COLUMBIA GATEWAY PARCEL 'A-1'

BUILDING 'G' AND PARKING STRUCTURE 'H'

GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST 24 HOURS PRIOR TO STARTING ANY OF THE WORK SHOWN HEREON.
2. ALL PLAN DIMENSIONS ARE GIVEN TO FACE OF CURB UNLESS OTHERWISE NOTED. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
3. THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN ANY SCALED DIMENSIONS AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
4. CONTRACTOR SHALL MEET ALL EXISTING IMPROVEMENTS SMOOTHLY FOR LINE, GRADE AND FINISH.
5. ALL WORK SHOWN ON THESE PLANS SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS AND OF THE MARYLAND STATE HIGHWAY ADMINISTRATION AND THE HOWARD COUNTY PLUMBING CODE, UNLESS OTHERWISE NOTED.
6. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM SUCH WORK. THE COST OF SUCH WORK SHALL BE INCLUDED IN THE BASE BID.
7. THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING, ETC. ARE TO BE REMOVED PRIOR TO PLACING A BID ON SUCH ITEMS.
8. THE LOCATIONS OF EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE LOCATIONS ARE TAKEN FROM EXISTING RECORDS AND DO NOT REPRESENT FIELD-VERIFIED LOCATIONS. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 A MINIMUM OF 5 WORKING DAYS PRIOR TO DIGGING. THE CONTRACTOR SHALL CONFIRM TO HIS OWN SATISFACTION THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR PLACEMENT OF MATERIALS. IF ANY CONFLICT IS FOUND BETWEEN UNDERGROUND UTILITIES AND THE PROPOSED LOCATION OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE OWNER OF THE UTILITY IMMEDIATELY. ANY DAMAGE OR DISRUPTION OF SERVICE SHALL BE AT THE EXPENSE OF THE CONTRACTOR. RELOCATION OF ANY EXISTING UTILITIES, IF NECESSARY, SHALL BE AT THE EXPENSE OF THE OWNER. THE CONTRACTOR SHALL COORDINATE RELOCATION OF THESE FACILITIES, IF NECESSARY.
9. CONTRACTOR SHALL PROTECT ALL EXISTING TREES OUTSIDE THE LIMIT OF DISTURBANCE AT ALL TIMES DURING CONSTRUCTION.
10. CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS NOT SCHEDULED FOR REMOVAL OR DEMOLITION. COST OF REPAIR TO EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE BASE BID. ALL EXISTING SITE FEATURES NOT BEING RETAINED SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED LOCATION. ANY DAMAGE TO OFFSITE ROADS, RIGHTS OF WAY, OR ADJACENT PROPERTY SHALL BE REPAIRED IMMEDIATELY AT THE EXPENSE OF THE CONTRACTOR.
11. THE CONTRACTOR SHALL CLEAR THE PROJECT SITE OF ALL TREES, PAVING, STRUCTURES, ETC. WITHIN THE CONSTRUCTION AREA UNLESS OTHERWISE NOTED ON THE PLAN.
12. ONLY SUITABLE MATERIAL SHALL BE USED AS FILL AND ALL FILL SHALL BE PLACED AND COMPACTTED AS SPECIFIED IN THE SOILS REPORT PREPARED FOR THIS SITE OR AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ALL 2:1 SLOPES SHOWN HEREON. EXCEPTING THOSE ASSOCIATED WITH LANDSCAPE BERMING. ALL GREADING UNDER PROPOSED PAVING, AND ALL FILL AND COMPACTION SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER.
13. CONTRACTOR SHALL PROVIDE MINIMUM 4 FOOT BENCH AT THE EDGE OF PAVING IN FILL AREAS. MAXIMUM SLOPE OF BENCH SHALL BE 4% (1/4 PER FOOT).
14. MAXIMUM SLOPE SHALL BE 2 HORIZONTALLY TO 1 VERTICALLY.
15. CONTRACTOR SHALL PLACE A WITNESS POST AT THE TERMINUS OF ALL UTILITY STUBS.
16. ALL UTILITIES INSTALLED SHALL RECEIVE FULL TRENCH COMPACTION.
17. CONTRACTOR SHALL PROVIDE A MINIMUM OF 1 FOOT OF PROTECTIVE FILL OVER STORM DRAIN PIPES DURING CONSTRUCTION.
18. CONTRACTOR SHALL PROVIDE ALL PAVEMENT MARKINGS AND SIGNAGE FOR HANDICAP PARKING SPACES INDICATED HEREON IN ACCORDANCE WITH ALL APPLICABLE CODES. ALL PAVEMENT MARKINGS TO BE TRAFFIC WHITE.
19. ALL HANDICAPPED FACILITIES TO BE CONSTRUCTED IN ACCORDANCE WITH THE "DESIGN OF BARRIER FREE FACILITIES" AND THE MARYLAND BUILDING CODE FOR THE HANDICAPPED AND AGED, LATEST EDITION.
20. ALL TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES." ALL STREET AND REGULATORY SIGNS SHALL BE INSTALLED PRIOR TO INSTALLATION OF FINISHED PAVING.
21. THIS SITE IS EXEMPT FROM THE FOREST CONSERVATION ORDINANCE IN ACCORDANCE WITH SECTION 16.1202(b)(2)(v).
22. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 134 OF THE ZONING REGULATIONS.
23. ON OCTOBER 4, 1999, BY COUNTY COUNCIL RESOLUTION #134-1999, A PORTION OF THE EXISTING WATER MAIN WAS ABANDONED.
24. THERE ARE NO CEMETERIES OR BURIAL GROUNDS ON PARCEL 'A-1'

For Rev.5 + Rev.6

STATE OF MARYLAND — MICHAEL CHARLES BAKER JR. — No. 22037 — REGISTERED PROFESSIONAL ENGINEER

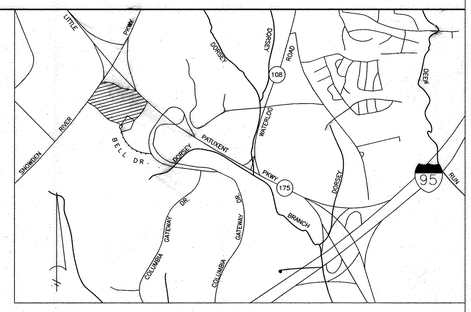
PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 22035, EXPIRATION DATE: 7/26/2023.

SHEET INDEX

SITE DATA

1. AREA OF SITE = 15.26 AC
2. AREA OF PLAN SUBMISSION = 3.82 AC
3. LIMIT OF DISTURBED AREA = 3.82 AC
4. EX. ZONING = M-1
5. PROP. USE = OFFICE BUILDING
6. TOTAL BUILDING COVERAGE = 90,303 SF
7. PROP. BUILDING COVERAGE = 21,234 SF
8. TOTAL # OF BUILDINGS ON SITE = 4
9. MAX. # OF EMPLOYEES, TENANTS ON SITE = 1580
10. PARKING SPACES REQUIRED = 790
11. PARKING SPACES PROVIDED = 822
12. OPEN SPACE ON SITE = 4.99 AC
13. AREA OF RECREATION OPEN SPACE REQUIRED = N/A
14. APPLICABLE DPZ FILE REFERENCES = SDP 88-129
15. GROSS FLOOR AREA PER FLOOR = 21,234 SF (FOR PROPOSED BUILDING)
16. TOTAL GROSS FLOOR AREA = 84,624 SF (FOR PROPOSED BUILDING)
17. TOTAL GROSS FLOOR AREA = 241,872 SF (FOR EXISTING AND PROPOSED BUILDINGS)
18. PROPOSED PARKING RATIO = 3.85 OR 931 SPACES
19. NUMBER OF EXISTING PARKING SPACES = 811
20. NUMBER OF PARKING SPACES LOST TO CONSTRUCTION = 184
21. NUMBER OF GARAGE PARKING SPACES PROPOSED BY THIS PLAN = 314
22. NUMBER OF SURFACE PARKING SPACES PROPOSED BY THIS PLAN = 627
23. TOTAL NUMBER OF PARKING SPACES PROPOSED BY THIS PLAN = 931
24. HANDICAP SPACES REQUIRED = 19
25. HANDICAP SPACES PROVIDED = 22



VICINITY MAP
SCALE: 1" = 2000'

BENCH MARKS:
W.R. & A.B.M. #2: ELEV. 365.28
R.R. SPIKE IN BASE OF 14" POPLAR, 90'± RIGHT OF ℄ ALEXANDER BELL DRIVE PT STA. 11+23.93.

W.R. & A.B.M. #3: ELEV. 329.26
TOP BOLT @ TOP OLD LIGHT POST FOOTER, 143' OF ℄ COLUMBIA GATEWAY DRIVE STA. 11+50.

Reviewed for HOWARD SCD and meets Technical Requirements
USDA – Natural Resources Conservation Service — 1/27/00 Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Howard SCD — 1/27/00 Date
AS-Built See GP-00-110

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Division of Land Development — 2/3/00 Date
Chief, Development Engineering Division MK — 1/27/00 Date
Director – Department of Planning and Zoning — 2/4/00 Date

Baker
Michael Baker Jr., Inc.

MICHAEL BAKER JR. INC.
Consulting Engineers
3601 Eisenhower Avenue,
Suite 600
Alexandria, Virginia 22304
703-960-8800

STATE OF MARYLAND — MICHAEL CHARLES BAKER JR. — No. 22037 — REGISTERED PROFESSIONAL ENGINEER — 1/19/00

OWNER / DEVELOPER
GATEWAY 44, LLC
C/O CORPORATE DEVELOPMENT SERVICES
8815 CENTRE PARK DRIVE, SUITE #400
COLUMBIA, MD 21045
(410) 992-7312

5 8/04/2022 NEW PAVEMENT FOR UPDATED ADA PATH AND BUILDING ENTRANCE. ADDED CURB AND DRIVE AISLE, OUTDOOR SEATING/AMENITIES, ELECTRIC VEHICLE CHARGING STATION, AND UPDATED ADA PARKING LOCATIONS.

6 12/09/2022 ADDED CANOPY & NEW STORM DRAIN

DESIGNED BY:	JAK
DRAWN BY:	PAB
CHECKED BY:	MCB
REVISIONS	

COVER SHEET

COLUMBIA GATEWAY PARCEL 'A-1'

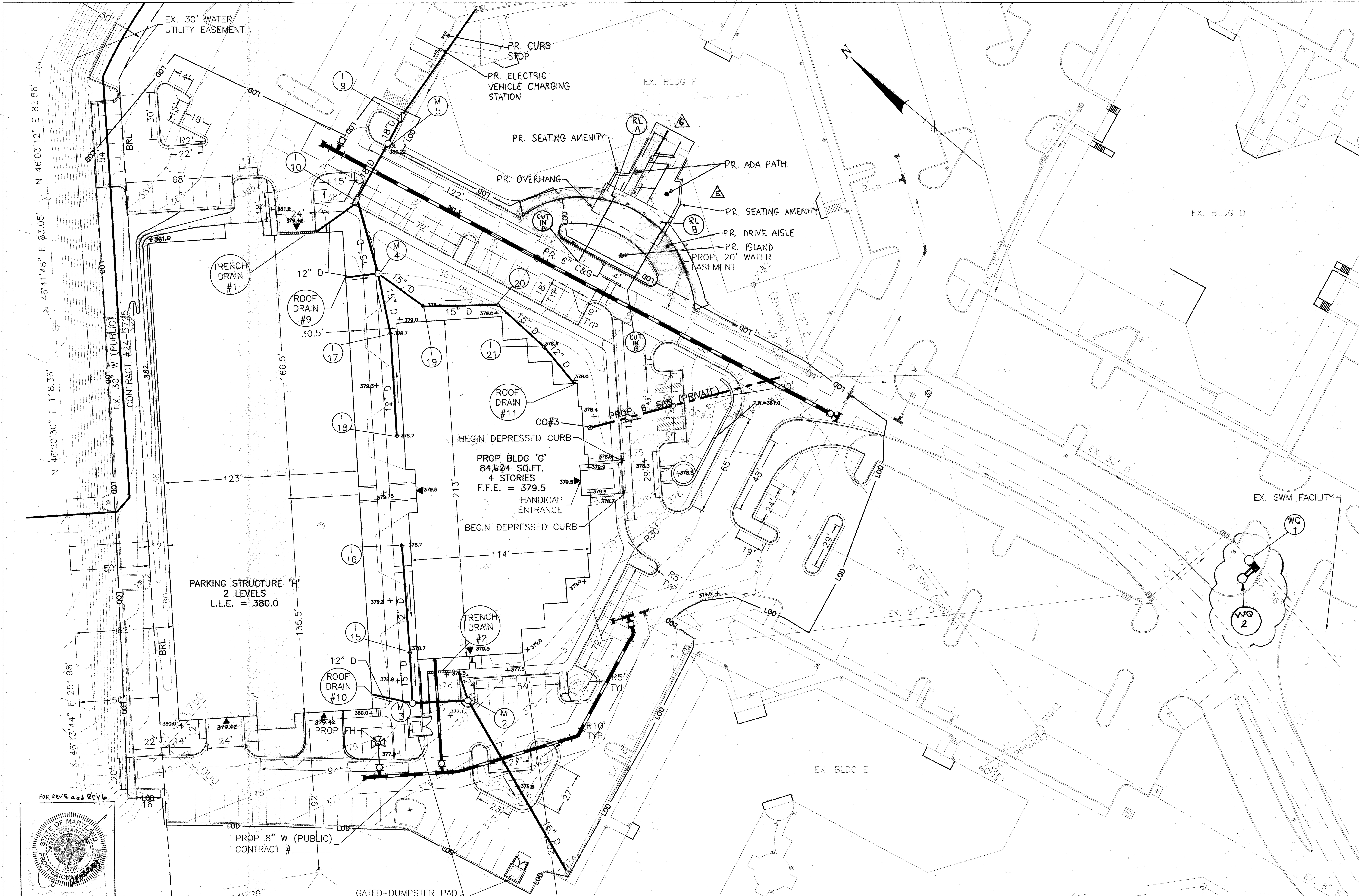
BUILDING 'G' AND PARKING STRUCTURE 'H'

HOWARD COUNTY, MD
SCALE: NOT TO SCALE
P.N. 05806

SHEET 1 OF 14

ELECTION DISTRICT #6
DATE: JAN. 19, 2000

SDP-00-39



LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EX. STORM DRAINS
- PROP. STORM DRAINS
- EX. SANITARY
- PROP. SANITARY
- EX. WATER
- PROP. WATER
- EX. CONC. C&G
- PROP. C&G (TYP.)
- EASEMENT
- PROP. FIRE HYDRANT

NOTES:
1. SEE SHEET 5 OF 13 FOR HORIZONTAL DIMENSIONS.
2. SEE SHEET 8 OF 13 FOR EXISTING IMPROVEMENTS TO BE REMOVED.

Reviewed for HOWARD SCD and meets Technical Requirements.

USDA – Natural Resources Conservation Service — Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD — Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development — Date 2/3/00

Chief, Development Engineering Division MK — Date 1/27/00

Director – Department of Planning and Zoning — Date 2/4/00

ADDRESS CHART

BUILDING #	STREET ADDRESS
EXISTING D	6716 ALEXANDER BELL DRIVE
EXISTING E	6760 ALEXANDER BELL DRIVE
EXISTING F	6740 ALEXANDER BELL DRIVE
G	6750 ALEXANDER BELL DRIVE

SUBDIVISION NAME				SECT./AREA	LOT/PARCEL
COLUMBIA GATEWAY				–	PARCEL A-1
PLAT # OR L/F	BLOCK #	ZONE	TAX/ZONE MAP	ELEC. DIST.	CENSUS TRACT
6766 & 6767	24	M-1	36	6	6065-02
WATER CODE				SEWER CODE	
E-06 STORMWATER MANAGEMENT				339000 AS-BUILT	9-8-93

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO.36725 EXPIRATION DATE: 2/26/2023

Baker
Michael Baker Jr., Inc.

MICHAEL BAKER JR. INC.
Consulting Engineers
3601 Eisenhower Avenue,
Suite 600
Alexandria, Virginia 22304
703-960-8800

STATE OF MARYLAND MITCHELL CHARLES BERNSTEIN NO. 16918 REGISTERED PROFESSIONAL ENGINEER 1/19/00

5 8/04/2022 NEW PAVEMENT FOR UPDATED ADA PATH AND BUILDING ENTRANCE. ADDED CURB AND DRIVE AISLE, OUTDOOR SEATING AMENITIES, ELECTRIC VEHICLE CHARGING STATION, AND UPDATED ADA PARKING LOCATIONS

6 12/09/2022 ADDED CANOPY & NEW STORMDRAIN

OWNER / DEVELOPER

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THE LOD FOR REDLINE DATED 06/21/2022 OF 4,300 SFT IS EXEMPT FROM PROVIDING STORMWATER MANAGEMENT. ANY ADDITIONAL IMPROVEMENTS WHERE THE CUMULATIVE LOD EXCEEDS 5,000 SFT SHALL ADDRESS STORMWATER MANAGEMENT FOR THE INCREASE.

