 TIMONIUM, MD 21083
 (410) 252-8000

OWNER:
BROOKSIDE CENTER CAR SALES
 PARCEL C-1 (PLAT NO. 13219)
 AND PARCELS 156 & 263
 LIBER 3759, FOLIO 557
 2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
 HOWARD COUNTY, MARYLAND



REVISIONS
 COUNTY COMMENTS 03/08/00



DATE: 11/15/99
 JOB NUMBER: M2618
 FILE NUMBER: 26185BASE
 PLOTTED: 03/08/00
 DRAWN BY: RJ
 DRAINAGE AREA MAP - POST DEVELOPED CONDITION
 SHEET: D-3
 20 of 20

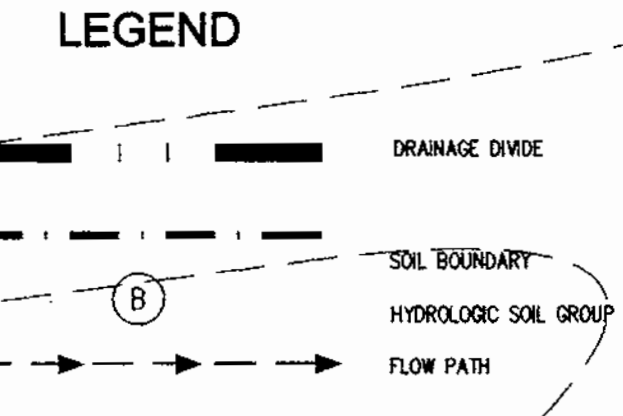
PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	PARCEL #	TAX MAP	ELECTION DIST.
BROOKSIDE CENTER		PARCEL C-1, 156 & 263	17	2nd
PLAT NO. 14142+	BLOCK NO. 24	ZONING B-2	TAX MAP 17	ELECTION DIST. 2nd
WATER CODE F01	SEWER CODE 1452900	CENSUS TRACT 6026		

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Rebecca G. Gorman 4/25/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cathy Hamilton 4/25/00
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Paul D. Smith 4/28/00
 DIRECTOR DATE



GENERAL NOTES

- TOPOGRAPHIC SURVEY WAS PROVIDED BY RBA GROUP DATED MARCH 5, 1998. THE BASE SURVEY IS GIVEN ON SHEET C-2 OF THIS DRAWING SET. ALL EXISTING SITE CONDITIONS SHALL BE DETERMINED BY EXAMINATION OF THE RBA SURVEY SHEETS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS GIVEN ON THESE DRAWINGS AND IN THE SPECIFICATION BOOKLET AS WELL AS STANDARD MARYLAND STATE HIGHWAY ADMINISTRATION AND HOWARD COUNTY SPECIFICATIONS WHICHEVER IS MORE RESTRICTIVE.
- DEVIATION FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT FROM THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.
- THE RBA GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES, OR PROCEDURES, UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND STANDARD CONSTRUCTION PRACTICES.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES WHICH ARE TO REMAIN FREE FROM DAMAGE AND MAINTAIN UNINTERRUPTED SERVICE TO ALL USERS. ANY DAMAGE INCURRED DUE TO THE CONTRACTOR'S OR SUBCONTRACTOR'S ACTIONS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK ON THE PROJECT:
 MISS UTILITY (800) 257-7777
 BALTIMORE GAS AND ELECTRIC CO. (410) 859-9065
 COMCAST CABLEVISION (410) 461-1362 EXT. 27
 BELL ATLANTIC TELEPHONE (410) 954-6281
 HOWARD COUNTY SCD (410) 465-3180
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO BEGINNING WORK. HE SHALL VERIFY SIZE AND LOCATIONS OF ALL UNDERGROUND UTILITIES AND TEST PIT AT PROPOSED TIE IN LOCATIONS. DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER WELL IN ADVANCE OF CONSTRUCTION START. START OF CONSTRUCTION BY THE CONTRACTOR SHALL CONSTITUTE FULL ACCEPTANCE OF ALL SITE CONDITIONS BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR CONSTRUCTION PRIOR TO BEGINNING WORK.
- ALL UTILITIES ARE TO REMAIN UNLESS DESIGNATED TO BE REMOVED AND ALL APPURTENANCES SHALL BE ADJUSTED TO FINISH GRADE.
- PRIOR TO START OF CONSTRUCTION CONTRACTOR SHALL STAKE OUT AND VERIFY LOCATIONS OF ALL IMPROVEMENTS AND UTILITY TIE IN LOCATIONS. CONTRACTOR SHALL PROVIDE CUT SHEETS TO THE COUNTY ENGINEER THREE (3) WORKING DAYS BEFORE STARTING CONSTRUCTION.
- SCALING OF THESE PLANS IS DISCOURAGED UNLESS DIRECTED BY THE ENGINEER. IN THE EVENT OF A DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS, THE FIGURED DIMENSIONS SHALL BE HELD.
- THE CONTRACTOR SHALL ENSURE THAT CURRENT AS-BUILT RECORDS ARE MAINTAINED DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION, CERTIFIED (I.E. P.E. STAMPED) AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE OWNER. THESE AS-BUILT DRAWINGS SHALL BE FOUND ACCEPTABLE BY HOWARD COUNTY PRIOR TO RELEASE OF ANY REMAINING SECURITY.
- CONTRACTOR SHALL MAINTAIN ALL SEDIMENT CONTROL DEVICES WITHIN THE LIMITS OF THE SITE DURING CONSTRUCTION OF THE SITE IMPROVEMENTS. CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AS MAY BE NECESSARY DURING CONSTRUCTION AND/OR BY GOVERNING AGENCIES.
- THE CONTRACTOR SHALL NOTIFY OF DEPARTMENT OF PUBLIC WORKS/ BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED ON THE PLAN.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 24C2, AND 18G1 WERE USED FOR THIS PROJECT. REFER TO LOCATION PLAN, THIS SHEET, FOR MONUMENT LOCATIONS.
- STORMWATER MANAGEMENT FACILITY WILL BE WITH A USE OF A DETENTION POND AND STORMCATCHER SYSTEM TO BE OWNED AND MAINTAINED PRIVATELY.
- EXISTING UTILITIES ARE BASED ON TOPOGRAPHIC SURVEY BY THE RBA GROUP DATED MARCH 5, 1998. A COPY OF THAT PLAN IS ON SHEET C-2.
- THE WETLANDS DELINEATION STUDY FOR THIS PROJECT WAS PREPARED BY CAMPBELL & NOLAN ASSOCIATES, INC., DATED JULY 28, 1999.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE RBA GROUP DATED NOVEMBER 15, 1999.
- THE FLOOD PLAIN STUDY FOR THIS PROJECT WAS PREPARED BY PURDUM & JESCHKE, DATED 1978. THE STUDY WAS REVISED IN JULY 1999 BY PURDUM & JESCHKE, LLC AND APPROVED BY HOWARD COUNTY, DEVELOPMENT ENGINEERING.
- RELATED PLAN AND PLAT FILE NUMBERS:
 F38-160, WP-88-146, F-77-161, F-89-108, WP-90-64, WP-91-186, WP-92-214, F-98-13, WP-95-131, SDP 95-124 AND F 98-160.
- PUBLIC WATER AND SEWER HAVE BEEN APPROVED UNDER CONTRACTS W-9 AND 10-1129, RESPECTIVELY.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN FLOOD PLAINS, WETLANDS AND STREAMS OR THEIR BUFFERS EXCEPT AS DETERMINED ESSENTIAL BY THE DEPARTMENT OF PLANNING AND ZONING.
- LANDSCAPING OF THIS SITE HAS BEEN FULFILLED PER SECTION 16.124 OF THE SUBDIVISION REGULATIONS. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN MADE A PART OF THE DEVELOPER'S AGREEMENT.
- THIS SITE PLAN IS FOR IMPROVEMENTS ON PARCELS C-1, 156 AND 263 ONLY.
- A CROSS EASEMENT AND MAINTENANCE AGREEMENT FOR THE SWM POND LOCATED ACROSS PARCELS 156 AND 263 FOR THE BENEFIT OF PARCEL C-1 HAS BEEN RECORDED IN THE LAND RECORDS OFFICE OF HOWARD COUNTY, MARYLAND AS LIBER 5068 / FOLIO 223.
- A FOREST CONSERVATION EASEMENT FOR 44 ACRES OF AFFORESTATION HAS BEEN ESTABLISHED FOR THIS SITE. SURETY FOR THE .44 ACRES OF AFFORESTATION IN THE AMOUNT OF \$5750.00 WILL BE MADE A PART OF THE DEVELOPER'S AGREEMENT. AN EASEMENT PLAT OF FOREST CONSERVATION FOR THIS SITE IS RECORDED IN THE LAND RECORDS OFFICE OF HOWARD COUNTY, MD AS PLAT NUMBER 14112 ON 4-24-00, 2000, AND IS FILED UNDER THIS SITE DEVELOPMENT PLAN NUMBER, SDP-00-60.

STAKING NOTES

- ALL CURB RADII ARE 3 FEET UNLESS NOTED OTHERWISE. ALL SIDEWALK RADII ARE 2 FEET UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE MEASURED FROM FACE OF CURB AND FACE OF FINISHED STRUCTURE UNLESS NOTED OTHERWISE.
- BENCH MARK INFORMATION - HOWARD COUNTY GEODETIC CONTROL:
 24C2, ELEVATION: 354.775
 18G1, ELEVATION: 408.542
 LOCATION: (SEE LOCATION PLAN).

BROOKSIDE CENTER ROGERS AVENUE PARCEL C-1, PLAT NO. 13219 AND PARCELS 156 & 263 TAX MAP 17, GRID 24 HOWARD COUNTY, MARYLAND

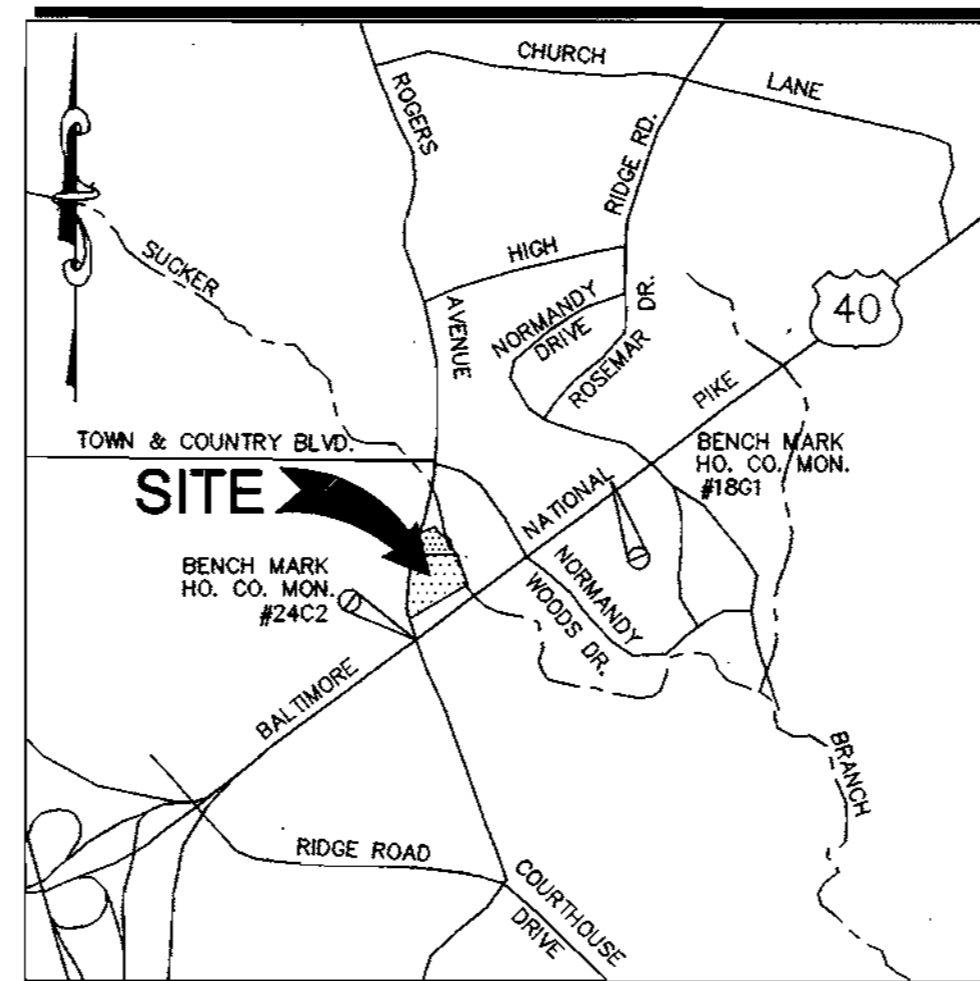
UTILITY NOTES

- REFER TO THE MEP PLANS FOR THE CONTINUATION OF ALL UTILITIES INTO THE BUILDING.
- STANDARD CONCRETE THRUST BLOCKS SHALL BE INSTALLED AT EACH BEND OR TEE IN THE WATER AND FIRE SYSTEM PIPING NETWORK.
- EXTERIOR NATURAL GAS LINES ARE TO BE INSTALLED BY BALTIMORE GAS AND ELECTRIC INCLUDING THE METER. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE LINES WITH THE ONSITE UTILITY WORK INCLUDING ARRANGING THE SCHEDULE WITH BGE AND ALL SUBCONTRACTORS. CONTACT BGE AT (410) 859-9065 WELL IN ADVANCE OF ANTICIPATED CONSTRUCTION START.
- ELECTRIC WILL BE INSTALLED BY BALTIMORE GAS AND ELECTRIC WHICH INCLUDES THE PRIMARY CABLING AND SUPPLYING AND SETTING OF THE TRANSFORMER. THE CONTRACTOR SHALL SUPPLY AND INSTALL THE TRANSFORMER PAD AS PER BGE SPECIFICATIONS. THE CONTRACTOR MUST ALSO INSTALL THE CONDUITS WITH PULL WIRES FOR BGE CABLING. CONTRACTOR SHALL COORDINATE BGE WORK WITH ALL ONSITE CONSTRUCTION INCLUDING SCHEDULING OF THE INSTALLATION. CONTACT BGE AT (410) 859-9065 WELL IN ADVANCE OF ANTICIPATED CONSTRUCTION.
- ALL STORM DRAIN PIPES SHALL BE RCP UNLESS OTHERWISE NOTED ON THE PLAN.
- ALL SANITARY SEWER PIPE SHALL BE PVC SDR-35.
- ALL WATER MAINS SHALL BE DUCTILE IRON (TYTON) CLASS 52.
- WATER IS PUBLIC. METER TO BE PROVIDED OUTSIDE THE BUILDING AT THE PROPERTY LINE.
- SEWER IS PRIVATE. LINE CONNECTED TO THE COUNTY'S PUBLIC SEWER SYSTEM.
- ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING REGULATION SECTION 134.
- CONTRACTOR SHALL COORDINATE CABLE SERVICE AND CONDUIT REQUIREMENTS WITH COMCAST CABLEVISION. CONTACT COMCAST AT (410) 461-1362 EXT. 27 WELL IN ADVANCE OF ANTICIPATED CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE TELEPHONE SERVICE WITH BELL ATLANTIC. COORDINATE ALL CONDUIT REQUIREMENTS PRIOR TO CONSTRUCTION. CONTACT BELL ATLANTIC AT (410) 954-6281 WELL IN ADVANCE OF ANTICIPATED CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE ALL UTILITY LINE ROUTINGS WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO CONSTRUCTION. CONTACT THE ENGINEER IMMEDIATELY SHOULD A CONFLICT ARISE. ALLOW A MINIMUM OF 3 DAYS FOR ANY NECESSARY REDESIGN.

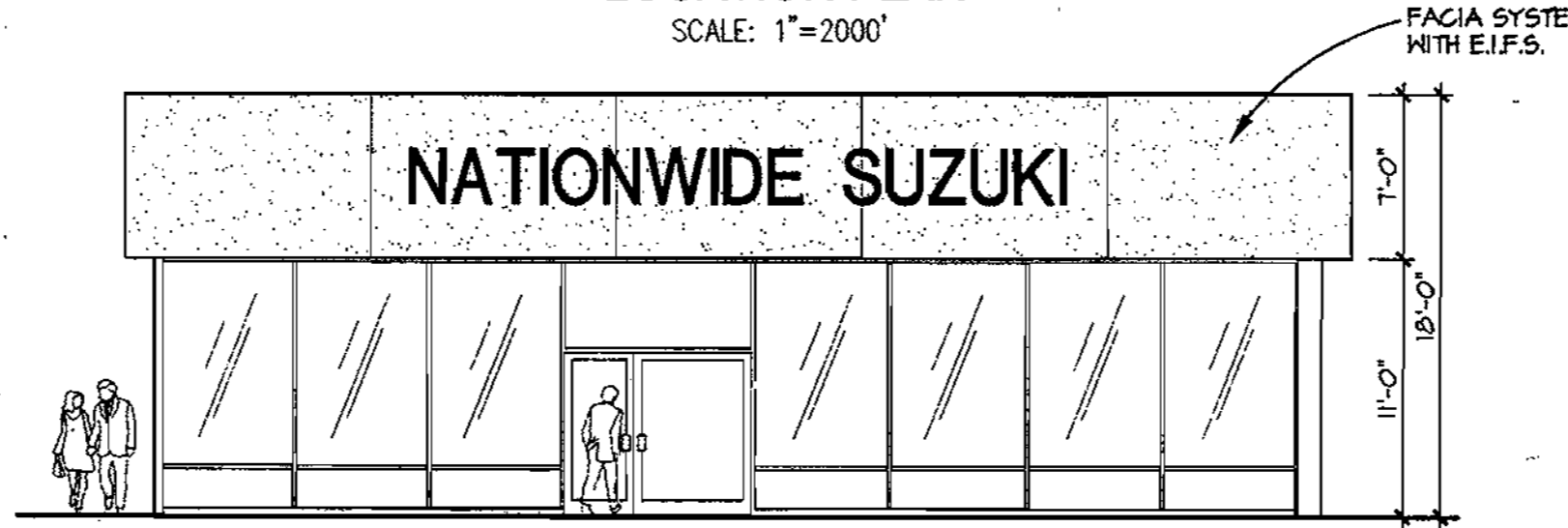
SITE ANALYSIS

- AREA OF PLAN SUBMISSION: 218523 S.F. (5.0166 ACRES)
 PARCEL C-1 4.037 ACRES
 PARCEL 263 0.511 ACRES
 PARCEL 156 0.4688 ACRES
 TOTAL 5.0166 ACRES
- FLOOD PLAIN AREA: 91,520 S.F. (2.101 ACRES)
- LIMIT OF DISTURBED AREA: 102,201 S.F. (2.31 ACRES)
- PRESENT ZONING: B-2
- EXISTING USE: VACANT LOT
- PROPOSED USE: CAR DEALERSHIP
- BUILDING DATA
 A. GROSS SQUARE FOOTAGES: 4,000 GSF
 B. NUMBER OF STORIES: 1
 C. TOTAL BUILDING HEIGHT: PROVIDED = 18 FT.
 MAX. BLDG. HEIGHT ALLOWED = 40 FT.
- PARKING DATA
 A. TOTAL SPACES REQUIRED: 2 SPACES PER 1000 SF OF BUILDING AREA EXCLUDING SERVICE BAYS, PLUS 1 SPACE PER 1000 SF OF OUTDOOR DISPLAY AREA PLUS 3 SPACES PER SERVICE AREA.
 B. CALCULATION METHOD:
 BUILDING AREA 6 SPACES
 EXCLUDING SERVICE BAYS (2,550 SF) 12 SPACES
 SERVICE BAY (4 BAYS) 15 SPACES
 OUTDOOR DISPLAY AREA (91 X 162 SF. = 14,742 SF) 33 SPACES
 TOTAL 66 SPACES
 C. NUMBER OF SPACES PROVIDED:
 1. 9' x 18' SPACES REQUIRED 31
 2. HANDICAP ACCESSIBLE 2
 3. 9' x 18' DISPLAY SPACES 91
 4. TOTAL SPACES 124
- IMPERVIOUS COVERAGE DATA
 A. BUILDING: 4,000 SF (0.09 AC.)
 B. DRIVE AISLES: 32,022 SF (0.74 AC.)
 C. PARKING SPACES: 20,196 SF (0.46 AC.)
 D. SIDEWALKS: 927 SF (0.021 AC.)
 E. TOTAL COVERAGE: 57,145 SF (1.31 AC.)
 F. PERCENT OF PAVEMENT (C-1) 32.45%
 G. PERCENT OF SUBMISSION 26.15%
- B-2 ZONING SETBACK:
 A. STRUCTURE AND USE FROM PUBLIC R/W 30 FT.
 B. PARKING FROM PUBLIC R/W 10 FT.
 C. STRUCTURE AND USE FROM RES. DISTRICTS = 30 FT.
 OTHER = NONE

SITE DEVELOPMENT PLAN



LOCATION PLAN
SCALE: 1"=200'



BUILDING ELEVATION
SCALE: 1/8"=1'-0"
80 FT. x 50 FT. FOOTPRINT

OWNER:

NATIONWIDE MOTOR SALES

2085 YORK ROAD
TIMONIUM, MARYLAND 21093
(410) 252-8000

PREPARED BY:



7164 COLUMBIA GATEWAY DRIVE
SUITE 205
COLUMBIA, MARYLAND 21046
(410) 312-0966

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
BROOKSIDE, PARCEL C-1 (PLAT NO. 13219)	3161 ROGERS AVE.

