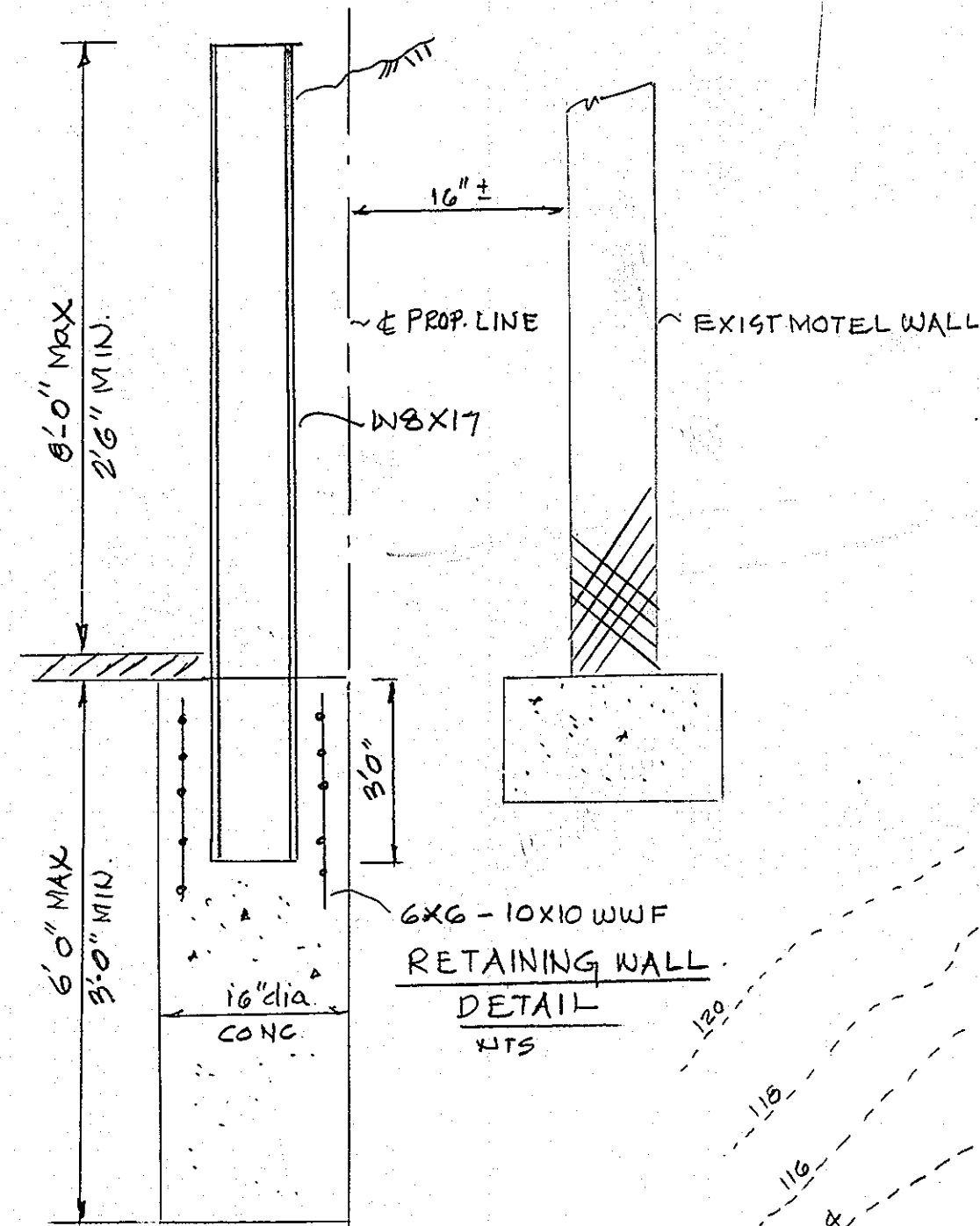


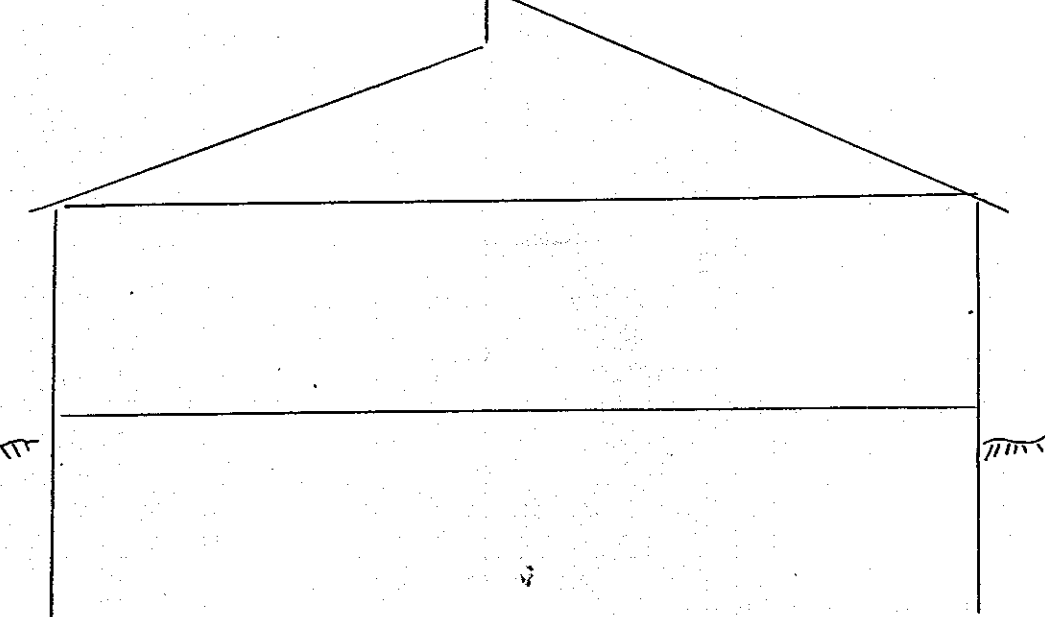
ELEVATION NEW TIMBER RETAINING WALL
N.T.S



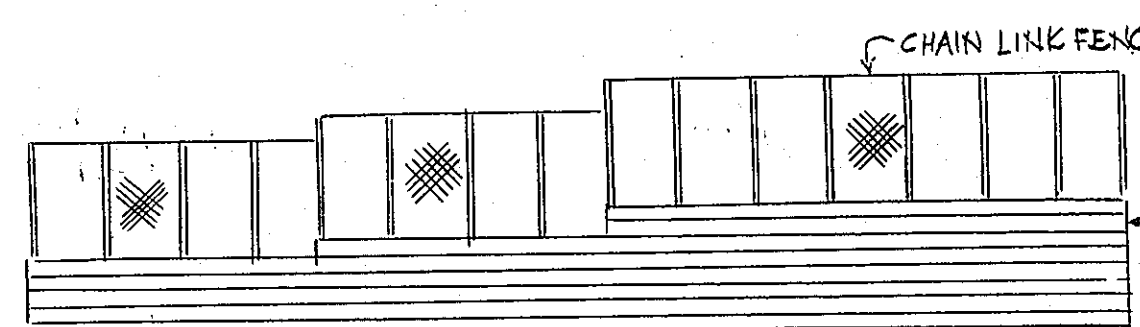
6x6-10x10 WWF
RETAINING WALL
DETAIL
N.T.S

SITE ANALYSIS

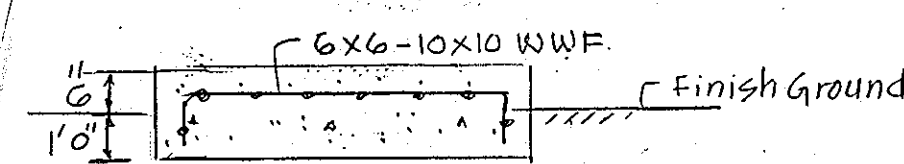
1. AREA OF PROPERTY = 19,187 SQ. FT. / 0.448 AC.
2. BUILDING COVERAGE = 41566 SQ. FT. / 21.6%
3. OPEN OR GREEN SPACE = 1017 SQ. FT. / 5.3%
4. PAVING COVERAGE = 14014 SQ. FT. / 73.1%
5. PUBLIC WATER & SEWER IS EXISTING
6. ZONING B-2.
7. THIS PLAN IS PRECEDED BY APPROVED BUILDING PERMIT # 11515
8. DPZ LTR 15MAY90: BR-88-53V MARK PAVEMENT AND INSTALL SIGNAGE "NO PARKING/STANDING" WITHIN 50' FOOT SETBACK. "NO PARKING" SIGNAGE TO BE ALLOWED ALONG ENTIRE 18' FOOT DRIVEWAY OUTSIDE OF THE 50' FOOT SETBACK. "15 MINUTE STANDING FOR DELIVERING VEHICLES ONLY" SIGNAGE ADJACENT TO KITCHEN DOOR.
9. BASEMENT AREA: 2510 SQ. FT.
- FLOOR AREA: 9795 SQ. FT.
- FINISHED ATTIC AREA: 1948 SQ. FT.
10. AREA OF SOIL DISTURBANCE IN MACADAM PARKING IS LESS THAN 5000 SQ. FT.
11. VOLUME OF SOIL DISPLACEMENT LESS THAN 100 CY.



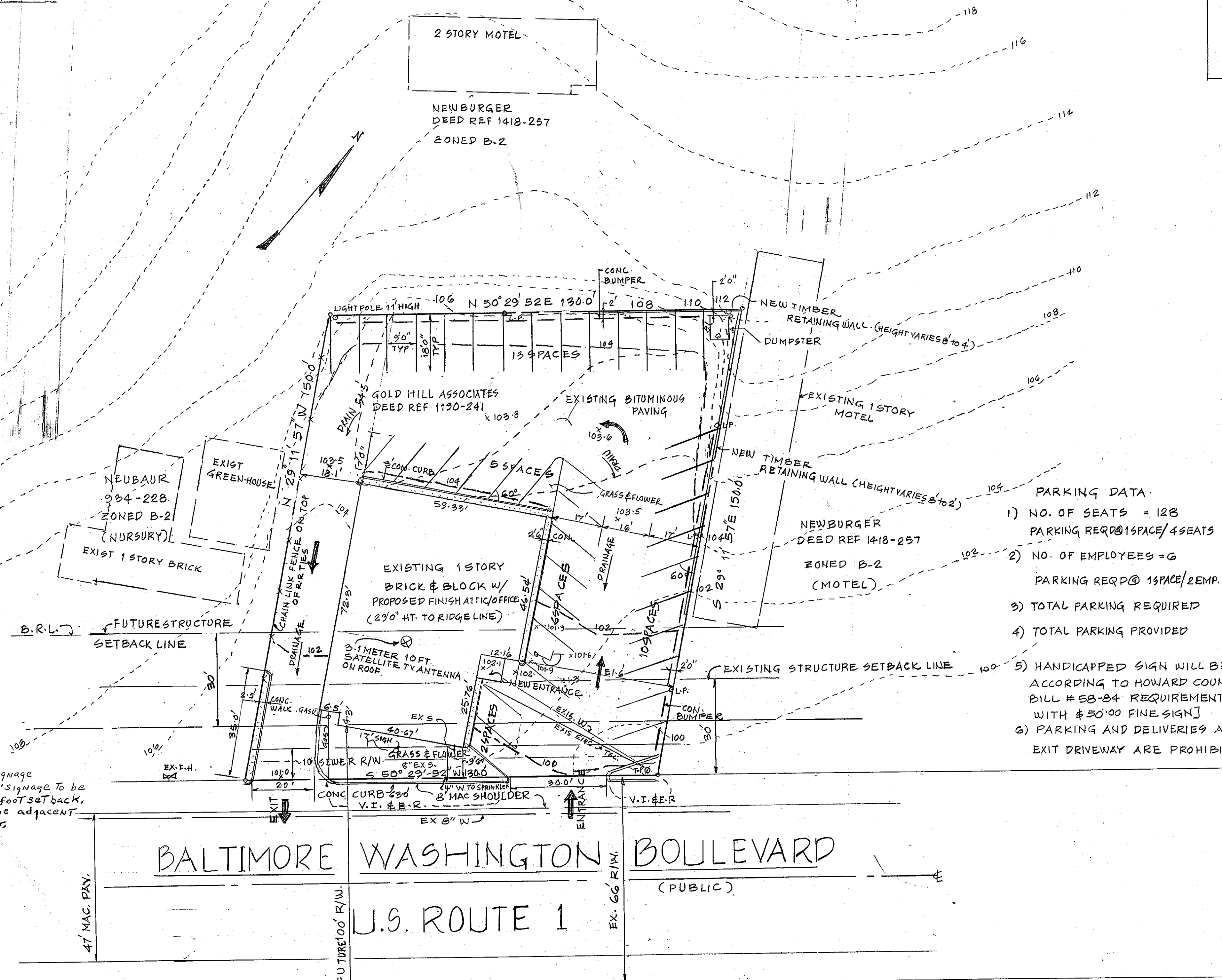
ELEVATION
N.T.S



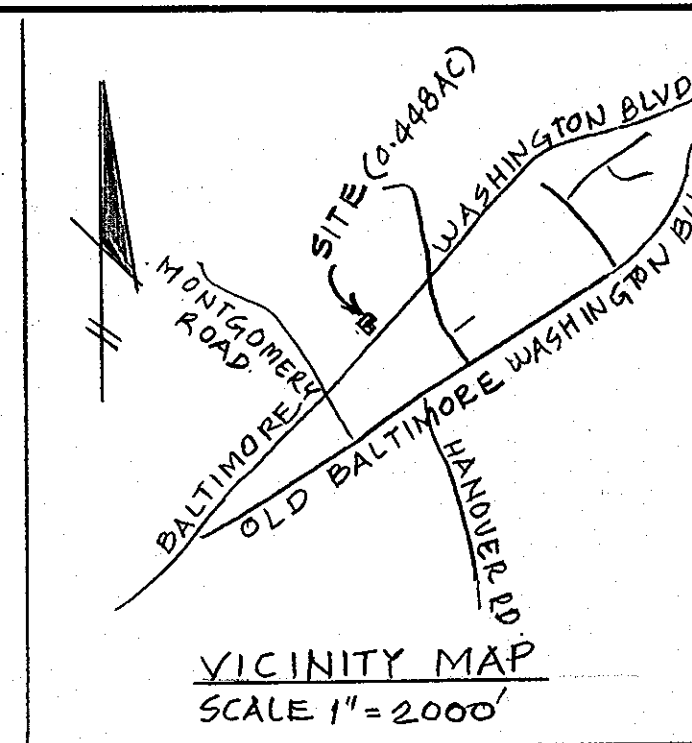
PROFILE EXISTING CHAIN LINK FENCE
ON TOP OF R-R TIES
N.T.S



DUMPSTER CONC. PAD
N.T.S



- PARKING DATA
- 1) NO. OF SEATS = 128
PARKING REQ @ 15 SPACE / 4 SEATS = 32 SPACES
 - 2) NO. OF EMPLOYEES = 6
PARKING REQ @ 15 SPACE / 2 EMP. = 9 SPACES
 - 3) TOTAL PARKING REQUIRED = 35 SPACES
 - 4) TOTAL PARKING PROVIDED = 36 SPACES
 - 5) HANDICAPPED SIGN WILL BE POSTED ACCORDING TO HOWARD COUNTY COUNCIL BILL # 58-84 REQUIREMENTS. [R7-B SIGN WITH \$50.00 FINE SIGN]
 - 6) PARKING AND DELIVERIES ALONG 18 FEET EXIT DRIVEWAY ARE PROHIBITED.



VICINITY MAP
SCALE 1" = 2000'

APPROVED FOR PUBLIC WATER & PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

James B. ... 8/15/89
COUNTY HEALTH OFFICER # DATE

APPROVED FOR PUBLIC WATER, PUBLIC SEWERAGE AND STORM DRAINAGE SYSTEMS AND ROADS
HOWARD COUNTY DEPT. OF PUBLIC WORKS

James ... 8/14/89
DIRECTOR DATE

William ... 8-14-89
CHIEF, BUREAU OF ENGINEERING DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
... 9.5.89
PLANNING DIRECTOR DATE

... 8/23/89
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS

HOWARD COUNTY SOIL CONSERVATION DISTRICT DATE

OWNER'S CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND/OR WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND EROSION AND SEDIMENT CONTROL PERIODIC INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENT AS DEEMED NECESSARY. DEVIATION FROM THIS PLAN WILL NOT BE MADE UNLESS AUTHORIZED BY THE HOWARD SOIL CONSERVATION DISTRICT.

Nicholas S. Pecoraro, Jr. 12-21-88

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN OF DEVELOPMENT AND EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT

Bhagwan D. Joshi. 12/21/88

Revised 1AW Division of Community Planning and Land Development

By Douglas L. Maxfield
22 May 90

ENGINEER
BHAQWAN D. JOSHI.
6 TREMBLY COURT
CATONSVILLE, MD. 21228.

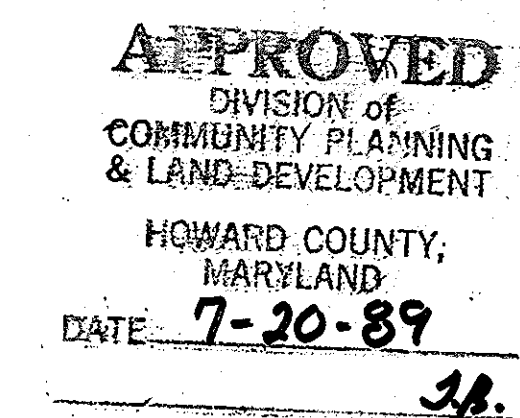
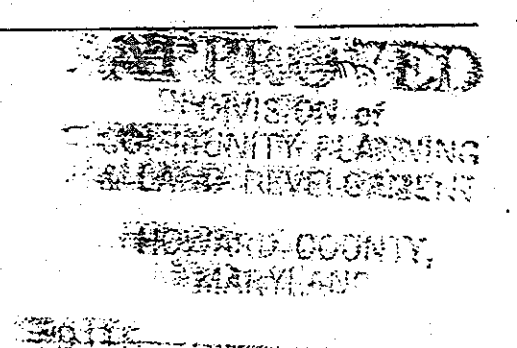
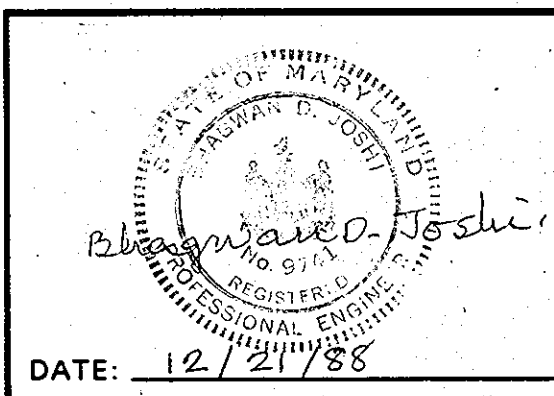
OWNER
NICHOLAS S. PECORARO, JR.
GOLD HILL ASSOCIATES
6270 WASHINGTON BLVD.
ELK RIDGE, HOWARD COUNTY, MD. 21227.