DESIGNED BY: JK
DRAWN BY: PAB
CHECKED BY: MCB

REVISIONS

4 REVISE TO SHOW BAYSAVER AT WQ1 AND WQ2. 06/01/00

SITE PLAN

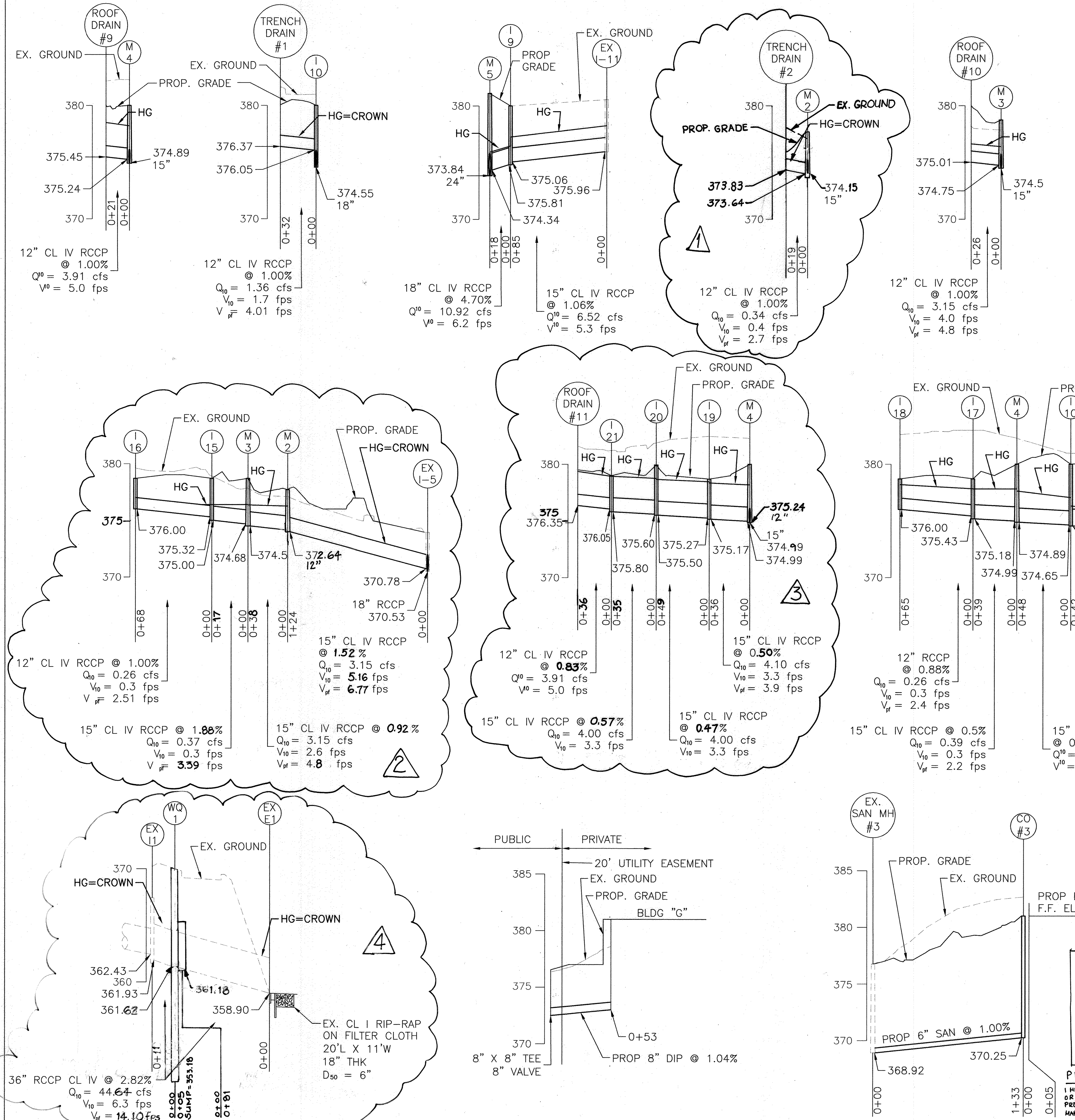
COLUMBIA GATEWAY PARCEL 'A1'

BUILDING 'G' AND PARKING STRUCTURE 'H'

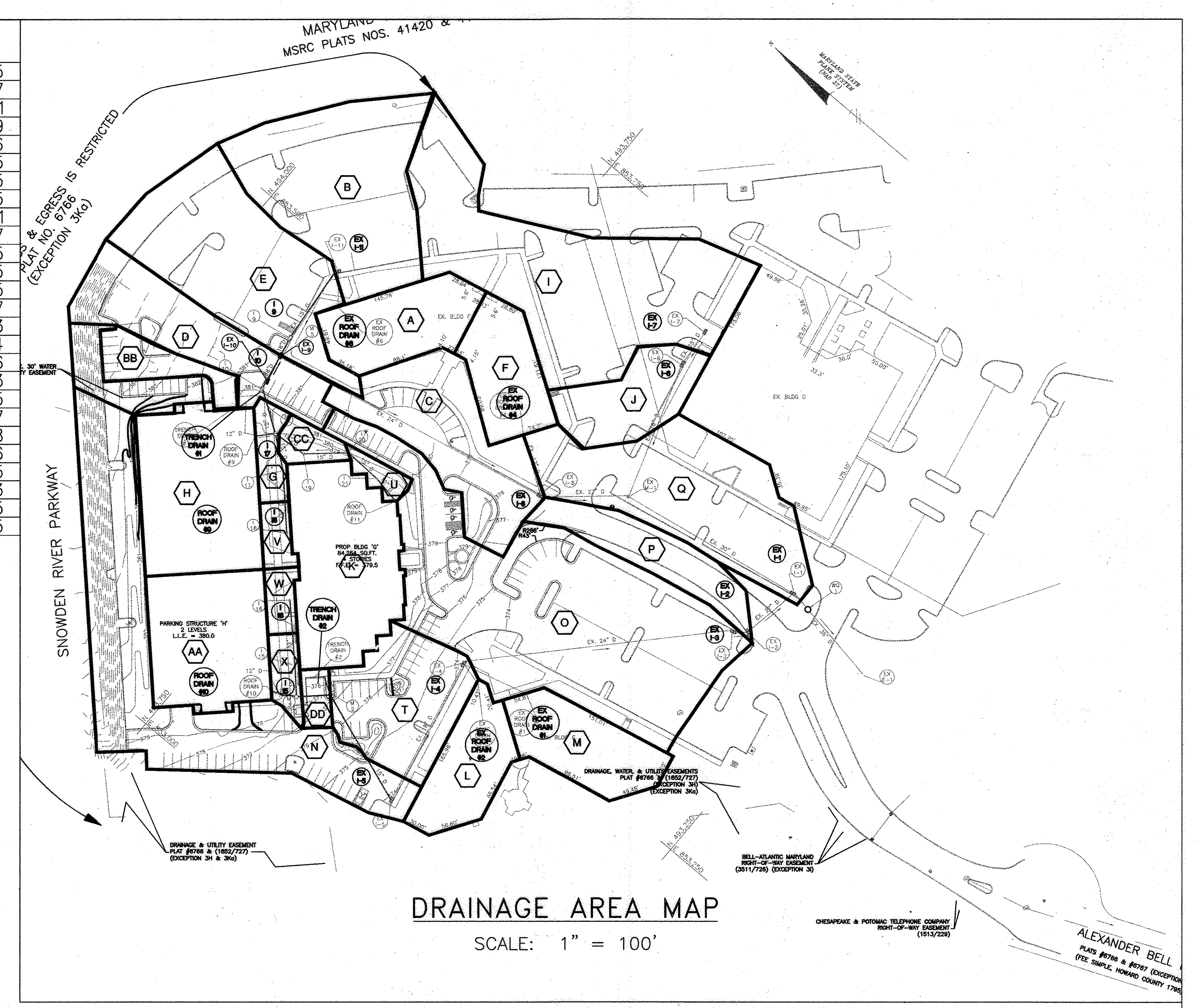
HOWARD COUNTY, MD
SCALE: 1" = 30'
P.N. 05806

ELECTION DISTRICT #6
DATE: JAN. 19, 2000

SDP-00-39



DRAINAGE AREA	ACREAGE	'C'
A	0.24 AC±	0.95
B	0.71 AC±	0.77
C	0.45 AC±	0.71
D	0.40 AC±	0.79
E	0.72 AC±	0.76
F	0.24 AC±	0.95
G	0.06 AC±	0.45
H	0.48 AC±	0.95
I	1.00 AC±	0.81
J	0.25 AC±	0.77
K	0.48 AC±	0.95
L	0.21 AC±	0.95
M	0.21 AC±	0.95
N	0.90 AC±	0.57
O	1.27 AC±	0.83
P	0.28 AC±	0.84
Q	0.65 AC±	0.76
T	0.37 AC±	0.73
U	0.04 AC±	0.35
V	0.05 AC±	0.57
W	0.05 AC±	0.58
X	0.05 AC±	0.36
AA	0.39 AC±	0.95
BB	0.25 AC±	0.63
CC	0.06 AC±	0.35
DD	0.04 AC±	0.95



DRAINAGE AREA MAP

SCALE: 1" = 100'

INLET SCHEDULE

NO.	TYPE	INV.IN	INV.OUT	TOP ELEV*	Qc.f.s	REMARKS
I-9	DBL S COMB	375.81	375.06	380.40	4.7	HO. CO. STD. DETAIL SD-4.34
I-10	DBL S COMB	374.65	374.55	380.00	2.6	HO. CO. STD. DETAIL SD-4.34
I-15	YARD INLET	375.32	375.00	378.70	0.2	HO. CO. STD. DETAIL SD-4.14
I-16	YARD INLET	–	376.00	378.70	0.3	HO. CO. STD. DETAIL SD-4.14
I-17	YARD INLET	375.43	375.18	378.70	0.3	HO. CO. STD. DETAIL SD-4.14
I-18	YARD INLET	–	376.00	378.70	0.3	HO. CO. STD. DETAIL SD-4.14
I-19	YARD INLET	375.27	375.17	378.70	0.3	HO. CO. STD. DETAIL SD-4.14
I-20	YARD INLET	375.60	375.50	380.00	0.1	HO. CO. STD. DETAIL SD-4.14
I-21	YARD INLET	376.05	375.80	379.00	0.1	HO. CO. STD. DETAIL SD-4.14

*TOP OF GRATE ELEV.

PIPE SCHEDULE

SIZE / TYPE	LENGTH
6" PVC	133 LF
8" DIP	53 LF
12" RCCP CLIV	261 LF
15" RCCP CLIV	486 LF
18" RCCP CLIV	60 LF

STRUCTURE SCHEDULE

NO.	TYPE	INV. IN	INV.OUT	TOP ELEV	REMARKS
M2	TYPE C-MANHOLE	374.15	374.00	377.70	HO. CO. STD. DETAIL G-5.12
M3	TYPE C-MANHOLE	374.68	374.5	378.50	HO. CO. STD. DETAIL G-5.12
M4	TYPE C-MANHOLE	374.99	374.89	380.00	HO. CO. STD. DETAIL G-5.12
M5	TYPE C-MANHOLE	374.34	–	381.10	HO. CO. STD. DETAIL G-5.12
WQ1	STORMCEPTOR	361.36	361.28	370.00	SEE SHEET 4 FOR DETAILS

* SEE ARCHITECTURAL PLANS FOR TRENCHDRAIN DETAILS

Reviewed for HOWARD SCD and meets Technical Requirements.

USDA – Natural Resources Conservation Service — Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD — Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development — Date 2/3/00

Chief, Development Engineering Division MK — Date 1/27/00

Director – Department of Planning and Zoning — Date 2/3/00

FOR REV 5 + REV 6

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 36725, EXPIRATION DATE: 2/26/2023.

PROFILES

HORIZ. SCALE: 1" = 50'
VERT. SCALE: 1" = 5'

Baker

MICHAEL BAKER JR. INC.
Consulting Engineers
3601 Eisenhower Avenue, Suite 600
Alexandria, Virginia 22304
703-960-8800

Michael Baker Jr., Inc.

5 — 8/04/2022 — NEW PAVEMENT FOR UPDATED ADA PATH AND BUILDING ENTRANCE. ADDED CURB AND DRIVE AISLE, OUTDOOR SEATING AMENITIES, ELECTRIC VEHICLE CHARGING STATION, AND UPDATED ADA PARKING LOCATIONS.

6 — 12/09/2022 — ADDED CANOPY + NEW STORM DRAIN

OWNER / DEVELOPER

GATEWAY 44, LLC
C/O CORPORATE DEVELOPMENT SERVICES
8815 CENTRE PARK DRIVE, SUITE #400
COLUMBIA, MD 21045
(410) 992-7312

REVISIONS

1. REVISE PROFILE TO SHOW NEW INVERTS AND HG 3/16/00
2. REVISE PROFILE TO SHOW CHANGES DUE TO RELOCATION OF M3. 3/16/00
3. ADJUSTED ALIGNMENT OF STORM DRAIN PIPE BETWEEN ROOF DRAIN #1 AND I-19 TO AVOID CONFLICT W/ BLDG. FOUNDATION.

DESIGNED BY: JAK
DRAWN BY: PAB
CHECKED BY: MCB

REVISIONS

4. REVISE TO SHOW BAYSAVER AT WQ1 AND WQ2. 06/01/00

STORM DRAIN PROFILES AND DRAINAGE AREA MAP

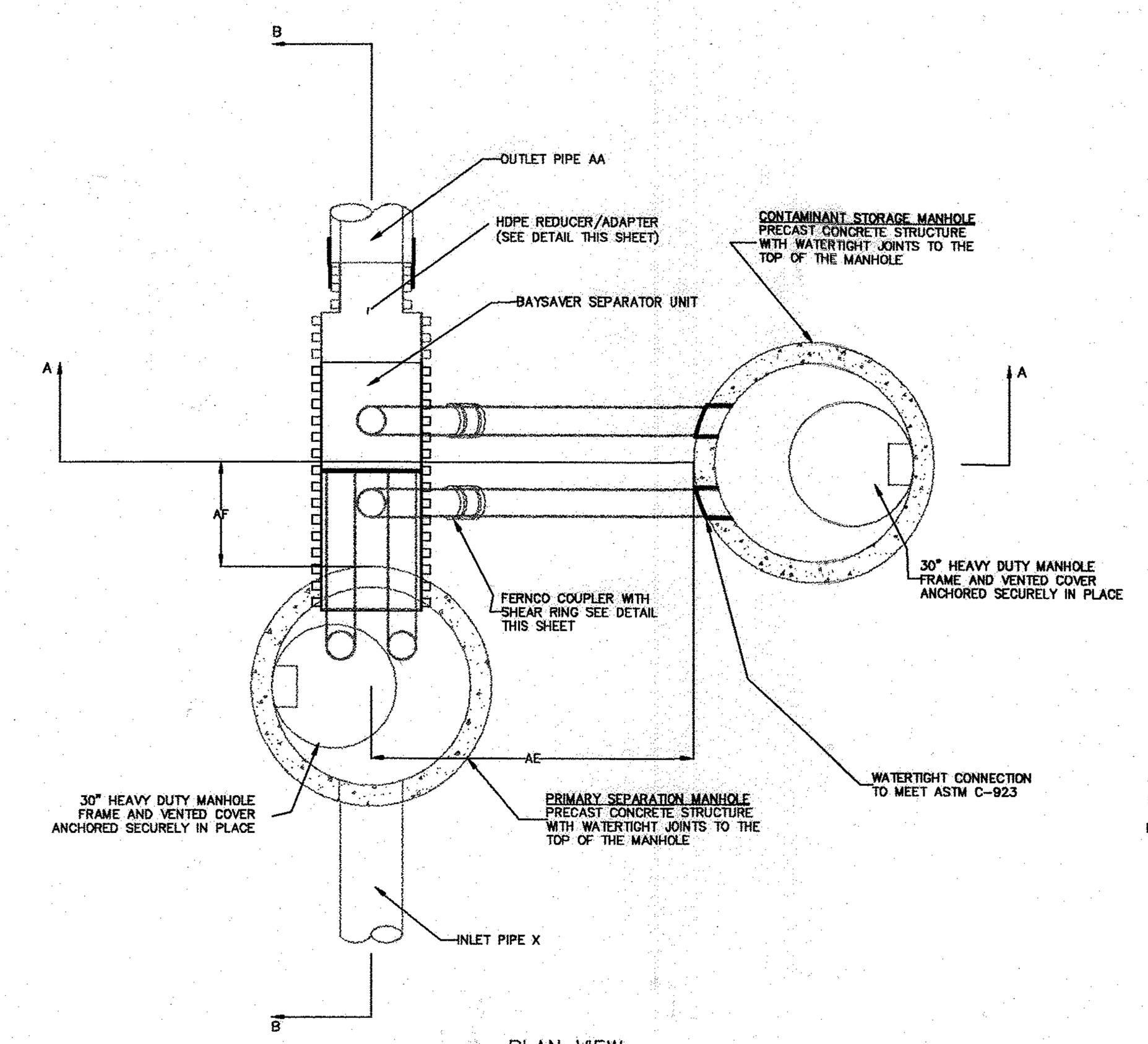
COLUMBIA GATEWAY PARCEL 'A1'

BUILDING 'G' AND PARKING STRUCTURE 'H'

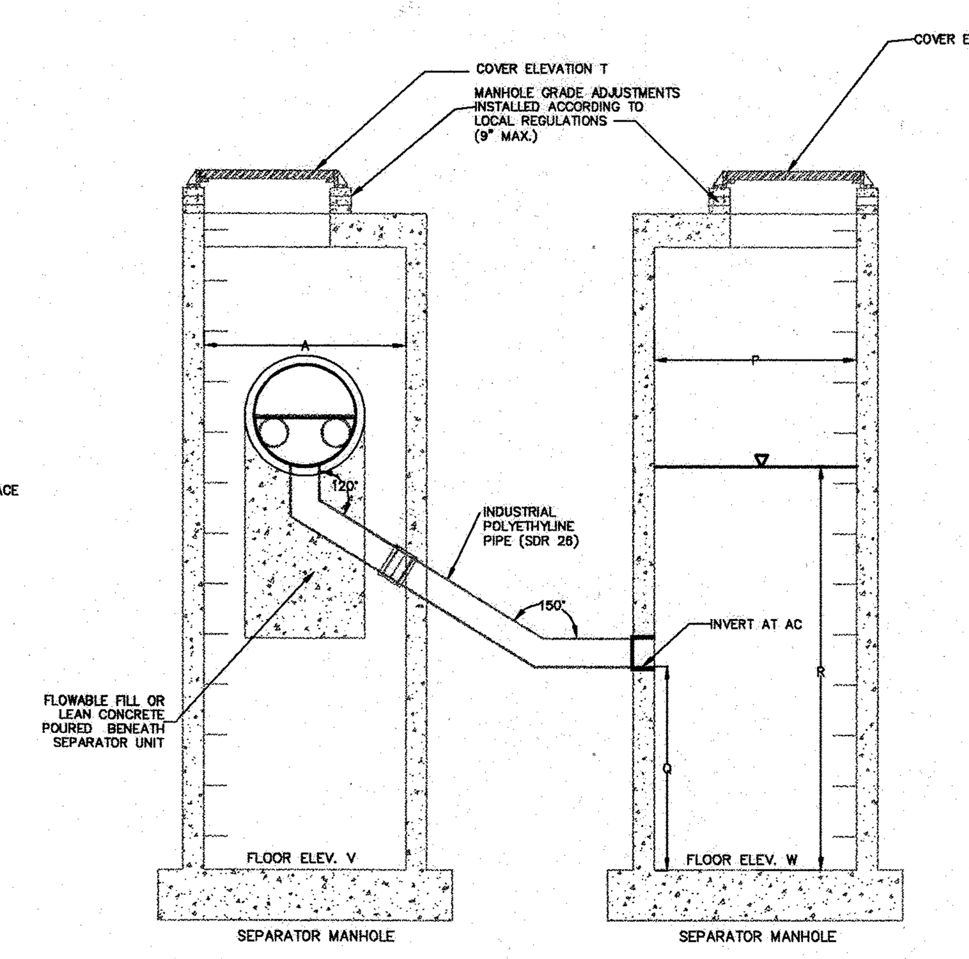
HOWARD COUNTY, MD
SCALE: AS SHOWN
P.N. 05806

