

# SUPPLEMENTAL PLAN EDEN BROOK (AGE-RESTRICTED ADULT HOUSING) LOTS 1 THRU 24 AND OPEN SPACE LOTS 25 THRU 27 R-12 (RESIDENTIAL: SINGLE DISTRICT) TAX MAP No. 42 GRID No. 7 PARCEL NO. 269 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

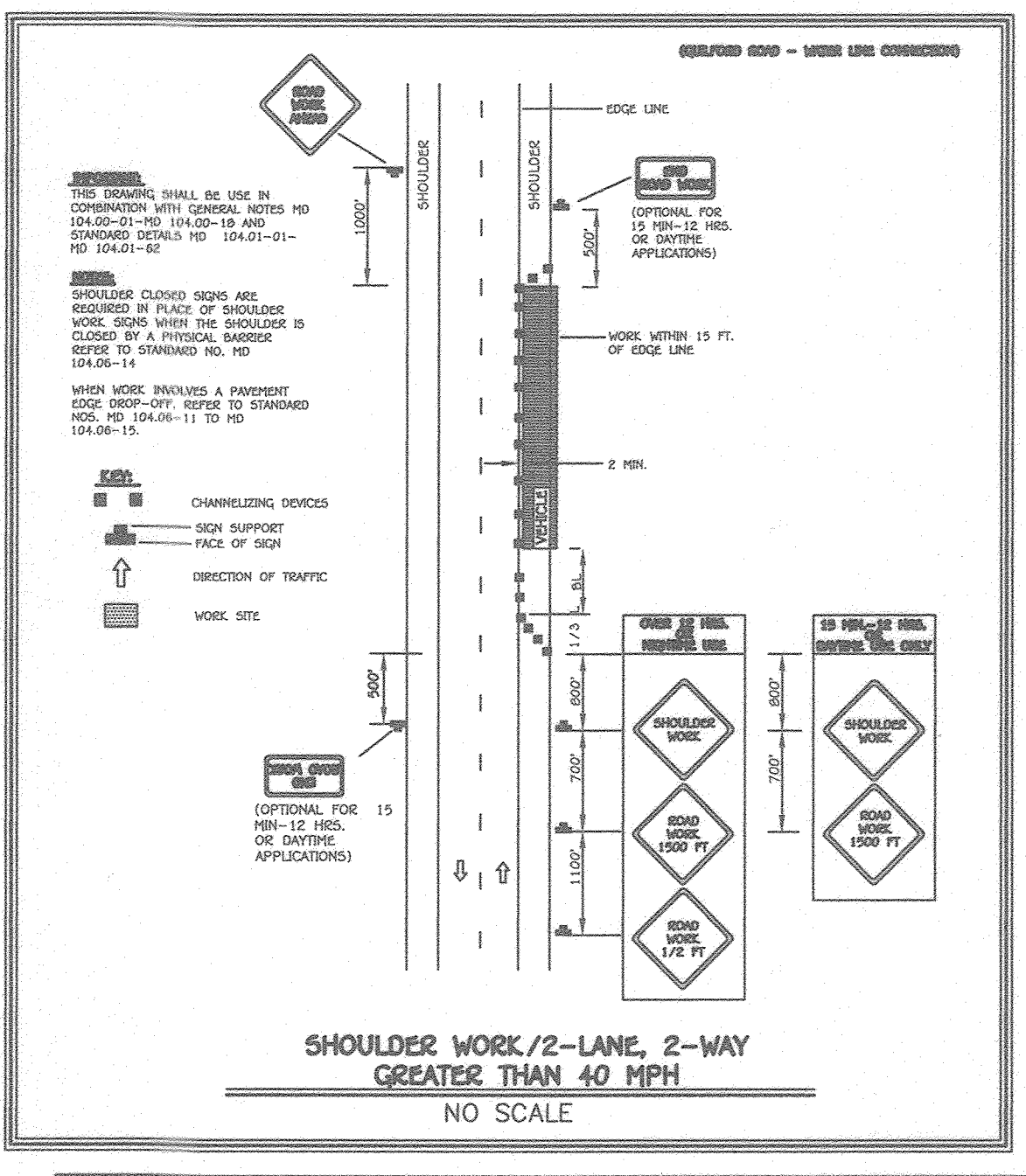
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STREET LIGHT CHART (PUBLIC)			
STREET NAME	STATION	OFFSET	FIXTURE/POLE TYPE
WILDWOOD COURT	2+01.61	26' RT	LED-150 ACORN - MAPLE LAWN POST TOP FIXTURE USING A 12-FOOT BLACK FIBERGLASS POLE
EDEN BROOK DRIVE	44+95	36' LT	LED-250 COBRANEAD PENDANT FIXTURE ON A 30-FOOT BRONZE FIBERGLASS POLE USING A 10-FOOT ARM
EDEN BROOK DRIVE	44+35	35' RT	LED-250 COBRANEAD PENDANT FIXTURE ON A 30-FOOT BRONZE FIBERGLASS POLE USING A 10-FOOT ARM

STREET LIGHT CHART (PRIVATE)			
STREET NAME	STATION	OFFSET	FIXTURE/POLE TYPE
WILDWOOD COURT	2+01.61	23.7' RT	100-WATT HPS VAPOR EQUIVALENT LED MAPLE LAWN ACORN FIXTURE MOUNTED ON A 12-FOOT BLACK FIBERGLASS POLE (WITH A SHROUD)
	4472.99	22.2' LT	

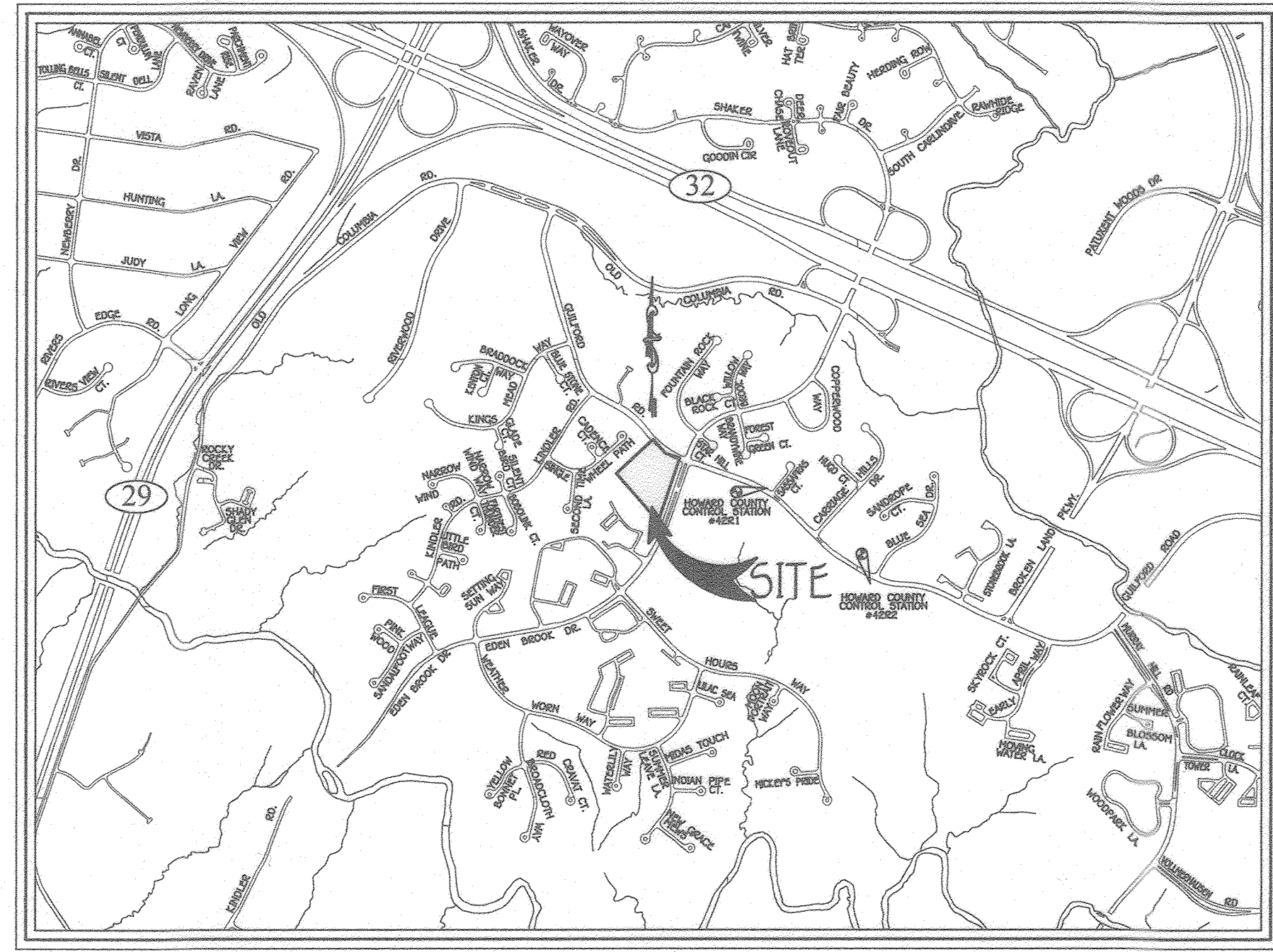
STREET SIGN CHART				
STREET NAME	STATION	OFFSET	POSTED SIGN	SIGN CODE
WILDWOOD COURT	0+44.91	20.3' LT	STOP	R1-1
WILDWOOD COURT	0+29	22' RT	SMS	(NO CODE)
EDEN BROOK DRIVE	47+35	3' LT	PEDESTRIAN 'A'	W11-2
EDEN BROOK DRIVE	47+35	35.5' LT	PEDESTRIAN 'A'	W11-2
EDEN BROOK DRIVE	44+95	3' LT	PEDESTRIAN 'C'	W11-2
EDEN BROOK DRIVE	44+95	35.5' LT	PEDESTRIAN 'B'	W11-2
EDEN BROOK DRIVE	44+95	3' RT	PEDESTRIAN 'B'	W11-2
EDEN BROOK DRIVE	44+95	35.5' RT	PEDESTRIAN 'A'	W11-2
EDEN BROOK DRIVE	42+86	3' RT	PEDESTRIAN 'A'	W11-2
EDEN BROOK DRIVE	42+86	35.5' RT	PEDESTRIAN 'A'	W11-2

FOREST CONSERVATION WORKSHEET VERSION 1.0		
BASIC SITE DATA:		
A. TOTAL TRACT AREA	4.8 Ac	
B. AREA WITHIN 100 YEAR FLOODPLAIN	0	
C. AREA TO REMAIN IN AGRICULTURAL PRODUCTION	0	
D. NET TRACT AREA	4.8 Ac	
LAND USE CATEGORY: (from table 3.2.1, page 40, Manual)		
AREA	MDR	IDA
	0	0
INFORMATION FOR CALCULATIONS:		
F. AFForestation THRESHOLD	0.15% x D =	0.7 Ac
F. FOREST CONSERVATION THRESHOLD	0.20% x D =	1.0 Ac
EXISTING FOREST COVER:		
G. EXISTING FOREST COVER (EXCLUDING FLOODPLAIN)	0	
H. AREA OF FOREST ABOVE AFForestation THRESHOLD	0	
I. AREA OF FOREST ABOVE CONSERVATION THRESHOLD	0	
J. BREAK-EVEN POINT (BEP)	0	
K. CLEARING PERMITTED WITHOUT MITIGATION	0	
PROPOSED FOREST CLEARING:		
L. TOTAL AREA OF FOREST TO BE CLEARED	0	
M. TOTAL AREA OF FOREST TO BE RETAINED	0	
PLANTING REQUIREMENTS:		
N. REFORESTATION FOR CLEARING ABOVE CONSERVATION THRESHOLD	0	
O. REFORESTATION FOR CLEARING BELOW CONSERVATION THRESHOLD	0	
P. CREDIT FOR RETENTION ABOVE CONSERVATION THRESHOLD	0	
Q. TOTAL REFORESTATION REQUIRED	0	
S. TOTAL AFForestation REQUIRED	0.7 Ac	
T. TOTAL REFORESTATION AND AFForestation REQUIRED	0.7 Ac	



SITE ANALYSIS DATA CHART	
1. PROPERTY ZONED:	R-12 PER 10/06/13 COMPREHENSIVE ZONING REGULATIONS.
2. PROPOSED USES:	AGE-RESTRICTED HOUSING AND COMMUNITY CENTER.
3. PRIOR DEPARTMENT OF PLANNING AND ZONING FILE NO.:	AGE RESTRICTED (BA-17-030C), CP-19-051
4. GROSS TRACT AREA:	4.81 AC +/-
5. LIMIT OF DISTURBANCE:	5.18 AC +/-
6. FLOODPLAIN AREA:	0 AC
7. STEEP SLOPES AREA:	0 AC
8. NET TRACT AREA:	4.81 AC +/-
9. MAXIMUM DENSITY:	4.81 ACRES x 5 UNITS / NET ACRE = 24.05 OR 24 UNITS
10. OPEN SPACE TABULATION:	
A. OPEN SPACE REQUIRED:	1.68 AC +/-
(4.81 AC x 35%)	
B. TOTAL OPEN SPACE PROVIDED:	2.75 AC +/-
1. CREDITED OPEN SPACE:	1.78 AC +/-
2. NON CREDITED OPEN SPACE:	0.99 AC +/-
11. COMMUNITY BUILDING AREA REQUIRED:	500 SQ.FT
PER SECTION 131.0.1.1.9 OF THE ZONING REGULATIONS	
COMMUNITY BUILDING PROVIDED:	900 SQ.FT (see General Note 41)
12. PARKING TABULATION:	
A. PARKING SPACE REQUIRED:	81 SPACES
1. (24 UNITS x 2 SPACES/UNIT)	= 48 SPACES
2. (COMMUNITY BUILDING)	
(500 SQ.FT. x 10 SPACES PER 1,000 SQ. FT.) = 5 SPACES	
3. OVERFLOW VISITOR PARKING	
(24 UNITS x 0.5 SPACES/UNIT) = 9 SPACES	
B. PARKING SPACES PROVIDED:	113 SPACES
1. (24 UNITS x 4 (2 CAR GARAGE)	
(2 SPACES IN DRIVE)	= 96 SPACES
2. COMMUNITY BUILDING	= 5 SPACES
3. OVERFLOW VISITOR PARKING	= 12 SPACES

MAINTENANCE OF TRAFFIC NOTES (GUILFORD ROAD WATER LINE CONNECTION)	
1. DURING WORK HOURS, WHEN CONSTRUCTION IS TAKING PLACE, MAINTAIN TRAFFIC IN ACCORDANCE WITH THE FOLLOWING MSHA TRAFFIC CONTROL TYPICALS:	
GENERAL	MD 104.00-0
SHOULDER WORK	MD 104.02-02
LANE SHIFT RIGHT OR LEFT SIDE	MD 104.02-04
THE LATEST TYPICALS CAN BE FOUND AT THE MSHA WEBSITE - WWW.MSHA.LANDPROJETS.COM	
- BUSINESS STANDARDS AND SPECIFICATIONS	
- BOOK CATEGORY 1 PRELIMINARY	
NO WORK THAT WOULD REQUIRE A TRAFFIC LANE TO BE CLOSED ANY TAKE PLACE BETWEEN THE HOURS OF 7 AM TO 3 PM AND 3 PM TO 6 PM UNLESS PERMISSION IS GRANTED BY THE ENGINEER.	
ALL SIGNING, CHANNELIZING DEVICES AND OTHER TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.	
EXCAVATION ALONG THE ROAD EDGE NOT PROTECTED BY TEMPORARY TRAFFIC BARRIERS SHALL BE IN ACCORDANCE WITH THE MSHA STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES, STANDARD NO. 104.01-28 - STAGED ROADWAY CONSTRUCTION AND STANDARD NOS. 104.06-15 TO 104.06-19 - PAVEMENT EDGE DROP OFF.	
TRAVEL LANES SHALL BE A MINIMUM OF ELEVEN FEET IN WIDTH.	
ALL OPEN TRENCHES SHALL BE CLOSED AT THE END OF THE DAY IF STEEL PLATES ARE TO BE USED, APPROPRIATE ANCHORS AND SIGNING WILL BE REQUIRED.	
ALL SIGNS THAT DO NOT APPLY SHALL BE COMPLETELY COVERED, REMOVED OR RELOCATED AS DIRECTED BY THE ENGINEER.	
ACCESS SHALL BE PROVIDED TO ALL EXISTING DRIVEWAYS AT ALL TIMES.	
ALL CONSTRUCTION SIGNING SHALL BE IN ACCORDANCE WITH THE TYPICAL SIGN PLACEMENT SHOWN ON THE TYPICALS AND SHALL NOT OBSTRUCT EXISTING TRAFFIC CONTROL DEVICES.	
WHEN WORK NECESSITATES ONLY ONE LANE TO BE OPEN FLAGGERS AND THE APPROPRIATE SIGNING SHALL BE INSTALLED THE ROADWAY SHOULD BE REOPENED TO TWO LANES AT THE END OF EACH WORKDAY.	
TEMPORARY PAVEMENT MARKINGS ON FINAL PAVEMENT SURFACE SHALL BE REMOVABLE TAPE AND NOT PAINT.	



MINIMUM LOT SIZE CHART	
LOT No.	GROSS AREA
6	5,235 Sq.Ft.
7	2,986 Sq.Ft.
8	4,005 Sq.Ft.
11	3,558 Sq.Ft.
12	2,845 Sq.Ft.
13	4,003 Sq.Ft.
14	4,291 Sq.Ft.
15	3,451 Sq.Ft.
16	4,719 Sq.Ft.

MODERATE INCOME HOUSING UNITS (MIHU) ALLOCATION EXEMPTIONS TRACKING	
Total Number of Lots/Units Proposed	24
Number of MIHU Required	2.4
Number of MIHU Provided Onsite (except from APFO allocations)	0
Number of APFO Allocations Required (remaining lots/units)	23
MIHU Fee-in-Lieu (Indicate lot/unit numbers)	LOTS 1-24

**GENERAL NOTES**

- SUBJECT PROPERTY ZONED R-12 PER 10/06/13 COMPREHENSIVE ZONING PLAN AND IN ACCORDANCE WITH SECTION 131.0.1.1.1 OF THE ZONING REGULATIONS FOR CONDITIONAL USE FOR AGE-RESTRICTED ADULT HOUSING (BA-17-030C).
- THIS SUBDIVISION PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE 2013 ZONING REGULATIONS. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS OR PARCELS MUST COMPLY WITH SETBACKS AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF A SITE DEVELOPMENT PLAN.
- SITE ANALYSIS:
  - GROSS TRACT AREA = 4.81 AC +/-
  - LIMIT OF DISTURBANCE = 5.18 AC +/-
  - FLOODPLAIN AREA = 0 AC
  - STEEP SLOPES AREA = 0 AC
  - NET TRACT AREA = 4.81 AC
  - PROPERTY DEED REFERENCE LINES 10866 AT FOLD 96
  - MODERATE INCOME HOUSING UNITS REQUIRED = 3 MIHU (24 UNITS x 10% = 2.4 MIHU)
- EXISTING TOPOGRAPHIC INFORMATION SHOWN IS TAKEN FROM A FIELD RUN TOPOGRAPHIC SURVEY WITH (MAXIMUM TWO FOOT) CONTOUR INTERVALS PERFORMED ON OR ABOUT MAY, 2017 BY FISHER, COLLINS & CARTER, INC.
- BOUNDARY INFORMATION IS BASED ON A SURVEY PERFORMED ON OR ABOUT MAY, 2017 BY FISHER, COLLINS & CARTER, INC.
- COORDINATES BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL.
 


STATIONS NO. 4281 AND NO. 4282:	HOWARD COUNTY MONUMENT NO. 4281	N 546,820.227 FT	E 1,251,171.828 FT	ELEV. 375.806
	HOWARD COUNTY MONUMENT NO. 4282	N 546,946.793 FT	E 1,352,119.601 FT	ELEV. 331.466
- THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT AND PUBLIC WATER AND SEWER SHALL BE UTILIZED WITHIN THIS DEVELOPMENT.
  - PUBLIC SEWER FRONTAGE PROVIDED BY CONTRACT NO. 34-0911-D.
  - PUBLIC WATER SERVICE PROVIDED BY CONTRACT NO. 34-0911-D.
- THE TRAFFIC STUDY DATED JUNE, 2017 FOR THIS PROJECT WAS PREPARED BY THE MAAS GROUP AND APPROVED ON JUNE 25, 2019.
- STORMWATER MANAGEMENT SHALL BE PROVIDED IN ACCORDANCE WITH CHAPTER 5 OF THE MARYLAND DEPARTMENT OF ENVIRONMENT STORM WATER DESIGN MANUAL, VOLUMES 1 & 2, REVISED 2009. WE ARE PROVIDING STORM WATER MANAGEMENT BY THE USE OF ONE AREA OF (A-2) PERMEABLE PAVING, TWO (B-3) DOWELLS, THREE (B-4) PERMEABLE FACILITIES AND TWO (F-6) BIO-RETENTION FACILITIES TO MEET AND EXCEED THE REQUIRED 650 VOLUME. QUANTITY MANAGEMENT IS BEING PROVIDED.
- SEWER COLLECTION, SIGNING, LESS THAN THE ZONING REGULATION REQUIREMENTS, WILL BE MAINTAINED BY THE EDEN BROOK HOMEOWNERS ASSOCIATION, INC.
- NO CEMETERIES ARE LOCATED ON-SITE BASED ON THE HOWARD COUNTY CEMETERY INVENTORY MAP.
- B.L. DENOTES BUILDING RESTRICTION LINES.
- FOREST STAND DELINEATION AND A WETLAND REPORT DATED: 5/25/17 WERE PREPARED BY ECO-SCIENCE PROFESSIONALS INC. AND HAVE BEEN PROVIDED.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MIHU/MI) REQUIREMENTS:
  - WIDTH = 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE)
  - SURFACE = SIX (6) INCHES OF COMPACT GRANULAR BASE SAND WITH TAR AND CHIP COATING
  - GEOMETRY = MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45 TURNING RADII.
  - STRUCTURES (CULVERTS/SIDWALKS) CAPABLE OF SUPPORTING 25 GROSS TONS (125,000 LB)
  - DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
  - STRUCTURE CLEARANCE - MINIMUM 12 FEET.
  - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY HILIS CARNES, DATED FEBRUARY 16, 2019.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
- THIS PROJECT RECEIVED A POSITIVE REVIEW FROM THE HISTORIC PRESERVATION COMMISSION ON DECEMBER 7, 2017 AND HAD ADVISORY RECOMMENDATIONS TO ENHANCE WILDWOOD AS A DEVELOPMENT FOCUS POINT AND RECOMMENDED PETITIONER OBTAIN HISTORIC GRANT HOUSE.
- THERE IS A HISTORIC STRUCTURE WITHIN THE LIMITS OF THIS SUBDIVISION WHICH IS DESIGNATED AS HD-267 WILDWOOD IN THE HISTORIC INVENTORY OF HISTORIC PROPERTIES - HOWARD COUNTY. THIS STRUCTURE AND AN ASSOCIATED SHED/SHED ARE TO REMAIN. ALL OTHER ACCESSORY STRUCTURES ON SITE SHALL BE RAZED. NO NEW BUILDINGS, EXTENSIONS, OR ADDITIONS TO THE EXISTING STRUCTURES ARE TO BE CONSTRUCTED AT A DISTANCE LESS THAN THE ZONING REGULATION REQUIREMENTS.
- A PRE-SUBMISSION COMMUNITY MEETING WAS HELD ON MARCH 24, 2017 AT NEW HOPE LUTHERAN CHURCH, 8975 GUILFORD ROAD, COLUMBIA, MD 21046 FOR THIS PROJECT.
- THERE ARE NO WETLANDS, STREAMS, 100 YEAR FLOODPLAIN OR STEEP SLOPES WITH A CONTIGUOUS AREA GREATER THAN 20,000 SQUARE FEET LOCATED ON THIS PROPERTY. THERE ARE NO WETLANDS ON-SITE THAT WILL BE DISTURBED OR THAT WILL REQUIRE 401 AND 404 WETLANDS PERMITS FROM THE STATE OF MARYLAND.
- THIS SITE IS NOT ADJACENT TO A SCENIC ROAD.
- ALL LOT/PARCEL AREAS ARE HOSE OR LESS.
- DISTANCES SHOWN ARE BASED ON SURFACE MEASUREMENT AND NOT REDUCED TO MVD '93 GRID.
- THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS OTHERWISE HAVE BEEN NOTED.
- THE SWM FACILITIES LOCATED ON H.O.A. OPEN SPACE CHANGE ONLY ON SUPPLEMENTAL PLAN NOT SDP LOTS WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. ANY SWM FACILITY LOCATED ON A LOT WILL BE OWNED AND MAINTAINED BY THE OWNER OF THAT PARTICULAR LOT.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- SURVEY FOR 46 STREET TREES (18,000 AND 12 TRASH PUD SHRUBS (\$350) IN THE AMOUNT OF \$14,160 WILL BE PAID WITH THE DEPT. OF PUBLIC WORKS COST ESTIMATE UNDER THIS PLAN. (F-20-011)
- THE LANDSCAPING SURVEY TO BE PERFORMED BY THE DEVELOPER AGREEMENT (F-20-011) WILL BE \$49,500.00 FOR 125 SHADE TREES (\$37,500), 78 EVERGREENS (\$11,700) AND 10 SHRUBS (\$300).
- ANY ADDRESS RANGE SIGN SHALL BE PROVIDED FOR LOTS 6-8 AND 11-15 AT THE INTERSECTION OF WILDWOOD COURT AND THE LOT LOCATED AT THE INTERSECTION OF WILDWOOD COURT AND GUILFORD ROAD.
- ARTICLES OF INCORPORATION FOR THE EDEN BROOK HOMEOWNERS ASSOCIATION, INC. HAVE BEEN FILED WITH THE STATE DEPARTMENT OF ASSESSMENTS AND TAXATION ON JANUARY 17, 2020 WITH RECEIPT NO. 020216701.
- TRAFFIC CONTROL DEVICES:
  - (A) THE 81-1 (GATOR) SIGN AND THE STREET NAME SIGN (SMS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
  - (B) THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (F-20-011) BEFORE THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
  - (C) ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MSHA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  - (D) ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PREPARED GUNNITE, SQUARE TUBE POST (1.4 GAUGE) PATTERNED INTO 1/2" GALVANIZED STEEL, PREPARED SQUARE TUBE SLEEVE (1.6 GAUGE) - 3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO QUICK PUNCH HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- A NOISE STUDY IS NOT REQUIRED BECAUSE THE PROJECT DOES NOT FALL WITHIN THE GUIDELINES OF DESIGN MANUAL, VOLUME III, ROADS AND BRIDGES, SECTION 5.2, F.2.
- OPEN SPACE LOTS 25-27 WILL BE OWNED BY THE EDEN BROOK HOMEOWNERS ASSOCIATION, INC.
- ON OCTOBER 17, 2017, THIS PROJECT RECEIVED ENDORSEMENTS ON APPLICANT'S RESPONSE TO ALL DAP HOLDINGS FROM THE AUGUST 9, 2017 DAP MEETING.
- THIS PLAN IS SUBJECT TO DEVELOPMENT OF PLANNING AND ZONING CASE BA-17-030C FOR A CONDITIONAL USE TO CONSTRUCT A 24-UNIT AGE-RESTRICTED ADULT HOUSING GENERAL IN AN R-12 (RESIDENTIAL: SINGLE) ZONING DISTRICT PROVIDED HOWEVER THAT:
  - THIS CONDITIONAL USE SHALL BE CONDUCTED IN CONFORMANCE WITH AND SHALL APPLY ONLY TO THE PROPOSED AGE-RESTRICTED ADULT HOUSING DEVELOPMENT DESCRIBED IN THE PETITION AND NOT TO ANY STRUCTURES OR USES ON THE SITE OR ANY ADDITIONS THEREON.
  - PETITIONER SHALL RETAIN THE SMOKEHOUSE AND PUSH BACK LOTS 23 AND 24 FURTHER FROM THE ROAD TO OPEN VIEW FROM THE ROAD TO THE ROAD.
  - THE DWELLING DESIGN APPROVED IS THE SEPTEMBER 17, 2017 TOWNHOUSE ELEVATION PRESENTED TO DAP SHOWING OUTLOOK-LIKE TOWNHOUSES AND SUBMITTED WITH THE PETITION.
  - THE GAZEBO SHALL BE RELOCATED WITHIN THE AREA INDICATED BY THE OCCASIONAL SHARP WHERE THE CURB (EXHIBIT 2) NOTES APPEARS TO BE A BIO-RETENTION POND (IN THE GENERAL AREA OF AN EXISTING CHANGE PROPOSED TO BE RAZED). PETITIONER SHALL CONSULT WITH DPZ STAFF PRIOR TO ANY RELOCATION OF THE GAZEBO.
  - THE GAZEBO SHALL BE ACCESSIBLE TO PERSONS WITH MOBILITY OR FUNCTIONAL LIMITATIONS THROUGH A NO-STEP DESIGN AND SHALL HAVE PERMANENT SEATING AREAS, AS WELL AS SUFFICIENT AREA FOR SEVERAL PERSONS WITH MOBILITY OR FUNCTIONAL LIMITATIONS TO ACCOMMODATE ANY WALKING ASSISTANCE DEVICES.
  - ALL ROUTES BETWEEN PARKING AREAS, SIDEWALKS, DWELLING UNITS AND COMMON AREAS/ INCLUDING THE PROPOSED PATHWAYS/ SHALL BE ADA COMPLIANT.
  - PETITIONER SHALL EXTEND AND TIE IN THIS PROPOSED ON-SITE PATHWAY TO THE OFF-SITE COLUMBIA ASSOCIATION PATHWAY/SIDEWALK SYSTEM AND WORK WITH THE ASSOCIATION AND THE COUNTY TO BUILD A CROSSWALK FROM THE PATHWAY BETWEEN UNITS 10 AND 11 OVER EDEN BROOK DRIVE TO THE VILLAGE CENTER. PETITIONER SHALL OBTAIN ALL COLUMBIA ASSOCIATION APPROVALS, INCLUDING ALL NECESSARY EASEMENTS, ALL REQUIRED COLUMBIA ASSOCIATION APPROVALS, INCLUDING EASEMENTS, SHALL BE INCORPORATED INTO AND SHOWN ON THE SITE DEVELOPMENT PLAN.
  - PETITIONER IS RESPONSIBLE FOR MAKING ALL NECESSARY IMPROVEMENTS/MODIFICATIONS TO THESE PORTIONS OF THE COLUMBIA ASSOCIATION PATHWAY/SIDEWALK SYSTEM TO MEET CURRENT COUNTY AND ADA STANDARDS, AS INDICATED BY THE ARROW SHOWN ON THE CURB REPRODUCED ON PG. 17 OF THIS DECISION AND ORDER.
  - PETITIONER SHALL COMPLY WITH ALL AGENCY COMMENTS.
  - PETITIONER SHALL OBTAIN ALL REQUIRED PERMITS.
  - PETITIONER SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.

**GENERAL NOTES (CONT'D)**

- THIS PLAN IS SUBJECT TO WF-19-055 WHICH ON APRIL 4, 2019 THE PLANNING DIRECTOR APPROVED A REQUEST FOR AN ALTERNATIVE COMPLIANCE TO WAVE SECTION 16.120(C)(4) MIHU/MI PROVISIONS AND SECTION 16.120(A)(7) ON-SITE FOREST RESTORATION. THIS PLAN IS SUBJECT TO THE FOLLOWING CONDITIONS:
  - THE APPROVAL OF THIS ALTERNATIVE COMPLIANCE REQUEST APPLIES TO THE 18 SPECIMEN TREES AS SHOWN TO BE REMOVED ON THE PLAN. THE DEVELOPER SHALL INITIATE THE REMOVAL OF THE 18 SPECIMEN TREES BY PLANTING A MIX OF NATIVE SHADE TREES ON SITE AT A 2:1 RATIO, TOTALING 36 TREES. THE PLANTINGS SHALL HAVE A CALIPER OF NO LESS THAN 3" AND SHALL BE PLANTED WITHIN THE PROPOSED OPEN SPACE LOTS. THE LOCATIONS, SPECIES AND PLANTING SPECIFICATIONS WILL BE REVIEWED BY DPZ AS PART OF THE FINAL LANDSCAPING PLAN. THE ADDITIONAL TREES ON SP-18-003 AND ALL SUBSEQUENT SUBDIVISION AND DEVELOPMENT PLANS. THE TREES WILL BE BONDED ALONG WITH THE REQUIRED FERTILIZER LANDSCAPING AS PART OF THE FINAL SUBDIVISION PLAN.
  - THE PROPOSED PRIVATE STREET SHALL BE DESIGNED AND CONSTRUCTED TO PUBLIC ROAD STANDARDS IN ACCORDANCE WITH THE DESIGN MANUAL OR AS APPROVED BY THE DEVELOPMENT ENGINEERING DIVISION AND THE DEPARTMENT OF PUBLIC WORKS.
  - THE HOMEOWNERS ASSOCIATION SHALL OWN AND MAINTAIN THE PRIVATE STREET AND SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, TRASH COLLECTION AND SNOW REMOVAL.
  - THE PROPOSED RESIDENTIAL LOTS SHALL FRONT ON AND OBTAIN ACCESS FROM THE PRIVATE STREET. THE APPLICANT SHALL BE RESPONSIBLE FOR ESTABLISHING SAFE VEHICULAR ACCESS TO ALL RESIDENTIAL LOTS.
  - SEWERAGES AND STREET TREES SHALL BE PROVIDED ALONG THE PRIVATE STREET IN ACCORDANCE WITH SECTIONS 16.124 AND 16.134 OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL.
  - STREET LIGHT PLACEMENT, FIXTURES, AND POLE TYPES SHALL ADHERE TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (2006), SECTION 9.5.5. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
  - IN ACCORDANCE WITH SECTION 12B.02 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 18 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO THE FRONT DEAR VADO SETBACKS.
  - EXISTING UTILITIES ARE BASED ON WATER AND SEWER CONTRACT DRAWINGS; CONT. NO. 44-1576 AND CONT. NO. 34-0911-D RESPECTIVELY. EXISTING STORM DRAIN SYSTEMS SHOWN ARE BASED ON F-PLANS ON FILE AT HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
  - THE COMMUNITY CENTER SIZE HAS BEEN SHOWN AS 1,257 SQUARE FEET TO REFLECT THE DECISION & ORDER FOR BA-17-030C. THE REQUIRED FLOOR AREA FOR THIS PROJECT IS 500 SQUARE FEET IN ACCORDANCE WITH SECTION 131.0.1.1.1 OF THE ZONING REGULATIONS. THE INTENTION IS TO PRESERVE AND ADAPT THE WILDWOOD HOUSE TO MEET THE COMMUNITY CENTER REQUIREMENTS WHICH WILL INCLUDE AN EXTENSIVE ARCHITECTURAL STUDY AS PART OF THE SITE DEVELOPMENT PLAN STAGE FOR THIS PROJECT. THE FINAL SQUARE FOOTAGE PROVIDED WILL BE DETERMINED AT THAT TIME.
  - THIS PLAN IS SUBJECT TO A DESIGN MANUAL WATER APPROVED ON APRIL 26, 2019 BY DEVELOPMENT ENGINEERING DIVISION THAT REQUIRES A WAVE TO DESIGN MANUAL, VOLUME III, SECTION 2.5.3.1, TABLE 2.07 TO ALLOW 330' (LESS THAN REQUIRED MINIMUM 500') OF INTERSECTION SPACING MEASURED ALONG THE THROUGH ROADWAY (GUILFORD ROAD) BETWEEN THE CENTERLINE OF THE INTERSECTION ROADWAYS SUBJECT TO THE FOLLOWING:
    - ADEQUATE INTERSECTION SIGHT DISTANCE SHALL BE PROVIDED FOR THE PROPOSED ACCESS AT GUILFORD ROAD.
    - PRIOR TO FINAL SUBDIVISION ACCEPTANCE (AFTER CONSTRUCTION IS COMPLETE), IT IS A REQUIREMENT THAT TRAFFIC ENGINEERING REVIEW THE PROPOSED EMBANKMENT GRADING TO INSURE ADEQUATE SIGHT DISTANCE HAS BEEN PROVIDED.
  - SUBDIVISION IS SUBJECT TO SECTION 13.402(c)(e) OF THE HOWARD COUNTY CODE AND SECTION 131.0.1.1.1.4 OF THE ZONING REGULATIONS. AT LEAST 10% OF THE DWELLING UNITS SHALL BE MODERATE INCOME HOUSING UNITS (MIHU) OR AN ALTERNATIVE COMPLIANCE WILL BE PROVIDED. THE DEVELOPER SHALL EXECUTE A MIHU AGREEMENT WITH THE DEPARTMENT OF HOUSING TO INDICATE HOW THE MIHU REQUIREMENT WILL BE MET. THE MIHU AGREEMENT WILL BE RECORDED SIMULTANEOUSLY WITH THE PLAN IN THE LAND RECORDS OFFICE OF HOWARD COUNTY, MARYLAND. THIS DEVELOPMENT WILL MEET MIHU ALTERNATIVE COMPLIANCE BY A PAYMENT OF A FEE-IN-LIEU TO THE DEPARTMENT OF HOUSING FOR EACH REQUIRED UNIT:
    - MIHU REQUIRED = (24 LOTS x 10%) = 2.4 MIHU.
    - MIHU PROVIDED = DEVELOPER WILL PURSUE ALTERNATIVE COMPLIANCE BY PAYING A FEE-IN-LIEU TO THE HOWARD COUNTY DEPARTMENT FOR THE UNITS REQUIRED BY THE DEVELOPMENT.
    - EXECUTED MIHU AGREEMENT WITH THE HOWARD COUNTY HOUSING DEPARTMENT HAS BEEN COMPLETED AND RECORDED SIMULTANEOUSLY WITH THE PLAN.
  - THE FOREST CONSERVATION REQUIREMENTS FOR THIS SUBDIVISION FOR 0.70 ACRES OF REFORESTATION WILL BE FULFILLED BY OFF-SITE RETENTION OF 1.40 ACRES ON A TREE BANK, 809-14-009, ENTITLED "PARCEL 2, PROPERTY OF FOREVER-A-PARK, LLC, TAX MAP 13, TAX PARCEL 2, THERE IS NO SURETY BECAUSE THIS IS AN APPROVED SITE DEVELOPMENT PLAN-TREE BANK.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
  - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
  - THE CONTRACTOR SHALL NOTIFY "MSS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
  - TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
  - ALL ON-SITE PATHWAYS AND THE OFF-SITE COLUMBIA ASSOCIATION PATHWAY ARE ADA-COMPLIANT PER BA-17-030C.

**AS-BUILT CERTIFICATION**

I hereby certify, by my seal, that to the best of my knowledge and belief, the information shown on this plan was correctly as shown on this "AS-BUILT" plan meet the approved plans and specifications.


  
 Aldo Michael Vitucci #20746  
 Date: 9/25/22

TITLE SHEET  
**EDEN BROOK**  
LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27  
(AGE-RESTRICTED ADULT HOUSING)  
(BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)  
LIBER 18866 AT FOLIO 96  
TAX MAP NO. 42 GRID NO. 7 PARCEL NO. 269 ZONED R-12  
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: APRIL, 2020  
SHEET 1 OF 19

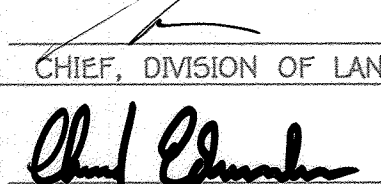


**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/17/21.

  
 FRANK MANALANG II  
 Date: 4/21/20

APPROVED: DEPARTMENT OF PLANNING AND ZONING

  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 Date: 5/18/22  
 Date: 5-6-20

FOR ADDITIONAL TRAFFIC CONTROL DETAILS SEE SHEET NO. 3

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL OFFICE: PARK - 10772 BALDORNE NATIONAL PIKE  
 ELKridge, MARYLAND 21095  
 (410) 461 - 2095

<b>Owner</b>	<b>Developer</b>
ENLH, LLC C/O H & H ROCK COMPANIES 6800 DEERPATH ROAD #100 ELKridge, MARYLAND 21075 Ph: 410-567-1045	ROCK REALTY, LLC C/O H & H ROCK COMPANIES 6800 DEERPATH ROAD #100 ELKridge, MARYLAND 21075 Ph:





Specimen Tree Chart

Key (ST#)	Species	Size (in.dbh)	CRZ (feet radius)	Comments
1	White oak	54	81	
2	White oak	40.5	60.75	fair, trimmed
3	Hemlock	31.5	47.25	fair, one sided due to shading
4	Pignut hickory	40	60	
5	White oak	36.5	54.75	
6	White oak	40.5	60.75	fair, some rot noted
7	White oak	38.5	57.75	fair, limb damage noted
8	White oak	39	58.5	
9	White oak	49	73.5	very poor, major trunk rot
10	Norway maple	41	61.5	fair, not native
11	Sycamore	31	46.5	fair, some rot noted, limited crown
12	White oak	35.5	53.25	
13	American Beech	34	51	
14	White oak	40	60	fair, one sided canopy
15	White oak	40.5	60.75	fair, one sided canopy
16	White oak	34	51	fair, one sided canopy
17	White pine	33.5	50.25	
18	White oak	43	64.5	

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING 2' CONTOURS
	EXISTING 10' CONTOURS
	PROPOSED CONTOUR
	SPOT ELEVATION
	HIGH POINT
	SOILS LINES AND TYPE
	PROPOSED TREELINE
	EXISTING TREELINE
	EXISTING TREES & SHRUBS
	EXISTING TREES & SHRUBS (TO BE REMOVED)
	TO BE REMOVED OR RELOCATED
	EXISTING FENCE LINE
	EXISTING PAVING
	PROPOSED PAVING
	PUBLIC SEWER, WATER & UTILITY EASEMENT
	LIMITS OF DISTURBANCE
	FOREST/VEGETATION TO BE REMOVED
	DRIVE/BUILDINGS TO BE REMOVED

SOILS LEGEND			
SOIL	NAME	CLASS	K-VALUE
GhB	Glenn-Urban land complex, 0 to 8 percent slopes	B	0.28
GhC	Glenn-Urban land complex, 8 to 15 percent slopes	C	0.32

SOILS BOUNDARIES ARE BASED ON WEBSOIL SURVEY

**AS-BUILT CERTIFICATION**  
 I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on the plan was constructed as shown on this "AS-BUILT" plan meet the approved plans and specifications.

