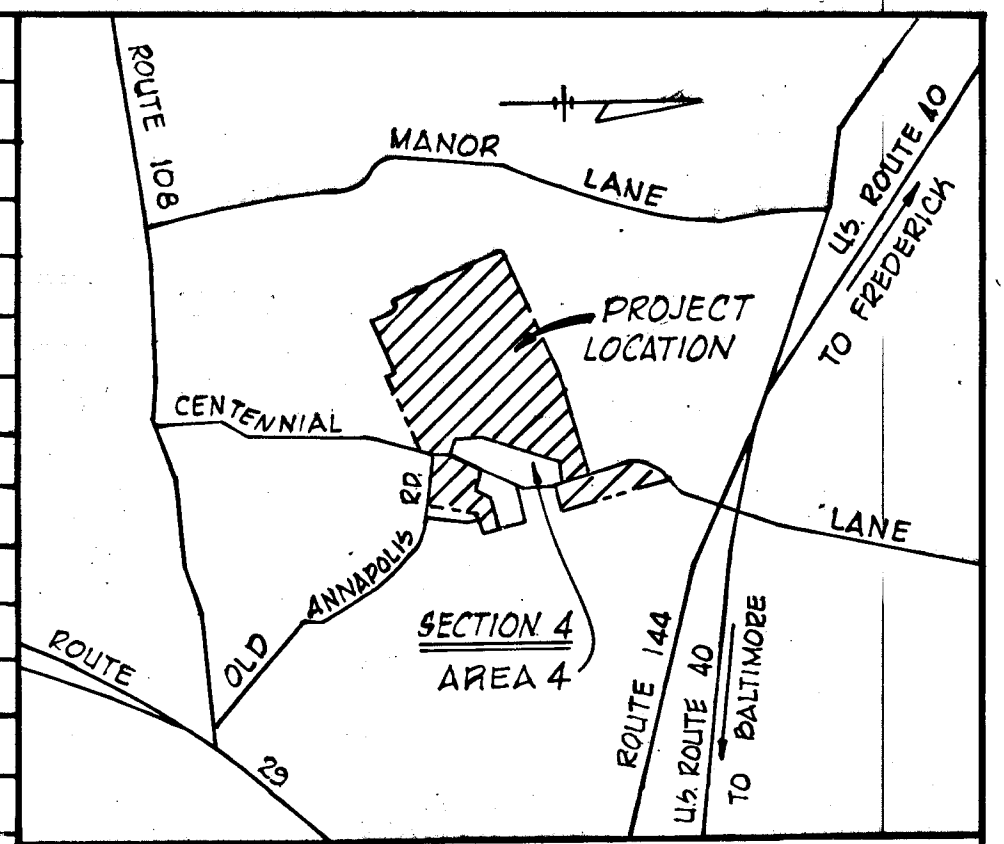
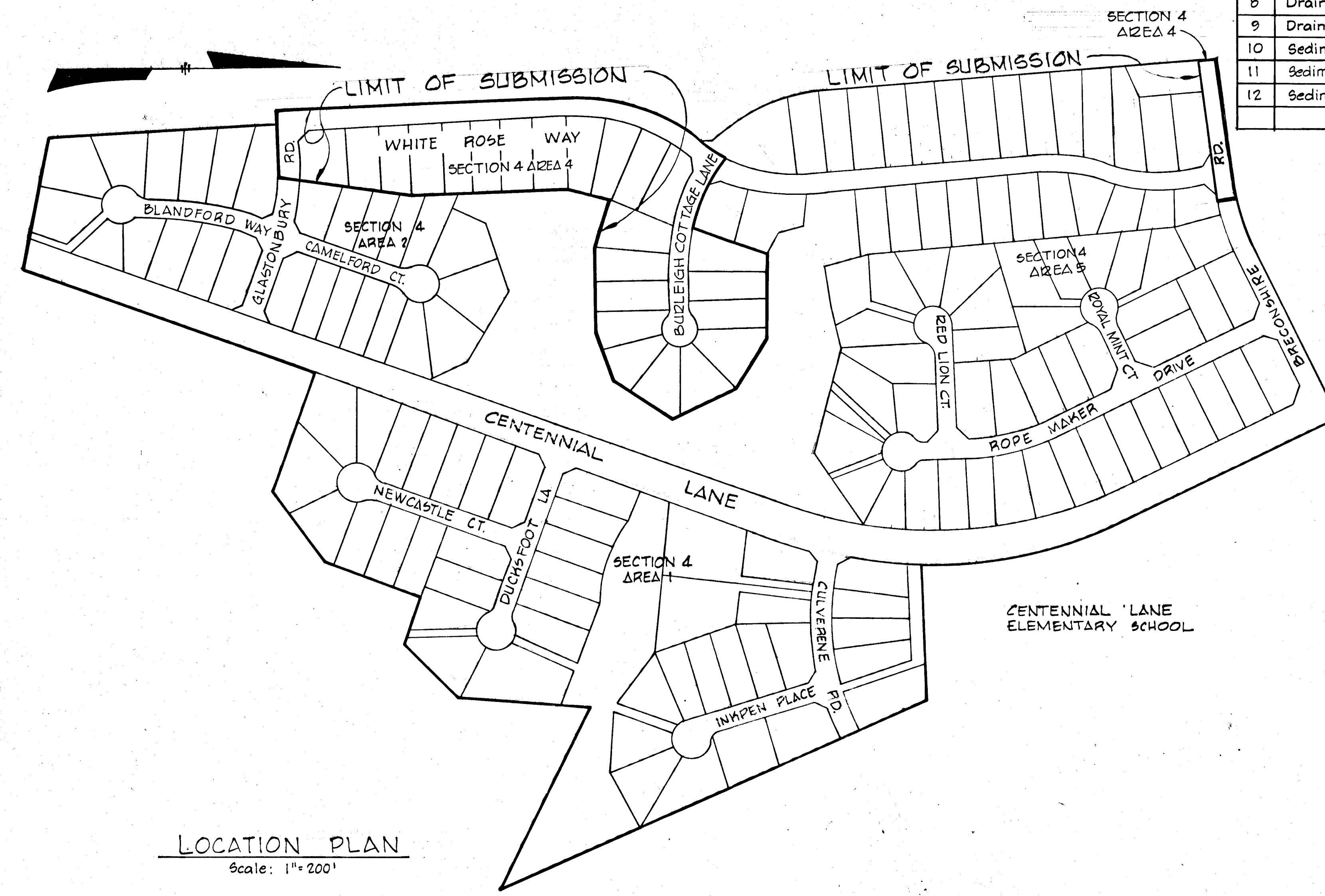


SHEET INDEX	
No.	DESCRIPTION
1	Cover
2	White Rose Way - Plan and Profile
3	Burleigh Cottage La, Breconshire Rd. - Plan & Profile
4	Burleigh Cottage Lane - Plan and Profile
5	Storm Drain - Profiles
6	Storm Drain - Profiles & Details
7	Road & Drain Details
8	Drainage Area Map
9	Drainage Area Map
10	Sediment Control Plan
11	Sediment Control Plan
12	Sediment Control Details



VICINITY MAP  
Scale: 1" = 1/2 Mile



LOCATION PLAN  
Scale: 1" = 200'

GENERAL NOTES

- All work shall be performed in accordance with the Howard County Road Construction Code and Standard Specifications.
- All utility companies shall be notified 24 hours in advance of construction.
- Streets are designed for traffic speed of 25 m.p.h. in accordance with AASHTO Standards.\*
- All inlets shall be Howard County standards unless otherwise noted.
- All street curb returns shall have a 35' radius unless otherwise noted.
- Storm drain trenches within road rights-of-way shall be back-filled and compacted in accordance with Howard County Road Construction Code and Standard Specifications.
- Approximate location of existing utilities are shown. The Contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage due to contractor's operations shall be repaired immediately at the contractor's expense.
- The contractor shall test pit existing utilities where directed by the engineer a minimum of two weeks in advance of construction operations.
- All reinforced concrete for storm drain structures shall have a minimum 28 days strength of 3500 p.s.i.
- Traffic control devices and installation shall be in accordance with Manual on Uniform Traffic Control Devices, 1971 Revised Edition.
- Poly Filter, X (filter cloth blanket) or equal shall be placed under all stone rip-rap.
- Rip-rap at outfalls shall be unpaved unless otherwise noted.
- All horizontal and vertical controls are based on Maryland State Datum.
- Seed and mulch all disturbed areas.
- \* Glastonbury Rd. & Breconshire Rd. have a 30 mph. design speed.
- Storm Water Management facility for Section 4 Area 4 of Burleigh Manor, is being provided at Section 4 Area 3 of Burleigh Manor.

WHITMAN, REQUARDT AND ASSOCIATES  
ENGINEERS  
BALTIMORE, MARYLAND  
*Kenneth A. Mc Cord*  
KENNETH A. MC CORD  
Registered Engineer  
No. 1974

DEPARTMENT OF PUBLIC WORKS  
*W. J. West* 12-12-79  
CHIEF, BUREAU OF ENGINEERING DATE  
OFFICE OF PLANNING AND ZONING  
*William Marshall* 11-8-79  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

OWNER AND DEVELOPER  
COSTAIN WASHINGTON INC.  
10710 LEE HIGHWAY SUITE 201  
FAIRFAX, VIRGINIA 22030

BURLEIGH MANOR  
SECTION 4 AREA 4  
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

Scale: As shown Date: Aug. 20, 1979

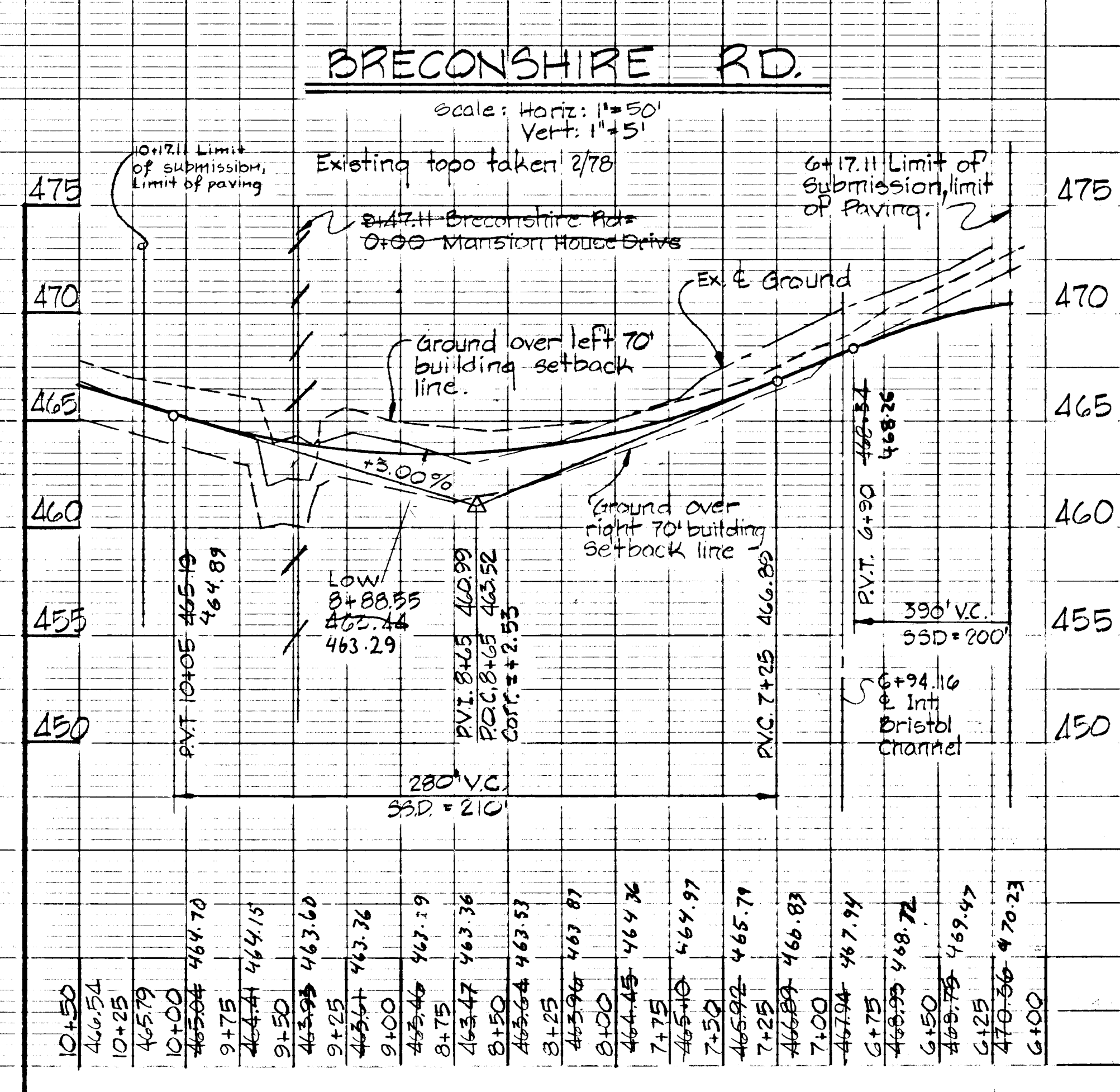
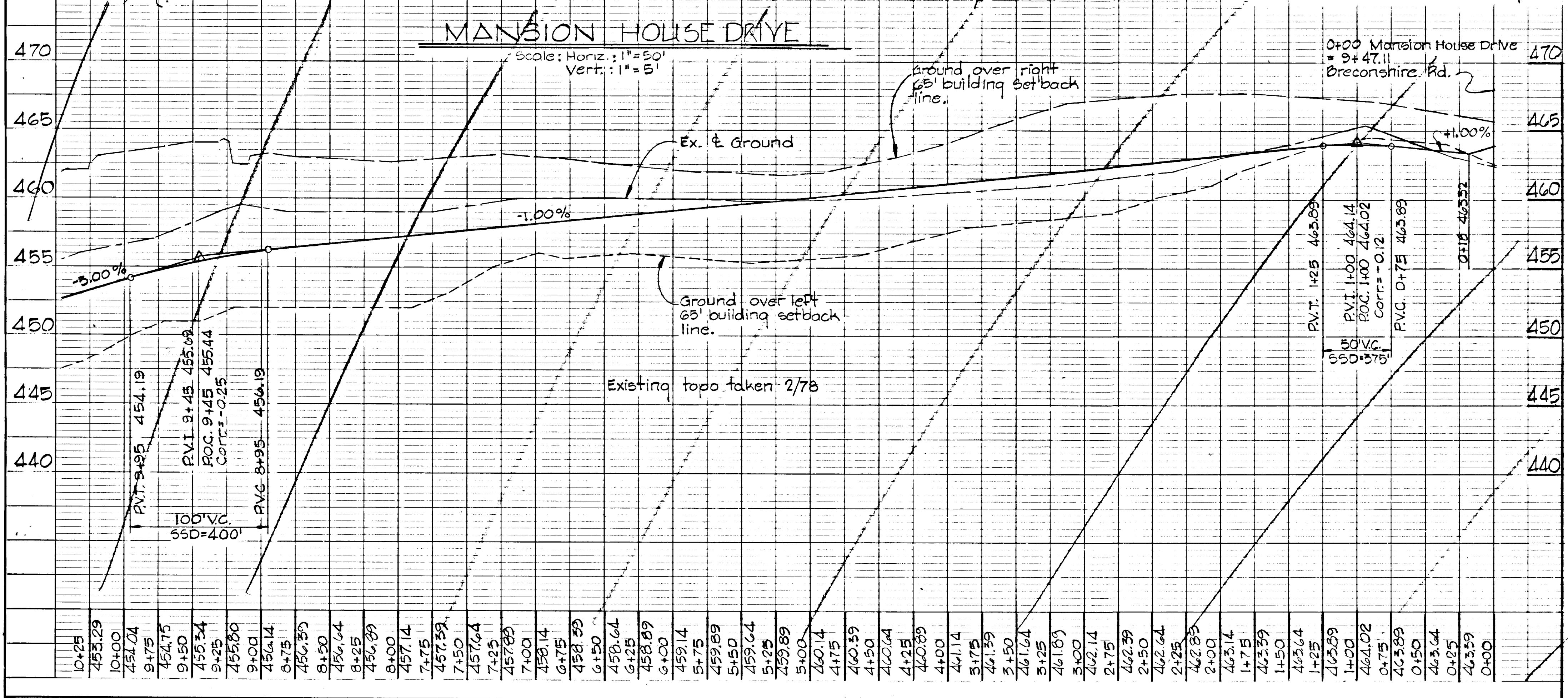
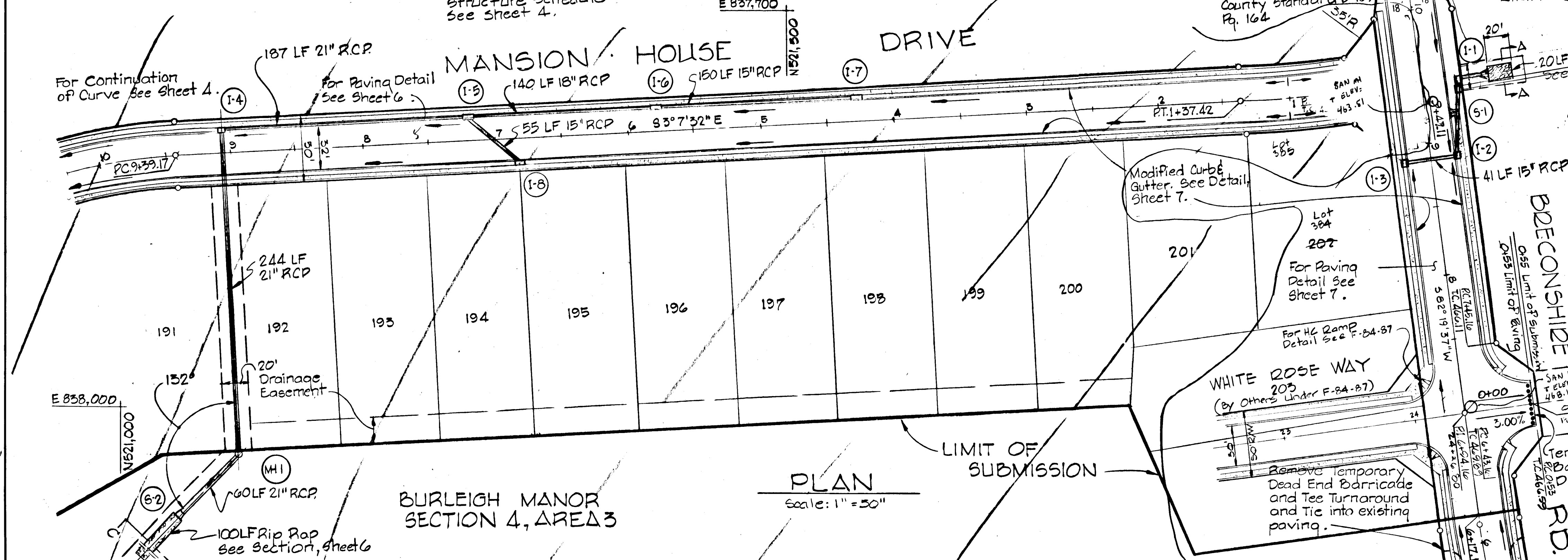






**CURVE DATA**  
 P.C. 0+50.05 TO P.T. 1+37.42  
**MANSION DRIVE**  
 CRD = 79.35' BR = 5° 23' 57" E  
 ARC = 79.37' DEL = 4° 52' 51"  
 RAD = 1000.00' TAN = 39.71'

Note: For Storm Drain Structure Schedule See Sheet 4.



