

GENERAL NOTES

- SUBJECT PROPERTY ZONED RR-DEO PER COMPREHENSIVE ZONING PLAN EFFECTIVE 10-6-13.
- THIS PROJECT IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE ZONING REGULATIONS AND ZONING RESOLUTIONS EFFECTIVE APRIL 13, 2004.
- THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- THE TOPOGRAPHY SHOWN HEREON AT 2' CONTOUR INTERVALS IS BASED ON FIELD VERIFIED SURVEY BY BENCHMARK ENGINEERING, INC., DATED JULY, 2016, AND HOWARD COUNTY GIS, OUTSIDE CONSTRUCTION AREAS.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 468E AND 468F WERE USED FOR THIS PROJECT.
- STORMWATER MANAGEMENT SHALL BE PROVIDED FOR THIS PROJECT BASED ON GUIDELINES ESTABLISHED BY THE 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUMES 1 & 2 AS AMENDED BY THE STORMWATER MANAGEMENT ACT OF 2007. ENVIRONMENTAL SITE DESIGN METHODS SHALL BE UTILIZED, INCLUDING NON-ROOFTOP DISCONNECTION (N-2), ROADSIDE GRASS SWALES (M-8), DRY WELLS (M-5) AND MICROBIOTENTION (M-6) FACILITIES. MICRO-BIOTENTION AND DRYWELL PRACTICES WILL BE PRIVATELY OWNED & MAINTAINED.
- THERE IS AN EXISTING DWELLING ON BUILDABLE PRESERVATION PARCEL 'A' TO REMAIN. NO NEW BUILDINGS, EXTENSIONS OR ADDITIONS TO BE CONSTRUCTED AT A DISTANCE LESS THAN THE ZONING REGULATIONS REQUIREMENTS.
- A WETLAND DELINEATION AND FOREST STAND DELINEATION HAVE BEEN PERFORMED BY ECO-SCIENCE PROFESSIONALS, INC. AND A FINDINGS LETTER DATED MAY 24, 2016 WAS APPROVED WITH ECP-17-009.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE MARS GROUP, DATED 5/29/16, AND WAS APPROVED 11-10-2016.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAM, OR THEIR REQUIRED BUFFERS, 100-YR. FLOODPLAIN, STEEP SLOPES AND FOREST CONSERVATION EASEMENTS.
- THERE ARE NO STEEP SLOPES (25% OR GREATER) ON THIS SITE.
- TO THE BEST OF OUR KNOWLEDGE THERE ARE NO CEMETRIES LOCATED ON THIS SITE.
- A NOISE STUDY IS NOT REQUIRED FOR THIS DEVELOPMENT.
- THIS SITE IS NOT LOCATED WITHIN THE METROPOLITAN DISTRICT. WATER AND SEWER WILL BE PRIVATE ON-SITE FACILITIES.
- THE FOREST CONSERVATION ACT OBLIGATION OF 3.9 ACRES OF AFForestation FOR THIS PROJECT WILL BE MET BY OFFSITE FOREST BANKING, L.C. AT LAWSON PROPERTY, SDP-19-031(F0452), AND 2.3 AC. AT FAIRLANE FARM, P-15-059.
- THE PREVIOUS DPZ FILES FOR THIS SITE ARE: P-86-034, F-91-172, ECP-17-009, SP-17-003
- THE GEOTECHNICAL INFORMATION FOR THIS PROJECT WAS OBTAINED FROM PERCOLATION TESTING PERFORMED JUNE 1-2 AND SEPTEMBER 1, 2016.
- THE COMMUNITY MEETING WAS HELD ON DECEMBER 20, 2016 AT THE MARYLAND BUILDING INDUSTRY ASSOCIATION.
- THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF AT LEAST 10,000 S.F. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWER IS AVAILABLE. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWER SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A MODIFIED SEWERAGE EASEMENT PLAT SHALL NOT BE REQUIRED.
- BUILDABLE PRESERVATION PARCEL 'A' IS TO BE PRIVATELY OWNED, WITH HOWARD COUNTY, MARYLAND AND THE HOMEOWNER'S ASSOCIATION AS EASEMENT HOLDERS. THE PARCEL WILL BE RESIDENTIAL.
- THE MODERATE INCOME HOUSING UNIT SUBDIVISION FOR THIS SUBDIVISION WILL BE FULFILLED BY PAYMENT OF FEE-IN-LIEU OF CONSTRUCTION, PER SECTION 105.0 OF THE ZONING REGULATIONS AT LEAST 10% OF THE DWELLING UNITS SHALL BE MODERATE INCOME HOUSING UNITS. THIS OBLIGATION WILL BE FULFILLED BY THE PAYMENT OF A FEE DETERMINED BY THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT.
- TRAFFIC CONTROL DEVICES:
 - THE R1-11("STOP") SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE PLACEMENT OF ANY ASPHALT.
 - THE TRAFFIC CONTROL DEVICES SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION 410-313-2430 PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
 - ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES." (MANUTCD).
 - ALL SIGN POST USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE GALVANIZED STEEL, PERFORATED ("QUICK PUNCH"), SQUARE TUBE POST (1 1/2" DIA) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (2 GAUGE)-3' LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN 20" "QUICK PUNCH" HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- ALL WELLS MUST BE DRILLED PRIOR TO HEALTH OFFICER SIGNATURE OF THE RECORD PLAT.
- THIS PROPERTY IS DESIGNATED A TIER III PROPERTY PER THE SUSTAINABLE GROWTH AND AGRICULTURAL PRESERVATION ACT OF 2012, MAP 6-3, AS APPROVED BY THE HOWARD COUNTY COUNCIL AS PART OF PLANHOWARD 2030.
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SHOT INFORMATION, SUPPLEMENTED BY HOWARD COUNTY GIS INFORMATION, AND RECORD DRAWINGS.
- THERE IS NO 100-YEAR FLOODPLAIN ON THIS SITE.
- THE INTERSECTION OF THE PROPOSED ROAD IS WITHIN MARYLAND STATE HIGHWAY RIGHT OF WAY. BASED ON THE EXISTING USE OF THE DRIVEWAY, SHA DOES NOT REQUIRE SIGHT DISTANCE ANALYSIS. BENCHMARK ENGINEERING, INC. HAS OBSERVED THE SIGHT DISTANCE AT THE ENTRANCE AND BELIEVES ADEQUATE SIGHT DISTANCE IS AVAILABLE IN BOTH DIRECTIONS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- STREET LIGHT PLACEMENT AND TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY ORDINANCES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993). A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12' (16' SERVING MORE THAN ONE RESIDENCE).
 - SURFACE - 6" OF COMPACT CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN).
 - GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM 45' TURNING RADIUS.
 - STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (HEAVY LOADING).
 - DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOODPLAIN WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY.
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- HOWARD COUNTY STANDARD DETAIL R-6.03 SHALL BE UTILIZED FOR THE DRIVEWAY APRONS. For driveway aprons to built see sheet 14.15
- LANDSCAPING IS PROVIDED WITH A CERTIFIED LANDSCAPE PLAN IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL POSTING OF SURETY FOR REQUIRED LANDSCAPING IN ACCORDANCE WITH SECTION 16.124 OF THE LANDSCAPE MANUAL IN THE AMOUNT OF \$10,800 FOR 36 SHADE TREES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT.
- SP-17-001 WAS REVIEWED BY THE PLANNING BOARD ON 06/01/17, PB CASE #429.
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH, AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- THIS SUBDIVISION IS NOT LOCATED ON A SCENIC ROAD.
- USING THE DENSITY/CLUSTER EXCHANGE OPTION DESCRIBED IN SECTION 105.0 OF THE ZONING REGULATIONS, THE DEVELOPMENT RIGHTS FOR 5 DEED OF THE RESIDENTIAL LOTS/PARCELS SHOWN ON THE SUBDIVISION PLAN FOR F-18-0477 (4 UNITS) AND F-18-0478 (4 UNITS) FROM THE ZITZMAN PROPERTY, F-18-0478 (4 UNITS) AND THE LAWSON PROPERTY, SDP-19-031(F0452) (1 UNIT).
- RESERVATION OF PUBLIC UTILITY AND FOREST CONSERVATION EASEMENTS; DEVELOPER RESERVES UNTO ITSELF, ITS SUCCESSORS AND ASSIGNS, ALL EASEMENTS SHOWN ON THIS PLAN FOR WATER, SEWER, STORM DRAINAGE, OTHER PUBLIC UTILITIES AND FOREST CONSERVATION DESIGNATED AS "FOREST CONSERVATION AREA", LOCATED IN, ON, OVER AND THROUGH LOTS/PARCELS, ANY CONVEYANCES OF THE AFORESAID LOT/PARCELS SHALL BE SUBJECT TO THE EASEMENTS HEREIN RESERVED, WHETHER OR NOT EXPRESSLY STATED IN THE DEED(S) CONVEYING SAID LOTS/PARCELS. DEVELOPER SHALL EXECUTE AND DELIVER DEEDS FOR THE EASEMENTS HEREIN RESERVED TO HOWARD COUNTY WITH METES AND BOUNDS DESCRIPTION OF THE FOREST CONSERVATION AREA. UPON COMPLETION OF THE PUBLIC UTILITIES AND THEIR ACCEPTANCE BY HOWARD COUNTY AND IN THE CASE OF THE FOREST CONSERVATION EASEMENT(S), UPON COMPLETION OF THE DEVELOPER'S OBLIGATION UNDER THE FOREST CONSERVATION INSTALLATION AND MAINTENANCE AGREEMENT EXECUTED BY THE DEVELOPER AND THE COUNTY, AND THE RELEASE OF DEVELOPER'S SURETY POSTED WITH SAID AGREEMENT, THE COUNTY SHALL ACCEPT THE EASEMENT AND RECORD THE DEED(S) OF EASEMENT IN THE LAND RECORDS OF HOWARD COUNTY.
- THE ARTICLES OF INCORPORATION FOR THE HOMEOWNERS ASSOCIATION WILL BE INCORPORATED PRIOR TO THE SUBMISSION OF THE PLAT FOR RECORDATION. THE HOA INCORPORATION INFORMATION WILL BE PROVIDED WITH THE PLAT SUBMISSION AND THE DECLARATION OF COVENANTS WILL BE RECORDED WITH F-18-047.
- THE FLOODPLAIN STUDY FOR THIS PROJECT WAS PREPARED BY BENCHMARK ENGINEERING, INC., DATED JANUARY 2017.
- STORM WATER MANAGEMENT PRACTICES ARE REQUIRED IN ACCORDANCE WITH THE DESIGN MANUALS, PRIOR TO SIGNATURE APPROVAL OF THE FINAL PLAT THE DEVELOPER WILL BE REQUIRED TO EXECUTE THE DECLARATION OF COVENANT AND/OR A DEVELOPER'S AGREEMENT FOR THE CONSTRUCTION OF THE STORM WATER MANAGEMENT PRACTICES AND A MAINTENANCE AGREEMENT.

FULTON HILL

LOTS 1-8, BUILDABLE PRESERVATION PARCEL A AND NON-BUILDABLE BULK PARCEL B

5th ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

FINAL ROAD PLAN

HO. CO. #468E (NAD '83) ELEV. 443.340
 3" STAMPED ALUMINUM DISC SET ON A CONCRETE COLUMN ON NORTH SIDE OF OLD COLUMBIA PIKE, EAST OF THE SCAGGSVILLE PARK AND ROSE. E 1,338,643.612' N 538,853.801'

HO. CO. #468F (NAD '83) ELEV. 446.607'
 3" STAMPED ALUMINUM DISC SET ON A CONCRETE COLUMN ON THE SOUTH SIDE OF MD 216, AT THE INTERSECTION OF MD-216 EB AND US-29 SB RAMP. E 1,340,010.492' N 538,448.152'



VICINITY MAP
 SCALE: 1" = 2000'

SHEET INDEX

NO.	DESCRIPTION
1	EXISTING CONDITIONS, SOILS MAP AND OFFSITE TOPOGRAPHY
2	LAYOUT, LANDSCAPE AND FOREST CONSERVATION PLAN
3	FINAL ROAD PROFILES
4	SHA ENTRANCE PLAN, PROFILES AND DETAILS
5	FINAL ROAD CONSTRUCTION PLANS, GRADING, SEDIMENT AND EROSION CONTROL PLAN AND SOILS MAP
6	SEDIMENT CONTROL NOTES AND DETAILS
7	STORM DRAIN DRAINAGE AREA MAP
8	STORM DRAIN PROFILES
9	STORM DRAIN PROFILES
10	FINAL STORMWATER MANAGEMENT PLAN, NOTES AND DETAILS
11	FINAL STORMWATER MANAGEMENT PLAN, NOTES AND DETAILS
12	FINAL STORMWATER MANAGEMENT PLAN, NOTES AND DETAILS
13	FINAL STORMWATER MANAGEMENT PLAN, NOTES AND DETAILS
14	Grading Plan for house construction
15	Grading Plan for house construction
16	Grading Plan for house construction
17	Grading Plan for house construction

LEGEND

- EXISTING CONTOURS
- EXISTING TREELINE
- LIMIT OF SUBMISSION
- SOILS DELINEATION (GgB, MaC)
- EX. WELL
- PROPOSED DWELLING
- 15% - 24.9% SLOPES
- BUILDABLE PRESERVATION PARCEL 'A'

NOTE: FOR LOT 4 & 8 HOUSE GRADING, AND SWM TO BE BUILT SEE SHEET 14 & 15
 For Lot 1, see sheet 17

DENSITY EXCHANGE CHART

RECEIVING PARCEL INFORMATION	TAX MAP 48, GRID 03, PARCEL 337
TOTAL AREA OF SUBDIVISION	19.71 AC
DENSITY UNITS ALLOWED BY RIGHT	19.71 / 4.25 = 4 D.U.
MAXIMUM DEO UNITS ALLOWED	19.71 / 2 = 9 D.U.
NUMBER OF UNITS PROPOSED	9 (8 LOTS AND 1 BUILDABLE PRESERVATION PARCEL)
DEO DENSITY UNITS TO BE RECEIVED FROM SENDING PARCEL	5
SENDING PARCEL INFORMATION	ZITZMAN PROPERTY F-18-047(5) - 4 UNITS LAWSON PROPERTY SDP-19-031(F0452) - 1 UNIT

SITE DATA TABULATION

- GENERAL SITE DATA
 - PRESENT ZONING: RR-DEO
 - LOCATION: TAX MAP 48 - GRID 03 - PARCEL 337
 - APPLICABLE DPZ FILE REFERENCES: P-86-034, F-91-172, ECP-17-009, SP-17-003
 - DEED REFERENCE: L12556 / F.420
 - PROPOSED USE OF SITE: 8 SPF LOTS; 1 BUILDABLE PRESERVATION PARCEL; 1 Non-Buildable Bulk Parcel
 - PROPOSED WATER AND SEWER: PRIVATE WATER AND PRIVATE SEWER
- AREA TABULATION
 - TOTAL AREA OF SITE: 19.71 Ac.±
 - AREA OF 100 YEAR FLOODPLAIN (APPROX.): 0.00 Ac.±
 - AREA OF STEEP SLOPES (25% OR GREATER): 0.00 Ac.±
 - NET AREA OF SITE: 19.71 Ac.±
 - AREA OF THIS PLAN SUBMISSION: 19.71 Ac.±
 - LIMIT OF DISTURBANCE (APPROX.): 4.80 Ac.±
 - AREA OF PROPOSED BUILDABLE LOTS: 7.90 Ac.±
 - AREA OF BUILDABLE PRESERVATION PARCEL: 10.00 Ac.±
 - AREA OF PROPOSED PUBLIC ROAD: 0.84 Ac.±
 - AREA OF PROPOSED PUBLIC R/W DEDICATION: 1.59 Ac.±
- DENSITY TABULATION
 - NET AREA OF SITE: 19.71 Ac.±
 - TOTAL NUMBER OF LOTS ALLOWED PER ZONING: 4
 - 1 UNIT PER 4.25 GROSS ACRES ALLOWED BY RIGHT: 4
 - 1 UNIT PER 2 NET ACRES (MAX) PER DEO PROVISION: 4
 - DENSITY UNITS TO BE RECEIVED: 5
- UNIT/LOT TABULATION
 - TOTAL NUMBER OF BUILDABLE LOTS PROPOSED ON THIS SUBMISSION: 8
 - TOTAL NUMBER OF NON-BUILDABLE PRESERVATION PARCELS PROPOSED ON THIS SUBMISSION: 0
 - TOTAL NUMBER OF BUILDABLE PRESERVATION PARCELS PROPOSED ON THIS SUBMISSION: 1

STORMWATER MANAGEMENT PRACTICES CHART

LOT NO.	ADDRESS	N-1	MICRO-BIOTENTION FACILITY (M-6)	DRY-WELLS (M-5)	Rain Barrels (M-1)	A-L
1	8220 WHITE PINE COURT	Yes	0	1		Yes
2	8224 WHITE PINE COURT	0	1	1		
3	8228 WHITE PINE COURT	0	0	5	2	
4	8232 WHITE PINE COURT	0	0	5		
5	8236 WHITE PINE COURT	0	0	7		
6	8228 WHITE PINE COURT	1	0			
7	8225 WHITE PINE COURT	Yes	0	5		Yes
8	8221 WHITE PINE COURT	1	0	4		
PAR. A	8250 WHITE PINE COURT	1				

Stormwater Management Information

Lot/Parcel Number	Facility Name & Number	Practice Type (Quantity)	Public	Private	Misc.
Parcel A	MB-A	Micro-Bioretenion (M-6)		x	

EXISTING CONDITIONS PLAN

1" = 100'

IN FEET
 1" = 100 ft.



REVISIONS BY GLW: 3/28/22

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 28376, EXPIRES 1-1-2021.

SOILS LEGEND

SYMBOL	TYPE	K _f FACTOR	NAME
GgA	B	.20	GLENELG LOAM - 0 TO 3 PERCENT SLOPES
GgB	B	.20	GLENELG LOAM - 3 TO 8 PERCENT SLOPES
GnB	C	.37**	GLENVILLE-BAILE SILT LOAM, 0 TO 8 PERCENT SLOPES
McC	B	.24**	MANOR LOAM - 8 TO 15 PERCENT SLOPES

SOIL MAPPING TAKEN FROM NRCS WEB SOIL SURVEY, MARCH 2016. MAP 23
 **HIGHLY ERODIBLE SOILS K>0.35, AND/OR 15% OR GREATER SLOPES

BENCHMARK ENGINEERING, INC.
 8480 BALTIMORE NATIONAL PIKE SUITE 315 & ELLOTT CITY MARYLAND 21043
 (P) 410-415-8103 (F) 410-415-8444
 WWW.BM-ENGINEERING.COM

OWNER/DEVELOPER:
 OCR DEVELOPMENT, LLC
 2102 E MADISON ST
 BALTIMORE, MD 21205
 518-386-9168

PROJECT:
 FULTON HILL
 LOTS 1-8, BUILDABLE PRESERVATION PARCEL A AND NON-BUILDABLE BULK PARCEL B
 A RE-SUBDIVISION OF LOT 2 OF THE ST. FRANCIS OF ASSISI SUBDIVISION

LOCATION:
 TAX MAP: 48 - GRID: 03 - PARCEL: 337
 ZONED: RR-DEO
 ELECTION DISTRICT NO. 5 - HOWARD COUNTY, MARYLAND

TITLE:
 EXISTING CONDITIONS, SOILS MAP AND OFFSITE TOPOGRAPHY

DATE: SEPTEMBER, 2019
PROJECT NO.: 2761

DESIGN: AAM [DRAFT] AAM [CHECK] CAM
SCALE: AS SHOWN
SHEET 1 OF 17
 F-18-047

SCHEDULE A PERIMETER LANDSCAPE EDGE		
LANDSCAPE TYPE	PERIMETER PROPERTY	
	① A	② A
LINEAR FEET OF PERIMETER	1266'	1086'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	YES 210'	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO
NUMBER OF PLANTS REQUIRED		
SHADE TREES	18	18
EVERGREEN TREES	-	-
OTHER TREES (2:1 SUBSTITUTE)	-	-
SHRUBS	-	-
NUMBER OF PLANTS PROVIDED		
SHADE TREES	18	18
EVERGREEN TREES	-	-
OTHER TREES (2:1 SUBSTITUTE)	-	-
SHRUBS (10:1 SUBSTITUTE)	-	-

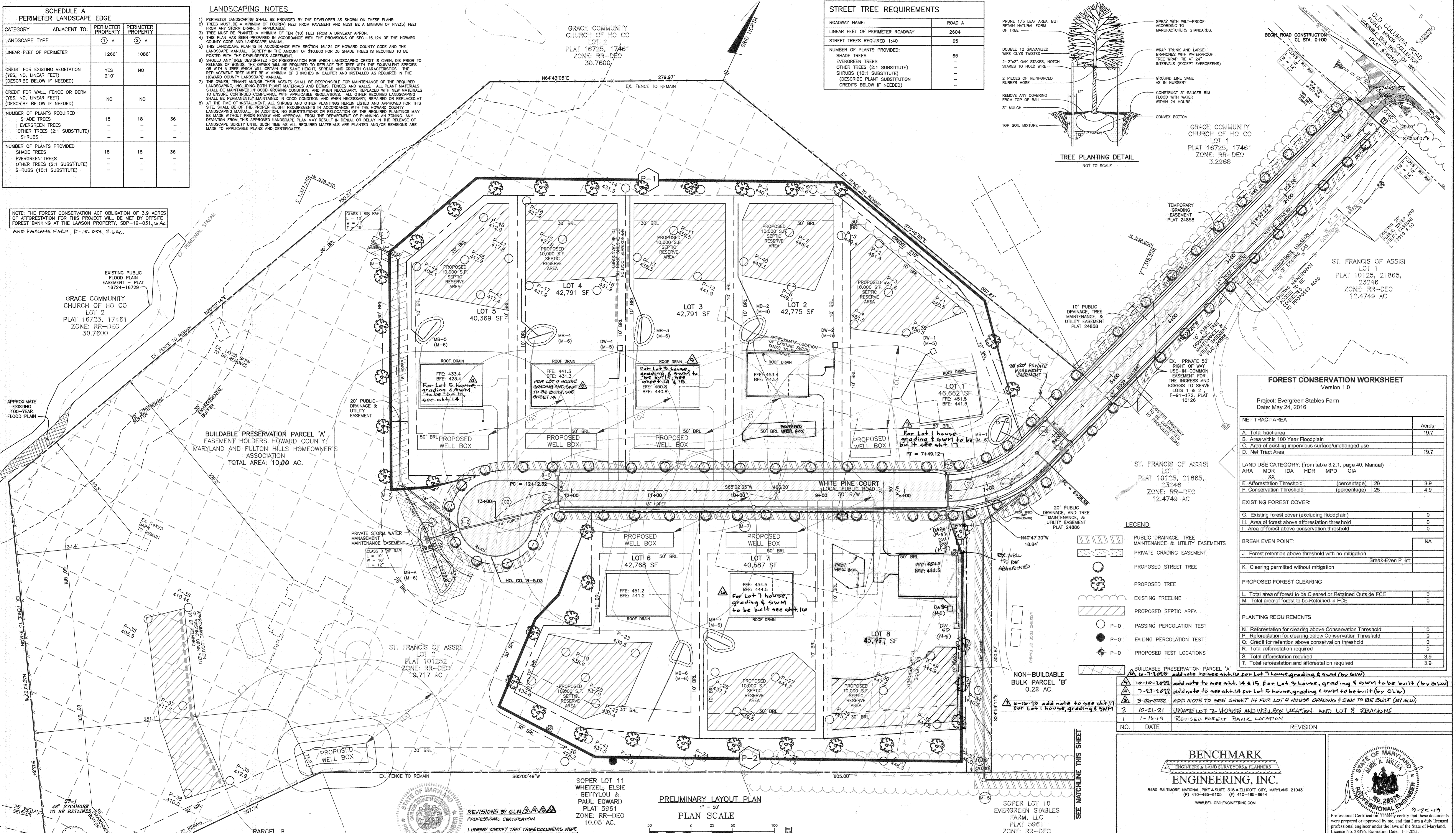
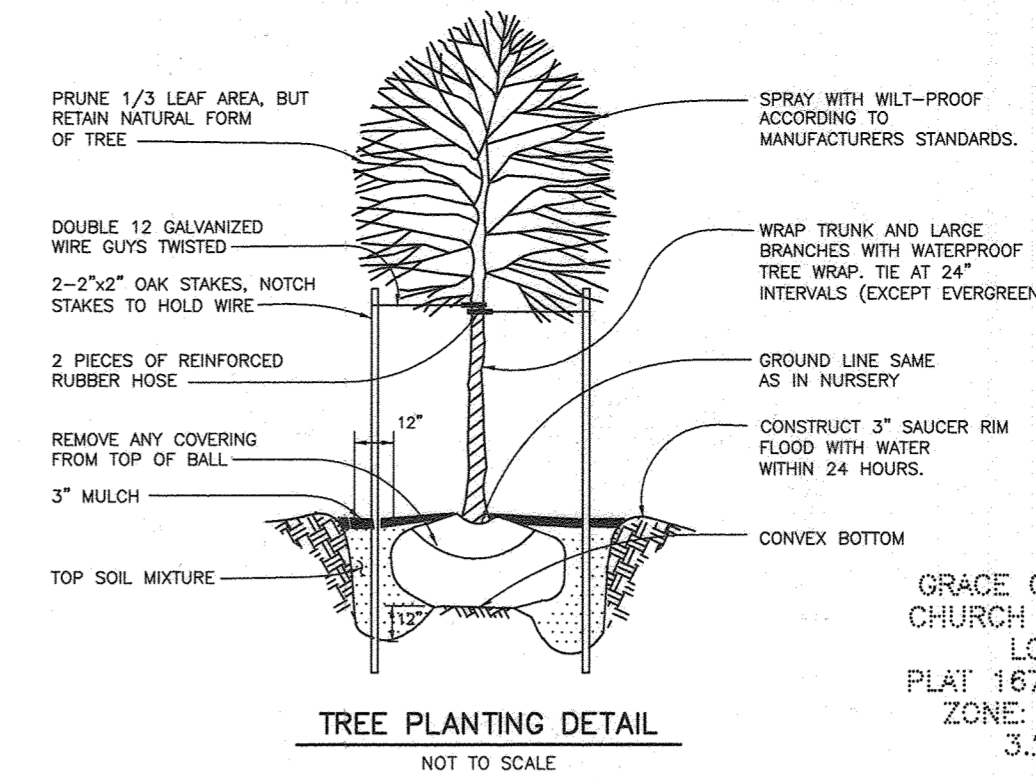
NOTE: THE FOREST CONSERVATION ACT OBLIGATION OF 3.9 ACRES OF AFFORESTATION FOR THIS PROJECT WILL BE MET BY OFFSITE FOREST BANKING AT THE LAWSON PROPERTY, SDP-19-031, 16 AC. AND FARLANE FARM, F-15-054, 2.3 AC.

LANDSCAPING NOTES

- PERIMETER LANDSCAPING SHALL BE PROVIDED BY THE DEVELOPER AS SHOWN ON THESE PLANS.
- TREES MUST BE A MINIMUM OF FOUR(4) FEET FROM PAVEMENT AND MUST BE A MINIMUM OF FIVE(5) FEET FROM ANY STORM DRAIN, IF APPLICABLE.
- TREES MUST BE PLANTED A MINIMUM OF TEN (10) FEET FROM A DRIVEWAY APRON.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SEC. 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- THIS LANDSCAPE PLAN IS IN ACCORDANCE WITH SECTION 16.124 OF HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. SURETY IN THE AMOUNT OF \$10,800 FOR 36 SHADE TREES IS REQUIRED TO BE POSTED WITH THE DEVELOPER'S AGREEMENT.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED AT THE TIME OF INSTALLMENT. ALL SHRUBS AND OTHER PLANTINGS HEREIN LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELICATION OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.

STREET TREE REQUIREMENTS

ROADWAY NAME:	ROAD A
LINEAR FEET OF PERIMETER ROADWAY	2604
STREET TREES REQUIRED 1:40	65
NUMBER OF PLANTS PROVIDED:	
SHADE TREES	65
EVERGREEN TREES	-
OTHER TREES (2:1 SUBSTITUTE)	-
SHRUBS (10:1 SUBSTITUTE)	-
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	



FOREST CONSERVATION WORKSHEET Version 1.0

Project: Evergreen Stables Farm
Date: May 24, 2016

NET TRACT AREA	Acres
A. Total tract area	19.7
B. Area within 100 Year Floodplain	
C. Area of existing impervious surface/unchanged use	
D. Net Tract Area	19.7

LAND USE CATEGORY: (from table 3.2.1, page 40, Manual)
ARA MDR IDA HDR MPD CIA
XX

E. Afforestation Threshold (percentage)	20	3.9
F. Conservation Threshold (percentage)	25	4.9

EXISTING FOREST COVER:

G. Existing forest cover (excluding floodplain)	0
H. Area of forest above afforestation threshold	0
I. Area of forest above conservation threshold	0

BREAK EVEN POINT:

J. Forest retention above threshold with no mitigation	Break-Even P. amt
K. Clearing permitted without mitigation	

PROPOSED FOREST CLEARING

L. Total area of forest to be Cleared or Retained Outside FCE	0
M. Total area of forest to be Retained in FCE	0

PLANTING REQUIREMENTS

N. Reforestation for clearing above Conservation Threshold	0
P. Reforestation for clearing below Conservation Threshold	0
Q. Credit for retention above conservation threshold	0
R. Total reforestation required	0
S. Total afforestation required	3.9
T. Total reforestation and afforestation required	3.9

- LEGEND**
- PUBLIC DRAINAGE, TREE MAINTENANCE, UTILITY EASEMENTS
 - PRIVATE GRADING EASEMENT
 - PROPOSED STREET TREE
 - PROPOSED TREE
 - EXISTING TREELINE
 - PROPOSED SEPTIC AREA
 - PASSING PERCOLATION TEST
 - FAILING PERCOLATION TEST
 - PROPOSED TEST LOCATIONS
 - BUILDABLE PRESERVATION PARCEL 'A'
 - NON-BUILDABLE BULK PARCEL 'B'

- 10-10-1011 add note to see sht. 14 & 15 for Lot 3 house, grading & SWM to be built (by GLW)
- 7-21-1011 add note to see sht. 14 for Lot 5 house, grading & SWM to be built (by GLW)
- 3-20-2012 ADD NOTE TO SEE SHEET 14 FOR LOT 4 HOUSE GRADING & SWM TO BE BUILT (BY GLW)
- 10-21-21 UPDATE LOT 7 HOUSE AND WELL BOX LOCATION AND LOT 8 REVISIONS
- 1-16-19 REVISED FOREST BANK LOCATION

BENCHMARK ENGINEERING, INC.
ENGINEERS & LAND SURVEYORS & PLANNERS
8480 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043
(7) 410-465-1100 (7) 410-465-6644
WWW.BE-CIVILENGINEERING.COM

STATE OF MARYLAND PROFESSIONAL ENGINEER No. 28376

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 1-1-2021.

OWNER/DEVELOPER: OCR DEVELOPMENT, LLC 2102 E MADISON ST BALTIMORE, MD 21205 518-386-9168	PROJECT: FULTON HILL LOTS 1-8, BUILDABLE PRESERVATION PARCEL A AND NON-BUILDABLE BULK PARCEL B A RE-SUBDIVISION OF LOT 2 OF THE ST. FRANCIS OF ASSISI SUBDIVISION
DESIGN: AAM DRAFT: AAM CHECK: CAM	LOCATION: TAX MAP: 46 - GRID: 03 - PARCEL: 337 ZONED: RR-DEO ELECTION DISTRICT NO. 5 - HOWARD COUNTY, MARYLAND
	TITLE: LAYOUT, LANDSCAPE AND FOREST CONSERVATION PLAN
	DATE: SEPTEMBER, 2019 PROJECT NO: 2761
	SCALE: AS SHOWN SHEET 2 OF 17

DEVELOPER'S CERTIFICATION
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION OF A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

LIANYING WANG, OCR DEVELOPMENT, LLC DATE: 9-25-19

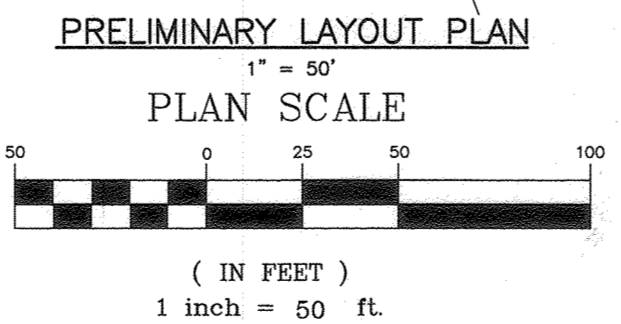
APPROVED: DEPARTMENT OF PUBLIC WORKS
CHIEF, BUREAU OF HIGHWAYS MK 10/17/2019 DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DIVISION OF LAND DEVELOPMENT 10-23-19 DATE

APPROVED: DEVELOPMENT ENGINEERING DIVISION
CHIEF, DEVELOPMENT ENGINEERING DIVISION 10.8.19 DATE

LANDSCAPE PLANTING LIST

SYMBOL	QUANTITY	NAME	REMARKS
(Tree Symbol)	65	GLEDITSIA TRIACANTHOS INERMIS 'IMPERIAL' HONEY LOCUST	2 1/2"-3" CAL
(Tree Symbol)	36	GINKGO BILOBA 'AUTUMN GOLD' AUTUMN GOLD GINKGO	2 1/2" - 3" CAL



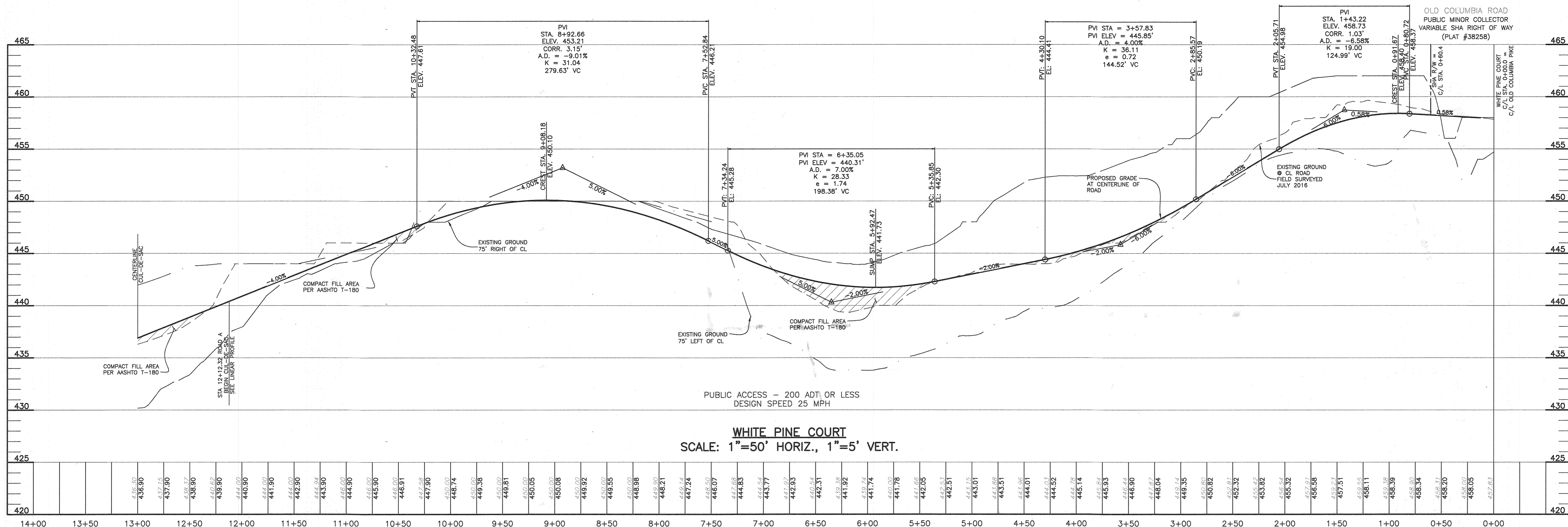
REVISIONS BY GLW

STATE OF MARYLAND PROFESSIONAL ENGINEER No. 28376

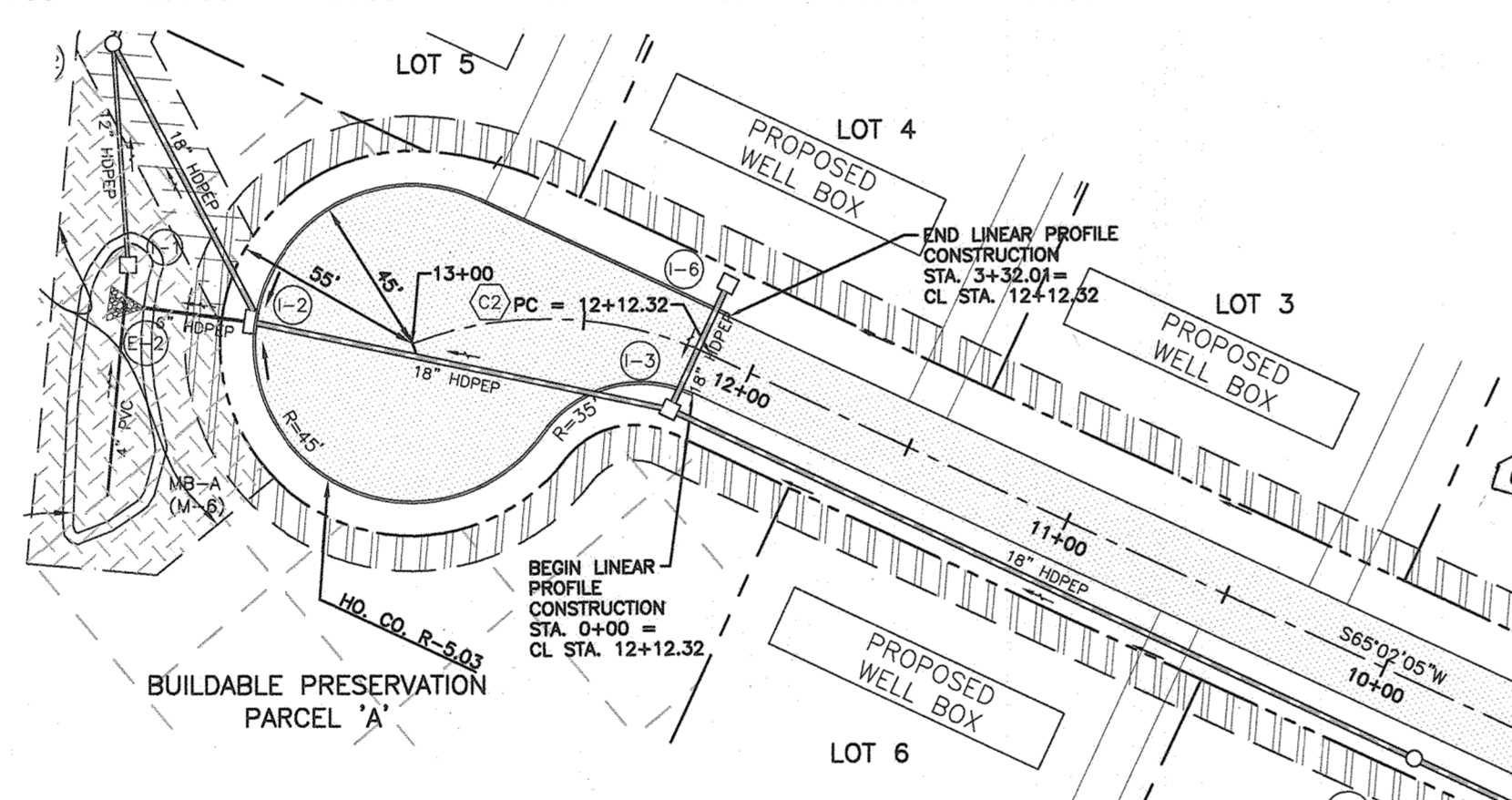
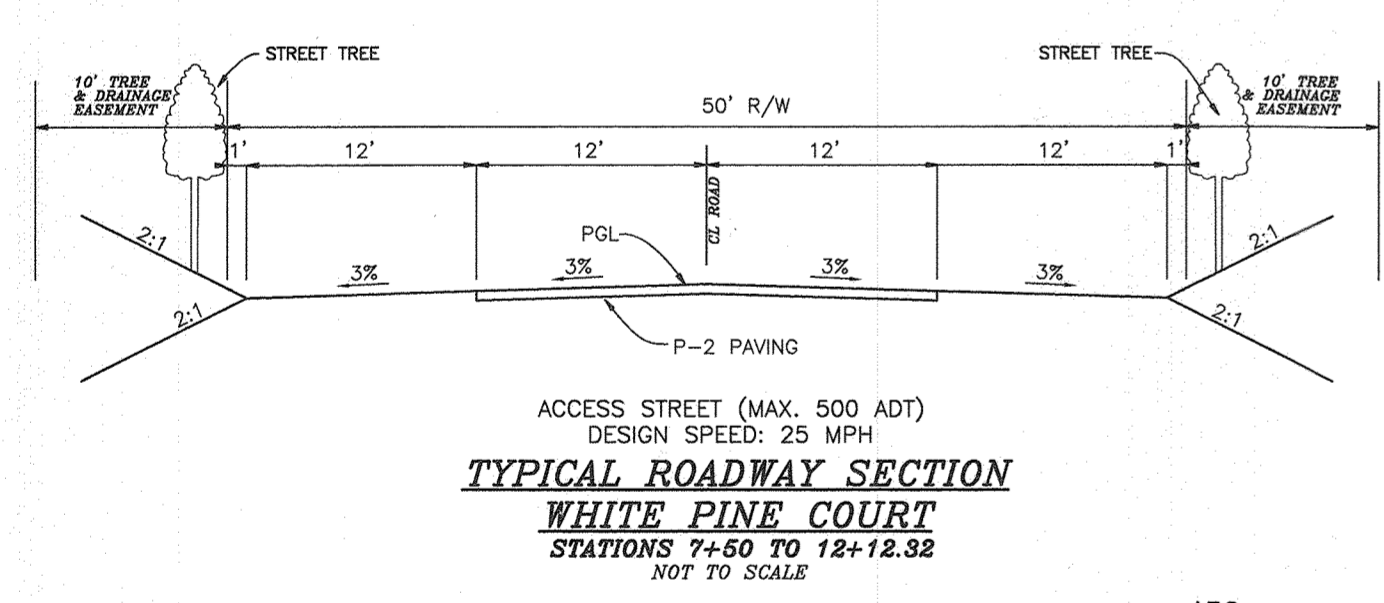
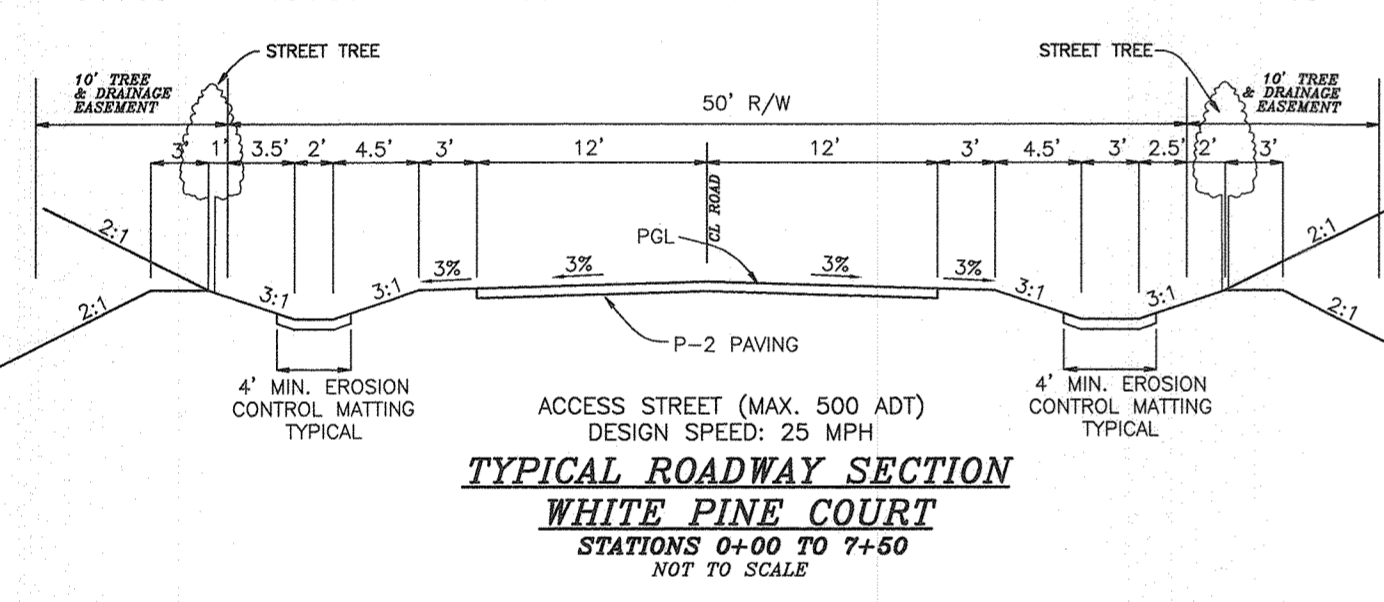
1. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 28376 EXPIRATION DATE MAY 24 2022.