PERMIT INFORMATION CHART				
SUBMISSION NAME	SECTION/AREA	PARCEL #		
BROOKSIDE CENTER		PARCEL C-1, 156 & 263		
PLAT NO. 13219	BLOCK NO. 24	ZONING B-2	TAX MAP 17	ELECTION DIST. 2nd
WATER CODE F01		SEWER CODE		CENSUS TRACT 6026
				1452900

LEGEND

LEGEND	EXISTING	PROPOSED	ABBREVIATIONS
CENTERLINE (WITH +25' TICS)	SEE SHEET C-2		R/W = RIGHT-OF-WAY
PROPERTY LINE			PL = PROPERTY LINE
CURB			INTX = INTERSECTION
GRADE CONTOUR			AHD = AHEAD
SPOT ELEVATION			BK = BACK
CURVE NUMBER			PC = POINT OF CURVATURE (HORIZONTAL)
FLARED END SECTION			PVC = POINT OF CURVE (VERTICAL)
HEADWALL			CV = POINT OF TANGENCY (HORIZONTAL)
STORM SEWER			PVT = POINT OF TANGENCY (VERTICAL)
YARD INLET			PI = POINT OF INTERSECTION
STANDARD INLET			DELTA = INTERNAL ANGLE
CURB INLET			R = RADIUS OF CURVE
STORM WATER MANHOLE			ARC = LENGTH OF CURVE
GENERAL CLEAN OUT			TAN = TANGENT OF CURVE LENGTH
SANITARY SEWER LINE AND MANHOLE			CHD LEN = LENGTH OF CHORD
DOMESTIC WATER LINE			CHD BRG = CHORD BEARING
FIRE LINE			CL = CENTERLINE
WATER METER			S.S.E. = SANITARY SEWER EASEMENT
TELEPHONE LINE			F.F.E. = LOWEST FINISH FLOOR ELEVATION
CABLE TV			MH = MANHOLE (STORM)
FIRE HYDRANT			SMH = MANHOLE (SEWER)
WATER LINE TEE			CI = COMBINATION INLET
GATE VALVE			YI = YARD INLET
PLUG (WITH 2" BLOW OFF VALVE)			HW = HEAD WALL
DOUBLE DETECTOR CHECK WITH BACKFLOW PREVENTOR			FES = FLARED END SECTION
IRRIGATION CUT OFF VALVE			RCP = REINFORCED CONCRETE PIPE
POWER POLE			CMP = CORRUGATED METAL PIPE
GAS METER			PVC = POLYVINYL CHLORIDE PIPE OR POINT OF VERTICAL CURVE
GAS LINE			DIP = DUCTILE IRON PIPE
CHAIN LINK FENCE			C&G = CURB AND GUTTER
FILTER FENCE			PROP = PROPOSED
WOOD FENCE			TC = TOP OF CURB
TRANSFORMER			BC = BOTTOM OF CURB
RETAINING WALLS			TW = TOP OF WALL
STRUCTURE NUMBER REFER TO PROFILE SHEETS (INLETS AND MANHOLES)			BW = BOTTOM OF WALL
LIMITS OF DISTURBANCE			SY = SQUARE YARD
PROPOSED TREE (TYPICAL)			SF = SQUARE FEET
SINGLE HEAD LIGHT			CF = CUBIC FEET
DOUBLE HEAD LIGHT			CY = CUBIC YARD
YARD LIGHT			CFS = CUBIC FEET PER SECOND
COORDINATE NUMBER			V = VELOCITY
DETAIL CALL-OUT			Smin = MINIMUM FRICTION SLOPE
TREE PROTECTION DEVICE (FENCE)			N = NORTH
AREA OF AFFORESTATION			GSF = GROSS SQUARE FEET
NONTIDAL WETLANDS			ASPH = ASPHALT
			D.O.T. = DEPARTMENT OF TRANSPORTATION
			C.O. = GENERAL CLEAN OUT
			STD = STANDARD
			LP = LOW POINT
			HP = HIGH POINT
			EOP = EDGE OF PAVEMENT
			DS = DOWNSPOUT

INDEX

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5	GRADING AND DRAINAGE PLAN	C-5
6	DETAILS I	C-6
7	DETAILS II	C-7
8	DETAILS III	C-8
9	STORMWATER MANAGEMENT DETAILS	C-9
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13	SEDIMENT CONTROL DETAILS I	C-13
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18	DRAINAGE AREA MAP - STORM DRAIN	D-1
19	DRAINAGE AREA MAP - PREDEVELOPED CONDITION	D-2
20	DRAINAGE AREA MAP - POST DEVELOPED CONDITION	D-3

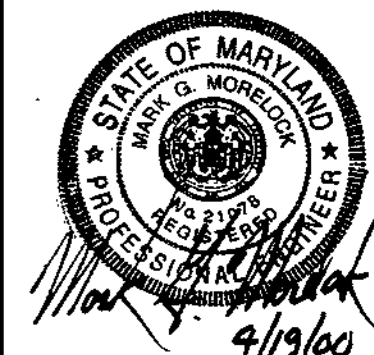
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	4/21/00 DATE
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	4/20/00 DATE
<i>[Signature]</i> DIRECTOR	4/20/00 DATE

SITE DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 156 & 263
LIBER 3759, FOLIO 567
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

OWNER:
BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
2085 YORK ROAD
TIMONIUM, MD 21093
(410) 252-8000

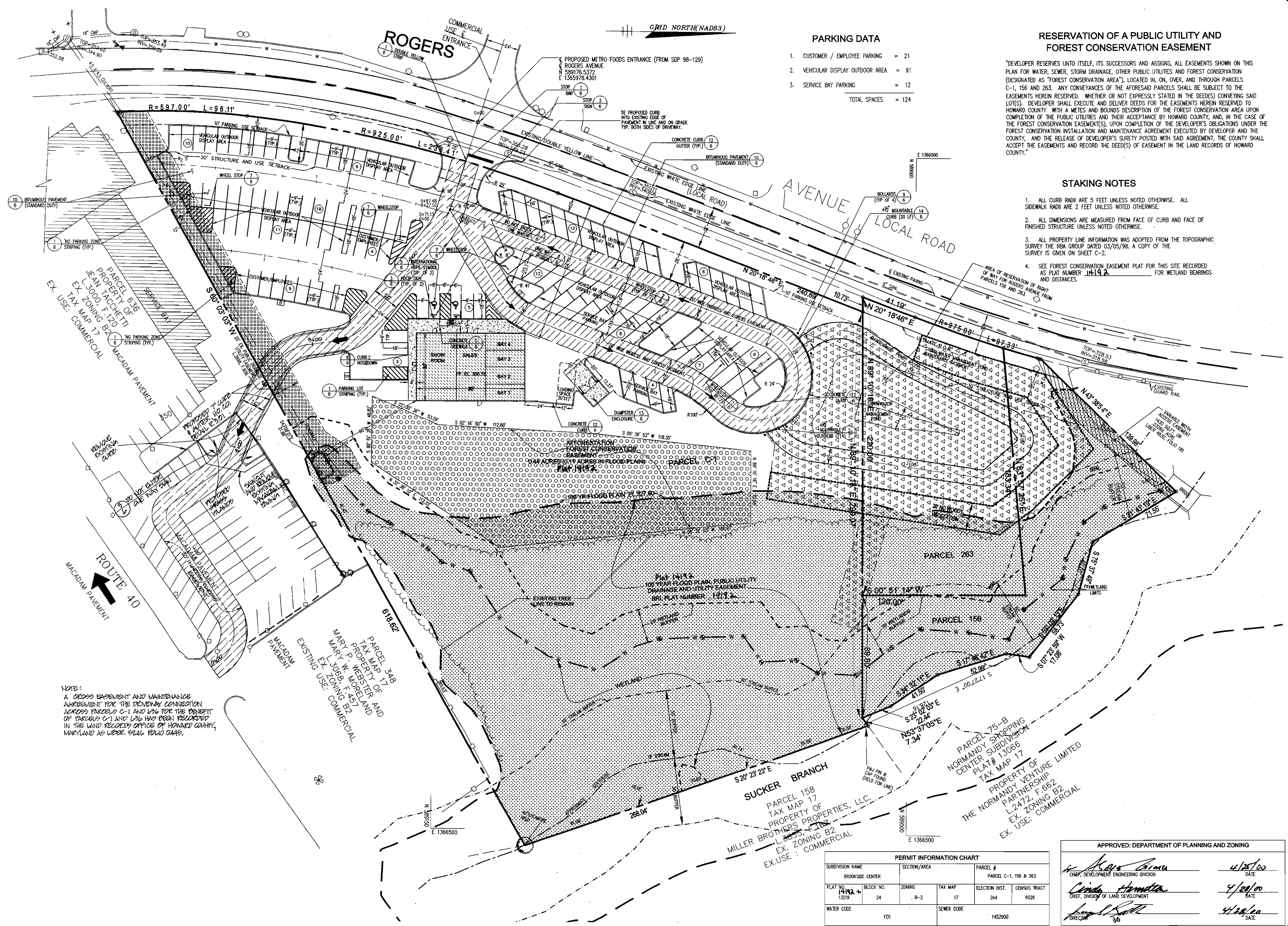
The **RBA** Group
ENGINEERS • ARCHITECTS • PLANNERS
Suite 205 Columbia Gateway Drive
Columbia, Maryland 21046
Phone (410) 312-0966, Fax (410) 312-0967

REVISIONS
COUNTY COMMENTS 03/08/00
REVISED SITE ANALYSIS 01/11/01
(NO ACCESS DENIALS)



DATE: 11/15/99
JOB NUMBER: M2618.00
FILE NUMBER: 2618COV
PLOTTED: 03/09/00
DRAWN BY: RJ

TITLE SHEET
SHEET C-1
1 of 20



GRID NORTH(NAD83)

PARKING DATA

- 1. CUSTOMER / EMPLOYEE PARKING = 21
 - 2. VEHICULAR DISPLAY OUTDOOR AREA = 91
 - 3. SERVICE BAY PARKING = 12
- TOTAL SPACES = 124

RESERVATION OF A PUBLIC UTILITY AND FOREST CONSERVATION EASEMENT

"DEVELOPER RESERVES UNTO ITSELF, ITS SUCCESSORS AND ASSIGNS, ALL EASEMENTS SHOWN ON THIS PLAN FOR WATER, SEWER, STORM DRAINAGE, OTHER PUBLIC UTILITIES AND FOREST CONSERVATION (DESIGNATED AS "FOREST CONSERVATION AREA"), LOCATED IN, ON, OVER, AND THROUGH PARCELS C-1, 156 AND 263. ANY CONVEYANCES OF THE AFORESAID PARCELS SHALL BE SUBJECT TO THE EASEMENTS HEREIN RESERVED. WHETHER OR NOT EXPRESSLY STATED IN THE DEED(S) CONVEYING SAID LOT(S), DEVELOPER SHALL EXECUTE AND DELIVER DEEDS FOR THE EASEMENTS HEREIN RESERVED TO HOWARD COUNTY WITH A METES AND BOUNDS DESCRIPTION OF THE FOREST CONSERVATION AREA UPON COMPLETION OF THE PUBLIC UTILITIES AND THEIR ACCEPTANCE BY HOWARD COUNTY, AND, IN THE CASE OF THE FOREST CONSERVATION EASEMENT(S), UPON COMPLETION OF THE DEVELOPER'S OBLIGATIONS UNDER THE FOREST CONSERVATION INSTALLATION AND MAINTENANCE AGREEMENT EXECUTED BY DEVELOPER AND THE COUNTY, AND THE RELEASE OF DEVELOPER'S SURETY POSTED WITH SAID AGREEMENT, THE COUNTY SHALL ACCEPT THE EASEMENTS AND RECORD THE DEED(S) OF EASEMENT IN THE LAND RECORDS OF HOWARD COUNTY."

STAKING NOTES

1. ALL CURB RADI ARE 5 FEET UNLESS NOTED OTHERWISE. ALL SIDEWALK RADI ARE 2 FEET UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS ARE MEASURED FROM FACE OF CURB AND FACE OF FINISHED STRUCTURE UNLESS NOTED OTHERWISE.
3. ALL PROPERTY LINE INFORMATION WAS ADOPTED FROM THE TOPOGRAPHIC SURVEY THE REA GROUP DATED 03/05/98. A COPY OF THE SURVEY IS GIVEN ON SHEET C-2.
4. SEE FOREST CONSERVATION EASEMENT PLAT FOR THIS SITE RECORDED AS PLAT NUMBER 14192 FOR WETLAND BEARINGS AND DISTANCES.

PARCEL 636
PROPERTY OF
JEAN FACCHETTI
L-3000, F-120
EX. ZONING B2
TAX MAP 17
EX. USE: COMMERCIAL

PARCEL 348
PROPERTY OF
MARY P. WEBSTER AND
MARY W. MORELAND
L-3085, F-457
EX. ZONING B2
EX. USE: COMMERCIAL

PARCEL 158
TAX MAP 17
PROPERTY OF
MILLER BROTHERS PROPERTIES, L.L.C.
L-3655, F-188
EX. ZONING B2
EX. USE: COMMERCIAL

PARCEL 75-B
NORMANDY SHOPPING
CENTER SUBDIVISION
PLAT # 13066
TAX MAP 17
PROPERTY OF
THE NORMANDY VENTURE LIMITED
L-2472, F-662
EX. ZONING B2
EX. USE: COMMERCIAL

NOTE:
A CROSS EASEMENT AND MAINTENANCE AGREEMENT FOR THE DRIVEWAY CONNECTION ACROSS PARCELS C-1 AND 156 FOR THE BENEFIT OF PARCELS C-1 AND 156 HAS BEEN RECORDED IN THE LAND RECORDS OFFICE OF HOWARD COUNTY, MARYLAND AS LIBER 3648 ROAD 0449.

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	PARCEL #		
BROOKSIDE CENTER		PARCEL C-1, 156 & 263		
PLAT NO. 14192 + 13219	BLOCK NO. 24	ZONING B-2	TAX MAP 17	ELECTION DIST. 2nd
				CENSUS TRACT 6026
WATER CODE F01		SEWER CODE 1452900		

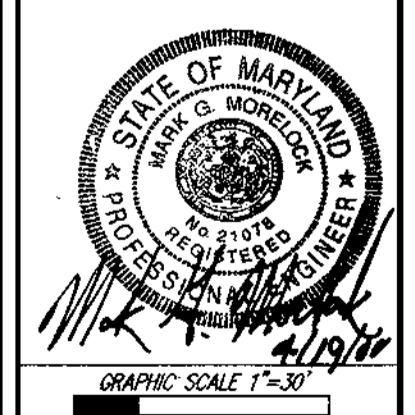
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>Maria Anna</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	4/15/00 DATE
<i>Cindy Hamilton</i> CHIEF, DIVISION OF LAND DEVELOPMENT	4/20/00 DATE
<i>Angela Rott</i> DIRECTOR	4/28/00 DATE

SITE DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 156 & 263
LIBER 3759, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

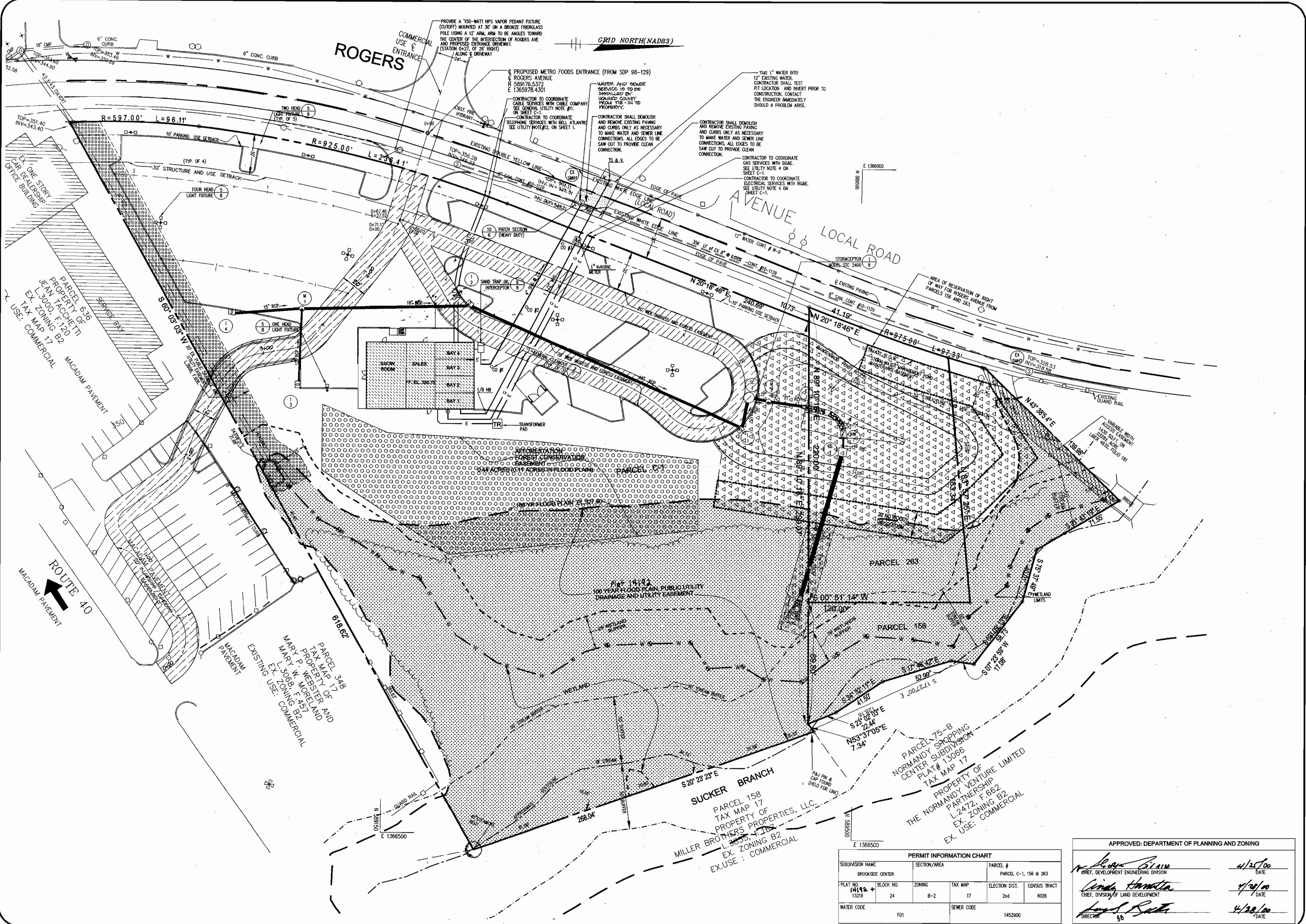
OWNER:
BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
2085 YORK ROAD
TIMONIUM, MD 21093
(410) 252-8000

RBA-
The Group
ENGINEERS • ARCHITECTS • PLANNERS
Suite 714 Columbia Gateway Drive
Pikesville, MD 21113
Phone: (410) 812-0966, Fax: 312-0897

REVISIONS
COUNTY COMMENTS 03/08/00
ADDED ACCESS DRIVE & EASEMENT
ADDED "DO NOT ENTER" SIGN MAP 17/1/01



DATE:	11/15/99
JOB NUMBER:	M2618
FILE NUMBER:	2618BASE
PLOTTED:	03/09/00
DRAWN BY:	RJ
SITE PLAN	
SHEET	C-3
	3 of 20



SITE DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
 PARCEL C-1 (PLAT NO. 13219)
 AND PARCELS 156 & 263
 LIBER 3759, FOLIO 557
 2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
 HOWARD COUNTY, MARYLAND

BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
 2085 YORK ROAD
 TIMONIUM, MD 21083
 (410) 252-8000

THE RBA GROUP
 ARCHITECTS & PLANNERS
 ENGINEERS • ARCHITECTS • PLANNERS
 Suite 164 Columbia Gateway Drive
 Phone (410) 312-0986, Fax 312-0987

REVISIONS
 COUNTY COMMENTS 03/08/00
 APPROVED ACCESS TO EGRESS & WATER, LIGHTS & ADDRESS OF EASEMENT 1/11/00



GRAPHIC SCALE 1"=30'
 DATE: 11/15/99
 JOB NUMBER: M2618
 FILE NUMBER: 2618BASE
 PLOTTED: 03/09/00
 DRAWN BY: RJ

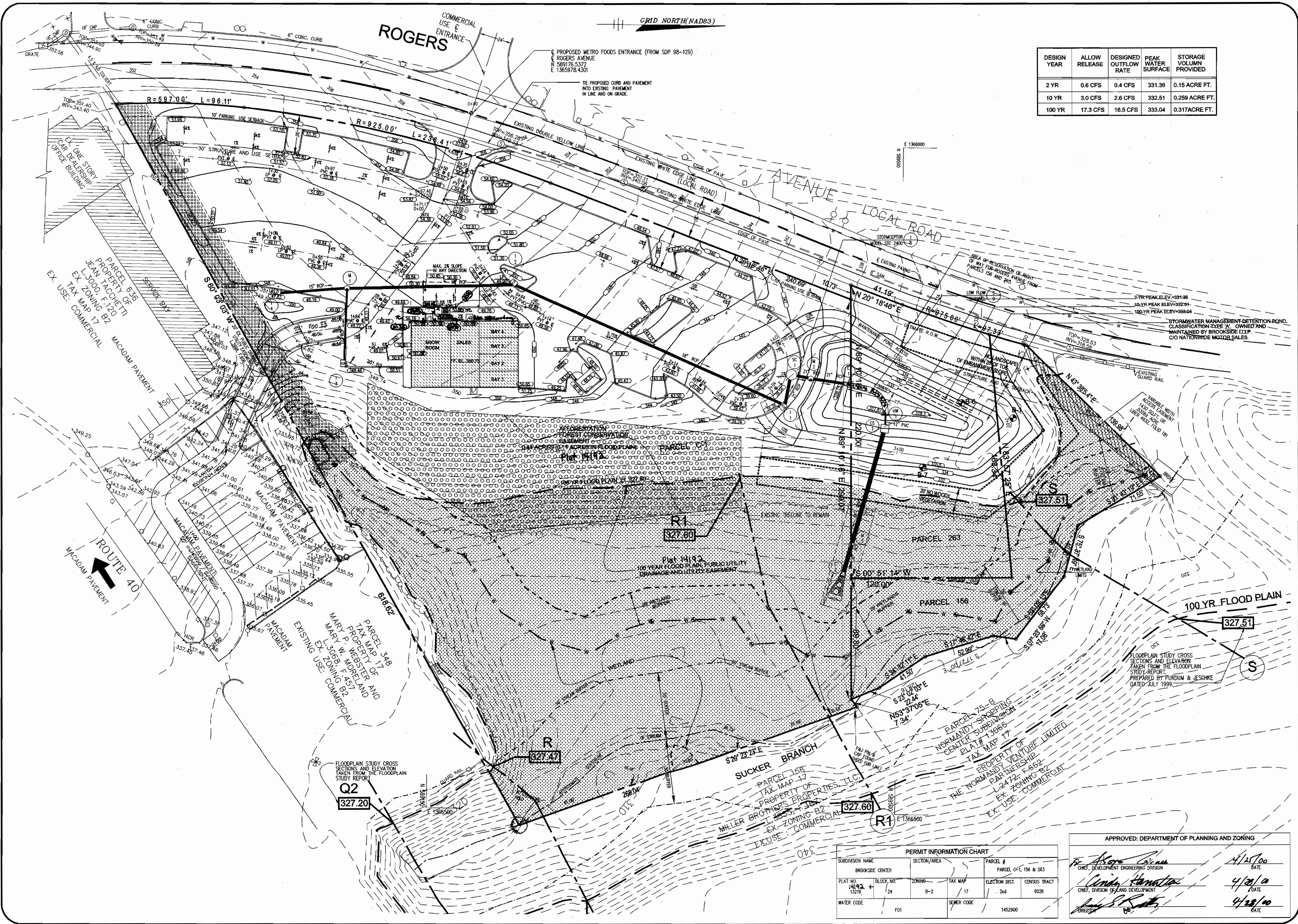
UTILITY PLAN
 SHEET C-4
 4 of 20

PERMIT INFORMATION CHART

SUBDIVISION NAME BROOKSIDE CENTER	SECTION/AREA	PARCEL # C-1, 156 & 263
PLAT NO. 13219	BLOCK NO. 24	ZONING B-2
TAX MAP 17	ELECTION DIST. 2nd	CENSUS TRACT 6026
WATER CODE FO1	SEWER CODE 1452800	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE 4/24/00
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	DATE 4/24/00
<i>[Signature]</i> DIRECTOR	DATE 4/28/00



DESIGN YEAR	ALLOW RELEASE	DESIGNED OUTFLOW RATE	PEAK WATER SURFACE	STORAGE VOLUME PROVIDED
2 YR	0.6 CFS	0.4 CFS	331.36	0.15 ACRE FT.
10 YR	3.0 CFS	2.6 CFS	332.51	0.259 ACRE FT.
100 YR	17.3 CFS	16.5 CFS	333.04	0.317 ACRE FT.