DATE: \_\_\_\_\_ BY: \_\_\_\_\_

REVISIONS:

NO.	DATE	DESCRIPTION

PLAN  
 NOTE BOOK ALIGNMENT CHECKED. \_\_\_\_\_  
 NO. \_\_\_\_\_

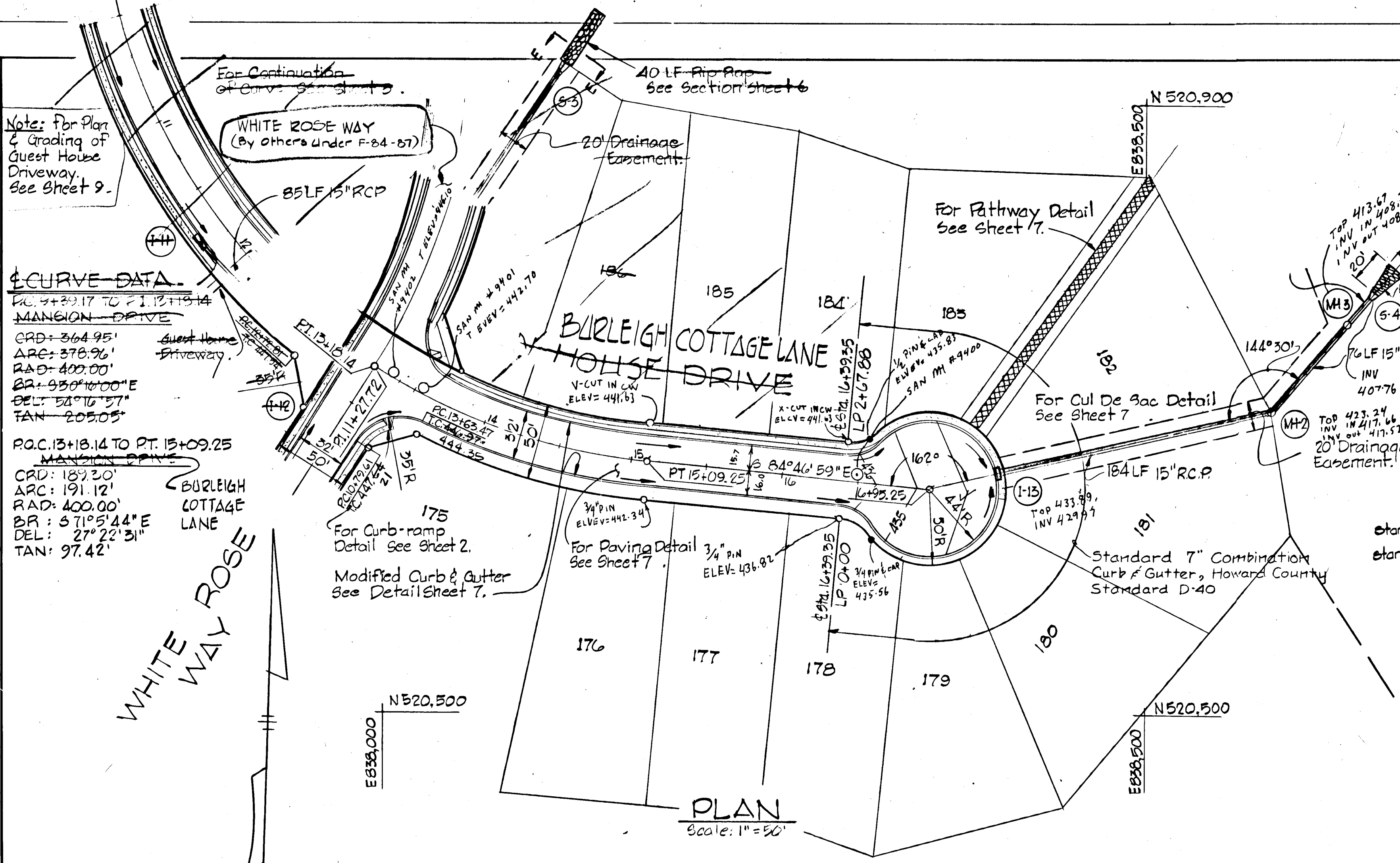
DATE: \_\_\_\_\_ BY: \_\_\_\_\_

REVISIONS:

NO.	DATE	DESCRIPTION

PROFILE  
 NOTE BOOK GRADE CHECKED. \_\_\_\_\_  
 NO. \_\_\_\_\_





No.	Type	Location	Inv. In.	In. Out	Top El.	Remarks
S-1	Precast	See Plan	458.0	-	-	Standard 15" End Sec.
I-1	Type D	Sta. 9+42.88 Breconshire Rd. 27.0' Rt.	458.40	458.20	453.04	Ho. Co. Dwg. 64-C, Pt. 1190
I-2	A-5	Sta. 8+88.55 Breconshire Rd. 20.6' Rt.	459.17	458.95	463.42	See Sheet 7
I-3	A-5	Sta. 8+88.55 Breconshire Rd. 20.6' Lt.	-	459.58	463.42	See Sheet 7
S-2	Precast	See Plan	453.00	-	-	Standard 21" End Sec.
M-1	Standard	See Plan	457.10	456.60	445.70	Ho. Co. Dwg. D105 Pg. 150
I-4	A-5	Sta. 9+04.27 Mansion Dr. 18.60' Rt.	451.56	450.81	456.12	See Sheet 7
I-5	A-5	Sta. 7+17.42 Mansion Dr. 18.60' Rt.	453.08	453.45	458.01	See Sheet 7
I-6	A-5	Sta. 5+77.42 Mansion Dr. 18.60' Rt.	455.33	455.08	459.41	See Sheet 7
I-7	A-5	Sta. 4+27.42 Mansion Dr. 18.60' Rt.	-	456.83	460.91	See Sheet 7
I-8	A-5	Sta. 6+77.27 Mansion Dr. 18.60' Lt.	-	454.23	458.41	See Sheet 7
S-3	Precast	See Plan	450.57	-	-	Standard 21" End Sec.
I-9	A-5	Sta. 13+11.66 Mansion Dr. 18.60' Lt.	442.00	441.75	447.64	See Sheet 7
I-10	A-10	Sta. 12+01.47 Mansion Dr. 18.60' Rt.	443.37	443.12	447.67	See Sheet 7
I-11	A-10	Sta. 11+80.24 Mansion Dr. 18.60' Rt.	-	444.90	448.84	See Sheet 7
I-12	A-5	Sta. 10+75.55 White Rose Way 18.60' Lt.	-	443.48	447.95	See Sheet 7
S-4	Precast	See Plan	407.80	-	-	Standard 15" End Sec.
M-3	Type B, Shallow	See Plan	410.38	408.38	413.60	See Detail Sheet 6
M-2	Type B, Shallow	See Plan	419.92	417.98	423.60	See Detail Sheet 6
I-13	A-5	162° Clockwise from Culvert 4592'	-	450.97	453.97	See Sheet 7
M-4	Standard	See Plan	453.00	451.16	456.70	Ho. Co. Dwg. D105, Pg. 150
S-5	Precast	6+23 White Rose Way 227.5' Rt.	450.80	-	-	Standard 21" End Sec.
I-14	A-5	6+23 White Rose Way 18.60' Rt.	449.15	447.63	454.80	See Sheet 7
I-15	A-5	6+23 White Rose Way 18.60' Lt.	450.03	449.50	454.80	See Sheet 7
I-16	A-5	4+61.30 White Rose Way 18.60' Lt.	452.59	452.34	456.40	See Sheet 7
I-17	A-5	2+11.30 White Rose Way 18.60' Lt.	457.09	456.89	460.87	See Sheet 7
I-18	Class C Type D	6+10.17 Glastonbury Rd. 23.60' Rt.	-	462.17	466.07	Ho. Co. Dwg. 64-C, Pt. 1190
I-19	Class C Type D	5+61.28 White Rose Way 60.00' Lt.	-	452.25	455.85	Ho. Co. Dwg. 64-C, Pt. 1190
M-5	Type B, Shallow	0+55 White Rose Way 18.60' Lt.	458.65	458.65	462.53	See Detail Sheet 6

Ho. Co. Detail 504.11

DEPARTMENT OF PUBLIC WORKS

*W. J. Swat* 12.12.79  
 CHIEF, BUREAU OF ENGINEERING DATE

*Arthur W. Munchman* 11-8-77  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Revised Slope in Profile 4-26-84  
 Top Elev. of I-14, I-15 & I-16 in Table 12-15-85

No. Revisions Date

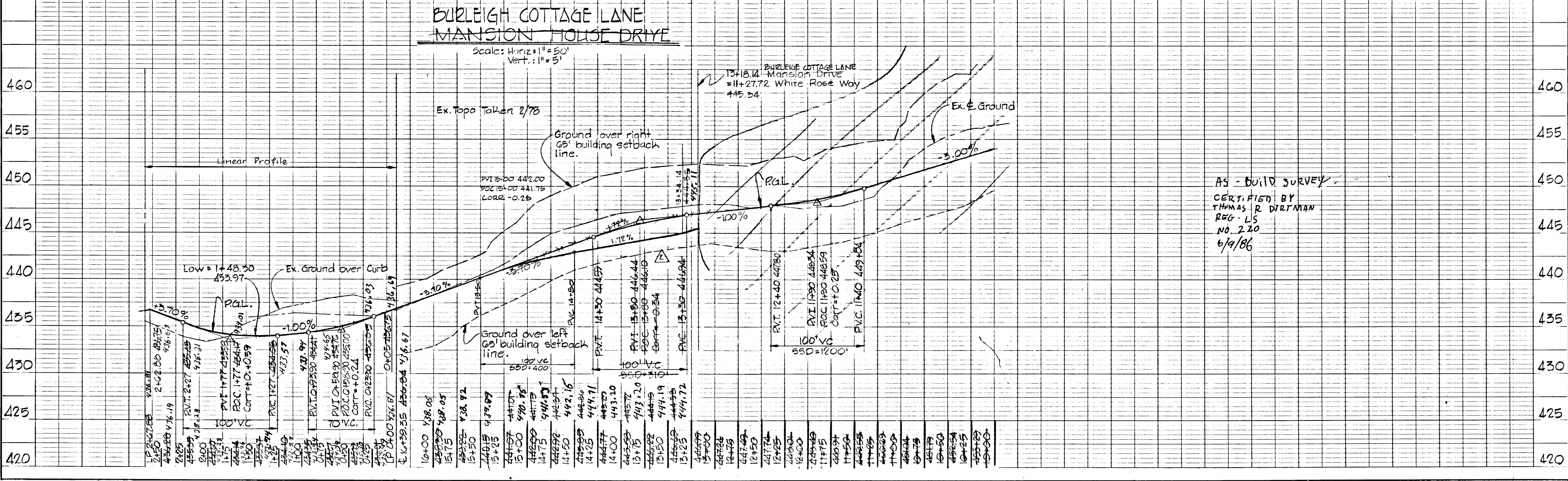
**BURLEIGH MANOR SECTION 4 AREA 4**  
 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 MANSION DR - PLAN & PROFILE

SCALE: AS SHOWN DATE: Aug. 20, 1979

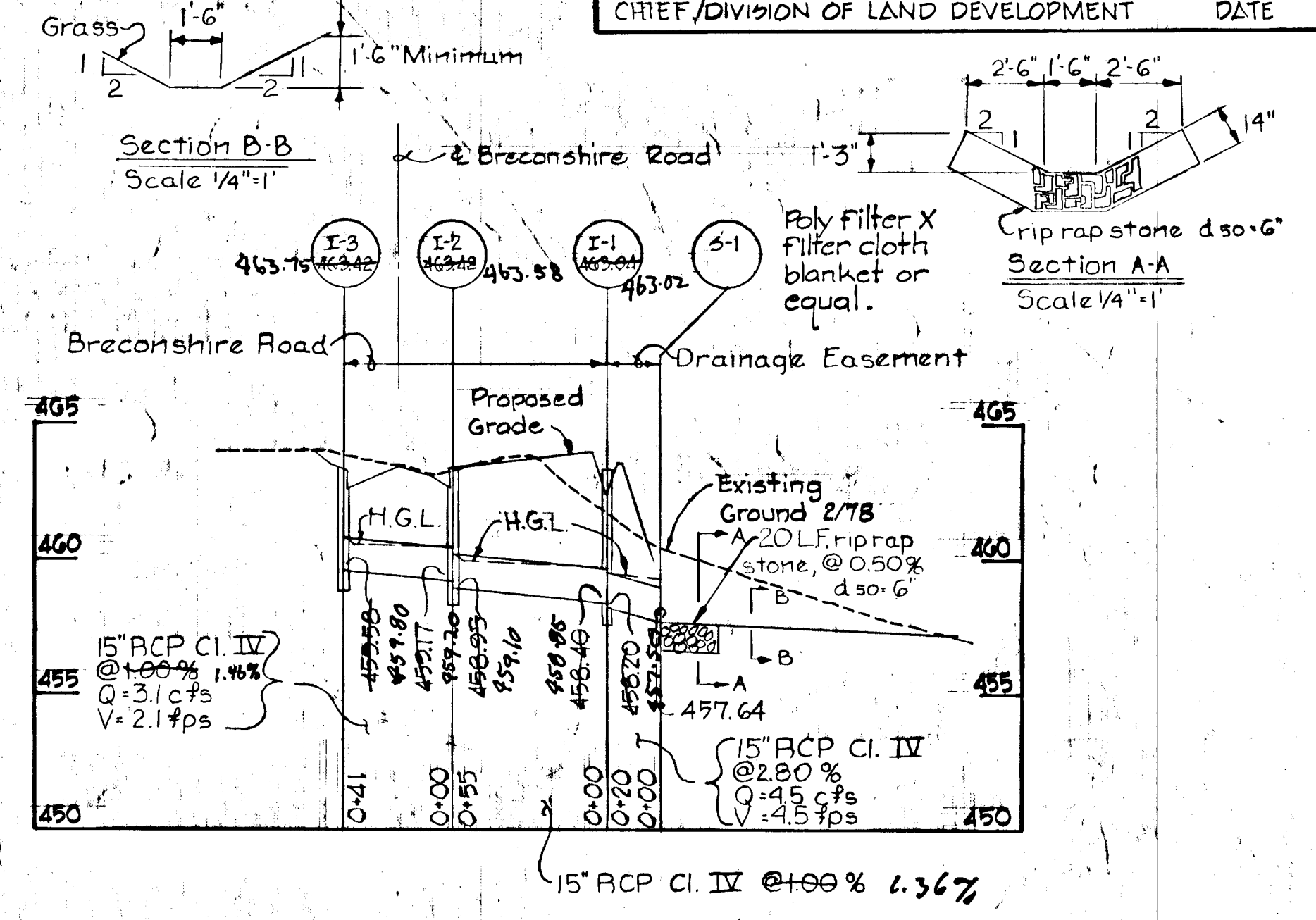
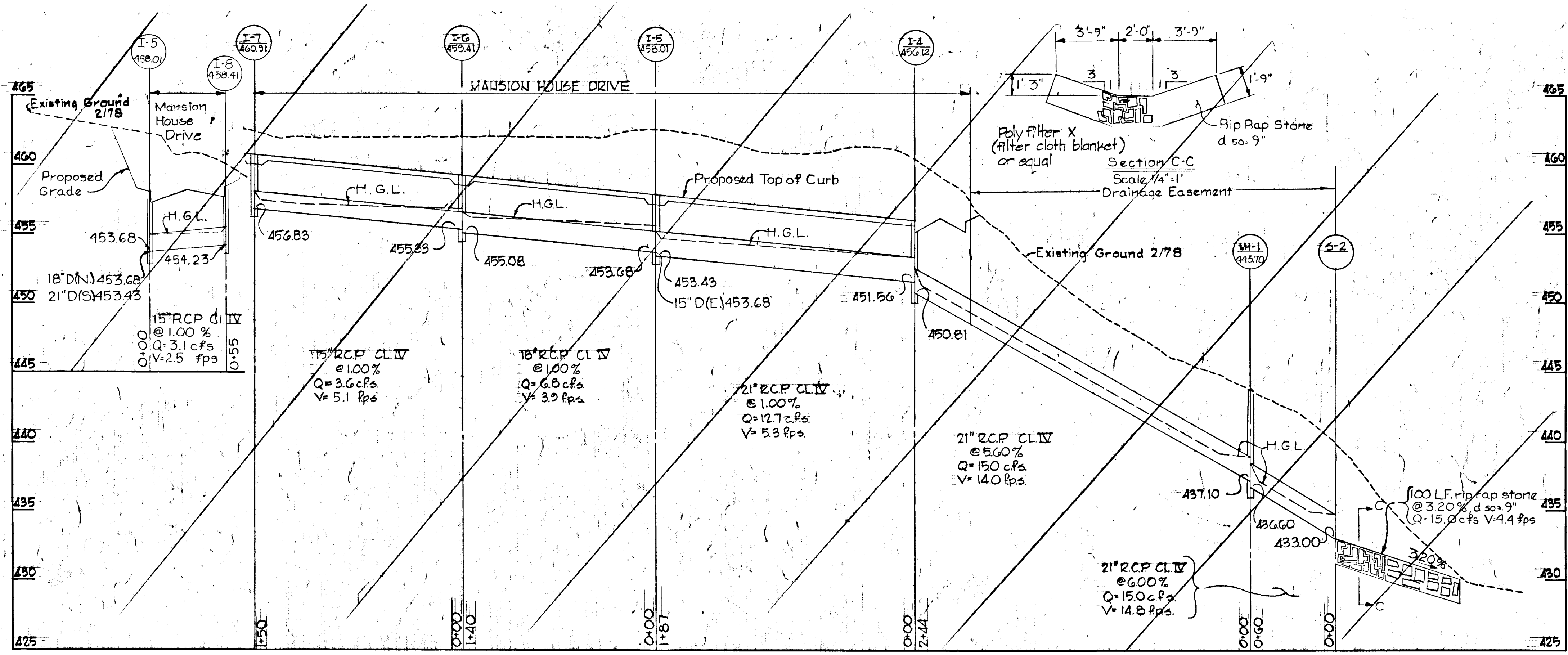
WHITMAN, REQUARDT & ASSOCIATES  
 ENGINEERS  
 BALTIMORE, MARYLAND 21202

