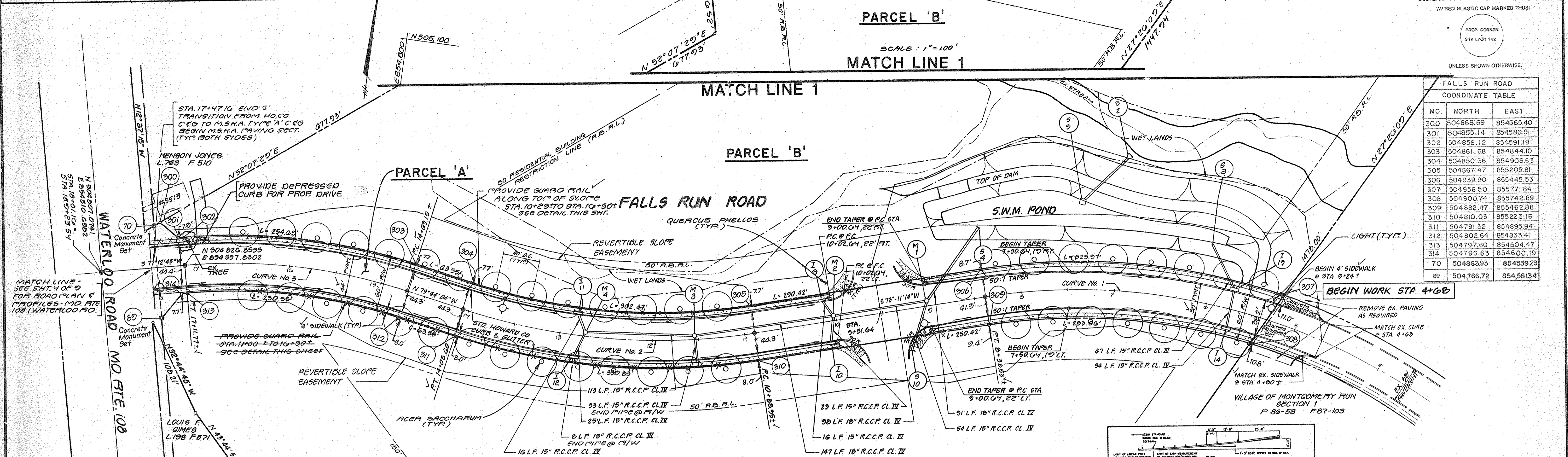




CURVE NO.	DELTA	RADIUS	LENGTH	TANGENT	CHORD LENGTH	CHORD BEARING
1	27° 01' 10.81"	600.00'	306.83'	196.17'	303.70'	S 83° 41' 49.03" W
2	27° 04' 42.26"	670.00'	316.05'	191.34'	313.71'	S 83° 49' 59.36" W
3	23° 03' 11.49"	600.00'	242.62'	122.97'	240.99'	S 85° 44' 21" W

STATION	NORTH	EAST	DESCRIPTION
5+32	504,928.6821	855,757.3954	RD. @ E
8+38.53	504,911.1849	855,754.2039	PT.
9+51.64	504,878.4678	855,345.9258	POT.
10+88.95	504,838.7511	855,214.4840	PC.
14+06.60	504,820.8376	854,901.2876	PT.
14+69.15	504,832.1625	854,838.7581	PC.
17+11.77	504,826.8595	854,597.8302	PT.
18+01.16	504,807.0741	854,510.6562	E/W 108 INTER.



**PLANTING NOTES**

- THIS PLAN FOR PLANTING LOCATIONS ONLY.
- Contractor shall be solely responsible for all plant maintenance during construction and throughout the one year warranty period.
- All dimensions to be taken from back of curb typical.
- Contractor to lay out and clearly stake all proposed improvements included on this plan.
- Contractor responsible for contacting MDOT utility prior to beginning construction for location of all utility lines. Trees to be located a minimum of 5' from sewer/water connections.
- Contractor to verify quantities shown on plant list with totals indicated on plan. Landscape Architect to be alerted by Contractor to any discrepancies prior to final bid negotiation. Unit prices for all material shall be supplied to the Owner at bidding time.
- All materials shall be subject to approval by the Landscape Architect. Owner shall receive tag from each plant species and a list of plants supplemental to the plant list shall meet the normal requirements for the variety per AS standards. Plants shall be graded prior to delivery only upon the approval of the Landscape Architect.
- All plants shall be freshly dug, sound, healthy, vigorous, well branched, free of disease, insect eggs, and larvae, and shall have adequate root systems.
- Where trees are planted in rows, they shall be uniform in size and shape.
- Spacings specified in the plant list are minimum sizes to which the plants are to be judged. Failure to meet minimum size on any plant will result in rejection of that plant.
- All landscape ground material shall be healthy, vigorous, well-rooted plants and established in the container in which they are set out. The plants shall have top which are well quality and are in a healthy growing condition.
- All plants shall conform to AS standards and shall be well established.
- Groups of shrubs shall be placed in a continuous single bed with smooth continuous lines. All unshaded bed edges shall be curvilinear in shape following the contour of the plant mass.
- No existing trees shall be removed without written authorization from the Owner except those noted on plan.
- Tree shall be located a minimum of 5' from walls and wells within the project. If conflicts arise between actual site of area and plans, Contractor to contact Landscape Architect for resolution. Failure to make such conflict known to the Owner or Landscape Architect will result in Contractor's liability to relocate materials.
- Tree staking and tying shall be done per details. Contractor shall be responsible for the tree's stability for the duration of the guarantee period.
- All tree pits, shrub beds and prepared planting beds to be completely staked in accordance with the planting details.
- Mulch to be shredded hardwood bark for trees and shrubs. Fine bark mulch to be used for perennial beds. Shredded hardwood bark to be used at existing trees to remain.
- Roots of all plants shall be neither (either) cut or damaged.
- Taps and twines are to be removed and buried to be rolled back on all 850 plant material.
- Shubs and groundcovers shall be triangularly spaced at spacing shown on plant list.
- Shade Trees: Height shall be measured from ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Measurements are not to include any terminal growth. Single trunk trees shall be free of "crotches" that could be points of weak limb structure or disease infestation. Sheds: Height shall be measured from the ground to the average point where mature plant growth stops. Spread shall be measured to the end of branching equally around the shrub mass. Measurements are not to include any terminal growth.
- All beds to be planted with their roots down.
- Contractor shall inspect all beds and bring any damaged material to the attention of the Owner prior to planting.
- All seasonal color will be selected by the Landscape Architect prior to installation. All seasonal color shall be triangularly spaced at spacing shown on planting plans. One year (4 rotations of seasons) shall be the time that adjacent plantings are installed.
- Contractor is responsible for maintaining all shrubs and groundcover areas in a weed and obnoxious-free condition throughout the guarantee period.
- All substitutions of plant material are to be requested in writing to the Landscape Architect and approved in writing by the Owner. Failure to obtain substitution approval in writing may result in liability to the Contractor.
- All contractors shall be required to completely remove all trash debris and excess materials from the work area and dispose properly (especially all cut and galled) daily.
- Large growing plants are not to be placed directly in front of windows, under building overhangs or in drainage paths. Adjust in field as necessary. All plants to be located off sight lines. No trees allowed within easements.

PLAN  
SCALE: 1" = 50'

PARCEL 'C'

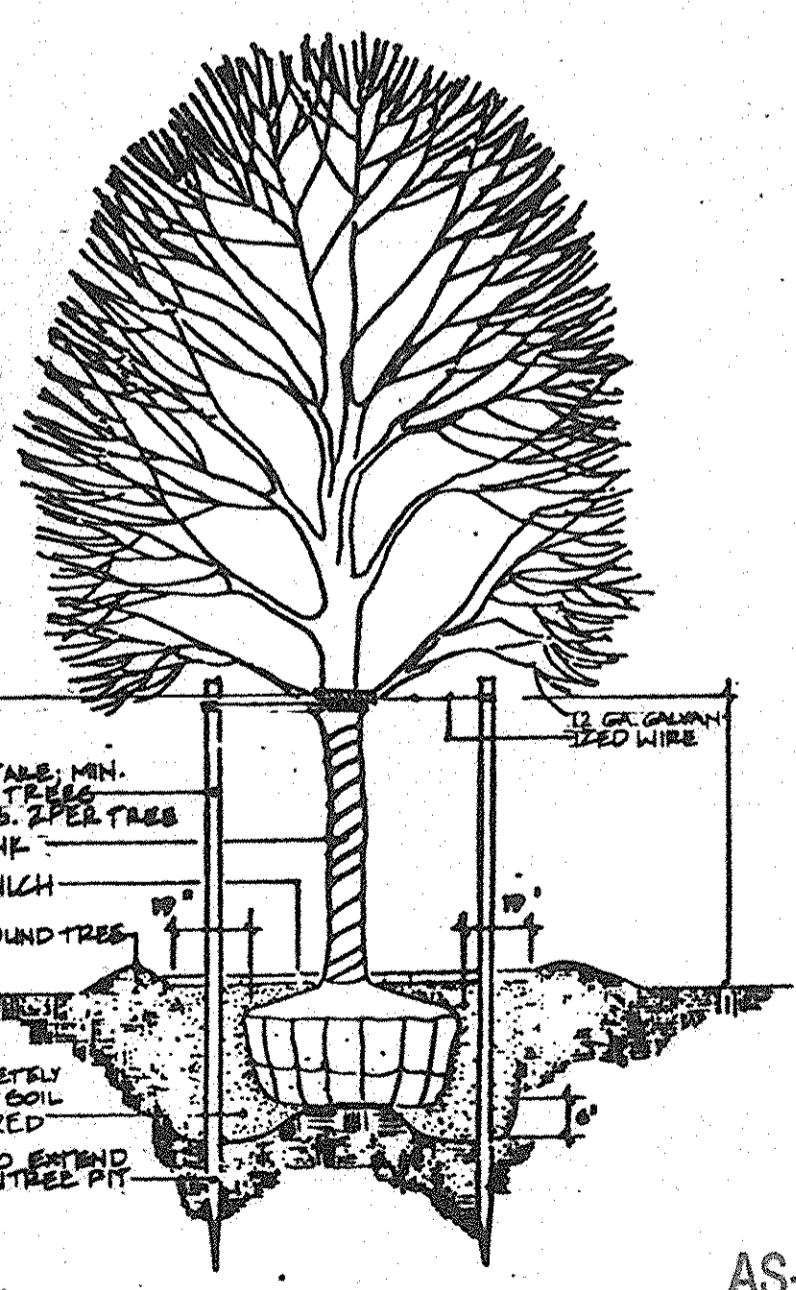
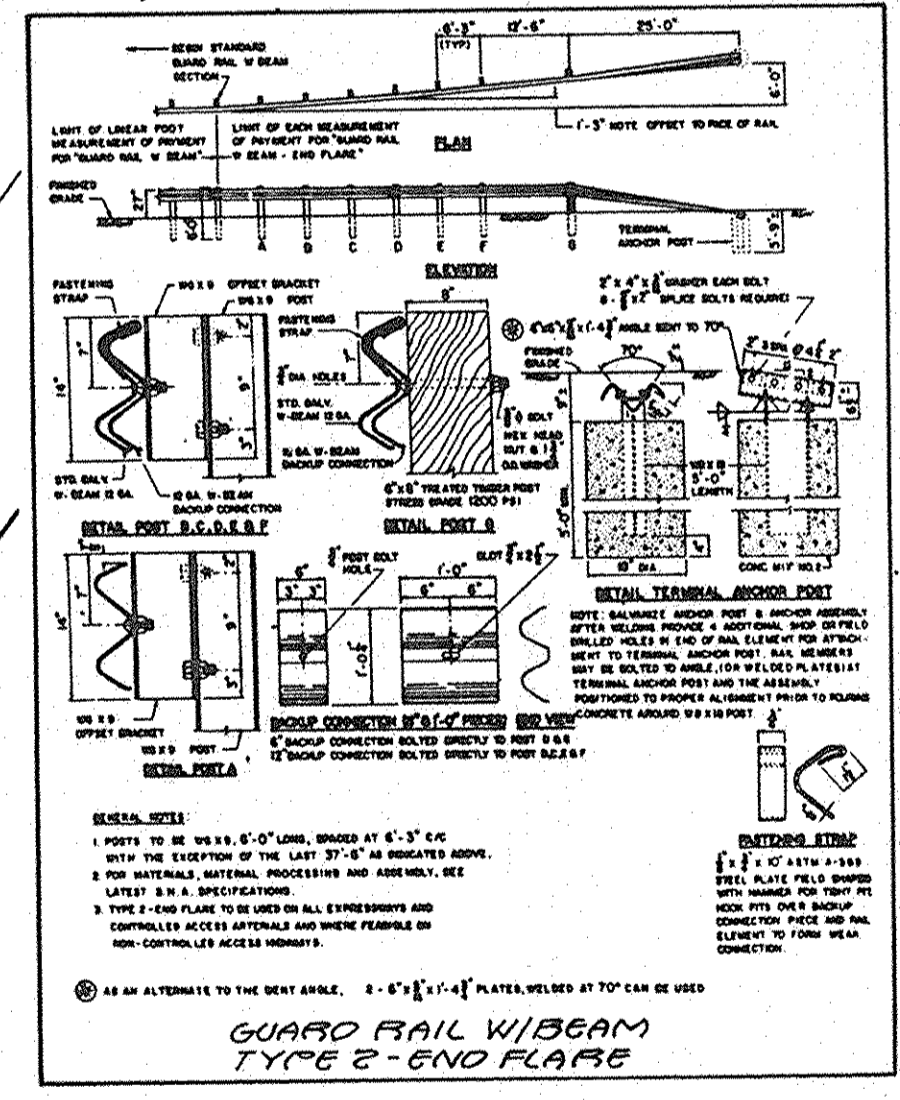
MATCH LINE 2  
SCALE: 1" = 100'

PARCEL 'C'

**TREE PLANTING**

THE LOCATIONS, TYPE AND NUMBER OF TREES SHOWN ON THESE PLANS ARE TENTATIVE AND ARE USED FOR BOND PURPOSES ONLY. THE FINAL LOCATION AND VARIETY OF TREES MAY VARY TO ACCOMMODATE FIELD CONDITIONS AND BUILDERS LANDSCAPE PROGRAM. BOND RELEASE IS CONTINGENT UPON SECTION 16.131 OF THE HOWARD COUNTY SUBDIVISION REGULATIONS AS APPROVED BY THE OFFICE OF PLANNING AND ZONING.

KEY	QTY.	BOTANICAL NAME	COMMON NAME
(Symbol)	4	<i>Quercus phellos</i>	Willow Oak
(Symbol)	43	<i>Acer saccharum</i>	Sugar Maple



DEPARTMENT OF PUBLIC WORKS  
HOWARD COUNTY, MARYLAND

DIRECTOR OF PUBLIC WORKS DATE: 12/14/89  
CHIEF, BUREAU OF HIGHWAYS

CHIEF, BUREAU OF ENGINEERING DATE: 12/14/89  
CHIEF, LAND DEVELOPMENT DIVISION

STV/LYON ASSOCIATES.  
ENGINEERS, ARCHITECTS & PLANNERS.

21 GOVERNOR'S COURT  
BALTIMORE, MARYLAND 21207-2722  
301.944.9112

DES: E.A.S.  
DRN: W.K.C.  
CHK: P.C.P.

TLS: 2 PROP DRIVE REV. 2-28-92  
MAR: 1 AS-BUILT 2-20-92

DATE: 6/27/89  
BY NO. REVISION

OWNER/DEVELOPER  
SUMMIT PROPERTIES  
203 KEY HIGHWAY  
BALTIMORE, MARYLAND 21230  
301-234-0070

HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

PLANNING DIRECTOR  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

DATE: 12/14/89

ASHTON WOODS ROAD PLAN  
FALLS RUN ROAD  
STA. 4+68 TO STA. 17+76.16

AS-BUILT

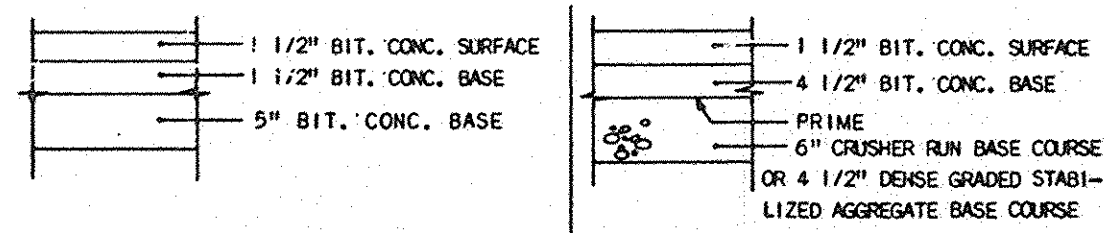
SCALE AS SHOWN  
SHEET 2 of 9

TAX MAP NO. 31  
PARCEL NO. 423

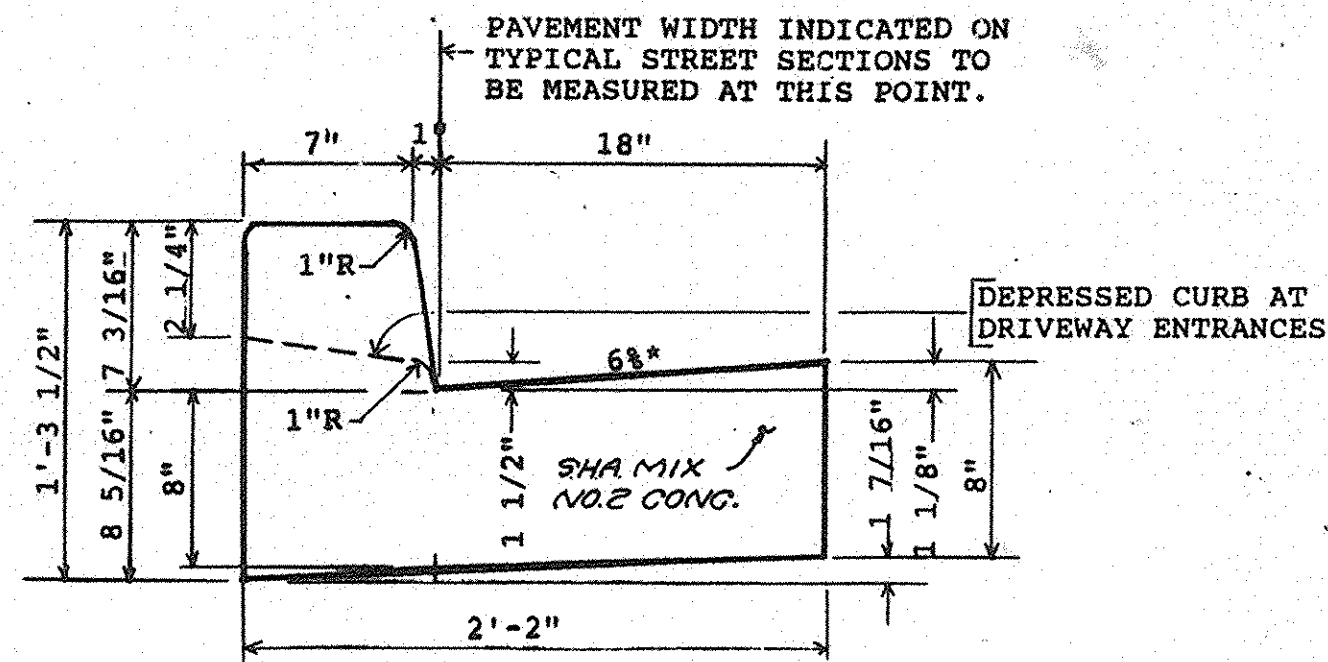
HOWARD COUNTY, MARYLAND  
1ST ELECTION DISTRICT

1506

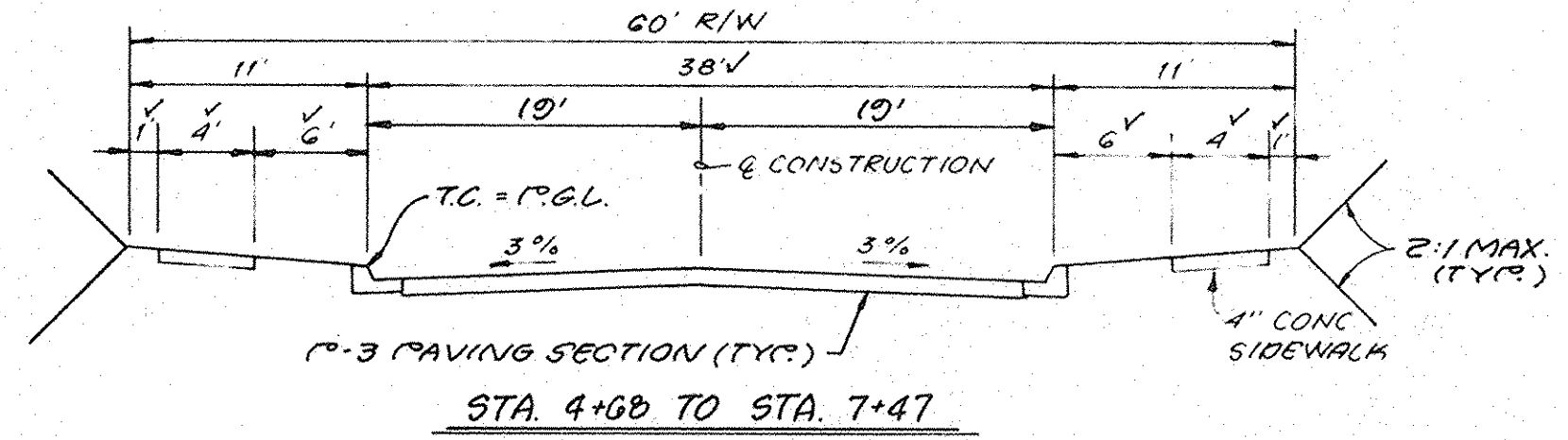
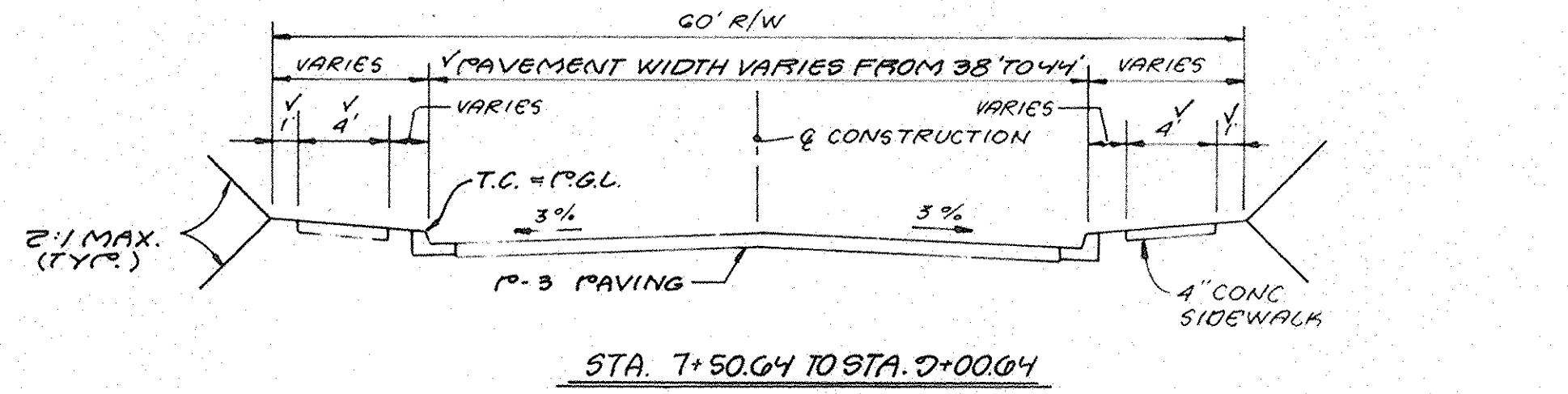
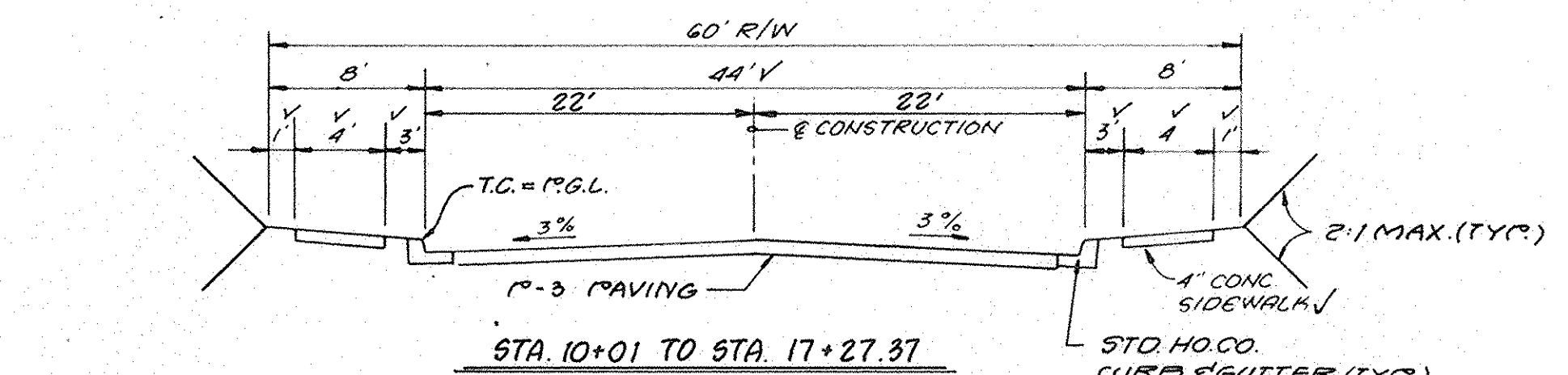
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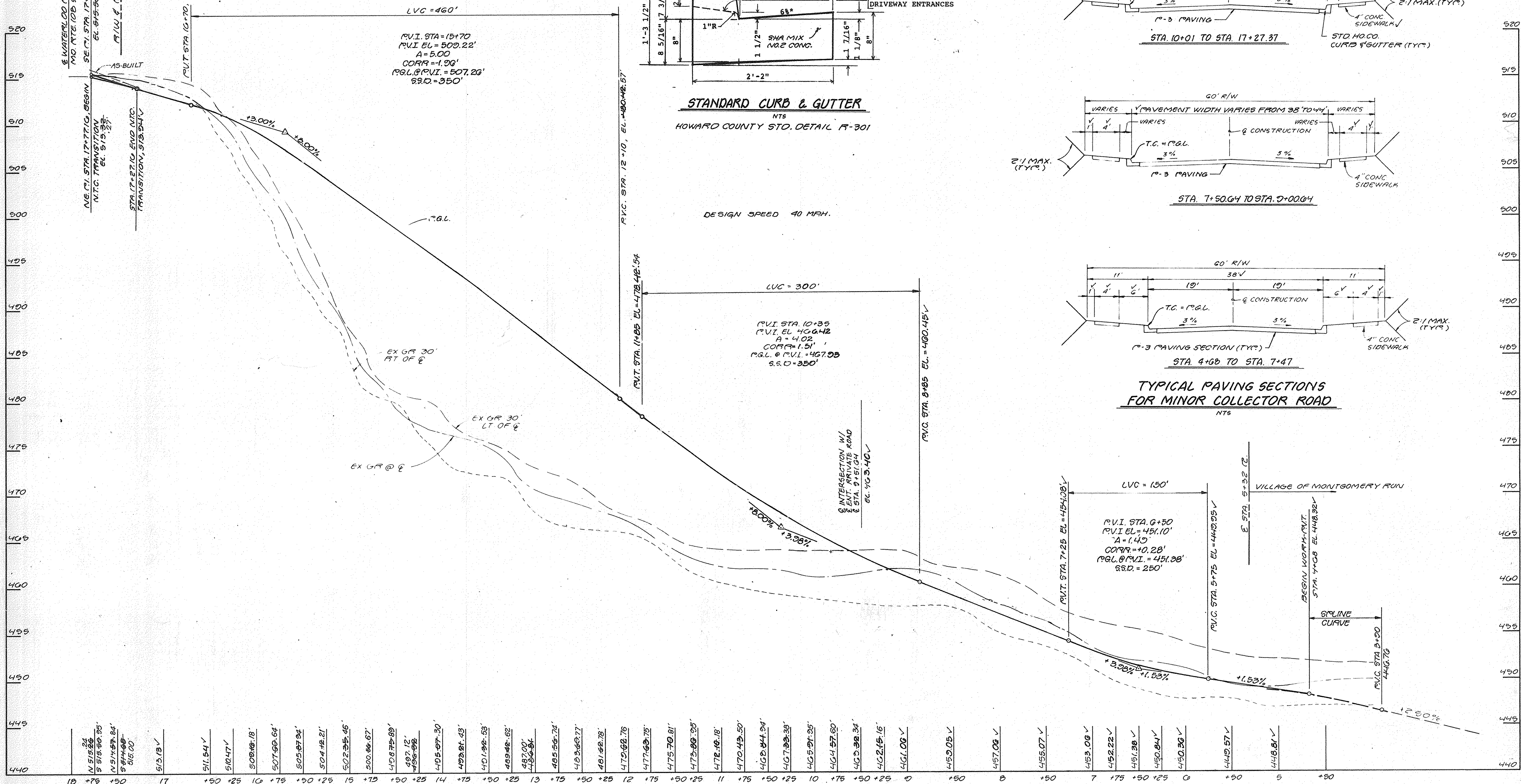
**PAVING SECTION  
TYPE P-3**



**STANDARD CURB & GUTTER**  
NTS  
HOWARD COUNTY STD. DETAIL R-301



**TYPICAL PAVING SECTIONS  
FOR MINOR COLLECTOR ROAD**  
NTS



**PROFILE - FALLS RUN ROAD**  
SCALE: 1" = 5' VERT.  
1" = 50' HOR.

**DEPARTMENT OF PUBLIC WORKS**  
HOWARD COUNTY, MARYLAND

DIRECTOR OF PUBLIC WORKS: *James M. W...* DATE: 12/10/89  
CHIEF, BUREAU OF HIGHWAYS

CHIEF, BUREAU OF ENGINEERING: *...* DATE: 12/10/89  
CHIEF, LAND DEVELOPMENT DIVISION

**STV/LYON ASSOCIATES.**  
ENGINEERS, ARCHITECTS & PLANNERS.

21 GOVERNOR'S COURT  
BALTIMORE, MARYLAND 21207-2722  
301-944-9112

Professional Engineer Seal: *Paul C. ...* 420209

DES: E.A.S.			
DRN: W.K.C.			
CHK: P.C.R.			
DATE: 6/27/89	MAR 1	AS-BUILT	2-20-92
BY	NO.	REVISION	

OWNER/DEVELOPER  
SUMMIT PROPERTIES  
205 KEY HIGHWAY  
BALTIMORE, MARYL. AND 21230  
301-234-0070

**HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING**

PLANNING DIRECTOR: *...* DATE: 12/10/89  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

**ASHTON WOODS ROAD PROFILE**  
FALLS RUN ROAD  
STA. 4+68 TO STA. 17+76.16

AS-BUILT

TAX MAP NO. 31  
PARCEL NO. 423

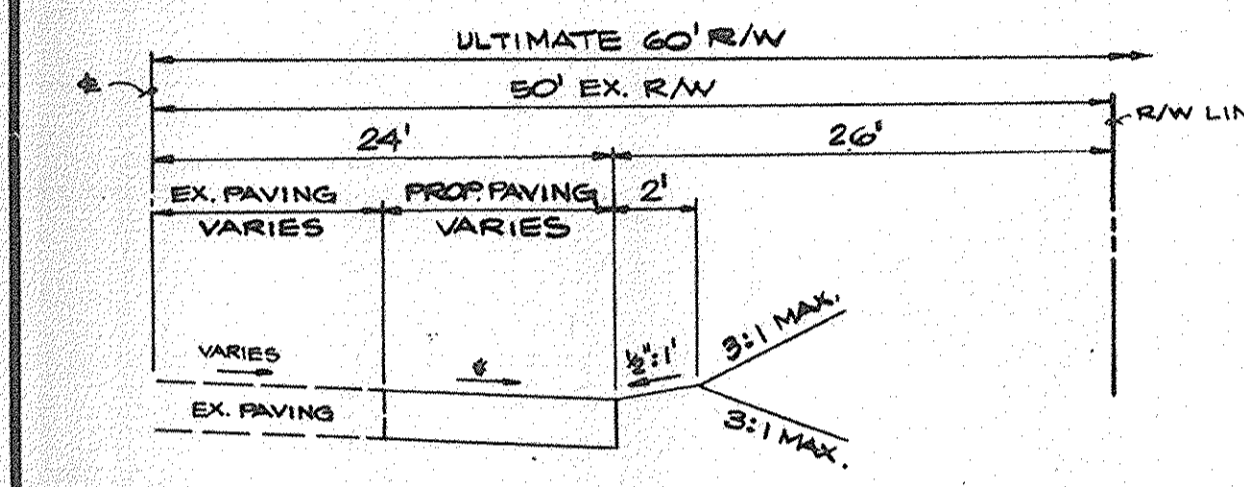
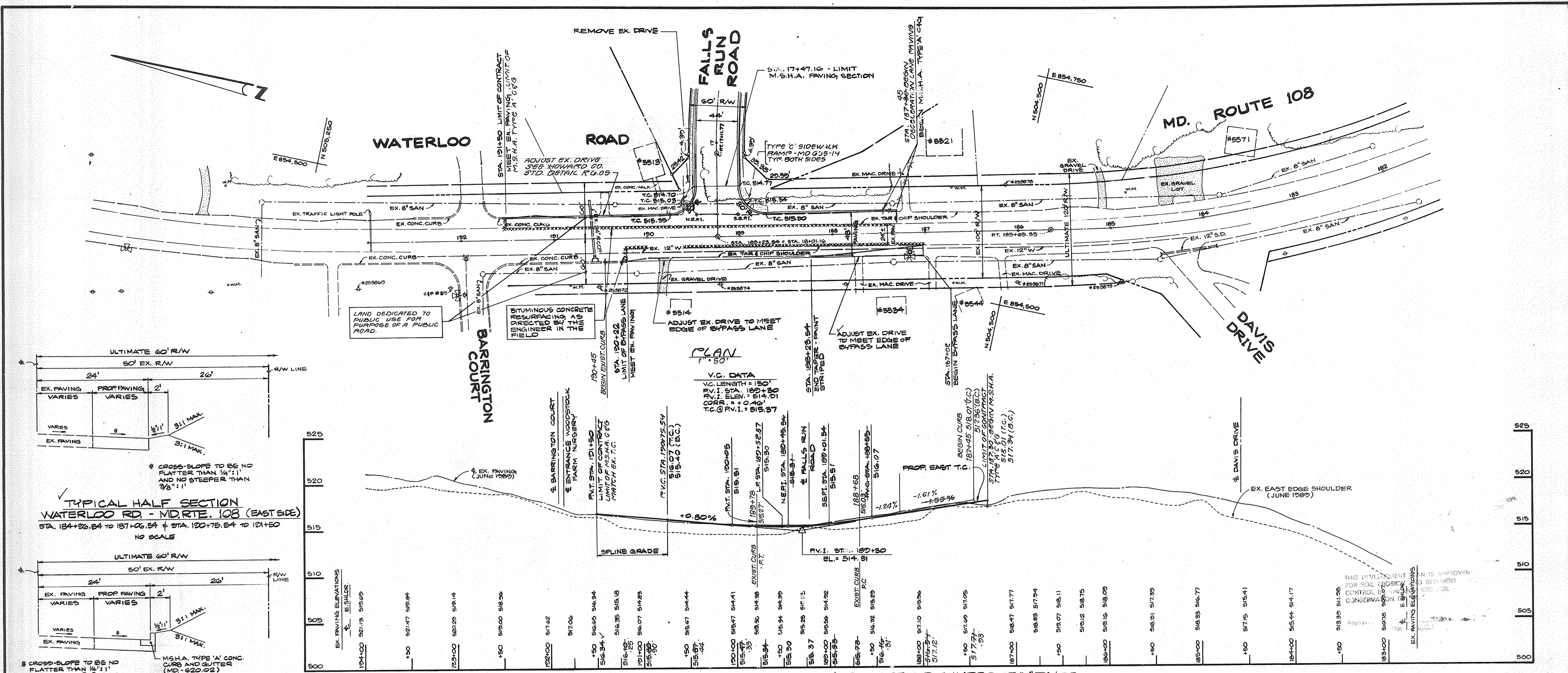
HOWARD COUNTY, MARYLAND  
1 ST. ELECTION DISTRICT

SCALE AS SHOWN

SHEET 3 of 9

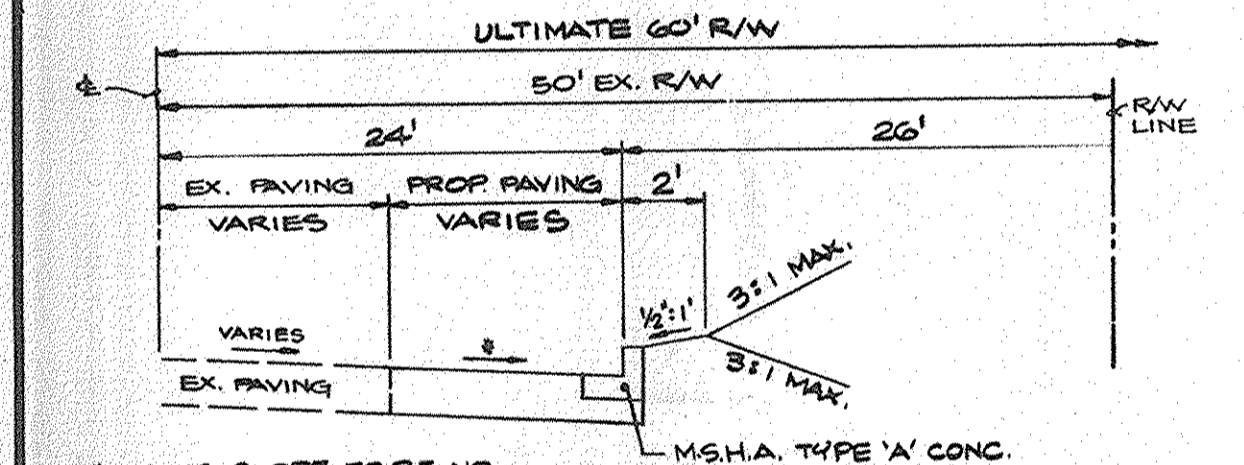
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F-70-11



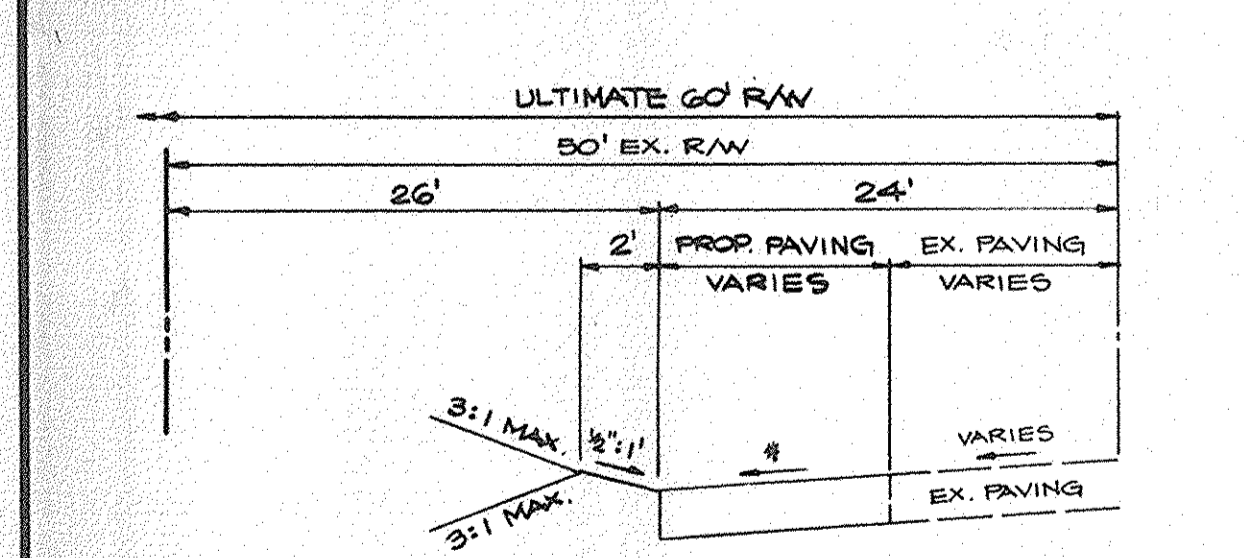
\* CROSS-SLOPE TO BE NO FLATTER THAN 1/4":1" AND NO STEEPER THAN 3/8":1"

TYPICAL HALF SECTION WATERLOO RD - MD. RTE. 108 (EAST SIDE) STA. 184+26.54 TO 187+06.54 & STA. 190+75.54 TO 191+50 NO SCALE



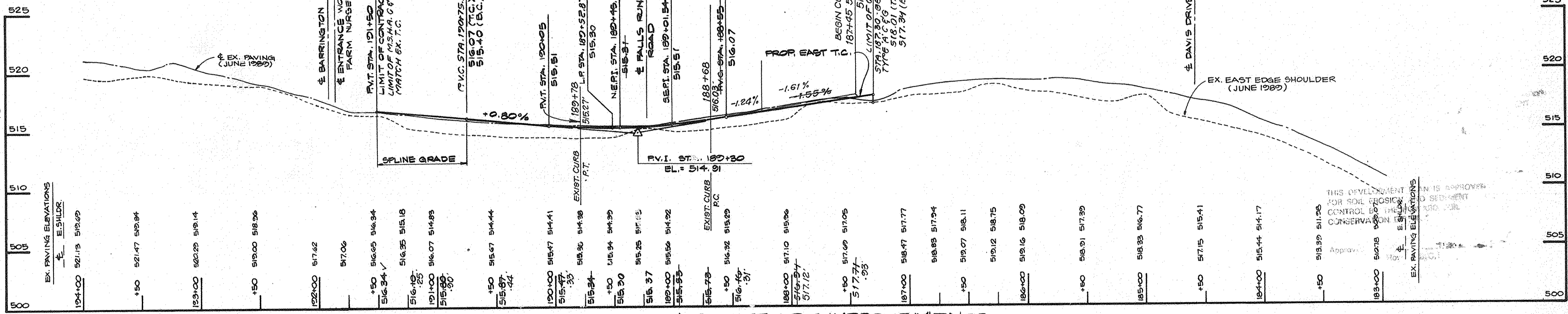
\* CROSS-SLOPE TO BE NO FLATTER THAN 1/4":1" AND NO STEEPER THAN 3/8":1"

TYPICAL HALF SECTION WATERLOO RD - MD. RTE. 108 (EAST SIDE) STA. 187+06.54 TO STA. 190+75.54 NO SCALE

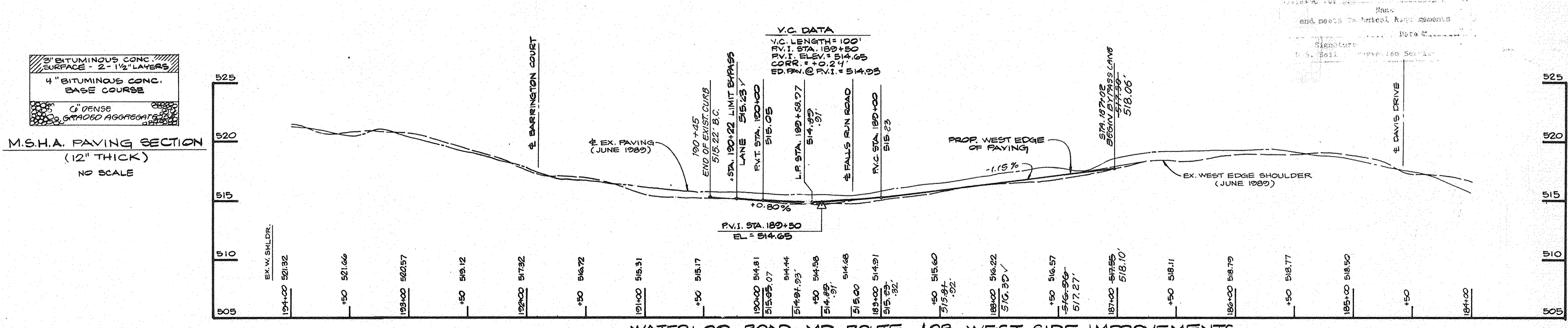


\* CROSS-SLOPE TO BE NO FLATTER THAN 1/4":1" AND NO STEEPER THAN 3/8":1"

TYPICAL HALF SECTION WATERLOO RD - MD. RTE. 108 (WEST SIDE) STA. 186+75.54 TO STA. 190+22 NO SCALE



WATERLOO ROAD - MD. ROUTE 108 EAST SIDE IMPROVEMENTS



WATERLOO ROAD - MD. ROUTE 108 WEST SIDE IMPROVEMENTS

PROFILES

SCALE: HOR: 1"=50' VERT: 1"=5'

DEPARTMENT OF PUBLIC WORKS  
HOWARD COUNTY, MARYLAND

DIRECTOR OF PUBLIC WORKS DATE: *Draville W. Weiland* 11/20/89  
CHIEF, BUREAU OF ENGINEERING DATE: *Richard J. Riley* 12/14/89

CHIEF, BUREAU OF HIGHWAYS DATE: *Richard J. Riley* 12/14/89  
CHIEF, LAND DEVELOPMENT DIVISION DATE: *Richard J. Riley* 12/14/89

STV/LYON ASSOCIATES.  
ENGINEERS, ARCHITECTS & PLANNERS.

21 GOVERNOR'S COURT  
BALTIMORE, MARYLAND 21207-2722  
301-944-9112

Professional Engineer Seal: *Patrick C. Roberts* 816189

DES: MWK	
DRN: MWK	
CHK: PCR	
DATE: 8-88	
BY: MAR 1	AS-BUILT 2-20-92
NO.:	REVISION:

OWNER/DEVELOPER  
SUMMIT PROPERTIES  
203 KEY HIGHWAY  
BALTIMORE, MARYLAND 21230  
301-234-0070

HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

PLANNING DIRECTOR: *Richard J. Riley* DATE: 12/15/89  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION: *J.A.*

ASHTON WOODS  
ROAD PLAN AND PROFILES  
WATERLOO ROAD - MD. ROUTE 108

AS-BUILT

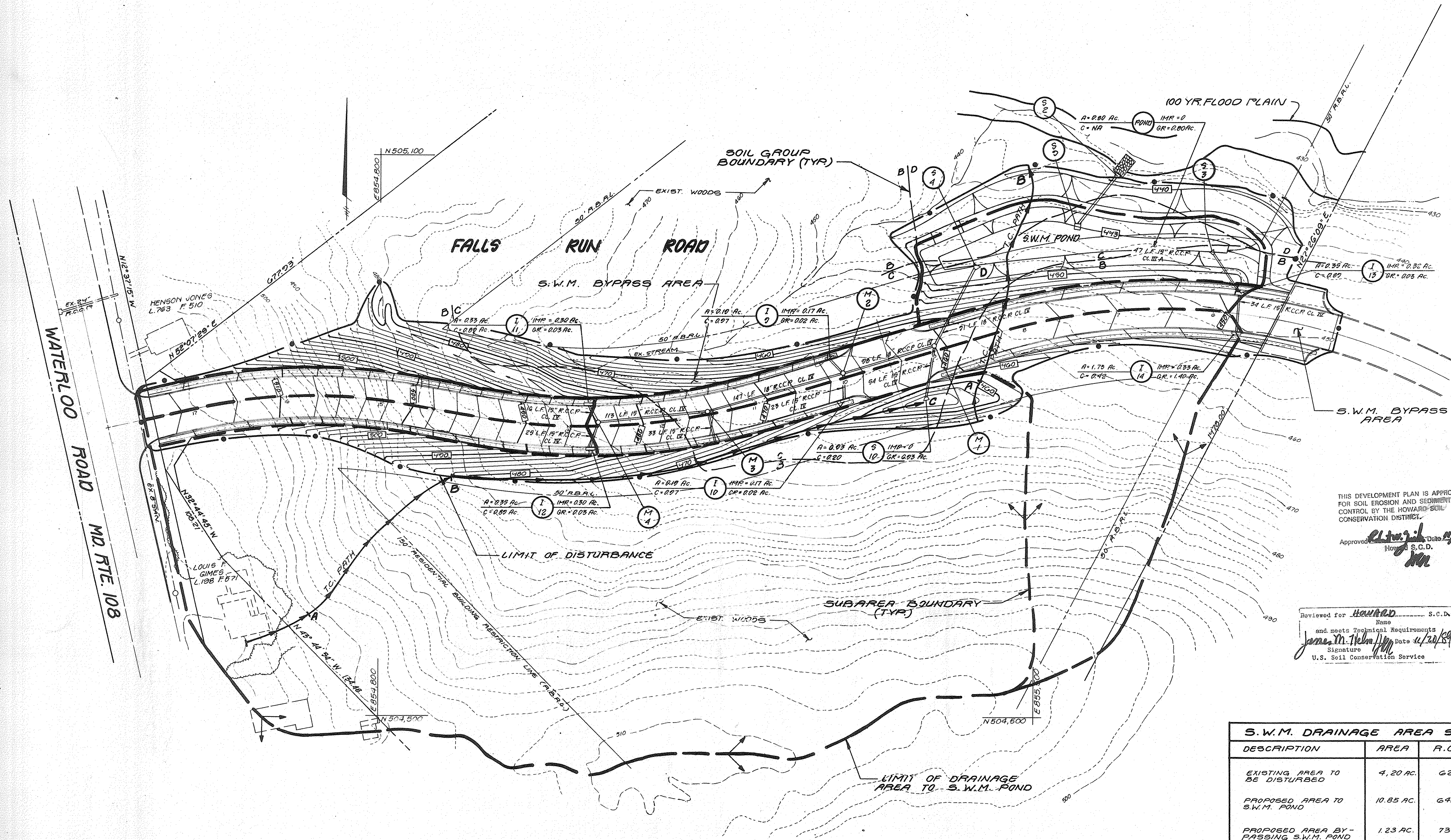
TAX MAP NO. 31  
PARCEL NO. 423

HOWARD COUNTY, MARYLAND  
1ST. ELECTION DISTRICT

SCALE AS SHOWN  
SHEET 4 of 9

1506

F-70-11



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

Approved: *[Signature]* Date: *4/20/89*  
 Howard S.C.D.

Reviewed for Howard S.C.D. Name and meets Technical Requirements  
*James M. Nelson* Date: *4/20/89*  
 Signature U.S. Soil Conservation Service

S.W.M. DRAINAGE AREA SUMMARY			
DESCRIPTION	AREA	R.C.N.	T.C.
EXISTING AREA TO BE DISTURBED	4.20 AC.	62.0	.12 HR.
PROPOSED AREA TO S.W.M. POND	10.85 AC.	64.0	.20 HR.
PROPOSED AREA BY-PASSING S.W.M. POND	1.23 AC.	73.0	.10 HR.

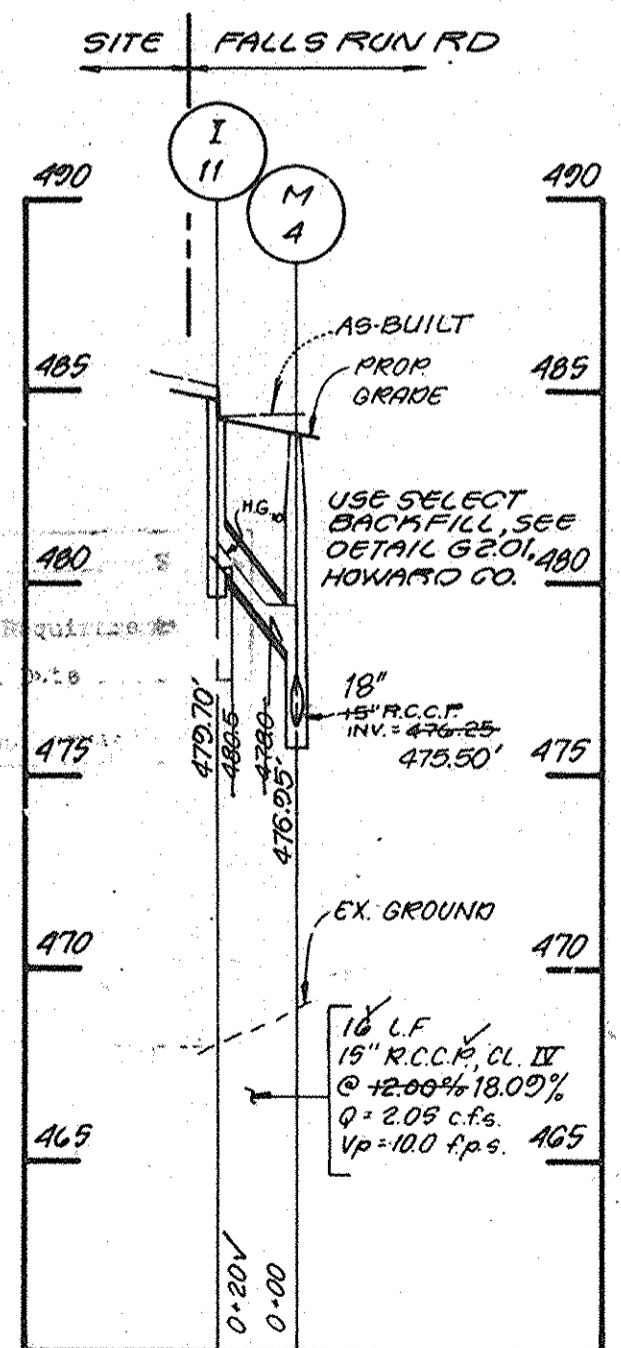
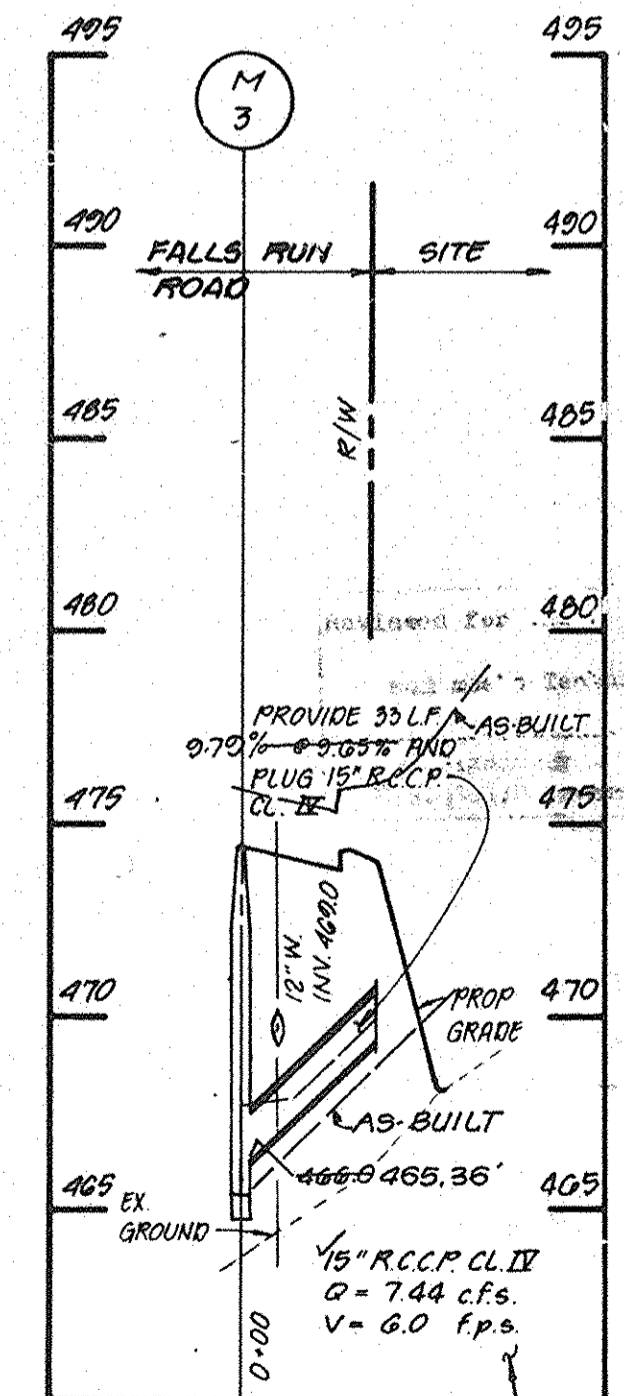
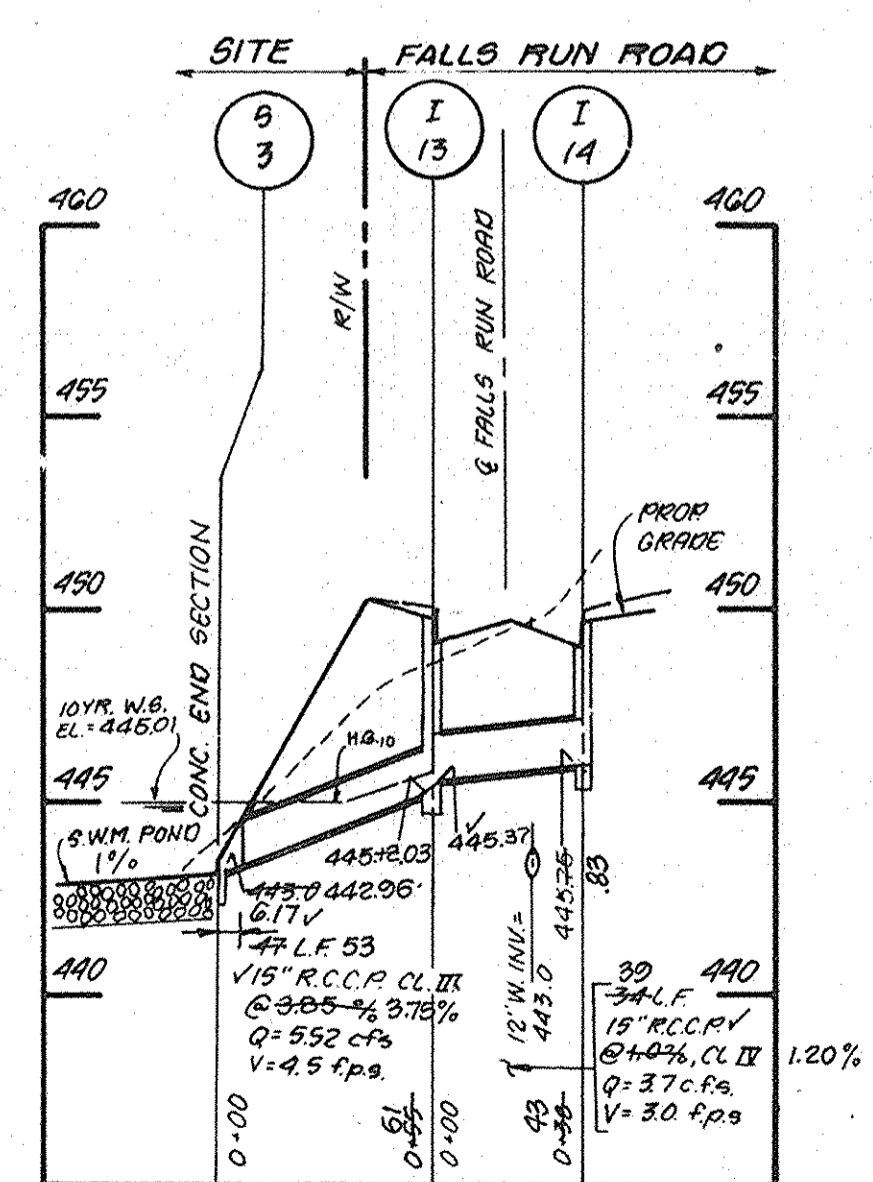
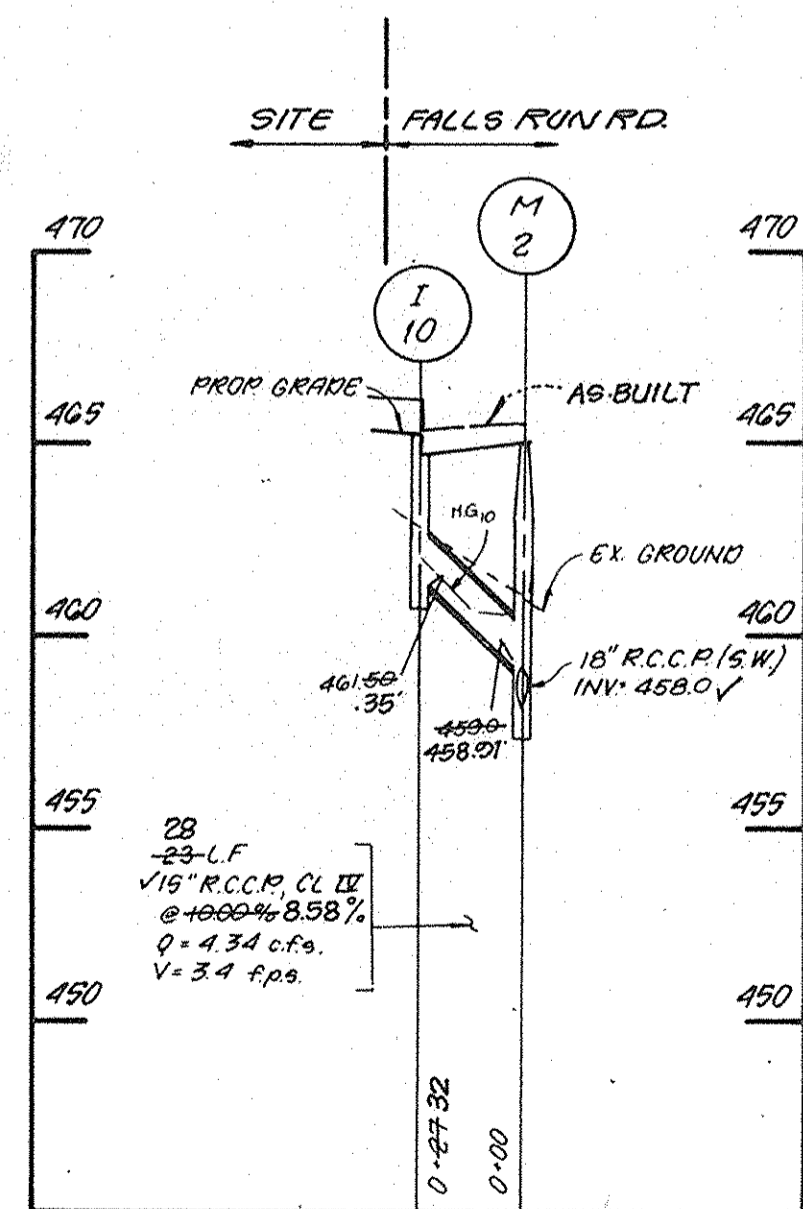
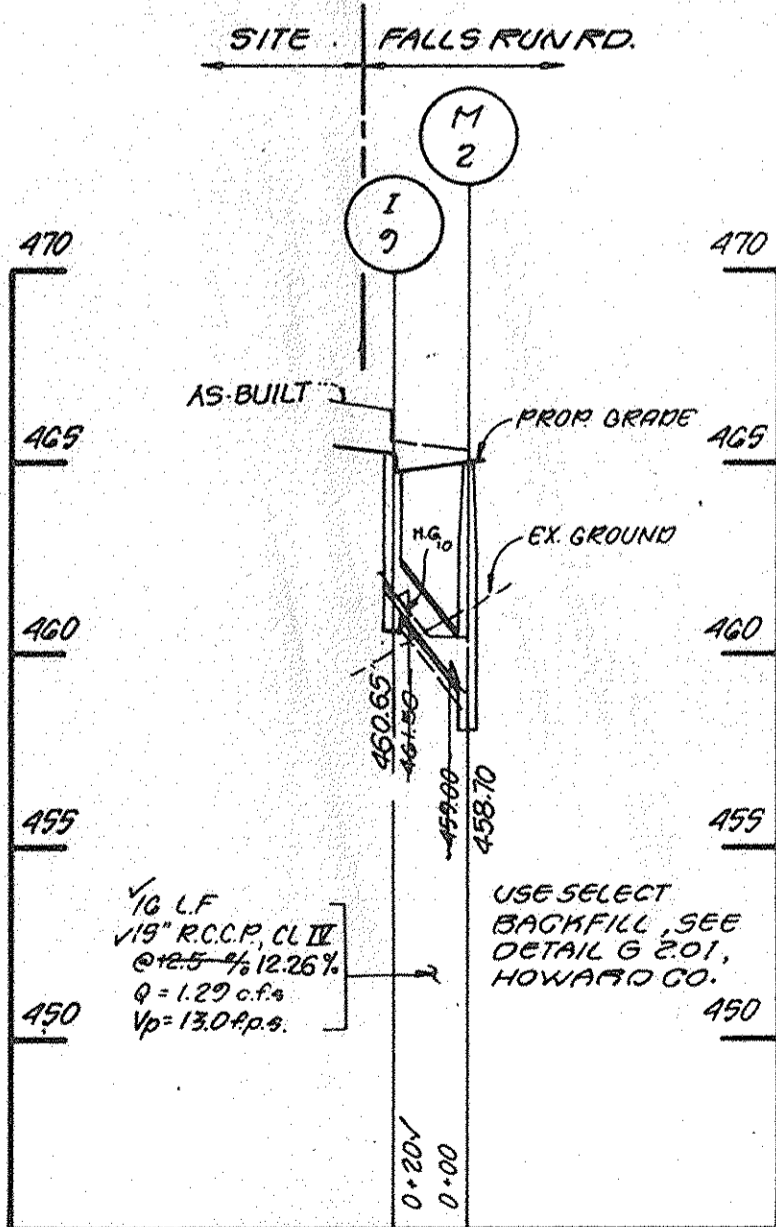
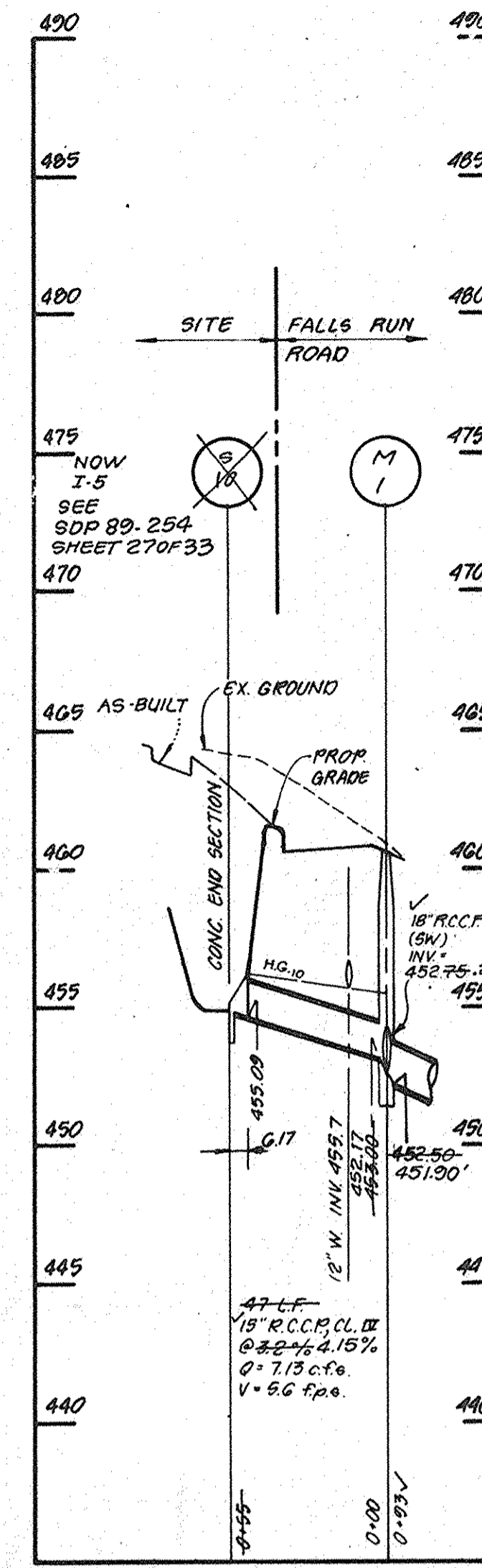
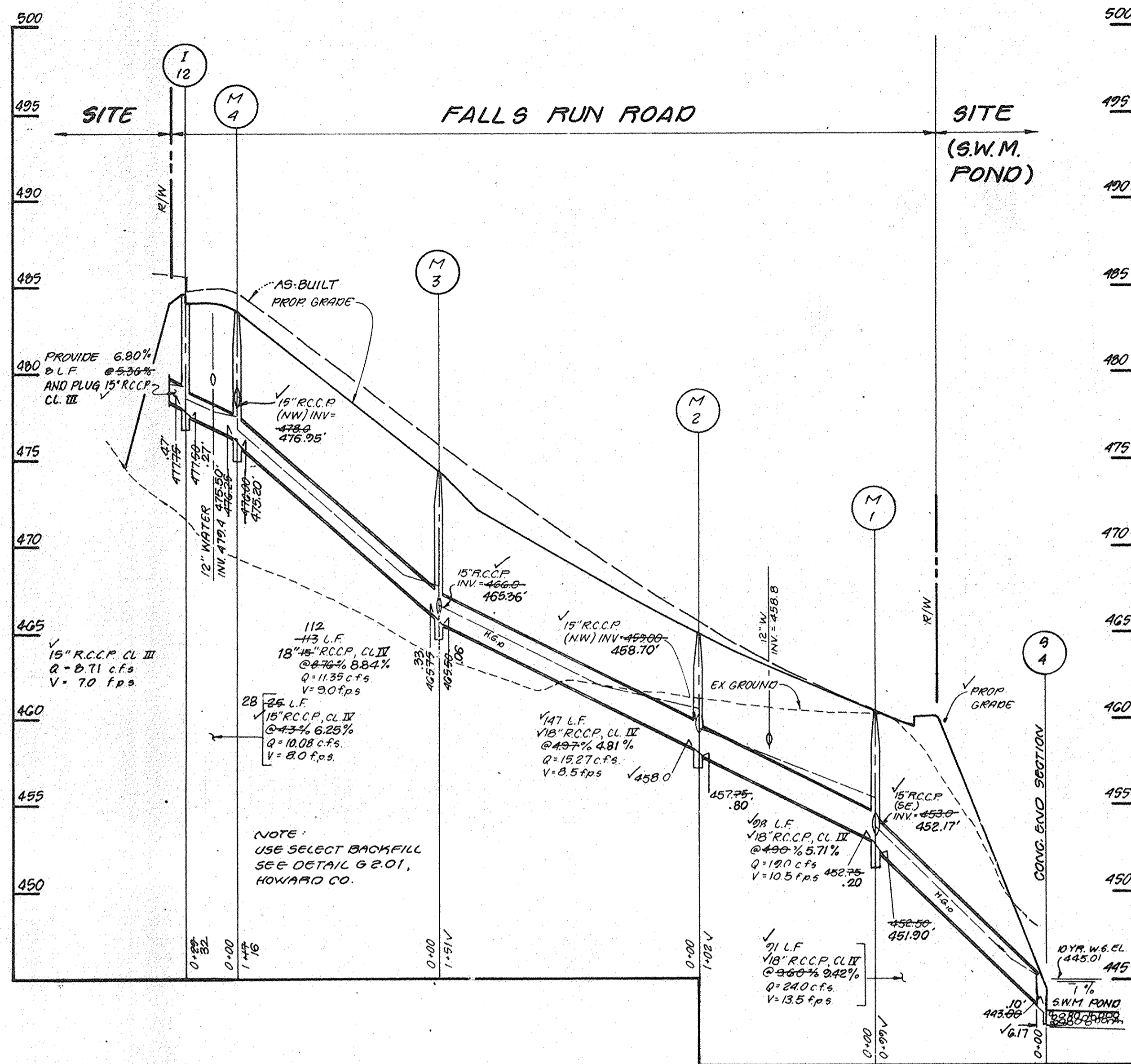
PLAN  
 SCALE: 1"=50'

DEPARTMENT OF PUBLIC WORKS HOWARD COUNTY, MARYLAND DIRECTOR OF PUBLIC WORKS: <i>[Signature]</i> DATE: <i>11/30/89</i> CHIEF BUREAU OF ENGINEERING: <i>[Signature]</i> DATE: <i>12/4/89</i>		STV/LYON ASSOCIATES. ENGINEERS, ARCHITECTS & PLANNERS. 21 GOVERNORS COURT BALTIMORE, MARYLAND 21207-2722 301-944-9112		DES: E.A.S. DRN: W.K.C. CHK: P.C.R. DATE: 6/27/89 BY NO. REVISION		OWNER / DEVELOPER SUMMIT PROPERTIES 203 KEY HIGHWAY BALTIMORE, MARYLAND 21230 301-234-0070		HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING PLANNING DIRECTOR: <i>[Signature]</i> DATE: <i>4/20/89</i> CHIEF DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION: <i>[Signature]</i> DATE:		ASHTON WOODS DRAINAGE AREA MAP FALLS RUN ROAD STA. 4+68 TO STA. 17+76.16 HOWARD COUNTY, MARYLAND 1ST. ELECTION DISTRICT		SCALE AS SHOWN SHEET 5 of 9
---	--	---	--	---	--	--	--	---	--	--	--	--------------------------------

**STORM DRAIN STRUCTURE SCHEDULE**

No.	TYPE	TOP EL.	INV. IN	INV. OUT	LOCATION	REMARKS
I-9	A-10 W/DEF	464.50	-	460.50	STA. 10+08, 22' RT.	HO. CO. PL. 50. 4.02
I-10	A-10 W/DEF	464.50	-	460.50	" " " " 22' LT.	HO. CO. PL. 50. 4.02
I-11	A-10 W/DEF	463.75	-	470.50	STA. 12+77, 22' RT.	HO. CO. PL. 50. 4.02
I-12	A-10 W/DEF	463.75	477.75	477.50	" " " " 22' RT.	HO. CO. PL. 50. 4.02
I-13	A-10	440.50	444.00	444.44	STA. 5+74, 19' RT.	HO. CO. PL. 50. 4.02
I-14	A-10	449.50	-	445.07	" " " " 10' LT.	HO. CO. PL. 50. 4.02
M-1	STD. MANHOLE	460.25	453.00	451.75	STA. 8+98, 0' RT.	HO. CO. PL. 6. 5.11
M-2	"	465.95	458.75	458.50	STA. 10+00, 0' RT.	HO. CO. PL. 6. 5.11
M-3	"	474.48	465.75	465.50	STA. 11+51, 0' RT.	HO. CO. PL. 6. 5.11
M-4	"	483.70	476.25	476.00	STA. 12+67, 0' RT.	HO. CO. PL. 6. 5.11
S-2	METAL END SEC.	-	-	443.43	STA. 0+95, 143' RT.	HO. CO. PL. 50. 5.01
S-3	CONC. END SEC.	-	443.10	443.00	STA. 0+10, 94' RT.	HO. CO. PL. 50. 5.01
S-4	"	-	443.13	443.00	STA. 8+33, 75' RT.	HO. CO. PL. 50. 5.01
S-10	"	-	455.00	454.50	STA. 9+22, 45' LT.	HO. CO. PL. 50. 5.01
S-0	FLOW CNTRL. INV.	446.35	441.00	440.00	STA. 7+31, 95' RT.	SEE DETAIL SHT. B

FOR AS-BUILT ELEVATIONS  
SEE SDP 89-254  
SHEET 28 OF 33



**STORM DRAIN PROFILES**  
SCALE: 1" = 5' VERT.; 1" = 50' HORIZ.

THIS DEVELOPMENT PLAN IS FOR THE USE OF THE USER AND IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF STV/LYON ASSOCIATES.

DEPARTMENT OF PUBLIC WORKS  
HOWARD COUNTY, MARYLAND  
DIRECTOR OF PUBLIC WORKS: *Travis W. W. [Signature]* DATE: 11/30/89  
CHIEF, BUREAU OF ENGINEERING: *[Signature]* DATE: 12/1/89  
CHIEF, BUREAU OF HIGHWAYS: *[Signature]* DATE: *[Signature]* DATE: *[Signature]*

STV/LYON ASSOCIATES.  
ENGINEERS, ARCHITECTS & PLANNERS.  
21 GOVERNOR'S COURT  
BALTIMORE, MARYLAND 21207-2722  
301 944 9112

DES: E.A.S.  
DRN: W.K.C.  
CHK: P.C.R.  
DATE: MAR 1 1989  
BY: NO. REVISION: 2-20-92

OWNER/DEVELOPER  
SUMMIT PROPERTIES  
203 KEY HIGHWAY  
BALTIMORE, MARYLAND 21230  
301-234-0070

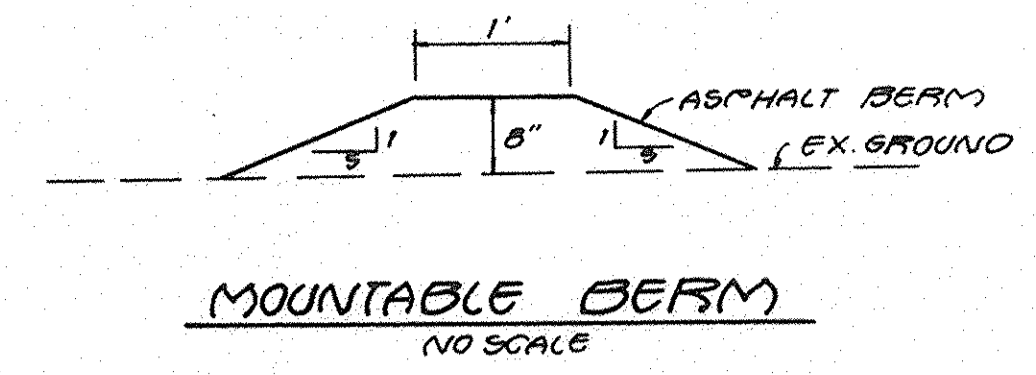
HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
PLANNING DIRECTOR: *[Signature]* DATE: *[Signature]*  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION: *[Signature]* DATE: *[Signature]*

ASHTON WOODS  
STORM DRAIN PROFILES  
FALLS RUN ROAD  
STA. 4+68 TO STA. 17+76.16  
AS-BUILT  
HOWARD COUNTY, MARYLAND  
1 ST. ELECTION DISTRICT  
TAX MAP NO. 31  
PARCEL NO. 423  
SCALE AS SHOWN  
SHEET 6 of 9

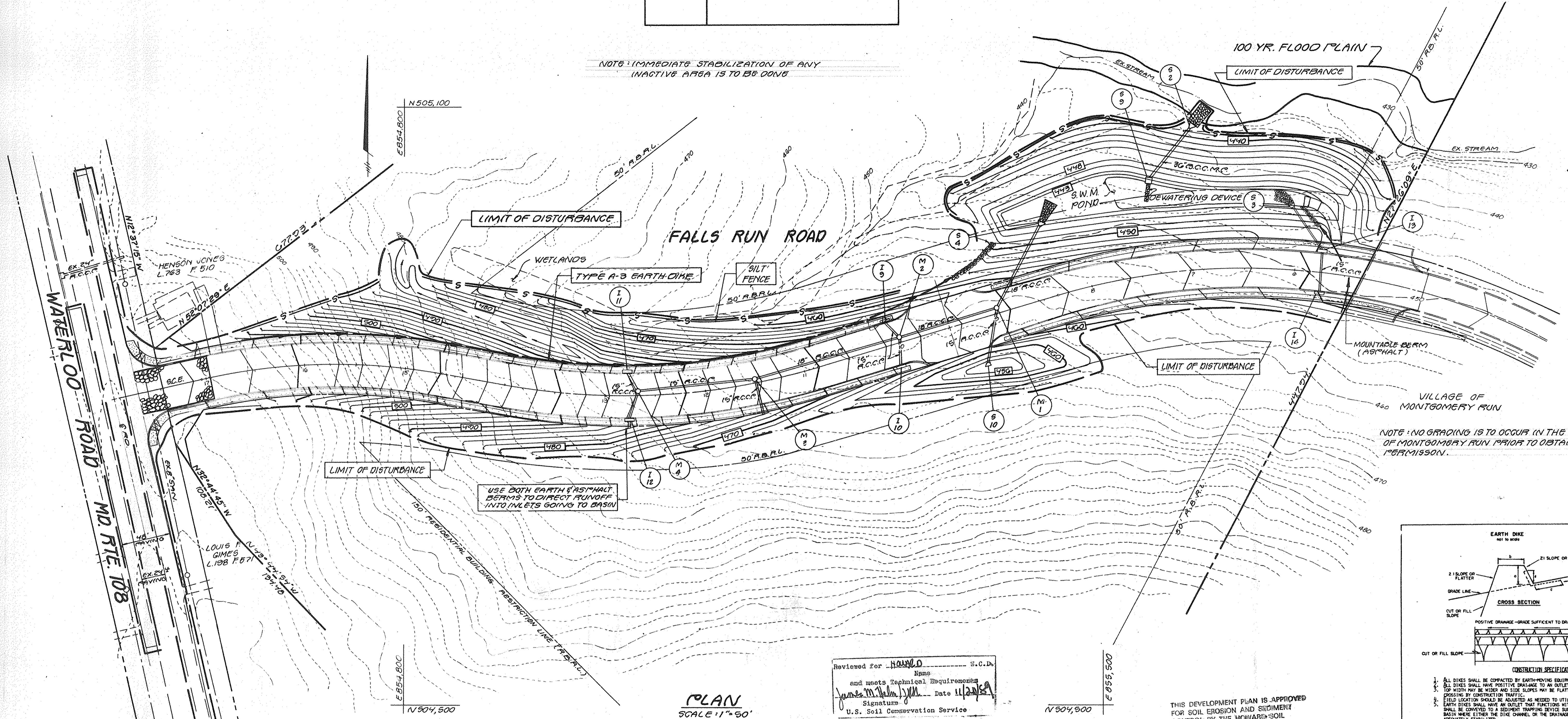
1506

**LEGEND**

--- 461 ---	EXISTING CONTOURS
--- 480 ---	PROP. CONTOUR
— S —	SILT FENCE
▨	STABILIZED CONSTRUCTION ENTRANCE
---	LIMIT OF DISTURBANCE
—	EARTH DIKE



NOTE: IMMEDIATE STABILIZATION OF ANY INACTIVE AREA IS TO BE DONE



NOTE: NO GRADING IS TO OCCUR IN THE VILLAGE OF MONTGOMERY RUN PRIOR TO OBTAINING PERMISSION.

Reviewed for HOWARD S.C.D. Name \_\_\_\_\_ and meets Technical Requirements Signature \_\_\_\_\_ Date 11/20/89 U.S. Soil Conservation Service

**PLAN**  
SCALE: 1" = 50'

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Approved: *Richard J. Howard* Date 11/20/89  
Howard, S.C.D.

**EARTH DIKE**  
NOT TO SCALE

**CROSS SECTION**

STABILIZATION AS REQUIRED ON STEEP SLOPES EXCEPT TO PROVIDE REQUIRED FLOW WIDTH AT FLOW DEPTH

**CONSTRUCTION SPECIFICATIONS**

- ALL DIKES SHALL BE COMPACTED BY EARTH-MOVING EQUIPMENT.
- ALL DIKES SHALL HAVE POSITIVE DRAINAGE TO AN OUTLET.
- TOP WIDTH MAY BE WIDER AND SLOPES MAY BE FLATTER IF DESIRED TO FACILITATE CROSSING BY CONSTRUCTION TRAFFIC.
- FIELD LOCATOR SHOULD BE ADJUSTED AS NEEDED TO UTILIZE A STABILIZED SAFE OUTLET.
- EARTH DIKES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION. RUNOFF SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE SUCH AS A SEDIMENT TRAP OR SEDIMENT BASIN WHERE EITHER THE DIKE CHANNEL OR THE DRAINAGE AREA ABOVE THE DIKE ARE NOT IMMEDIATELY STABILIZED.
- STABILIZATION SHALL BE: (A) IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MULCH OR STRAW MULCH IF NOT IN SEEDING SEASON; (B) FLOW CHANNEL, AS PER THE CHART BELOW.

TYPE OF CHANNEL	FLOW CHANNEL STABILIZATION		
	CHANNEL	DIKE A	DIKE B
1	5-3.0' SEED AND STRAW MULCH	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3.1-5.0' SEED AND STRAW MULCH	SEED USING JUTE, OR EXCELISIOR, SOG; 2" STONE	SEED USING JUTE, OR EXCELISIOR, SOG; 2" STONE
3	5.1-8.0' SEED WITH JUTE, OR SOG; 2" STONE	LINED RIP-RAP 4-8"	LINED RIP-RAP 4-8"
4	8.1-20' LINED RIP-RAP 4-8"	ENGINEERING DESIGN	ENGINEERING DESIGN

A. STONE TO BE 2 INCH STONE, OR RECYCLED CONCRETE EQUIVALENT, IN A LAYER AT LEAST 3 INCHES IN THICKNESS AND BE PRESSED INTO THE SOIL WITH CONSTRUCTION EQUIPMENT.  
B. RIP-RAP TO BE 4-8 INCHES IN A LAYER AT LEAST 3 INCHES THICKNESS AND PRESSED INTO THE SOIL.  
C. APPROVED EQUIVALENTS CAN BE SUBSTITUTED FOR ANY OF THE ABOVE MATERIALS.  
7. POLYVIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.

U.S. DEPARTMENT OF AGRICULTURE  
SOIL CONSERVATION SERVICE  
COLLEGE PARK, MARYLAND

**EARTH DIKE**

STANDARD DRAWING  
ED-1

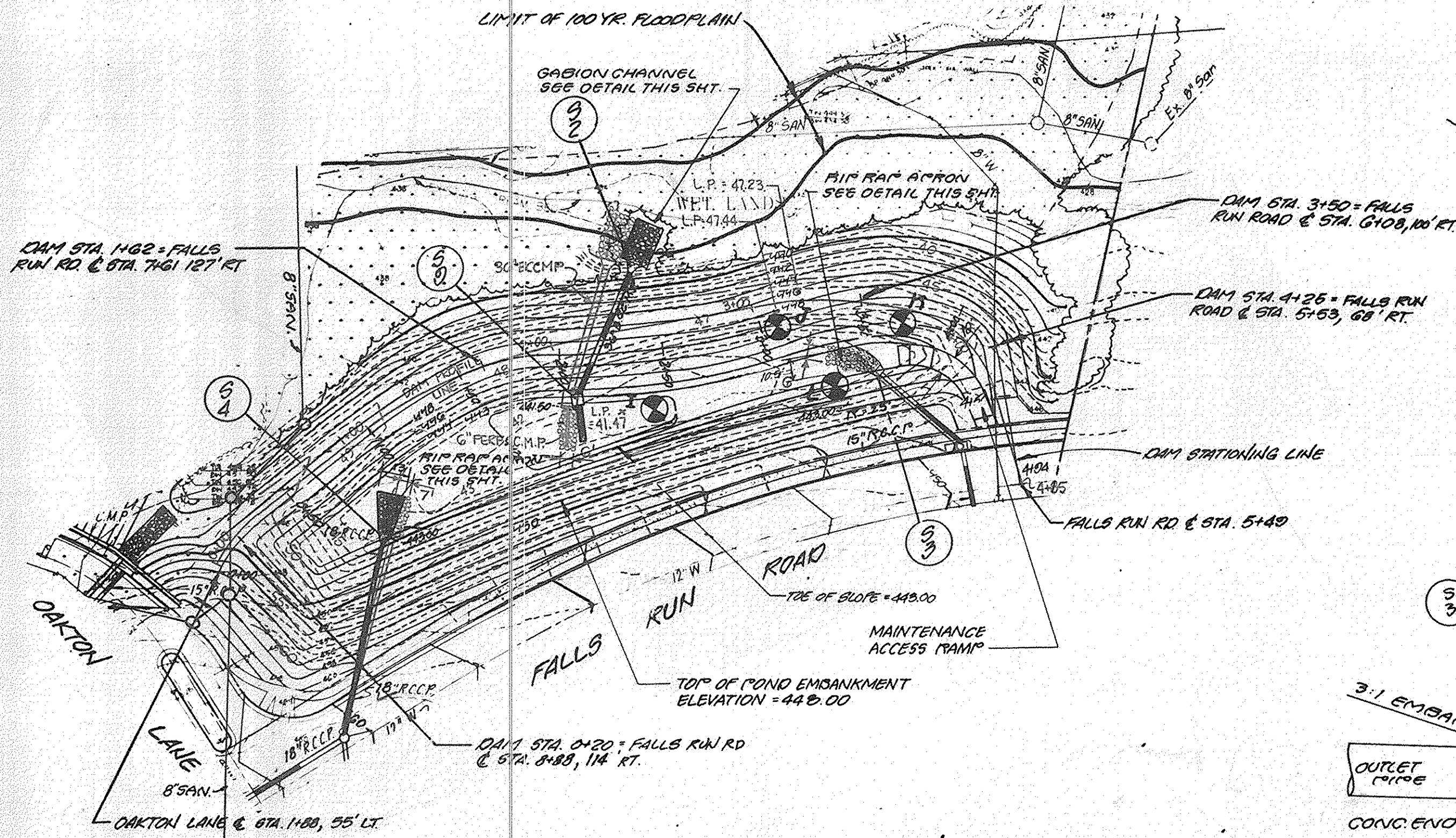
<b>DEPARTMENT OF PUBLIC WORKS</b> HOWARD COUNTY, MARYLAND DIRECTOR OF PUBLIC WORKS DATE _____ CHIEF, BUREAU OF ENGINEERING DATE _____ <i>Francis W. Williams</i> 11/30/89 <i>Donald S. Brown</i> 12/1/89 CHIEF, BUREAU OF HIGHWAYS DATE _____ CHIEF, LAND DEVELOPMENT DIVISION DATE _____		<b>STV/LYON ASSOCIATES.</b> ENGINEERS, ARCHITECTS & PLANNERS. 27 GOVERNOR'S COURT BALTIMORE, MARYLAND 21207-2722 301-944-9112	DES: E.A.S. DRN: W.K.C. CHK: P.C.R. DATE: 6/27/89 BY: NO. REVISION	OWNER/DEVELOPER SUMMIT PROPERTIES 203 KEY HIGHWAY BALTIMORE, MARYLAND 21230 301-234-0070	<b>HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING</b> PLANNING DIRECTOR DATE _____ <i>Paul J. Taylor</i> 11/30/89 CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION DATE _____	<b>ASHTON WOODS</b> <b>SEDIMENT CONTROL PLAN</b> <b>FALLS RUN ROAD</b> <b>STA. 4+68 TO STA. 17+76.16</b> HOWARD COUNTY, MARYLAND 1ST. ELECTION DISTRICT TAX MAP NO. 31 PARCEL NO. 423	SCALE AS SHOWN SHEET 7 of 9
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1506

F-90-11

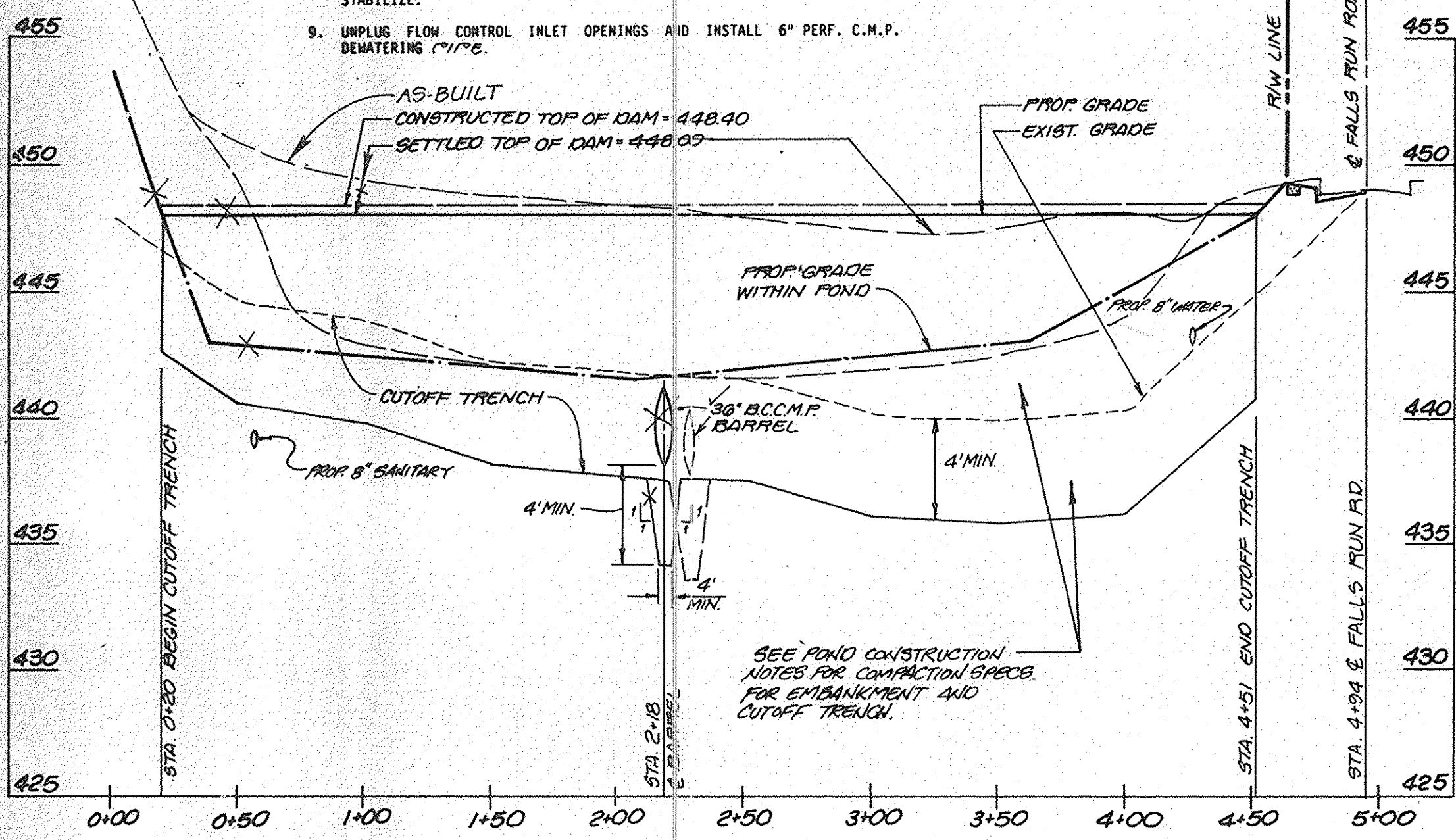




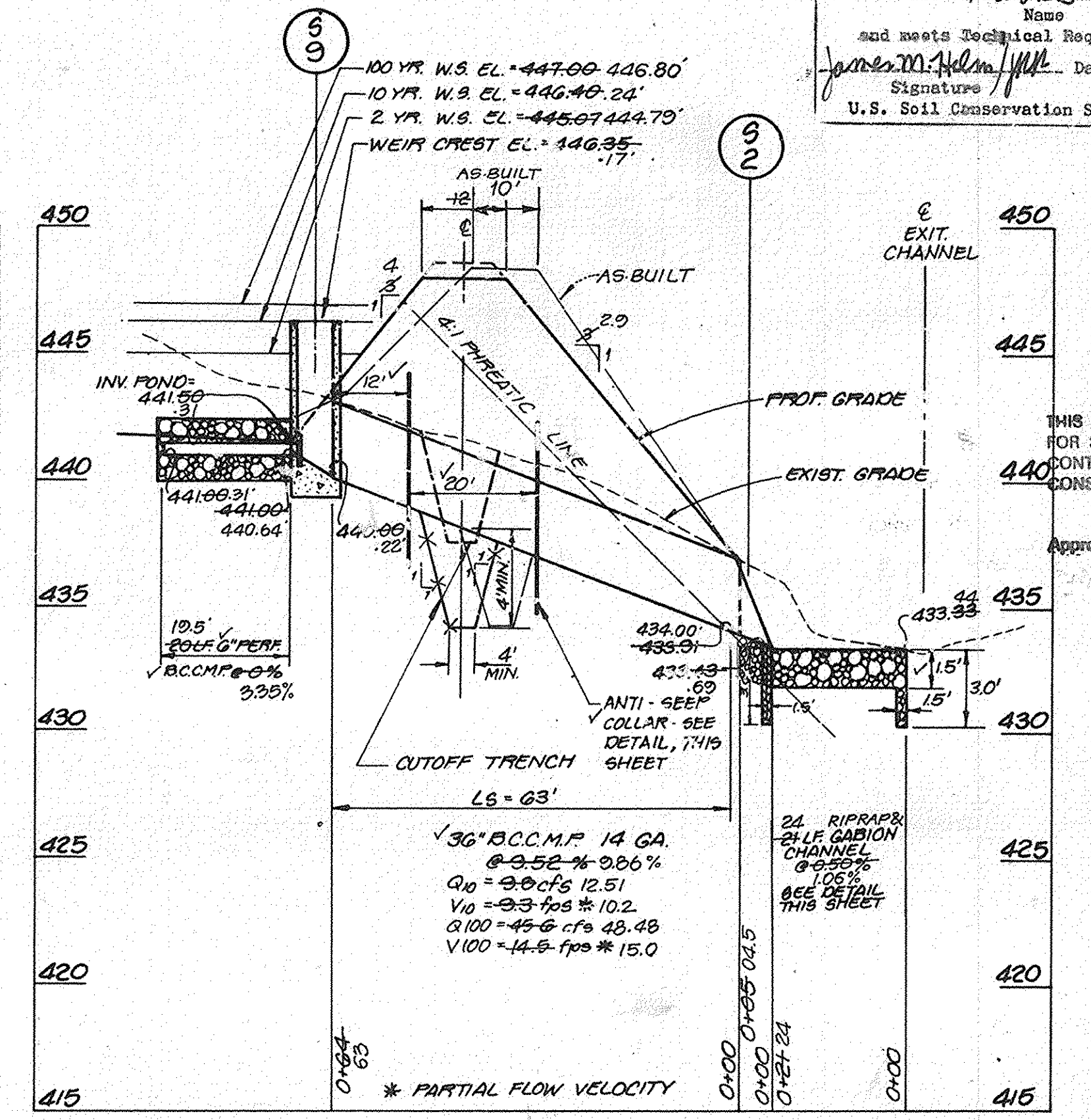


**PLAN - STORMWATER MANAGEMENT POND**  
SCALE: 1"=50'

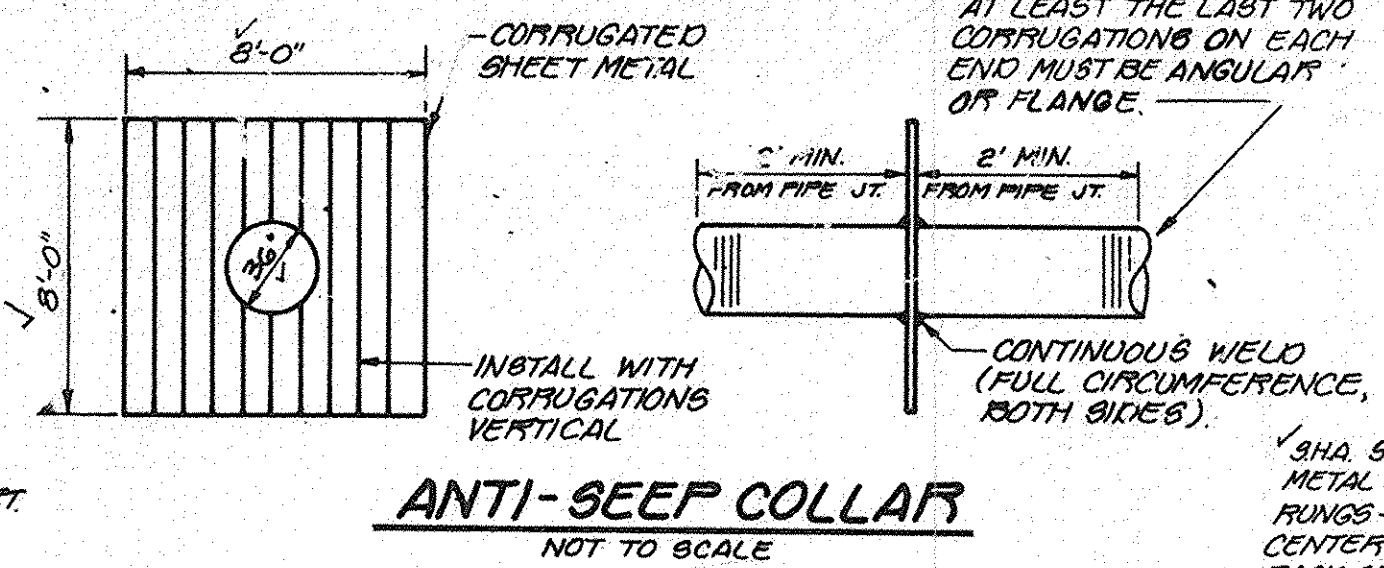
- S.M.M. POND CONSTRUCTION SCHEDULE:
1. INSTALL ALL SEDIMENT CONTROL MEASURES AS PER SEDIMENT CONTROL PLAN.
  2. EXCAVATE CUTOFF TRENCH AS SHOWN IN PROFILE ALONG CENTERLINE OF DAM.
  3. INSTALL GABION OUTFALL CHANNEL AND 36" B.C.C.M.P. OUTLET PIPE W/ANTI SEEP COLLARS. PLUG OUTLET PIPE ENTRANCE TEMPORARILY.
  4. BACKFILL CUTOFF TRENCH AND COMPACT AS PER CONSTRUCTION SPECS.
  5. ROUGH GRADE POND AREA, USING EXCAVATED MATERIAL TO CONSTRUCT DAM. DAM MUST BE COMPACTED ACCORDING TO CONSTRUCTION SPECS.
  6. CONSTRUCT FLOW CONTROL INLET AND PLUG OPENINGS UNTIL POND ARE IS STABILIZED.
  7. INSTALL STORM DRAIN OUTLET PIPES AND STRUCTURES.
  8. FINE GRADE POND EMBANKMENT AREA (BELOW ELEV. 448) AND PERMANENTLY STABILIZE.
  9. UNPLUG FLOW CONTROL INLET OPENINGS AND INSTALL 6" PERF. C.M.P. DENATURING PIPE.



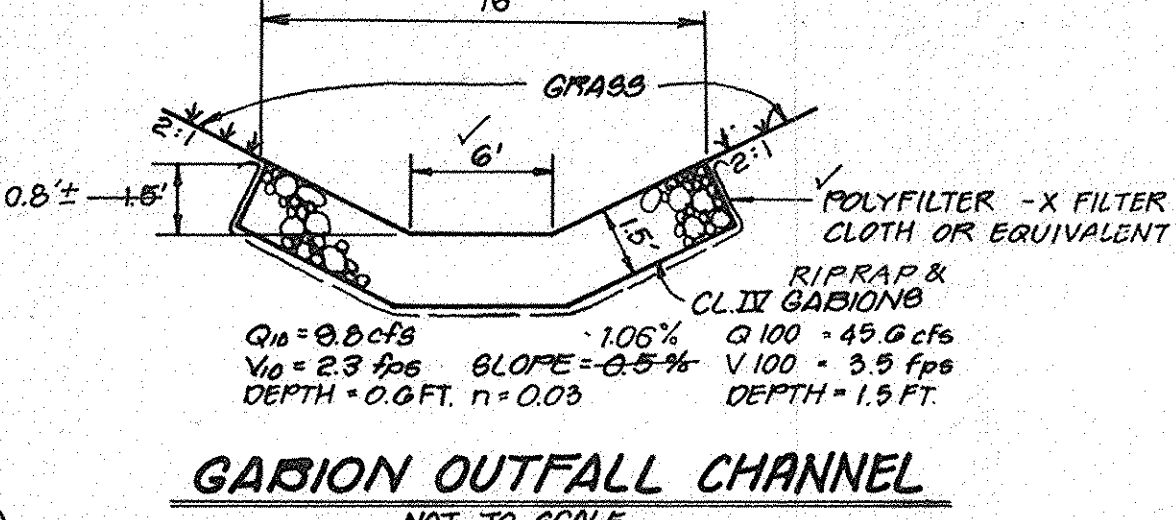
**PROFILE ALONG & OF DAM**  
SCALE: HORIZ. 1"=50' VERT. 1"=5'



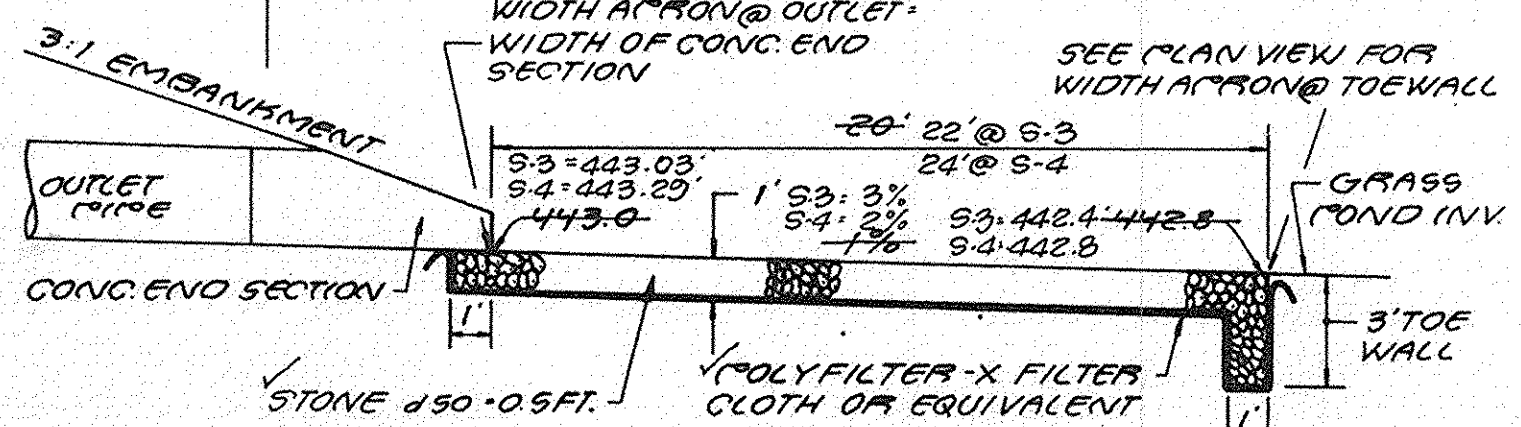
**PROFILE THRU PRINCIPAL SPILLWAY**  
SCALE: HORIZ. 1"=20' VERT. 1"=5'



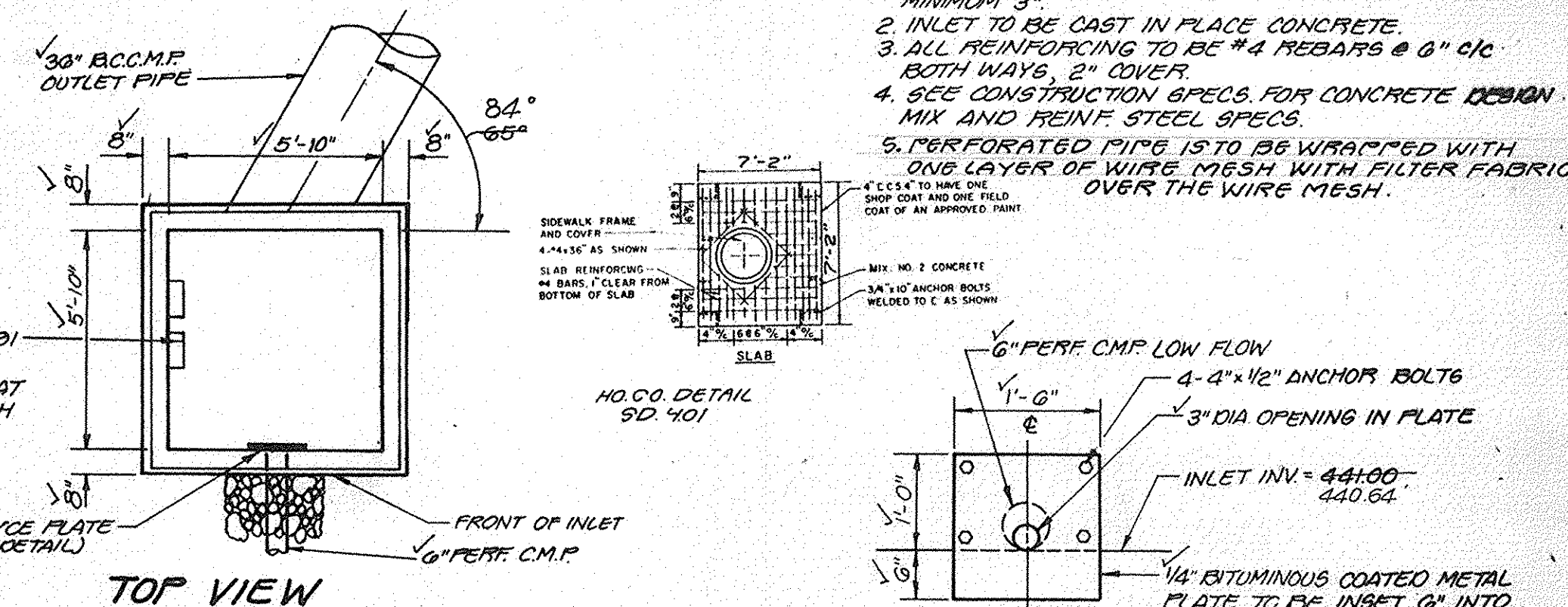
**ANTI-SEEP COLLAR**  
NOT TO SCALE



**GABION OUTFALL CHANNEL**  
NOT TO SCALE

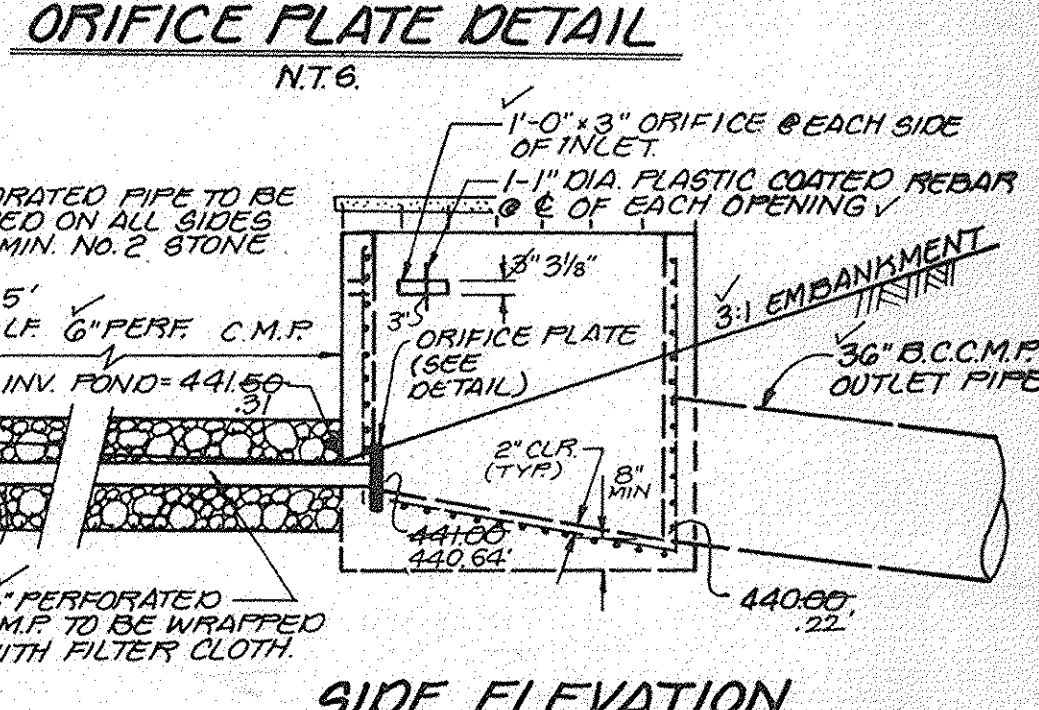


**RIP-RAP APRON @ OUTLET OF S-3, S-4**  
SCALE: 1"=5'



**TOP VIEW**

**FRONT ELEVATION**



**ORIFICE PLATE DETAIL**

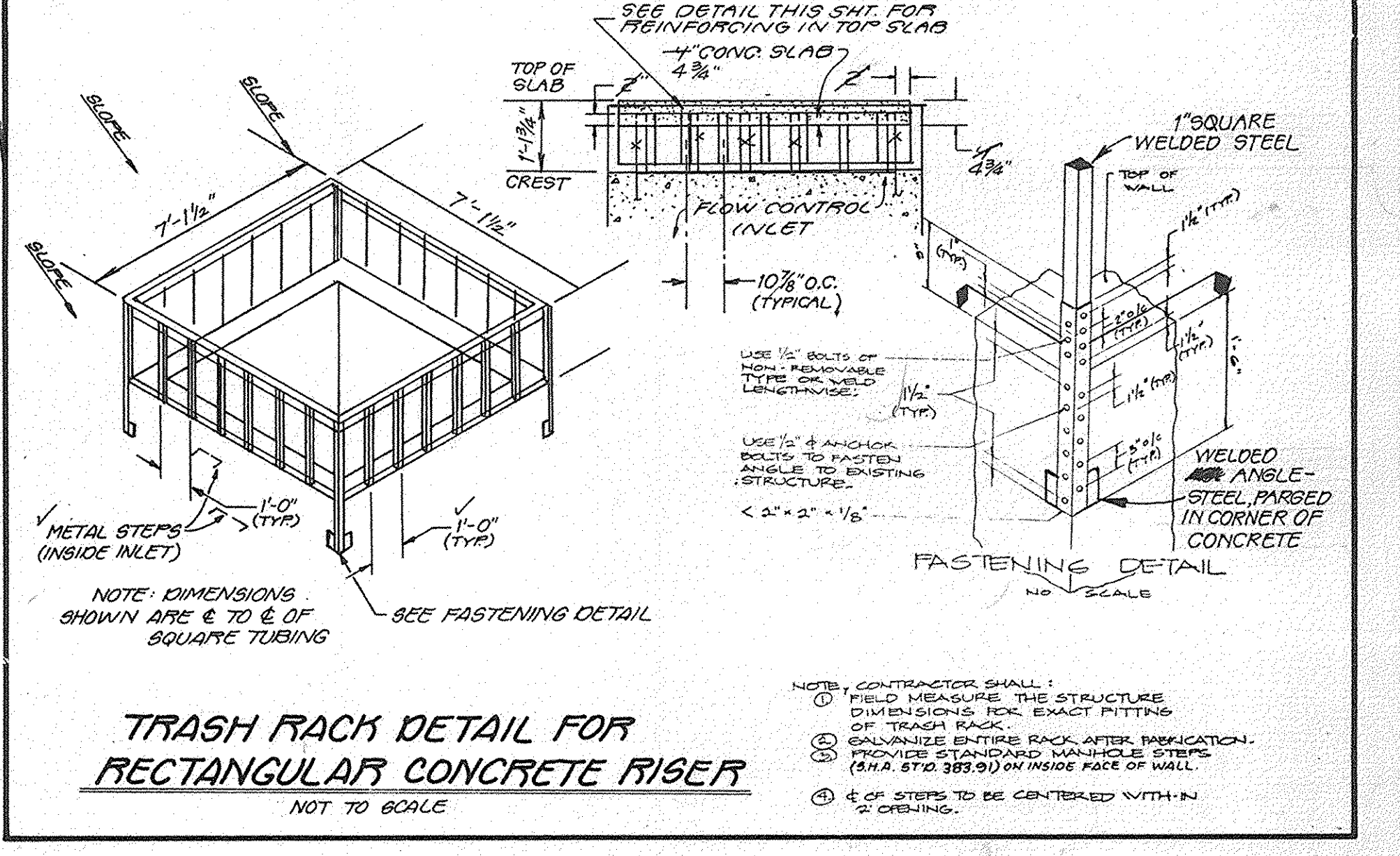
**SIDE ELEVATION**

**FLOW CONTROL INLET DETAILS**  
SCALE: 1"=4'

**DESIGN SUMMARY**

Design Storm	Allowable Release Rate	Facility Inflow	Facility Discharge	Water Surface Elevation	Storage Volume (Ac.ft.)
2 Year	1.00 cfs	14.33 cfs	1.00 +01 cfs	445.07 ft.	0.500 Ac.ft.
10 Year	9.79 cfs	32.54 cfs	12.51 +03 cfs	446.24 ft.	1.005 Ac.ft.
100 Year	— cfs	54.22 cfs	48.48 +55 cfs	447.00 ft.	1.235 Ac.ft.

Structure Classification: **FACILITY IS HAZARDOUS CLASS (a) EXTENDED DETENTION (DRY) POND**  
 Storage-Height Product: 1.180 13.3 15.60  
 Watershed Area to Facility (Acres): 11.29 ACRES  
 Level of Management Provided by Facility: 2+10 YEAR / 100 YEAR THRU PRINCIPAL SPILLWAY



**TRASH RACK DETAIL FOR RECTANGULAR CONCRETE RISER**  
NOT TO SCALE

DEPARTMENT OF PUBLIC WORKS  
HOWARD COUNTY, MARYLAND

STV/LYON ASSOCIATES  
ENGINEERS, ARCHITECTS & PLANNERS



DES: L.P.B.	DATE: MAR 1 1989
DRN: W.K.C.	BY: NO. 1
CHK: P.C.R.	REVISION: 2-20-92

OWNER/DEVELOPER  
SUNNIT PROPERTIES  
203 KEY HIGHWAY  
BALTIMORE, MARYLAND 21230  
301-234-0070

HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
PLANNING DIRECTOR  
DATE: 12/15/89  
CHIEF, DIVISION OF LAND DEVELOPMENT AND ZONING ADMINISTRATION

ASHTON WOODS  
STORMWATER MANAGEMENT POND  
FALLS RUN ROAD  
STA. 4+68 TO STA. 17+76.16  
AS-BUILT  
HOWARD COUNTY, MARYLAND  
1 ST. ELECTION DISTRICT

SCALE AS SHOWN  
SHEET 9 of 9

1506