ELECTION DISTRICT #6
DATE: JAN. 19, 2000

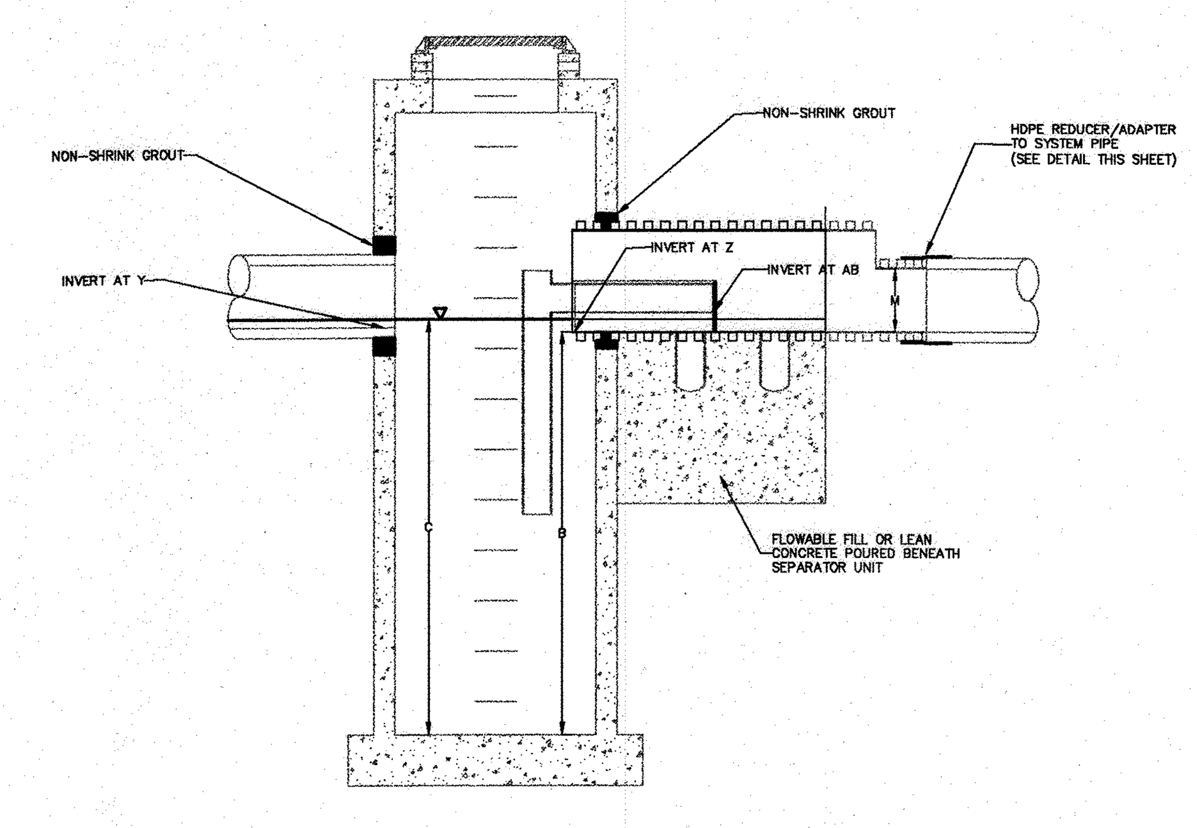
SDP-00-39



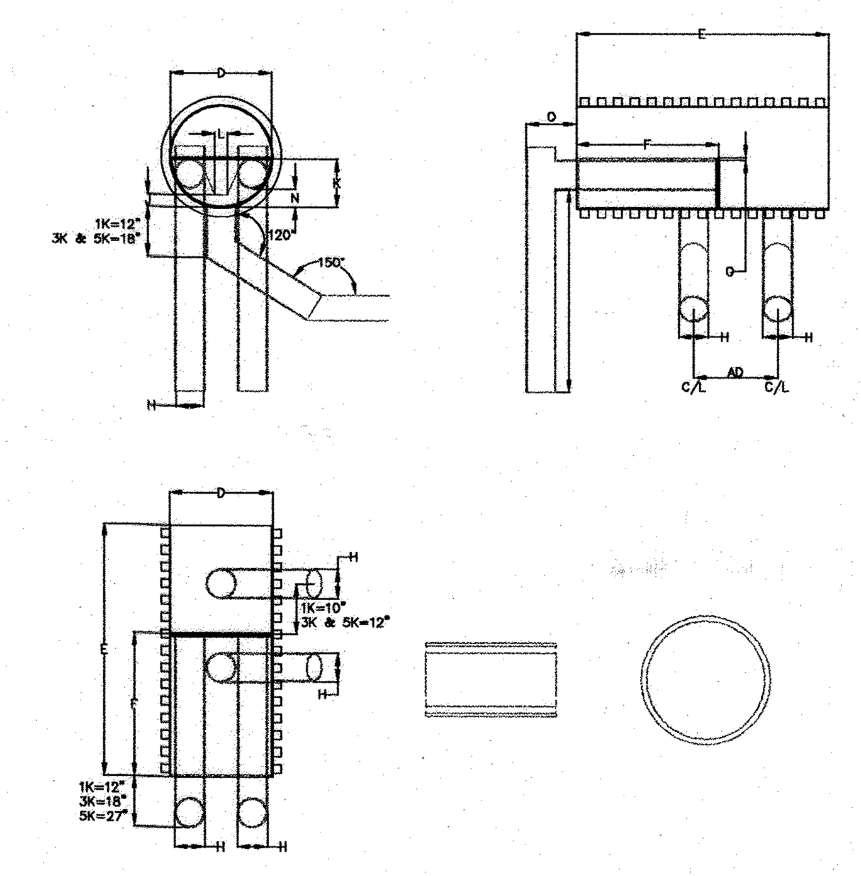
PLAN VIEW



SECTION AA



SECTION BB



BAYSAVER SYSTEM DIMENSIONS		
	DESCRIPTION	5K SYSTEM
	SEPARATOR MANHOLE DIMENSIONS	
A	PRIMARY MANHOLE DIAMETER	84"
B	MANHOLE DEPTH BELOW OUTLET	8' – 0"
C	MINIMUM FLUID DEPTH	8' – 6"
	STANDARD SEPARATOR UNIT DIMENSIONS	
D	SEPARATOR UNIT ID	48"
E	SEPARATOR UNIT LENGTH	76"
F	BYPASS PLATE LENGTH	45"
G	WEIR/BYPASS PLATE THICKNESS	3/4"
H	ELBOW AND CONNECTING PIPE OD	12.75"
I	ELBOW LENGTH	48"
J	WEIR HEIGHT ABOVE INVERT	6"
K	BYPASS PLATE HEIGHT ABOVE INVERT	24"
L	WIDTH OF WEIR AT BASE	6"
M	OUTLET PIPE DIAMETER	36"
N	ELBOW INVERT HEIGHT ABOVE UNIT INVERT	11"
O	ELBOW PIPE OVERHANG	27.5"
	STORAGE MANHOLE DIMENSIONS	
P	STORAGE MANHOLE DIAMETER	96"
Q	MANHOLE DEPTH BELOW INLET/OUTLET	48"
R	FLUID DEPTH	8' – 0"
S	TOTAL STORAGE VOLUME	710 CF
	SYSTEM DIMENSIONS AND ELEVATIONS	
T	SEPARATOR MANHOLE COVER ELEVATION	370.20'
U	STORAGE MANHOLE COVER ELEVATION	370.00'
V	SEPARATOR MANHOLE FLOOR ELEVATION	353.18'
W	STORAGE MANHOLE FLOOR ELEVATION	357.18'
X	INLET PIPE ID AND MATERIAL	36" RCP
Y	INLET PIPE INVERT	361.62'
Z	SEPARATOR UNIT INVERT	361.18'
AA	OUTLET PIPE ID AND MATERIAL	36" RCP
AB	ELBOW INVERT ELEVATION	362.10'
AC	CONNECTING PIPE INVERT ELEVATION	357.18'
AD	CONNECTION PIPE SPACING	24"
AE	STORAGE MANHOLE SIDE OFFSET	72 ± 6"
AF	STORAGE MANHOLE DOWNSTREAM OFFSET	25"

SEQUENCE OF CONSTRUCTION AND INSPECTOR'S CHECK-OFF LIST FOR DUAL MANHOLE SEPARATORS

Stage (X = Approval Required)	Developer's/Engineer Approval		Inspector		Geotechnical Engineer	
	Initials	Date	Initials	Date	Initials	Date
1. Pre-Construction Meeting.	X		X		X	
2. Install Manholes and associated storm drainage: a. Obtain approval of subgrade from Geotechnical Engineer. (Subgrade to have a minimum of 95% compaction)					X	
b. Installation of precast base, lower tank and lower piping.	X		X			
c. Backfill and min. 95% compaction around lower tank and lower piping.					X	
d. Installation of precast middle section(s) with separator unit and remaining piping.	X		X			
e. Installation of precast top slab.	X		X			
f. Installation of adjustment rings and frame and cover.	X		X			
g. Installation of flowable fill or concrete backfill.					X	
3. Backfilling operation and compaction.					X	
4. Site is permanently stabilized. Sediment control measures removed and all sediment and debris removed from dual manhole separators.			X			
5. Final inspection.			X			

BAYSAVER MAINTENANCE

BAYSAVER SYSTEMS MUST BE INSPECTED AND MAINTAINED PERIODICALLY. INSPECTION IS MADE BY CHECKING THE DEPTH OF SEDIMENT IN EACH MANHOLE WITH A GRADE STICK OR SIMILAR DEVICE. MAINTENANCE IS REQUIRED WHEN THE SEDIMENT DEPTH IN EITHER MANHOLE EXCEEDS 2 FEET. MINIMUM INSPECTION IS REQUIRED TWICE A YEAR TO MAINTAIN OPERATION AND FUNCTION OF BAYSAVER.

MAINTENANCE CONSISTS OF THE FOLLOWING:

A. CONTAMINANT STORAGE MANHOLE

1. REMOVE THE ENTIRE VOLUME OF THE CONTAMINATED WATER BY VACUUM TRUCK.

2. CLEAN THE MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVE FLUSHING WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.

B. PRIMARY SEPARATION MANHOLE

1. USING A SUBMERSIBLE PUMP, PUMP THE CLEAN WATER FROM THE CENTER OF THE MANHOLE DIRECTLY INTO THE EMPTY STORAGE MANHOLE UNTIL THE WATER LEVEL FALLS TO 1 FOOT ABOVE THE SEDIMENT LAYER.

2. REMOVE THE SETTLED SEDIMENT AND REMAINING WATER BY VACUUM TRUCK.

3. CLEAN THE MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVE FLUSHING WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.

4. CONTAMINATED MATERIAL REMOVED FROM THE MANHOLES MUST BE DISPOSED OF RESPONSIBLY AND LEGALLY BY THE OPERATOR OF THE VACUUM TRUCK.

BAYSAVER INSTALLATION INSTRUCTIONS

1. EXCAVATION MUST PROVIDE ADEQUATE SPACE TO CONNECT INLET AND OUTLET PIPES TO SEPARATOR MANHOLE AND BAYSAVER UNIT. INSTALL PRECAST DROP STRUCTURES ON SOLID GROUND AS VERIFIED BY A GEOTECHNICAL ENGINEER.

2. VERIFY THE SUBGRADE ELEVATION AGAINST THE MANHOLE DIMENSIONS AND CONNECTING STORM DRAIN INVERTS.

3. MAKING SURE THE BASES ARE LEVEL AND THE STORAGE MANHOLE OPENINGS ARE ALIGNED WITH THE SEPARATOR UNIT, INSTALL PRIMARY AND STORAGE MANHOLES. INSTALL RUBBER GASKETS ON BASE UNITS AND COAT WITH LUBRICATING GREASE. INSTALL ADDITIONAL MANHOLE SECTIONS AS REQUIRED. SEAL LIFT HOLES WITH NON-SHRINK GROUT.

4. BACKFILL BASE SECTIONS OF MANHOLES TO INVERT OF STORAGE MANHOLE CONNECTING PIPES. USING APPROVED BACKFILL MATERIAL, BACKFILL AND COMPACT IN 8 INCH LIFTS. BACKFILL AND COMPACTION SHOULD BE MONITORED BY A GEOTECHNICAL ENGINEER.

5. INSTALL BAYSAVER SEPARATOR UNIT AND CONNECTING PIPES. SEAL ALL CONNECTING JOINTS AND INSTALL SEPARATOR UNIT/STORM DRAIN JOINT COLLAR. CUT EXCESS LENGTH OFF CONNECTING PIPES INSIDE STORAGE MANHOLE.

6. BACKFILL SEPARATOR UNIT AND MANHOLES. AREAS NOT ACCESSIBLE TO COMPACTION EQUIPMENT MUST BE BACKFILLED WITH LEAN CONCRETE OR FLOWABLE FILL.

7. INSTALL AND SET MANHOLE COVER GRADE ADJUSTMENT RINGS AS NECESSARY.

8. INSTALL AND SET MANHOLE FRAME AND COVER UNITS.

GENERAL CONSTRUCTION NOTES

1. ALL WORK MUST BE DONE WITH REGARD FOR THE SAFETY OF THE CONSTRUCTION CREW.

2. ALL WORK AND MATERIALS MUST COMPLY WITH APPLICABLE STATE AND LOCAL REGULATIONS.

3. KNOW THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES BEFORE EXCAVATION BEGINS.

NOTE:

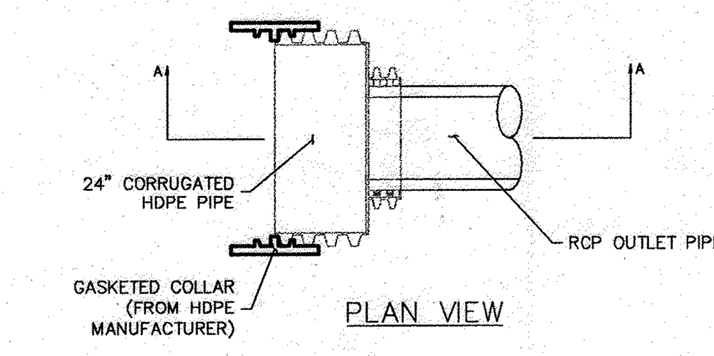
BAYSAVERS ARE TO BE INSTALLED WITH THE STORM DRAIN SYSTEM AND WILL FUNCTION AS SECONDARY SEDIMENT CONTROL DEVICES.

UPON COMPLETION OF SITE STABILIZATION, EACH BAYSAVER SYSTEM SHALL BE FLUSHED CLEAN & THE MANHOLES CLEANED OUT AND REFILLED WITH CLEAN WATER.

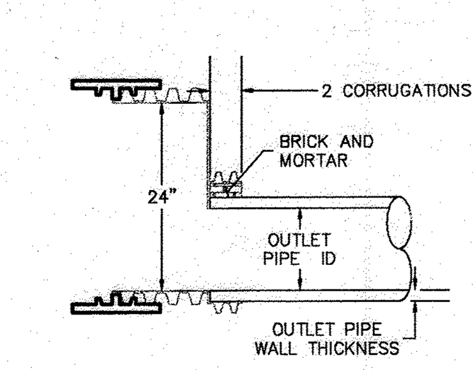
NOTE: DIMENSIONAL SHOP DRAWINGS ARE TO BE APPROVED BY THE DESIGN ENGINEER

REDUCER/ADAPTER DETAIL

FOR USE WITH OUTLET PIPES OTHER THAN HDPE
NOT TO SCALE



PLAN VIEW



SECTION AA

FOR REV 5 + REV 6

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO, 36725, EXPIRATION DATE: 2/26/2023

~~Reviewed for HOWARD SCD and meets Technical Requirements.~~

~~USDA – Natural Resources Conservation Service~~ ~~Date~~

~~This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT~~

~~Howard SCD~~ ~~Date~~

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development — Date 8/29/00

Chief, Development Engineering Division MK — Date 8/28/00

Director – Department of Planning and Zoning — Date 8/30/00

MICHAEL BAKER JR. INC.
Consulting Engineers
3601 Eisenhower Avenue,
Suite 600
Alexandria, Virginia 22304
703-960-8800

Baker
Michael Baker Jr., Inc.

OWNER / DEVELOPER

GATEWAY 44, LLC
C/O CORPORATE DEVELOPMENT SERVICES
8815 CENTRE PARK DRIVE, SUITE #400
COLUMBIA, MD 21045
(410) 992-7312

5 8/4/22 NEW PAVEMENT FOR UPDATED ADA PATH AND BUILDING ENTRANCE. ADDED CURB AND DRIVE AISLE, OUTDOOR SEATING AMENITIES, ELECTRIC VEHICLE CHARGING STATION, AND UPDATED ADA PARKING LOCATIONS
6 12/9/22 ADDED CANOPY + NEW STORM DRAIN

DESIGNED BY:	JAK
DRAWN BY:	PAB
CHECKED BY:	JVB
REVISIONS	

BAYSAVER STANDARD DETAIL

COLUMBIA GATEWAY PARCEL 'A'

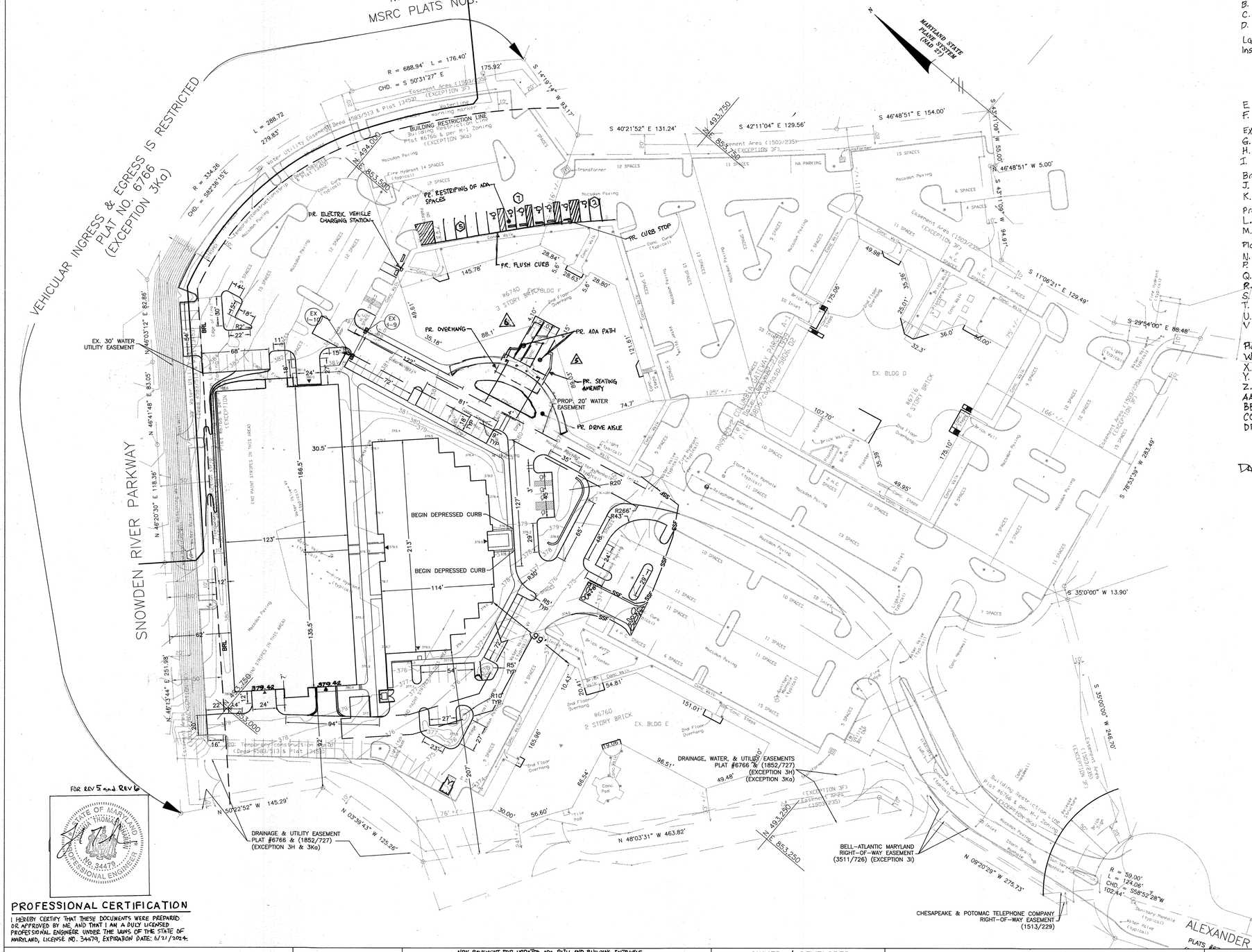
BUILDING 'G' AND PARKING STRUCTURE 'H'

HOWARD COUNTY, MD
SCALE: AS SHOWN
P.N. 05806

SUBSTITUTE
SHEET 4 OF 14

ELECTION DISTRICT #6
DATE: JAN. 19, 2000

SDP-00-39



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34479, EXPIRATION DATE: 6/21/2024.

