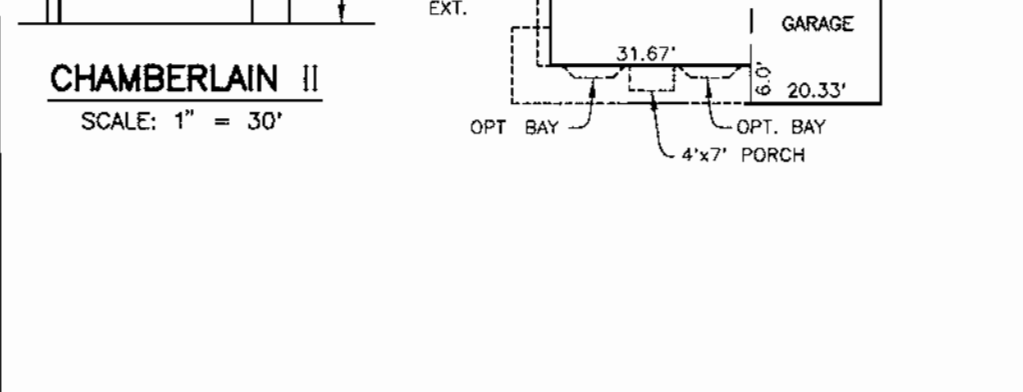
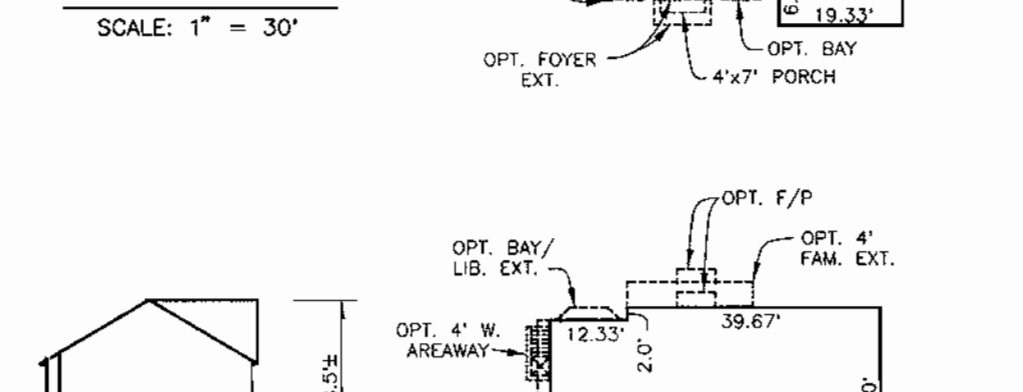
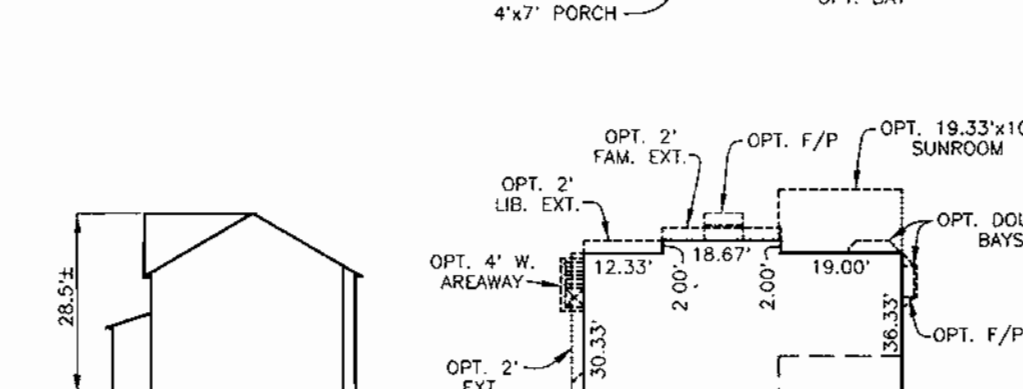
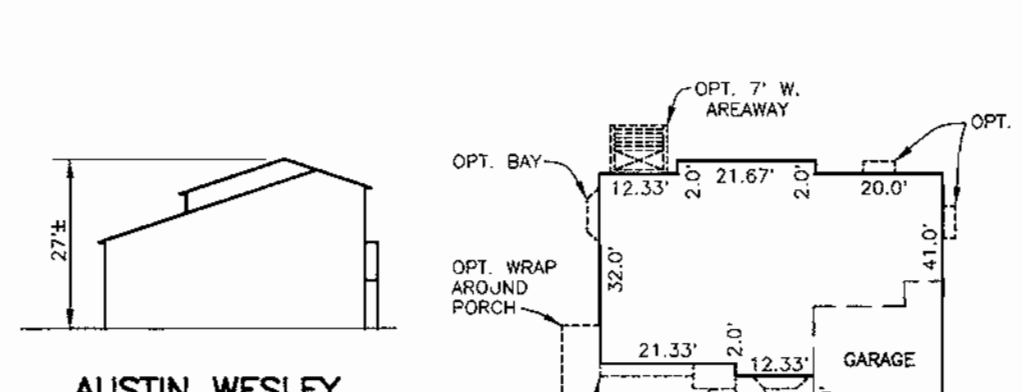
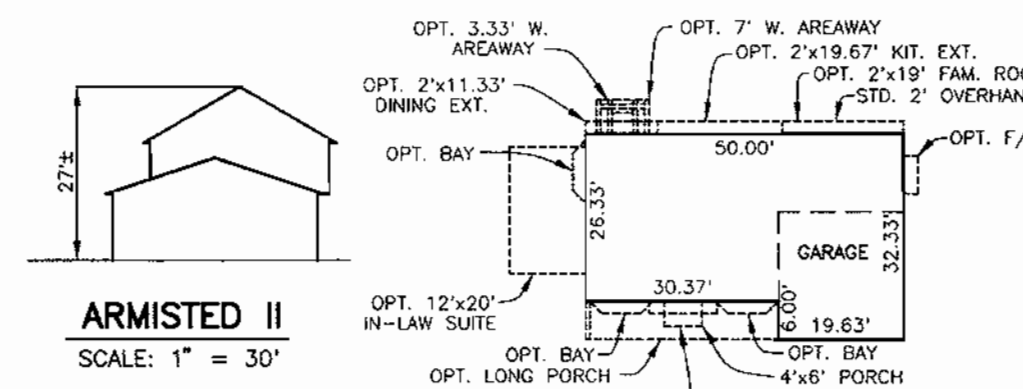
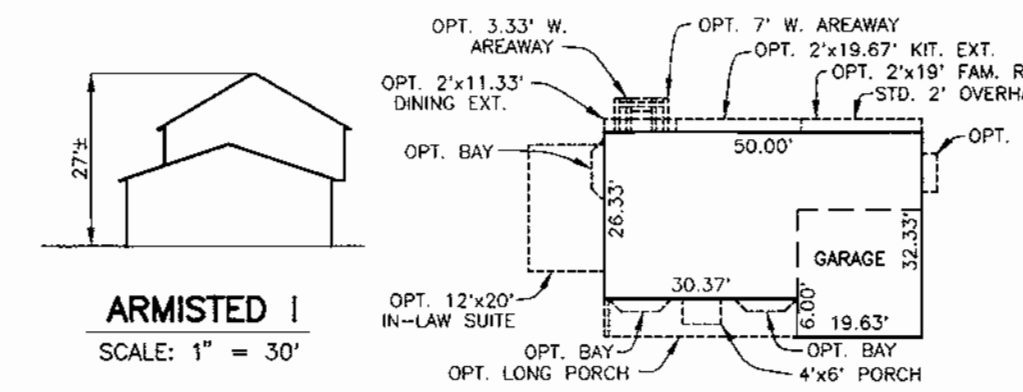
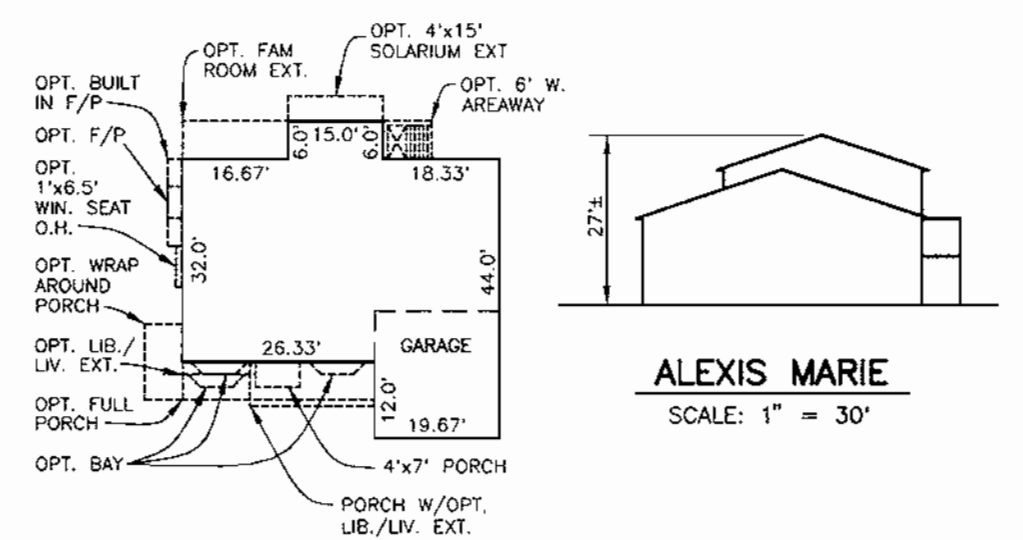


SHEET INDEX	
NO.	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN AND DETAILS
3	SEDMENT & EROSION CONTROL PLAN



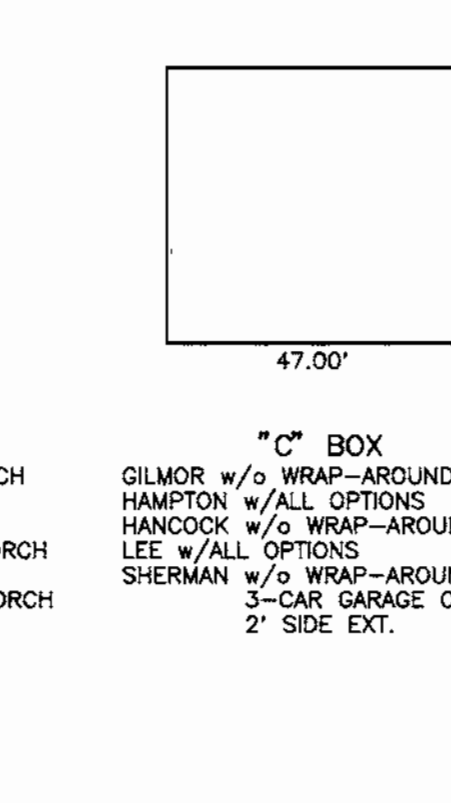
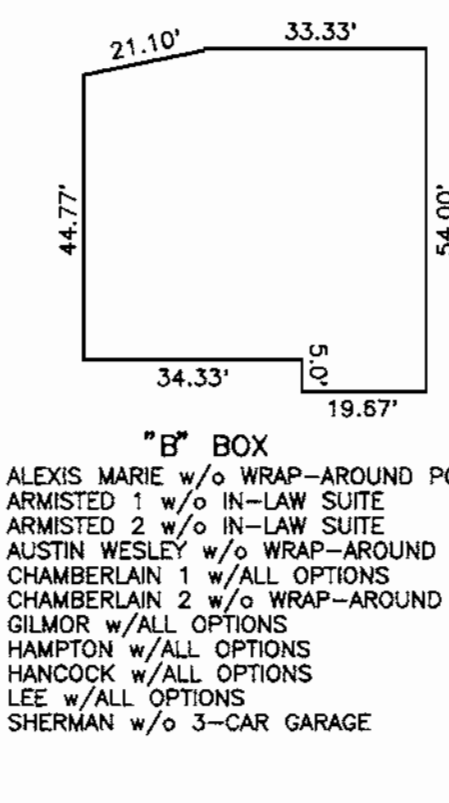
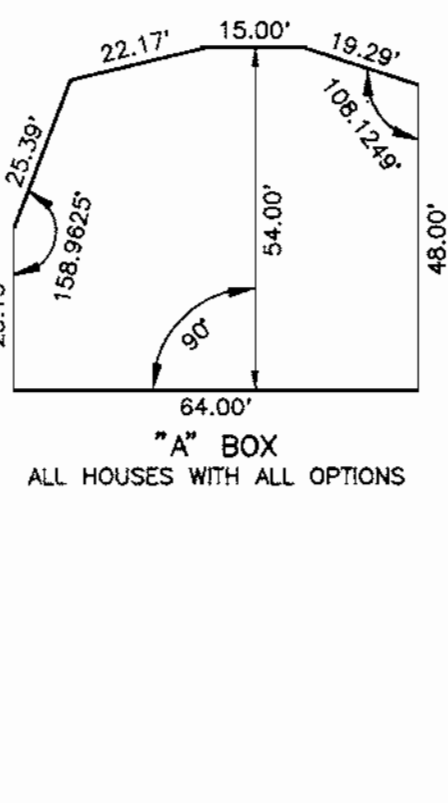
**SITE DATA TABULATION**

GENERAL SITE DATA

- PRESENT ZONING: R-12
- APPLICABLE DPZ FILE REFERENCES: SP-99-10, F-00-10
- PROPOSED USE OF SITE: SINGLE-FAMILY DETACHED
- PROPOSED WATER:  PUBLIC  
PROPOSED SEWER:  PUBLIC