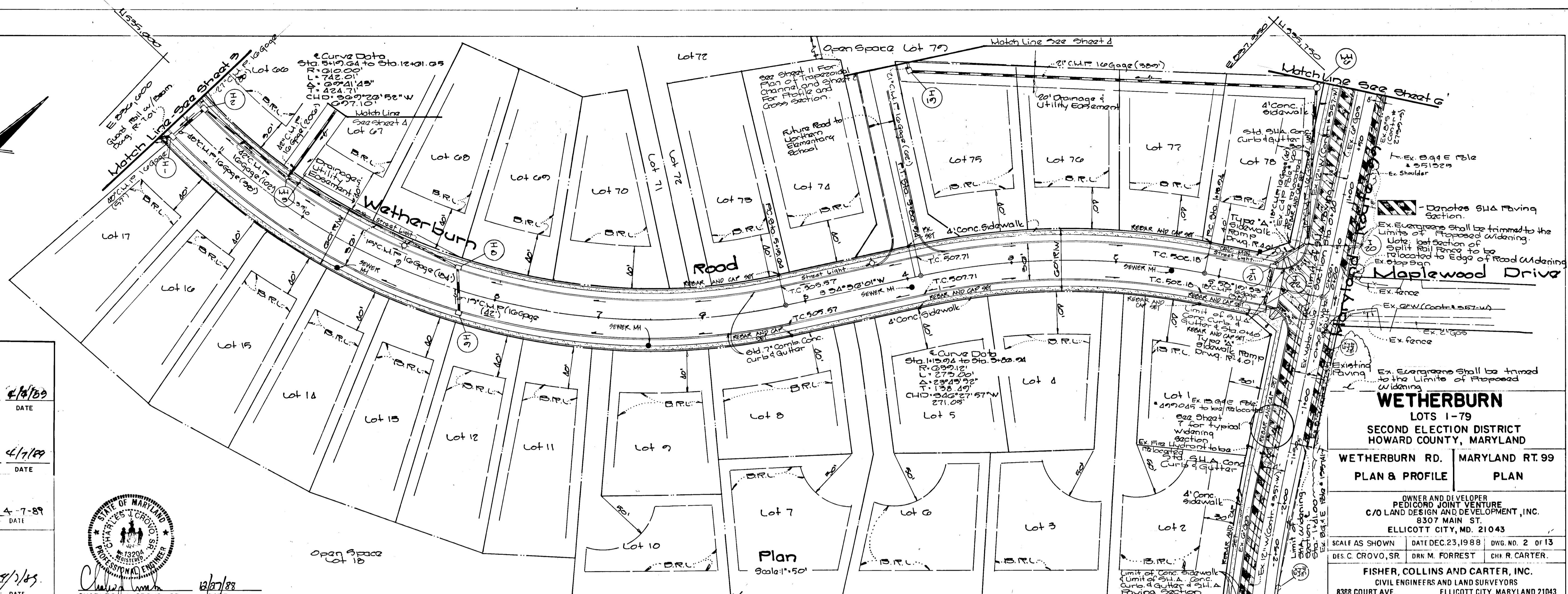
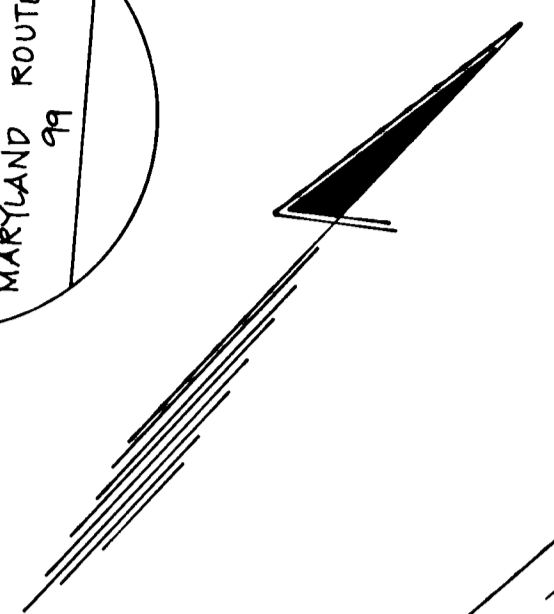
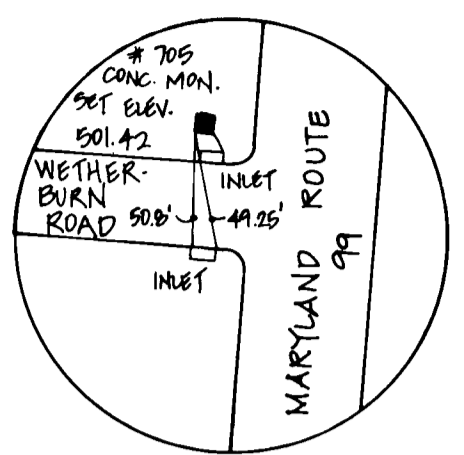
SUBDIVISION NAME: PECORARO RESTAURANT			
LOT/PARCEL 34	BLOCK # 8	ZONE B-2	TAX MAP 38
SECTION/AREA -	ELECT. DIST. 1	CENSUS TR 6012	
WATER CODE D09	SEWER CODE 2022431		
PLAT# OR L/F 1190-241	DATE: 12/21/88		

SITE DEVELOPMENT PLAN

RENOVATION TO THE
PECORARO RESTAURANT

DATE:	CONTRACT NO.:	DRAWING NO.:
SCALE: 1" = 20'		SHEET 1 OF 1





APPROVED DEPARTMENT OF PUBLIC WORKS
[Signature] 4/18/89
 CHIEF, LAND DEVELOPMENT DIVISION DATE

DEPARTMENT OF PUBLIC WORKS
[Signature] 4/17/89
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED DEPARTMENT OF PUBLIC WORKS
[Signature] 4-7-89
 CHIEF, SURVEILLANCE ENGINEERING DATE

APPROVED OFFICE OF PLANNING AND ZONING
[Signature] 4/1/89
 DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE



WETHERBURN
 LOTS 1-79
 SECOND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 WETHERBURN RD. MARYLAND RT. 99
 PLAN & PROFILE PLAN

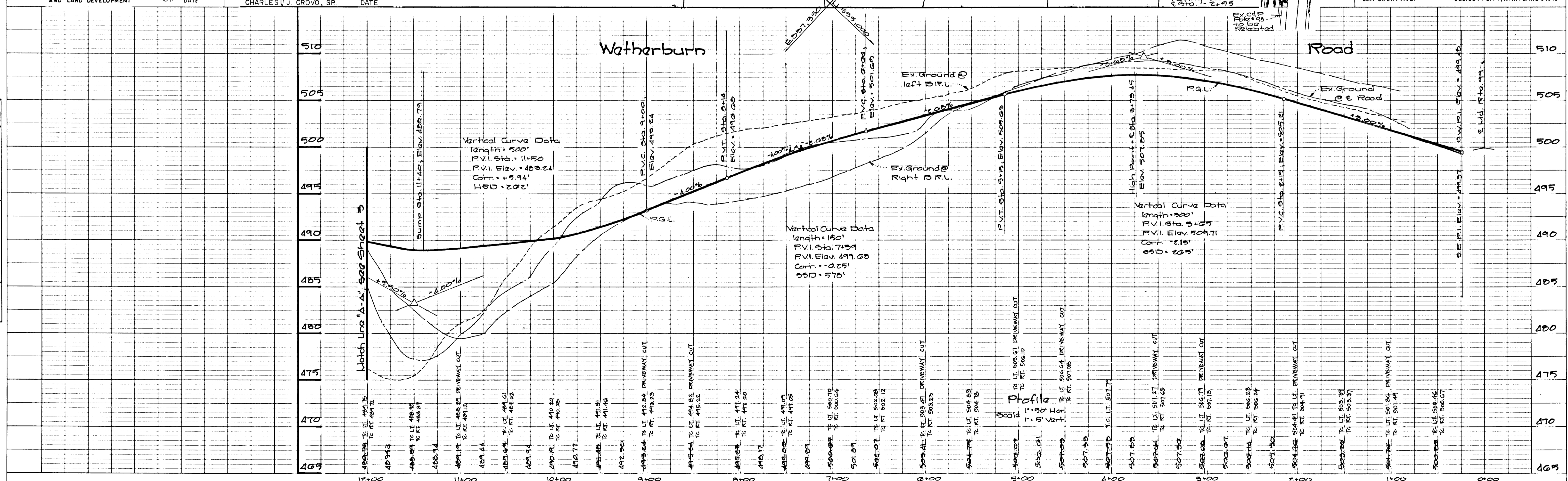
OWNER AND DEVELOPER
 PEDIGOR JOINT VENTURE
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 8307 MAIN ST.
 ELLICOTT CITY, MD. 21043

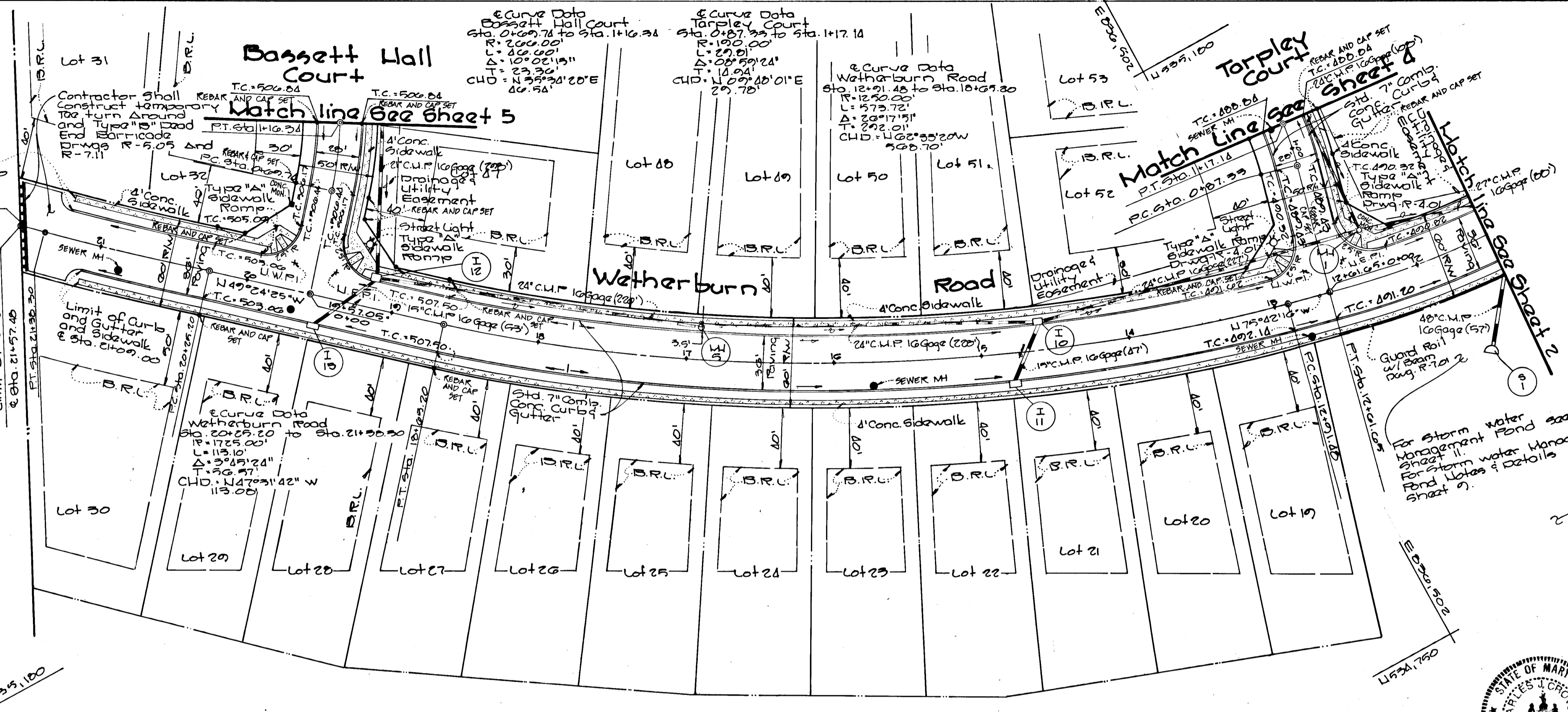
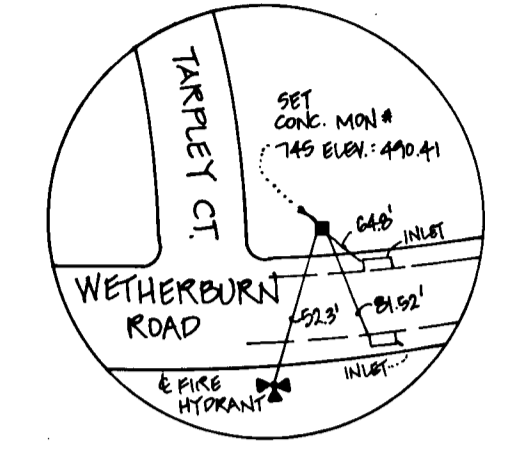
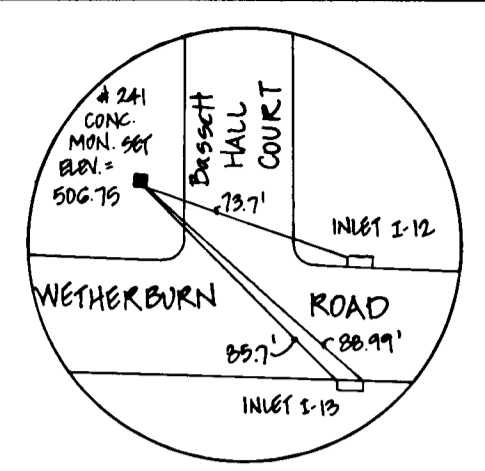
SCALE AS SHOWN DATE DEC. 23, 1988 DWG. NO. 2 OF 13
 DES. C. GROVO, SR. DRN. M. FORREST CH. R. CARTER.

FISHER, COLLINS AND CARTER, INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 8388 COURT AVE. ELLICOTT CITY, MARYLAND 21043

PROFILE
 SURVEYED, GRADES CHECKED, B.M. NOTED, STRUCTURE NOTATIONS CHECKED

1438





APPROVED DEPARTMENT OF PUBLIC WORKS
Paul J. O'Leary 2/4/89
 CHIEF, LAND DEVELOPMENT DIVISION DATE

APPROVED DEPARTMENT OF PUBLIC WORKS
Francis W. Wierand 4/7/89
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED DEPARTMENT OF PUBLIC WORKS
W. J. Adams & R. J. Kelly 4-7-89
 CHIEF, BUREAU OF ENGINEERING DATE

APPROVED OFFICE OF PLANNING AND ZONING
Mark S. D. Smith 4/1/89
 COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

WETHERBURN
 LOTS 1-79
 SECOND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

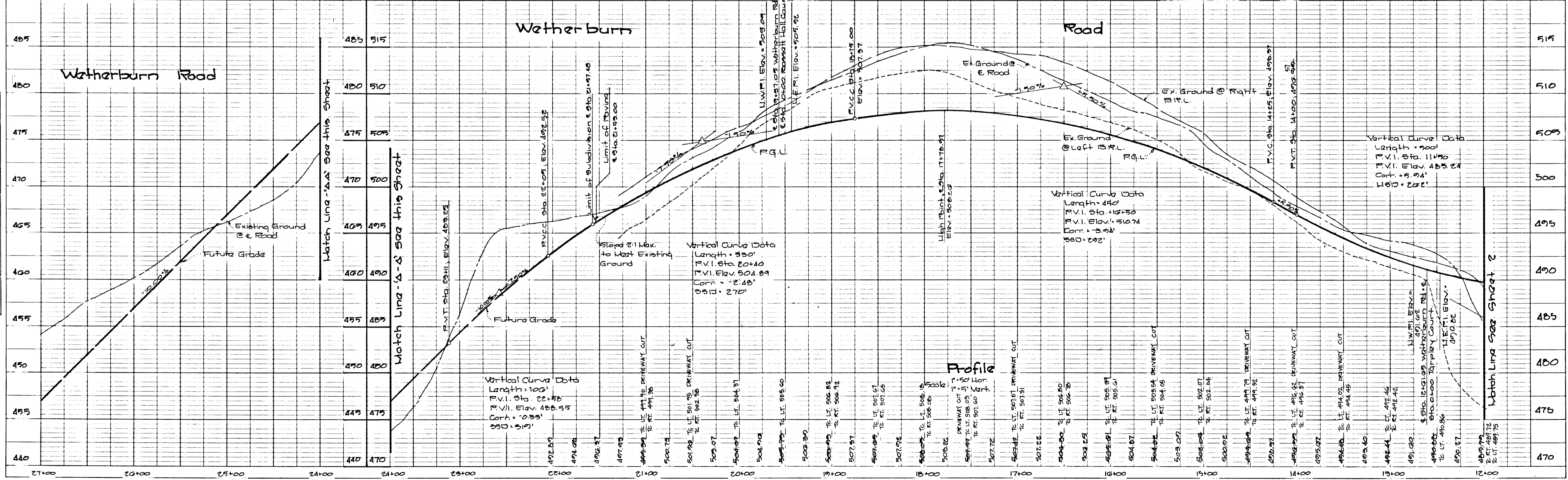
OWNER AND DEVELOPER
 PEDICOR JOINT VENTURE
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 8307 MAIN ST.
 ELLICOTT CITY, MD. 21043

SCALE AS SHOWN DATE DEC 23, 1988 DWG. NO. 3 OF 13
 DE: C. CROVO, SR. DRN M. FORREST CHK R. CARTER

FISHER, COLLINS AND CARTER, INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 8388 COURT AVE. ELLICOTT CITY, MARYLAND 21043



Plan
 Scale: 1"=50'



1438

PLAN
 STRAWED
 PLOTTED
 GRACES CHECKED
 ALIGNMENT PACKAGED
 FULL OF ANY PACKAGES
 NO. DATE

APPROVED DEPARTMENT OF PUBLIC WORKS
Paul M. Jeyan 4/4/89
 CHIEF, LAND DEVELOPMENT DIVISION DATE

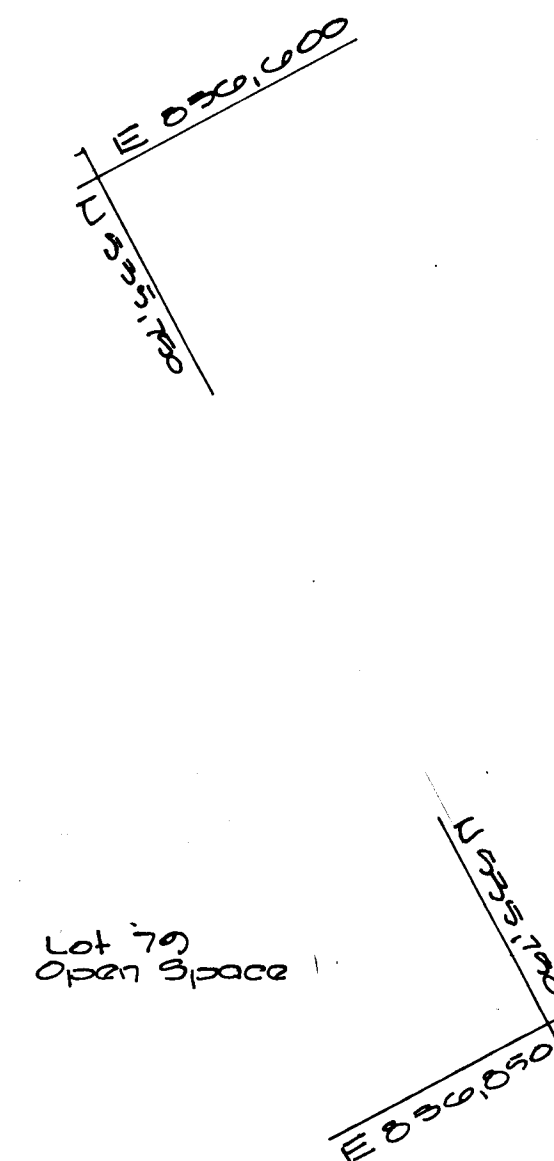
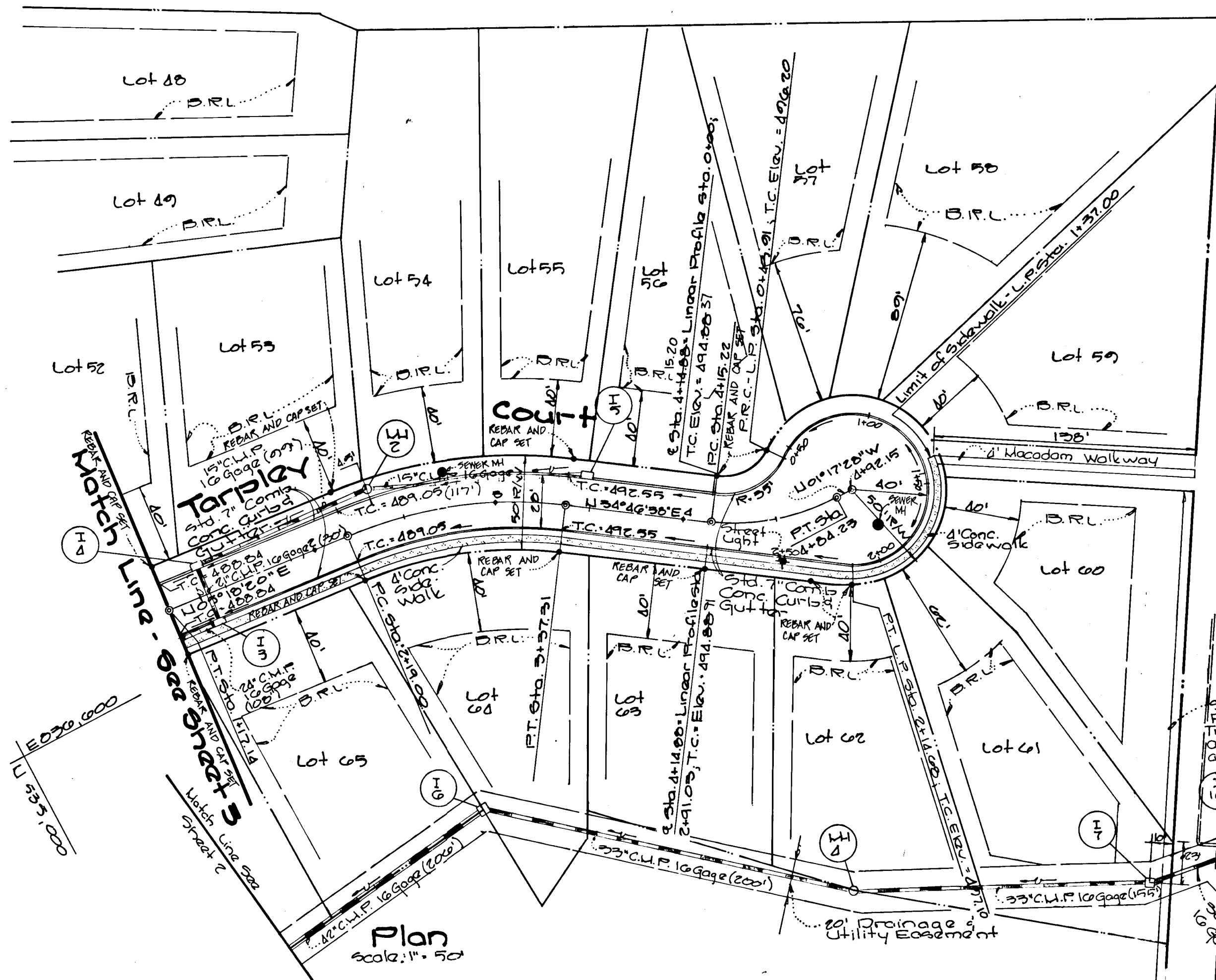
APPROVED DEPARTMENT OF PUBLIC WORKS
Francis W. W. W. W. 4/7/89
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED DEPARTMENT OF PUBLIC WORKS
W. W. W. W. 4-7-89
 CHIEF, BUREAU OF ENGINEERING DATE

APPROVED OFFICE OF PLANNING AND ZONING
David J. J. J. 4/7/89
 CHIEF, COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

Curve Data
 Sta. 249.00 to Sta. 3137.51
 R = 220.00'
 L = 118.51'
 Δ = 20° 20' 16"
 T = 60.60'
 CHD = N 20° 00' 20" E, 117.01'