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	PARCEL #		
BROOKSIDE CENTER		PARCEL 0-1, 156 & 263		
PLAT NO.	BLOCK NO.	ZONING	TAX MAP	ELECTION DIST.
14192 +	24	B-2	17	2nd
WATER CODE	SEWER CODE	GENUS TRACT		
F01		1452900		

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/25/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 4/25/00
 CHIEF, DIVISION OF LAND AND DEVELOPMENT DATE

[Signature] 4/25/00
 DIRECTOR DATE

GRAPHIC SCALE 1"=50'

DATE: 11/15/99
 JOB NUMBER: M2165
 FILE NUMBER: 2618BASE
 PLOTTED: 03/09/00
 DRAWN BY: RJ

COMMENTS AND DRAINAGE PLAN

SHEET C-5
 5 of 20

SITE DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
 PARCEL C-1 (PLAT NO. 13219)
 AND PARCELS 156 & 263
 LIBER 3759, FOLIO 557
 2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
 HOWARD COUNTY, MARYLAND

OWNER:
BROOKSIDE LLLP
 C/O NATIONWIDE MOTOR SALES
 2085 YORK ROAD
 TIMONIUM, MD 21083
 (410) 252-8000

RBA
 Group
 ENGINEERS • ARCHITECTS • PLANNERS
 7164 Columbia Gateway Drive
 Suite 205, Columbia, Maryland 21046
 Phone (410) 312-0986, Fax 312-0987

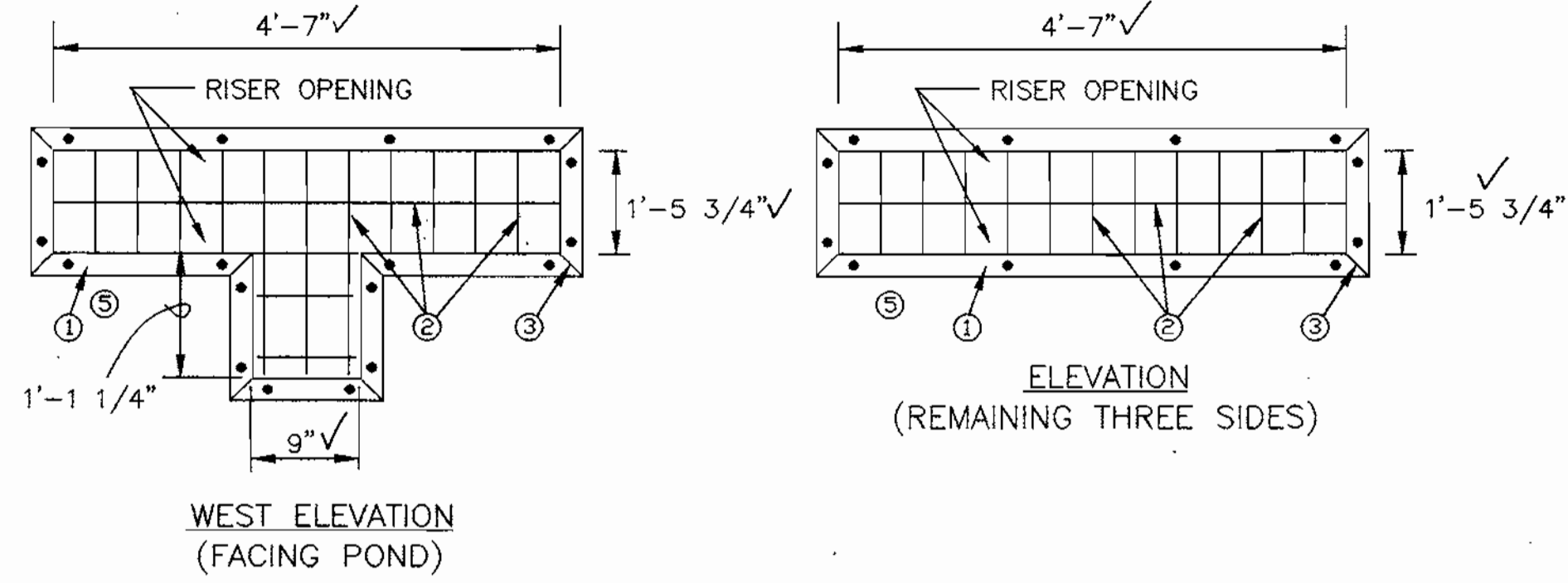
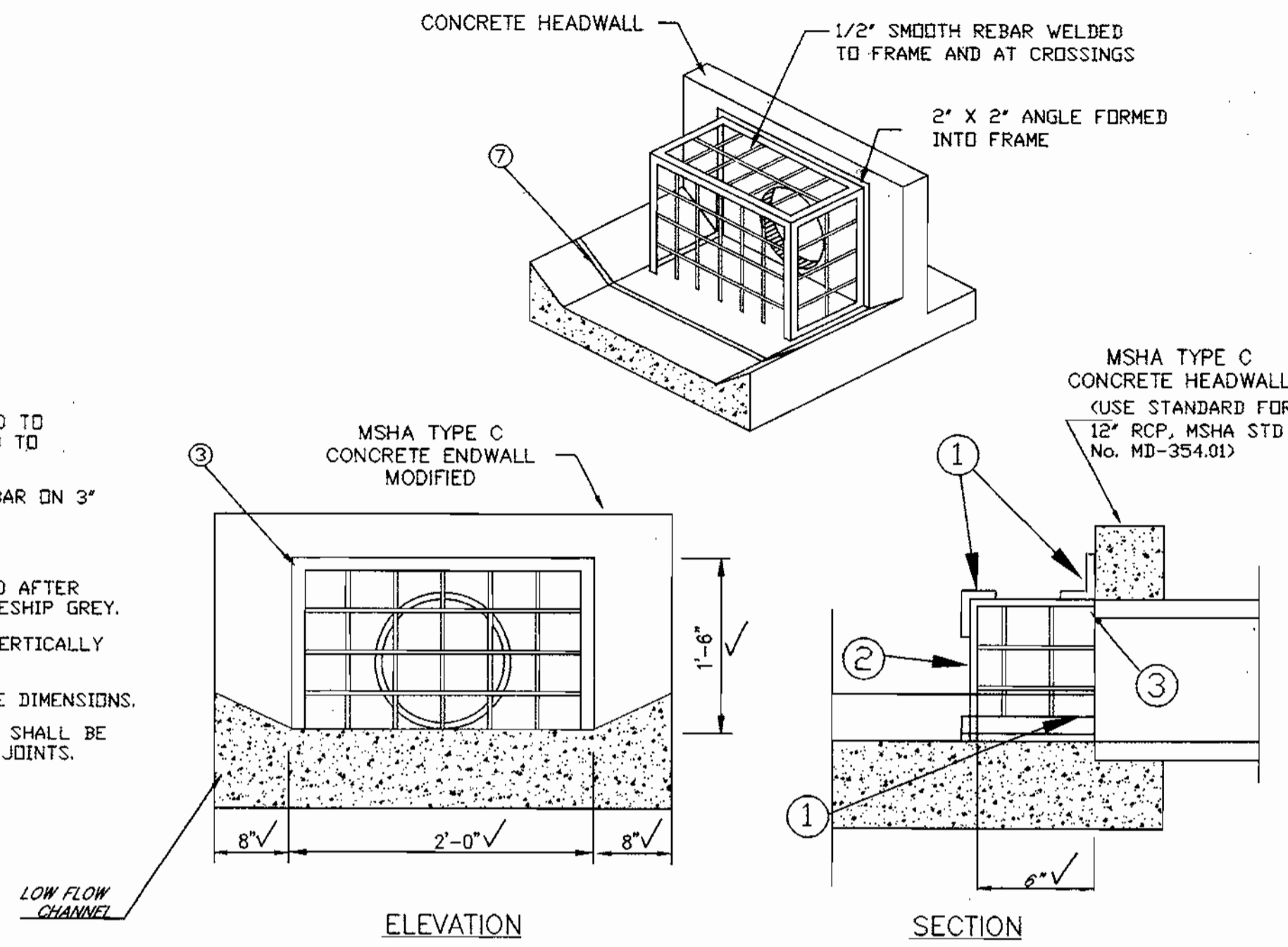
REVISIONS
 COUNTY COMMENTS 03/08/00
 ADDRESS CROSS ACCESS DRIVE, ADDED
 20' EASEMENT & CONC. SEPT. ELEV. 312.0

STATE OF MARYLAND
 DEPARTMENT OF PLANNING AND ZONING
 DIVISION OF LAND AND DEVELOPMENT
 APPROVED: 4/19/00
 [Signature]

SDP-00-60 2618 D 05

- NOTES
- 2" x 2" METAL ANGLE FABRICATED TO THE GIVEN DIMENSIONS & BOLTED TO RISER EVERY 6 INCHES.
 - 1/2" METAL ROD OR SMOOTH RE-BAR ON 3" CENTERS WELDED TO FRAME.
 - WELDED
 - ALL MATERIAL TO BE GALVANIZED AFTER FABRICATION AND PAINTED BATTLESHIP GREY.
 - CENTER RACK HORIZONTALLY & VERTICALLY OVER OPENINGS.
 - DIMENSIONS ARE INSIDE OF FRAME DIMENSIONS.
 - ASPHALT JOINT FILLER MATERIAL SHALL BE PLACED BETWEEN ALL CONCRETE JOINTS.

1 LOW FLOW TRASH RACK
SCALE: NTS



2 HIGH STAGE TRASH RACK
SCALE: NTS

- NOTES
- 4" x 3" METAL ANGLE FABRICATED TO THE GIVEN DIMENSIONS & BOLTED TO RISER EVERY 24" MIN.
 - 1/2" METAL ROD OR SMOOTH RE-BAR ON 6" CENTERS WELDED TO FRAME.
 - WELDED
 - ALL MATERIAL TO BE GALVANIZED AFTER FABRICATION AND PAINTED BATTLESHIP GREY.
 - CENTER RACK HORIZONTALLY & VERTICALLY OVER OPENINGS.
 - DIMENSIONS ARE INSIDE OF FRAME DIMENSIONS.

OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE

- Stormceptor water quality structures will require periodic inspection and cleaning to maintain operation and function. Owners will have the Stormceptor unit inspected yearly or as required by Howard County, utilizing the Stormceptor Inspection/Monitoring Form. Inspections can be done by using a clear Plexiglas tube ("sludge judge") to extract a water column sample. When sediment depths exceed the specified level (Table 9 of Technical Manual), then cleaning of the unit is required.
- Stormceptor water quality structures must be checked and cleaned immediately after petroleum spills; contact the appropriate regulatory agencies.
- Maintenance of Stormceptor units should be done by a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons and other materials in unit. The proper cleaning and disposal of the removed materials and liquid must be followed.
- Inlet and outlet pipes must be checked for any obstructions and if any obstructions are found, they must be removed. Structural parts of the Stormceptor must be repaired as needed.
- Owner shall retain and make Stormceptor Inspection/Monitoring Forms available to Howard County officials upon request.

SITE AND IMPERVIOUS DRAINAGE AREA DATA

SITE AREA (ACRES)	GREEN SPACE (ACRES)	IMPERVIOUS AREA (ACRES)
1.96	0.53	1.43

OPERATION AND MAINTENANCE SCHEDULE OF PRIVATELY OWNED AND MAINTAINED STORMWATER MANAGEMENT FACILITY - DETENTION POND 'CLASS C'

ROUTINE MAINTENANCE

- FACILITY SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHOULD BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE POND IS FUNCTIONING PROPERLY. INSPECTIONS SHALL BE COMPLETED IN ACCORDANCE WITH THE CHECKLIST AND REQUIREMENTS CONTAINED WITHIN USDA, SCS STANDARDS AND SPECIFICATIONS FOR PONDS* (MD-378). THE POND OWNER(S) AND ANY HEIRS, SUCCESSORS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE SAFETY OF THE POND AND THE CONTINUED OPERATION, SURVEILLANCE, INSPECTION, AND MAINTENANCE THEREOF. THE POND OWNER(S) SHALL PROMPTLY NOTIFY THE SOIL CONSERVATION DISTRICT OF ANY UNUSUAL OBSERVATIONS OF DISTRESS SUCH AS EXCESSIVE SEEPAGE, TURBID SEEPAGE, SLIDING OR SLUMPING.
- THE TOP AND SIDE SLOPES OF THE EMBANKMENT SHALL BE MOWED A MINIMUM OF TWO (2) TIMES A YEAR, ONCE IN JUNE AND ONCE IN SEPTEMBER. OTHER SLOPES SHOULD BE MOWED AS NEEDED.
- DEBRIS AND LITTER NEXT TO THE OUTLET STRUCTURE AND WITHIN THE POND AREA SHALL BE REMOVED DURING PERIODIC INSPECTIONS AND AS NEEDED.
- VISIBLE SIGNS OF EROSION IN THE POND AS WELL AS THE RIPRAP OUTLET AREA SHALL BE REPAIRED AS SOON AS IT IS NOTICED.

NON-ROUTINE MAINTENANCE

- STRUCTURAL COMPONENTS OF THE POND SUCH AS THE DAM, THE RISER, AND THE PIPES SHALL BE REPAIRED UPON THE DETECTION OF ANY DAMAGE. THE COMPONENTS SHOULD BE INSPECTED DURING ROUTINE MAINTENANCE OPERATIONS.
- SEDIMENT SHOULD BE REMOVED WHEN ITS ACCUMULATION EXCEEDS THE FOREBAY VOLUME OR INTERFERES WITH THE FUNCTION OF THE RISER, WHEN DEEMED NECESSARY FOR AESTHETIC REASONS, OR WHEN DEEMED NECESSARY BY THE HOWARD COUNTY'S DEPARTMENT OF PUBLIC WORKS.

CERTIFICATION BY THE ENGINEER

"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

Mark H. Marlow
SIGNATURE OF ENGINEER
DATE: 4-19-00

Cheryl Swann/co
USDA-NATURAL RESOURCES CONSERVATION SERVICE
DATE: 4/25/00

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John A. Kelly
HOWARD SOIL CONSERVATION DISTRICT
DATE: 4/25/00

CERTIFICATION BY THE DEVELOPER/BUILDER

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAY OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT."

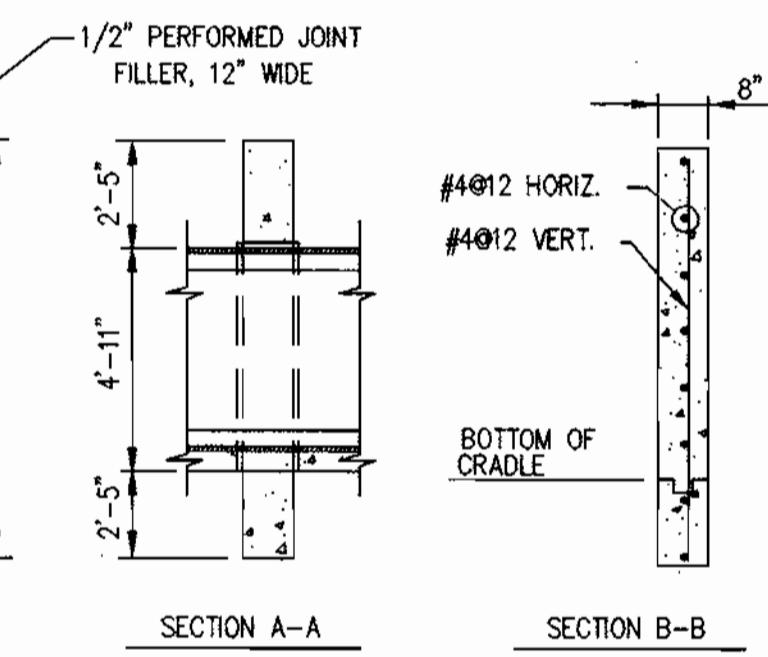
[Signature]
SIGNATURE OF DEVELOPER
DATE: 4-19-00

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/25/00
[Signature] 4/25/00
[Signature] 4/25/00

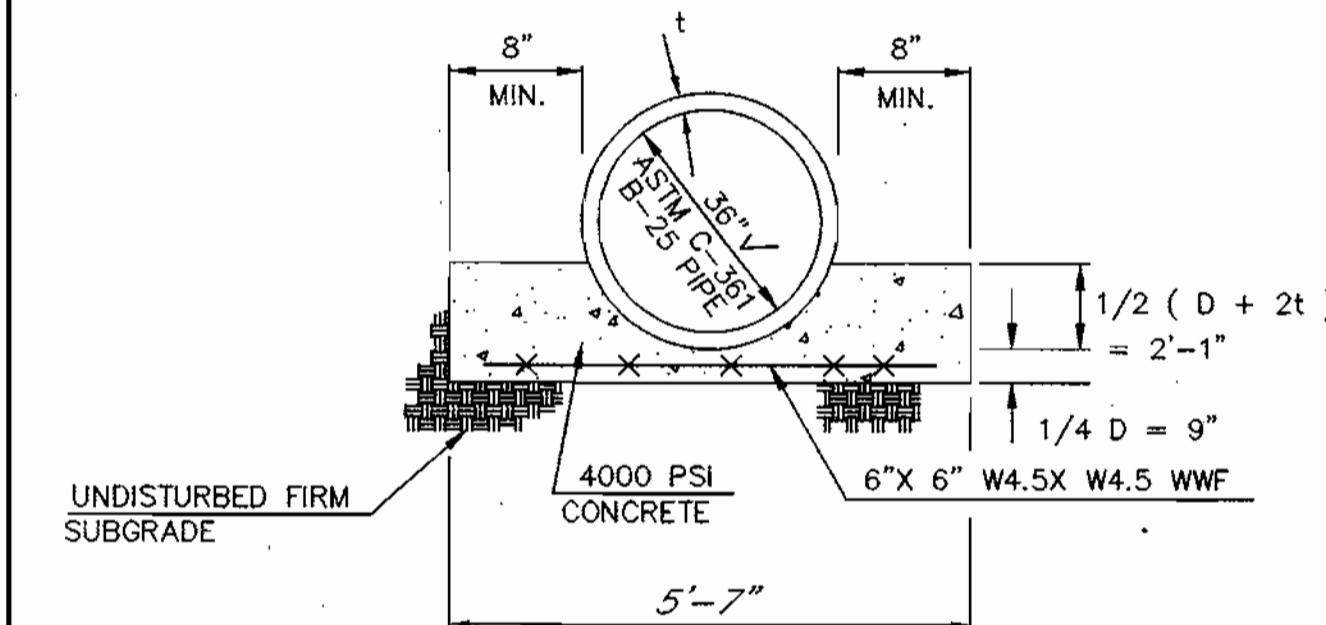
3 ANTI-SEEP COLLAR
SCALE: NTS

FINISH COLLAR SURFACE TRUE AND SMOOTH. ONE LAYER OF HEAVY SMOOTH SURFACE ASPHALT TREATED ROOFING FELT, APPROX. WT. 55 LBS. PER SQUARE



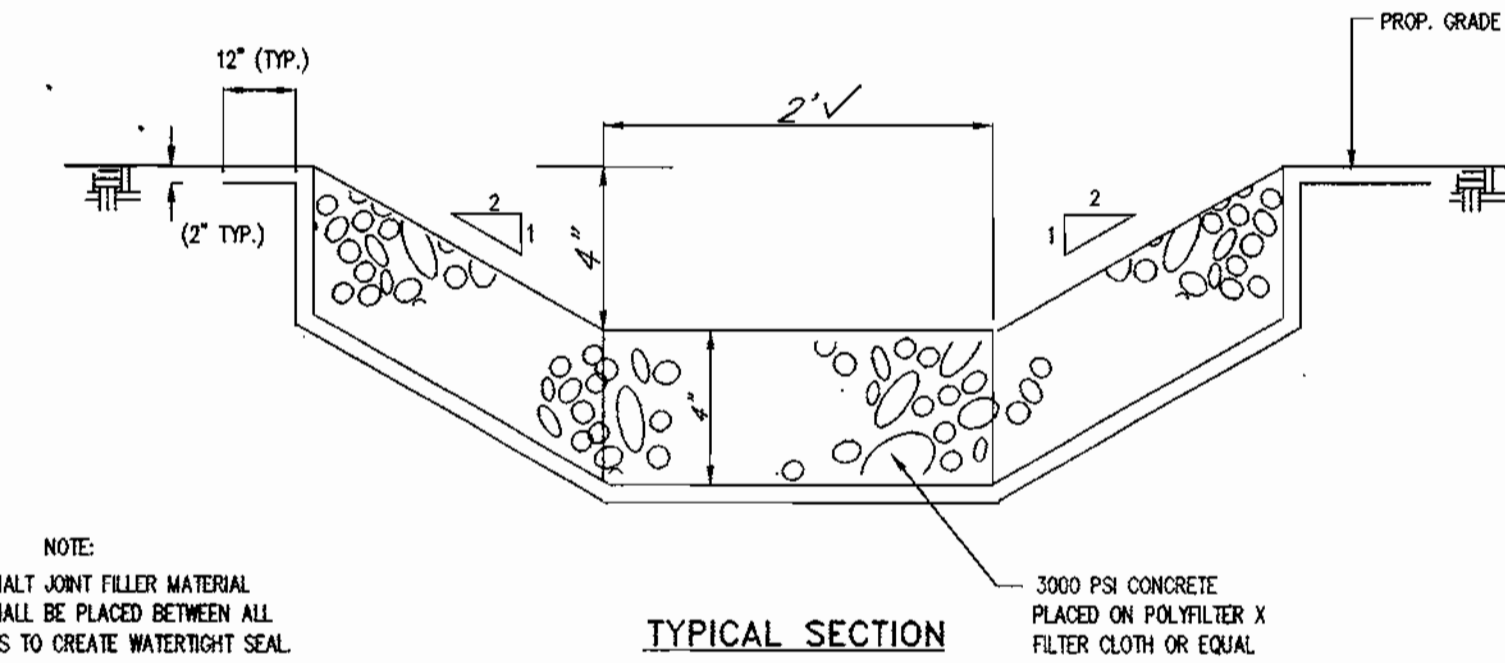
- NOTES
- ASPHALT JOINT FILLER MATERIAL SHALL BE PLACED BETWEEN ALL CONCRETE SURFACES EXCEPT BETWEEN PIPE AND CRADLE
 - COLLAR SHALL BE PLACED 2" MIN. FROM ANY PIPE JOINT.