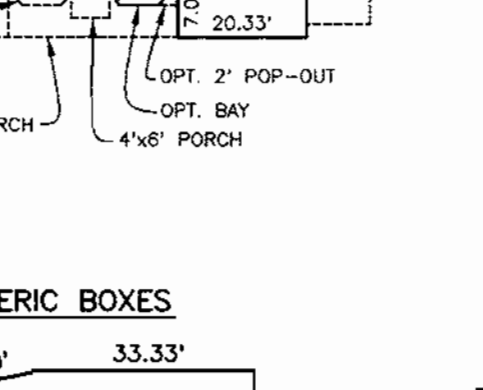
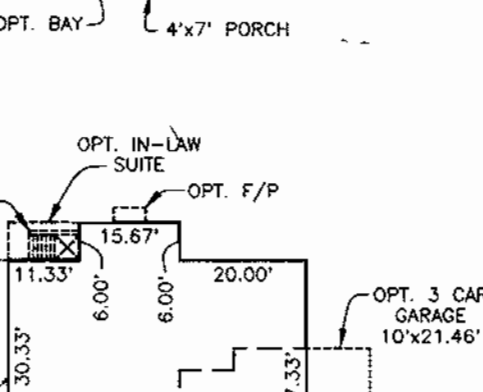
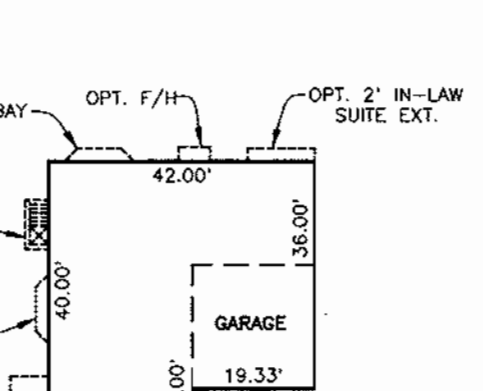
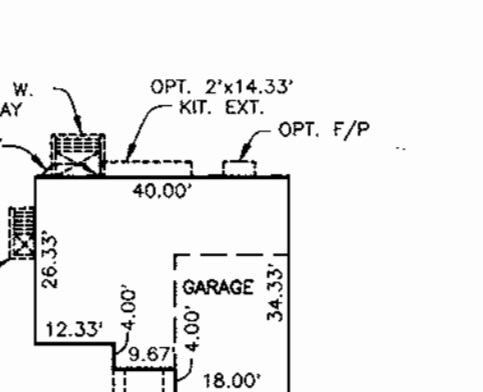
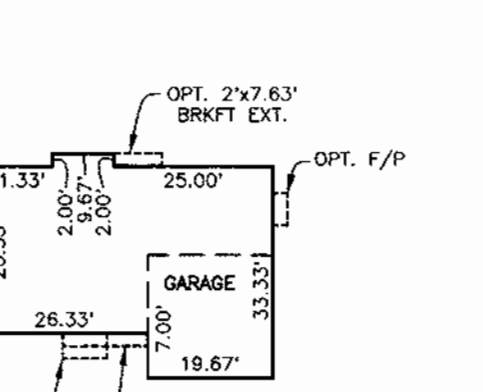
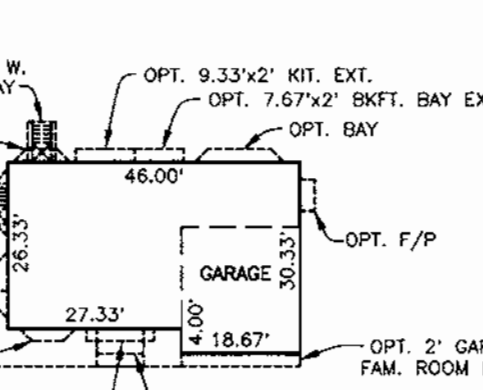
AREA TABULATION

- TOTAL PROJECT AREA: 3.05 AC.
- TOTAL NUMBER OF LOTS ALLOWED AS SHOWN ON FINAL PLAT: 8
- TOTAL NUMBER OF RESIDENTIAL UNITS PROPOSED ON THIS SUBMISSION: 7
- APPROXIMATE LIMIT OF DISTURBANCE: 2.20 AC.
- AREA OF THIS PLAN SUBMISSION: 2.20 AC.
- BUILDING COVERAGE OF SITE (PERMITTED): N/A (00%)
- BUILDING COVERAGE OF SITE (PROPOSED): N/A



**A HOUSE-TYPE REVISION (RESITE) IS REQUIRED WHEN THE FOLLOWING OCCURS:**

- A HOUSE TYPE IS ADDED OR DELETED.
- A DRIVEWAY LOCATION IS CHANGED FROM A FRONT-LOADED TO A SIDE-LOADED GARAGE.
- THE HOUSE IS "FLIPPED" SO THAT THE GARAGE AND DRIVEWAY ARE OPPOSITE TO THE APPROVED SDP.
- A CHANGE IN THE ELEVATION OF HOUSE 1 (ONE) FOOT ±.
- TO CHANGE THE GRADING FROM AN IN-GROUND BASEMENT TO A WALK-OUT BASEMENT.



**GENERIC BOXES**

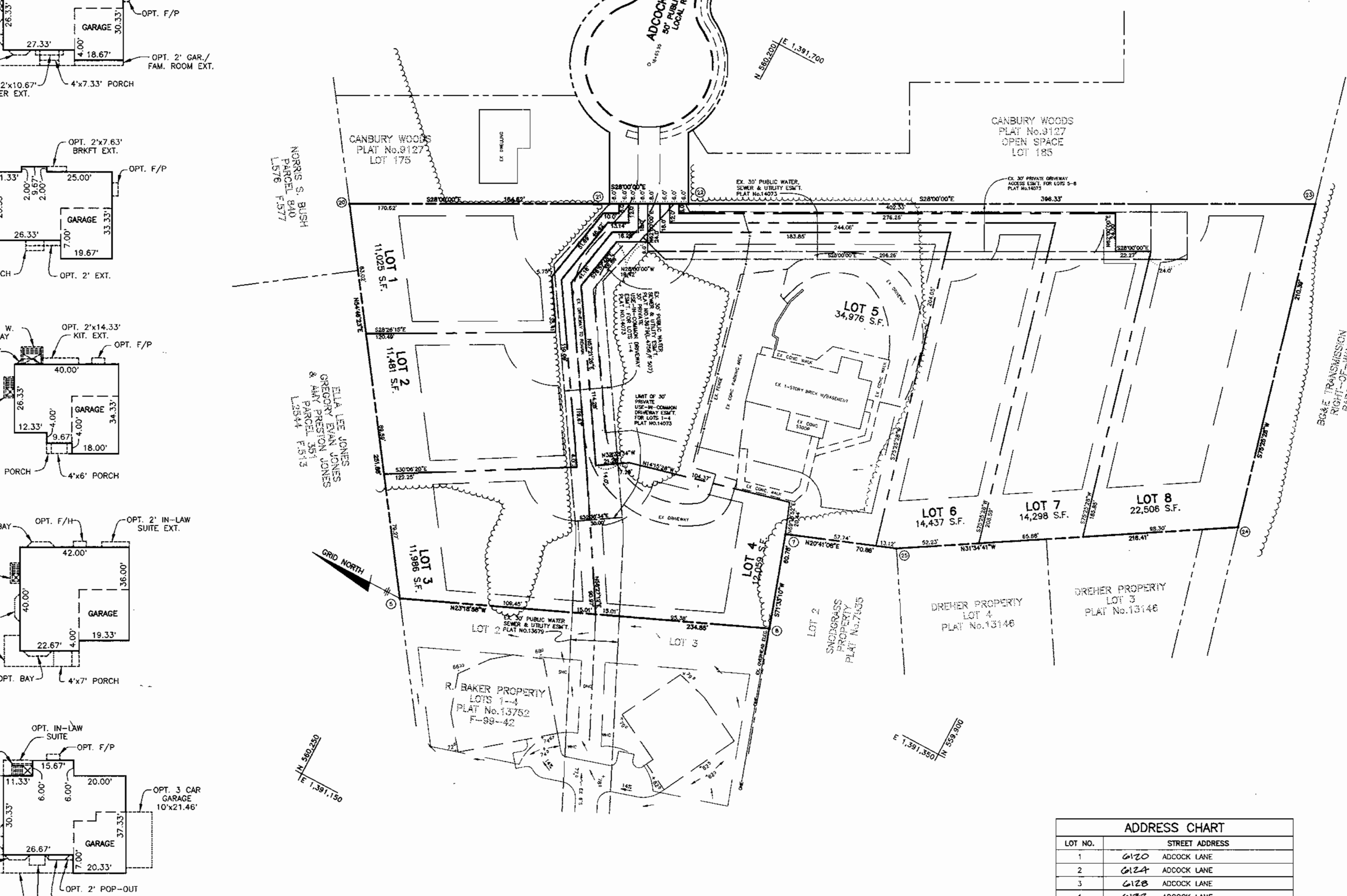
**"A" BOX**  
ALL HOUSES WITH ALL OPTIONS

**"B" BOX**  
ALEXIS MARIE w/o WRAP-AROUND PORCH  
ARMISTED 1 w/o IN-LAW SUITE  
ARMISTED 2 w/o IN-LAW SUITE  
AUSTIN WESLEY w/o WRAP-AROUND PORCH  
CHAMBERLAIN 1 w/o WRAP-AROUND PORCH  
GILMOR w/o WRAP-AROUND PORCH  
HAMPTON w/o WRAP-AROUND PORCH  
HANCOCK w/o WRAP-AROUND PORCH  
LEE w/o WRAP-AROUND PORCH  
SHERMAN w/o 3-CAR GARAGE

**"C" BOX**  
GILMOR w/o WRAP-AROUND PORCH  
HAMPTON w/o WRAP-AROUND PORCH  
HANCOCK w/o WRAP-AROUND PORCH  
LEE w/o WRAP-AROUND PORCH  
SHERMAN w/o WRAP-AROUND PORCH, 3-CAR GARAGE OR 2' SIDE EXT.

**MINIMUM LOT SIZE CHART**

LOT NO.	GROSS AREA	PIPESTEM AREA	MIN. LOT SIZE
1	11,025 S.F.	60 S.F.	10,965 S.F.
2	11,481 S.F.	623 S.F.	10,858 S.F.
3	11,986 S.F.	1,162 S.F.	10,834 S.F.
4	12,059 S.F.	1,154 S.F.	10,905 S.F.
6	14,437 S.F.	1,175 S.F.	13,262 S.F.
7	14,298 S.F.	1,500 S.F.	12,798 S.F.
8	22,506 S.F.	2,326 S.F.	20,180 S.F.



**ADDRESS CHART**

LOT NO.	STREET ADDRESS
1	6120 ADCKOCK LANE
2	6124 ADCKOCK LANE
3	6128 ADCKOCK LANE
4	6132 ADCKOCK LANE
6	6118 ADCKOCK LANE
7	6119 ADCKOCK LANE
8	6111 ADCKOCK LANE

**PERMIT INFORMATION CHART**

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL#			
R. BAKER PROPERTY II	N/A	LOTS 1-4 & 6-8			
PLAT No.	BLOCK No.	ZONE	TAX MAP	ELEC. DIST.	CENSUS
14073	9	R-12	38	1st	6012
WATER CODE	AO1	SEWER CODE	2090000		

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Carole Hamilton*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

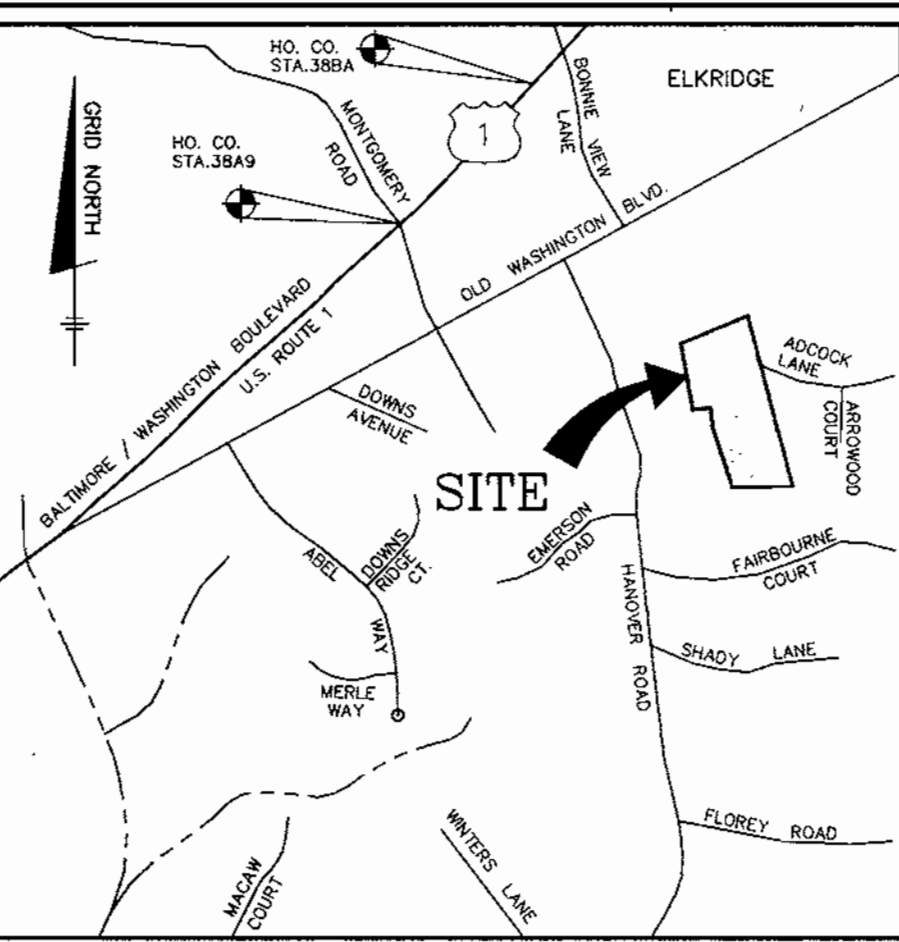
*James St. Scott*  
DIRECTOR

DATE: 1/14/00  
DATE: 1/28/00  
DATE: 1/31/00

**BENCHMARKS NAD'83**

HO. CO. STA. 38A9	E 1,223.46
N 561,056.338	E 1,389,634.180
HO. CO. STA. 38BA	E 1,166.97
N 562,553.304	E 1,390,967.889

\* SEE VICINITY MAP FOR LOCATIONS



**SEWER HOUSE CONNECTION TABLE**

LOT NO.	MINIMUM CELLAR ELEV.	INVERT ELEVATION	BASEMENT
1	147.33	143.41	
2	155.98	152.02	
3	158.64	154.68	
4	164.00	160.34(DHC)	
5	N/A	163.98	
6	178.37	175.47	
7	190.27	183.87	
8	198.75	192.30	

NOTE: CONTRACTOR SHALL CHECK SEWER HOUSE CONNECTION ELEVATION AT PROPERTY/EASEMENT LINE PRIOR TO CONSTRUCTION OF THE HOUSE TO ENSURE PROPER SLOPES CAN BE MAINTAINED.