SOPEL LOT 11 WHEITZEL, ELSIE BEITYLOU & PAUL EDWARD PLAT 5961 ZONE: RR-DEO 10.05 AC.

SOPEL LOT 10 EVERGREEN STABLES FARM, LLC PLAT 5961 ZONE: RR-DEO 15.37 AC.

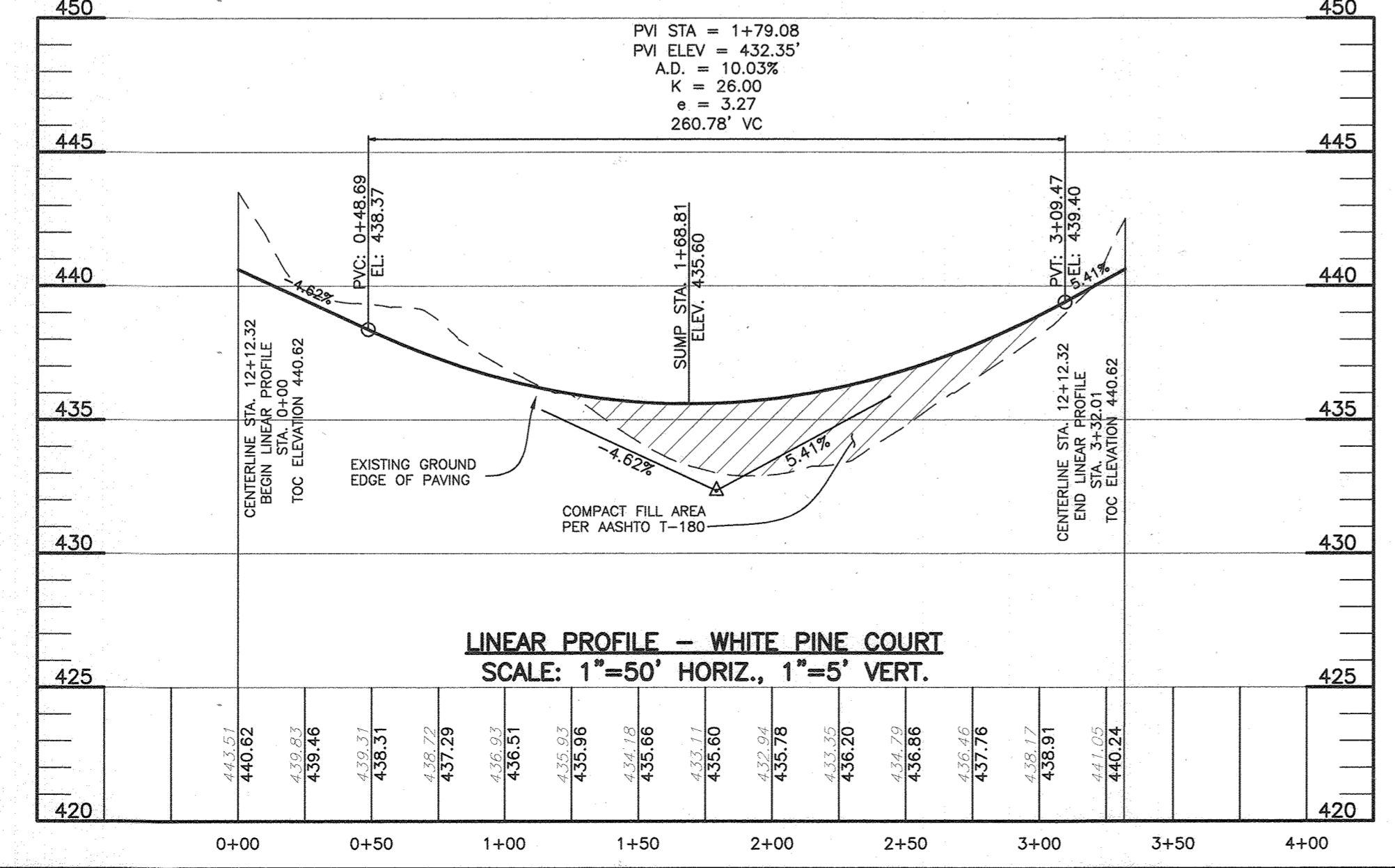


WHITE PINE COURT
SCALE: 1"=50' HORIZ., 1"=5' VERT.

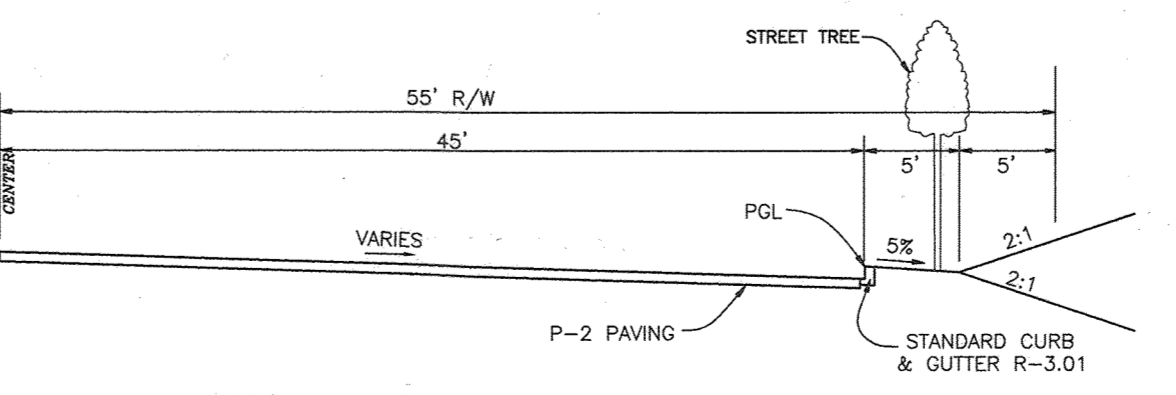
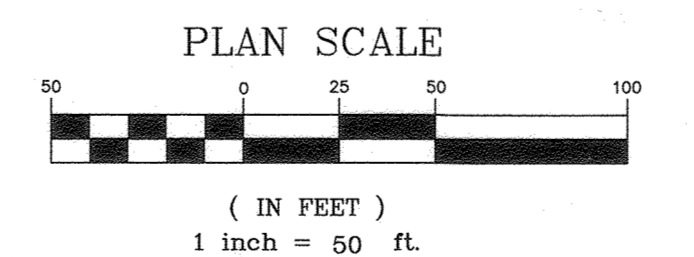


CENTERLINE CONTROL DATA			
STREET NAME	STATION	NORTH	EAST
WHITE PINE COURT	0+00	538913.5536	1338383.5883
	PC 6+28.58	538319.1958	1338179.0216
	PT 7+49.12	538232.0279	1338100.4978
	PC 12+12.32	538036.5235	1337680.5729
	END 13+00	537973.3623	1337623.0972

CENTER LINE CURVE DATA						
STREET NAME	STATION	RADIUS	ARC	DELTA	CHORD	
C1	6+28.58 TO 7+49.12	150.00'	120.54'	46°02'32"	63.74'	N42°00'49"E 117.32'
C2	12+12.32 TO 13+00	110.50'	87.68'	45°27'52"	46.30'	S42°18'20"E 85.40'

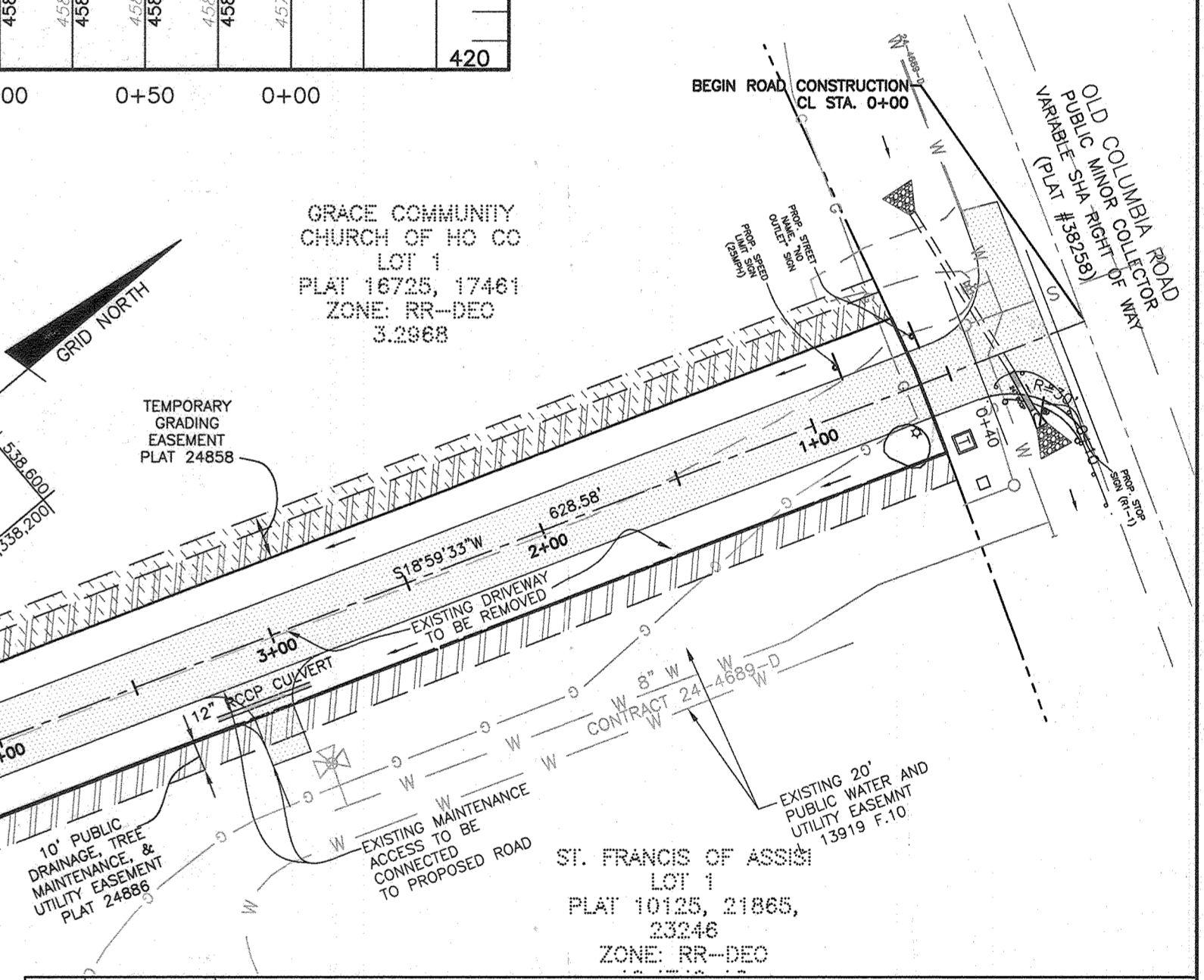


LINEAR PROFILE - WHITE PINE COURT
SCALE: 1"=50' HORIZ., 1"=5' VERT.



TYPICAL CUL-DE-SAC SECTION
WHITE PINE COURT
STATIONS 0+00 TO 3+32.01
NOT TO SCALE

NOTES:
1. SEE SHEET 4 FOR ADDITIONAL DETAILS FOR RIGHT OF SHA RIGHT-OF-WAY WORK AND MAINTENANCE OF TRAFFIC



NO.	DATE	REVISION
1	10-21-21	REVISED TO UPDATE LOT 2 HOUSE/WELL BOX LOCATION AND LOT 8; ADD MONUMENT SIGN ESM

BENCHMARK ENGINEERS & LAND SURVEYORS & PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043
(7) 410-465-4100 (F) 410-465-6644
WWW.BD-ENR.COM

STATE OF MARYLAND
Professional Engineer License No. 28376, Expiration Date: 1-1-2021.

OWNER/DEVELOPER:
OCR DEVELOPMENT, LLC
2102 E MADISON ST
BALTIMORE, MD 21205
518-386-9168

PROJECT:
FULTON HILL
LOTS 1-8, BUILDABLE PRESERVATION PARCEL A AND NON-BUILDABLE BULK PARCEL B
A RE-SUBDIVISION OF LOT 2 OF THE ST. FRANCIS OF ASSISI SUBDIVISION

LOCATION: TAX MAP: 46 - GRIDS: 03 - PARCEL: 337
ZONED: RR-DEO
ELECTION DISTRICT NO. 5 - HOWARD COUNTY, MARYLAND

TITLE: FINAL ROAD PROFILES

DATE: SEPTEMBER, 2019 **PROJECT NO.:** 2761
SCALE: AS SHOWN **SHEET:** 3 OF 11

DESIGN: AAM/LDD **DRAFT:** AAM **CHECK:** CAM

APPROVED: DEPARTMENT OF PUBLIC WORKS
[Signature] 10/17/2019
CHIEF, BUREAU OF HIGHWAYS MK DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
[Signature] 10-23-19
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

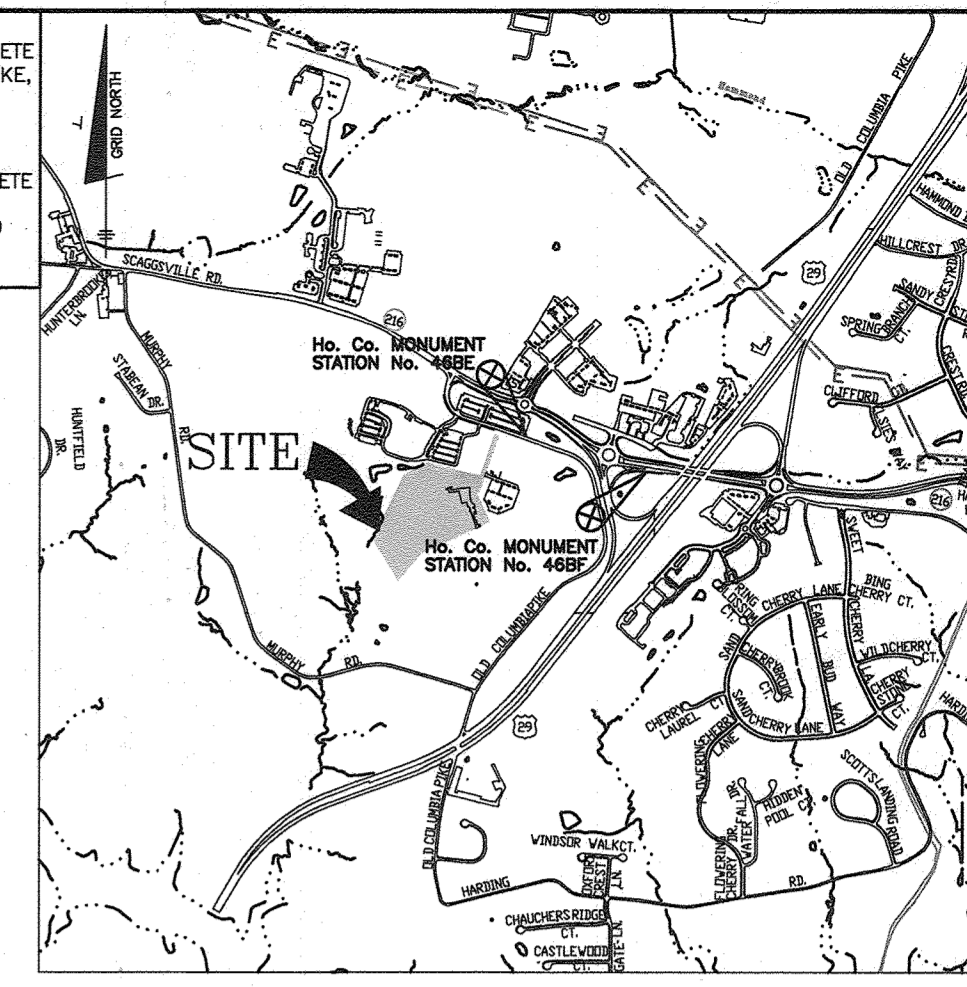
[Signature] 10-21-19
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

NOTES:

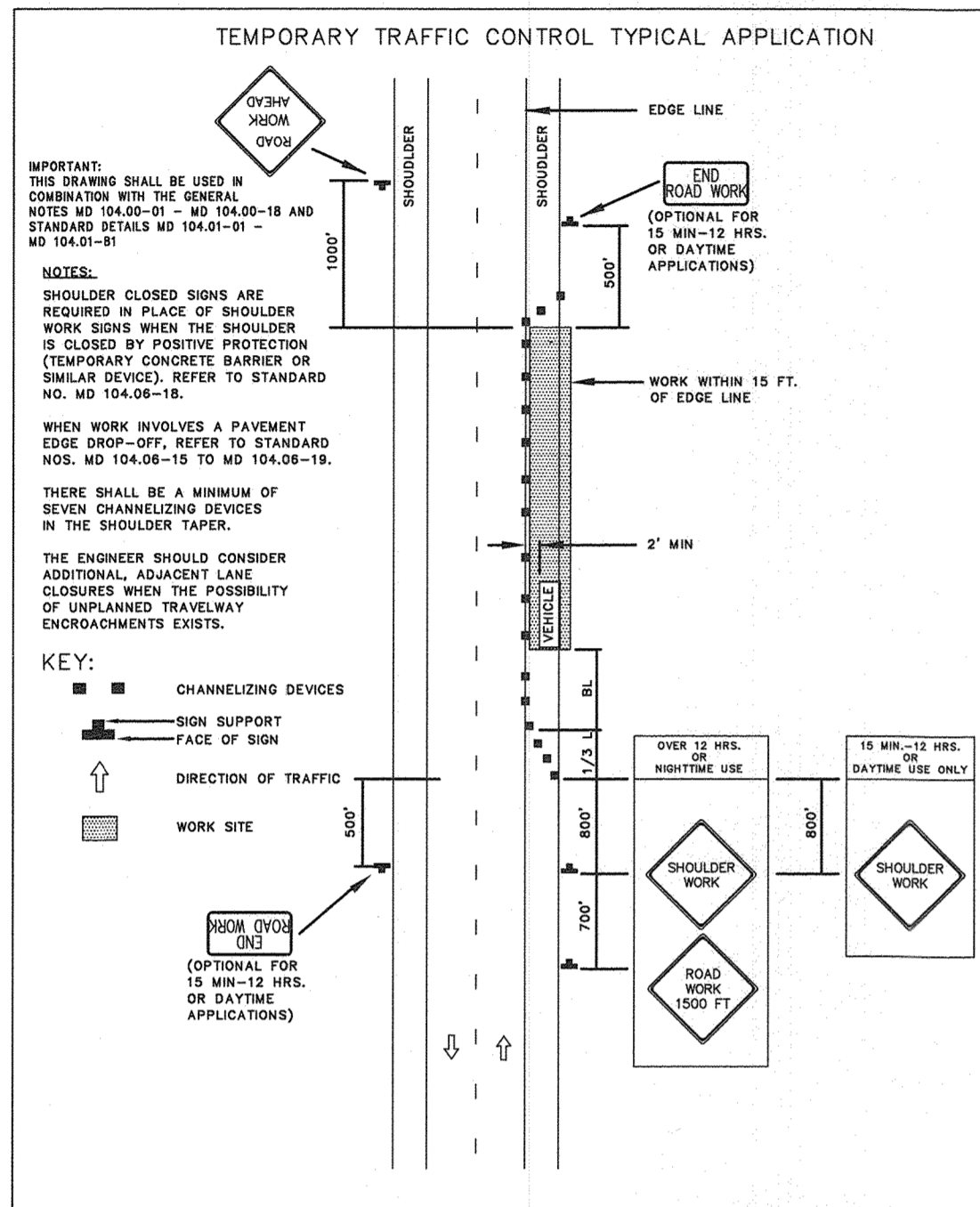
1. OLD COLUMBIA ROAD IS AN URBAN MINOR ARTERIAL RUNNING IN AN EAST/ WEST DIRECTION.
2. THE POSTED SPEED LIMIT ALONG OLD COLUMBIA ROAD IS 25 MPH.
3. CONTRACT SHALL CONNECT PROPOSED 24" RCCP TO EAST END OF EXISTING 24" RCCP.
4. CONTRACTOR SHALL INSTALL MD 368.01 END SECTION TO PROPOSED 24" RCCP.
5. CONTRACTOR SHALL SAWCUT EXISTING ROAD AT LIMIT OF PAVING PRIOR TO MILL AND OVERLAY.
6. CONTRACTOR SHALL RELOCATE EXISTING FIRE HYDRANT AND VALVE AND RECONNECT TO EXISTING 8" WATER MAIN.

HO. CO. #468E (NAD '83) ELEV. 443.349
 3" STAMPED ALUMINUM DISC SET ON A CONCRETE COLUMN ON NORTH SIDE OF OLD COLUMBIA PIKE, EAST OF THE SCAGGSVILLE PARK AND RIDE.
 E 1,338,643.612' N 538,853.801'

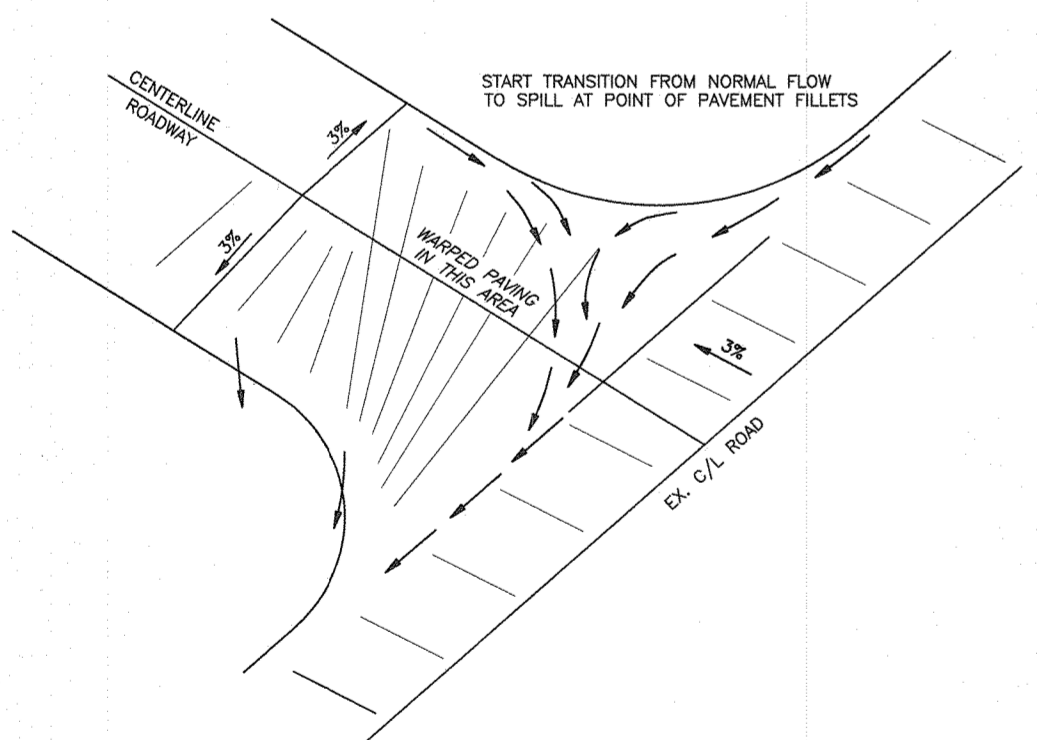
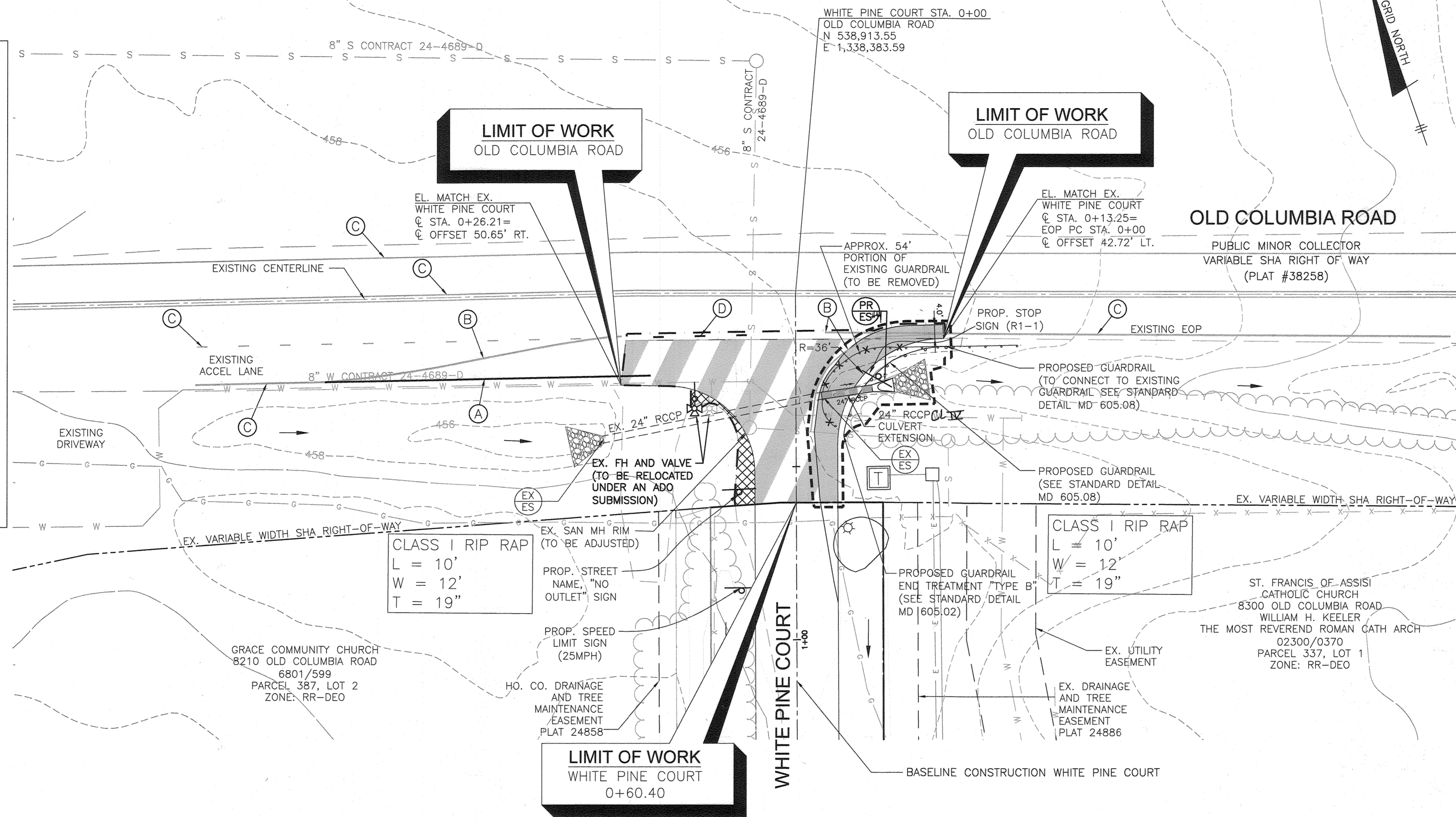
HO. CO. #468F (NAD '83) ELEV. 446.607'
 3" STAMPED ALUMINUM DISC SET ON A CONCRETE COLUMN ON THE SOUTH SIDE OF MD 216, AT THE INTERSECTION OF MD-216 EB AND US-29 SB RAMP.
 E 1,340,010.492' N 538,448.152'



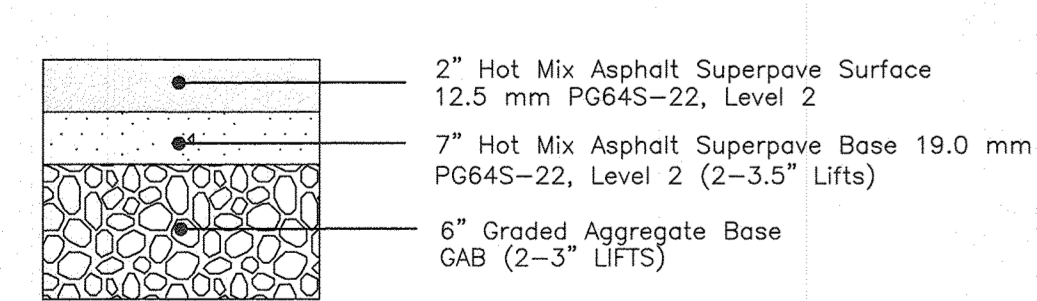
VICINITY MAP
 SCALE: 1"=2000'



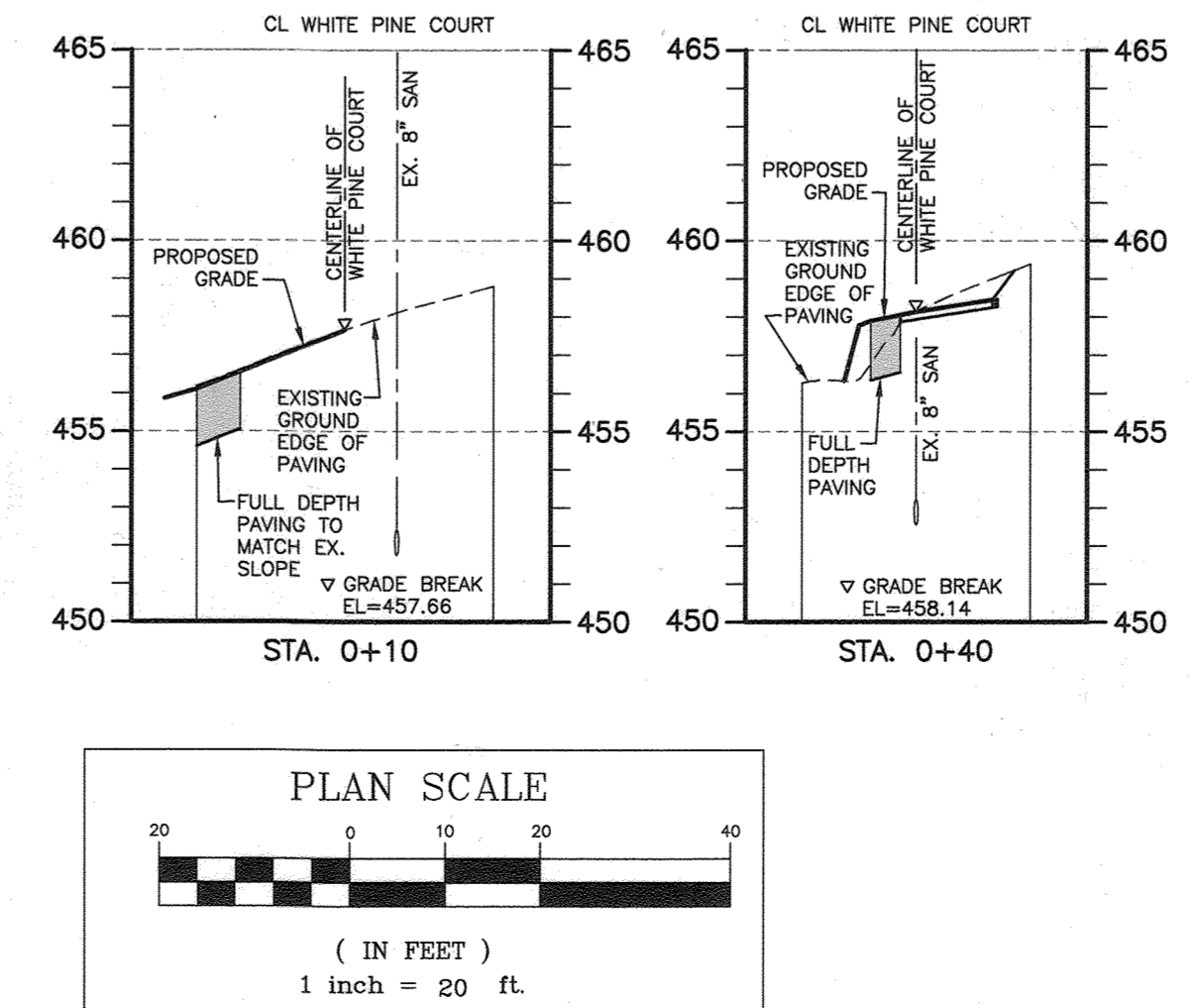
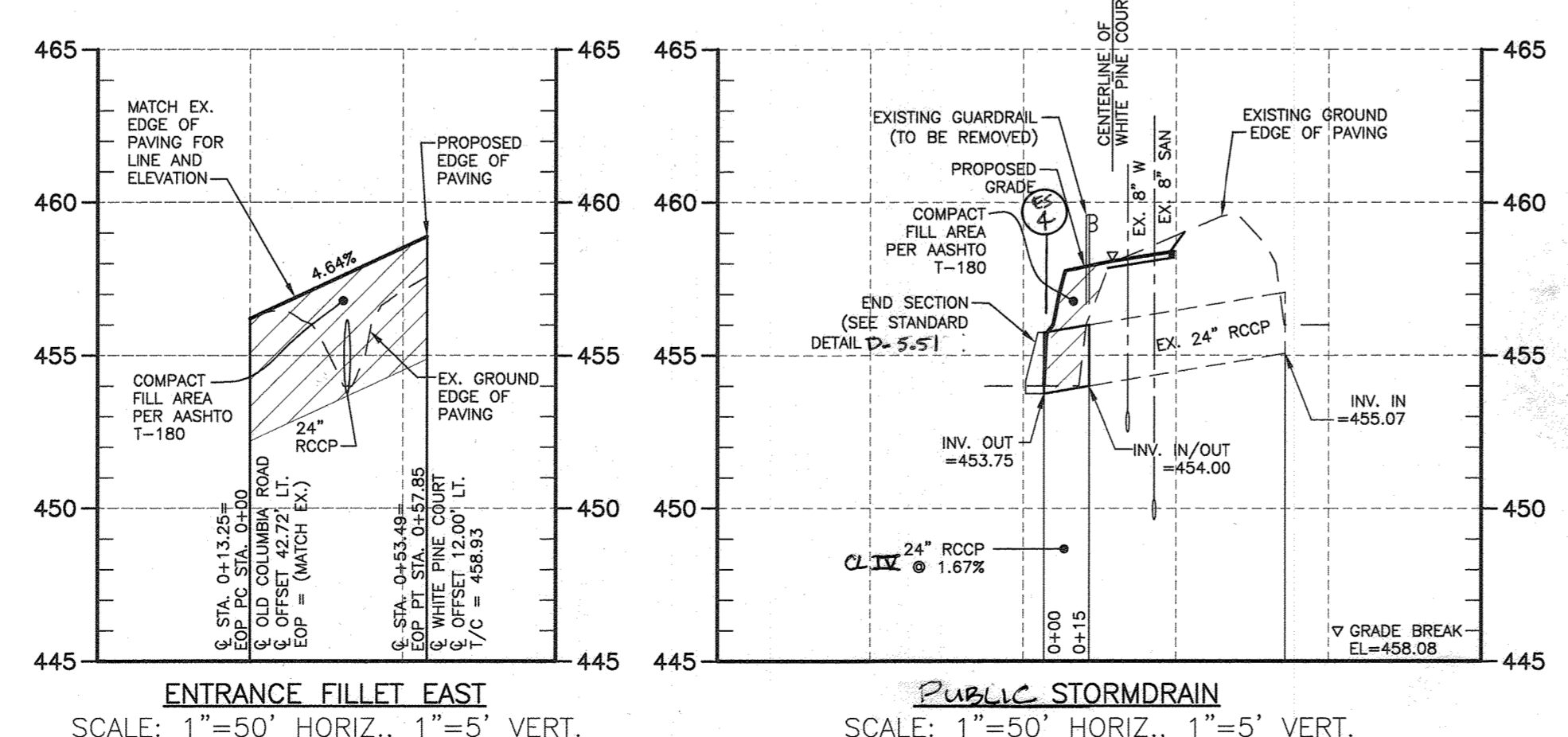
NOTE: IN THE EVENT FLAGGING IS REQUIRED REFER TO THE LATEST FLAGGING OPERATION STANDARD DETAIL MD 104.02-10.