OWNER AND DEVELOPER  
 COSTAN WASHINGTON INC.  
 10710 LEE HIGHWAY SUITE 201  
 FAIRFAX, VIRGINIA 22030

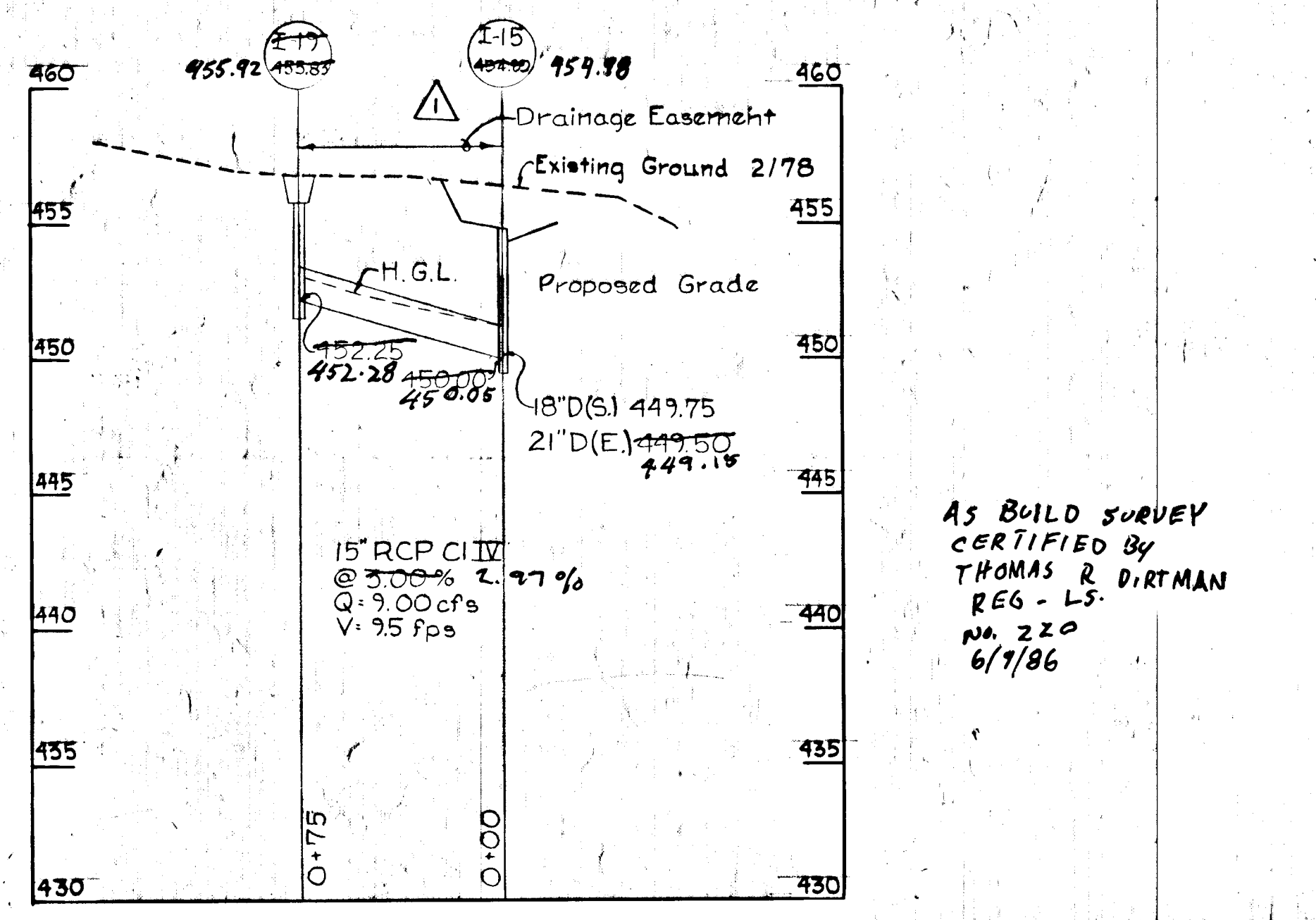
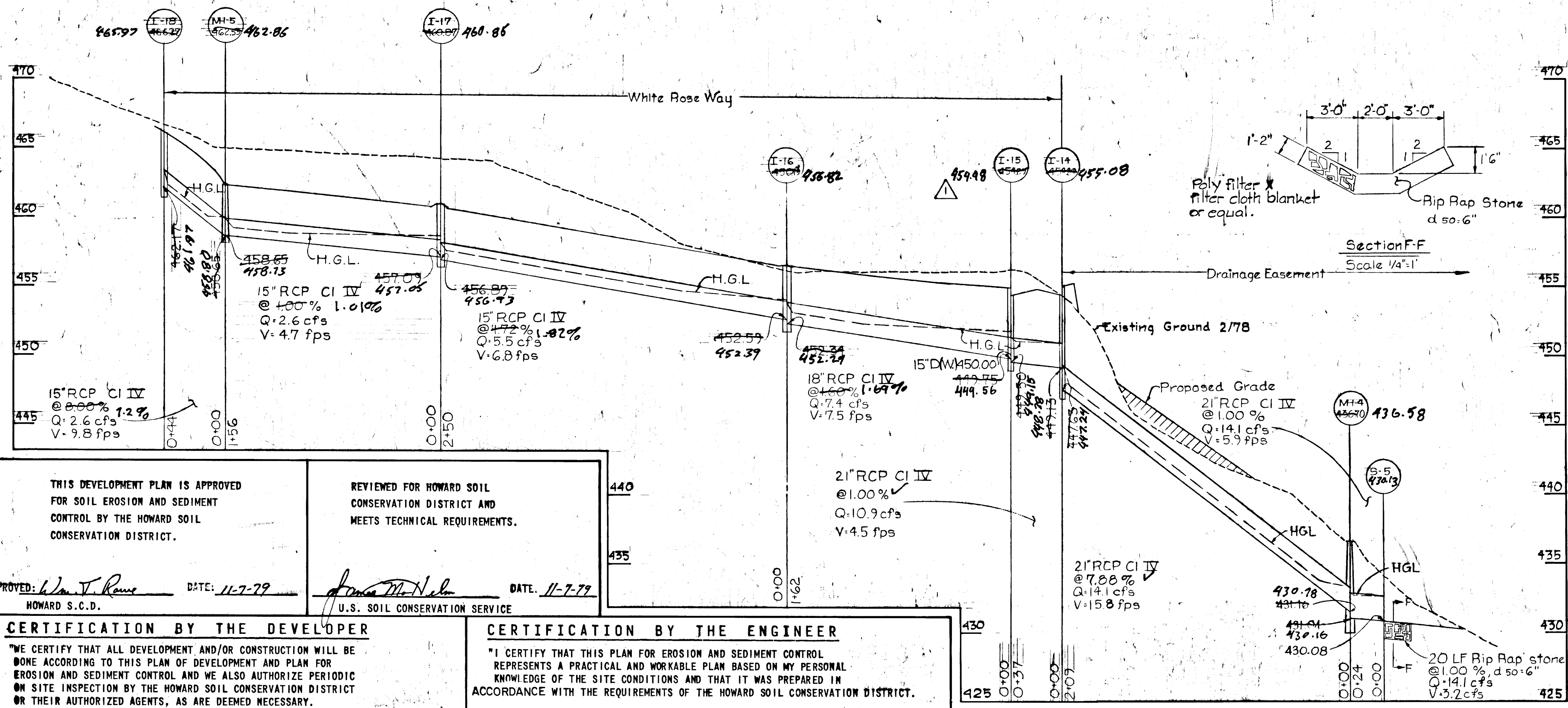
*Kenneth A. Mc Cord*  
 KENNETH A. MC CORD  
 Registered Engineer  
 No. 1974







Note: All inlet/inverts shall be 1/2 developed.



AS BUILT SURVEY  
 CERTIFIED BY  
 THOMAS R. DIRTMAN  
 REG - L5  
 No. 220  
 6/9/86

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *W. J. Rowe* DATE: 11-7-79  
 HOWARD S.C.D.

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

*James M. Nale* DATE: 11-7-79  
 U.S. SOIL CONSERVATION SERVICE

CERTIFICATION BY THE DEVELOPER

"WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND WE ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

*John DeGroot* DATE: 8-20-79  
 BRANCH MANAGER

*Michael E. McGuire* DATE: 8-20-79  
 MANAGER, LAND DEVELOPMENT

CERTIFICATION BY THE ENGINEER

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*Kenneth A. McCord* DATE: 8-20-79  
 KENNETH A. MCCORD, P.E.

PROFILES  
 Scales: Horiz.: 1"=50'  
 Vert.: 1"=5'

AS BUILT  
 4-27-88

OWNER AND DEVELOPER  
 COSTAIN WASHINGTON INC.  
 10710 LEE HIGHWAY SUITE 201  
 FAIRFAX, VIRGINIA 22030

No.	Top Elev. on I-14, I-15 fig White Rose Way	Revisions	Date

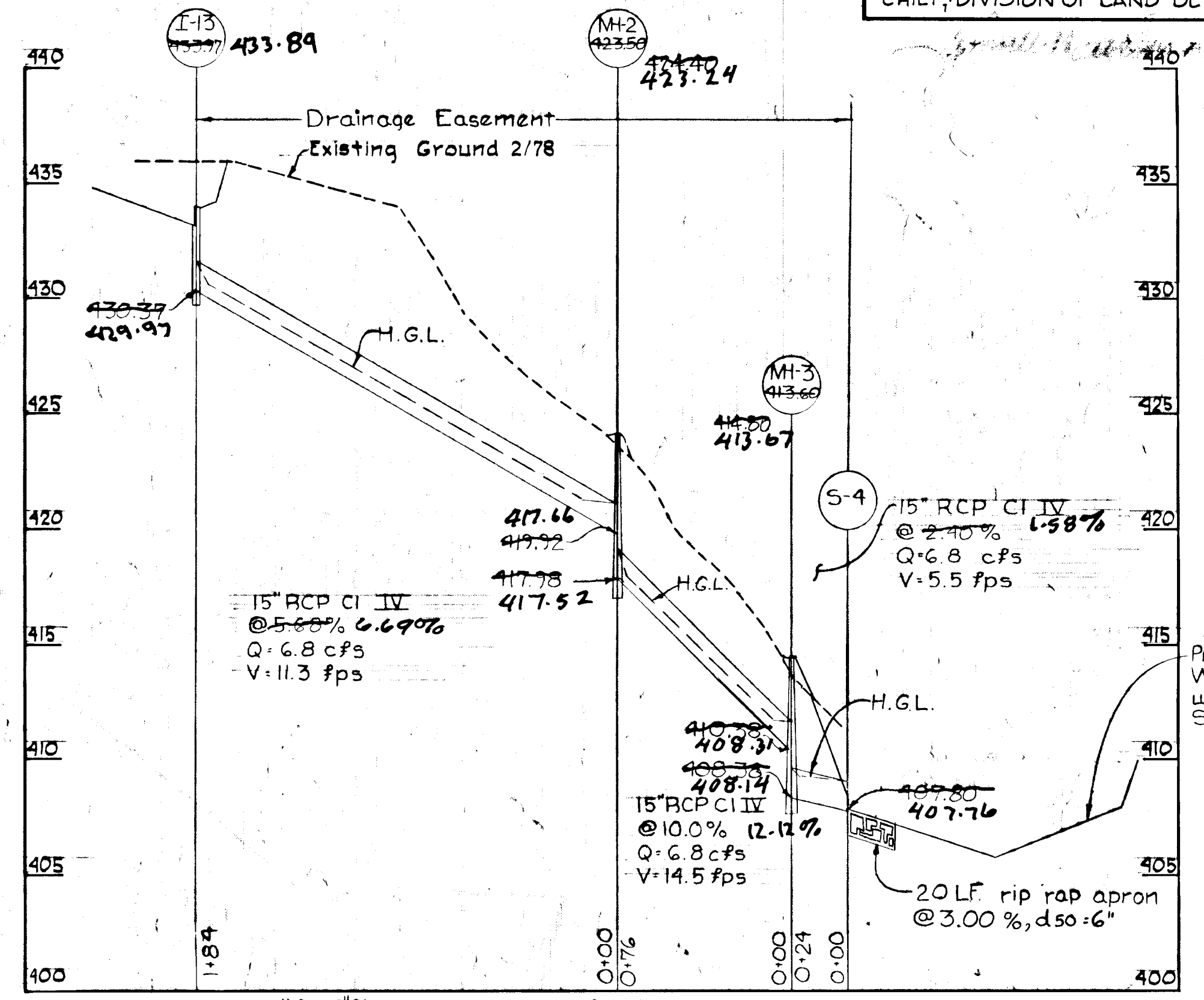
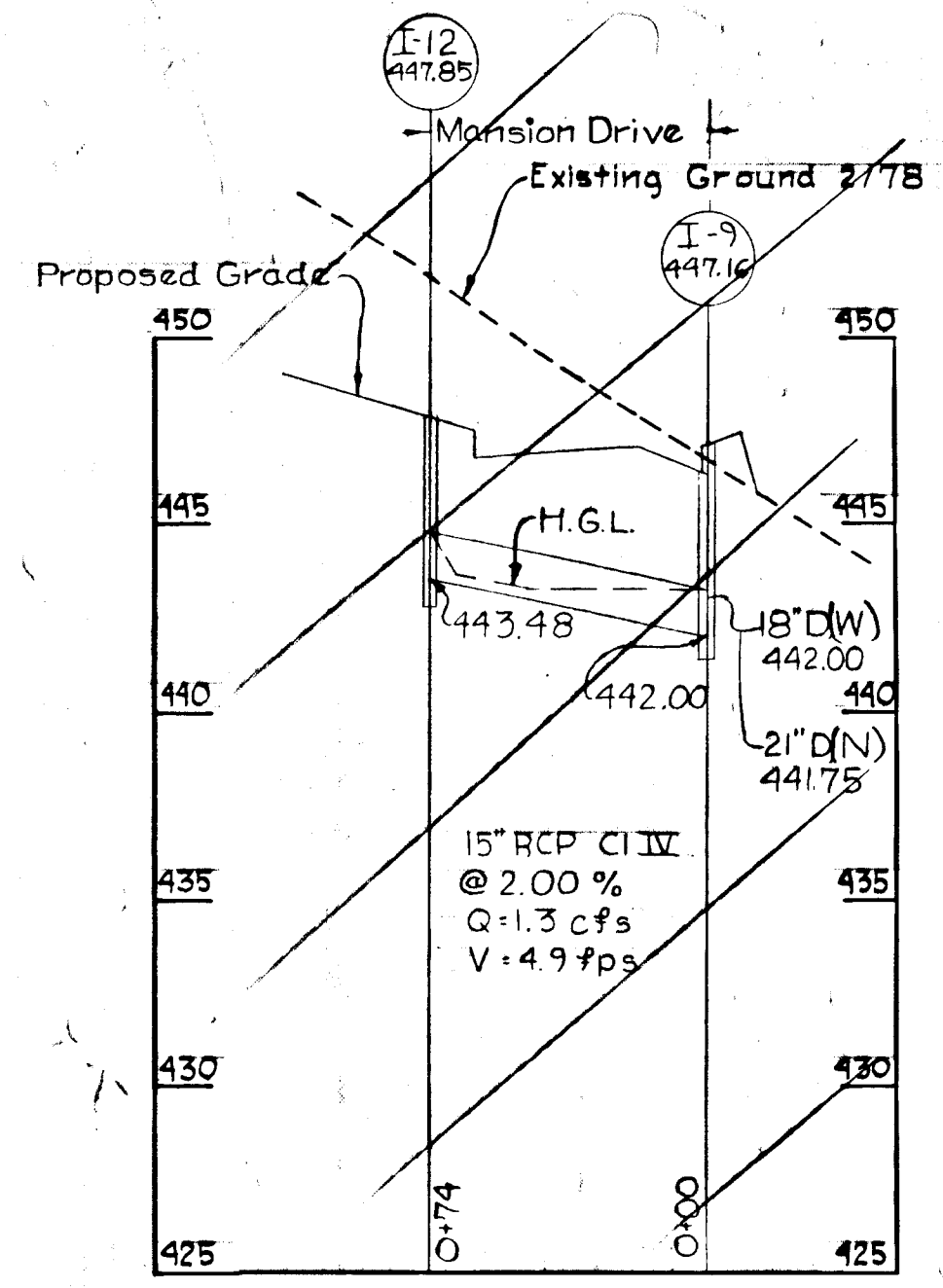
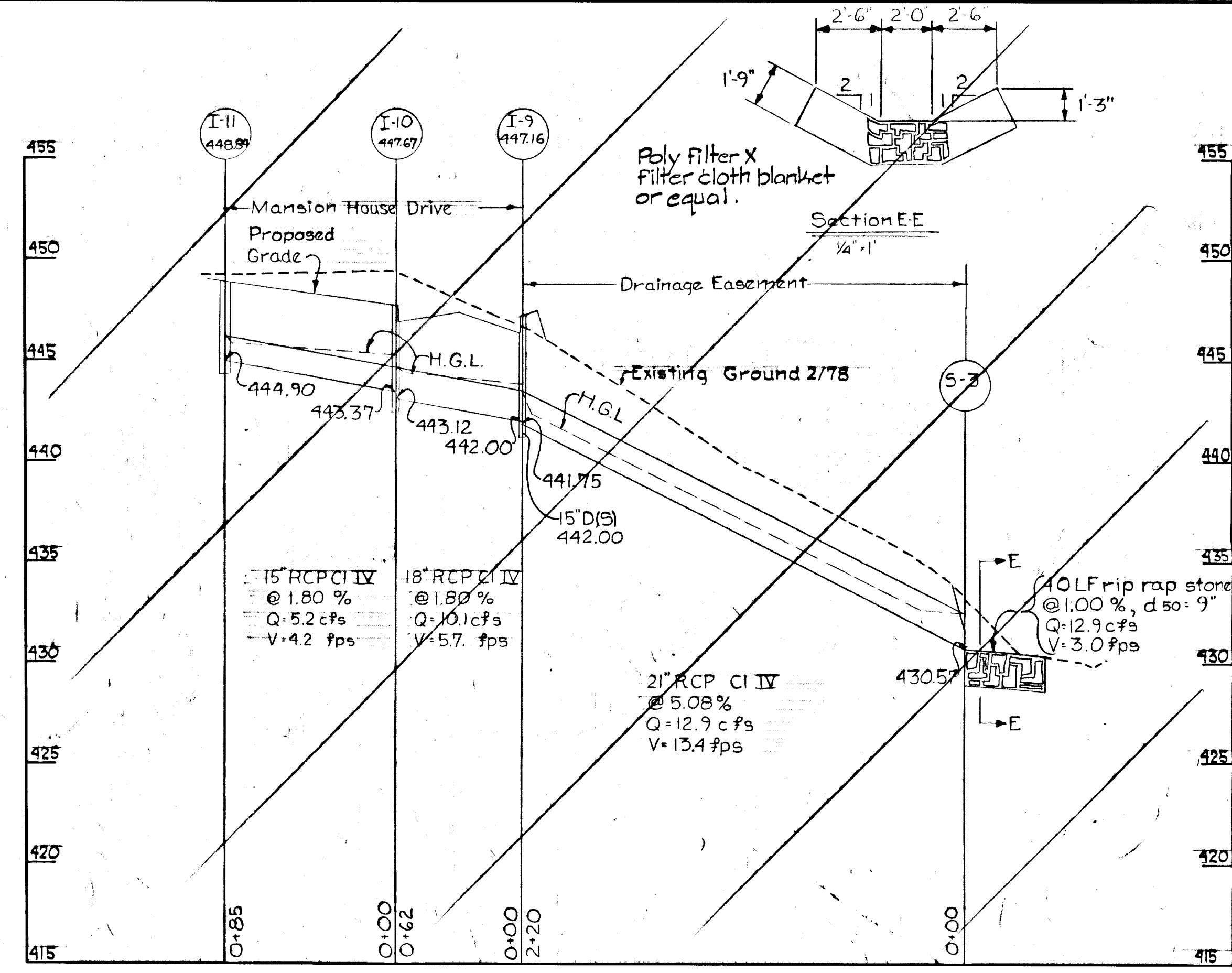
BURLEIGH MANOR  
 SECTION 4 AREA 4  
 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 STORM DRAIN PROFILES