**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE(5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTOURS SHOWN HEREON HAVE BEEN TAKEN FROM A FIELD-RUN TOPOGRAPHIC SURVEY PREPARED BY MILDENBURG, BOENDER & ASSOC., INC., IN JANUARY, 1998.
- COORDINATES SHOWN ARE BASED UPON HOWARD COUNTY NAD '83, CONTROL STATIONS NO.38A9 & NO.38BA
- WATER AND SEWER FOR THIS PROJECT IS PUBLIC, CONTRACT No. 14-3720-D & 14-3803-D. DRAINAGE AREA IS IN THE PATAPSCO WATERSHED.
- STORMWATER MANAGEMENT WAS PROVIDED UNDER F-86-115 CANBURY WOODS, SEC. 1, AREA 1.
- THERE ARE NO WETLANDS, WETLANDS BUFFERS, STREAMS, STREAM BUFFERS OR FLOODPLAIN ON-SITE.
- EXISTING UTILITIES SHOWN WERE LOCATED FROM RECORD DRAWINGS.
- THIS SUBDIVISION IS LOCATED IN THE METROPOLITAN DISTRICT.
- NO BURIAL GROUNDS OR CEMETARIES EXIST ON-SITE.
- FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT TO THE PIPESTEM LOT DRIVEWAY.
- THE MAINTENANCE AGREEMENT FOR THE USE-IN-COMMON DRIVEWAY FOR LOTS 1-4 IS RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY IN LIBER 432 L, AT FOLIO 0068. THE MAINTENANCE AGREEMENT FOR THE USE-IN-COMMON DRIVEWAY FOR LOTS 6-8 IS RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY IN LIBER 438 L, AT FOLIO 0064.
- SECTION 128 OF THE ZONING REGULATIONS ALLOWS PORCHES OR DECKS, OPEN OR ENCLOSED, TO PROJECT NOT MORE THAN 10' FEET INTO THE REQUIRED FRONT OR REAR YARD SETBACKS; BAY WINDOWS, BALCONIES, CHIMNEYS AND EXTERIOR STAIRWAYS, NOT MORE THAN 16' FEET IN WIDTH, MAY PROJECT NOT MORE THAN 4' FEET INTO ANY REQUIRED SETBACK.
- THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF WAY SHALL BE CORRECTED AT THE BUILDERS EXPENSE.
- BRL INDICATES BUILDING RESTRICTION LINE.
- FOR EASEMENT AND OTHER RELATED INFORMATION REFER TO PLAT No. 14073
- HOUSES/GARAGES WILL BE SITED ON LOTS SO THAT A CAR, IF PARKED IN THE DRIVEWAY, WILL NOT OVERHANG THE USE-IN-COMMON ACCESS DRIVEWAY.
- PREVIOUS HOWARD COUNTY FILE NUMBERS: SP-99-10, F-00-10
- FOREST CONSERVATION OBLIGATIONS FOR THIS SUBDIVISION, F-00-10, (69,260 S.F. OF REFORESTATION) HAVE BEEN MET BY A PAYMENT OF \$20,778.00 TO THE HOWARD COUNTY FOREST CONSERVATION FUND.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:  
A.) WIDTH - 12 FEET (14 FT. SERVING MORE THAN ONE RESIDENCE)  
B.) SURFACE - 6 INCHES COMPACTED CRUSHER RUN BASE W/TAR & CHIP COATING  
C.) GEOMETRY - 15% GRADE MAX.; 10% MAX. GRADE CHANGE; 45 FOOT MIN. TURNING RADIUS  
D.) STRUCTURES/BRIDGES/CULVERTS - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOAD)  
E.) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE  
F.) STRUCTURE CLEARANCE - MINIMUM 12 FEET  
G.) MAINTENANCE - SUFFICIENT TO ENSURE ALL-WEATHER USE

NO. DATE REVISION

**BENCHMARK ENGINEERING, INC.**  
ENGINEERS • LAND SURVEYORS • PLANNERS  
8480 BALTIMORE NATIONAL PIKE • SUITE 418 • ELLICOTT CITY, MARYLAND 21043  
PHONE: 410-465-6105 FAX: 410-465-6444

**STATE OF MARYLAND PROFESSIONAL ENGINEER**

**BUILDER:** DORSEY FAMILY HOMES  
9926 CYPRESSMEDE DRIVE  
ELLICOTT CITY, MD 21043  
PHONE: 410-465-7200

**OWNER:** ROBERT L. & JUDITH A. BAKER  
2445 HIDEAWAY LANE  
VALKARIA, FL 32950

**PROJECT:** R. BAKER PROPERTY, II  
LOTS 1-4 AND 6-8  
(SINGLE FAMILY DETACHED)

**LOCATION:** PLAT No. 14073  
TAX MAP: 38 - BLOCK: 9  
PARCEL: 188 - CENSUS TRACT: 6012  
1st ELECTION DISTRICT - HOWARD COUNTY, MARYLAND  
WATER CODE: A01 - SEWER CODE: 2090000

**TITLE:** COVER SHEET

DATE: SEPTEMBER, 1999 PROJECT NO. 1297  
JANUARY, 2000

Design: DAM/MCR Draft: MCR SCALE: AS SHOWN DRAWING 1 OF 3







**SEDIMENT CONTROL NOTES**

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS SEDIMENT CONTROL DIVISION (410-311-1800) PRIOR TO THE START OF ANY CONSTRUCTION.
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THE CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERE TO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1; B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHALL BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12 OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT STABILIZATION (SEC. 51) SOIL (SEC. 24), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATA IS NOT ALLOWED FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

**21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL**

Definition  
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose  
To provide a suitable medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, moderate toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies  
1. This practice is limited to areas having 2:1 or flatter slopes where:  
a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.  
b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.  
c. The original soil to be vegetated contains material toxic to plant growth.  
d. The soil is so acidic that treatment with limestone is not feasible. If, for the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications  
I. Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SSS in cooperation with Maryland Agricultural Experiment Station.  
II. Topsoil Specifications - Soil to be used as topsoil must meet the following:  
1. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand, or other soil as recommended by an agronomist or soil scientist and approved by the appropriate authority. Regardless, topsoil shall not be a mixture of contrasting textures and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, rock, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.  
2. Topsoil must be free of plants or plant parts such as Bermuda grass, quack grass, johnsongrass, nutgrass, poison ivy, thistle, or others as specified.  
III. For sites having disturbed areas under 5 acres:  
1. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.  
2. Organic content of topsoil shall be not less than 1.5 percent by weight.  
3. Topsoil having soluble salt content greater than 500 parts per million shall not be used.  
4. No soil or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control unless sufficient time has elapsed (14 days min.) to permit disposition of phytotoxic material.  
IV. For sites having disturbed areas over 5 acres:  
1. On soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:  
a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be credited to raise the pH to 6.5 or higher.  
b. Organic content of topsoil shall be not less than 1.5 percent by weight.  
c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.  
d. No soil or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control unless sufficient time has elapsed (14 days min.) to permit disposition of phytotoxic material.  
2. Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate authority, may be used in lieu of natural topsoil.  
3. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.  
V. Topsoil Application  
1. When topsoiling, maintain needed erosion and sediment control practices such as diversion, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.  
2. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.  
3. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that seeding or sodding can proceed with a minimum of additional preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.  
4. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation. (21-2)  
VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:  
1. Composted Sludge Material for use on a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribed amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:  
a. Composted sludge shall be supplied by, or originate from, a person or person that are permitted (at the time of collection of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.  
b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.  
c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.  
2. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

**TEMPORARY SEEDING PREPARATION**  
APPLY TO GRADED OR CLEAR AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER AND EROSION CONTROL IS REQUIRED.

SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT).

SEEDING: FOR PERIOD MARCH 1 THROUGH APRIL 30 AND FROM AUGUST 15 THROUGH NOVEMBER 15, SEED WITH 2-1/2 BUSHELS PER ACRE OF ANNUAL RYE (2 LBS/1000 SQ FT) FOR THE PERIOD MAY 1 THROUGH AUGUST 14, SEED WITH 3 LBS PER ACRE OF WHEAT (2 BUSHELS PER ACRE) (2 LBS/1000 SQ FT). FOR THE PERIOD NOVEMBER 15 THROUGH FEBRUARY 28, PROJECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING OR USE 500

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNPULVED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING ANCHOR MULCH IMMEDIATELY AFTER SEEDING. MULCHING SHALL BE DONE WITH A MULCHER OR 218 GALLONS PER ACRE (5 GALLONS/50 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS ON SLOPES 6 FEET OR HIGHER, USE 348 GALLONS PER ACRE (6.9 GALLONS/50 SQ FT) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

**PERMANENT SEEDING PREPARATION**  
SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ON OF THE FOLLOWING SCHEDULES:  
1. PREFERRED - APPLY 2 TONS PER ACRE DOMOLITE LIMESTONE (92 LBS/1000 SQ FT) AND 100 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY AND DISC 100 LBS PER ACRE 20-0-0 UREAFORM FERTILIZER (9 LBS/1000 SQ FT).  
2. ACCEPTABLE - APPLY 2 TONS PER ACRE DOMOLITE LIMESTONE (92 LBS/1000 SQ FT) AND 100 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIOD MARCH 1 THROUGH APRIL 30 AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 80 LBS PER ACRE (1.4 LBS/1000 SQ FT) OF KENTUCKY 93 TALL FESCUE PER ACRE AND 4 LBS PER ACRE (0.05 LBS/1000 SQ FT) OF WHEAT OVERLASS. DURING THE PERIOD OF OCTOBER 16 THROUGH FEBRUARY 28, PROJECT SITE BY APPLYING 1.3 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE 500 OPTION (3) SEED WITH 80 LBS PER ACRE OF KENTUCKY 93 TALL FESCUE AND MULCH WITH 2 TONS PER ACRE OF WELL ANCHORED STRAW.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNPULVED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL, OR 218 GALLONS PER ACRE (5 GALLONS/50 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS ON SLOPES 6 FEET OR HIGHER, USE 348 GALLONS PER ACRE (6.9 GALLONS/50 SQ FT) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

**SEQUENCE OF CONSTRUCTION**

- OBTAIN GRADING PERMIT.
- INSTALL SEDIMENT CONTROL DEVICES THAT ARE NOTED TO BE INSTALLED UNDER THIS SEEDING PERMITS FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR BEFORE PROCEEDING WITH CONSTRUCTION ACTIVITIES.
- EXCAVATE FOR FOUNDATIONS, SLOUGH GRASSES AND STABILIZE IN ACCORDANCE WITH TEMPORARY SEEDING NOTES.
- CONSTRUCT HOUSES, BACKFILL AND CONSTRUCT DRIVEWAYS.
- FINAL GRADE AND STABILIZE IN ACCORDANCE WITH PERMANENT SEEDING NOTES.
- WITH THE APPROVAL OF THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE ANY REMAINING DISTURBED AREAS.

\* - INDICATES SIMULATED LOT HOUSE CONSTRUCTION

NOTE: 1) SEDIMENT CONTROL LOCATION AND IMPLEMENTATION AS SHOWN ON THESE PLANS IS SUBJECT TO REVIEW IN THE FIELD AT THE DISCRETION OF THE SEDIMENT CONTROL INSPECTOR.  
2) EROSION CONTROL MATTING SHALL BE PLACED IN STRIPES UNTIL VEGETATION IS ESTABLISHED OR SOLO SOIL SHOULD BE USED.

**DETAIL 30 - EROSION CONTROL MATTING**

CONSTRUCTION SPECIFICATIONS

- WITHIN THE MATTING BE PLACED AT THE TOP EDGE OF A BARRISON TRINCH, 4" IN DEPTH, BACKFILL THE TRINCH AND TAMP FIRM TO COMPACT THE CHANNEL CROSS SECTION. SEEDING SHALL BE PLACED ABOUT 4" DOWN SLOPE FROM THE TRINCH. SPACING BETWEEN STRIPES IS 4'.
- STRIPES SHALL BE PLACED 2' APART WITH A 400% FOR EACH STRIP. 3' OVERLAP BETWEEN STRIPES.
- STRIPES SHALL BE PLACED 2' APART WITH A 400% FOR EACH STRIP. 3' OVERLAP BETWEEN STRIPES.
- WHERE ONE ROLL OF MATTING ENDS AND ANOTHER BEGINS, THE END OF THE TOP STRIP SHALL OVERLAP THE OTHER END BY 2". SUPERFICIAL FILLER BEHIND THE OVERLAP WITH A DOUBLE ROW OF STRIPES BRACK 4' APART AT A 4:1 SLOPE.
- STAGGERED PATTERN ON OTHER SIDE.
- THE OVERLAP END OF THE MATTING ROLL SHOULD BE SIMILARLY SECURED WITH 2" DOUBLE ROWS OF STRIPES.