TYPICAL INTERSECTION DRAINAGE DETAIL
 NOT TO SCALE



FULL DEPTH PAVING DETAIL



APPROVED: DEPARTMENT OF PUBLIC WORKS
 [Signature] 10/17/2019
 CHIEF, BUREAU OF HIGHWAYS MK NOT TO SCALE DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 10-23-19
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 10.21.19
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

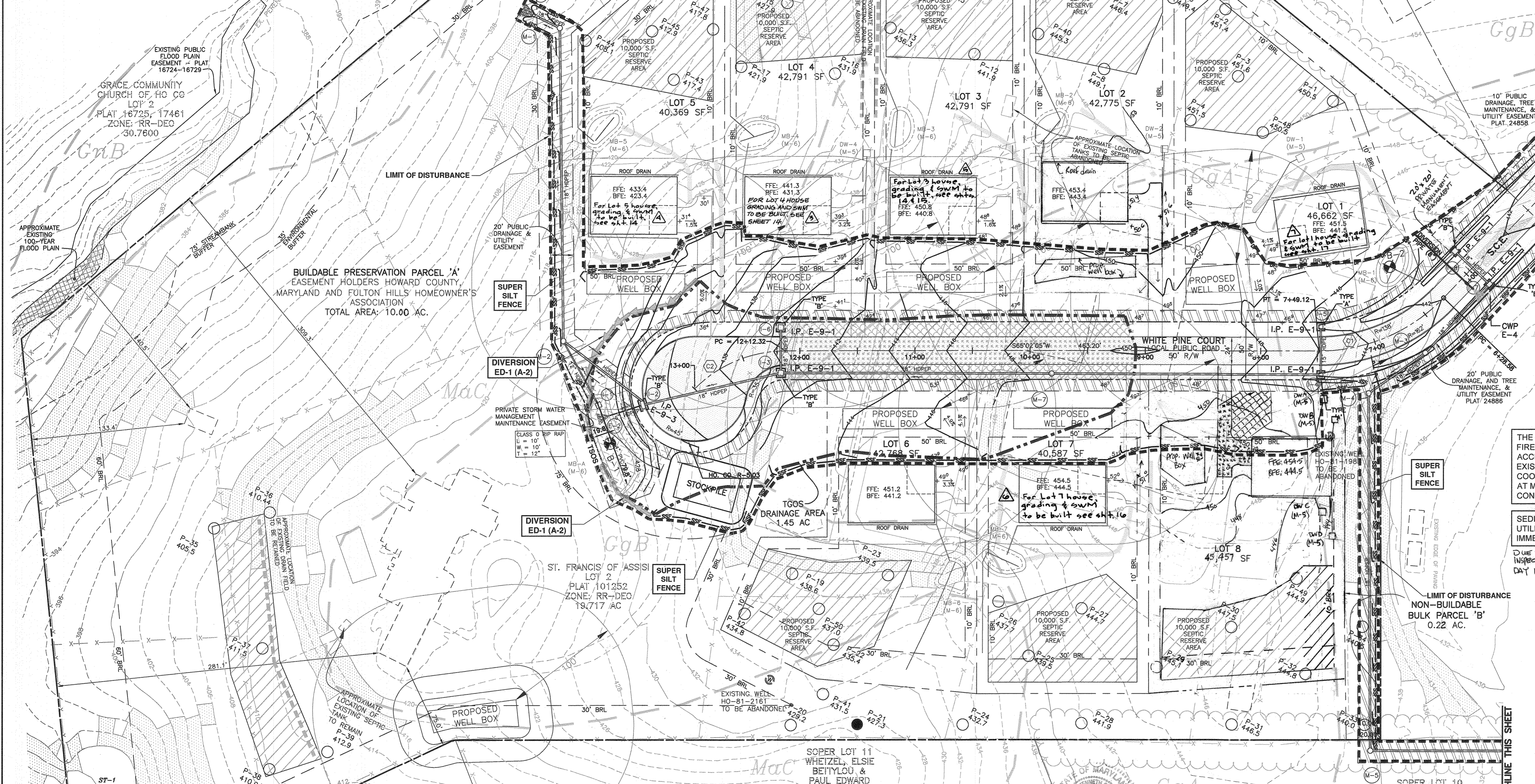
NO. 1		10-21-21	REVISED TO REMOVE SHA REFERENCE	REVISION
BENCHMARK ENGINEERS LAND SURVEYORS PLANNERS 8480 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043 (7) 410-465-4105 (F) 410-465-6644 WWW.BD-CIVILENGINEERING.COM				
OWNER/DEVELOPER:		OCR DEVELOPMENT, LLC 2102 E MADISON ST BALTIMORE, MD 21205 518-386-9168		
PROJECT:		FULTON HILL LOTS 1-8, BUILDABLE PRESERVATION PARCEL A AND NON-BUILDABLE BULK PARCEL B A RE-SUBDIVISION OF LOT 2 OF THE ST. FRANCIS OF ASSISI SUBDIVISION		
LOCATION:		TAX MAP: 46 - GRID: 03 - PARCEL: 337 ZONED: RR-DEO ELECTION DISTRICT NO. 5 - HOWARD COUNTY, MARYLAND		
TITLE:		ENTRANCE PLAN, PROFILES AND DETAILS		
DATE:	DESIGN:	DRAFT:	CHECK:	PROJECT NO.
SEPTEMBER, 2019	AAM/LDD	AAM	CAM	2761
SCALE:	SHEET		OF	
AS SHOWN	4		17	

SWALE COMPUTATIONS											
PROJECT: EVERGREEN FARM DESIGN BY: LDD											
D.A. #	Channel Slope (%)	Q ₁₀ (cfs)	V ₁₀ (cfs)	D (ft)	CA (sqft)	Wp (ft)	R (ft)	Sw (ft/ft)	Shear Stress (lb/ft ²)	10-yr Stabilization Requirement	
Grass lined											
SW-1	2.39	0.58	1.46	0.16	0.397	3.010	0.132	0.024	0.20	Permanent	
SW-2	2.76	0.30	1.17	0.11	0.256	2.700	0.095	0.028	0.44	Permanent	
SW-3	5.64	1.42	2.57	0.21	0.552	3.330	0.166	0.086	1.94	Permanent	
SW-4	5.60	0.34	1.48	0.10	0.230	2.830	0.087	0.065	0.79	Permanent	
SW-5A	11.20	0.68	2.26	0.11	0.266	2.700	0.095	0.112	1.79	Permanent	
SW-5B	4.00	0.24	1.51	0.23	0.159	1.450	0.110	0.040	0.40	Permanent	
SW-7	8.20	0.30	1.67	0.08	0.179	2.510	0.071	0.082	0.92	Permanent	
ROAD SWALE EAST 1	6.00	1.20	2.46	0.19	0.488	3.200	0.153	0.060	1.83	Permanent	
ROAD SWALE WEST 1	6.00	1.89	2.90	0.24	0.653	3.520	0.186	0.060	2.44	Permanent	
ROAD SWALE EAST 2	5.00	0.65	1.77	0.13	0.311	2.820	0.110	0.050	0.97	Permanent	
ROAD SWALE WEST 2	5.00	2.01	2.78	0.26	0.723	3.640	0.199	0.050	2.26	Permanent	

SOILS LEGEND		NAME	
GgA	B	0.20	GLENELG LOAM - 0 TO 3 PERCENT SLOPES
GgB	C	0.20	GLENELG LOAM - 3 TO 8 PERCENT SLOPES
GnB	C	0.37**	GLENVILLE-BAILE SILT LOAM, 0 TO 8 PERCENT SLOPES
MaC	B	0.24**	MANOR LOAM - 8 TO 15 PERCENT SLOPES

SOIL MAPPING TAKEN FROM NRCS WEB SOIL SURVEY, MARCH 2016. MAP 23
 **WHOLE SOIL K FACTOR
 **HIGHLY ERODIBLE SOILS K>0.35, AND/OR 15% OR GREATER SLOPES

NOTE: SEE SHEET 13 FOR STORMWATER MANAGEMENT DETAILS AND PRACTICE SIZING COMPUTATIONS.



THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF ANY WORK.

THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.

LEGEND	
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING TREELINE
	LIMIT OF SUBMISSION
	PROPOSED SEPTIC AREA
	EXISTING SEPTIC AREA
	SOILS DELINEATION
	EX. WELL
	PROPOSED DWELLING
	PUBLIC DRAINAGE, TREE MAINTENANCE & UTILITY EASEMENTS
	15%-24.9% SLOPES
	SUPER SILT FENCE
	EARTH DIKE
	I.P. E-9-1
	SOIL STABILIZATION MATTING
	LIMIT OF DISTURBANCE
	DRAINAGE AREA
	STABILIZED CONSTRUCTION ENTRANCE
	PASSING PERCOLATION TEST
	FAILING PERCOLATION TEST
	PROPOSED TEST LOCATIONS
	NON-ROOFTOP DISCONNECTION
	DISCONNECTED RECEIVING

THE CONTRACTOR SHALL MAINTAIN OR PROVIDE ACCESS TO FIRE HYDRANT. CONTRACTOR SHALL MAINTAIN DRIVE ACCESS TO ST. FRANCIS OF ASSISI CHURCH AND THE EXISTING RESIDENCE AT ALL TIMES. CONTRACTOR SHALL COORDINATE WITH ST. FRANCIS SERVICE TIMES, AND LEAVE AT MINIMUM A COMPACTED TRAVEL WAY WHEN CONSTRUCTION ACTIVITIES ARE NOT IN OPERATION.

SEDIMENT CONTROLS INTERRUPTED BY STORM DRAIN, UTILITY CONSTRUCTION, ETC. ARE TO BE REPAIRED IMMEDIATELY.

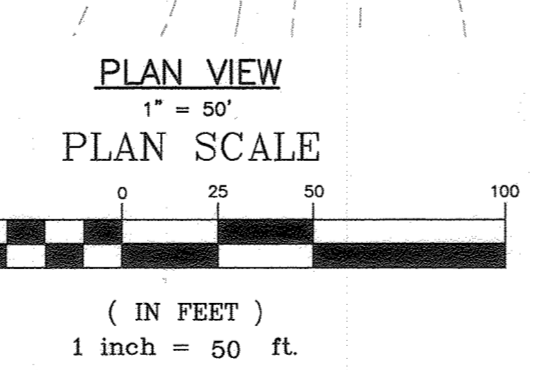
DUE TO PROXIMITY OF TIER II WATERS CONTRACTOR SHALL INSPECT SEDIMENT CONTROL DEVICES ON A MAXIMUM FOUR (4) DAY INTERVAL.

NO.	DATE	REVISION
1	10-20-21	REVISED TO UPDATE LOT 2 HOUSE AND WELL BOX LOCATION AND LOT 8 REVISIONS
2	10-20-21	ADD NOTE TO SEE SHEET 17 FOR LOT 1 HOUSE GRADING & SWM (BY GLW)
3	10-20-21	ADD NOTE TO SEE SHEET 16 FOR LOT 7 HOUSE GRADING & SWM TO BE BUILT (BY GLW)
4	10-20-21	ADD NOTE TO SEE SHEET 14 & 15 FOR LOT 3 HOUSE GRADING & SWM TO BE BUILT (BY GLW)
5	10-20-21	ADD NOTE TO SEE SHEET 14 FOR LOT 5 HOUSE GRADING & SWM TO BE BUILT (BY GLW)
6	10-20-21	ADD NOTE TO SEE SHEET 14 FOR LOT 4 HOUSE GRADING & SWM TO BE BUILT (BY GLW)

BENCHMARK ENGINEERS & LAND SURVEYORS & PLANNERS
ENGINEERING, INC.
 8480 BALTIMORE NATIONAL PIKE SUITE 315 & ELLICOTT CITY, MARYLAND 21043
 (P) 410-465-8100 (F) 410-465-6644
 WWW.BD-CIVILENGINEERING.COM

Professional Engineer License No. 28376, Expiration Date: 1-1-2021.

OWNER/DEVELOPER: OCR DEVELOPMENT, LLC 2102 E MADISON ST BALTIMORE, MD 21205 518-386-9168	PROJECT: FULTON HILL LOTS 1-8, BUILDABLE PRESERVATION PARCEL A AND NON-BUILDABLE BULK PARCEL B A RE-SUBDIVISION OF LOT 2 OF THE ST. FRANCIS OF ASSISI SUBDIVISION
LOCATION: TAX MAP: 46 - GRID: 03 - PARCEL: 337 ZONED: RR-DEO ELECTION DISTRICT NO. 5 - HOWARD COUNTY, MARYLAND	TITLE: FINAL ROAD CONSTRUCTION PLANS GRADING, SEDIMENT AND EROSION CONTROL PLAN AND SOILS MAP
DATE: SEPTEMBER, 2019	PROJECT NO: 2761
DESIGN: AAM/LDD	DRAFT: AAM
CHECK: CAM	SHEET 5 OF 17



REVISIONS BY GUN (A, B, C, D, E)
 PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 28376 EXPIRATION DATE MAY 26, 2022.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 10/17/2019

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development
 10-23-19

DEVELOPER'S CERTIFICATION
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

LIANG WANG, OCR DEVELOPMENT, LLC
 9-25-19

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ALICE A. MILLER PE, LICENSE #28376
 9-25-19

Table with 11 columns: Title, Description, and various notes/conditions. Includes sections for 'STANDARD SEDIMENT CONTROL NOTES' and 'TEMPORARY STABILIZATION'.

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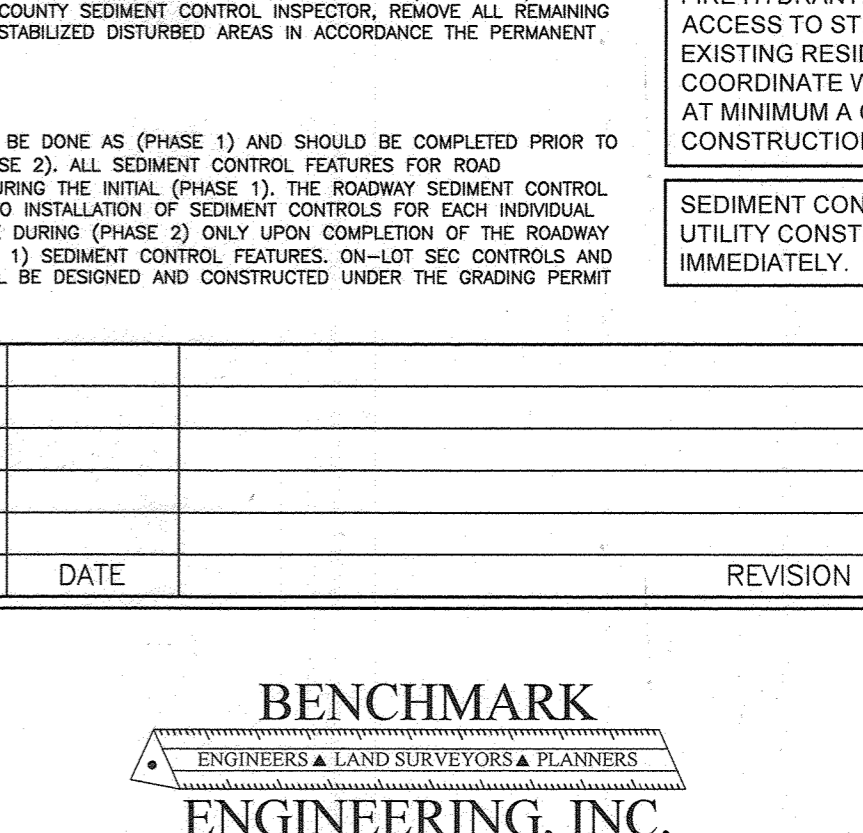
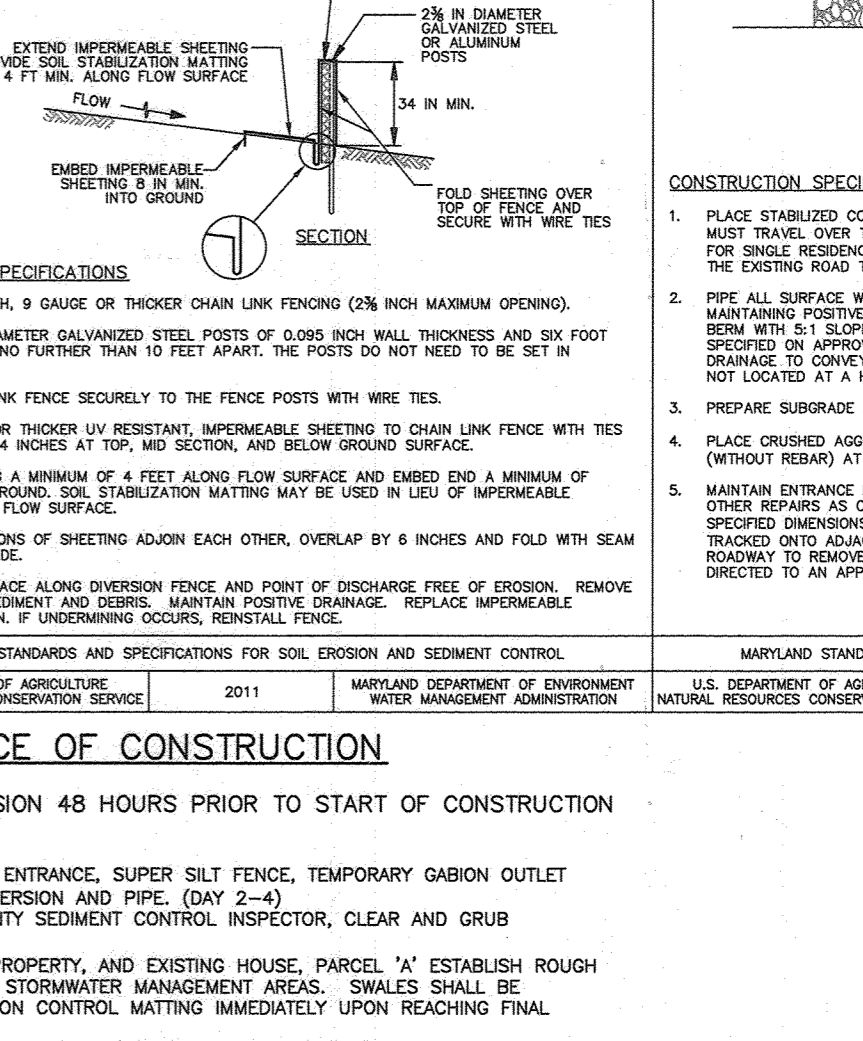
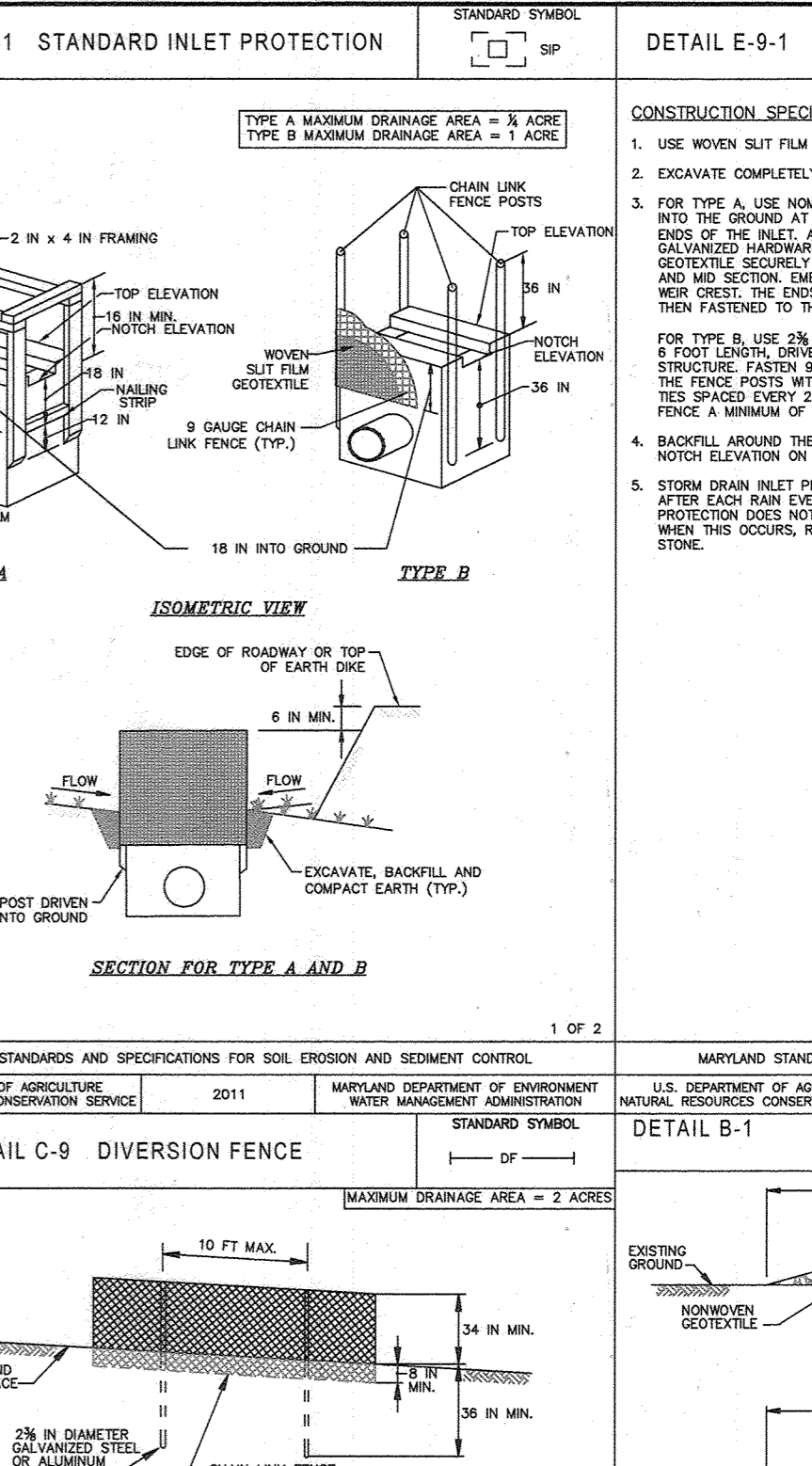
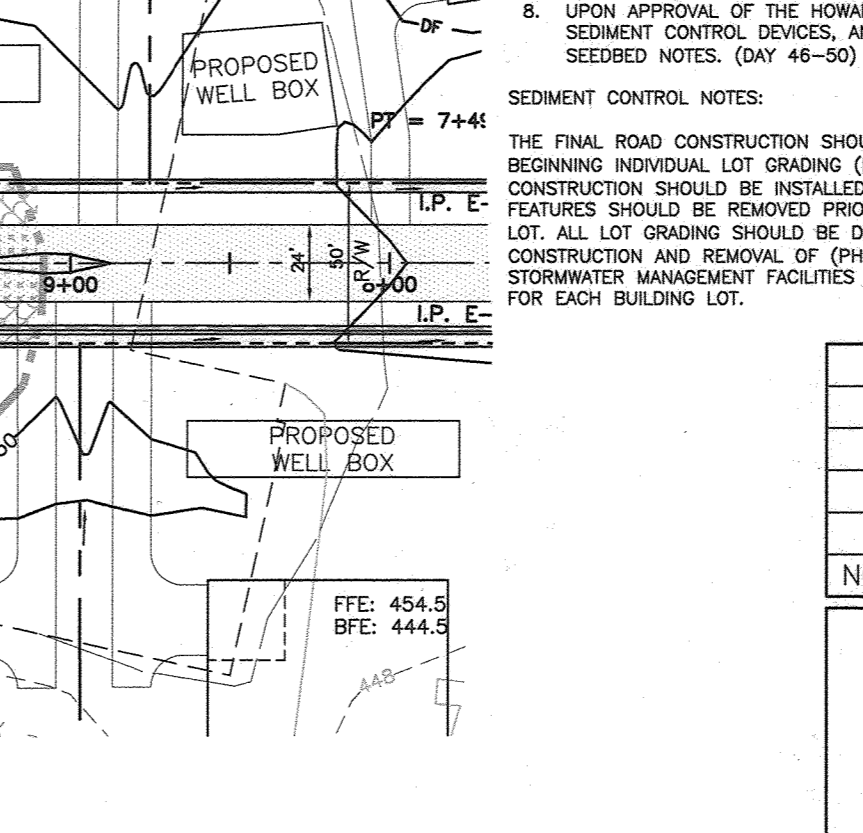
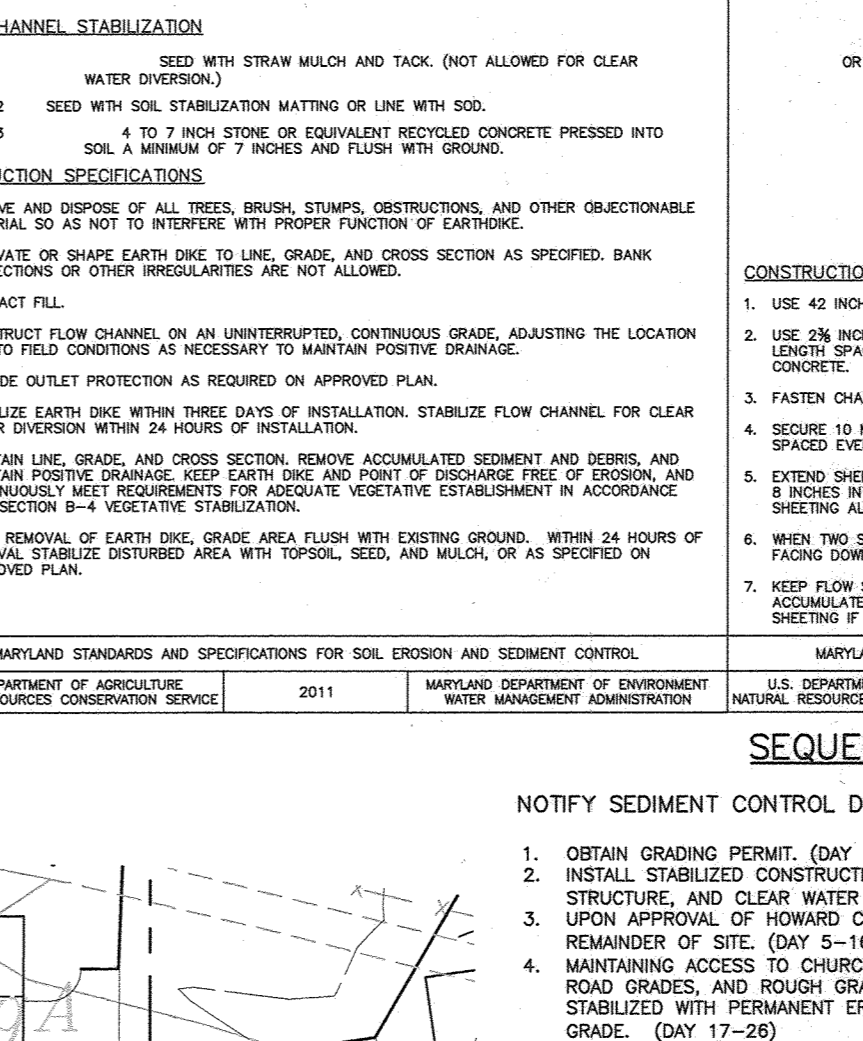
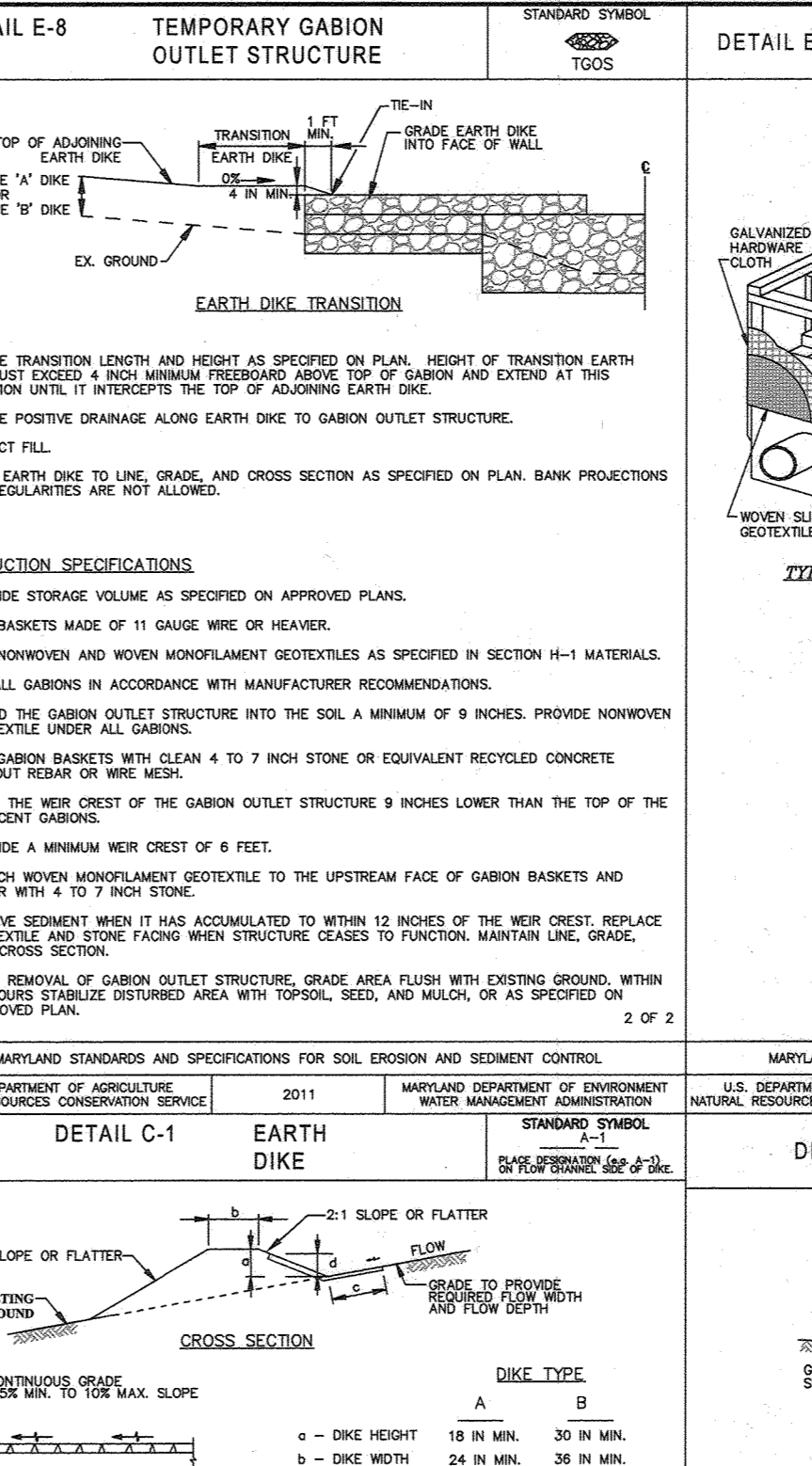
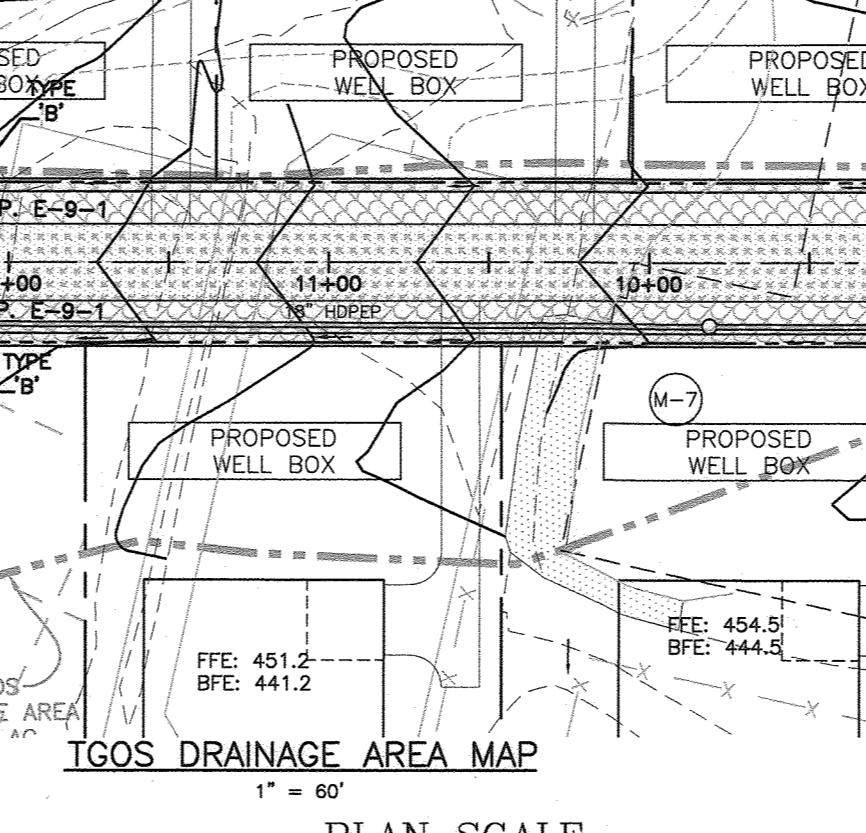
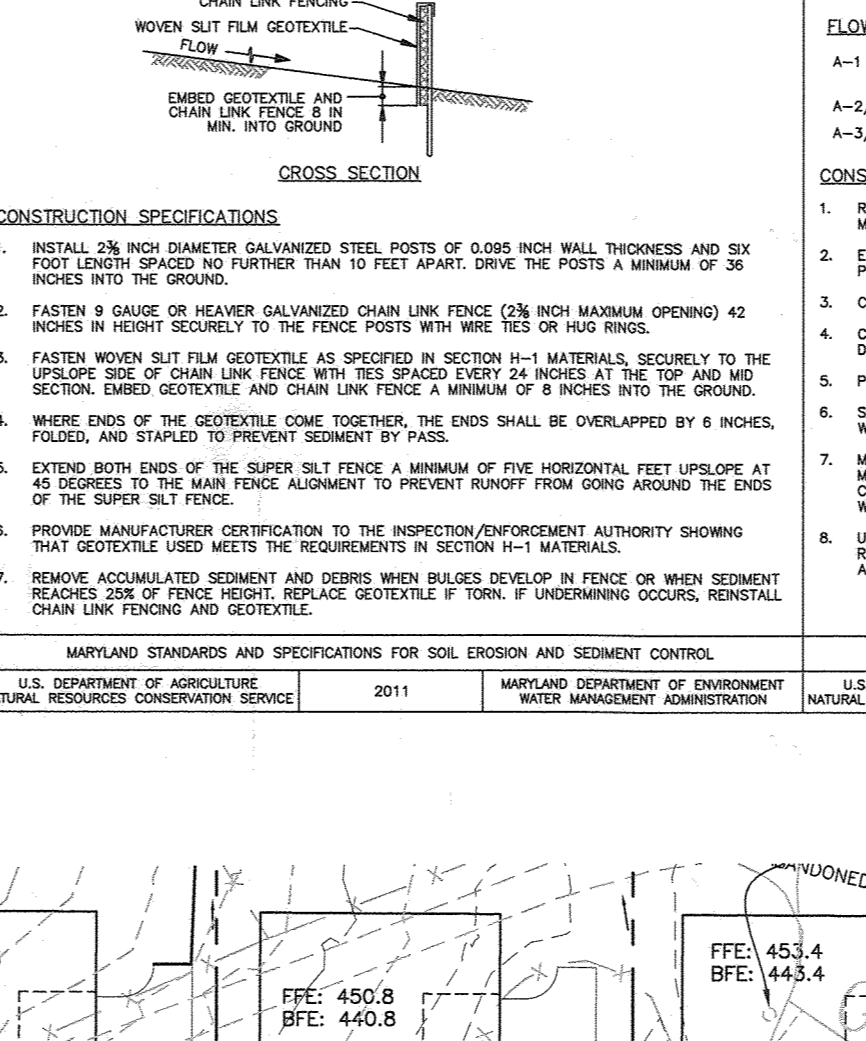
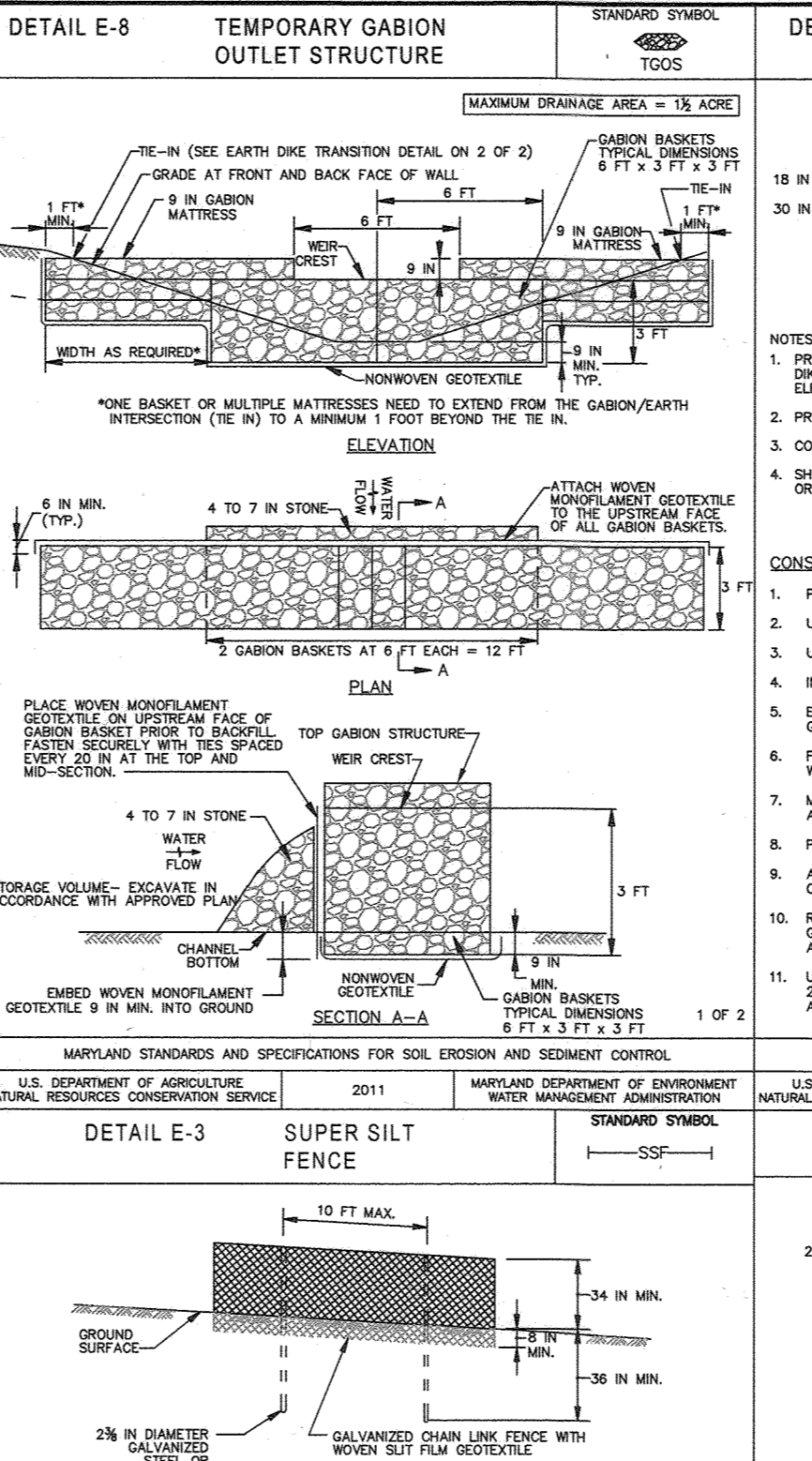
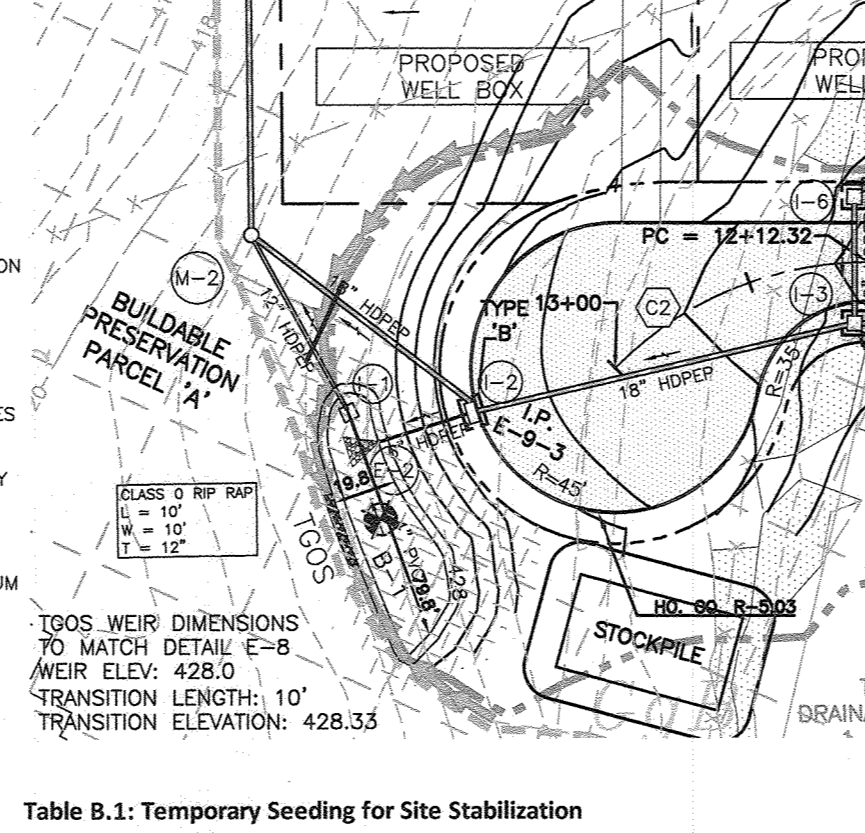
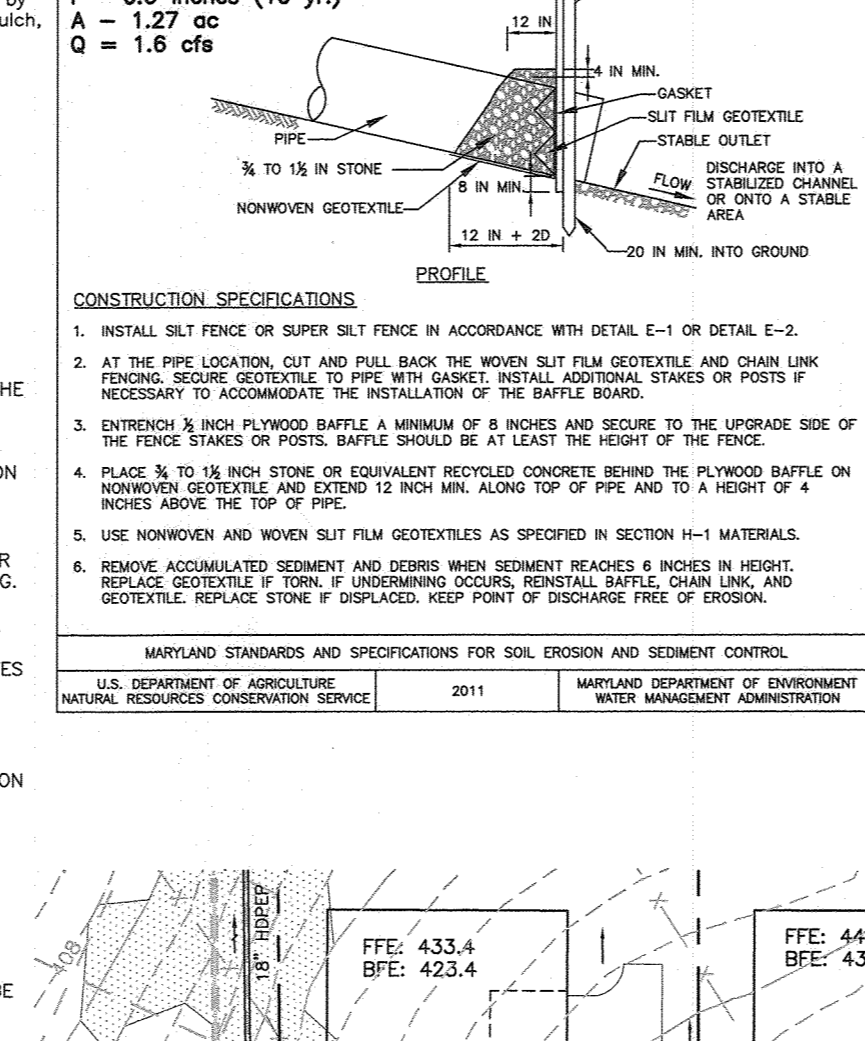
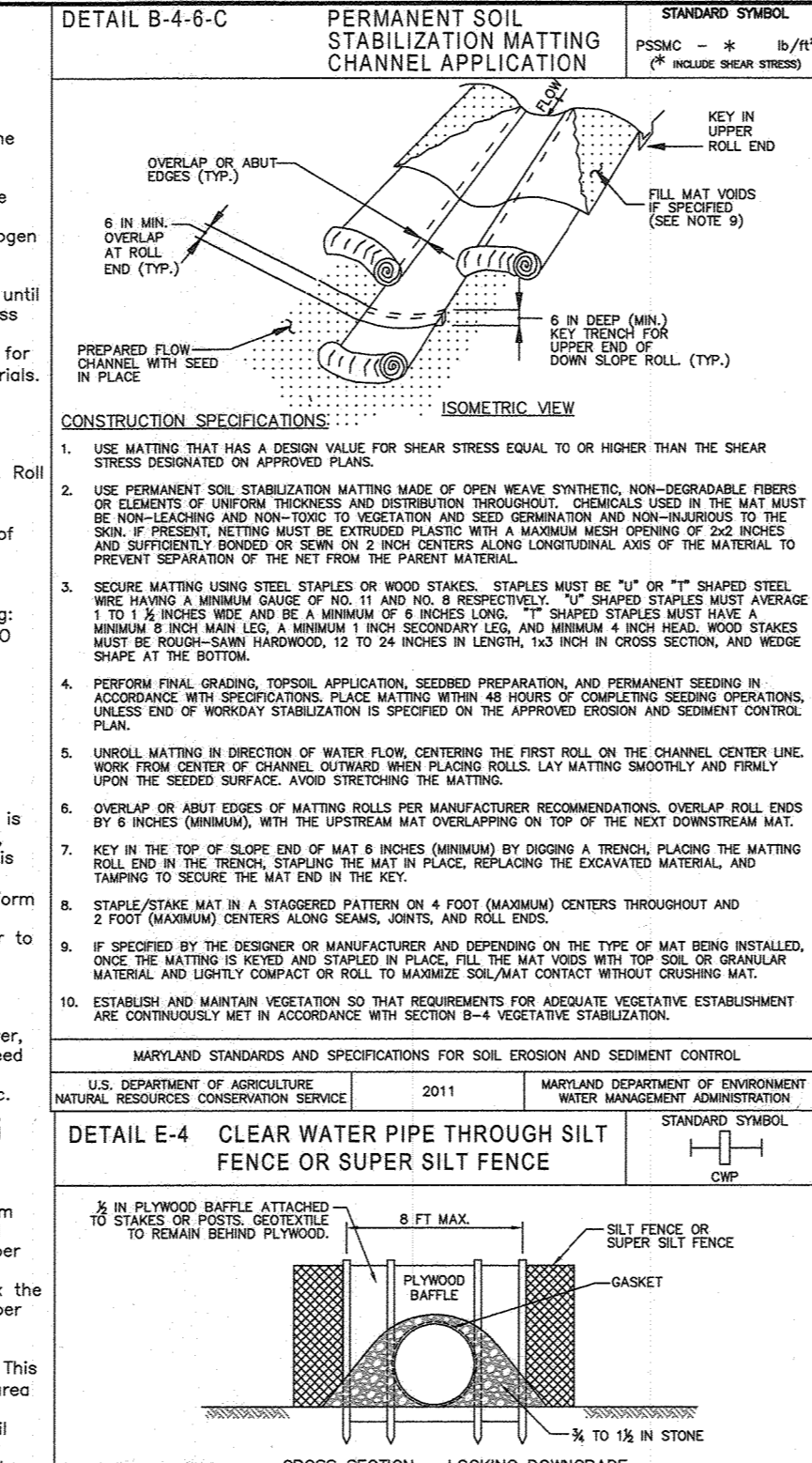
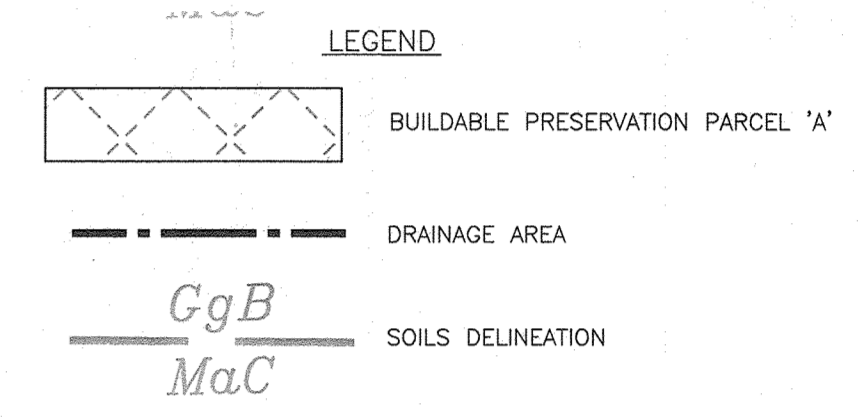
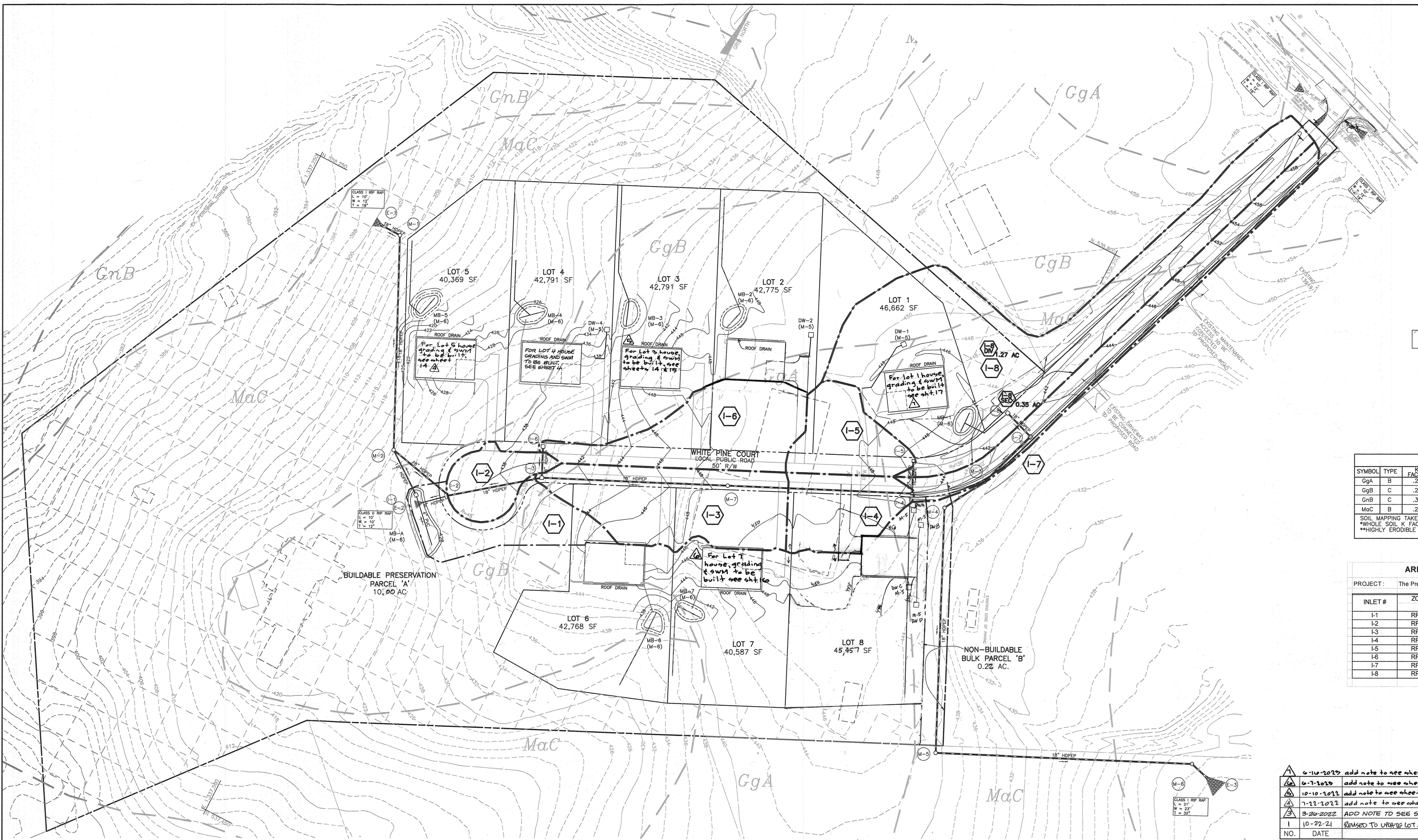