4 CONCRETE CRADLE
SCALE: NTS



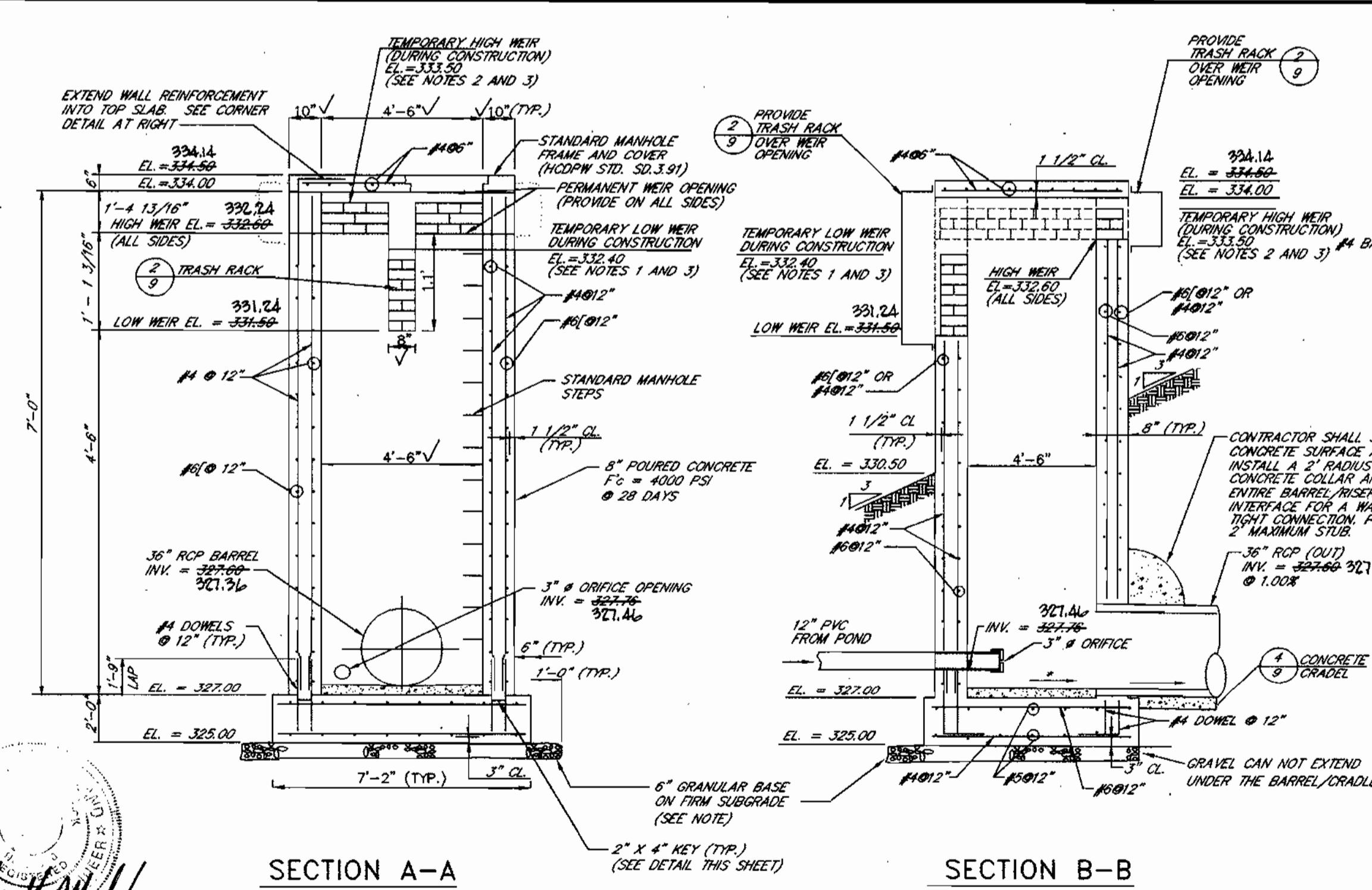
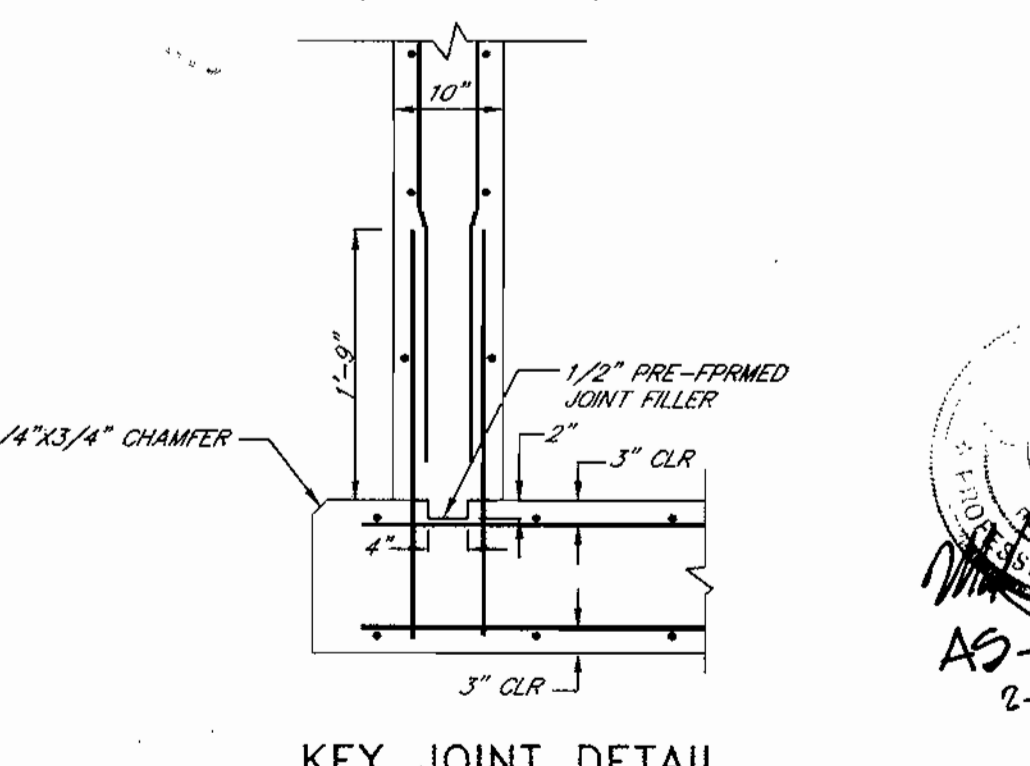
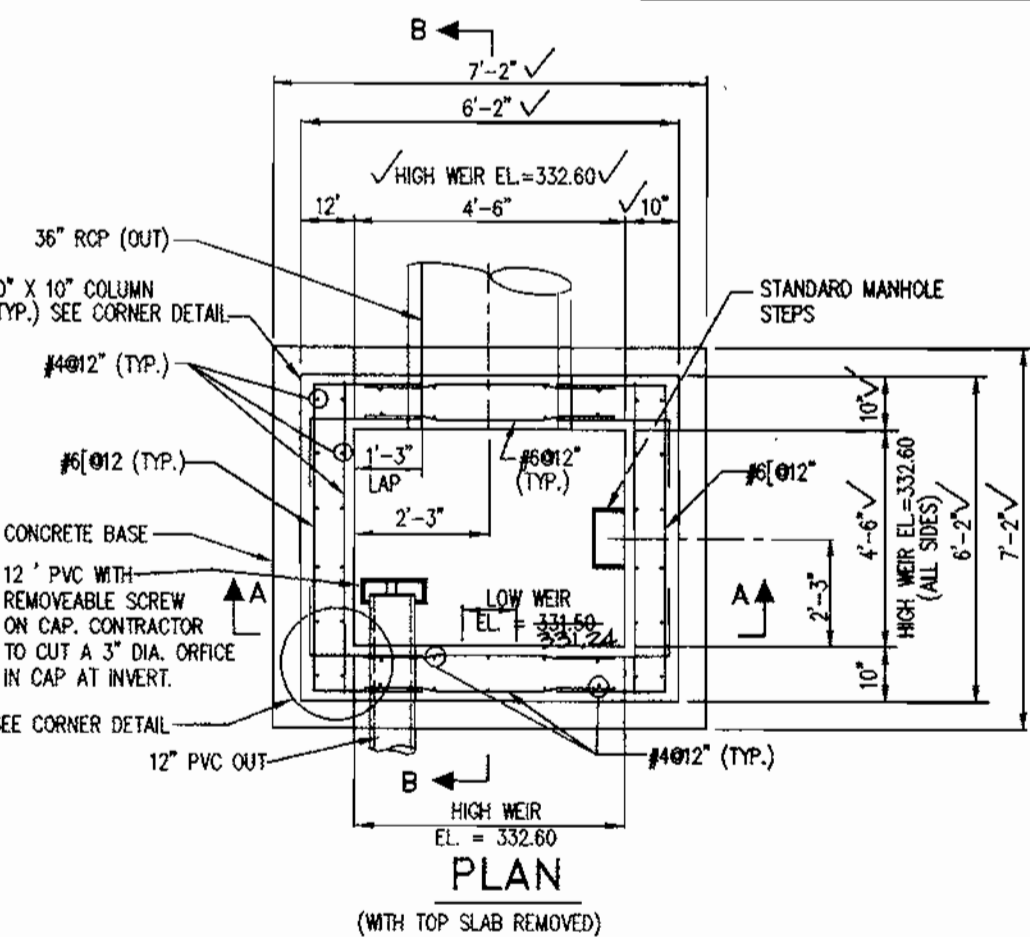
NOTE: CONCRETE CRADLE SHALL BE A SCS TR-46 A-2 CONCRETE CRADLE

5 LOW FLOW CHANNEL (CONCRETE)
SCALE: NTS



NOTE: ASPHALT JOINT FILLER MATERIAL SHALL BE PLACED BETWEEN ALL JOINTS TO CREATE WATER TIGHT SEAL

6 RISER/CONTROL STRUCTURE (PERMANENT AND TEMPORARY)
SCALE: NTS (FOR TEMPORARY SEE NOTES 1 THROUGH 3)



- NOTES
- AFTER INSTALLING CONTROL STRUCTURE TO PERMANENT DIMENSIONS, CONTRACTOR TO CLOSE THE LOW WEIR UTILIZING BRICK AND MORTAR TO ELEVATION 332.40. THIS BRICK-UP IS TO BE MAINTAINED FOR THE DURATION OF CONSTRUCTION UNTIL SITE HAS BEEN STABILIZED WITH FINAL GROUND COVER.
 - AFTER INSTALLING CONTROL STRUCTURE TO ITS PERMANENT DIMENSIONS, CONTRACTOR TO CLOSE THE HIGH WEIR ON ALL SIDES UTILIZING BRICK AND MORTAR TO ELEVATION 333.50. THIS BRICK-UP IS TO BE MAINTAINED FOR THE DURATION OF CONSTRUCTION UNTIL SITE HAS BEEN STABILIZED WITH FINAL GROUND COVER.
 - AT THE END OF CONSTRUCTION, CONTRACTOR TO REMOVE ALL BRICK AND MORTAR SO THAT THE LOW WEIR (8" WIDE) IS AT ELEVATION 331.50 AND THE HIGH WEIR (4'-6" OPENING ALL SIDES) IS AT ELEVATION 332.60.

AS-BUILT
2-12-01

SITE DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 156 & 283
LIBER 3759, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

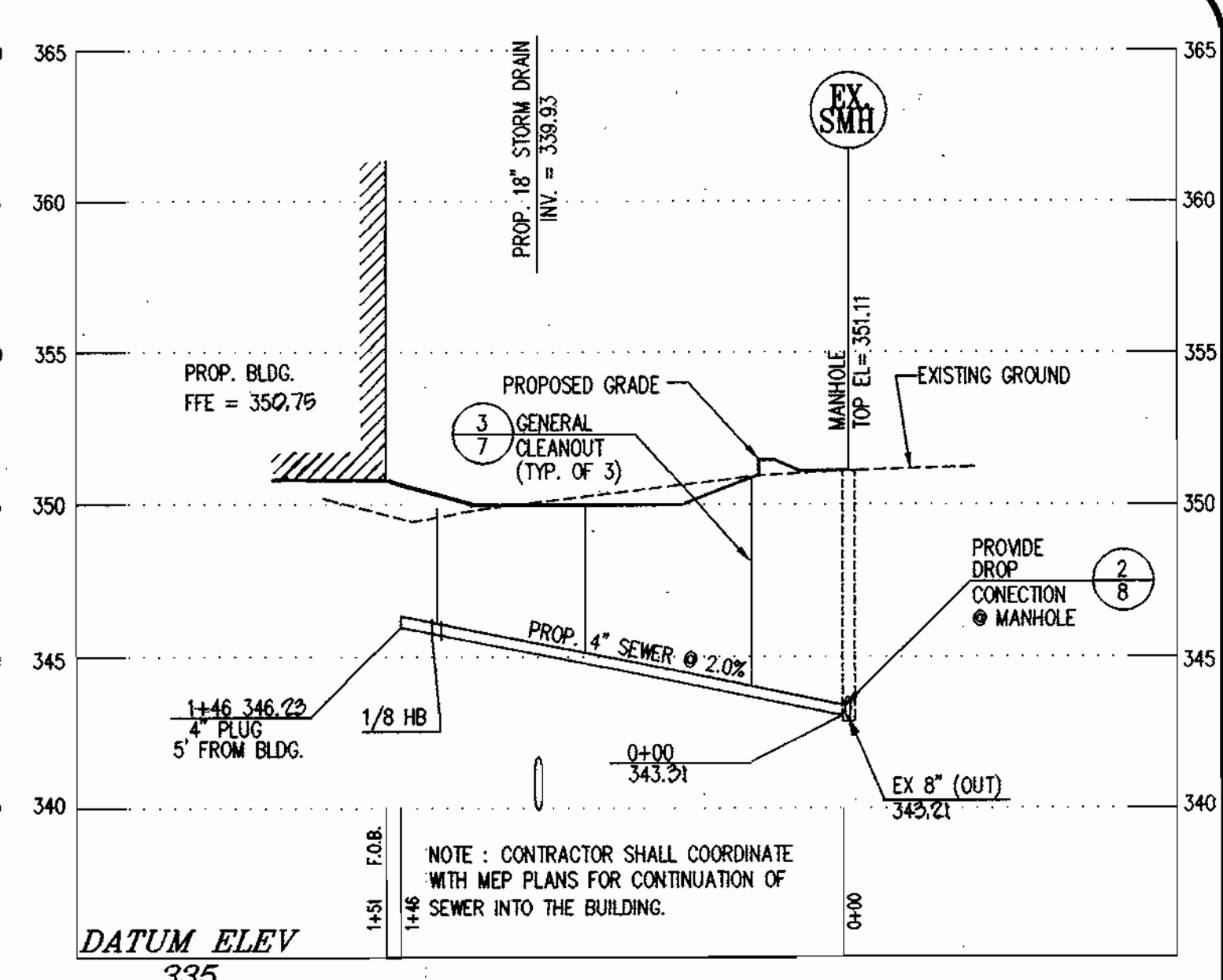
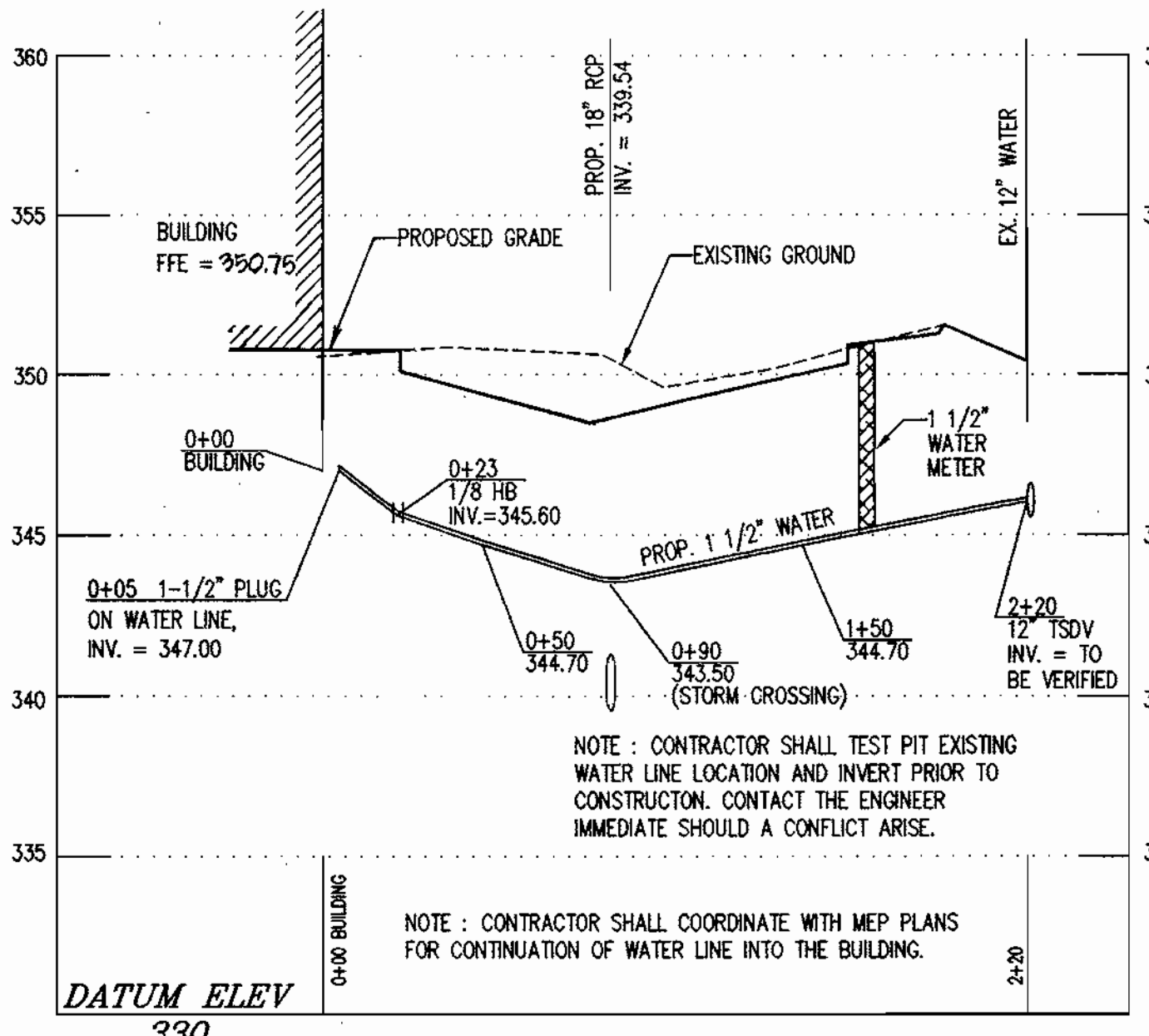
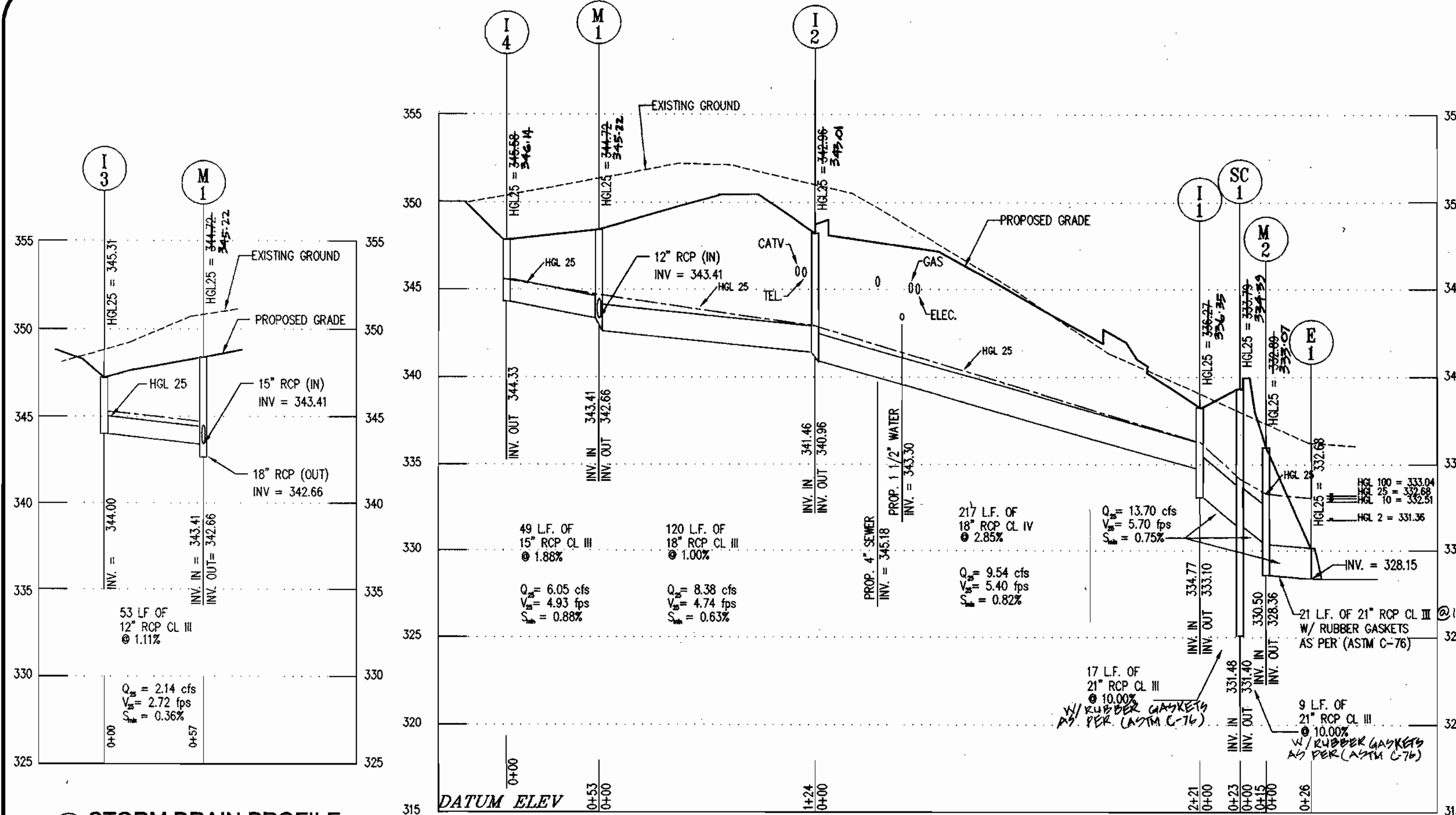
OWNER:
BROOKSIDE LLP
C/O NATIONWIDE MOTOR SALES
2065 YORK ROAD
TIMONIUM, MD 21093
(410) 252-8000

RBA
ARCHITECTS & PLANNERS
Suite 202, Columbia, Maryland 21046
Phone (410) 312-0966, Fax 312-0987