*Aldo Michael Vitucci*  
 ALDO MICHAEL VITUCCI #20748  
 Date: 9/22/22

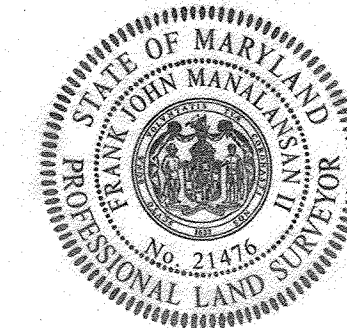
**EXISTING CONDITIONS, SOILS AND DEMOLITION PLAN**  
**EDEN BROOK**  
 LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27  
 (AGE-RESTRICTED ADULT HOUSING)  
 (BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)  
 LIBER 18868 AT FOLIO 96)  
 TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12  
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: APRIL 2020  
 SHEET 2 OF 19

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 5/16/22  
 DATE: 5-6-20

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SERVICE OFFICE: PARK - 10772 BALTIMORE NATIONAL PLACE  
 GAITHERSBURG, MARYLAND 21078  
 (410) 461-2095

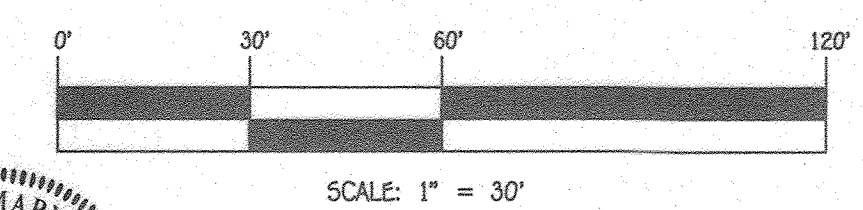
**Owner**  
 ENLN, LLC  
 C/O H & H ROCK COMPANIES  
 6800 DEERPATH ROAD #100  
 ELK RIDGE, MARYLAND 21075  
 PH# 410-567-1045

**Developer**  
 ROCK REALTY, LLC  
 C/O H & H ROCK COMPANIES  
 6800 DEERPATH ROAD #100  
 ELK RIDGE, MARYLAND 21075  
 PH# 410-567-1045



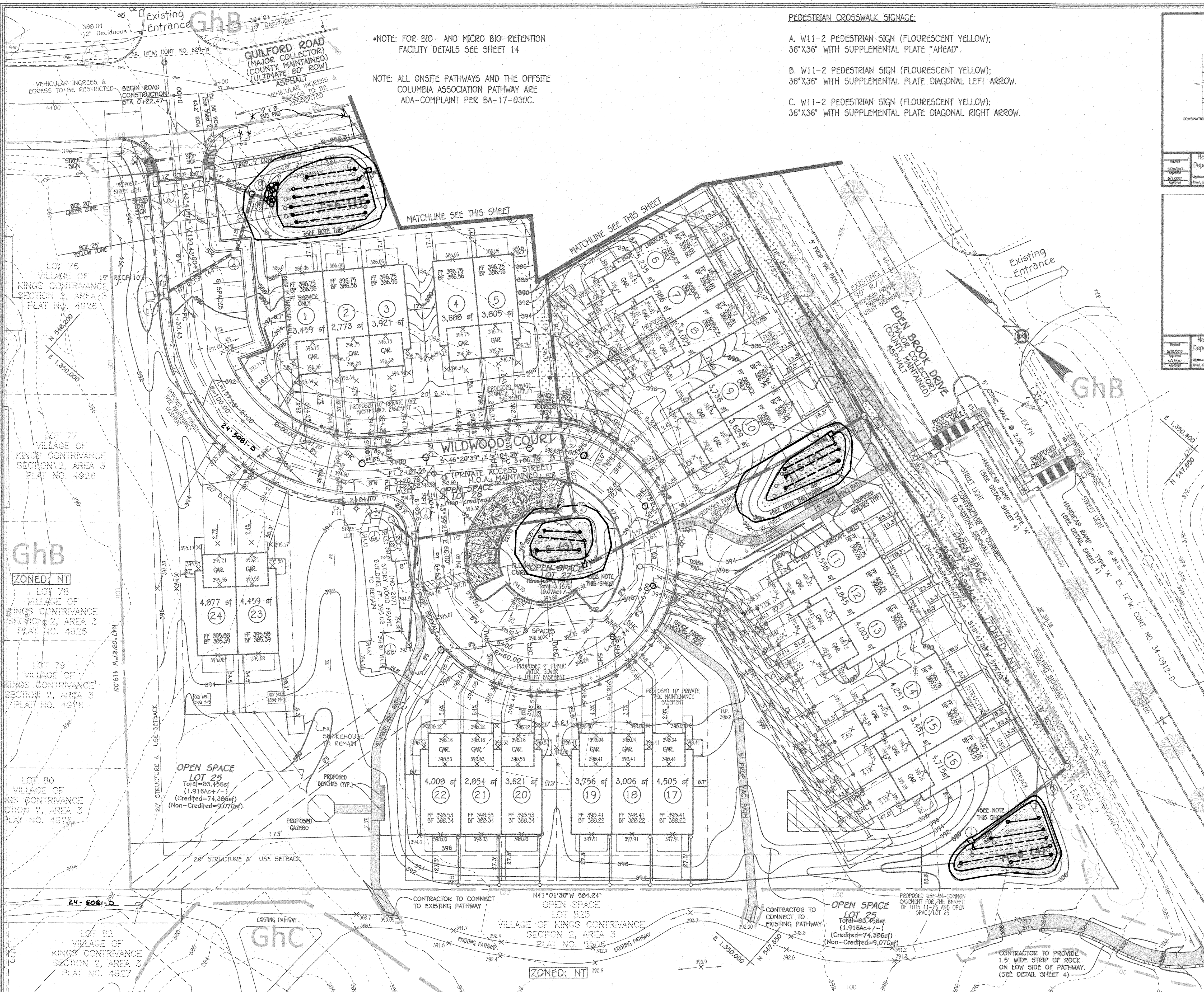
**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/21.

*Frank Manalang II*  
 FRANK MANALANG II  
 DATE: 4/21/20



"AS-BUILT"





\*NOTE: FOR BIO- AND MICRO BIO-RETENTION FACILITY DETAILS SEE SHEET 14

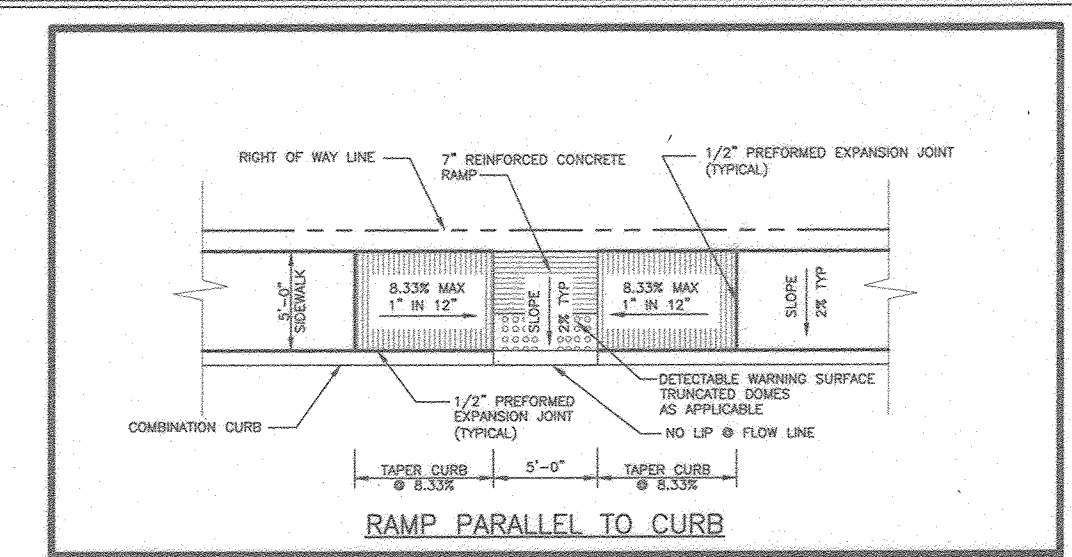
NOTE: ALL ONSITE PATHWAYS AND THE OFFSITE COLUMBIA ASSOCIATION PATHWAY ARE ADA-COMPLIANT PER BA-17-030C.

PEDESTRIAN CROSSWALK SIGNAGE:

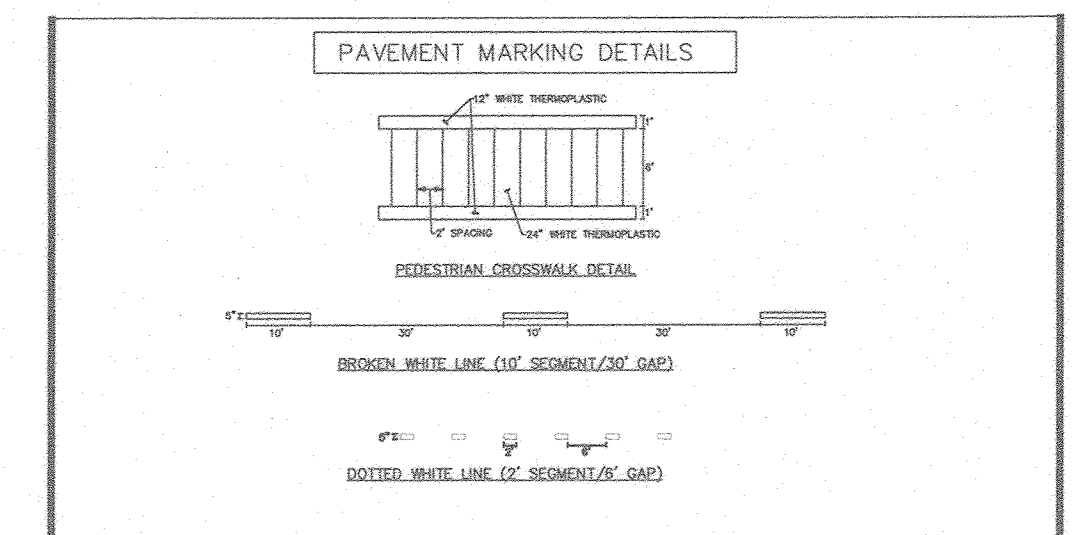
A. W11-2 PEDESTRIAN SIGN (FLOURESCENT YELLOW); 36"X36" WITH SUPPLEMENTAL PLATE "AHEAD".

B. W11-2 PEDESTRIAN SIGN (FLOURESCENT YELLOW); 36"X36" WITH SUPPLEMENTAL PLATE DIAGONAL LEFT ARROW.

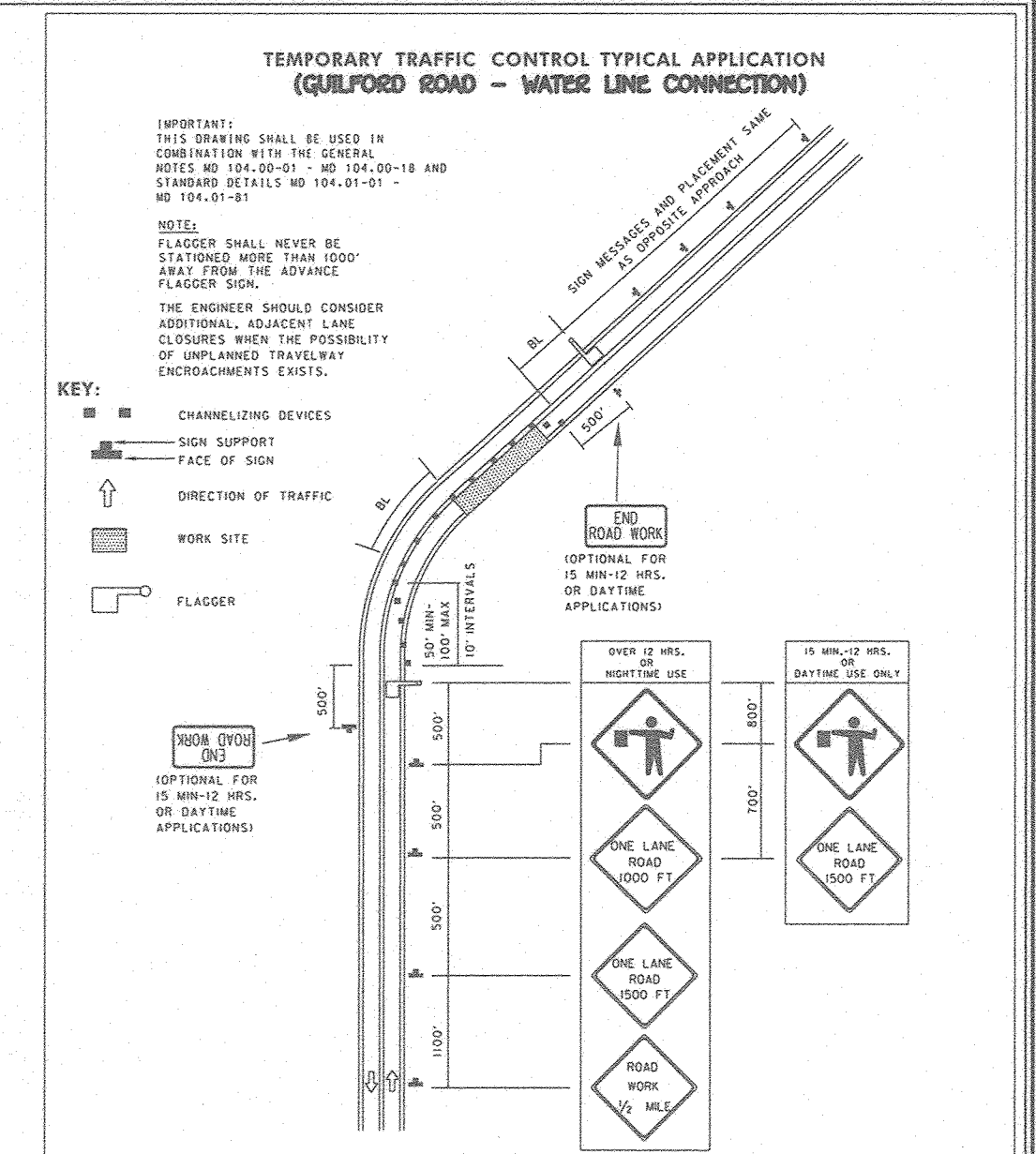
C. W11-2 PEDESTRIAN SIGN (FLOURESCENT YELLOW); 36"X36" WITH SUPPLEMENTAL PLATE DIAGONAL RIGHT ARROW.



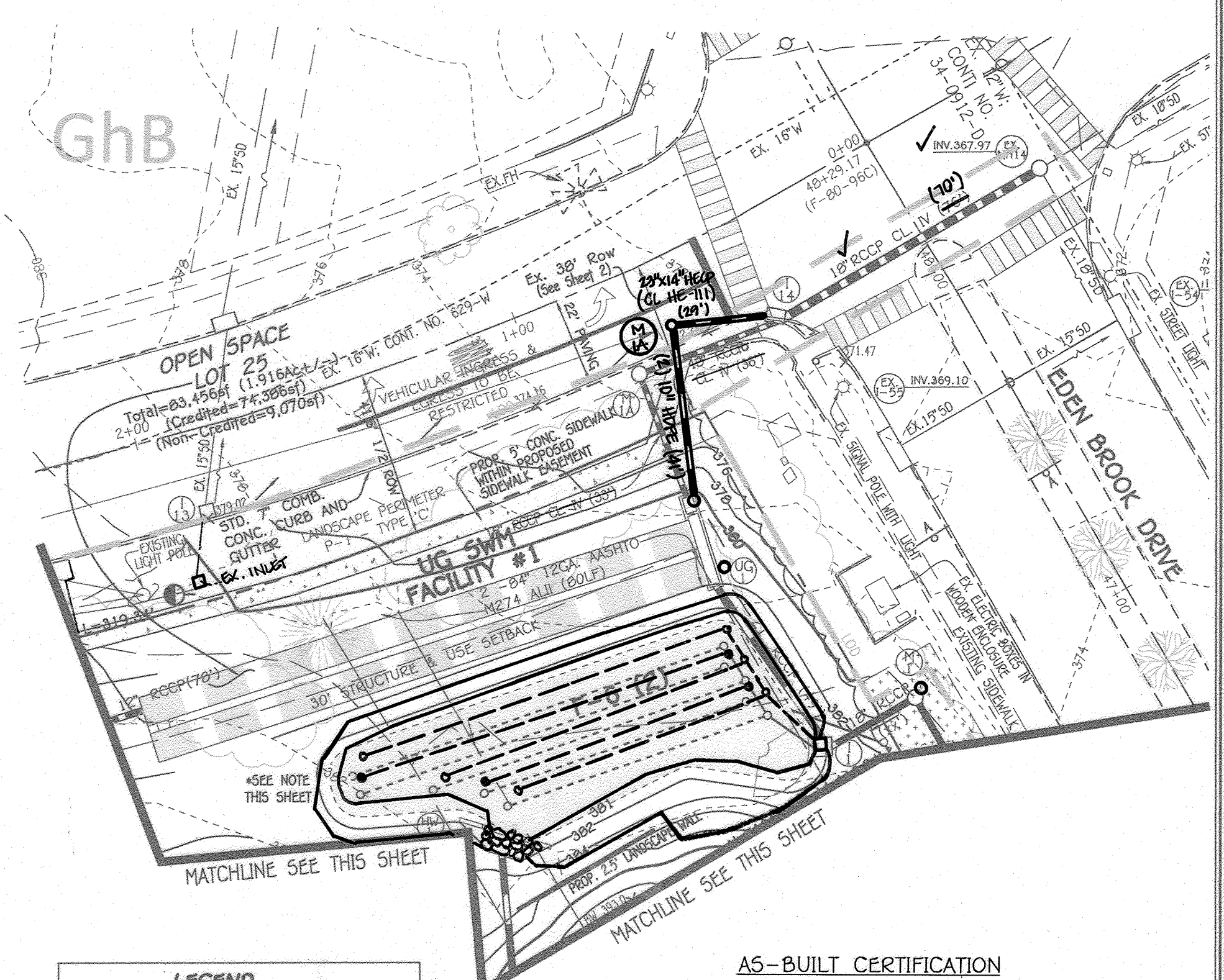
Howard County, Maryland  
Department of Public Works  
Sidewalk Ramp  
Layout & Grading  
Parallel to Curb & Thru Median  
Detail  
R-4.06



Howard County, Maryland  
Department of Public Works  
Signing and Marking Details  
Detail  
T-7.03



Maryland Department of Transportation  
STATE HIGHWAY ADMINISTRATION  
STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES  
FLAGGING OPERATION/2-LANE, 2-WAY  
EQ/LESS THAN 40 MPH  
STANDARD NO. MD 104.02-10



**LEGEND**

SYMBOL	DESCRIPTION
---	EXISTING 2' CONTOURS
---	EXISTING 10' CONTOURS
---	PROPOSED CONTOUR
+	SPOT ELEVATION
H.P.	HIGH POINT
---	SOILS LINES AND TYPE
---	PROPOSED TREELINE
---	EXISTING TREELINE
---	EXISTING TREES & SHRUBS
---	EXISTING TREES & SHRUBS (TO BE REMOVED)
T.B.R.	TO BE REMOVED OR RELOCATED
---	EXISTING FENCE LINE
---	EXISTING PAVING
---	PROPOSED PAVING
---	PUBLIC SEWER, WATER & UTILITY EASEMENT
---	LIMITS OF DISTURBANCE
---	CREDITED OPEN SPACE
---	USE-IN-COMMON ACCESS EASEMENT
---	SUPER SILT FENCE
---	PROPOSED SWM BORING LOCATION
---	PRIVATE DRAINAGE AND UTILITY EASEMENT

**A5-BUILT CERTIFICATION**

I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on the plan was constructed as shown on this "A5-BUILT" plan meet the approved plans and specifications.

*Alto Michael Vitucci*  
ALDO MICHAEL VITUCCI #20740  
PROFESSIONAL ENGINEER

**SUPPLEMENTAL PLAN**  
**EDEN BROOK**  
LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27  
(AGE-RESTRICTED ADULT HOUSING)  
(BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)  
LIBER 10060 @ FOLIO 96)  
TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12  
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: APRIL, 2020  
SHEET 3 OF 19

NOTE: TREES WITHIN CA PROPERTY DAMAGED OR REMOVED DURING PATHWAY CONSTRUCTION ARE TO BE REPLACED AT A 2:1 RATIO.

REPLACED TREES:  
EVERGREENS: 0 FT.  
SHADE: 2.5" CALIPER

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/21.

*Frank Manalansan II*  
FRANK MANALANSAN II  
4/21/20  
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*5/16/20*  
DATE

CHIEF, DIVISION OF LAND DEVELOPMENT

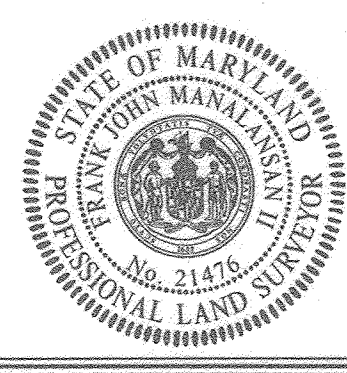
*5-6-20*  
DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL OFFICE: 10772 BALDWIN ROAD, NATIONAL PIKE  
ELK RIDGE, MARYLAND 21075  
(410) 461-2099

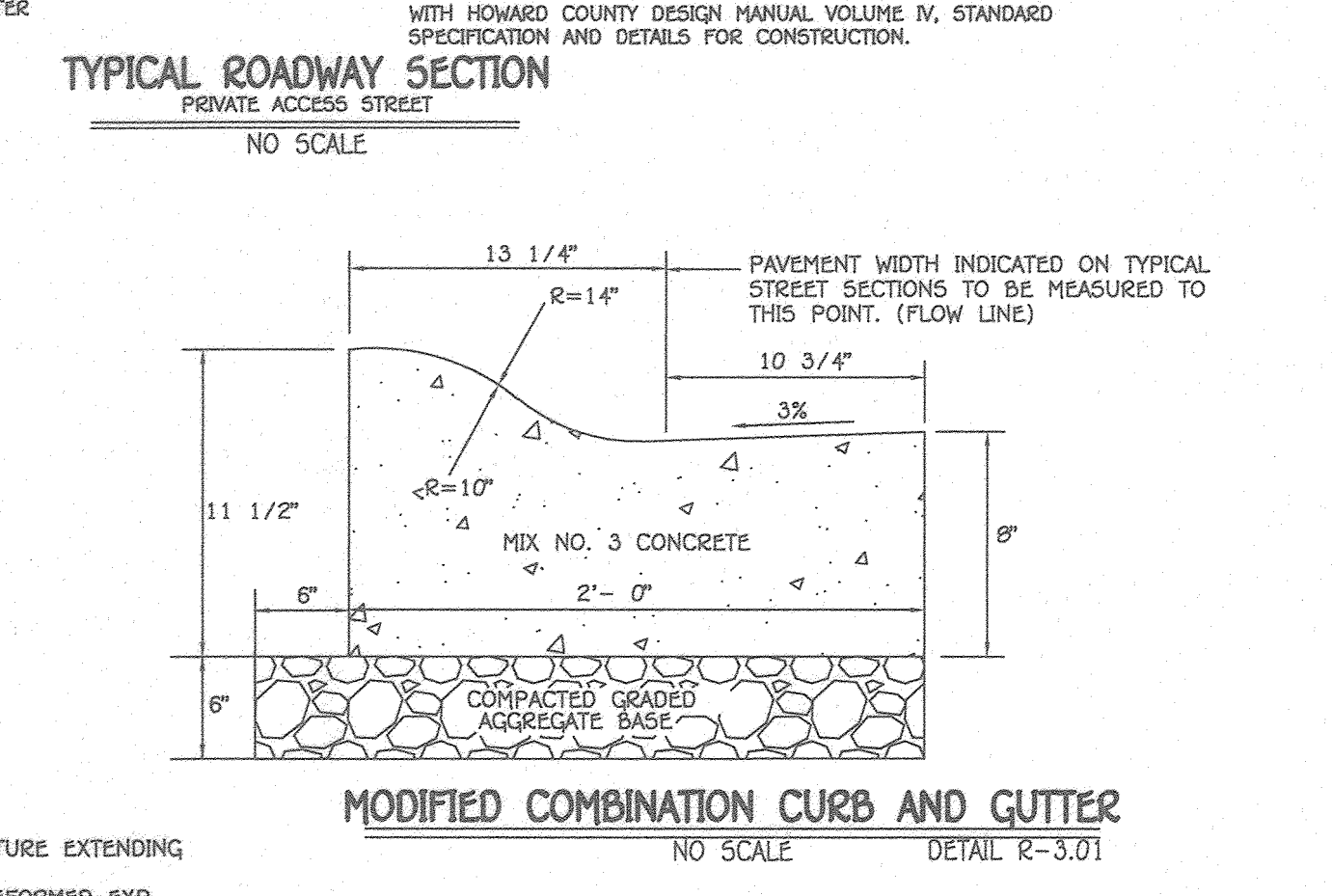
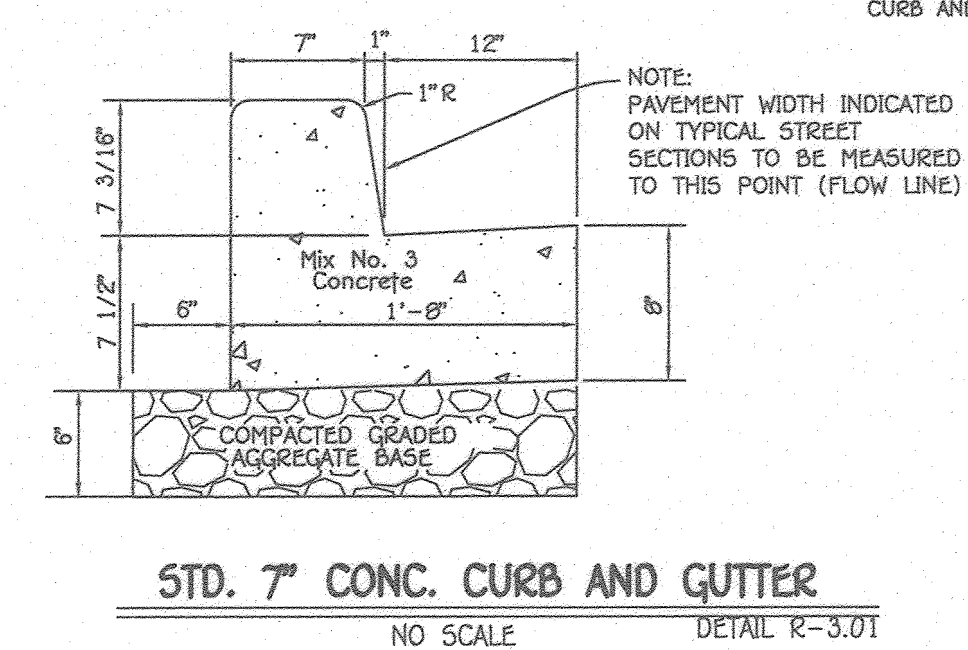
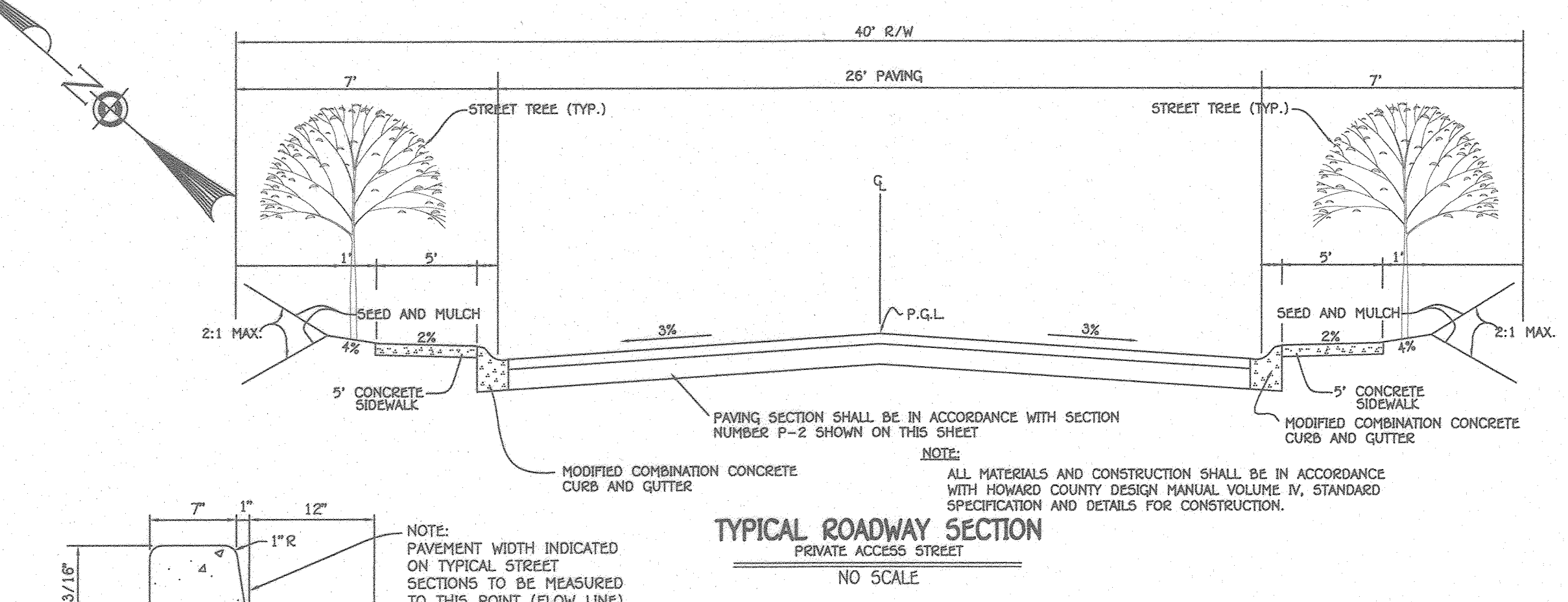
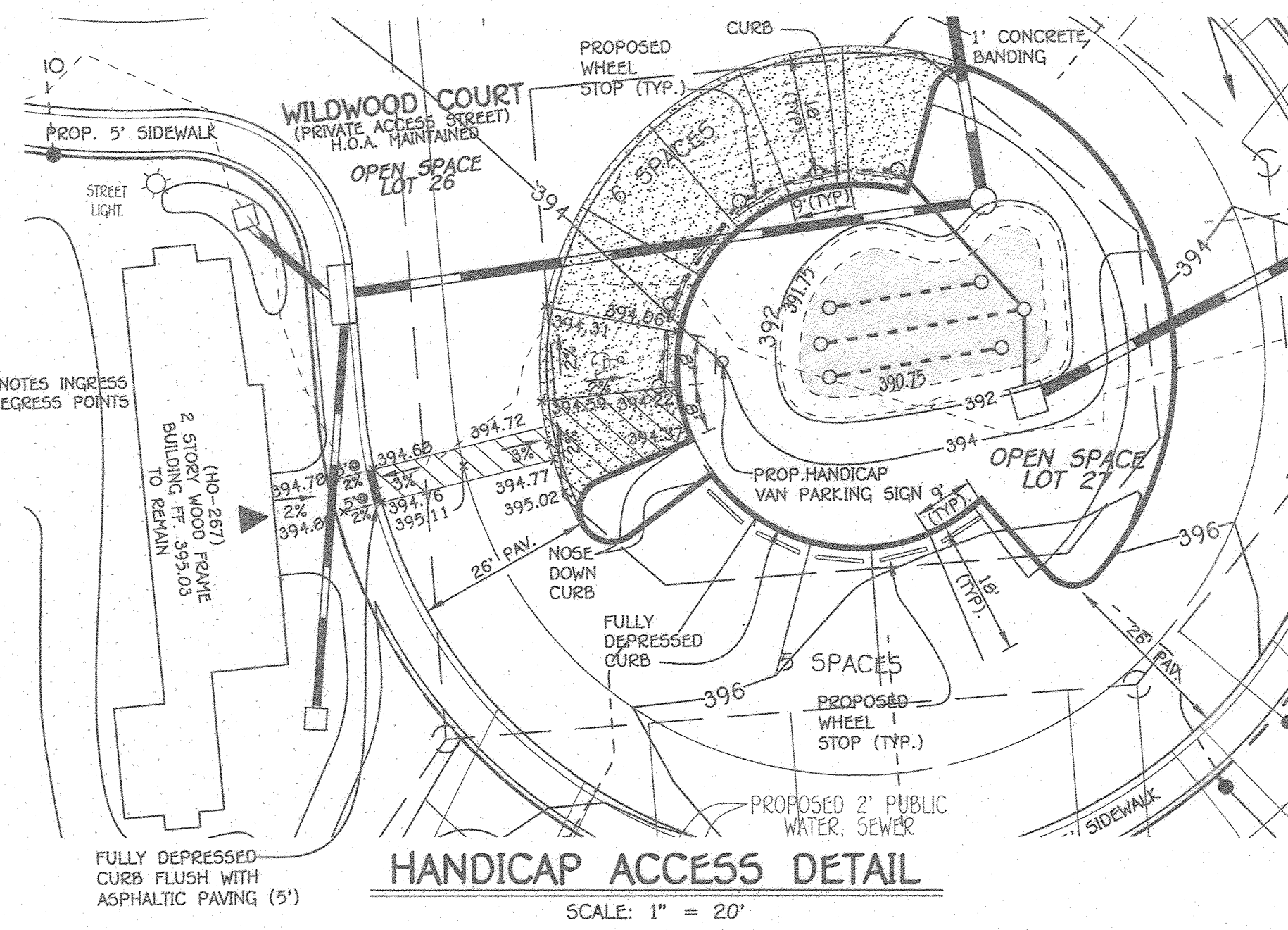
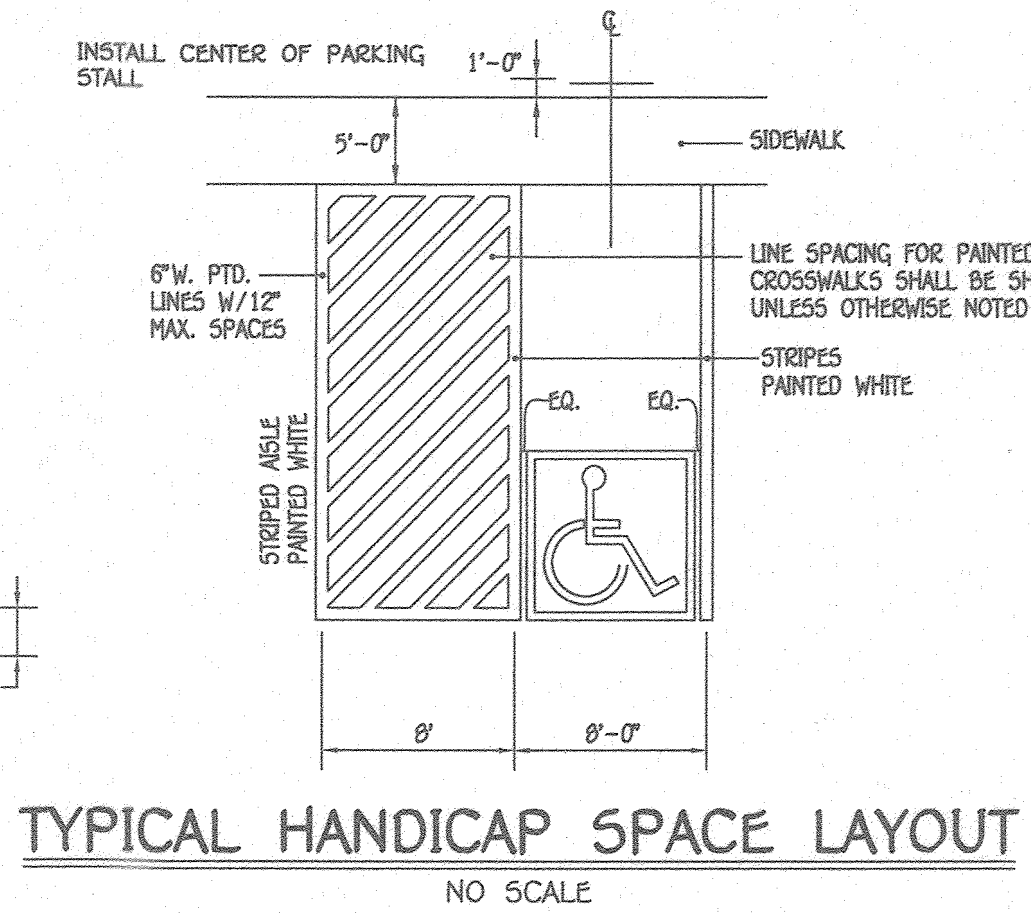
**Owner**  
ENX, LLC  
C/O H & H ROCK COMPANIES  
6800 DEERPATH ROAD #100  
ELK RIDGE, MARYLAND 21075  
PH: 410-567-1045

**Developer**  
ROCK REALTY, LLC  
C/O H & H ROCK COMPANIES  
6800 DEERPATH ROAD #100  
ELK RIDGE, MARYLAND 21075  
PH: 410-567-1045



"A5-BUILT"

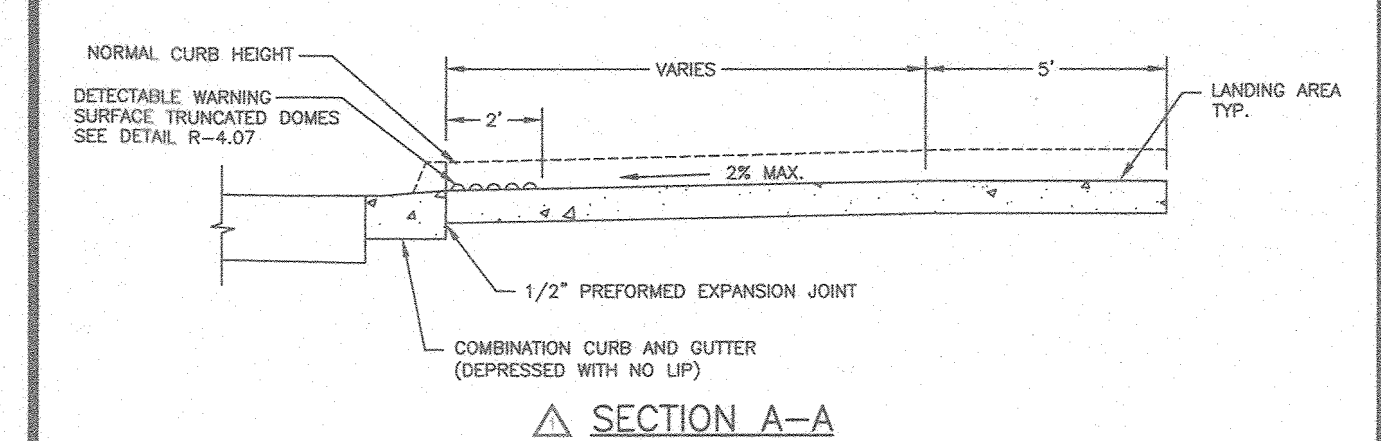
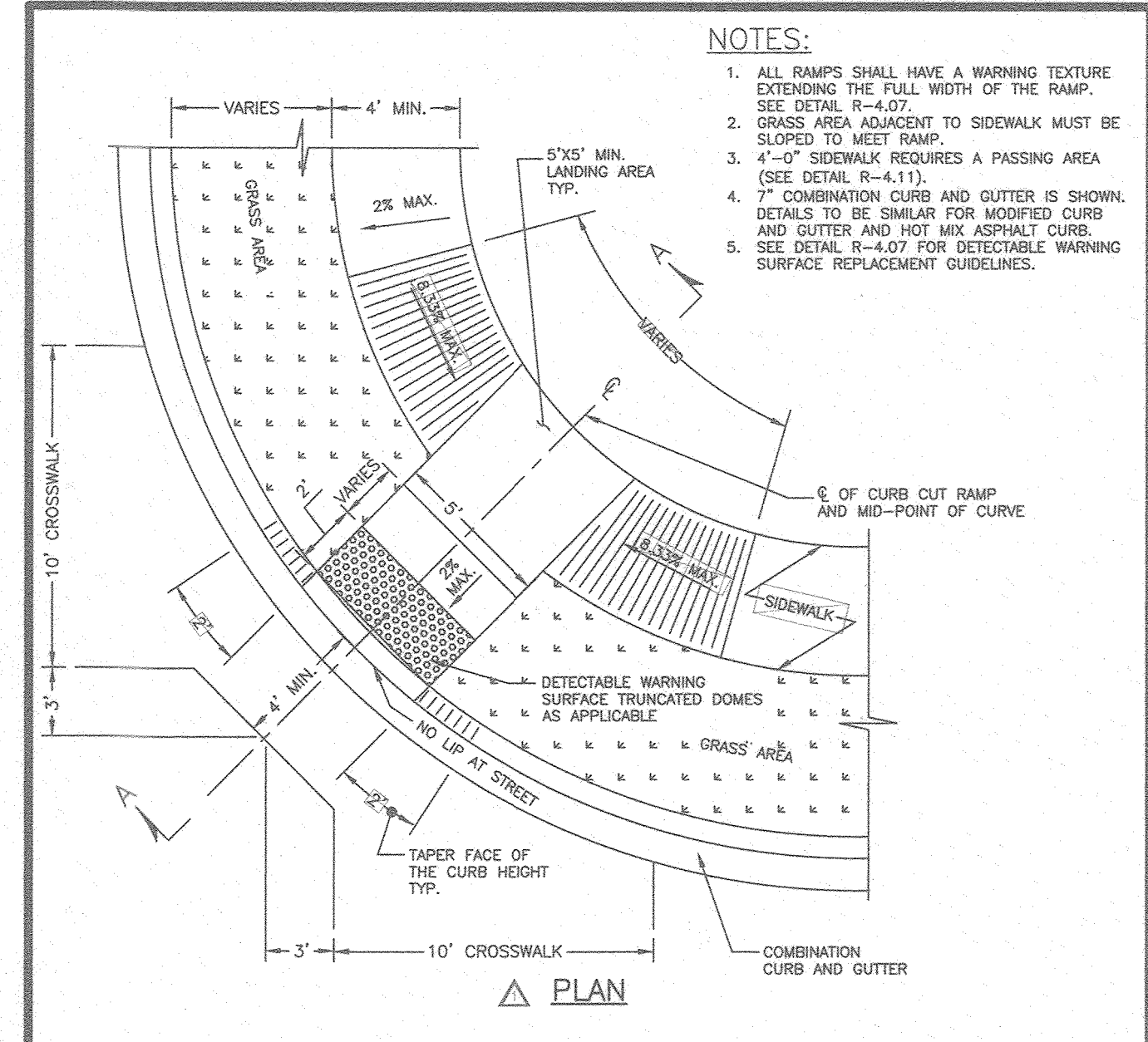
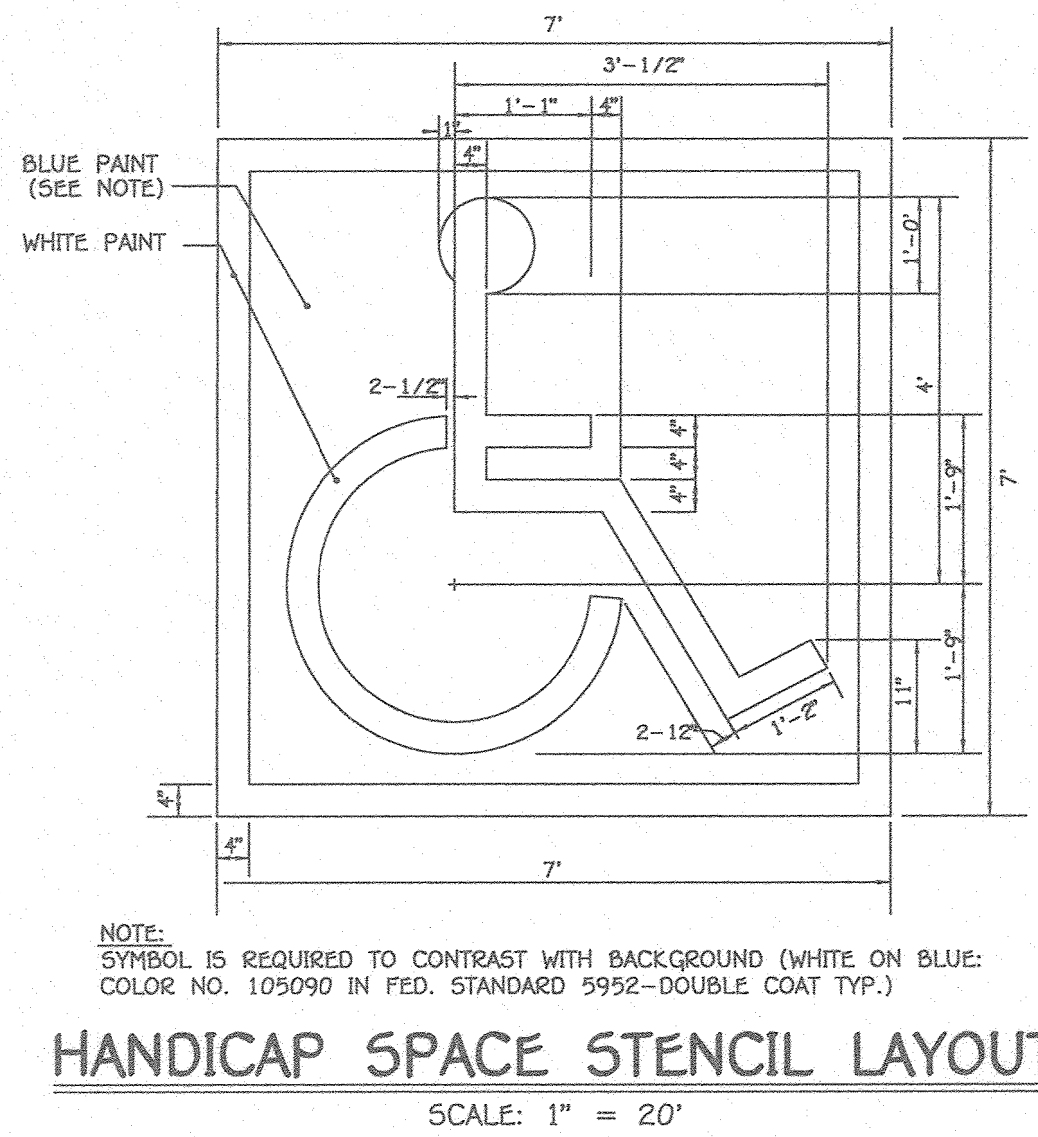