FOREST CONSERVATION WORKSHEET FOR: SDP-00-039: Columbia Gateway, Parcel A1

Net Tract Area			
A. Total (Gross) Tract Area		A =	0.1
B. Area within 100-year Floodplain		B =	0.0
C. Other Deductions (Identify:)		C =	0.0
D. Net Tract Area		D =	0.1

Land Use Category
Insert the number "1" under the appropriate land use (limit to only one entry)

Resid. Rural LD	Resid. Rural MD	Resid. Suburban	Inst/ Linear	Retail/Ind./ Office	Mixed Use/ PUD
0	0	0	0	1	0

E. Afforestation Threshold	(Net Tract Area x	15%)	E=	0.0
F. Reforestation Threshold	(Net Tract Area x	15%	F =	0.0
Existing Forest Cover				
G. Existing Forest Cover within the Net Tract Area			G=	0.0
H. Area of Forest above Afforestation Threshold			H =	0.0
I. Area of Forest above Reforestation Threshold			I=	0.0
Break Even Point				
J. Break Even Point			J=	0.0
K. Forest Clearing Permitted Without Mitigation			K =	0.0
Proposed Forest Clearing				
L. Total Area of Forest to be Cleared			L=	0.0
M. Total Area of Forest to be Retained			M=	0.0
Planting Requirements Inside Watershed				
N. Reforestation for Clearing above the Reforestation Threshold			N =	0.0
P. Reforestation for Clearing below the Reforestation Threshold			P=	0.0
Q. Credit for Retention above the Reforestation Threshold			Q =	0.0
R. Total Reforestation Required			R =	0.0
S. Total Afforestation Required			S =	0.0
T. Total Reforestation and Afforestation Requirement			T=	0.0
U. 75% of Total Obligation (Retention + Planting)			U=	0.0
V Planting Required Onsite to meet 75% Obligation			V=	0.0
Planting Requirements Outside Watershed				
W. Total Planting within Development Site Watershed			W=	0.0
X. Total Afforestation Required			X=	0.0
Y. Remaining Planting within Watershed for Reforestation Credit			Y=	0.0
Z. Reforestation for Clearing above the Reforestation Threshold			Z=	0.0
AA. Reforestation for Clearing Below the Reforestation Threshold			AA =	0.0
BB. Credit for Retention above the Reforestation Threshold			BB=	0.0
CC. Total Reforestation Required			CC=	0.0
DD. Total Afforestation and Reforestation Requirement			DD=	0.0

Date 5-Jul-22 THE PROPOSED IMPROVEMENTS TO SDP-00-39 DATED 07/05/22 REDLINE DO NOT REQUIRE AN REFORESTATION/AFFORESTATION OBLIGATION, HOWEVER ANY FUTURE RED-LINES WILL INCLUDE THE LOD FROM THE 07/05/22 REDLINE.

Reviewed for HOWARD SCD and meets Technical Requirements.

USDA – Natural Resources Conservation Service — Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD — Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development — Date 2/3/00

Chief, Development Engineering Division MK — Date 1/27/00

Director – Department of Planning and Zoning — Date 2/4/00

Baker
Michael Baker Jr., Inc.
MICHAEL BAKER JR. INC.
Consulting Engineers
3601 Eisenhower Avenue, Suite 600
Alexandria, Virginia 22304
703-960-8800

STATE OF MARYLAND JOSHUA THOMAS MICHAEL No. 34479 PROFESSIONAL ENGINEER 1/19/00

1 8/09/2022 NEW PAVEMENT FOR UPDATED ADA PATH AND BUILDING ENTRANCE, ADDED CURB AND DRIVE AISLE OUTDOOR SEATING AMENITIES, ELECTRIC VEHICLE CHARGING STATION, AND UPDATED ADA PARKING LOCATIONS

2 12/09/2022 ADDED CANOPY & NEW STORMDRAIN

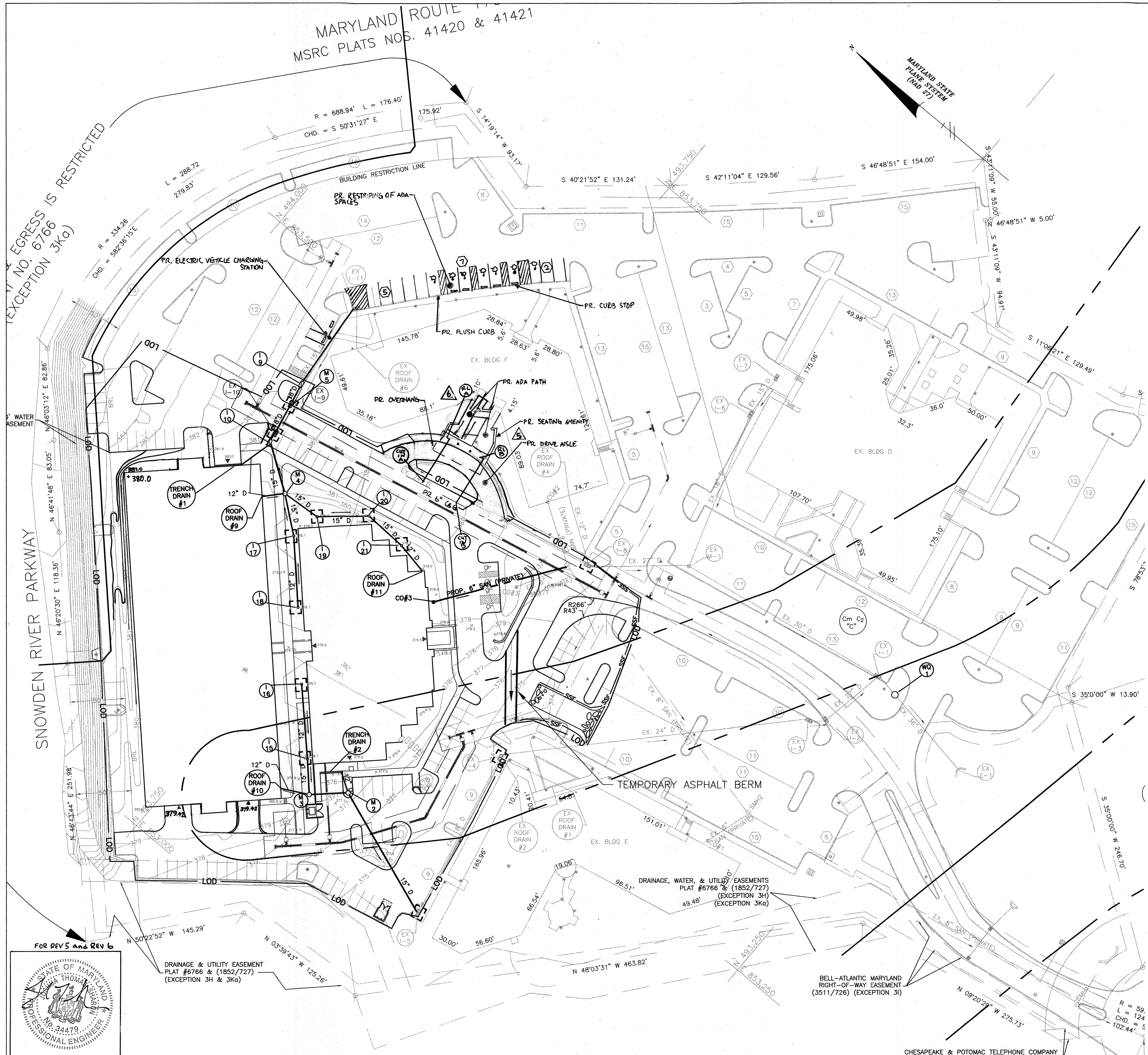
OWNER / DEVELOPER
GATEWAY 44, LLC
C/O CORPORATE DEVELOPMENT SERVICES
8815 CENTRE PARK DRIVE, SUITE #400
COLUMBIA, MD 21045
(410) 992-7312

DESIGNED BY:	JAK
DRAWN BY:	PAB
CHECKED BY:	MCB
REVISIONS	

EXISTING AND PROPOSED SITE DIMENSION
COLUMBIA GATEWAY PARCEL 'A1'
BUILDING 'G' AND PARKING STRUCTURE 'H'

HOWARD COUNTY, MD
SCALE: 1" = 50'
P.N. 05806
SHEET 5 OF 14
ELECTION DISTRICT #6
DATE: JAN. 19, 2000

SDP-00-39



FOR REV 5 and REV 6

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 34479, EXPIRATION DATE: 6/21/2024.

6 12/09/2022 ADDED CANOPY & NEW STORMDRAIN

5 8/04/2022 NEW PAVEMENT FOR UPDATED ADA PATH AND BUILDING ENTRANCE. ADDED CURB AND DRIVE AISLE, OUTDOOR SEATING AMENITIES, ELECTRIC VEHICLE CHARGING STATION, AND UPDATED ADA PARKING LOCATIONS

SEDIMENT CONTROL NOTES

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THTE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.
3. FOLLOWING INITAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
   a. 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
   b. 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 51), SOD (SEC 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THIER REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:
   - TOTAL AREA OF SITE 3.82 ACRES
   - AREA DISTURBED 3.82 ACRES
   - AREA TO BE ROOFED OR PAVED 2.82 ACRES
   - AREA TO BE VEGETATIVELY STABILIZED 1.00 ACRES
   - TOTAL CUT 1398 CU. YDS
   - TOTAL FILL 5134 CU. YDS
   - OFFSITE WASTE/BORROW AREA LOCATION MUST BE A SITE WITH ACTIVE GRADING PERMIT
8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.
10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORK DAY, WHICHEVER IS SHORTER.

LEGEND

PROPERTY LINE		AT GRADE INLET PROTECTION	
EXISTING CONTOURS		CURB INLET PROTECTION	
PROPOSED CONTOURS	10	EASEMENT	
EX. STORM DRAINS		PROP TEMPORARY ASPHALT BERM	
PROP. STORM DRAINS		SOIL TYPE DIVISION	
LIMIT OF DISTURBANCE	LOD	STABILIZED CONSTRUCTION ENTRANCE	S.C.E.
SUPER SILT FENCE	SSF		

Reviewed for HOWARD SCD and meets Technical Requirements. 1/27/00
USDA – Natural Resources Conservation Service — Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT. 1/27/00
Howard SCD — Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Division of Land Development — 2/3/00 — Date
Chief, Development Engineering Division MK — 1/27/00 — Date
Director – Department of Planning and Zoning — 2/4/00 — Date

Baker
MICHAEL BAKER JR. INC.
Consulting Engineers
3601 Eisenhower Avenue, Suite 600
Alexandria, Virginia 22304
703-960-8800
Michael Baker Jr., Inc.

ENGINEER'S CERTIFICATE
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
SIGNATURE OF ENGINEER — 1/19/00 — DATE
PRINT NAME BELOW SIGNATURE

OWNER / DEVELOPER
GATEWAY 44, LLC
C/O CORPORATE DEVELOPMENT SERVICES
8815 CENTRE PARK DRIVE, SUITE #400
COLUMBIA, MD 21045
(410) 992-7312

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
SIGNATURE OF DEVELOPER — 1/19/00 — DATE
PRINT NAME BELOW SIGNATURE

DESIGNED BY: JAK
DRAWN BY: PAB
CHECKED BY: MCB
REVISIONS

SEDIMENT AND EROSION CONTROL PLAN
COLUMBIA GATEWAY PARCEL 'A1'
BUILDING 'G' AND PARKING STRUCTURE 'H'

HOWARD COUNTY, MD
SCALE: 1" = 50'
P.N. 05806
SHEET 6 OF 14
ELECTION DISTRICT #6
DATE: JAN. 19, 2000

SDP-00-39

Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within seven calendar days for the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes greater than 3 horizontal to 1 vertical (3:1) and fourteen days for all other disturbed or graded areas on the projects site.

1. Permanent Seeding:

A. Soil Tests: Lime and fertilizer will be applied par soil tests results for sites greater than 5 acres. Soil tests will be done at completion of rough grading. Rates and analyses will be provided to the grading inspector as well as the contractor.

1. Occurrence of acid sulfate soils (grayish black color) will require covering with a minimum of 12 inches of clean soil with 6 inches minimum capping of top soil. No stockpiling of material is allowed. If needed, soil tests should be done before and after a 6 week incubation period to allow oxidation of sulfates.

B. Seedbed Preparation: Area to be seeded shall be loose and friable to a depth of at least 3 inches. The top layer shall be loosened by raking, disking or other acceptable means before seeding occurs. For sites less than 5 acres, apply 100 pounds of dolomitic limestone and 21 pounds of 10-20-20 fertilizer per 1,000 square feet. Harrow or disk lime and fertilizer into the soil to a depth of at least 3 inches on slopes flatter than 3:1.

C. Seeding: Apply 5-6 pounds per 1,000 square feet of tall fescue between February 1 and April 30 or between August 15 and October 31. Apply seed uniformly on a moist firm seedbed with a cyclone seeded drill, cultipacker seeder or hydroseeder (slurry includes seeds and fertilizer, recommended on steep slopes only). Maximum seed depth should be 1/4 inch in clayey soils and 1/2 inch in sandy soils when using other than the hydroseeder method. Irrigate if soil moisture is deficient to support adequate growth until vegetation is firmly established. If other seed mixes are to be used, select from Table 25, entitled Permanent Seeding For Low Maintenance Areas" from the 1994 Standards and Specifications for Soil Erosion and Sediment Control. Mixes suitable for this area are 1, 3 and 5-7. Mixes 5-7 are suitable in non-mowable situations.

D. Mulching: Mulch shall be applied to all seeded areas immediately after seeding. During the time periods when seeding is not permitted, mulch shall be applied immediately after grading. Mulch shall be unrotted, unchopped, small grain straw applied at a rate of 2 tons per acre or 10 pounds per 1,000 square feet (2 bales). If a mulch anchoring tool is used, apply 2.5 tones per acre. Mulch materials shall be relatively free of an kinds of weeds and shall be completely free of prohibited noxious weeds. Spread mulch uniformly, mechanically or by hand, to a depth of 1-2 inches.

E. Securing straw Mulch: Straw mulch shall be secured immediately following mulch application to minimize movement by wind or - water. The following methods are permitted:

(i) Use a mulch anchoring tool which is designed to punch and anchor mulch into the soil surface to a minimum depth of 2 inches. This is the most effective method for securing mulch, however, it is limited to relatively flat areas where equipment can operate safely.

(ii) Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. If mixed with water, use 50 pounds of wood cellulose fiber per 100 gallons of water.

(iii) Liquid binders may be used and applied heavier at the edges where wind catches mulch, such as in valleys and on crests of slopes. The remainder of the area should appear uniform after binder application. Binders listed in the 1994 Standards and Specifications for Soil Erosion and Sediment Control or approved equal shall be applied at rates recommended by the manufacturers.

(iv) Lightweight plastic netting may be used to secure mulch. The netting will be stapled to the ground according to manufacturer's recommendations.

Temporary Seeding:

Lime: 100 pounds of dolomitic limestone per 1,000 square feet.

Fertilizer:15 pounds of 10-10-10 per 1,000-square feet.

Seed: Perennial rye - 0.92 pounds per 1,000 square feet (February 1 through April 30 or August 15 through November 1).

Millet - 0.92 pounds Per 1,000 square feet (May 1 through August 15).

Mulch: Same as 1 D and E above.

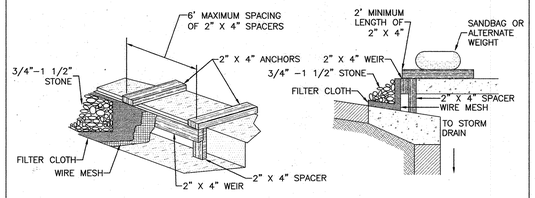
3. No fills may be placed on frozen ground. All fill to be placed in approximately horizontal layers, each layer having a loose thickness of not more than 8 inches. Any fill within the building area is to be compacted to a minimum of 95% as determined by methods previously mentioned. Fills for pond embankments shall be compacted as per MD-378 Construction Specifications. All other fills shall be compacted sufficiently so as to be stable and prevent erosion and slippage.

4. Permanent sod:

Installation of sod should follow permanent seeding dates. Permanent sod is to be tall fescue, state approved sod; lime and fertilizer per permanent seeding specifications and lightly irrigate soil prior to laying sod. Sod is to be laid on the contour with an ends tightly abutting. Joints are to be staggered between rows. Water and roll or tamp sod to insure positive root contact with the soil. All slopes steeper than 3:1, as shown, are to be permanently sodded or protected with an approved erosion control netting. Additional watering for establishment may be required. Sod is not to be applied on frozen ground. Sod shall not be harvested or transplanted when moisture content (dry or wet) and/or extreme temperature may adversely affect its survival. In the absence of adequate rainfall, irrigation should be performed to insure established sod.

NOTE: Use of this information does not preclude meeting all of the requirements of the "1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control.

