

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF CONSTRUCTION INSPECTION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE WORKING DAYS BEFORE STARTING WORK SHOWN ON THE PLANS.
 - MISS UTILITY 1-800-257-7777
 - C&P TELEPHONE COMPANY 725-9976
 - HOWARD COUNTY BUREAU OF UTILITIES 313-4900
 - AT&T CABLE LOCATION DIVISION 393-3553
 - BALTIMORE GAS & ELECTRIC CO. 685-0923
 - STATE HIGHWAY ADMINISTRATION 531-5533

4. PROJECT BACKGROUND:
 LOCATION: APRIL BROOK CIRCLE, 500' NORTH OF DRIED EARTH BOULEVARD
 TAX MAP: 37 PARCEL: 255 ZONING: NT - SINGLE FAMILY ATTACHED
 TOTAL TRACT AREA: 5.90 AC.
 SECTION AREA: 4/2
 NUMBER OF PROPOSED LOTS: 67 BUILDABLE & 1 OPEN SPACE
 APPROVED AND DPZ REFERENCE: S 93-16, F 90-53, P 94-16, F 95-25, SDP 95-40, W.P. 75-132

- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- TOPOGRAPHY SHOWN IS AT TWO FOOT CONTOUR INTERVALS AND WAS TAKEN FROM F75-25 & SDP 75-40
- HORIZONTAL AND VERTICAL CONTROLS WERE ESTABLISHED USING HOWARD COUNTY CONTROL POINTS 36A AND 37R.
- LIGHT POLES AND FIXTURES FOR STREET LIGHTS SHALL BE IN ACCORDANCE WITH THE LATEST HOWARD COUNTY DESIGN MANUAL, VOLUME III, ROADS AND BRIDGES.
- WATER AND SEWER FOR THIS PROJECT IS PUBLIC AND WILL BE CONSTRUCTED UNDER CONTRACT NUMBER 24-3484D. THE SYSTEM IS WITHIN THE LITTLE PATENT DRAINAGE AREA.
- STORMWATER MANAGEMENT PROVIDED BY F 95-25
- THE FLOODPLAIN STUDY WAS PREPARED BY CLARK, FINEROCK & SACKETT, INC. AS APPROVED UNDER F75-25.
- WETLANDS DELINEATION WAS APPROVED UNDER F75-25
- A TRAFFIC STUDY WAS APPROVED UNDER F75-25 & SDP 75-40
- A NOISE STUDY WAS APPROVED UNDER F75-25
- A GEOTECHNICAL INVESTIGATION WAS PERFORMED BY HARDIN-KROTT ON PART OF THE S&M QUALITY DESIGN FOR THIS SITE.
- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM BEST AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF CONSTRUCTION. ANY DISCREPANCIES MUST BE COMMUNICATED TO THE ENGINEER FOR POSSIBLE RE-DESIGN.
- ALL PIPE ELEVATIONS SHOWN ARE INVERTS.
- STREET TREES SHOWN ARE TENTATIVE & ARE TO BE USED FOR BOND PURPOSES ONLY. THE FINAL LOCATION & VARIETY OF TREES WILL BE IN ACCORDANCE WITH APPROVED 2009 Bond release in contingent upon receipt of the Howard County Code & Landscape Manual. Financial security for the required 40 trees in the amount of \$4,000 shall be part of the Developers Agreement.
- STREET TREES SHALL BE PLANTED A MIN. OF 5' FROM STORM DRAIN, WATERLINE OR SEWER PIPE MANHOLES; ALSO A MIN. OF 20' FROM STREET LIGHTS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Andrew M. Decker 3-18-96
 Chief, Bureau of Highways Date

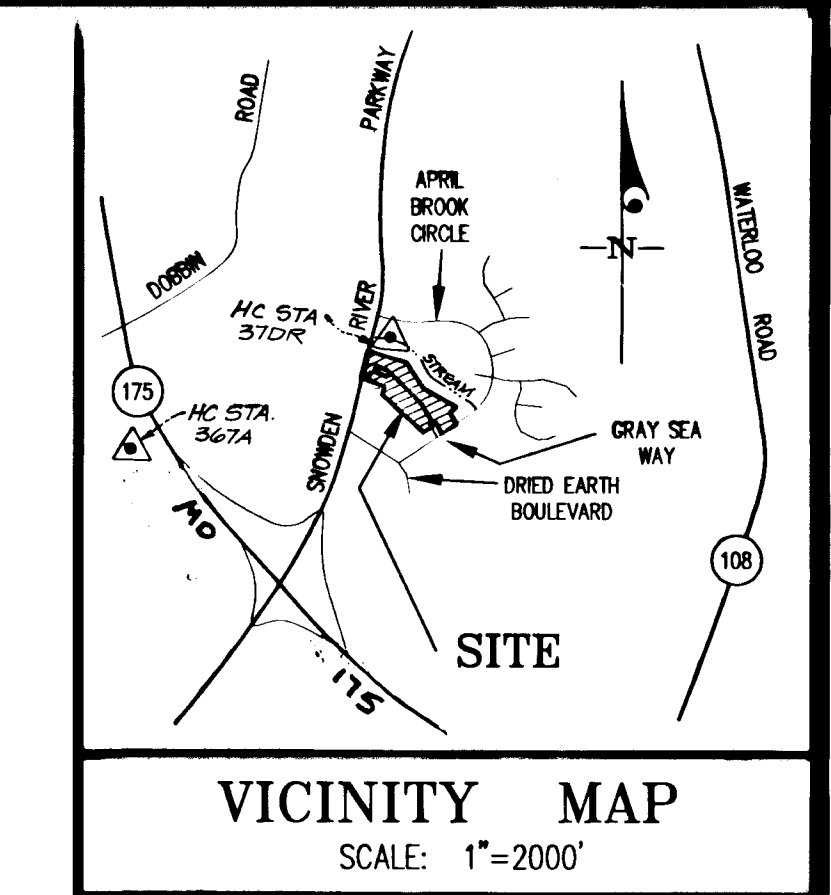
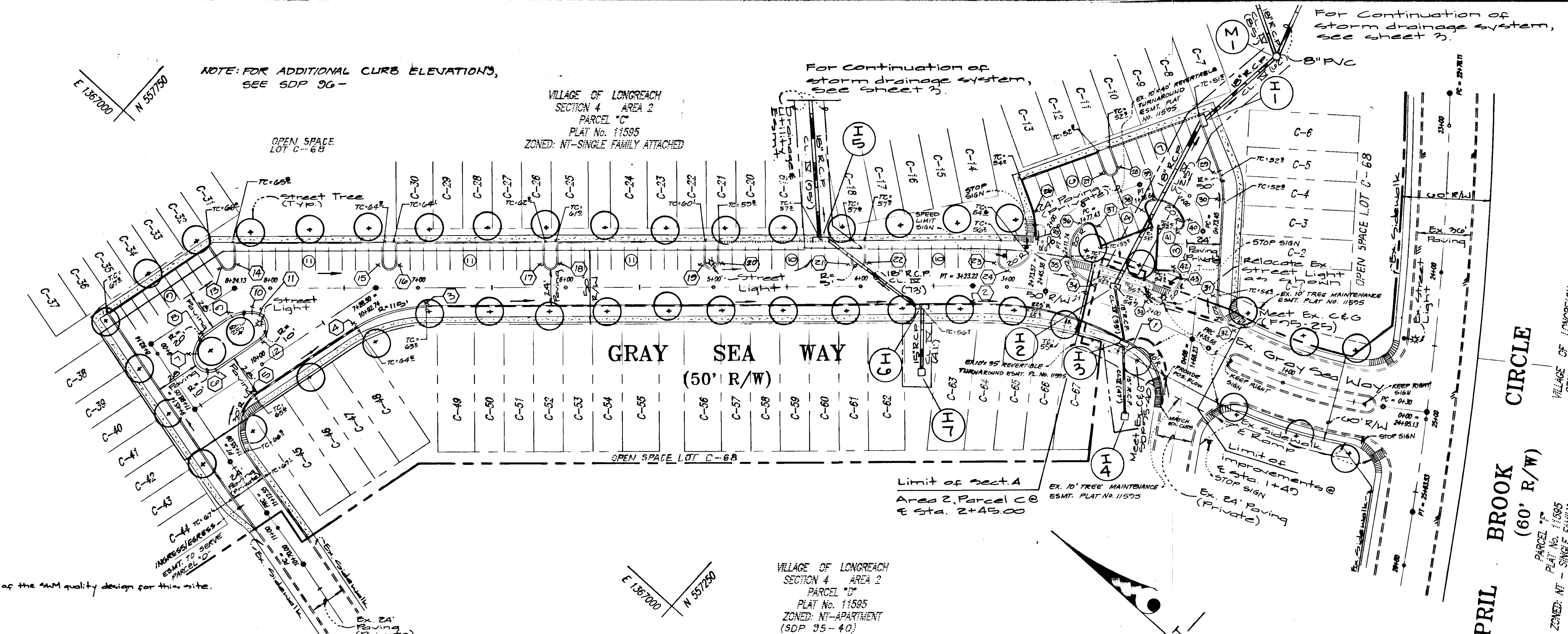
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Jim Swinamy 3/28/96
 Chief, Division of Land Development and Research Date
Robert P. ... 3/28/96
 Chief, Development Engineering Division Date

NOTE: FOR ADDITIONAL CURB ELEVATIONS, SEE SDP 96-

VILLAGE OF LONGREACH SECTION 4 AREA 2 PARCEL 'C' PLAT NO. 11595 ZONED: NT-SINGLE FAMILY ATTACHED

For Continuation of storm drainage system, see sheet 3.

For Continuation of storm drainage system, see sheet 3.



STREET LIGHT SCHEDULE

LOCATION	LAMP TYPE	MOUNTING	POLE TYPE
2+07-15' Right	100 Watt HP Sod. Vapor	Modern-Brace	14' Bronze Fiberglass
3+01-15' Right			
8+07-24' Left			

* Relocation from F75-25
 ** Poles to be placed 3' behind face of curb.