Table with 11 columns: Title, Description, and various notes/conditions. Includes sections for 'TEMPORARY STABILIZATION' and 'TEMPORARY STABILIZATION'.

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SOILS LEGEND

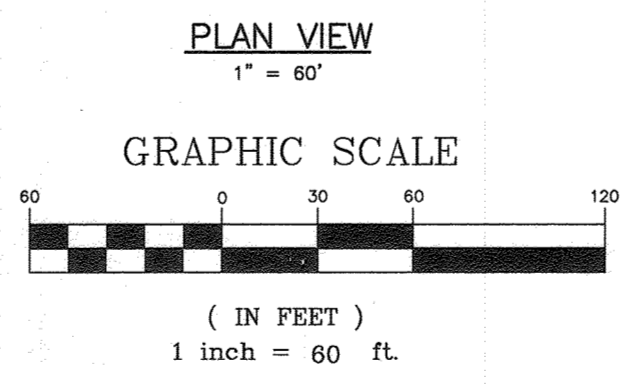
SYMBOL	TYPE	K _f FACTOR	NAME
GgA	B	.20	GLENELG LOAM - 0 TO 3 PERCENT SLOPES
GgB	C	.20	GLENELG LOAM - 3 TO 8 PERCENT SLOPES
GnB	C	.37**	GLENVILLE-BAILE SILT LOAM, 0 TO 8 PERCENT SLOPES
MaC	B	.24**	MANOR LOAM - 8 TO 15 PERCENT SLOPES

SOIL MAPPING TAKEN FROM NRCS WEB SOIL SURVEY, MARCH 2016. MAP 23
 **WHOLE SOIL K FACTOR
 ***HIGHLY ERODIBLE SOILS K>0.35, AND/OR 15% OR GREATER SLOPES

AREA AND "C" FACTOR TABULATION

PROJECT: The Preserve at Evergreen Farm DATE: 11/28/17

INLET #	ZONING	AREA (Ac)	"C" FACTOR	% IMPERVIOUS
		(A)	(C)	(P) CALCULATED
I-1	RR-DEO	0.33	0.32	0
I-2	RR-DEO	0.19	0.86	100
I-3	RR-DEO	0.61	0.31	21
I-4	RR-DEO	0.30	0.22	21
I-5	RR-DEO	0.29	0.22	24
I-6	RR-DEO	0.49	0.30	26
I-7	RR-DEO	0.44	0.37	44
I-8	RR-DEO	1.62	0.55	18



- 6-10-2019 add note to see sheet 17 for Lot 1 house, grading & SWM to be built (by GLW)
- 6-1-2019 add note to see sheet 16 for Lot 7 house, grading & SWM to be built
- 10-10-2011 add note to see sheet 14 & 15 for Lot 3 house, grading & SWM to be built (by GLW)
- 7-21-2012 add note to see sheet 14 for Lot 5 house, grading & SWM to be built (by GLW)
- 3-20-2012 ADD NOTE TO SEE SHEET 14 FOR LOT 4 HOUSE GRADING & SWM TO BE BUILT (BY GLW)
- 10-22-21 REVISED TO UPDATE LOT 2 HOUSE AND LOT 8 HOUSE DRAINWAY

BENCHMARK ENGINEERING, INC.
 ENGINEERS & LAND SURVEYORS & PLANNERS
 8480 BALTIMORE NATIONAL PIKE SUITE 315 & ELLICOTT CITY, MARYLAND 21043
 (P) 410-465-5105 (F) 410-465-6644
 WWW.BCE-ENGINEERING.COM

STATE OF MARYLAND PROFESSIONAL ENGINEER
 No. 29376
 9-25-19
 Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 1-1-2021.

APPROVED: DEPARTMENT OF PUBLIC WORKS
James 10/17/2019
 CHIEF, BUREAU OF HIGHWAYS MK DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Karl Stalder 10-23-19
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Chad Clark 10-21-19
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

REVISIONS BY GLW

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 12975 EXPIRATION DATE: MAY 20, 2022

Chad Clark 3/18/22

OWNER/DEVELOPER: OCR DEVELOPMENT, LLC
 2102 E MADISON ST
 BALTIMORE, MD 21205
 518-386-9168

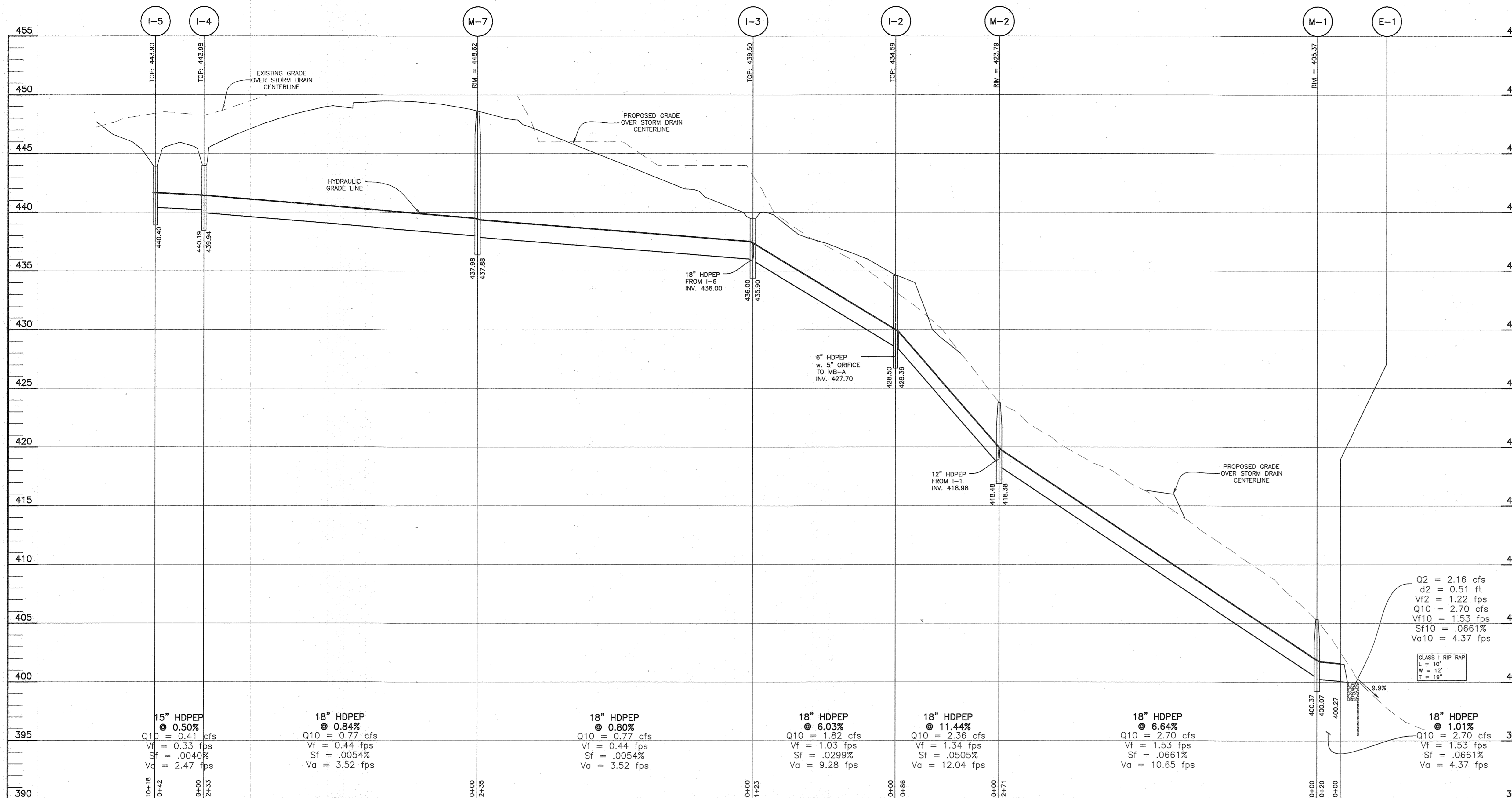
PROJECT: FULTON HILL
 LOTS 1-8, BUILDABLE PRESERVATION PARCEL A AND NON-BUILDABLE BULK PARCEL B
 A RE-SUBDIVISION OF LOT 2 OF THE ST. FRANCIS OF ASSISI SUBDIVISION

LOCATION: TAX MAP: 46 - GRID: 03 - PARCEL: 337
 ZONED: RR-DEO
 ELECTION DISTRICT NO. 5 - HOWARD COUNTY, MARYLAND

TITLE: STORM DRAIN DRAINAGE AREA MAP

DATE: SEPTEMBER, 2019 PROJECT NO. 2761
 SHEET 7 OF 17

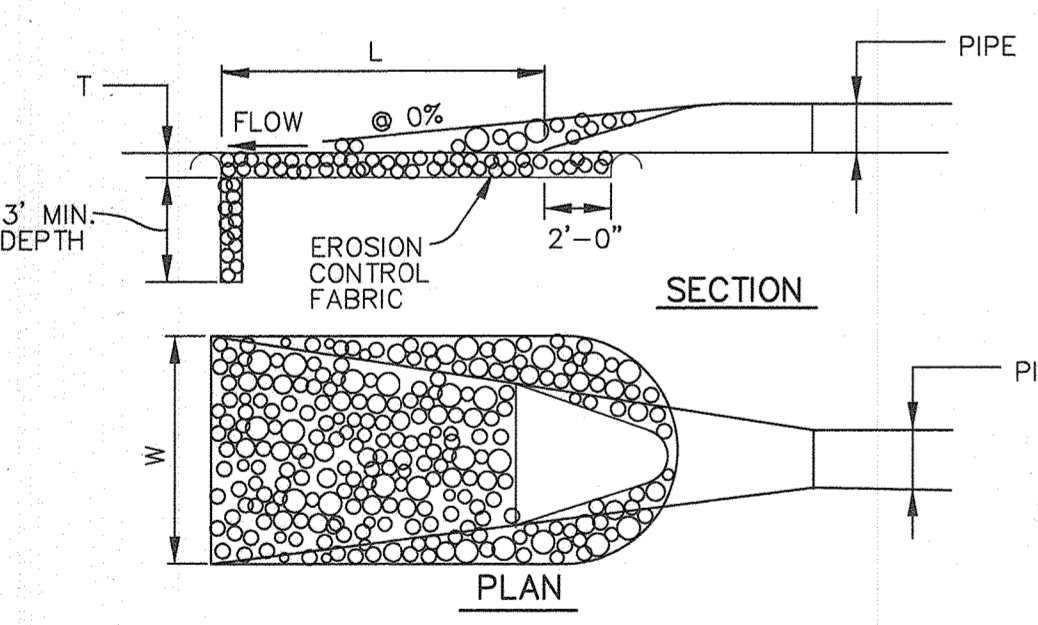
DESIGN: AAM DRAFT: AAM CHECK: CAM SCALE: AS SHOWN



STORM DRAIN PIPE SCHEDULE			
PIPE DIAMETER (IN)	LENGTH (FT)	TYPE	OWNERSHIP
6	112	PVC	PRIVATE
12	63	HDPEP	PRIVATE
15	42	HDPEP	PUBLIC
18	1678	HDPEP	PUBLIC

ROOF DRAIN PIPE SCHEDULE			
PIPE DIAMETER (IN)	LENGTH (FT)	TYPE	OWNERSHIP
6	97	PVC	PRIVATE
10	63	PVC	PRIVATE
12	42	PVC	PRIVATE

I-5 to E-1
SCALE: 1"=50' HORIZ., 1"=5' VERT.



- CONSTRUCTION SPECIFICATIONS**
- THE SUBGRADE FOR THE FILTER, RIP-RAP, OR GABION SHALL BE PREPARED TO THE REQUIRED LINES AND GRADES. ANY FILL REQUIRED IN THE SUBGRADE SHALL BE COMPACTED TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
 - THE ROCK OR GRAVEL SHALL CONFORM TO THE SPECIFIED GRADING LIMITS WHEN INSTALLED RESPECTIVELY IN THE RIP-RAP OR FILTER.
 - GEOTEXTILE CLASS C28 OR BETTER SHALL BE PROTECTED FROM PUNCHING, CUTTING, OR TEARING. ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE SHALL BE PREPARED BY PLACING ANOTHER PIECE OF GEOTEXTILE FABRIC OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE FABRIC. ALL OVERLAPS WHETHER FOR REPAIRS OR FOR JOINING TWO PIECES OF GEOTEXTILE FABRIC SHALL BE A MINIMUM OF ONE FOOT.
 - STONE FOR THE RIP-RAP OR GABION OUTLETS MAY BE PLACED BY EQUIPMENT. THEY SHALL BE CONSTRUCTED TO THE FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLIER MATERIALS. THE STONE FOR THE RIP-RAP OR GABION OUTLETS SHALL BE DELIVERED AND PLACED IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES AND SPALLS FILLING THE VOIDS BETWEEN THE LARGER STONES. RIP-RAP SHALL BE PLACED IN A MANNER TO PREVENT DAMAGE TO THE FILTER BLANKET OR GEOTEXTILE FABRIC. HAND PLACEMENT WILL BE REQUIRED TO THE EXTENT NECESSARY TO PREVENT DAMAGE TO THE PERMANENT WORKS.
 - THE STONE SHALL BE PLACED SO THAT IT BLENDS IN WITH THE EXISTING GROUND. IF THE STONE IS PLACED TOO HIGH THEN THE FLOW WILL BE FORCED OUT OF THE CHANNEL AND SOONER ADJACENT TO THE STONE WILL OCCUR.

STRUCTURE	D-50	LENGTH (L)	WIDTH (W)	THICKNESS (T)	SHA CLASS
E-1	9.5"	10'	12"	19"	I
E-2	6.0"	10'	10"	12"	0
E-3	9.5"	21'	23"	19"	I
E-4	9.5"	10'	12"	19"	I

OUTLET PROTECTION DETAIL
NOT TO SCALE

INLET STRUCTURE SCHEDULE BY NORTHING AND EASTING								
NUMBER	TYPE	LOCATION	INVERT IN	INVERT OUT	TOP ELEV.	STD. DETAIL	OWNER	REMARKS
I-1	D	N537925.5337, E1337553.4768	423.92(6')	423.10(12')	428.50	HO.CO. D-4.10	PRIVATE	
I-2	A-5 S	N537941.9369, E1337588.4613	428.50(18')	428.36(18')	434.59	HO.CO. D-4.01	PUBLIC	SEE MODIFICATION DETAILS SHEET 9

INLET STRUCTURE TABLE BY CENTERLINE STATION								
NUMBER	TYPE	LOCATION	INVERT IN	INVERT OUT	TOP ELEV.	STD. DETAIL	OWNER	REMARKS
I-3	S	CL STA. 12+17.07, OFFSET 19.00 LEFT	436.00(18')	435.90(18')	439.50	HO.CO. D-4.22	PUBLIC	
I-4	S	CL STA. 7+47.93, OFFSET 20.59 LEFT	440.19(15')	439.94(18')	443.98	HO.CO. D-4.22	PUBLIC	
I-5	S	CL STA. 7+47.56, OFFSET 20.92 RIGHT		440.40(15')	443.90	HO.CO. D-4.22	PUBLIC	
I-6	S	CL STA. 12+15.70, OFFSET 20.48 RIGHT		436.44(18')	439.94	HO.CO. D-4.22	PUBLIC	
I-7	S	CL STA. 5+92.46, OFFSET 20.61 LEFT	435.98(18')		439.69	HO.CO. D-4.22	PUBLIC	
I-8	S	CL STA. 5+92.53, OFFSET 20.91 RIGHT		436.19(18')	439.69	HO.CO. D-4.22	PUBLIC	

OUTFALL STRUCTURE SCHEDULE								
NUMBER	TYPE	LOCATION	INVERT IN	INVERT OUT	TOP ELEV.	STD. DETAIL	OWNER	REMARKS
E-1	18" END SECTION	N538207.8380, E1337364.8487	400.07(18')		401.71	HO.CO. D-5.51	PUBLIC	
E-2	PIPE	N537920.9050, E1337565.5056	427.00(6')		427.57		PRIVATE	
E-3	18" END SECTION	N538067.8478, E1338600.5291	405.43(18')		407.07	HO.CO. D-5.51	PUBLIC	
E-4	24" END SECTION	N538880.3839, E1338395.4875		453.75(24')	456.33	HO.CO. D-5.51	PUBLIC	

MANHOLE STRUCTURE SCHEDULE BY CENTERLINE STATION								
NUMBER	TYPE	LOCATION	INVERT IN	INVERT OUT	TOP ELEV.	STD. DETAIL	OWNER	REMARKS
M-3	48" MH	CL STA. 6+67.17, OFFSET 27.65 LEFT	435.48(18')	435.38(18')	442.02		PUBLIC	

MANHOLE STRUCTURE SCHEDULE BY NORTHING AND EASTING								
NUMBER	TYPE	LOCATION	INVERT IN	INVERT OUT	TOP ELEV.	STD. DETAIL	OWNER	REMARKS
M-1	48" MH	N538207.4428, E1337384.8504	400.37(18')	400.27(18')	405.37	HO.CO. G-5.12	PUBLIC	
M-2	48" MH	N537962.9435, E1337502.3005	418.98(12')	418.38(18')	423.48	HO.CO. G-5.12	PUBLIC	
M-4	48" MH	N538216.8340, E1338155.0183	435.07(18')	434.97(18')	444.04	HO.CO. G-5.12	PUBLIC	
M-5	48" MH	N537936.8275, E1338287.2689	429.53(18')	429.43(18')	440.05	HO.CO. G-5.12	PUBLIC	
M-6	48" MH	N538073.0587, E1338581.6960	405.94(18')	405.84(18')	410.34	HO.CO. G-5.12	PUBLIC	

APPROVED: DEPARTMENT OF PUBLIC WORKS
 CHIEF, BUREAU OF HIGHWAYS MK 10/17/2019
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DIVISION OF LAND DEVELOPMENT MK 10-23-19
 CHIEF, DEVELOPMENT ENGINEERING DIVISION 10-21-19

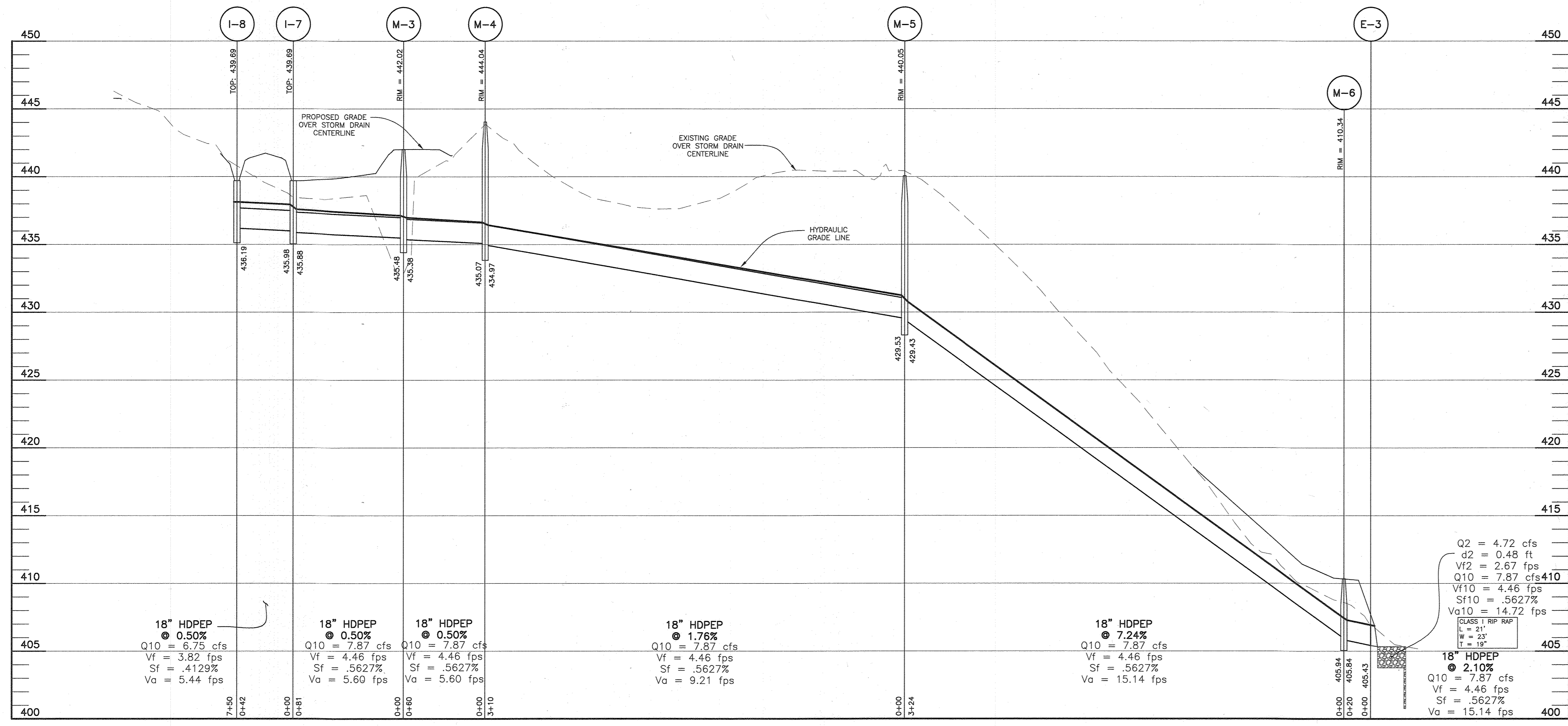
NO.	DATE	REVISION

BENCHMARK
ENGINEERS & LAND SURVEYORS & PLANNERS
ENGINEERING, INC.

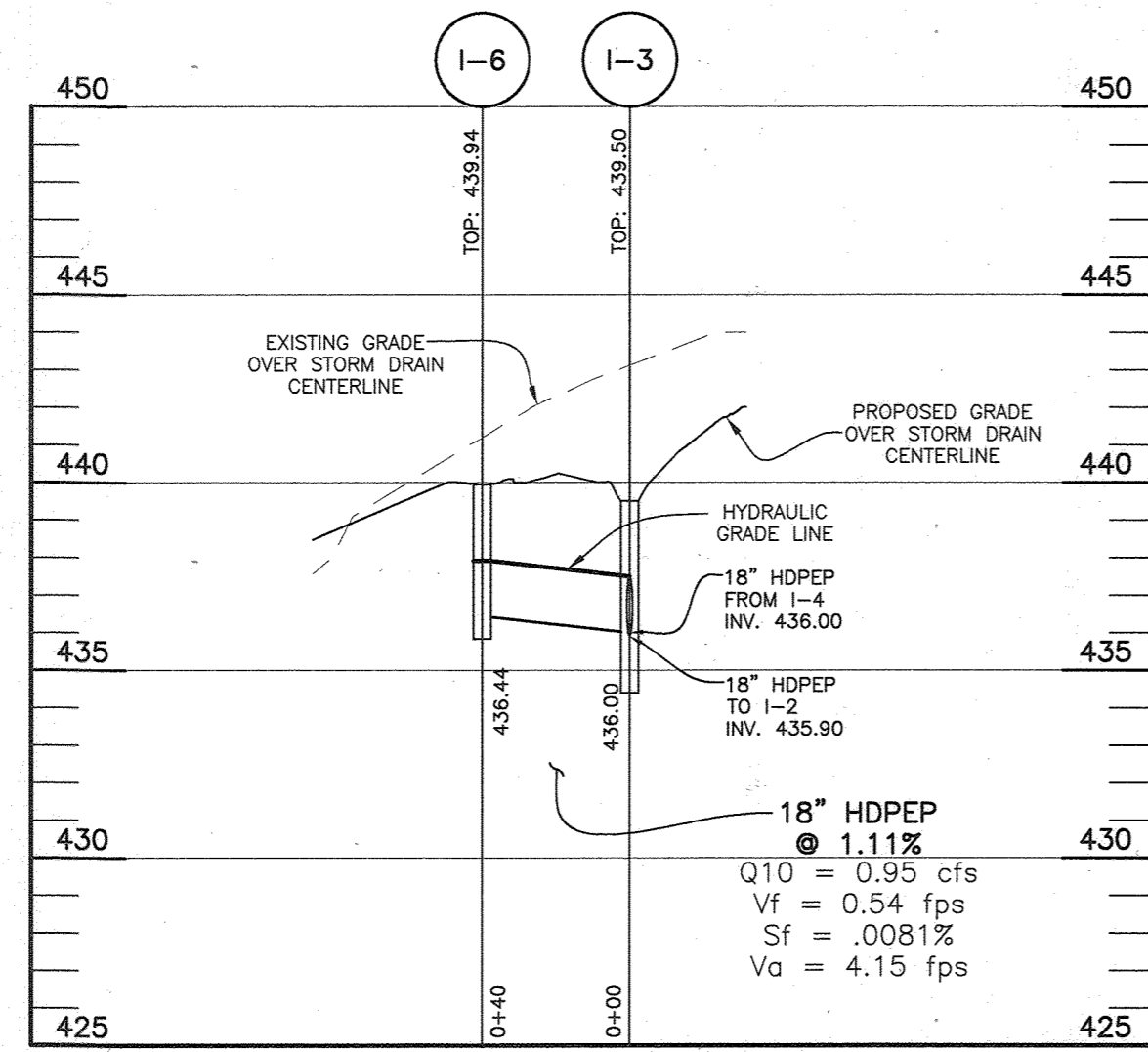
8480 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043
(P) 410-465-6100 (F) 410-465-6644
WWW.BD-COLEENGINEERING.COM

Professional Certificate No. 28376, Expiration Date: 1-1-2021.

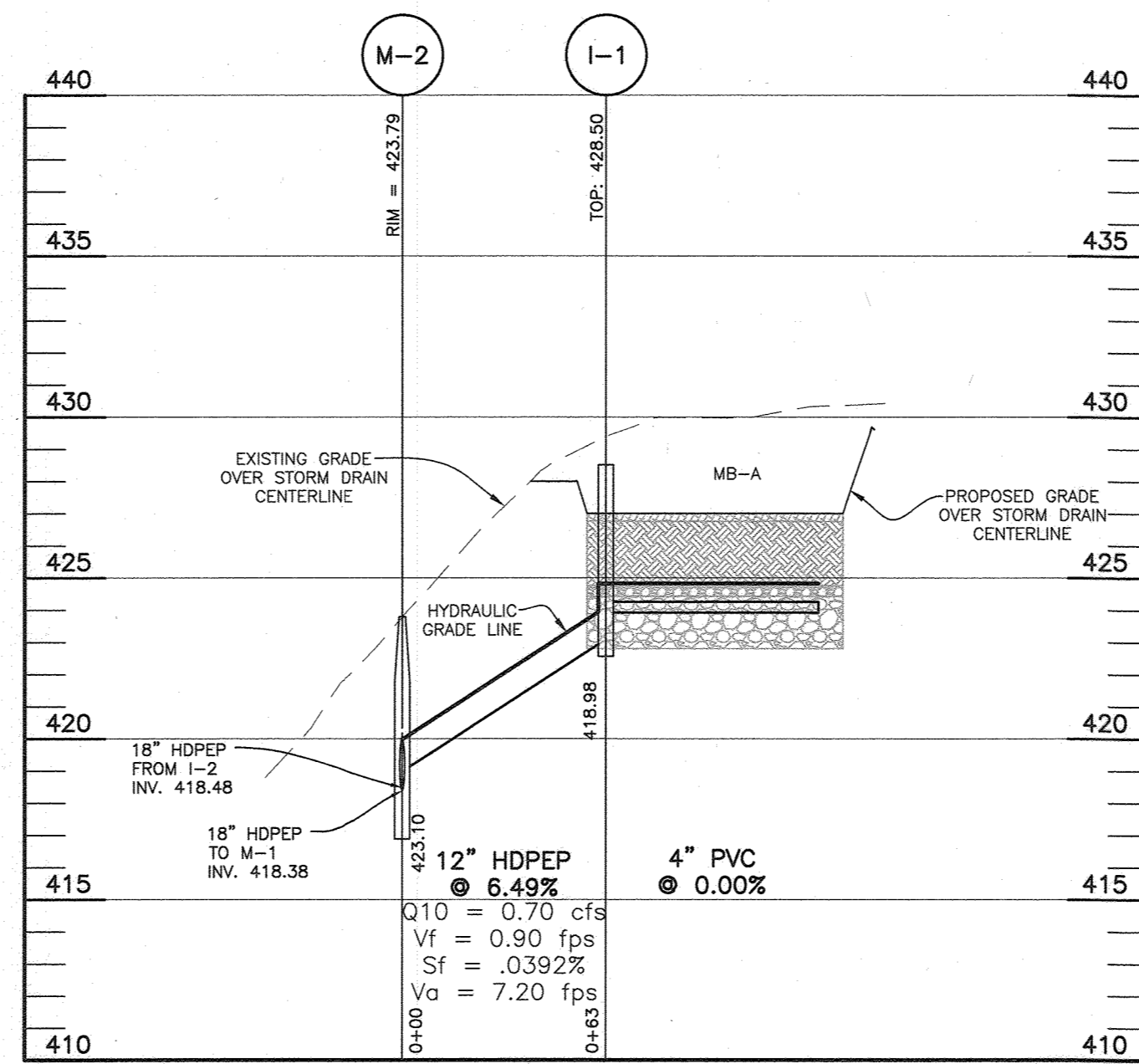
OWNER/DEVELOPER: OCR DEVELOPMENT, LLC 2102 E MADISON ST BALTIMORE, MD 21205 518-386-9168	PROJECT: FULTON HILL LOTS 1-8, BUILDABLE PRESERVATION PARCEL A AND NON-BUILDABLE BULK PARCEL B A RE-SUBDIVISION OF LOT 2 OF THE ST. FRANCIS OF ASSISI SUBDIVISION LOCATION: TAX MAP: 46 - GRID: 03 - PARCEL: 337 ZONED: RR-DEO ELECTION DISTRICT NO. 5 - HOWARD COUNTY, MARYLAND TITLE: STORM DRAIN PROFILES DATE: SEPTEMBER, 2019 PROJECT NO. 2761 SHEET 8 OF 17 DESIGN: AAM DRAFT: AAM CHECK: CAM SCALE: AS SHOWN
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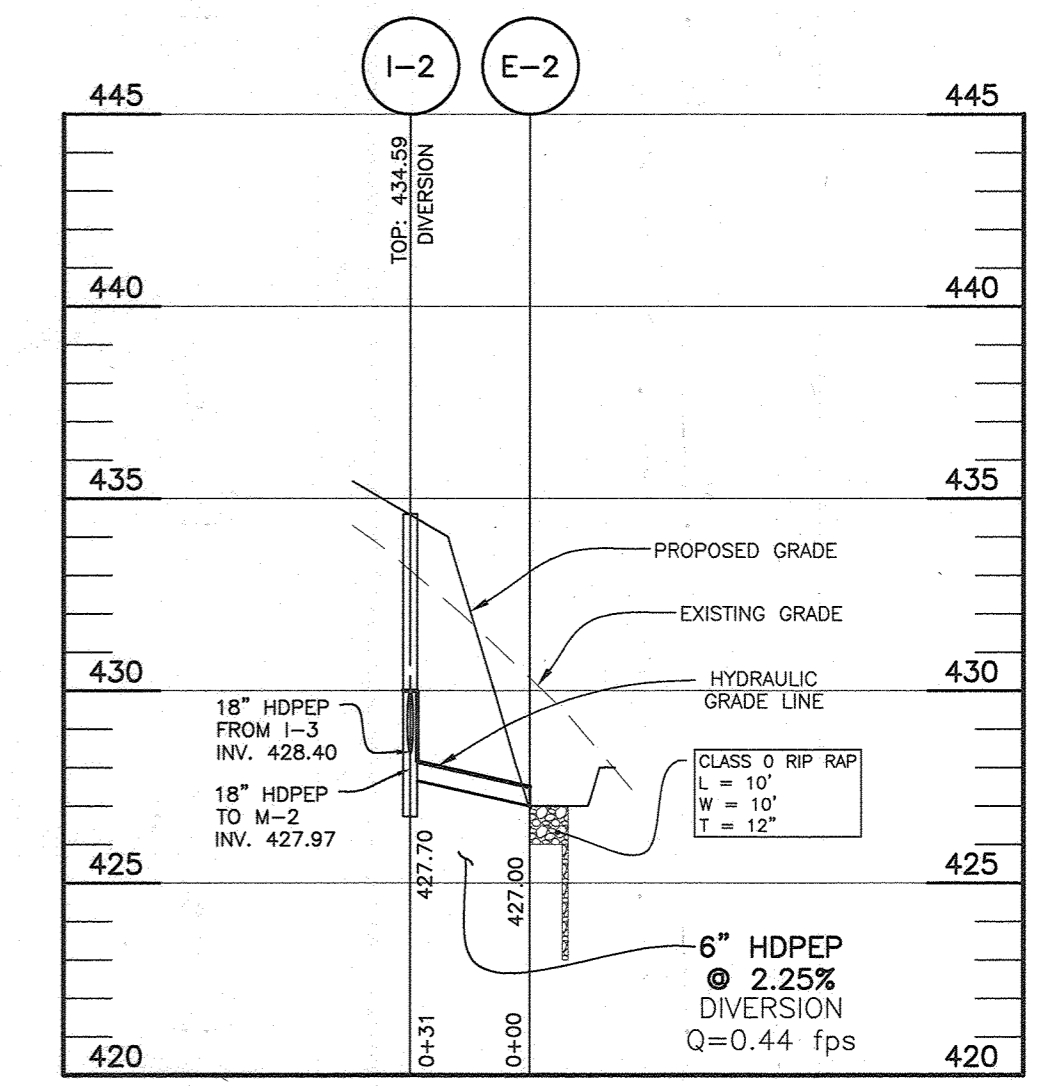
I-8 to E-3
SCALE: 1"=50' HORIZ., 1"=5' VERT.