NOTE: IF FLOW WILL ENTER FROM THE EDGE OF THE MATTING THEN THE AREA CRESTED BY THE FLOW MUST BE RESEED.

**DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE**

CONSTRUCTION SPECIFICATIONS

- Length - minimum of 50' (40' for single residential lots)
- Width - 10' minimum, should be fitted at the existing road to provide a turning radius
- Construction fabric (Erosion cloth) shall be placed over the existing ground prior to placing stone - 1/2 inch nominal size, may not require single layer unless otherwise specified.
- Stone - crushed aggregate (2" to 2 1/2") or retained concrete aggregate shall be placed 6" to 8" deep over the length and width of the entrance.
- Surface water - all surface water flowing to or diverted toward construction entrances shall be placed through the entrance, leaving drainage. Place burlap through the stabilized construction entrance that is protected with a mulched base with 5:1 slope or a minimum of 4' of stone over the top. The top to be placed against the drainage, when the soil is 6" to 12" high and has no erosion - the erosion fabric will be covered. A 4" minimum will be required according to the amount of soil to be covered. A 4" minimum will be required.
- Location - a stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicle turning the site must travel through the entrance which is of the stabilized construction entrance.

**DETAIL 33 - SUPER SILT FENCE**

CONSTRUCTION SPECIFICATIONS

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Database for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6" height posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and traps rods, drive anchors and post caps are not required except on the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 6" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt buildings removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples of top and mid section and shall meet the following requirements for Geotextile Class 1:

Tensile Strength 50 lbs/ft (min.) Test: MSMT 509  
Tensile Modulus 20 lbs/ft (min.) Test: MSMT 509  
Flow Rate 0.3 gal/ft/min (max.) Test: MSMT 512  
Filtering Efficiency 75% (min.) Test: MSMT 512

**SUPER SILT FENCE DESIGN CRITERIA**

Slope	Slope Steadiness	Slope Length (Maximum)	Silt Fence Length (Maximum)
0 - 10%	0 - 10:1	Unlimited	Unlimited
10 - 20%	10:1 - 5:1	200 feet	1,500 feet
20 - 33%	5:1 - 3:1	100 feet	1,000 feet
33 - 50%	3:1 - 2:1	100 feet	500 feet
50% +	2:1 +	50 feet	250 feet

**DETAIL 1 - EARTH DIKE**

CROSS SECTION

2:1 SLOPE ON FLATTER

2:1 SLOPE ON FLATTER

EXCAVATE TO PROVIDE REQUIRED FLOW WIDTH AT DESIGN FLOW DEPTH

PLAN VIEW

FLOW CHANNEL STABILIZATION

GRADE 0.5% MIN. 10% MAX.

1. Seed and cover with straw mulch.

2. Seed and cover with Erosion Control Matting or line with sod.

3. 4" - 7" stone or recycled concrete equivalent pressed into the soil 7" minimum.

CONSTRUCTION SPECIFICATIONS

- All temporary earth dikes shall have undisturbed positive grade to an outlet.
- Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
- Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area of a non-erosive velocity.
- All trees, brush, stumps, obstructions, and other objectional material shall be removed and disposed of so as not to interfere with the proper functioning of the dike.
- The dike shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and to be free of bank projections or other irregularities which will impede normal flow.
- Fill shall be compacted by earth moving equipment.
- All earth removed and pad needed for construction shall be placed so that it will not interfere with the functioning of the dike.
- Inspection and maintenance must be provided periodically and after each rain event.

**DETAIL 33 - SUPER SILT FENCE**

CONSTRUCTION SPECIFICATIONS

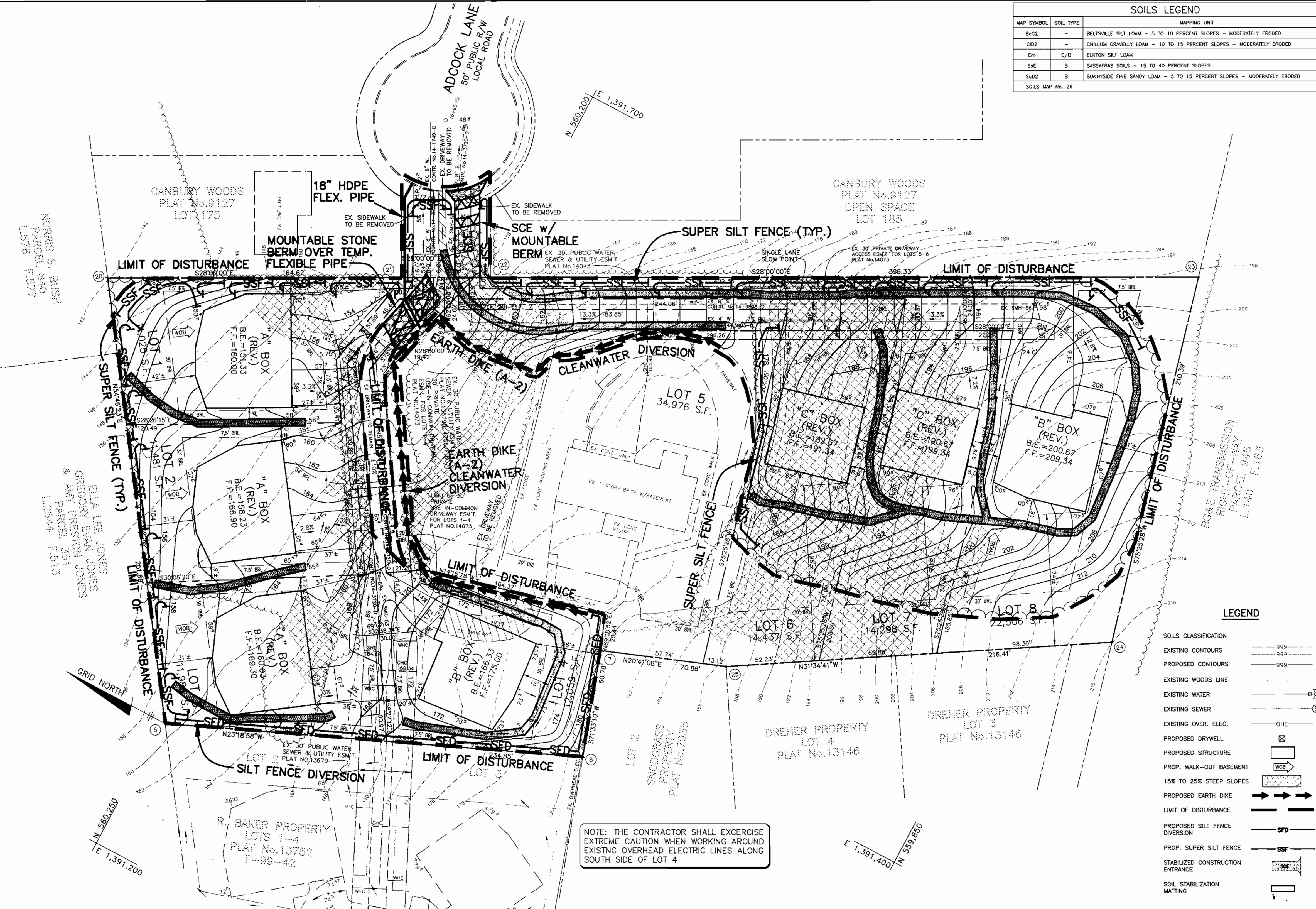
- Length - minimum of 50' (40' for single residential lots)
- Width - 10' minimum, should be fitted at the existing road to provide a turning radius
- Construction fabric (Erosion cloth) shall be placed over the existing ground prior to placing stone - 1/2 inch nominal size, may not require single layer unless otherwise specified.
- Stone - crushed aggregate (2" to 2 1/2") or retained concrete aggregate shall be placed 6" to 8" deep over the length and width of the entrance.
- Surface water - all surface water flowing to or diverted toward construction entrances shall be placed through the entrance, leaving drainage. Place burlap through the stabilized construction entrance that is protected with a mulched base with 5:1 slope or a minimum of 4' of stone over the top. The top to be placed against the drainage, when the soil is 6" to 12" high and has no erosion - the erosion fabric will be covered. A 4" minimum will be required according to the amount of soil to be covered. A 4" minimum will be required.
- Location - a stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicle turning the site must travel through the entrance which is of the stabilized construction entrance.

**SEQUENCE OF CONSTRUCTION**

- OBTAIN GRADING PERMIT.
- INSTALL SEDIMENT CONTROL DEVICES THAT ARE NOTED TO BE INSTALLED UNDER THIS SEEDING PERMITS FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR BEFORE PROCEEDING WITH CONSTRUCTION ACTIVITIES.
- EXCAVATE FOR FOUNDATIONS, SLOUGH GRASSES AND STABILIZE IN ACCORDANCE WITH TEMPORARY SEEDING NOTES.
- CONSTRUCT HOUSES, BACKFILL AND CONSTRUCT DRIVEWAYS.
- FINAL GRADE AND STABILIZE IN ACCORDANCE WITH PERMANENT SEEDING NOTES.
- WITH THE APPROVAL OF THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE ANY REMAINING DISTURBED AREAS.

\* - INDICATES SIMULATED LOT HOUSE CONSTRUCTION

NOTE: 1) SEDIMENT CONTROL LOCATION AND IMPLEMENTATION AS SHOWN ON THESE PLANS IS SUBJECT TO REVIEW IN THE FIELD AT THE DISCRETION OF THE SEDIMENT CONTROL INSPECTOR.  
2) EROSION CONTROL MATTING SHALL BE PLACED IN STRIPES UNTIL VEGETATION IS ESTABLISHED OR SOLO SOIL SHOULD BE USED.



**SOILS LEGEND**

MAP SYMBOL	SOIL TYPE	MAPPING UNIT
Bec2	-	BELTSVILLE SILT LOAM - 5 TO 10 PERCENT SLOPES - MODERATELY ERODED
ClO2	-	CHILLUM GRAY SILT LOAM - 10 TO 15 PERCENT SLOPES - MODERATELY ERODED
Em	C/D	ELKTON CLAY LOAM
S4E	B	SASSAFRAS SOILS - 15 TO 40 PERCENT SLOPES
SuO2	B	SUNNYSIDE FINE SANDY LOAM - 5 TO 15 PERCENT SLOPES - MODERATELY ERODED

SOILS MAP No. 26

**LEGEND**

SOILS CLASSIFICATION

EXISTING CONTOURS

PROPOSED CONTOURS

EXISTING WOODS LINE

EXISTING WATER

EXISTING SEWER

EXISTING OVER. ELEC.

PROPOSED DRYWELL

PROPOSED STRUCTURE

PROP. WALK-OUT BASEMENT

15% TO 25% STEEP SLOPES

PROPOSED EARTH DIKE

LIMIT OF DISTURBANCE

PROPOSED SILT FENCE DIVERSION

PROP. SUPER SILT FENCE

STABILIZED CONSTRUCTION ENTRANCE

SOIL STABILIZATION MATTING

**BENCHMARK ENGINEERING, INC.**

8480 BALTIMORE NATIONAL PIKE • SUITE 418 • ELLICOTT CITY, MARYLAND 21043  
PHONE: 410-465-8105 FAX: 410-465-8644

**BY THE DEVELOPER:**  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY CONSERVATION DISTRICT.

**DEVELOPER:** Robert L. Dorsey, Jr. DATE: 1/3/00

**BY THE ENGINEER:**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

**ENGINEER:** Donald Mason DATE: 1/14/00

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

**APPROVED:** Howard County Department of Planning and Zoning DATE: 1/14/00

**CHIEF, DEVELOPMENT ENGINEERING DIVISION:** Cynthia Hamilton DATE: 1/28/00

**CHIEF, DIVISION OF LAND DEVELOPMENT:** [Signature] DATE: 1/31/00

**DIRECTOR:** [Signature] DATE: 1/31/00

**NO.** \_\_\_\_\_ **DATE** \_\_\_\_\_ **REVISION** \_\_\_\_\_

**BUILDER:** DORSEY FAMILY HOMES  
9926 CYPRESSMEDE DRIVE  
ELLICOTT CITY, MD 21043  
PHONE: 410-465-7200

**OWNER:** ROBERT L. & JUDITH A. BAKER  
2445 HIDEAWAY LANE  
VALKARIA, FL 32950

**PROJECT:** R. BAKER PROPERTY, II  
LOTS 1-4 AND 6-8  
(SINGLE FAMILY DETACHED)

**LOCATION:** PARCEL 158 - LOT 158 - BLOCK: 9  
1ST ELECTION DISTRICT - HOWARD COUNTY, MARYLAND  
WATER CODE: A01 - SEWER CODE: 208000