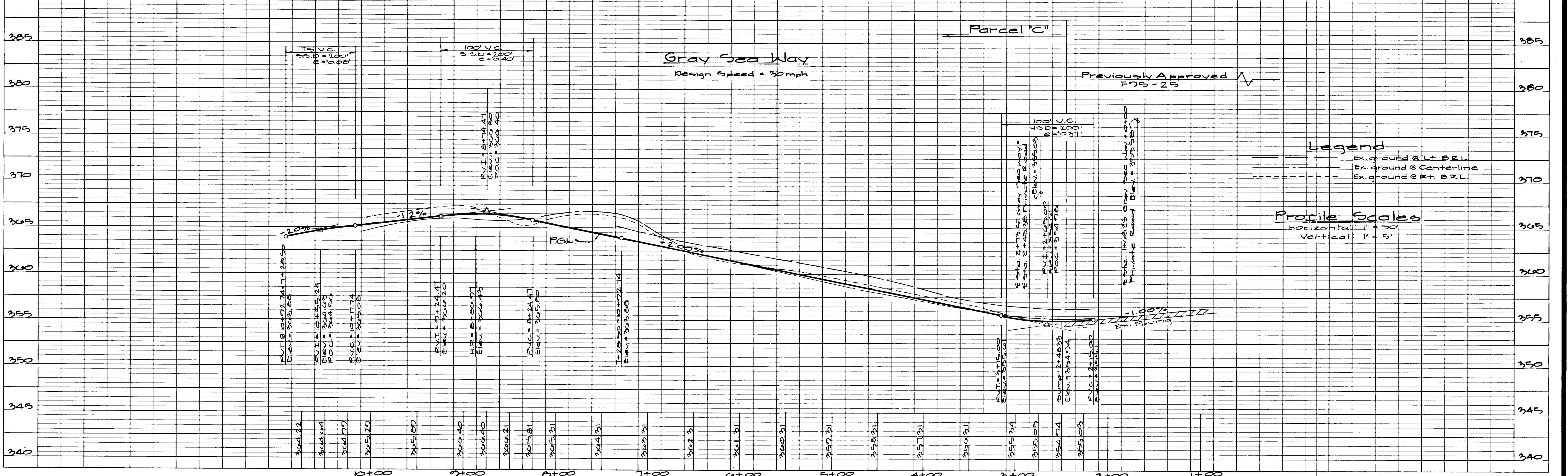
CURB & GUTTER LEGEND

- Ex curb & gutter to remain
- Ex curb & gutter to be removed
- St'd. U' curb & gutter
- St'd. reversed U' curb & gutter
- Modified combination curb & gutter (Ho. Co. DPW D.L. No. R-301)
- T' combination curb & gutter (Ho. Co. DPW D.L. No. R-301)

¶ CURVE DATA

STREET NAME	P.C. STA.	PRC / POC STA.	P.T. STA.	RADIUS	ARC	TANGENT	CHORD	BEARING	DELTA
GRAY SEA WAY	0+30.00	1+55.66	none	320.00'	125.66'	63.65'	124.86'	N 23°36'50" W	22°30'00"
GRAY SEA WAY	1+55.66	2+45.00	none	320.00'	89.34'	44.96'	89.05'	N 20°21'43" W	15°59'47"
GRAY SEA WAY	none	2+45.00	3+23.22	320.00'	78.21'	39.30'	78.02'	N 35°21'43" W	14°00'13"

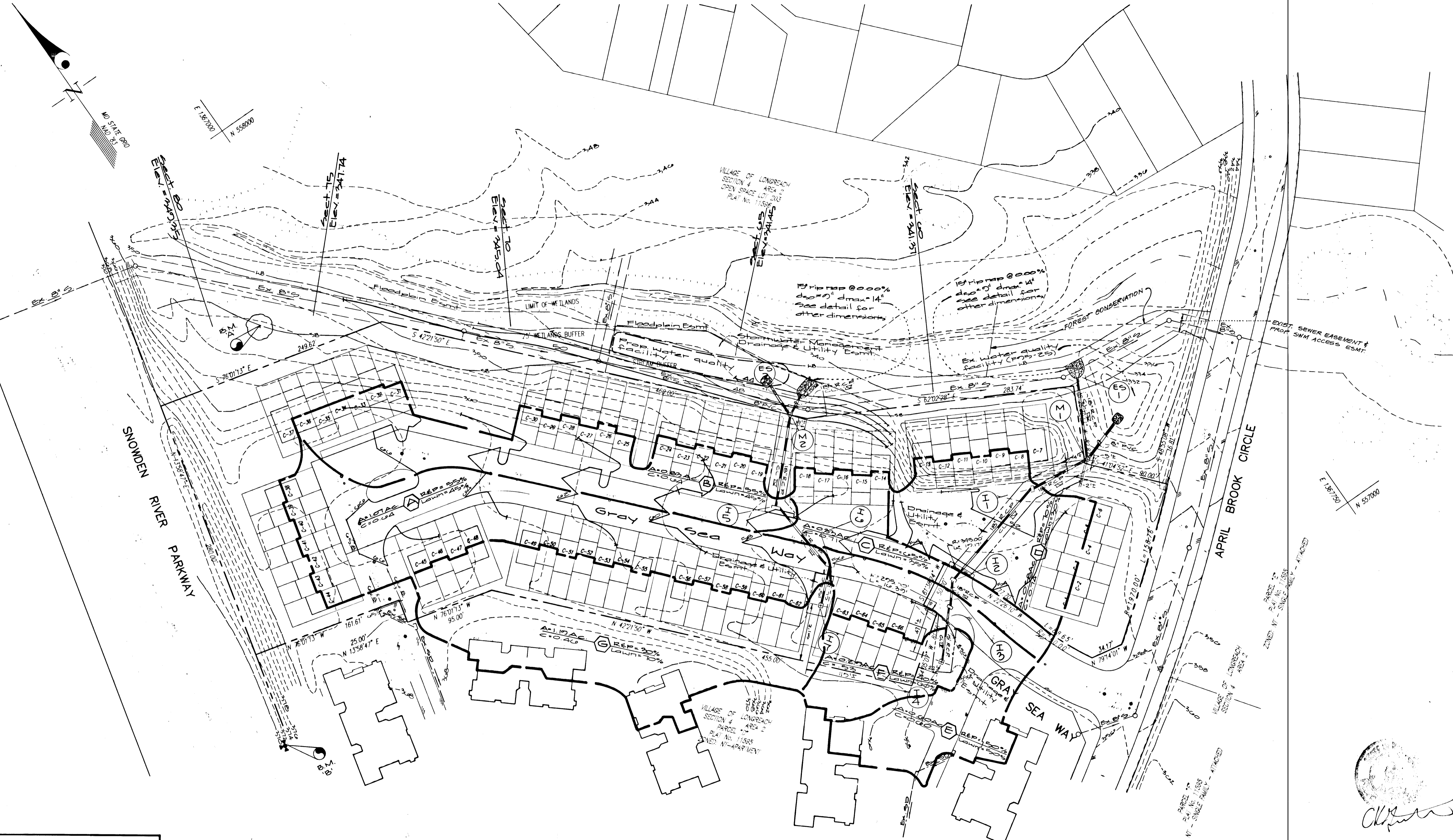
Note: Contractor shall begin transition from 7" curb & gutter within the public R/W to 6" curb & gutter in the private roadway at the right of way line. The transition is to be completed in no less than 10'.



Legend
 --- Ex. ground @ Lt. B.R.L.
 --- Ex. ground @ Centerline
 --- Ex. ground @ Rt. B.R.L.

Profile Scales
 Horizontal: 1" = 50'
 Vertical: 1" = 5'

100



Approved: Howard County Dept. of Public Works
Andrew M. Daniels 3-18-96
 Chief, Bureau of Highways Date

Approved: Howard County Dept. of Planning & Zoning
Jim Stumm 3/20/96
 Chief, Div. of Land Development & Research Date
Chris Summers 3/20/96
 Chief, Development Engineering Div. Date

Benchmarks
 B.M. 'A': Cut nail in 20" Poplar
 Elev. = 2951.61
 B.M. 'B': Fire Hydrant
 Elev. = 2960.88

This sheet is for drainage area information only!

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK - BURTONSVILLE, MARYLAND 20866
 TEL: (301) 421-4024 NO. VA.: (301) 989-2524 BALI: (410) 880-1820 FAX: (301) 421-4186 DES. CKG. DRN.: KLP CHK.: [Signature]

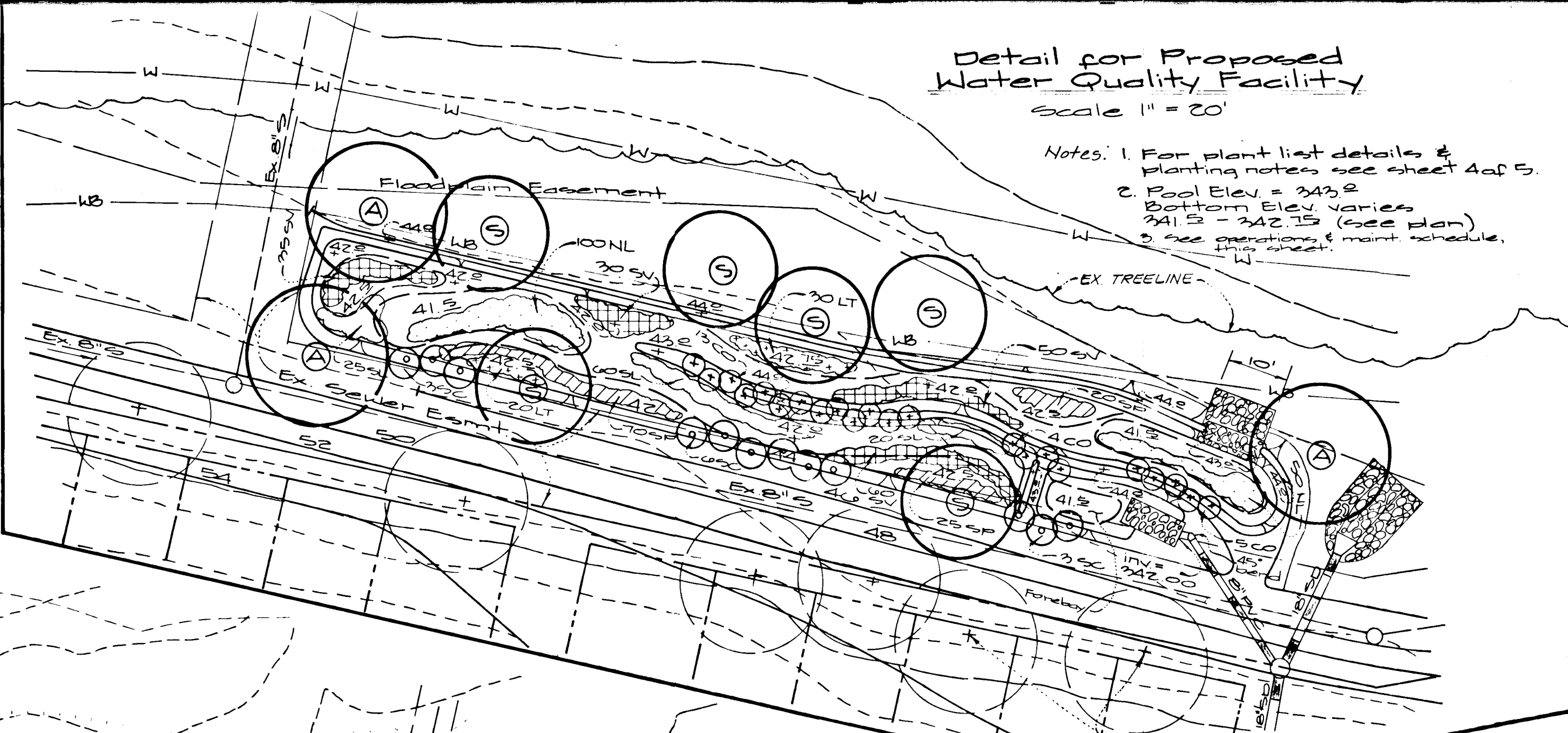
DATE	REVISION	BY	APP'R.