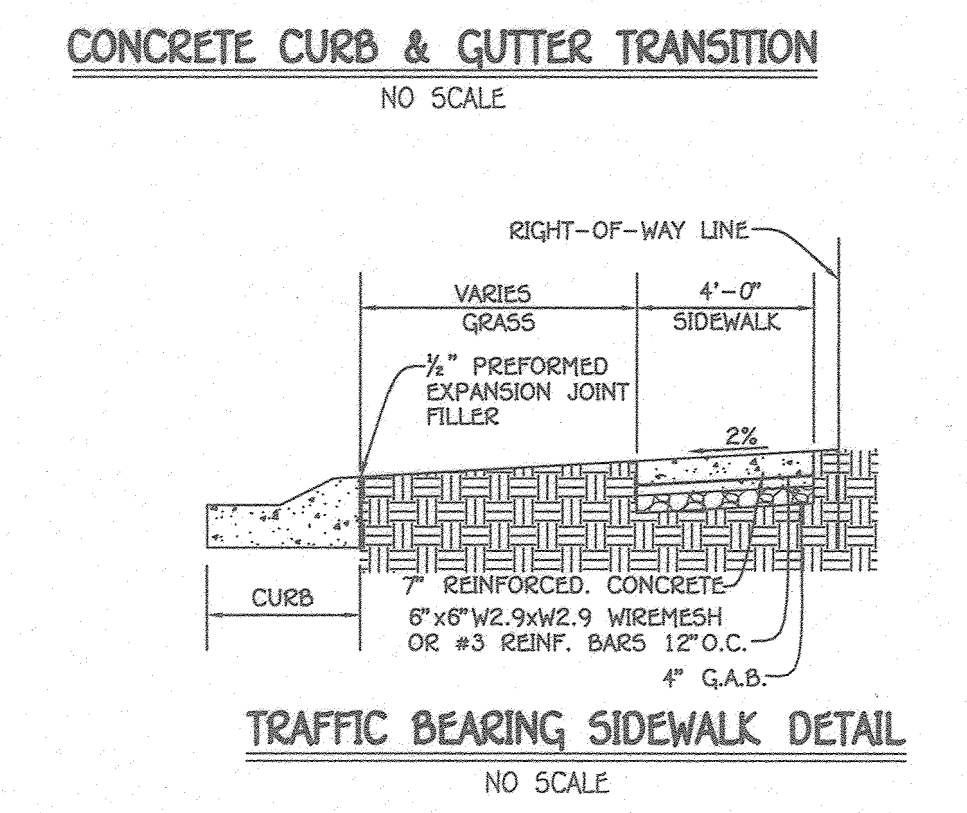
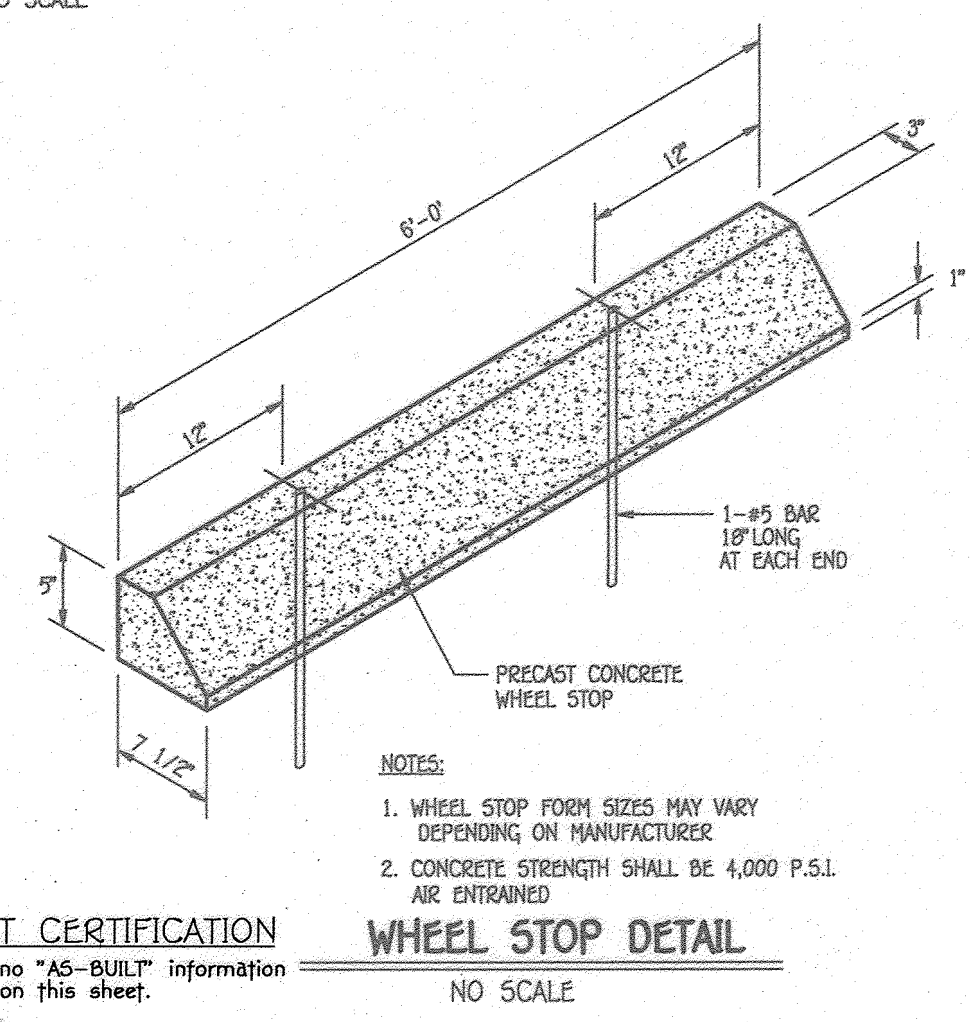
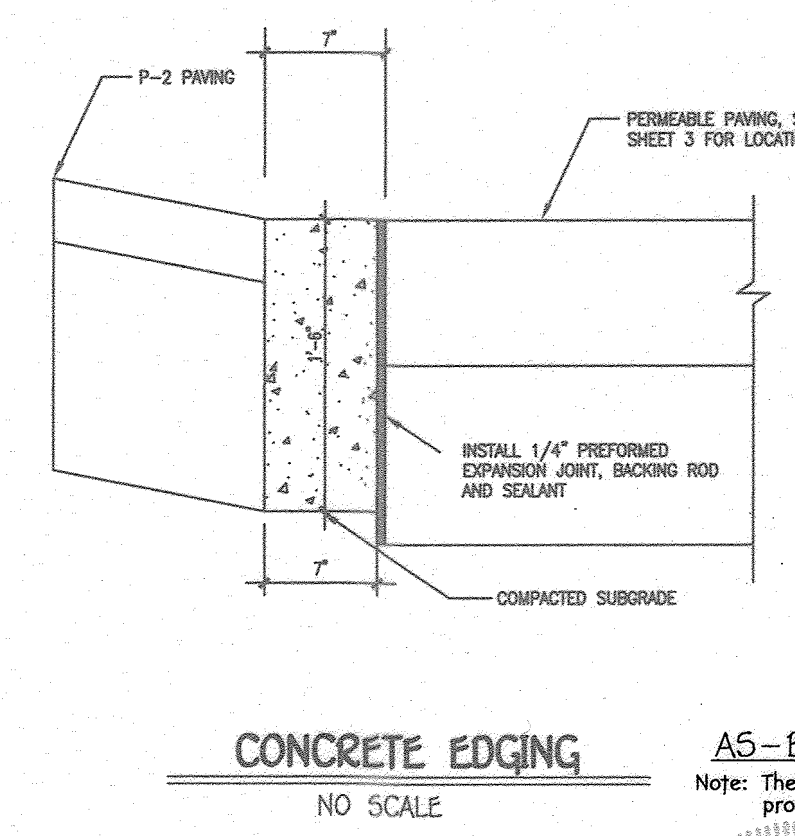
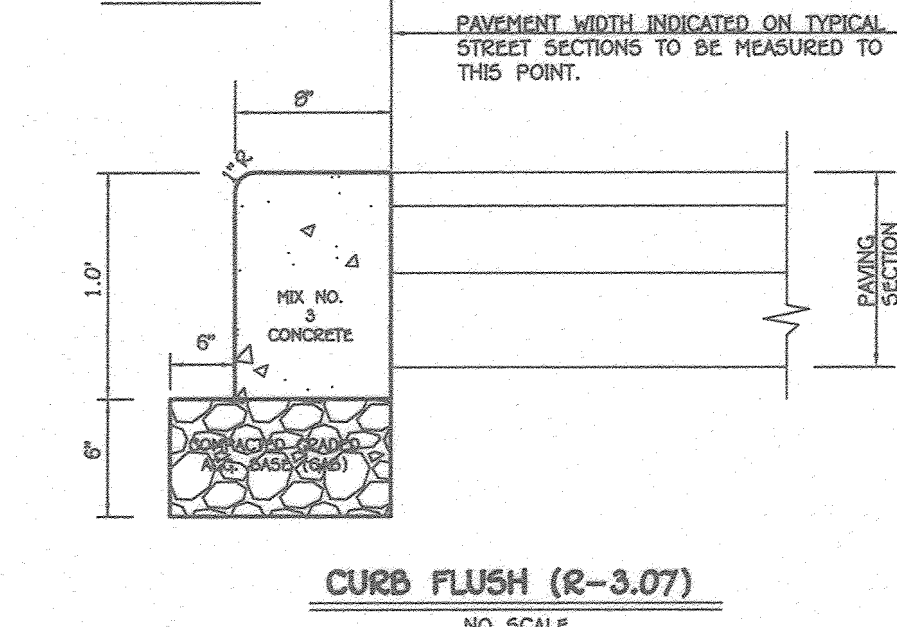
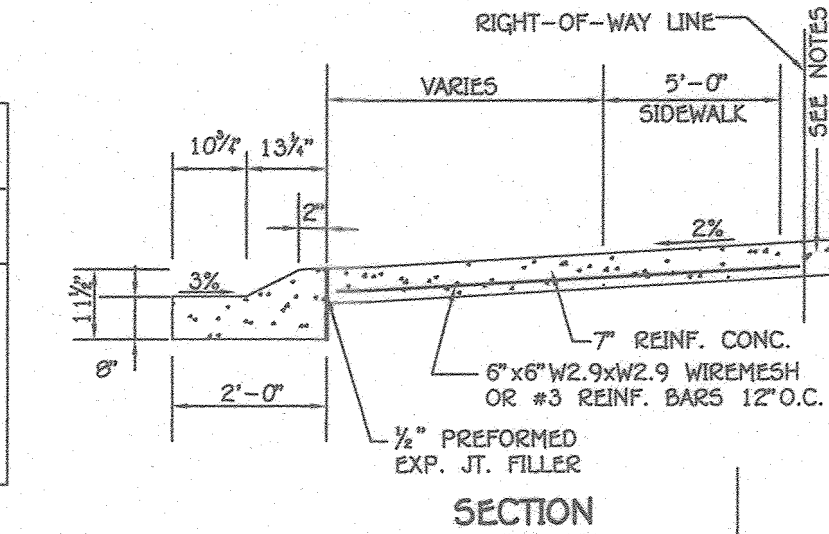
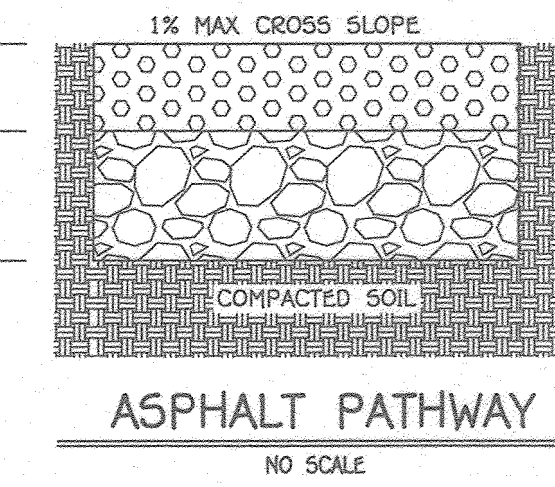
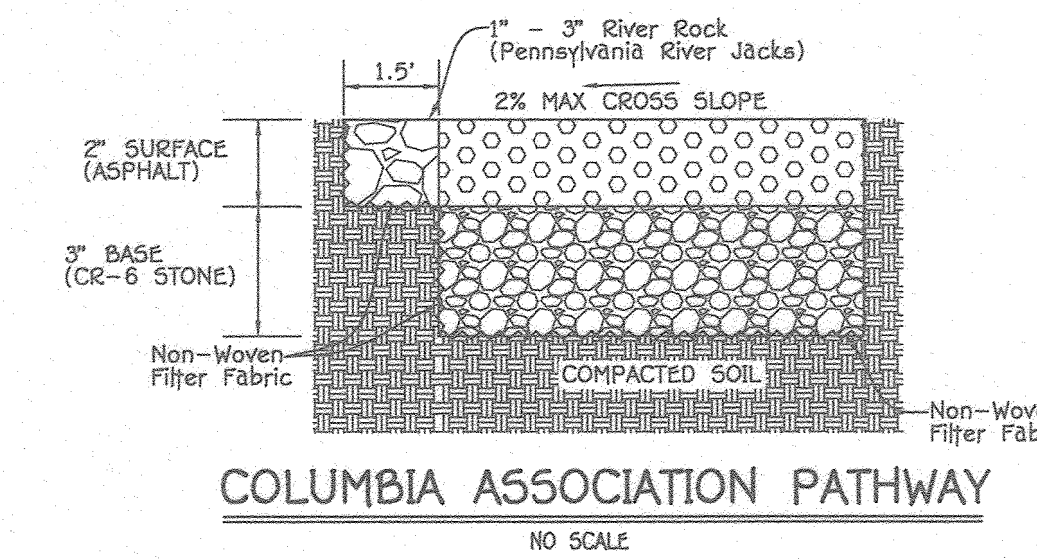
SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	DETAIL R-2.01			
			3 TO <5	5 TO <7	7	>7
P-2	PARKING DRIVE AISLES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM, PG 64-225, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5
		SUPERPAVE ASPHALT MIX INTERMEDIATE SURFACE 9.5 MM, PG 64-225, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5
		SUPERPAVE ASPHALT MIX BASE 19.0 MM, PG 64-225, LEVEL 1 (ESAL)	2.0	2.0	3.5	2.0
LOCAL ROADS: ACCESS PLACE, ACCESS STREET	CUL-DE-SACS: RESIDENTIAL	SUPERPAVE ASPHALT MIX FINAL SURFACE 9.5 MM, PG 64-225, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5
		GRADED AGGREGATE BASE (GAB)	8.0	4.0	3.0	4.0

**GENERAL NOTES:**  
 1. SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL R7-B.  
 2. ONE SIGN IS REQUIRED PER SPACE PLACED AS SHOWN ON SITE IMPROVEMENT PLAN.  
 3. SIGNS SHALL BE POLE MOUNTED WITH HOT DIPPED GALVANIZED COUNTY APPROVED PERFORATED CHANNEL POSTS W/TOP OF SIGNS 9'-1" ABOVE FINISHED GRADE OR AS INDICATED ON SITE DRAWINGS.  
 4. SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.  
 5. COLORS: LEGEND AND BORDER-GREEN SYMBOL-WHITE ON BLUE BACKGROUND BACKGROUND-WHITE  
 6. CONTRACTOR SHALL COORDINATE ARROW DIRECTION WITH LOCATION OF ADJACENT AISLE.  
 7. SPACE INDICATED ON SITE DEVELOPMENT PLANS AS "VAN ACCESSIBLE" SHALL BE SIGNED ACCORDINGLY.

**HANDICAP PARKING SIGN DETAIL**  
NOT TO SCALE



**P-2 PAVING SECTION**



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 5/8/2020  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 10272 BALDWIN NATIONAL PLACE  
 ELLSWORTH CITY, MARYLAND 21042  
 (410) 461-7099

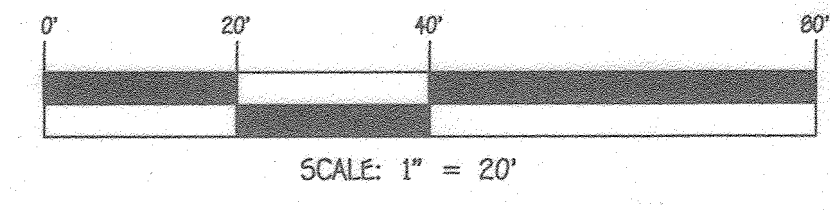
**Owner:** ENLI, LLC  
 C/O H & H ROCK COMPANIES  
 6800 DEERPATH ROAD #100  
 ELKBRIDGE, MARYLAND 21075  
 PH# 410-567-1045

**Developer:** ROCK REALTY, LLC  
 C/O H & H ROCK COMPANIES  
 6800 DEERPATH ROAD #100  
 ELKBRIDGE, MARYLAND 21075  
 PH# 410-567-1045



**PROFESSIONAL CERTIFICATION**  
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 Frank Manalansan  
 DATE: 4/21/20

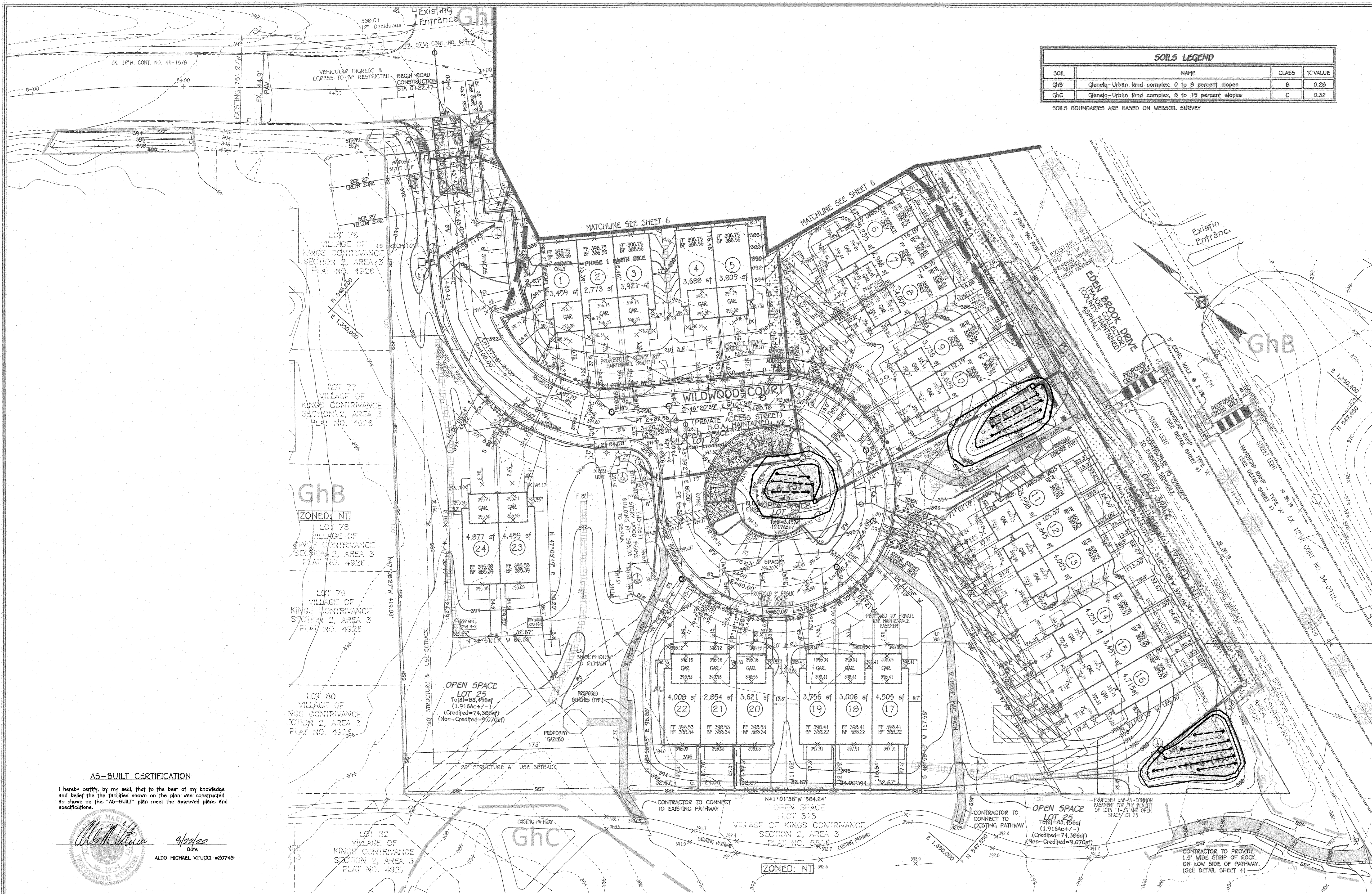
**AS-BUILT CERTIFICATION**  
 Note: There is no "AS-BUILT" information provided on this sheet.  
 ALDO MICHAEL WITUCCI #20740  
 DATE: 5/8/2020



**HANDICAP AND ROAD NOTES AND DETAILS SHEET**  
**EDEN BROOK**  
 LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27  
 (AGE-RESTRICTED ADULT HOUSING)  
 (BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)  
 LIBER 18060 AT FOLIO 96)  
 TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12  
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: APRIL, 2020  
 SHEET 4 OF 19

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET





SOILS LEGEND			
SOIL	NAME	CLASS	K'VALUE
GhB	Genele-Urban land complex, 0 to 8 percent slopes	B	0.28
GhC	Genele-Urban land complex, 8 to 15 percent slopes	C	0.32

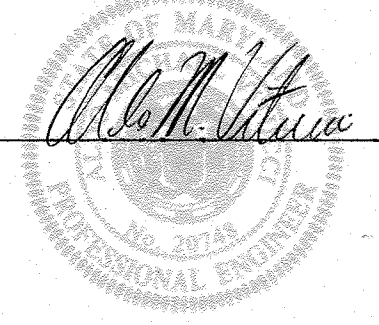
SOILS BOUNDARIES ARE BASED ON WEBSOIL SURVEY

LEGEND	
SYMBOL	DESCRIPTION
--- (dashed)	EXISTING 2' CONTOURS
--- (dashed)	EXISTING 10' CONTOURS
---	PROPOSED CONTOUR
+	SPOT ELEVATION
H.P.	HIGH POINT
---	SOILS LINES AND TYPE
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⊗	EXISTING TREES & SHRUBS (TO BE REMOVED)
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⊙	B-7 PRIVATE SWM BORING LOCATION
---	PRIVATE DRAINAGE AND UTILITY EASEMENT

NOTE: THIS AREA TO BE CLEARED AND GRUBBED BEFORE CONSTRUCTION, THEN GRADED PER THE PLAN. RE-SPREAD WITH MINIMUM 6" TOPSOIL AND PLANT, SEED, OR 500 PER THESE SPECIFICATIONS. SEEDING ON LOT 255 SHALL BE DONE IN ACCORDANCE WITH LANDSCAPE CONTRACTOR ASSOCIATION (LCA) SPECIFICATION GUIDELINES PART 6. FOLLOW SPECIFICATIONS FOR FINAL GRADE PREPARATION WITH TOPSOIL. SEED SHALL BE HAYLAND CERTIFIED TURF TYPE TALL FESCUE. (SEE U OF MD IT-77). RATE SHALL BE 9-10 LBS. PER 1,000 SF. 500 CAN USE THE CURRENT H5CD SPECIFICATIONS.

**AS-BUILT CERTIFICATION**

I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on the plan was constructed as shown on this "AS-BUILT" plan meet the approved plans and specifications.



ALDO MICHAEL VITUCCI #20748  
DATE: 4/22/20

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 5/6/20

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SERVICE OFFICE: 10772 BALDORNE NATIONAL PIKE, ELK RIDGE, MARYLAND 21075  
(410) 461-2095

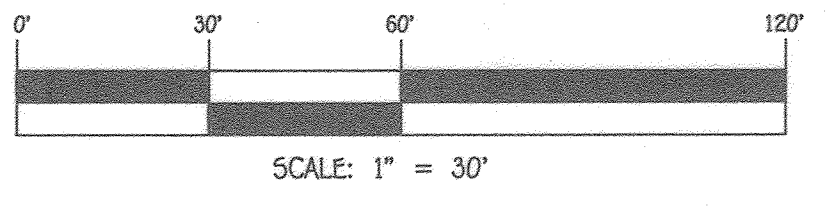
**Owner**  
ENLN, LLC  
C/O H & H ROCK COMPANIES  
6800 DEERPATH ROAD #100  
ELK RIDGE, MARYLAND 21075  
PH# 410-567-1045

**Developer**  
ROCK REALTY, LLC  
C/O H & H ROCK COMPANIES  
6800 DEERPATH ROAD #100  
ELK RIDGE, MARYLAND 21075  
PH# 410-567-1045



**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/21.

FRANK MANALANG II  
DATE: 4/21/20



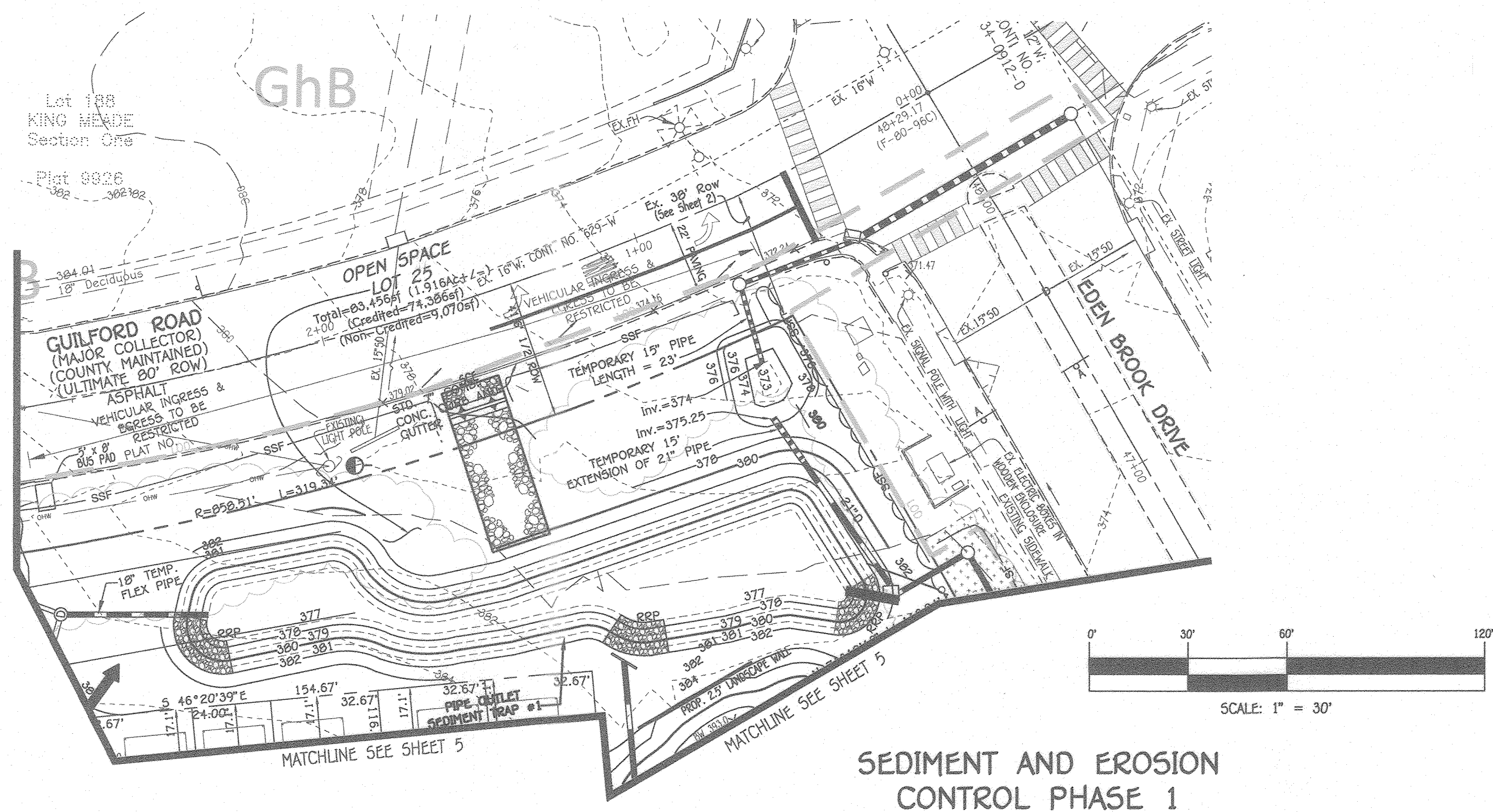
**GRADING AND EROSION/SEDIMENT CONTROL PLAN**

**EDEN BROOK**  
LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27  
(AGE-RESTRICTED ADULT HOUSING)  
(BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)

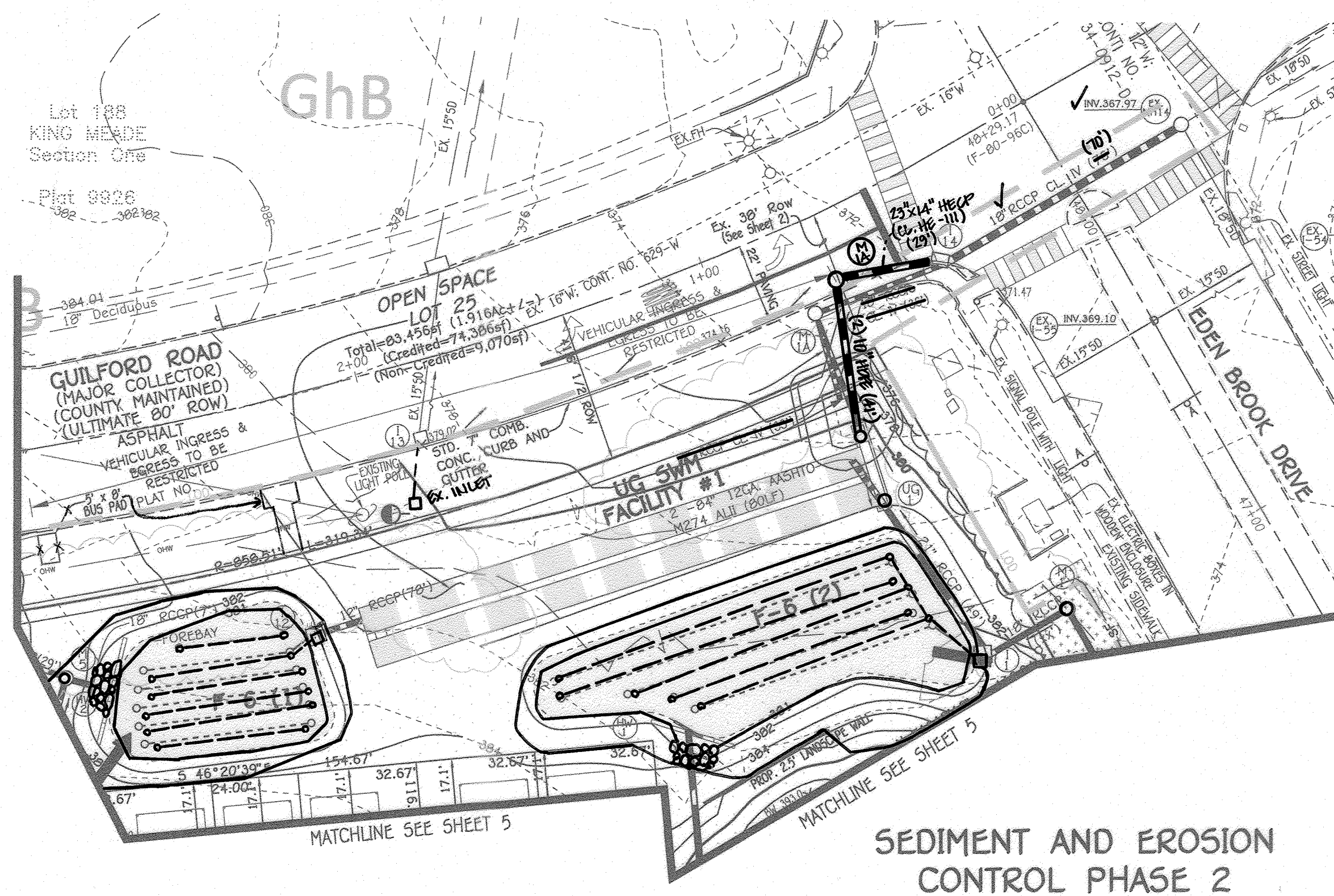
LIBER 10866 AT FOLIO 96  
TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12  
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: APRIL 2020  
SHEET 5 OF 19

"AS-BUILT"





**SEDIMENT AND EROSION CONTROL PHASE 1**  
SCALE: 1" = 30'



**SEDIMENT AND EROSION CONTROL PHASE 2**  
SCALE: 1" = 30'

LEGEND	
SYMBOL	DESCRIPTION
--- 482 ---	EXISTING 2' CONTOURS
--- 490 ---	EXISTING 10' CONTOURS
---	PROPOSED CONTOUR
+362.5	SPOT ELEVATION
H.P.	HIGH POINT
---	SOILS LINES AND TYPE
---	PROPOSED TIE LINE
---	EXISTING TREE LINE
⊗	EXISTING TREES & SHRUBS
⊗	EXISTING TREES & SHRUBS (TO BE REMOVED)
T.B.R.	TO BE REMOVED OR RELOCATED
---	EXISTING FENCE LINE
---	EXISTING PAVING
---	PROPOSED PAVING
---	PUBLIC SEWER, WATER & UTILITY EASEMENT
LOD	LIMITS OF DISTURBANCE
---	CREDITED OPEN SPACE
---	USE-IN-COMMON ACCESS EASEMENT
SSP	SUPER SILT FENCE
⊙ B-7	PROPOSED SWM BORING LOCATION
---	PRIVATE DRAINAGE AND UTILITY EASEMENT

PIPE OUTLET SEDIMENT TRAP ST-1, TRAP NO. 1		
DRAINAGE AREA - INITIAL	2.40	ACRES
DRAINAGE AREA - INTERIM	---	ACRES
DRAINAGE AREA - FINAL	3.73	ACRES
TOTAL STORAGE REQUIRED	13,428	CF
TOTAL STORAGE PROVIDED	20,332	CF
WET STORAGE REQUIRED	6,714	CF
WET STORAGE PROVIDED	6,714	CF
DRY STORAGE REQUIRED (TSM)	13,428	CF
DRY STORAGE PROVIDED (TSM)	13,428	CF
TRAP BOTTOM ELEVATION	377.90	FT
TRAP BOTTOM DIMENSIONS (AVERAGE)	30 x 186	FT x FT
RISER CREST (DRY STORAGE) ELEVATION	380.80	FT
OUTLET (WET STORAGE) ELEVATION	379.55	FT
CLEANOUT ELEVATION	376.70	FT
TOP OF EMBANKMENT ELEVATION	381.90	FT
SIDE SLOPE	2	HV RATIO
EMBANKMENT TOP WIDTH	4	FT
PRINCIPAL SPILLWAY MATERIAL (BARREL, RISER, ANTI-SEEP COLLAR)	CHP METAL	
RISER DIAMETER	33	IN
BARREL DIAMETER	24	IN
TRASH RACK DIAMETER	48	IN
TRASH RACK HEIGHT	29	IN
ANTI-SEEP COLLAR DIMENSIONS	6.5 x 6.5	IN
OUTLET PROTECTION - LENGTH	STILLING BASIN	FT
OUTLET PROTECTION - WIDTH	STILLING BASIN	IN
OUTLET PROTECTION - DEPTH	STILLING BASIN	IN

SOILS LEGEND			
SOIL	NAME	CLASS	K <sub>v</sub> VALUE
GhB	Glenelg-Urban land complex, 0 to 8 percent slopes	B	0.28
GhC	Glenelg-Urban land complex, 8 to 15 percent slopes	C	0.32

SOILS BOUNDARIES ARE BASED ON WEBSOIL SURVEY

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 5/18/2020  
 DATE: 5-6-20

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10072 BALTIMORE NATIONAL PLACE  
 ELKSDALE CITY, MARYLAND 21075  
 (410) 461-2095

<b>Owner</b>	<b>Developer</b>
ENLN, LLC C/O H & H ROCK COMPANIES 6800 DEERPATH ROAD #100 ELKSDALE, MARYLAND 21075 PH# 410-567-1045	ROCK REALTY, LLC C/O H & H ROCK COMPANIES 6800 DEERPATH ROAD #100 ELKSDALE, MARYLAND 21075 PH# 410-567-1045



**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/21.  
 Frank Manalang II  
 DATE: 4/21/20

**AS-BUILT CERTIFICATION**  
 I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on the plan was constructed as shown on this "AS-BUILT" plan meet the approved plans and specifications.  
 Aldo Michael Vitucci  
 Date: 4/21/20  
 ALDO MICHAEL VITUCCI #20748  
 PROFESSIONAL ENGINEER

**GRADING AND EROSION/SEDIMENT CONTROL PLAN**  
**EDEN BROOK**  
 LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27  
 (AGE-RESTRICTED ADULT HOUSING)  
 (BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)  
 LIBER 10868 AT FOLIO 96  
 TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12  
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: APRIL, 2020  
 SHEET 6 OF 19

"AS-BUILT"

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**LEGEND**

SYMBOL	DESCRIPTION
---42---	EXISTING 2' CONTOURS
---10---	EXISTING 10' CONTOURS
---	PROPOSED CONTOUR
+	SPOT ELEVATION
H.P.	HIGH POINT
---	SOILS LINES AND TYPE
---	PROPOSED TREELINE
---	EXISTING TREELINE
---	EXISTING TREES & SHRUBS
---	EXISTING TREES & SHRUBS (TO BE REMOVED)
T.B.R.	TO BE REMOVED OR RELOCATED
---	EXISTING FENCE LINE
---	EXISTING PAVING
---	PROPOSED PAVING
---	PUBLIC SEWER, WATER & UTILITY EASEMENT
---	LIMITS OF DISTURBANCE
---	CREDITED OPEN SPACE
---	USE-IN-COMMON EASEMENT
---	SUPER SILT ACCESS
B-7	PROPOSED SWM BORING LOCATION
---	PRIVATE DRAINAGE AND UTILITY EASEMENT

**DRAINAGE AREA DATA**

STRUCTURE NO.	AREA	"C"	ZONED	% IMP.
I-1	1.44 AC.	.61	R-12	57%
I-2	0.60 AC.	.63	R-12	60%
I-3	0.36 AC.	.57	R-12	52%
I-4	0.31 AC.	.61	R-12	57%
I-5	0.53 AC.	.65	R-12	63%
I-6	0.25 AC.	.73	R-12	73%
I-6A	0.01 AC.	.55	R-12	25%
I-6B	0.01 AC.	.50	R-12	54%
I-7	0.02 AC.	.55	R-12	100%
I-8	0.03 AC.	.52	R-12	96%
I-9	0.20 AC.	.62	R-12	64%
I-10	0.22 AC.	.73	R-12	73%
I-11	0.04 AC.	.15	R-12	0%
I-12	1.42 AC.	.54	R-12	24%
I-13	0.01 AC.	.24	R-12	11%
I-14	0.15 AC.	.25	R-12	13%

**SOILS LEGEND**

SOIL	NAME	CLASS	"C" VALUE
GhB	Glennel-Urban land complex, 0 to 8 percent slopes	B	0.29
GhC	Glennel-Urban land complex, 8 to 15 percent slopes	C	0.32

SOILS BOUNDARIES ARE BASED ON WEBSOIL SURVEY

**AS-BUILT CERTIFICATION**  
 Note: There is no "AS-BUILT" information provided on this sheet.

*Alfredo Vitucci*  
 Date: 4/2/22  
 ALDO MICHAEL VITUCCI #20748

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 5-6-20

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL OFFICE: 10772 BALDWIN NATIONAL PLACE  
 ELK RIDGE, MARYLAND 21075  
 (410) 461-2995

**Owner**  
 ENLN, LLC  
 C/O H & H ROCK COMPANIES  
 6800 DEERPATH ROAD #100  
 ELK RIDGE, MARYLAND 21075  
 PH# 410-567-1045

**Developer**  
 ROCK REALTY, LLC  
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 6800 DEERPATH ROAD #100  
 ELK RIDGE, MARYLAND 21075  
 PH# 410-567-1045