**TITLE:** SEDIMENT AND EROSION CONTROL PLAN

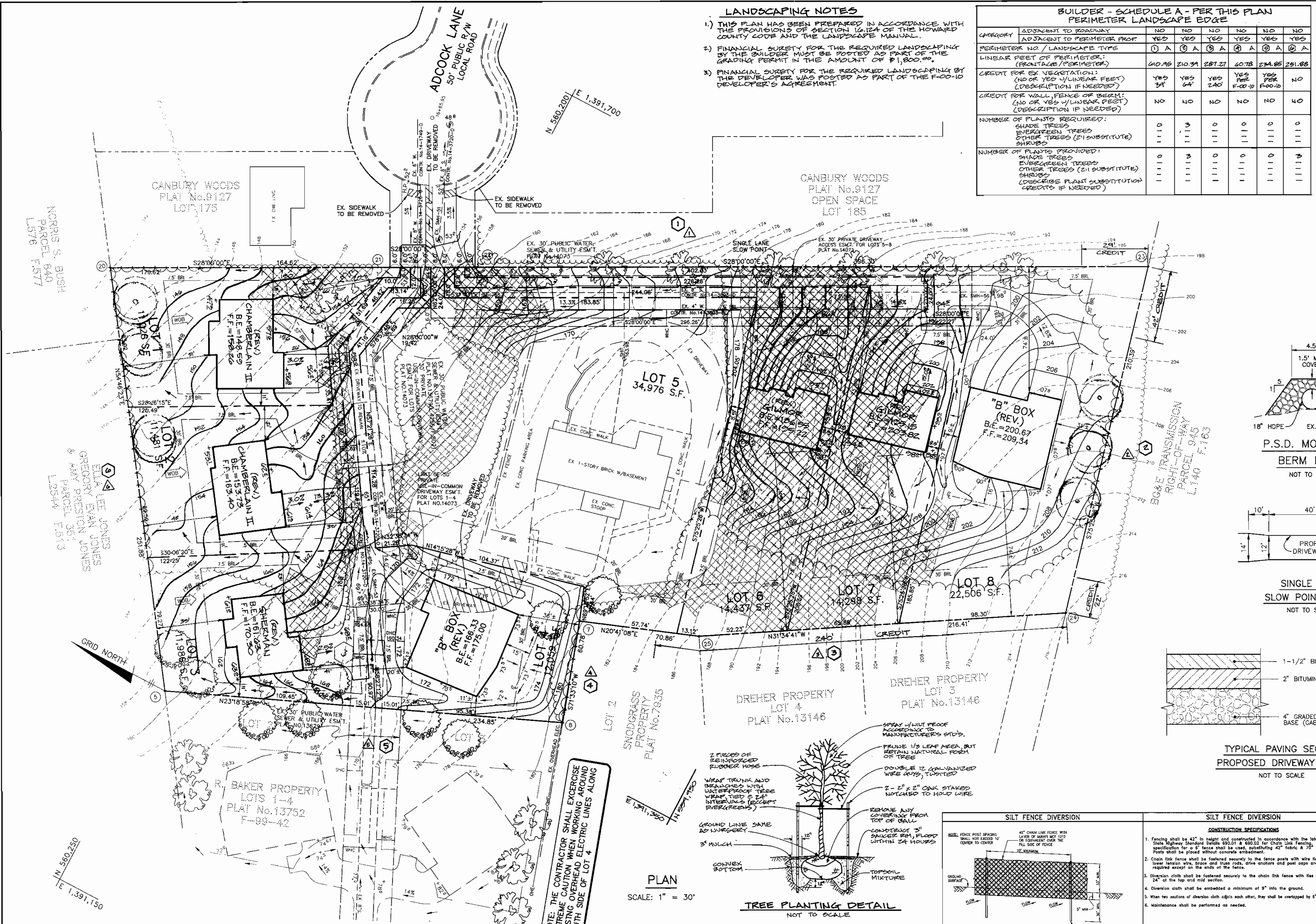
**DATE:** SEPTEMBER, 1999 PROJECT NO. 1297  
JANUARY, 2000

**SCALE:** AS SHOWN **DRAWING** 3 OF 3

Design: DAM/MCR Draft: MCR

SDP-00-41



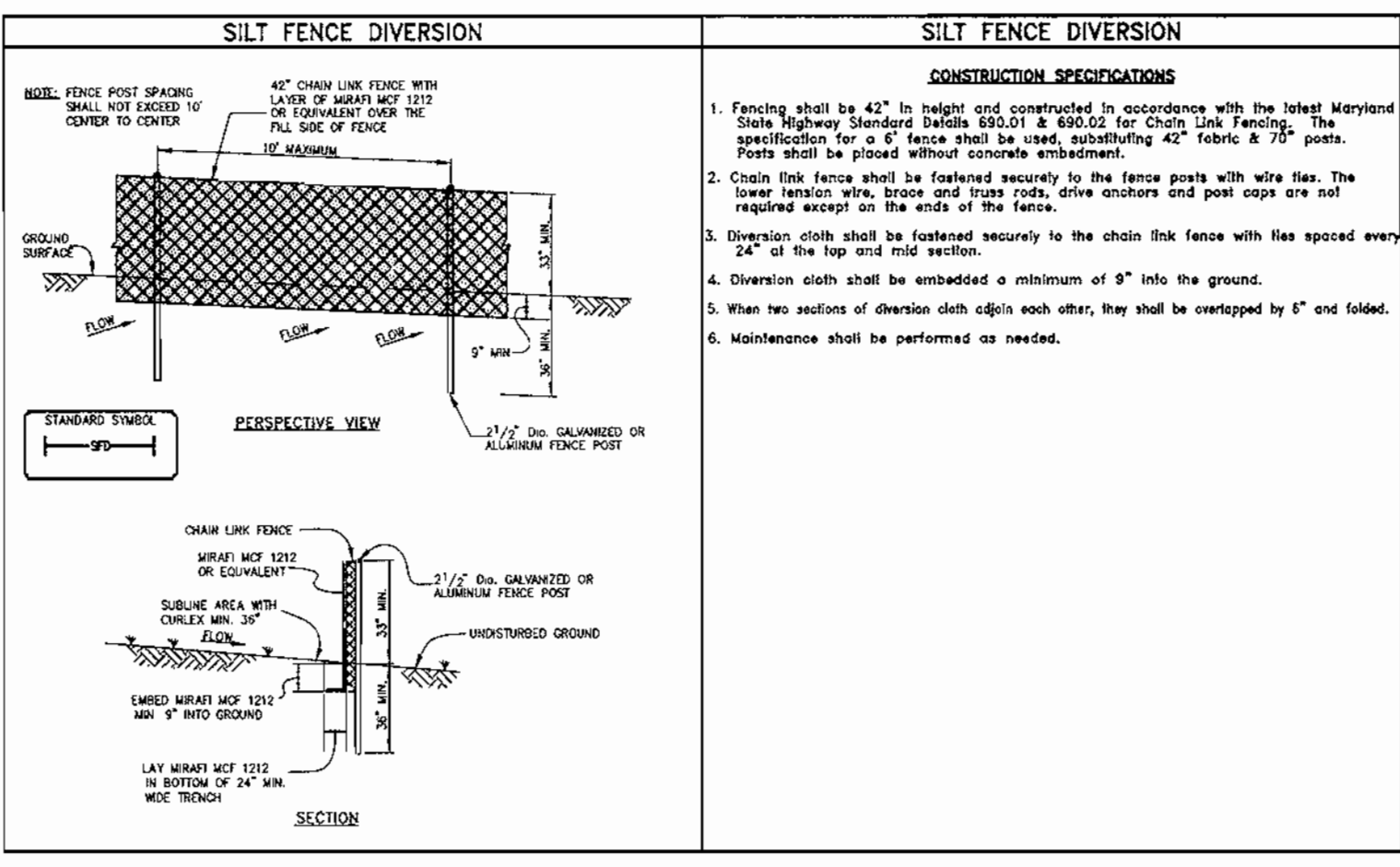
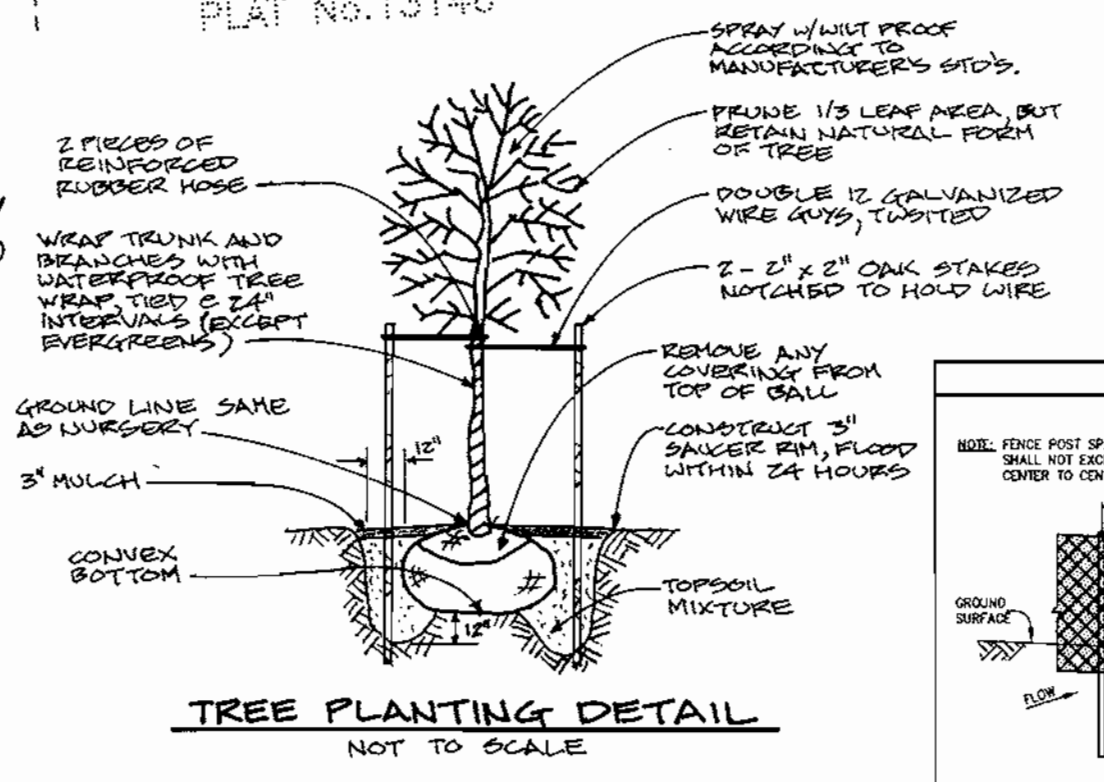
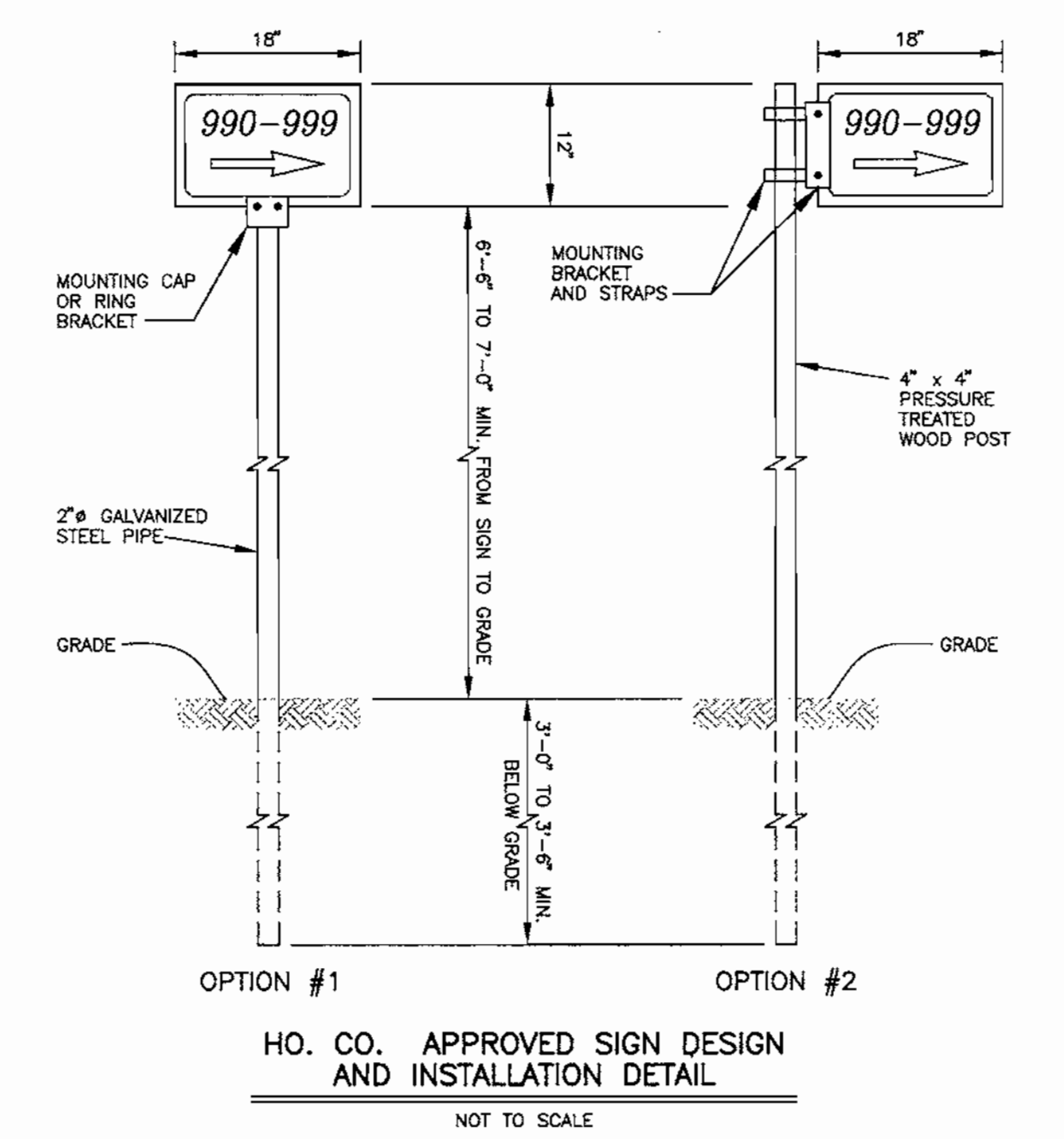
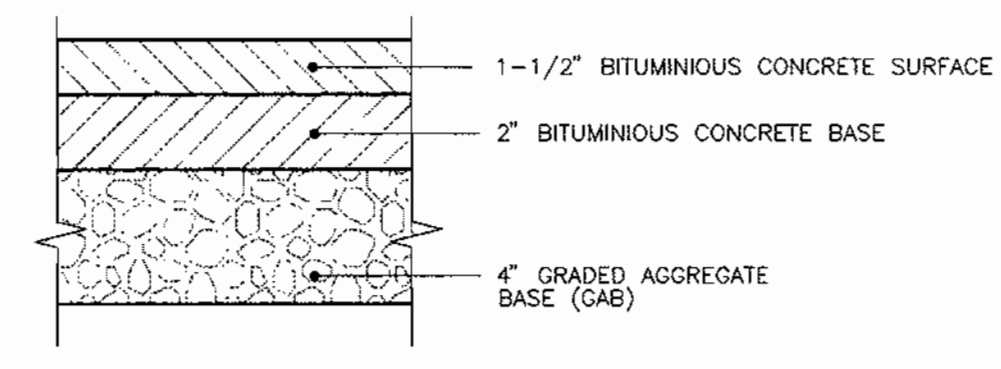
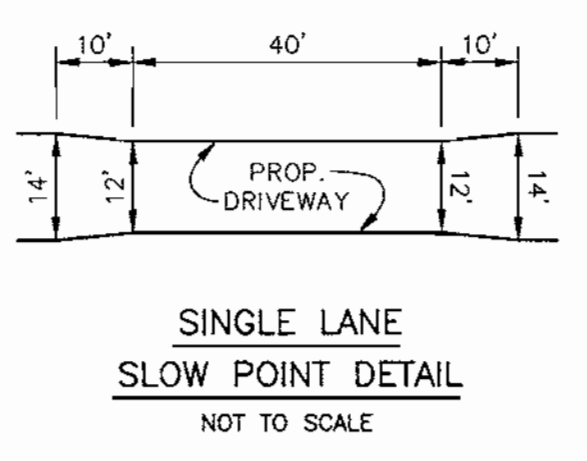
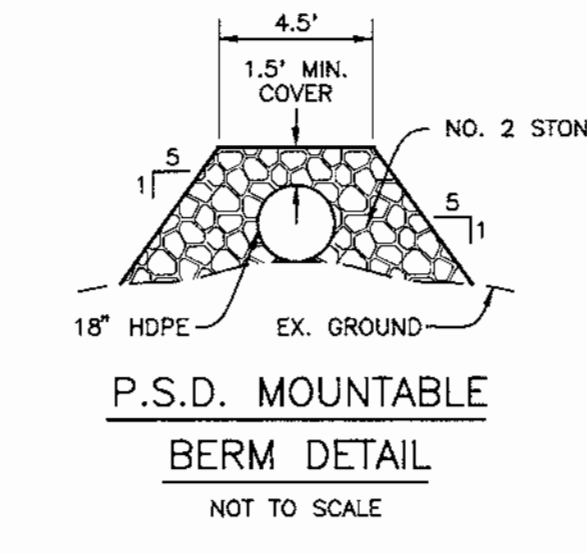
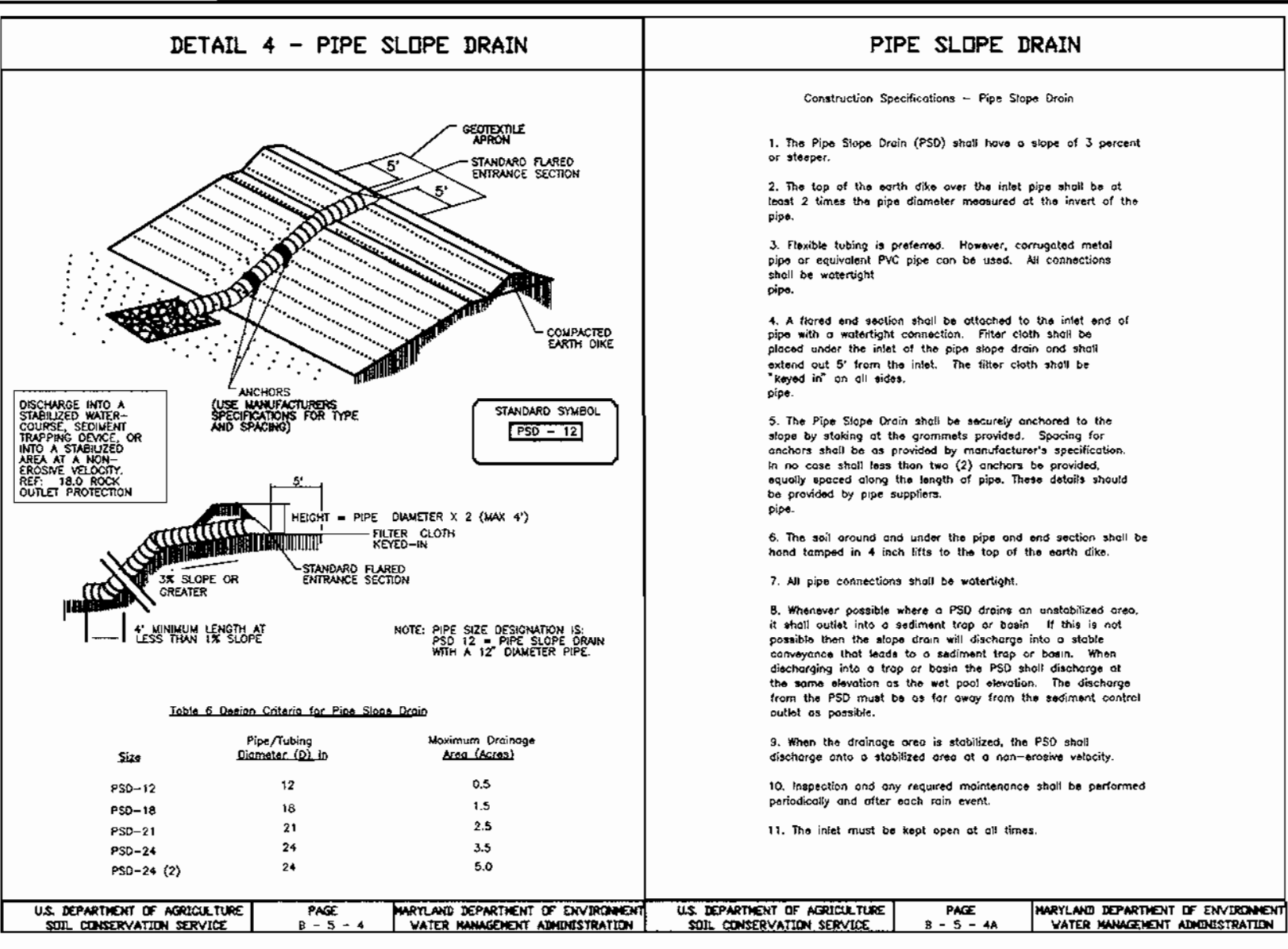