PREPARED FOR:
TRAFALGAR HOUSE RESIDENTIAL MARYLAND, INC.
 8965 GUILFORD ROAD, SUITE 290
 COLUMBIA, MARYLAND 21046
 PHONE: (301) 621-8151

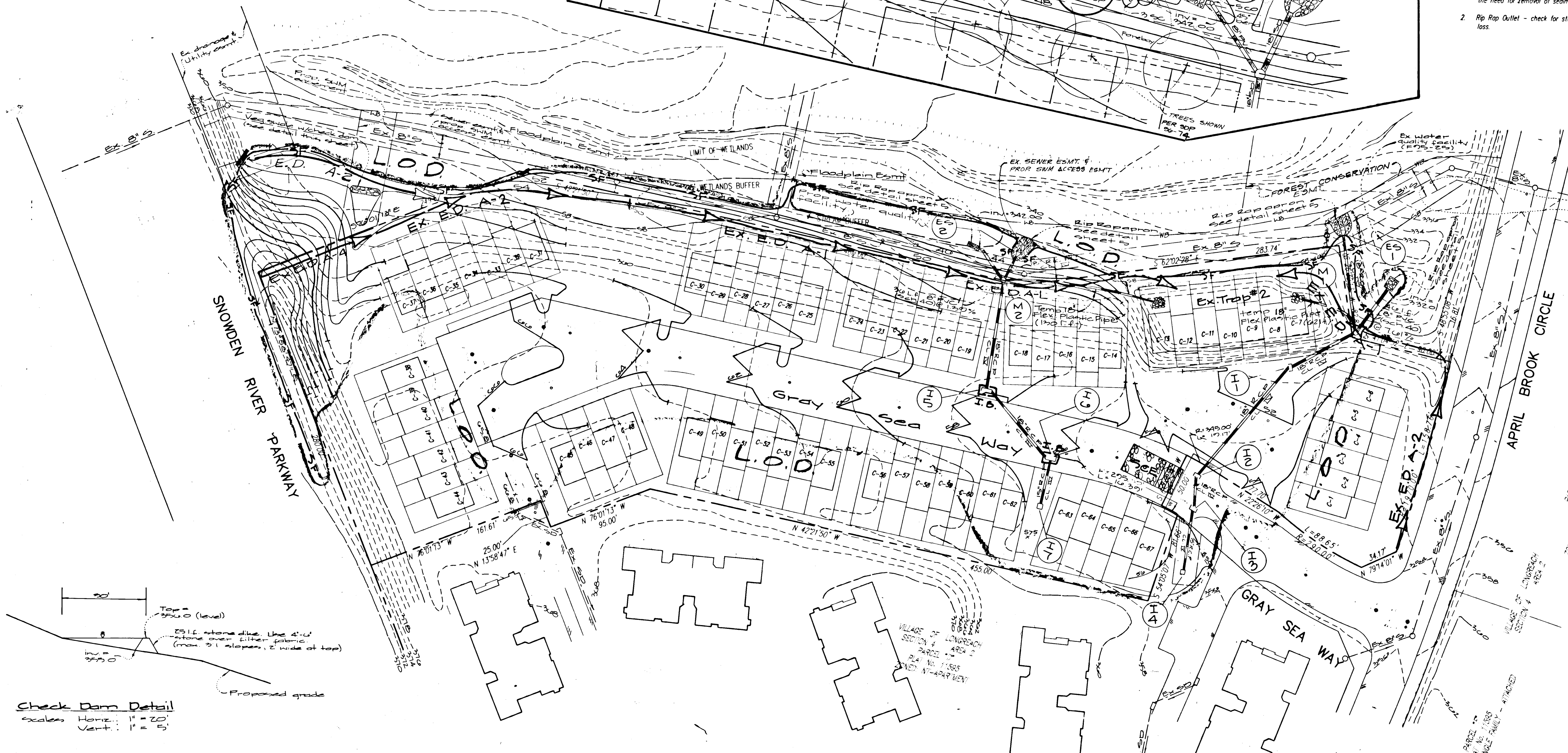
Drainage Area Map
VILLAGE OF LONGREACH
 SECTION 4 AREA 2
 LOTS "C-1" THRU "C-68"
 GUILFORD ELECTION DISTRICT No. 6

SCALE	ZONING	G. L. W. FILE No.
1"=50'	NT - SFA	95032
DATE	TAX MAP No.	SHEET
March, 1996	37	2 of 5

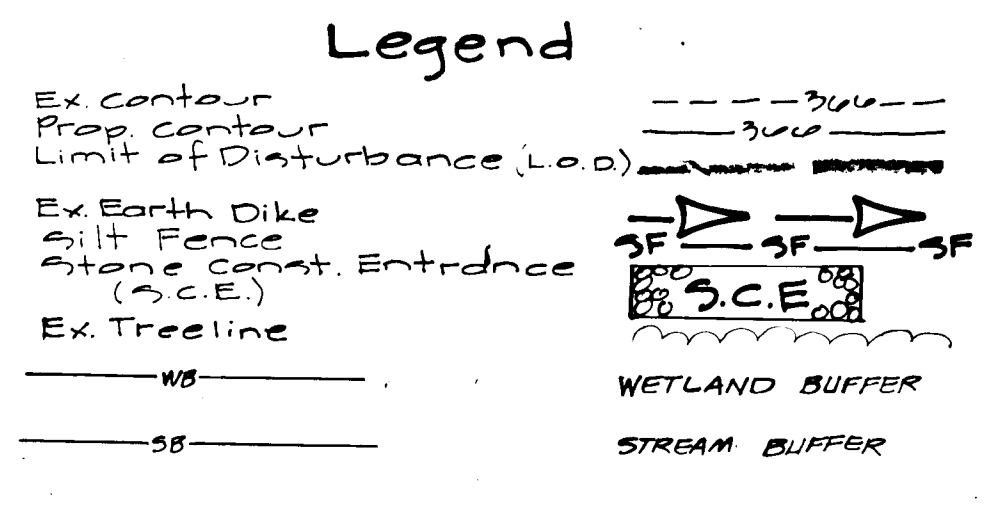
F-96-68



- Operations and Maintenance Guidelines**
- Facility Owner: HCDPW HOA: Home Owners Assoc. for Lots C-1 thru C-67
- Operations:**
- Facility Owner shall keep accurate records of inspections, maintenance and repairs.
 - Facility Owner shall make a visual inspection of the facility at least twice a year, once in the summer after the facility has been mowed and once during the winter when the vegetation is inactive. Additional inspections shall be made during and after extreme rainfalls.
 - During the extreme weather or rainfall events, the Facility Owner shall check for overlapping, seepage, or dike failure. In order to avoid overlapping, place sandbags on top of the dike.
 - If a severe problem develops, the Facility Owner shall contact a Professional Engineer to assess the problem and make a suggestion to remedy the situation.
- Maintenance:**
- During the semi-annual visual inspections, the following items must be checked and documented by the Facility Owner:
- Spillways and Outlet Device
 - Forebay - Check for stone deterioration and the need for removal of sediment.
 - Rip Rap Outlet - check for stone deterioration or stone loss.
- II. Dikes**
- Vegetation - proper vegetative cover is required on all dikes. Follow proper seeding specifications for reseeding.
 - Trees and Brush - trees and brush shall be removed from the dikes. Stumps can be removed using silvicide.
 - Mowing - mow dikes as necessary to control the establishment of woody growth and to maintain the vegetative cover. Mowing shall be done at least once a year (mid to late summer) but may be done more often.
 - Seepage - the following warning signs should be looked for when inspecting for seepage problems: cracks (longitudinal and vertical), soft spots or boggy areas on downstream side of dike, seepage along downstream toe of dike.
 - Stability - large cracks, slides, sloughing and excessive settlement are signs of dike instability and a need for repair.
 - Rodents - check for burrows, which can lead to seepage, and remove rodents when encountered.
- III. Maintenance by HOA**
- Mowing in excess of the one per year provided by owner shall be by HOA.
 - Removal of plantings in facility is prohibited.
 - Removal of landscaping around facility is prohibited. Replacement of dead or diseased landscaping is permitted, but it must be in-kind.
 - Terms and conditions of easement agreement with owner of Open Space Lot 208 must be complied with.



Approved: Howard County Dept. of Public Works
 Approved: Howard County Dept. of Planning & Zoning



Ex. Trap Data #2

Ex Drainage Area = 0.55 Act
 Storage Required = 14,940 cf
 Storage Provided = 20,250 cf
 Top of Dam = 541.5
 Bottom Elevation = 530.0
 Weir Crest Elev. = 540.0
 Weir Length = 10'
 Outlet Length = 10'
 Cleanout Elev. = 537.5
 Limit of Storage = 539.0

This sheet is for Sediment Control & Storm Water Quality Facility Construction Only!