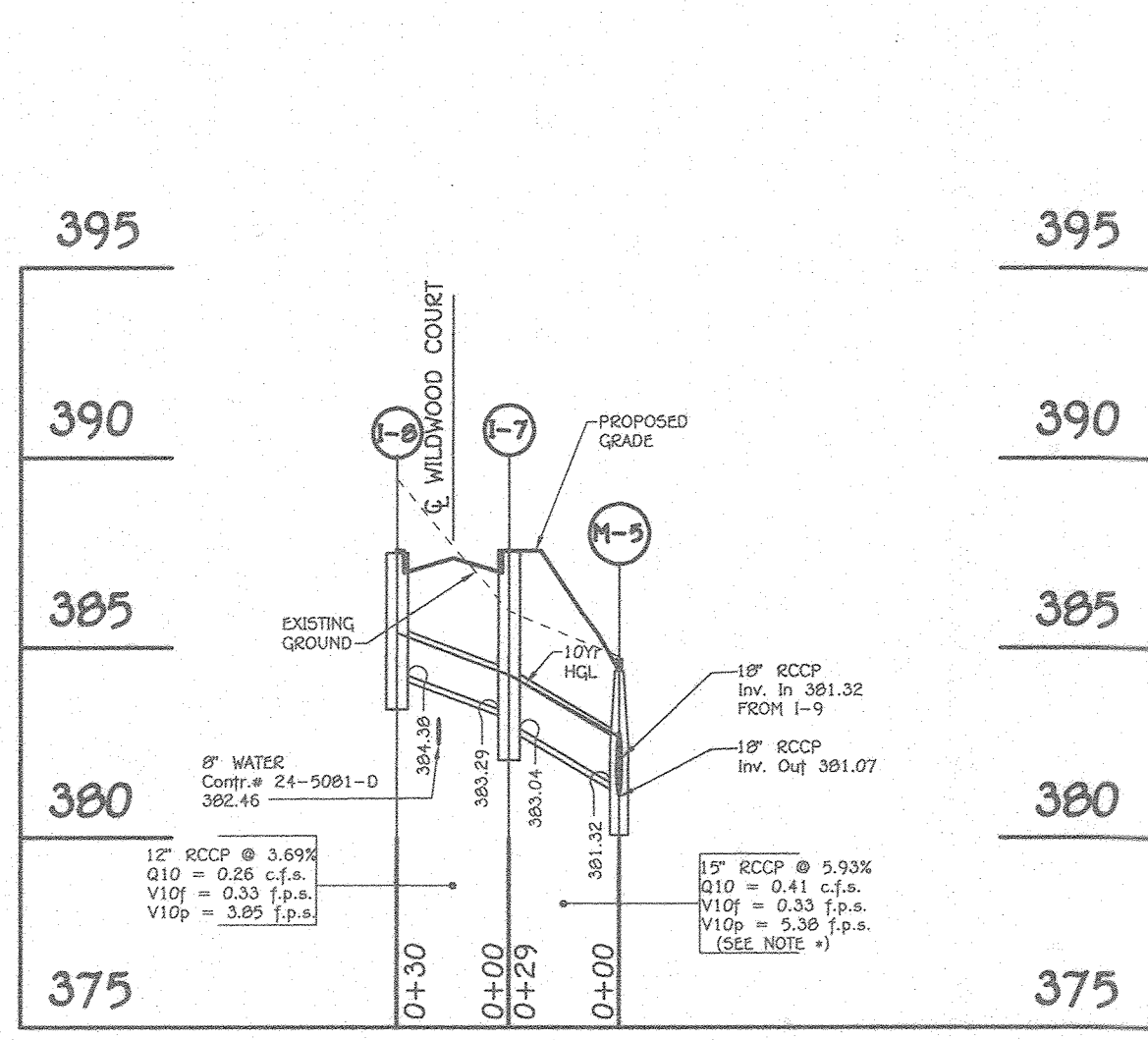
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 DATE: 4/21/20

**STORMDRAIN DRAINAGE AREA MAP**  
**EDEN BROOK**  
 LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27  
 (AGE-RESTRICTED ADULT HOUSING)  
 (BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)  
 LIBER 18660 AT FOLIO 96)  
 TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12  
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: APRIL 2020  
 SHEET 7 OF 19

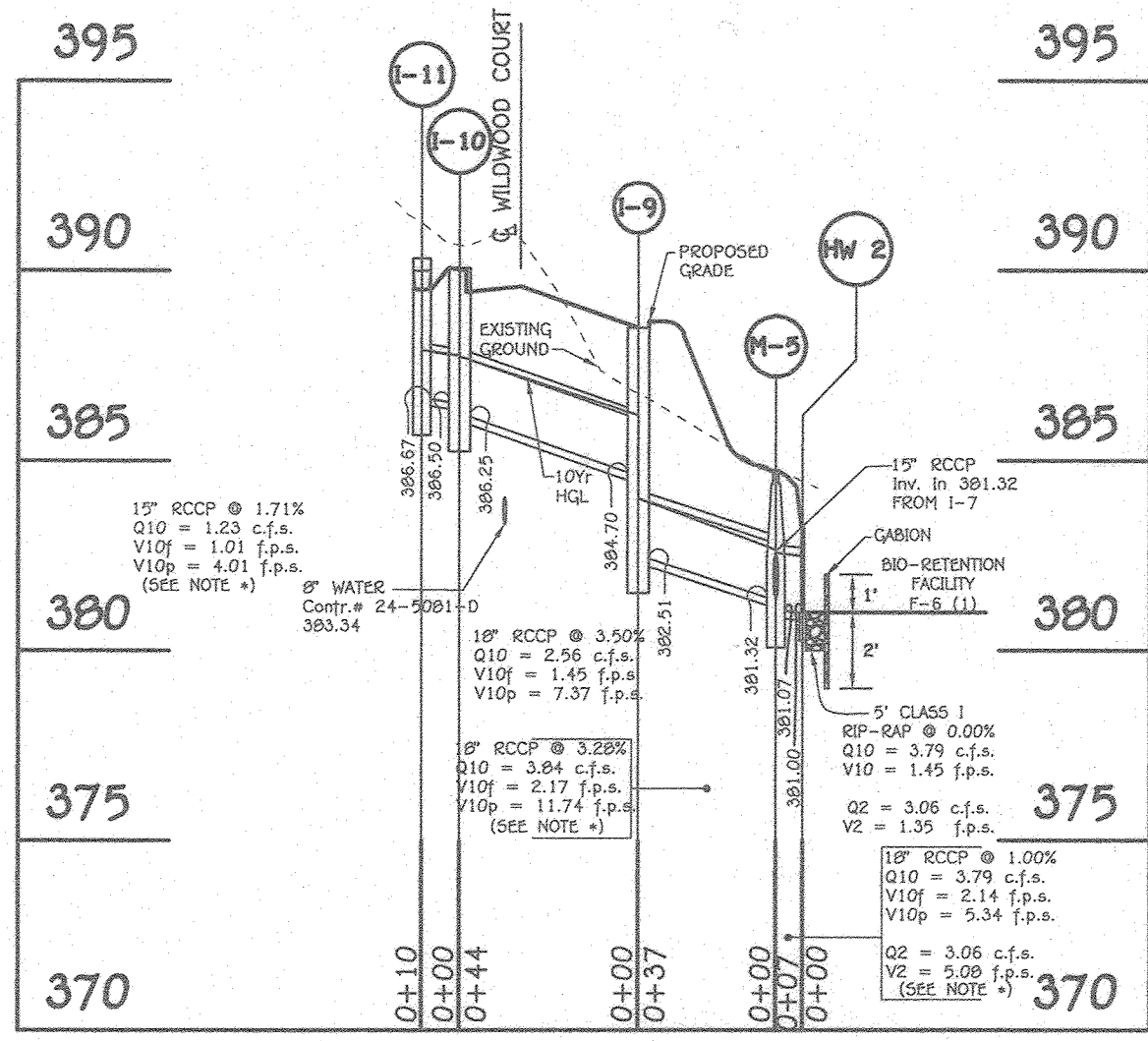
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

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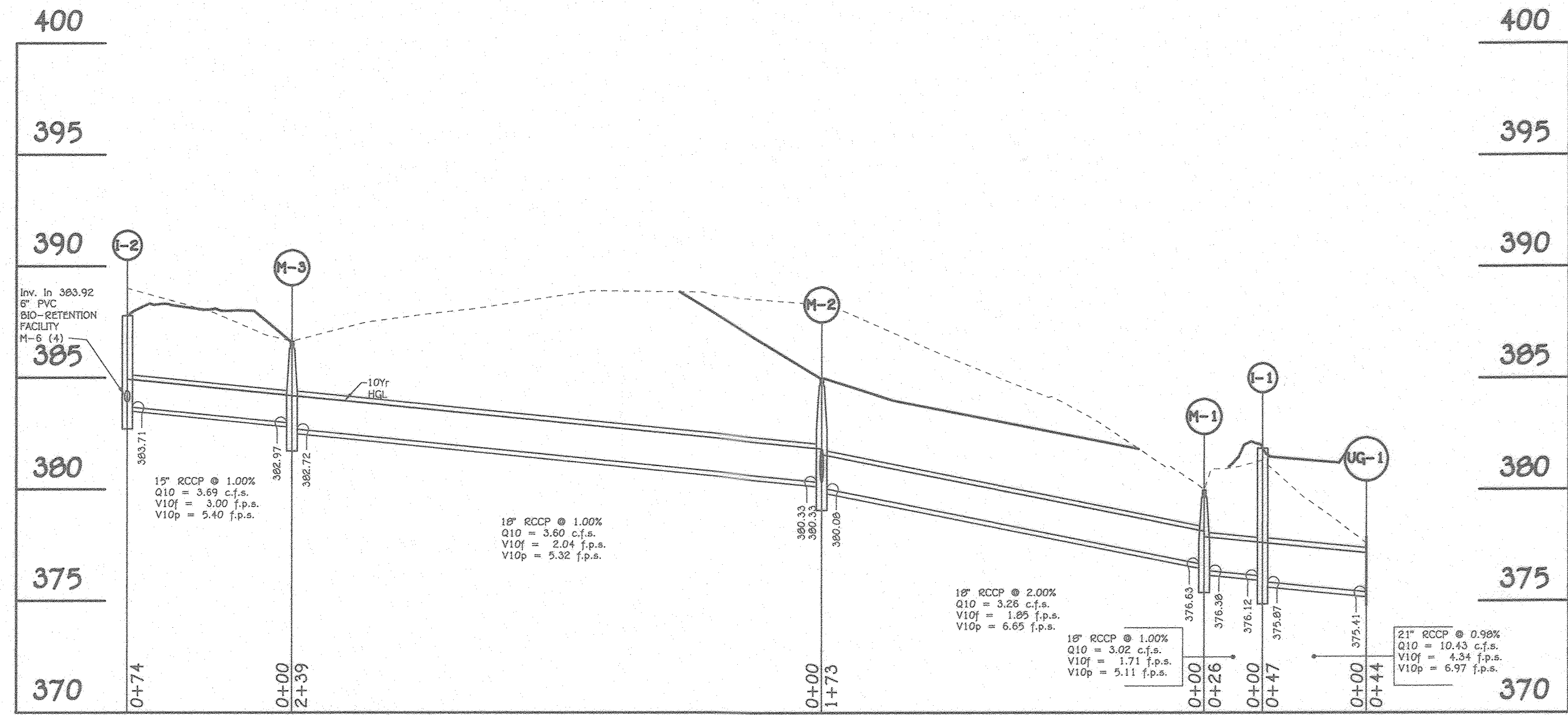




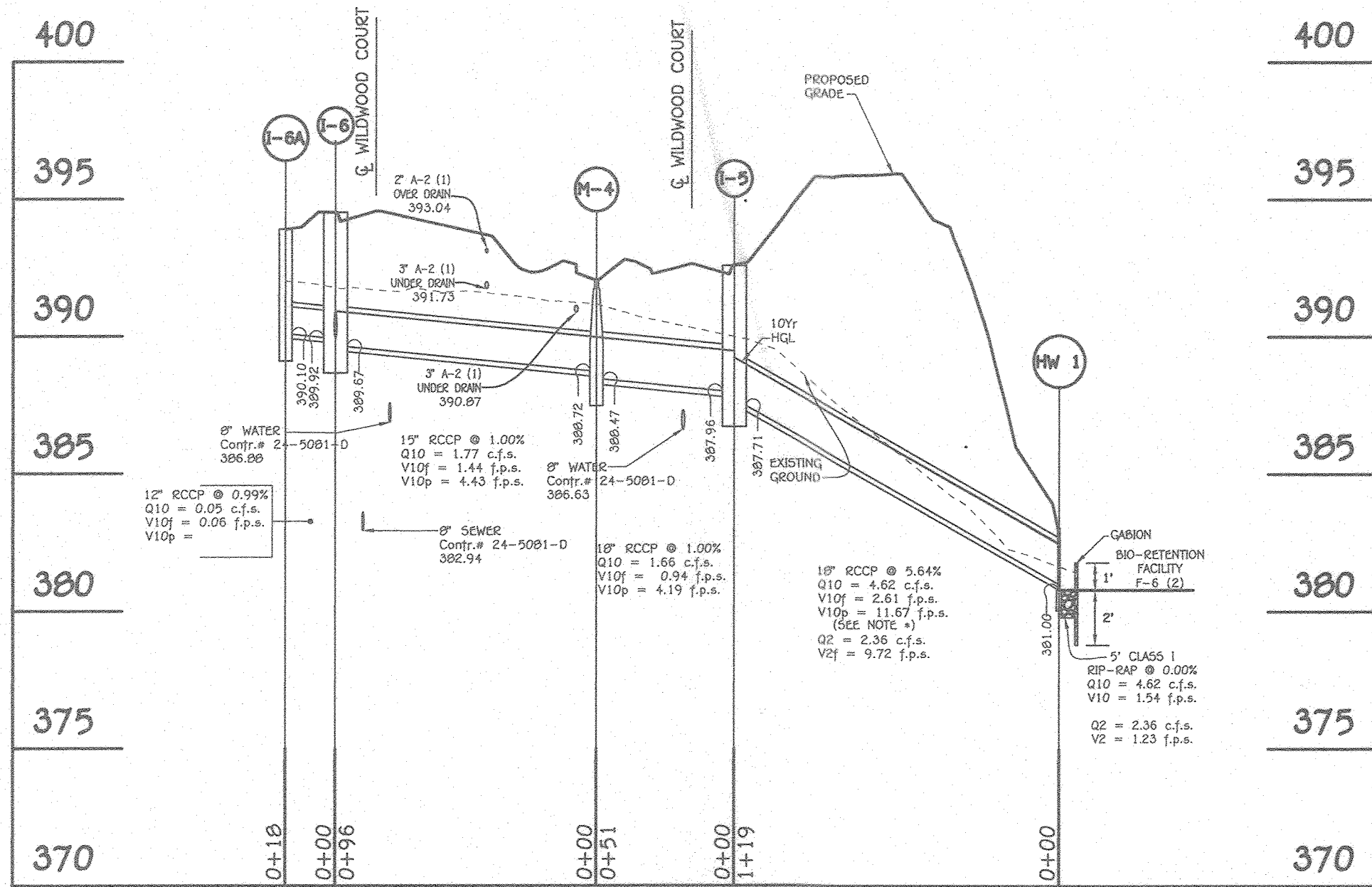
**STORM DRAIN PROFILE**  
SCALE: HORIZ. 1" = 50'  
VERT. 1" = 5'



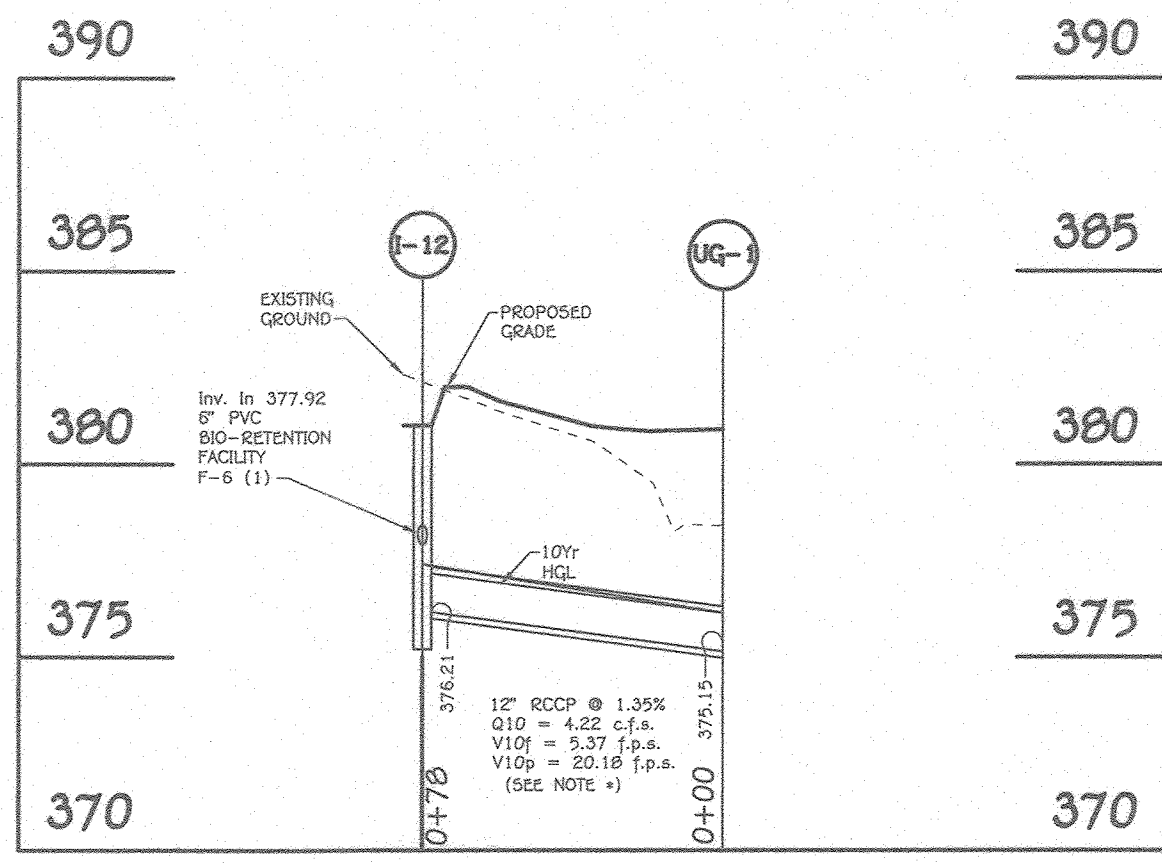
**STORM DRAIN PROFILE**  
SCALE: HORIZ. 1" = 50'  
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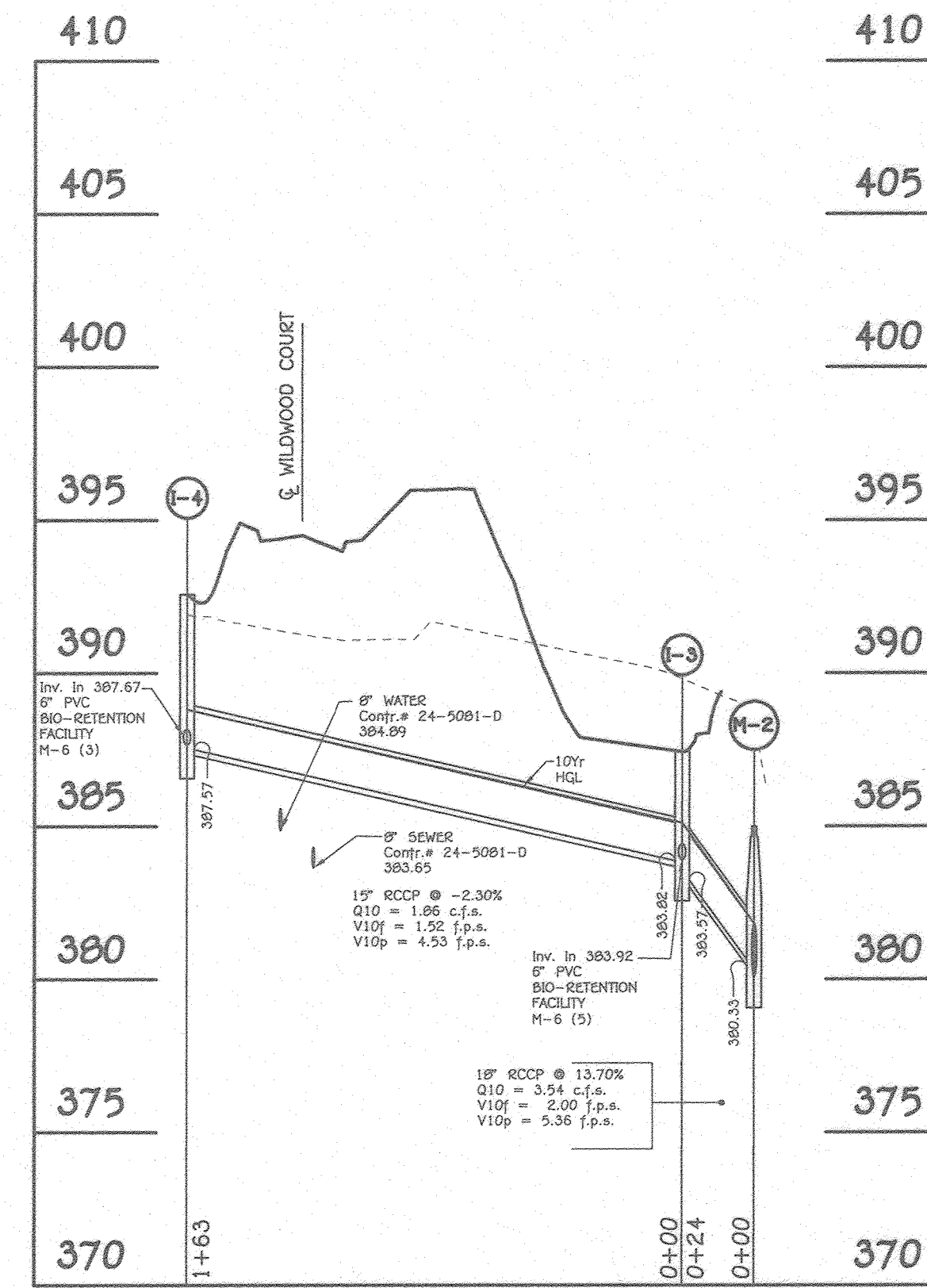
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SCALE: HORIZ. 1" = 50'  
VERT. 1" = 5'



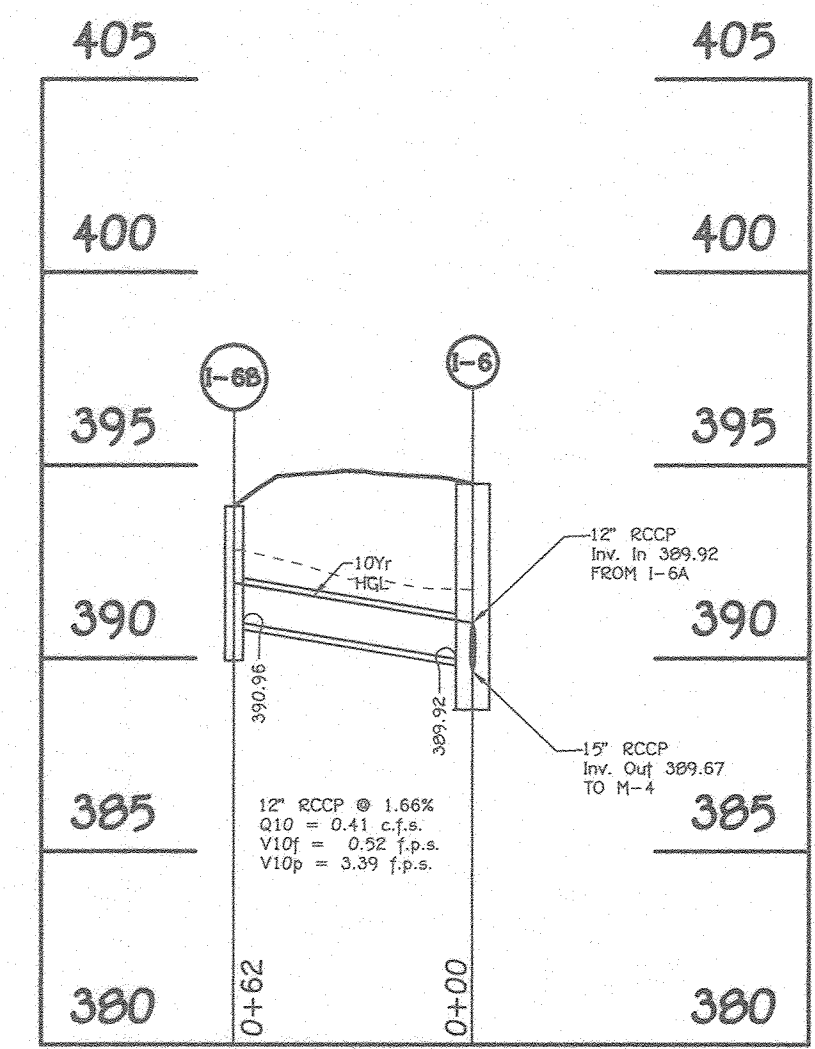
**STORM DRAIN PROFILE**  
SCALE: HORIZ. 1" = 50'  
VERT. 1" = 5'



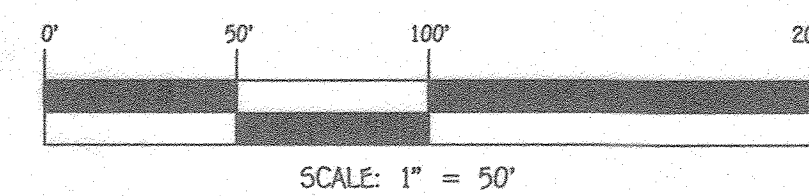
**STORM DRAIN PROFILE**  
SCALE: HORIZ. 1" = 50'  
VERT. 1" = 5'



**STORM DRAIN PROFILE**  
SCALE: HORIZ. 1" = 50'  
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**STORM DRAIN PROFILE**  
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**AS-BUILT CERTIFICATION**  
Note: There is no "AS-BUILT" information provided on this sheet.



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*Frank Maralangan II*  
FRANK MARALANGAN II  
DATE: 4/21/20

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
CHIEF, DIVISION OF LAND DEVELOPMENT  
*5/12/20*  
DATE

*5-6-20*  
DATE

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE PARK - 10772 BALDORNE NATIONAL PIKE  
ELLSWORTH CITY, MARYLAND 21074  
(410) 461-2095

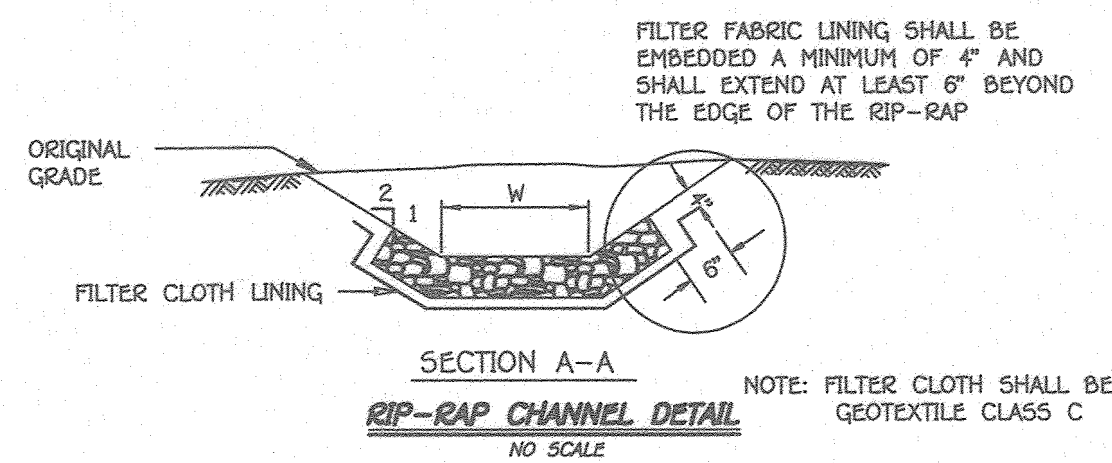
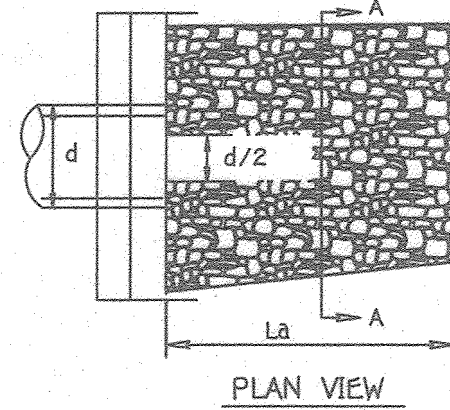
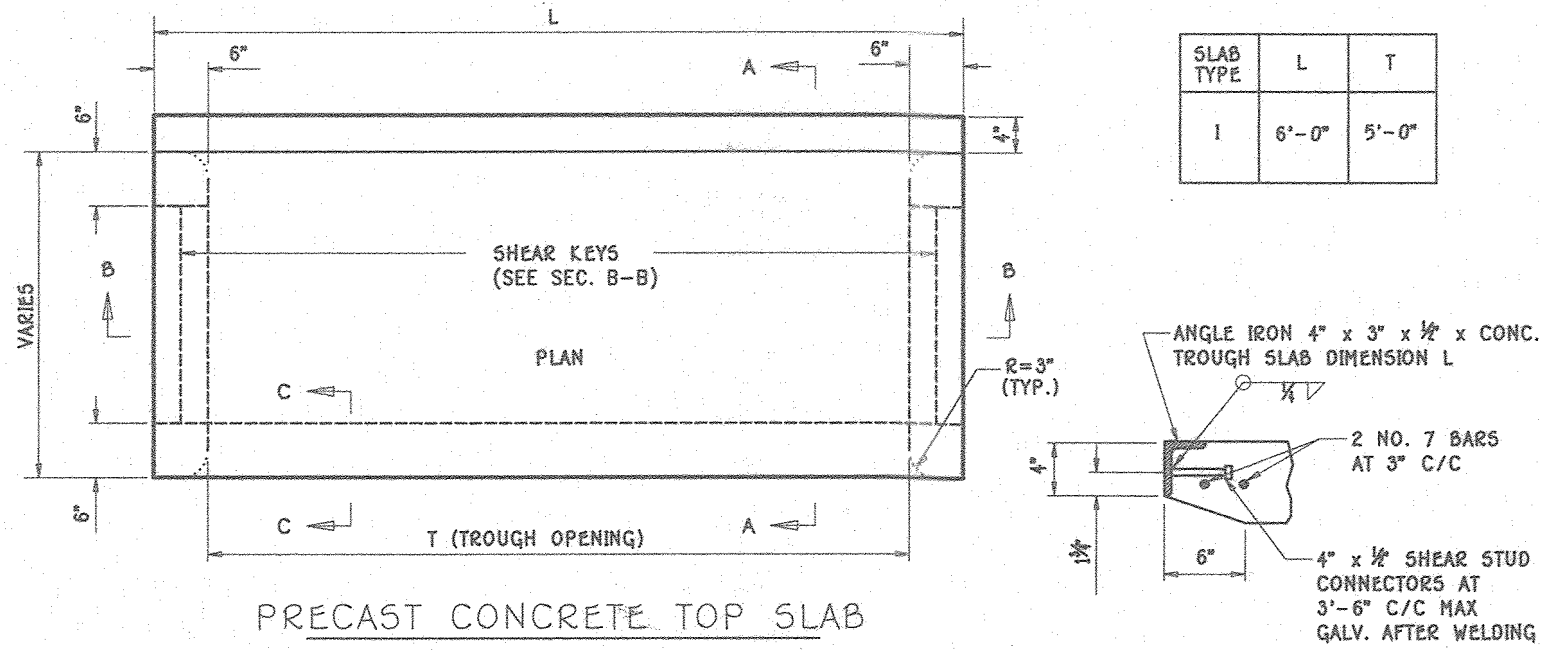
**Owner**  
ENLN, LLC  
C/O H & H ROCK COMPANIES  
6900 DEERPATH ROAD #100  
ELKBRIDGE, MARYLAND 21075  
PH# 410-567-1045

**Developer**  
ROCK REALTY, LLC  
C/O H & H ROCK COMPANIES  
6900 DEERPATH ROAD #100  
ELKBRIDGE, MARYLAND 21075  
PH# 410-567-1045

**STORMDRAIN PROFILES**  
**EDEN BROOK**  
LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27  
(AGE-RESTRICTED ADULT HOUSING)  
(BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)  
LIBER 12658 AT FOLIO 96)  
TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12  
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: APRIL 2020  
SHEET 8 OF 19

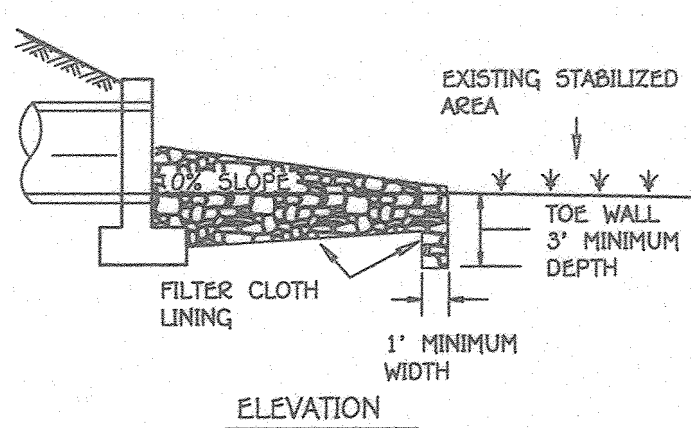
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET





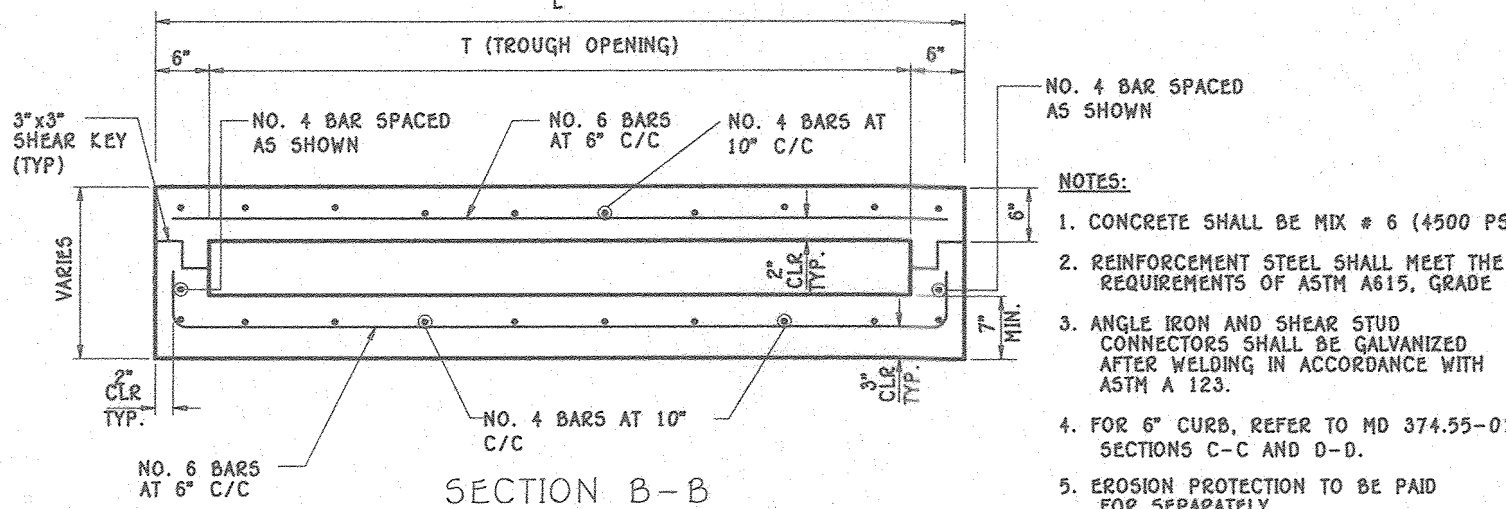
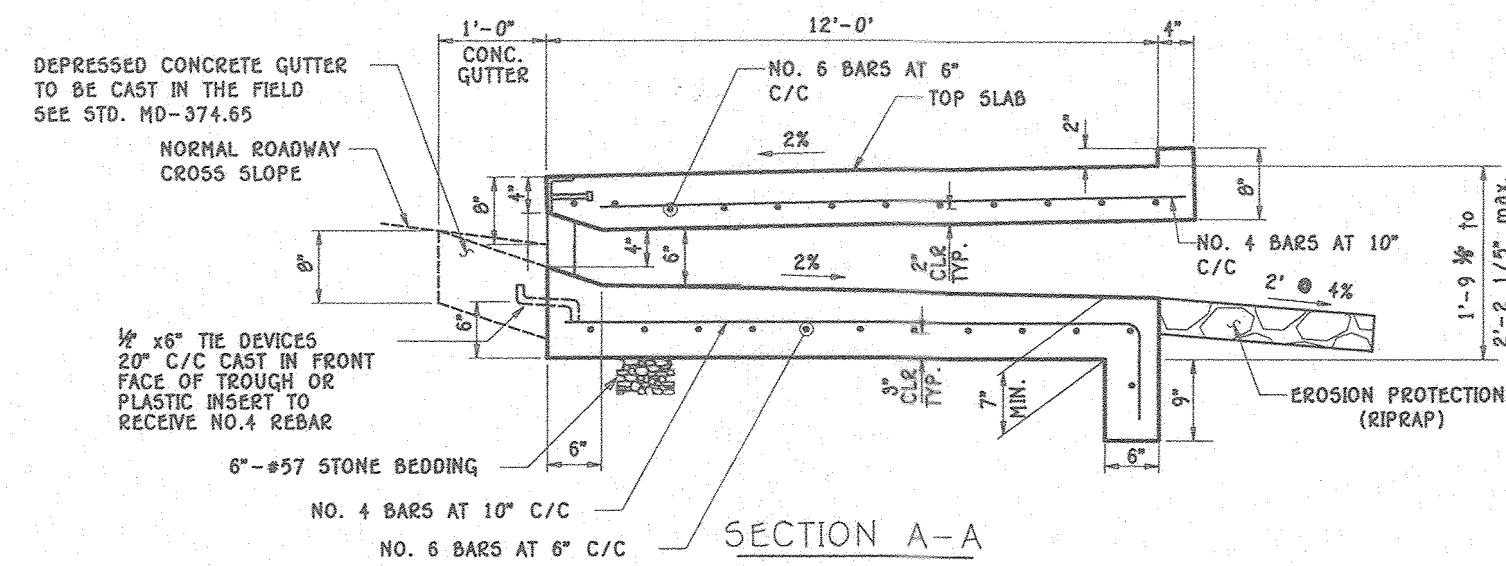
**CONSTRUCTION SPECIFICATIONS FOR RIP-RAP OUTFALLS**

- The subgrade for the filter, riprap or gabion shall be prepared to the required lines and grades. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
- The rock or gravel shall conform to the specified grading limits when installed respectively in the riprap or filter.
- Filter cloth shall be protected from punching, cutting or tearing. Any damage other than an occasional hole shall be repaired by placing another piece of cloth over the damaged part or by completely replacing the cloth. All overlaps whether for repairs or for joining two pieces of cloth shall be a minimum of one foot.
- Stone for the riprap or gabion outlets may be placed by equipment. Both shall each be constructed to the full course thickness in one operation and in such a manner as to avoid displacement of underlying materials. The stone for riprap or gabion outlets shall be delivered and placed in a manner that will insure that it is reasonably homogenous with the smaller stones and spalls filling the voids between the larger stones. Riprap shall be placed in a manner to prevent damage to the filter blanket or filter cloth. Hand placement will be required to the extent necessary to prevent damage to the permanent works.



**RIP-RAP CHANNEL DESIGN DATA**

STRUCTURE	AREA (S.F.)	WETTED PERIMETER	R	R <sup>2/3</sup>	S	S <sup>1/2</sup>	W	d	n	V (F.P.A.)	Q (C.F.S.)	SP-SEP SIZE (D <sub>50</sub> )	BLANKET THICKNESS (D <sub>max</sub> )	PIPE SIZE	LA
HW 1	2.993	6.59	2.2018	1.692	0.005	0.0707	4'	0.58	0.04	1.54	4.82	9.5"	15"	18"	5'
HW 2	2.621	6.33	2.4151	1.800	0.005	0.0707	4'	0.52	0.04	1.45	3.79	9.5"	15"	18"	5'



**PRECAST OR CAST-IN-PLACE COG/COS OPENING FOR 6" CURB (5' TROUGH OPENING ONLY)**

**STRUCTURE SCHEDULE**

STRUCTURE NO.	OWNERSHIP AND MAINTENANCE	TOP ELEVATION	INV IN	INV OUT	COORDINATES	TYPE	REMARKS
HW 1	PRIVATE	383.21	381.00 (1-5) 18"	-----	N 548025.87 E 1350244.39	TYPE 'C' ENDWALL	D. - 5.21
HW 2	PRIVATE	383.21	381.00 (M-5) 18"	-----	N 548162.67 E 1350150.27	TYPE 'C' ENDWALL	D. - 5.21
I-1	PRIVATE	381.84 *	376.12 (M-1) 18" 377.92 F-6 (2) 6"	375.87 21"	N 547982.96 E 1350317.83	YARD INLET	D. - 4.12
I-2	PRIVATE	387.79 *	383.92 M-6 (4) 6"	383.71 15"	N 547597.41 E 1350136.58	YARD INLET	D. - 4.12
I-3	PRIVATE	387.44 *	383.92 M-6 (5) 6" 383.82 (1-4) 15"	380.57 18"	N 547817.68 E 1350264.35	YARD INLET	D. - 4.12
I-4	PRIVATE	392.57 *	387.67 M-6 (3) 6"	387.57 15"	N 547876.51 E 1350112.64	YARD INLET	D. - 4.12
I-5	PRIVATE	392.57	387.96 (M-4) 18"	387.71 18"	N 547939.82 E 1350162.29	A-10 INLET	D. - 4.03
I-6	PRIVATE	394.52	389.92 (1-6A) 12"	389.67 15"	N 547963.22 E 1350057.88	A-5 INLET	D. - 4.01
I-6A	PRIVATE	393.90	-----	390.10 12"	N 547981.42 E 1350057.14	YARD INLET	D. - 4.12
I-6B	PRIVATE	393.94	-----	390.96 12"	N 547925.20 E 1350008.43	YARD INLET	D. - 4.12
I-7	PRIVATE	387.58	383.29 (1-8) 12"	383.04 15"	N 548196.30 E 1350137.19	A-5 INLET	D. - 4.01
I-8	PRIVATE	387.50	-----	384.38 12"	N 548216.79 E 1350115.74	A-5 INLET	D. - 4.01
I-9	PRIVATE	388.50	384.70 (1-10) 18"	382.51 18"	N 548153.21 E 1350114.48	A-5 INLET	D. - 4.01
I-10	PRIVATE	390.08	386.50 (1-11) 15"	386.25 18"	N 548169.18 E 1350070.31	A-5 INLET	D. - 4.01
I-11	PRIVATE	389.50	-----	386.67 15"	N 548175.46 E 1350062.58	YARD INLET	D. - 4.12
I-12	PRIVATE	381.00 *	377.92 F-6 (1) 6"	376.21 12"	N 548124.91 E 1350201.28	YARD INLET	D. - 4.12
I-13	PUBLIC	373.92	376.12 (M-1A) 18" 376.12 (M-1A) 18"	368.78 18"	N 548138.51 E 1350260.88	'S' INLET	D. - 4.24
I-14	PUBLIC	378.78 *	376.12 (M-1A) 18" 376.12 (M-1A) 18"	368.78 18"	N 548062.28 E 1350390.2	'S' INLET	D. - 4.24
M-1	PRIVATE	379.97	376.63 (M-2) 18"	376.38 18"	N 547973.49 E 1350342.37	4' DIA. MANHOLE	G. - 5.12
M-2	PRIVATE	385.00	380.33 (M-3) 18" 380.33 (1-3) 18"	380.08 18"	N 547809.96 E 1350286.71	4' DIA. MANHOLE	G. - 5.12
M-3	PRIVATE	386.64	382.97 (1-2) 15"	382.72 18"	N 547583.89 E 1350209.76	4' DIA. MANHOLE	G. - 5.12
M-4	PRIVATE	392.05	388.72 (1-6) 15"	388.47 18"	N 547900.77 E 1350130.21	4' DIA. MANHOLE	G. - 5.12
M-5	PRIVATE	384.72	381.32 (1-9) 18" 381.32 (1-7) 15"	381.07 18"	N 548169.07 E 1350147.24	4' DIA. MANHOLE	G. - 5.12
* DENOTES THROAT OPENING							
M-1A	PUBLIC	372.91 ✓	376.12 (M-1) ✓ 376.12 (M-1) ✓	368.78 ✓ 368.78 ✓	N 548081.92 E 1350390.6	4' DIA. MANHOLE	G. - 5.12

**PIPE SCHEDULE**

SIZE	CLASS	LENGTH
2"	PERFORATED PVC, SCH.40	100 L.F.
3"	PERFORATED PVC, SCH.40	100 L.F.
6"	PERFORATED PVC, SCH.40	1,053 L.F.
8"	PVC, SCH.40	109 L.F.
12"	RCCP, CL. IV	188 L.F.
15"	RCCP, CL. IV	372 L.F.
18"	RCCP, CL. IV	560 L.F.
21"	RCCP, CL. IV	47 L.F.
84"	12 GA. AASHO	160 L.F.