**LANDSCAPING NOTES**

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.04 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING BY THE BUILDER MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$1,800.00.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING BY THE DEVELOPER MUST BE POSTED AS PART OF THE FLOOD DEVELOPER'S AGREEMENT.

**BUILDER - SCHEDULE A - PER THIS PLAN PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAY	ADJACENT TO PERIMETER PROP.	NO	NO	NO	NO	NO	NO
PERIMETER NO. / LANDSCAPE TYPE	1	2	3	4	5	6	7	8
LINEAR FEET OF PERIMETER (FRONTAGE/PERIMETER)	610.95	210.39	287.27	60.78	234.85	251.88		
CREDIT FOR EX. VEGETATION (NO OR YES W/LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	YES 3'	YES 6'	YES 2'	YES PER F-00-10	YES PER F-00-10	NO		
CREDIT FOR WALL, FENCE OR BERM (NO OR YES W/LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO		
NUMBER OF PLANTS REQUIRED:								
SHADE TREES	1	1	1	1	1	1		
EVERGREEN TREES	1	1	1	1	1	1		
OTHER TREES (2:1 SUBSTITUTE)	1	1	1	1	1	1		
SHRUBS	1	1	1	1	1	1		
NUMBER OF PLANTS PROVIDED:								
SHADE TREES	1	1	1	1	1	1		
EVERGREEN TREES	1	1	1	1	1	1		
OTHER TREES (2:1 SUBSTITUTE)	1	1	1	1	1	1		
SHRUBS (1:1 SUBSTITUTE)	1	1	1	1	1	1		
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)								



**DEVELOPER - SCHEDULE A - PER F-00-10 PERIMETER LANDSCAPE EDGE**

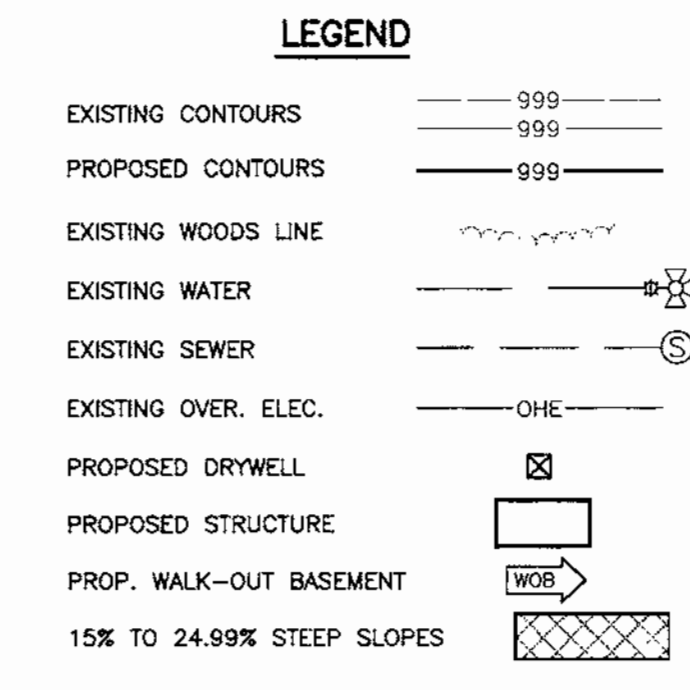
CATEGORY	ADJACENT TO ROADWAY	ADJACENT TO PERIMETER PROPERTIES	NO	NO	NO	NO	NO	NO
PERIMETER NO. / LANDSCAPE TYPE	1	2	3	4	5	6	7	8
LINEAR FEET OF PERIMETER (FRONTAGE/PERIMETER)	610.95	210.39	287.27	60.78	234.85	251.88		
CREDIT FOR EXISTING VEGETATION (NO OR YES W/LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	YES	YES	YES	YES	YES	YES		
CREDIT FOR WALL, FENCE OR BERM (NO OR YES W/LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO		
NUMBER OF PLANTS REQUIRED:								
SHADE TREES	9	1	1	1	1	1		
EVERGREEN TREES	1	1	1	1	1	1		
OTHER TREES (2:1 SUBSTITUTE)	1	1	1	1	1	1		
SHRUBS (1:1 SUBSTITUTE)	1	1	1	1	1	1		
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)								

**DEVELOPER - PLANTING LIST - PER F-00-10**

SYMBOL	QUANTITY	NAME	REMARKS
⊗	11	ACER RUBRUM "RED SUNSET" OR EQUIVALENT	2 1/2" - 3" CAL.
⊙	5	TILIA CORDATA "GREENSPRINT" OR EQUIVALENT	2 1/2" - 3" CAL.

**BUILDER - PLANTING LIST - PER THIS PLAN**

SYMBOL	QUANTITY	NAME	REMARKS
⊗	6	ACER RUBRUM "RED SUNSET" OR EQUIVALENT	2 1/2" - 3" CAL.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION

CHIEF, DIVISION OF LAND DEVELOPMENT

DATE: 1/20/00

1 6-23-00 REV. HSE # GRD. LOTS 1-3, 6 & 7 TO REFLECT AS-BUILT CONDITIONS

**BENCHMARK ENGINEERING, INC.**

8480 BALTIMORE NATIONAL PIKE • SUITE 418 • ELLICOTT CITY, MARYLAND 21043  
PHONE: 410-465-6105 FAX: 410-465-6844

**BUILDER:** DORSEY FAMILY HOMES 9926 CYPRESSMEDE DRIVE ELLICOTT CITY, MD 21043 PHONE: 410-465-7200

**OWNER:** ROBERT L. & JUDITH A. BAKER 2445 HIDEAWAY LANE VALKARIA, FL 32950

**PROJECT:** R. BAKER PROPERTY, II LOTS 1-4 AND 6-8 (SINGLE FAMILY DETACHED)

**LOCATION:** PLAT No. 14073 TAX MAP: 35 - BLOCK: 9 PARCEL: 188 - CENSUS TRACT: 6012 1st ELECTION DISTRICT - HOWARD COUNTY, MARYLAND WATER CODE: A01 - SEWER CODE: 2090000