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

Signature of Developer/Builder: *Michael J. Lane* Date: 11/6/95

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature: *CKJ* Date: 11-6-95

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

Signature: *D.G. Lemfitt* Date: 3/14/96

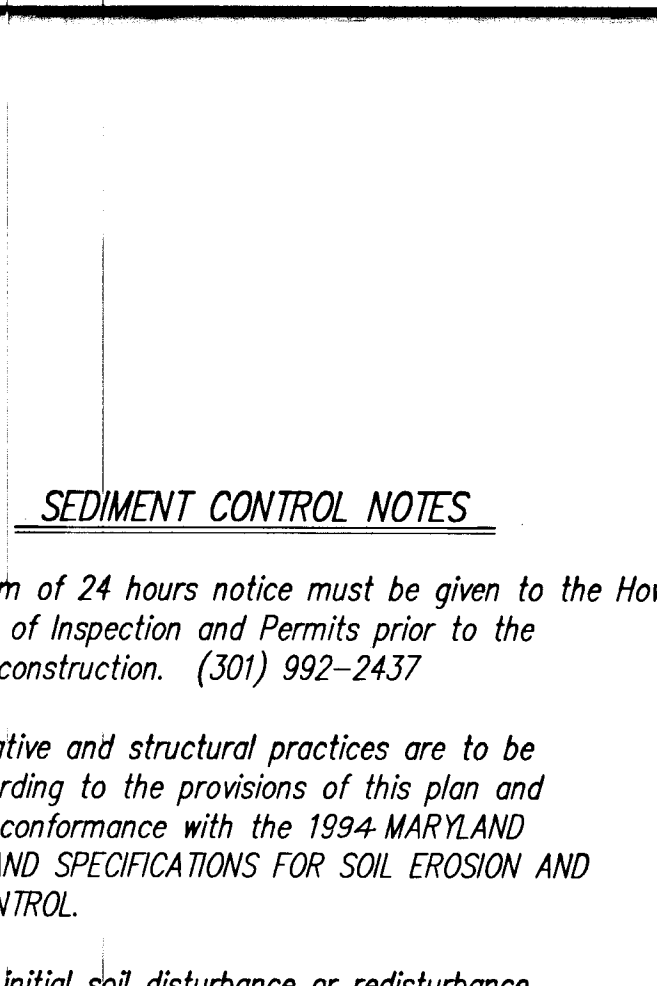
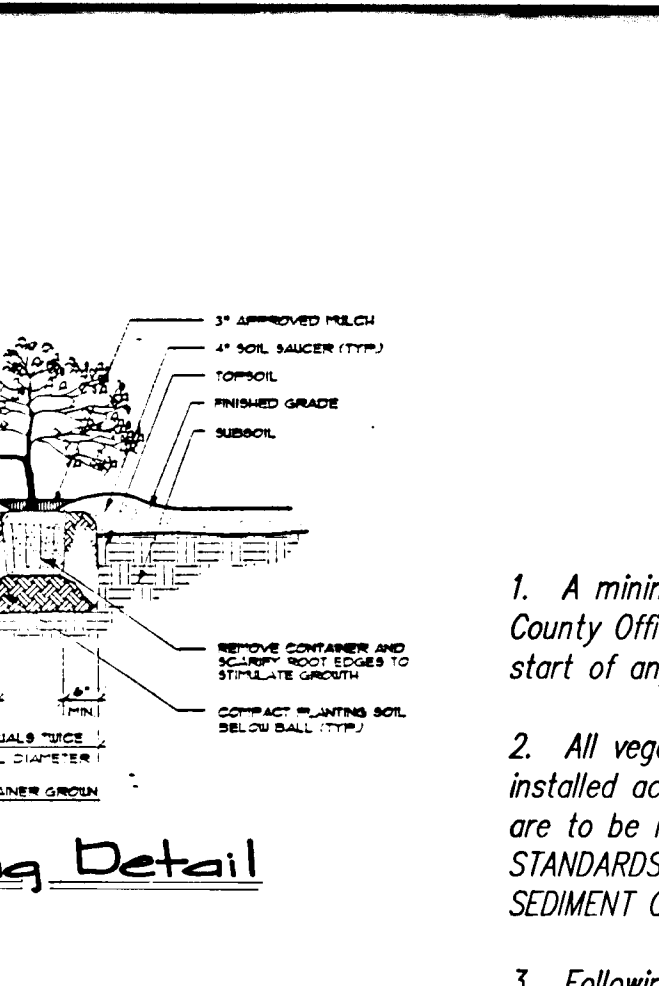
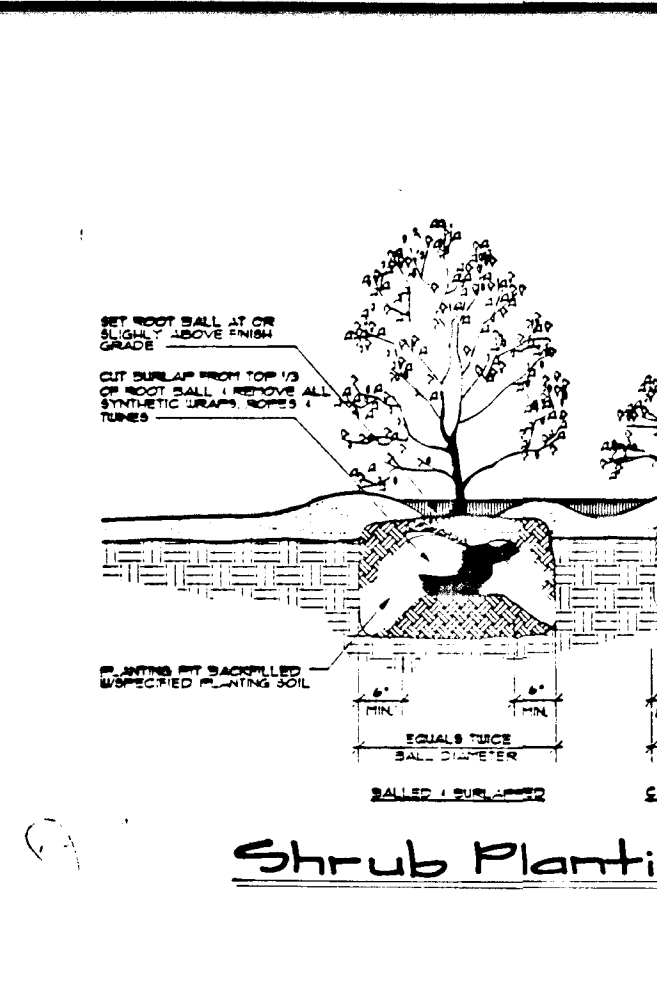
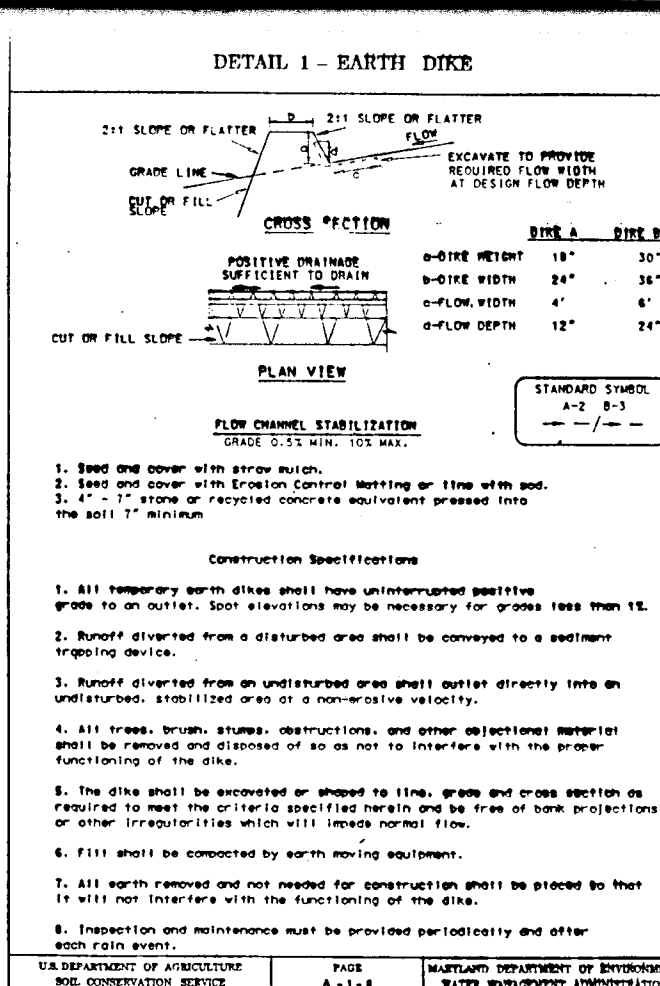
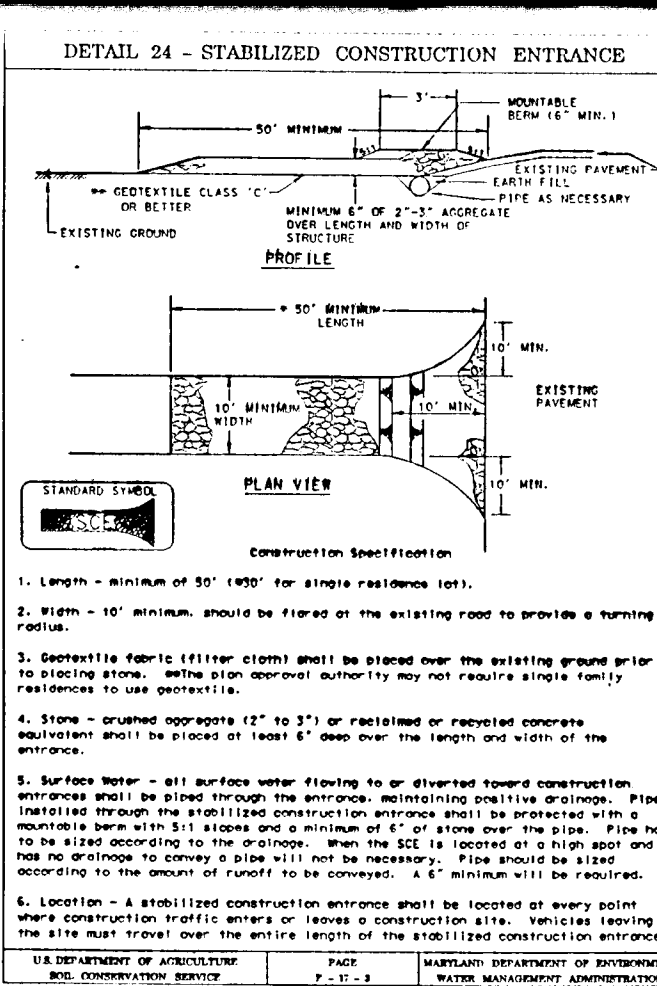
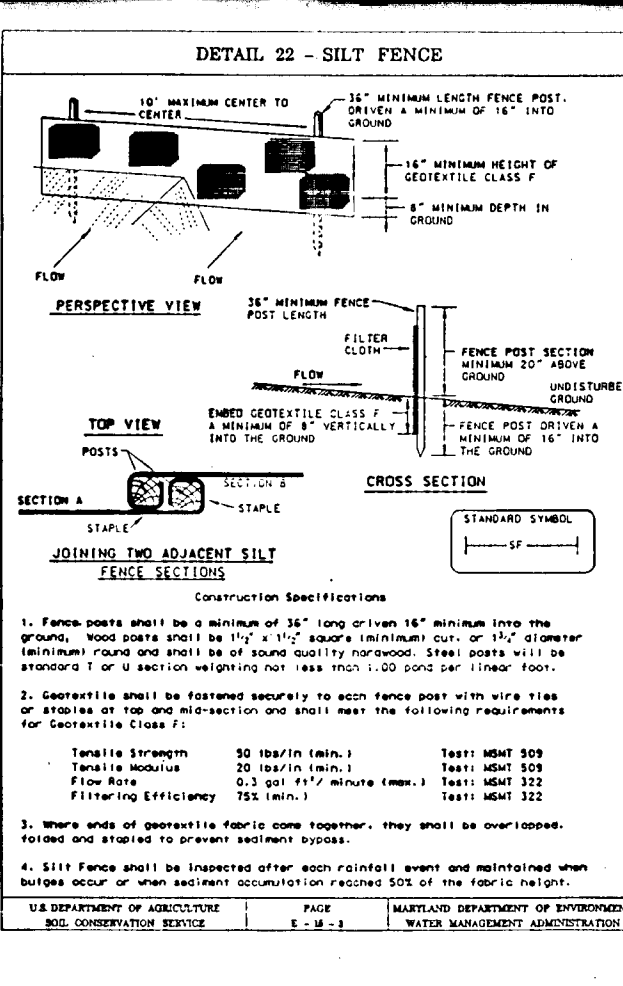
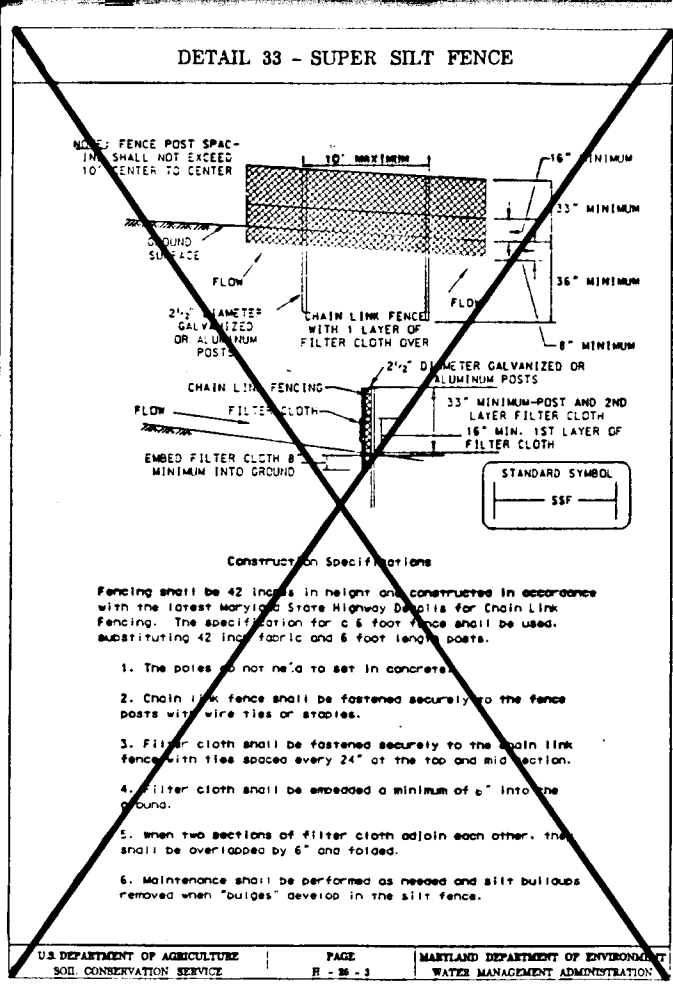
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DATE	REVISION	BY	APP'R.