NOTE: RCCP, CL. IV MAY BE SUBSTITUTED WITH HDPE PIPE MATERIAL WHERE DEPTH OF COVER PERMITS.

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 5/6/20

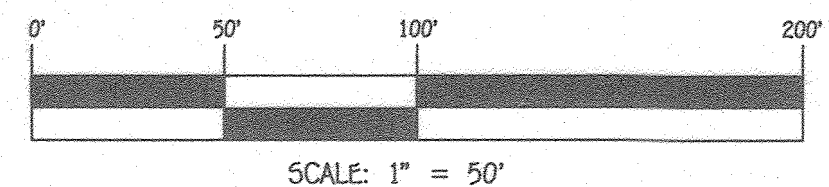
**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 ELLETTT CITY, MARYLAND 21042  
 (410) 481-2095

**Owner** ENL, LLC  
 C/O H & H ROCK COMPANIES  
 6800 DEERPATH ROAD #100  
 ELKBRIDGE, MARYLAND 21075  
 PH# 410-567-1045

**Developer** ROCK REALTY, LLC  
 C/O H & H ROCK COMPANIES  
 6800 DEERPATH ROAD #100  
 ELKBRIDGE, MARYLAND 21075  
 PH# 410-567-1045



**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/21.  
 Frank Manalansan II  
 DATE: 4/21/20

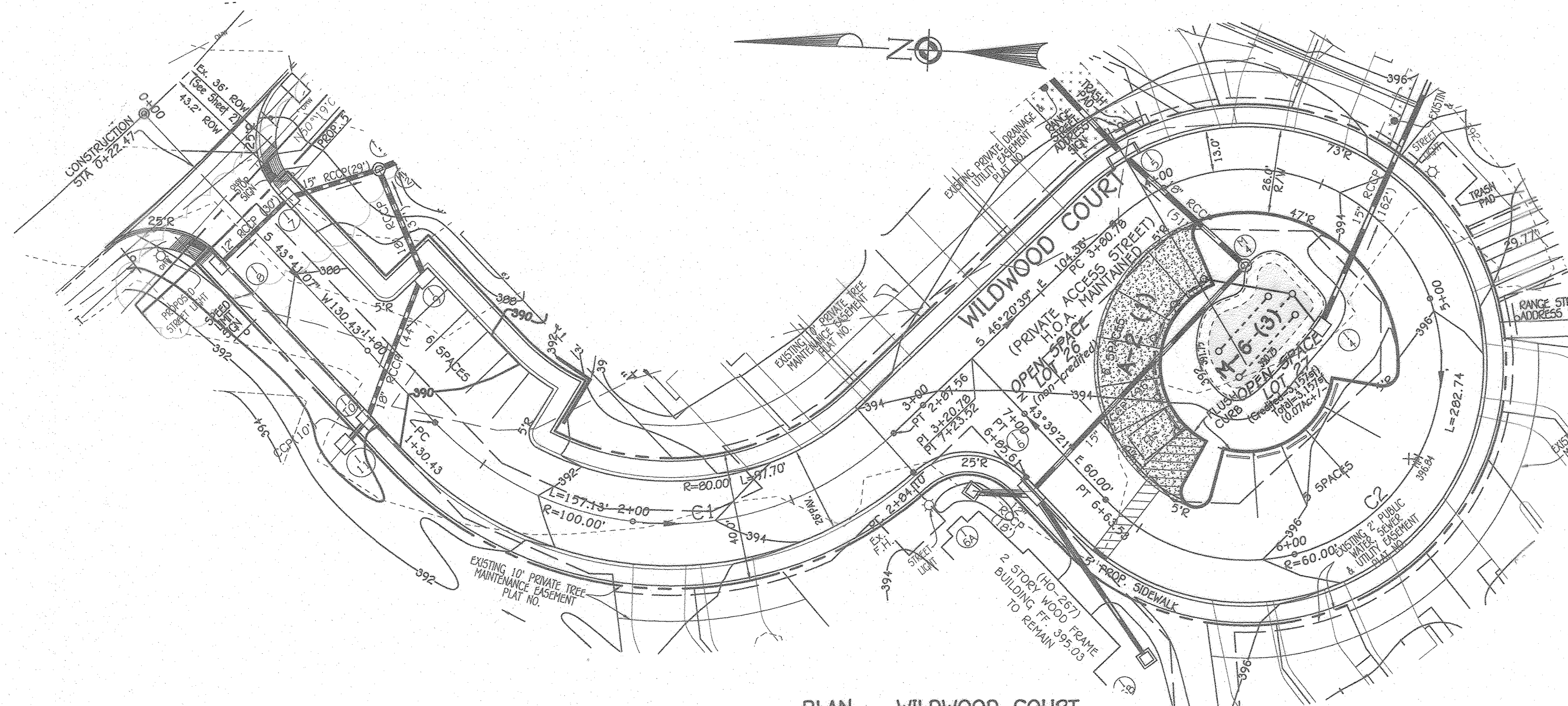


**AS-BUILT CERTIFICATION**  
 I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on the plan was constructed as shown on this "AS-BUILT" plan meet the approved plans and specifications.  
 ALDO MICHAEL VITUCCI #20748  
 DATE: 4/24/20

**STORMDRAIN STRUCTURE SCHEDULE AND DETAILS**  
**EDEN BROOK**  
 LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27 (AGE-RESTRICTED ADULT HOUSING)  
 (BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)  
 LIBER 18868 AT FOLIO 96)  
 TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12  
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: APRIL, 2020  
 SHEET 9 OF 19

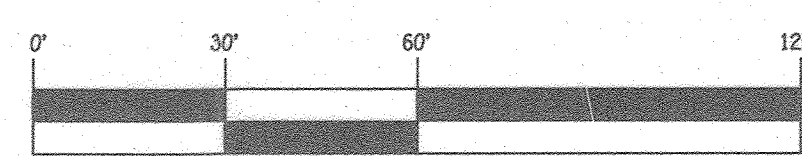
"AS-BUILT"





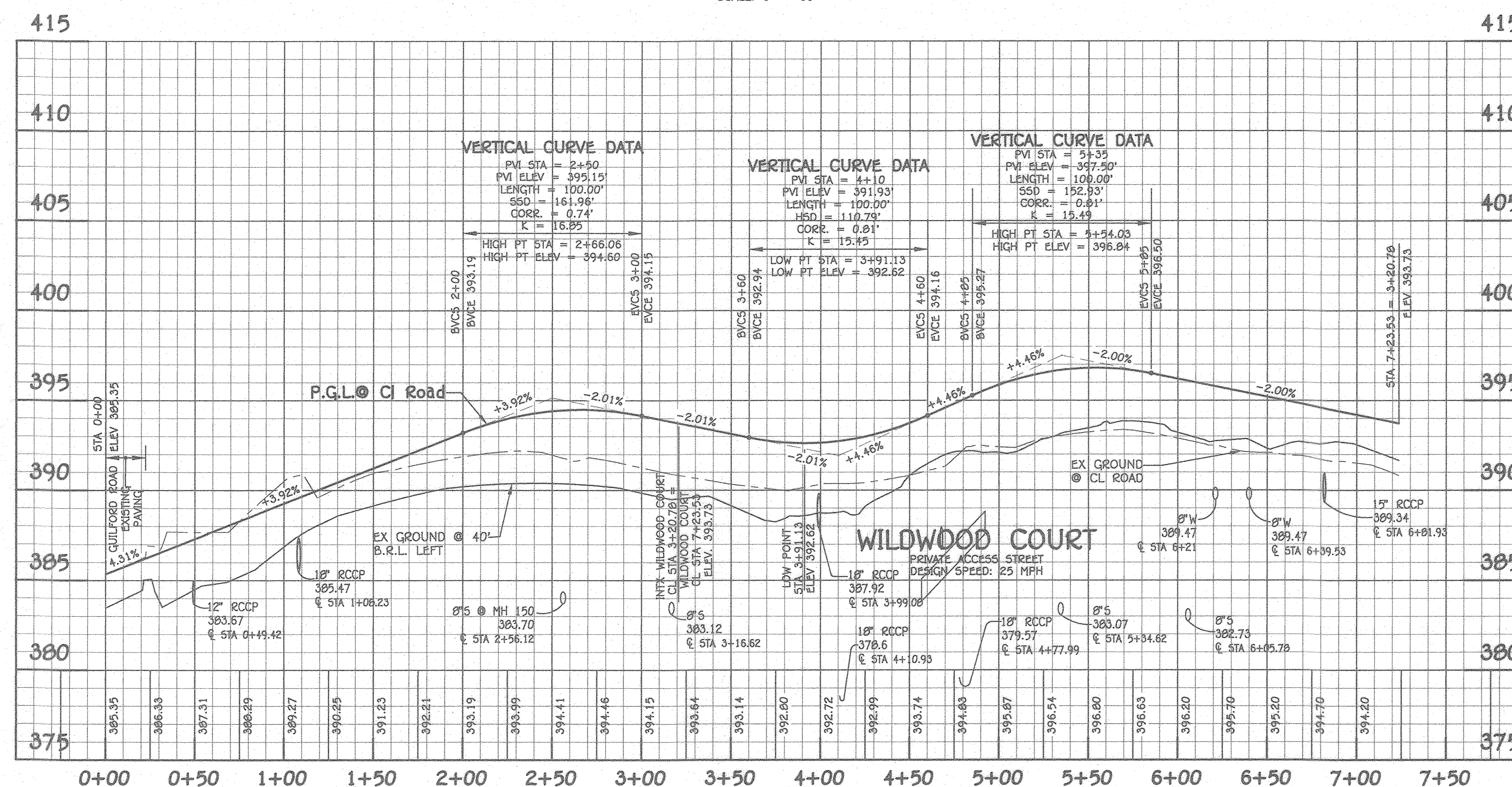
PLAN - WILDWOOD COURT

SCALE: HORIZ. 1" = 30'



SCALE: 1" = 30'

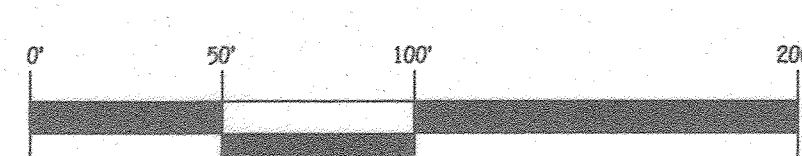
PROPOSED ALIGNMENT CURVE TABLE							
CURVE#	ROAD NAME	CL STATION	RADIUS	LENGTH	DELTA	TANGENT	CHORD
C1	WILDWOOD COURT	STA 1+30.43 TO STA 2+87.56	100.00'	157.13'	57°17'45"	141.46'	501°19'45.73"E
C2	WILDWOOD COURT	STA 3+80.78 TO STA 6+63.53	60.00'	282.74'	95°29'35"	84.85'	588°39'21.65"W



PROFILE - WILDWOOD COURT

SCALE: HORIZ. 1" = 50'

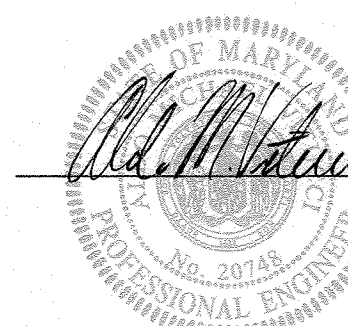
VERT. 1" = 5'



SCALE: 1" = 50'

AS-BUILT CERTIFICATION

Note: There is no "AS-BUILT" information provided on this sheet.



5/22/22  
Date

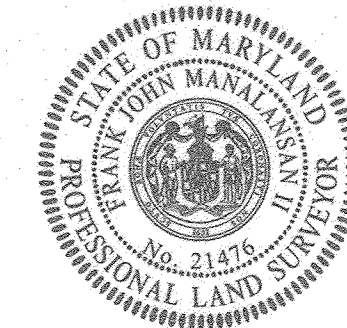
ROAD PLAN AND PROFILE SHEET  
**EDEN BROOK**  
 LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27  
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 (BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)  
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 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: APRIL 2020  
 SHEET 10 OF 19

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 5/18/22  
 DATE: 5.6.20

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE  
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 Frank Manalang II  
 DATE: 4/21/20

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

F-20-011



**INFILTRATION AND FILTER SYSTEM CONSTRUCTION SPECIFICATIONS**

INFILTRATION AND FILTER SYSTEMS EITHER TAKE ADVANTAGE OF EXISTING PERMEABLE SOILS OR CREATE A PERMEABLE MEDIUM SUCH AS SAND FOR WC), AND RE V. IN SOME INSTANCES WHERE PERMEABILITY IS GREAT, THESE FACILITIES MAY BE USED FOR AS WELL AS THE MOST COMMON SYSTEMS INCLUDE INFILTRATION TRENCHES, INFILTRATION BASINS, SAND FILTERS, AND ORGANIC FILTERS.

WHEN PROPERLY PLANTED, VEGETATION WILL THRIVE AND ENHANCE THE FUNCTIONING OF THESE SYSTEMS. FOR EXAMPLE, PRE-TREATMENT BUFFERS WILL TRAP SEDIMENTS THAT OFTEN ARE BOUND WITH PHOSPHORUS AND METALS. VEGETATION PLANTED IN THE FACILITY WILL Aid IN NUTRIENT UPTAKE AND WATER STORAGE. ADDITIONALLY, PLANT ROOTS WILL PROVIDE ARTERIES FOR STORMWATER TO PERMEATE SOIL FOR GROUNDWATER RECHARGE. FINALLY, SUCCESSFUL PLANTINGS PROVIDE AESTHETIC VALUE AND WILDLIFE HABITAT MAKING THESE FACILITIES MORE DESIRABLE TO THE PUBLIC.

**DESIGN CONSTRAINTS:**

- > PLANTING BUFFER STRIPS OF AT LEAST 20 FEET WILL CAUSE SEDIMENTS TO SETTLE OUT BEFORE REACHING THE FACILITY, THEREBY REDUCING THE POSSIBILITY OF CLOGGING.
- > DETERMINE AREAS THAT WILL BE SATURATED WITH WATER AND WATER TABLE DEPTH SO THAT APPROPRIATE PLANTS MAY BE SELECTED (HYDROLOGY WILL BE SIMILAR TO BIORETENTION FACILITIES, SEE FIGURE A.5 AND TABLE A.4 FOR PLANTING MATERIAL GUIDANCE).
- > PLANTS KNOWN TO SEND DOWN DEEP TAPROOTS SHOULD BE AVOIDED IN SYSTEMS WHERE FILTER FABRIC IS USED AS PART OF FACILITY DESIGN.
- > TEST SOIL CONDITIONS TO DETERMINE IF SOIL AMENDMENTS ARE NECESSARY.
- > PLANTS SHALL BE LOCATED SO THAT ACCESS IS POSSIBLE FOR STRUCTURE MAINTENANCE.
- > STABILIZE HEAVY FLOW AREAS WITH EROSION CONTROL MATS OR SOO.
- > TEMPORARILY DIVERT FLOWS FROM SEEDING AREAS UNTIL VEGETATION IS ESTABLISHED.
- > SEE TABLE A.5 FOR ADDITIONAL DESIGN CONSIDERATIONS.

**BIO-RETENTION**

**SOIL BED CHARACTERISTICS**  
THE CHARACTERISTICS OF THE SOIL FOR THE BIORETENTION FACILITY ARE PERHAPS AS IMPORTANT AS THE FACILITY LOCATION, SIZE, AND TREATMENT VOLUME. THE SOIL MUST BE PERMEABLE ENOUGH TO ALLOW RUNOFF TO FILTER THROUGH THE MEDIA, WHILE HAVING CHARACTERISTICS SUITABLE TO PROMOTE AND SUSTAIN A ROBUST VEGETATIVE COVER CROP. IN ADDITION, MUCH OF THE NUTRIENT POLLUTANT UPTAKE (NITROGEN AND PHOSPHORUS) IS ACCOMPLISHED THROUGH ADSORPTION AND MICROBIAL ACTIVITY WITHIN THE SOIL PROFILE. THEREFORE, SOILS MUST BALANCE THEIR CHEMICAL AND PHYSICAL PROPERTIES TO SUPPORT BIOTIC COMMUNITIES ABOVE AND BELOW GROUND.

THE PLANTING SOIL SHOULD BE A SANDY LOAM, LOAMY SAND, LOAM (USDA), OR A LOAM/SAND MIX (SHOULD CONTAIN A MINIMUM 35 TO 60% SAND, BY VOLUME). THE CLAY CONTENT FOR THESE SOILS SHOULD BE LESS THAN 25% BY VOLUME. ENVIRONMENTAL QUALITY RESOURCES (EQS), 1996; ENGINEERING TECHNOLOGY INC. AND BIOHABITATS, INC. (ETAB), 1993). SOILS SHOULD FALL WITHIN THE SM, ML, SC CLASSIFICATIONS OR THE UNIFIED SOIL CLASSIFICATION SYSTEM (USCS). A PERMEABILITY OF AT LEAST 1.0 FEET PER DAY (0.5"/HR) IS REQUIRED (A CONSERVATIVE VALUE OF 0.5 FEET PER DAY IS USED FOR DESIGN). THE SOIL SHOULD BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER. BRUSH OR SEEDS FROM NOXIOUS WEEDS (E.G., JOHNSON GRASS, HUNGWORT, NUTSEDGE, AND CANADA THISTLE OR OTHER NOXIOUS WEEDS AS SPECIFIED UNDER COMAR 15.08.01.05.) SHOULD NOT BE PRESENT IN THE SOILS. PLACEMENT OF THE PLANTING SOIL SHOULD BE IN 12 TO 18 LIFTS THAT ARE LOOSELY COMPACTED (TAMPED LIGHTLY WITH A BACKHOE BUCKET OR TRAVERSED BY DOZER TRACKS). THE SPECIFIC CHARACTERISTICS ARE PRESENTED IN TABLE A.3.

**TABLE A.3 PLANTING SOIL CHARACTERISTICS**

PARAMETER	VALUE
PH RANGE	5.2 TO 7.00
ORGANIC MATTER	1.5 TO 4.0% (BY WEIGHT)
MAGNESIUM	35 LBS. PER ACRE, MINIMUM
PHOSPHORUS (PHOSPHATE - P2O5)	75 LBS. PER ACRE, MINIMUM
POTASSIUM (POTASH - K2O)	85 LBS. PER ACRE, MINIMUM
SOLUBLE SALTS	500 PPM
CLAY	10 TO 25 %
SILT	30 TO 55 %
SAND	35 TO 60%

**MULCH LAYER**

THE MULCH LAYER PLAYS AN IMPORTANT ROLE IN THE PERFORMANCE OF THE BIORETENTION SYSTEM. THE MULCH LAYER HELPS MAINTAIN SOIL MOISTURE AND AVOIDS SURFACE SEALING, WHICH REDUCES PERMEABILITY. MULCH HELPS PREVENT EROSION, AND PROVIDES A MICROENVIRONMENT SUITABLE FOR SOIL BIOTA AT THE MULCH/SOIL INTERFACE. IT ALSO SERVES AS A PRE-TREATMENT LAYER, TRAPPING THE FINER SEDIMENTS, WHICH REMAIN SUSPENDED AFTER THE PRIMARY PRE-TREATMENT.

THE MULCH LAYER SHOULD BE STANDARD LANDSCAPE STYLE, SINGLE OR DOUBLE SHREDDED HARDWOOD MULCH OR CHIPS. THE MULCH LAYER SHOULD BE WELL AGED (STOCKPILED OR STORED FOR AT LEAST 12 MONTHS), UNIFORM IN COLOR, AND FREE OF OTHER MATERIALS, SUCH AS WEED SEEDS, SOIL, ROOTS, ETC. THE MULCH SHOULD BE APPLIED TO A MAXIMUM DEPTH OF THREE INCHES. GRASS CLIPPINGS SHOULD NOT BE USED AS A MULCH MATERIAL.

**PLANTING GUIDANCE**

PLANT MATERIAL SELECTION SHOULD BE BASED ON THE GOAL OF SIMULATING A TERRESTRIAL FORESTED COMMUNITY OF NATIVE SPECIES. BIORETENTION SIMULATES AN UPLAND-SPECIES ECOSYSTEM. THE COMMUNITY SHOULD BE DOMINATED BY TREES, BUT HAVE A DISTINCT COMMUNITY OF UNDERSTORY TREES, SHRUBS AND HERBACEOUS MATERIALS. BY CREATING A DIVERSE, DENSE PLANT COVER, A BIORETENTION FACILITY WILL BE ABLE TO TREAT STORMWATER RUNOFF AND WITHSTAND URBAN STRESSES FROM INSECTS, DISEASE, DROUGHT, TEMPERATURE, WIND, AND EXPOSURE. THE PROPER SELECTION AND INSTALLATION OF PLANT MATERIALS IS KEY TO A SUCCESSFUL SYSTEM. THERE ARE ESSENTIALLY THREE ZONES WITHIN A BIORETENTION FACILITY (FIGURE A.5). THE LOWEST ELEVATION SUPPORTS PLANT SPECIES ADAPTED TO STANDING AND FLUCTUATING WATER LEVELS. THE MIDDLE ELEVATION SUPPORTS PLANTS THAT LIKE DRIER SOIL CONDITIONS, BUT CAN STILL TOLERATE OCCASIONAL INUNDATION BY WATER. THE OUTER EDGE IS THE HIGHEST ELEVATION AND GENERALLY SUPPORTS PLANTS ADAPTED TO DRIER CONDITIONS. A SAMPLE OF APPROPRIATE PLANT MATERIALS FOR BIORETENTION FACILITIES ARE INCLUDED IN TABLE A.4. THE LAYOUT OF PLANT MATERIAL SHOULD BE FLEXIBLE, BUT SHOULD FOLLOW THE GENERAL PRINCIPALS DESCRIBED IN TABLE A.5. THE OBJECTIVE IS TO HAVE A SYSTEM, WHICH RESEMBLES A RANDOM, AND NATURAL PLANT LAYOUT, WHILE MAINTAINING OPTIMAL CONDITIONS FOR PLANT ESTABLISHMENT AND GROWTH. FOR A MORE EXTENSIVE BIORETENTION PLAN, CONSULT ETAB, 1993 OR CLAYTOR AND SCHUELER, 1997.

**OPERATION AND MAINTENANCE SCHEDULE FOR BIO-RETENTION AREAS (M-6) AND (F-6)**

- ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING.
- SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDER BEYOND TREATMENT. TREATMENT OF ALL DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES.
- MULCH SHALL BE INSPECTED EACH SPRING, REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER ONCE EVERY 2 TO 3 YEARS.
- SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.

**DRAINAGE AREA F-6 (1) BIORETENTION PLANT MATERIAL**

QUANTITY	NAME	MAXIMUM SPACING (FT.)
167 (502 sq.ft.)	GRASSES	1 FT.
72	SHRUBS	2 FT.

**DRAINAGE AREA F-6 (2) BIORETENTION PLANT MATERIAL**

QUANTITY	NAME	MAXIMUM SPACING (FT.)
297 (892 sq.ft.)	GRASSES	1 FT.
127	SHRUBS	2 FT.

**DRAINAGE AREA F-6 (3) BIORETENTION PLANT MATERIAL**

QUANTITY	NAME	MAXIMUM SPACING (FT.)
56 (169 sq.ft.)	GRASSES	1 FT.
24	SHRUBS	2 FT.

**DRAINAGE AREA F-6 (4) BIORETENTION PLANT MATERIAL**

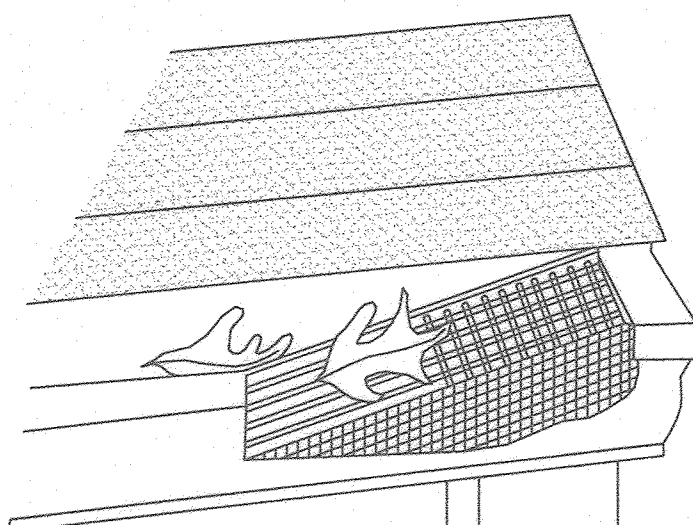
QUANTITY	NAME	MAXIMUM SPACING (FT.)
117 (352 sq.ft.)	GRASSES	1 FT.
50	SHRUBS	2 FT.

**DRAINAGE AREA F-6 (5) BIORETENTION PLANT MATERIAL**

QUANTITY	NAME	MAXIMUM SPACING (FT.)
75 (225 sq.ft.)	GRASSES	1 FT.
32	SHRUBS	2 FT.

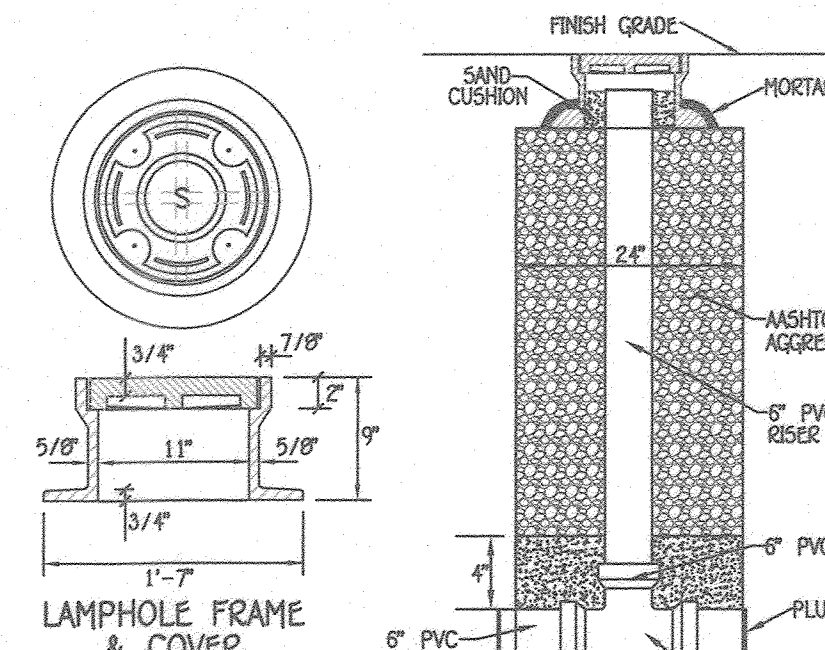
**SHRUBS**  
BAYBERRY  
SPICEBUSH  
ASHPERWOOD  
WINTERBERRY  
INLEBERRY  
WITCH HAZEL  
BUTTERNUT  
BUCKEYE  
BOTTLEBRUSH

**GRASS**  
SWITCHGRASS  
HEAVY METAL SWITCHGRASS



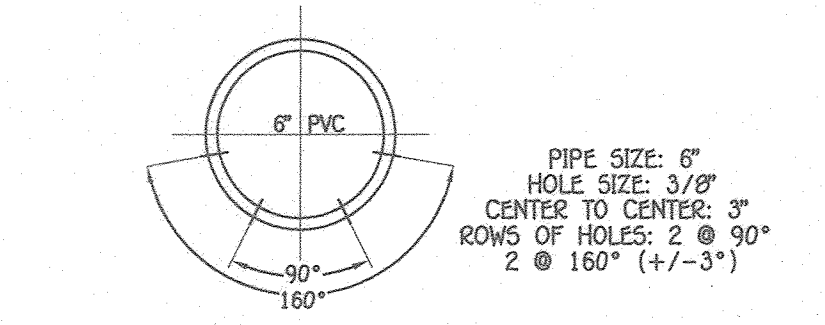
**GUTTER DRAIN FILTER DETAIL**

NOT TO SCALE  
\*A GUTTER GUARD OR A SUITABLE EQUIVALENT SHALL BE USED FOR EACH DOWNSPOUT DIRECTED TO A DRYWELL.



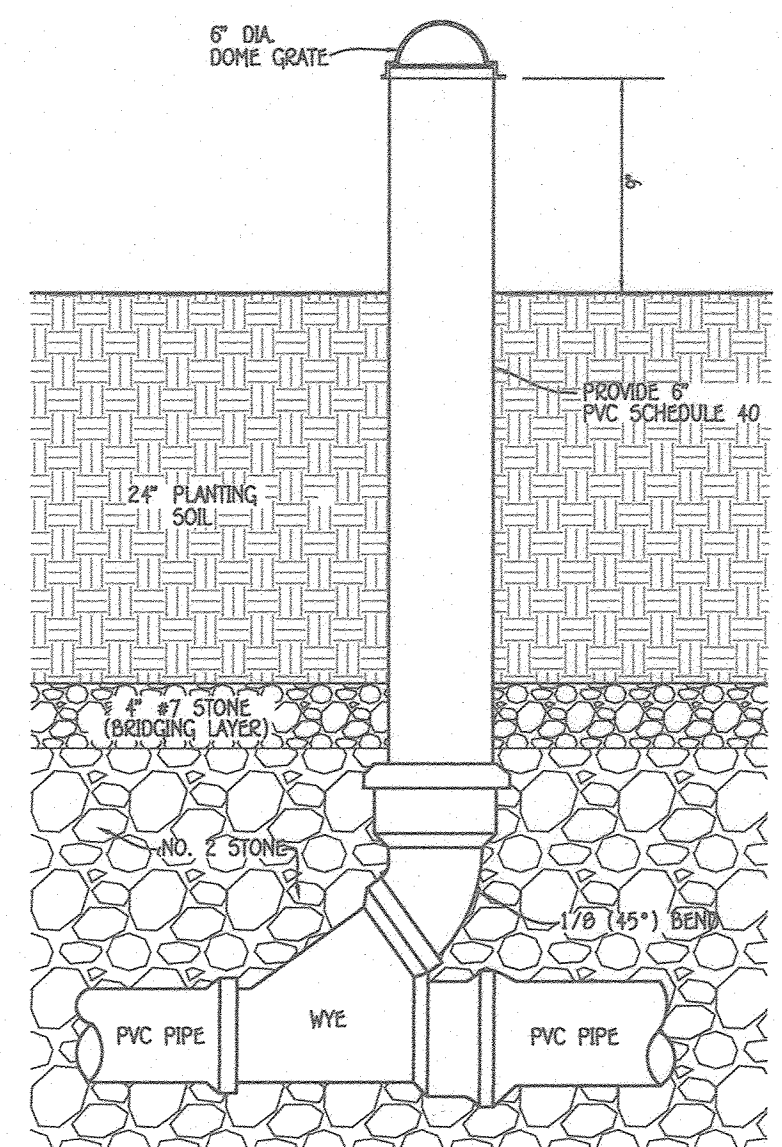
**CLEANOUT/ WATER QUALITY SAMPLING PORT DETAIL**

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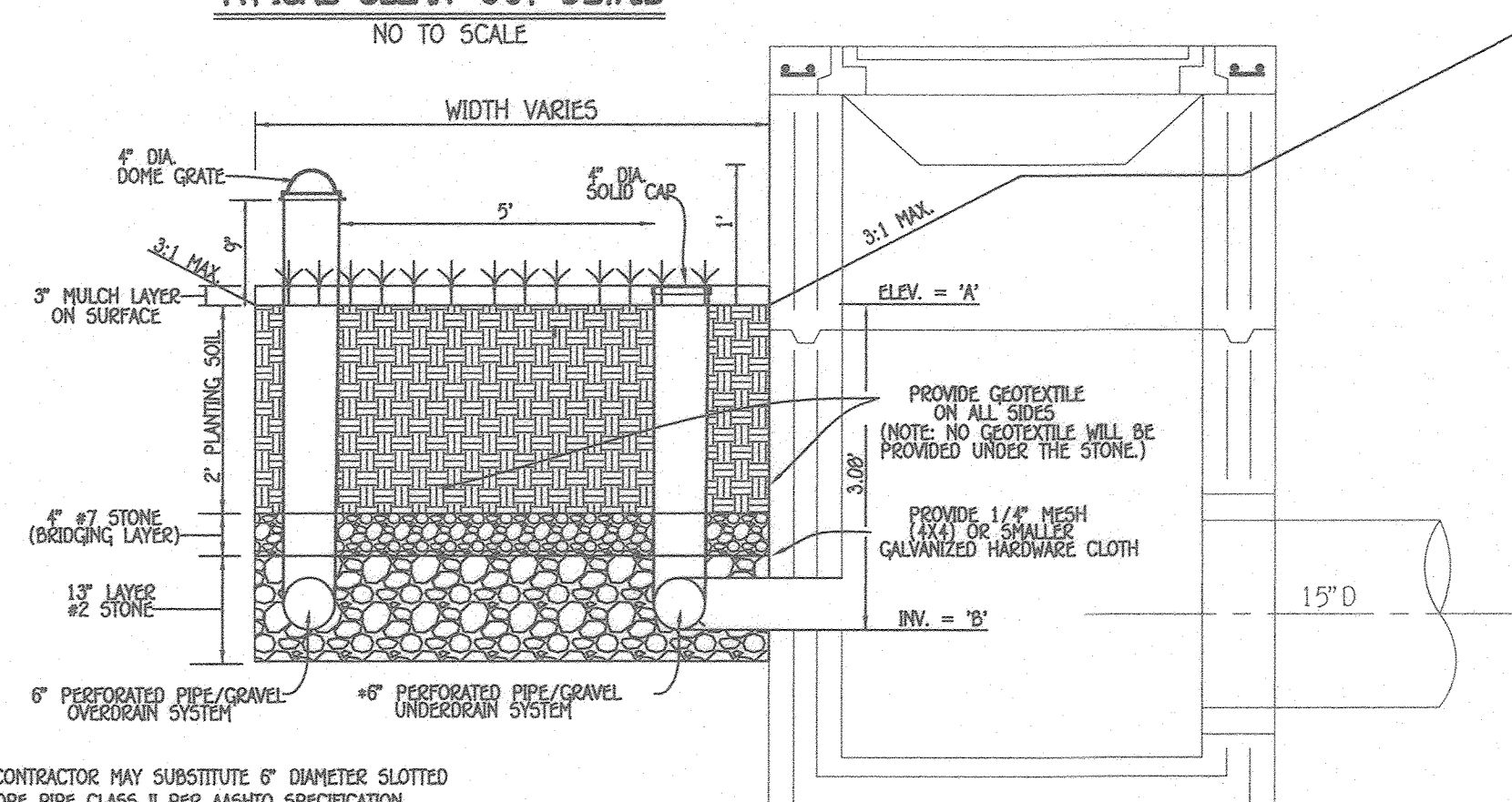
**SCH40 PVC PERFORATED UNDERDRAIN PIPE DETAIL FOR HORIZONTAL DRAIN PIPE**

NOT TO SCALE



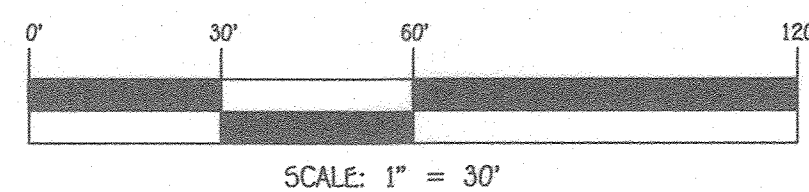
**TYPICAL CLEAN-OUT DETAIL**

NOT TO SCALE



**TYPICAL SECTION BIO-RETENTION FACILITY (F-6)**

NOT TO SCALE



SCALE: 1" = 30'

**CONSTRUCTION CRITERIA:**

THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING CONSTRUCTION OF PROJECTS WITH DRY WELLS:

**EROSION AND SEDIMENT CONTROL:**  
FINAL GRADING FOR PROPOSED DRY WELLS SHOULD NOT TAKE PLACE UNTIL THE SURROUNDING SITE IS COMPLETELY STABILIZED. IF THIS CANNOT BE ACCOMPLISHED, RUNOFF FROM DISTURBED AREAS SHALL BE DIVERTED.

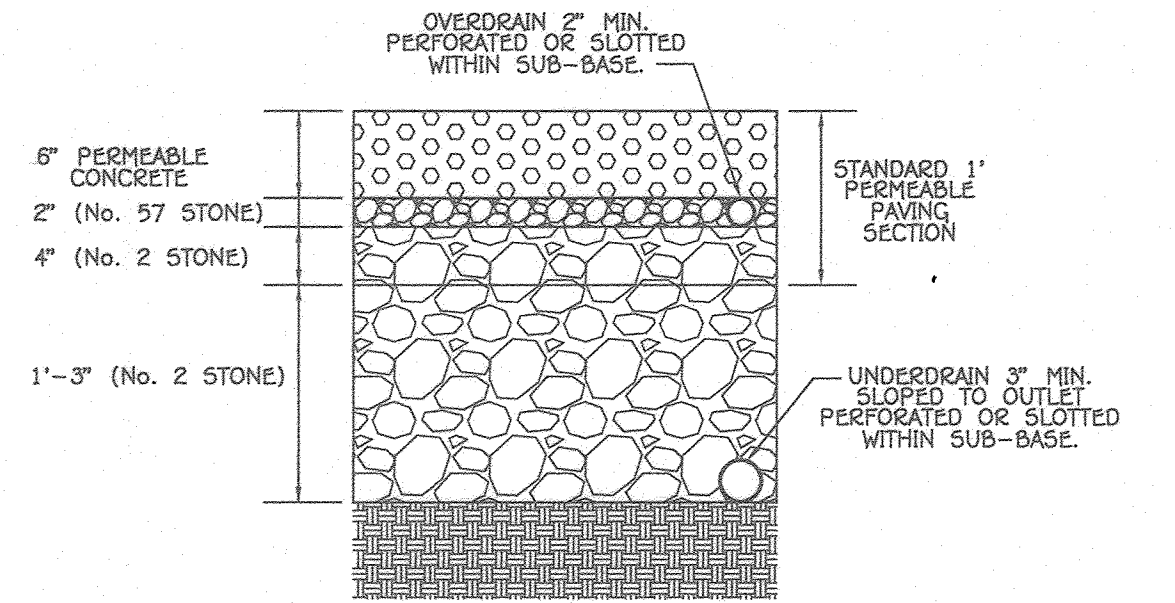
**SOIL COMPACTION:**  
EXCAVATION SHOULD BE CONDUCTED IN DRY CONDITIONS WITH EQUIPMENT LOCATED OUTSIDE OF THE PRACTICE TO MINIMIZE BOTTOM AND SIDEWALL COMPACTION. CONSTRUCTION OF A DRY WELL SHALL BE PERFORMED WITH LIGHTWEIGHT, WIDE-TRACKED EQUIPMENT TO MINIMIZE DISTURBANCE AND COMPACTION. EXCAVATED MATERIALS SHALL BE PLACED IN A CONTAINED AREA.

**UNDERGROUND CHAMBER:**  
A SUBSURFACE PREFABRICATED CHAMBER MAY BE USED.

**DRY WELL BOTTOM:**  
THE BOTTOM SHALL BE AS LEVEL AS POSSIBLE TO MINIMIZE POOLED WATER IN SMALL AREAS THAT MAY REDUCE OVERALL INFILTRATION AND LONGEVITY.

**FILTER CLOTH:**  
FILTER CLOTH SHALL NOT BE INSTALLED ON THE BOTTOM OF THE WELL. NON-WOVEN FILTER CLOTH SHOULD BE USED TO LINE THE TOP AND SIDES OF THE DRY WELL TO PREVENT THE PORE SPACE BETWEEN THE STONES FROM BEING BLOCKED BY THE SURROUNDING NATIVE MATERIAL.

**GRAVEL MEDIA:**  
THE AGGREGATE SHALL BE COMPOSED OF AN 18 TO 48-INCH LAYER OF CLEAN WASHED, OPEN GRADED MATERIAL WITH 40% POROSITY (E.G., ASTM D448 4, 5, OR 6 STONE OR EQUAL).



**TYPICAL SECTION - A-2 PERMEABLE SECTION w/ OVERDRAIN & UNDERDRAIN**

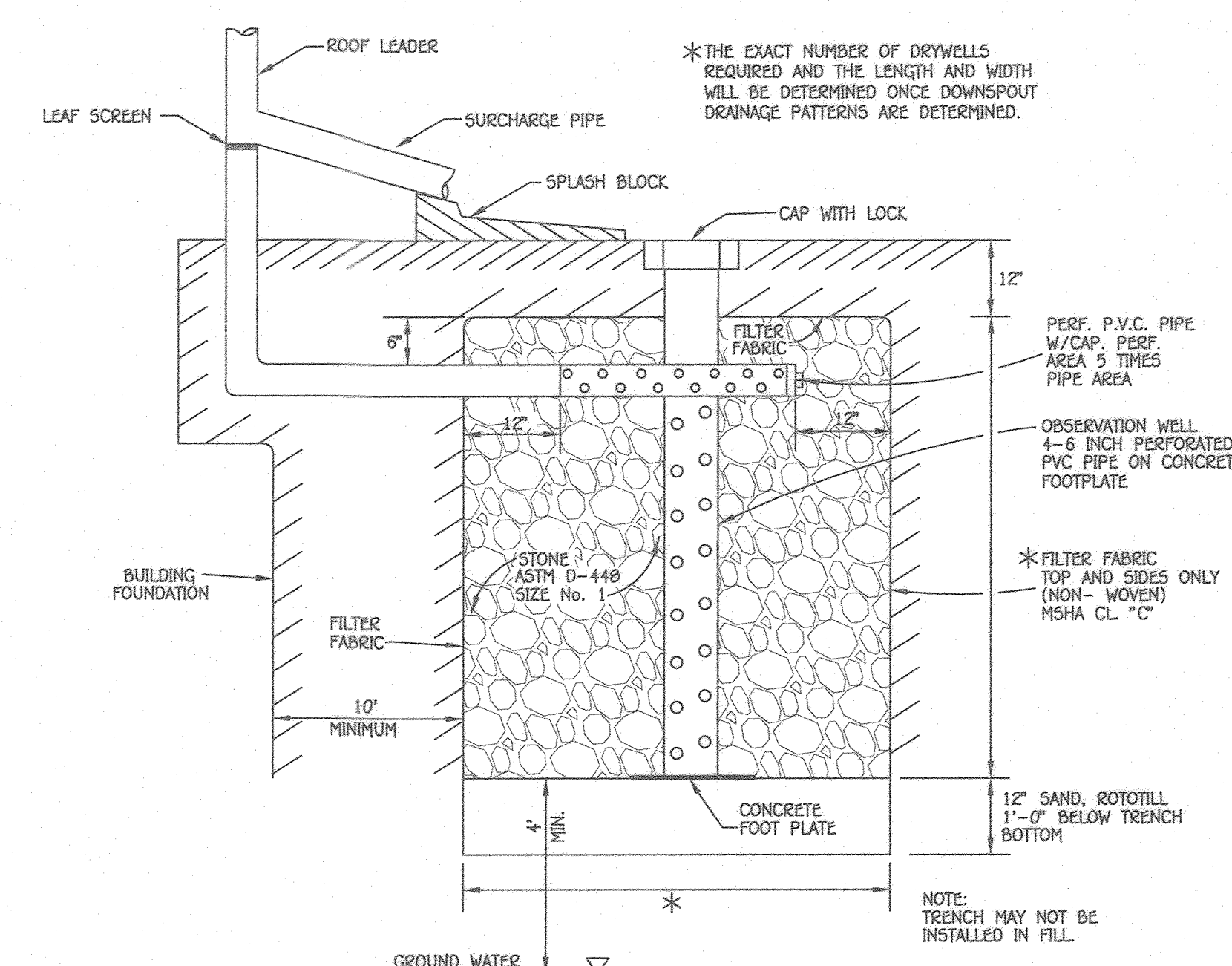
NO SCALE  
(SEE CHART ABOVE FOR PAVEMENT THICKNESS)

**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)**

- The owner shall periodically sweep (or vacuum porous concrete pavement) the pavement surfaces to reduce sediment accumulation and insure continued surface porosity. Sweeping should be performed at least twice annually with a commercial cleaning unit. Washing or compressed air units should not be used to perform surface cleaning.
- The owner shall periodically clean drainage pipes, inlets, stone edge drains and other structures within or draining to the subbase.
- The owner shall use deicers in moderation. Deicers should be non-toxic and be applied either as calcium magnesium acetate or as pre-treated salt.
- The owner shall ensure snow plowing is performed carefully with blades set one inch above the surface. Plowed snow piles and snowmelt should not be directed to permeable pavement.