Curve Data
 Sta. 419.22 to Sta. 468.69
 R = 109.24'
 L = 69.01'
 Δ = 52° 05' 45"
 T = 35.00'
 CHD = N 12° 41' 35" E, 67.87'



CHARLES W. GROVO SR. DATE 12/27/88

WETHERBURN
 LOTS 1-79
 SECOND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

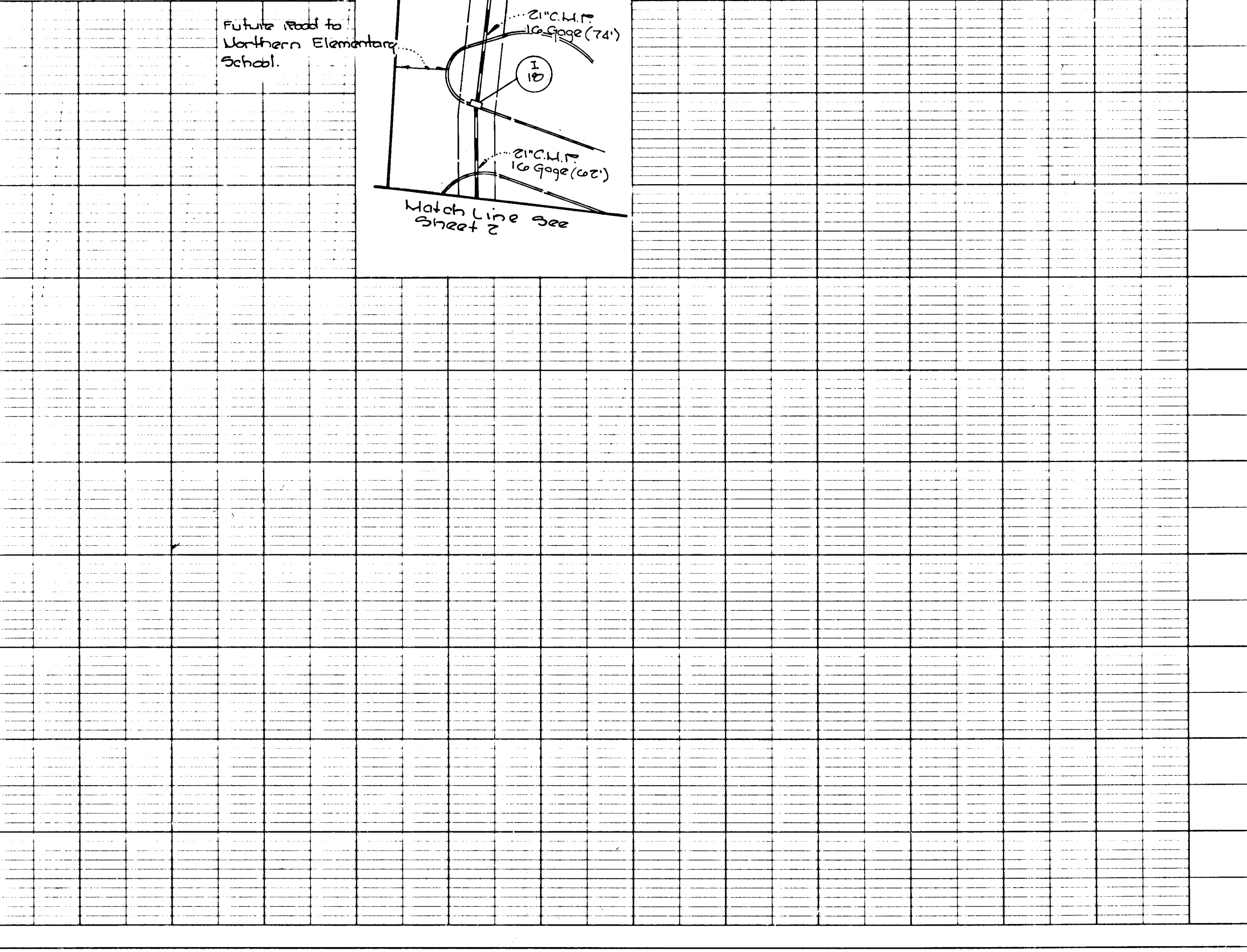
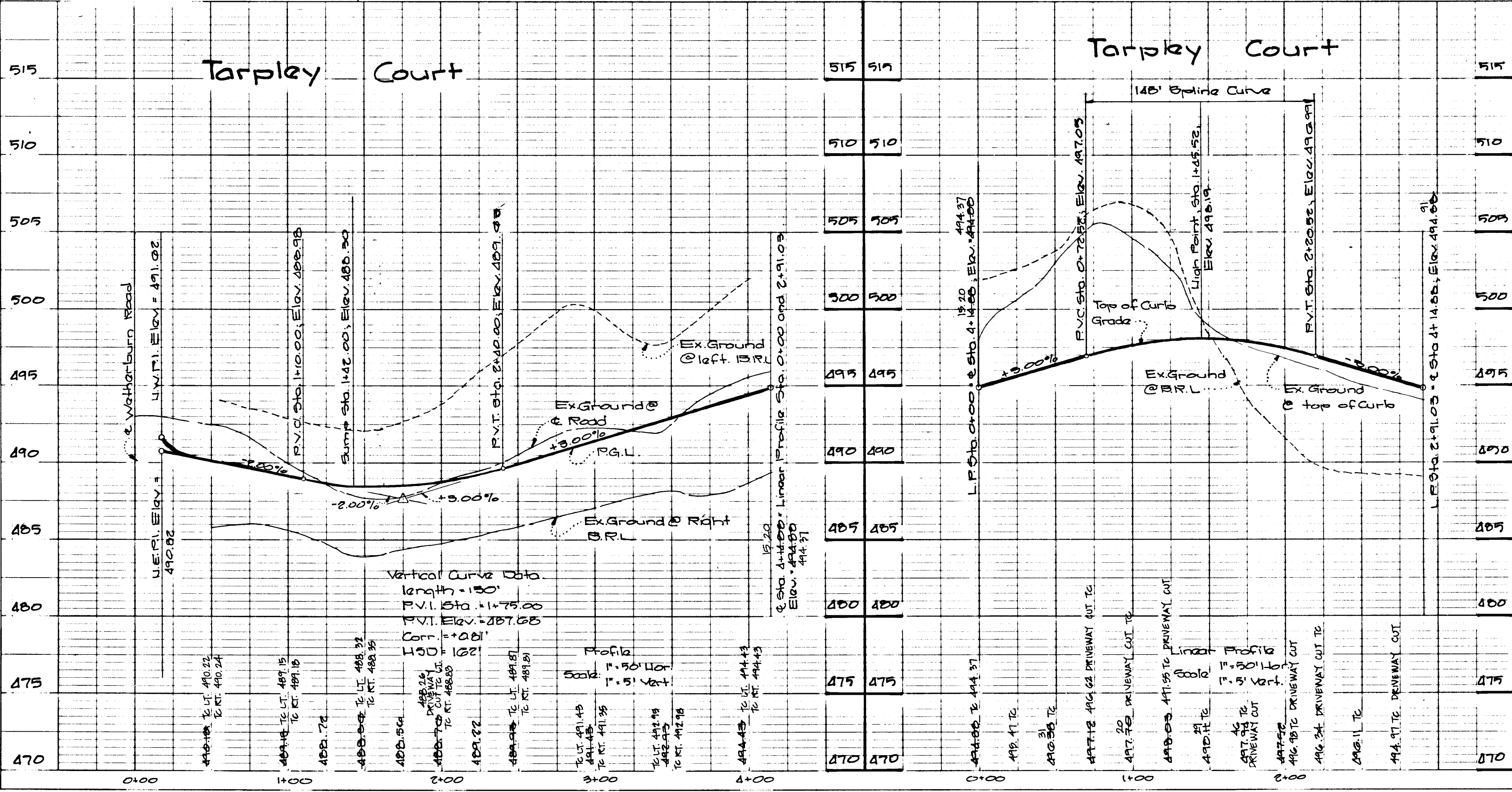
TARPLEY COURT
 PLAN & PROFILE

OWNER AND DEVELOPER
 PEDICORD JOINT VENTURE
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 8307 MAIN ST.
 ELLICOTT CITY, MD. 21043

SCALE AS SHOWN DATE DEC. 23, 1988 DWG. NO. 4 OF 13
 DES. C. GROVO, SR. DRN. M. FORREST CHK. R. CARTER

FISHER, COLLINS AND CARTER, INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 8388 COURT AVE. ELLICOTT CITY, MARYLAND 21043

PROFILE
 STRAWED
 PLOTTED
 GRACES CHECKED
 STRUCTURE NOTATIONS CHECKED
 NO. DATE



1438

PLAN
 DATE: 4/17/89
 DRAWN BY: J. S. [unclear]
 CHECKED BY: [unclear]
 IN CHARGE: [unclear]

PROFILE
 DATE: 4/17/89
 DRAWN BY: J. S. [unclear]
 CHECKED BY: [unclear]
 IN CHARGE: [unclear]

1438

APPROVED DEPARTMENT OF PUBLIC WORKS
[Signature] 4/14/89
 CHIEF, LAND DEVELOPMENT DIVISION DATE

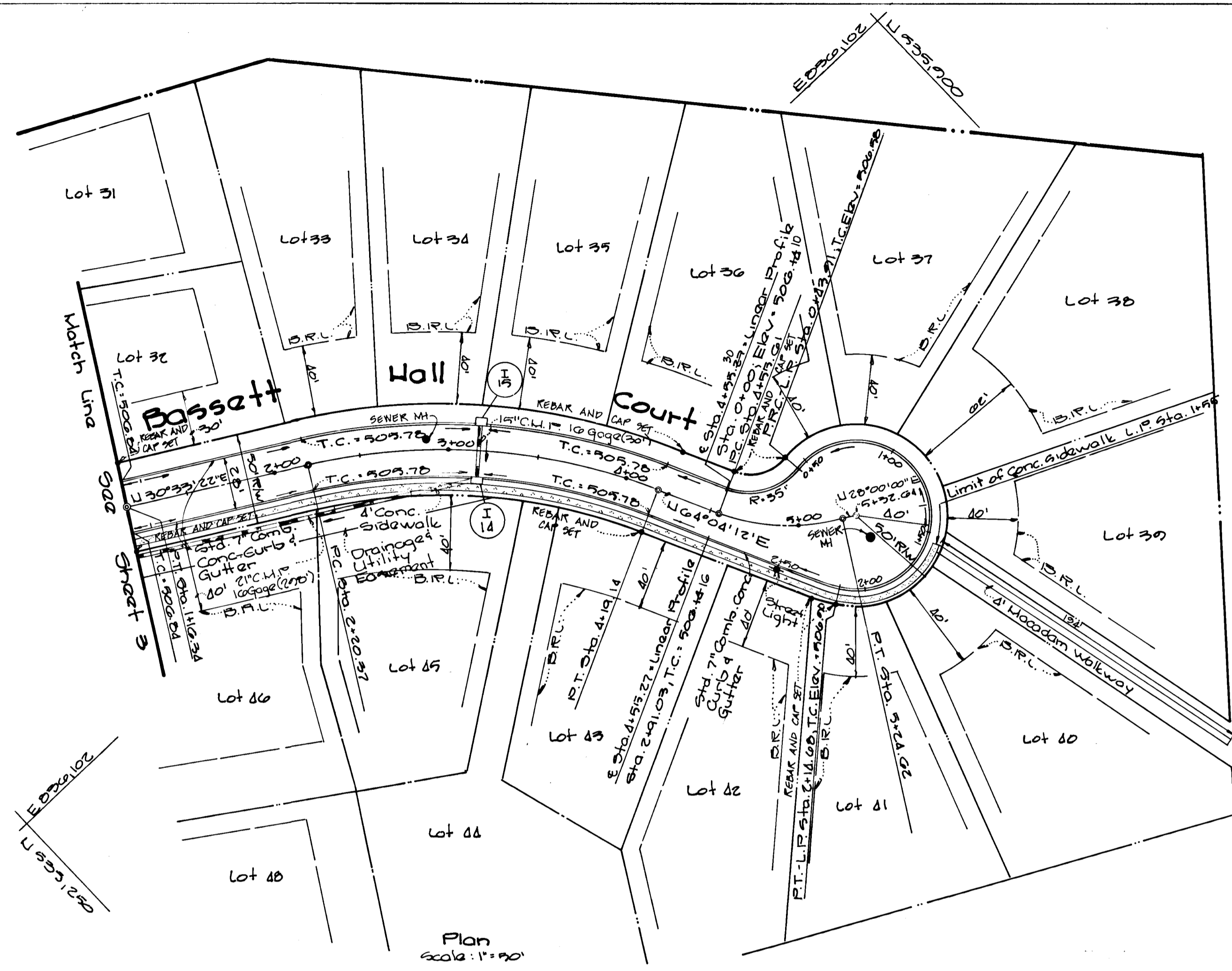
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[Signature] 4/17/89
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED DEPARTMENT OF PUBLIC WORKS
[Signature] 4/17/89
 CHIEF, BUREAU OF ENGINEERING DATE

APPROVED OFFICE OF PLANNING AND ZONING
[Signature] 4/17/89
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE

St. & Curve Data
 P.V.I. Sta. 1+34
 R. 100.00
 L. 100.00
 ΔI. 1.00
 CHD. N 27° 10' 47" E, 193.25'

St. & Curve Data
 P.V.I. Sta. 1+34
 R. 100.00
 L. 100.00
 ΔI. 1.00
 CHD. N 27° 10' 47" E, 193.25'

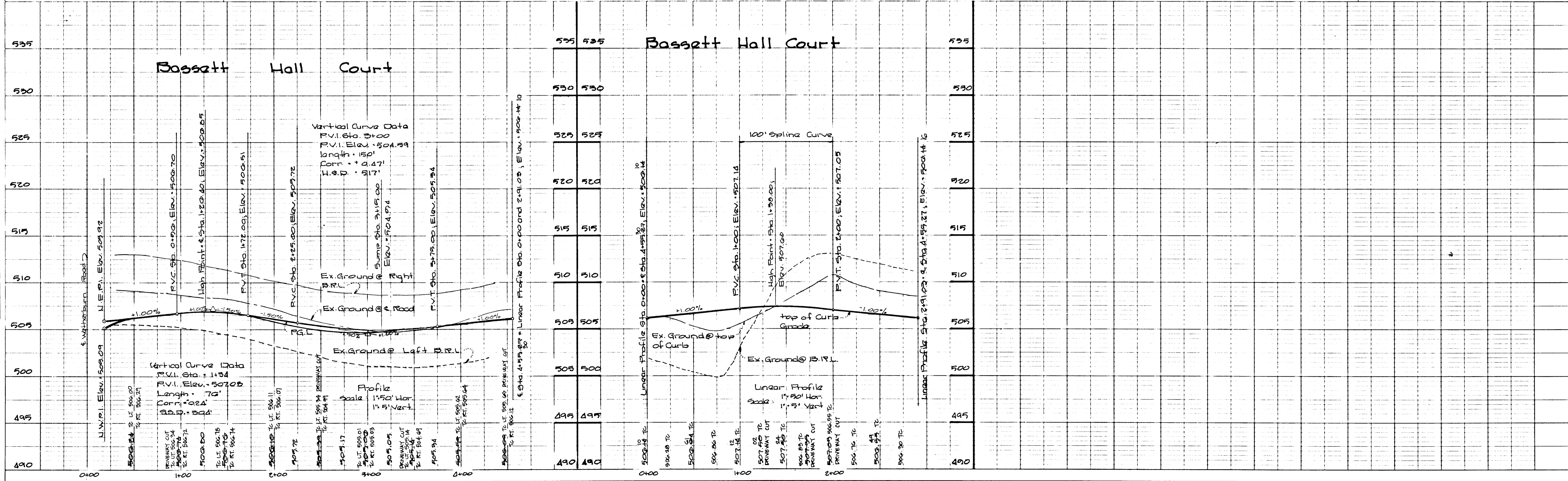


WETHERBURN
 LOTS 1-79
 SECOND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
BASSETT HALL COURT
 PLAN & PROFILE

ENGINEER AND DEVELOPER
 PEDIGOR JOINT VENTURE
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 8307 MAIN ST.
 ELLICOTT CITY, MD. 21043

SCALE AS SHOWN DATE DEC. 23, 1988 DWG. NO. 5 OF 13
 DES. C. GROVO, SR. DRN. M. FORREST CHK. R. CARTER

FISHER, COLLINS AND CARTER, INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 8388 COURT AVE. ELLICOTT CITY, MARYLAND 21043



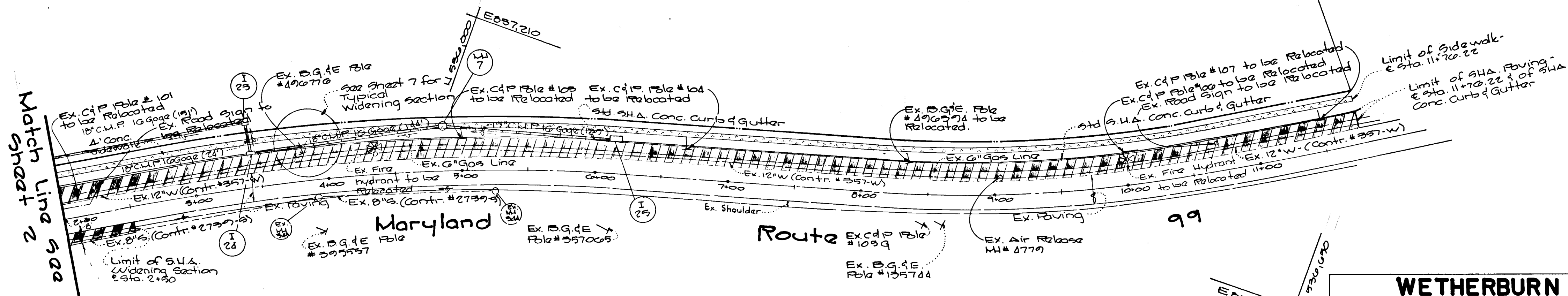
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BY
CHECKED
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NO. OF INDEXES
NO. OF TITLES
NO. OF SUB-TITLES
NO. OF FOOTNOTES
NO. OF APPENDICES
NO. OF REFERENCES
NO. OF CROSS-REFERENCES
NO. OF INDEXES
NO. OF TITLES
NO. OF SUB-TITLES
NO. OF FOOTNOTES
NO. OF APPENDICES

APPROVED DEPARTMENT OF PUBLIC WORKS
Phillip Simon 4/4/89
 CHIEF, LAND DEVELOPMENT DIVISION DATE

APPROVED DEPARTMENT OF PUBLIC WORKS
Brigitte W. Weiland 4/7/89
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED DEPARTMENT OF PUBLIC WORKS
Wasson & Rely 4/7/89
 ENGINEERS DATE

APPROVED OFFICE OF PLANNING AND ZONING
Wade S. D'Amico 4/1/89
 COMMUNITY PLANNING AND LAND DEVELOPMENT DATE



Plan
 Scale 1"=20'



CHARLES J. CROVO SR. DATE

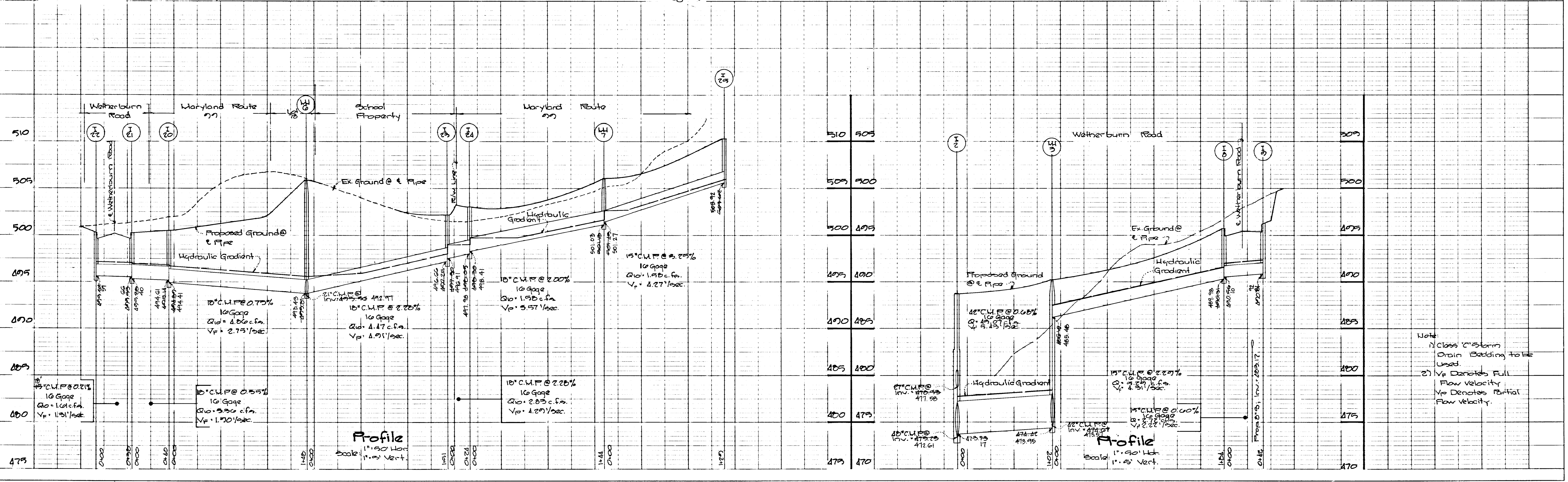
WETHERBURN
 LOTS 1-79
 SECOND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
MARYLAND ROUTE 99
 PLAN

OWNER AND DEVELOPER
 PEDICORD JOINT VENTURE
 C/OLAND DESIGN AND DEVELOPMENT, INC.
 8307 MAIN ST.
 ELLICOTT CITY, MD. 21043