REVISIONS
COUNTY COMMENTS 03/08/00
COUNTY COMMENTS 04/19/00
AS BUILT 2/12/01

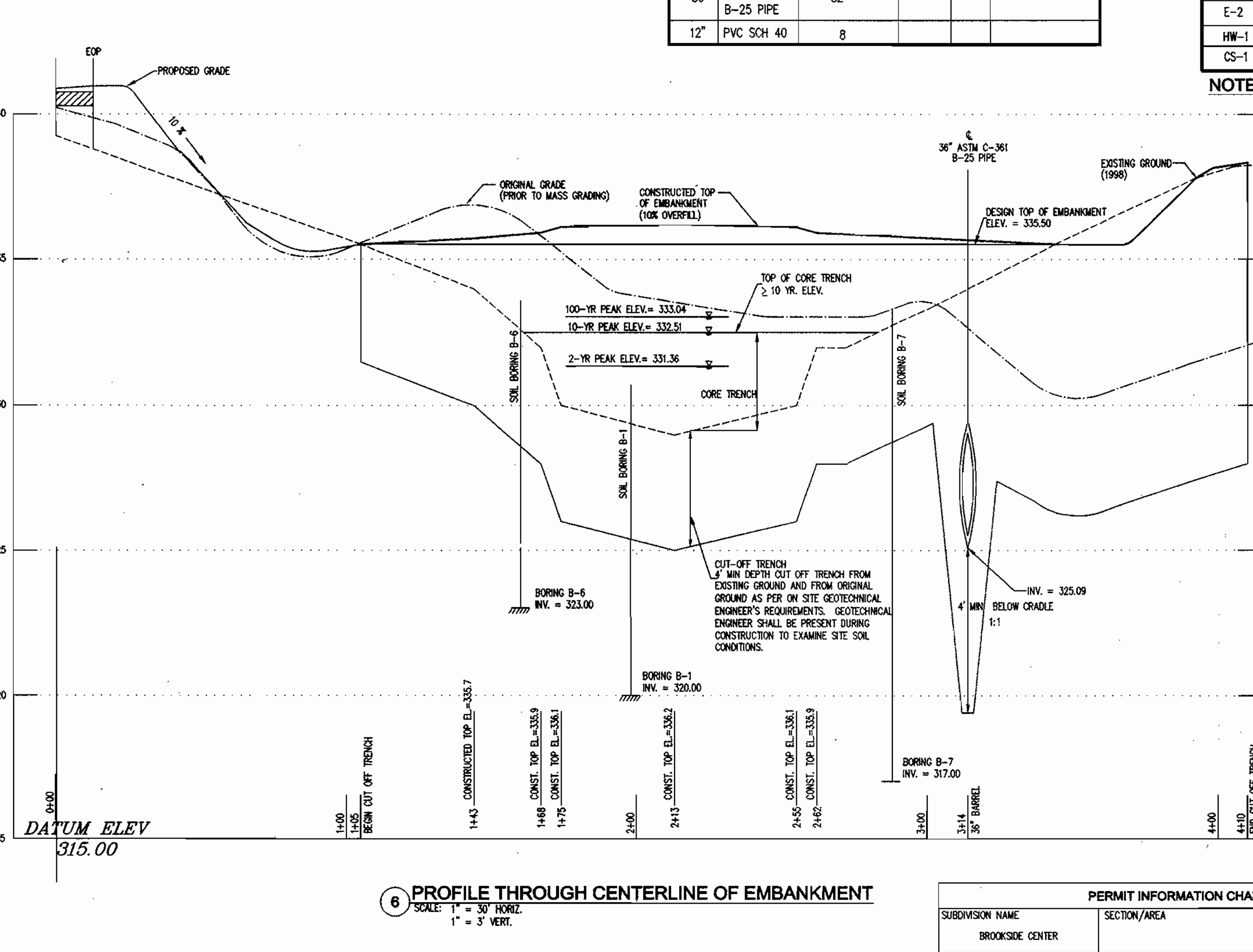
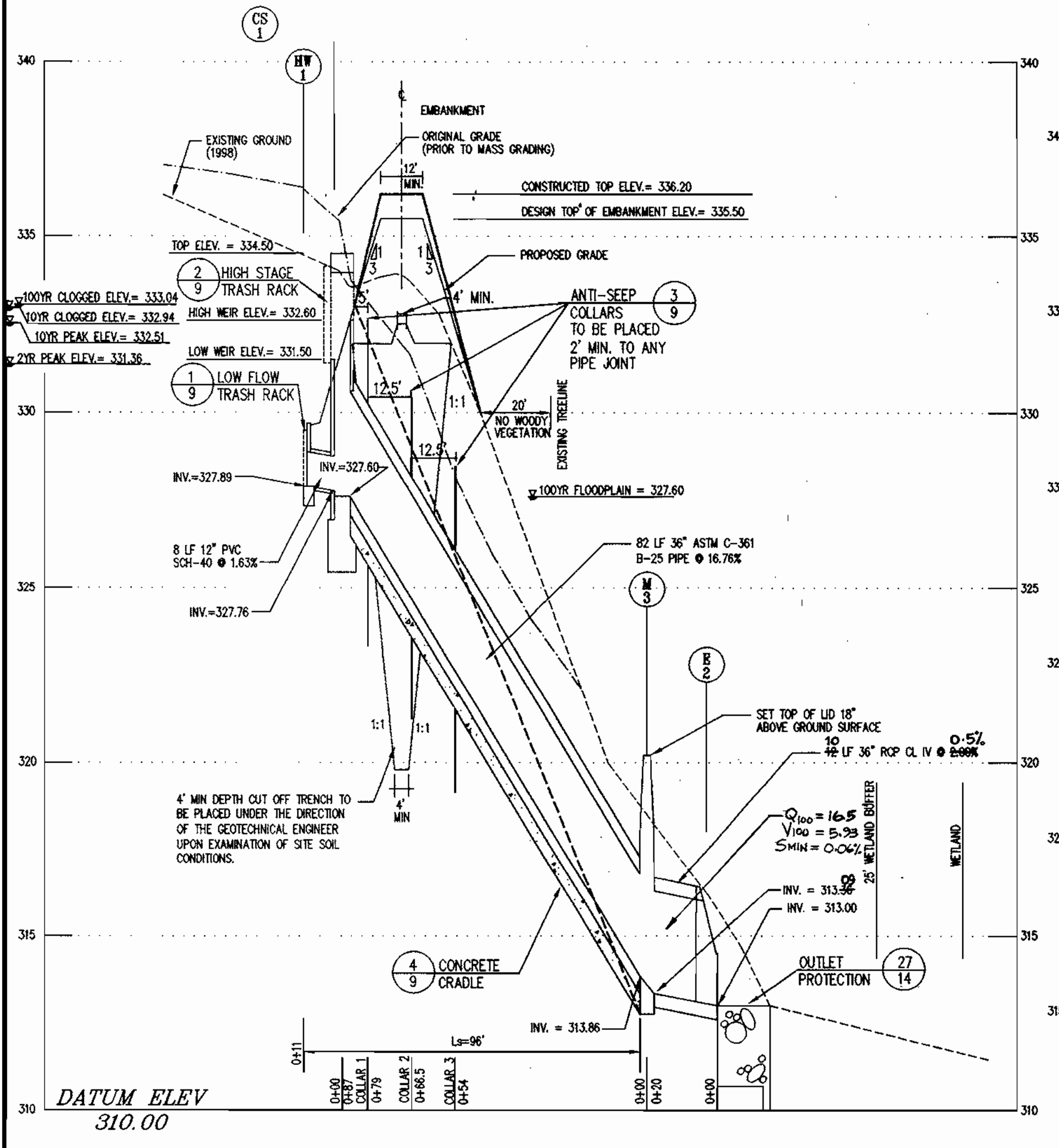
STATE OF MARYLAND
SEAL OF THE REGISTERED PROFESSIONAL ENGINEER
4/19/00

DATE: 01/12/99
JOB NUMBER: M2618.00
FILE NUMBER: 2618D074
PLOTTED: 04/19/00
DRAWN BY: RJ
STORM WATER MANAGEMENT DETAILS
SHEET C-9
9 of 20



PIPE SCHEDULE					
SIZE	TYPE	LINEAR FOOTAGE	SIZE	TYPE	LINEAR FOOTAGE
STORM DRAIN					
12"	RCP CL III	53	1 1/2"	COPP.	215
15"	RCP CL III	49	SEWER		
18"	RCP CL III	120	4"	PVC	146
18"	RCP CL IV	217			
21"	RCP CL III	47			
36"	RCP CL IV	42			
36"	ASTM C-361 B-25 PIPE	82			
12"	PVC SCH 40	8			

STRUCTURE SCHEDULE						
NUMBER	TYPE	LOCATION		TOP ELEVATION		REMARKS
		STATION	OFFSET	UPPER	LOWER	
I-1	TYPE "A-5" INLET	3+04	9 FT, RT	348.43	348.43	5'-0" x 2'-6" HO. CO. STD. SD 4.01
I-2	TYPE "A-5" INLET	0+83	9 FT, LT	349.00	349.00	5'-0" x 2'-6" HO. CO. STD. SD 4.01
I-3	TYPE "A-5" INLET	2+13	12 FT, RT	349.13	349.06	5'-0" x 2'-6" HO. CO. STD. SD 4.01
I-4	TYPE "A-5" INLET	0+83	30 FT, LT	348.43	348.43	5'-0" x 2'-6" HO. CO. STD. SD 4.01
M-1	PRECAST MANHOLE	0+31	19 FT, LT	TOP = 349.30	D = 4 FT	HO. CO. STD. SD G.5.11
M-2	PRECAST MANHOLE	3+24	19 FT, RT	TOP = 336.50	D = 4 FT	HO. CO. STD. SD G.5.11
M-3	PRECAST MANHOLE	SEE PLAN	SEE PLAN	TOP = 320.40	D = 5 FT	HO. CO. STD. SD G.5.11
SC-1	STORMCEPTOR STC-2400	3+23	4 FT, RT	TOP = 339.31	D = 8 FT	STORMCEPTOR STC-2400 SEE DETAIL 11 ON SHEET B
E-1	END SECTION	SEE PLAN	SEE PLAN	INV = 328.15	D = 21"	HO. CO. STD. 5.51 (21")
E-2	END SECTION	SEE PLAN	SEE PLAN	INV = 313.00	D = 36"	HO. CO. STD. 5.51 (36")
HW-1	TYPE "C" ENDWALL	SEE PLAN	SEE PLAN	INV = 327.89	D = 12"	HO. CO. STD. SD 5.21
CS-1	CONTROL STRUCTURE	SEE PLAN	SEE PLAN			SEE DETAILS ON SHEET 9



- NOTES:**
- ALL STRUCTURES ARE HOWARD COUNTY STANDARDS UNLESS NOTED OTHERWISE. REFER TO SHEET C-7 FOR DETAILS.
 - STATIONS ARE GIVEN TO CENTER OF STRUCTURE AT FACE OF CURB FOR CURB INLETS AND TO CENTER OF STRUCTURE FOR ALL OTHER STRUCTURES.
 - ELEVATIONS ARE GIVEN TO TOP OF CURB FOR CURB INLETS, TOP OF GRATE FOR GRATE INLETS AND TOP OF LID FOR MANHOLES.

CERTIFICATION BY THE ENGINEER

"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

Walter H. Woodcock
SIGNATURE OF ENGINEER
DATE: 4-19-00

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

Paul Sumner
USDA-NATURAL RESOURCES CONSERVATION SERVICE
DATE: 4/15/00

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John J. Kelly
HOWARD SOIL CONSERVATION DISTRICT
DATE: 4/15/00

CERTIFICATION BY THE DEVELOPER/BUILDER

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAY OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT."

Walter H. Woodcock
SIGNATURE OF DEVELOPER
DATE: 4-19-00

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	PARCEL #			
BROOKSIDE CENTER		PARCEL C-1, 156 & 263			
PLAT NO. 14192-A	BLOCK NO. 24	ZONING B-2	TAX MAP 17	ELECTION DIST. 2nd	CENSUS TRACT 6028
WATER CODE F01	SEWER CODE	1452900			

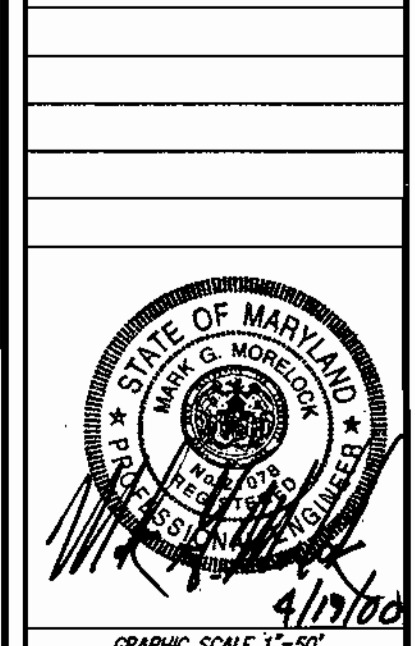
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>Walter H. Woodcock</i> CHIEF DEVELOPMENT ENGINEERING DIVISION	4/25/00 DATE
<i>Cindy Hamilton</i> CHIEF DIVISION OF LAND DEVELOPMENT	4/26/00 DATE
<i>Paul Sumner</i> DIRECTOR	4/26/00 DATE

BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 156 & 263
LIBER 3759, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

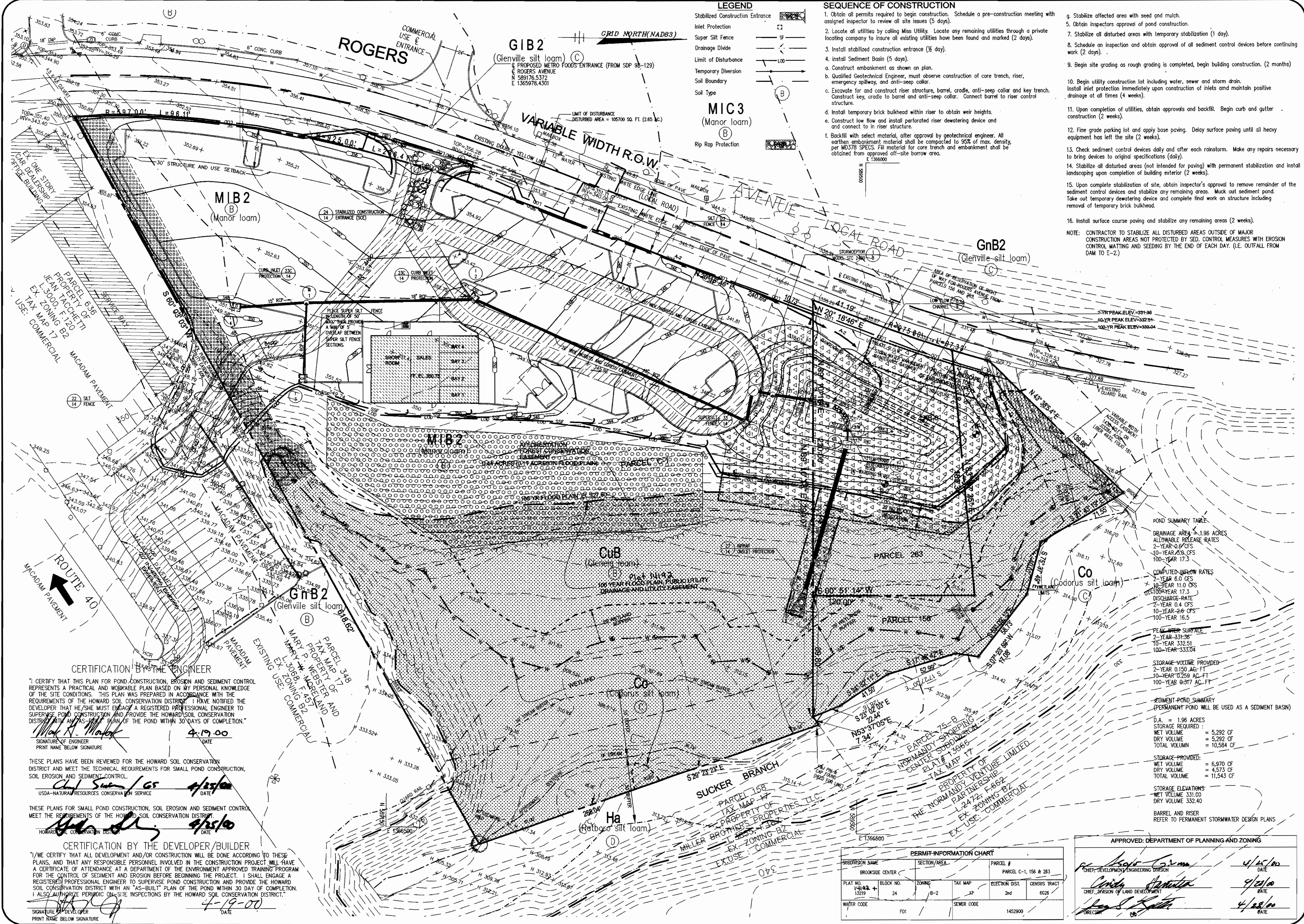
BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
2085 YORK ROAD
TIMONIUM, MD 21093
(410) 252-8000



REVISIONS	
COUNTY COMMENTS 03/08/00	REVISED SEWER PROFILE 4/19/00



PROFILES	
DATE: 11/15/99	JOB NUMBER: M2618.00
FILE NUMBER: 2618PROF	PLOTTED: 03/07/00
DRAWN BY: MP	SHEET: C-11
	11 of 20



LEGEND

- Stabilized Construction Entrance
- Inlet Protection
- Super Silt Fence
- Drainage Divide
- Limit of Disturbance
- Temporary Diversion
- Soil Boundary
- Soil Type
- Rip Rap Protection

- SEQUENCE OF CONSTRUCTION**
1. Obtain all permits required to begin construction. Schedule a pre-construction meeting with assigned inspector to review all site issues (5 days).
 2. Locate all utilities by calling Miss Utility. Locate any remaining utilities through a private locating company to insure all existing utilities have been found and marked (2 days).
 3. Install stabilized construction entrance (1/2 day).
 4. Install Sediment Basin (5 days).
 5. Construct embankment as shown on plan.
 6. Qualified Geotechnical Engineer, must observe construction of core trench, riser, emergency spillway, and anti-seep collar.
 7. Excavate for and construct riser structure, barrel, cradle, anti-seep collar and key trench. Construct key, cradle to barrel and anti-seep collar. Connect barrel to riser control structure.
 8. Install temporary brick bulkhead within riser to obtain weir heights.
 9. Install flow flow and install perforated riser dewatering device and connect to in riser structure.
 10. Backfill with select material, after approval by geotechnical engineer. All earthen embankment material shall be compacted to 95% of max. density, per MD378 SPECS. Fill material for core trench and embankment shall be obtained from approved off-site borrow area.
 11. Backfill with select material, after approval by geotechnical engineer. All earthen embankment material shall be compacted to 95% of max. density, per MD378 SPECS. Fill material for core trench and embankment shall be obtained from approved off-site borrow area.
 12. Backfill with select material, after approval by geotechnical engineer. All earthen embankment material shall be compacted to 95% of max. density, per MD378 SPECS. Fill material for core trench and embankment shall be obtained from approved off-site borrow area.
 13. Backfill with select material, after approval by geotechnical engineer. All earthen embankment material shall be compacted to 95% of max. density, per MD378 SPECS. Fill material for core trench and embankment shall be obtained from approved off-site borrow area.
 14. Backfill with select material, after approval by geotechnical engineer. All earthen embankment material shall be compacted to 95% of max. density, per MD378 SPECS. Fill material for core trench and embankment shall be obtained from approved off-site borrow area.
 15. Backfill with select material, after approval by geotechnical engineer. All earthen embankment material shall be compacted to 95% of max. density, per MD378 SPECS. Fill material for core trench and embankment shall be obtained from approved off-site borrow area.
 16. Backfill with select material, after approval by geotechnical engineer. All earthen embankment material shall be compacted to 95% of max. density, per MD378 SPECS. Fill material for core trench and embankment shall be obtained from approved off-site borrow area.

17. Stabilize affected area with seed and mulch.
18. Obtain inspectors approval of pond construction.
19. Stabilize all disturbed areas with temporary stabilization (1 day).
20. Schedule an inspection and obtain approval of all sediment control devices before continuing work (2 days).
21. Begin site grading as rough grading is completed, begin building construction. (2 months)
22. Begin utility construction including water, sewer and storm drain. Install inlet protection immediately upon construction of inlets and maintain positive drainage at all times (4 weeks).
23. Upon completion of utilities, obtain approvals and backfill. Begin curb and gutter construction (2 weeks).
24. Fine grade parking lot and apply base paving. Delay surface paving until all heavy equipment has left the site (2 weeks).
25. Check sediment control devices daily and after each rainstorm. Make any repairs necessary to bring devices to original specifications (daily).
26. Stabilize all disturbed areas (not intended for paving) with permanent stabilization and install landscaping upon completion of building exterior (2 weeks).
27. Upon complete stabilization of site, obtain inspector's approval to remove remainder of the sediment control devices and stabilize any remaining areas. Muck out sediment pond. Take out temporary dewatering device and complete final work on structure including removal of temporary brick bulkhead.
28. Install surface course paving and stabilize any remaining areas (2 weeks).

NOTE: CONTRACTOR TO STABILIZE ALL DISTURBED AREAS OUTSIDE OF MAJOR CONSTRUCTION AREAS NOT PROTECTED BY SED. CONTROL MEASURES WITH EROSION CONTROL MATTING AND SEEDING BY THE END OF EACH DAY. (I.E. OUTFALL FROM DAM TO E-2)

POND SUMMARY TABLE

DRAINAGE AREA = 1.96 ACRES
ALLOWABLE RELEASE RATES
2-YEAR 0.6 CFS
10-YEAR 0.8 CFS
100-YEAR 17.3

COMPUTED FLOW RATES
2-YEAR 6.0 CFS
10-YEAR 11.0 CFS
100-YEAR 17.3
DISCHARGE RATE
2-YEAR 0.4 CFS
10-YEAR 2.6 CFS
100-YEAR 16.5

PEAK WATER SURFACE
2-YEAR 331.36
10-YEAR 332.51
100-YEAR 333.04

STORAGE VOLUME PROVIDED
2-YEAR 0.150 AC. FT
10-YEAR 0.259 AC. FT
100-YEAR 0.377 AC. FT

SEDIMENT POND SUMMARY
(PERMANENT POND WILL BE USED AS A SEDIMENT BASIN)
D.A. = 1.96 ACRES
STORAGE REQUIRED:
WET VOLUME = 5,292 CF
DRY VOLUME = 5,292 CF
TOTAL VOLUME = 10,584 CF
STORAGE PROVIDED:
WET VOLUME = 6,970 CF
DRY VOLUME = 4,573 CF
TOTAL VOLUME = 11,543 CF
STORAGE ELEVATIONS:
WET VOLUME 331.00
DRY VOLUME 332.40
BARREL AND RISER REFER TO PERMANENT STORMWATER DESIGN PLANS

CERTIFICATION BY THE ENGINEER
I, CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.
Signature: [Signature]
Date: 4/19/00

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.
Signature: [Signature]
Date: 4/19/00
USDA-NATURAL RESOURCES CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Signature: [Signature]
Date: 4/19/00
HOWARD SOIL CONSERVATION DISTRICT

CERTIFICATION BY THE DEVELOPER/BUILDER
I, WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAY OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.
Signature: [Signature]
Date: 4-19-00

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL #
BROOKSIDE CENTER		PARCEL C-1, 156 & 263
PLAT NO. 14102 + 13219	BLOCK NO. 24	ZONING B-2
TAX MAP 17	ELECTION DIST. 2nd	CENSUS TRACT 6626
WATER CODE F01	SEWER CODE	1452900

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: [Signature] DATE: 4/25/00
Signature: [Signature] DATE: 4/25/00
Signature: [Signature] DATE: 4/25/00