**PERMEABLE PAVING CHART**

PERM. PAV. AREA NO.	DEPTH
A-2(1)	2.0'



**DRY WELL DETAIL**

NOT TO SCALE

**OPERATION & MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DRY WELLS (M-5)**

- THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS AND AFTER EVERY HEAVY STORM EVENT.
- THE OWNER SHALL RECORD THE WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS OVER A PERIOD OF SEVERAL DAYS TO ENSURE TRENCH DRAINAGE.
- THE OWNER SHALL MAINTAIN A LOG BOOK TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN A SEVENTY-TWO (72) HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.

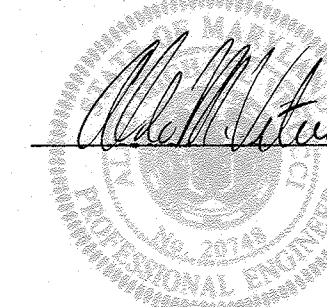
FACILITY NO.	A	B
F-6 (1)	381.00	377.99
F-6 (2)	381.00	372.44
M-6 (3)	50	390.99
M-6 (4)	387.00	383.92
M-6 (5)	680	387.00

**DRY WELL CHART**

LOT NO.	DRYWELL NUMBER	NO. OF DOWNSPOUTS	AREA OF ROOF	VOLUME REQUIRED	VOLUME PROVIDED	AREA OF STORAGE	AREA OF TREATMENT	NO. OF DRYWELLS	DIMENSIONS OF DRYWELLS
23	M-5 (23A)	2	907 Sqft	130 Cuft	140 Cuft	100%	100%	1	10' X 7' X 5'
24	M-5 (24A)	2	907 Sqft	130 Cuft	140 Cuft	100%	100%	1	10' X 7' X 5'

**AS-BUILT CERTIFICATION**

I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on the plan was constructed as shown on this "AS-BUILT" plan meet the approved plans and specifications.



ALDO MICHAEL VITUCCI #20748

**STORMWATER MANAGEMENT NOTES & DETAILS**

**EDEN BROOK**

LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27 (AGE-RESTRICTED ADULT HOUSING)

(BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)

LIBER 18868 OF FOLIO 96  
TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12  
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN DATE: APRIL, 2020

SHEET 11 OF 19

F-20-011

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 5-6-20

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTENNIAL SQUARE OFFICE PARK - 10072 BALDORNE NATIONAL PARK  
ELLSWORTH CITY, MARYLAND 21075  
(410) 461 - 2995

**Owner**  
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C/O H & H ROCK COMPANIES  
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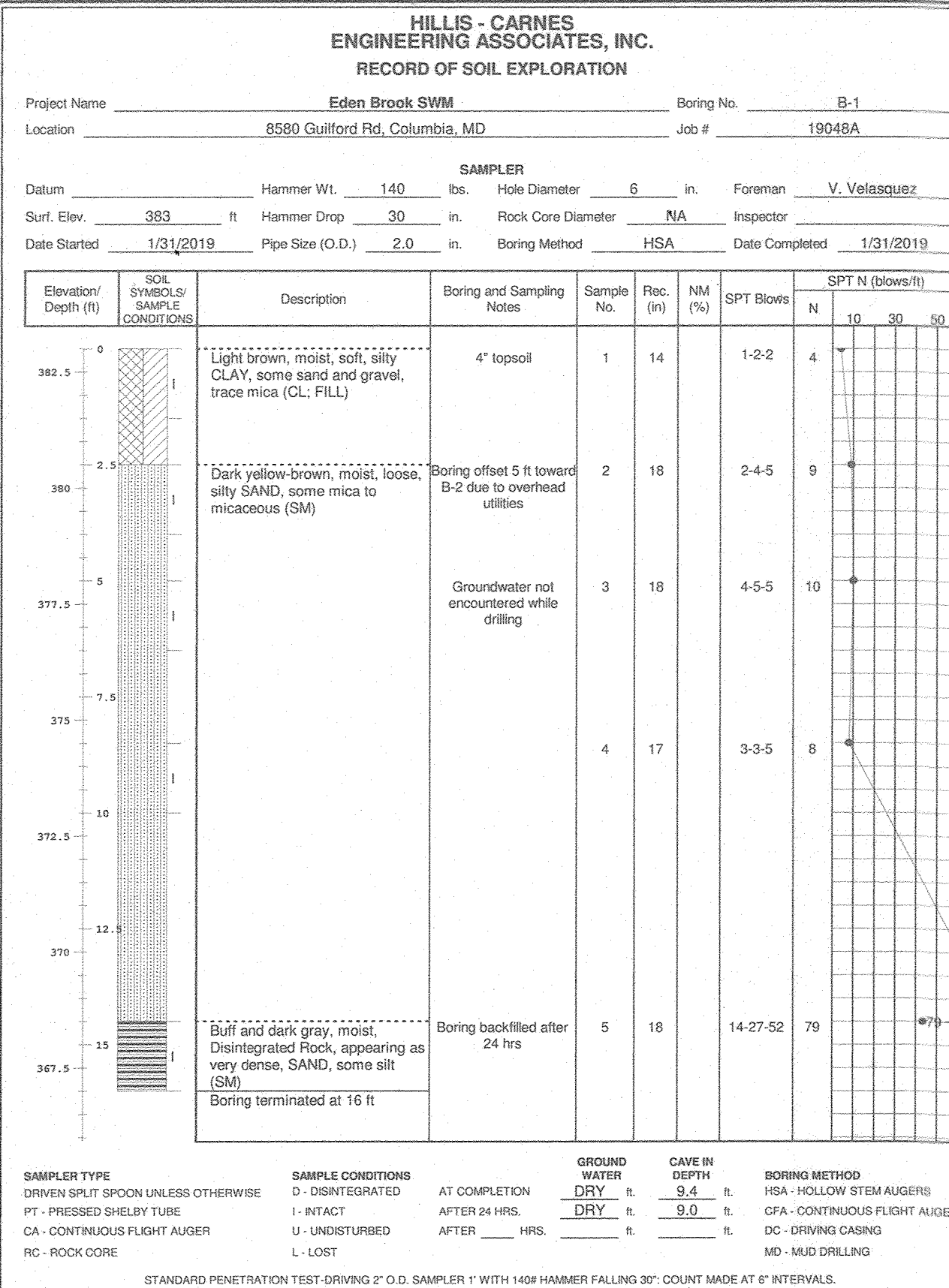
**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/21.

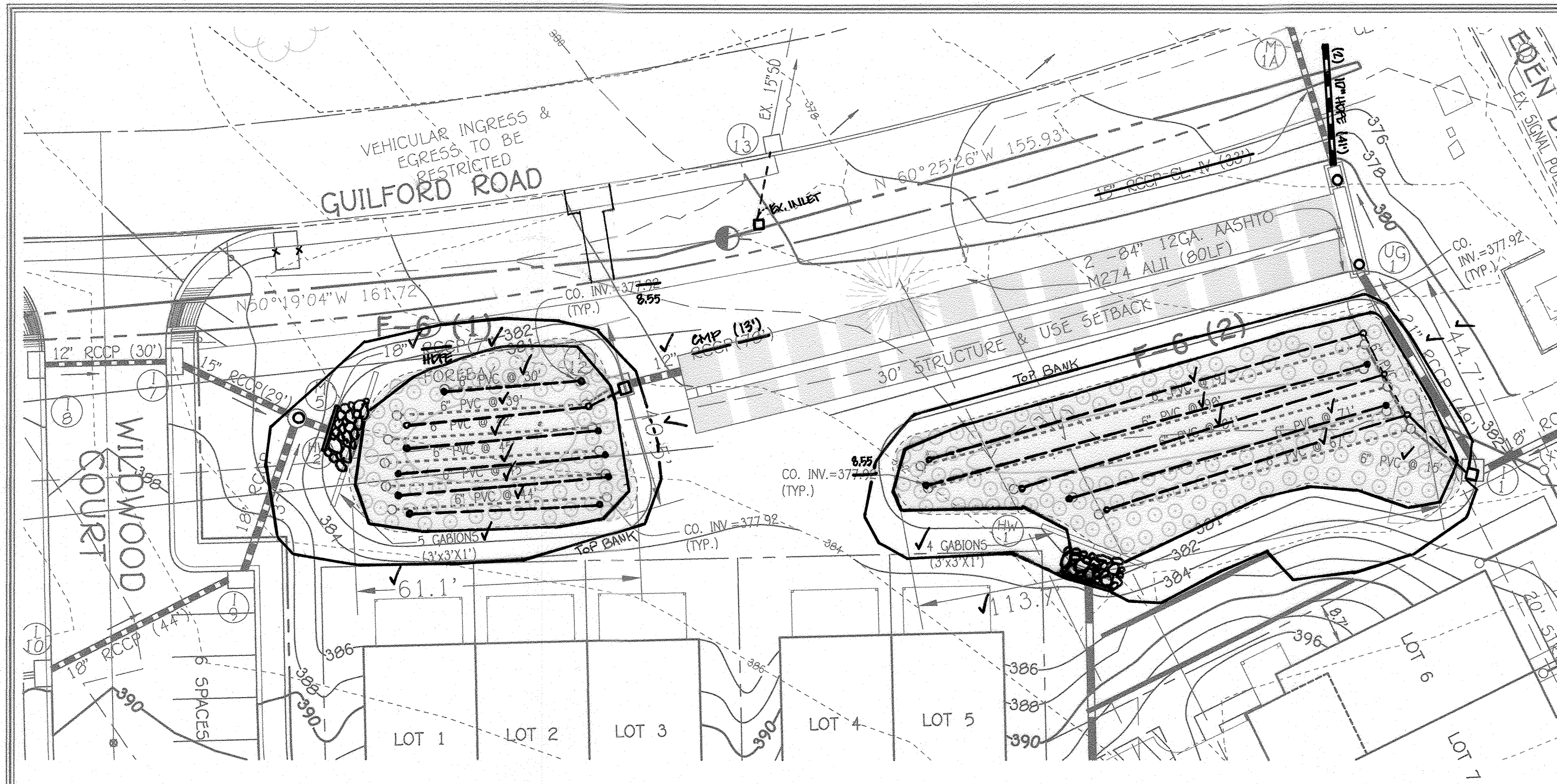
FRANK MANALANGAN II  
DATE: 4/21/20

"AS-BUILT"







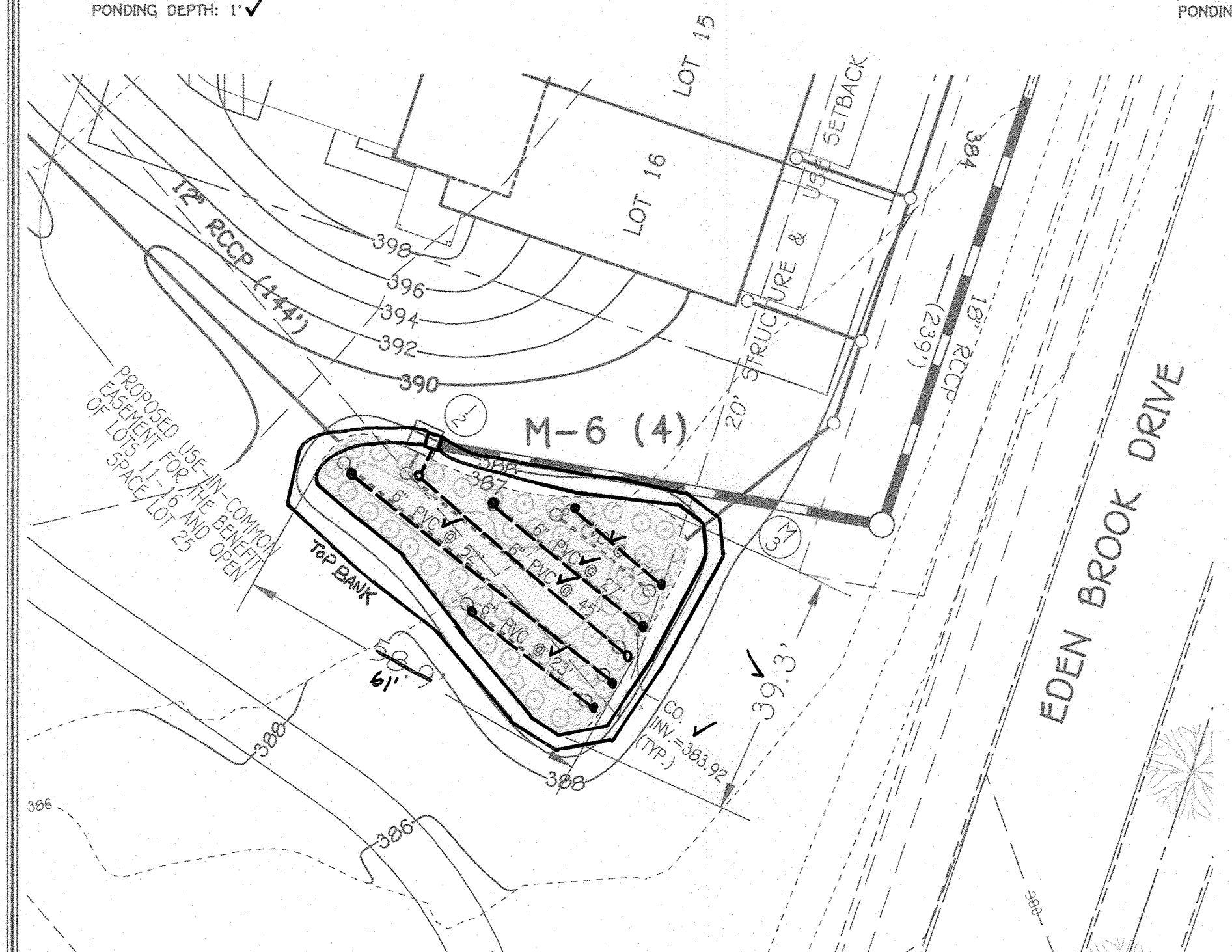


**F-6 (1)**  
 (BIO-RETENTION FACILITY)  
 SCALE: 1" = 20'  
 DRAINAGE AREA: 66,689 SqFt.  
 FILTER AREA: 1,966 SqFt.  
 ELEVATION 381 ✓  
 PERIMETER 171 ✓  
 WEIR ELEVATION 382 ✓  
 PONDING DEPTH: 1' ✓

NOTE:  
 1) STORMWATER MANAGEMENT FACILITY TO BE PRIVATELY OWNED AND MAINTAINED.

**F-6 (2)**  
 (BIO-RETENTION FACILITY)  
 SCALE: 1" = 20'  
 DRAINAGE AREA: 64,792 SqFt.  
 FILTER AREA: 3,568 SqFt.  
 ELEVATION 381 ✓  
 PERIMETER 289 ✓  
 WEIR ELEVATION 382 ✓  
 PONDING DEPTH: 1' ✓

NOTE:  
 1) STORMWATER MANAGEMENT FACILITY TO BE PRIVATELY OWNED AND MAINTAINED.



**M-6 (4)**  
 (BIO-RETENTION FACILITY)  
 SCALE: 1" = 20'  
 DRAINAGE AREA: 28,881 SqFt.  
 FILTER AREA: 1,542 SqFt.  
 ELEVATION 387 ✓  
 PERIMETER 142 ✓  
 WEIR ELEVATION 388 ✓  
 PONDING DEPTH: 1' ✓

NOTE:  
 1) STORMWATER MANAGEMENT FACILITY TO BE PRIVATELY OWNED AND MAINTAINED.

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 5/20/20

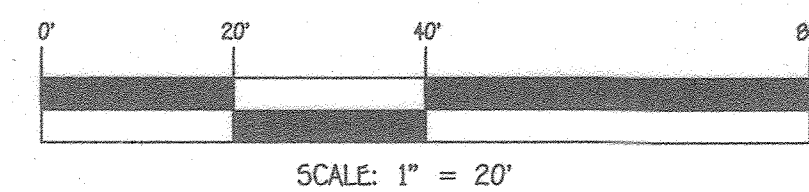
**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10072 BALTIMORE NATIONAL PIKE  
 ELKIDGE CITY, MARYLAND 21075  
 (410) 461-2095

**AS-BUILT CERTIFICATION**

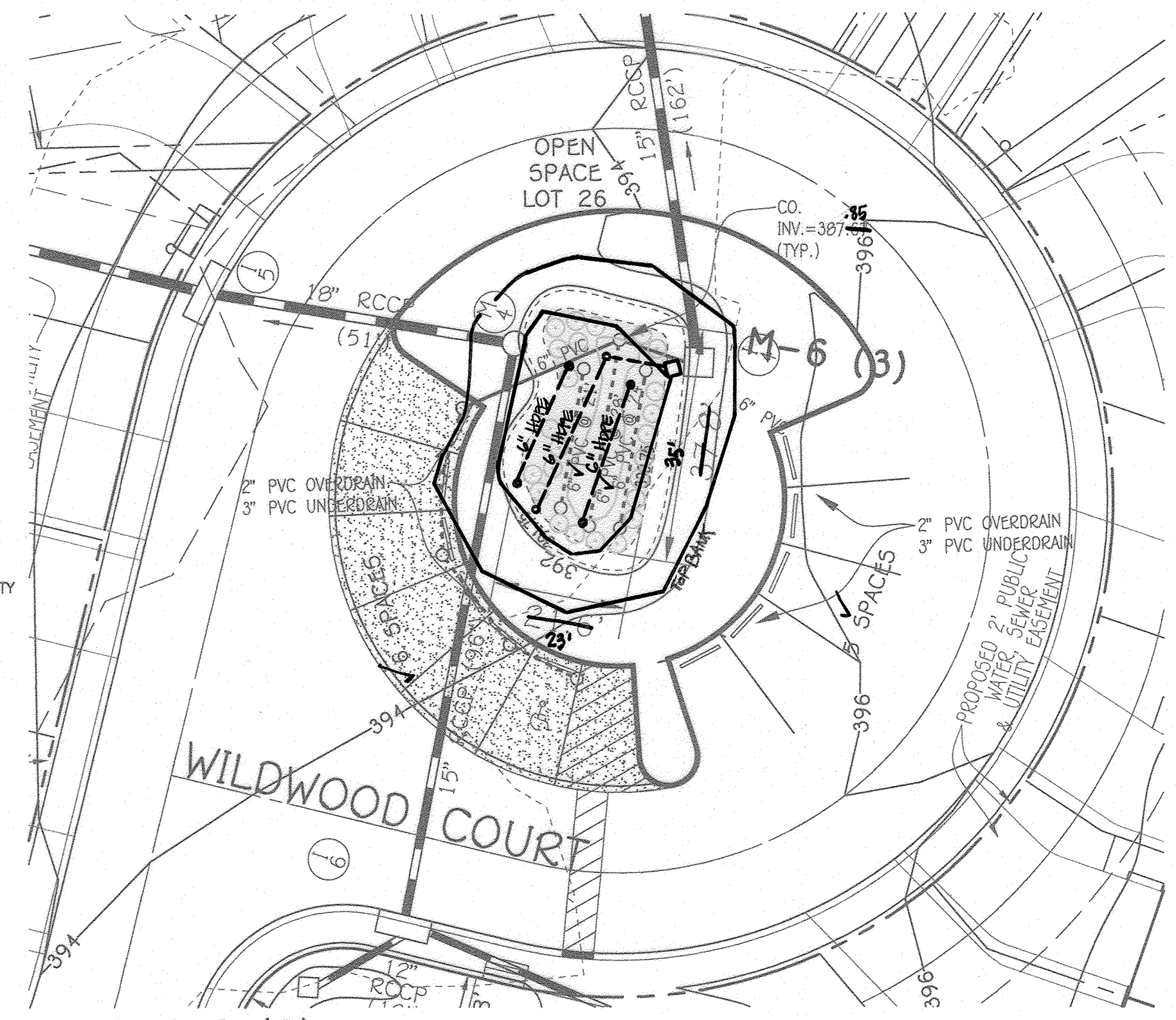
I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on the plan was constructed as shown on this "AS-BUILT" plan meet the approved plans and specifications.

*Alfredo Vitucci*  
 ALDO MICHAEL VITUCCI #20748  
 PROFESSIONAL ENGINEER

<b>Owner</b>	<b>Developer</b>
ENLN, LLC C/O H & H ROCK COMPANIES 6800 DEERPATH ROAD #100 ELKIDGE, MARYLAND 21075 PH# 410-567-1045	ROCK REALTY, LLC C/O H & H ROCK COMPANIES 6800 DEERPATH ROAD #100 ELKIDGE, MARYLAND 21075 PH# 410-567-1045



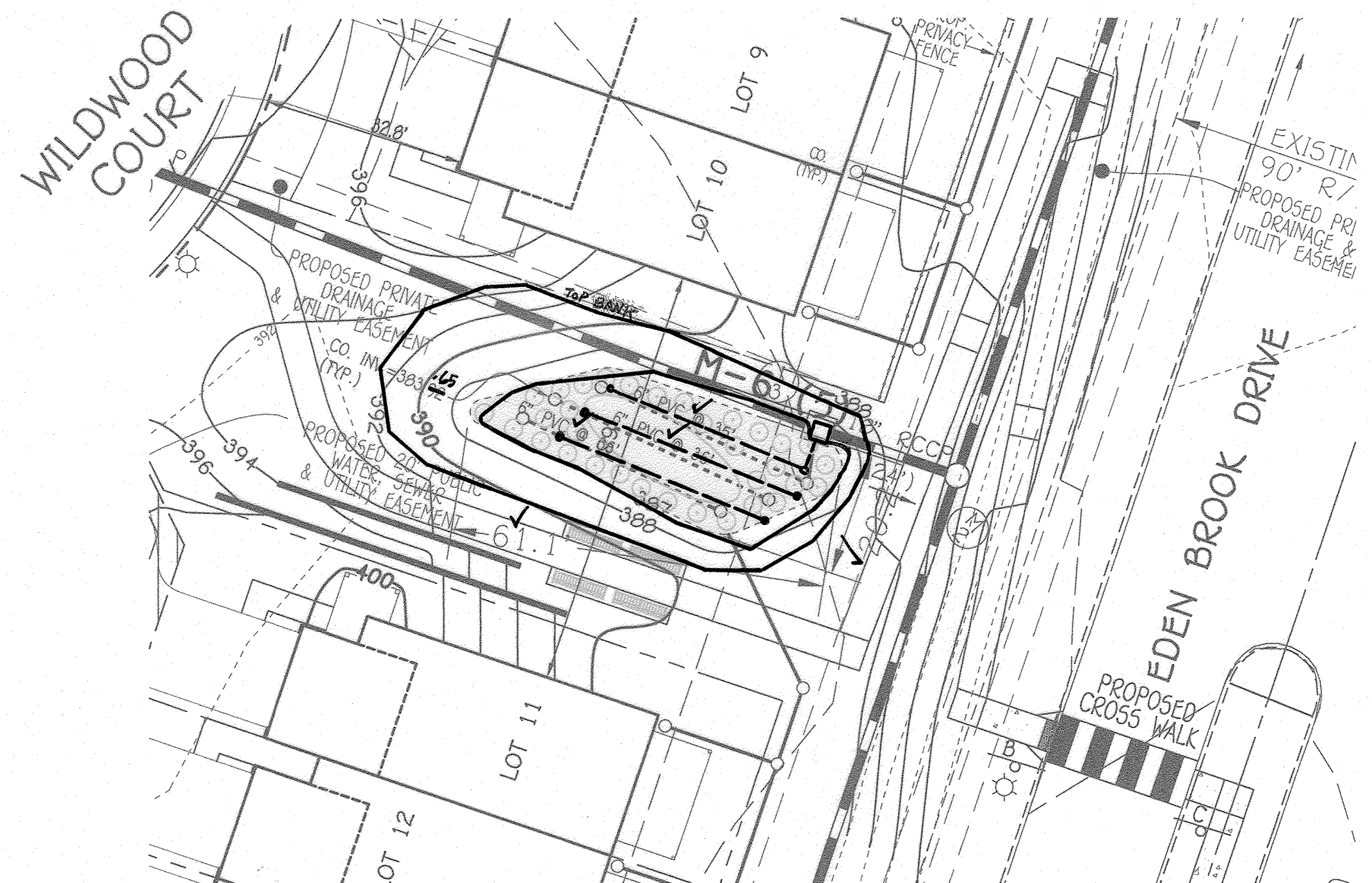
**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/21.  
*Frank Maralangan II*  
 FRANK MARALANGAN II  
 DATE: 4/21/20



**A-2 (1)**  
 (PERMEABLE PAVING)  
 DRAINAGE AREA: 5,196 SqFt.  
 PERMEABLE PAVING AREA: 1,667 SqFt.  
 NOTE:  
 1) STORMWATER MANAGEMENT FACILITY TO BE PRIVATELY OWNED AND MAINTAINED.

**M-6 (3)**  
 (BIO-RETENTION FACILITY)  
 SCALE: 1" = 20'  
 DRAINAGE AREA: 6,474 SqFt.  
 FILTER AREA: 507 SqFt.  
 ELEVATION 390.750 ✓  
 PERIMETER 168 ✓  
 WEIR ELEVATION 391.750 ✓  
 PONDING DEPTH: 1' ✓

NOTE:  
 1) STORMWATER MANAGEMENT FACILITY TO BE PRIVATELY OWNED AND MAINTAINED.



**M-6 (5)**  
 (BIO-RETENTION FACILITY)  
 SCALE: 1" = 20'  
 DRAINAGE AREA: 15,754 SqFt.  
 FILTER AREA: 1,437 SqFt.  
 ELEVATION 386.3 ✓  
 PERIMETER 162 ✓  
 WEIR ELEVATION 387.3 ✓  
 PONDING DEPTH: 1' ✓

NOTE:  
 1) STORMWATER MANAGEMENT FACILITY TO BE PRIVATELY OWNED AND MAINTAINED.

**STORMWATER MANAGEMENT NOTES AND DETAILS**

**EDEN BROOK**  
 LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27  
 (AGE-RESTRICTED ADULT HOUSING)  
 (BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)  
 LIBER 18868 OF FOLIO 96)  
 TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12  
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: APRIL, 2020  
 SHEET 13 OF 19

"AS-BUILT"



**LANDSCAPE DEVELOPER'S CERTIFICATE**

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a letter of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

Name: *Michael J. ...* Date: 4/20/2020

LEGEND	
SYMBOL	DESCRIPTION
---492---	EXISTING 2' CONTOURS
---490---	EXISTING 10' CONTOURS
---	PROPOSED CONTOUR
+362.5	SPOT ELEVATION
H.P.	HIGH POINT
SP	SOILS LINES AND TYPE
---	PROPOSED TREE LINE
---	EXISTING TREE LINE
⊗	EXISTING TREES & SHRUBS
⊗	EXISTING TREES & SHRUBS (TO BE REMOVED)
T.O.R.	TO BE REMOVED OR RELOCATED
---	EXISTING FENCE LINE
---	EXISTING PAVING
---	PROPOSED PAVING
---	PUBLIC SEWER, WATER & UTILITY EASEMENT
LOD	LIMITS OF DISTURBANCE
---	CREDITED OPEN SPACE
---	USE-IN-COMMON ACCESS EASEMENT
---	SUPER SILT FENCE
⊙	PROPOSED SWM BORING LOCATION
---	PRIVATE DRAINAGE AND UTILITY EASEMENT

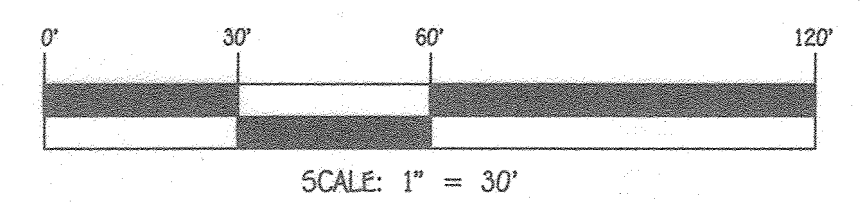
**PLANT SYMBOL LEGEND**

- PERIMETER PLANTING TREES & SHRUBS
- SPECIMEN MITIGATION TREES (WP-19-055)
- STREET TREES
- INTERNAL (RESIDENTIAL & PARKING) TREES
- ENHANCED LANDSCAPING PER BA-17-030C

**AS-BUILT CERTIFICATION**

Note: There is no "AS-BUILT" information provided on this sheet.

*Alfred M. ...*  
 PROFESSIONAL ENGINEERING  
 No. 20749  
 State of Maryland  
 Date: 4/20/20



**LANDSCAPE PLAN  
EDEN BROOK**

LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27  
 (AGE-RESTRICTED ADULT HOUSING)  
 (BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)  
 LIBER 18868 at FOLIO 96)  
 TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12  
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: APRIL, 2020  
 SHEET 14 OF 19

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/21.

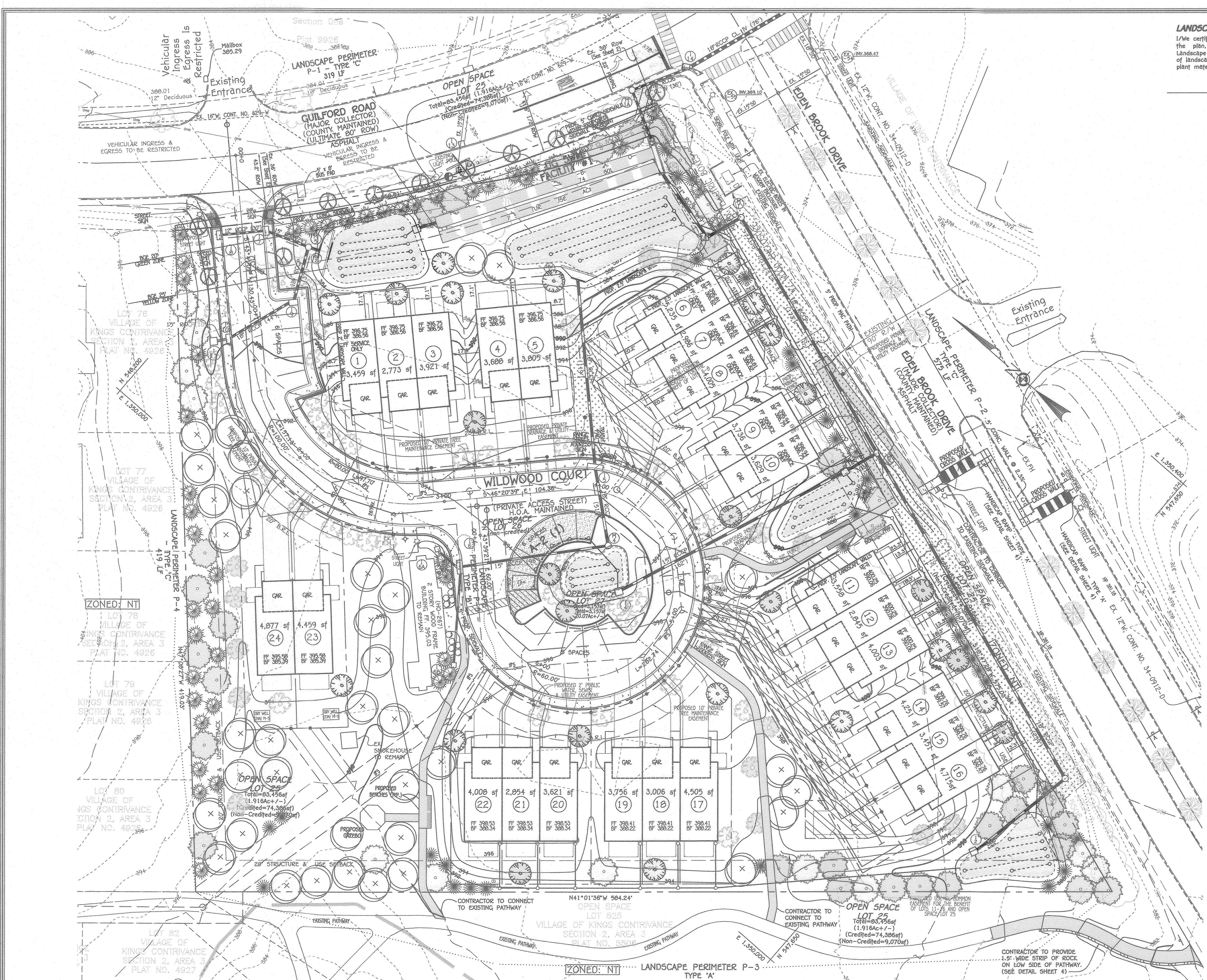
*Frank Manalansan II*  
 FRANK MANALANSAN II  
 4/21/20  
 DATE



<b>Owner</b>	<b>Developer</b>
ENL, LLC C/O H & H ROCK COMPANIES 6800 DEERPATH ROAD #100 ELKBRIDGE, MARYLAND 21075 PH: 410-567-1045	ROCK REALTY, LLC C/O H & H ROCK COMPANIES 6800 DEERPATH ROAD #100 ELKBRIDGE, MARYLAND 21075 PH: 410-567-1045

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Stalozza*  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 5-6-20  
*Chad ...*  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL, ENGINEERING CONSULTANTS & LAND SURVEYORS  
 10072 BALTIMORE NATIONAL PLACE  
 ELKBRIDGE CITY, MARYLAND 21042  
 (410) 461-7099



1/20/21/2007/Engineering/Design/Support plan/Plan\_Sheet/17007\_Sheet 14\_Landscape Plan.dwg, C:14\_Landscape Plan, E:1

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



**LANDSCAPE DEVELOPER'S CERTIFICATE**

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a letter of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

*[Signature]*  
 Date: 4/17/2020

\*At the time of plant installation, all trees listed and approved on the Landscape Plan, shall comply with the proper height requirement in accordance with the Howard County Landscape Manual. In addition, no substitutions or relocations of the required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviations from the approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to the road drawing plans\*.

\*The Owner, tenants and/or their agents shall be responsible for maintenance of the required perimeter landscaping. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All the other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced\*.

**PLANTING SPECIFICATIONS**

PLANTS, RELATED MATERIAL, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.

ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED, HAVE A VIGOROUS ROOT SYSTEM, AND SHALL CONFORM TO THE SPECIES, SIZE, ROOT AND SHAPE SHOWN ON THE PLANT LIST AND THE AMERICAN ASSOCIATION OF NURSERMEN (AAM) STANDARDS. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, FREE FROM DEFECTS, DISEASE, DISTURBING ROOTS, SUN SCALD INJURIES, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT PEST EGGS, BORERS AND ALL FORMS OF INSECT INFESTATIONS OR OBJECTIONABLE DISFIGUREMENTS. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. ALL PLANTS SHALL BE FRESHLY DUG; NO HEALED-IN PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATION SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS", (HEREINAFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECT, LATEST EDITION, INCLUDING ALL AGENDA.

CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE LANDSCAPE GUIDELINES. CONTRACTOR'S ATTENTION IS DIRECTED TO THE MAINTENANCE REQUIREMENTS FOUND WITHIN THE ONE YEAR SPECIFICATIONS INCLUDING WATERING AND REPLACEMENT OF SPECIFIED PLANT MATERIAL.

BID SHALL BE BASE ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS.

ALL SHRUBS SHALL BE PLANTED IN CONTINUOUS TRENCHES OR PREPARED PLANTING BEDS AND MULCHED WITH COMPOSTED HARDWOOD MULCH AS DETAILS AND SPECIFIED EXCEPT WHERE NOTED ON PLANS.

POSITIVE DRAINAGE SHALL BE MAINTAINED IN PLANTING BEDS 2 PERCENT SLOPE).

PLANTING MIX SHALL BE AS FOLLOWS: DECIDUOUS PLANTS - TWO PARTS TOPSOIL, ONE PART WELL-ROTTED COW OR HORSE MANURE. ADD 3 LBS. OF STANDARD FERTILIZER PER CUBIC YARD OF PLANTING MIX. EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE PART HUMUS OR OTHER APPROVED ORGANIC MATERIAL. ADD 3 LBS. OF EVERGREEN (ACIDIC) FERTILIZER PER CUBIC YARD OF PLANTING MIX. TOPSOIL SHALL CONFORM TO THE LANDSCAPE GUIDELINES.

WEED CONTROL: INCORPORATE A PRE-EMERGENT HERBICIDE INTO THE PLANTING BED FOLLOWING RECOMMENDED RATES ON THE LABEL. CAUTION: BE SURE TO CAREFULLY CHECK THE CHEMICAL USED TO ASSURE ITS ADAPTABILITY TO THE SPECIFIC GROUND COVER TO BE TREATED.

ALL AREAS WITHIN CONTRACT LIMITS DISTURBED DURING OR PRIOR TO CONSTRUCTION NOT DESIGNATED TO RECEIVE PLANTS AND MULCH SHALL BE FINE GRADED AND SEEDED.

**NOTES**

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
  - SURETY FOR 48 STREET TREES (\$13,800) AND 12 TRASH PAD SHRUBS (\$360) IN THE AMOUNT OF \$14,160 WILL BE PAID WITH THE DEPT. OF PUBLIC WORKS COST ESTIMATE UNDER THIS PLAN (F-20-011).
  - THE LANDSCAPING SURETY FOR THE PERIMETER, PARKING LOT AND RESIDENTIAL TREES WILL BE \$49,000.00 FOR 125 SHADE TREES (\$37,500), 78 EVERGREENS (\$11,700) AND 10 SHRUBS (\$300). REFER TO COMMENTS ON THE LANDSCAPING PLAN FOR MORE INFORMATION.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BENCHES, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED. GROUND COVER (SHORE JUNIPER) PLANTED PER COLUMBIA ASSOCIATION'S REQUEST ALONG CA PATHWAY SHALL BE MAINTAINED FOR ONE (1) YEAR BY OWNER/DEVELOPER.
- FOR ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH CREDIT IS GIVEN, BE REMOVED OR DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR IF THE TREE IS LISTED AS A PROHIBITED OR INVASIVE SPECIES ON THE DPZ TREE LIST IT SHOULD BE REPLACED WITH A RECOMMENDED TREE SPECIES WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE LANDSCAPE MANUAL.

PERIMETER CATEGORY	SCHEDULE A - PERIMETER LANDSCAPE EDGE					MITIGATION FOR REMOVAL OF 16 SPECIMEN TREES WP-19-055	ENHANCED LANDSCAPING PER BA-17-030C	TOTALS
	P-1 SFA BEAR TO ROADWAY	P-2 SFA BEAR TO SIDE ROADWAY	P-3 SFA TO PERIMETER PROPERTIES	P-4 NON-RESIDENTIAL TO PERIMETER PROPERTIES	P-5 NON-RESIDENTIAL FRONT TO ROADWAY			
LANDSCAPE TYPE	C	C	A	C	B			
LINEAR FEET OF PERIMETER	319 L.F.	575 L.F.	584 L.F.	419 L.F.	89 L.F.	36		REQUIRED: 48 SHADE 248 SHADE 69 EVERGREEN
NUMBER OF PLANTS REQUIRED		+ TRANSFER FROM P-1 = 3						
SHADE TREES	(319' / 40' = 7.98) = 8	(575' / 40' = 14.3) = 15	(584' / 60' = 9.7) = 10	(419' / 40' = 10.5) = 11	(89' / 50' = 1.78) = 2			
EVERGREEN TREES	(319' / 20' = 15.95) = 16	(575' / 20' = 28.75) = 29		(419' / 20' = 20.9) = 21	(89' / 40' = 2.23) = 3			
CREDIT FOR EXISTING VEGETATION	0	0	0	0	0			
SHADE TREES PROVIDED	0	0	0	0	0			
EVERGREEN TREES PROVIDED	0	0	0	0	0			
NUMBER OF PLANTS PROVIDED	5 (43 TRANSFERRED TO P-2)	15 + 43 = 58	10	11	5 (3 req. + 21 SUB)	36	17	PROVIDED: 48 SHADE 248 SHADE 69 EVERGREEN 10 SHRUBS
SHRUBS (10:1 SUBSTITUTION)	16	29		21			9	
							10	

\* REPRESENTS TREES BEING TRANSFERRED FROM ONE PERIMETER AREA TO ANOTHER TO MEET REQUIREMENTS. (PER CHAPTER VI OF THE LANDSCAPE MANUAL.)  
 \*\* PER CONDITION #1 OF WP-19-055 THIRTY-SIX 3"-4" CALIPER TREES ARE REQUIRED TO BE PLANTED AS MITIGATION FOR THE REMOVAL OF 16 SPECIMEN TREES  
 \*\*\* PER THE DECISION AND ORDER OF BA CASE No. 17-030C ADDITIONAL "ENHANCED" LANDSCAPING IS BEING PROVIDED

LANDSCAPING PLANT LIST				
SYMBOL	QTY.	BOTANICAL AND COMMON NAME	SIZE	COMMENTS
	34	ACER RUBRUM 'OCTOBER GLORY' RED MAPLE	2 1/2"-3" CAL.	
	33	ZELKOVA SERRATA JAPANESE ZELKOVA	2 1/2"-3" CAL.	
	21	ACER CEMPESTRE HEDGE MAPLE	1 1/2"-2" CAL.	
	36	FAGUS SYLVATICA EUROPEAN BEECH	3"-4" CAL. FULL CROWN B&B	SPECIMEN TREE REPLACEMENTS
	10	CLETHRA ALNIFOLIA SUMMERSWEET CLETHRA	2 1/2"-3" HGT.	
	80	ILEX 'Nellie R. Stevens' NELLIE STEVENS HOLLY	5'-6' HT.	