SCALE AS SHOWN DATE DEC. 23, 1988 DWG. NO. 6 OF 13
 DES. C. CROVO, SR. DAN. M. FORREST CHK. R. CARTER

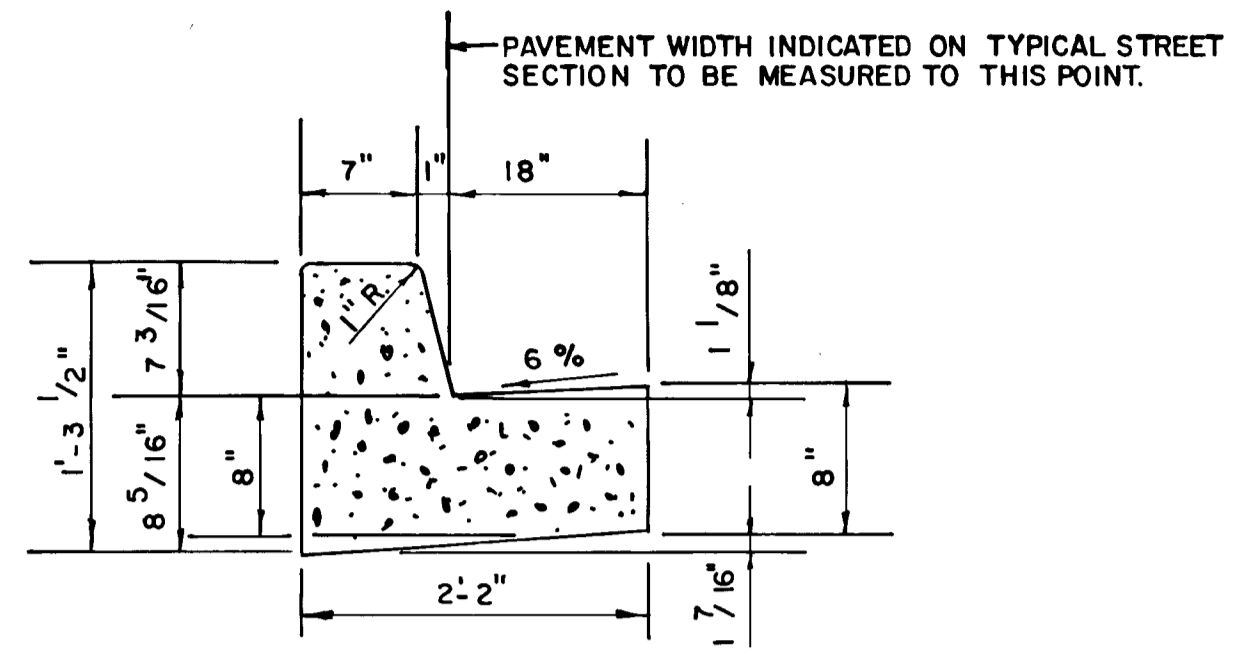
FISHER, COLLINS AND CARTER, INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 8388 COURT AVE. ELLICOTT CITY, MARYLAND 21043

DATE
BY
CHECKED
DATE
NO. OF SHEETS
NO. OF PAGES
NO. OF FIGURES
NO. OF TABLES
NO. OF NOTES
NO. OF REFERENCES
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NO. OF SUB-TITLES
NO. OF FOOTNOTES
NO. OF APPENDICES

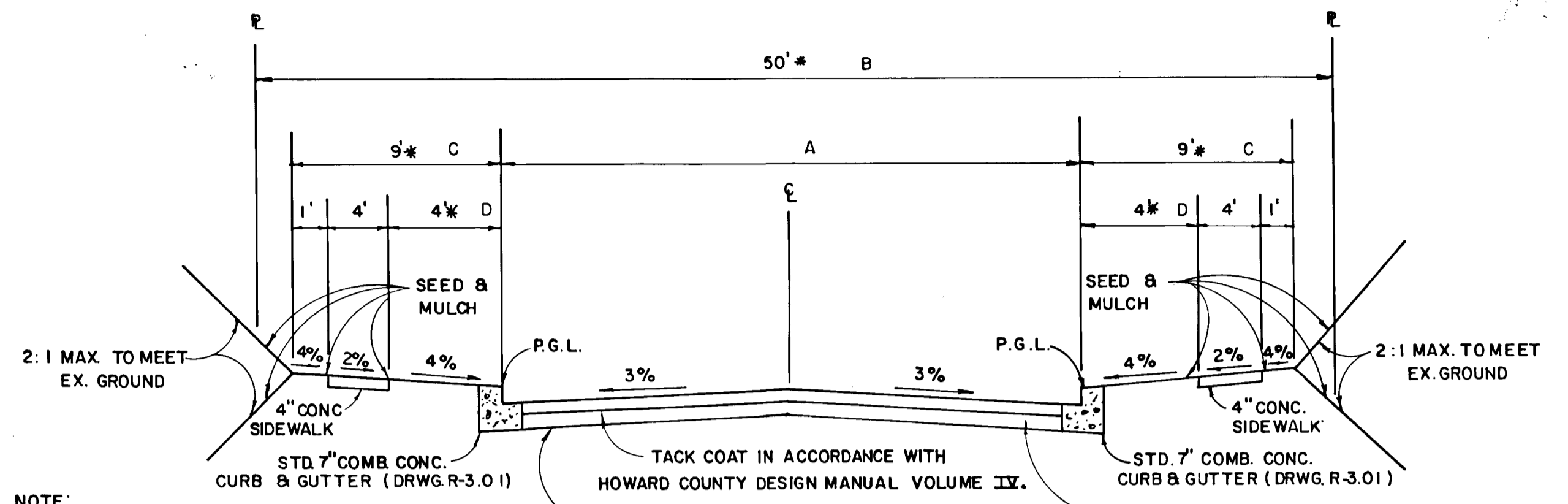


Note:
 1) Class 2 Storm Drain Bedding to be used.
 2) V_f Denotes Full Flow Velocity
 V_p Denotes Partial Flow Velocity.

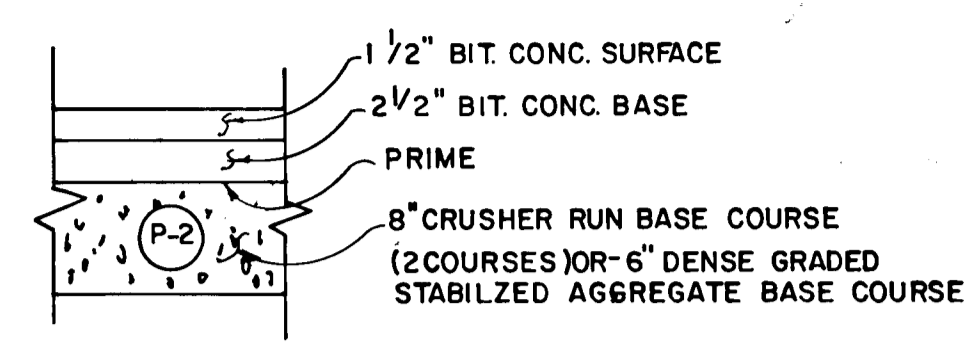
8271



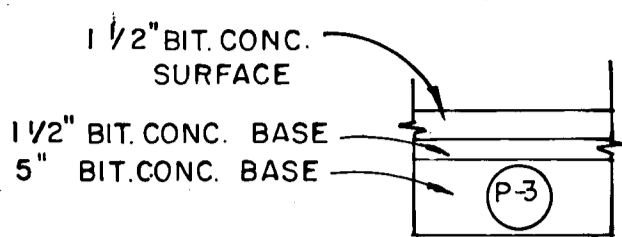
STANDARD SLOPE 7" COMB. CONC. CURB & GUTTER
NO SCALE



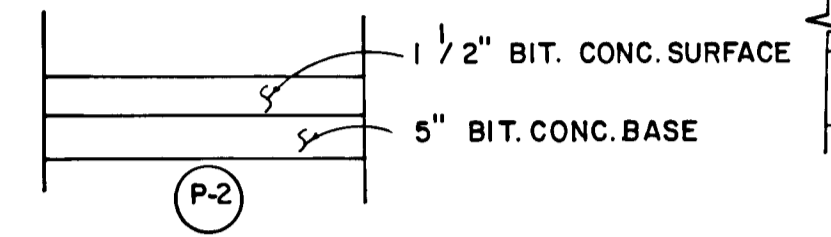
TYPICAL ROADWAY SECTION
NO SCALE



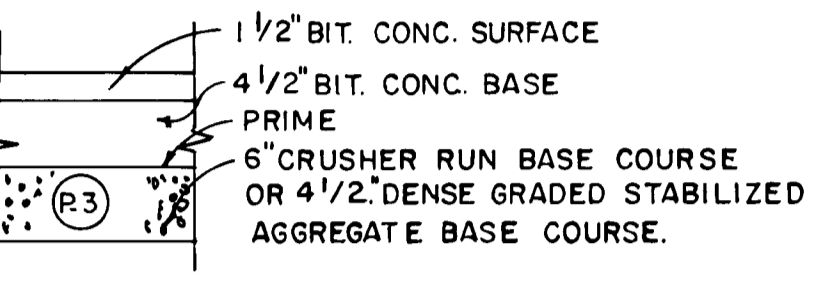
PAVING SECTION P-2
NO SCALE



PAVING SECTION P-3
NO SCALE



PAVING SECTION P-2
NO SCALE



PAVING SECTION P-3
NO SCALE

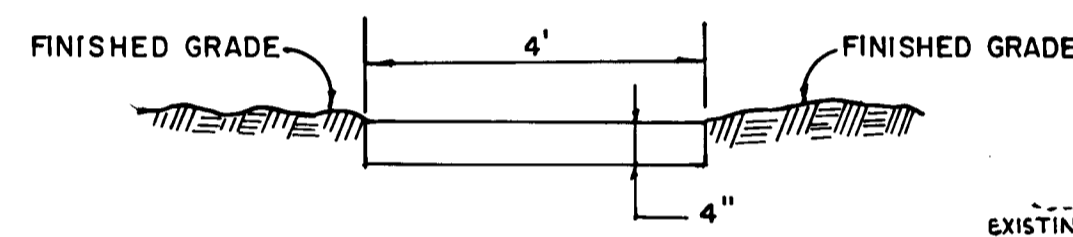
NOTE: ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL VOLUME III STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION.

PAVING SECTION SHALL BE IN ACCORDANCE WITH SECTION NUMBER P-2 DRWG. R-2.01 **

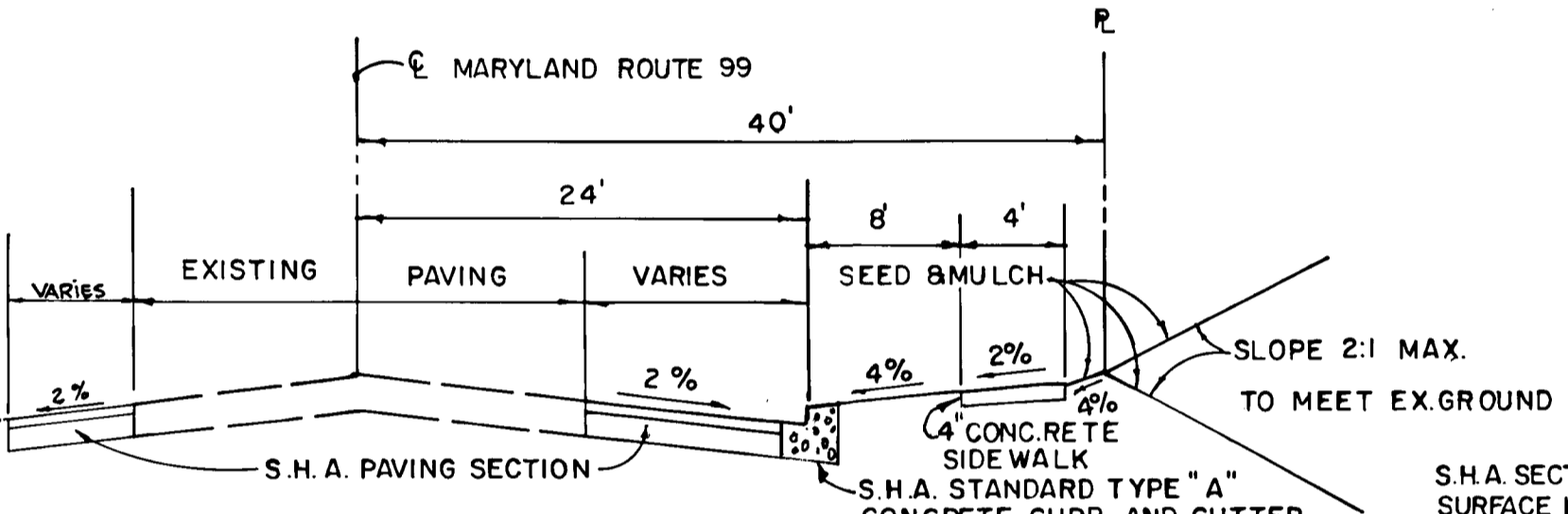
** PAVING SECTION P-3 SHALL BE USED ON WETHERBURN ROAD

* NOTE: FOR WETHERBURN ROAD B=60', C=12', AND D=7'

ROAD NAME	CLASSIFICATION	DESIGN SPEED	ZONING	A	STATION LIMITS
WETHERBURN ROAD	MINOR COLLECTOR	35 M.P.H.	R-20	36'	0+00 TO 21+53.00
TARPLEY COURT	CUL-DESAC	25 M.P.H.	R-20	28'	0+00 TO 4+14.88
BASSETT HALL COURT	CUL-DESAC	25 M.P.H.	R-20	28'	0+00 TO 4+55.27



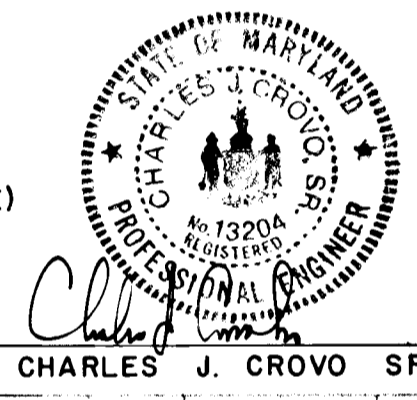
MACADAM WALKWAY DETAIL
NO SCALE



TYPICAL WIDENING SECTION ALONG MARYLAND ROUTE 99
NO SCALE

S.H.A. SECTION SHALL BE 3" (NOMINAL) BITUMINOUS CONCRETE SURFACE IN 2-1 1/2" LAYERS UTILIZING A SN MIXTURE PLUS 5" (NOMINAL) BITUMINOUS CONCRETE BASE (OR 5" SAND ASPHALT BASE) ON ONE OF THE FOLLOWING:

- 4" CR-6, OR
- 4" DENSE GRADED AGGREGATE BASE, OR
- 6" GRAVEL



WETHERBURN
LOTS 1-78
SECOND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TYPICAL ROAD SECTIONS AND DETAILS

OWNER AND DEVELOPER
PEDICORD JOINT VENTURE
C/O LAND DESIGN AND DEVELOPMENT, INC.
8307 MAIN ST.
ELLICOTT CITY, MD. 21043

SCALE AS SHOWN DATE DEC. 23, 1988 DWG. NO. 7 OF 13
DES. C. CROVO, SR. DRW. M. FORREST CHG. R. CARTER

FISHER, COLLINS AND CARTER, INC.
CIVIL ENGINEERS AND LAND SURVEYORS
8388 COURT AVE. ELLICOTT CITY, MARYLAND 21043

APPROVED
DEPARTMENT OF PUBLIC WORKS

Paul D. Larson 4/14/89
CHIEF, LAND DEVELOPMENT DIVISION DATE

Francis W. Welland 4/7/89
CHIEF, BUREAU OF HIGHWAYS DATE

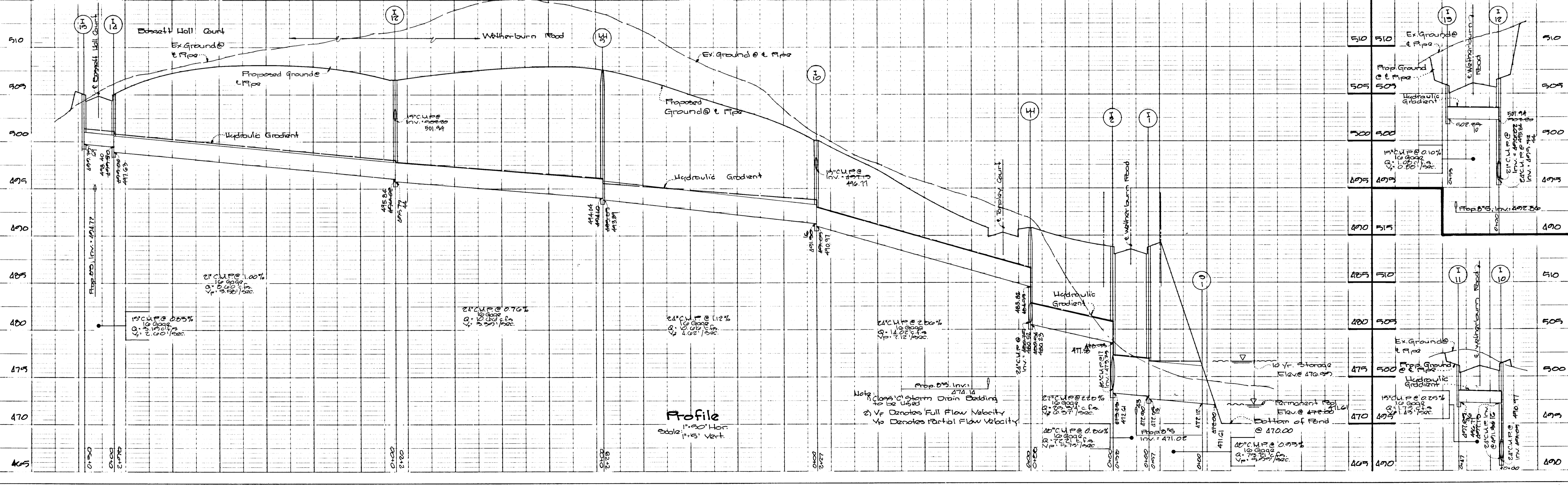
Charles S. DeYoung 4/7/89
DATE

APPROVED
DEPARTMENT OF PUBLIC WORKS

William B. Relyea 4-7-89
DATE

APPROVED
OFFICE OF PLANNING AND ZONING

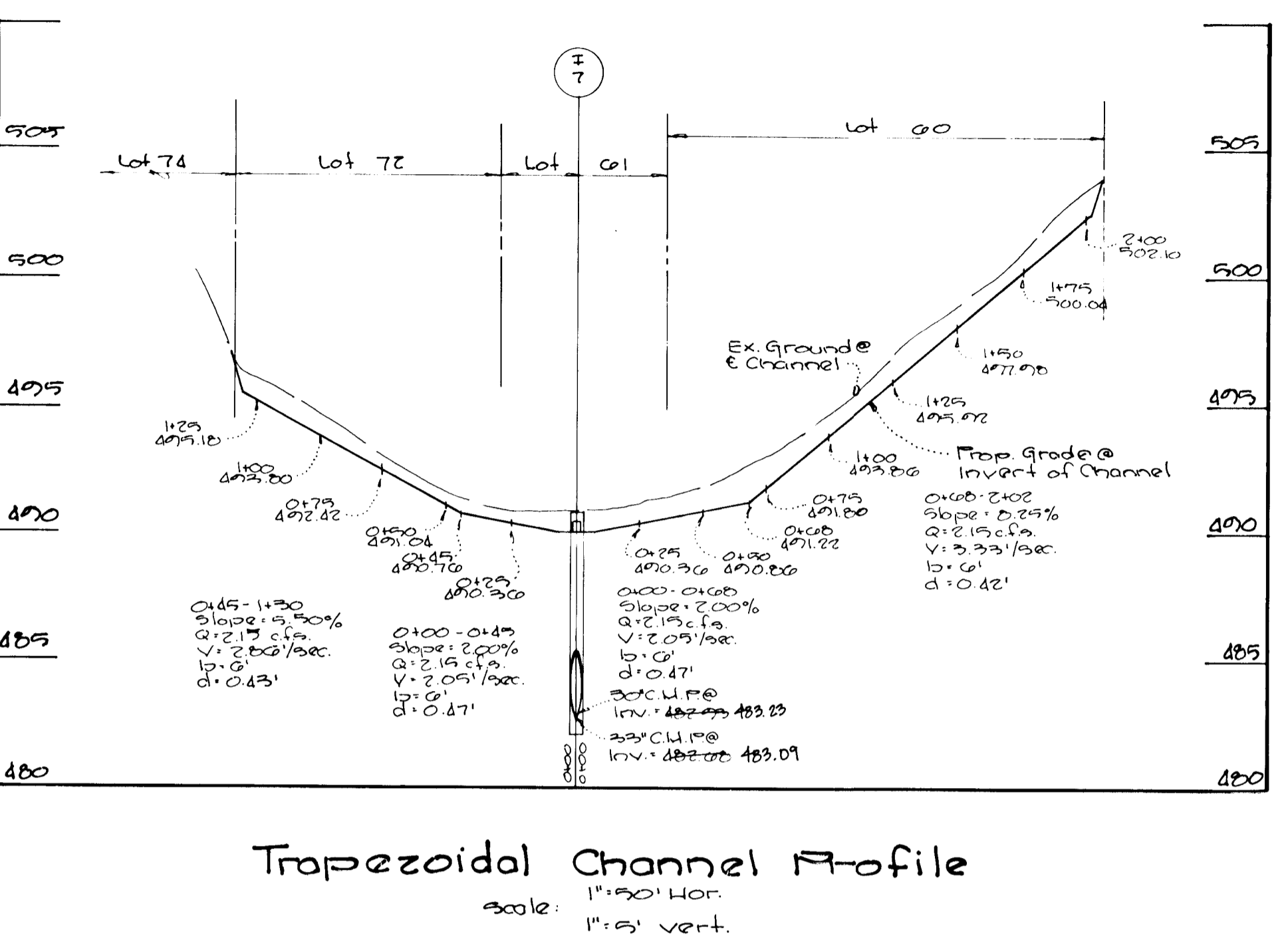
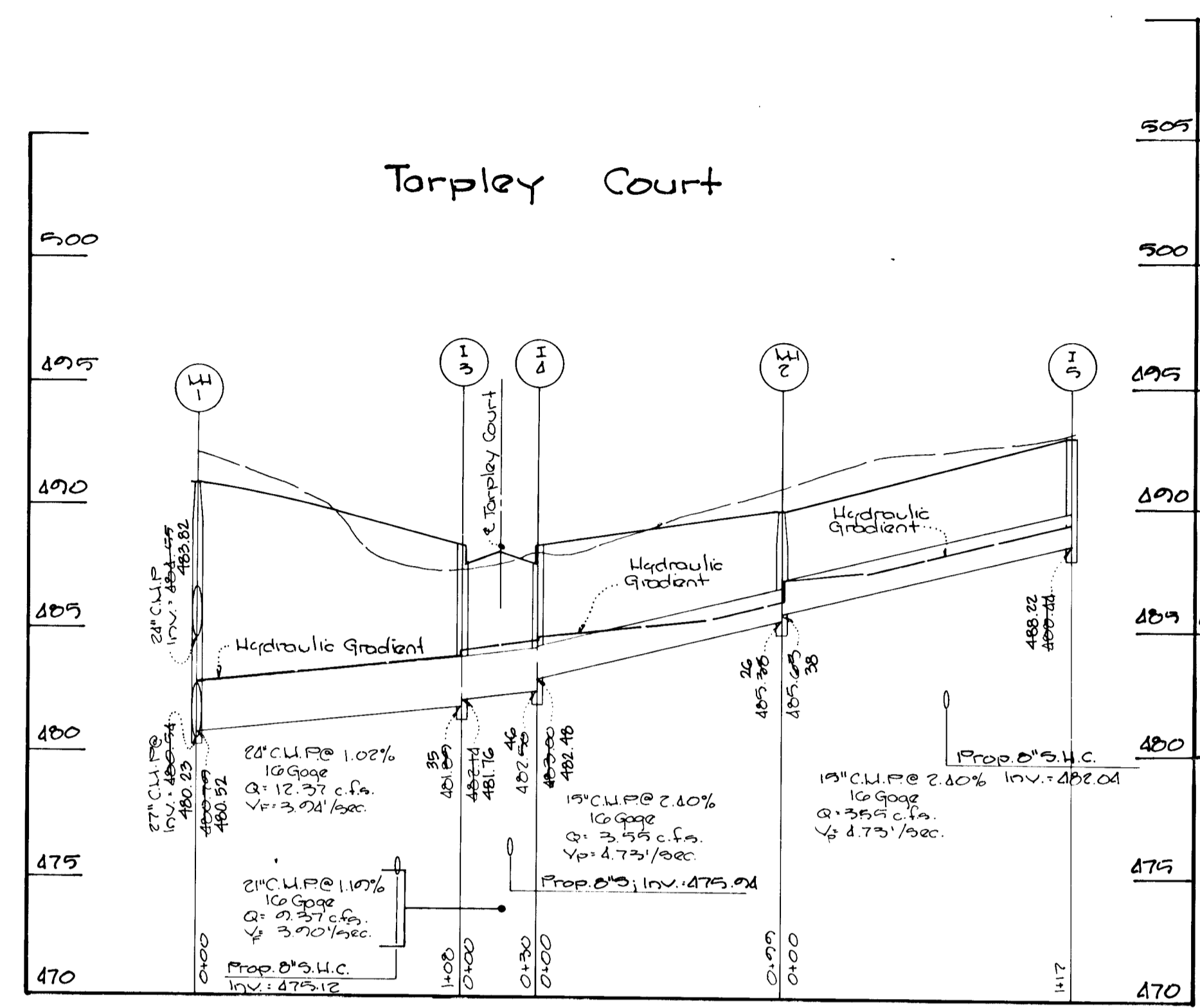
CHIEF DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE



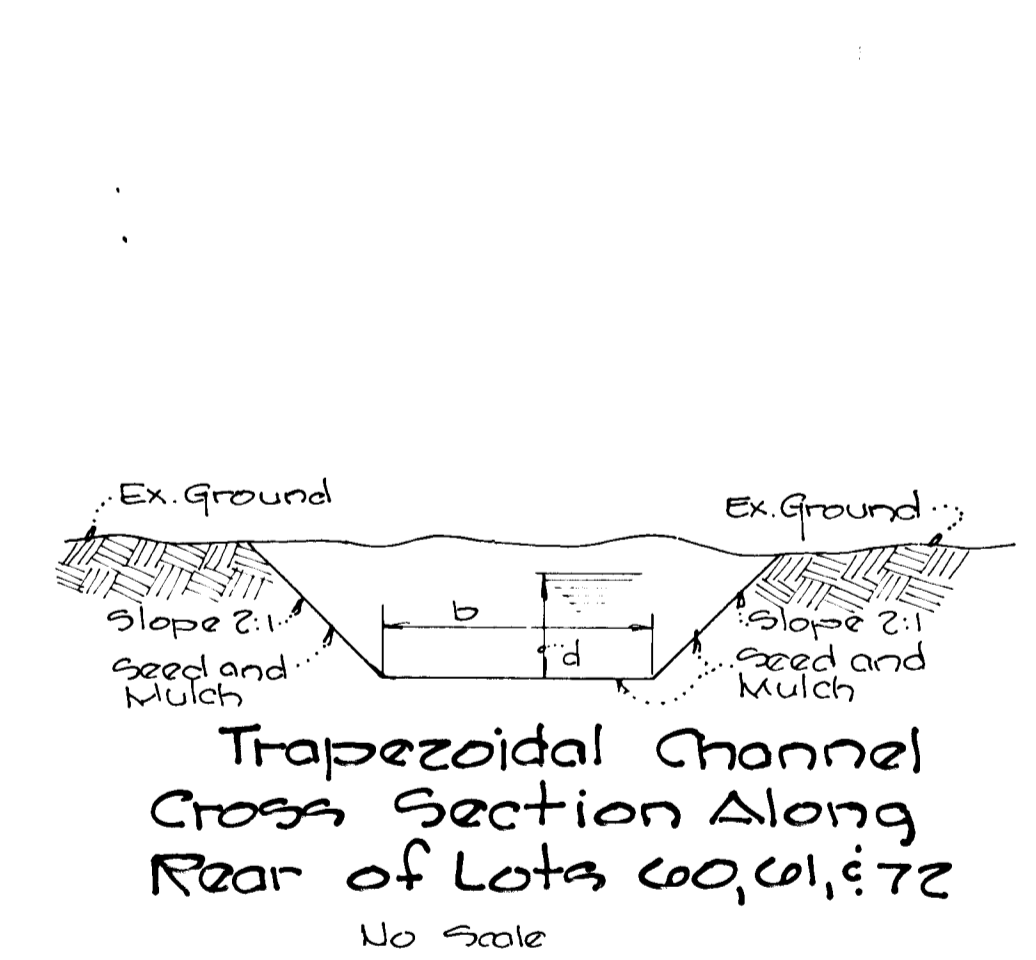
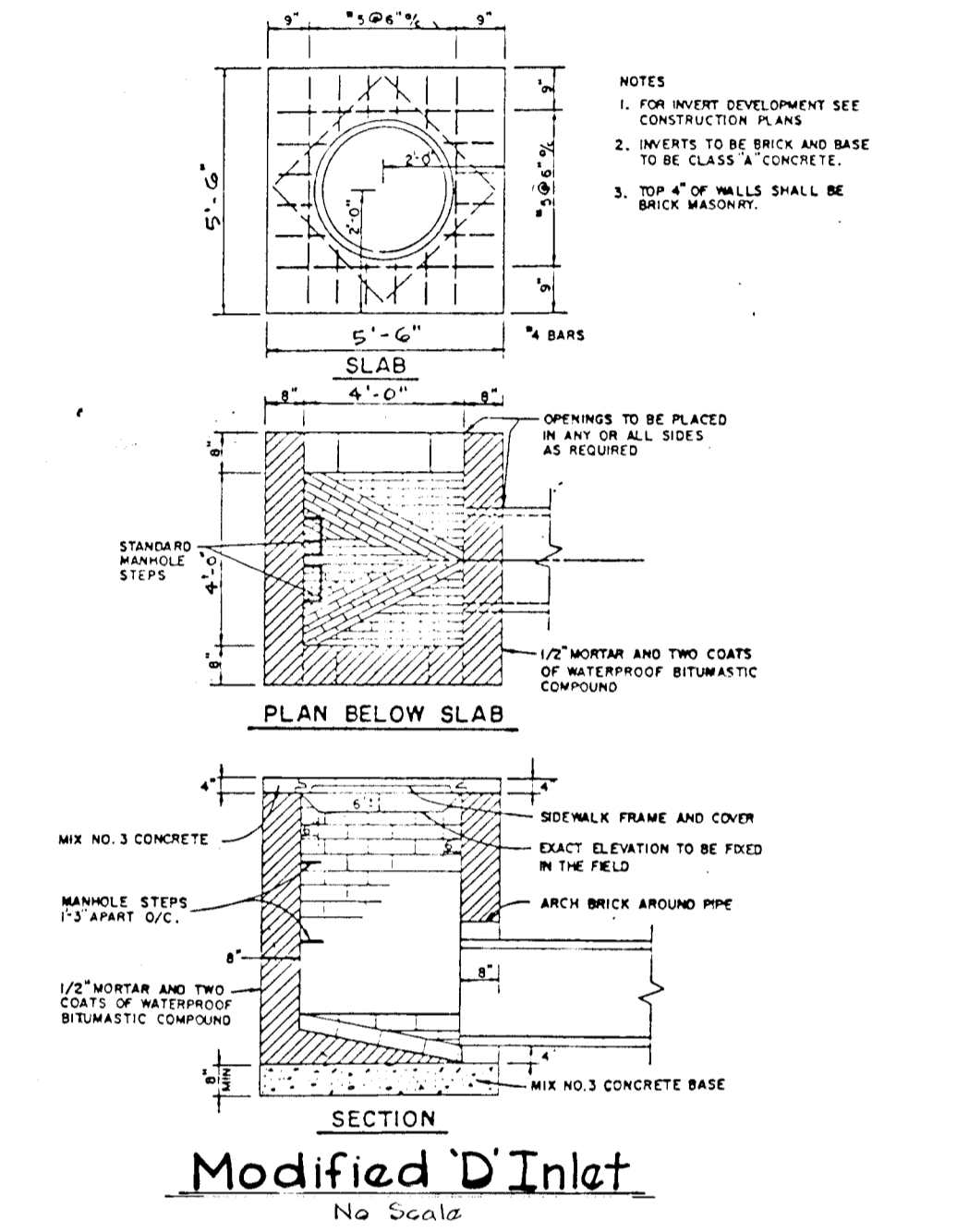
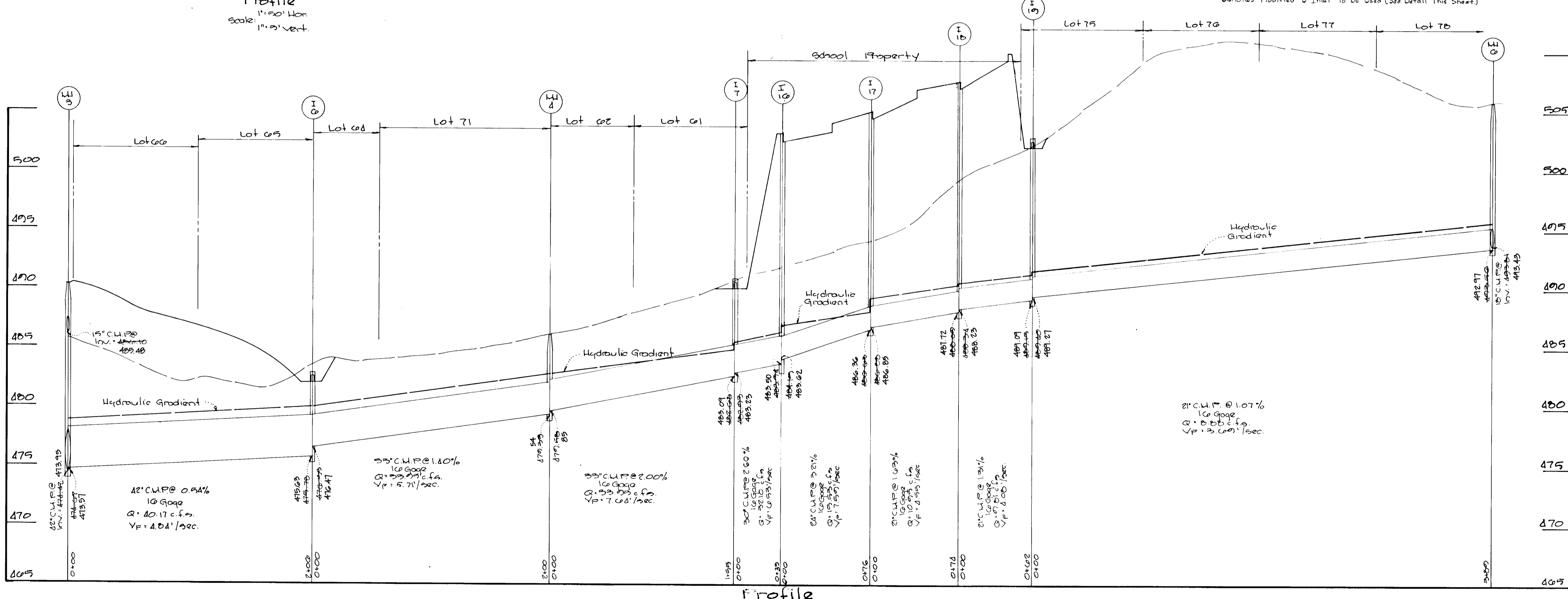
Profile
Scale: 1"=20' Hor.
1"=5' Vert.

1438

APPROVED
 DEPARTMENT OF PUBLIC WORKS
 CHIEF, LAND DEVELOPMENT DIVISION
 DATE 4/3/89
 CHIEF, BUREAU OF HIGHWAYS
 DATE 4/1/89
 CHIEF, BUREAU OF ENGINEERING
 DATE 4/7/89
 OFFICE OF PLANNING AND ZONING
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT
 DATE 7/2/89



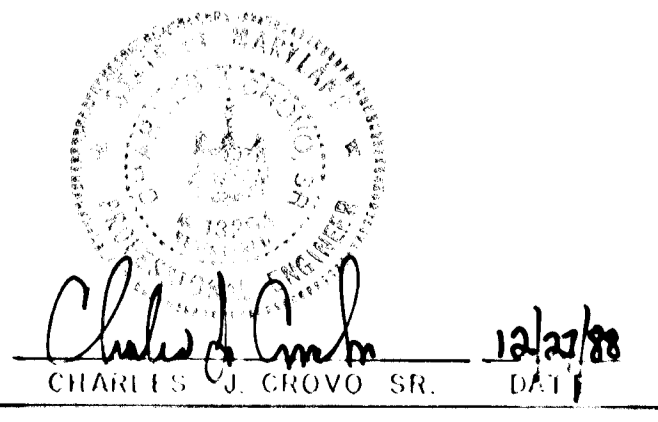
STRUCT.	TYPE	INV. IN.	INV. OUT.	TOP ELEV.	ROAD STATION	REMARKS
1-1	A-5	472.98	472.95	488.79	11440.00 WETHERBURN ROAD	S.D. 4.01
1-2	A-5	478.45	478.35	488.79	11440.00 WETHERBURN ROAD	S.D. 4.01
1-3	A-5	484.74	484.64	488.80	11442.00 TARPLEY COURT	S.D. 4.01
1-4	A-5	481.06	480.96	488.80	11442.00 TARPLEY COURT	S.D. 4.01
1-5	A-5	487.40	487.30	488.80	11442.00 TARPLEY COURT	S.D. 4.01
1-6*	W/DEFLECTORS	476.45	476.35	488.79	2158.46 WETHERBURN ROAD	S.D. 4.83
1-7*	W/DEFLECTORS	482.93	482.83	490.83	4152.20 WETHERBURN ROAD	S.D. 4.11
1-8	A-5	480.25	480.15	495.41	3147.00 WETHERBURN ROAD	S.D. 4.01
1-9	W/DEFLECTORS	490.41	490.31	496.62	8427.94 WETHERBURN ROAD	S.D. 4.83
1-10	A-5	487.13	487.03	500.25	14161.87 WETHERBURN ROAD	S.D. 4.01
1-11	W/DEFLECTORS	492.75	492.65	504.70	14161.87 WETHERBURN ROAD	S.D. 4.01
1-12	A-5	489.75	489.65	506.62	19145.05 WETHERBURN ROAD	S.D. 4.01
1-13	W/DEFLECTORS	492.75	492.65	504.70	19145.05 WETHERBURN ROAD	S.D. 4.01
1-14	A-5	489.50	489.40	504.95	3715.00 BASSETT HALL CT.	S.D. 4.01
1-15	A-5	489.50	489.40	504.95	3715.00 BASSETT HALL CT.	S.D. 4.01
1-16	A-10	484.35	484.25	502.20	SCHOOL SITE	S.D. 4.02
1-17	W/DEFLECTORS	486.45	486.35	505.41	SCHOOL SITE	S.D. 4.83
1-18	A-5	488.34	488.24	506.62	SCHOOL SITE	S.D. 4.83
1-19	W/DEFLECTORS	489.45	489.35	507.25	3164.62 WETHERBURN ROAD	S.D. 4.11
1-20	W/DEFLECTORS	484.14	484.04	500.49	0147.00 MARYLAND RT. 99	S.D. 4.83
1-21	A-5	495.55	495.45	500.37	0147.00 MARYLAND RT. 99	S.D. 4.01
1-22	W/DEFLECTORS	495.55	495.45	500.37	0147.00 MARYLAND RT. 99	S.D. 4.83
1-23	A-5	487.50	487.40	503.37	3445.00 MARYLAND RT. 99	S.D. 4.11
1-24	W/DEFLECTORS	487.50	487.40	503.37	3445.00 MARYLAND RT. 99	S.D. 4.83
MH 1	STANDARD MANHOLE	484.55	484.45	489.75	6132.75 MARYLAND RT. 99	G. 5.01
MH 2	STANDARD MANHOLE	485.75	485.65	489.75	0435.00 TARPLEY COURT	G. 5.01
MH 3	STANDARD MANHOLE	486.70	486.60	489.75	1030.83 TARPLEY COURT	G. 5.01
MH 4	STANDARD MANHOLE	479.48	479.38	489.75	4150.34 TARPLEY COURT	G. 5.01
MH 5	STANDARD MANHOLE	484.10	484.00	501.44	201.43 RIGHT	G. 5.01
MH 6	STANDARD MANHOLE	484.04	483.94	501.44	16493.42 WETHERBURN RD.	G. 5.01
MH 7	STANDARD MANHOLE	483.81	483.71	504.91	1493.79 MARYLAND RT. 99	G. 5.01
S-1	END SECTION	472.12	472.02	476.17	4186.50 MARYLAND RT. 99	S.D. 5.61



STORM DRAIN PROFILES
WETHERBURN
 LOTS 1-78
 SECOND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN SHEET 8 OF 13
 DATE: DECEMBER 23, 1988

FISHER, COLLINS AND CARTER, INC.
 CONSULTING ENGINEERS AND LAND SURVEYORS
 8388 COURT AVENUE
 ELLICOTT CITY, MARYLAND 21143
 TELEPHONE: (301) 461-2855

OWNER AND DEVELOPER
 PEDICOR JOINT VENTURE
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 ELLICOTT CITY, MD. 21043



POND SPECIFICATIONS

SITE PREPARATION

Areas under the embankment and structural works shall be cleared, grubbed and the topsoil stripped to remove all trees, vegetation, roots or other objectionable material. To facilitate clean out and restoration, it is recommended that the permanent pool area be cleared of all brush and trees.

EARTH FILL

Material

The fill material shall be taken from approved designated borrow area or areas. It shall be free from roots, stumps, wood, rubbish, over-size stones, frozen or other objectionable materials. The embankment shall be constructed to an elevation which provides for anticipated settlement to the design elevation. The fill height all along the length of the embankment shall be increased at least 10 percent above the design elevation (including freeboard) unless otherwise shown on the plans. All fill material shall be CL or ML, as approved by Soils Engineer.

Placement

Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in 8-inch maximum thickness (before compaction) layers which are to be continuous over the entire length of the fill. The most porous borrow material shall be placed in the downstream portions of the embankment.

Core Trench

Where specified, a core trench shall be excavated along or parallel to the centerline of the embankment, as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation with the minimum width being 4-feet. The depth shall be at least 4-feet or as shown on the plans. The side slopes of the trench shall be 1:1 or flatter. The backfill material for the core trench shall be the most impervious material available and shall be compacted with equipment or rollers to assure maximum density and minimum permeability. Compact to 95% of AASHTO T-99 density. Materials shall be CL or ML as approved by Soils Engineer.

STRUCTURAL BACKFILL

Backfill material shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed 4-inches in thickness and compacted by hand tampers or other compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than 4-feet to any part of a structure. Under no circumstances shall the contractor drive equipment over any part of a structure or pipe unless there is a compacted fill of 2-feet or greater over the structure or pipe.