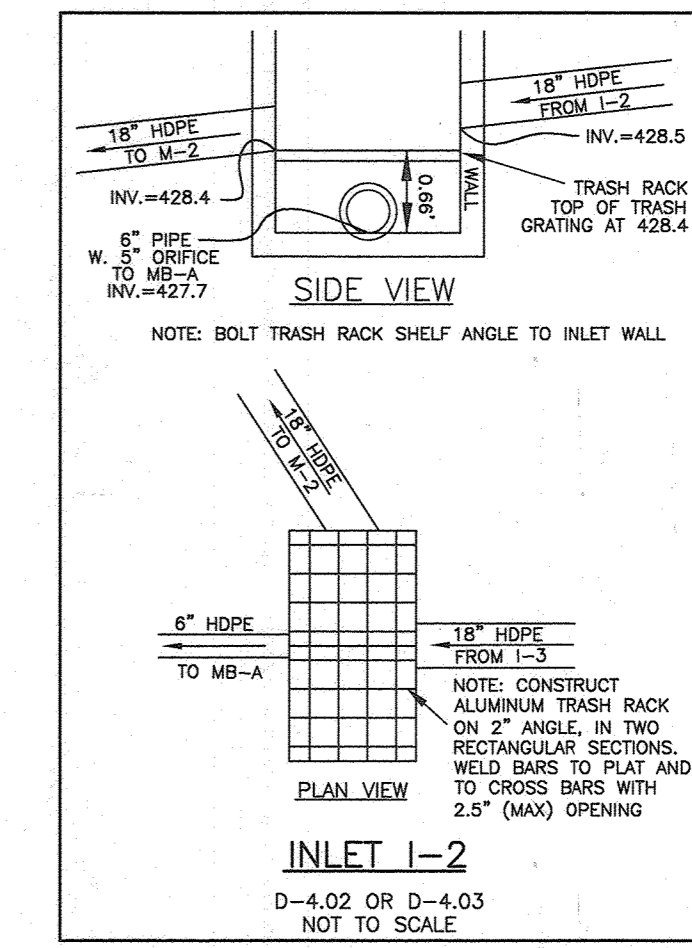
I-6 to I-3
SCALE: 1"=50' HORIZ., 1"=5' VERT.



I-1 to M-2 and E-4
SCALE: 1"=50' HORIZ., 1"=5' VERT.



I-2 to MB-A
SCALE: 1"=50' HORIZ., 1"=5' VERT.



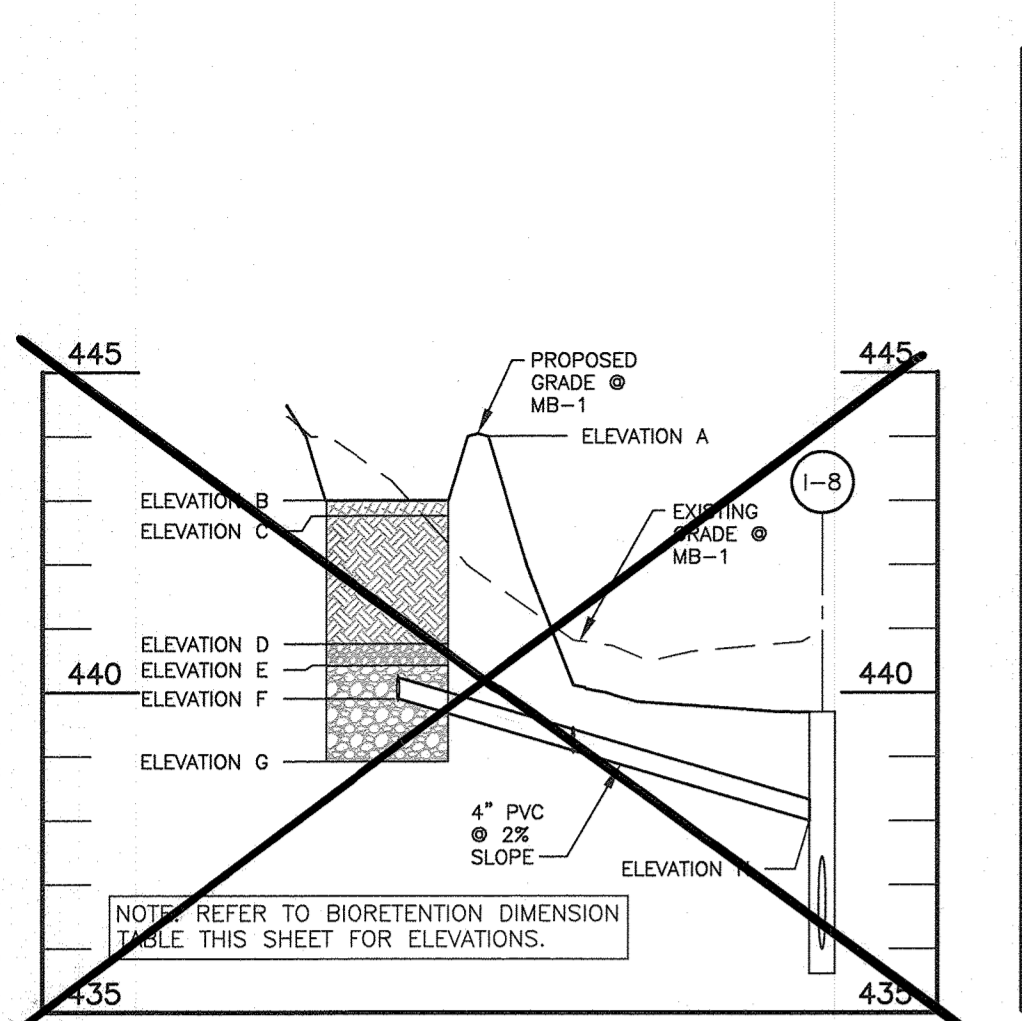
DIVERSION STRUCTURE DETAILS
NOT TO SCALE

APPROVED: DEPARTMENT OF PUBLIC WORKS
 [Signature] 10/17/2019
 CHIEF, BUREAU OF HIGHWAYS MK DATE

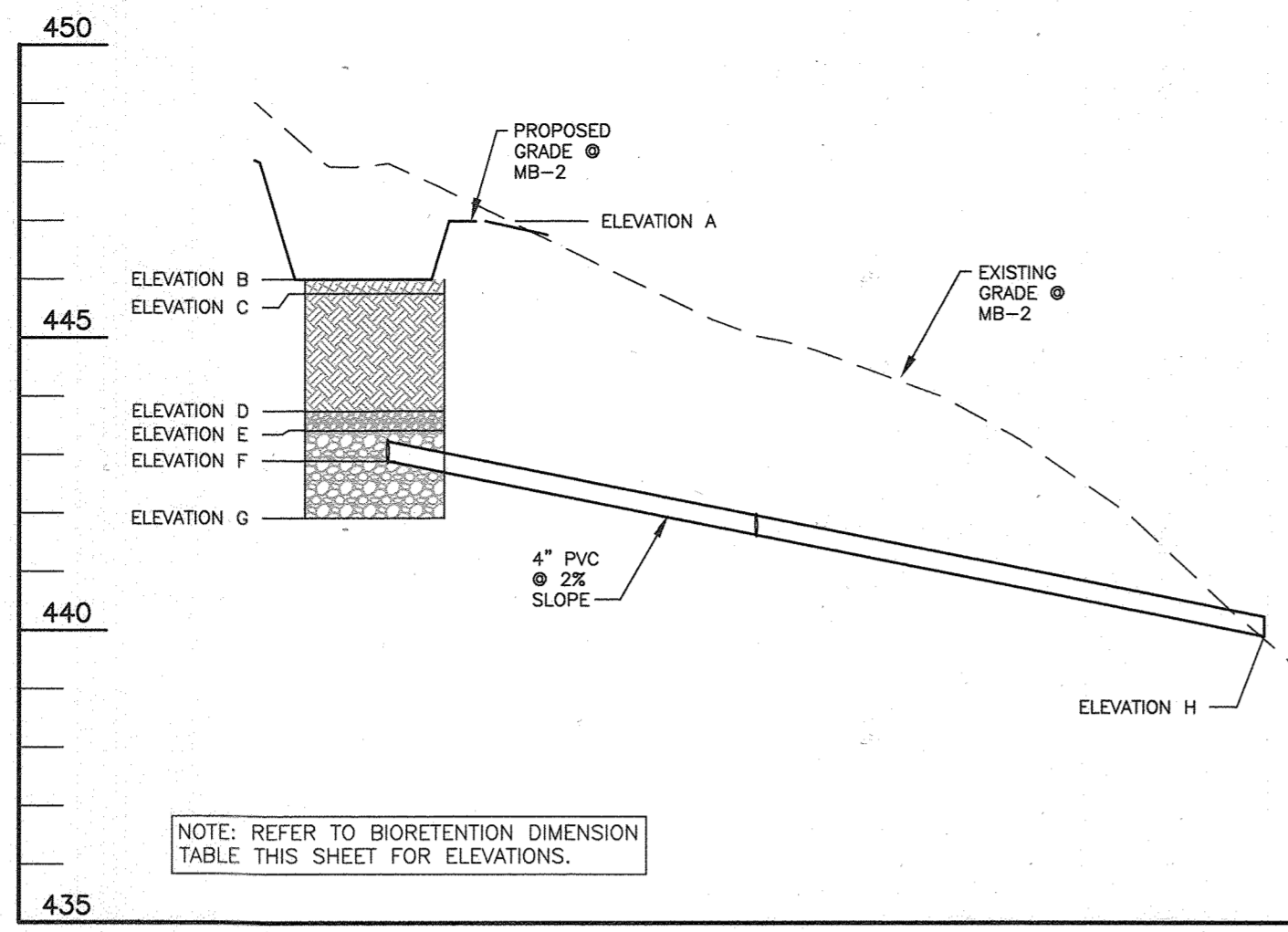
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 10-23-19
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 10-21-19
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

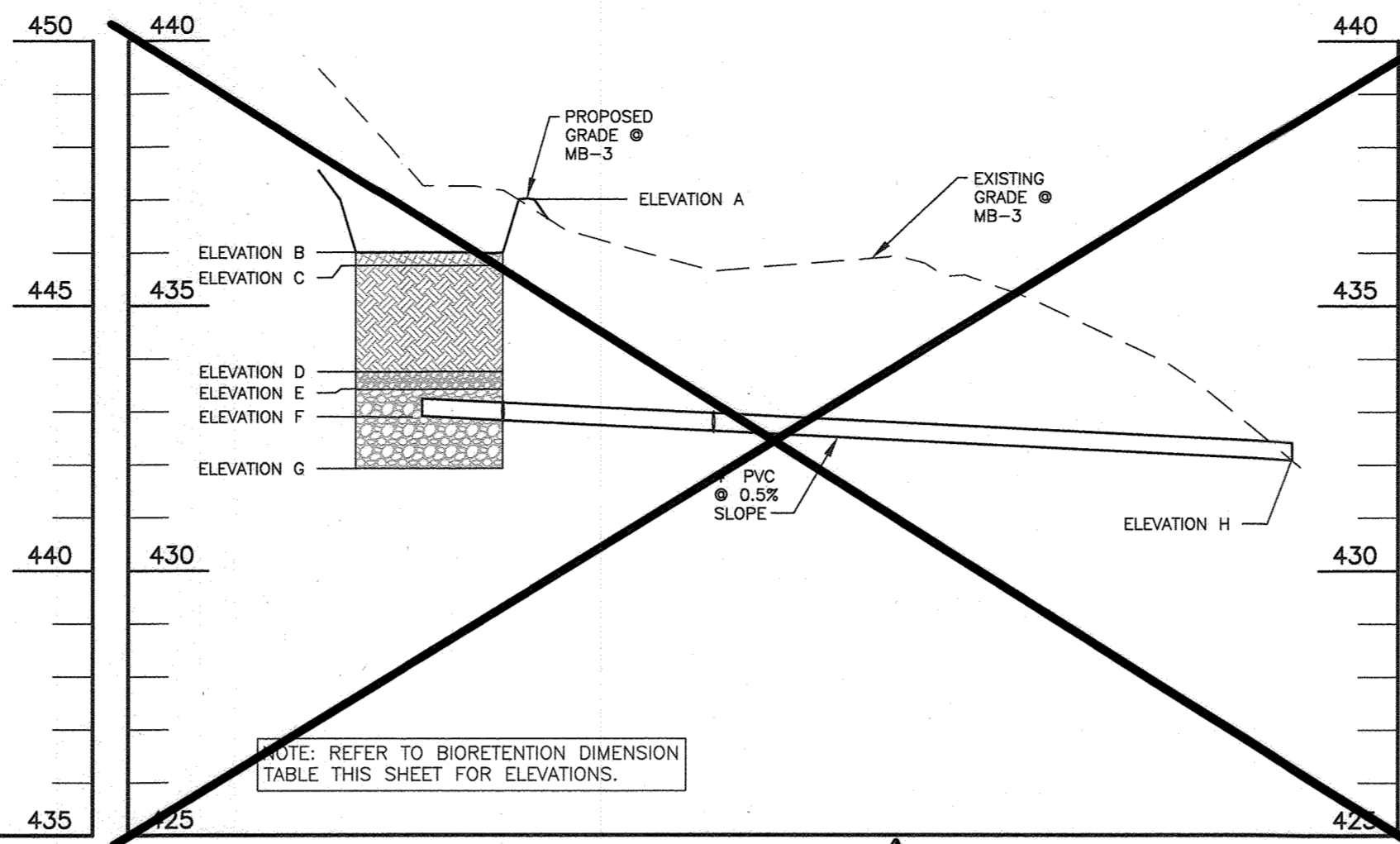
NO.	DATE	REVISION
BENCHMARK ENGINEERS & LAND SURVEYORS & PLANNERS ENGINEERING, INC. 8480 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043 (P) 410-465-8100 (F) 410-465-8644 WWW.BD-CHEENGINEERING.COM		
OWNER/DEVELOPER: OCR DEVELOPMENT, LLC 2102 E MADISON ST BALTIMORE, MD 21205 518-386-9168		PROJECT: FULTON HILL LOTS 1-8, BUILDABLE PRESERVATION PARCEL A AND NON-BUILDABLE BULK PARCEL B A RE-SUBDIVISION OF LOT 2 OF THE ST. FRANCIS OF ASSISI SUBDIVISION
LOCATION: TAX MAP: 46 - GRID: 03 - PARCEL: 337 ZONED: RR-DEO ELECTION DISTRICT NO. 5 - HOWARD COUNTY, MARYLAND		
TITLE: STORM DRAIN PROFILES		
DESIGN: AAM	DRAFT: AAM	CHECK: CAM
DATE: SEPTEMBER, 2019	PROJECT NO. 2761	SHEET 9 OF 17
SCALE: AS SHOWN	F-18-047	



MB-1 PROFILE
SCALE: 1"=30' HORIZ., 1"=3' VERT.

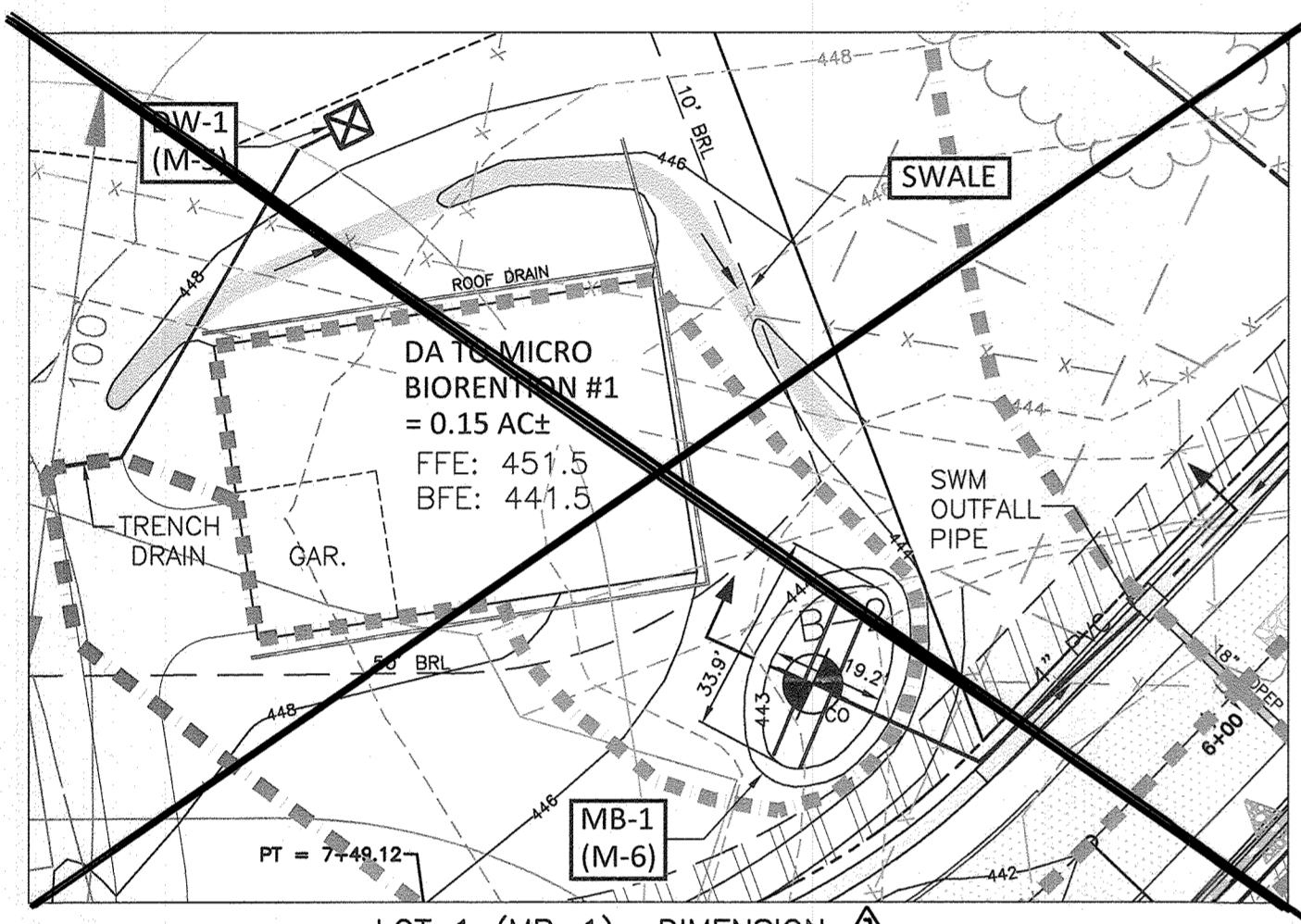


MB-2 PROFILE
SCALE: 1"=30' HORIZ., 1"=3' VERT.

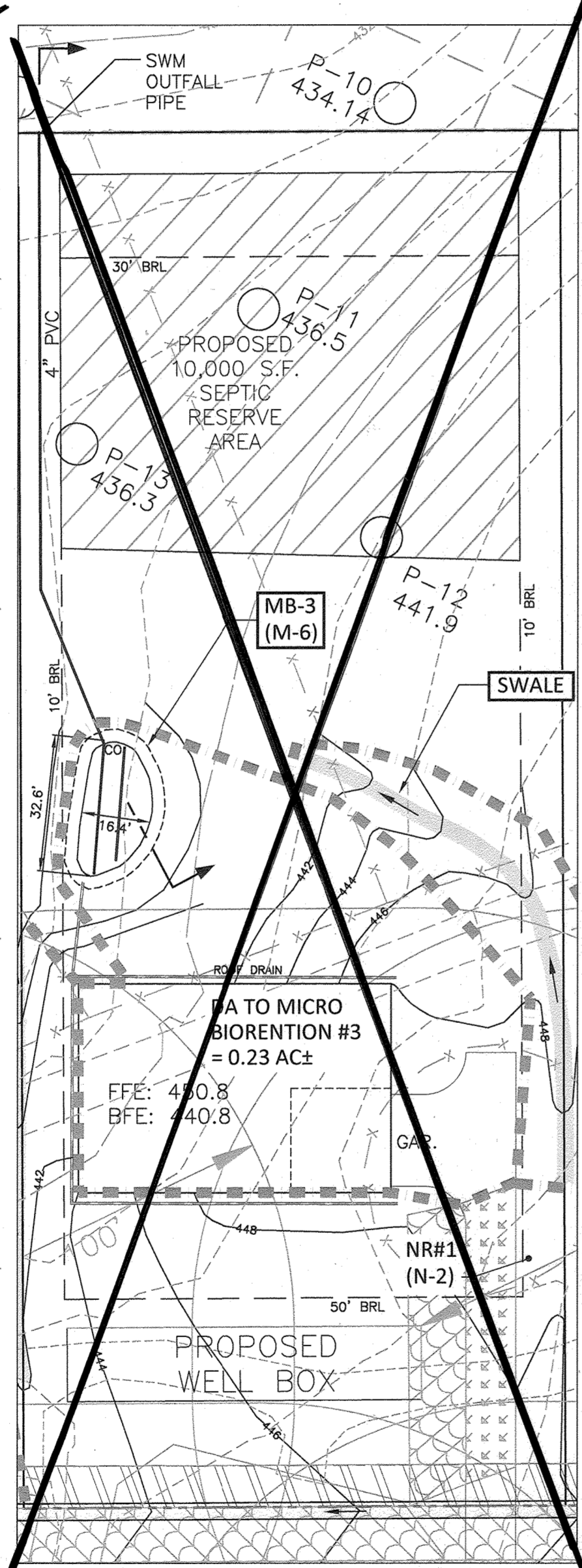


MB-3 PROFILE
SCALE: 1"=30' HORIZ., 1"=3' VERT.

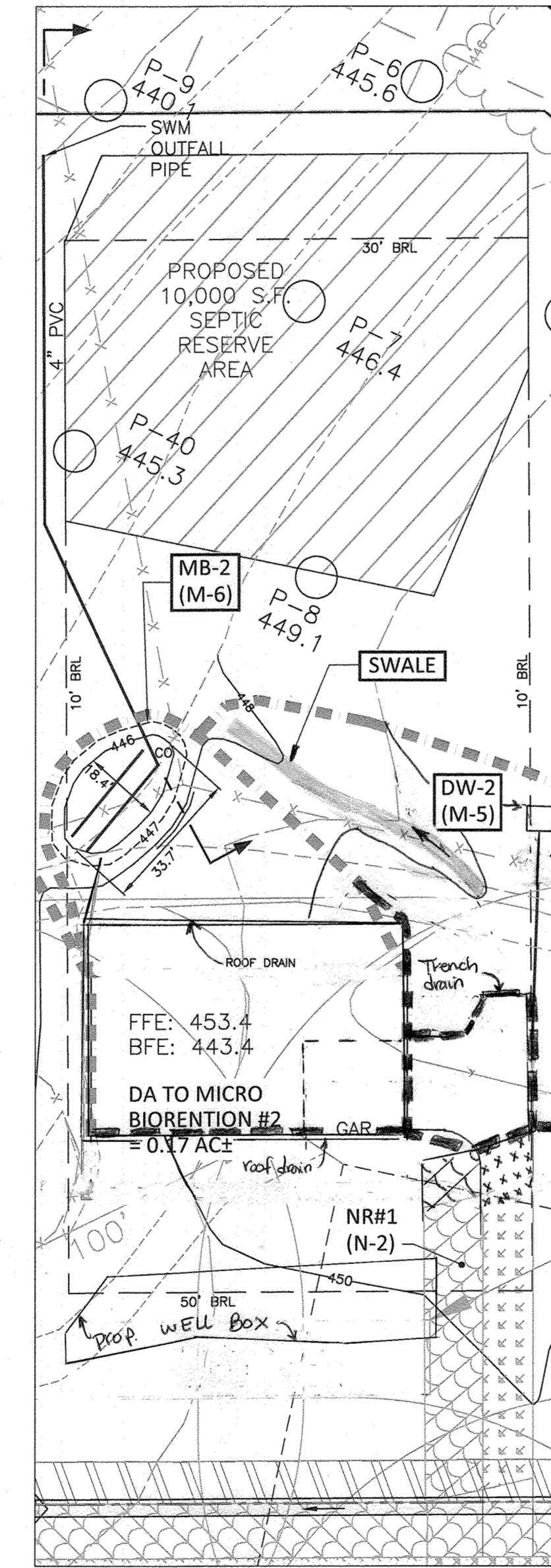
BORING LOG		GEOLAB INC.		BORING LOG		GEOLAB INC.	
Client: Evergreen Stables Farm, LLC				Client: Evergreen Stables Farm, LLC			
Project: Preserve at Evergreen Farms				Project: Preserve at Evergreen Farms			
Boring No.: B-1 (1 of 1)				Boring No.: B-2 (1 of 1)			
Type of Boring: Hand Auger				Type of Boring: Hand Auger			
Elevation				Elevation			
Depth				Depth			
DESCRIPTION OF MATERIALS				DESCRIPTION OF MATERIALS			
REMARKS				REMARKS			



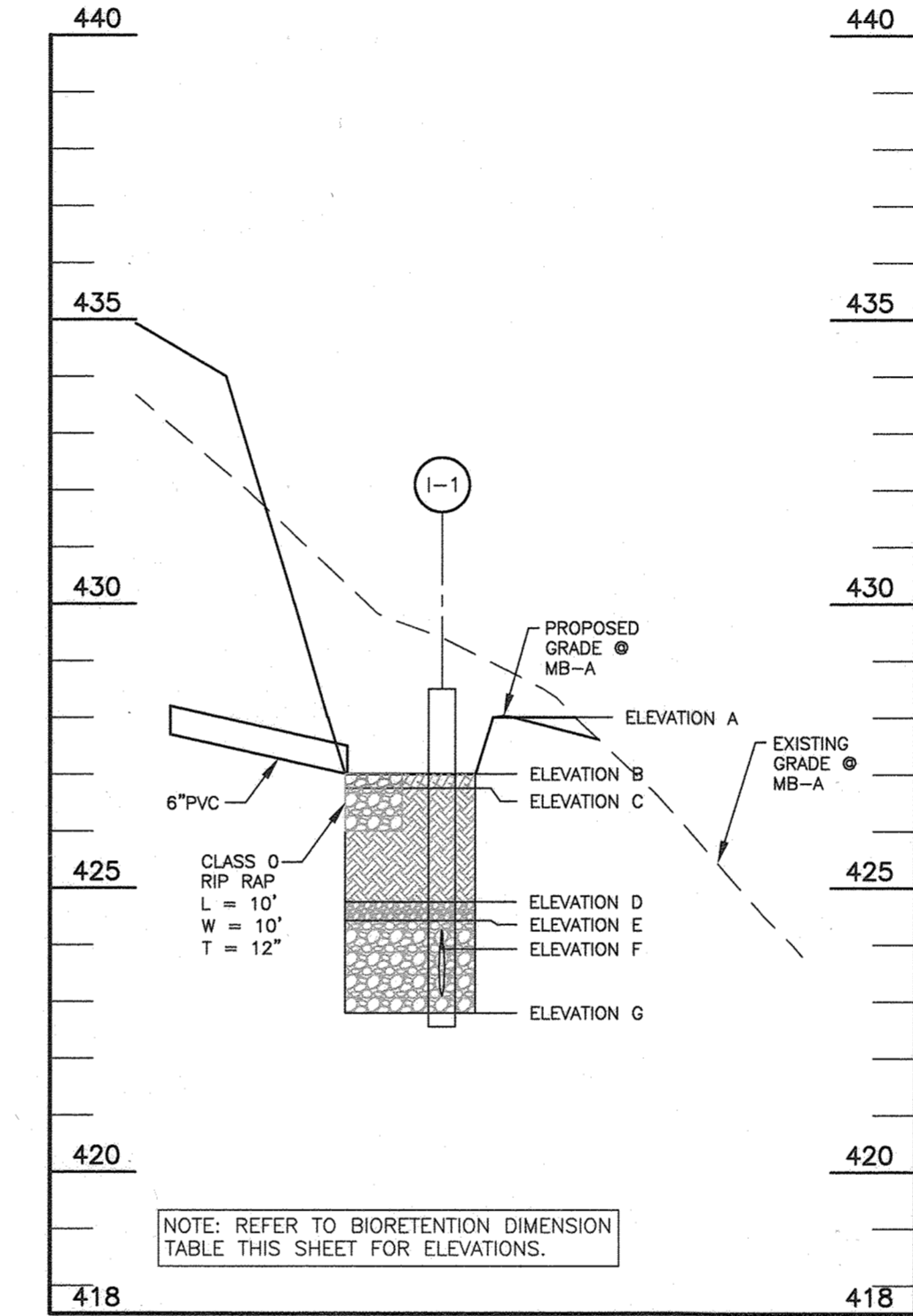
LOT 1 (MB-1) DIMENSION
SCALE: 1"=30'



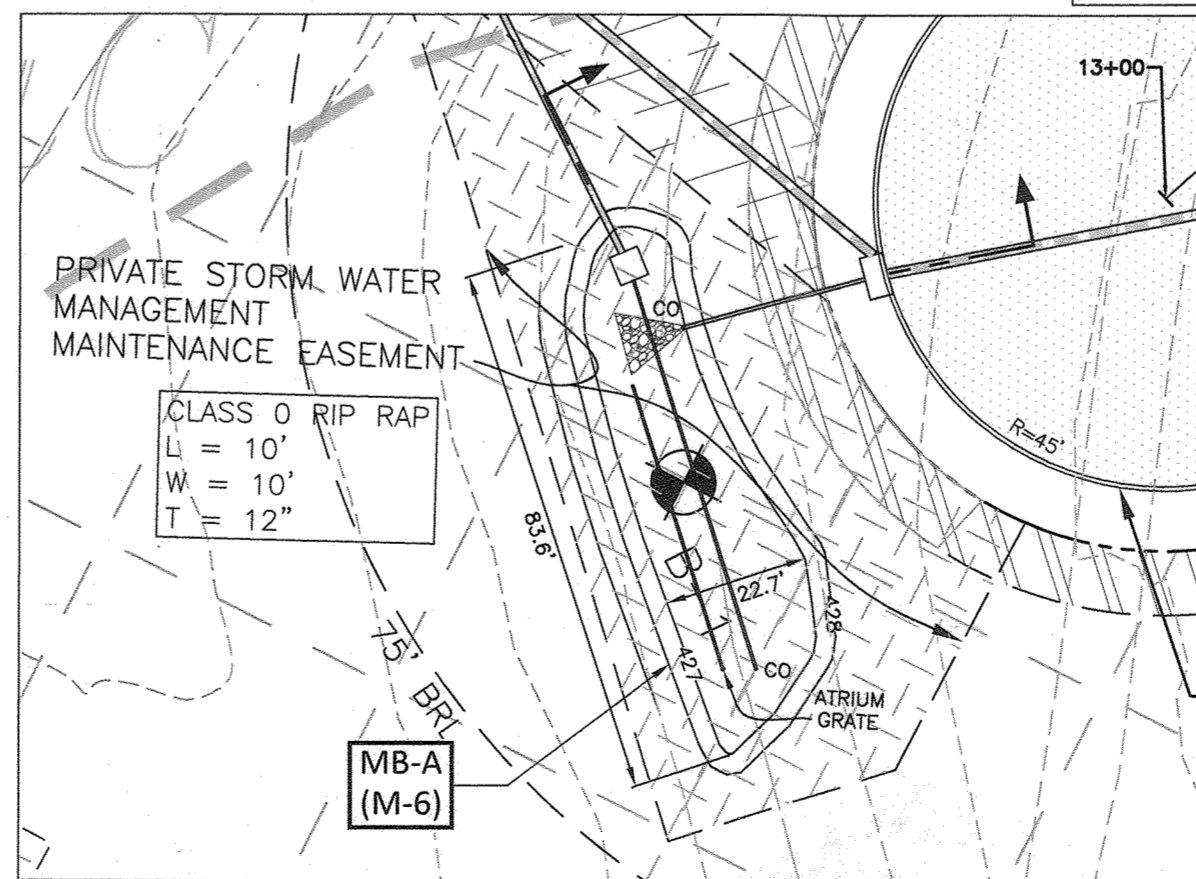
LOT 3 (MB-3) DIMENSION
SCALE: 1"=30'



LOT 2 (MB-2) DIMENSION
SCALE: 1"=30'



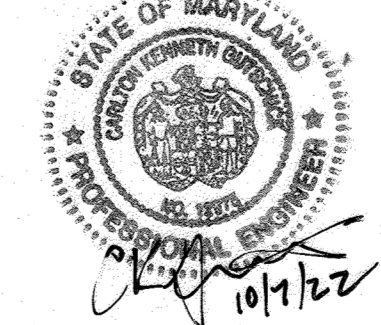
MB-A PROFILE
SCALE: 1"=30' HORIZ., 1"=3' VERT.