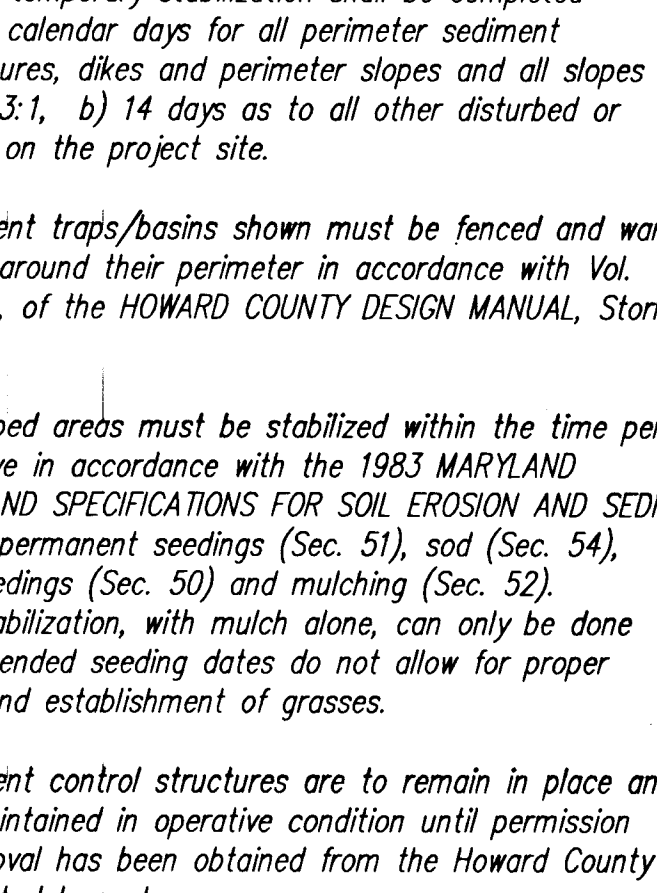
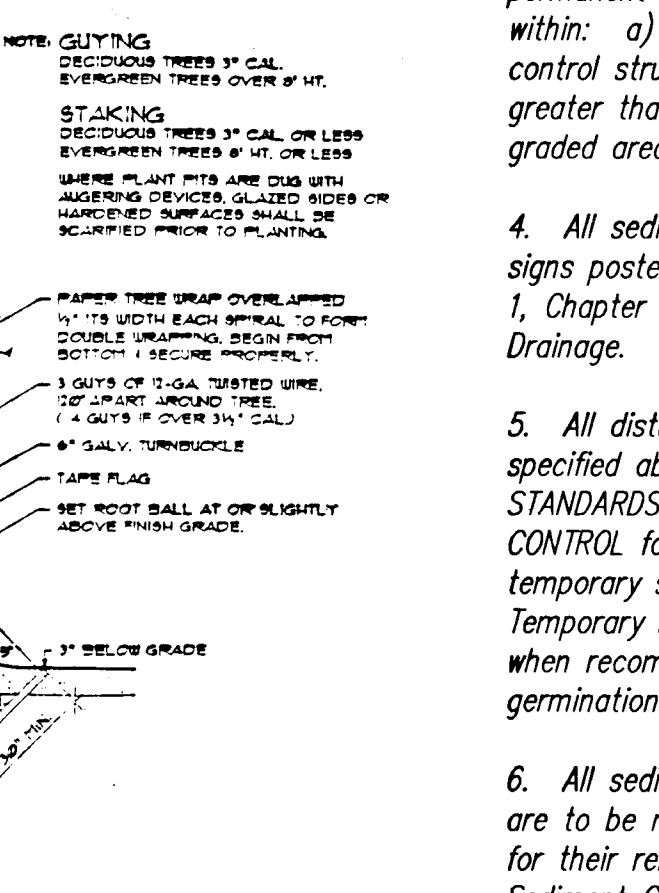
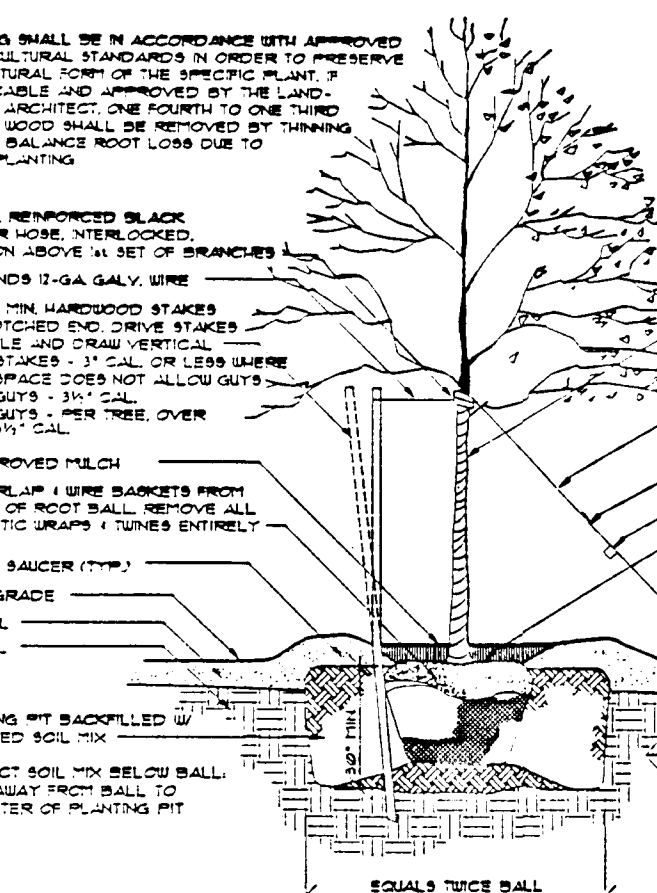
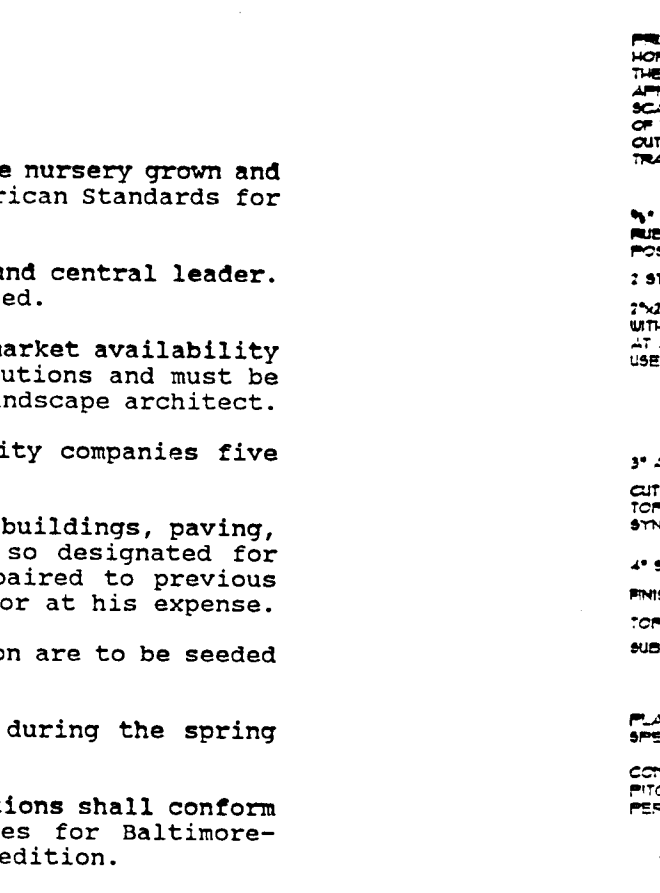
PREPARED FOR:
TRAFALGAR HOUSE RESIDENTIAL MARYLAND, INC.
 8965 GUILFORD ROAD, SUITE 290
 COLUMBIA, MARYLAND 21046
 PHONE: (301) 621-8151

Mass Grading & Sediment Control Plan
VILLAGE OF LONGREACH
 SECTION 4 AREA 2
 LOTS "C-1" THRU "C-68"
 GULFORD ELECTION DISTRICT No. 6

SCALE	ZONING	G. L. W. FILE No.
1" = 50'	NT - SFA	95032
DATE	TAX MAP No.	SHEET
March 1996	37	3 of 5



- PLANTING NOTES**
- All plants provided by Contractor to be nursery grown and furnished in accordance with AAS "American Standards for Nursery Stock" ANSI Z60.1.
 - All trees to branch symmetrically around central leader. No forked leader stock will be accepted.
 - Plant material types may vary due to market availability at time of construction. Any substitutions and must be approved in writing by the owner or landscape architect.
 - The Contractor shall notify all utility companies five (5) days prior to beginning work.
 - Any damage to the existing utilities, buildings, paving, curb and walls, and vegetation (not so designated for removal on these plans) shall be repaired to previous condition or replaced by the Contractor at his expense.
 - All areas disturbed during construction are to be seeded unless noted otherwise.
 - All oaks and pines shall be planted during the spring planting season only.
 - All planting procedures and specifications shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area" latest edition.