DETAIL 23C - CURB INLET PROTECTION (COG OR COS INLETS)



MAX. DRAINAGE AREA = 1/4 ACRE

STANDARD SYMBOL: CIP

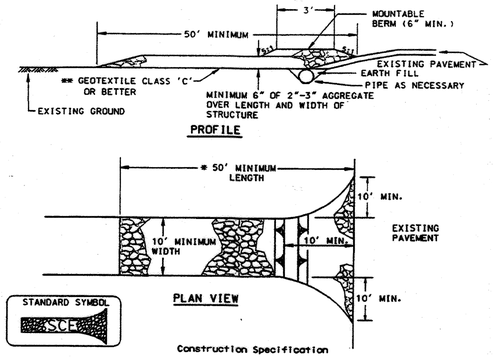
CONSTRUCTION SPECIFICATIONS

1. ATTACH A CONTINUOUS PIECE OF WIRE MESH (30" MINIMUM WIDTH BY THROAT LENGTH PLUS 4') TO THE 2" X 4" WEIR (MEASUREING THROAT LENGTH PLUS 2') AS SHOWN ON THE STANDARD DRAWING.
2. PLACE A CONTINUOUS PIECE OF GEOTEXTILES CLASS E THE SAME DIMENSIONS AS THE WIRE MESH OVER THE WIRE MESH AND SECURELY ATTACH IT TO THE 2" X 4" WEIR.
3. SECURELY NAIL THE 2" X 4" WEIR TO A 9" LONG VERTICAL SPACER TO BE LOCATED BETWEEN THE WEIR AND THE INLET FACE (MAX. 4' APART).
4. PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL (MINIMUM 2' LENGTHS OF 2" X 4" TO THE TOP OF THE WEIR AT SPACER LOCATIONS). THESE 2" X 4" ANCHORS SHALL EXTEND ACROSS THE INLET TOP AND BE HELP IN PLACE BY SANDBAGS OR ALTERNATE WEIGHT.
5. THE ASSEMBLY SHALL BE PLACED SO THAT THTE END SPACERS ARE A MINIMUM 1' BEYOND BOTH ENDS OFTHE THROAT OPENING.
6. FORM THE 1/2" X 1/2" WIRE MESH AND THE GEOTEXTILE FABRIC TO THE CONCRETE GUTTER AND AGAINST THE FACE FO THE CURB ON BOTH SIDES OF THE INLET. PLACE CLEAN 3/4" X 1 1/2" STONE OVER THE WIRE MESH AND GEOTEXTILE IN SUCH A MANNER TO PREVENT WATER FROM ENTERING THE INLET UNDER OR AROUND THE GEOTEXTILE.
7. THIS TYPE OF PROTECTION MUST BE INSPECTED FREQUENTLY AND THE FILTER CLOTH AND STONE REPLACE WEN CLOGGED WITH SEDIMENT.
8. ASSURE THAT STORM FLOW DOES NOT BYPASS THE INLET BY INSTALLING A TEMPORARY EARTH PR ASPHALT DIKE TO DIRECT THE FLOW TO THE INLET.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E-16-5B	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

1994

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



STANDARD SYMBOL: SCE

Construction Specification

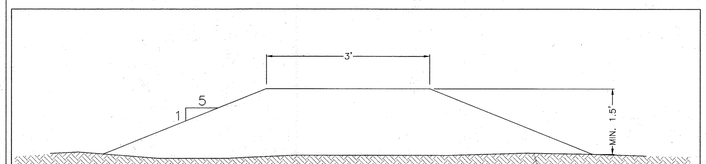
1. Length - minimum of 50' (*30' for single residence lot).
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE F-17-8	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

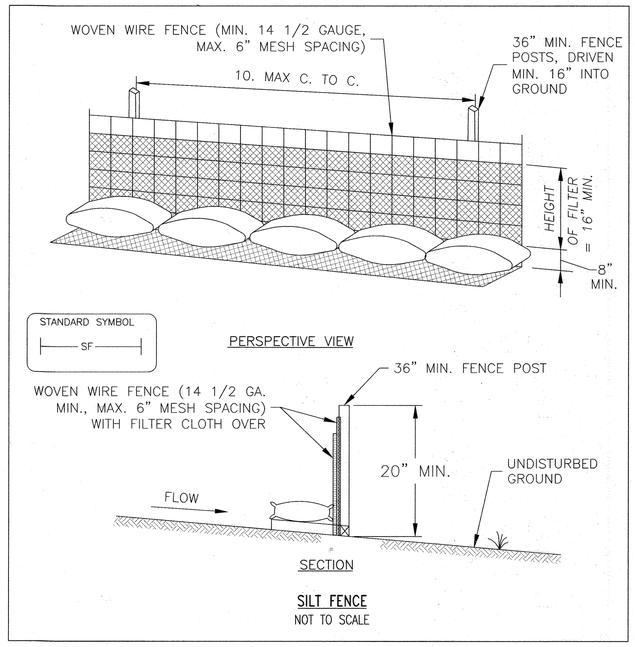
1994

SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT.
(2 DAYS) 2. NOTIFY HOWARD COUNTY DEPARTMENT OF INSPECTIONS, PERMIT INSPECTOR 48 HOURS PRIOR TO BEGINNING WORK.
(1 DAY) 3. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
(3 DAYS) 4. INSTALL TEMPORARY ASPHALT BERM.
(20 DAYS) 5. INSTALL STORM DRAINS AND OTHER UTILITIES. PROVIDE ADEQUATE PROTECTION FOR ALL INLETS. BLOCK ROOF DRAINS UNTIL CONTRIBUTING DRAINAGE AREAS ARE PERMANENTLY STABILIZED.
(12 DAYS) 6. BEGIN MAJOR GRADING.
(2 DAYS) 7. STABILIZE AREAS NOT RECEIVING PAVING.
(14 DAYS) 8. FINE GRADE AND INSTALL SUBBASE MATERIAL IN PARKING AND BUILDING AREAS.
(7 DAYS) 9. FINE GRADE ANY REMAINING AREAS AND STABILIZE.
(3 DAYS) 10. AFTER OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE THE REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE.



TEMP ASPHALT BERM
NOT TO SCALE



SILT FENCE
NOT TO SCALE

FOR REVS + REV6

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 36725, EXPIRATION DATE: 2/26/2023.

6 12-09-2022 ADDED CANOPY + NEW STORMDRAIN
5 8/09/2022 NEW PAVEMENT FOR UPDATED ADA PATH AND BUILDING ENTRANCE. ADDED CURB AND BANK AISLE, OUTDOOR SEATING AMENITIES, ELECTRIC VEHICLE CHARGING STATION, AND UPDATED ADA PARKING LOCATIONS.

Reviewed for HOWARD SCD and meets Technical Requirements
USDA - Natural Resources Conservation Service — Date 1/23/00

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Howard SCD — Date 1/27/00

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Division of Land Development — Date 2/3/00
Chief, Development Engineering Division MK — Date 1/27/00
Director - Department of Planning and Zoning — Date 2/4/00

Baker
Michael Baker Jr., Inc.
MICHAEL BAKER JR. INC.
Consulting Engineers
3601 Eisenhower Avenue, Suite 600
Alexandria, Virginia 22304
703-960-8800

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

MITCHELL C. BERNSTEIN, P.E.
MICHAEL BAKER, JR., INC.
1/10/00 DATE

OWNER / DEVELOPER

GATEWAY 44, LLC
C/O CORPORATE DEVELOPMENT SERVICES
8815 CENTRE PARK DRIVE, SUITE #400
COLUMBIA, MD 21045
(410) 992-7312

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

STANLEY A. LINK, SENIOR VICE PRESIDENT
CORPORATE DEVELOPMENT SERVICES
1/19/00 DATE

DESIGNED BY:	JAK
DRAWN BY:	PAB
CHECKED BY:	MCB
REVISIONS	

SEDIMENT AND EROSION CONTROL NOTES AND DETAILS

COLUMBIA GATEWAY PARCEL 'A1'

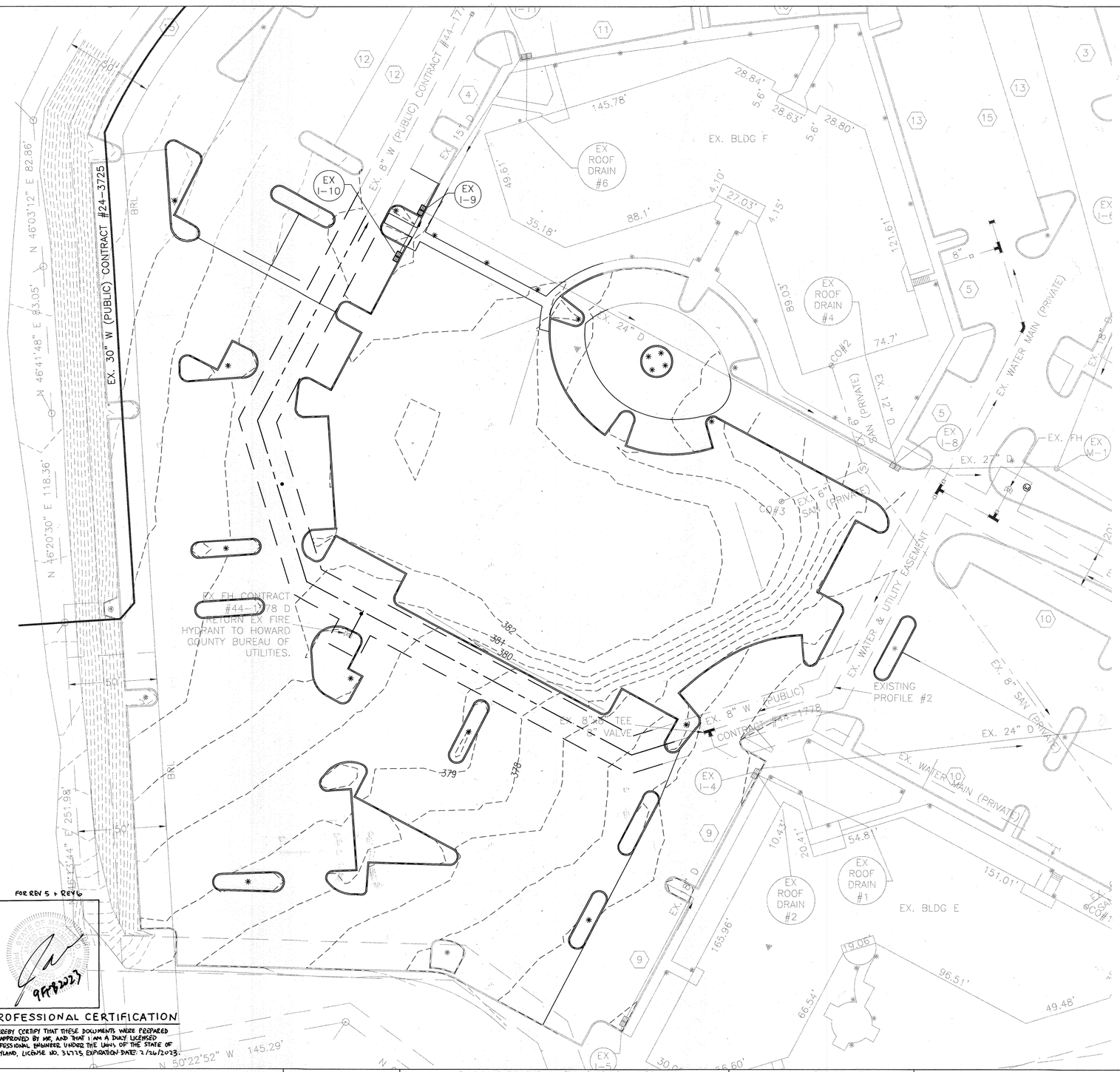
BUILDING 'G' AND PARKING STRUCTURE 'H'

HOWARD COUNTY, MD
SCALE: AS SHOWN
P.N. 05806

SHEET 7 OF 14

ELECTION DISTRICT #6
DATE: JAN. 19, 2000

SDP-00-39



LEGEND

- PROPERTY LINE
- EXISTING CONTOURS TO BE REMOVED
- LIMIT OF DISTURBANCE — LOD —
- EXISTING WATER LINE TO BE REMOVED
- EXISTING EASEMENT TO BE ABANDONED
- EXISTING LIGHTING TO BE REMOVED *

FOR REV 5 + REV 6

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 36775, EXPIRATION DATE: 2/26/2023.

Reviewed for HOWARD SCD and meets Technical Requirements.

USDA – Natural Resources Conservation Service — Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD — Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Cindy Hiratta — Chief, Division of Land Development — Date 2/3/00

Chief, Development Engineering Division MK — Date 1/27/00

Director – Department of Planning and Zoning — Date 2/4/00

Baker
Michael Baker Jr., Inc.

MICHAEL BAKER JR. INC.
Consulting Engineers
3601 Eisenhower Avenue,
Suite 600
Alexandria, Virginia 22304
703-960-8800

STATE OF MARYLAND — NO. 19918 — REGISTERED PROFESSIONAL ENGINEER — 1/19/00

5 8/04/2022 NEW PAVEMENT FOR UPDATED ADA PATH AND BUILDING ENTRANCE ADDED CURB AND DRIVE AISLE, OUTDOOR SEATING AMENITIES, ELECTRIC VEHICLE CHARGING STATION, AND UPDATED ADA PARKING LOCATIONS

6 12/09/2022 ADDED CANOPY + NEW STORMDRAIN

OWNER / DEVELOPER

GATEWAY 44, LLC
C/O CORPORATE DEVELOPMENT SERVICES
8815 CENTRE PARK DRIVE, SUITE #400
COLUMBIA, MD 21045
(410) 992-7312

DESIGNED BY:	JAK
DRAWN BY:	PAB
CHECKED BY:	MCB
REVISIONS	

SITE DEMOLITION PLAN

COLUMBIA GATEWAY PARCEL 'A1'

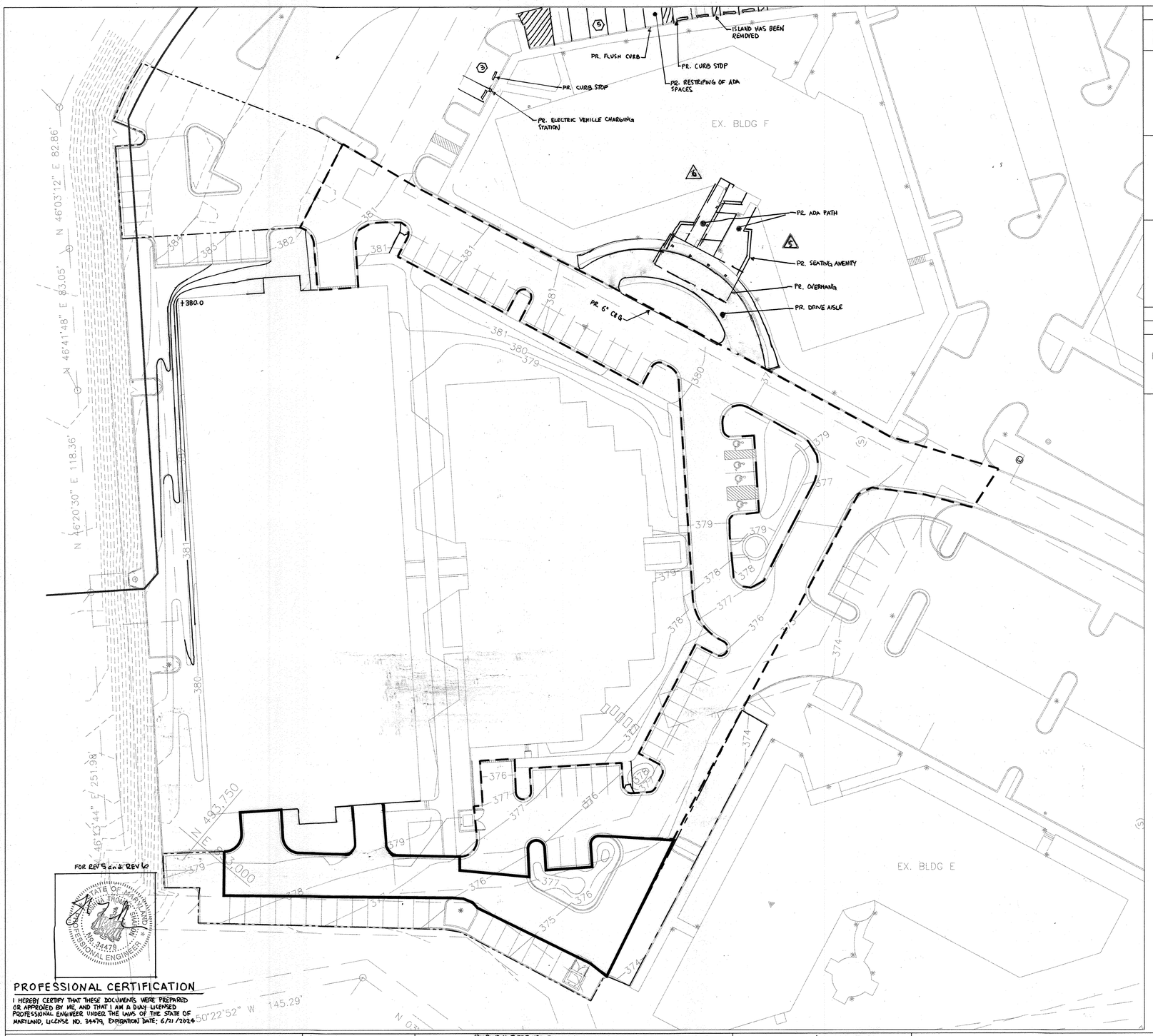
BUILDING 'G' AND PARKING STRUCTURE 'H'

HOWARD COUNTY, MD
SCALE: 1" = 30'
P.N. 05806

SHEET 8 OF 14

ELECTION DISTRICT #6
DATE: JAN. 19, 2000

SDP-00-39



SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRANULAR BASE ALTERNATES
P–1	PARKING BAYS APARTMENTS AND COMMERCIAL–INDUSTRIAL ZONES WITH NO HEAVY TRUCKS TRAVELWAYS FOR APARTMENTS AND COMERCIAL INDUSTRIAL ZONES WITH NO HEAVY TRUCK	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE	1" BIT. CONC. SURFACE 2" BIT. CONC. BASE 4" GRADED AGGREGATE BASE (GAB)
P–2	RESIDENTIAL ZONES LOCAL, CUL–DE–SAC STS, ALLEYS AND PRIVATE ROADS SERVING INDIVIDUAL LOTS TRAVELWAYS APARTMENTS AND COMMERCIAL–INDUSTRIAL XONES WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY*	1 1/2" BIT. CONC. SURFACE 5" BIT. CONC. BASE	1 1/2" BIT. CONC. SURFACE 2 1/2" BIT. CONC. BASE 6" GRADED AGGREGATE BASE (GAB)
P–3	RESIDENTIAL ZONES MINOR AND MAJOR COLLECTORS COMMERCIAL–INDUSTRIAL ZONES LOCAL AND CUL–DE–SAC STREETS ALLEYS TRAVELWAYS APARTMENTS AND COMMERCIAL–INDUSTRIAL ZONES WITH MORE THAN 10 HEAVY TRUCKS PER DAY*	1 1/2" BIT. CONC. SURFACE 1 1/2" BIT. CONC. BASE 5" BIT. CONC. BASE	1 1/2" BIT. CONC. SURFACE 4 1/2" BIT. CONC. BASE 5" GRADED AGGREGATE BASE (GAB)

*TRAVELWAYS ARE DEFINED AS THE ROADWAYS LEADING TO THE PARKING BAYS.

*HEAVY TRUCKS ARE DEFINED AS THOSE WITH 6 WHEEL OR MORE INCLUDING GARBAGE TRUCKS.

REV. OCT 1990
REV. JAN 1989
REV. JUN 1982

HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved _____ Chief–Bureau of Engineering
1-12-81 Date

PAVING SECTIONS
P–1 THROUGH P–4

DRAWN BY W.T. BALLARD
CHECKED BY J.L.R.
NO SCALE
R–2.01

LEGEND

PROPERTY LINE
EXISTING CONTOURS 4 5
PROPOSED CONTOURS 10
P1 PAVING SECTION
P2 PAVING SECTION
P3 PAVING SECTION

FOR REVISION REVIEW

STATE OF MARYLAND — MICHAEL CHRISTOPHER BAKER — NO. 34479 — PROFESSIONAL ENGINEER

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34479, EXPIRATION DATE: 6/21/2024

Reviewed for HOWARD SCD and meets Technical Requirements.

USDA – Natural Resources Conservation Service — Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD — Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development — Date 2/3/00

Chief, Development Engineering Division MK — Date 1/27/00

Director – Department of Planning and Zoning — Date 2/4/00

Baker
Michael Baker Jr., Inc.