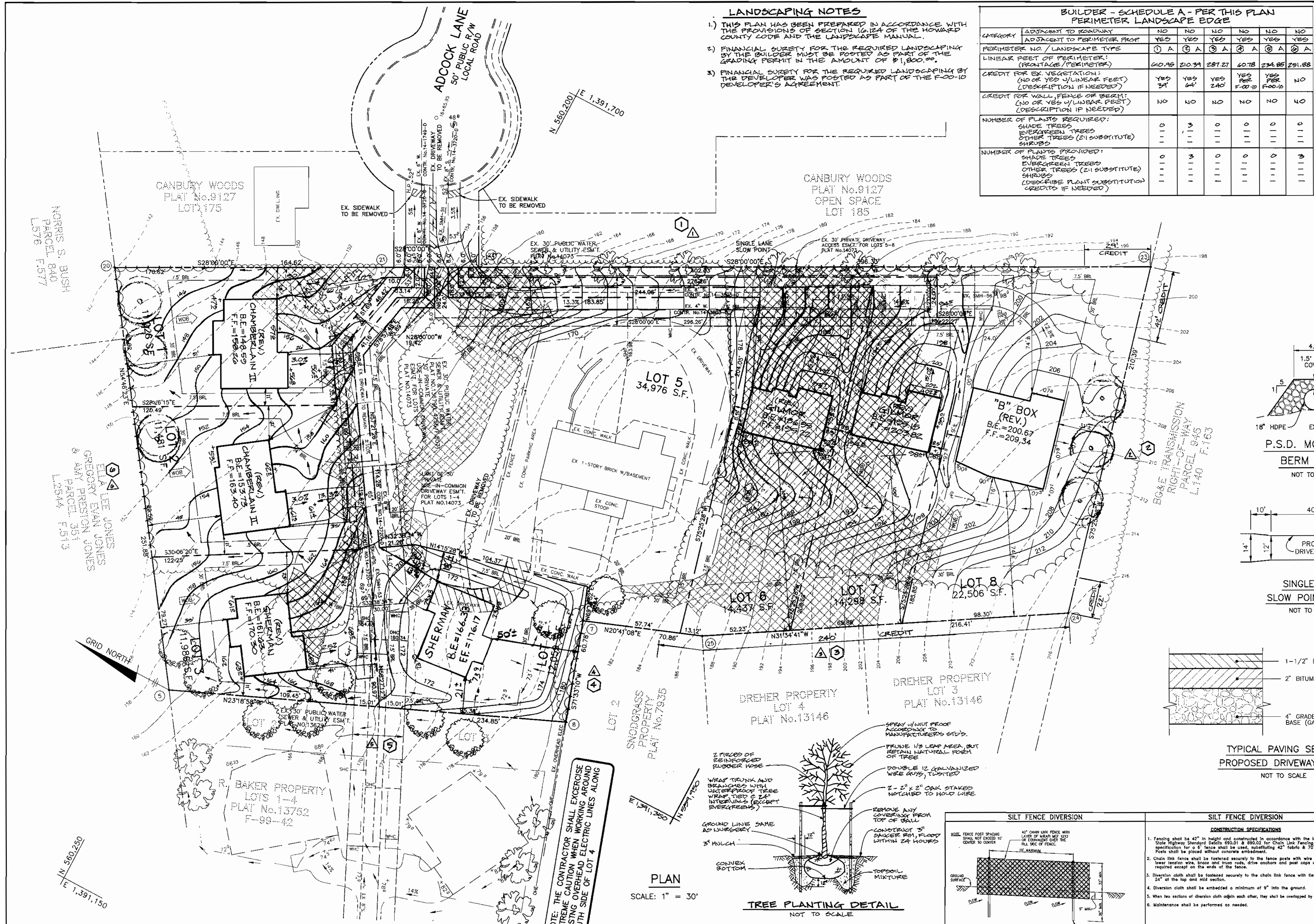
**TITLE:** SITE DEVELOPMENT PLAN AND DETAILS

DATE: SEPTEMBER, 1999 PROJECT NO. 1297  
JANUARY, 2000

Design: DAM/MCR Draft: MCR SCALE: AS SHOWN DRAWING: 2 OF 3

SDP-00-41



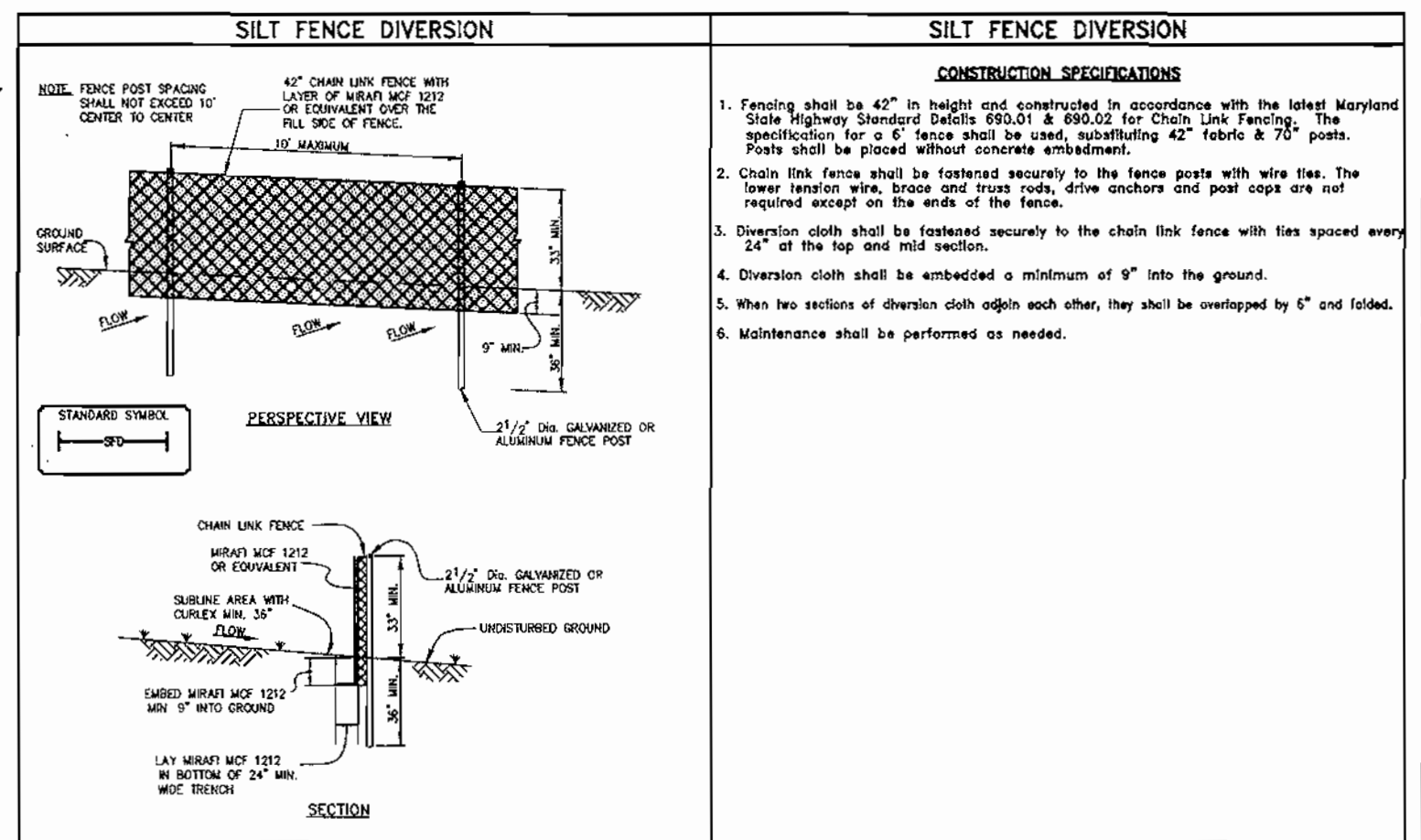
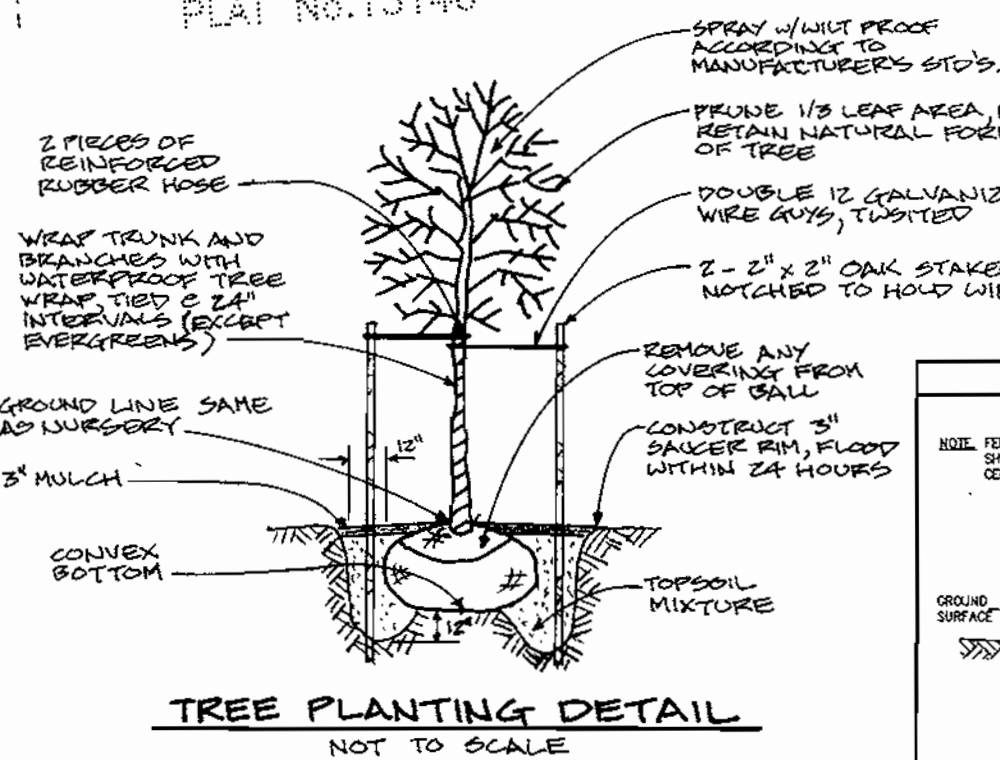
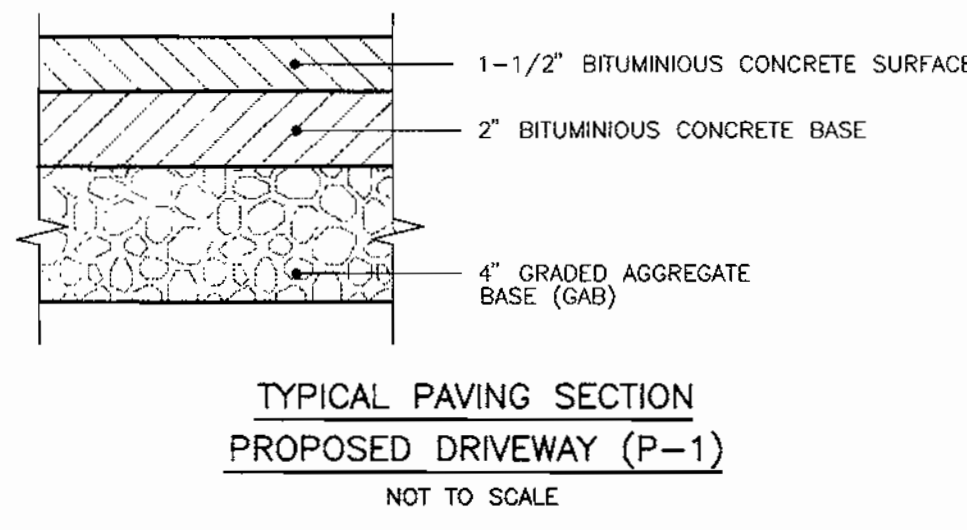
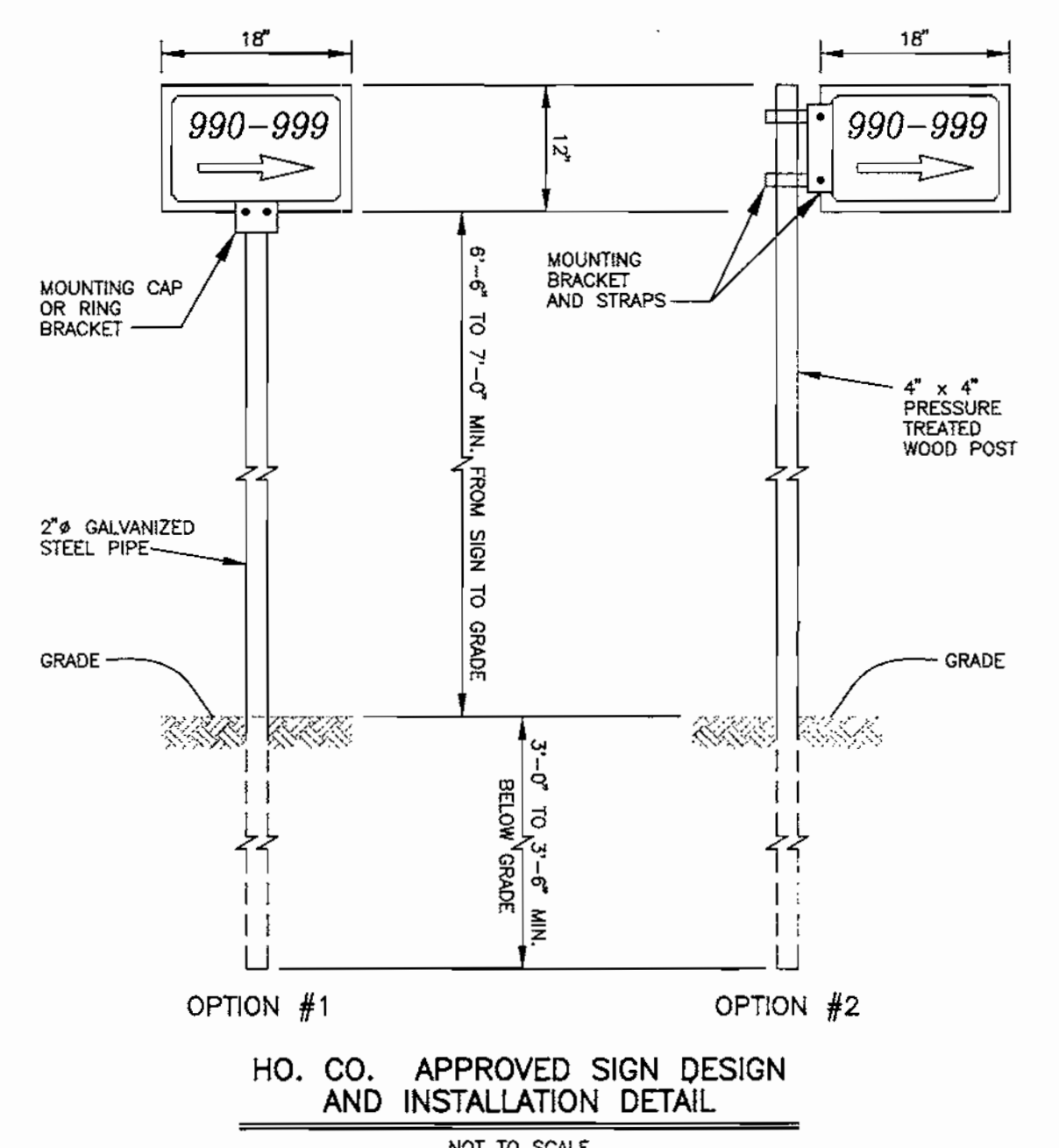
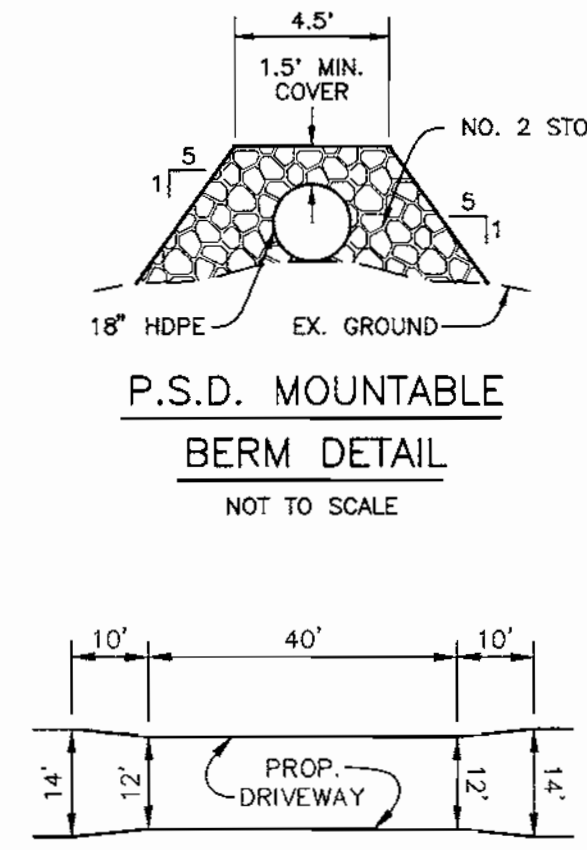
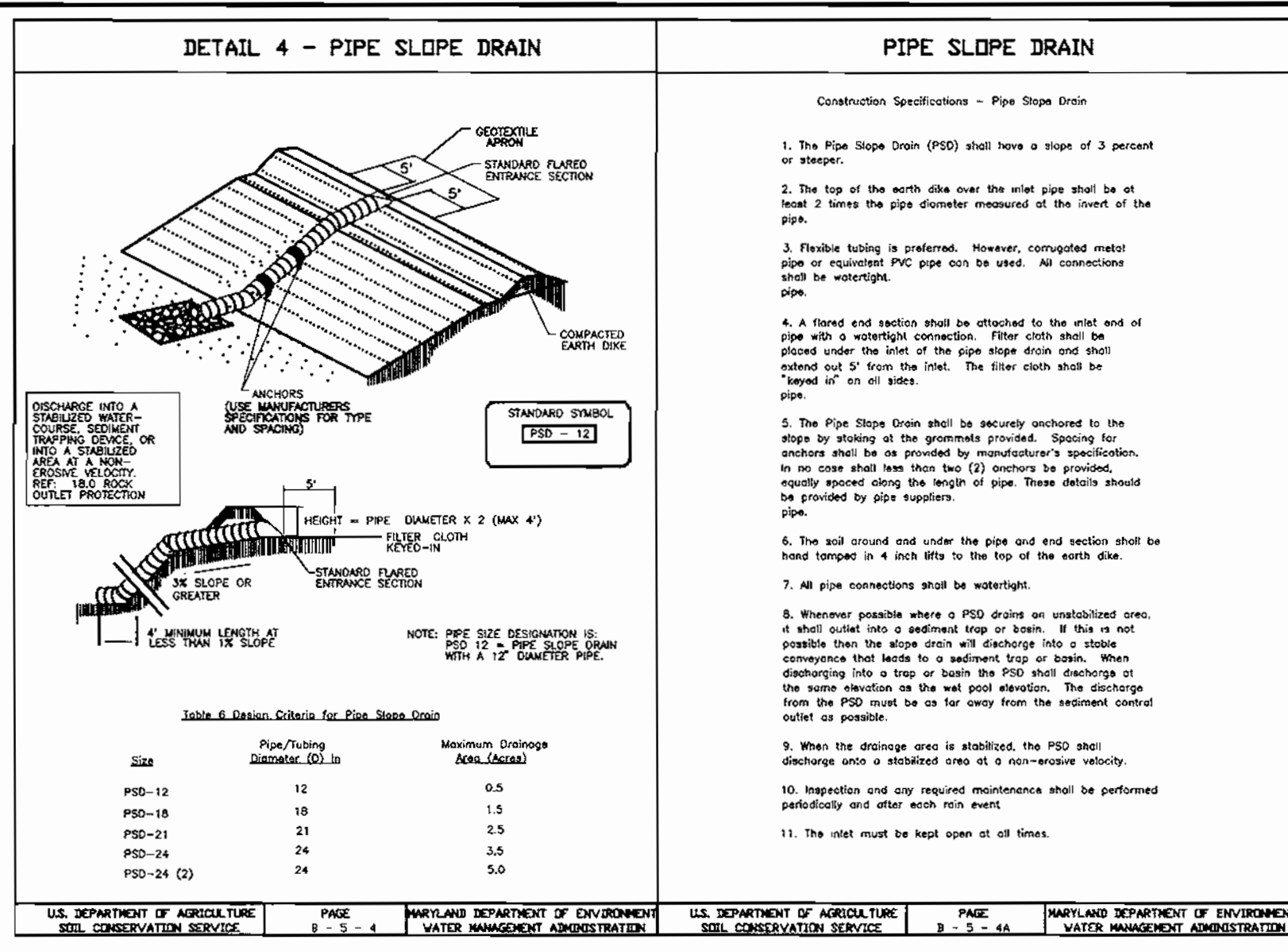