PIPE CONDUITS

A. CORRUGATED METAL PIPE

- Materials - Metal Pipe - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-196 or M-211, with watertight coupling bands.
- Connections - All connections with pipes must be completely watertight. The drain pipe or barrel connection to the control structure shall be mortared all around. Watertight coupling bands shall be used at all joints. Anti-seep collars shall be connected to the pipe in such a manner as to be completely watertight.
- Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.
- Laying pipe - The pipe shall be placed with inside circumferential laps pointing downstream and with the longitudinal laps at the sides.
- Backfilling shall conform to structural backfill as shown above.
- Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

V. CONCRETE

Concrete shall meet minimum requirements set forth in Maryland State Highway Administration Specifications for Materials, Highways, Bridges, and Incidental Structures, Article 20.07 (Portland Cement Concrete Mixtures), Mix No. 3.

VI. STABILIZATION

All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment, spillway and borrow areas shall be stabilized by permanent seeding and applying straw mulch in accordance with "Standards and Specifications for Soil Erosion and Sediment Control in Urbanizing Areas" immediately after finish grading.

- Fertilizer: 10-10-10 @ 11.5 lbs./1000 sq.ft.
- Seed: Crownvetch inoculated @ 0.5 lbs./1000 sq.ft.
- 'KY-31' Tall Fescue @ 1.5 lbs./1000 sq.ft.
- Mulch: Straw @ 80 lbs./1000 sq.ft.
- Asphalt Tie-down: Slopes @ 8 gal./1000 sq.ft.
- Flat areas @ 5 gal./1000 sq.ft.

ALL EXPOSED AREAS OF THE EMBANKMENT AND POND SHALL BE STABILIZED BY:

- SPREADING 4" TOPSOIL (INCLUDING BOTTOM OF POND).
- WORKING IN 1 TON OF GROUND LIMESTONE AND 1,000 POUNDS OF 10-10-10 FERTILIZER PER ACRE (INCLUDING BOTTOM OF POND).
- SEED WITH 40 LBS./ACRE OF "KENTUCKY 31" TALL FESCUE, AND 15 LBS./ACRE OF CROWNVETCH INOCULATED.
- MULCH WITH 1 1/2 TONS STRAW PRE ACRE.
- TIE DOWN MULCH WITH EMULSIFIED ASPHALT @ 348 GALLONS/ACRE.

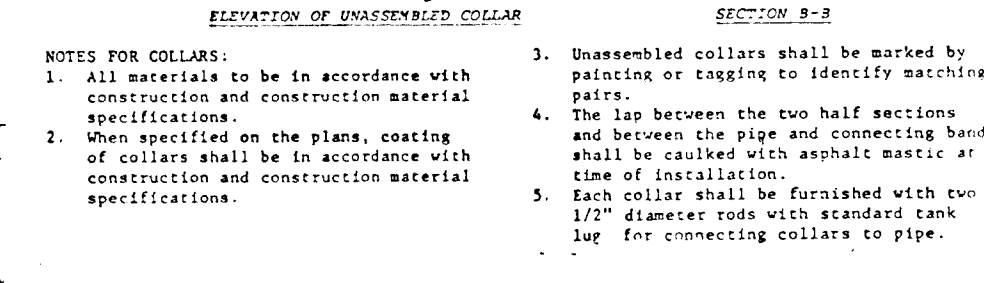
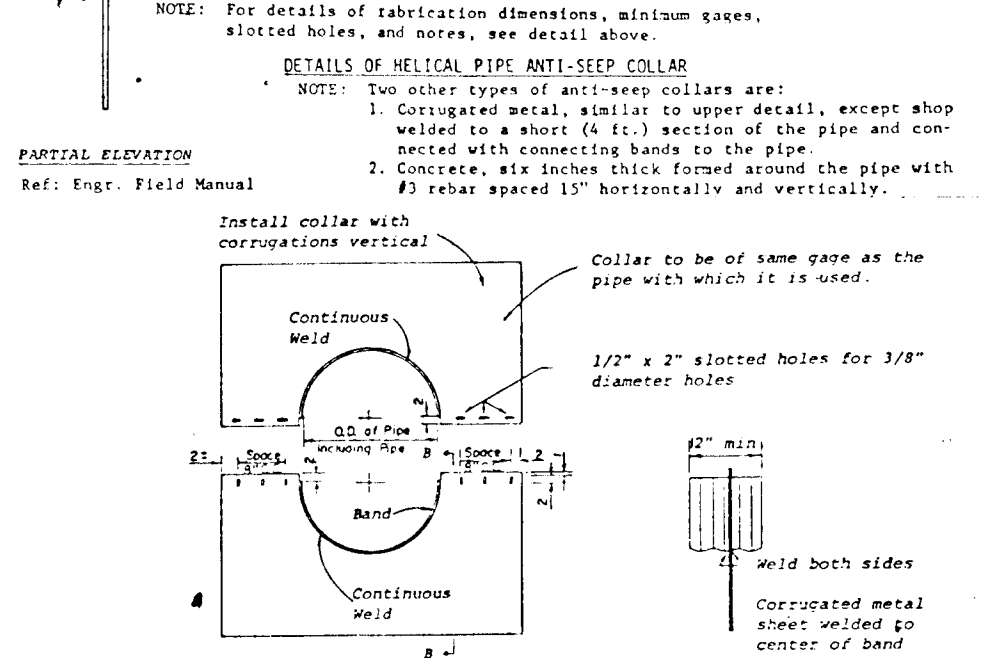
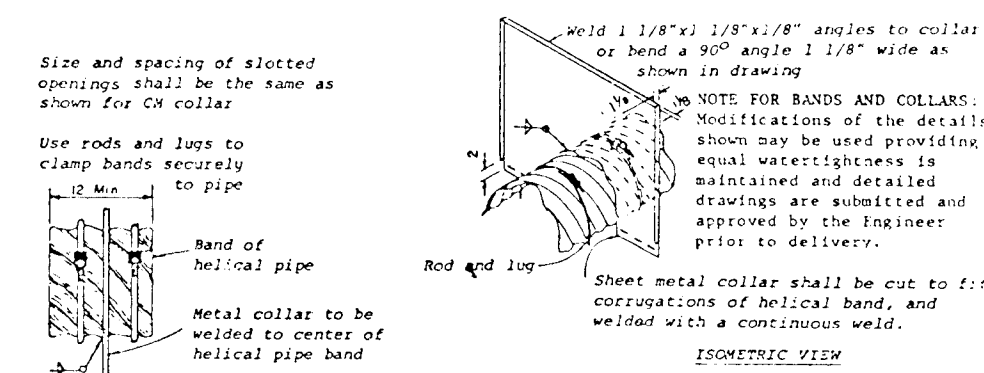
OPERATION AND MAINTENANCE SPECIFICATIONS

I HEREBY CERTIFY THAT I WILL OPERATE AND MAINTAIN THE COMPLETED POND IN ACCORDANCE WITH THE FOLLOWING:

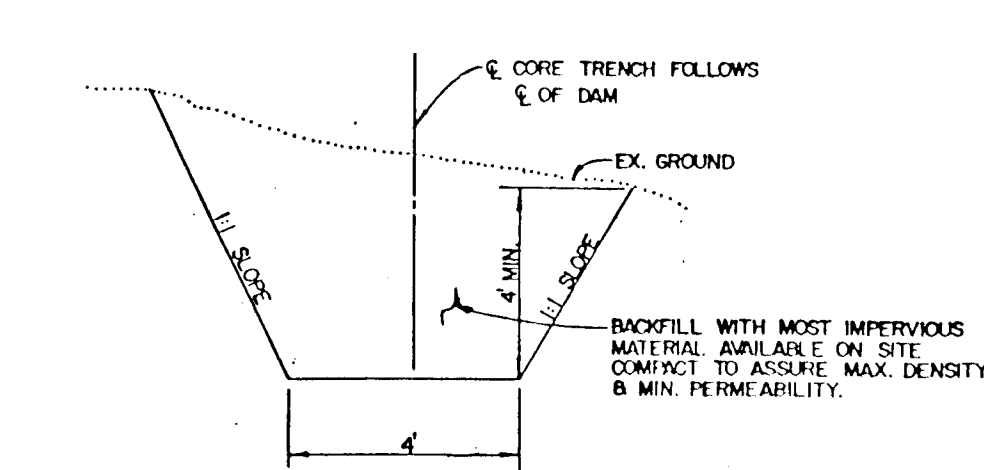
- PERIODIC INSPECTIONS OF THE FACILITY WILL BE MADE TO IDENTIFY POTENTIAL PROBLEMS THAT MAY AFFECT ITS SAFETY. THESE INSPECTIONS WILL BE MADE AFTER PERIODS OF HEAVY RAINFALL AND AT LEAST TWICE ANNUALLY. INSPECTION REPORTS SHALL BE KEPT UNTIL THE NEXT SUBSEQUENT INSPECTION. INSPECTIONS ITEMS TO BE LOOKED AT INCLUDE:
 - SPILLWAY AND OUTLET WORKS;
 - RIP-RAP;
 - VEGETATIVE COVER;
 - CRACKS IN THE FILL;
 - SLOPE FAILURES; AND
 - SEEPAGE AND OTHER SIGNS OF DISTRESS.

- PROBLEMS IDENTIFIED DURING INSPECTIONS WILL BE PROMPTLY CORRECTED. MAJOR PROBLEMS WILL BE BROUGHT TO THE ATTENTION OF THE SOIL CONSERVATION DISTRICT AND THE DAM SAFETY DIVISION OF THE MARYLAND WATER RESOURCES ADMINISTRATION. AS A VERY MINIMUM, GRASSY VEGETATION WILL BE MAINTAINED IN A DENSE AND HEALTHY STATE, AND WOODY VEGETATION WILL NOT BE PERMITTED TO GROW ON THE EMBANKMENT.

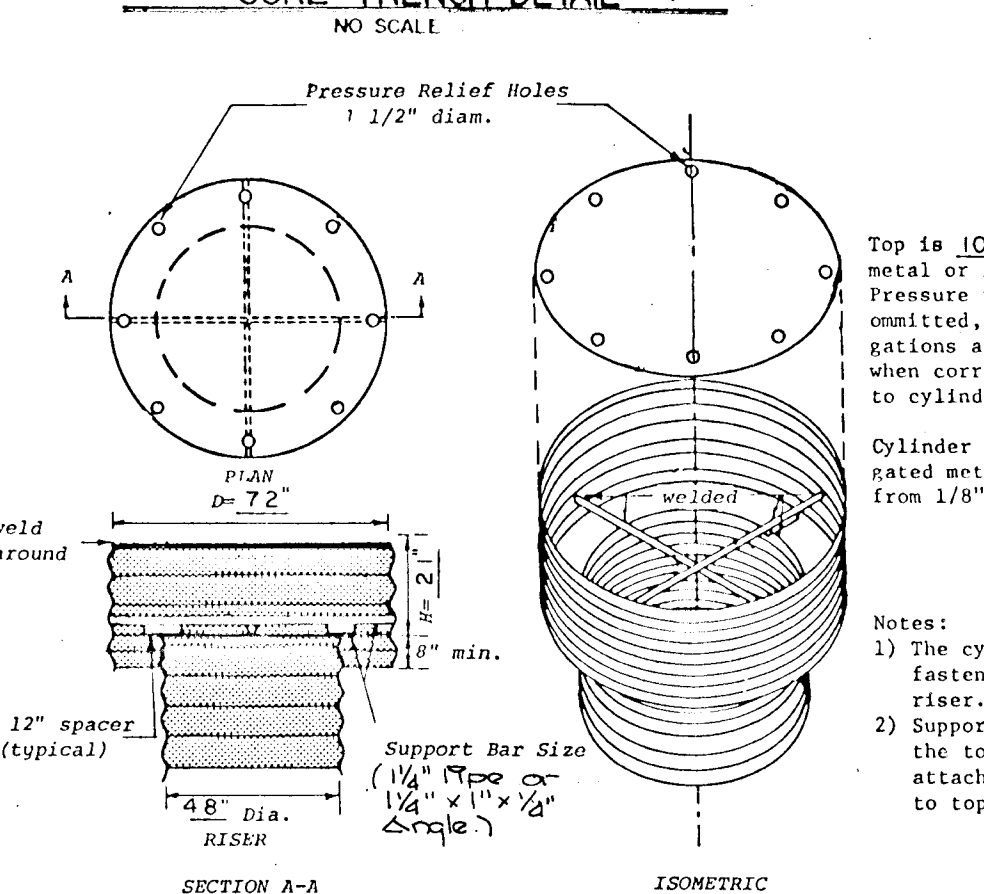
FISHER, COLLINS AND CARTER, INC.
CONSULTING ENGINEERS AND LAND SURVEYORS
8388 COURT AVENUE
ELLCOTT CITY, MARYLAND 21043
TELEPHONE: (301) 461-2855



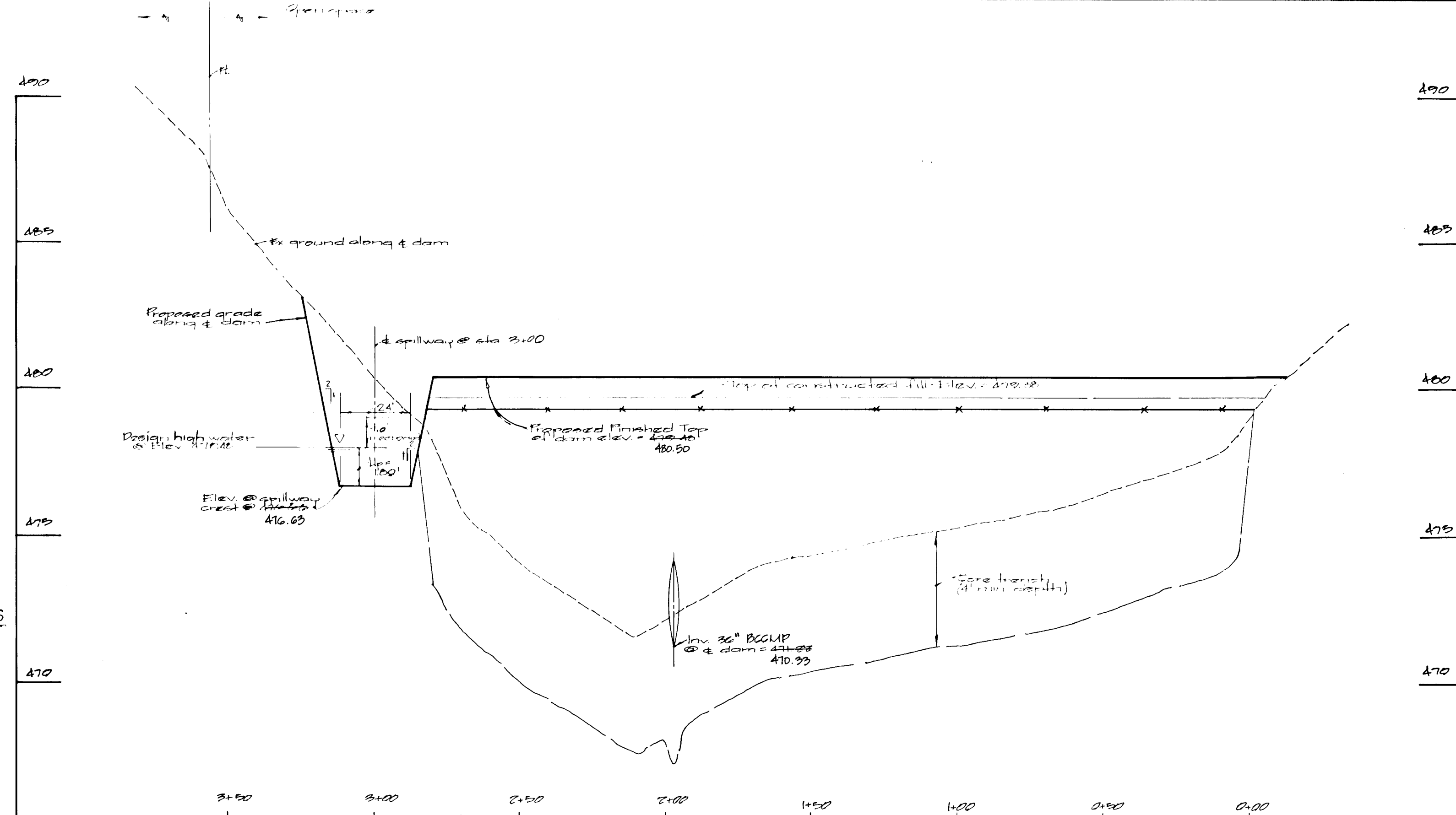
CORRUGATED METAL ANTI-SEEP COLLAR DETAILS
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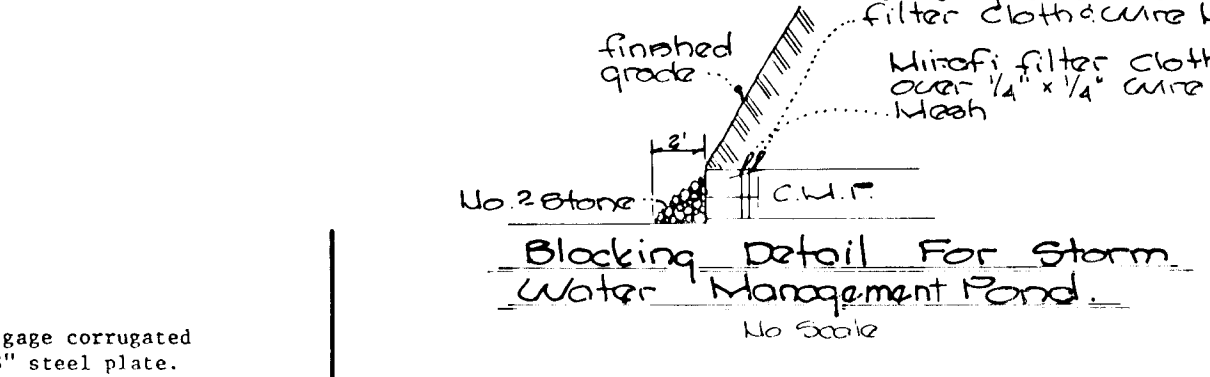
CORE TRENCH DETAIL
NO SCALE



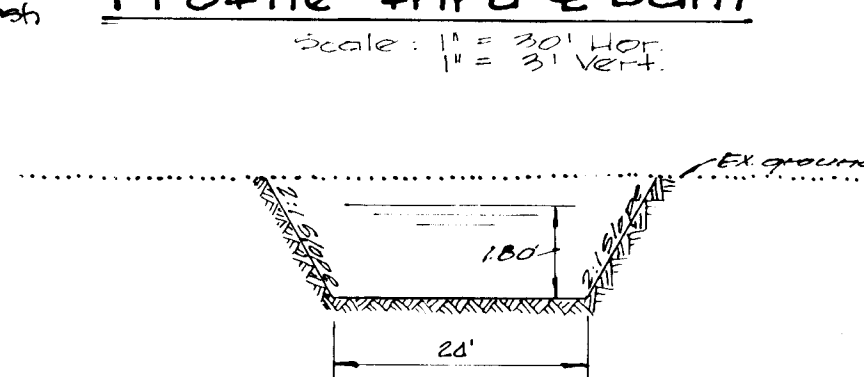
CONCENTRIC TRASH RACK AND ANTI-VORTEX DEVICE DETAIL
NOT TO SCALE



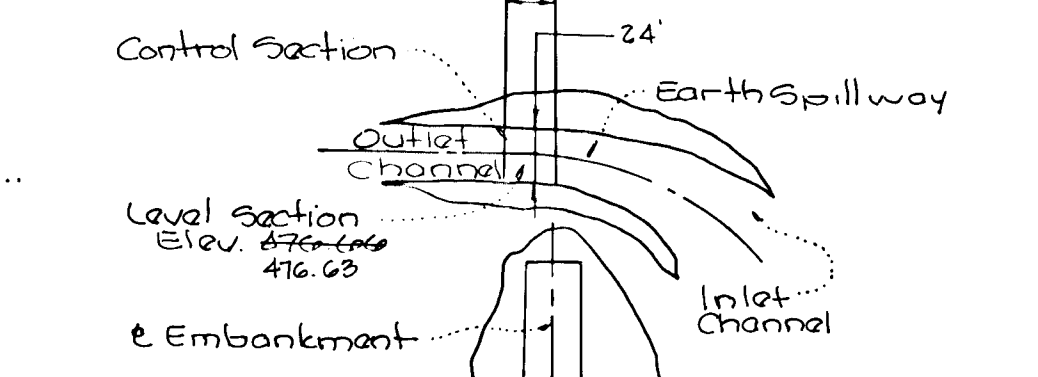
Profile thru dam
Scale: 1/4" = 30' Hor, 1/8" = 3' Vert.