MICHAEL BAKER JR. INC.
Consulting Engineers
3601 Eisenhower Avenue,
Suite 600
Alexandria, Virginia 22304
703–960–8800

STATE OF MARYLAND — JOHN REGISTERED — NO. 19019 — PROFESSIONAL ENGINEER — 1/11/00

5 8/04/2022 NEW PAVEMENT FOR UPDATED ADA PATH AND BUILDING ENTRANCE, ADDED CURB AND DRIVE AISLE, OUTDOOR SEATING AMENITIES, ELECTRIC VEHICLE CHARGING STATION, AND UPDATED ADA PARKING LOCATIONS.

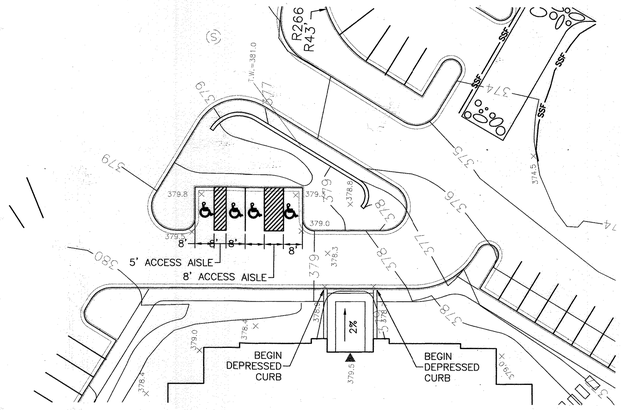
6 12/09/2022 ADDED CANOPY & NEW SIDEWALK

OWNER / DEVELOPER
GATEWAY 44, LLC
C/O CORPORATE DEVELOPMENT SERVICES
8815 CENTRE PARK DRIVE, SUITE #400
COLUMBIA, MD 21045
(410) 992–7312

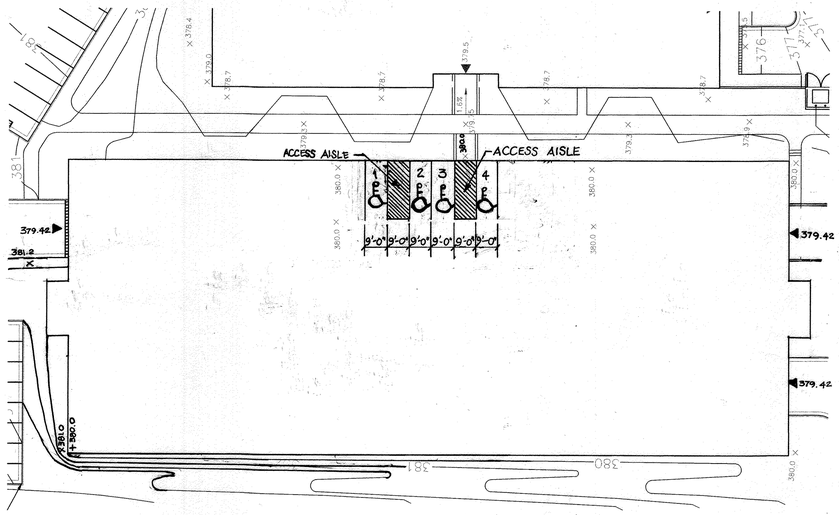
DESIGNED BY:	JAK
DRAWN BY:	PAB
CHECKED BY:	MCB
REVISIONS	

SITE PAVING SECTIONS
COLUMBIA GATEWAY PARCEL 'A1'
BUILDING 'G' AND PARKING STRUCTURE 'H'
HOWARD COUNTY, MD
SCALE: 1" = 50'
P.N. 05806
SHEET 9 OF 14
ELECTION DISTRICT #6
DATE: JAN. 19, 2000

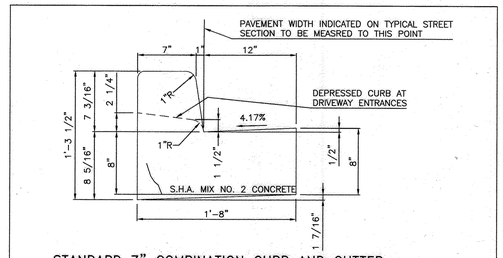
SDP–00–39



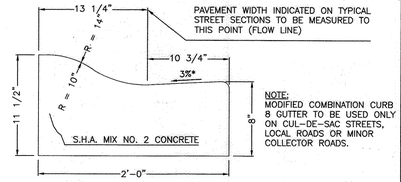
DETAIL 'A'
SCALE: 1" = 30'



DETAIL 'B'
SCALE: 1" = 30'



STANDARD 7" COMBINATION CURB AND GUTTER



NOTE:
MODIFIED COMBINATION CURB & GUTTER TO BE USED ONLY ON CUL-DE-SAC STREETS, LOCAL ROADS OR MINOR COLLECTOR ROADS.

MODIFIED COMBINATION CURB AND GUTTER

* GUTTER PLAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT. MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB AND GUTTER.

POLICY REV. JUL 1995
REV. JAN 1989
REV. JUN 1987
REV. MAR 1986

HOWARD COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS	COMBINATION CURB AND GUTTER	DRAWN BY W.T. BALLARD
Approved [signature] 11-28-91 Chief-Bureau of Engineering		CHECKED BY J.L.R.
		NO SCALE
		R-301

FOR REV 5 + REV 6

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 36725, EXPIRATION DATE: 2/26/2023.

Reviewed for HOWARD SCD and meets Technical Requirements.

USDA – Natural Resources Conservation Service — Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD — Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development — Date 2/3/00

Chief, Development Engineering Division MK — Date 1/27/00

Director – Department of Planning and Zoning — Date 2/4/00

Baker
Michael Baker Jr., Inc.
MICHAEL BAKER JR. INC.
Consulting Engineers
3601 Eisenhower Avenue,
Suite 600
Alexandria, Virginia 22304
703-960-8800

MICHAEL CHARLES BERNSTEIN No. 21618 PROFESSIONAL ENGINEER 11/9/00

5	8/04/2022	NEW PAVEMENT FOR UPDATED ADA PATH AND BUILDING ENTRANCE. ADDED CURBS AND DRIVE AISLE, OUTDOOR SEATING AMENITIES, ELECTRIC VEHICLE CHARGING STATION, AND UPDATED ADA PARKING LOCATIONS.
6	12/09/2022	ADDED CANOPY + NEW STORMDRAIN

OWNER / DEVELOPER

GATEWAY 44, LLC
C/O CORPORATE DEVELOPMENT SERVICES
8815 CENTRE PARK DRIVE, SUITE #400
COLUMBIA, MD 21045
(410) 992-7312

DESIGNED BY:	JAK
DRAWN BY:	PAB
CHECKED BY:	MCB
REVISIONS	

HANDICAP PARKING PLANS AND DETAILS

COLUMBIA GATEWAY PARCEL 'A1'

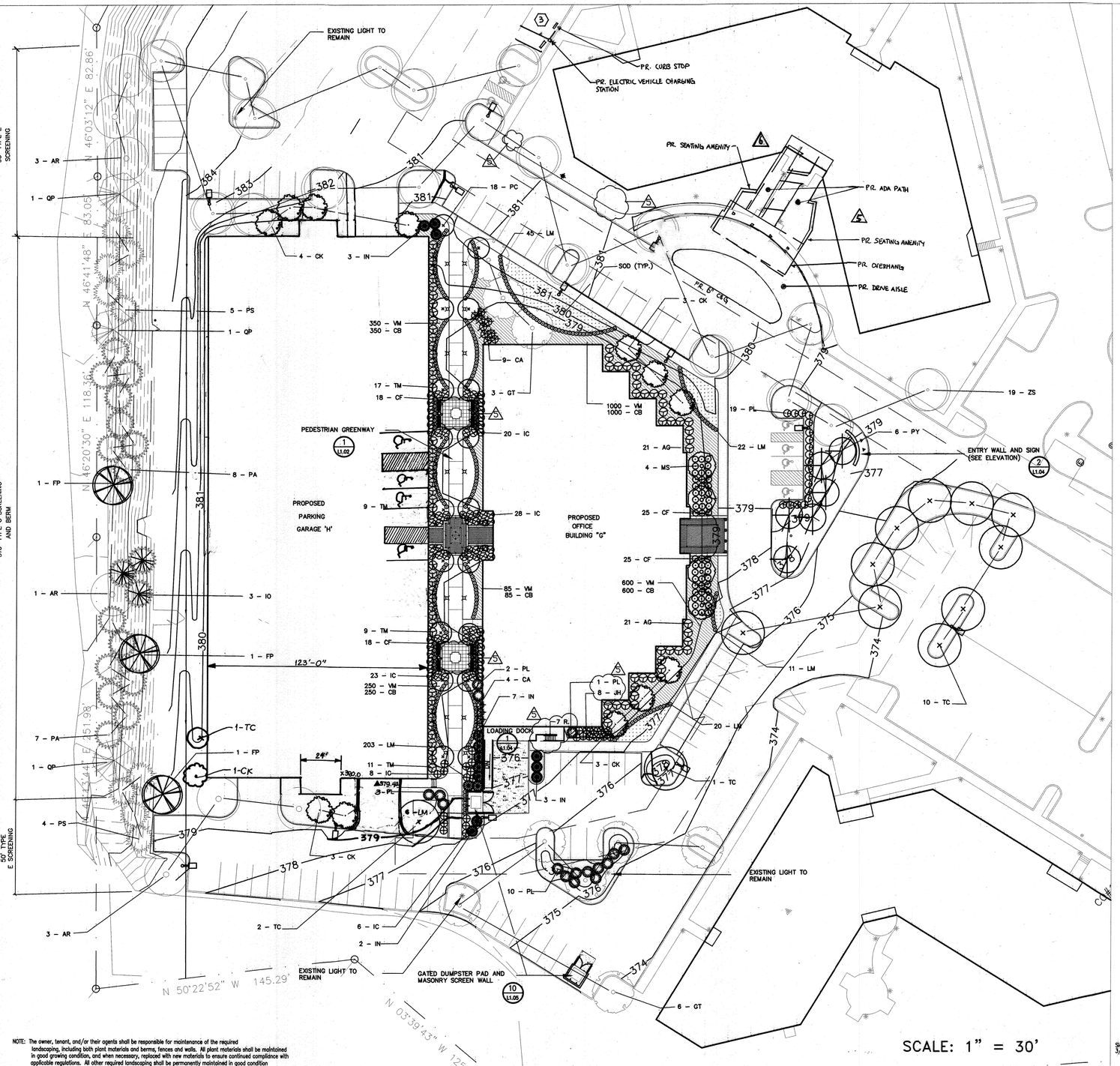
BUILDING 'G' AND PARKING STRUCTURE 'H'

HOWARD COUNTY, MD
SCALE: AS SHOWN
P.N. 05806

SHEET 10 OF 14

ELECTION DISTRICT #6
DATE: JAN. 19, 2000

SDP-00-39



NOTE: The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition and when necessary, repaired or replaced.

SCALE: 1" = 30'

LANDSCAPE NOTES

1. THIS SHEET IS FOR LANDSCAPING PURPOSES ONLY. REFER TO CIVIL AND AND ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO STARTING LANDSCAPE WORK.
3. PLANT SPACING AND QUANTITIES SHALL BE AS SHOWN ON THE PLANS.
4. THIS SITE IS EXEMPT FROM THE FOREST CONSERVATION ORDINANCE IN ACCORDANCE WITH SECTION 16.1202(b)(2)(v).
5. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
6. LANDSCAPING WILL MEET H.R.D. ALTERNATE LANDSCAPING STANDARDS. LANDSCAPE BONDING WILL BE BASED ON COUNTY REQUIREMENTS ONLY.
7. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF $ 8,310.00

SCHEDULE A
PERIMETER LANDSCAPE EDGE
ADJACENT TO ROADWAYS

Landscape Type:	C	E
Linear Feet of Roadway Frontage/ Perimeter	310 L.F.	145 L.F.
Credit For Existing Vegetation	NO	NO
Credit for Wall, Fence or Berm	NO (SEE COMMENT)	YES (SEE COMMENT)
Number of Plants Required		
Shade Trees	8	4
Evergreen Trees	16	0
Shrubs	0	37
Number of Plants Provided		
Shade Trees	5	4
Evergreen Trees	24	3
Other Trees (2:1 Substitution)	0	0
Shrubs (10:1 Substitution)	0	0

Type C Comment: Applicant waives credit for existing berm.
Type E Comment: Applicant requests 30% credit & waiver of shrubs for ex. berm.

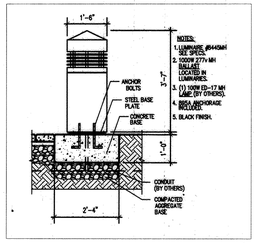
NOTE: NO INCREASE IN PARKING LOT LIGHTING IS PROPOSED
EXISTING LIGHTS WILL BE RELOCATED AS INDICATED
ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 134 OF THE ZONING REGULATIONS.

LANDSCAPE SCHEDULE

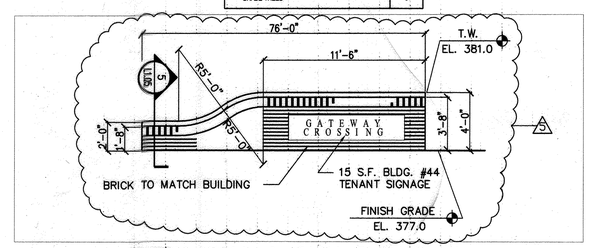
QTY	SYM	BOTANICAL NAME	COMMON NAME	MIN. SIZE	CONDITION
SHADE TREES:					
9	GT	Gleditsia triacanthos inermis 'Imperial'	IMPERIAL THORNLESS HONEYLOCUST	3" cal.	B&B
3	QP	Quercus phellos	WILLOW OAK	3" cal.	B&B
19	ZS	Zelkova serrata 'Green Vase'	GREEN VASE ZELKOVA	3" cal.	B&B
7	AR	Acer rubrum 'October Glory'	OCTOBER GLORY RED MAPLE	3" cal.	B&B
3	FP	Fraxinus penn. 'Patmore'	PATMORE'S GREEN ASH	3" cal.	B&B
13	TO	Tilia cordata 'Greenspire'	GREENSPIRE LITTLELEAF LINDEN	3" cal.	B&B
ORNAMENTAL TREES:					
6	PY	Prunus yeodensis	YOSHINO CHERRY	2" cal., 10'-12'	B&B
18	PC	Prunus cerasifera 'Thundercloud'	THUNDERCLOUD PLUM	2" cal., 10'-12'	B&B
4	MS	Magnolia stellata	STAR MAGNOLIA	2" cal., 10'-12'	B&B
13	CK	Cornus kousa	KOUSA DOGWOOD	2" cal., 10'-12'	B&B
EVERGREEN TREES:					
3	IO	Ilex opaca	AMERICAN HOLLY	2" CAL., 8'-10'	B&B 2 FEMALE, 1 MALE
9	PS	Pinus strobis	EASTERN WHITE PINE	2" CAL., 8'-10'	B&B SINGLE LEADER
15	PA	Picea abies	NORWAY SPRUCE	2" CAL., 8'-10'	B&B SINGLE LEADER
SHRUBS:					
12	PF	Photinia x fraseri	FRASERS PHOTINIA	36" - 42" ht.	B&B
80	IC	Ilex crenata 'Green Lustre'	GREEN LUSTRE HOLLY	30" - 36" ht.	B&B
42	AG	Abelia grandiflora	GLOSSY ABELIA	30" - 36" ht.	B&B
68	CF	Cotoneaster salicifolius 'Repens'	WILLOWLEAF COTONEASTER	24" spd.	CONT.
36	PL	Prunus laurocerasus 'Schipkaensis'	SKIP CHERRYLAUREL	36" ht.	B&B, HEAVY
13	CA	Clethra alnifolia	SUMMERSWEET CLETHRA	36" ht.	B&B
15	IN	Ilex 'Nellie R. Stevens'	NELLIE STEVENS HOLLY	6' ht.	B&B, HEAVY
9	JH	Juniperus h. 'Prince of Wales'	PRINCE OF WALES JUNIPER	18" - 24" spd.	CONT.
46	TM	Taxus media 'Hicksii'	HICK'S YEW	30" - 36" HT.	B&B
GROUNDCOVERS:					
2285	CB	Crocus sp.	MIXED GIANT CROCUS	TOP-SIZE	BULB
2285	VM	Vinca minor	PERWINKLE	1 GAL.	CONT., 12" o.c.
307	LM	Liriope muscari 'Big Blue'	BIG BLUE LIRIOPE	1 gal.	CONT.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

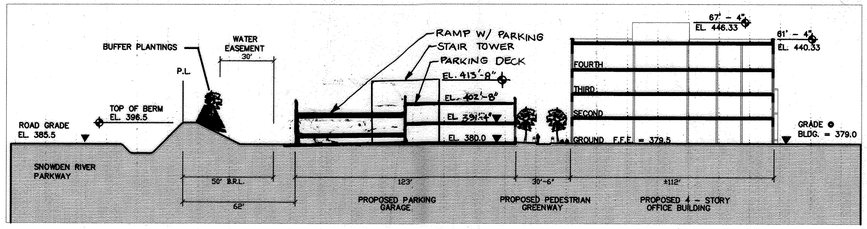
NUMBER OF PARKING SPACES	70
NUMBER OF TREES REQUIRED	4
NUMBER OF TREES PROVIDED:	
SHADE TREES	18
SHADE TREES	0



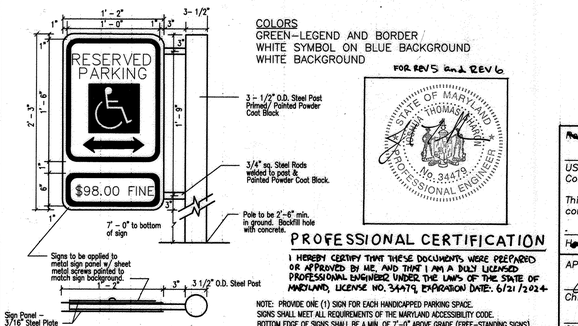
LIGHT BOLLARD
NOT TO SCALE



ENTRY WALL & SIGN ELEVATION
NOT TO SCALE



SCHEMATIC ELEVATION THRU SITE
NOT TO SCALE



STANDARD R7-8 RESERVED PARKING SIGN

COLORS
GREEN—LEGEND AND BORDER
WHITE SYMBOL ON BLUE BACKGROUND
WHITE BACKGROUND

FOR REVS and REV 6

NOTE: PROVIDE ONE (1) SIGN FOR EACH HANDICAPPED PARKING SPACE. SIGNS SHALL MEET ALL REQUIREMENTS OF THE MARYLAND ACCESSIBILITY CODE. BOTTOM EDGE OF SIGNS SHALL BE A MIN. OF 7'-0" ABOVE GRADE (FREE-STANDING SIGNS) AND 6'-0" ABOVE ADJACENT SURFACE (BUILDING-MOUNTED SIGN). SIGN TO UTILIZE AN ALUMINUM BLANK 6" X 12" X 0.080 INCH THICK WITH TWO SINGLE POST MOUNTING HOLES. BACKGROUND TO BE REFLECTIVE WHITE AND TEXT 3" CHARACTERS.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34479, EXPIRATION DATE: 6/21/2024.

Reviewed for HOWARD SCD and meets Technical Requirements.