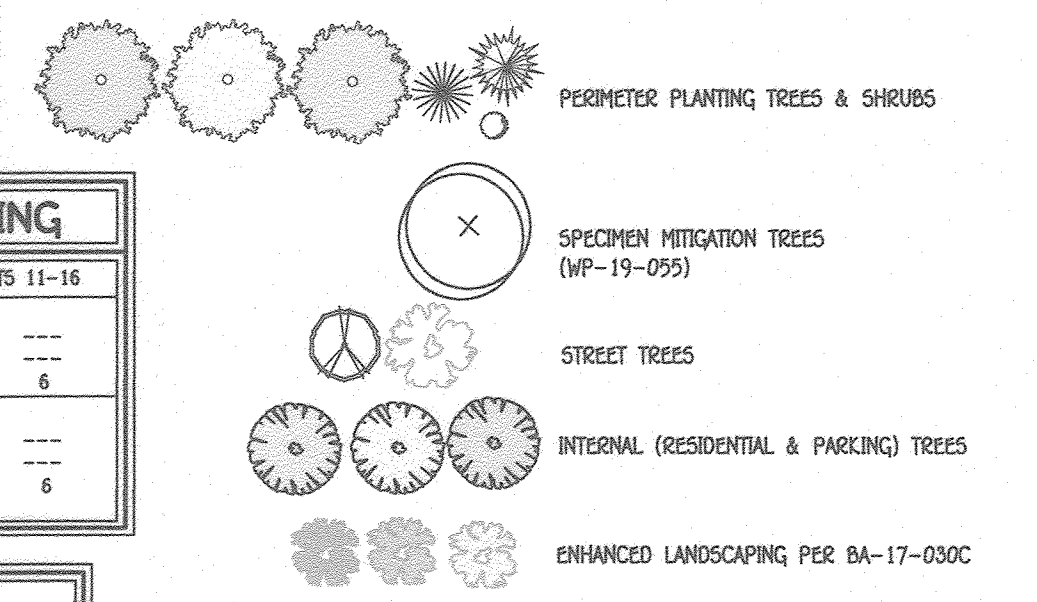
SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	17
NUMBER OF TREES PROVIDED	2 (1:10)
NUMBER OF TREES REQUIRED	2 (1:10)
SHADE TREES	---
EVERGREEN TREES	---
OTHER TREES (2:1 SUBSTITUTION)	---

STREET TREE SCHEDULE		
QTY.	SIZE	COMMENTS
ROW LENGTH = 735'	2 1/2"-3" CAL.	40' APART ON PRIVATE R/W (WILDWOOD COURT) (Provided 36 Trees)
735/40 = 18 TREES		
ROW LENGTH = 290'	2 1/2"-3" CAL.	30' APART ON PUBLIC R/W (Gulford Road) (Provided 10 Trees)
290/30 = 9.6 TREES		

SCHEDULE C RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING	
NUMBER OF DWELLING UNITS	24
NUMBER OF TREES REQUIRED (1:100 SFA)	24
NUMBER OF TREES PROVIDED	24
SHADE TREES	---
SHRUBS	0 (2:1)

- NOTES**
- WHEN THE DISTANCE BETWEEN THE CURB AND THE SIDEWALK IS LESS THAN 6 FEET, AND WHERE TREES ARE PLANTED CLOSER THAN 3 FEET TO THE SIDEWALK, A BIOLOGIC ROOT INHIBITOR BARRIER OR PHYSICAL CONTAINER BARRIER SHALL BE REQUIRED.
  - TREES SHALL BE PLACED A MINIMUM OF 30 FEET FROM ALL SIGNS AND INTERSECTIONS WHEN PLANTED BETWEEN SIDEWALK AND CURB, AND BE LOCATED WITH CONSIDERATION OF UNDERGROUND UTILITIES AND STRUCTURES. STREET TREES MAY NOT BE PLANTED WITHIN 5 FEET OF AN OPEN SPACE ACCESS STRIP, OR 10 FEET OF A DRIVEWAY.

**PLANT SYMBOL LEGEND**

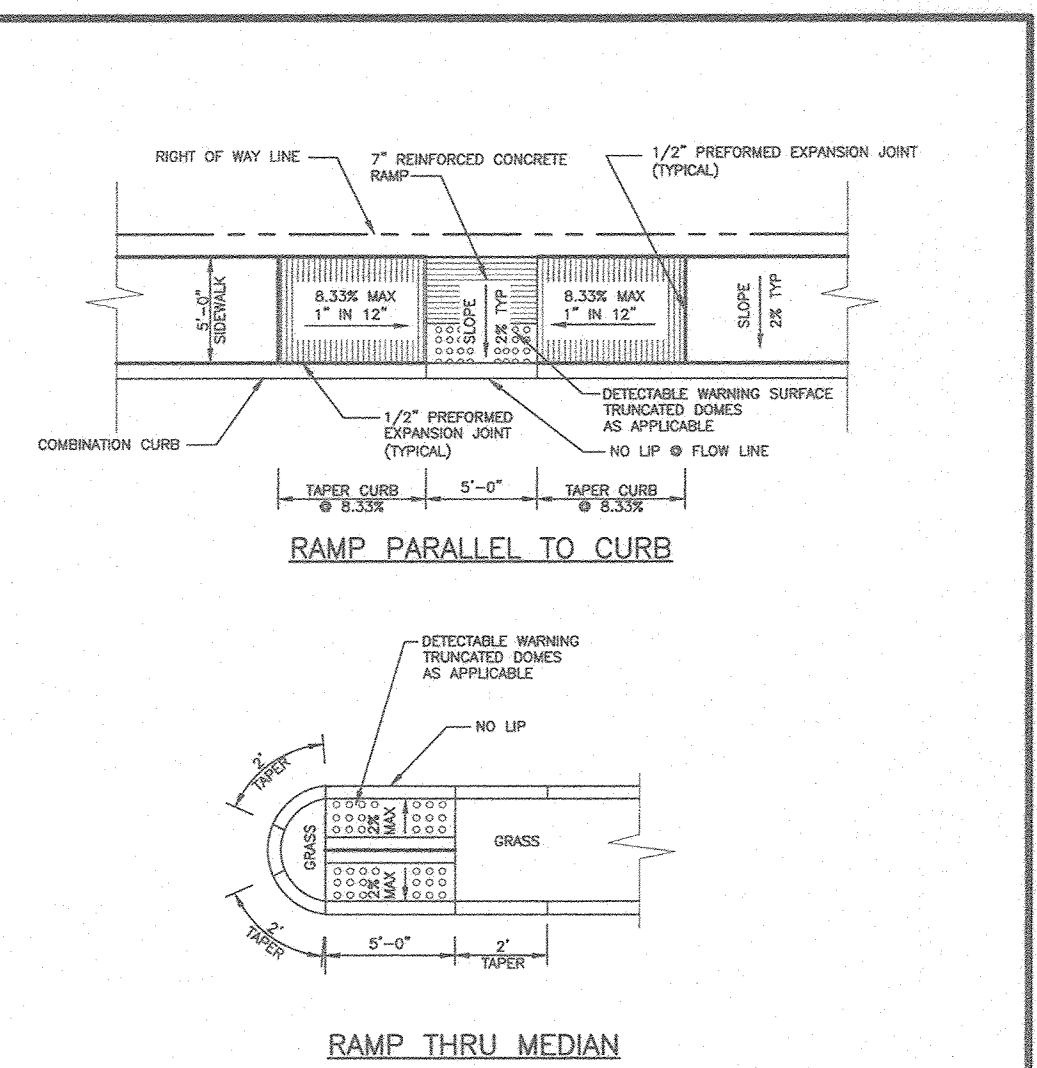


PRIVATE REFUSE PAD LANDSCAPING			
4' x 8' PAD NUMBER AT USE-IN-COMMON DRIVES	LOTS 6-10	LOTS 11-16	
NUMBER OF TREES REQUIRED:	---	---	
SHADE TREES	---	---	
EVERGREEN TREES	6	6	
SHRUBS	---	---	
NUMBER OF TREES PROVIDED:	---	---	
SHADE TREES	---	---	
EVERGREEN TREES	6	6	
SHRUBS - TAXUS CUSPIDATA 'NANA' DWARF JAPANESE YEW PLANTED 18"-24" APART	---	---	

STREET TREE PLANT LIST			
QTY.	KEY	NAME	SIZE
34		PRUNUS SARGENTII SARGENT CHERRY	2.5"-3" CAL.
12		CERCIS CANADENSIS EASTERN REDBUD	2.5"-3" CAL.

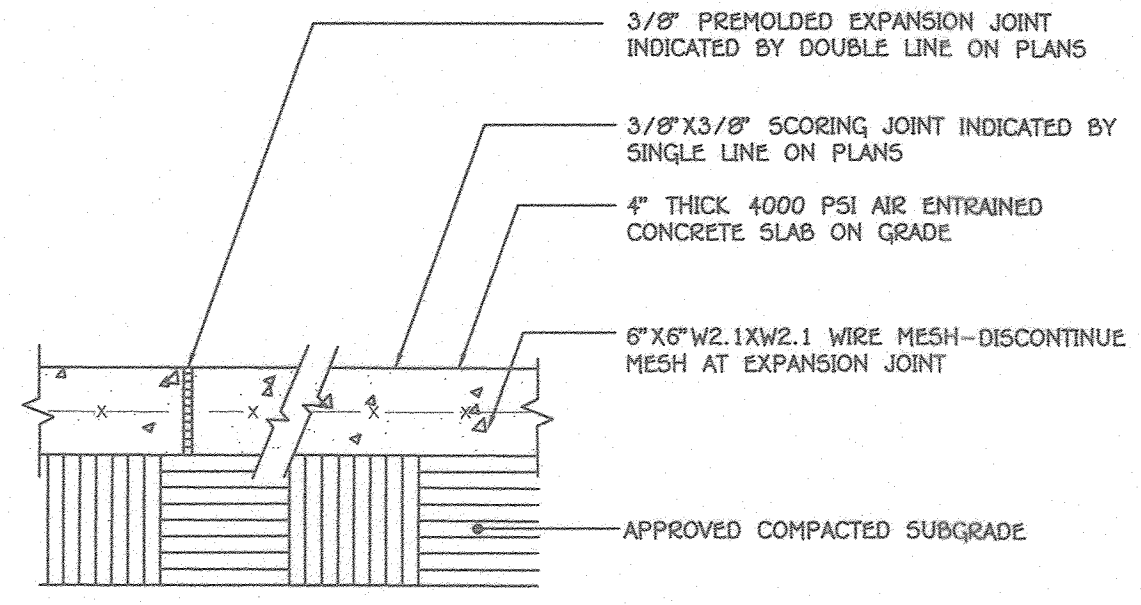
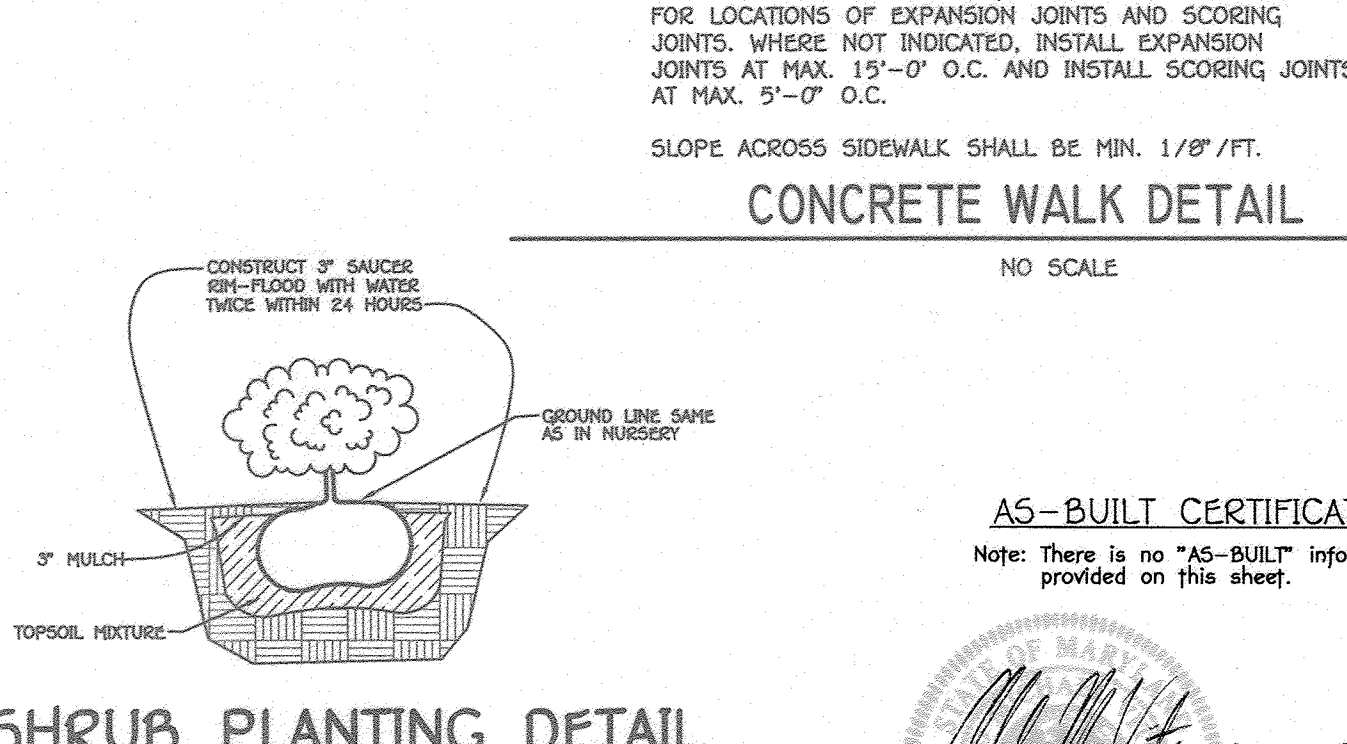
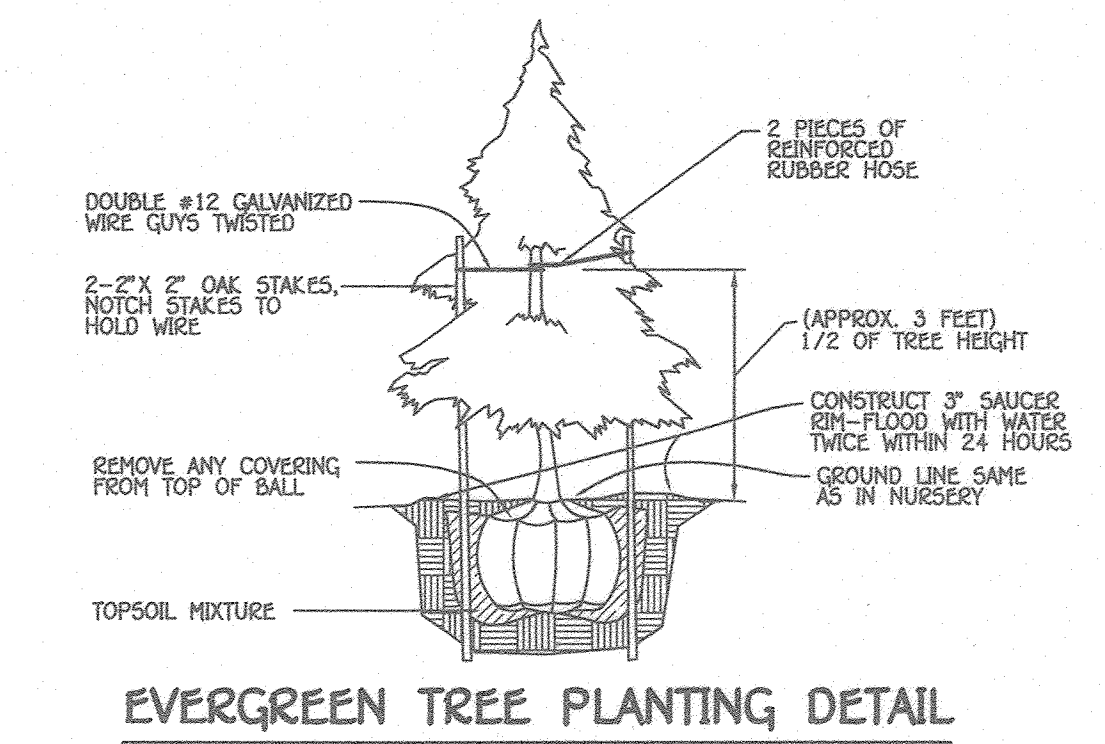
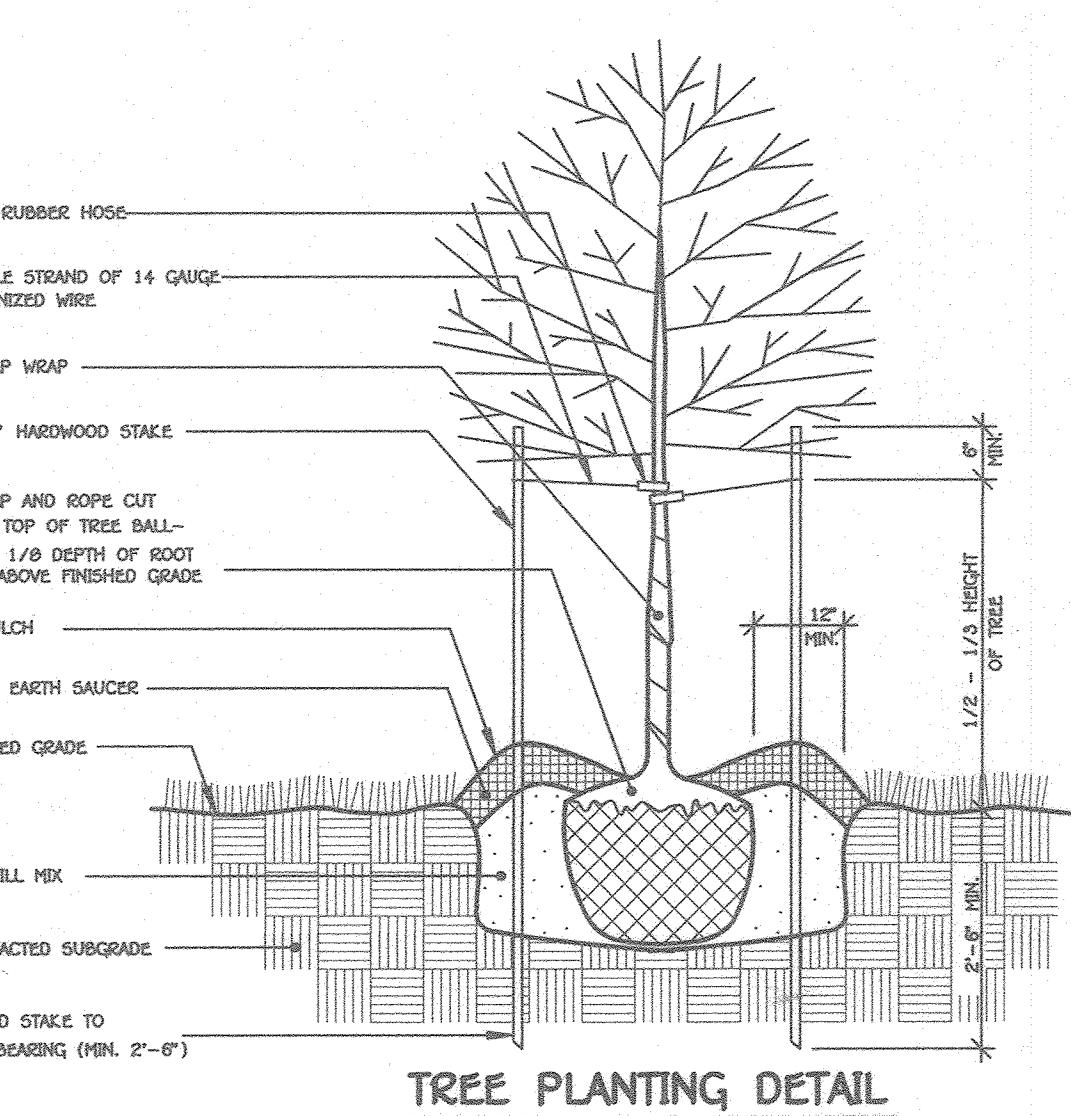
REFUSE PAD LANDSCAPE PLANT LIST			
QTY.	KEY	NAME	SIZE
12		TAXUS CUSPIDATA 'NANA' DWARF JAPANESE YEW	18"-24" SPREAD

TREE COUNT	
-TOTAL PERIMETER TREES PROVIDED	=SHADE: 45 EVERGREEN: 71
-TOTAL INTERNAL (PARKING & RESIDENTIAL) TREES PROVIDED	=SHADE: 26
-TOTAL MITIGATION REPLACEMENT TREES PROVIDED (WP-19-055)	=SHADE: 36
-TOTAL ENHANCED LANDSCAPING TREES PROVIDED (BA-17-030C)	=SHADE: 17 EVERGREEN: 9
-TOTAL STREET TREES PROVIDED	=SHADE: 46
-TOTAL TREES	=SHADE: 170 EVERGREEN: 80

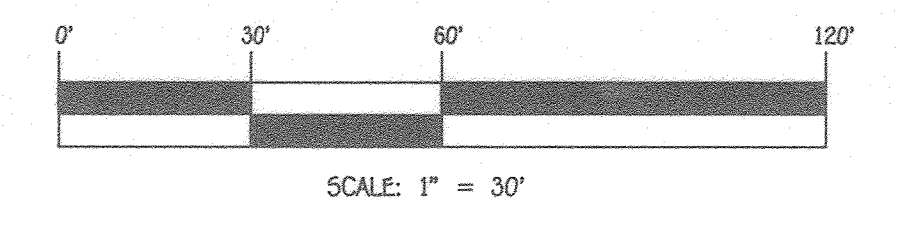
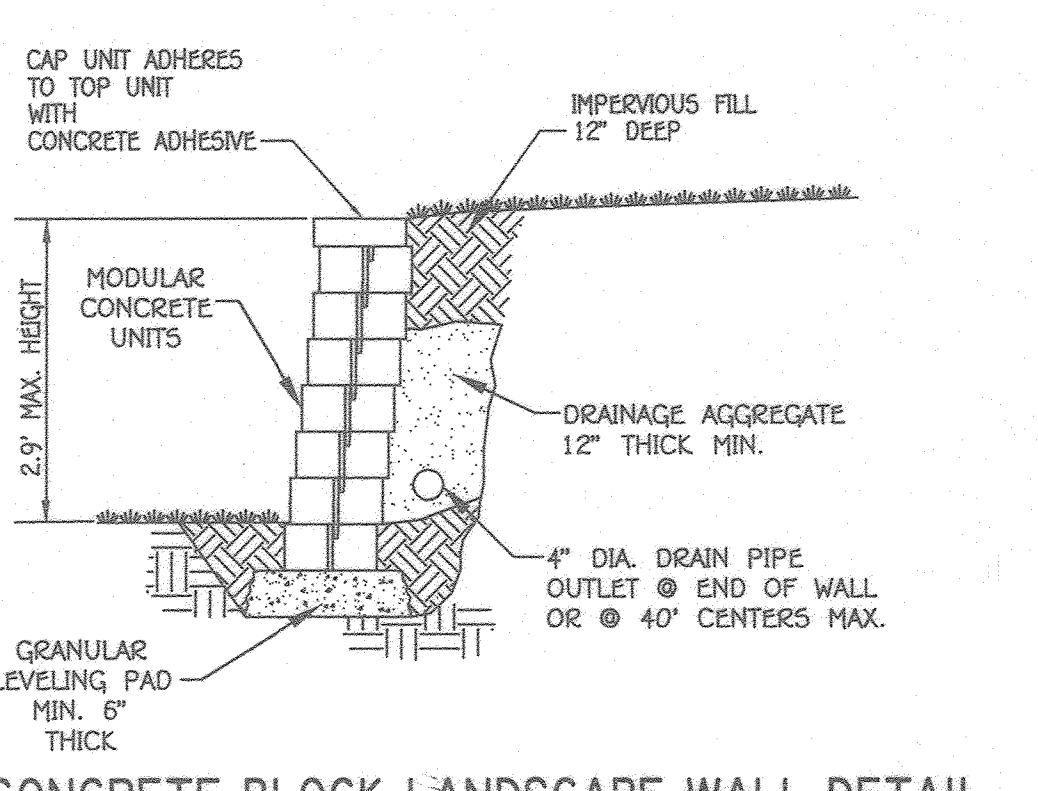


- NOTES:**
- ALL RAMP SHALL HAVE DETECTABLE WARNING SURFACES. SEE DETAIL R-4.07.
  - GRASS AREA ADJACENT TO SIDEWALK MUST BE SLOPED TO MEET RAMP.

Howard County, Maryland Department of Public Works	SIDEWALK RAMP Layout & Grading Parallel to Curb & Thru Median	Detail R-4.06
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NOTE: REFER TO SITE PAVING PLAN AND FLOOR PLANS FOR LOCATIONS OF EXPANSION JOINTS AND SCORING JOINTS, WHERE NOT INDICATED, INSTALL EXPANSION JOINTS AT MAX. 18'-0" O.C. AND INSTALL SCORING JOINTS AT MAX. 5'-0" O.C.  
 SLOPE ACROSS SIDEWALK SHALL BE MIN. 1/8" / FT.



**LANDSCAPE NOTES & DETAILS**

**EDEN BROOK**  
 LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27  
 (AGE-RESTRICTED ADULT HOUSING)  
 (BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)  
 LIBER 18866 AT FOLIO 96)  
 TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12  
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: APRIL, 2020  
 SHEET 15 OF 19

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 4/16/20

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PARK  
 ELK RIDGE, MARYLAND 21075  
 (410) 461-2095

**Owner**  
 ENLI, LLC  
 C/O H & H ROCK COMPANIES  
 6800 DEERPATH ROAD #100  
 ELK RIDGE, MARYLAND 21075  
 PH# 410-567-1045

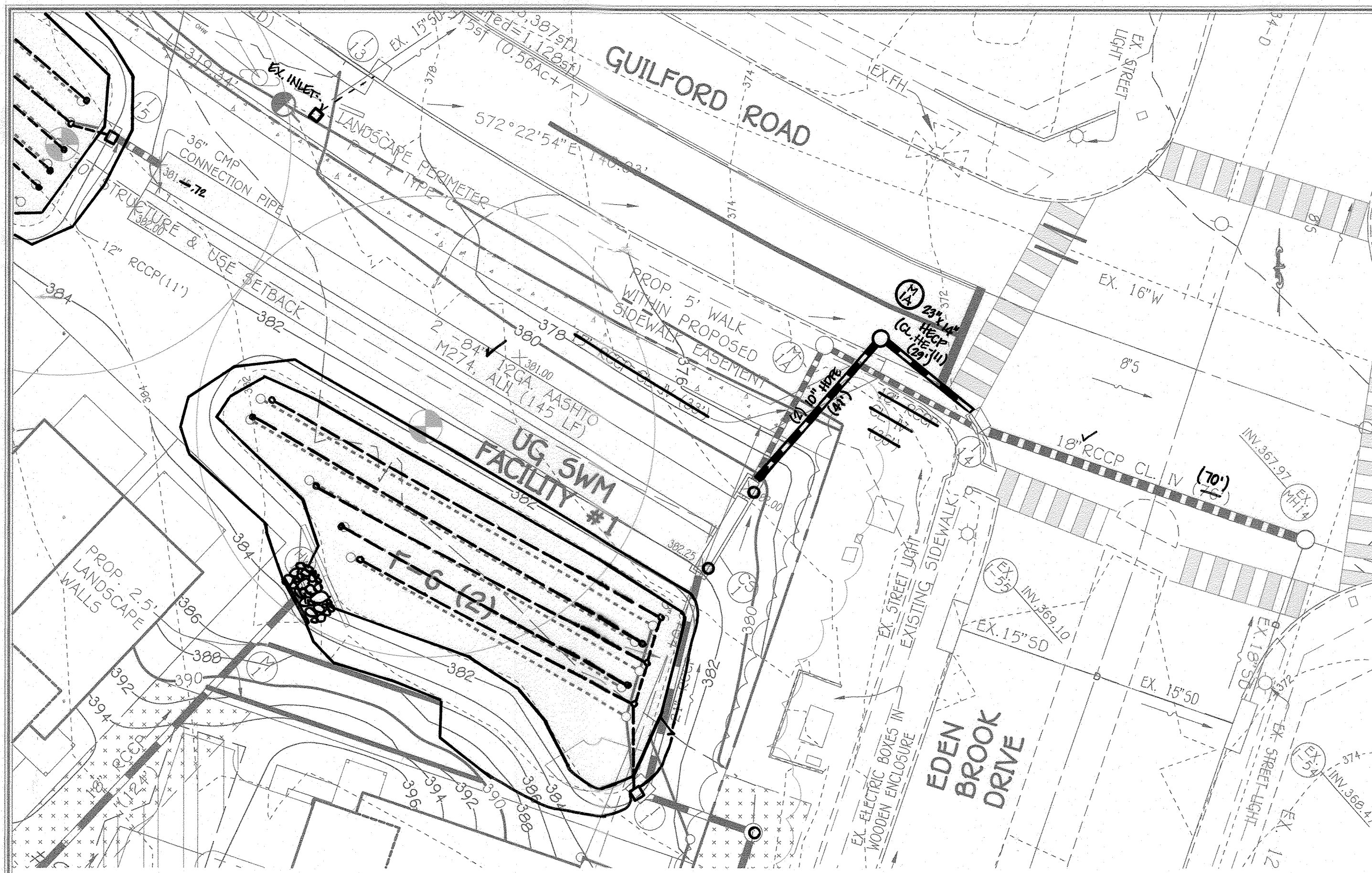
**Developer**  
 ROCK REALTY, LLC  
 C/O H & H ROCK COMPANIES  
 6800 DEERPATH ROAD #100  
 ELK RIDGE, MARYLAND 21075  
 PH# 410-567-1045



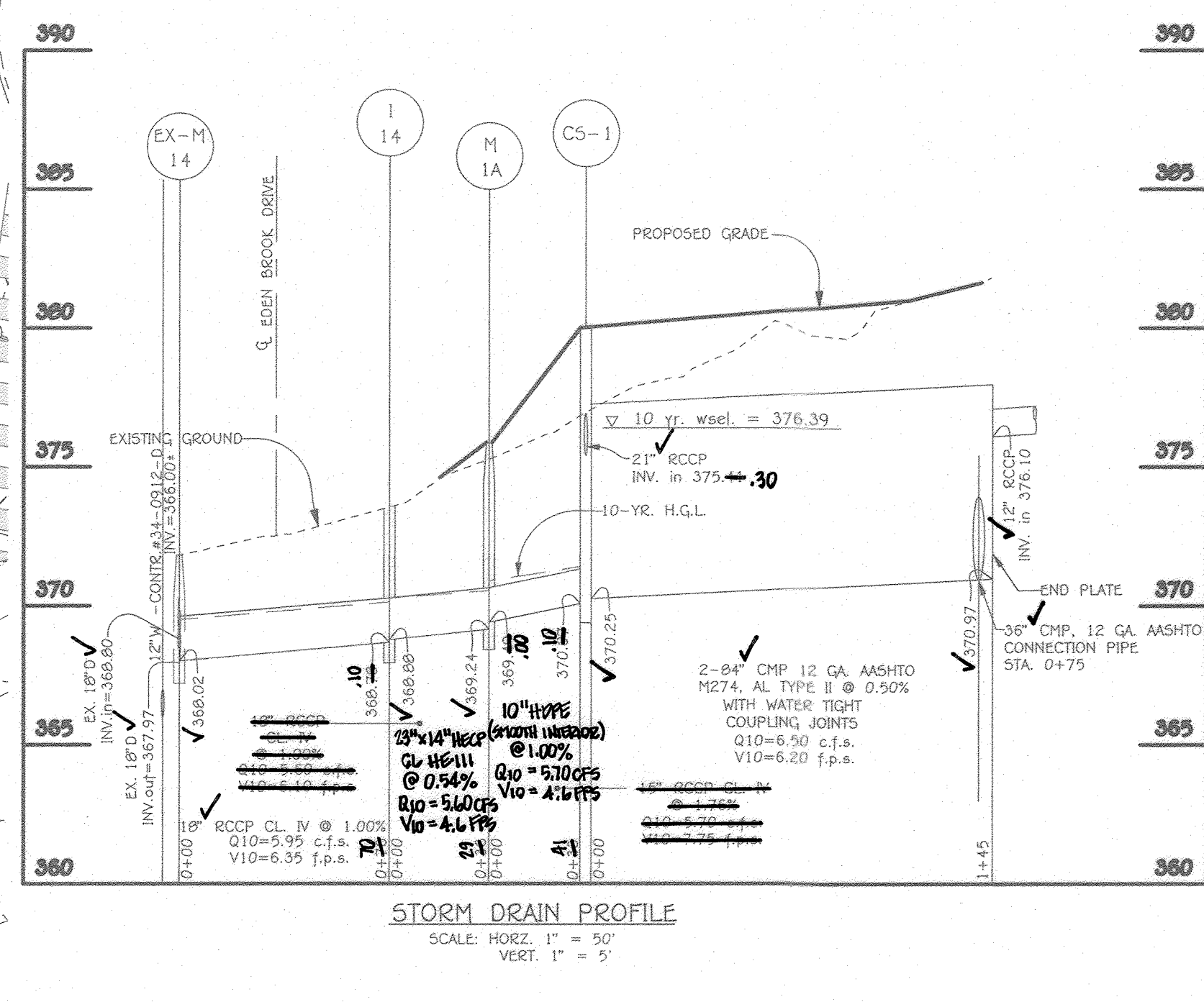
**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/21.  
 Frank Mamalangan II  
 DATE: 4/21/20

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET





PLAN  
SCALE: 1" = 20'



STORM DRAIN PROFILE  
SCALE: HORIZ. 1" = 50'  
VERT. 1" = 5'

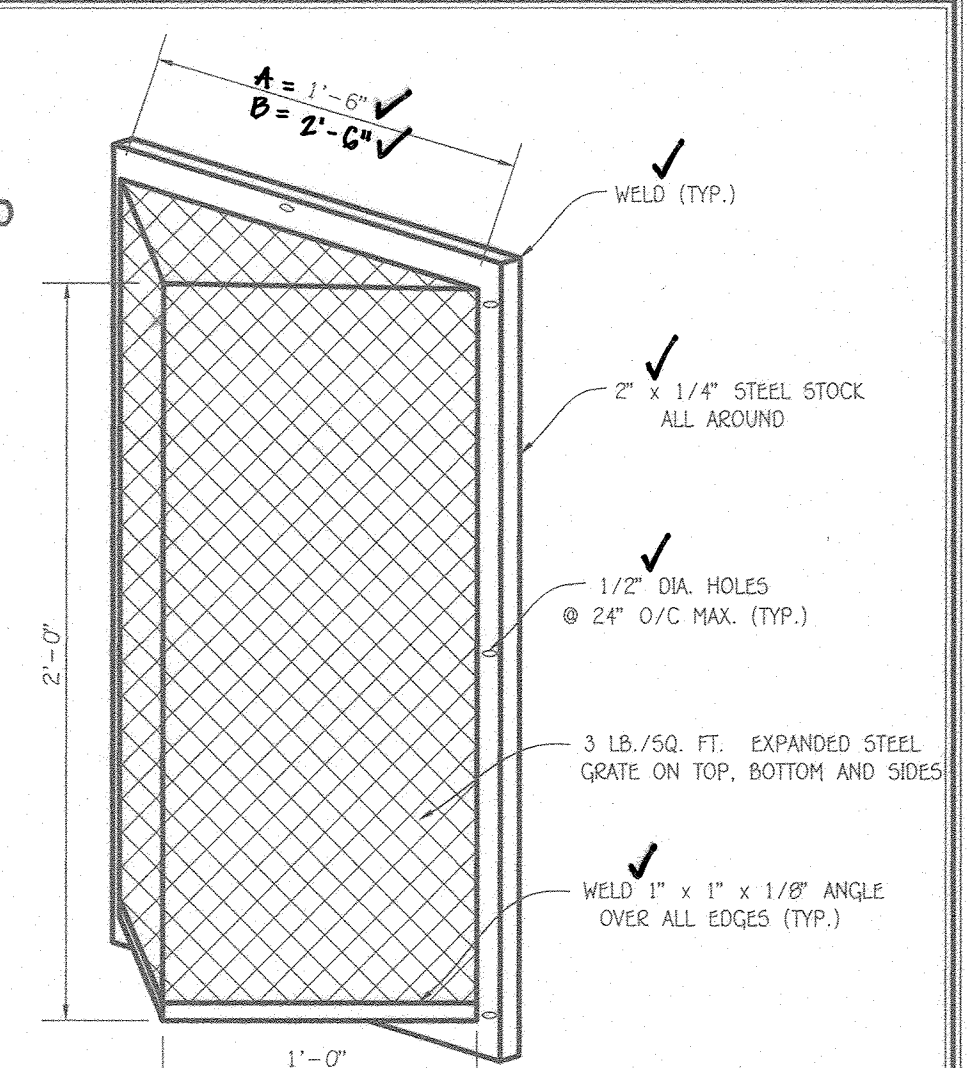
**OPERATION AND MAINTENANCE SCHEDULE FOR H.O.A. OWNED AND MAINTAINED UNDERGROUND S.W.M. FACILITY**

**A. H.O.A. ROUTINE MAINTENANCE RESPONSIBILITIES:**

- THE UNDERGROUND S.W.M. FACILITY SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHOULD BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE FACILITY IS FUNCTIONING PROPERLY.
- MAINTENANCE OF THE 84-INCH PIPES SHALL BE PERFORMED BY FLUSHING THE SYSTEM THROUGH THE CLEAN-OUTS PROVIDED AND BY VACUUMING AT MANHOLE CS-1. THE DISCHARGE ORIFICE OF THE UNDERGROUND S.W.M. FACILITY SHALL BE TEMPORARILY BLOCKED DURING SAID MAINTENANCE OPERATION.
- DISPOSAL OF MATERIAL SHALL BE IN ACCORDANCE WITH SIMILAR S.H.P. THAT RANGE FROM DISPOSAL IN A SANITARY LANDFILL TO INCINERATION IN A LICENSED FACILITY. PETROLEUM WASTE PRODUCTS SHOULD BE REMOVED BY A LICENSED WASTE MANAGEMENT COMPANY.

**B. H.O.A. NON-ROUTINE MAINTENANCE:**

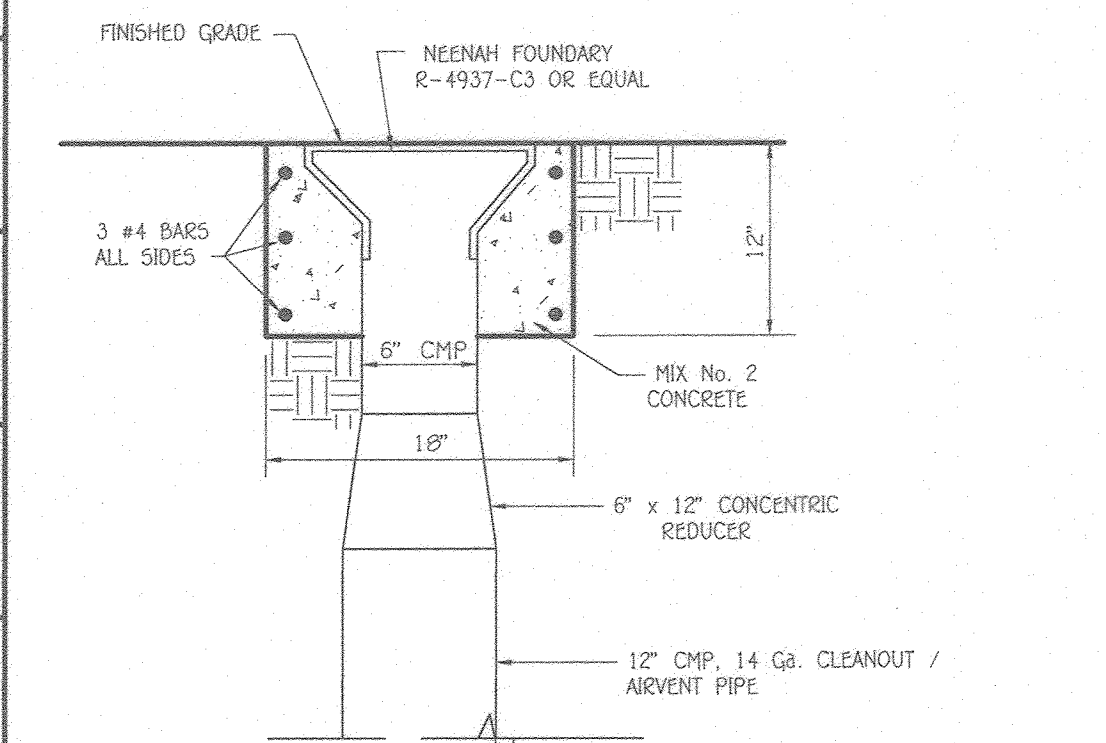
- STRUCTURAL COMPONENTS OF THE UNDERGROUND FACILITY SUCH AS THE MANHOLES, PIPES AND ORIFICE SHALL BE REPAIRED UPON DETECTION OF ANY DAMAGE. THE COMPONENTS SHOULD BE INSPECTED DURING ROUTINE MAINTENANCE OPERATIONS. INSPECTION REPORTS SHALL BE KEPT UNTIL THE NEXT SUBSEQUENT INSPECTION.
- PROBLEMS IDENTIFIED DURING INSPECTION WILL BE PROMPTLY CORRECTED. MAJOR PROBLEMS SHALL ALSO BE BROUGHT TO THE ATTENTION OF THE HOWARD COUNTY DEPT. OF PUBLIC WORKS TO INSURE THAT PUBLIC SAFETY IS MAINTAINED. BLOCKED DURING SAID MAINTENANCE OPERATION.