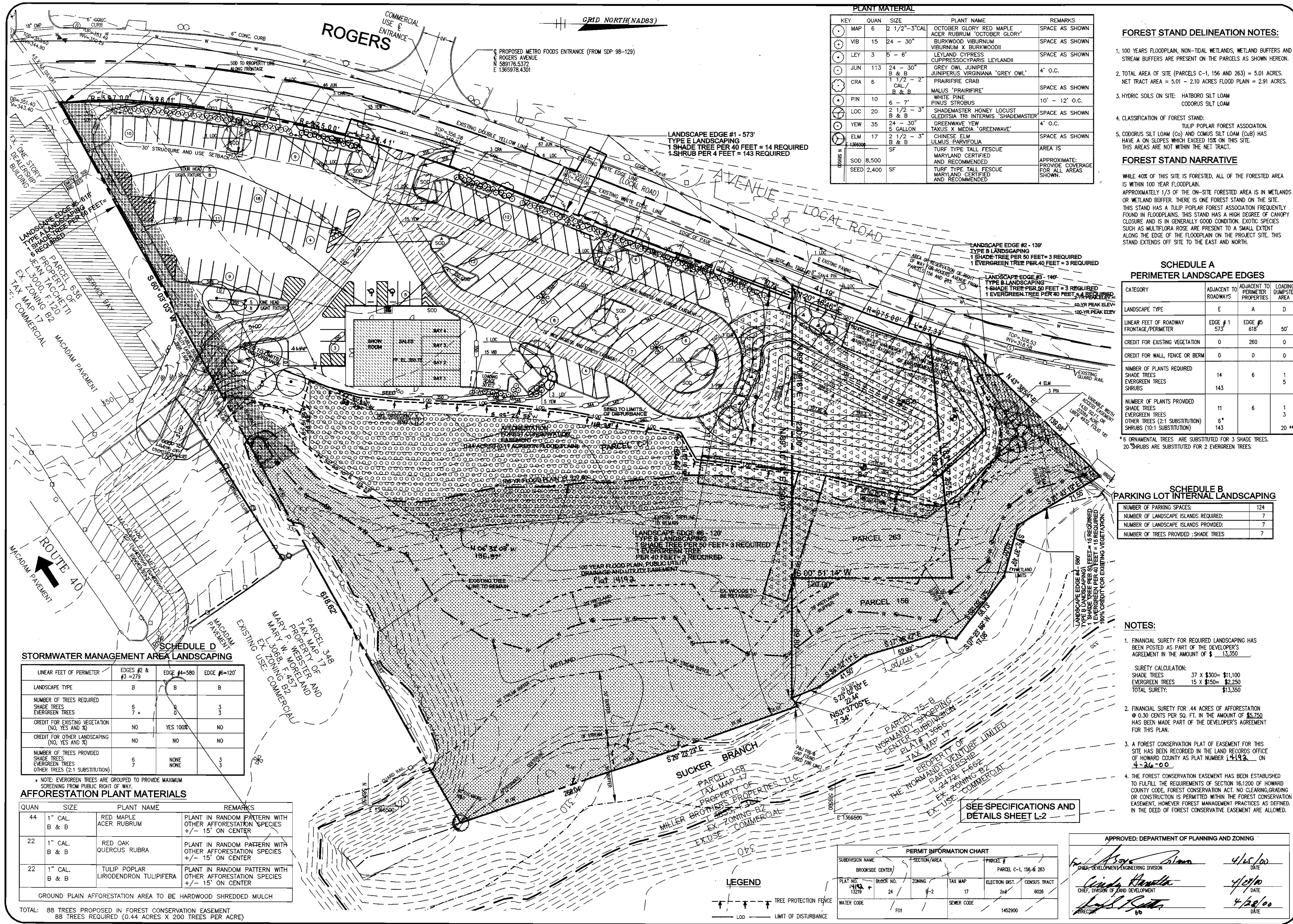
OWNER: BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
2085 YORK ROAD
TIMONIUM, MD 21093
(410) 252-8000

SITE DEVELOPMENT PLANS FOR: BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219) AND PARCELS 156 & 263
LIBER 3759, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

REVISIONS
COUNTY COMMENTS 03/08/00
ADDED ACCESS DRIVE AND EMBANKMENT 1/11/01

GRAPHIC SCALE 1"=30'

DATE: 11/15/99
JOB NUMBER: M2618
FILE NUMBER: 2618BASE
PLOTTED: 03/09/00
DRAWN BY: RJ
SEDIMENT CONTROL PLAN
SHEET C-12
12 OF 20



PLANT MATERIAL

KEY	QUAN	SIZE	PLANT NAME	REMARKS
MAP	6	2 1/2" - 3" CAL	OCTOBER GLORY RED MAPLE ACER RUBRUM 'OCTOBER GLORY'	SPACE AS SHOWN
VIB	15	24 - 30"	BURKWOOD VIBURNUM VIBURNUM X BURKWOODII	SPACE AS SHOWN
LEY	3	5 - 6"	LEYLAND CYPRESS CUPRESSOCYPARIS LEYLANDII	SPACE AS SHOWN
JUN	113	24 - 30" B & B	GREY OWL JUNIPER JUNIPERUS VIRGINIANA 'GREY OWL'	4' O.C.
CRA	6	1 1/2" - 2" CAL B & B	PRAIRIFIRE CRAB MALUS 'PRAIRIFIRE'	SPACE AS SHOWN
PIN	10	6 - 7"	WHITE PINE PINUS STROBUS	10' - 12' O.C.
LOC	20	2 1/2" - 3" B & B	SHADEMASTER HONEY LOCUST GLEDISIA TRI-INTERMIS 'SHADEMASTER'	SPACE AS SHOWN
YEW	35	24 - 30" B & B	GREENWAVE YEW TAXUS X MEDIA 'GREENWAVE'	4' O.C.
ELM	17	2 1/2" - 3" B & B	CHINESE ELM ULMUS PARVIFOLIA	SPACE AS SHOWN
SOD	8,500	SF	TURF TYPE TALL FESCUE MARYLAND CERTIFIED AND RECOMMENDED	AREA IS APPROXIMATELY PROVIDE COVERAGE FOR ALL AREAS SHOWN.
SEED	2,400	SF	TURF TYPE TALL FESCUE MARYLAND CERTIFIED AND RECOMMENDED	

FOREST STAND DELINEATION NOTES:

- 100 YEARS FLOODPLAIN, NON-TIDAL WETLANDS, WETLAND BUFFERS AND STREAM BUFFERS ARE PRESENT ON THE PARCELS AS SHOWN HEREON.
- TOTAL AREA OF SITE (PARCELS C-1, 156 AND 263) = 5.01 ACRES. NET TRACT AREA = 5.01 - 2.10 ACRES FLOOD PLAIN = 2.91 ACRES.
- HYDRIC SOILS ON SITE: HATBORO SILT LOAM
CODORUS SILT LOAM
- CLASSIFICATION OF FOREST STAND:
TULIP POPLAR FOREST ASSOCIATION.
- CODORUS SILT LOAM (Co) AND COMUS SILT LOAM (CuB) HAS HAVE A ON SLOPES WHICH EXCEED 15% ON THIS SITE. THIS AREAS ARE NOT WITHIN THE NET TRACT.

FOREST STAND NARRATIVE

WHILE 40% OF THIS SITE IS FORESTED, ALL OF THE FORESTED AREA IS WITHIN 100 YEAR FLOODPLAIN. APPROXIMATELY 1/3 OF THE ON-SITE FORESTED AREA IS IN WETLANDS OR WETLAND BUFFER. THERE IS ONE FORESTED STAND ON THE SITE. THIS STAND HAS A TULIP POPLAR FOREST ASSOCIATION FREQUENTLY FOUND IN FLOODPLAINS. THIS STAND HAS A HIGH DEGREE OF CANOPY CLOSURE AND IS IN GENERALLY GOOD CONDITION. EXOTIC SPECIES SUCH AS MULTIFLORA ROSE ARE PRESENT TO A SMALL EXTENT ALONG THE EDGE OF THE FLOODPLAIN ON THE PROJECT SITE. THIS STAND EXTENDS OFF SITE TO THE EAST AND NORTH.

**SCHEDULE A
PERIMETER LANDSCAPE EDGES**

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES	LOADING DUMPS/AREA
LANDSCAPE TYPE	E	A	D
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	EDGE #1 573'	EDGE #5 618'	50'
CREDIT FOR EXISTING VEGETATION	0	260	0
CREDIT FOR WALL, FENCE OR BERM	0	0	0
NUMBER OF PLANTS REQUIRED			
SHADE TREES	14	6	1
EVERGREEN TREES	143	5	5
SHRUBS			
NUMBER OF PLANTS PROVIDED			
SHADE TREES	11	6	1
EVERGREEN TREES	6*	3	3
OTHER TREES (2:1 SUBSTITUTION)	143		20**

* 6 ORNAMENTAL TREES ARE SUBSTITUTED FOR 3 SHADE TREES.
** 20 SHRUBS ARE SUBSTITUTED FOR 2 EVERGREEN TREES.

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF PARKING SPACES:	124
NUMBER OF LANDSCAPE ISLANDS REQUIRED:	7
NUMBER OF LANDSCAPE ISLANDS PROVIDED:	7
NUMBER OF TREES PROVIDED : SHADE TREES	7

NOTES:

- FINANCIAL SURETY FOR REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$ 13,350.
- SURETY CALCULATION:
SHADE TREES 37 X \$300 = \$11,100
EVERGREEN TREES 15 X \$150 = \$2,250
TOTAL SURETY: \$13,350
- FINANCIAL SURETY FOR 44 ACRES OF AFFORESTATION @ 0.30 CENTS PER SQ. FT. IN THE AMOUNT OF \$5,750 HAS BEEN MADE PART OF THE DEVELOPER'S AGREEMENT FOR THIS PLAN.
- A FOREST CONSERVATION PLAT OF EASEMENT FOR THIS SITE HAS BEEN RECORDED IN THE LAND RECORDS OFFICE OF HOWARD COUNTY AS PLAT NUMBER 14192 ON 4-26-00.
- THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF HOWARD COUNTY CODE, FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATIVE EASEMENT ARE ALLOWED.

**SCHEDULE D
STORMWATER MANAGEMENT AREA LANDSCAPING**

LINEAR FEET OF PERIMETER	EDGES #2 & #3 = 279'	EDGE #4 = 580'	EDGE #6 = 120'
LANDSCAPE TYPE	B	B	B
NUMBER OF TREES REQUIRED			
SHADE TREES	6	0	3
EVERGREEN TREES	7	0	3
CREDIT FOR EXISTING VEGETATION (NO, YES AND %)	NO	YES 100%	NO
CREDIT FOR OTHER LANDSCAPING (NO, YES AND %)	NO	NO	NO
NUMBER OF TREES PROVIDED			
SHADE TREES	6	NONE	3
EVERGREEN TREES	7	NONE	3
OTHER TREES (2:1 SUBSTITUTION)			

* NOTE: EVERGREEN TREES ARE GROUPED TO PROVIDE MAXIMUM SCREENING FROM PUBLIC RIGHT OF WAY.

AFFORESTATION PLANT MATERIALS

QUAN	SIZE	PLANT NAME	REMARKS
44	1" CAL. B & B	RED MAPLE ACER RUBRUM	PLANT IN RANDOM PATTERN WITH OTHER AFFORESTATION SPECIES +/- 15' ON CENTER
22	1" CAL. B & B	RED OAK QUERCUS RUBRA	PLANT IN RANDOM PATTERN WITH OTHER AFFORESTATION SPECIES +/- 15' ON CENTER
22	1" CAL. B & B	TULIP POPLAR LIRIODENDRON TULIPIFERA	PLANT IN RANDOM PATTERN WITH OTHER AFFORESTATION SPECIES +/- 15' ON CENTER

GROUND PLAIN AFFORESTATION AREA TO BE HARDWOOD SHREDDED MULCH

TOTAL: 88 TREES PROPOSED IN FOREST CONSERVATION EASEMENT
88 TREES REQUIRED (0.44 ACRES X 200 TREES PER ACRE)

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL #
BROOKSIDE CENTER		PARCEL C-1, 156 & 263
PLAT NO. H19A 1319	BLOCK NO. 24	ZONING #2
TAX MAP 17	ELECTION DIST. 2nd	CENSUS TRACT 6026
WATER CODE F01	SEWER CODE 1452900	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DATE: 4/25/00

DATE: 4/25/00

DATE: 4/25/00

BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 156 & 263
LIBER 3759, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

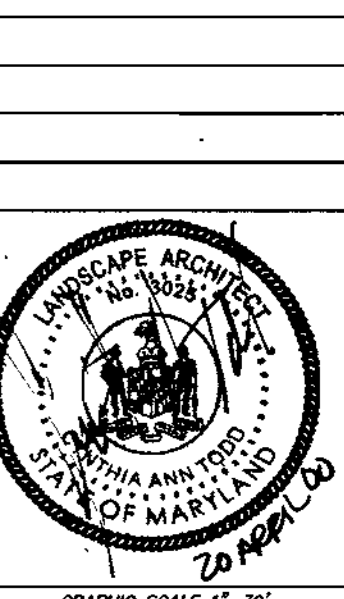
BROOKSIDE LLLP
2085 YORK ROAD
TIMONIUM, MD 21093
(410) 252-8000

C/O NATIONWIDE MOTOR SALES



REVISIONS

COUNTY COMMENTS 03/08/00
NEEDED ACCORD DRAWING & EASEMENT REVISIONS 1/11/01



DATE: 11/15/99

JOB NUMBER: M2818

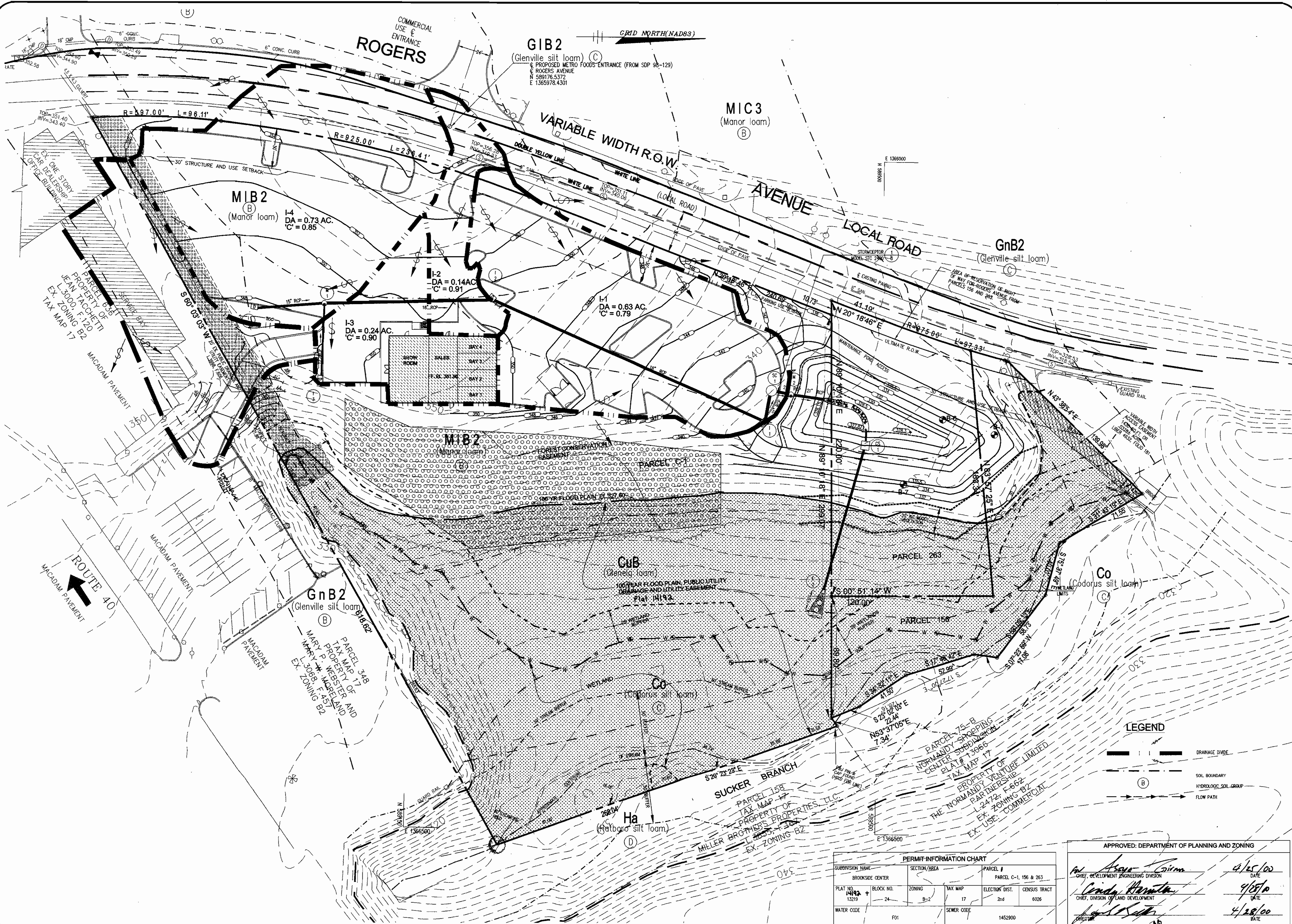
FILE NUMBER: 2618BASE

PLOTTED: 03/09/00

DRAWN BY: RJ

LANDSCAPE AND AFFORESTATION PLAN

SHEET L-1
16 of 20

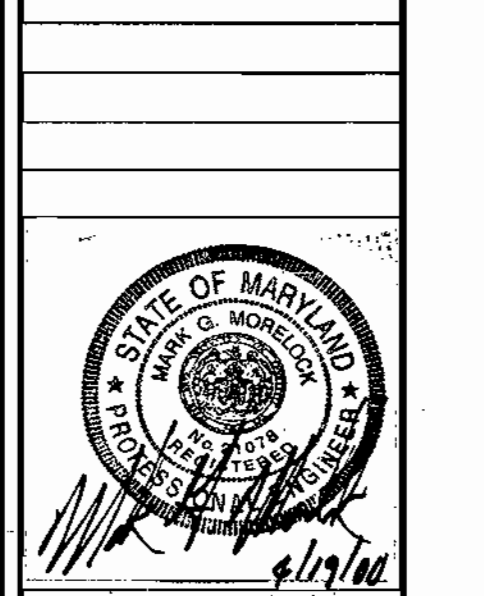


SITE DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
 PARCEL C-1 (PLAT NO. 13219)
 AND PARCELS 156 & 263
 LIBER 3759, FOLIO 557
 2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
 HOWARD COUNTY, MARYLAND

OWNER:
BROOKSIDE LLLP
C/O NATIONWIDE MOTOR SALES
 2085 YORK ROAD
 TIMONIUM, MD 21093
 (410) 252-8000

RBA
 ENGINEERS • ARCHITECTS • PLANNERS
 7184 Columbia Gateway Drive
 Suite 205, Columbia, Maryland 21046
 Phone (410) 312-0866, Fax 312-0897

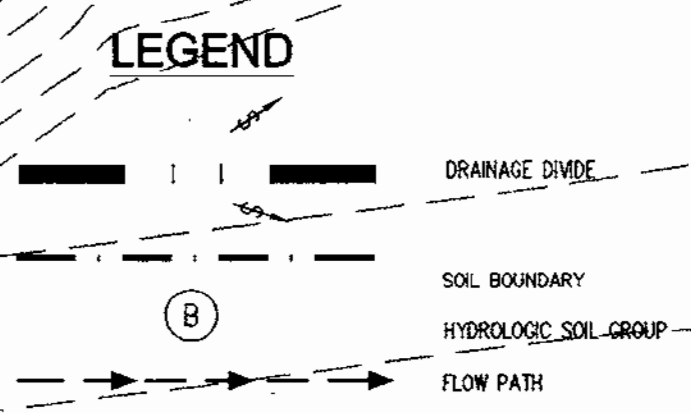
REVISIONS
 COUNTY COMMENTS 03/08/00
 ADDED ACCESS DRIVE & REVISIONS TO DRAINAGE PLAN 1/11/01

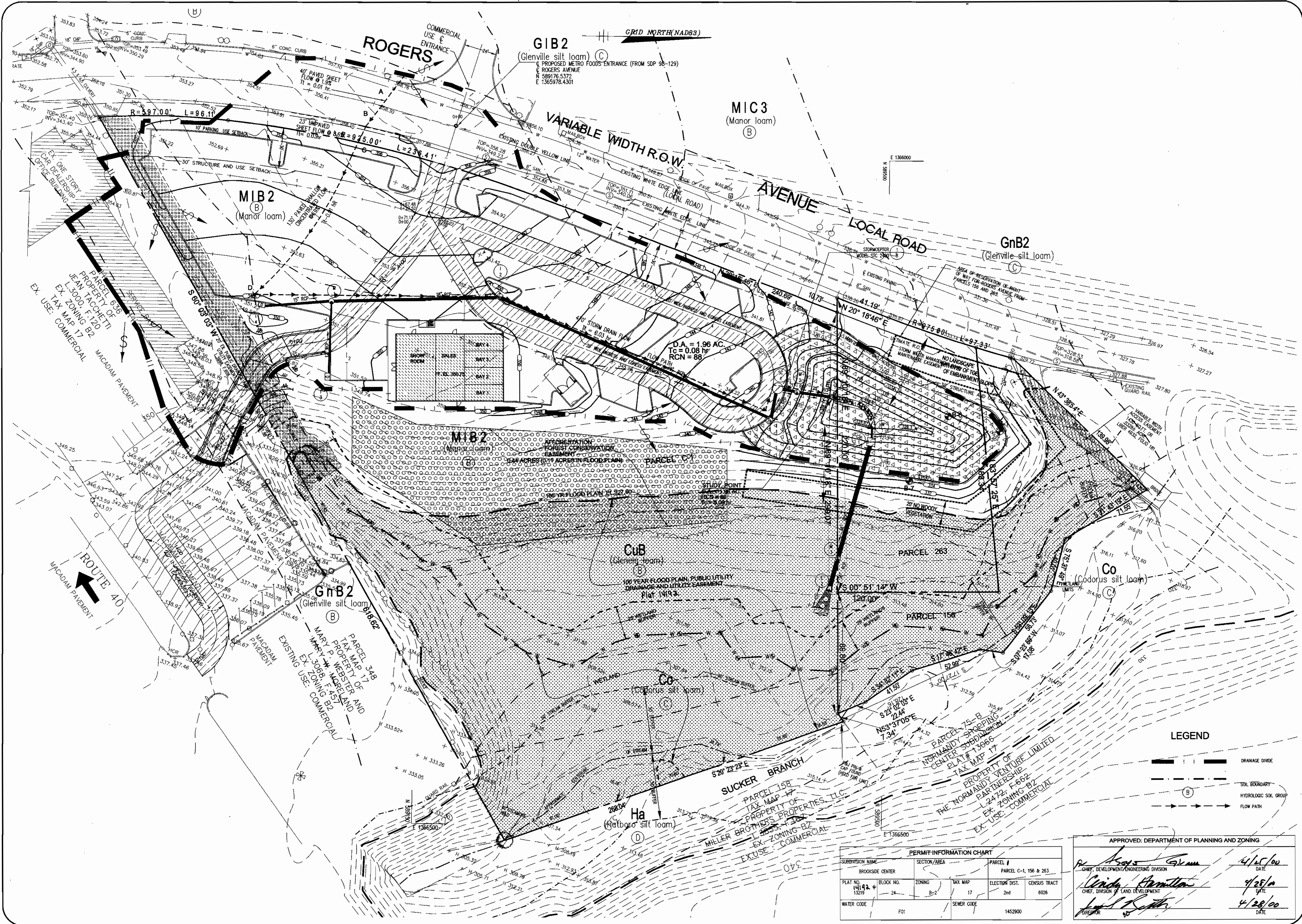


DATE: 11/15/99
 JOB NUMBER: M2618
 FILE NUMBER: 2618BASE
 PLOTTED: 03/09/00
 DRAWN BY: RJ
DRAINAGE AREA MAP
 SHEET D-1
 18 of 20

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	PARCEL #	TAX MAP	PARCEL #
BROOKSIDE CENTER		PARCEL C-1, 156 & 263		
PLAT NO. 14192 + 13219	BLOCK NO. 24	ZONING B-2	ELECTION DIST. 17	CENSUS TRACT 6026
WATER CODE F01	SEWER CODE		1452800	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 4/25/00
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] 4/28/00
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR 4/28/00

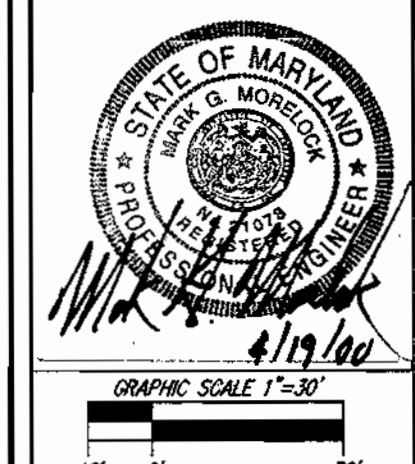




SITE DEVELOPMENT PLANS FOR:
BROOKSIDE LLLP
BROOKSIDE CENTER CAR SALES
 PARCEL C-1 (PLAT NO. 13219)
 AND PARCELS 156 & 263
 LIBER 3759, FOLIO 567
 2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
 HOWARD COUNTY, MARYLAND