USDA – Natural Resources Conservation Service — Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD — Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development — Date 2/3/00

Chief, Development Engineering Division MK — Date 1/27/00

Director - Department of Planning and Zoning — Date 2/4/00

Baker
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Consulting Engineers
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703-960-8800

MICHAEL JOHN MARTIN No. 19018 PROFESSIONAL ENGINEER 1/19/00

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6 12/09/2022 ADDED CANOPY & NEW STORMDRAIN

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(410) 992-7312

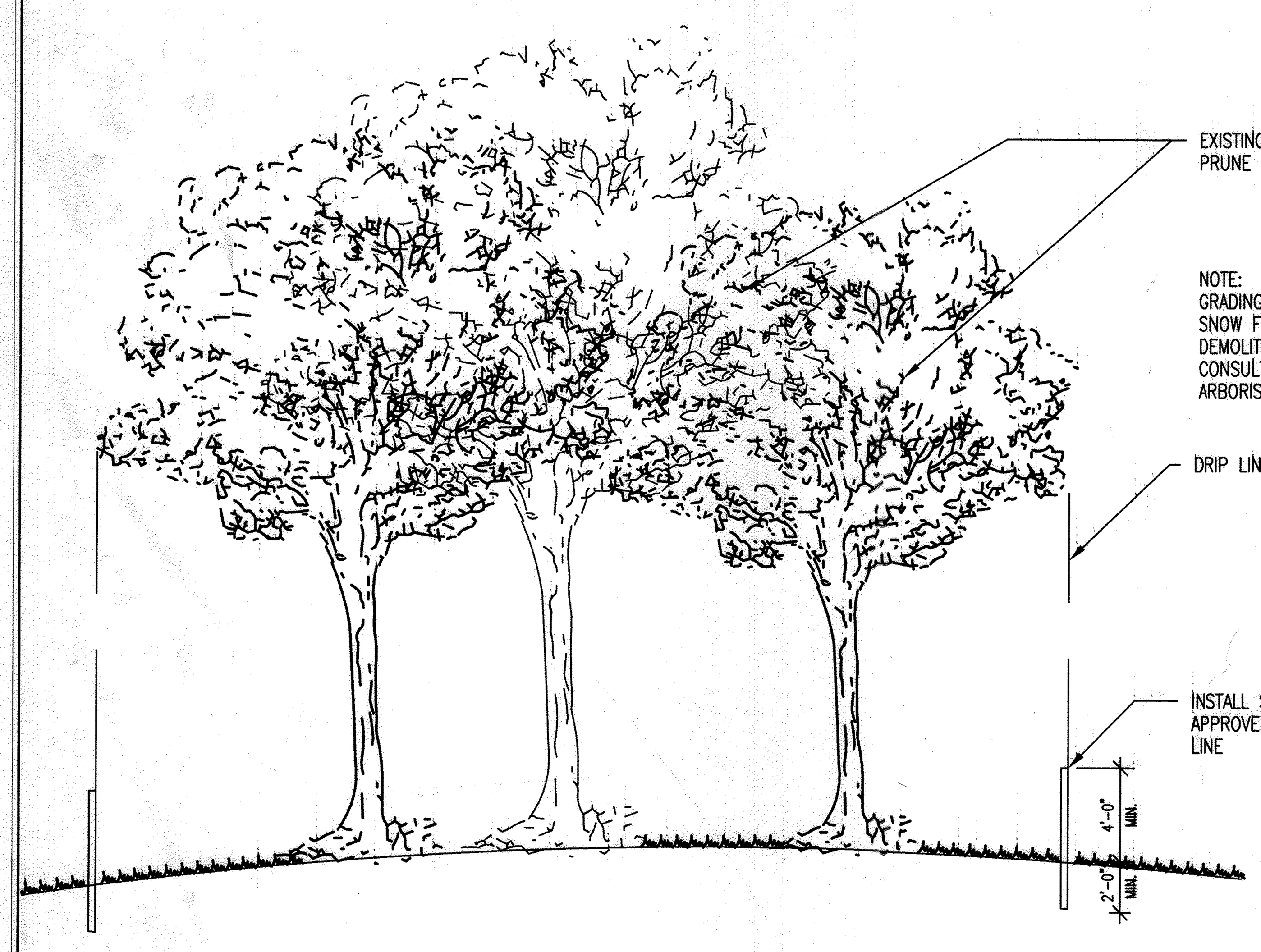
DEVELOPER'S CERTIFICATE
I/ WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/ WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER: Stanley A. Lwc DATE: 1/19/00

DESIGNED BY:	MJM
DRAWN BY:	JDR
CHECKED BY:	MJM
REVISIONS	
10-20-99 – Rouse Sub.	

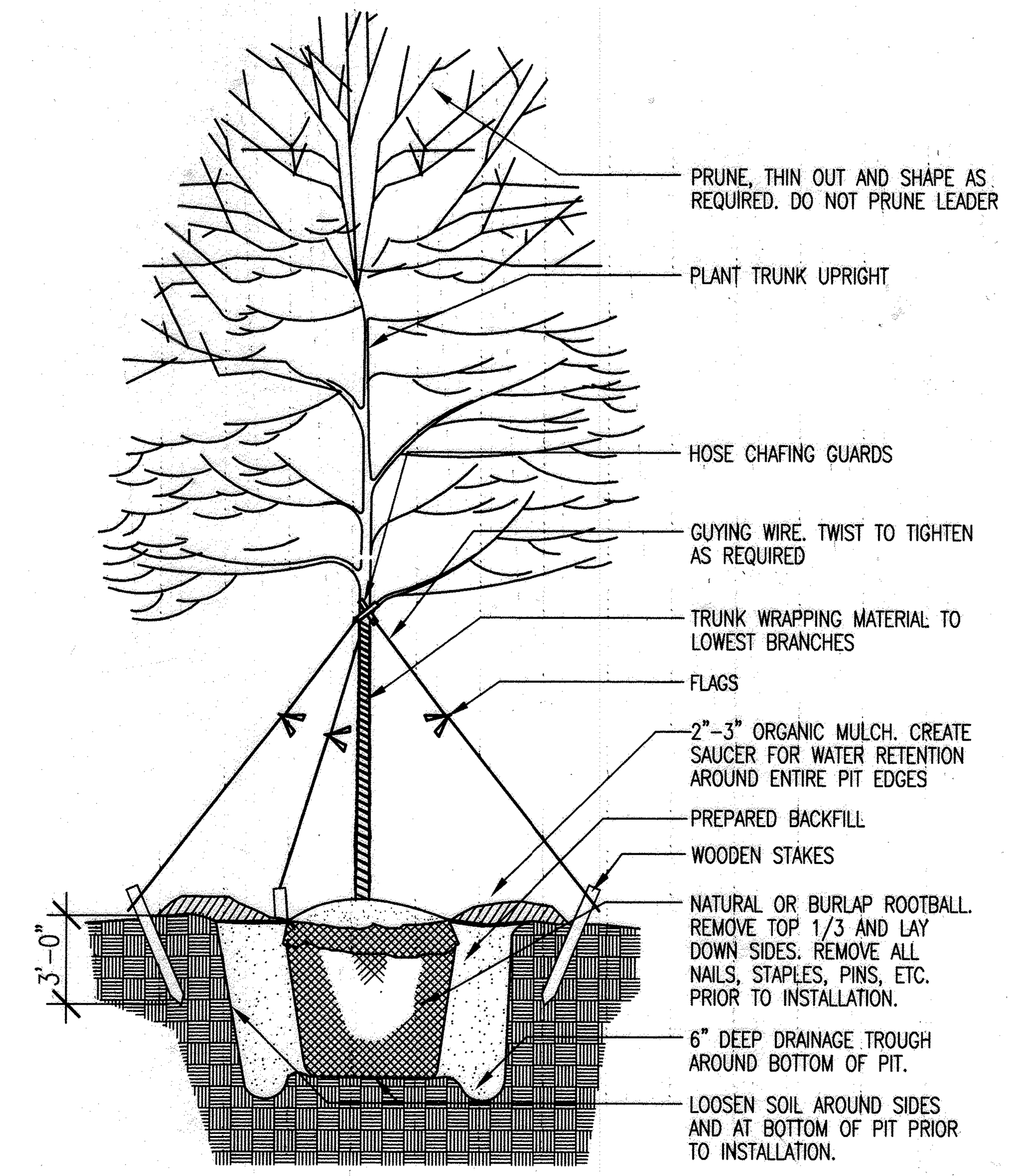
LANDSCAPE & LIGHTING PLAN
COLUMBIA GATEWAY PARCEL 'A1'
BUILDING 'G' AND PARKING STRUCTURE 'H'
HOWARD COUNTY, MD
SCALE: AS NOTED
P.N. 05806
SHEET 11 OF 14
ELECTION DISTRICT #6
DATE: JAN. 19, 2000

SDP-00-39



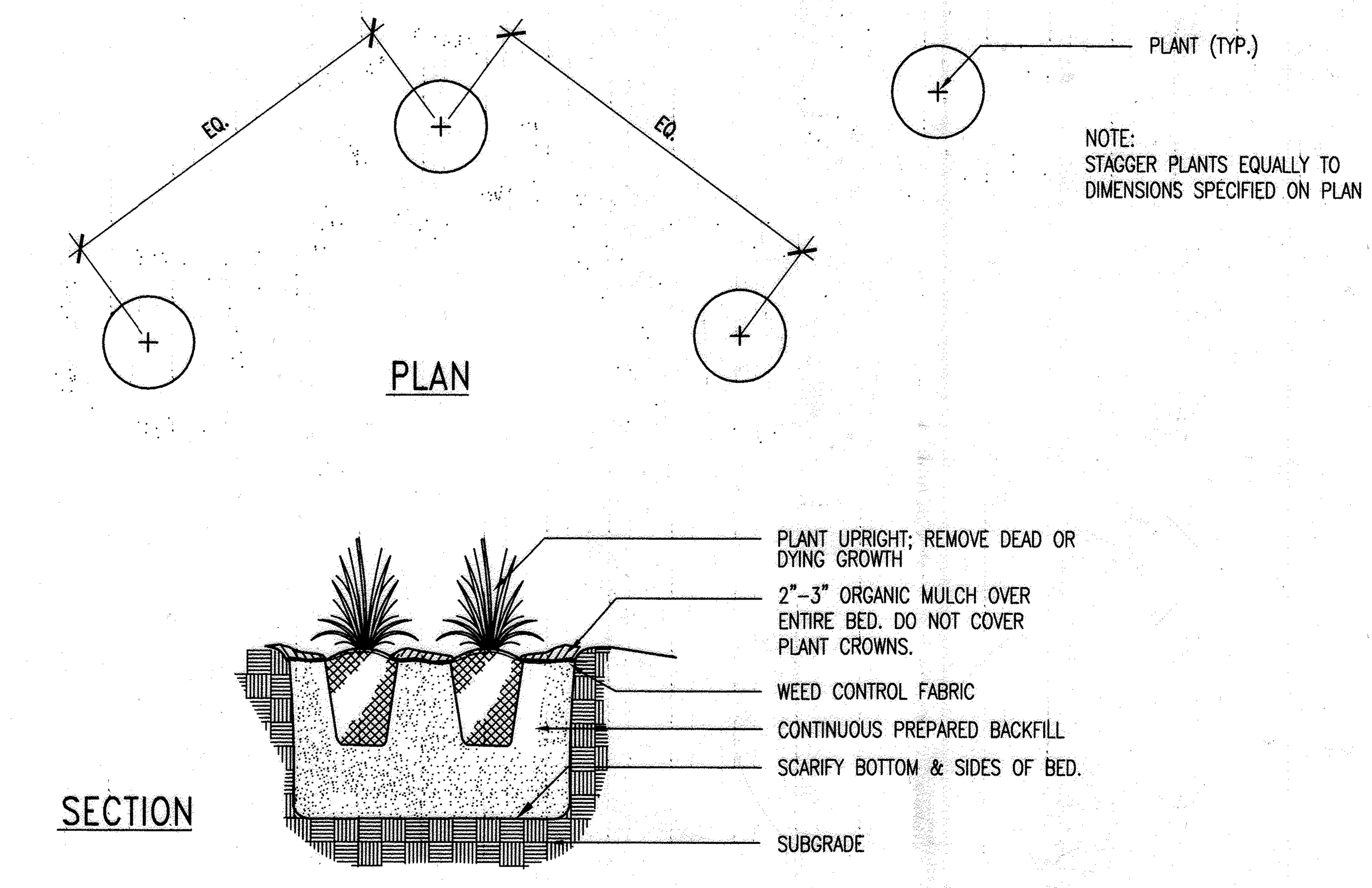
TREE PROTECTION DETAIL

N.T.S.



TYP. DETAIL – MULTI – STEM TREE PLANTING

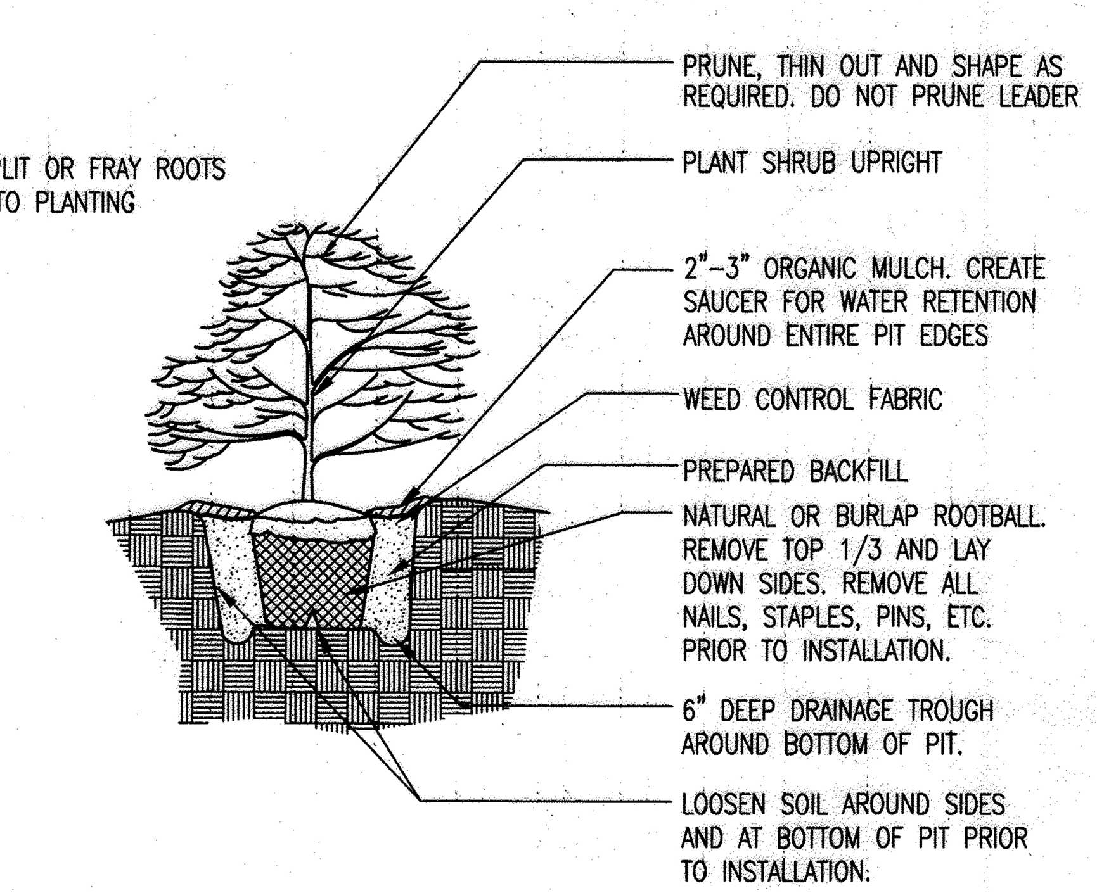
N.T.S.



TYP. DET. – GROUND COVER PERENNIAL PLANTING

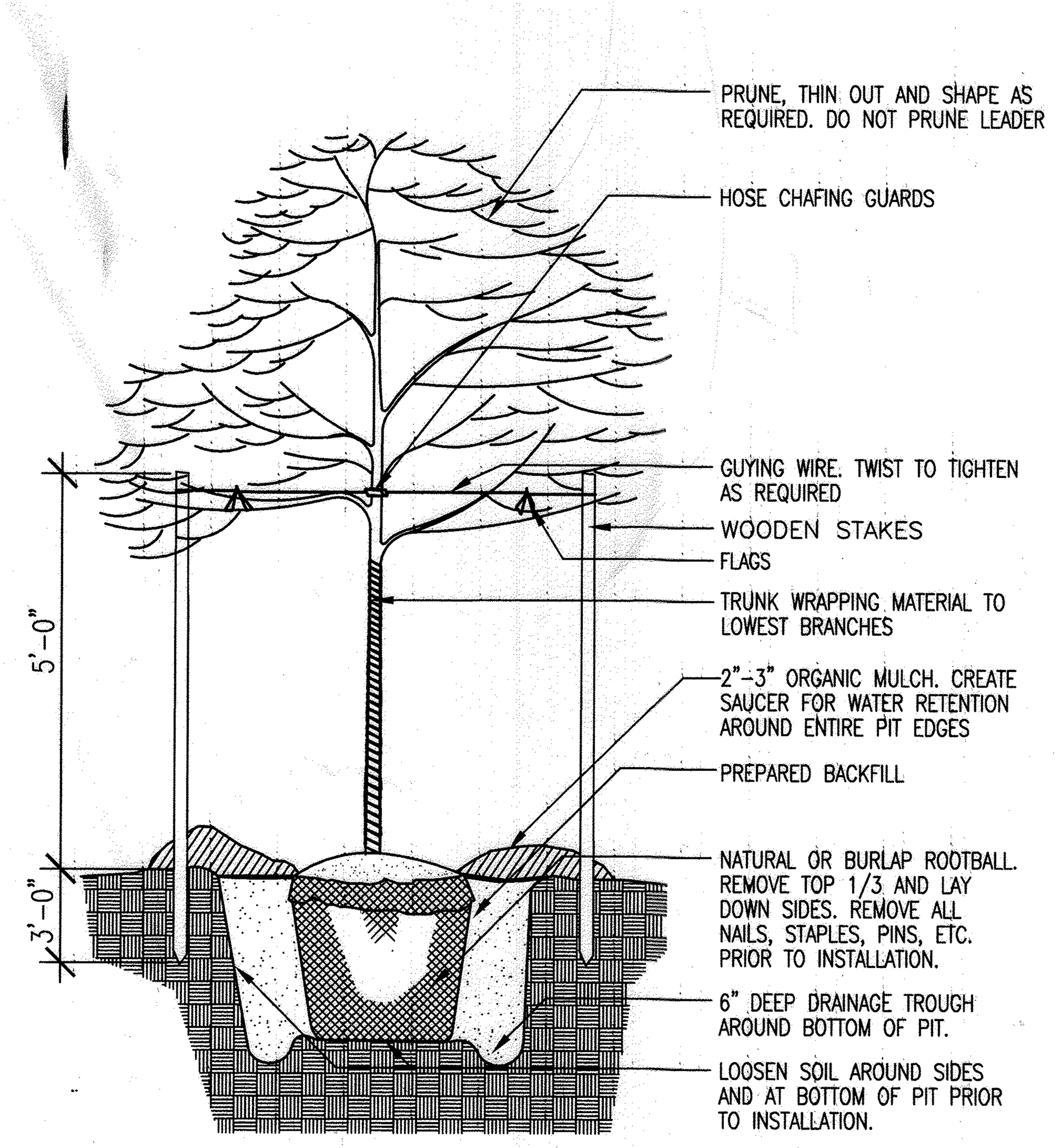
N.T.S.