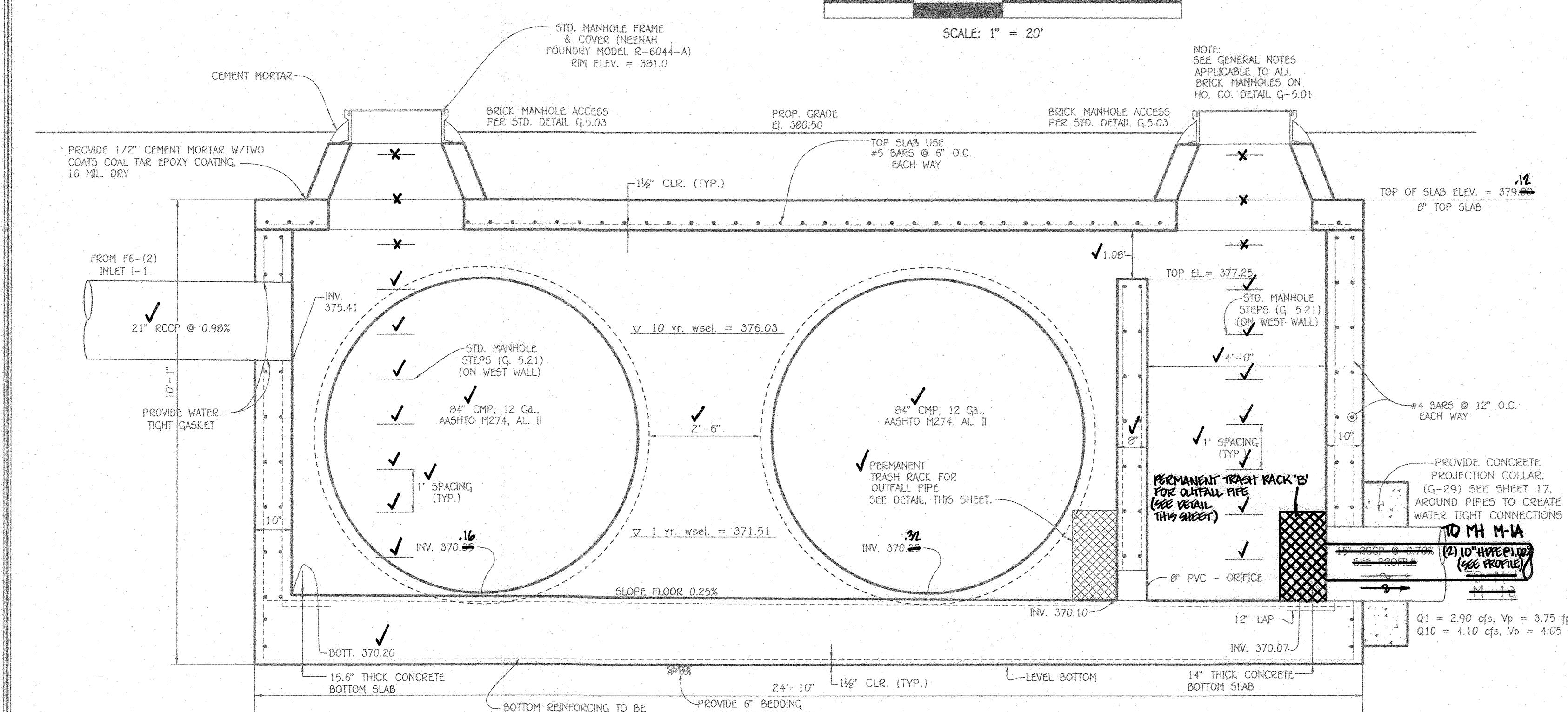
**NOTES:**

- TRASH RACK TO BE CENTERED OVER OPENING.
- STEEL TO CONFORM TO ASTM A-36.
- ALL SURFACES TO BE COATED WITH ZRC COOL GALVANIZING COMPOUND AFTER WELDING.
- TRASH RACK TO BE FASTENED TO THE WALL WITH 1/2" MASONRY ANCHORS. TRASH RACK TO BE REMOVABLE.

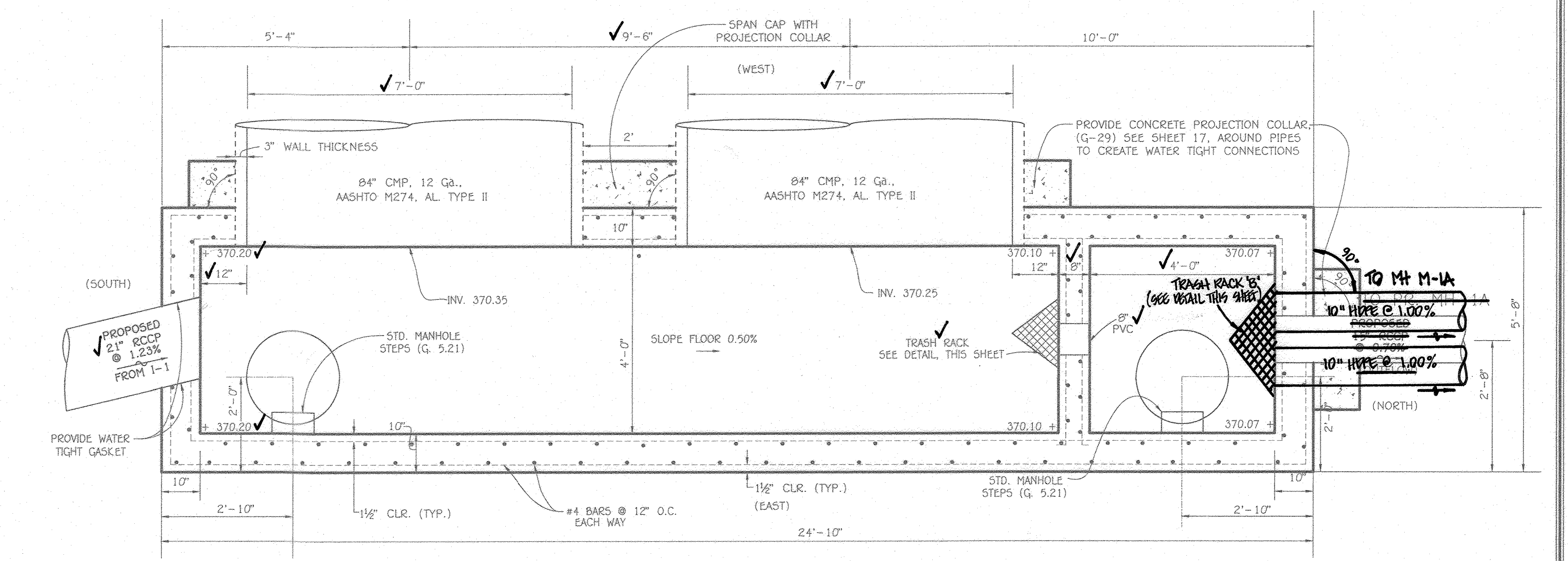
TRASH RACK DETAIL  
NO SCALE



OBSERVATION WELLS CLEANOUT / AIR VENTS  
NO SCALE



CONTROL STRUCTURE (CS-1) ELEVATION  
SCALE: 1" = 2'



CONTROL STRUCTURE (CS-1) PLAN VIEW  
SCALE: 1" = 2'

**AS-BUILT CERTIFICATION**

I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on the plan was constructed as shown on this "AS-BUILT" plan meet the approved plans and specifications.

*Aldo Michael Vitucci*  
ALDO MICHAEL VITUCCI #20748  
Date

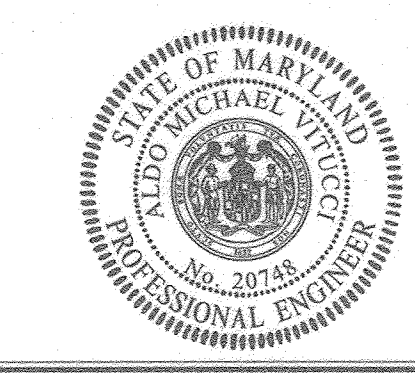
**UNDERGROUND SWM PLAN, PROFILE AND DETAILS**  
**EDEN BROOK**  
LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27  
(AGE-RESTRICTED ADULT HOUSING)  
(BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)  
LIBER 18060 AT FOLIO 96)  
TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12  
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: APRIL, 2020  
SHEET 16 OF 19

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
CHIEF, DIVISION OF LAND DEVELOPMENT  
*5/18/20*  
DATE

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE PARK - 11072 BALDWIN NATIONAL PIKE  
ELKRIE, MD. 21075  
(410) 461-2095

**Owner**  
ENL, LLC  
C/O H & H ROCK COMPANIES  
6800 DEEPATH ROAD #100  
ELKRIE, MARYLAND 21075  
PH: 410-567-1045

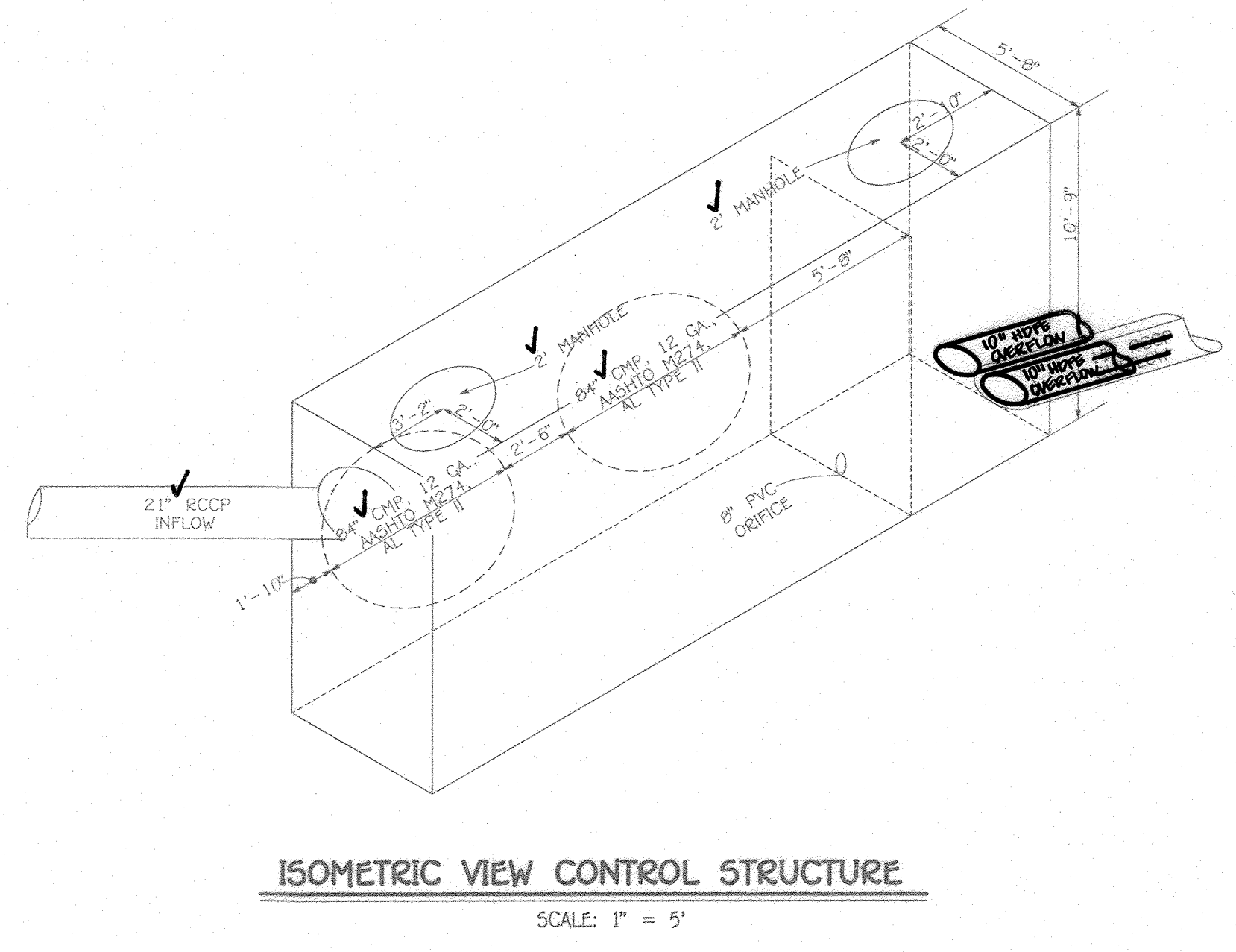
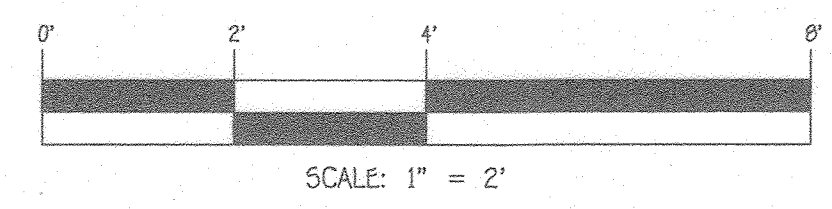
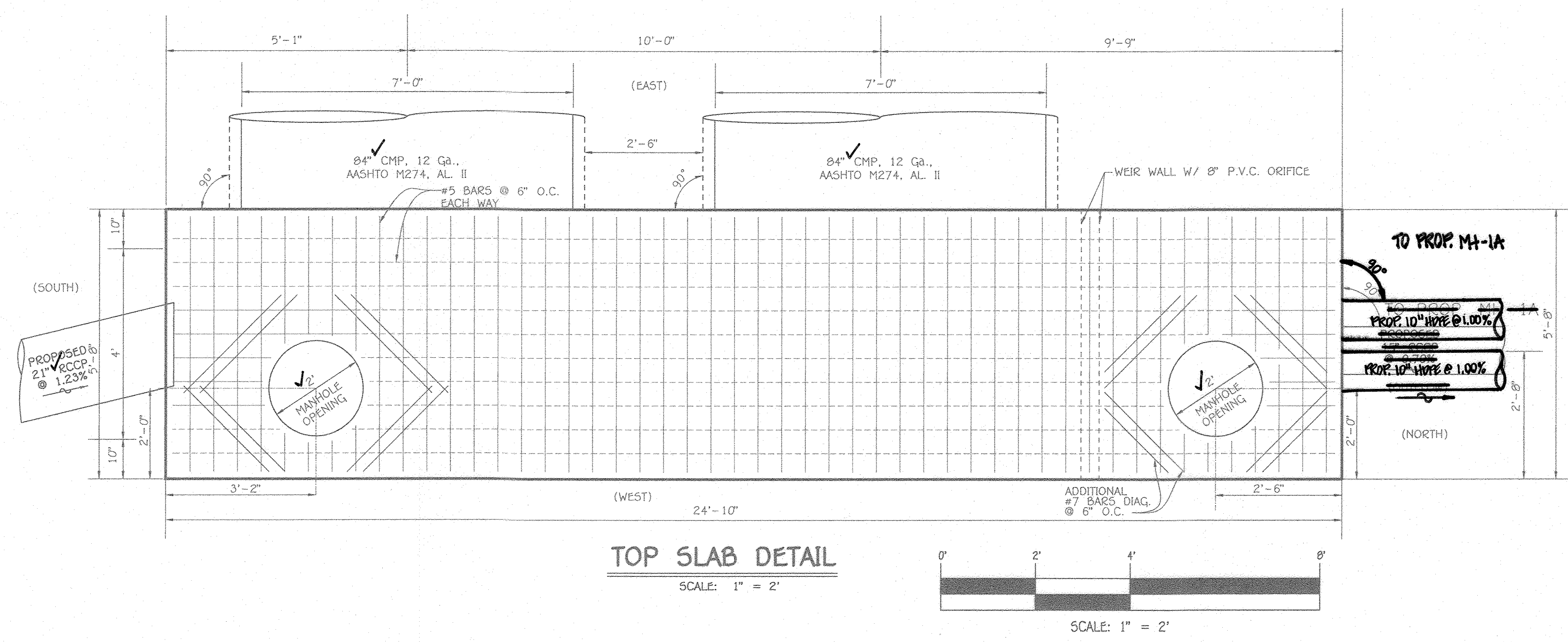
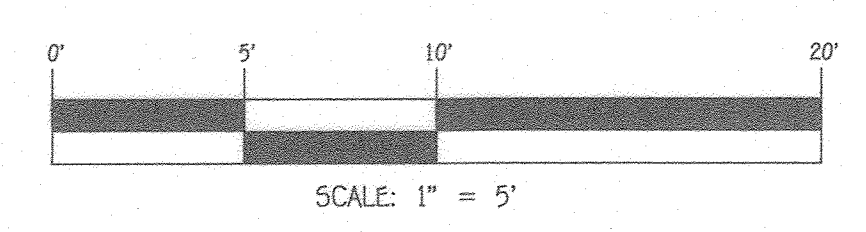
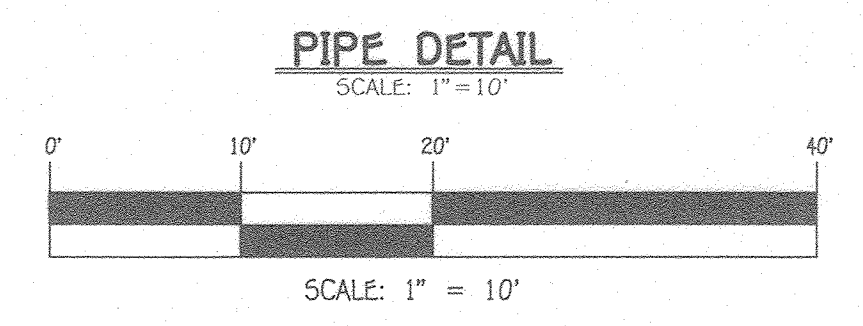
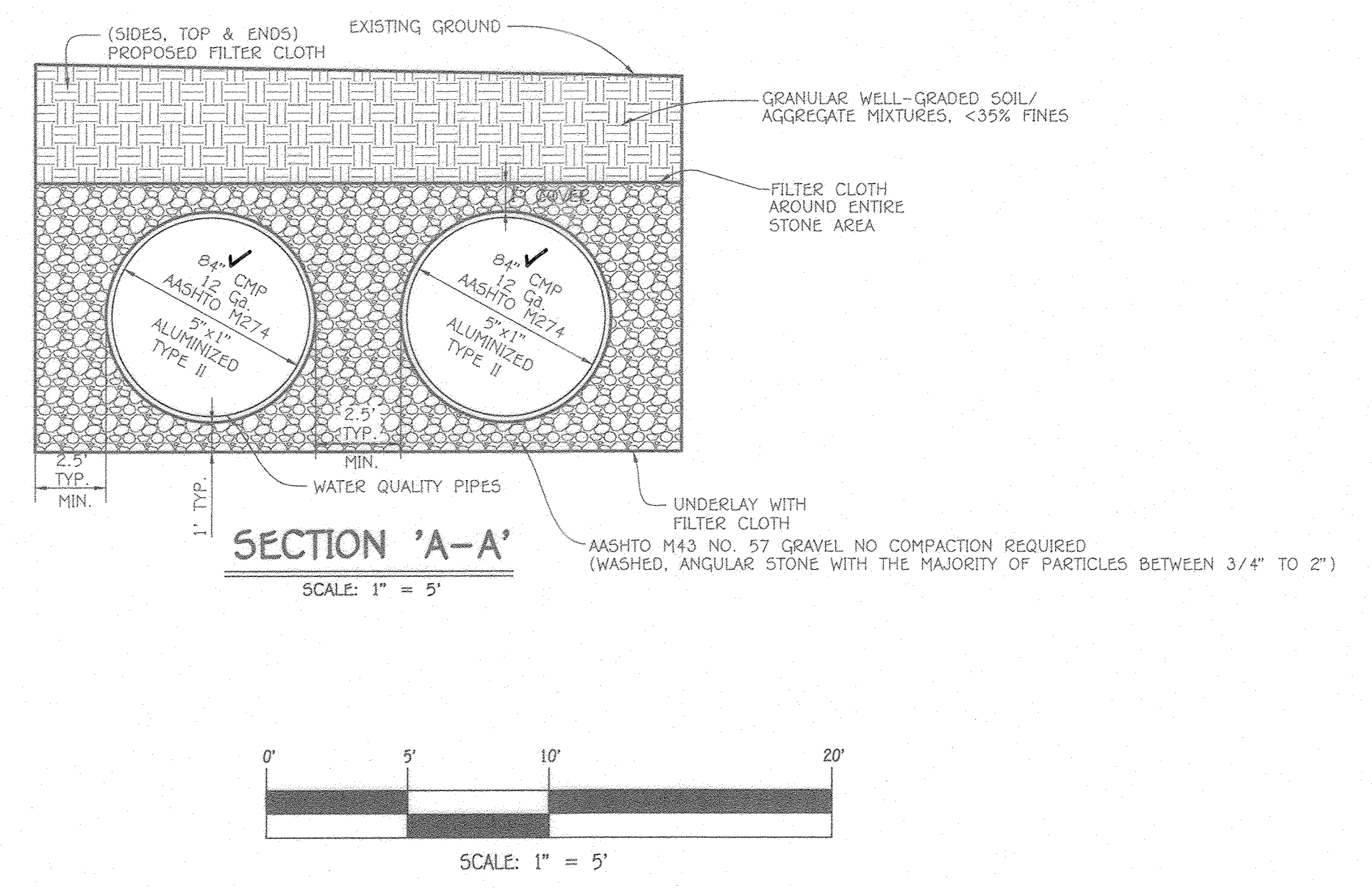
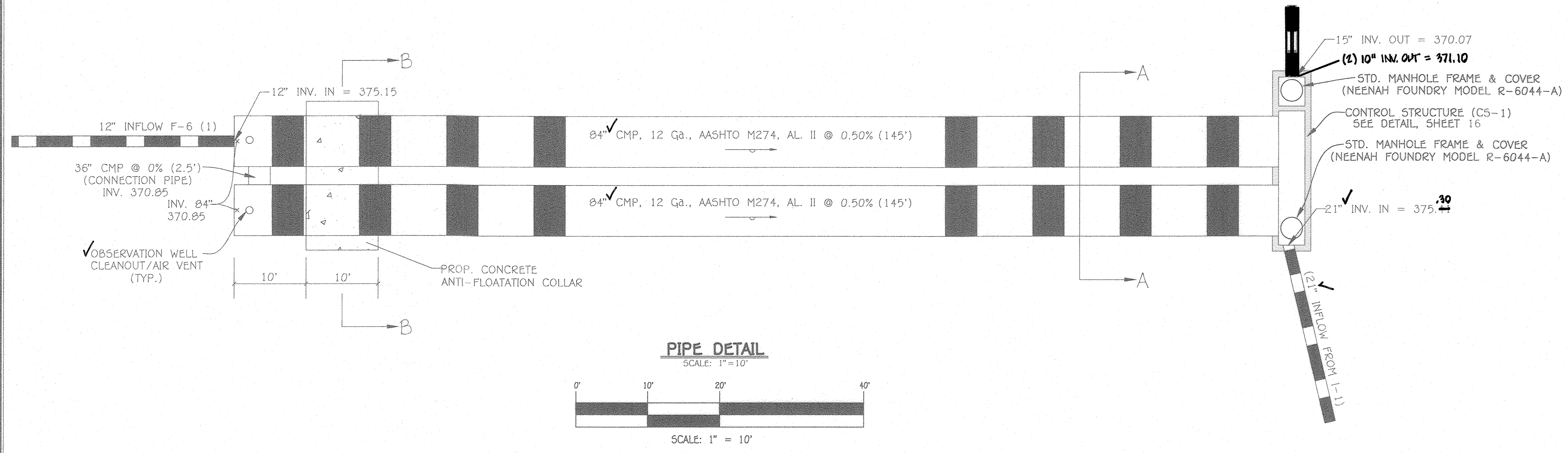
**Developer**  
ROCK REALTY, LLC  
C/O H & H ROCK COMPANIES  
6800 DEEPATH ROAD #100  
ELKRIE, MARYLAND 21075  
PH: 410-567-1045



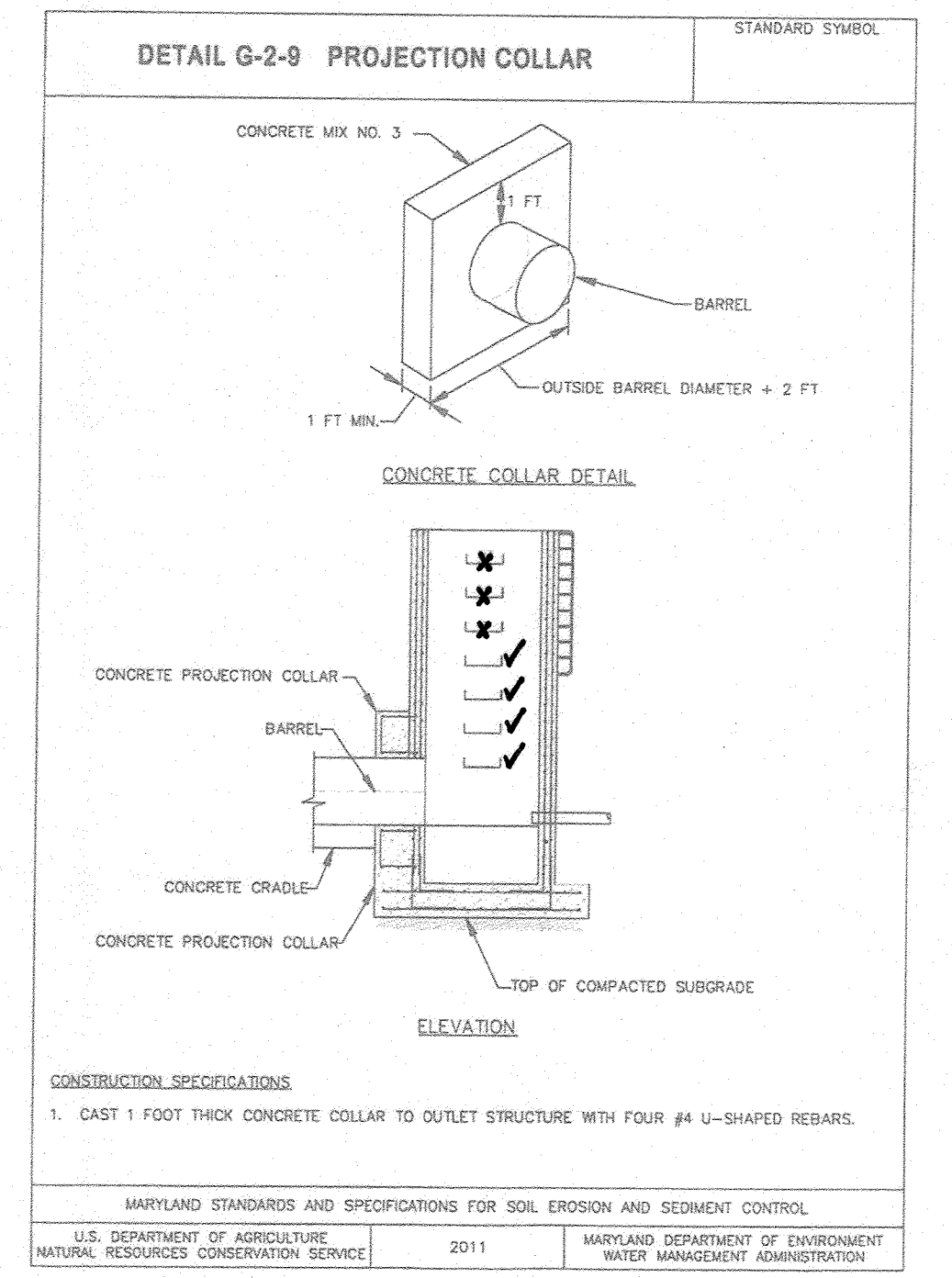
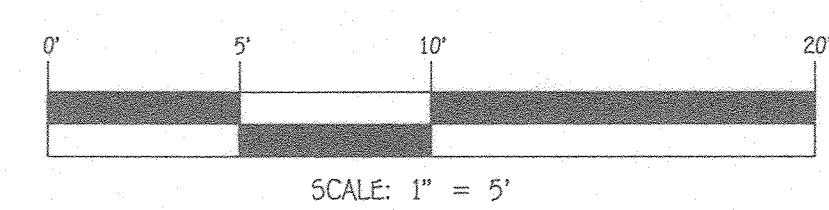
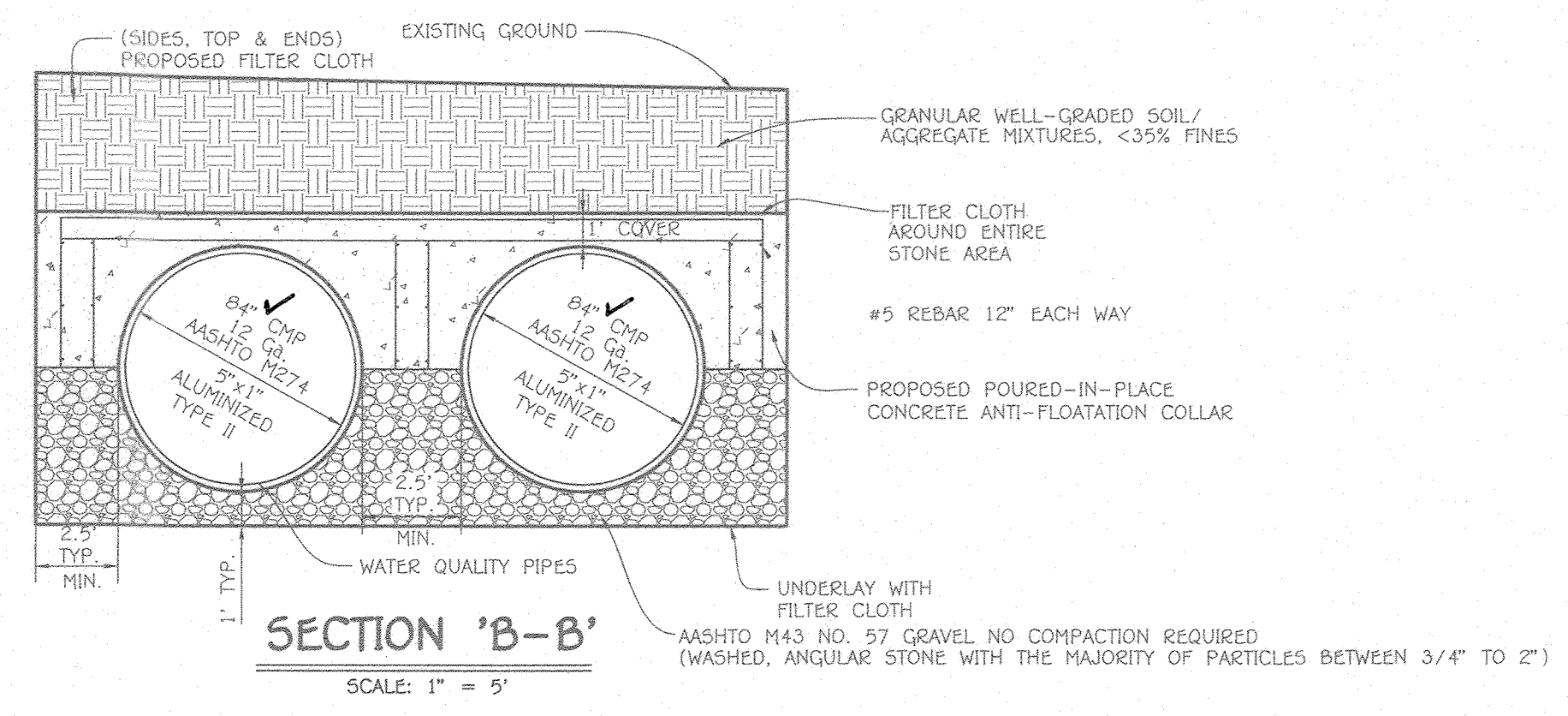
**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 20748, EXPIRATION DATE: 2/22/21.  
*Aldo Michael Vitucci*  
ALDO M. VITUCCI, P.E.  
Date

"AS-BUILT"





ISOMETRIC VIEW CONTROL STRUCTURE  
SCALE: 1" = 5'



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 5/6/20

FISHER, COLLINS & CARTER, INC.  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 223 CONTONAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL PLACE  
 ELICOTT CITY, MARYLAND 21042  
 (410) 461-2995

Owner: ENJN, LLC  
 C/O H & H ROCK COMPANIES  
 6800 DEERPATH ROAD #100  
 ELK RIDGE, MARYLAND 21075  
 PH# 410-567-1045

Developer: ROCK REALTY, LLC  
 C/O H & H ROCK COMPANIES  
 6800 DEERPATH ROAD #100  
 ELK RIDGE, MARYLAND 21075  
 PH# 410-567-1045



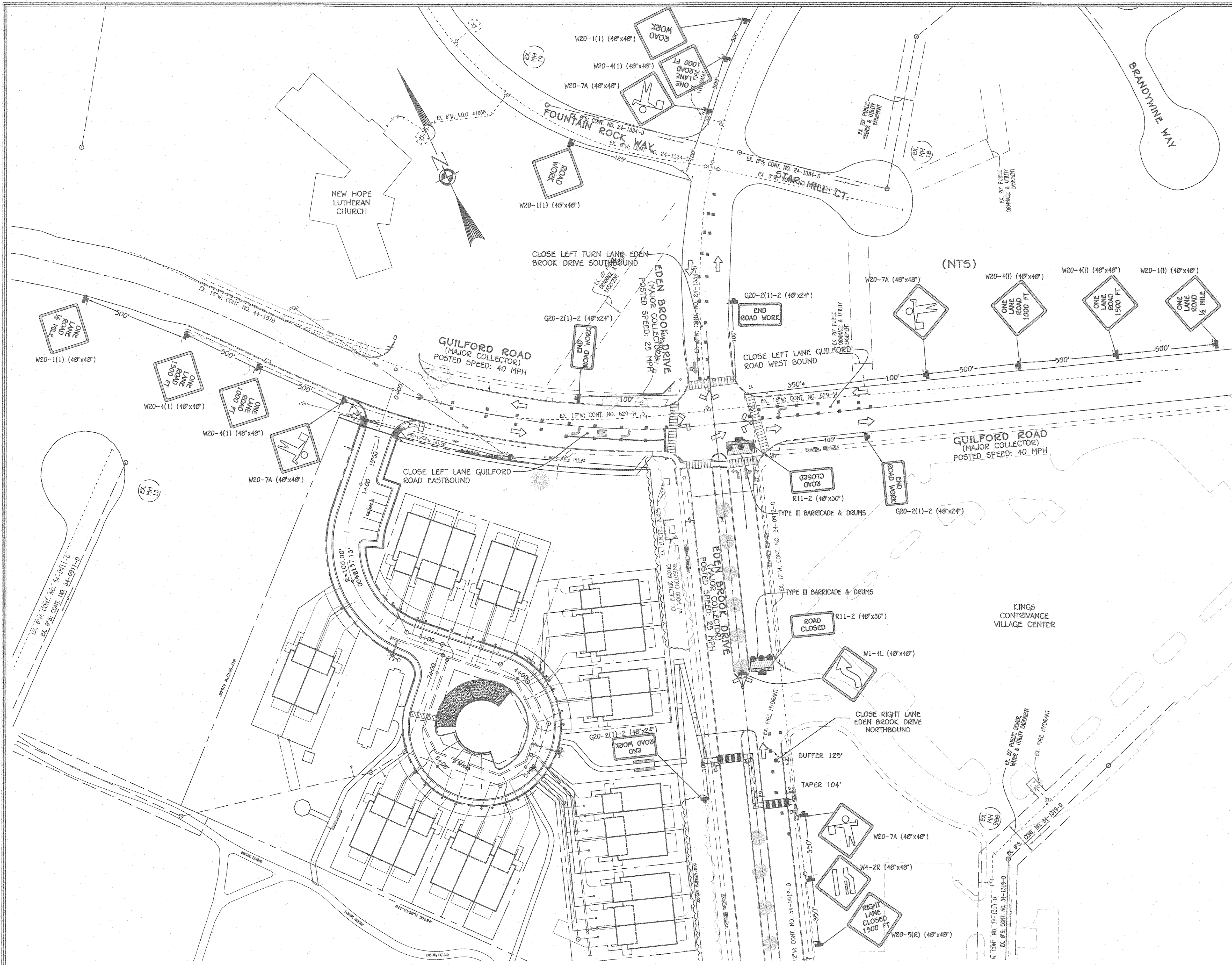
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 ALDO M. VITUCCI  
 ALDO M. VITUCCI, P.E.  
 DATE: 4/20/2020

AS-BUILT CERTIFICATION  
 I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on the plan was constructed as shown on this "AS-BUILT" plan meet the approved plans and specifications.  
 ALDO M. VITUCCI  
 ALDO MICHAEL VITUCCI #20748  
 DATE: 4/20/20

UNDERGROUND SWM PIPE DETAIL AND DETAILS  
 EDEN BROOK  
 LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27  
 (AGE-RESTRICTED ADULT HOUSING)  
 (BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)  
 LIBER 18060 AT FOLIO 96)  
 TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12  
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: APRIL, 2020  
 SHEET 17 OF 19

"AS-BUILT"





- HOWARD COUNTY - TRAFFIC CONTROL PLAN (GENERAL NOTES)**
- Howard County - Traffic Signal Maintenance Shop (Office Pager: 443.542.0210) shall be notified 2 weeks in advance to schedule a field meeting and coordinate the "flash" mode sequencing at the Guilford Road and Eden Brook Drive intersection.
  - Prior to beginning any work, Howard County - Traffic Engineering Division (Office Phone: 410.313.2430) shall be notified 48 hours in advance to schedule a field inspection of the traffic control devices.
  - During a regular work week (Monday - Friday), no work shall be permitted at the Guilford Road and Eden Brook Drive intersection between 12:01 AM and 2:00 PM and 2:00 PM to 12:00 PM. Additionally, no work will be permitted on Saturdays, Sundays, or holidays.
  - All construction and materials for the traffic control devices shall be in accordance with the standards contained in the latest edition of the State of Maryland Manual on Uniform Traffic Control Devices.
  - Travel lanes shall be a minimum of 10 feet in width. When only one lane is open, flaggers and the appropriate signing shall be provided. Guilford Road and Eden Brook Drive shall be opened to full operation at night.
  - If a drop-off measures greater than 4", a barrier or 2:1 slope of compacted "crusher run" stone gravel shall be provided.
  - Pavement disruptions of 1" or greater shall be ramped with a beveled edge of 4 horizontal to one vertical (4:1).
  - All open trenches shall be closed at the end of each day. If steel plates are to be used, appropriate signing will be required. Steel plates must be pinned and recessed in accordance with Howard County standards.
  - Contractor shall install "CAUTION STEEL PLATES AHEAD" signs in advance of steel plate bridging.
  - At the end of the workday, all temporary signs that do not apply shall be covered or removed.
  - Channeling devices and temporary striping shall be removed as soon as practical.
  - All traffic control devices shall be kept in their proper position and promptly repaired, replaced, or cleaned, as necessary, to preserve their appearance and continuity.
  - Access shall be provided to all existing driveways at all times unless covered by the approved Traffic Control Plan. Contractor shall coordinate all driveway construction with the property owner. All cones and flagmen shall be moved accordingly as construction progresses.
  - All construction signing shall be in accordance with the typical sign placement shown on these plans and shall not obstruct existing Traffic Control Devices.
  - Any changes to the Traffic Control Plan shall be submitted to Traffic Engineering for review and approval.
  - The contractor's and workers' vehicles must be parked in a manner as to not obstruct or impeded existing sight distance; traffic signage; or traffic control devices.

**TRAFFIC CHANNELIZATION BARREL/CONE SPACING:**  
 GUILFORD ROAD - 35'  
 EDEN BROOK DRIVE - 30'

**FLAGGER**

**DIRECTION OF TRAFFIC**  
 TAPER LENGTH =  $\frac{WS^2}{60}$   
 W = WIDTH OF OFFSET (FT)  
 S = POSTED SPEED LIMIT (MPH)

NTS = NOT TO SCALE

\*BARRELS (FULL LEFT LANE CLOSURE) ARE TO EXTEND 350' FROM STOP BAR

**AS-BUILT CERTIFICATION**  
 Note: There is no "AS-BUILT" information provided on this sheet.

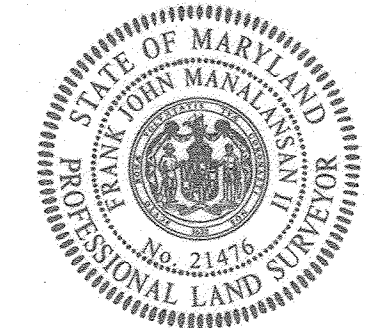
APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development

DATE: 5/22/20

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 16772 BALTIMORE NATIONAL PIKE  
 ELICOTT CITY, MARYLAND 21074  
 (410) 461-2095

<b>Owner</b>	<b>Developer</b>
ENVI, LLC C/O H & H ROCK COMPANIES 6800 DEERPATH ROAD #100 ELKBRIDGE, MARYLAND 21075 PH# 410-567-1045	ROCK REALTY, LLC C/O H & H ROCK COMPANIES 6800 DEERPATH ROAD #100 ELKBRIDGE, MARYLAND 21075 PH# 410-567-1045



**PROFESSIONAL CERTIFICATION**

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Frank Manalang II  
 DATE: 4/21/20



Alvin A. Vitacek  
 4/22/20  
 Date

**TRAFFIC CONTROL PLAN**  
 PHASE 1  
**EDEN BROOK**  
 LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27  
 (AGE-RESTRICTED ADULT HOUSING)  
 (BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)  
 LIBER 10868 AT FOLIO 96)  
 TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12  
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: APRIL 2020  
 SHEET 18 OF 19

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET





**HOWARD COUNTY - TRAFFIC CONTROL PLAN (GENERAL NOTES)**

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- Any changes to the Traffic Control Plan shall be submitted to Traffic Engineering for review and approval.
- The contractor's and workers' vehicles must be parked in a manner as to not obstruct or impeded existing sight distance; traffic signage; or traffic control devices.

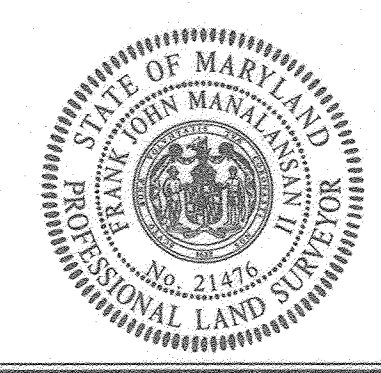
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 GUILFORD ROAD - 35'  
 EDEN BROOK DRIVE - 30'
- FLAGGER
- DIRECTION OF TRAFFIC  
 TAPER LENGTH =  $\frac{WS^2}{60}$   
 W = WIDTH OF OFFSET (FT)  
 S = POSTED SPEED LIMIT (MPH)  
 NTS = NOT TO SCALE  
 \*BARRELS (FULL LEFT LANE CLOSURE) ARE TO EXTEND 350' FROM STOP BAR

**AS-BUILT CERTIFICATION**  
 Note: There is no "AS-BUILT" information provided on this sheet.

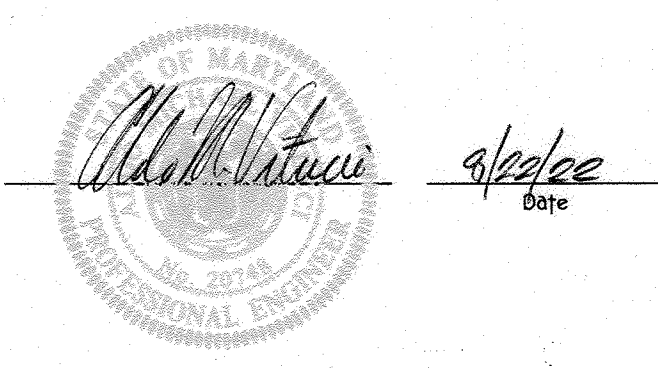
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 5-6-20

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 10772 BALDWIN NATIONAL PIKE  
 ELKBRIDGE, MARYLAND 21075  
 (410) 461-2995

Owner	Developer
ENLH, LLC 6800 DEERPATH ROAD #100 ELKBRIDGE, MARYLAND 21075 PH# 410-567-1045	ROCK REALTY, LLC 6800 DEERPATH ROAD #100 ELKBRIDGE, MARYLAND 21075 PH# 410-567-1045



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 Frank Manalangan II  
 DATE: 4/21/20



**TRAFFIC CONTROL PLAN**  
 PHASE 2  
**EDEN BROOK**  
 LOTS 1 THRU 24, OPEN SPACE LOTS 25 THRU 27  
 (AGE-RESTRICTED ADULT HOUSING)  
 (BEING A SUBDIVISION OF TAX MAP 42, PARCEL 269)  
 LIBER 18858 OF FOLIO 96)  
 TAX MAP NO.: 42 GRID NO.: 7 PARCEL NO.: 269 ZONED R-12  
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: APRIL, 2020  
 SHEET 19 OF 19

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

I:\2017\2020\Engineering\Design\Traffic Control Plans\Sheet 18-19 Traffic Control Plan PH2, 11