PARCEL 'A' (MB-A) DIMENSION
SCALE: 1"=30'

DATE	TEST #	DEPTH	START	BREAK	STOP	TIME OF	REMARKS
6/1	P-6	13'	9:50	9:50	10:04	2	brl or sct
6/1	P-9	13'	9:53	9:53	9:58	2	brl or sct
6/1	P-7	13'	9:59	9:59	10:04	2	brl or sct
6/1	P-5	13'	9:16	9:16	9:19	6	brl or sct
6/1	P-8	13'	9:21	9:21	9:32	7	brl or sct
6/1	P-10	13'	9:43	9:43	9:45	6	brl or sct
6/1	P-12	13'	9:47	9:47	9:51	2	brl or sct
6/1	P-11	13'	9:58	9:58	10:04	2	brl or sct
6/1	P-13	13'	10:09	10:09	10:12	2	brl or sct
6/1	P-14	13'	10:17	10:17	10:19	6	brl or sct
6/1	P-15	13'	10:24	10:24	10:24	7	brl or sct

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland. License No. 12975, Expiration Date: May 10, 2024



0-10-19	Remove MB-1 (by GLW)	
10-10-19	Remove MB-3 (by GLW)	
10-22-21	UPDATE LOT 2 HOUSE, DRAINAGE DIVIDE, WELL BOX	
NO.	DATE	REVISION

BENCHMARK ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE SUITE 315 & ELLICOTT CITY, MARYLAND 21043
(P) 410-465-8100 (F) 410-465-6644
WWW.BE-ONLINEENGINEERING.COM

STATE OF MARYLAND
Professional Engineer Seal: License No. 28376, Expiration Date: 1-1-2021

OWNER/DEVELOPER: OCR DEVELOPMENT, LLC
2102 E MADISON ST
BALTIMORE, MD 21205
518-386-9168

PROJECT: FULTON HILL
LOTS 1-8, BUILDABLE PRESERVATION PARCEL A AND NON-BUILDABLE BULK PARCEL B
A RE-SUBDIVISION OF LOT 2 OF THE FRANCIS OF ASSISI SUBDIVISION

LOCATION: TAX MAP: 46 - GRID: 03 - PARCEL: 337
ZONED: RR-DEO
ELECTION DISTRICT NO. 5 - HOWARD COUNTY, MARYLAND

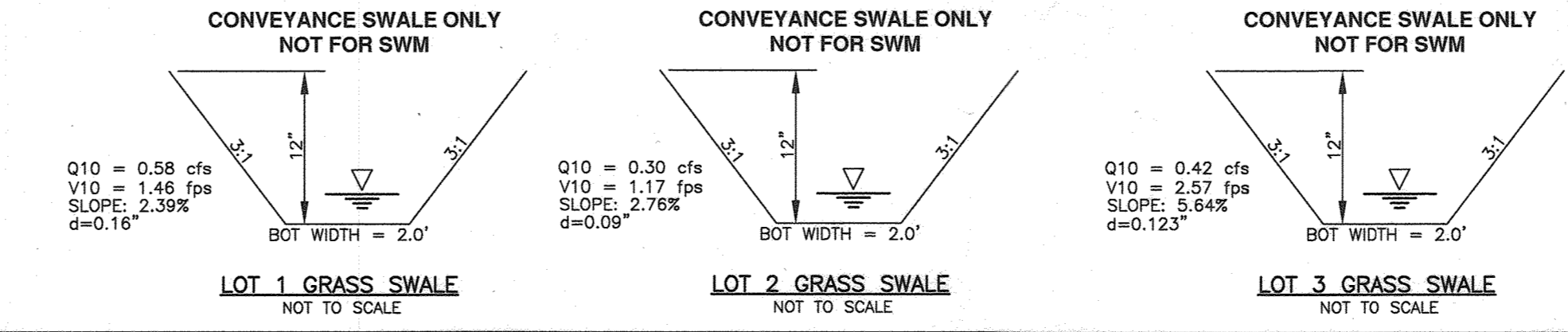
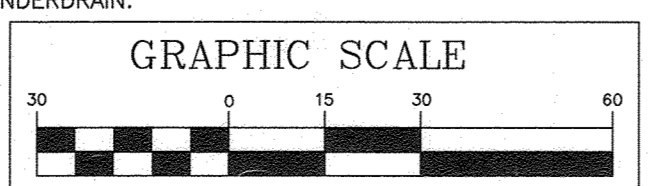
TITLE: FINAL STORMWATER MANAGEMENT PLAN, NOTES AND DETAILS

DATE: SEPTEMBER, 2019 PROJECT NO: 2761
SHEET 10 OF 17

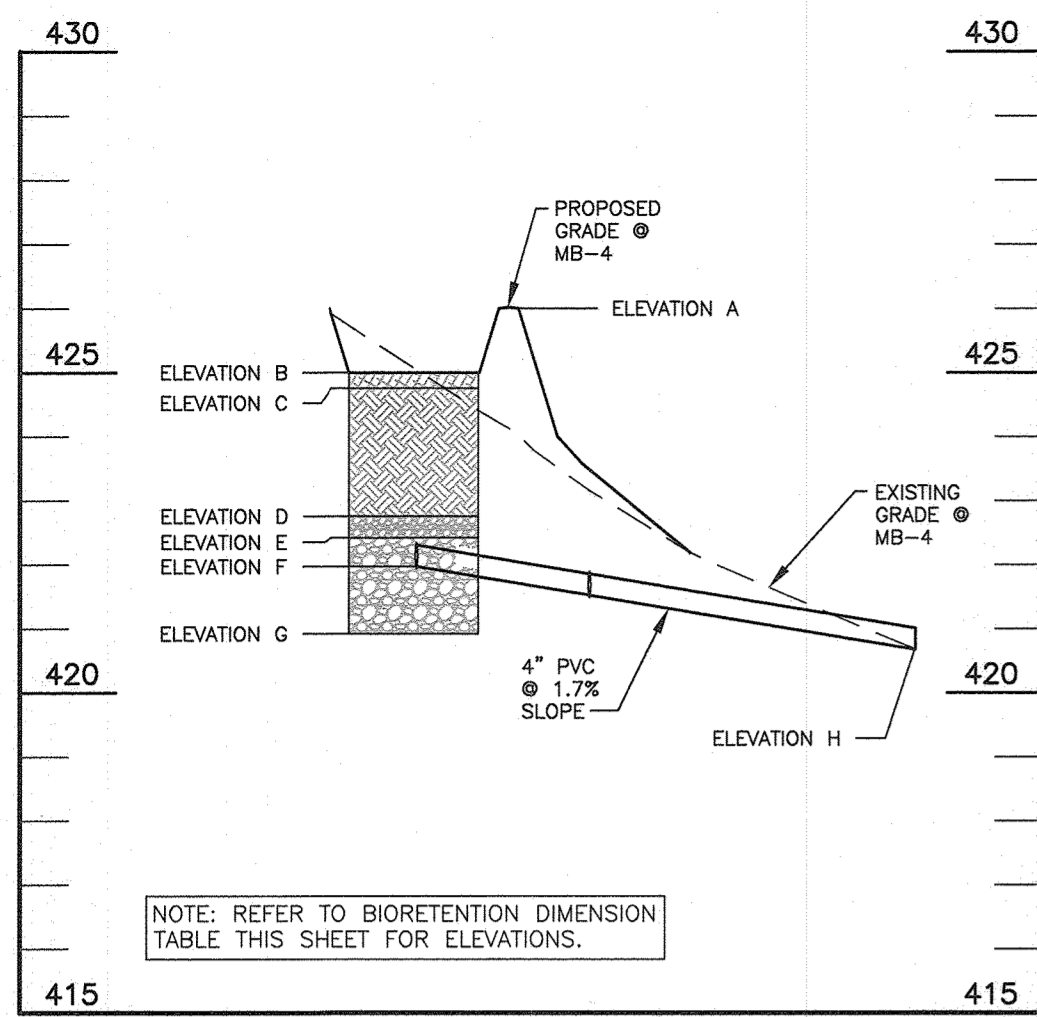
DESIGN: AAM/LDD DRAFT: AAM CHECK: CAM SCALE: AS SHOWN

FACILITY	ON-LOT BIORETENTION DIMENSIONS								FILTER (A)	PLANTINGS			LINER
	A	B	C	D	E	F	G*	H		(1)	(2)	(3)	
MB-1	444.00	443.00	442.75	440.75	440.42	439.92	439.17	437.99	503	22	17	17	N/A
MB-2	447.00	446.00	445.75	443.75	443.42	442.92	442.17	439.99	479	21	16	16	N/A
MB-3	428.00	427.00	426.75	424.75	424.42	423.92	423.17	423.92	1400	62	47	47	N/A

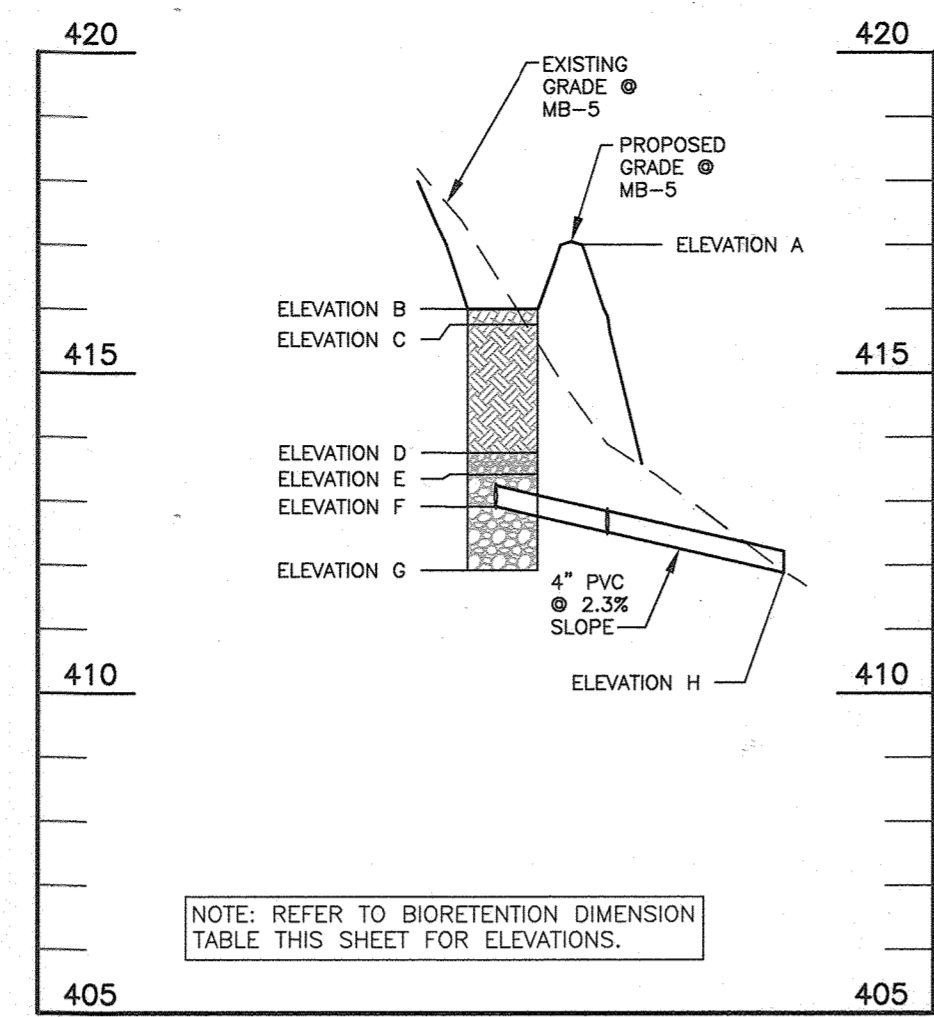
*25% WOY SHALL BE PROVIDED WITHIN THE STONE SECTION BELOW THE UNDERDRAIN.
NOTE: SEE SHEET 13 FOR STORMWATER MANAGEMENT PRACTICE SIZING COMPUTATIONS.



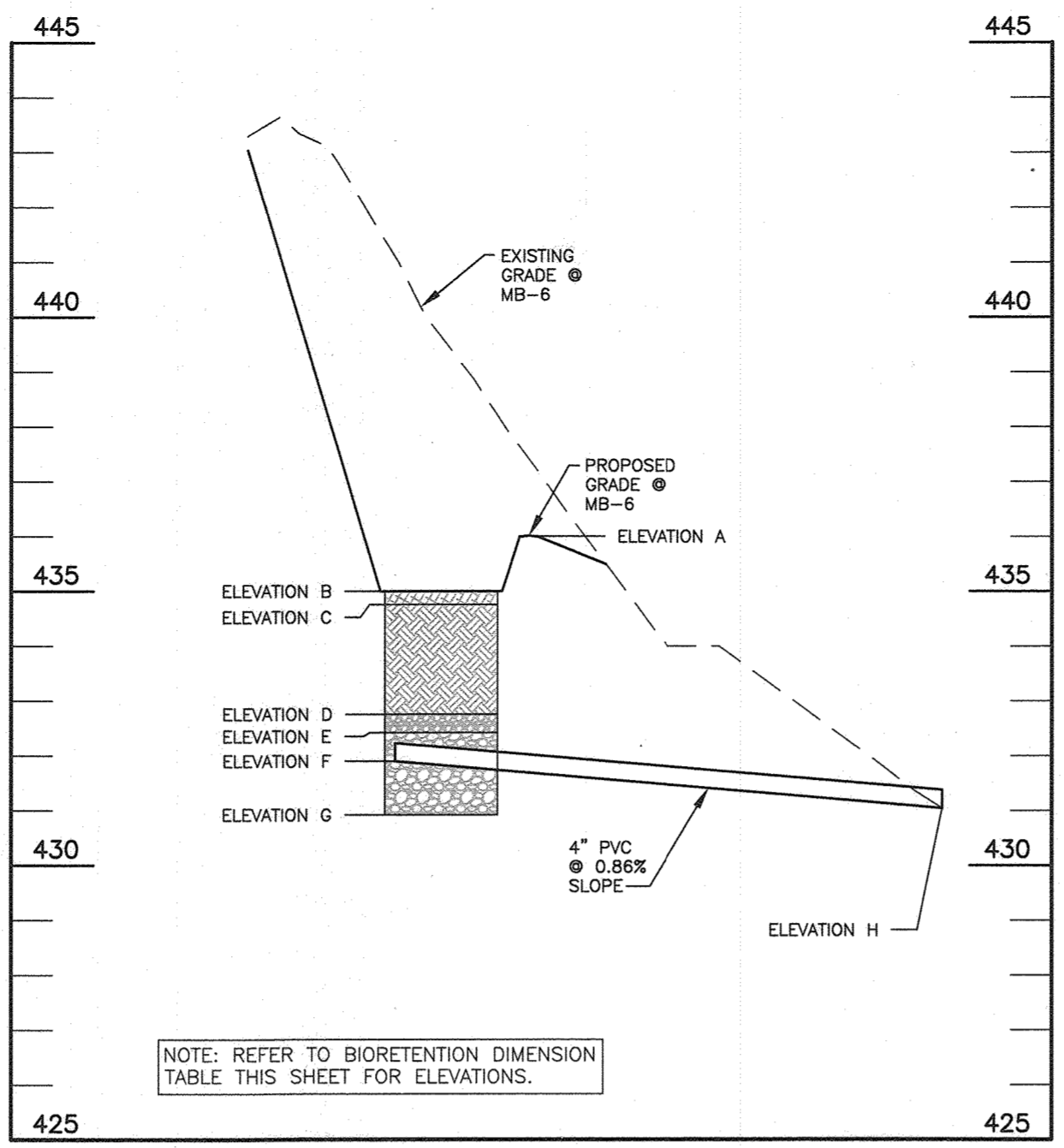
APPROVED: DEPARTMENT OF PUBLIC WORKS
Chief, Bureau of Highways, 10/17/2019
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Division of Land Development, 10-27-19



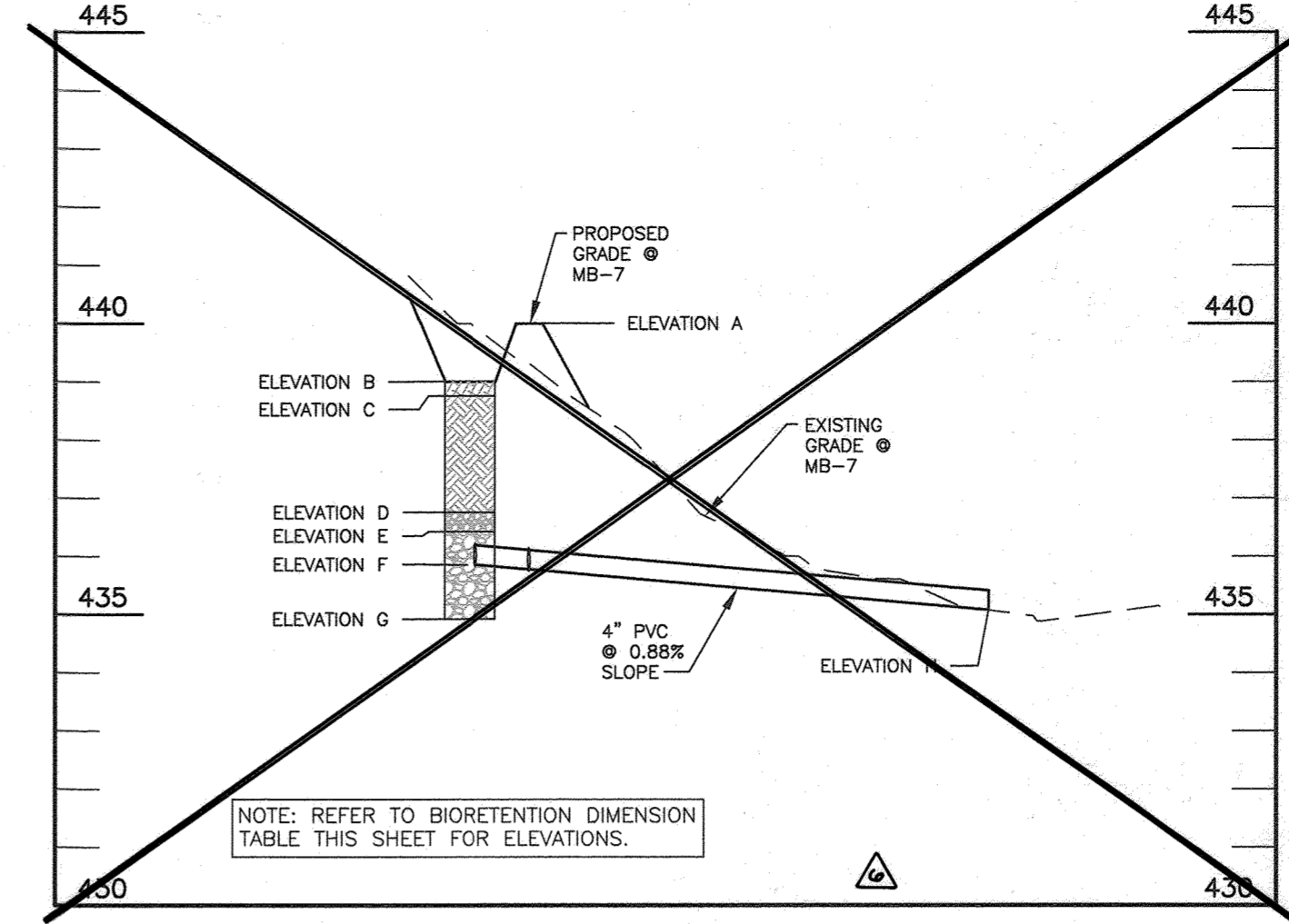
MB-4 PROFILE
SCALE: 1"=30' HORIZ., 1"=3' VERT.



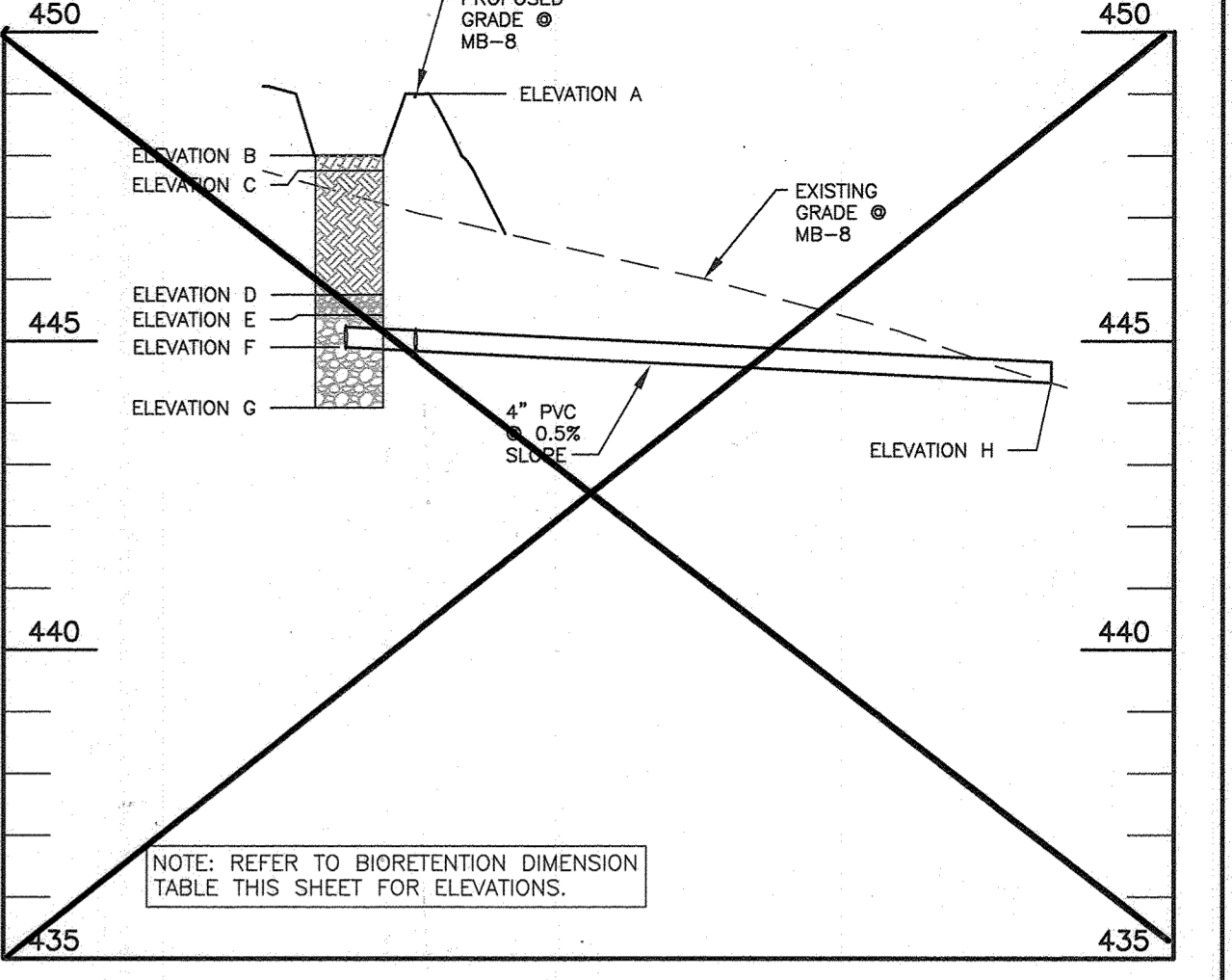
MB-5 PROFILE
SCALE: 1"=30' HORIZ., 1"=3' VERT.



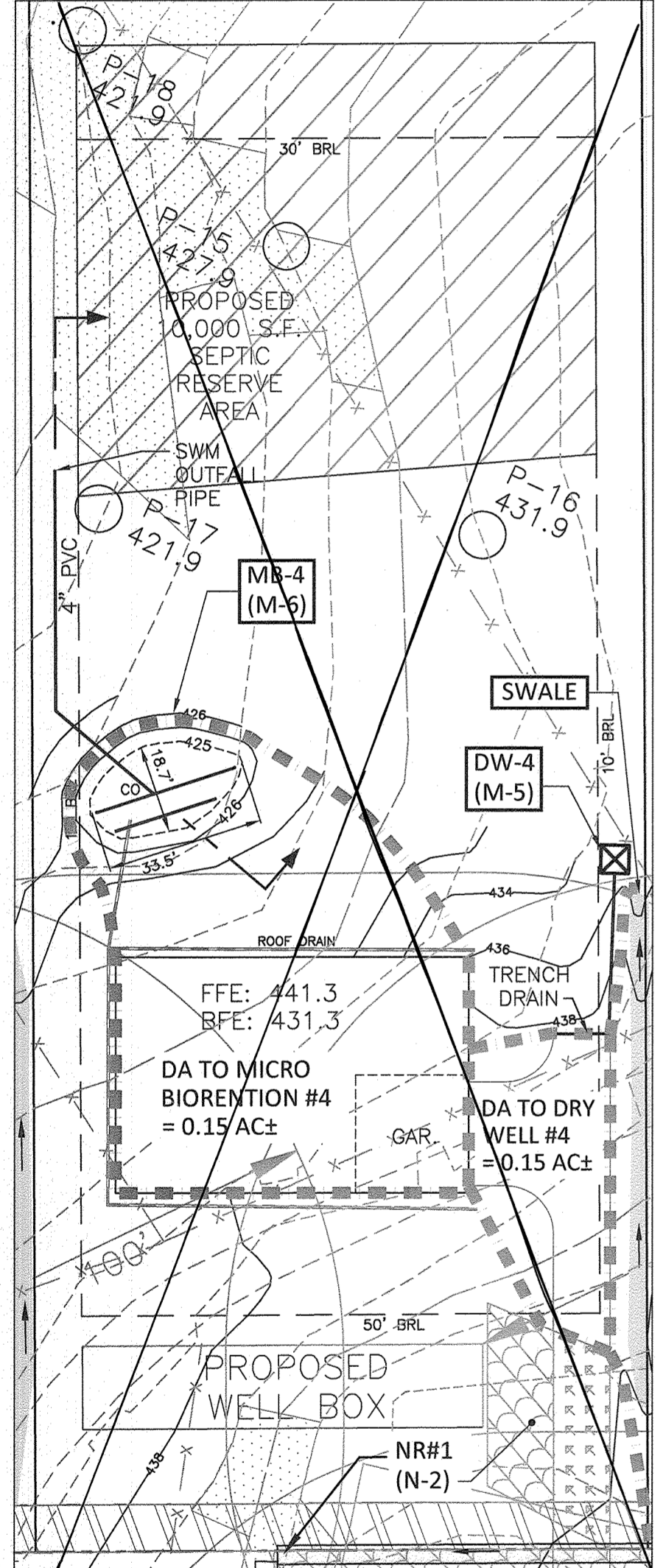
MB-6 PROFILE
SCALE: 1"=30' HORIZ., 1"=3' VERT.



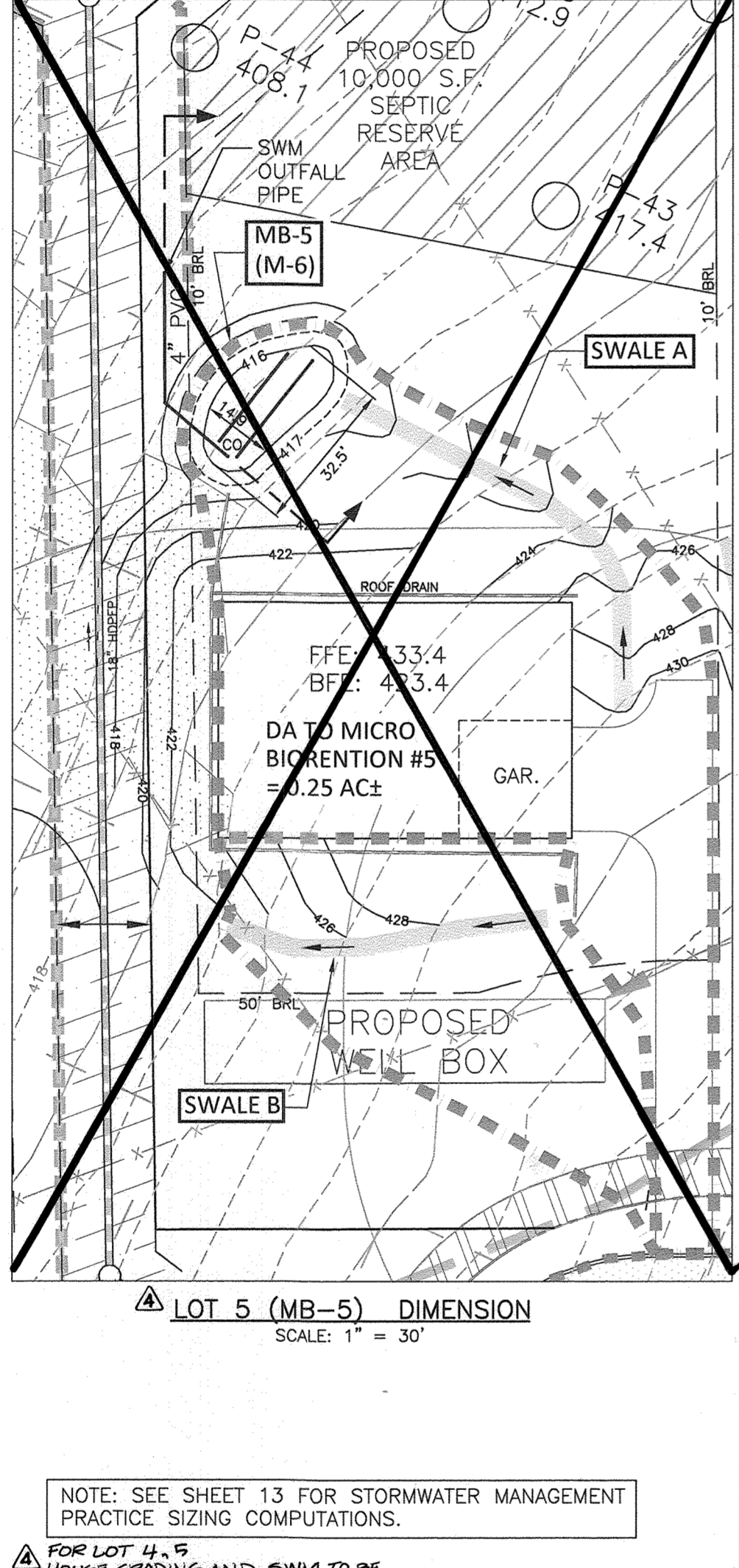
MB-7 PROFILE
SCALE: 1"=30' HORIZ., 1"=3' VERT.



MB-8 PROFILE
SCALE: 1"=30' HORIZ., 1"=3' VERT.



LOT 4 (MB-4) DIMENSION
SCALE: 1" = 30'



LOT 5 (MB-5) DIMENSION
SCALE: 1" = 30'

Not to Scale

DATE	TEST #	DEPTH	START	BREAK 1\"/>		
6/1	P-13	10.0	10.0	10.0	5	F
6/1	P-14	10.0	10.0	10.0	5	F
6/1	P-15	10.0	10.0	10.0	5	F
6/1	P-16	10.0	10.0	10.0	5	F
6/1	P-17	10.0	10.0	10.0	5	F
6/1	P-18	10.0	10.0	10.0	5	F
6/1	P-19	10.0	10.0	10.0	5	F
6/1	P-20	10.0	10.0	10.0	5	F
6/1	P-21	10.0	10.0	10.0	5	F
6/1	P-22	10.0	10.0	10.0	5	F
6/1	P-23	10.0	10.0	10.0	5	F
6/1	P-24	10.0	10.0	10.0	5	F
6/1	P-25	10.0	10.0	10.0	5	F
6/1	P-26	10.0	10.0	10.0	5	F
6/1	P-27	10.0	10.0	10.0	5	F
6/1	P-28	10.0	10.0	10.0	5	F
6/1	P-29	10.0	10.0	10.0	5	F
6/1	P-30	10.0	10.0	10.0	5	F
6/1	P-31	10.0	10.0	10.0	5	F
6/1	P-32	10.0	10.0	10.0	5	F
6/1	P-33	10.0	10.0	10.0	5	F
6/1	P-34	10.0	10.0	10.0	5	F
6/1	P-35	10.0	10.0	10.0	5	F
6/1	P-36	10.0	10.0	10.0	5	F
6/1	P-37	10.0	10.0	10.0	5	F
6/1	P-38	10.0	10.0	10.0	5	F
6/1	P-39	10.0	10.0	10.0	5	F
6/1	P-40	10.0	10.0	10.0	5	F

Not to Scale

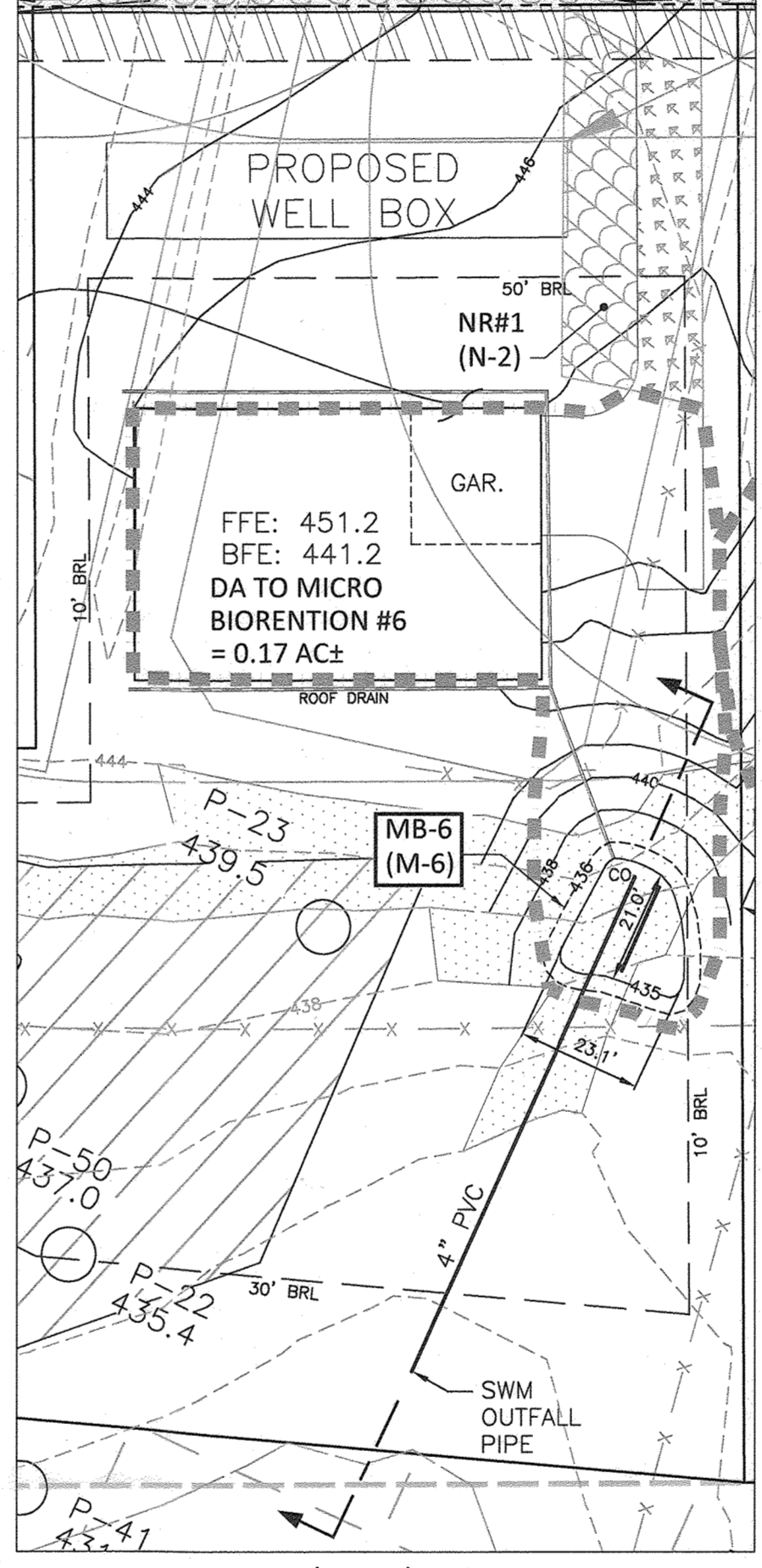
DATE	TEST #	DEPTH	START	BREAK 1\"/>		
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6/1	P-23	10.0	10.0	10.0	5	F
6/1	P-24	10.0	10.0	10.0	5	F
6/1	P-25	10.0	10.0	10.0	5	F
6/1	P-26	10.0	10.0	10.0	5	F
6/1	P-27	10.0	10.0	10.0	5	F
6/1	P-28	10.0	10.0	10.0	5	F
6/1	P-29	10.0	10.0	10.0	5	F
6/1	P-30	10.0	10.0	10.0	5	F
6/1	P-31	10.0	10.0	10.0	5	F
6/1	P-32	10.0	10.0	10.0	5	F
6/1	P-33	10.0	10.0	10.0	5	F
6/1	P-34	10.0	10.0	10.0	5	F
6/1	P-35	10.0	10.0	10.0	5	F
6/1	P-36	10.0	10.0	10.0	5	F
6/1	P-37	10.0	10.0	10.0	5	F
6/1	P-38	10.0	10.0	10.0	5	F
6/1	P-39	10.0	10.0	10.0	5	F
6/1	P-40	10.0	10.0	10.0	5	F

Not to Scale

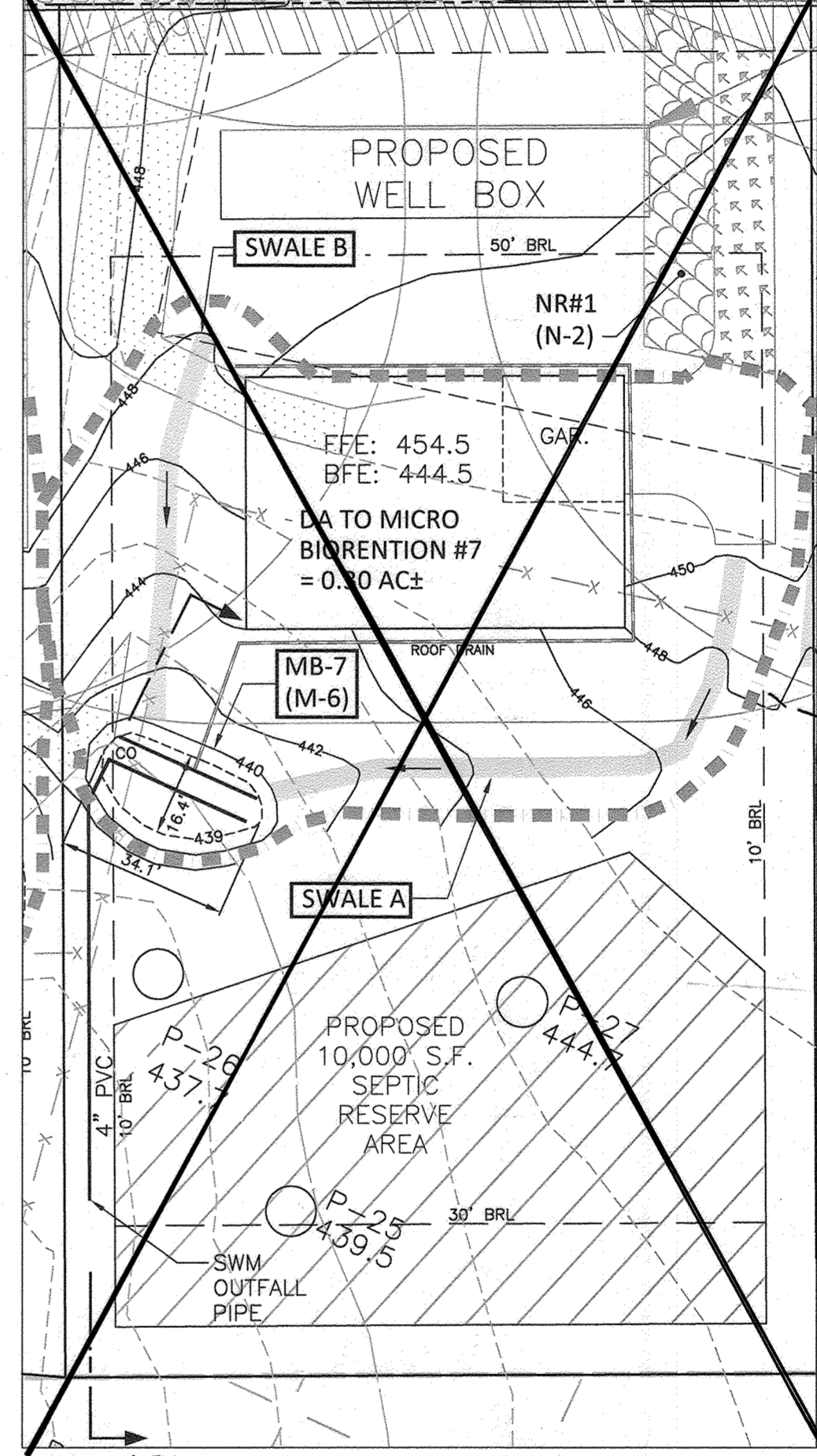
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6/1	P-30	10.0	10.0	10.0	5	F
6/1	P-31	10.0	10.0	10.0	5	F
6/1	P-32	10.0	10.0	10.0	5	F
6/1	P-33	10.0	10.0	10.0	5	F
6/1	P-34	10.0	10.0	10.0	5	F
6/1	P-35	10.0	10.0	10.0	5	F
6/1	P-36	10.0	10.0	10.0	5	F
6/1	P-37	10.0	10.0	10.0	5	F
6/1	P-38	10.0	10.0	10.0	5	F
6/1	P-39	10.0	10.0	10.0	5	F
6/1	P-40	10.0	10.0	10.0	5	F

Not to Scale

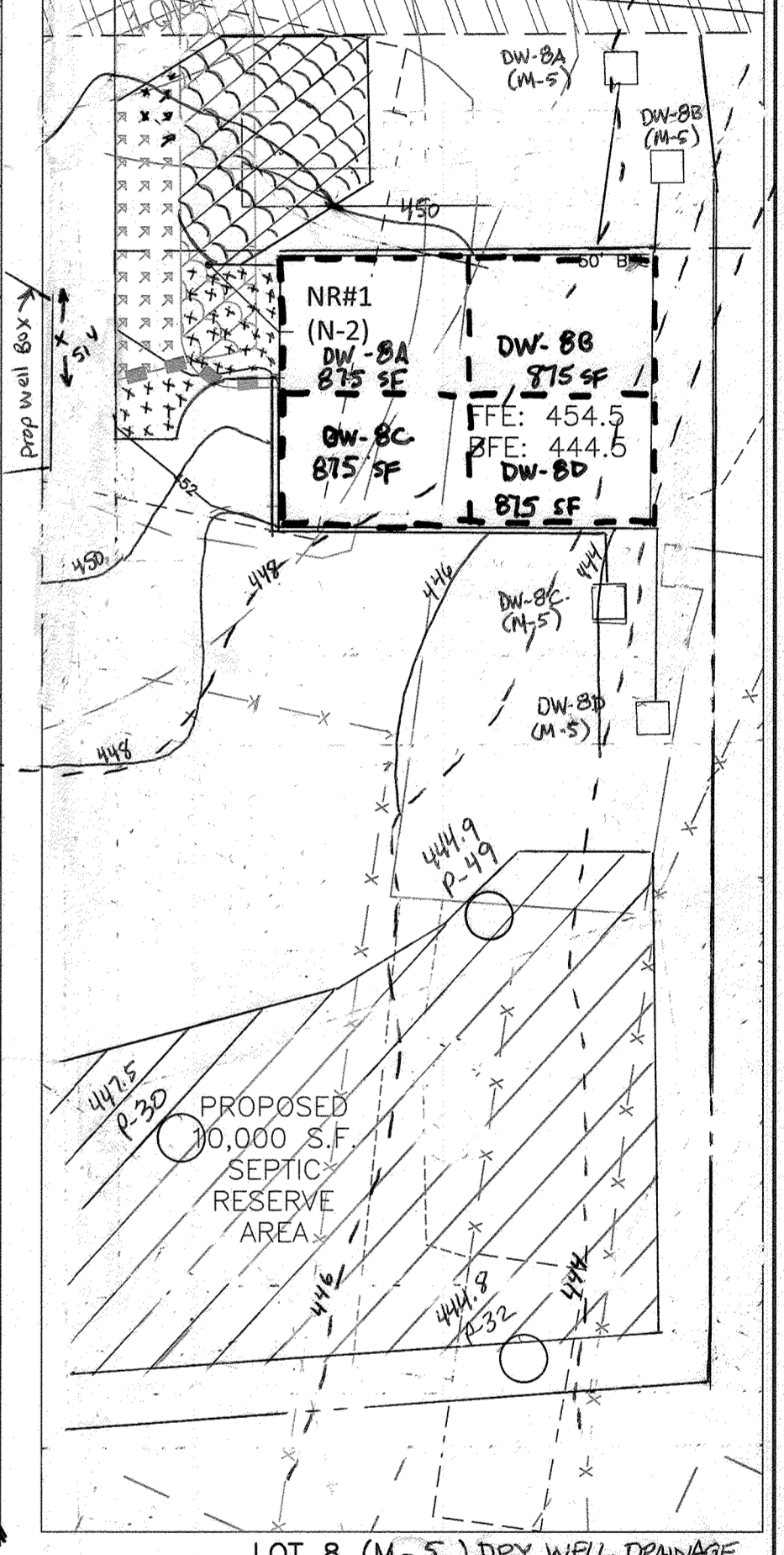
DATE	TEST #	DEPTH	START	BREAK 1\"/>		
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6/1	P-28	10.0	10.0	10.0	5	F
6/1	P-29	10.0	10.0	10.0	5	F
6/1	P-30	10.0	10.0	10.0	5	F
6/1	P-31	10.0	10.0	10.0	5	F
6/1	P-32	10.0	10.0	10.0	5	F
6/1	P-33	10.0	10.0	10.0	5	F
6/1	P-34	10.0	10.0	10.0	5	F
6/1	P-35	10.0	10.0	10.0	5	F
6/1	P-36	10.0	10.0	10.0	5	F
6/1	P-37	10.0	10.0	10.0	5	F
6/1	P-38	10.0	10.0	10.0	5	F
6/1	P-39	10.0	10.0	10.0	5	F
6/1	P-40	10.0	10.0	10.0	5	F



LOT 6 (MB-6) DIMENSION
SCALE: 1" = 30'



LOT 7 (MB-7) DIMENSION
SCALE: 1" = 30'

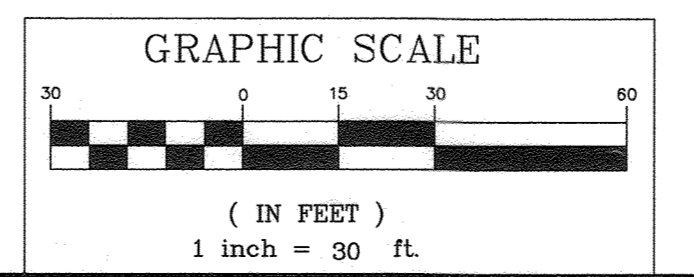
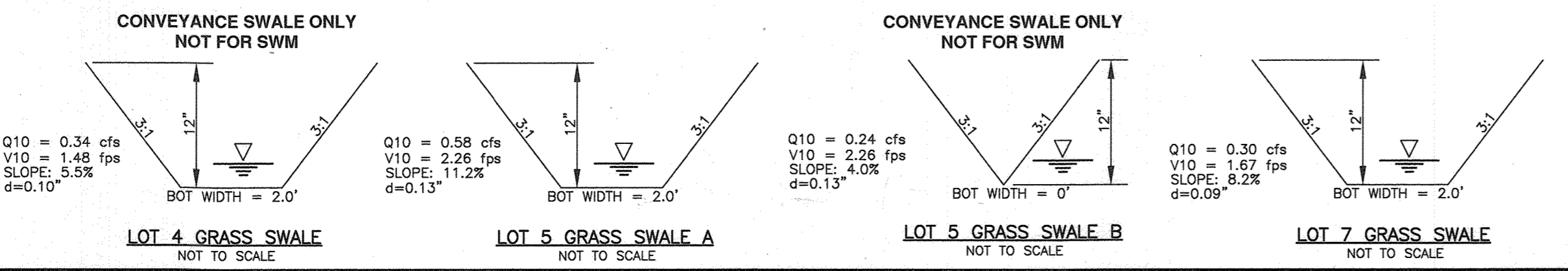


LOT 8 (M-5) DRY WELL DRAINAGE
SCALE: 1" = 30'

ON-LOT BIORETENTION DIMENSIONS

FACILITY	A	B	C	D	E	F	G	H	FILTER (Aft)	PLANTINGS	1	2	3	LINER
MB-4	428.00	428.00	424.75	428.75	428.42	424.92	424.17	428.00	474	2	10	10	N/A	
MB-5	417.00	416.00	415.75	413.75	413.42	412.92	411.88	417.00	453	2	10	15	N/A	
MB-6	436.00	435.00	434.75	432.75	432.42	431.92	431.17	431.04	403	18	13	13	N/A	
MB-7	440.00	439.00	438.75	436.75	436.42	435.92	435.17	435.08	440	20	15	15	N/A	
MB-8	448.00	448.00	447.75	445.75	445.42	444.92	444.17	448.00	440	20	16	16	N/A	

APPROVED: DEPARTMENT OF PUBLIC WORKS
 10/17/2019
 CHIEF, BUREAU OF HIGHWAYS
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
 10-23-19
 CHIEF, DIVISION OF LAND DEVELOPMENT
 10-21-19
 CHIEF, DEVELOPMENT ENGINEERING DIVISION



REVISIONS BY GLW
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 12015 EXPIRATION DATE MAY 24, 2022

- LEGEND
- EXISTING CONTOURS
 - EXISTING TREELINE
 - LIMIT OF SUBMISSION
 - PROPOSED SEPTIC AREA
 - EXISTING SEPTIC AREA
 - SOILS DELINEATION
 - EX. WELL
 - PROPOSED DWELLING
 - 15%-24.9% SLOPES
 - NON-ROOFTOP DISCONNECTION (N-2) DISCONNECT RECEIVING
 - STORMWATER MANAGEMENT DRAINAGE DIVIDE
 - SOIL STABILIZATION MATTING
 - SOIL BORING
 - PERCOLATION TEST
 - FAILING PERCOLATION TEST

NO.	DATE	REVISION
1	10-21-21	REVISED TO REMOVE LOT 8 MICRO-BIO AND ADD DRYWELLS
2	10-21-21	REMOVE MB-7 (BY GLW)
3	10-21-21	REMOVE MB-5 (BY GLW)
4	10-21-21	ADD NOTE TO SEE SHEET 14 FOR LOT 4 HOUSE, GRADING & SWM TO BE BUILT (BY GLW)

BENCHMARK ENGINEERS & LAND SURVEYORS & PLANNERS ENGINEERING, INC.
 8480 BALTIMORE NATIONAL PIKE & SUITE 315 & ELLICOTT CITY, MARYLAND 21043
 (7) 410-466-4100 (7) 410-466-6644
 WWW.BE-CALENGINEERING.COM

PROFESSIONAL ENGINEER
 STATE OF MARYLAND
 NO. 28376
 EXPIRES 12-31-25-19

Professional Certification No. 28376 certifies that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 1-1-2021.