OWNER:
C/O NATIONWIDE MOTOR SALES
 2085 YORK ROAD
 TIMONIUM, MD 21083
 (410) 252-8000

REVISIONS
 COUNTY COMMENTS 03/08/00
 ADDED ACCESS DRIVEWAY & PARCELS 156, 263, DRAINAGE AREA



DATE: 11/15/99
 JOB NUMBER: M2618
 FILE NUMBER: 26185BASE
 PLOTTED: 03/08/00
 DRAWN BY: RJ
DRAINAGE AREA MAP - POST DEVELOPED CONDITION
 SHEET: D-3
 20 of 20

PERMIT INFORMATION CHART

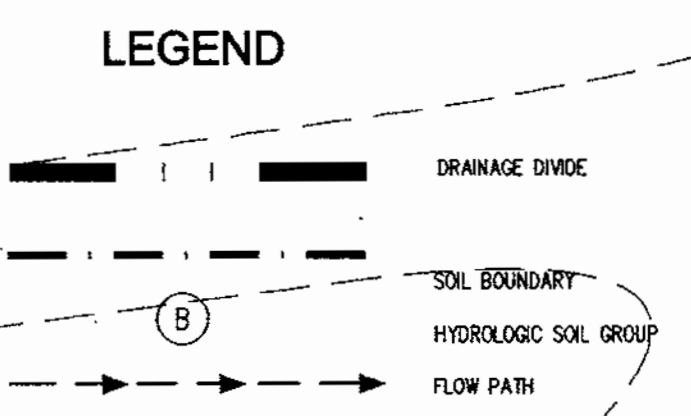
SUBDIVISION NAME	SECTION/AREA	PARCEL #
BROOKSIDE CENTER		PARCEL C-1, 156 & 263
PLAT NO. 14142+	BLOCK NO. 24	ZONING B-2
TAX MAP 17	ELECTION DIST. 2nd	CENSUS TRACT 6026
WATER CODE F01	SEWER CODE 1452900	

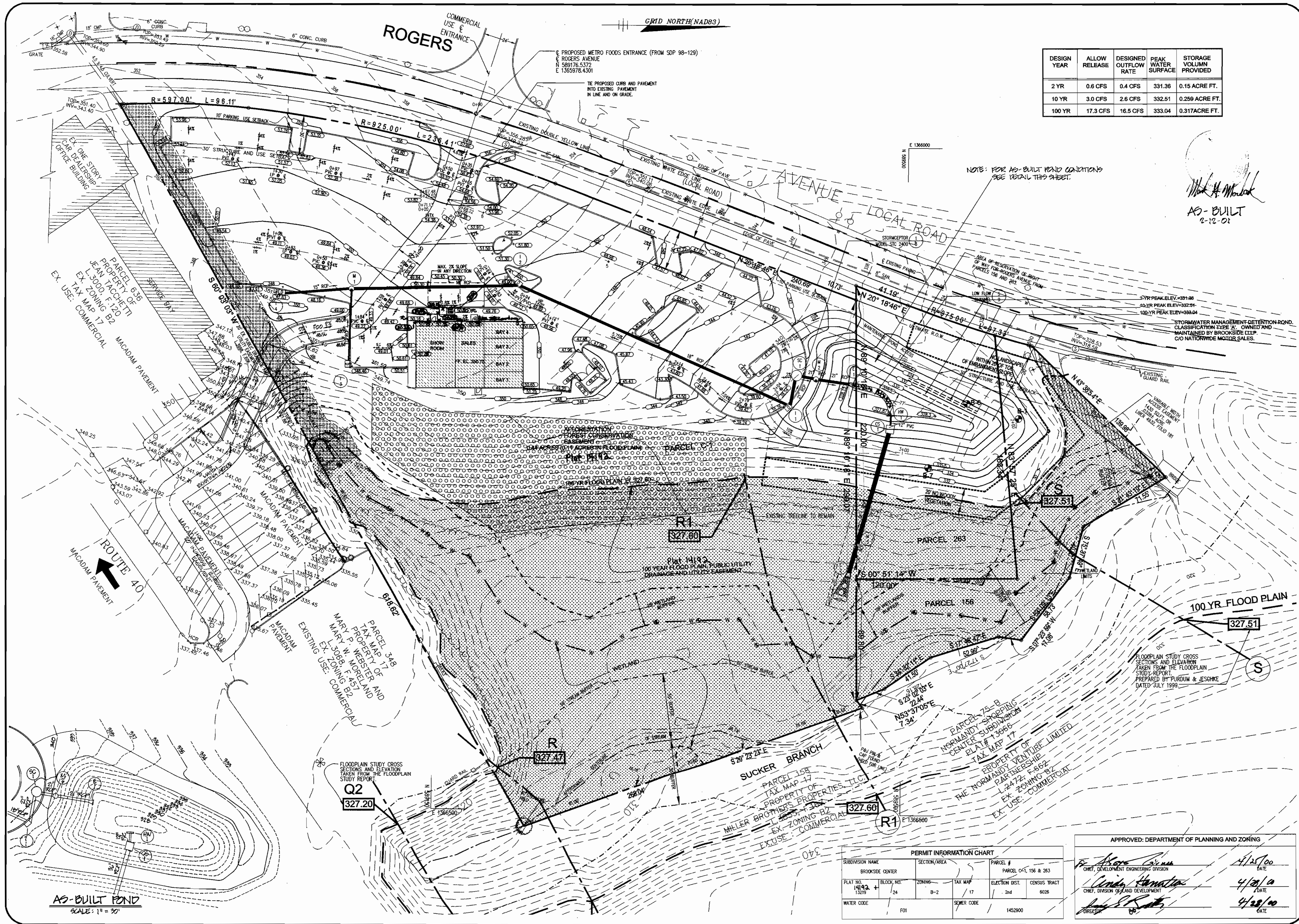
APPROVED: DEPARTMENT OF PLANNING AND ZONING

Richard Hamilton 4/25/00
 CHIEF, DEVELOPMENT/ENGINEERING DIVISION DATE

Cinda Hamilton 4/25/00
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Paul Smith 4/28/00
 DIRECTOR DATE





DESIGN YEAR	ALLOW RELEASE	DESIGNED OUTFLOW RATE	PEAK WATER SURFACE	STORAGE VOLUME PROVIDED
2 YR	0.6 CFS	0.4 CFS	331.36	0.15 ACRE FT.
10 YR	3.0 CFS	2.6 CFS	332.51	0.259 ACRE FT.
100 YR	17.3 CFS	16.5 CFS	333.04	0.317 ACRE FT.

NOTE: FOR AS-BUILT ROAD CONDITIONS SEE DETAIL THIS SHEET.

Mark H. Marlock
AS-BUILT
2-12-01

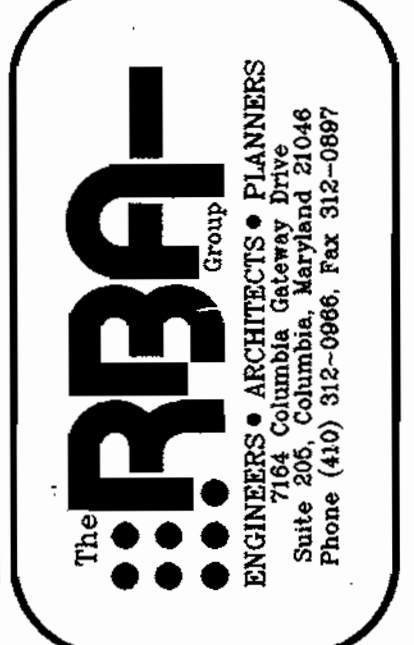
AS-BUILT POND
SCALE: 1" = 30'

SUBDIVISION NAME	SECTION/AREA	PARCEL #
BROOKSIDE CENTER		PARCEL C-1, 156 & 263
PLAT NO. 14193 + 13219	BLOCK NO. 24	ZONING B-2
TAX MAP 17	ELECTION DIST. 2nd	CENSUS TRACT 6026
WATER CODE F01	SEWER CODE	1452900

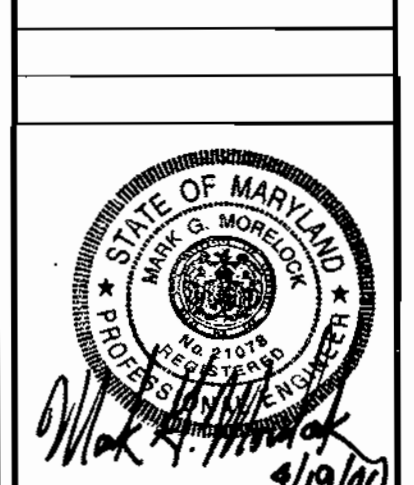
<i>Chris Albright</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	4/12/00 DATE
<i>Linda Hamilton</i> CHIEF, DIVISION OF LAND DEVELOPMENT	4/20/00 DATE
<i>John P. Smith</i> DIRECTOR	4/28/00 DATE

SITE DEVELOPMENT PLANS FOR:
BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 156 & 263
LIBER 3759, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

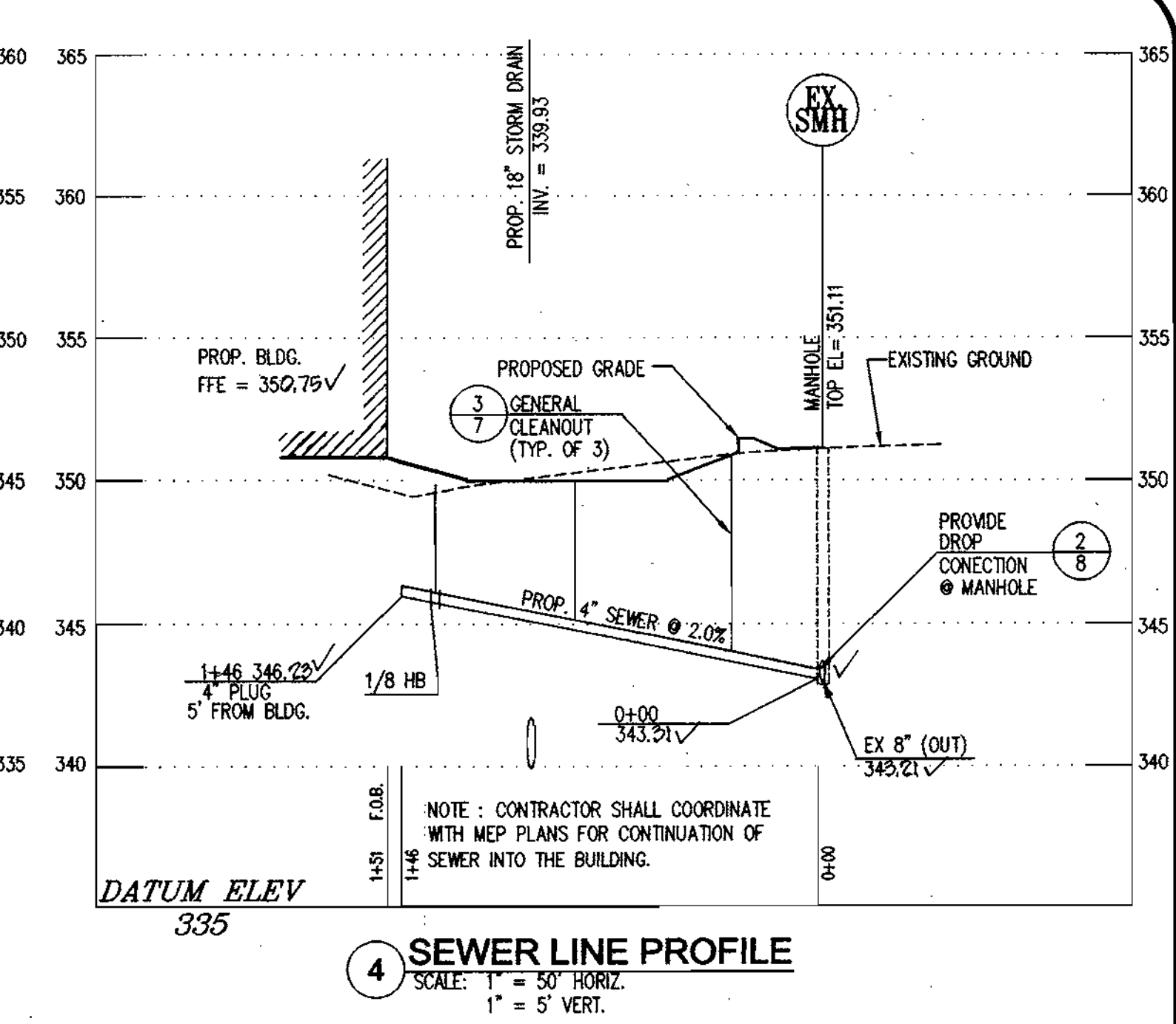
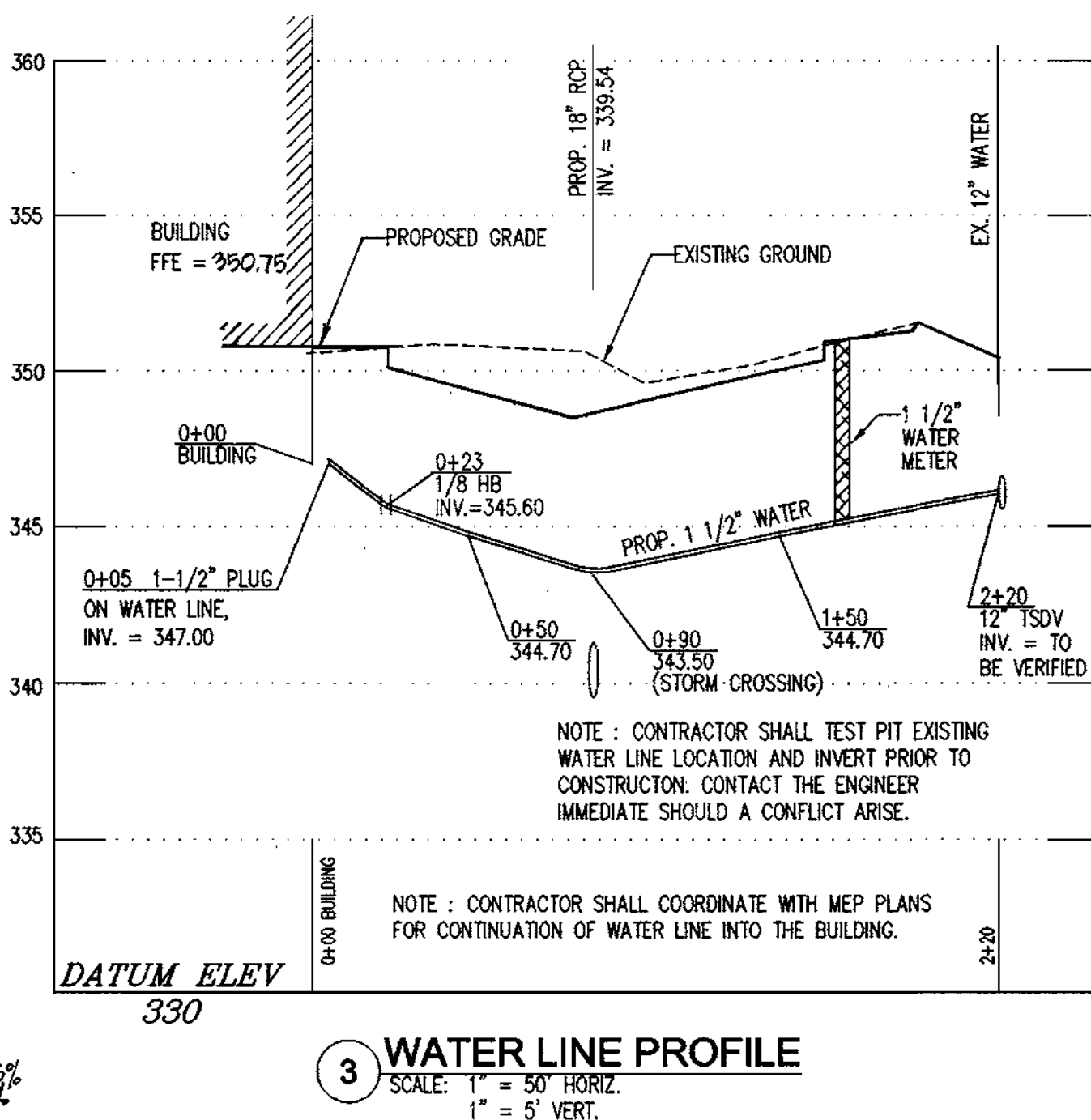
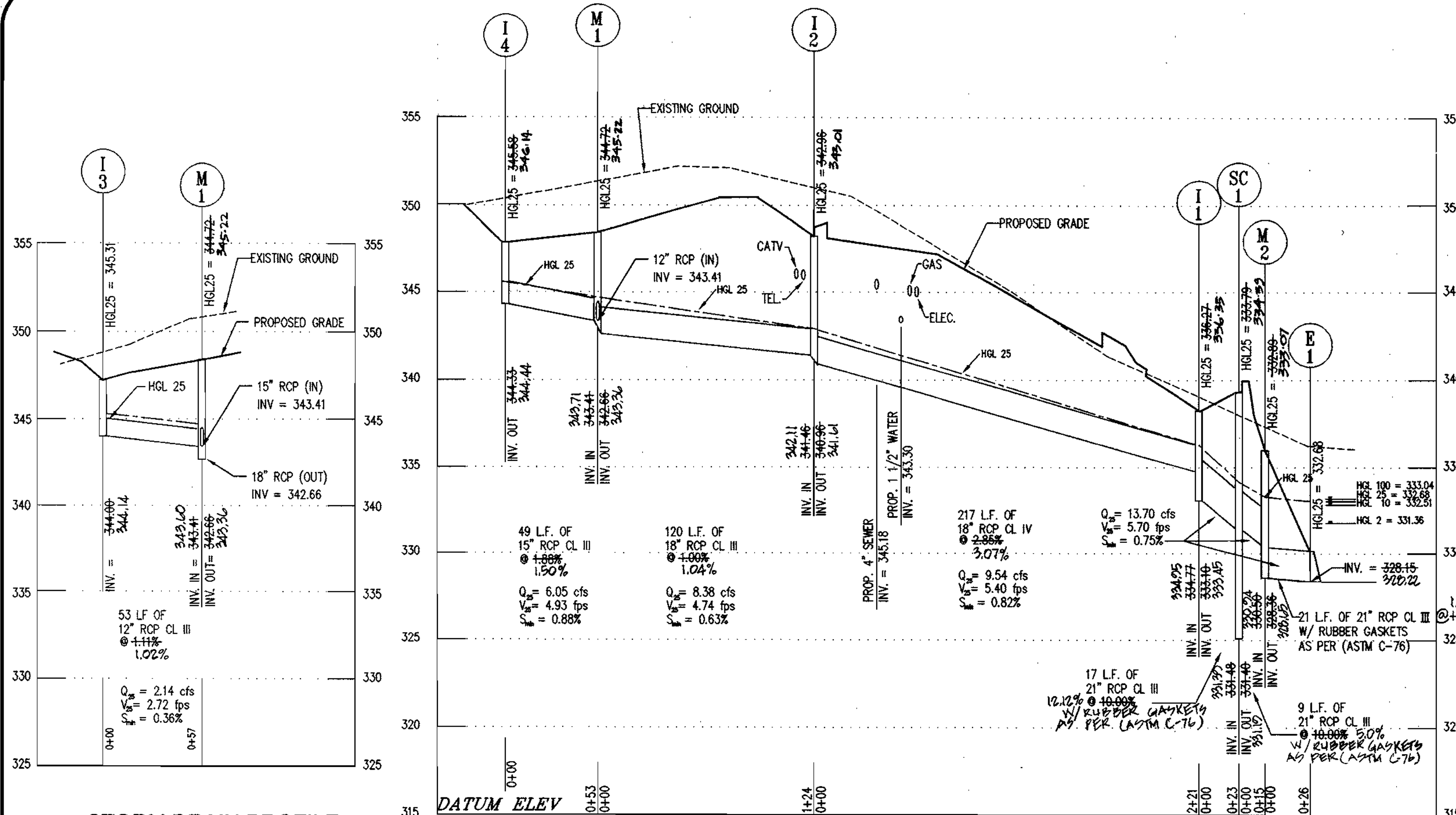
OWNER:
BROOKSIDE LLP
C/O NATIONWIDE MOTOR SALES
2085 YORK ROAD
TIMONIUM, MD 21083
(410) 252-8000



NO.	DATE	DESCRIPTION
1	03/08/00 <td>COUNTY COMMENTS</td>	COUNTY COMMENTS
2	03/08/00 <td>ADDED CROSS SECTIONS</td>	ADDED CROSS SECTIONS
3	03/08/00 <td>REVISED ROAD PROFILE</td>	REVISED ROAD PROFILE
4	03/08/00 <td>REVISED ROAD PROFILE</td>	REVISED ROAD PROFILE



DATE:	11/15/99
JOB NUMBER:	M2165
FILE NUMBER:	2618BASE
PLOTTED:	03/09/00
DRAWN BY:	RJ
GRADING AND DRAINAGE PLAN	
SHEET:	C-5
	5 of 20



PIPE SCHEDULE

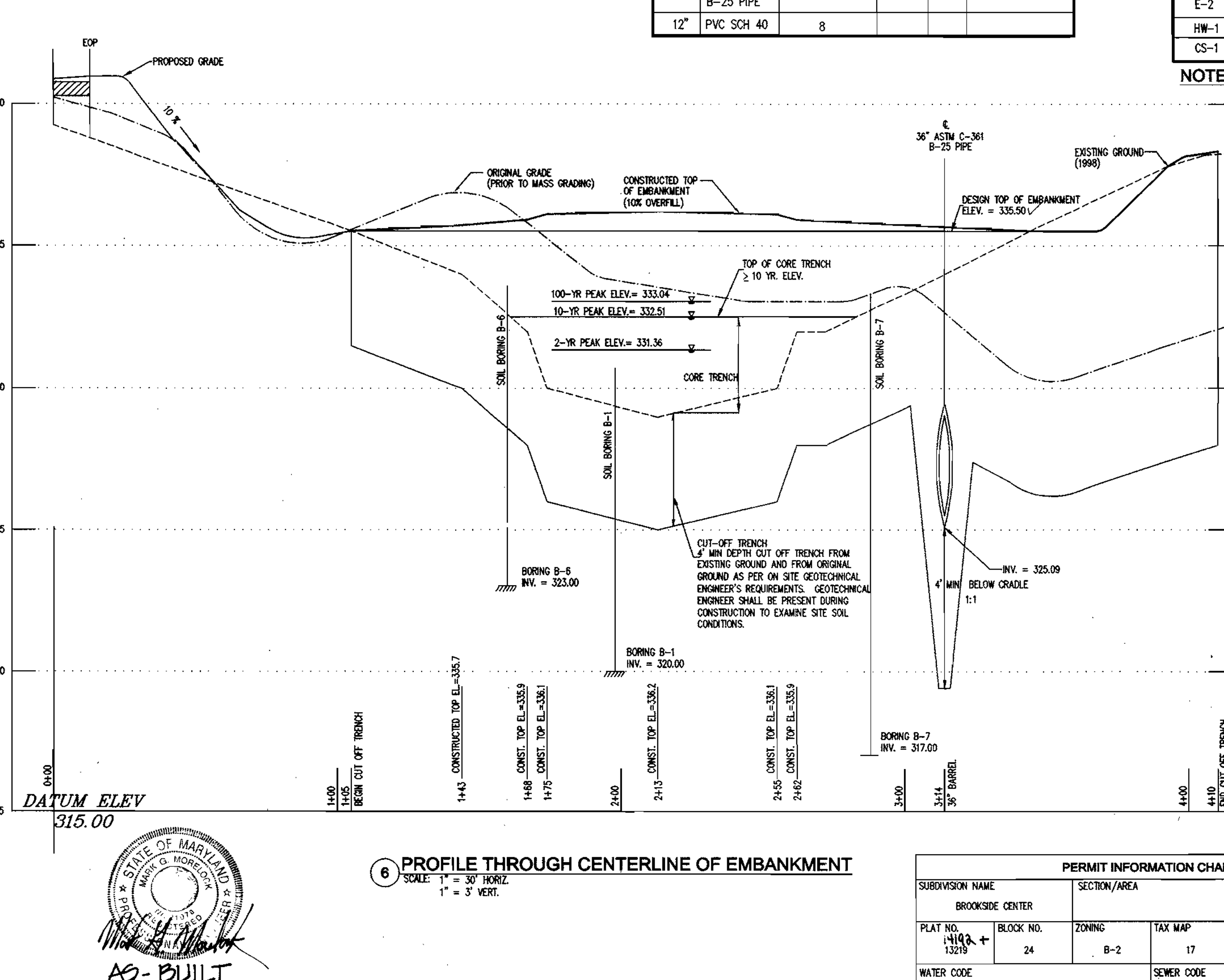
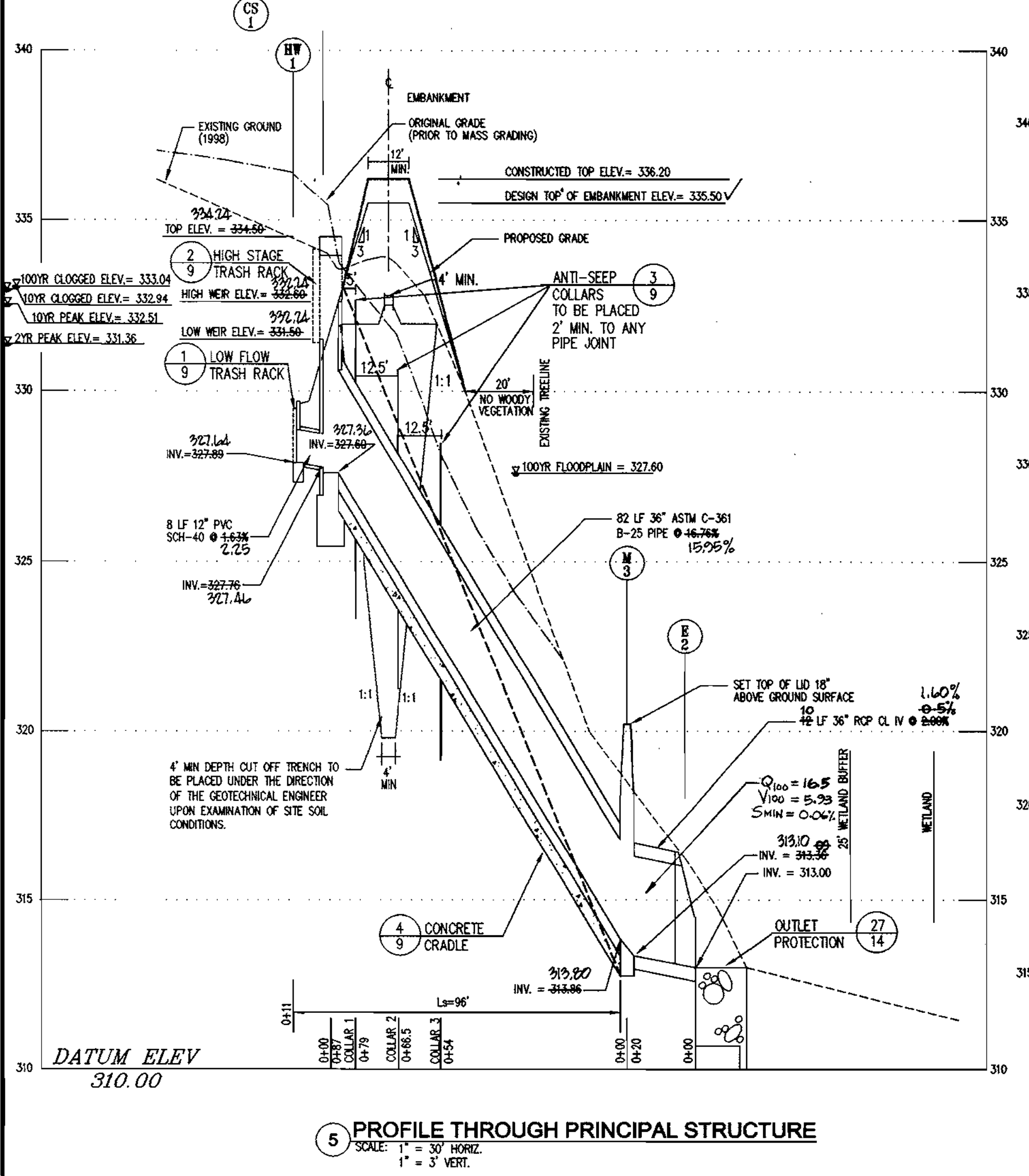
SIZE	TYPE	LINEAR FOOTAGE	SIZE	TYPE	LINEAR FOOTAGE
STORM DRAIN					
12"	RCP CL III	53	1 1/2"	COPP.	215
15"	RCP CL III	49	SEWER		
18"	RCP CL III	120	4"	PVC	146
18"	RCP CL IV	217			
21"	RCP CL III	47			
36"	RCP CL IV	42-10			
36"	ASTM C-361 B-25 PIPE	82			
12"	PVC SCH 40	8			

STRUCTURE SCHEDULE

NUMBER	TYPE	LOCATION	TOP ELEVATION		SIZE	REMARKS
			STATION	OFFSET		
I-1	TYPE "A-5" INLET	3+04	9 FT, RT	348.43-40	348.43-40	5'-0" x 2'-6" HO. CO. STD. SD 4.01
I-2	TYPE "A-5" INLET	0+83	9 FT, LT	349.00-79	349.00-79	5'-0" x 2'-6" HO. CO. STD. SD 4.01
I-3	TYPE "A-5" INLET	2+13	12 FT, RT	349.13	349.06	5'-0" x 2'-6" HO. CO. STD. SD 4.01
I-4	TYPE "A-5" INLET	0+83	30 FT, LT	348.43-39	348.43-39	5'-0" x 2'-6" HO. CO. STD. SD 4.01
M-1	PRECAST MANHOLE	0+31	19 FT, LT	TOP = 349.39-57	D = 4 FT	HO. CO. STD. SD G.5.11
M-2	PRECAST MANHOLE	3+24	19 FT, RT	TOP = 348.56	D = 4 FT	HO. CO. STD. SD G.5.11
M-3	PRECAST MANHOLE	SEE PLAN	SEE PLAN	TOP = 320.40-30	D = 5 FT	HO. CO. STD. SD G.5.11
SC-1	STORMCEPTOR STC-2400	3+23	4 FT, RT	TOP = 339.34-40	D = 8 FT	STORMCEPTOR STC-2400 SEE DETAIL 1 ON SHEET 3
E-1	END SECTION	SEE PLAN	SEE PLAN	INV = 321.21	D = 21"	HO. CO. STD. 5.51 (21)
E-2	END SECTION	SEE PLAN	SEE PLAN	INV = 313.00	D = 36"	HO. CO. STD. 5.51 (36)
HW-1	TYPE "C" ENDWALL	SEE PLAN	SEE PLAN	INV = 327.59	D = 12"	HO. CO. STD. SD 5.21
CS-1	CONTROL STRUCTURE	SEE PLAN	SEE PLAN			SEE DETAILS ON SHEET 9

NOTES:

- ALL STRUCTURES ARE HOWARD COUNTY STANDARDS UNLESS NOTED OTHERWISE. REFER TO SHEET C-7 FOR DETAILS.
- STATIONS ARE GIVEN TO CENTER OF STRUCTURE AT FACE OF CURB FOR CURB INLETS AND TO CENTER OF STRUCTURE FOR ALL OTHER STRUCTURES.
- ELEVATIONS ARE GIVEN TO TOP OF CURB FOR CURB INLETS, TOP OF GRATE FOR GRATE INLETS AND TOP OF LID FOR MANHOLES.



CERTIFICATION BY THE ENGINEER

I, CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

Walter H. Madole 4-19-00
SIGNATURE OF ENGINEER DATE
PRINT NAME BELOW SIGNATURE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

Paul Sumner/Co 4/25/00
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John J. Selig 4/25/00
HOWARD SOIL CONSERVATION DISTRICT DATE

CERTIFICATION BY THE DEVELOPER/BUILDER

I, WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Walter H. Madole 4-19-00
SIGNATURE OF DEVELOPER DATE
PRINT NAME BELOW SIGNATURE

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL #
BROOKSIDE CENTER		PARCEL C-1, 156 & 263
PLAT NO.	BLOCK NO.	ZONING
14192-4	24	B-2
TAX MAP	ELECTION DIST.	CENSUS TRACT
17	2nd	6026
WATER CODE	SEWER CODE	
F01	1452900	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Robert A. Curran 4/25/00
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Hamilton 4/28/00
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Paul J. Smith 4/28/00
DIRECTOR DATE

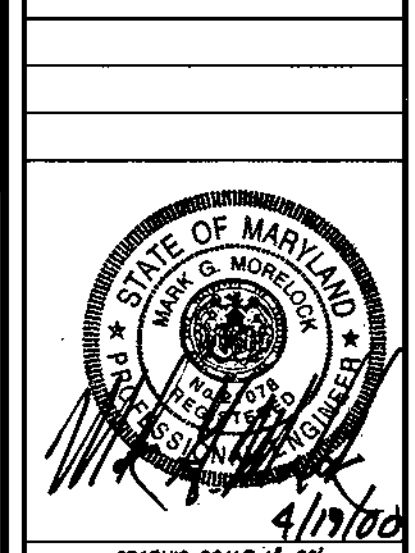
BROOKSIDE CENTER CAR SALES
PARCEL C-1 (PLAT NO. 13219)
AND PARCELS 156 & 263
LIBER 3759, FOLIO 557
2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
HOWARD COUNTY, MARYLAND

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C/O NATIONWIDE MOTOR SALES
2085 YORK ROAD
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(410) 252-8000

RBA-Group
ENGINEERS • ARCHITECTS • PLANNERS
7164 Columbia Gateway Drive
Suite 505 Columbia, Maryland 21046
Phone: (410) 318-0666, Fax: 318-3887

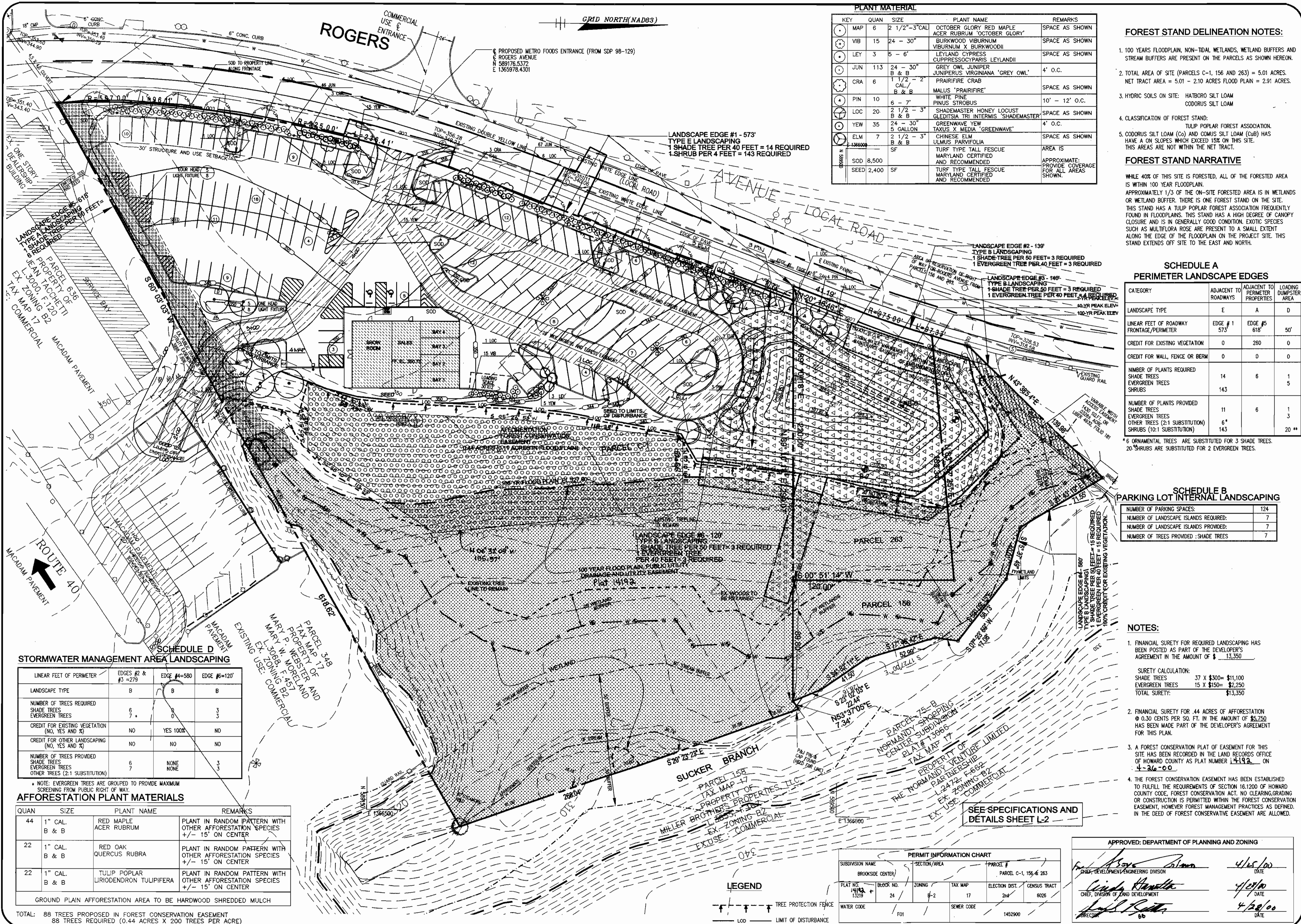
REVISIONS

COUNTY COMMENTS 03/08/00
REVISED SEWER PROFILE UNDER
REV. SEWER PROFILE TO BUILDING



PROFILES

SHEET C-11
11 of 20



PLANT MATERIAL

KEY	QUAN	SIZE	PLANT NAME	REMARKS
MAP	6	2 1/2" - 3" CAL	OCTOBER GLORY RED MAPLE	SPACE AS SHOWN
W/B	15	24" - 30"	ACER RUBRUM OCTOBER GLORY	SPACE AS SHOWN
LEY	3	5' - 6'	BURKWOOD VIBURNUM	SPACE AS SHOWN
JUN	113	24" - 30" B & B	GREY OWL JUNIPER JUNIPERUS VIRGINIANA 'GREY OWL'	4' O.C.
CRA	6	1 1/2" - 2" CAL B & B	LELAND CYPRESS CUPRESSOCYPARIS LEYLANDII	SPACE AS SHOWN
PIN	10	6" - 7"	WHITE PINE PINUS STROBUS	10' - 12' O.C.
LOC	20	2 1/2" - 3" B & B	SHADEMASTER HONEY LOCUST GLEDITSIA TRI-INTERMIS 'SHADEMASTER'	SPACE AS SHOWN
YEW	35	24" - 30" 5 GALLON	GREENWAVE YEW TAXUS X MEDIA 'GREENWAVE'	4' O.C.
ELM	7	2 1/2" - 3" B & B	CHINESE ELM ULMUS PARVIFOLIA	SPACE AS SHOWN
SOD	8,500	SF	TURF TYPE TALL FESCUE MARYLAND CERTIFIED AND RECOMMENDED	AREA IS APPROXIMATE: PROVIDE COVERAGE FOR ALL AREAS SHOWN.
SEED	2,400	SF	TURF TYPE TALL FESCUE MARYLAND CERTIFIED AND RECOMMENDED	

- FOREST STAND DELINEATION NOTES:**
- 100 YEARS FLOODPLAIN, NON-TIDAL WETLANDS, WETLAND BUFFERS AND STREAM BUFFERS ARE PRESENT ON THE PARCELS AS SHOWN HEREON.
 - TOTAL AREA OF SITE (PARCELS C-1, 156 AND 263) = 5.01 ACRES. NET TRACT AREA = 5.01 - 2.10 ACRES FLOOD PLAIN = 2.91 ACRES.
 - HYDRIC SOILS ON SITE: HATBORO SILT LOAM CODORUS SILT LOAM
 - CLASSIFICATION OF FOREST STAND: TULIP POPLAR FOREST ASSOCIATION.
 - CODORUS SILT LOAM (CO) AND COMUS SILT LOAM (CU) HAS HAVE A ON SLOPES WHICH EXCEED 15% ON THIS SITE. THIS AREAS ARE NOT WITHIN THE NET TRACT.

FOREST STAND NARRATIVE

WHILE 40% OF THIS SITE IS FORESTED, ALL OF THE FORESTED AREA IS WITHIN 100 YEAR FLOODPLAIN. APPROXIMATELY 1/3 OF THE ON-SITE FORESTED AREA IS IN WETLANDS OR WETLAND BUFFER. THERE IS ONE FOREST STAND ON THE SITE. THIS STAND HAS A TULIP POPLAR FOREST ASSOCIATION FREQUENTLY FOUND IN FLOODPLAINS. THIS STAND HAS A HIGH DEGREE OF CANOPY CLOSURE AND IS IN GENERALLY GOOD CONDITION. EXOTIC SPECIES SUCH AS MULTIFLORA ROSE ARE PRESENT TO A SMALL EXTENT ALONG THE EDGE OF THE FLOODPLAIN ON THE PROJECT SITE. THIS STAND EXTENDS OFF SITE TO THE EAST AND NORTH.

SCHEDULE A PERIMETER LANDSCAPE EDGES

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES	LOADING DUMPSTER AREA
LANDSCAPE TYPE	E	A	D
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	573'	618'	50'
CREDIT FOR EXISTING VEGETATION	0	260	0
CREDIT FOR WALL, FENCE OR BERM	0	0	0
NUMBER OF PLANTS REQUIRED			
SHADE TREES	14	6	1
EVERGREEN TREES	143	6	5
SHRUBS			
NUMBER OF PLANTS PROVIDED			
SHADE TREES	11	6	1
EVERGREEN TREES	6*	3	
OTHER TREES (2:1 SUBSTITUTION)	143		
SHRUBS (10:1 SUBSTITUTION)			20**

* 6 ORNAMENTAL TREES ARE SUBSTITUTED FOR 3 SHADE TREES.
 ** 20 SHRUBS ARE SUBSTITUTED FOR 2 EVERGREEN TREES.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES:	124
NUMBER OF LANDSCAPE ISLANDS REQUIRED:	7
NUMBER OF LANDSCAPE ISLANDS PROVIDED:	7
NUMBER OF TREES PROVIDED - SHADE TREES	7

- NOTES:**
- FINANCIAL SURETY FOR REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$ 13,350.
 - FINANCIAL SURETY FOR 44 ACRES OF AFFORESTATION @ 0.30 CENTS PER SQ. FT. IN THE AMOUNT OF \$5,730 HAS BEEN MADE PART OF THE DEVELOPER'S AGREEMENT FOR THIS PLAN.
 - A FOREST CONSERVATION PLAT OF EASEMENT FOR THIS SITE HAS BEEN RECORDED IN THE LAND RECORDS OFFICE OF HOWARD COUNTY AS PLAT NUMBER 14192 ON 4-26-00.
 - THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF HOWARD COUNTY CODE, FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATIVE EASEMENT ARE ALLOWED.

STORMWATER MANAGEMENT AREA LANDSCAPING

LINEAR FEET OF PERIMETER	EDGES #2 & #3 = 278'	EDGE #4 = 580'	EDGE #6 = 120'
LANDSCAPE TYPE	B	B	B
NUMBER OF TREES REQUIRED			
SHADE TREES	6	0	3
EVERGREEN TREES	7	0	3
CREDIT FOR EXISTING VEGETATION (NO, YES AND %)	NO	YES 100%	NO
CREDIT FOR OTHER LANDSCAPING (NO, YES AND %)	NO	NO	NO
NUMBER OF TREES PROVIDED			
SHADE TREES	6	NONE	3
EVERGREEN TREES	7	NONE	3
OTHER TREES (2:1 SUBSTITUTION)			

* NOTE: EVERGREEN TREES ARE GROUPED TO PROVIDE MAXIMUM SCREENING FROM PUBLIC RIGHT OF WAY.

AFFORESTATION PLANT MATERIALS

QUAN	SIZE	PLANT NAME	REMARKS
44	1" CAL B & B	RED MAPLE ACER RUBRUM	PLANT IN RANDOM PATTERN WITH OTHER AFFORESTATION SPECIES +/- 15' ON CENTER
22	1" CAL B & B	RED OAK QUERCUS RUBRA	PLANT IN RANDOM PATTERN WITH OTHER AFFORESTATION SPECIES +/- 15' ON CENTER
22	1" CAL B & B	TULIP POPLAR LIRODENDRON TULIPIFERA	PLANT IN RANDOM PATTERN WITH OTHER AFFORESTATION SPECIES +/- 15' ON CENTER

GROUND PLAIN AFFORESTATION AREA TO BE HARDWOOD SHREDDED MULCH

TOTAL: 88 TREES PROPOSED IN FOREST CONSERVATION EASEMENT
 88 TREES REQUIRED (0.44 ACRES X 200 TREES PER ACRE)

PERMIT INFORMATION CHART

SUBDIVISION NAME	BLOCK NO.	ZONING	TAX MAP	ELECTION DIST.	CENSUS TRACT
BROOKSIDE CENTER	24	B-2	17	2nd	6026
PLAT NO.	SECTION/AREA	PARCEL #			
15212		PARCEL C-1, 156 & 263			
WATER CODE	SEWER CODE				
F01	1452900				

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief Development Engineering Division: *[Signature]* 4/15/00 DATE

Chief, Division of Land Development: *[Signature]* 4/20/00 DATE

Director: *[Signature]* 4/20/00 DATE

OWNER: BROOKSIDE LLP
 C/O NATIONWIDE MOTOR SALES
 2085 YORK ROAD
 TIMONIUM, MD 21093
 (410) 252-8000

DEVELOPMENT PLANS FOR:
 BROOKSIDE CENTER CAR SALES
 PARCEL C-1 (PLAT NO. 13219)
 AND PARCELS 156 & 263
 LIBER 3759, FOLIO 557
 2ND ELECTION DISTRICT, TAX MAP 17, GRID 24
 HOWARD COUNTY, MARYLAND

RBA
 ENGINEERS, ARCHITECTS & PLANNERS
 7164 Columbia Gateway Drive
 Suite 305, Columbia, Maryland 21046
 Phone (410) 318-0966, Fax 312-0897

REVISIONS

COUNTY COMMENTS 03/08/00

DATE: 11/15/99
 JOB NUMBER: M2618
 FILE NUMBER: 2618BASE
 PLOTTED: 03/09/00
 DRAWN BY: RJ

LANDSCAPE AND AFFORESTATION PLAN

SHEET L-1
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