SCALE: AS SHOWN DATE: Aug. 20, 1979

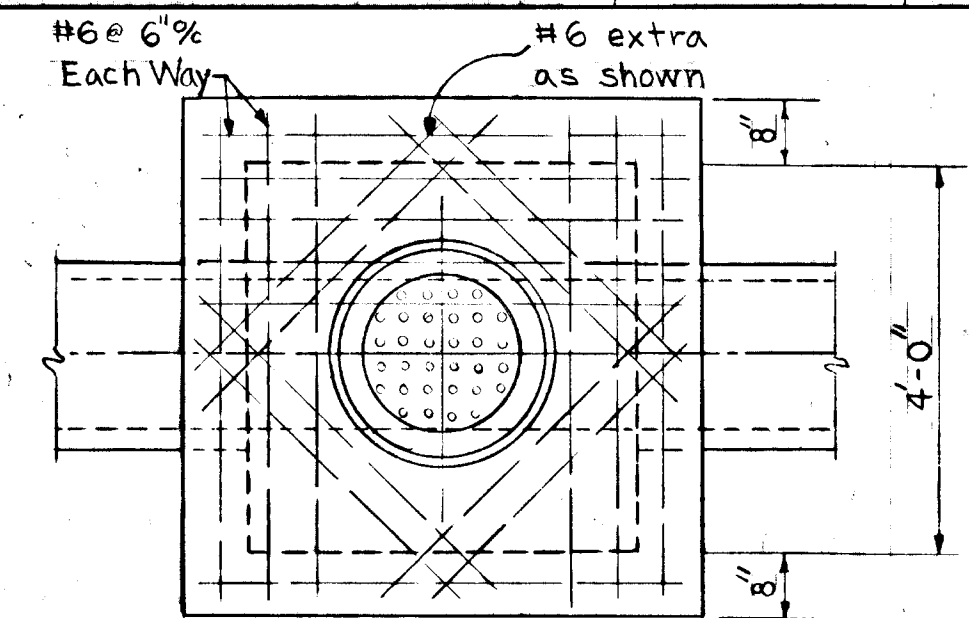
WHITMAN, REQUARDT & ASSOCIATES  
 ENGINEERS  
 BALTIMORE, MARYLAND 21202

*Kenneth A. McCord*  
 KENNETH A. MCCORD  
 Registered Engineer  
 No. 1974

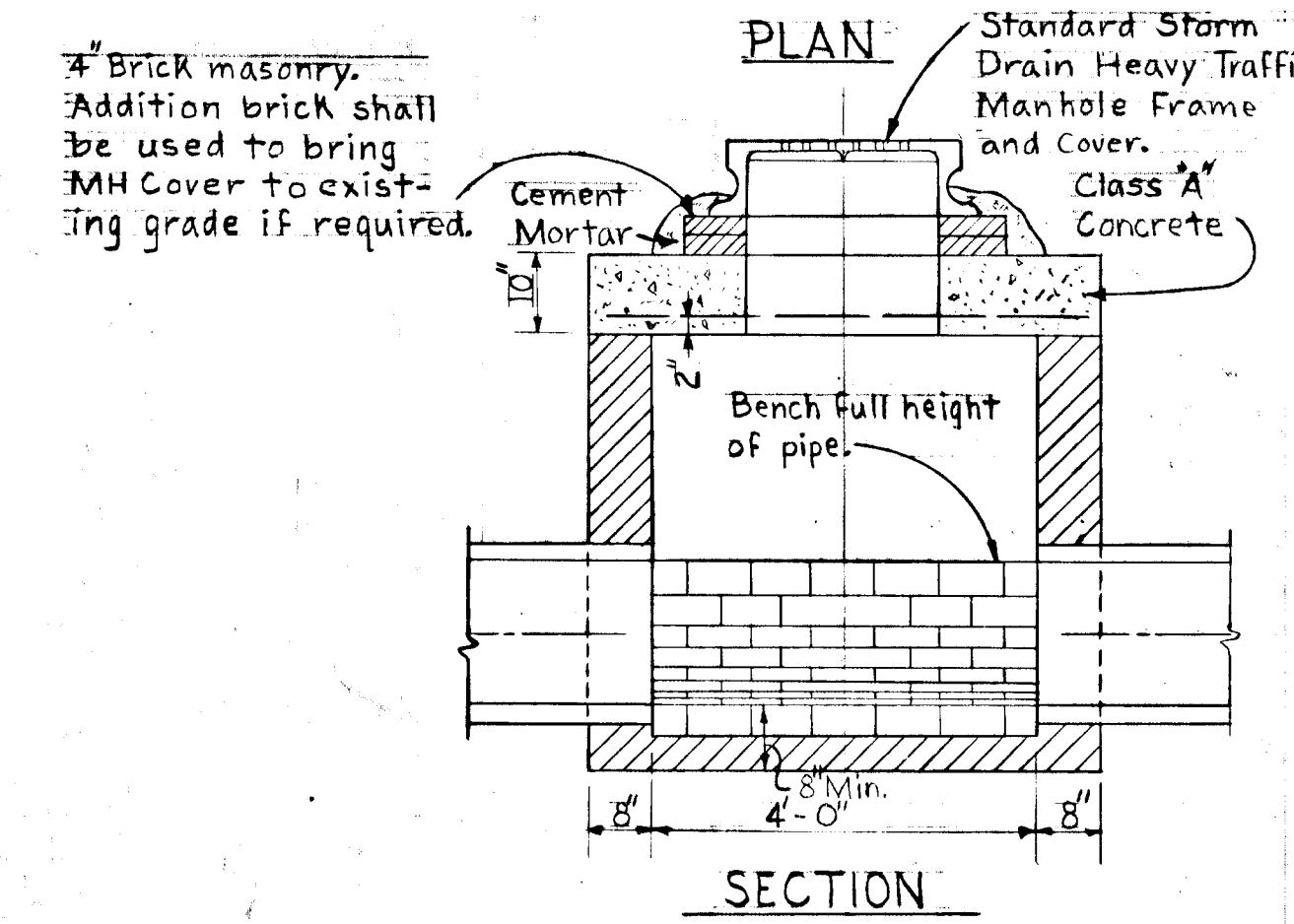
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**PROFILES**  
 Scale: Horiz: 1"=50'  
 Vert: 1"=5'



Note:  
 MH Frame & Cover  
 To be centered in  
 MH as shown.



Note:  
 Walls, bottom slab and invert shall  
 be brick or plain class "A" concrete  
 poured in place.

AS-BUILD SURVEY  
 CERTIFIED BY  
 THOMAS R. ORTMAN  
 REG. L.S.  
 NO. 202  
 6/7/86

BURLEIGH MANOR  
 SECTION 4 AREA 4  
 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 STORM DRAIN PROFILES & DETAILS

SCALE: AS SHOWN DATE: AUG. 20, 1979

WHITMAN REQUARDT & ASSOCIATES  
 ENGINEERS  
 BALTIMORE, MARYLAND 21202

*Kenneth A. McCord*  
 KENNETH A. McCORD  
 Registered Engineer  
 No. 1974

OWNER AND DEVELOPER  
 COSTAIN WASHINGTON INC.  
 10710 LEE HIGHWAY SUITE 201  
 FAIRFAX, VIRGINIA 22030

THIS DEVELOPMENT PLAN IS APPROVED  
 FOR SOIL EROSION AND SEDIMENT  
 CONTROL BY THE HOWARD SOIL  
 CONSERVATION DISTRICT.

APPROVED: *William T. Rouse* DATE: 11-7-79  
 HOWARD S.C.D.

REVIEWED FOR HOWARD SOIL  
 CONSERVATION DISTRICT AND  
 MEETS TECHNICAL REQUIREMENTS.

*James M. Helm* DATE: 11-7-79  
 U.S. SOIL CONSERVATION SERVICE

CERTIFICATION BY THE DEVELOPER

"WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE  
 DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR  
 EROSION AND SEDIMENT CONTROL AND WE ALSO AUTHORIZE PERIODIC  
 ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT  
 OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

JOHN DeGROOT BRANCH MANAGER  
 MICHAEL E. McGUIRE MANAGER, LAND DEVELOPMENT  
 DATE: 8-20-79

CERTIFICATION BY THE ENGINEER

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL  
 REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL  
 KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN  
 ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*Kenneth A. McCord*  
 KENNETH A. McCORD, P.E.  
 DATE: 8-22-79

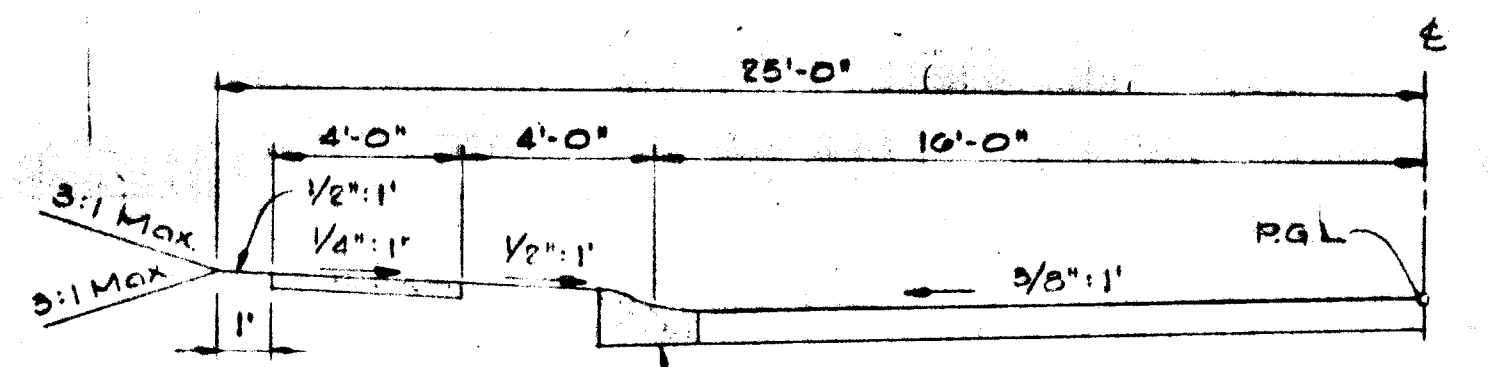
TYPE "B" MANHOLE  
 (SHALLOW)  
 No Scale

4/27/88

F-80-28



Note:  
 All roads are designed for 25 MPH  
 Speed limit

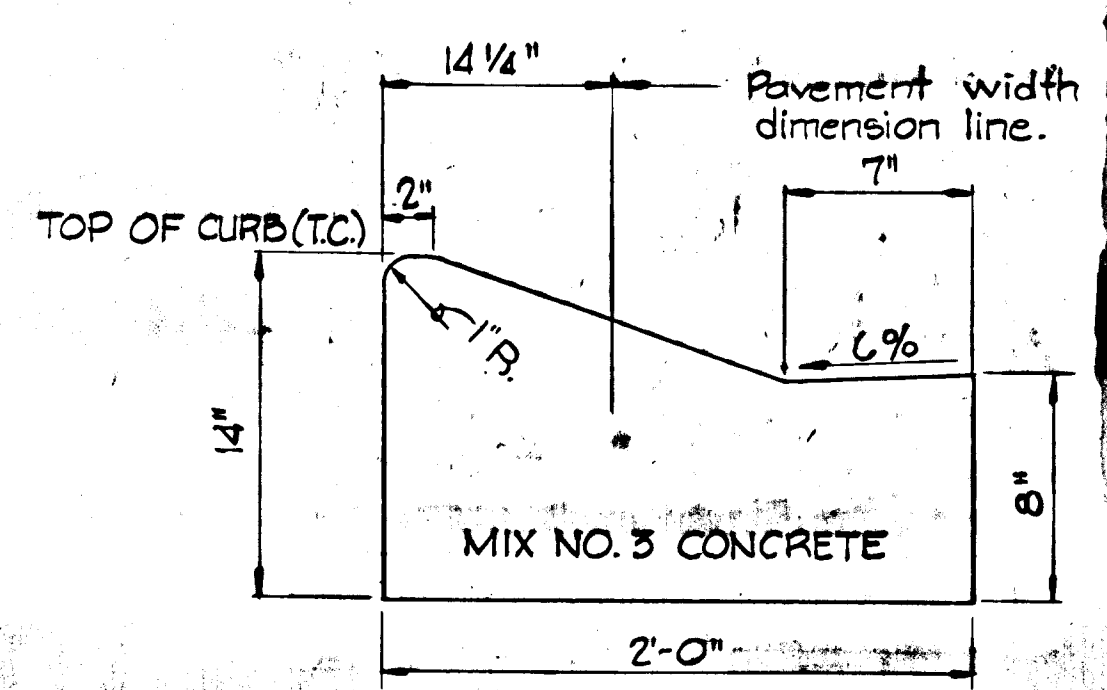


Note:  
 Sidewalk to be constructed in accordance with Article C-35 of the Howard County Road Construction Code and Specifications.  
 Howard County Modified Combination Curb and Gutter see this sheet.

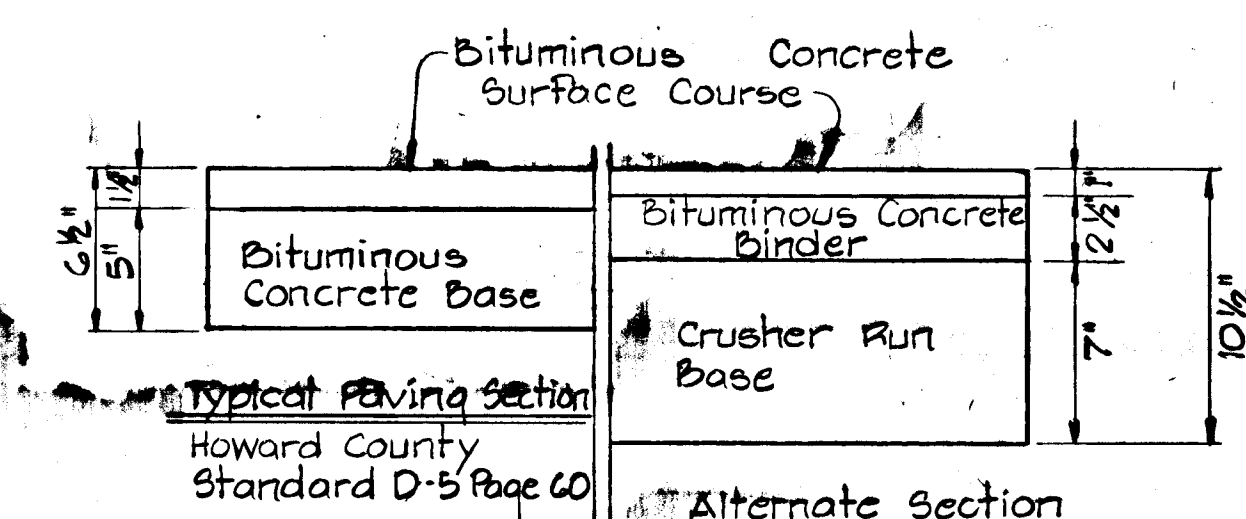
**50' ROW TYPICAL HALF SECTION  
 32' PAVING**  
 RESIDENTIAL TRAFFICWAY - R-20  
 Scale: 1/4" = 1'-0"

50' ROW HALF SECTION AND 32' PAVING APPLIES TO:  
 MANSION HOUSE DRIVE 0+18-10+95.25  
 WHITE ROSE WAY 0+18-11+11.72  
 BRISTOL CHANNEL 0+18-0+53

BURLEIGH COTTAGE LANE 13+05.47-10+95.25

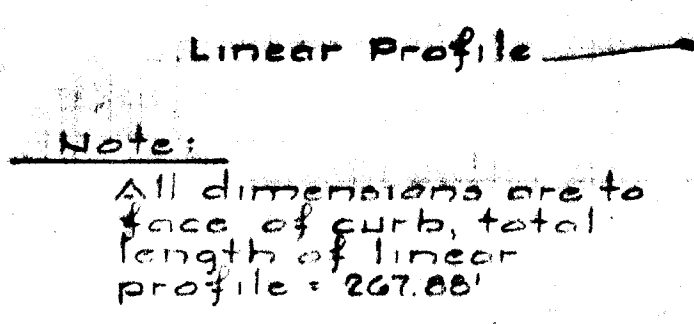


**MODIFIED COMBINATION CURB & GUTTER**  
 No Scale

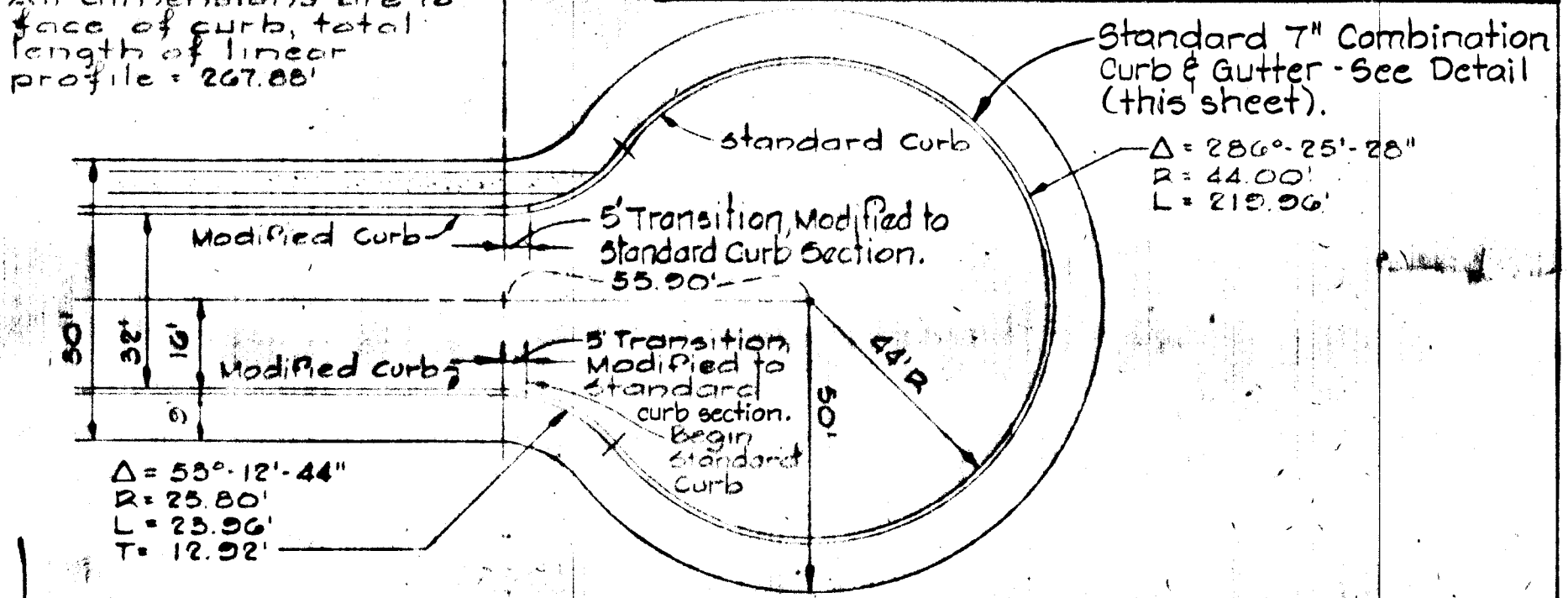


Notes for Section D-5:  
 1) Base will be primed in accordance with C-30-5 as provided in the Howard County Road Construction Code and Standard Specifications.  
 2) Tack Coat is required in accordance with section C-31-4 of the Howard County Road Construction Code & Standard Specifications.

Notes for either Section D-4 or D-5:  
 1) All work shall be performed in accordance with the Howard County Road Construction Code and Standard Specifications.  
 2) Only one of the paving sections shown shall be used for road construction proposed under this submission.

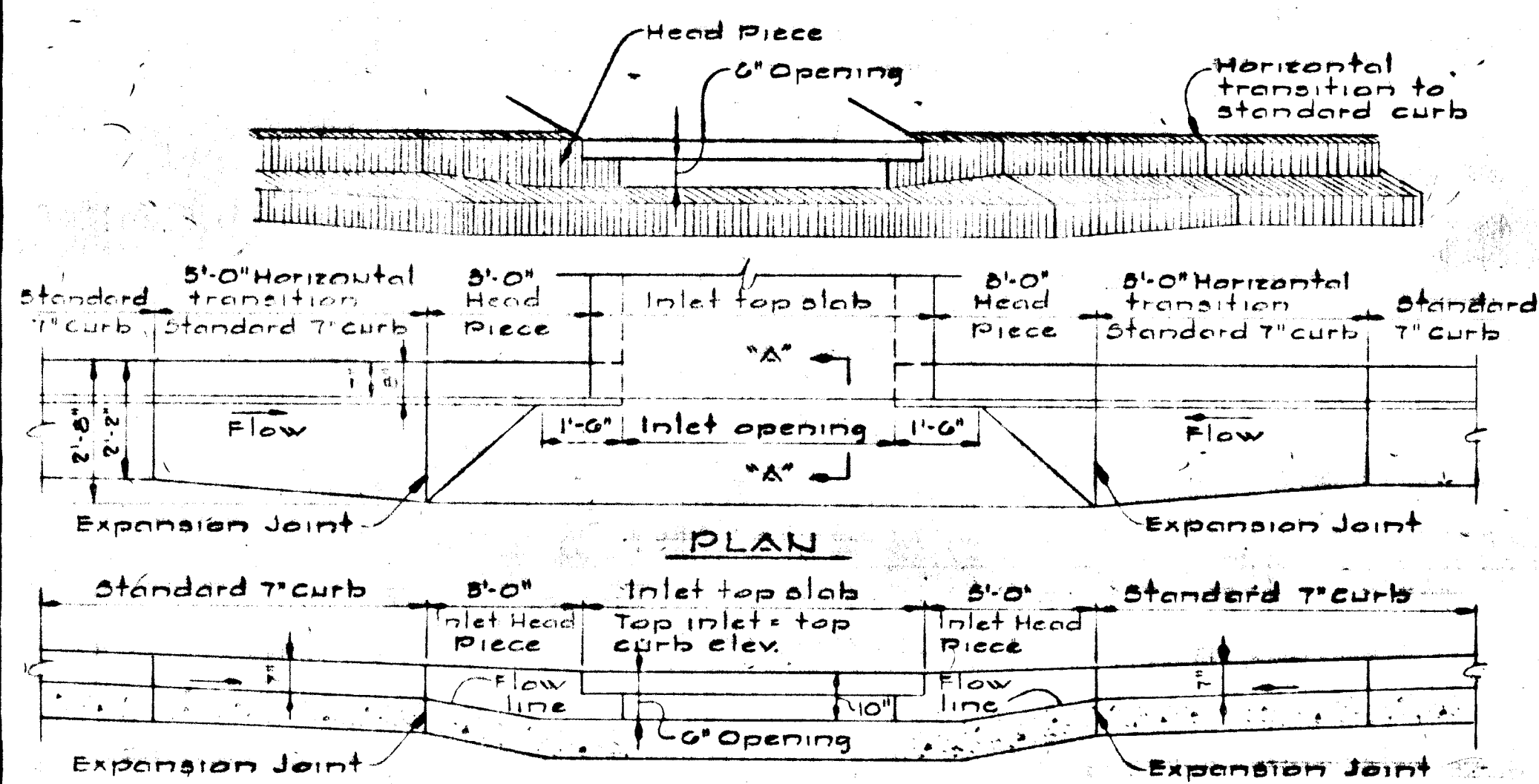


Note:  
 All dimensions are to face of curb, total length of linear profile = 267.66'

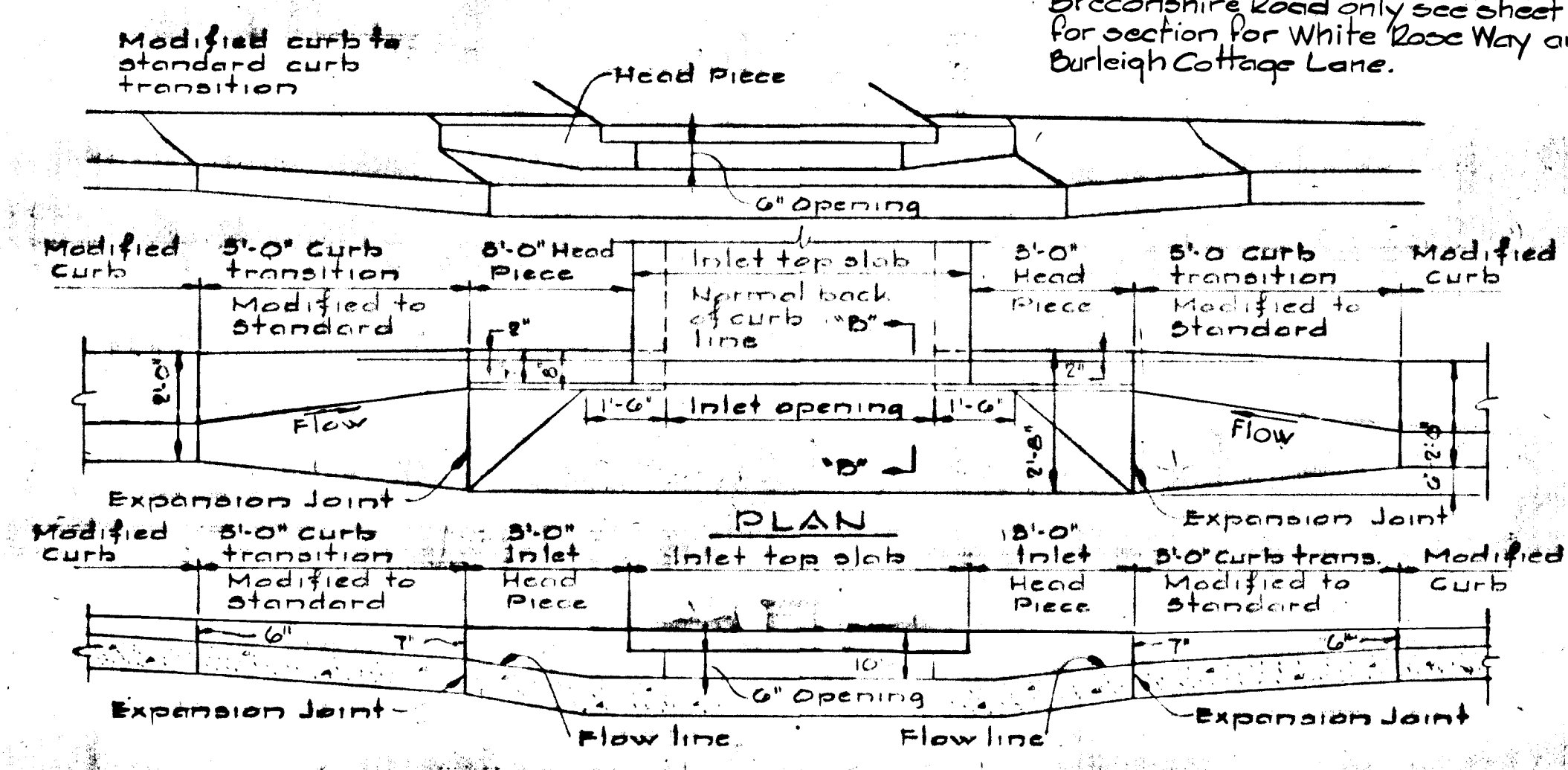


**CUL-DE-SAC DETAIL FOR MANSION HOUSE DRIVE**  
 Scale: 1" = 30'

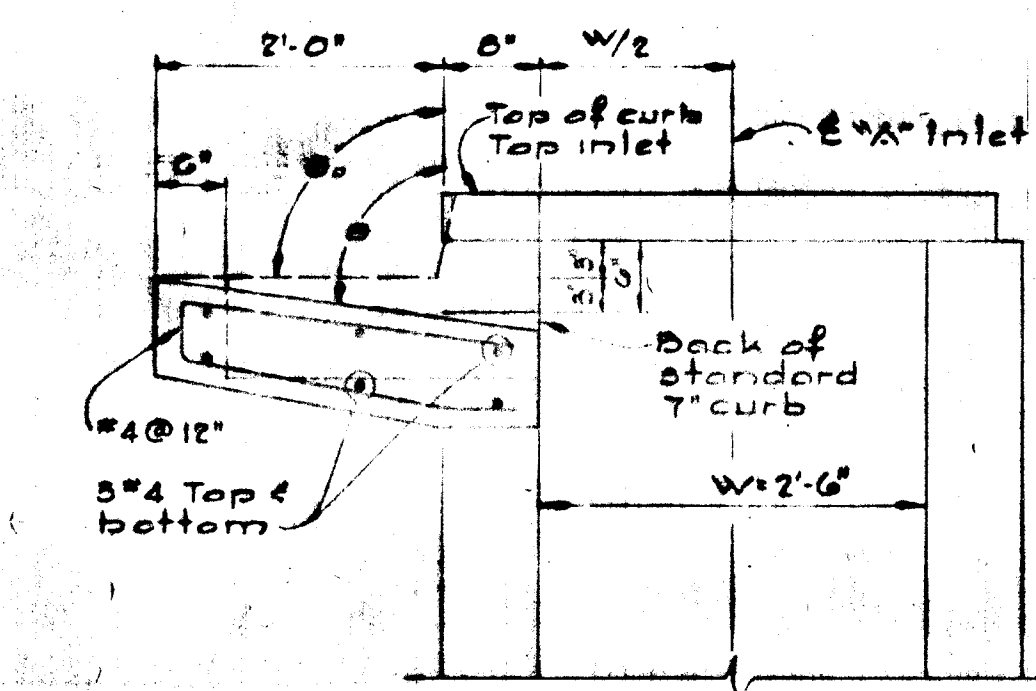
BURLEIGH COTTAGE LANE



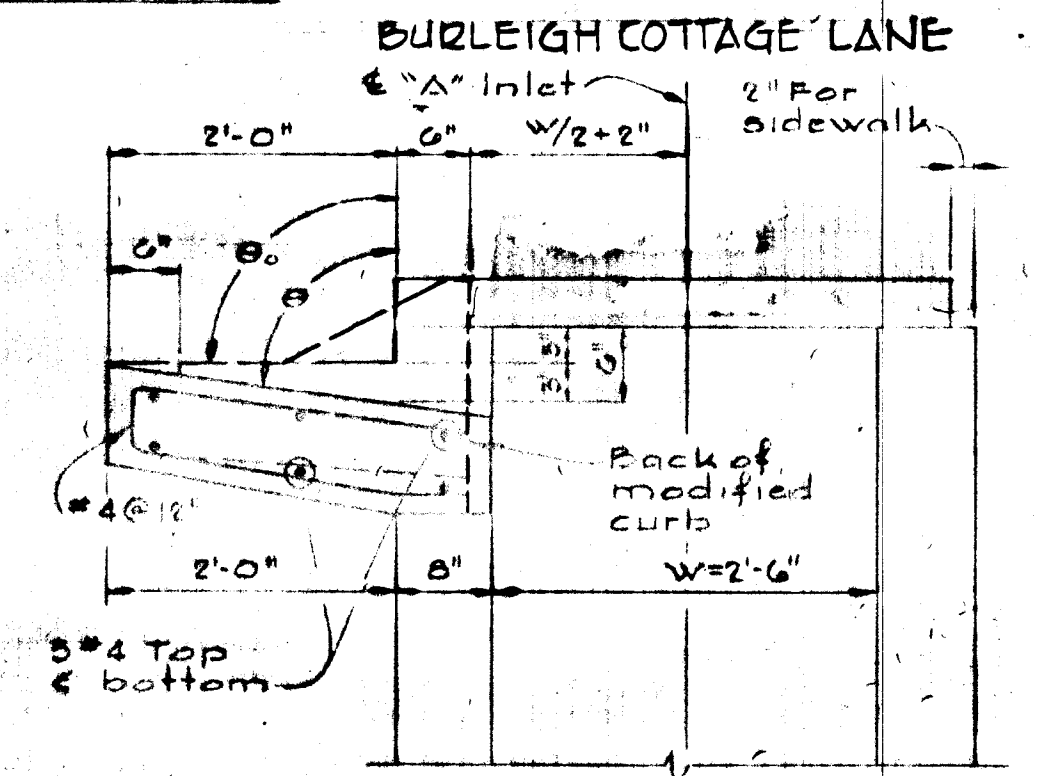
**SECTION ALONG FLOW LINE  
 SUMPED "A" INLETS - STANDARD CURB**



**SECTION ALONG FLOW LINE  
 SUMPED "A" INLETS - MODIFIED CURB**

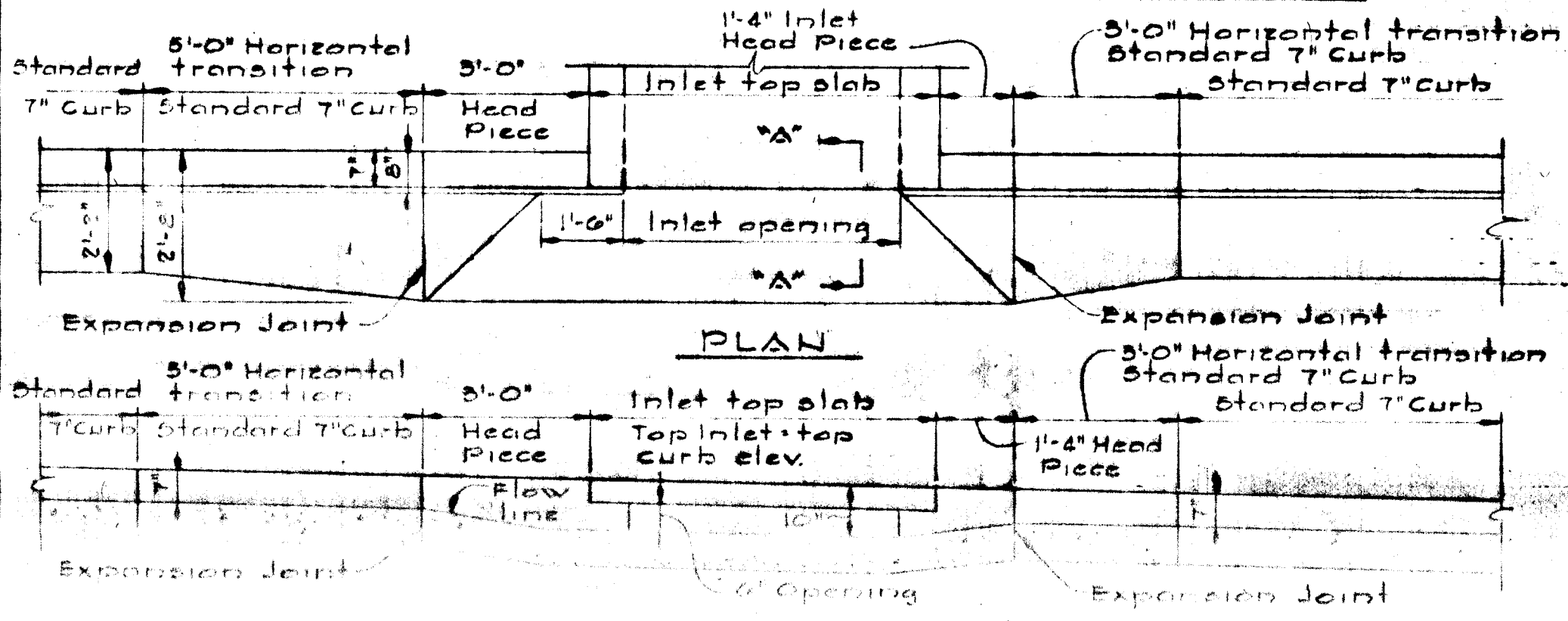


**SECTION "A-A"  
 "A" INLET - STANDARD CURB**

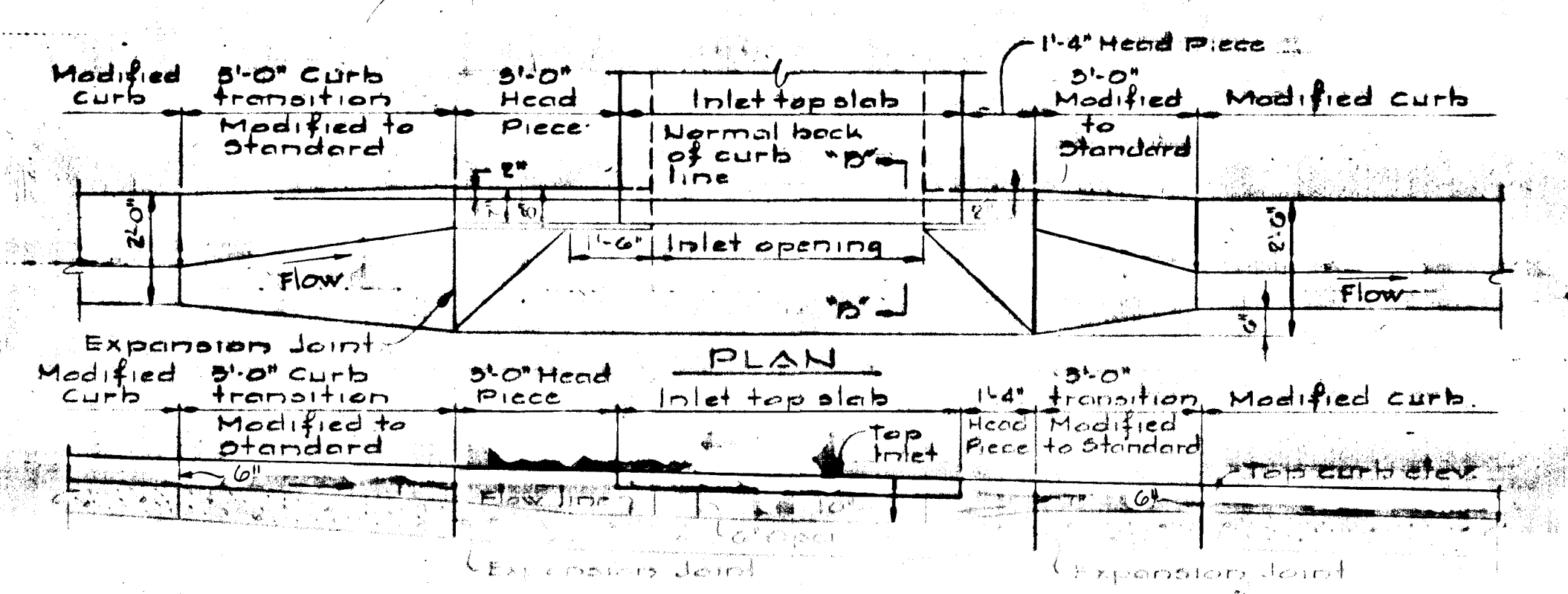


**SECTION "B-B"  
 "A" INLET - MODIFIED CURB**

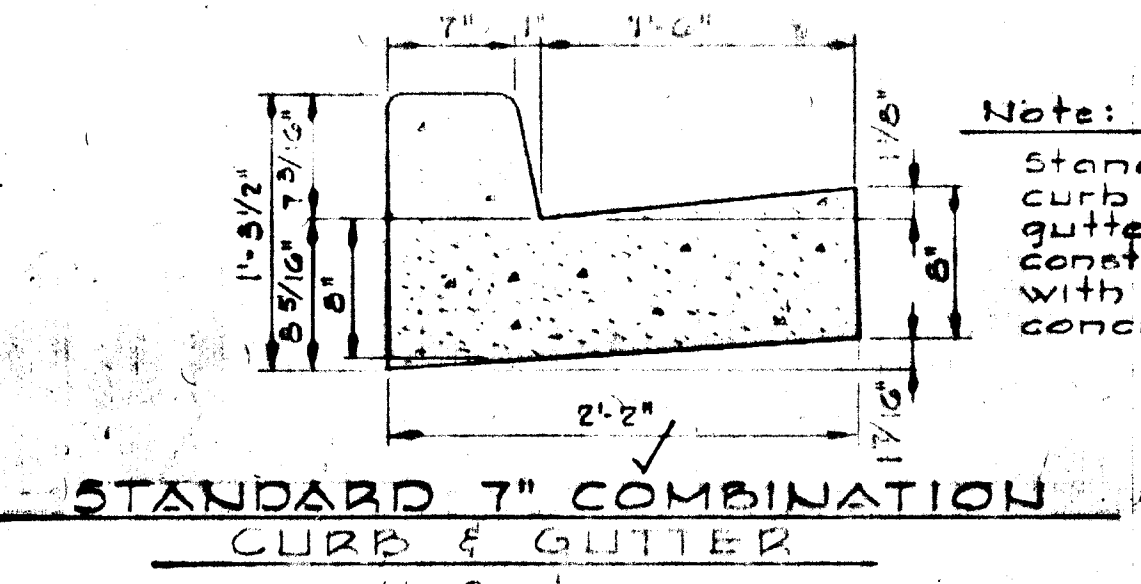
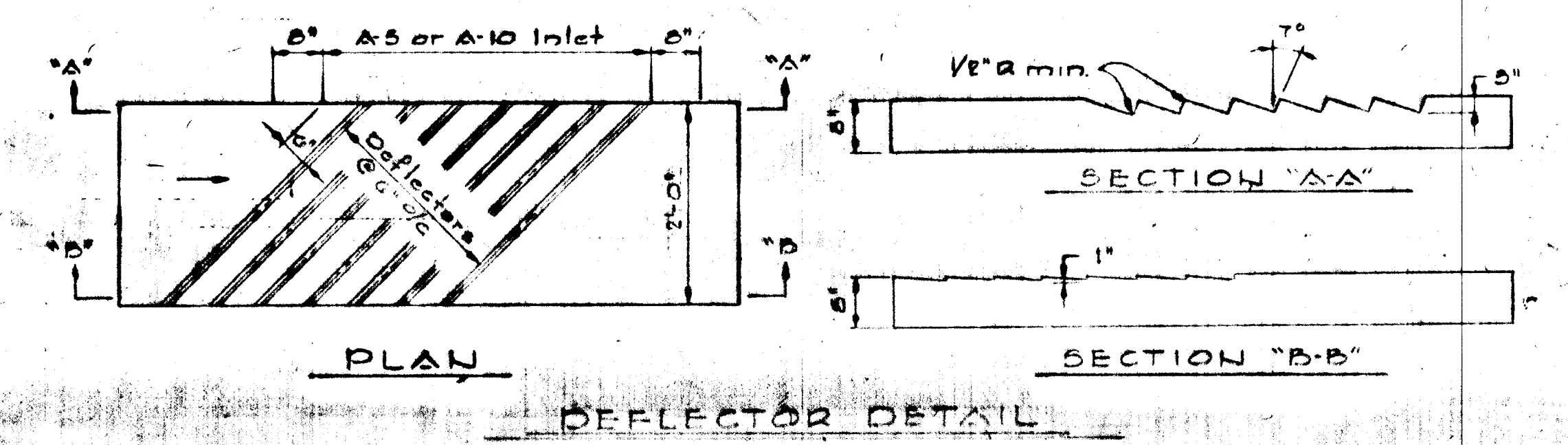
Note:  
 For "A" Inlet dimensions and structural details, see Standard Howard County Drawing 64-A page 119-A.



**SECTION ALONG FLOW LINE  
 "A" INLETS - STANDARD CURB**

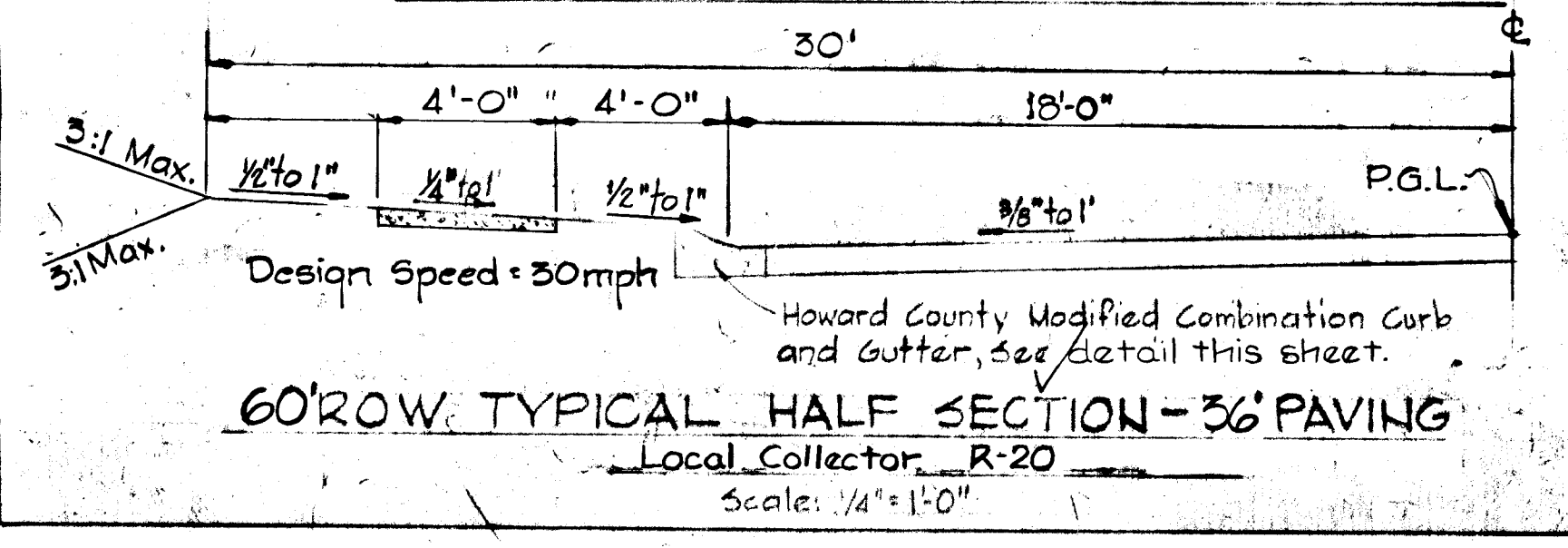


**SECTION ALONG FLOW LINE  
 "A" INLETS - MODIFIED CURB**



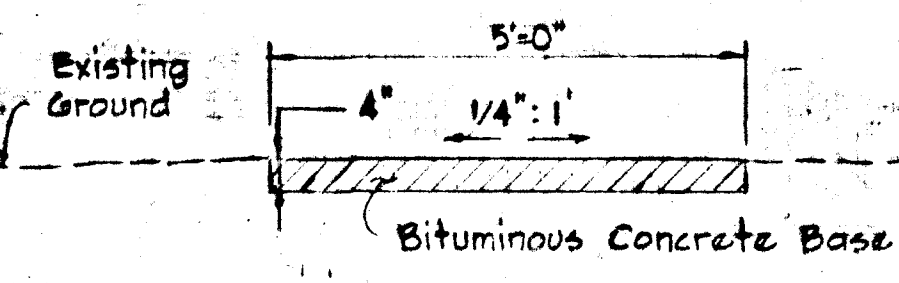
**STANDARD 7" COMBINATION CURB & GUTTER**  
 No Scale

Note:  
 Standard curb and gutter to be constructed with class A concrete.



**60' ROW TYPICAL HALF SECTION - 36' PAVING**  
 Local Collector - R-20  
 Scale: 1/4" = 1'-0"

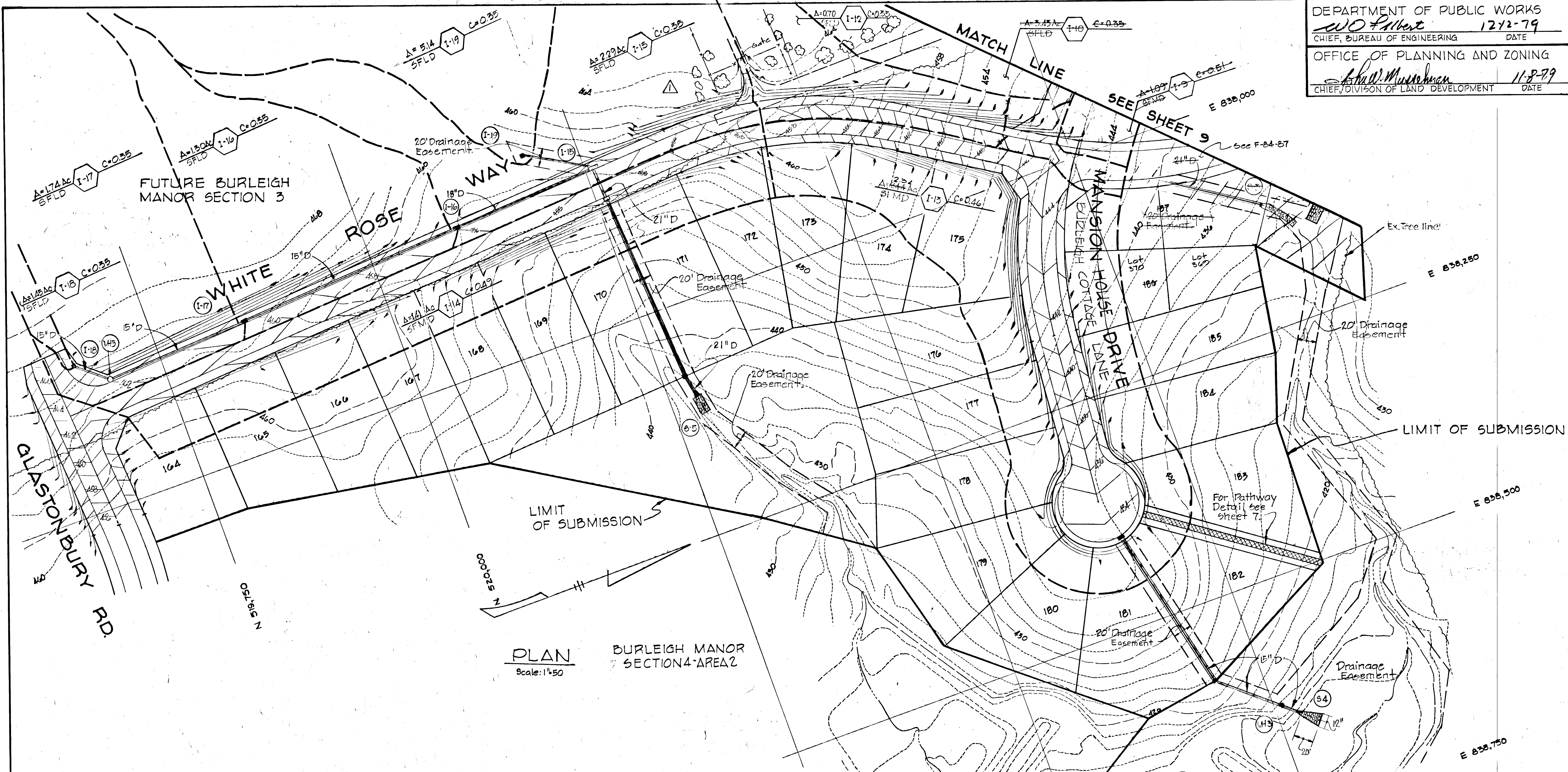
60' ROW HALF SECTION AND 36' PAVING APPLIES TO:  
 GLASTONBURY ROAD 5+60.17-630.17  
 BRECONSHIRE ROAD 6+17.11-10+17.11



**PATHWAY DETAIL**  
 No Scale

Note for section change		4/26/84
No.	Revision	Date
PROJECT TITLE		
BURLEIGH MANOR SECTION 4 AREA 4		
2 <sup>ND</sup> ELECTION DISTRICT HOWARD COUNTY MARYLAND		
ROADWAY & STORM DRAIN DETAILS		
SCALE: AS SHOWN		DATE Aug. 20, 1979
WHITMAN, REQUART & ASSOCIATES ENGINEERS		
BALTIMORE, MARYLAND 21202		
OWNER DEVELOPER		<i>Kenneth A. McCord</i> KENNETH A. McCORD Registered Engineer No. 1974
COSTAIN WASHINGTON INC.		
10710 LEE HIGHWAY SUITE 201 FAIRFAX, VIRGINIA 22030		





**PLAN**  
 Scale: 1"=50'  
 BURLEIGH MANOR SECTION 4 AREA 2

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *Wm. T. Rowe* DATE: 11-7-79  
 HOWARD S.C.D.

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

*James M. Nelson* DATE: 12-7-79  
 U.S. SOIL CONSERVATION SERVICE

**CERTIFICATION BY THE DEVELOPER**

WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND WE ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

*John DeGroot* JOHN DeGROOT, BRANCH MANAGER  
*Michael E. McGuire* MICHAEL E. MCGUIRE, MANAGER, LAND DEVELOPMENT  
 DATE: 8-20-79

**CERTIFICATION BY THE ENGINEER**

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Kenneth A. McCord* KENNETH A. MCCORD, P.E.  
 DATE: 8-20-79

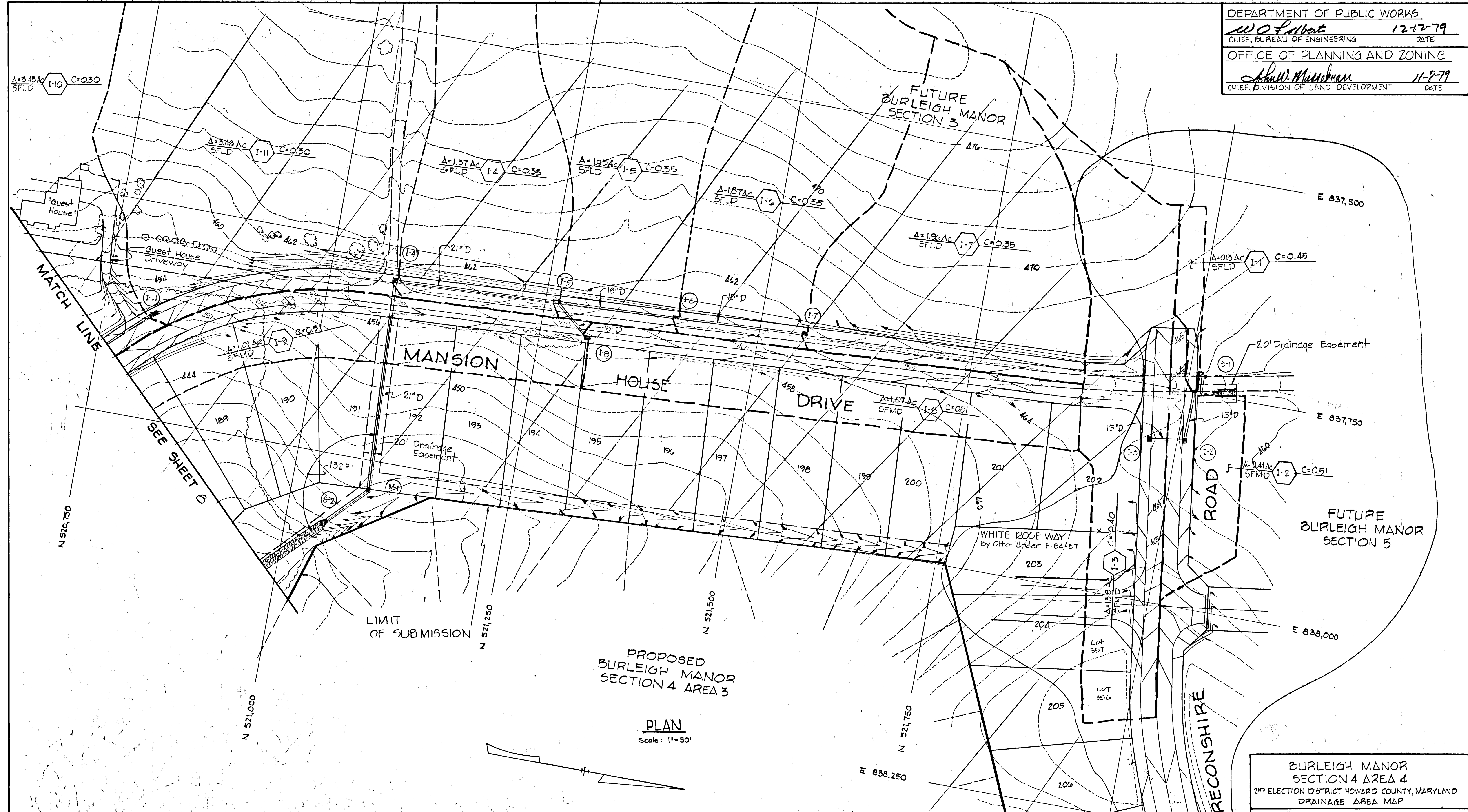
Grading from 1116 to Mansion House Drive		12-18-83
No.	Revisions	Date
BURLEIGH MANOR SECTION 4 AREA 4		
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND DRAINAGE AREA 4		
SCALE: 1"=50'		DATE: AUG. 20, 1979

WHITMAN, REARDT & ASSOCIATES ENGINEERS  
 BALTIMORE, MARYLAND 21202

*Kenneth A. McCord*  
 KENNETH A. MCCORD  
 Registered Engineer  
 No. 1974

OWNER AND DEVELOPER  
 COSTAIN WASHINGTON INC.  
 1010 LEE HIGHWAY SUITE 201  
 FAIRFAX, VIRGINIA 22030





PROPOSED  
 BURLEIGH MANOR  
 SECTION 4 AREA 3

PLAN  
 Scale: 1" = 50'

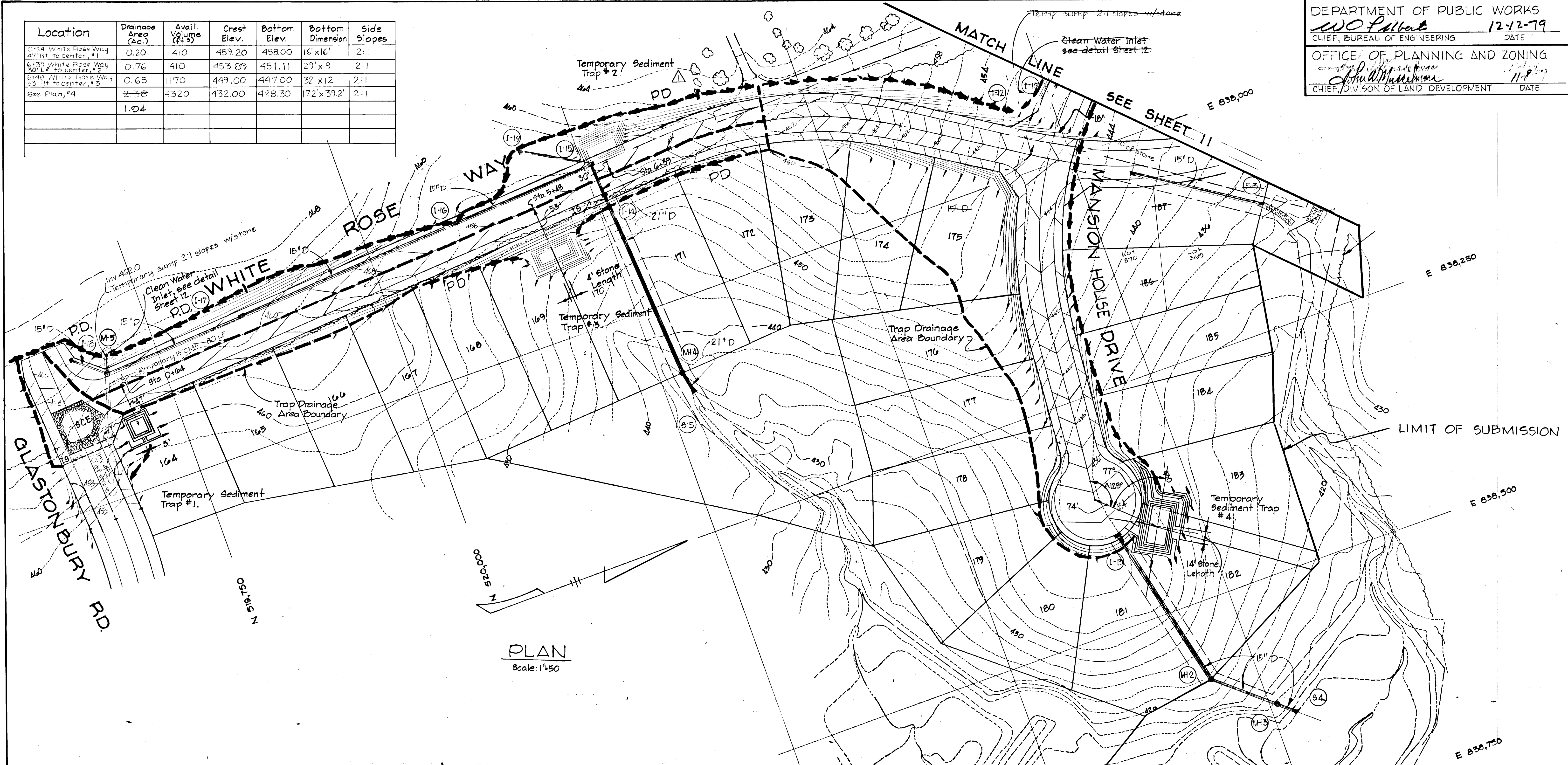
#121

<p>THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.</p> <p><i>Wm. T. Rame</i> 11-7-79          HOWARD S.C.D. DATE</p>	<p>REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.</p> <p><i>James M. Nels</i> 11-7-79          U.S. SOIL CONSERVATION SERVICE DATE</p>	<p>CERTIFICATION BY THE DEVELOPER          "WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND WE ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."</p> <p><i>John DeGroot</i> 8-20-79          JOHN DeGROOT          BRANCH MANAGER DATE</p> <p><i>Michael E. McGuire</i>          MICHAEL E. MCGUIRE          MANAGER, LAND DEVELOPMENT</p>	<p>CERTIFICATION BY THE ENGINEER          "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."</p> <p><i>Kenneth A. McCord</i> 8-20-79          KENNETH A. MCCORD, P.E. DATE</p>	<p>OWNER AND DEVELOPER          COSTAIN WASHINGTON INC.          10710 LEE HIGHWAY SUITE 201          FAIRFAX, VIRGINIA 22030</p>	<p>BURLEIGH MANOR SECTION 4 AREA 4          2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND          DRAINAGE AREA MAP          SCALE: 1" = 50' DATE: AUG. 20, 1979          WHITMAN, REQUARDT &amp; ASSOCIATES ENGINEERS          BALTIMORE, MARYLAND 21202  <i>Kenneth A. McCord</i>          KENNETH A. MCCORD          Registered Engineer          No. 1974</p>
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Location	Drainage Area (Ac.)	Avail. Volume (ft <sup>3</sup> )	Crest Elev.	Bottom Elev.	Bottom Dimension	Side Slopes
0+64 White Rose Way 47 ft to center, #1	0.20	410	459.20	458.00	16' x 16'	2:1
0+59 White Rose Way 50' LF to center, #2	0.76	1410	453.89	451.11	29' x 9'	2:1
0+48 White Rose Way 53' ft to center, #3	0.65	1170	449.00	447.00	32' x 12'	2:1
See Plan, #4	2.38	4320	432.00	428.30	172' x 39.2'	2:1
	1.04					

DEPARTMENT OF PUBLIC WORKS  
*W. O. Gilbert* 12-12-79  
 CHIEF, BUREAU OF ENGINEERING DATE  
 OFFICE OF PLANNING AND ZONING  
*John M. Williams* 11-8  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE



PLAN  
 Scale: 1"=50'

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

APPROVED: *Wm J. Rowe* DATE: 11-2-79  
 HOWARD S.C.D.

*Frank M. Niles* DATE: 11-7-79  
 U.S. SOIL CONSERVATION SERVICE

CERTIFICATION BY THE DEVELOPER

WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL AND WE ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

*John DeGroot* DATE: 8-20-79  
 JOHN DeGROOT  
 BRANCH MANAGER

*Michael E. McGuire*  
 MICHAEL E. MCGUIRE  
 MANAGER, LAND DEVELOPMENT

CERTIFICATION BY THE ENGINEER

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Kenneth A. McCord* DATE: 8-20-79  
 KENNETH A. MCCORD, P.E.

OWNER AND DEVELOPER  
 COSTAIN WASHINGTON INC.  
 1010 LEE HIGHWAY SUITE 201  
 FAIRFAX, VIRGINIA 22030

*Kenneth A. McCord*  
 KENNETH A. MCCORD  
 Registered Engineer  
 No. 1974

No.	Revisions	Date
1	Grading from 116 to Mansion House Drive	12-15-79

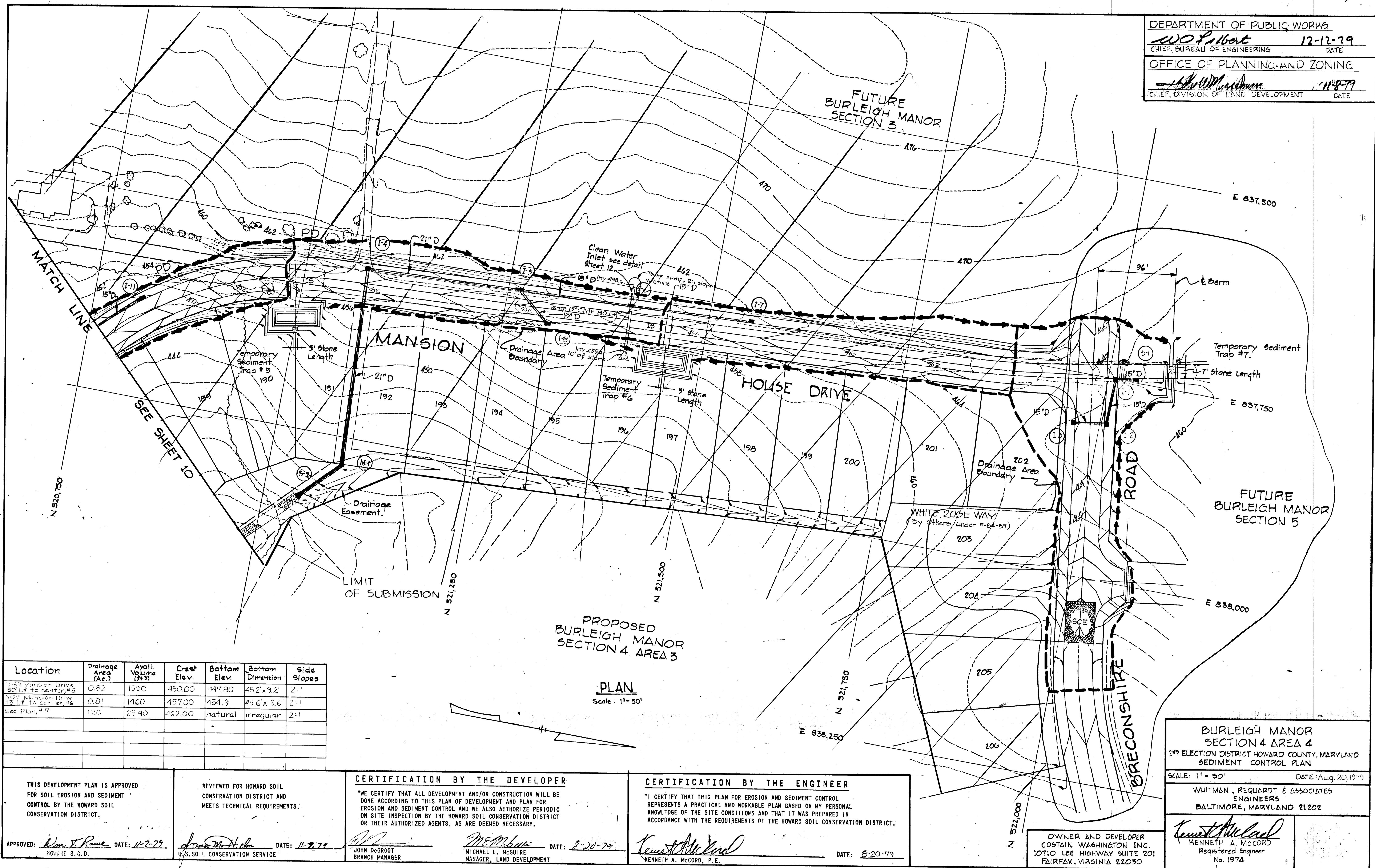
BURLEIGH MANOR  
 SECTION 4 AREA 4  
 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SEDIMENT CONTROL PLAN

SCALE: 1"=50' DATE: Aug. 20, 1979

WHITMAN, REQUARDT & ASSOCIATES  
 ENGINEERS  
 BALTIMORE, MARYLAND 21202



DEPARTMENT OF PUBLIC WORKS  
*W. O. Gilbert* 12-12-79  
 CHIEF, BUREAU OF ENGINEERING DATE  
 OFFICE OF PLANNING AND ZONING  
*W. W. Macdonald* 11-8-79  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE



Location	Drainage Area (Ac.)	Avail. Volume (cfs)	Crest Elev.	Bottom Elev.	Bottom Dimension	Side Slopes
1587 Mansion Drive 50' Lf to center, #5	0.82	1500	450.00	447.80	45.2' x 9.2'	2:1
1527 Mansion Drive 43' Lf to center, #6	0.81	1460	457.00	454.9	45.6' x 9.6'	2:1
See Plan, #7	1.20	2940	462.00	natural	irregular	2:1

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 APPROVED: *Wm. V. Rame* DATE: 11-2-79  
 HOWARD S.C.D.

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS:  
*John DeGroot* DATE: 11-2-79  
 U.S. SOIL CONSERVATION SERVICE

CERTIFICATION BY THE DEVELOPER  
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*John DeGroot* DATE: 8-20-79  
 JOHN DEGROOT  
 BRANCH MANAGER

CERTIFICATION BY THE ENGINEER  
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
*Kenneth A. McCord* DATE: 8-20-79  
 KENNETH A. MCCORD, P.E.

BURLEIGH MANOR SECTION 4 AREA 4  
 2<sup>ND</sup> ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SEDIMENT CONTROL PLAN  
 SCALE: 1" = 50' DATE: Aug. 20, 1979  
 WHITMAN, REQUARDT & ASSOCIATES  
 ENGINEERS  
 BALTIMORE, MARYLAND 21202  
*Kenneth A. McCord*  
 KENNETH A. MCCORD  
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 No. 1974

OWNER AND DEVELOPER  
 COSTAIN WASHINGTON INC.  
 10710 LEE HIGHWAY SUITE 201  
 FAIRFAX, VIRGINIA 22030



**GENERAL NOTES**

- TEMPORARY, COMPACTED, 18" HIGH EARTH FILL DIVERSION DIKS SHALL BE CONSTRUCTED ABOVE THE LIPS OF FILL SLOPES, CONCURRENTLY WITH THE INITIAL GRADING AND DIRECTED TO UNDISTURBED SOD AREAS AT THE END OF EACH DAY.
- CONTRACTOR TO NOTIFY THE HOWARD COUNTY BUREAU OF INSPECTION AND PERMITS 465-5000365 AT LEAST 3 DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- ALL DISTURBED SLOPE AREAS TO BE STABILIZED AS SOON AS GRADING IS COMPLETED.
- ALL SEDIMENT CONTROL DEVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE MANUAL, "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS".

**PERMANENT SEEDING NOTES**

- ALL SEDIMENT CONTROL MEASURES MUST BE CONSTRUCTED AND STABILIZED ACCORDING TO NOTE 3 PRIOR TO ANY OTHER GRADING ON THE SITE.
- NO TEMPORARY SEDIMENT CONTROL STRUCTURE MAY BE REMOVED OR DESTROYED WITHOUT APPROVAL OF THE HOWARD SOIL CONSERVATION DISTRICT.
- ALL AREAS OTHER THAN LAWNS TO BE SEEDDED (DIKES, BASINS, DRAINAGE SWALES AND DISTURBED AREAS) AT THE RATE OF 80lbs./ACRE OF THE FOLLOWING: KENTUCKY 31 TALL FESCUE-60lbs./ACRE AND KOREAN LESPEDEZA (SCARIFY AND INOCULATE) 20lbs./ACRE, IMMEDIATELY AFTER CONSTRUCTION. SOW WITH MECHANICAL SPREADER, RAKE MINIMUM TWO (2) PASSES WITH "YORK RAKE", COVER AND COMPACT WITH CULTIPACKER.
- SURFACE PREPARATION TO INCLUDE GROUND LIMESTONE OVER TOPSOIL SURFACE AREA AT THE RATE OF ONE TON/ACRE (50lbs./1000 S.F.) COMMERCIAL FERTILIZER (10-10-10) AT THE RATE OF TWO TONS/ACRE. ANCHOR WITH ASPHALT AT THE RATE OF 480 GALLONS/ACRE. DRAINAGE SWALES AND DITCHES SHALL BE MULCHED AND COVERED WITH A PREFERATED EROSION CONTROL BLANKET FOR THE FULL WIDTH OF THE SWALE OR DITCH. BLANKET SHALL BE JUTE MAT OR EQUAL. STABILIZATIONS OF SLOPES STEEPER THAN 3:1 SHALL BE PLANTED WITH KENTUCKY 31 TALL FESCUE 40lbs./1000 S.F.) AND CROWN VETCH (SCARIFY AND INOCULATE) 15lbs./ACRE.

**SEQUENCE OF CONSTRUCTION**

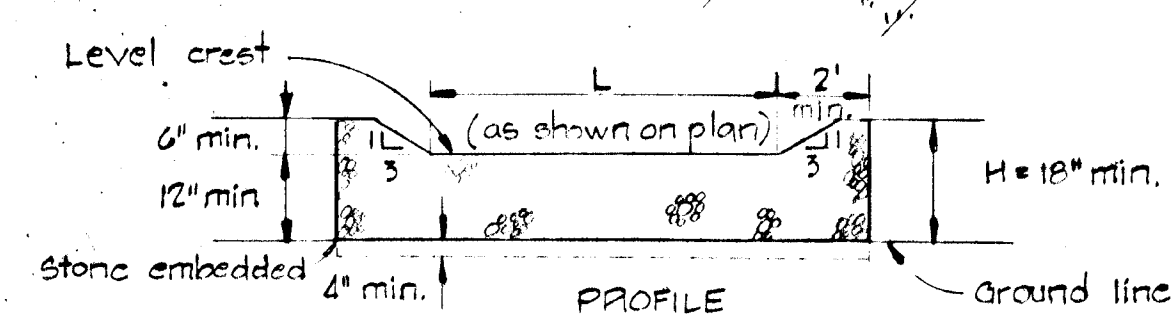
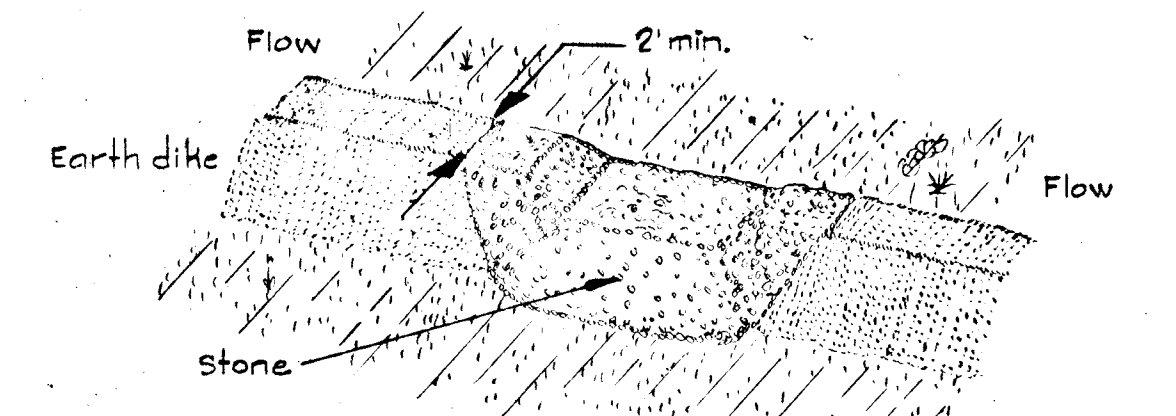
- OBTAIN GRADING PERMIT.
- CLEAR AND GRUB WOODED AREAS\*
- CONSTRUCT DIVERSION DIKES ALONG PROPOSED ROADWAYS AND AT SEDIMENT TRAPS.
- STRIP AND GRADE ROADS AND SEED TOPSOIL STOCKPILE.
- INSTALL STORM DRAIN PIPES. PLACE POLY FILTER GB CLOTH AROUND END OF DOWNSTREAM PIPE AT ALL INLET AND MANHOLE LOCATIONS PRIOR TO LAYING UPSTREAM PIPE. SEE DETAIL 'A', THIS SHEET.
- BUILD INLETS AND MANHOLES AND INSTALL WOOD PLANKING AND STONE FILTERS AT INLETS TO COMPLETE SEDIMENT TRAP CONSTRUCTION. BLOCK INLETS AS NOTED.
- CONSTRUCT ALL UTILITIES.
- FINE GRADE ROADS, CONSTRUCT CURB AND GUTTER AND SEED ALL DISTURBED AREAS AS PER SPECIFICATIONS THIS SHEET.
- REMOVE SEDIMENT TRAPS, FINISH CURB AND GUTTER AND PAVE ROADS.
- REMOVE DIVERSION DIKES AFTER CONSTRUCTION IS COMPLETE AND GRASS IS ESTABLISHED.

**LAWN SEEDING NOTES**

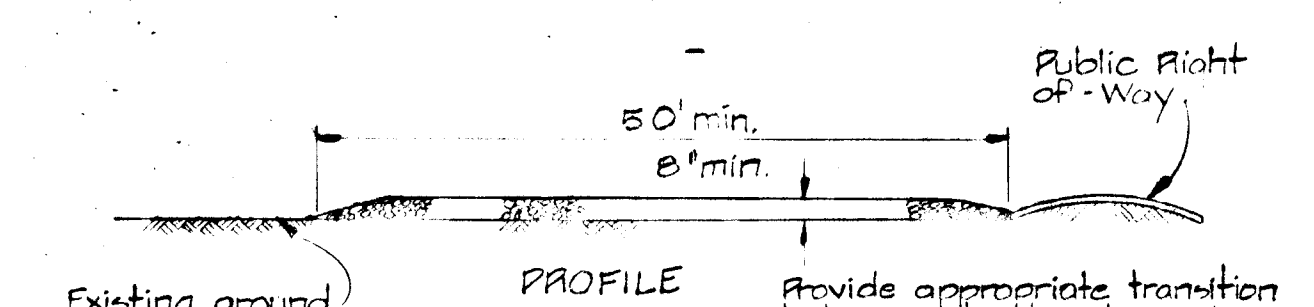
- ALL SEDIMENT CONTROL MEASURES MUST BE CONSTRUCTED AND STABILIZED ACCORDING TO NOTE 3 PRIOR TO ANY OTHER GRADING ON SITE.
- NO TEMPORARY SEDIMENT CONTROL STRUCTURE MAY BE REMOVED OR DESTROYED WITHOUT APPROVAL OF THE HOWARD SOIL CONSERVATION DISTRICT.
- ALL LAWN AREAS TO BE SEEDDED AT THE RATE OF 113lbs./ACRE (31lbs./1000 S.F.) OF THE FOLLOWING: CERTIFIED BLUEGRASS - 65% lbs./ACRE (1 1/2 lbs./1000 S.F.) AND CREEPING RED FESCUE - 65% lbs./ACRE (1 1/2 lbs./1000 S.F.) IMMEDIATELY AFTER CONSTRUCTION. SOW WITH A MECHANICAL SPREADER, RAKE MINIMUM TWO (2) PASSES WITH "YORK RAKE", COVER AND COMPACT WITH CULTIPACKER SURFACE PREPARATION TO INCLUDE - GROUND LIMESTONE OVER TOPSOIL SURFACE AREA AT THE RATE OF ONE TON/ACRE (50lbs./1000 S.F.) COMMERCIAL FERTILIZER (10-10-10) AT THE RATE OF 1000lbs./ACRE. MULCH AREAS WITH STRAW AT THE RATE OF 50lbs./ACRE OR ONE TON/ACRE. ANCHOR WITH ASPHALT AT THE RATE OF 480 GALLONS/ACRE.

**SODDING NOTES**

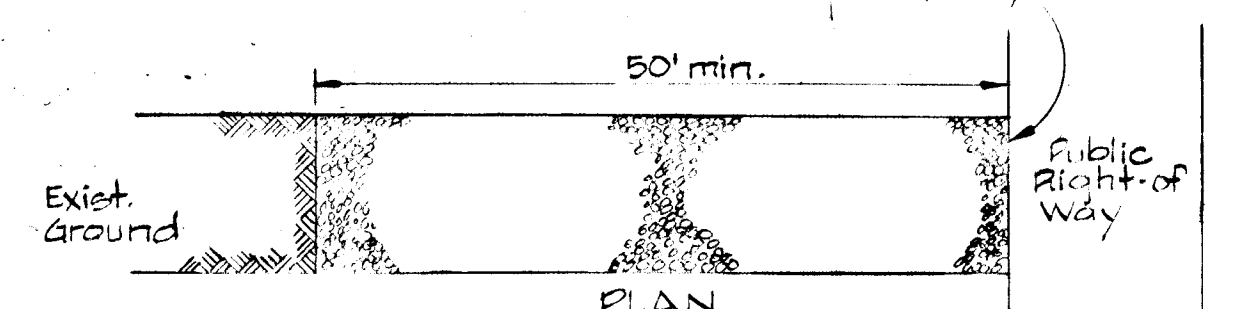
- APPLY 10-10-10 FERTILIZER @ 1000lbs./ACRE (25lbs./1000 S.F.)
  - APPLY GROUND AGRICULTURAL LIMESTONE @ 2000lbs./ACRE (50lbs./1000 S.F.)
  - INCORPORATE BOTH LIME AND FERTILIZER INTO SOIL BY DISCING. FIRM UP AFTER INCORPORATION.
  - LAY SOD TO A TIGHT FIT. ROLL TO ENSURE CONTACT WITH UNDERLYING SOIL. WATER IS NECESSARY FOR 1ST 2 WEEKS (IN SUMMER) TO ENSURE ESTABLISHMENT.
- \* AFTER CLEANING AND GRUBBING, CONSTRUCT TEMPORARY 15" CMP ACROSS PROPOSED ROAD CONSTRUCTION AT CLEAN WATER INLET POINTS SHOWN ON SEDIMENT CONTROL PLANS.  
 † REMOVE TEMPORARY 15" CMP BELOW PROPOSED DRAINAGE STRUCTURES, AND REPLACE PERIMETER DIKE ON DOWN STREAM END.



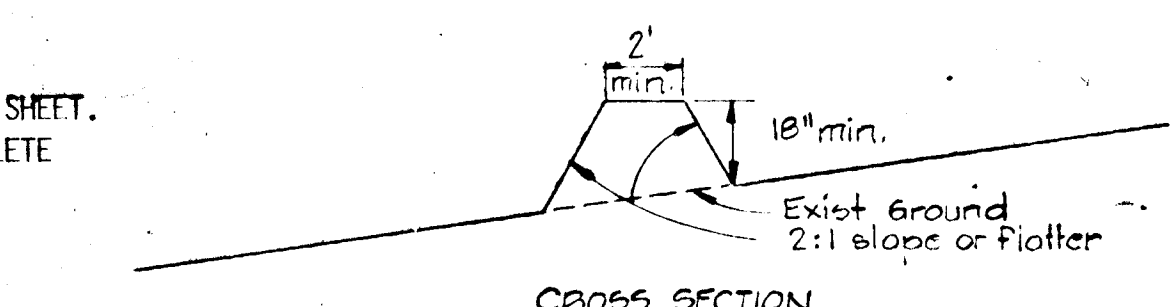
**STONE OUTLET STRUCTURE**



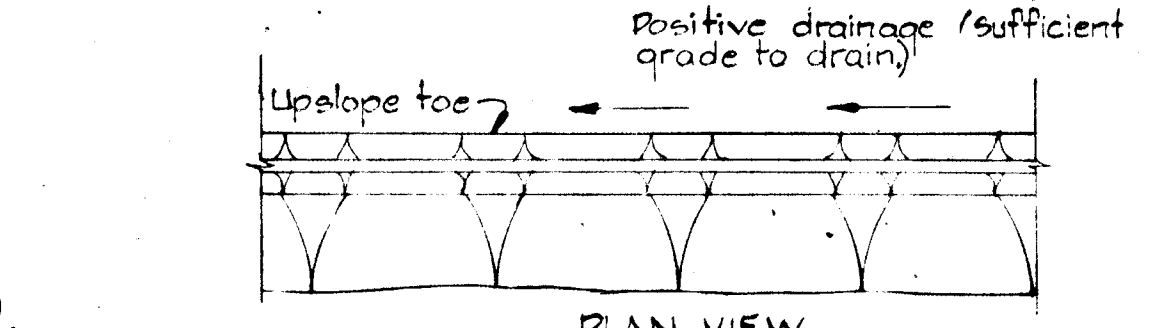
**STABILIZED CONSTRUCTION ENTRANCE**



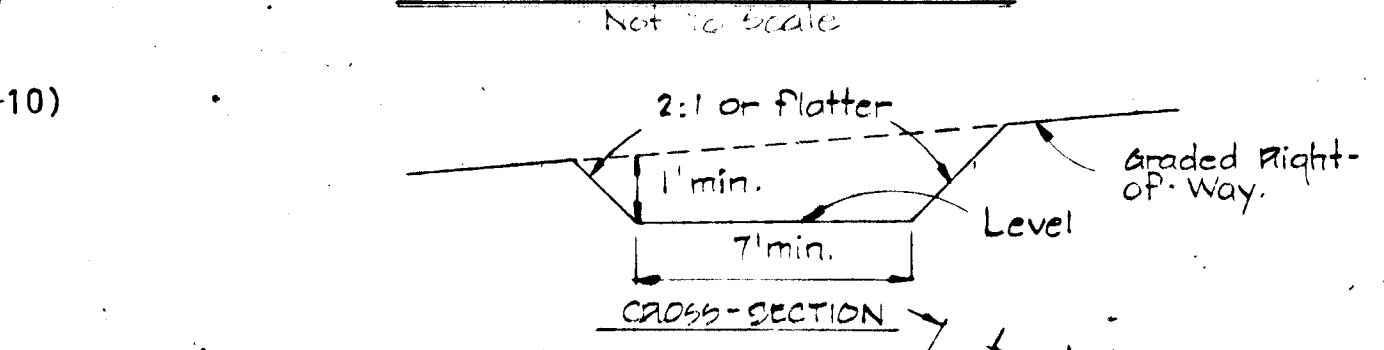
**STABILIZED CONSTRUCTION ENTRANCE**



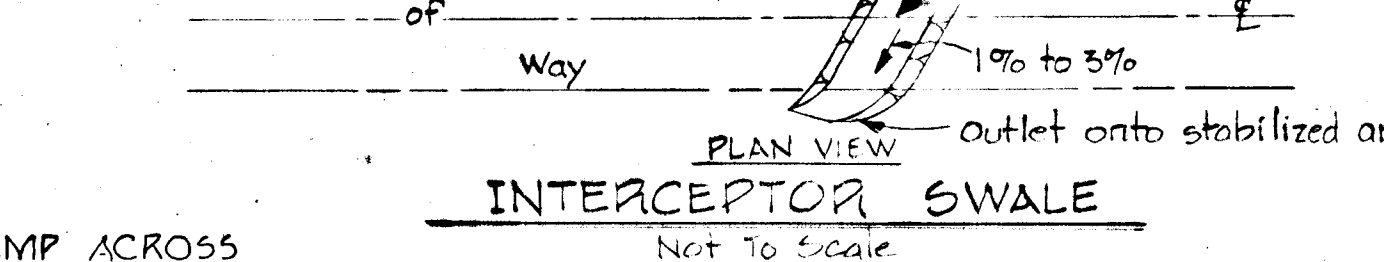
**CROSS SECTION**



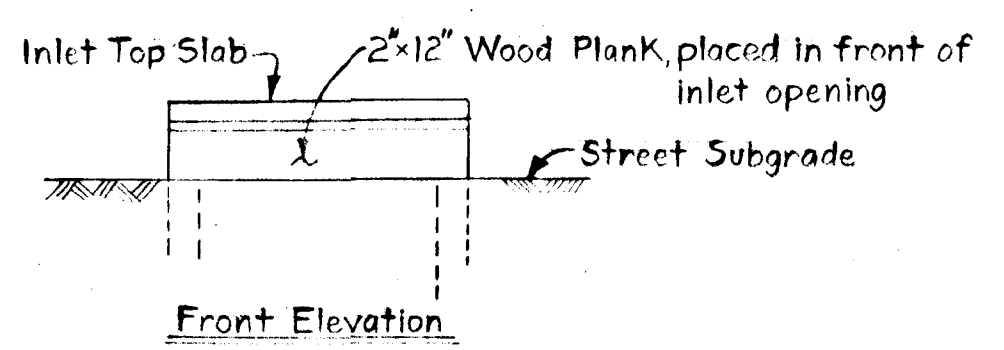
**PERIMETER DIKE**



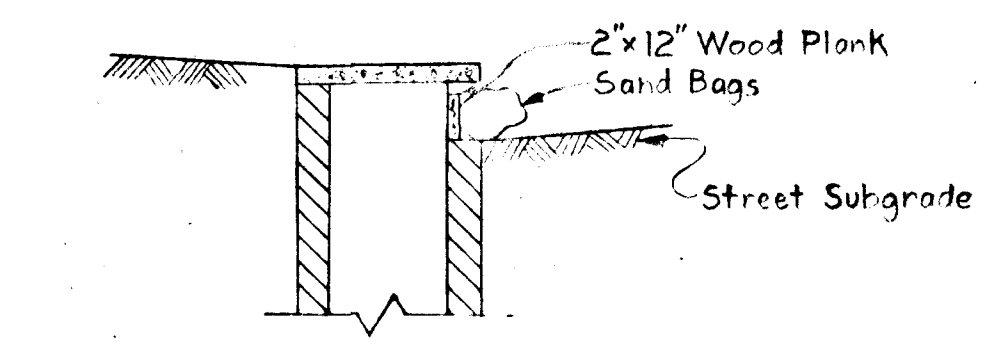
**CROSS-SECTION**



**INTERCEPTOR SWALE**

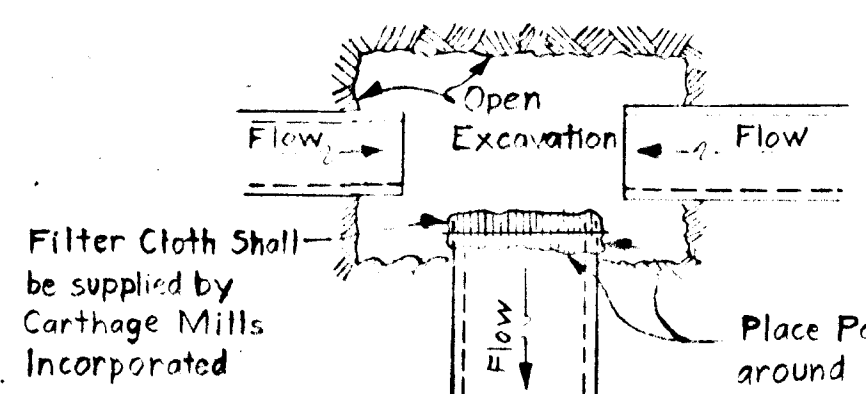


**Front Elevation**



**Detail - Blocked Inlets**

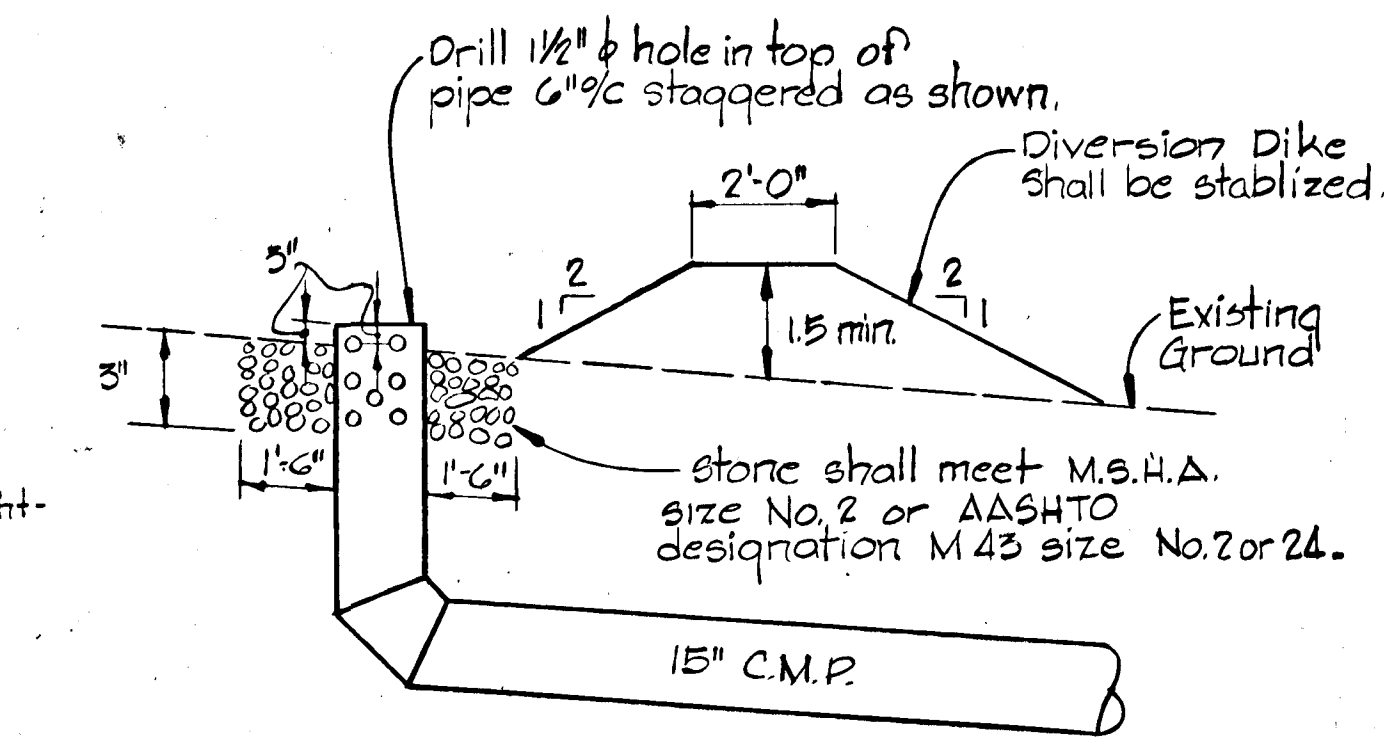
I-1-I15 & I-17-I19  
 Scale 1/4"=1'



**Detail A**

No Scale

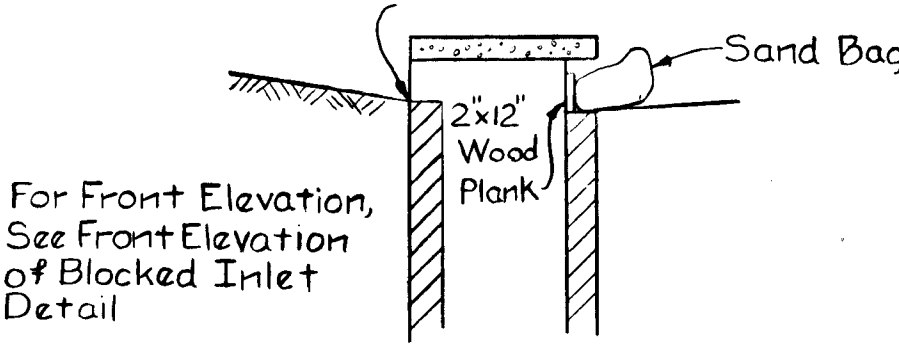
Place Poly filter GB cloth around end of downstream Pipe to limits of excavation (Typical at all structure locations) Fasten with rubber gaskets, A.S.T.M. C-443-77 or equal.



**DETAIL - CLEAN WATER INLET AND DIVERSION DIKE**

Scale: 3/8"=1'-0"

Do not lay top 2 rows of brick in inlet rear until "Sequence of Construction" Note #9



**Detail - Inlet 16**

Scale 1/4"=1'

For Front Elevation, See Front Elevation of Blocked Inlet Detail

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS  
*James M. Nelson* DATE: 11-7-77  
 U.S. SOIL CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
 APPROVED: *Wm. V. Rowe* DATE: 11-7-77  
 HOWARD S.C.D.

**CERTIFICATION BY THE DEVELOPER**  
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*John DeGroot* Branch Manager  
*Michael E. McGuire* Manager, Land Development DATE: 11-7-77

**CERTIFICATION BY THE ENGINEER**  
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
*Kenneth A. McLeod*  
 KENNETH A. MCCORD, P.E. 1974 DATE: 8-20-79

Owner and Developer  
 Costain Washington Inc.  
 10710 Lee Highway Suite 201  
 Fairfax, Virginia 22030

BURLEIGH MANOR  
 SECTION 4 AREA 4  
 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SEDIMENT CONTROL DETAILS  
 SCALE: AS SHOWN DATE: Aug. 20, 1979  
 WHITMAN, REQUARDT & ASSOCIATES  
 ENGINEERS  
 BALTIMORE, MARYLAND 21202  
*Kenneth A. McLeod*  
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