OWNER/DEVELOPER:
 OCR DEVELOPMENT, LLC
 2102 E MADISON ST
 BALTIMORE, MD 21205
 518-386-9168

PROJECT:
 FULTON HILL
 LOTS 1-8, BUILDABLE PRESERVATION PARCEL A AND NON-BUILDABLE BULK PARCEL B A RE-SUBDIVISION OF LOT 2 OF THE FRANCIS OF ASSISI SUBDIVISION

LOCATION: TAX MAP: 46 - GRID: 03 - PARCEL: 337
 ZONED: RR-DEO
 ELECTION DISTRICT NO. 5 - HOWARD COUNTY, MARYLAND

TITLE: FINAL STORMWATER MANAGEMENT PLAN, NOTES AND DETAILS

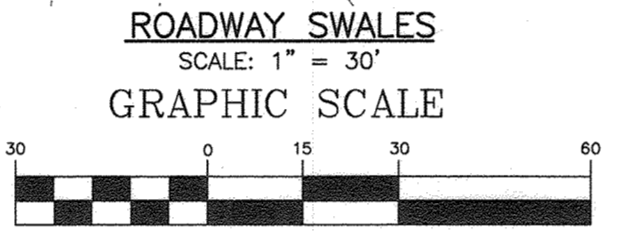
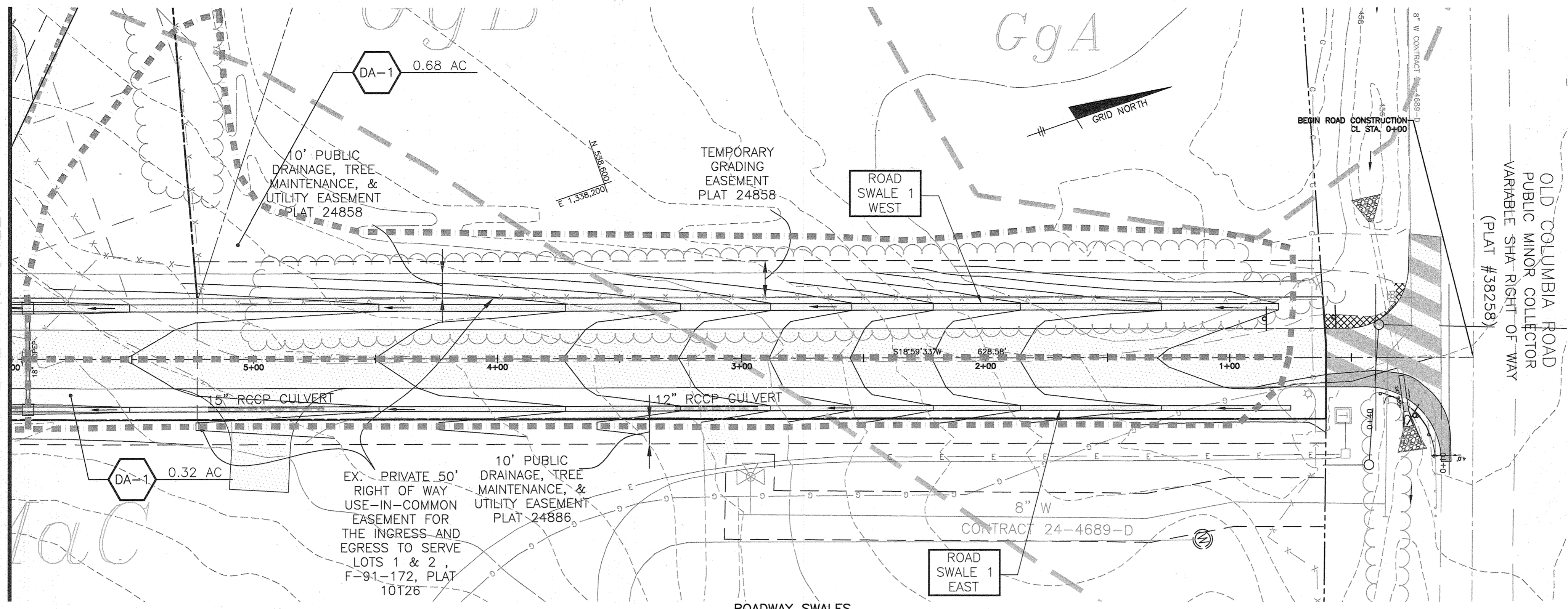
DATE: SEPTEMBER, 2019
PROJECT NO.: 2761

DESIGN: AAM/LDD **DRAFT:** AAM **CHECK:** CAM

SCALE: AS SHOWN **SHEET 11 OF 17**

- LEGEND**
- - - - - EXISTING CONTOURS
 - - - - - EXISTING TRELINE
 - - - - - LIMIT OF SUBMISSION
 - ▨ PROPOSED SEPTIC AREA
 - ▨ EXISTING SEPTIC AREA
 - GgB MaC SOILS DELINEATION
 - ⊙ EX. WELL
 - PROPOSED DWELLING
 - 15%-24.9% SLOPES
 - NON-ROOFTOP DISCONNECTION (N-2) DISCONNECT RECEIVING
 - - - - - STORMWATER MANAGEMENT DRAINAGE DIVIDE
 - SOIL STABILIZATION MATTING
 - ⊕ B-2 SOIL BORING
 - P-0 PERCOLATION TEST
 - P-0 FAILING PERCOLATION TEST

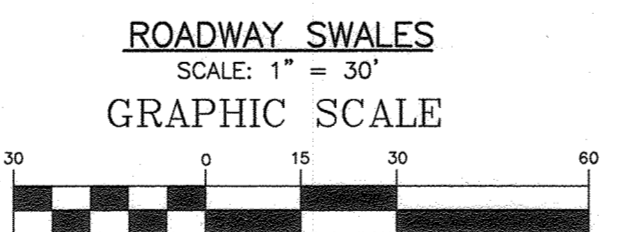
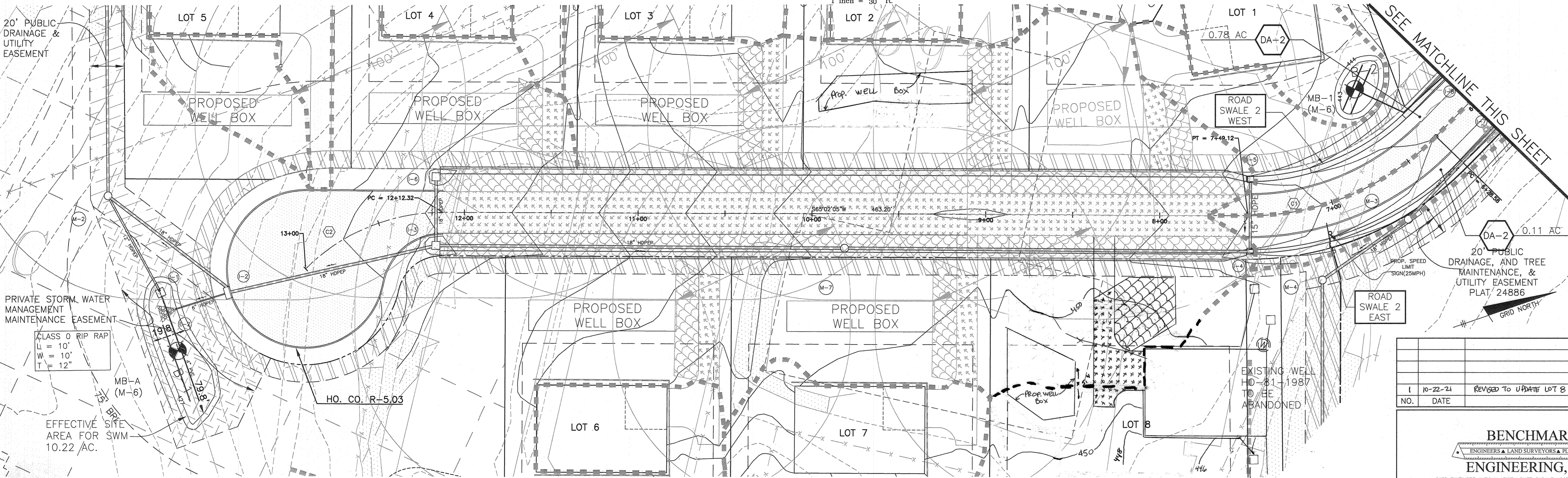
SEE MATCHLINE THIS SHEET



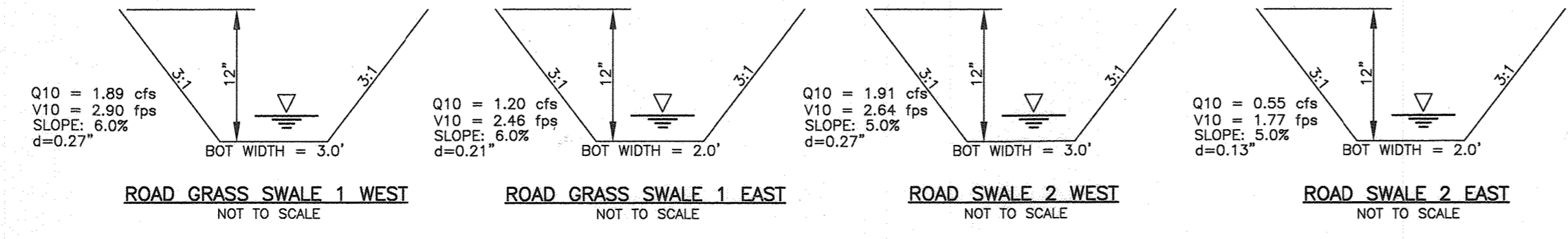
Private Drains

DATE	TEST #	DEPTH	START	BREAK	STOP	TIME OF	PRN
			1' TOP	1' TOP	1' TOP	1' TOP	
9/1/16	43	4 1/2'	8:42	8:45	8:49	4	P
9/1/16	44	4 1/2'	9:12			Shaw	T
9/1/16	45	5 1/2'	10:58	10:59	11:04	6	P
9/1/16	46	6 1/2'	8:55	8:57	8:59	2	P
9/1/16	47	7 1/2'	8:53	8:55	8:58	3	P
9/1/16	48	4 1/2'	9:20	9:31	9:32	1	F
9/1/16	49	8 1/2'	9:35	9:35	9:37	2	P

REMARKS: SANITARIAN, H. D. BACHOR, H. D. BACHOR, OTHERS, D. BACHOR, ENGINEER
TEST HOLE USED IN DESIGN
TRENCH WIDTH: _____ SLOPE DEPTH: _____ MAX. BOT. DEPTH: _____ EFFECTIVE SW: _____



APPROVED: DEPARTMENT OF PUBLIC WORKS
10/17/2019
CHIEF, BUREAU OF HIGHWAYS
APPROVED: DEPARTMENT OF PLANNING AND ZONING
10-23-19
CHIEF, DIVISION OF LAND DEVELOPMENT
10-21-19
CHIEF, DEVELOPMENT ENGINEERING DIVISION



NOTE: DRAINAGE AREA BETWEEN STATIONS 7+50 AND 12+00 IS MANAGED BY ROOF TOP DISCONNECTION (N-2).

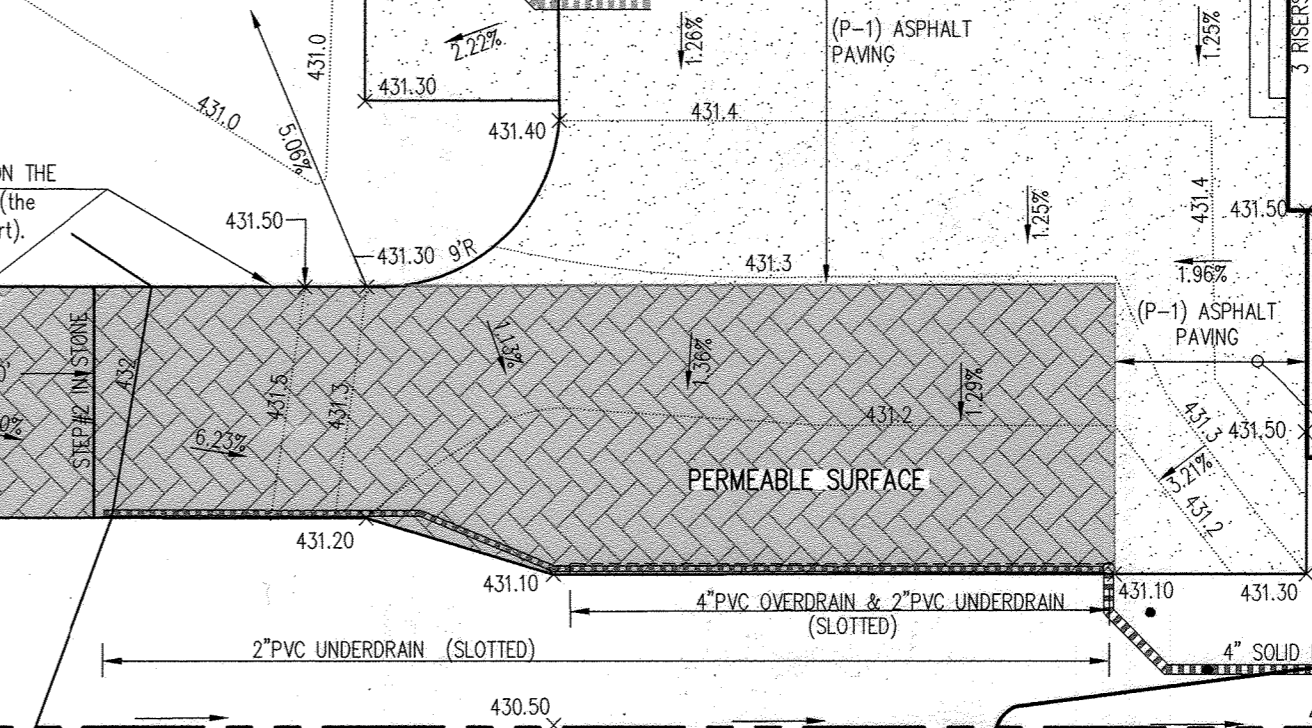
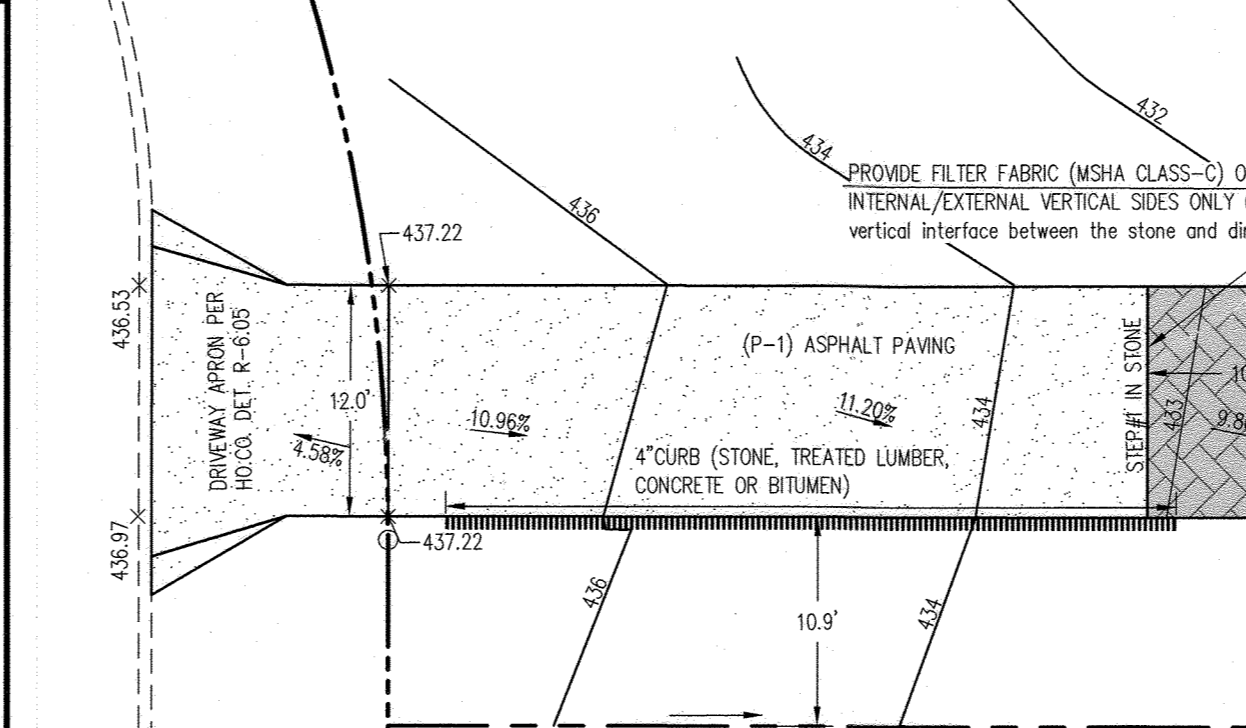
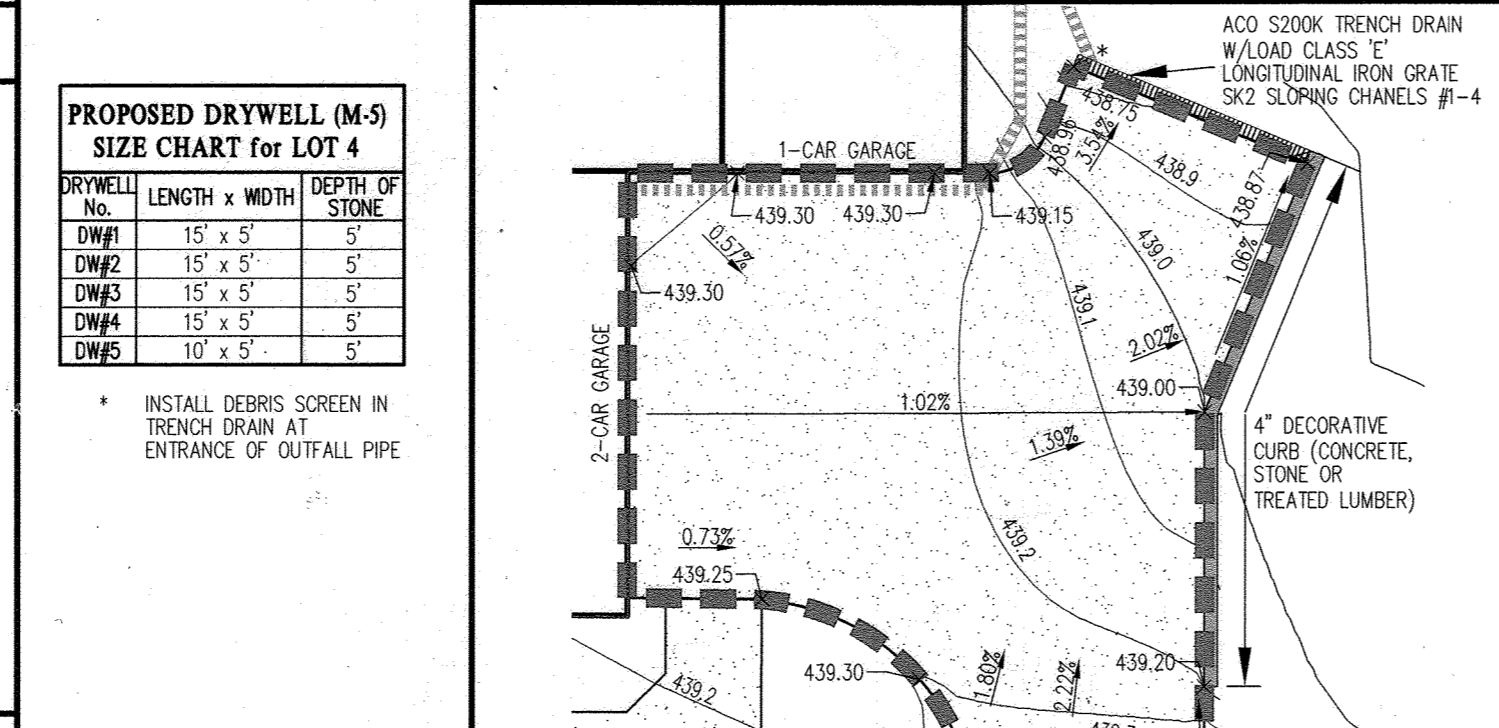
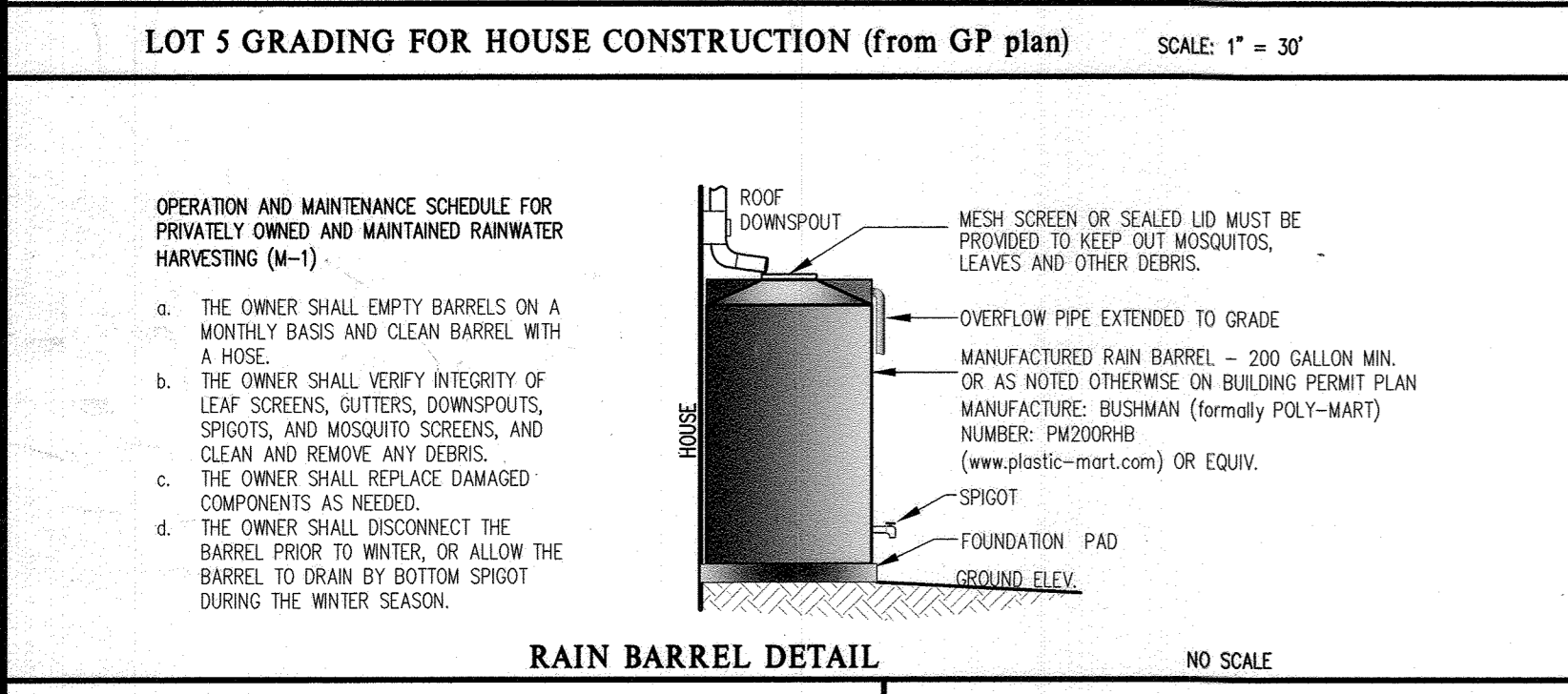
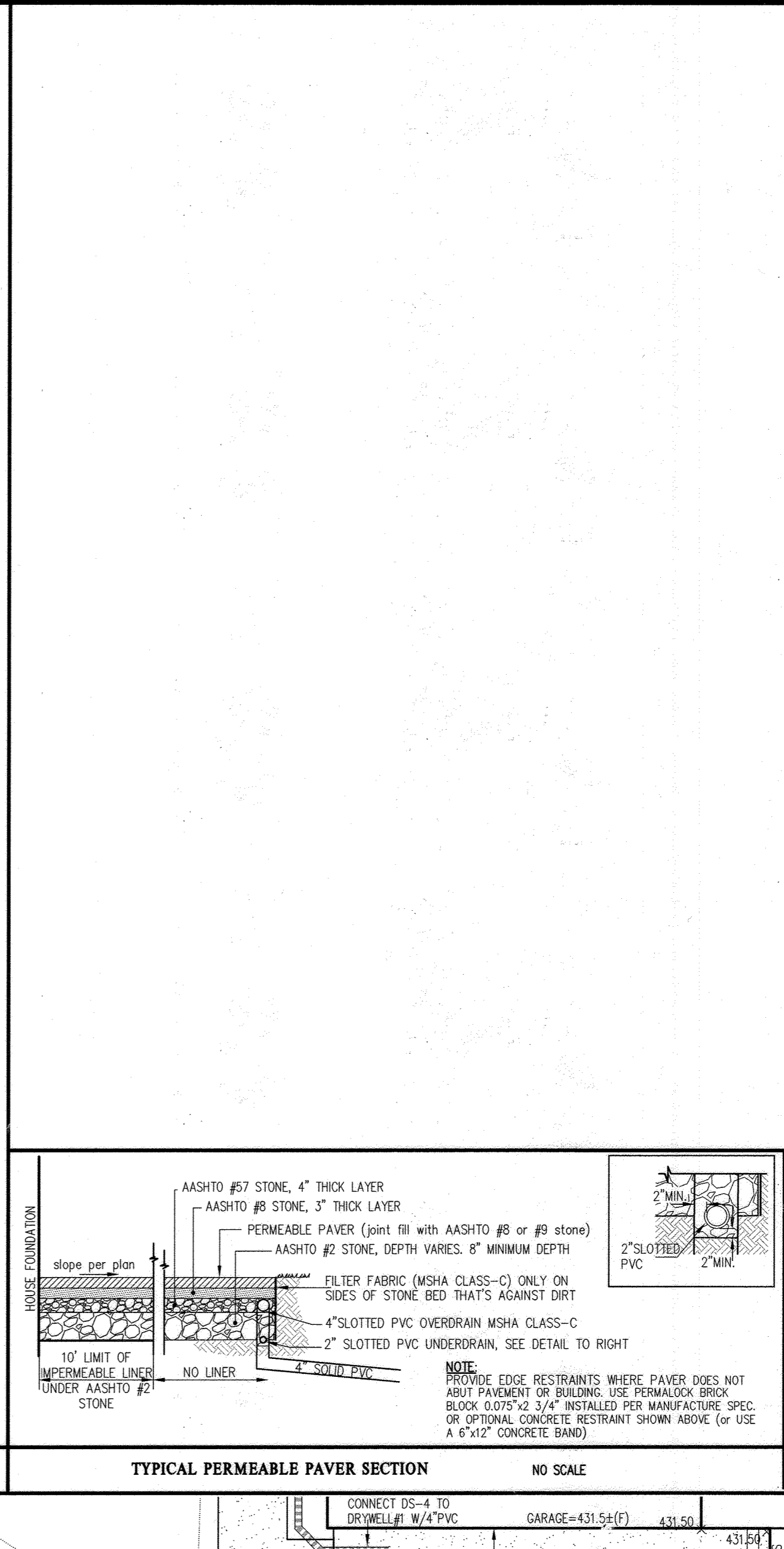
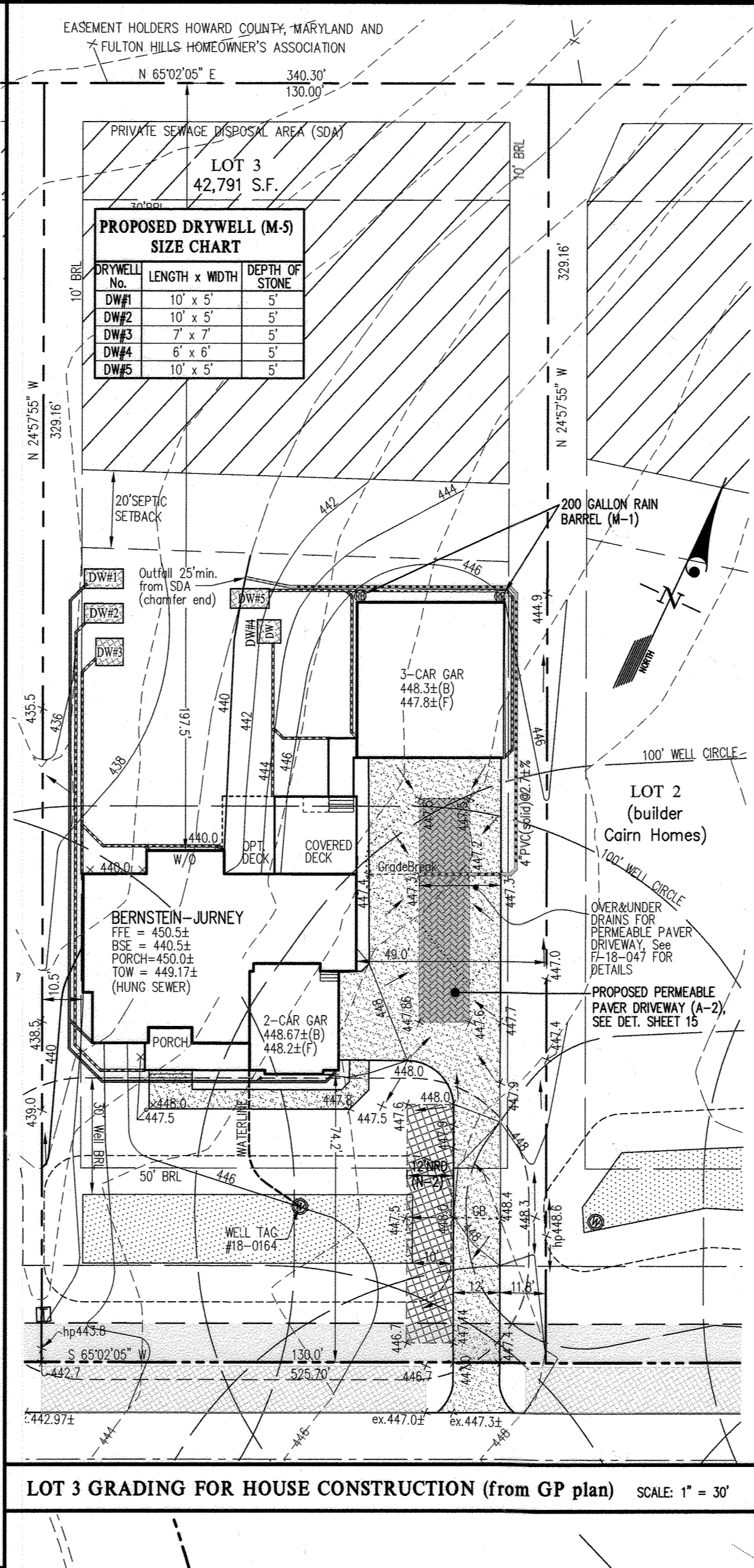
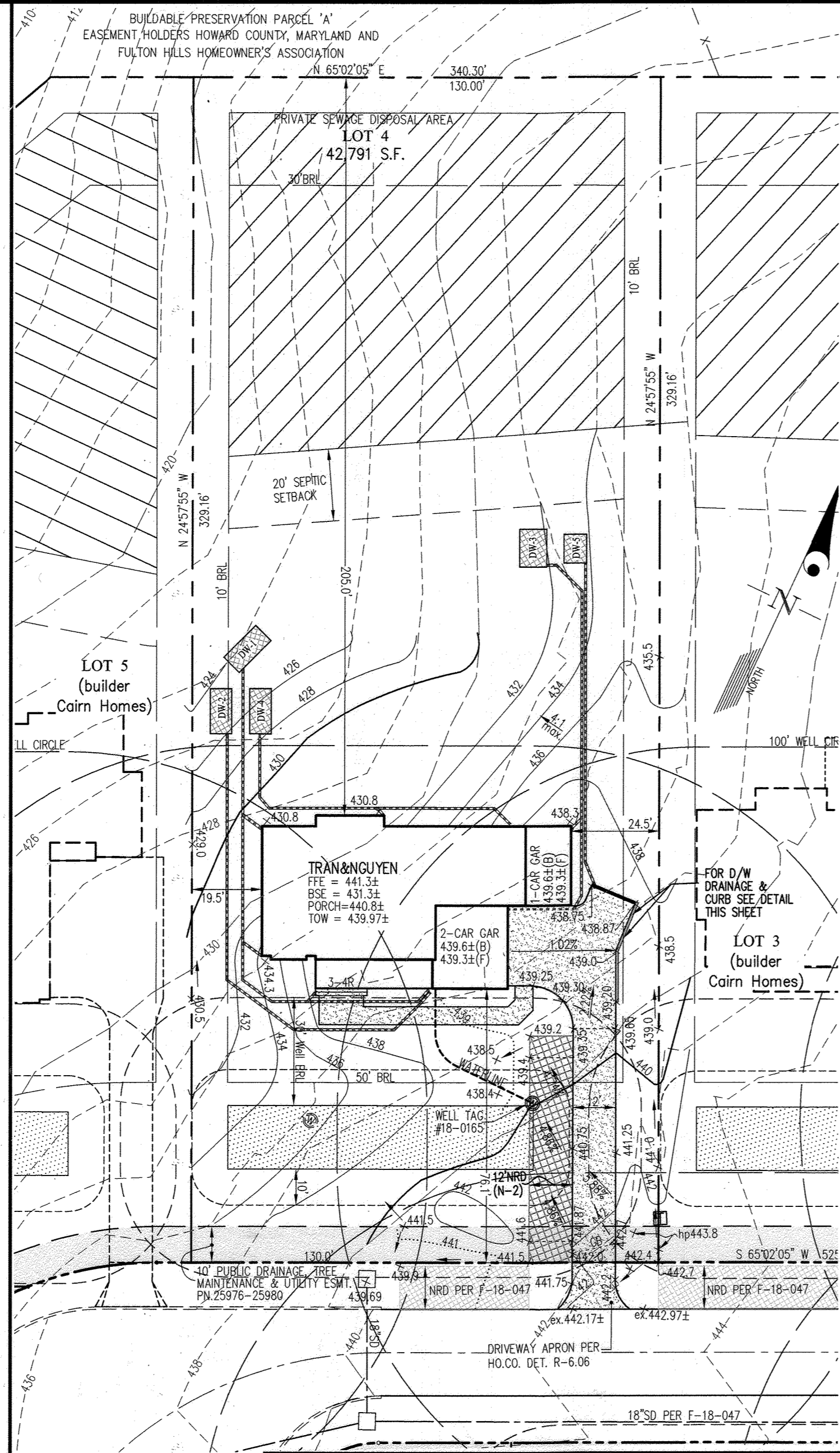
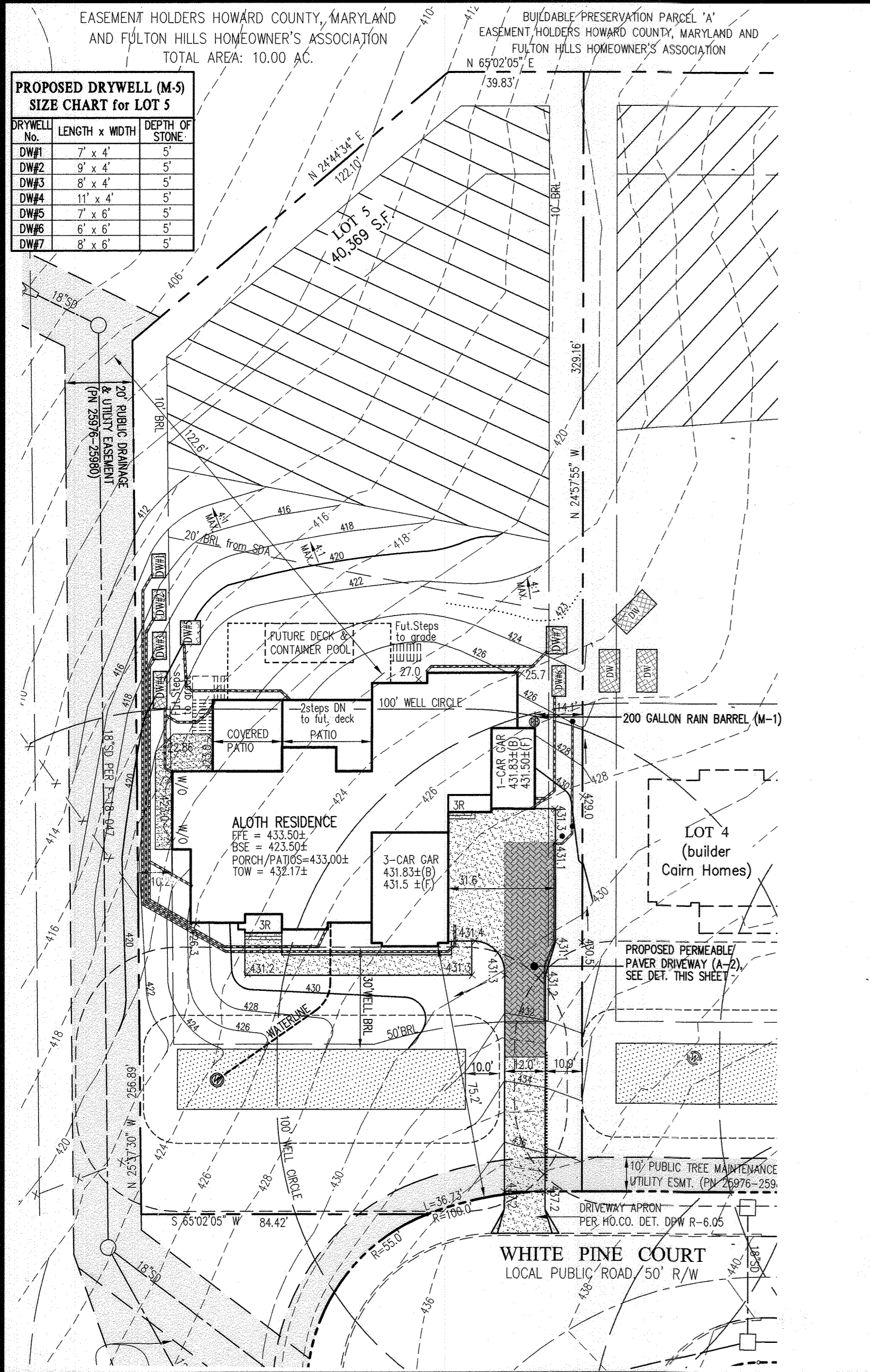
NO.	DATE	REVISION
1	10-22-21	REVISED TO UPDATE LOT 8 AND LOT 2

BENCHMARK ENGINEERS & LAND SURVEYORS & PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE A SUITE 315 A ELLICOTT CITY, MARYLAND 21043
(7) 410-465-8100 (P) 410-465-8644
WWW.BE-CVLENGINEERING.COM

STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER
No. 28376
9-25-19

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 1-1-2021.