- Wetland Planting Notes**
- Upon conversion of sediment control ponds to Stormwater Management Ponds, the contractor shall remove any stones, debris, or construction material larger than two inches (2") in any dimension. The contractor shall then spread 4" of topsoil on the entire planting area and the ponds shall be flooded and left undisturbed for a period of 10 days prior to planting.
 - To install potted plants, drain pond water elevation down to convenient working depth, make a hole in the topsoil layer wide and deep enough that after planting, the topsoil in the pot is at or slightly below the top of the topsoil planting area.
 - Peat pots must be torn in two or three places to allow for unrestricted root growth.
 - All pots other than peat pots are to be removed right before planting.
 - Bareroot plants shall be planted in holes wide enough to allow their existing roots to be spread in a natural manner radially from the root crown without bending or twisting.
 - One ounce of 18-6-25 slow release fertilizer shall be incorporated into soil for each plant at the time of planting.
 - Soil shall be saturated with water during and after planting, or the planting area may be completely flooded at these times (wet planting). Planting soil shall be firmly pressed around each plant to prevent flotation.
 - The source of all aquatic and emergent plants shall be approved by the owner or landscape architect prior to ordering. These plants shall be grown in pots (container specified) or nursery growing beds (bare root specified) for a minimum of 12 months prior to installation and shall have been wet cultivated during the entire period.
 - All plant material shall be guaranteed for a period of one year after formal acceptance. Plants which have greater than 33% dieback or have not grown so as to emerge from the water surface, shall be replaced at the next planting season.
 - Remove litter and debris as required during the first growing season and at the beginning of the second growing season.

Plant List

KEY	QTY	BOTANICAL/COMMON NAME	SIZE	ROOT
TREES				
A	3	Acer rubrum/Red Maple	2 1/2-3" Cal.	B&B
S	6	Salix nigra/Black Willow	1 1/2-2" Cal.	B&B
SHRUBS				
CO	22	Cephalanthus occidentalis/ Button Bush	18-24" Ht.	B&B
SC	12	Sambucus canadensis/ Elderberry	3-4' Ht.	Cont. or B&B
WETLAND PLANT				
NL	150	Nuphar luteum/Spatterdock	1 Pt.	
SL	105	Sagittaria latifolia/Duck Potato	1 Pt.	
LT	50	Saururus cernuus/Lizard's Tail	1 Pt.	
SP	115	Scirpus pungens/Common Three Square	1 Pt.	
SV	175	Scirpus validus/Soft-stem Bulrush	1 Pt.	

Approved: Howard County Dept. of Public Works
 Approved: Howard County Dept. of Planning/Zoning

Signature of Developer/Builder: *Michael Prince* 11/6/95
 Signature of Engineer: *John G. Hill* 11/6/95
 Signature of Soil Conservation District: *John G. Hill* 11/6/95

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance of a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the HSCD.

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, SURVEYORS, PLANNERS, LANDSCAPE ARCHITECTS
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 TEL: (301) 421-4024 NO. VA.: (301) 989-2524 BALT.: (410) 880-1820 FAX: (301) 421-4186 DES: CKG DRN: KLP CHK.

DATE	REVISION	BY	APPR.

PREPARED FOR:
 Tranzlogge House Residential Maryland
 8705 Guilford Road
 Suite 250
 Columbia, Maryland 21046
 Phone: (301) 621-8151

SEDIMENT CONTROL NOTES & DETAILS

Village of Longreach
 Section 4 Area 2
 Lots "C-1" thru "C-6B"

SCALE	ZONING	G. L. W. FILE No.
	NT	75-032
DATE	TAX MAP No.	SHEET
March, 1996	37	4 of 5

SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (301) 992-2437
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings (Sec. 51), sod (Sec. 54), temporary seedings (Sec. 50) and mulching (Sec. 52). Temporary stabilization, with mulch alone, can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
 Total Area of Site : 6.45 Acres
 Area Disturbed : 500 Acres
 Area to be roofed or paved : 1.02 Acres
 Area to be vegetatively stabilized : 4.07 Acres
 Total Cut : 5,500 Cu. Yds.
 Total Fill : 5,500 Cu. Yds.
 Off-site waste/borrow area location: N/A
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPW Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

CONSTRUCTION SEQUENCE

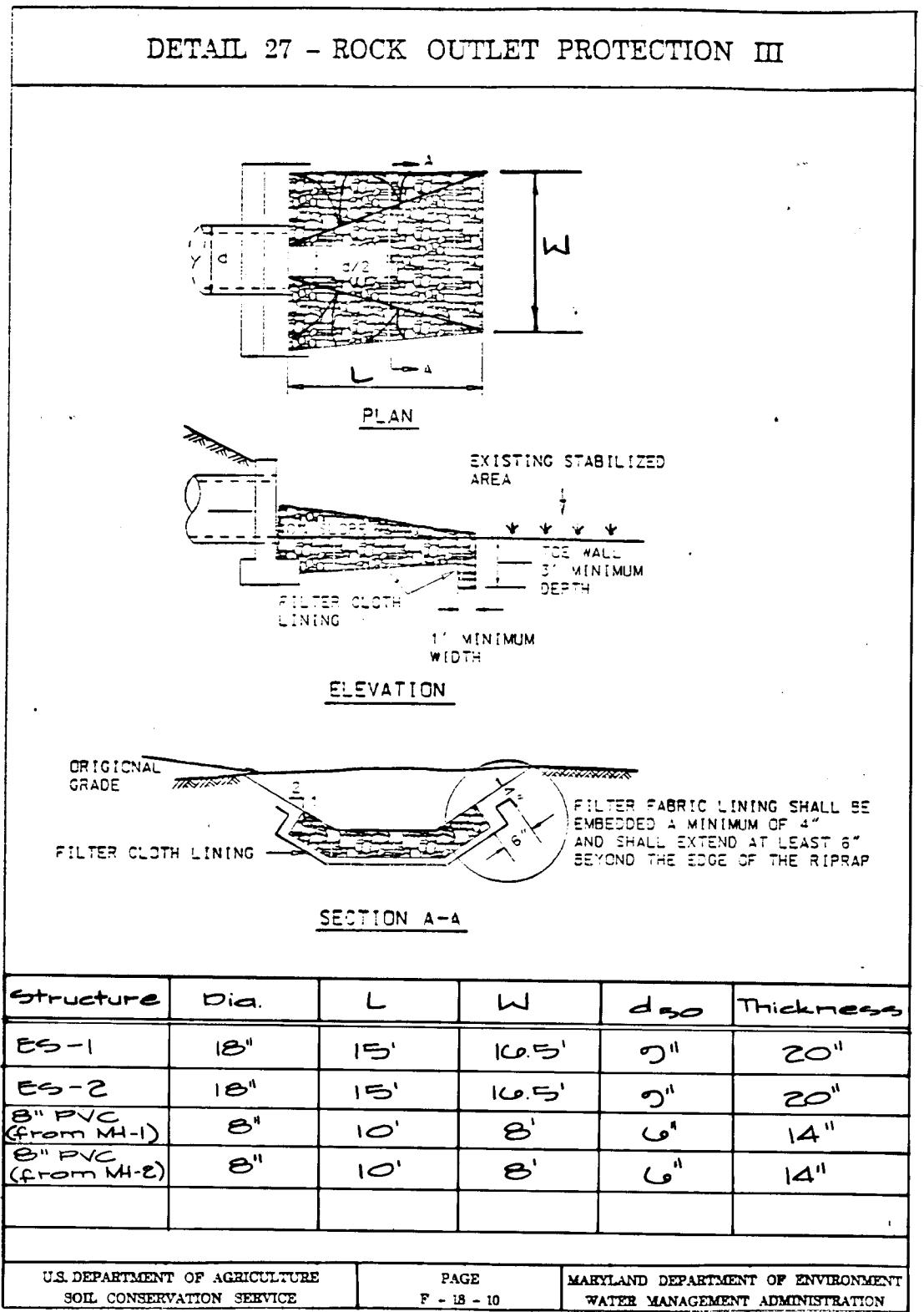
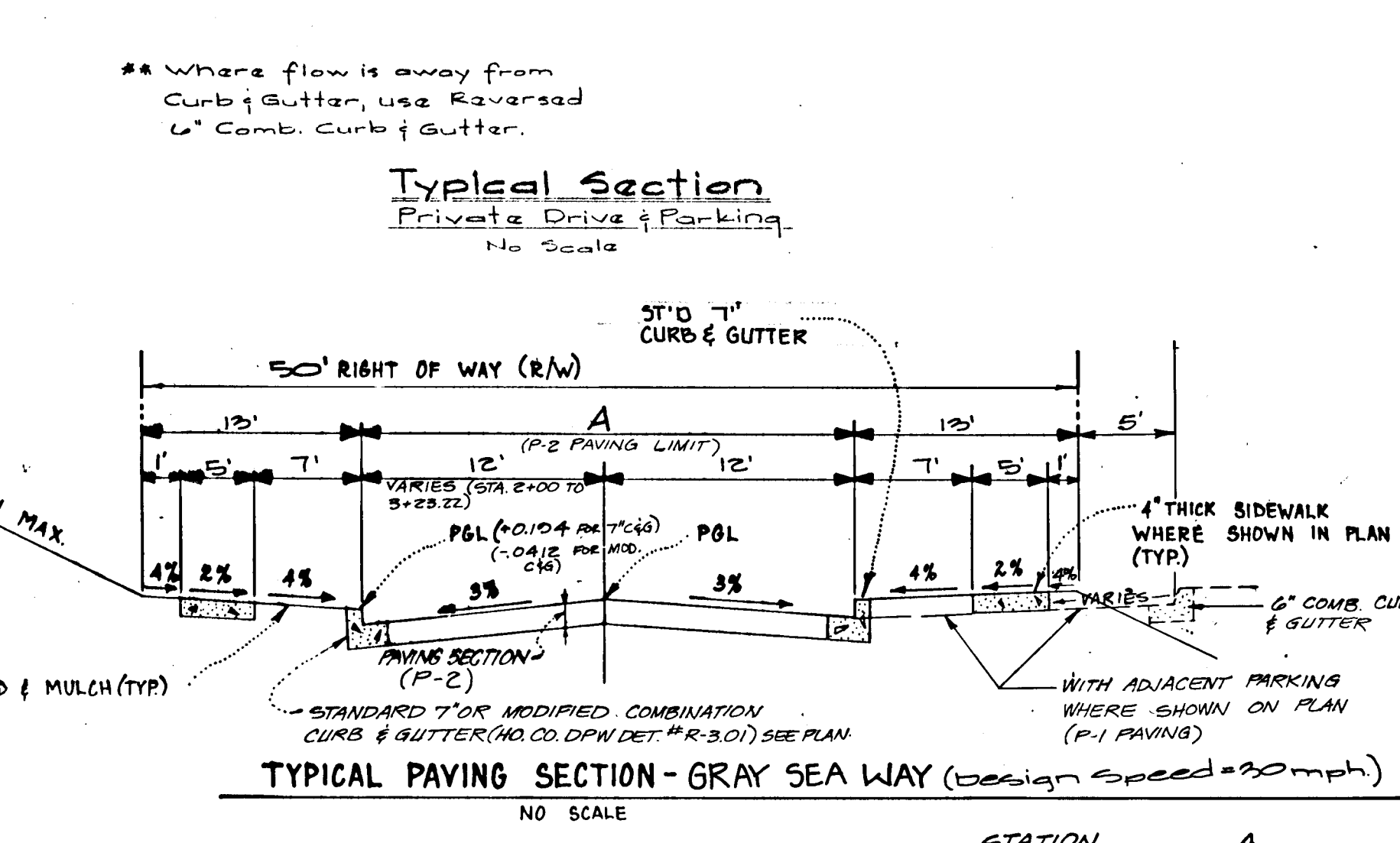
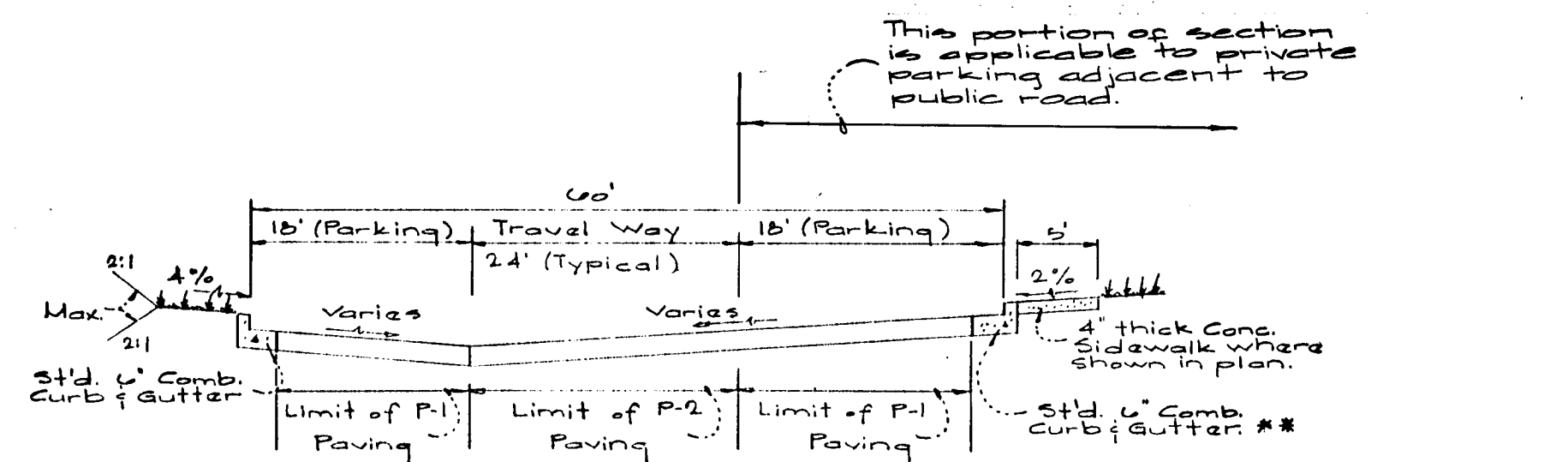
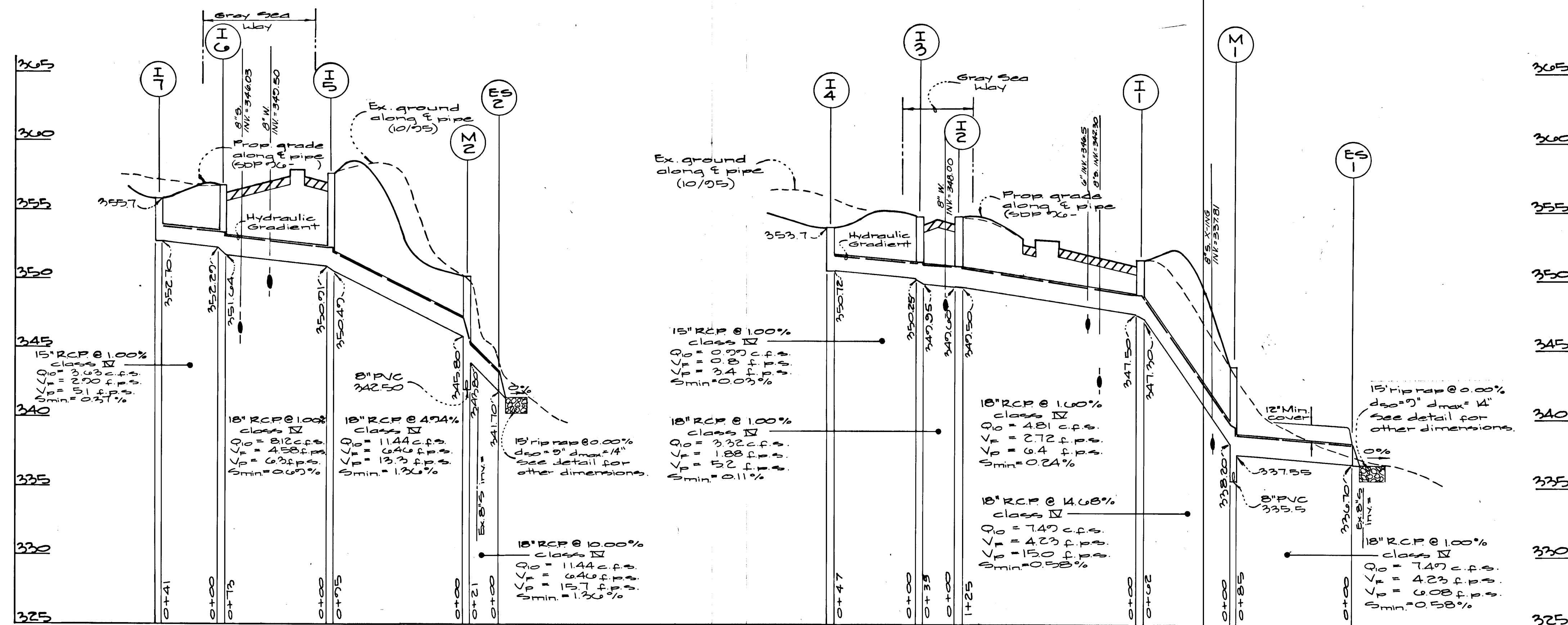
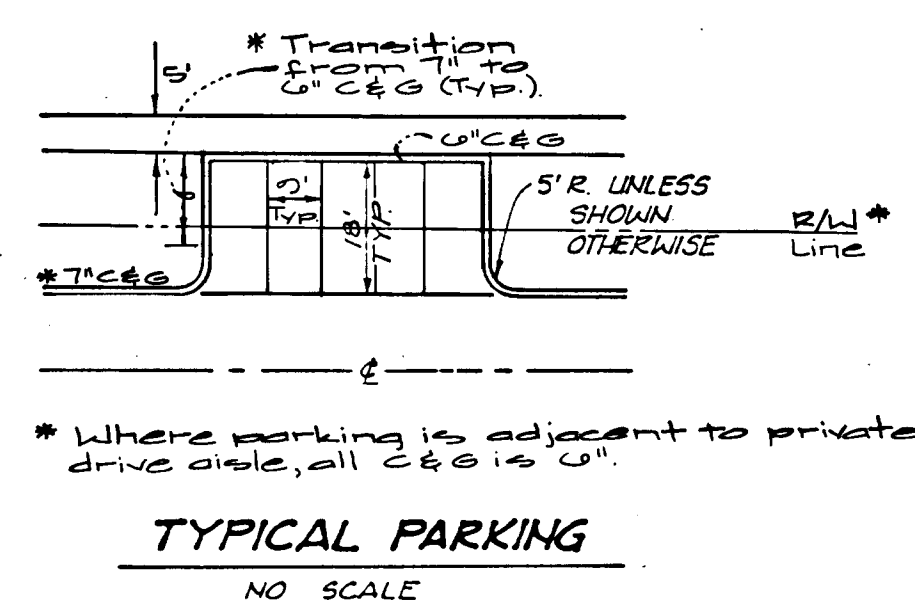
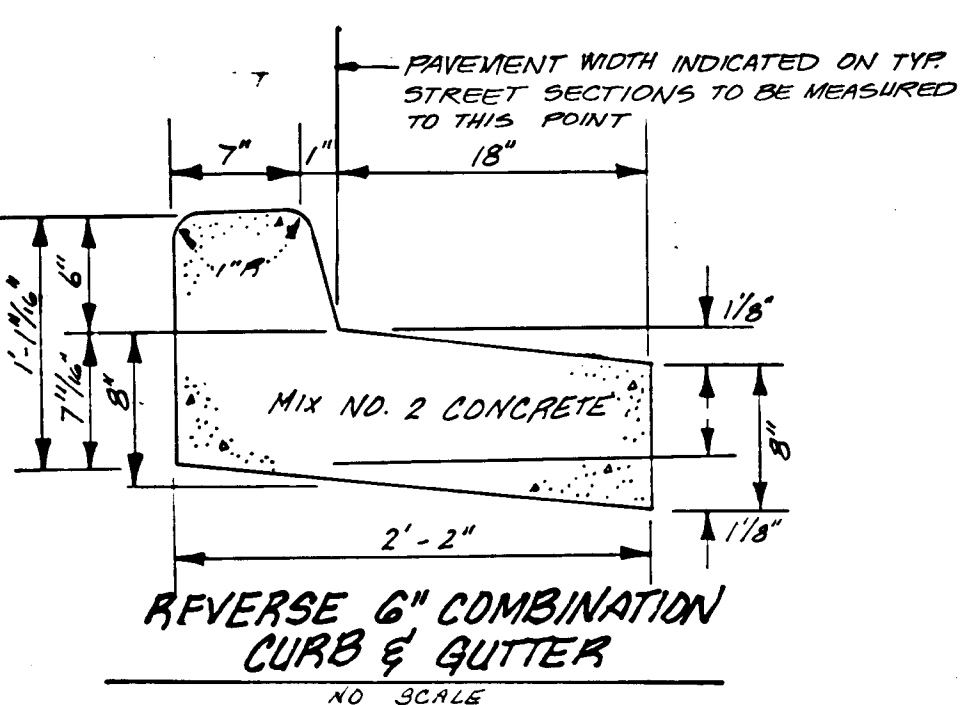
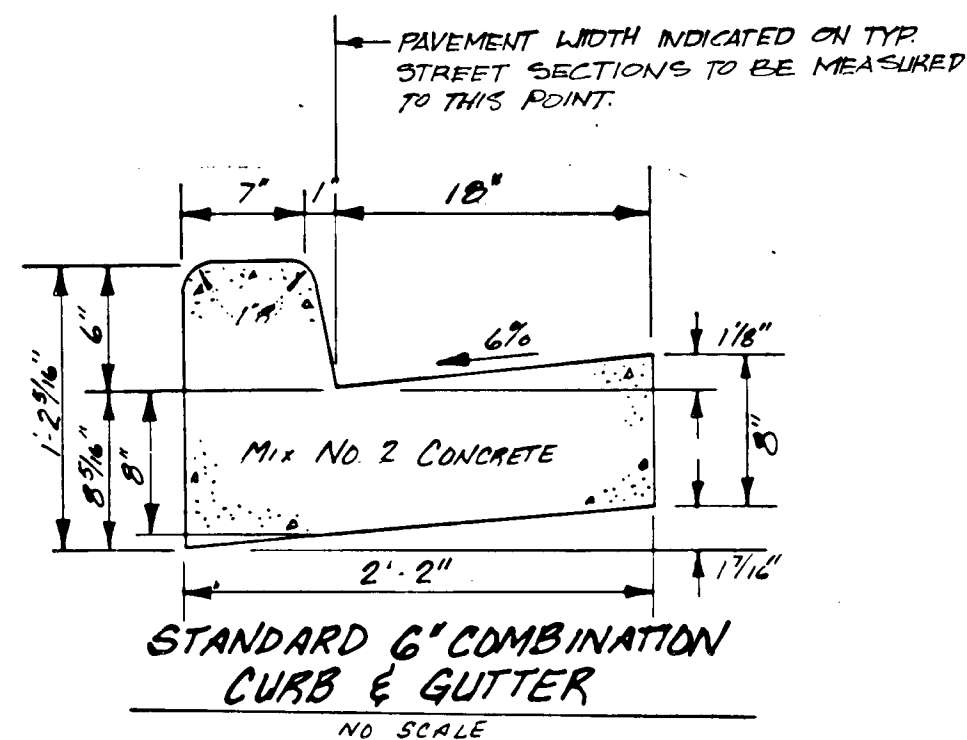
- UPDATE EXISTING GRADING PERMIT FROM SDP 05-40 TO THIS PLAN. (1/2 DAY)
- MEET WITH INSPECTOR TO GO OVER SEDIMENT CONTROL PLAN & RECEIVE UPDATED PERMIT. (1/2 DAY)
- INSTALL STABILIZED CONSTRUCTION ENTRANCE (1/2 DAY)
- INSPECT ANY SEDIMENT CONTROLS INSTALLED UNDER SDP 05-40 THAT ARE USED FOR WORK UNDER THIS PLAN (EARTH DIKE & TRAP #2) AND MAKE ANY NECESSARY REPAIRS OR MAINTENANCE (1-2 DAYS)
- INSTALL SILT FENCE & CURB ENDS UPHILL BY 2 FT (1 DAY)
- INSTALL WATER QUALITY FACILITY/ADD FILL AT REAR OF LOTS C-14 THRU C-38, ADJUSTING EARTH DIKE AS REQUIRED TO DRAIN TO EXISTING TRAP (3-4 DAYS)
- PERFORM REMAINING GRADING (3-4 DAYS)
- INSTALL UTILITIES, STORM DRAIN AND TEMPORARY DIVERSION FROM M1 AND M2 TO SEDIMENT TRAP #2 (4-5 DAYS)
- STABILIZE SITE WITH PAVING SIDEWALKS & TEMP. SEEDING (4-5 DAYS)
- REMOVE SEDIMENT CONTROLS WHEN AUTHORIZED BY THE INSPECTOR. TRAP #2 SHALL BE USED DURING HOUSE CONSTRUCTION (SDP 06-74). DELAY CONSTRUCTION ON LOT C-7 THROUGH C-13 UNTIL ENTIRE DRAINAGE AREA TO TRAP #2 IS STABILIZED.

PERMANENT SEEDING NOTES

- Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
- Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).
- Soil Amendments: In lieu of soil test recommendations, use one of the following schedules
- Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 square feet) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq ft).
 - Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.
- Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.
- Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of rotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (9 gal/1000 sq ft) for anchoring.
- Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseeding.

TEMPORARY SEEDING NOTES

- Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.
- Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).
- Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).
- Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs./1000 sq ft.). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (.07 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.
- Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq ft) of rotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes 8 ft or higher, use 348 gal per acre (9 gal/1000 sq ft) for anchoring.
- Refer to the 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.



Size & Type	Class	Length
15" RCP	cl. IX	88'
18" RCP	cl. IX	490'
8" PVC	SCHEDULE 40	82'

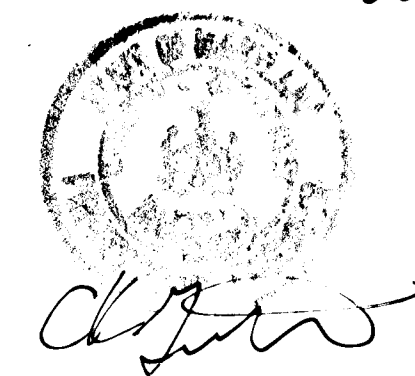
No	Type	Width dia (inside)	Top Elevation		Invert Elevation		Std Detail	Locations	Remarks
			Upper	Lower	Upper	Lower			
I-1	A-10	2'-0"	351.90	347.50	347.30	347.30	S.D. 441	See sheet 2	
I-2	A-5	2'-0"	354.90	349.00	349.50	349.50	S.D. 440	2+28.33 Gray Sea Way	
I-3	A-5	2'-0"	354.80	350.25	349.05		"	E+11.00 Gray Sea Way	
I-4	S' inlet		353.70		350.72		S.D. 422	See sheet 2	
I-5	A-10	2'-0"	351.90	350.01	350.49	350.49	S.D. 441	E+10.28 Gray Sea Way	
I-6	COB 15	2'-0"	350.00	350.00	352.20	351.04	MSHA Det. 314 G2	E+10.358 Gray Sea Way	
I-7	S' inlet		355.70		352.70		S.D. 442	See sheet 2	
M-1	St'd M4	4'-0"	343.70	342.00	345.50	345.50	G. 501	See sheet 2	
M-2	St'd M4	4'-0"	350.24	345.80	342.50	342.50	G. 501	See sheet 2	

No.	STATION	OFFSET	TOP OF CURB ELEV.	CURB & GUTTER TYPE
1	2+02.50	SEE PLAN	354.00	STD. 7" COMB. (R-3.0)
2	3+23.22-PT	LT. 12'	355.73	MODIFIED COMB. (R-3.0)
3	6+28.40-PC	LT. 12'	362.99	"
4	10+57.34-PT	RT. 14'	364.47	"
5	0+87.14	RT. 14'	365.40	"
6	0+72.48	LT. 14'	365.54	REV. 7" COMB.
7	0+16.14	LT. 18.68'	366.50	"
8	0+56.13	LT. 14'	367.64	"
9	0+39.53	LT. 14'	367.28	"
10	0+15.33	LT. 16'	368.72	"
11	0+10.85	LT. 18'	368.60	"
12	10+07.79	LT. 14'	368.14	"
13	SEE PLAN		365.50	STD. 7" COMB. (R-3.0)
14	0+23.25	RT. 17'	365.60	"
15	7+24.25	RT. 17'	364.20	"
16	7+14.25	RT. 17'	364.00	"
17	6+15.25	RT. 17'	362.10	"
18	6+05.25	RT. 17'	361.80	"
19	5+06.25	RT. 17'	359.00	"
20	4+36.25	RT. 17'	359.60	"
21	4+06.25	RT. 17'	358.40	"
22	3+56.25	RT. 17'	357.70	"
23	3+06.07	RT. 16.97'	356.10	"
24	3+01.91	RT. 12.02'	355.00	"
25	2+12.83	RT. 12'	354.34	REV. 6" COMB.
26	1+08.06	RT. 23.04'	353.70	REV. 6" COMB.
27	1+56.51	RT. 17'	352.60	"
28	1+46.51	RT. 17'	352.40	"
29	0+28.14	RT. 24.94'	352.3	MODIFIED COMB. (R-3.0)
30	0+39.60	RT. 16.23'	352.8	"
31	0+30.57	RT. 12'	354.4	"
32	1+40.75	RT. 12.02'	MATCH EX.	EXISTING
33	2+10.22	RT. 12'	355.4	7" COMB. (R-3.0)
34	2+44.45	RT. 12'	355.2	"
35	2+14.83	LT. 12'	354.5	"
36	1+20.31	LT. 12'	353.60	REV. 6" COMB.
37	1+25.40	LT. 18.17'	353.40	"
38	1+42.31	LT. 17.01'	353.00	"
39	1+37.53	LT. 12.02'	352.80	"
40	0+35.15	LT. 12'	353.0	"
41	0+72.16	LT. 17.64'	353.30	"
42	0+45.13	LT. 17.73'	354.20	"
43	0+38.84	LT. 12.68'	354.40	"

Approved: Howard County Dept. of Public Works
Robert W. Daniels 3-18-96
 Chief, Bureau of Highways

Approved: Howard County Dept. of Planning & Zoning
Quinn J. Janyan 3/28/96
 Chief, Div. of Land Development & Research

Michael J. Janyan 3/22/96
 Chief, Development Engineering Div.



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DATE	REVISION	BY	APP'R.

PREPARED FOR
 Trapalgar House
 Residential Maryland
 8X5 Guilford Road
 Suite 290
 Columbia, Maryland 21046
 Phone: (301) 621-8151

Storm Drain Profiles & Details
Village of Longreach
 Section 4 Area 2
 Lots "C-1" thru "C-6B"
 Guilford Election District No. 6
 Howard County, Maryland

DES.:	SCALE	ZONING	G.L.W. FILE NO.
CKG	As shown	NT	75-032
DRN.:	DATE	TAX MAP NO.	SHEET
KLP	March, 1996	37	5 of 5

F-96-68