**LANDSCAPING NOTES**

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.14 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING BY THE BUILDER MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$1,800.00.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING BY THE DEVELOPER WAS POSTED AS PART OF THE F-00-10 DEVELOPER'S AGREEMENT.

**BUILDER - SCHEDULE A - PER THIS PLAN PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAY	ADJACENT TO PERIMETER PROP.	NO	NO	NO	NO	NO	NO
PERIMETER NO. / LANDSCAPE TYPE	1 A	2 A	3 A	4 A	5 A	6 A	7 A	8 A
LINEAR FEET OF PERIMETER (FRONTAGE/PERIMETER)	610.05	210.39	287.27	60.78	234.85	251.88		
CREDIT FOR EX. VEGETATION (NO OR YES W/LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	YES 3'	YES 6'	YES 24'	YES PER F-00-10	YES PER F-00-10	NO		
CREDIT FOR WALL, FENCE OR BERM (NO OR YES W/LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO		
NUMBER OF PLANTS REQUIRED:								
SHADE TREES	0	3	0	0	0	0		
EVERGREEN TREES	0	0	0	0	0	0		
OTHER TREES (2:1 SUBSTITUTE)	0	0	0	0	0	0		
SHRUBS	0	0	0	0	0	0		
NUMBER OF PLANTS PROVIDED:								
SHADE TREES	0	3	0	0	0	0		
EVERGREEN TREES	0	0	0	0	0	0		
OTHER TREES (2:1 SUBSTITUTE)	0	0	0	0	0	0		
SHRUBS (2:1 SUBSTITUTE)	0	0	0	0	0	0		
(DESCRIBE PLANT SUBSTITUTION CREDITS IF NEEDED)								



**DEVELOPER - SCHEDULE A - PER F-00-10 PERIMETER LANDSCAPE EDGE**

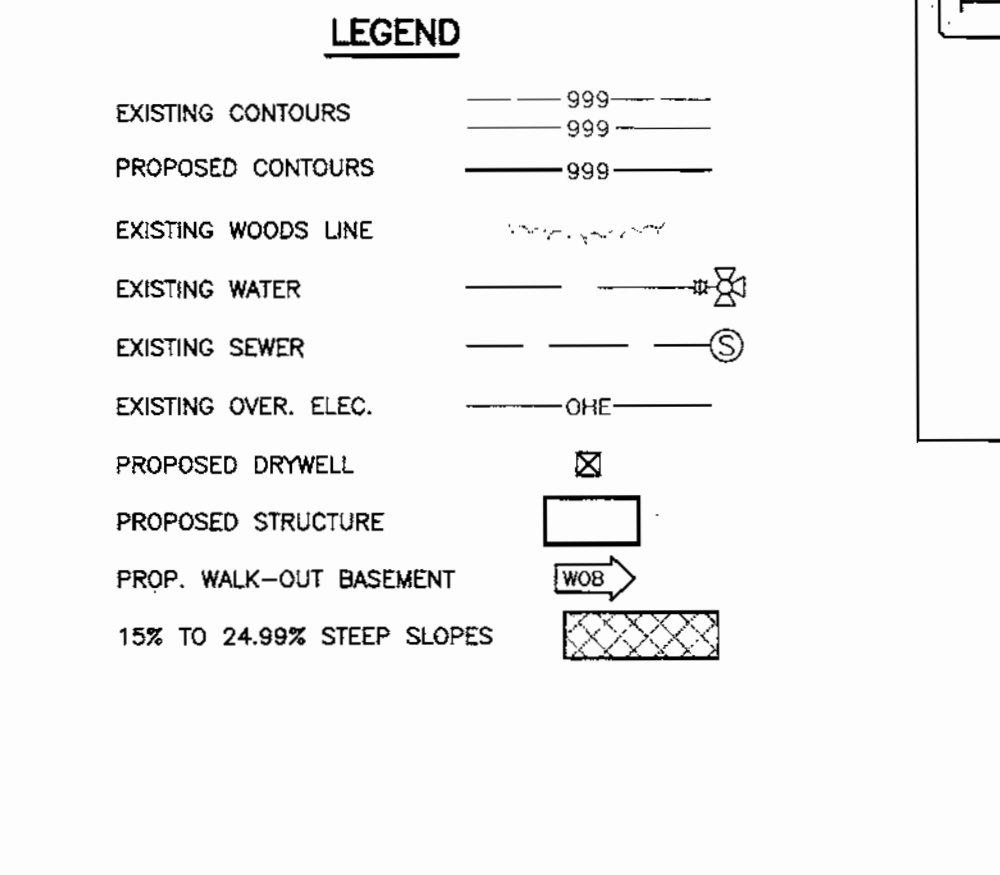
CATEGORY	ADJACENT TO ROADWAY	ADJACENT TO PERIMETER PROPERTIES	NO	NO	NO	NO	NO	NO
PERIMETER NO. / LANDSCAPE TYPE	1 A	2 A	3 A	4 A	5 A	6 A	7 A	8 A
LINEAR FEET OF PERIMETER (FRONTAGE/PERIMETER)	610.05	210.39	287.27	60.78	234.85	251.88		
CREDIT FOR EX. VEGETATION (NO OR YES W/LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	YES	YES	YES	YES	YES	YES		
CREDIT FOR WALL, FENCE OR BERM (NO OR YES W/LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO		
NUMBER OF PLANTS REQUIRED:								
SHADE TREES	9	1	1	1	4	1		
EVERGREEN TREES	0	0	0	0	0	0		
OTHER TREES (2:1 SUBSTITUTE)	0	0	0	0	0	0		
SHRUBS	0	0	0	0	0	0		
NUMBER OF PLANTS PROVIDED:								
SHADE TREES	9	1	1	1	4	1		
EVERGREEN TREES	0	0	0	0	0	0		
OTHER TREES (2:1 SUBSTITUTE)	0	0	0	0	0	0		
SHRUBS (2:1 SUBSTITUTE)	0	0	0	0	0	0		
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)								

**DEVELOPER - PLANTING LIST - PER F-00-10**

SYMBOL	QUANTITY	NAME	REMARKS
11		ACER RUBRUM "RED SUNSET" OR EQUIVALENT	2 1/2" - 3" CAL.
5		TILIA CORDATA "GREENING" OR EQUIVALENT	2 1/2" - 3" CAL.

**BUILDER - PLANTING LIST - PER THIS PLAN**

SYMBOL	QUANTITY	NAME	REMARKS
6		ACER RUBRUM "RED SUNSET" OR EQUIVALENT	2 1/2" - 3" CAL.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION

*[Signature]* DATE: 4/16/00

CHIEF, DIVISION OF LAND DEVELOPMENT

*[Signature]* DATE: 4/16/00

DIRECTOR

DATE: 4/16/00

**BENCHMARK ENGINEERING, INC.**

8480 BALTIMORE NATIONAL PIKE • SUITE 418 • ELLICOTT CITY, MARYLAND 21043  
PHONE: 410-465-6105 FAX: 410-465-6644

**BUILDER:** DORSEY FAMILY HOMES  
9926 CYPRESSMEDE DRIVE  
ELLICOTT CITY, MD 21043  
PHONE: 410-465-7200

**OWNER:** ROBERT L. & JUDITH A. BAKER  
2445 HIDEAWAY LANE  
VALKARIA, FL 32950

**PROJECT:** R. BAKER PROPERTY, II  
(SINGLE FAMILY DETACHED)

**LOCATION:** PLAT No. 14073, BLOCK 9  
PARCEL 188 - CENSUS TRACT: 6012  
1st ELECTION DISTRICT -- HOWARD COUNTY, MARYLAND  
WATER CODE: A01 - SEWER CODE: 2090000

**TITLE:** SITE DEVELOPMENT PLAN AND DETAILS

**DATE:** SEPTEMBER, 1999 PROJECT NO. 1297  
JANUARY, 2000

**SCALE:** AS SHOWN DRAWING 2 OF 3