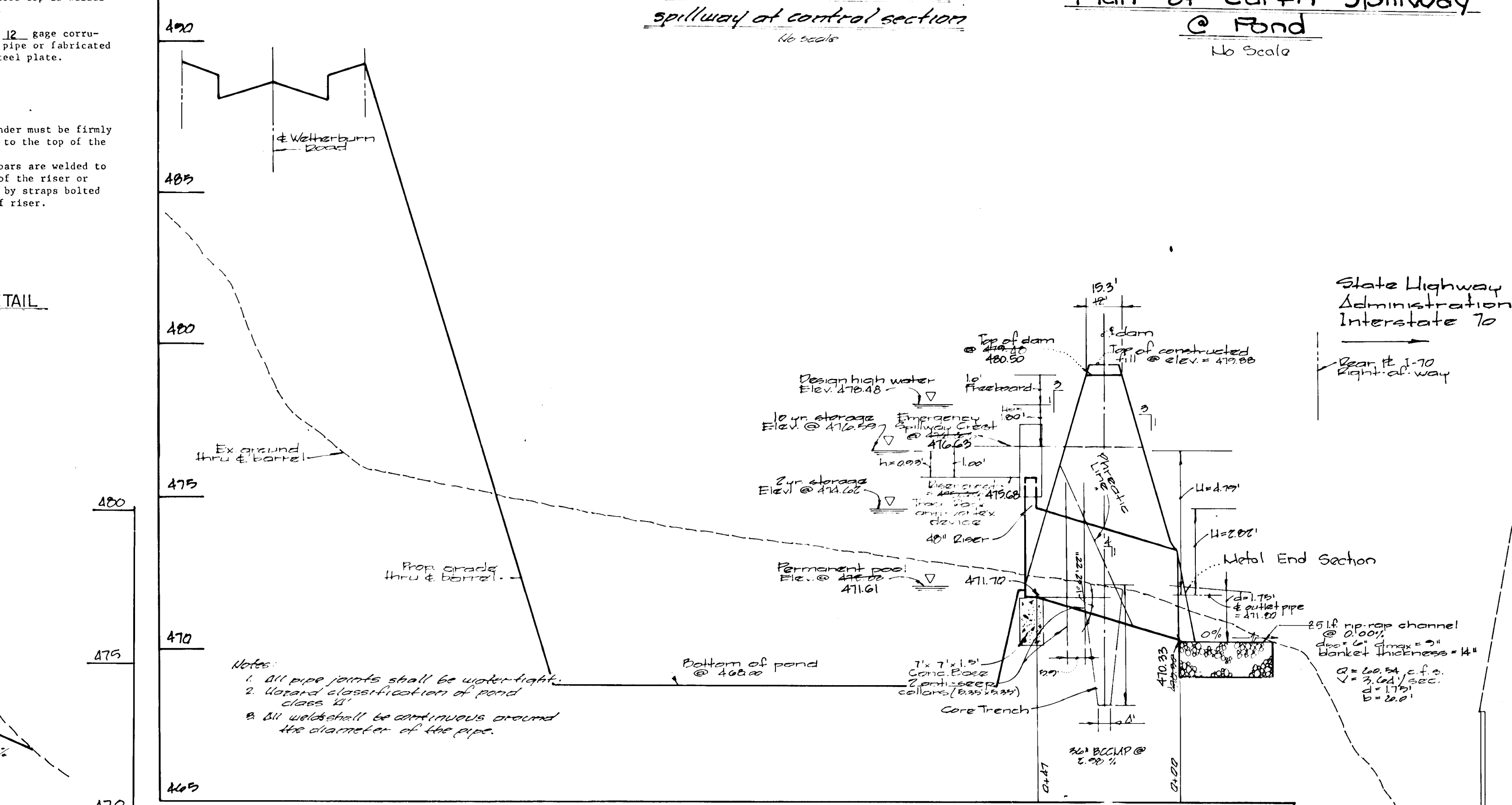
Blocking detail for storm water management pond
NO SCALE



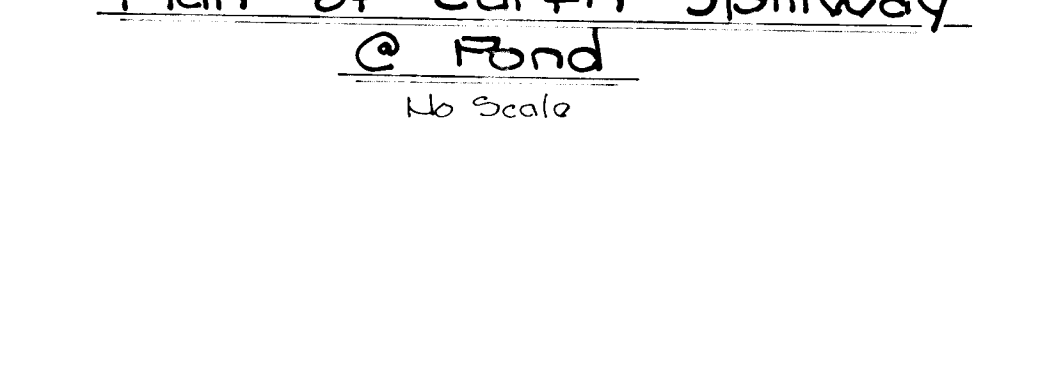
Cross section of earth spillway at central section
NO SCALE



Plan of Earth Spillway @ Pond
NO SCALE



Profile thru Riser and Barrel
Scale: 1/4" = 30' Hor, 1/8" = 3' Vert.



Riser Detail
Not to scale

STORM WATER MANAGEMENT POND CERTIFICATION AND APPROVAL

ENGINEER'S CERTIFICATE
"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN WITHIN 30 DAYS OF COMPLETION."
Signature of Engineer: *Charles J. Crovo*
DATE: 3/20/89

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT."
Signature of Developer: *James M. Wetherburn*
DATE: 3-20-89

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.
Signature: *James M. Wetherburn*
U.S. SOIL CONSERVATION SERVICE
DATE: 4/3/89

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Signature: *Stephen G. Fisher*
HOWARD SOIL CONSERVATION DISTRICT
DATE: 4/3/89

APPROVED: OFFICE OF PLANNING AND ZONING
Signature: *Joseph J. Campbell*
CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT
DATE: 4/1/89

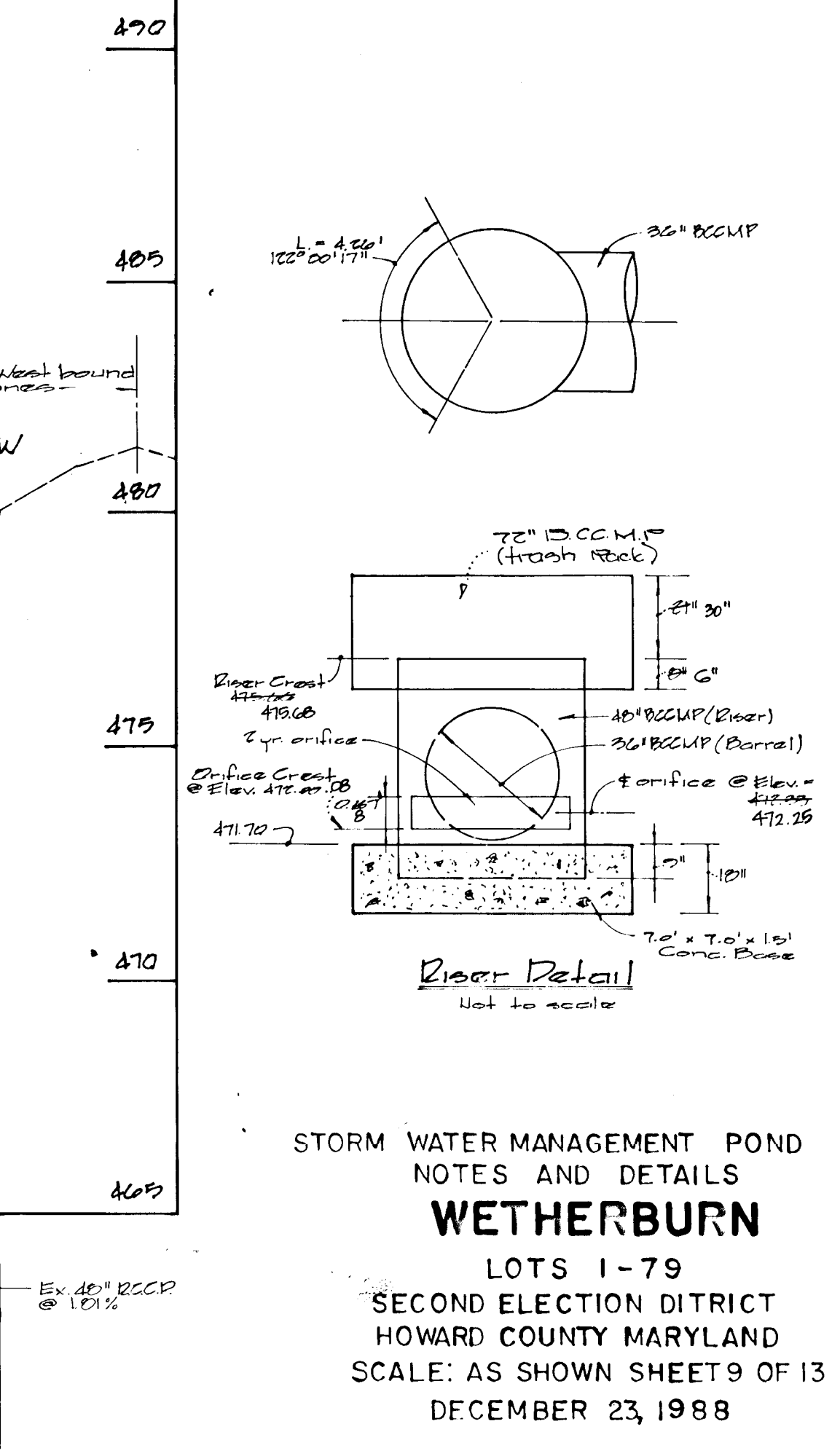
APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Signature: *William W. Wetherburn*
CHIEF, LAND DEVELOPMENT DIVISION
DATE: 4/1/89

Signature: *William W. Wetherburn*
CHIEF, BUREAU OF HIGHWAYS
DATE: 4/1/89

Signature: *James E. Pinsky*
CHIEF, BUREAU OF ENGINEERING
DATE: 4/1/89

POND CONSTRUCTION CERTIFICATION
I CERTIFY THAT UPON COMPLETION OF CONSTRUCTION I WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE (O&M) OF THE SMALL POND. O&M WILL BE PERFORMED BY ME IN ACCORDANCE WITH THE SPECIFICATIONS ON THIS PLAN. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS OF THE POND BY THE SITE AND LOCAL AGENCIES.
Signature of Developer: *James M. Wetherburn*
DATE: 3-20-89

Signature of Developer: *James M. Wetherburn*
DATE: 3-20-89



Profile thru Emergency Spillway
Scale: 1/4" = 30' Hor, 1/8" = 3' Vert.

STORM WATER MANAGEMENT POND NOTES AND DETAILS WETHERBURN
LOTS 1-79
SECOND ELECTION DISTRICT
HOWARD COUNTY MARYLAND
SCALE: AS SHOWN SHEET 9 OF 13
DECEMBER 23, 1988

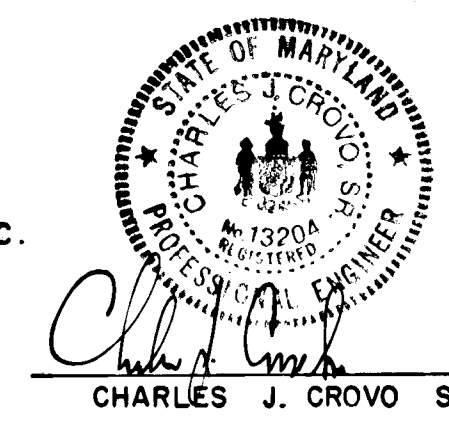
APPROVED
 DEPARTMENT OF PUBLIC WORKS
Paul J. Spon 4/4/89
 CHIEF, LAND DEVELOPMENT DIVISION DATE
James W. Wesland 4/7/89
 CHIEF, BUREAU OF HIGHWAYS DATE
William E. Reid 4/7/89
 CHIEF, BUREAU OF ENGINEERING DATE
 APPROVED
 OFFICE OF PLANNING AND ZONING
Frank S. D. Murphy 7/2/89
 CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE



DRAINAGE AREA MAP
WETHERBURN
 LOTS 1-79
 SECOND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE AS SHOWN SHEET 10 OF 13
 DATE DECEMBER 23, 1988

1438
 FISHER, COLLINS AND CARTER, INC.
 CONSULTING ENGINEERS AND LAND SURVEYORS
 8388 COURT AVENUE
 ELLICOTT CITY, MARYLAND 21043
 TELEPHONE: (301) 461-2855

OWNER AND DEVELOPER
 PEDICORD JOINT VENTURE
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 8307 MAIN ST.
 ELLICOTT CITY, MD. 21043



Charles J. Crovo Sr.
 CHARLES J. CROVO SR. DATE

STORM WATER MANAGEMENT POND CERTIFICATION AND APPROVAL

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE MUST PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

Charles J. Carter DATE: 3-20-89

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

U.S. SOIL CONSERVATION SERVICE DATE: _____

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE: _____

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I WILL PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT AGENTS, AS ARE DEEMED NECESSARY."

James M. ... DATE: 3-20-89

APPROVED: OFFICE OF PLANNING AND ZONING

CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT DATE: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

CHIEF, LAND DEVELOPMENT DIVISION DATE: _____

CHIEF, BUREAU OF HIGHWAYS DATE: _____

William E. ... DATE: 4-7-89

CHIEF, BUREAU OF ENGINEERING

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Charles J. Carter DATE: 3/20/89

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THE AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

James M. ... DATE: 3-20-89

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

James M. ... DATE: 4/3/89

U.S. SOIL CONSERVATION DISTRICT

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: _____ DATE: 4/3/89

DISTRICT HOWARD SOIL CONSERVATION DISTRICT

APPROVED: OFFICE OF PLANNING AND ZONING

James S. ... DATE: 4/1/89

CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

APPROVED: DEPARTMENT OF PUBLIC WORKS

William E. ... DATE: 4/1/89

CHIEF, BUREAU OF ENGINEERING

APPROVED: DEPARTMENT OF PUBLIC WORKS

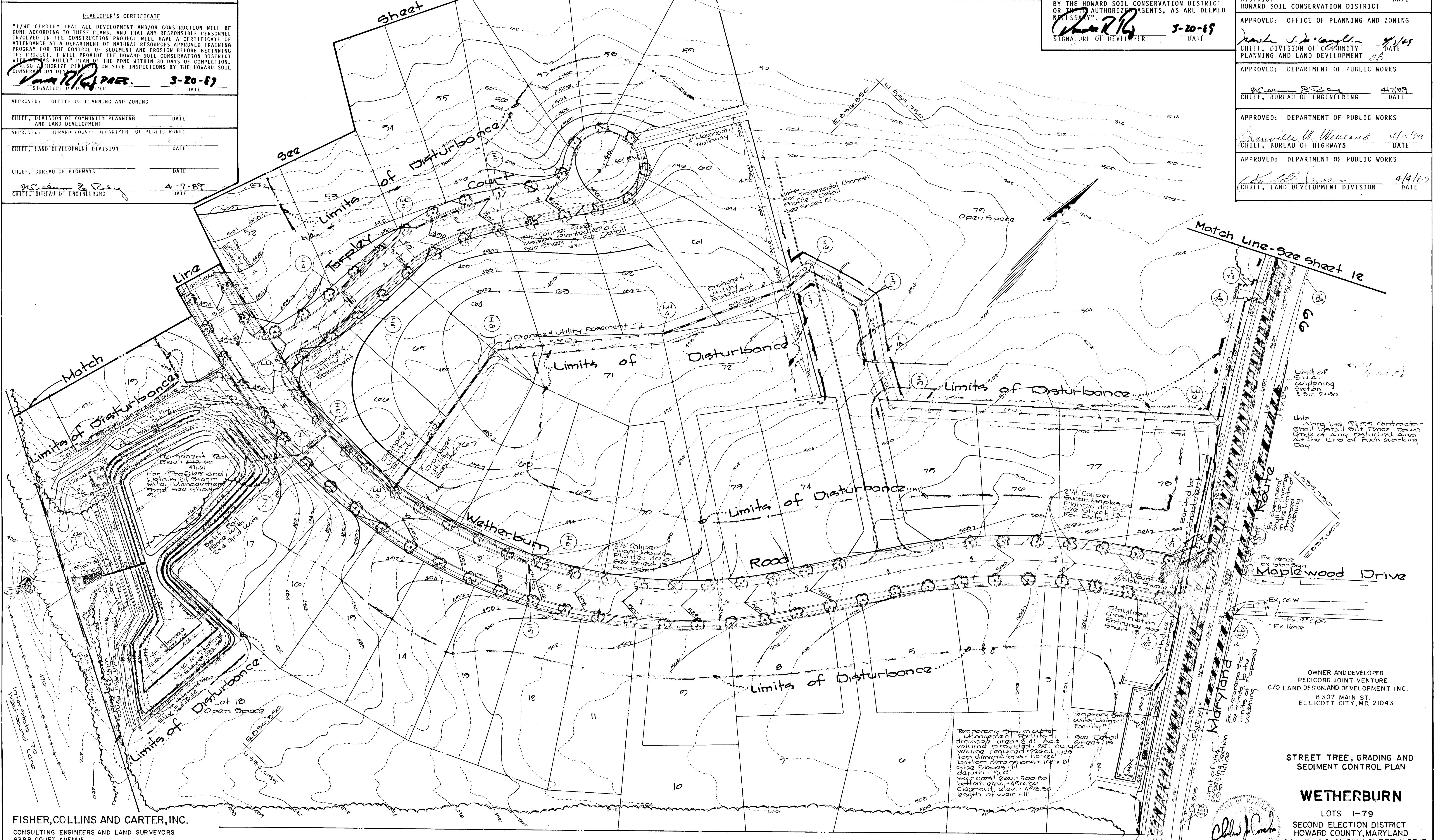
William E. ... DATE: 4/1/89

CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PUBLIC WORKS

William E. ... DATE: 4/4/89

CHIEF, LAND DEVELOPMENT DIVISION



1433

FISHER, COLLINS AND CARTER, INC.
CONSULTING ENGINEERS AND LAND SURVEYORS
8388 COURT AVENUE
ELLCOTT CITY, MARYLAND 21043
TELEPHONE: (301) 461-2855

Plan
Scale: 1" = 50'

OWNER AND DEVELOPER
PEDICOR JOINT VENTURE
C/O LAND DESIGN AND DEVELOPMENT INC.
8307 MAIN ST.
ELLCOTT CITY, MD 21043

STREET TREE, GRADING AND SEDIMENT CONTROL PLAN

WETHERBURN
LOTS 1-79
SECOND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN SHEET 11 OF 13
DATE: DECEMBER 23, 1988

Charles J. Carter

PERMANENT SEEDING NOTES:
 APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE-INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING. IF NOT PREVIOUSLY LOOSENED, SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- 1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE-INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER 30-0-0 UREAFORM FERTILIZER (9 LBS/1000 SQ. FT.).
- 2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE-INCHES OF SOIL.

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS/1000 SQ. FT.) OF KEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WILL ANCHORED STRAW.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OR UNWROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.

TEMPORARY SEEDING NOTES:
 APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE-INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING. IF NOT PREVIOUSLY LOOSENED, SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.).

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ. FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF KEEPING LOVEGRASS (.07 LBS/1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

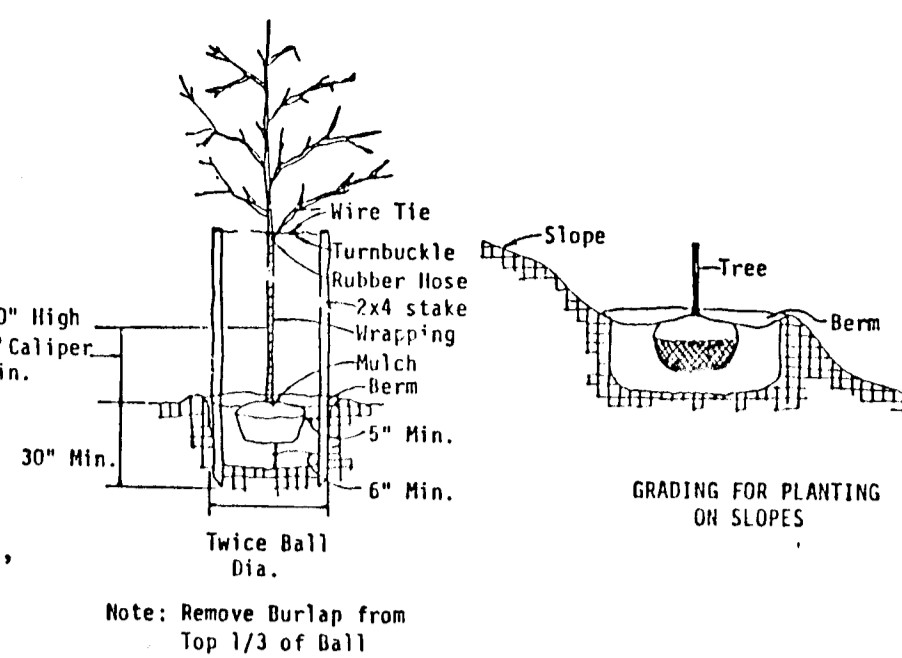
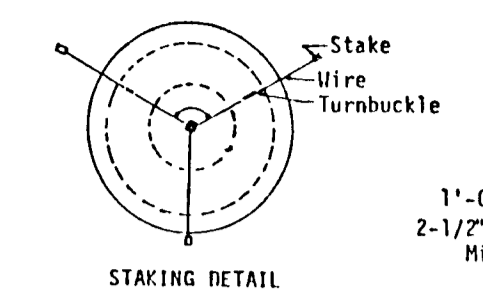
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REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

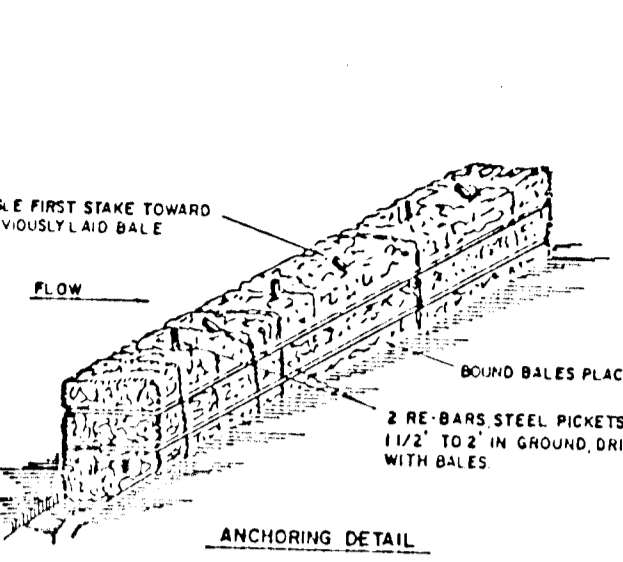
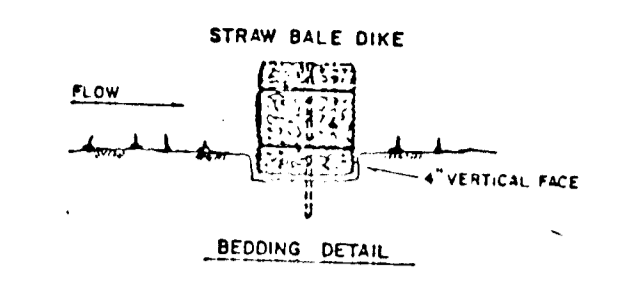
SEDIMENT CONTROL NOTES:

- 1) A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (892-2437).
- 2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 3) FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1; b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 4) ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- 5) ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 51) SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- 6) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 7) SITE ANALYSIS:

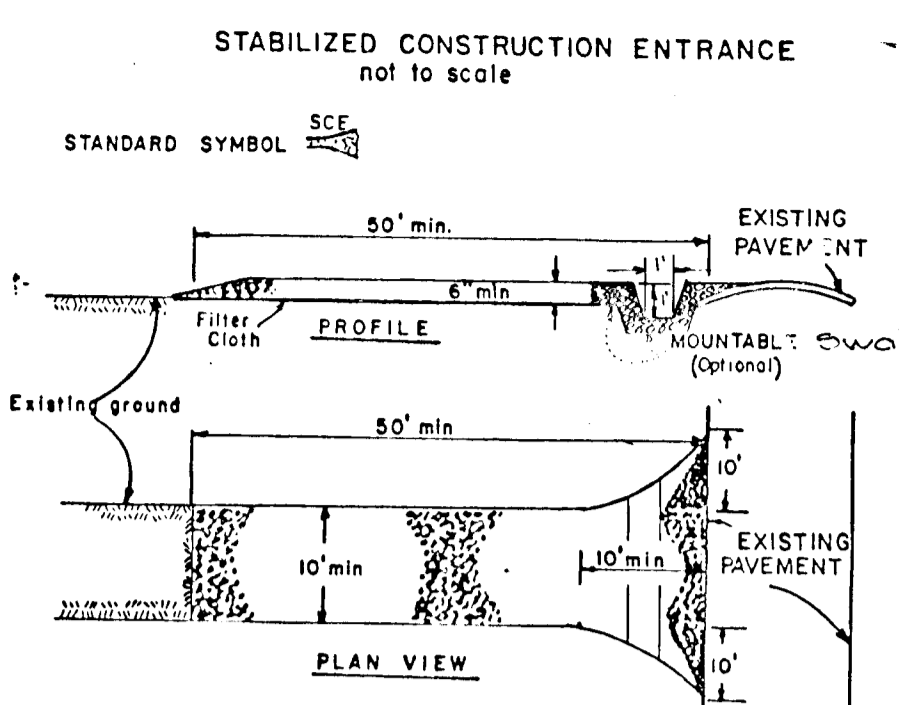
TOTAL AREA OF SITE	53,705 ACRES
AREA DISTURBED	5,750 ACRES
AREA TO BE ROOFED OR PAVED	10,222 ACRES
AREA TO BE VEGETATIVELY STABILIZED	15,000 CU. YDS.
TOTAL CUT	15,000 CU. YDS.
TOTAL FILL	15,000 CU. YDS.
OFFSITE WASTE/BORROW AREA LOCATION	CU. YDS.
- 8) ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- 9) ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.
- 10) ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF FABRIC SHALL BE SUBMITTED AT LEAST SIX (6) INCHES INTO EXISTING GROUND AT ENTRANCE OF OUTLET CHANNEL.
- 11) Stone used in the outlet channel shall be four (4) to eight (8) inches (riprap). To provide a filtering effect, a layer of filter cloth shall be embedded one (1) foot back into the upstream face of the outlet stone or a one (1) foot thick layer of two (2) inch or finer aggregate shall be placed on the upstream face of the outlet.
- 12) Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
- 13) The structure shall be inspected after each rain and repaired as needed.
- 14) Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
- 15) The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.
- 16) Drainage area for this practice is limited to 15 acres or less.



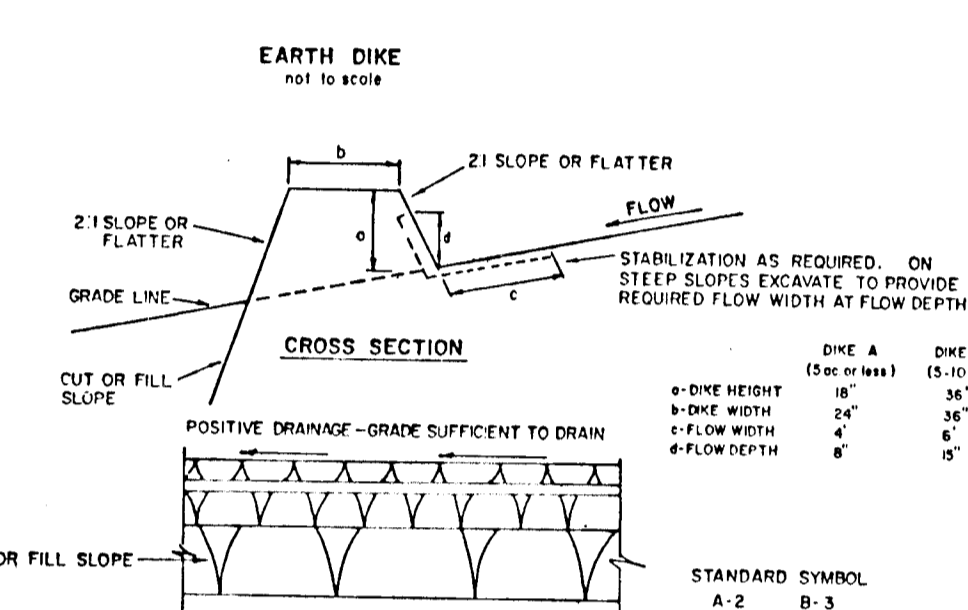
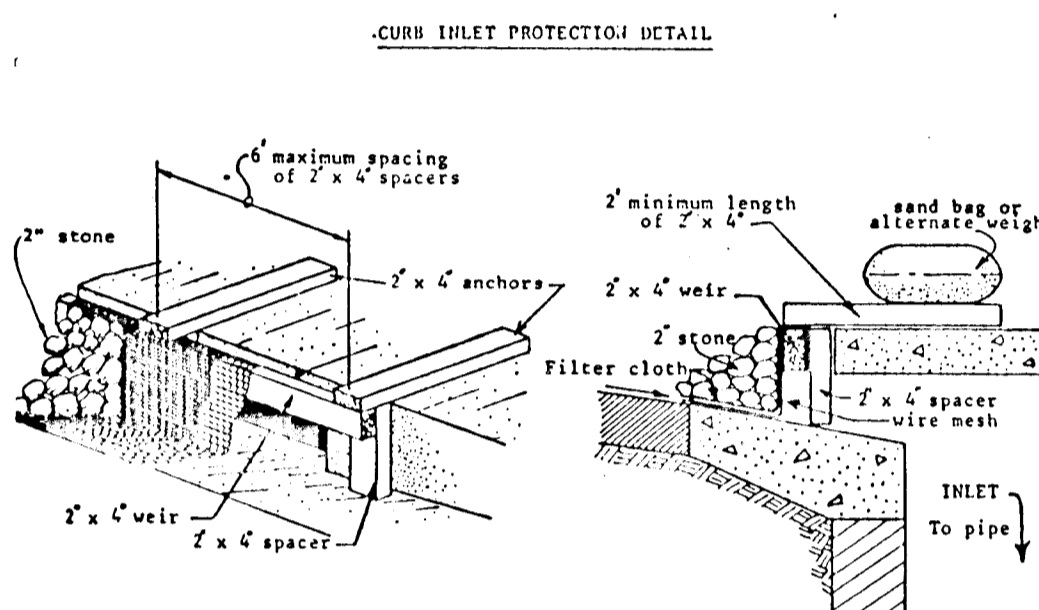
NOTE: CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND UTILITIES PRIOR TO DIGGING. FINAL LOCATIONS OF TREES MAY BE ADJUSTED SLIGHTLY TO ACCOMMODATE FIELD CONDITIONS. PLANTING PROCEDURES SHALL COMPLY WITH "LANDSCAPE SPECIFICATIONS FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS". SUBSTITUTIONS TO THE ABOVE SPECIES MAY BE PERMITTED, PROVIDED THAT THE PLANTING IS IN ACCORDANCE WITH THE STREET TREE AND LANDSCAPE REQUIREMENTS AS SPECIFIED IN SECTION 16.131 OF THE HOWARD COUNTY SUBDIVISION REGULATIONS.



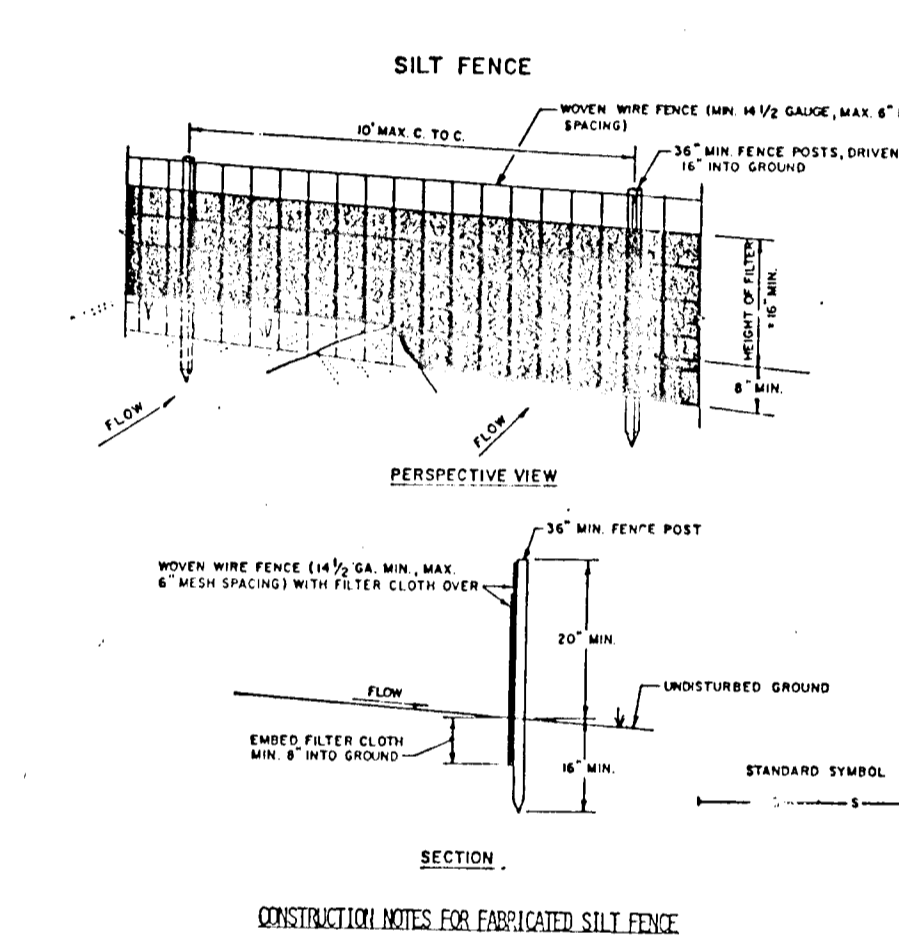
- CONSTRUCTION SPECIFICATIONS**
1. Bales shall be placed at the toe of a slope or on the contour and in a row with ends tightly abutting the adjacent bales.
 2. Each bale shall be embedded in the soil a minimum of (4) inches, and placed so the bethings are horizontal.
 3. Bales shall be securely anchored in place by either two stakes or re-bars driven through the bale. The first stake in each bale shall be driven toward the previously laid bale at an angle to place the bales together. Stakes shall be driven flush with the bale.
 4. Inspection shall be frequent and repair replacement shall be made promptly as needed.
 5. Bales shall be removed when they have served their usefulness so as not to block or impede storm flow or drainage.



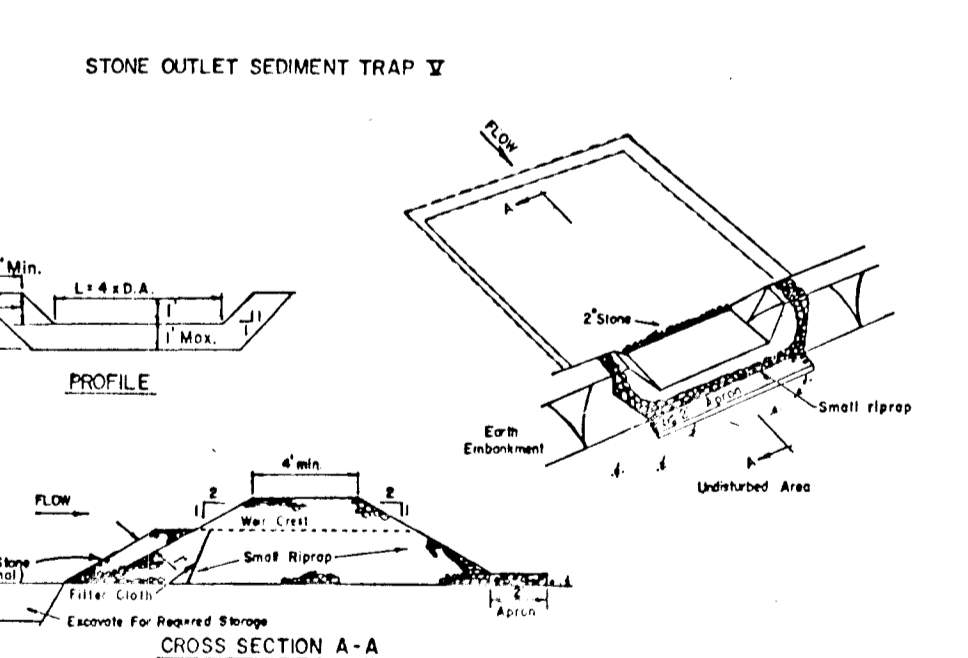
- CONSTRUCTION SPECIFICATIONS**
1. Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
 2. Length - As required, but not less than 30 feet (except on a single residence lot where a 30 foot minimum length would apply).
 3. Thickness - Not less than six (6) inches.
 4. Width - Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
 5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
 6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a portable berm with 3:1 slope will be permitted.
 7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
 8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 9. Periodic inspection and needed maintenance shall be provided after each rain.



- CONSTRUCTION SPECIFICATIONS**
1. ALL DIKES SHALL BE CONSTRUCTED BY EARTH-MOVING EQUIPMENT.
 2. ALL DIKES SHALL HAVE POSITIVE DRAINAGE TO AN OUTLET.
 3. TOP WIDTH MAY BE WIDER AND SIDE SLOPES MAY BE FLATTER IF DESIRED TO FACILITATE CROSSING BY CONSTRUCTION EQUIPMENT.
 4. FIELD LOCATION SHOULD BE ADJUSTED AS NEEDED TO UTILIZE A STABILIZED SAFE OUTLET.
 5. EARTH DIKES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION. RUNOFF SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE SUCH AS A SEDIMENT TRAP OR SEDIMENT BASIN WHERE EITHER THE DIKE CHANNEL OR THE DRAINAGE AREA ABOVE THE DIKE ARE NOT APPROPRIATELY STABILIZED.
 6. STABILIZATION SHALL BE: (A) IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED THE CHART BELOW. (B) FLOW CHANNEL AS PER THE CHART BELOW.
- | TYPE OF INCIDENT | CHANNEL GRADE | DIKE A | DIKE B |
|------------------|---------------|----------------------------------|---|
| 1 | 5-3.0% | SEED AND STRAW MULCH | SEED AND STRAW MULCH |
| 2 | 3.1-5.0% | SEED AND STRAW MULCH | SEED USING LITE, OR EXCELSDOR SOD, 2" STONE |
| 3 | 5.1-8.0% | SEED WITH LITE, OR SOD, 2" STONE | LINED RIP-RAP 4-8" |
| 4 | 8.1-20% | LINED RIP-RAP 4-8" | ENGINEERING DESIGN |
- FLUM CHANNEL STABILIZATION**
- A. Stone to be 2 inch stone, or recycled concrete equivalent, in a layer at least 3 inches in thickness and be pressed into the soil with construction equipment.
 - B. Rip-rap to be 4-8 inches in a layer at least 8 inches thickness and pressed into the soil.
 - C. Approved equivalents can be substituted for any of the above materials.
 7. PERIODIC INSPECTION AND REQUIRED MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.



- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
1. WOMEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOMEN WIRE FENCE WITH TIES SPECIFIED EVERY 24\"/>



- CONSTRUCTION SPECIFICATIONS FOR ST-VI**
1. Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
 2. The fill material for the embankment shall be free of roots or other woody vegetation as well as oversized stones, rocks, organic material or other objectionable material. The embankment shall be compacted by traversing with equipment while it is being constructed. Maximum height of embankment shall be five (5) feet, measured at centerline of embankment.
 3. All fill slopes shall be 2:1 or flatter; cut slopes 1:1 or flatter.
 4. Elevation of the top of any dike directing water into trap must equal or exceed the height of embankment.
 5. Storage area provided shall be figured by computing the volume available behind the outlet channel up to an elevation of one (1) foot below the level of water crest.
 6. Filter cloth shall be placed over the bottom and sides of the outlet channel prior to placement of stone. Sections of fabric must overlap at least one (1) foot with section nearest the entrance placed on top. Fabric shall be embedded at least six (6) inches into existing ground at entrance of outlet channel.
 7. Stone used in the outlet channel shall be four (4) to eight (8) inches (riprap). To provide a filtering effect, a layer of filter cloth shall be embedded one (1) foot back into the upstream face of the outlet stone or a one (1) foot thick layer of two (2) inch or finer aggregate shall be placed on the upstream face of the outlet.
 8. Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
 9. The structure shall be inspected after each rain and repaired as needed.
 10. Construction operations shall be carried out in such a manner that erosion and water pollution is minimized.
 11. The structure shall be removed and the area stabilized when the drainage area has been properly stabilized.
 12. Drainage area for this practice is limited to 15 acres or less.

CONSTRUCTION SEQUENCE:

1. OBTAIN GRADING PERMIT.
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AND STORM WATER MANAGEMENT POND ON LOT NO. 18 AS SHOWN ON PLAN. CONSTRUCT STONE OUTLET SEDIMENT TRAP AND RIP-RAP OUTLET SEDIMENT TRAP ON LOTS 1 AND 2, AND 29 AND 30 AS SHOWN ON PLAN. STABILIZE THE POND AND TRAPS WITH TEMPORARY SEEDING.
3. GRADE ROADS TO SUBGRADE.
4. CONSTRUCT STORM DRAIN SYSTEM.
5. THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON, AFTER EACH RAINFALL AND ON A DAILY BASIS. SEDIMENT SHALL BE REMOVED FROM THE POND AND TRAPS WHEN THE CLEANOUT ELEVATION HAS BEEN REACHED.
6. THE STORM WATER MANAGEMENT POND AND SEDIMENT TRAPS SHALL BE DEWATERED BY PUMPING.
7. REMOVE SEDIMENT FROM ROADWAYS AND DRESS STONE CONSTRUCTION ENTRANCE AS REQUIRED.
8. FLUSH STORM DRAIN SYSTEM TO REMOVE ANY TRAPPED SEDIMENT.
9. REMOVE STONE CONSTRUCTION ENTRANCE. CLEAN BASE COURSE. APPLY TACK COAT TO BASE COURSE AND LAY SURFACE COURSE.
10. REMOVE ALL ACCUMULATED SEDIMENT FROM THE STORM WATER MANAGEMENT POND.
11. ALL DISTURBED AREAS DUE TO REMOVAL OF SEDIMENT CONTROL MEASURES SHALL BE GRADED AND STABILIZED BY PERMANENT SEEDING. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, WALES, DITCH PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1; B) 14 DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
12. NOTIFY HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS FOR FINAL INSPECTION AT DURATION OF PROJECT.

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: Charles W. Crovo, Sr. DATE: 3/20/89

DEVELOPER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR ITS AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature: Frank J. D'Amico DATE: 3-20-89

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND METS TECHNICAL REQUIREMENTS.

Signature: James M. McLaughlin DATE: 2/13/89

THIS DEVELOPMENT IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: Stephen L. Jahn DATE: 4/3/89

APPROVED: OFFICE OF PLANNING AND ZONING

Signature: Frank J. D'Amico DATE: 2/1/89

APPROVED: DEPARTMENT OF PUBLIC WORKS

Signature: William E. Ryan DATE: 4-7-89

APPROVED: DEPARTMENT OF PUBLIC WORKS

Signature: Genevieve W. McLaughlin DATE: 11/7/89

APPROVED: DEPARTMENT OF PUBLIC WORKS

Signature: James M. McLaughlin DATE: 9/9/89

CHIEF, LAND DEVELOPMENT DIVISION

CHIEF, BUREAU OF HIGHWAYS

CHIEF, DIVISION OF COMMUNITY PLANNING AND LAND DEVELOPMENT

CHIEF, BUREAU OF ENGINEERING

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1439
 FISHER, COLLINS AND CARTER, INC.
 CONSULTING ENGINEERS AND LAND SURVEYORS
 8358 COURT AVENUE
 ELLICOTT CITY, MARYLAND 21043
 TELEPHONE: (301) 461-2855

OWNER AND DEVELOPER
 PEDICORD JOINT VENTURE
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 8307 MAIN ST.
 ELLICOTT CITY, MD 21043

Signature: Charles W. Crovo, Sr. DATE: 3/20/89