NOTE:
REMOVE CONTAINER AND SPLIT OR FRAY ROOTS OF POTTED PLANTS PRIOR TO PLANTING



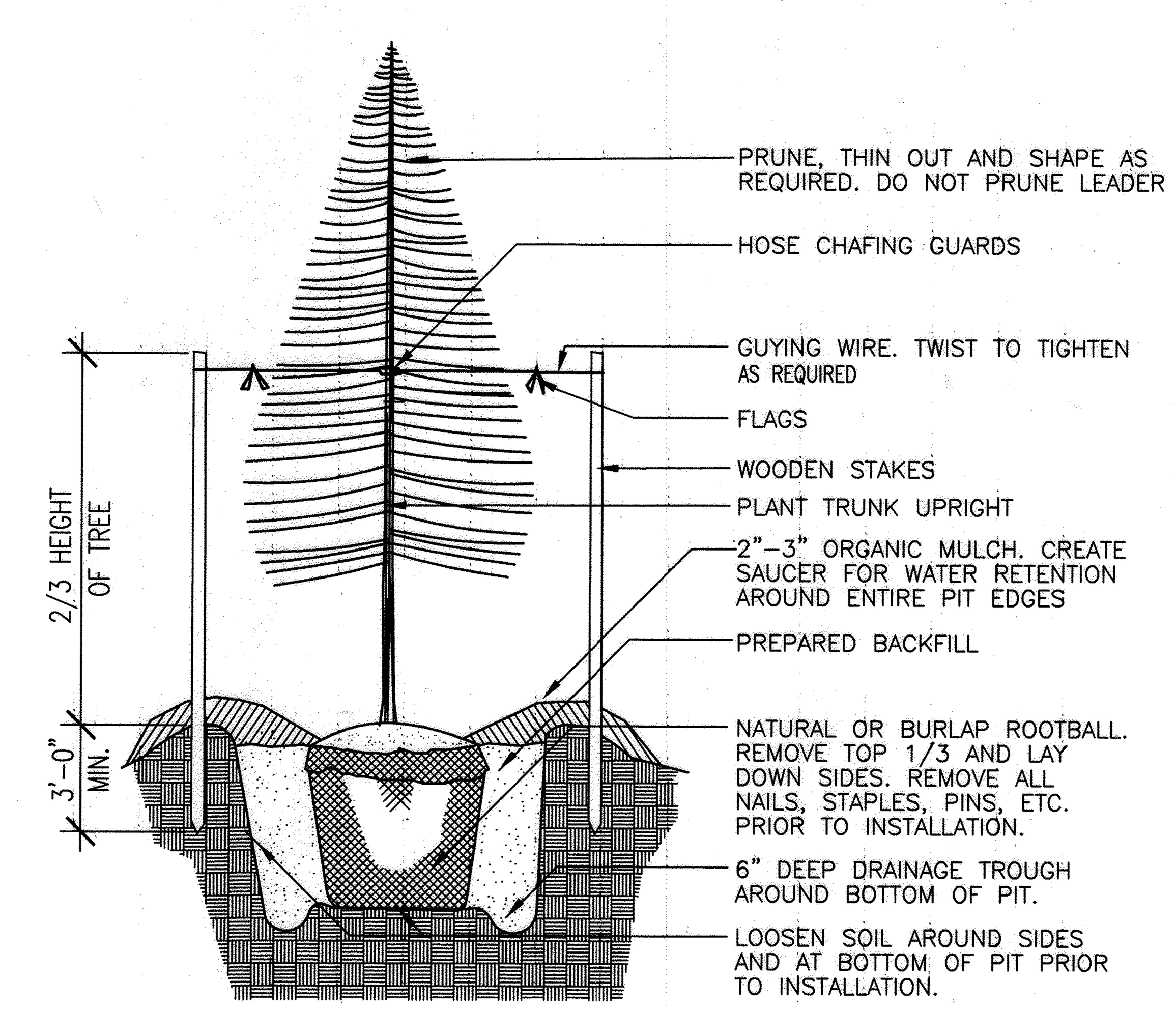
TYP. DETAIL – SHRUB PLANTING

N.T.S.



TYP. DETAIL – SINGLE TRUNK TREE PLANTING

N.T.S.



TYP. DETAIL – EVERGREEN TREE PLANTING

N.T.S.

FOR REV 5 + REV 6

9 FEB 2023

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 36725, EXPIRATION DATE: 2/26/2023.

Reviewed for HOWARD SCD and meets Technical Requirements.

USDA – Natural Resources Conservation Service — Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD — Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development — Date 2/3/00

Chief, Development Engineering Division MK — Date 1/27/00

Director – Department of Planning and Zoning — Date 2/4/00

Baker
Michael Baker Jr., Inc.

MICHAEL BAKER JR. INC.
Consulting Engineers
3601 Eisenhower Avenue,
Suite 600
Alexandria, Virginia 22304
703-960-8800

1/18/00

Rev.	Date	Description
5	8/04/2022	NEW PAVEMENT FOR UPDATED ADA PATH AND BUILDING ENTRANCE ADDED CURB AND DRIVE AISLE, OUTDOOR SEATING AMENITIES, ELECTRIC VEHICLE CHARGING STATION, AND UPDATED ADA PARKING LOCATIONS
6	12/09/2022	ADDED CANOPY + NEW STORMDRAIN

OWNER / DEVELOPER

GATEWAY 44, LLC
C/O COPORATE DEVELOPMENT SERVICES
8815 CENTRE PARK DRIVE, SUITE #400
COLUMBIA, MD 21045
(410) 992-7312

DEVELOPER'S CERTIFICATE

I/ WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/ WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER: ____________ DATE: 1/19/00

DESIGNED BY:	MJM
DRAWN BY:	JDR
CHECKED BY:	MJM
REVISIONS	

LANDSCAPE DETAILS

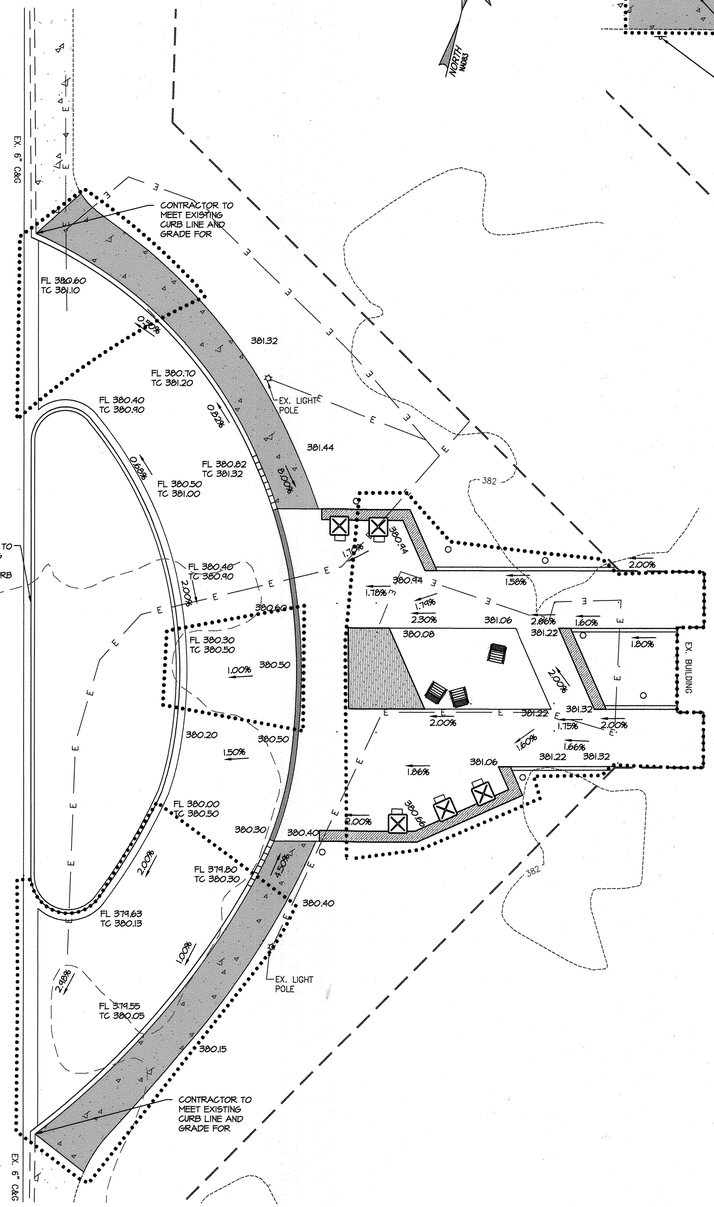
COLUMBIA GATEWAY PARCEL 'A1'

BUILDING 'G' AND PARKING STRUCTURE 'H'

HOWARD COUNTY, MD
SCALE: AS NOTED
P.N. 05806

ELECTION DISTRICT #6
DATE: JAN. 19, 2000

SDP-00-39

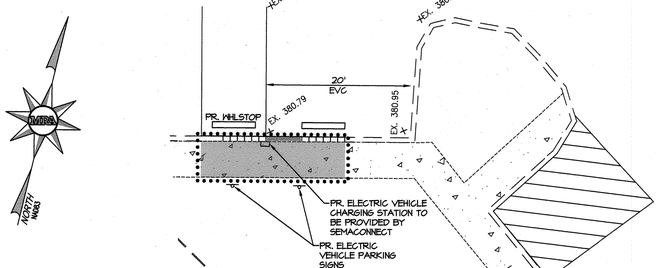


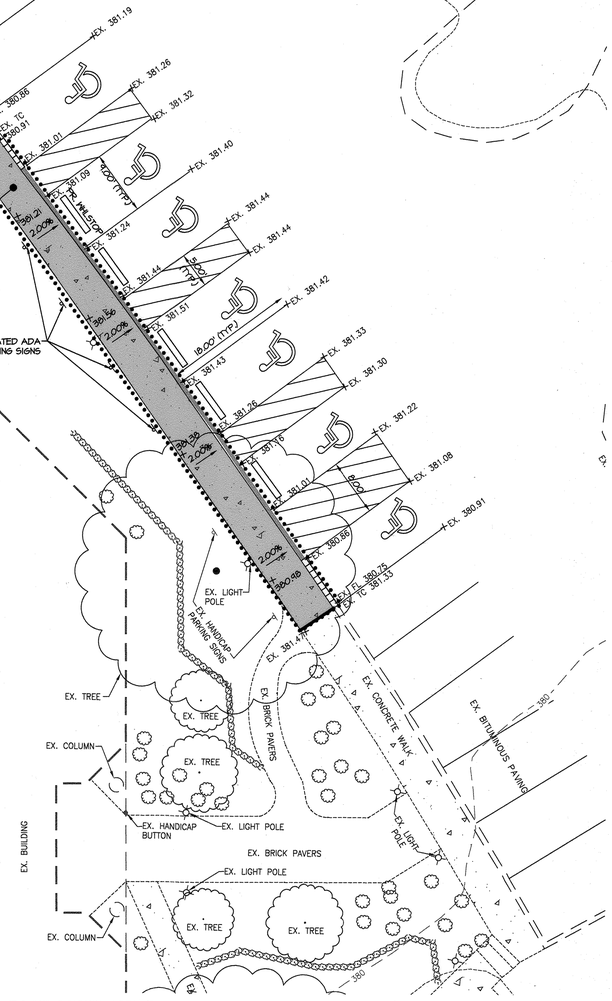
WEST COURTYARD

SCALE: 1" = 10'

10 0 10 20 30

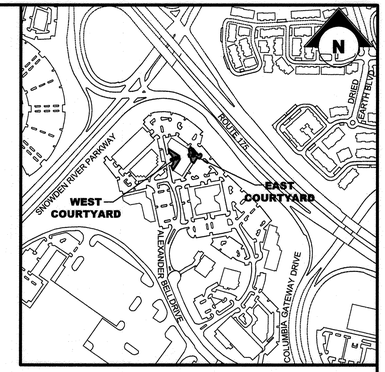
SCALE 1" = 10'





EAST COURTYARD

SCALE: 1" = 10'

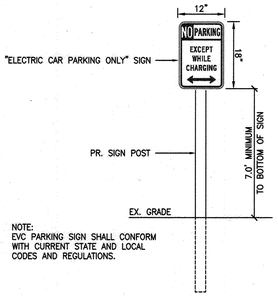


VICINITY MAP

SCALE: 1" = 500'

LEGEND

- EX. 2' CONTOUR
- EX. 10' CONTOUR
- EX. BUILDING
- EX. CURB
- EX. EDGE OF SIDEWALK
- EX. UNDERGROUND ELECTRIC
- PR. BUILDING OVERHANG
- PR. PAVEMENT MARKING
- PR. CURB
- PR. FLUSH CURB
- PR. EDGE OF SIDEWALK
- PR. PAVERS
- PR. SIDEWALK
- PR. SEATING



NOTE:
EVC PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS.

EVC SIGN DETAIL

NOT TO SCALE

LIMIT OF DISTURBANCE = 3,900 S.F. OR 0.09 AC.

PURPOSE FOR REDLINE

TO ADD A NEW VEHICULAR DROP OFF AT A REFINED ENTRY TO THE BUILDING. TO ADD ADDITIONAL ADA PARKING AND AN ELECTRICAL VEHICLE CHARGER AND SPACES TO THE REAR ENTRY.

GENERAL NOTE

THE CORRECTNESS OR COMPLETENESS OF EXISTING INFORMATION SHOWN ON THE DRAWINGS IS NOT WARRANTED OR GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND UNDERGROUND FACILITIES, BY TEST PITS OR OTHER METHODS APPROVED BY THE OWNER'S REPRESENTATIVE, AS REQUIRED TO VERIFY EXACT LOCATIONS AND DEPTHS WITHIN THE LIMIT OF DISTURBANCE. ALL DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND THAT VERIFIED IN THE FIELD SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.

DEVELOPER CERTIFICATION:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGGING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER NAME: COPT Development & Construction Services
W. Thomas Fahs
Director, Development & Construction
DATE 9/6/22

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 9.15.22

CHIEF, DIVISION OF LAND DEVELOPMENT — DATE 9/19/22

DIRECTOR, PLANNING AND ZONING — DATE 9-20-22

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34479, EXPIRATION DATE: 06/21/2024.

OWNER

GATEWAY 44, LLC
9711 COLUMBIA GATEWAY DRIVE
COLUMBIA, MARYLAND 21046

DESIGN & DRAWING BASED ON MARYLAND COORDINATE SYSTEM (MCS): HORIZONTAL NAD 83 (1991) VERTICAL NAVD 88

MRA
MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
1220-B EAST JOPPA ROAD, SUITE 400K
TOWSON, MARYLAND 21286
(410) 821-1690
FAX: (410) 821-1748
MRAGTA.COM

STATE OF MARYLAND — THOMAS JOSEPH MENTKOWSKI — No. 34479 — PROFESSIONAL ENGINEER

Revised Site Development Plan
COLUMBIA GATEWAY PARCEL 'A-1'
GRADING PLAN

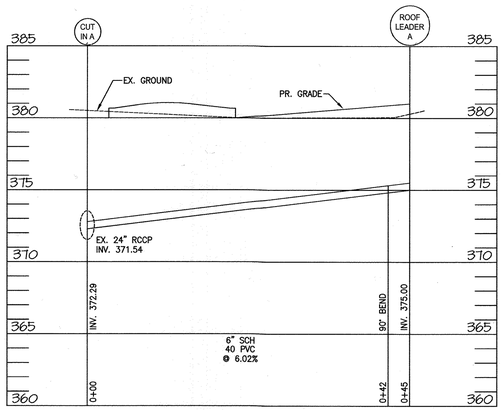
REV 5 + REV 6

6TH ELECTION DISTRICT | HOWARD COUNTY | 2ND COUNCILMANIC DISTRICT

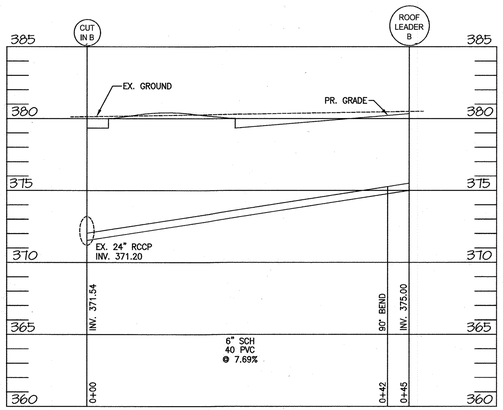
DATE	REVISIONS
	5 NEW PAVEMENT FOR UPDATED ADA PATH AND BUILDING ENTRANCE, ADDED CURB AND DRIVE AISLE ENTRANCE, ELECTRIC VEHICLE CHARGING STATION, AND UPDATED ADA PARKING LOCATIONS
12-09-2022	6 ADDED CANOPY + NEW STORM DRAIN

JOB NO.:	21234
SCALE:	AS SHOWN
DATE:	06/16/2022
DRAWN BY:	JMA
DESIGN BY:	JMA
REVIEW BY:	JB
SHEET:	13 OF 14

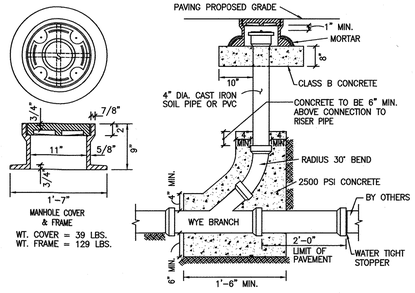
SDP-00-39



STORM DRAIN PROFILE
SCALE: H: 1"=10'
V: 1"=5'



STORM DRAIN PROFILE
SCALE: H: 1"=10'
V: 1"=5'



CLEAN-OUT IN PAVER DETAIL
NOT TO SCALE

PURPOSE FOR REDLINE

TO ADD A NEW VEHICULAR DROP OFF AT A REFINED ENTRY TO THE BUILDING. TO ADD ADDITIONAL ADA PARKING AND AN ELECTRICAL VEHICLE CHARGER AND SPACES TO THE REAR ENTRY.

GENERAL NOTE

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DEVELOPER NAME: Corporate Office Properties Trust DATE 1/13/23

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 1.30.23

CHIEF, DIVISION OF LAND DEVELOPMENT AND RESEARCH — DATE 2/2/23

DIRECTOR — DATE 2/2/23

PROFESSIONAL CERTIFICATION

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MRAGTA.COM

Revised Site Development Plan
COLUMBIA GATEWAY PARCEL 'A-1'
STORM DRAIN PROFILES & DETAILS

6TH ELECTION DISTRICT HOWARD COUNTY 2ND COUNCILMANIC DISTRICT

DATE	REVISIONS
12/9/22	Added canopy and new storm drain

JOB NO.: 21234
SCALE: AS SHOWN
DATE: 06/16/2022
DRAWN BY: JMA
DESIGN BY: JMA
REVIEW BY: JB
SHEET: 14 OF 14