OWNER/DEVELOPER:	PROJECT:
OCR DEVELOPMENT, LLC 2102 E MADISON ST BALTIMORE, MD 21205 518-386-9168	FULTON HILL LOTS 1-8, BUILDABLE PRESERVATION PARCEL A AND NON-BUILDABLE BULK PARCEL B A RE-SUBDIVISION OF LOT 2 OF THE ST. FRANCIS OF ASSISI SUBDIVISION
LOCATION:	TITLE:
TAX MAP: 46 - GRID: 03 - PARCEL: 337 ZONED: RR-DEO ELECTION DISTRICT NO. 5 - HOWARD COUNTY, MARYLAND	FINAL STORMWATER MANAGEMENT PLAN, NOTES AND DETAILS
DATE: SEPTEMBER, 2019	PROJECT NO. 2761
DESIGN: AAM/LDD DRAFT: AAM	CHECK: CAM
SCALE: AS SHOWN	SHEET 12 OF 17



NOTE:
1. SEE SEPARATE PLANS APPROVED BY THE HEALTH DEPARTMENT FOR PRIVATE SEWAGE DISPOSAL SYSTEMS ON EACH LOT.

LEGEND

- EXISTING CONTOUR
- PROPOSED 2-FT CONTOUR
- WELL BOX LOCATION
- PRIVATE SEWAGE DISPOSAL AREA
- PROPOSED DRIVEWAY, P-1 PAVING
- PROPOSED DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2) AREA NOT TO EXCEED 5% GRADE PRIVATELY OWNED AND MAINTAINED
- PROPOSED ROOF LEADER
- PROPOSED DRYWELL (M-5), PER HO.CO. DET. DPM D-3-01
- 200 GALLON RAIN BARREL (M-1)
- PROPOSED DRIVEWAY APRON PER HO.CO. DET. DPM R-6.05 & R-6.06, SEE PLAN
- PROPOSED PERMEABLE PAVER DRIVEWAY (A-2), SEE DETAILS SHEETS 14 & 15

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

DPW, Highways Date: 4/29/23
 Chief, Division of Land Development
Chief, Development Engineering Division Date: 4/24/23

LOT 4 GRADING FOR HOUSE CONSTRUCTION (from GP plan) SCALE: 1" = 30'

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)

- THE OWNER SHALL PERIODICALLY SWEEP (OR VACUUM POROUS CONCRETE PAVEMENT) TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT. WASHING OR COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
- THE OWNER SHALL PERIODICALLY CLEAN DRAINAGE PIPES, INLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE.
- THE OWNER SHALL USE DEICERS IN MODERATION. DEICERS SHOULD BE NON-TOXIC AND BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREATED SALT.
- THE OWNER SHALL ENSURE SNOW PLOWING IS PERFORMED CAREFULLY WITH BLADES SET ONE-INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOWMELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.

PREPARED FOR:
 BUILDER:
 STEVE APPLER
 10548 GORMAN ROAD
 LAUREL, MD 20723
 301-490-5317
 steve@cairstonhomes.com

LOT 5 PERMEABLE PAVER DRIVEWAY PROFILE and DETAILS SCALE: 1" = 10'

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875, EXPIRATION DATE: MAY 26, 2024.

4/18/23

(REVISED) GRADING PLAN FOR HOUSE CONSTRUCTION

FULTON HILL
 Lots 1-8, BUILDABLE PRESERVATION PARCEL A AND NON-BUILDABLE BULK PARCEL B
 A RE-SUBDIVISION OF LOT 2 OF THE ST. FRANCIS OF ASSISI SUBDIVISION
 PLAT No. 25976-25980
 HOWARD COUNTY, MARYLAND

SCALE: 1" = 30'
ZONING: RR-DEO
G. L. W. FILE No.: 21096

DATE: APR. 2023
TAX MAP - GRID: 46-3
SHEET: 14 OF 17

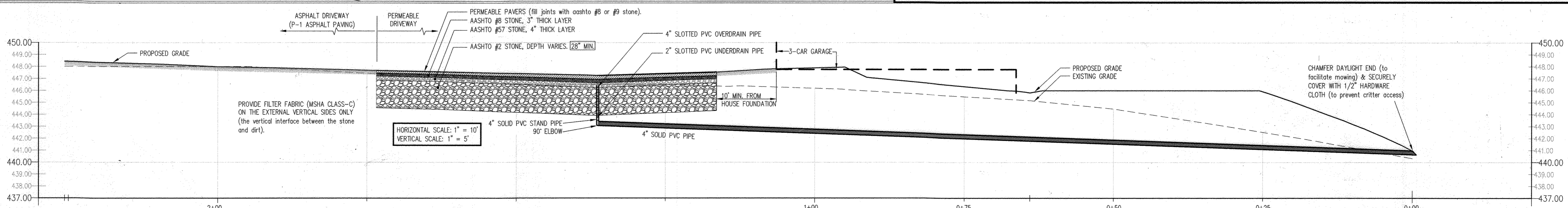
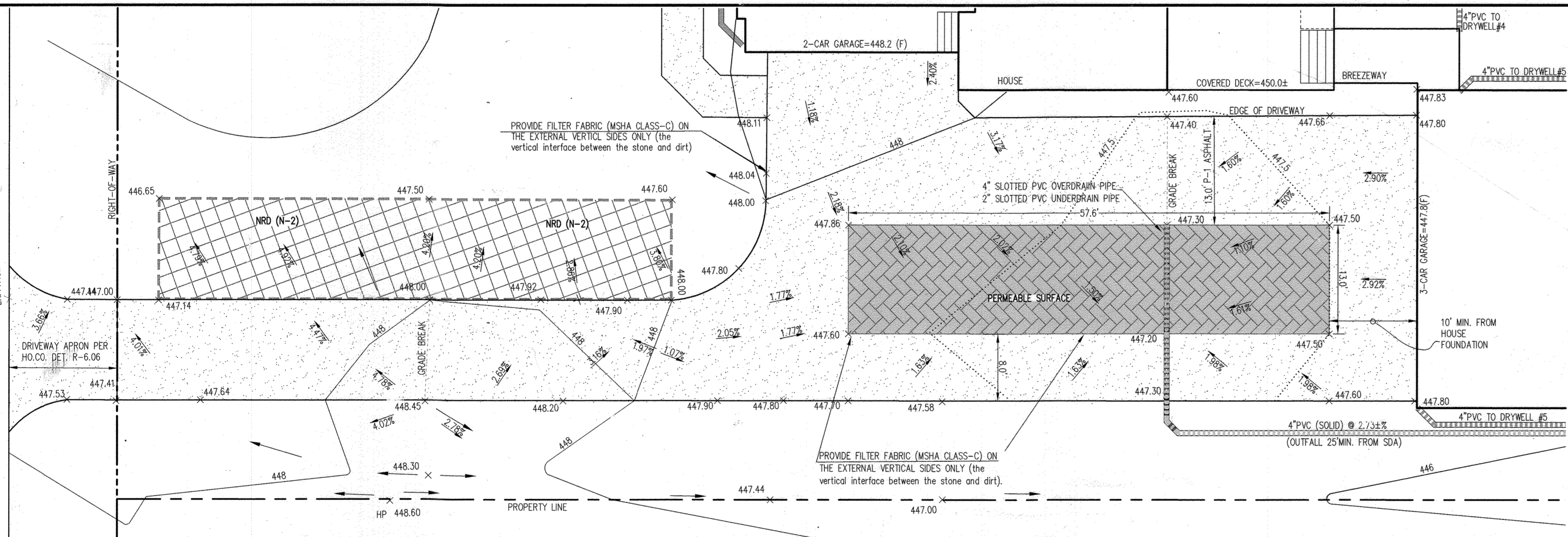
GLW
 PLANNING | ENGINEERING | SURVEYING
 3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
 PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE	REVISION	BY	APP'R.
mbt				
klp	4-10-2023	REPLACEMENT MYLAR - To show updated permeable pavement details for Lots 3&5		
	10-6-2022	REPLACEMENT MYLAR - To show show actual house, grading & swm for Lot 3	klp	
	7-21-2022	REPLACEMENT MYLAR - To show show actual house, grading & swm for Lot 5	klp	
ckg	3-24-2022	REPLACEMENT MYLAR - To show show actual house, grading & swm for Lot 4.	klp	

ELECTION DISTRICT No. 5

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 STEVE APPLER
 LICENSE NO. 12875
 EXPIRATION DATE: MAY 26, 2024

APR. 2023



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

SPW, H19111145 Date *4/21/23*

Chief, Division of Land Development Date *4.24.23*

Chief, Development Engineering Division Date

LOT 3 PERMEABLE PAVER DRIVEWAY PROFILE and DETAILS SCALE: 1" = 10'

GLW
PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	mbt
DRAWN BY:	kjp
CHECKED BY:	ckg
DATE	10-6-2022
REVISION	REPLACEMENT MYLAR - To show updated permeable pavement details for Lots 3&5
REVISION	ADDITIONAL MYLAR SHEET ADDED - To show show actual house, grading & swm for Lot 3
BY	kjp
BY	kjp
BY	APPR.

PREPARED FOR:

BUILDER:
STEVE APPLER
10548 GORMAN ROAD
LAUREL, MD 20723
301-490-5317
steve@cornucosthames.com

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975.

EXPIRATION DATE: MAY 26, 2024

4/18/23

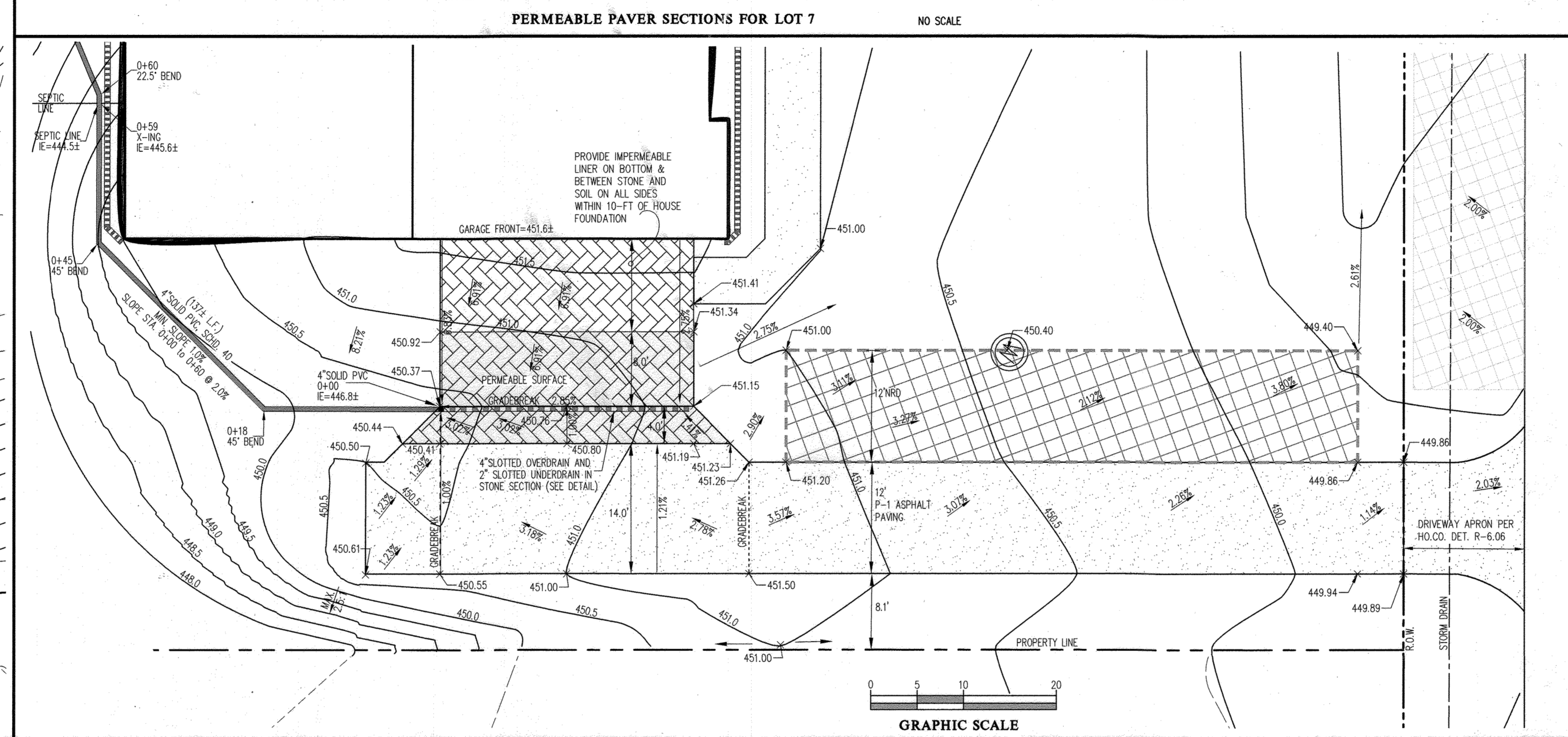
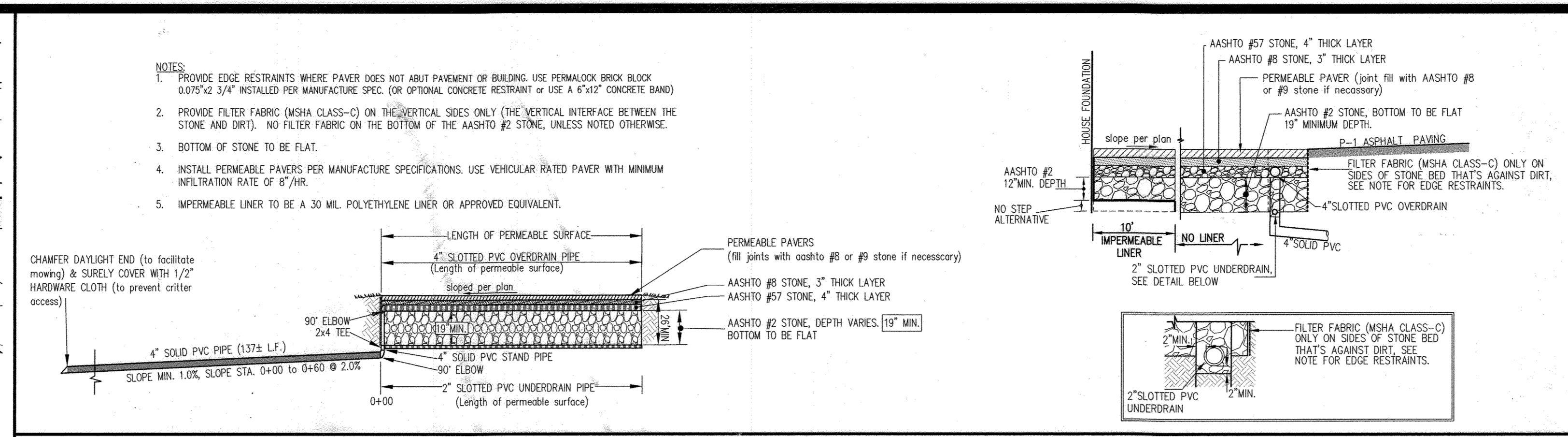
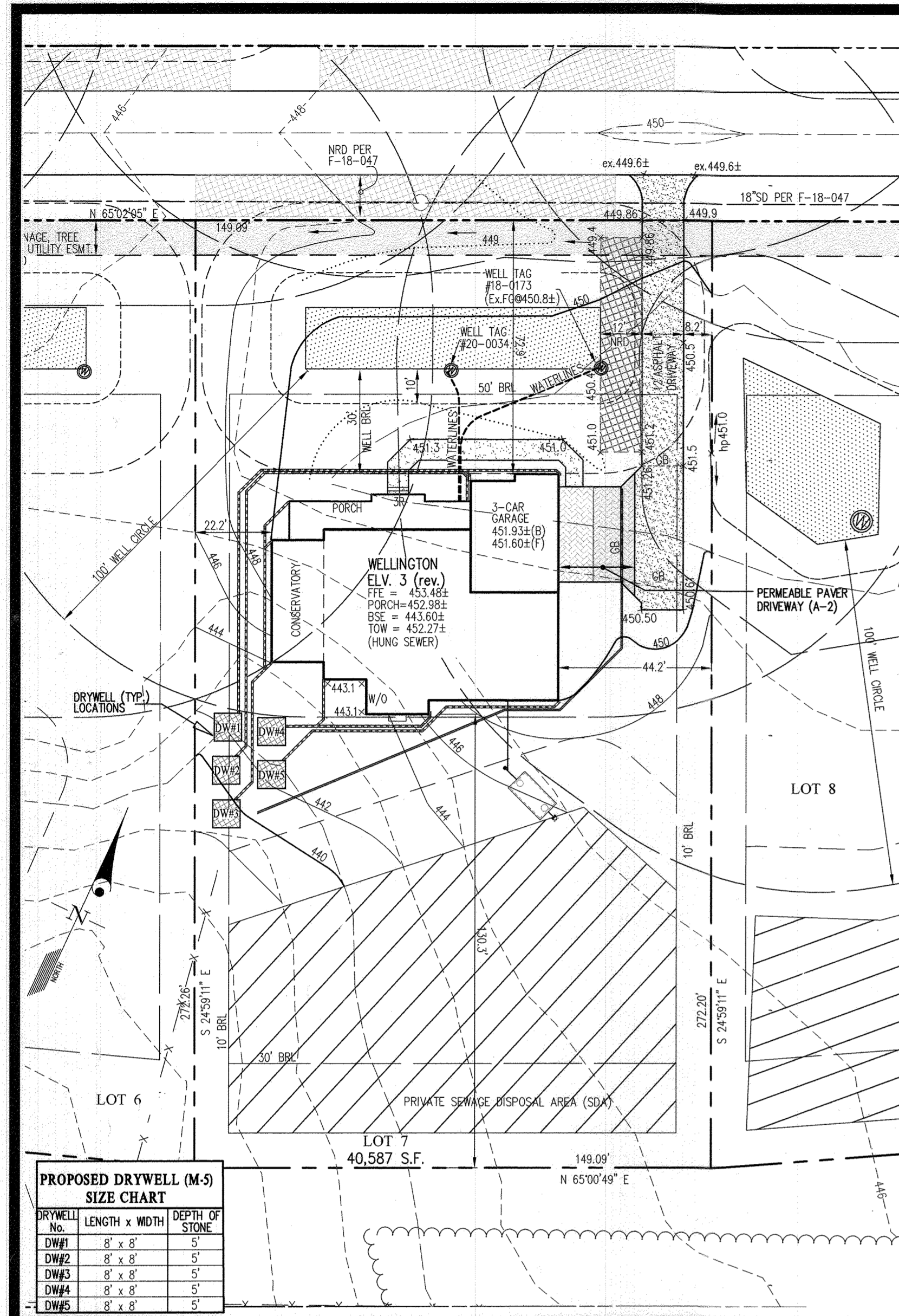


(REVISED) GRADING PLAN FOR HOUSE CONSTRUCTION

FULTON HILL
Lots 1-8, BUILDABLE PRESERVATION PARCEL A
AND NON-BUILDABLE BULK PARCEL B
A RE-SUBDIVISION OF LOT 2 OF THE ST. FRANCIS OF ASSISI SUBDIVISION
PLAT No. 25976-25980

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	RR-DEO	21096
DATE	TAX MAP - GRID	SHEET
APR. 2023	46-3	15 OF 17



LOT 7 GRADING FOR HOUSE CONSTRUCTION (from GP plan) SCALE: 1" = 30'

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)

- THE OWNER SHALL PERIODICALLY SWEEP (OR VACUUM POROUS CONCRETE PAVEMENT) THE PAVEMENT SURFACES TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT. WASHING OR COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
- THE OWNER SHALL PERIODICALLY CLEAN DRAINAGE PIPES, INLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SURFACE.
- THE OWNER SHALL USE DECIDERS IN MODERATION. DECIDERS SHOULD BE NON-TOXIC AND BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREATED SALT.
- THE OWNER SHALL ENSURE SNOW PLOWING IS PERFORMED CAREFULLY WITH BLADES SET ONE-INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOWMELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.

NOTE:

- SEE SEPARATE PLANS APPROVED BY THE HEALTH DEPARTMENT FOR PRIVATE SEWAGE DISPOSAL SYSTEMS ON EACH LOT.

LEGEND

- 430 - EXISTING CONTOUR
- 430 - PROPOSED 2-FT CONTOUR
- WELL BOX LOCATION
- PRIVATE SEWAGE DISPOSAL AREA
- PROPOSED DRIVEWAY, P-1 PAVING
- PROPOSED DISCONNECTION OF NON-ROOFTOP RUNOFF (M-2) AREA NOT TO EXCEED 5% GRADE, PRIVATELY OWNED AND MAINTAINED
- PROPOSED ROOF LEADER
- PROPOSED DRYWELL (M-5), PER H.O.C.O. DET. DPW D-9.01
- PROPOSED ASPHALT DRIVEWAY, P-1 PAVING
- PROPOSED DRIVEWAY APRON (LOT 7) PER H.O.C.O. DET. DPW R-6.05
- PROPOSED PERMEABLE PAVER DRIVEWAY (A-2), SEE DETAILS THIS SHEET

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Mary A. Kendall 6/21/23
Director Date

John Chant 6/15/23
Chief, Division of Land Development Date

John Chant 6-8-23
Chief, Development Engineering Division Date

GLW
PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20886 | GLWPA.COM
PHONE: 301-421-4024 | BALT: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY: mbt
DRAWN BY: klp
CHECKED BY: ckg

5-31-2023
DATE

ADDITIONAL MYLAR - To show show actual house, grading & swm for Lot 7
REVISION

klp
BY

APPR.

PREPARED FOR:

BUILDER/OWNER:
WILLIAMSBURG GROUP
5485 HARRERS FARM RD.
COLUMBIA, MD 21044
ATTN: BRUCE HARVEY
443-398-4358
bruceharvey@williamsburgllc.com

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12295
EXPIRATION DATE: MAY 26, 2024

5/30/23

(REVISED) GRADING PLAN FOR HOUSE CONSTRUCTION

FULTON HILL
Lots 1-8, BUILDABLE PRESERVATION PARCEL A AND NON-BUILDABLE BULK PARCEL B
A RESUBDIVISION OF LOT 2 OF THE ST. FRANCIS OF ASSISI SUBDIVISION
PLAT No. 25976-25980

SCALE: 1" = 30'

ZONING: RR-DEO

G. L. W. FILE No.: 21096

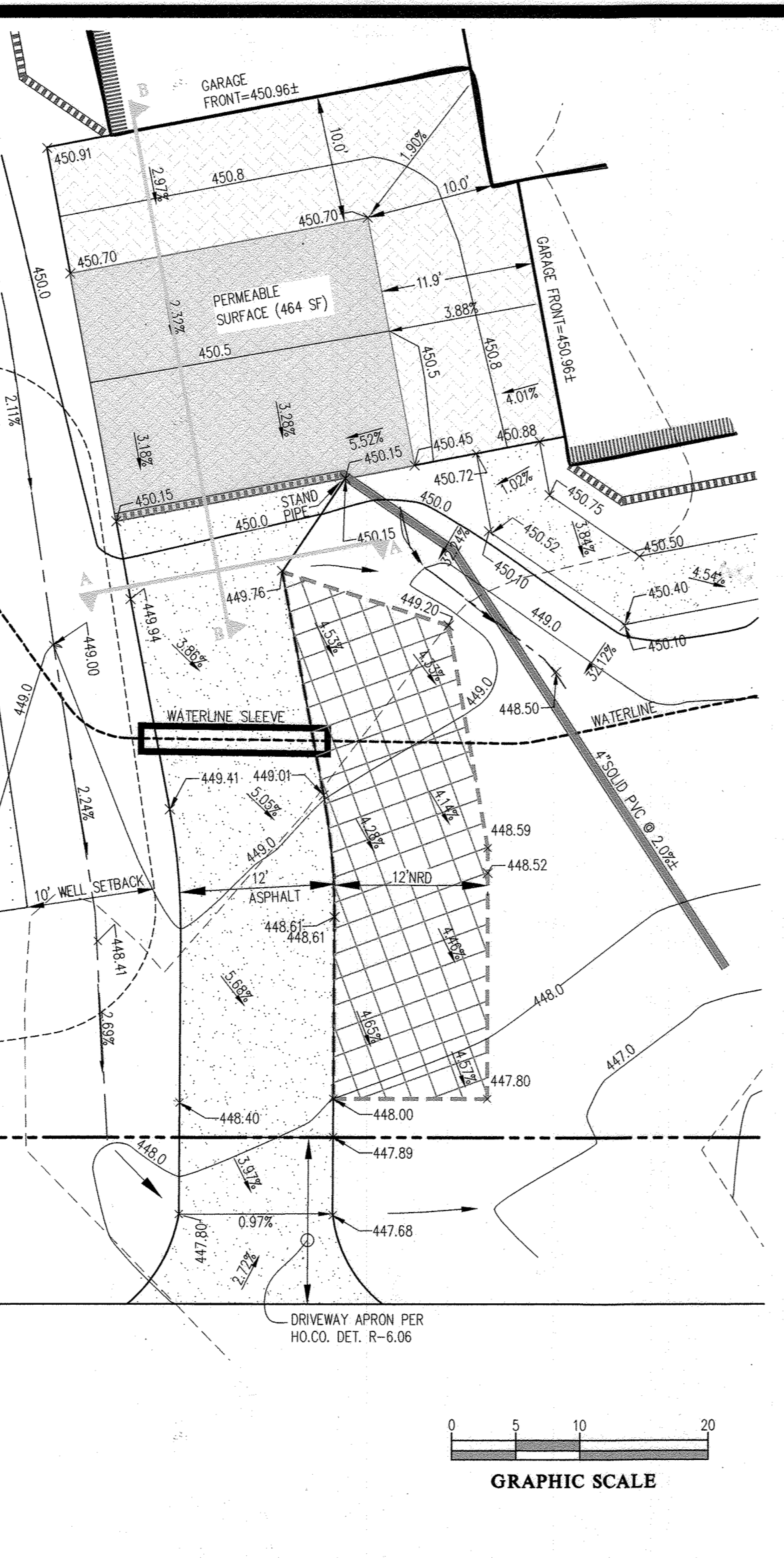
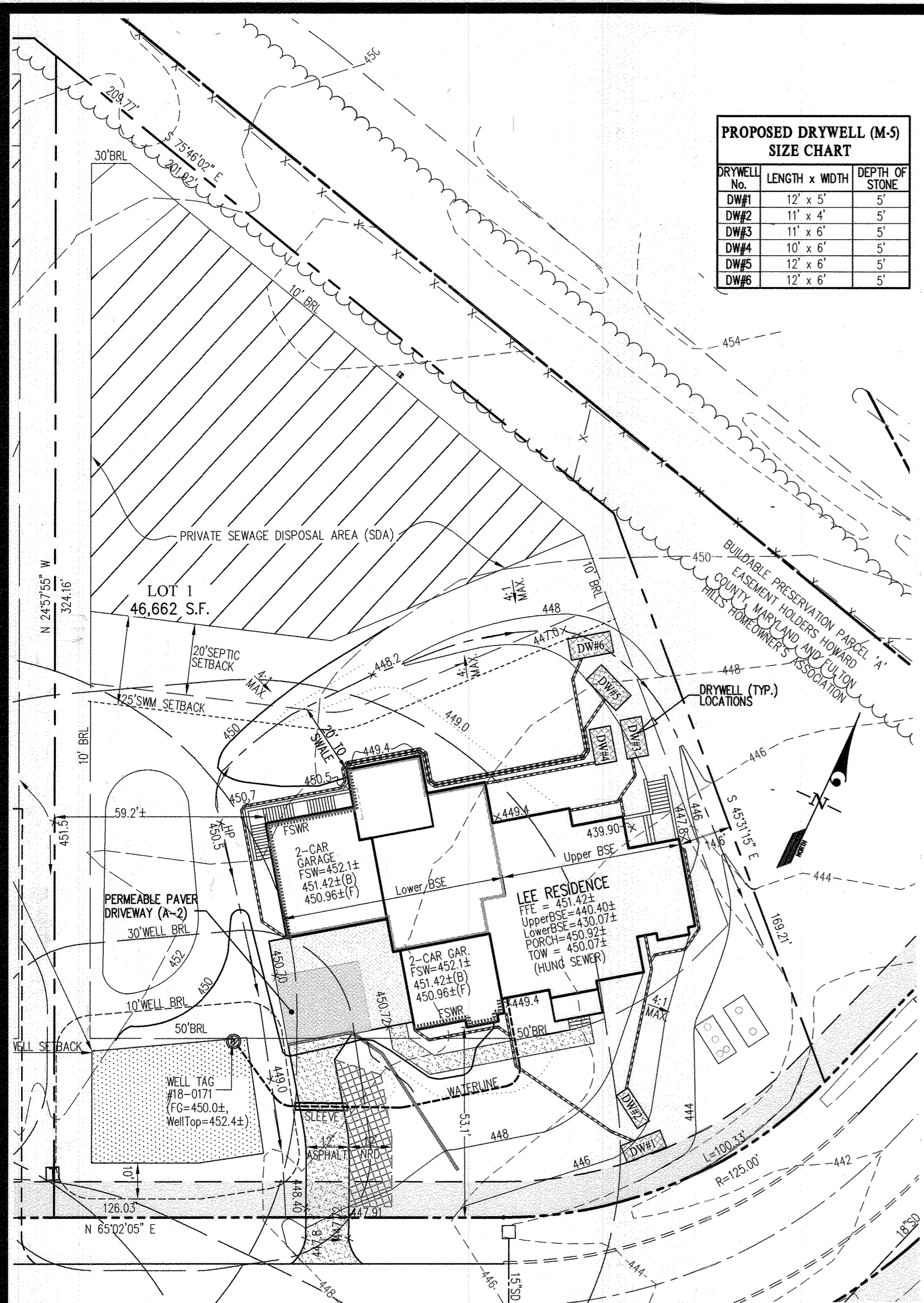
DATE: MAY 2023

TAX MAP - GRID: 46-3

SHEET: 16 OF 17

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



LOT 1 GRADING FOR HOUSE CONSTRUCTION (from GP plan) SCALE: 1" = 30'

LOT 1 PERMEABLE PAVER DRIVEWAY AND DRIVEWAY GRADING SCALE: 1" = 10'

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)

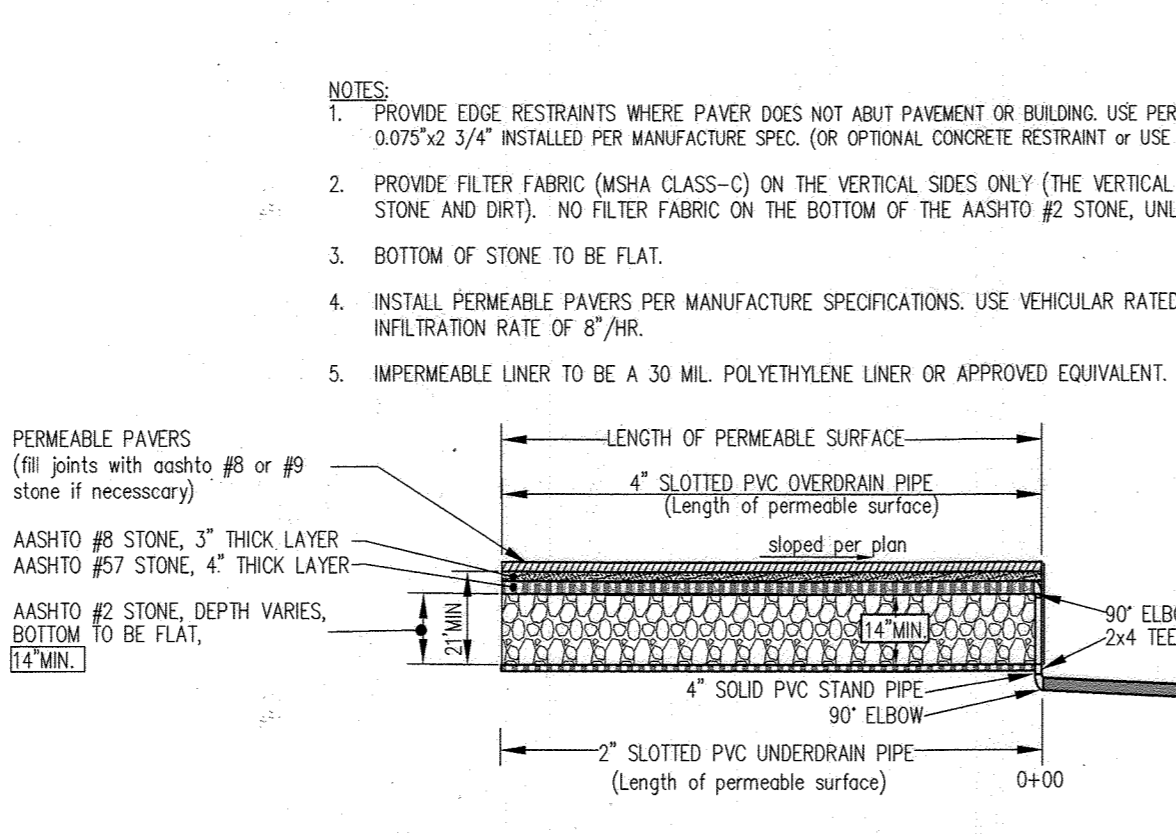
- THE OWNER SHALL PERIODICALLY SWEEP (OR VACUUM POROUS CONCRETE PAVEMENT) THE PAVEMENT SURFACES TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT. WASHING OR COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
- THE OWNER SHALL PERIODICALLY CLEAN DRAINAGE PIPES, INLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE.
- THE OWNER SHALL USE DEICERS IN MODERATION. DEICERS SHOULD BE NON-TOXIC AND BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREATED SALT.
- THE OWNER SHALL ENSURE SNOW PLOWING IS PERFORMED CAREFULLY WITH BLADES SET ONE-INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOWMELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)

- THE OWNER SHALL PERIODICALLY SWEEP (OR VACUUM POROUS CONCRETE PAVEMENT) THE PAVEMENT SURFACES TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT. WASHING OR COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
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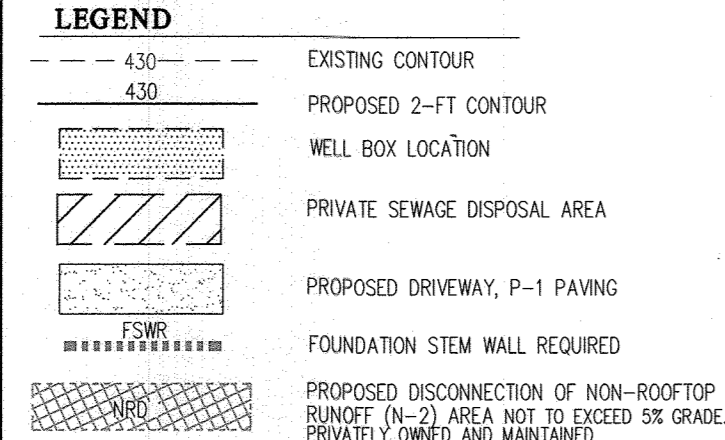
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)

- MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE OWNER SHALL ENSURE THE AREAS RECEIVING RUNOFF ARE PROTECTED FROM FUTURE COMPACTION OR DEVELOPMENT OF IMPERVIOUS AREA. IN COMMERCIAL AREA, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

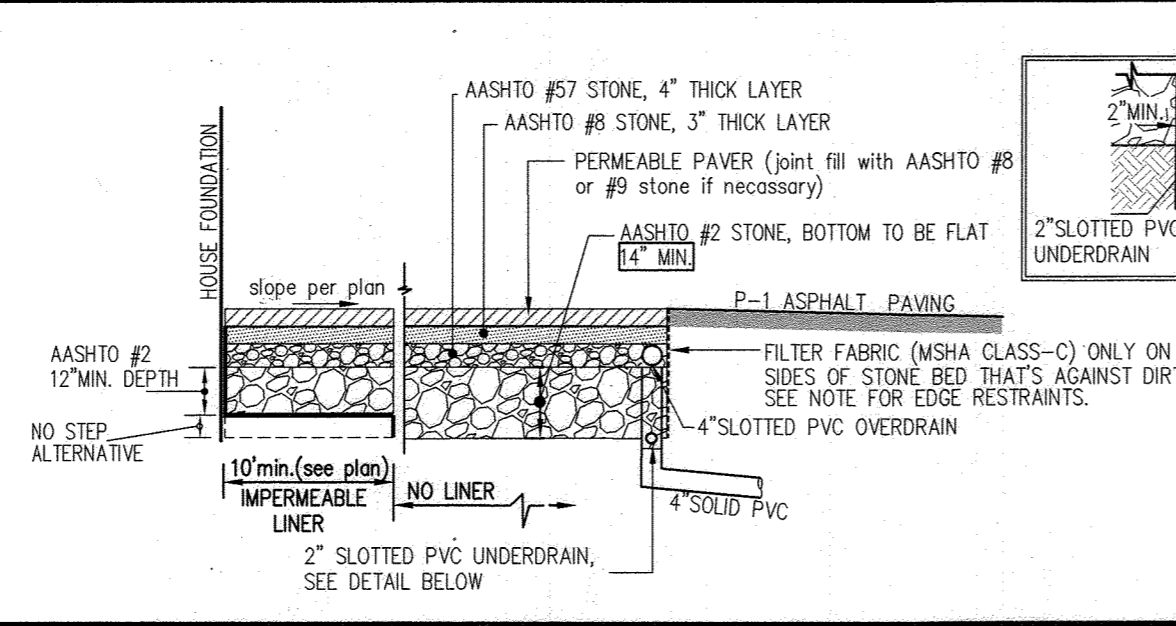


NOTE:

- SEE SEPARATE PLANS APPROVED BY THE HEALTH DEPARTMENT FOR PRIVATE SEWAGE DISPOSAL SYSTEMS ON EACH LOT.



LOT 1 PERMEABLE PAVER SECTION A-A NO SCALE



LOT 1 TYPICAL PERMEABLE PAVER SECTION B-B NO SCALE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Lynda E. Sawyer Director 7/10/23 Date

Paul Mueller Jr. Chief, Division of Land Development 7/6/23 Date

Paul Mueller Jr. Chief, Development Engineering Division 6/28/23 Date

GLW PLANNING | ENGINEERING | SURVEYING

3909 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
PHONE: 301-421-4024 | BALTO: 410-880-1820 | DC&VA: 301-989-2524 | FAX: 301-421-4186

DESIGNED BY:	DATE	REVISION	BY	APP'R.
kjp				
DRAWN BY:				
kjp				
CHECKED BY:				
ckg	6-13-2023	ADDITIONAL MYLAR - To show show actual house, grading & swm for Lot 1	kjp	

PREPARED FOR:

BUILDER:
MUELLER HOMES
7520 MAIN STREET, SUITE 201
SYKESVILLE, MD 21784
410-549-4444
PAUL MUELLER JR.
paul@muellerhomes.com

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975.

EXPIRATION DATE: MAY 26, 2024

6/15/23

(REVISED) GRADING PLAN FOR HOUSE CONSTRUCTION

FULTON HILL
Lots 1-8, BUILDABLE PRESERVATION PARCEL A AND NON-BUILDABLE BULK PARCEL B
A RE-SUBDIVISION OF LOT 2 OF THE ST. FRANCIS OF ASSISI SUBDIVISION
PLAT No. 25976-25980

SCALE: 1" = 30'

ZONING: RR-DEO

G. L. W. FILE No. 21096

DATE: JUNE 2023

TAX MAP - GRID: 46-3

SHEET: 17 OF 17

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND