

**LEGEND**

PROPOSED SEPTIC SYSTEM

SUPER SILT FENCE SSF — SSF — SSF

LIMIT OF DISTURBANCE — LOD

APPROVED SAND MOUND TEST SITE:

APPROVED PERCOLATION TEST SITE:

EXISTING WELL:

PROPOSED HOUSE SITE:

PROPOSED WELL SITE:

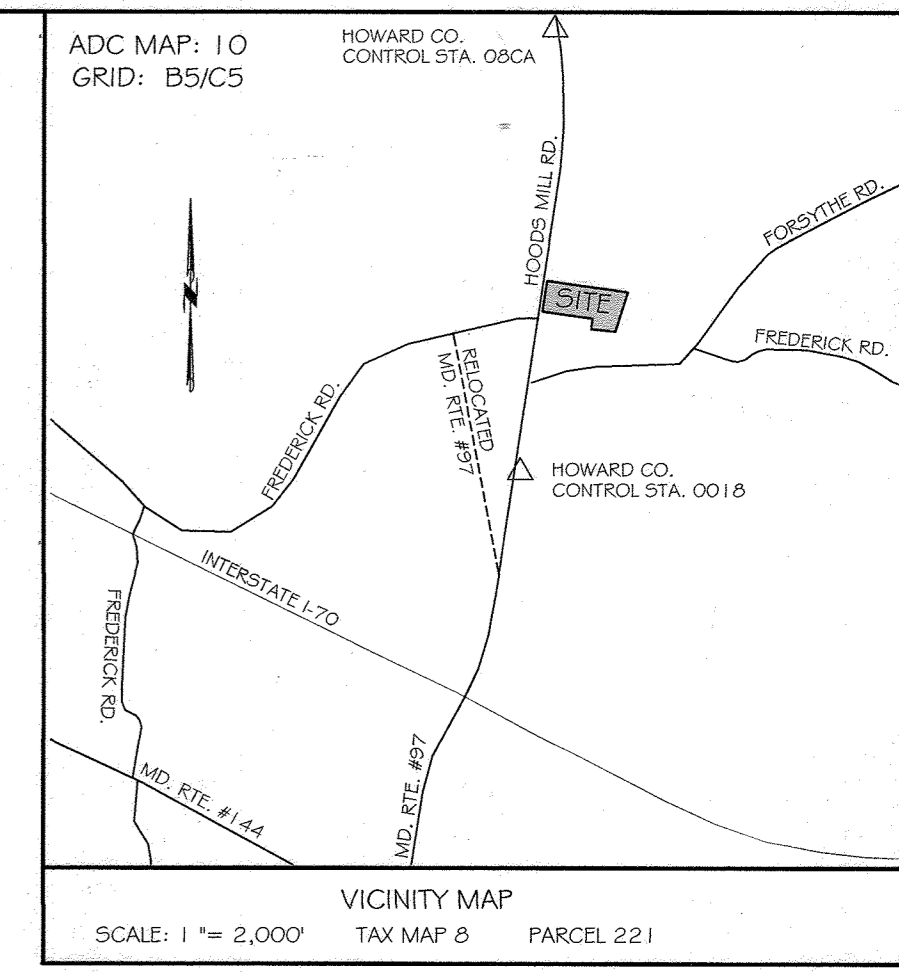
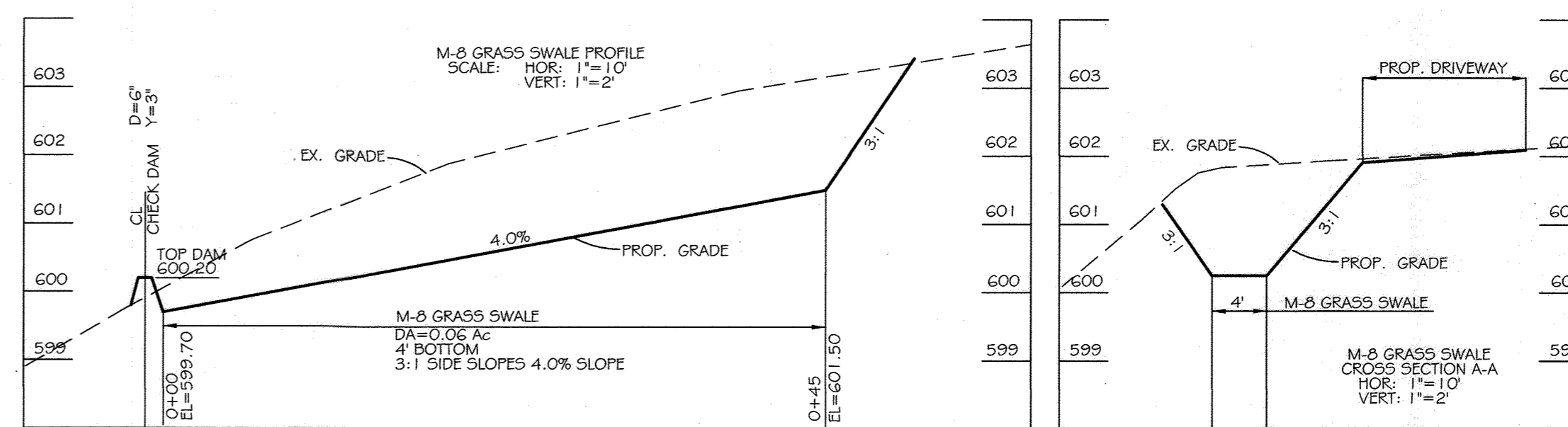
EXISTING TREE LINE

"STEEP" SLOPES AS DEFINED BY HOWARD COUNTY SCD (>20%)

SPECIMEN TREE

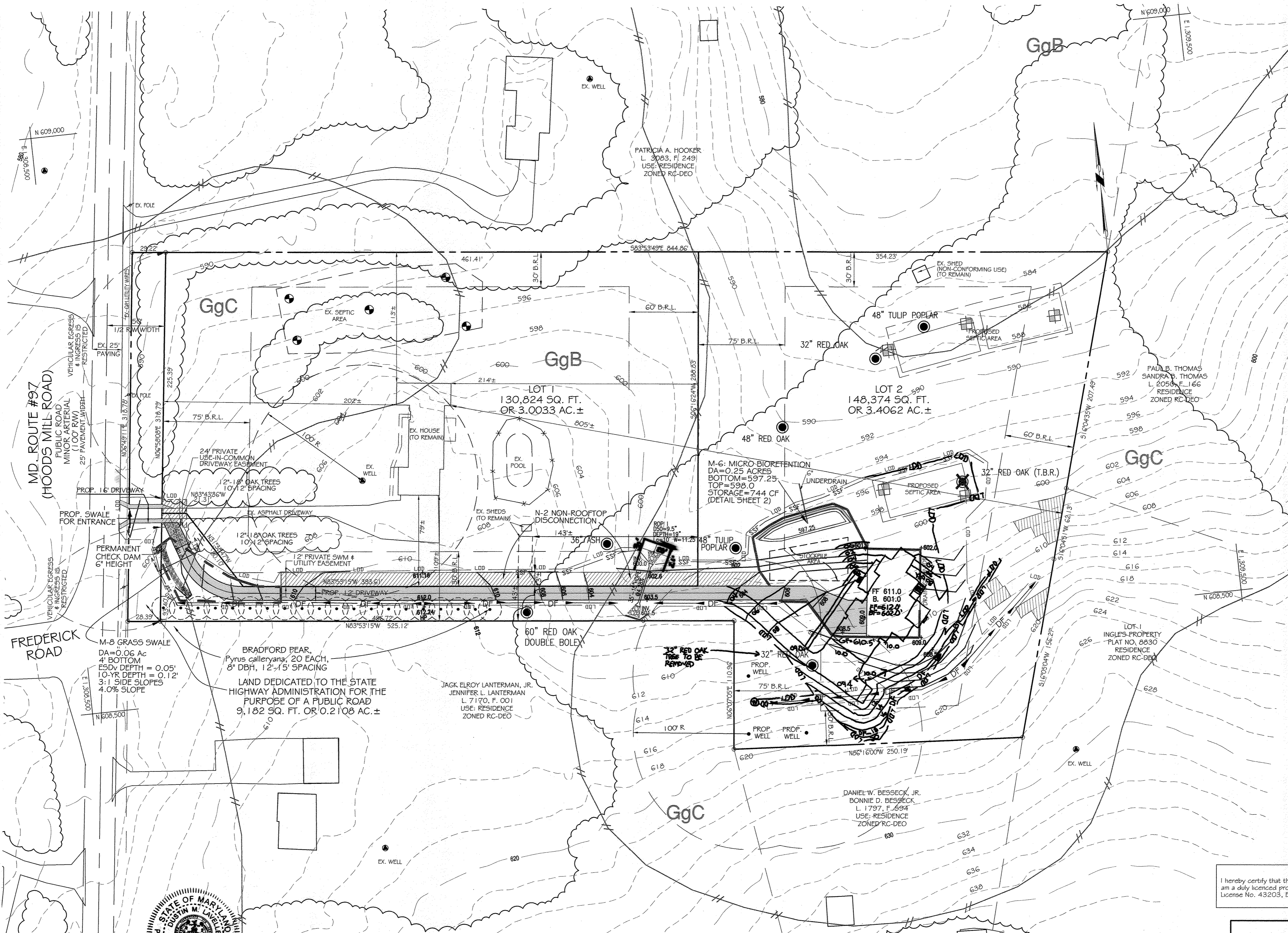
SOIL LEGEND					
MAP SYMBOL	MAPPING UNIT	HYDROLOGIC SOIL GROUP	HYDRIC COMPONENTS	Kw	SLOPE
GgB, GgC	GLENELG LOAM	B	NO	0.20	0-8%

HOWARD COUNTY SOILS MAP NO. 3



**GENERAL NOTES CONTINUED:**

- ALL AREAS SHOWN HEREON ARE + OR - . MORE OR LESS.
- TOTAL LIMIT OF DISTURBANCE = 51,172 S.F. / 1.17 AC.
- THE DRIVEWAY ENTRANCE MEETS STOPPING SIGHT DISTANCE (SSD) REQUIREMENTS.
- DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER TO FOLLOWING MINIMUM REQUIREMENTS:
  - Width - 12' (16' serving more than one residence).
  - Surface - 6" of compacted crusher run base with tar and chip coating - 1-1/2" min.
  - Geometry - Maximum 1.5% grade, maximum 10% grade change and minimum 45-foot turning radius.
  - Structures (overbridges) - Capable of supporting 25 gross tons (125 loading).
  - Drainage Elements - Capable of safely passing 100 year flood with no more than 1 foot depth over driveway surface.
  - Structure clearances - minimum 12 feet.
  - Maintenance - sufficient to ensure all weather use.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1280 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- THERE ARE NO WETLANDS, STREAMS, FLOODPLAINS OR BUFFERS ON THIS SITE.
- THE FOLLOWING SETBACKS APPLY TO THE PROPOSED HOUSE ON LOT 1.
  - DISTANCE TO WELL: 30'
  - DISTANCE TO SEPTIC: 20'
- THE PROPERTY IS NOT LOCATED WITHIN THE METROPOLITAN DISTRICT.
- THE PROPERTY IS NOT LOCATED ADJACENT TO A SCENIC ROAD.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- NO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT.
- PREVIOUS FILE NUMBER(S): ECP-15-024
- LANDSCAPING REQUIREMENTS ARE BEING MET BY CREDITS FROM EXISTING TREES. PERIMETERS 1-6 ARE MET BY EXISTING FOREST AND EXISTING BRADFORD PEARS. DETAILS AND DIMENSIONS CAN BE FOUND IN SCHEDULE A OF THE LANDSCAPING PLAN.
- THE PERCOLATION CERTIFICATION PLAN WAS APPROVED AND SIGNED BY THE HEALTH DEPARTMENT ON JANUARY 3, 2009.
- A ZONING VARIANCE OF 17 FT WAS REQUESTED FOR SECTION 104.0 E.4.a.3.c.1 OF THE ZONING REGULATIONS TO ALLOW THE EXISTING 355 SFT SHED ON LOT 1 TO BE 13 FT FROM THE PROPOSED LOT LINE. THE VARIANCE REQUEST, BA 15-016V, WAS APPROVED ON JULY 13, 2015.



**GENERAL NOTES:**

- OWNER: MILLARD TAYLOR & G. ARLENE TAYLOR  
DEED REFERENCE: LIBER 10720 AT FOLIO 120  
DATE: MAY 29, 2007  
GRANTOR: MILLARD TAYLOR & G. ARLENE TAYLOR, TRUSTEE
- TAX MAP: 8 PARCEL: 221
- NEAREST POTABLE WATER SUPPLY: MT. AIRY DISTANCE: 4.5 MILES ±.
- THE SUBJECT PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD AREA PER NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 24027C00350, AS OF NOVEMBER 6, 2013.
- EXISTING ON-SITE TOPOGRAPHY AND PLANIMETRICS ARE FROM A FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY VANMAR ASSOCIATES, INC. DATED SEPTEMBER 12, 2014. TOPOGRAPHY AND PLANIMETRICS ON ADJOINING PROPERTIES TAKEN FROM COPYRIGHTED 2011 GIS DATA FROM HOWARD COUNTY, MARYLAND. VERTICAL DATUM IS NAVD83 PER SURVEY CONTROL STATIONS LISTED BELOW.
- THE BASIS OF BEARINGS FOR THIS PLAN IS THE MARYLAND COORDINATE SYSTEM (NAD83/91) PER HOWARD COUNTY SURVEY CONTROL STATIONS  
NO. CO. STA. 08CA N. 610,521.247 E. 1,308,742.138 (PT.) ELEV. 625.03  
NO. CO. STA. 001B N. 607,637.318 E. 1,308,424.256 (PT.) ELEV. 626.86  
DISTANCES SHOWN HEREON ARE ROUND DISTANCES.
- THERE ARE NO WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY BOUNDARY UNLESS OTHERWISE SHOWN HEREON.
- THE EXISTING WELLS SHOWN ON THIS PLAN HAVE BEEN FIELD LOCATED BY VANMAR ASSOCIATES OR TAKEN FROM AVAILABLE RECORDS AND ACCURATELY SHOWN. HOWARD COUNTY SOILS MAP NO. 3.
- SOIL TYPE: GLENELG LOAM (GgB), (GgC), HOWARD COUNTY SOILS MAP NO. 3.
- THE SUBJECT PROPERTY IS ZONED RC-DEO PER THE 10/06/13 COMPREHENSIVE ZONING REGULATIONS.
- ALL WELLS TO BE DRILLED PRIOR TO FINAL PLAT SIGNATURE. IT IS THE DEVELOPER'S RESPONSIBILITY TO SCHEDULE THE WELL DRILLING PRIOR TO THE FINAL PLAT SUBMISSION. IT WILL NOT BE CONSIDERED "GOVERNMENT DELAY" IF THE WELL DRILLING HOLDS UP THE HEALTH DEPARTMENT SIGNATURE OF THE RECORD PLAT.
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREAS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT REGULATIONS.
- THERE ARE NO HISTORIC SITES OR CEMETERIES ON THIS PROPERTY.
- NO STEEP SLOPES, WETLANDS, FLOODPLAIN, STREAMS OR THEIR BUFFERS EXIST WITHIN THE LOD. 0.57 ACRES OF FOREST STAND #1 IS PROPOSED TO BE DISTURBED. ONE SPECIMEN TREE EXISTS WITHIN THE LIMITS OF DISTURBANCE FOR WHICH A WAIVER PETITION WILL NOT BE REQUIRED DUE TO THE FOREST CONSERVATION EXEMPTION STATUS AS OUTLINED IN NOTE #16.
- THERE ARE EIGHT (8) SPECIMEN TREES LOCATED ON SITE WITH ONE PROPOSED FOR REMOVAL.
- THIS SUBDIVISION IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202(b)(1)(iv) OF THE FOREST REGULATIONS. THE PROJECT IS A MINOR SUBDIVISION TO CREATE ONE ADDITIONAL LOT WITH NO FURTHER SUBDIVISION POTENTIAL.
- STORMWATER MANAGEMENT FOR LOT 2 IS PROVIDED UNDER THE CHAPTER 5 OF THE 2009 REVISIONS TO THE 2000 MD STORMWATER MANAGEMENT DESIGN MANUAL AND MEETS ESD TO THE MEP. THESE REQUIREMENTS ARE BEING MET BY THE USE OF NON-ROOFTOP DISCONNECTION (N-2), MICRO-BIORETENTION (M-6) AND A GRASS SWALE (M-8).
- THERE IS AN EXISTING DWELLING / STRUCTURE ON LOT 1. NO NEW BUILDINGS, EXTENSIONS, OR ADDITIONS TO THE EXISTING DWELLING ARE TO BE CONSTRUCTED AT A DISTANCE LESS THAN THE ZONING REGULATIONS.
- DEVELOPER RESERVES UNTO ITSELF, ITS SUCCESSORS AND ASSIGNS, ALL EASEMENTS SHOWN ON THIS PLAN FOR WATER, SEWER, STORM DRAINAGE, OTHER PUBLIC UTILITIES LOCATED IN, ON, OVER AND THROUGH LOTS / PARCELS. ANY CONVEYANCES OF THE FORESAID LOTS / PARCELS SHALL BE SUBJECT TO THE EASEMENTS HEREIN RESERVED, WHETHER OR NOT EXPRESSLY STATED IN THE DEED CONVEYING SAID LOTS / PARCELS. DEVELOPER SHALL EXECUTE AND DELIVER DEEDS FOR THE EASEMENTS HEREIN RESERVED TO HOWARD COUNTY WITH A METES AND BOUNDS DESCRIPTION. UPON COMPLETION OF THE PUBLIC UTILITIES AND THEIR ACCEPTANCE BY HOWARD COUNTY, THE COUNTY SHALL ACCEPT THE EASEMENTS AND RECORD THE DEEDS OF EASEMENTS IN THE LAND RECORDS OF HOWARD COUNTY.

**SHEET INDEX**

- SOILS / TOPOGRAPHY / GRADING / STORMWATER MANAGEMENT PLAN
- SEDIMENT & EROSION CONTROL AND SWM NOTES & DETAILS
- LANDSCAPE PLAN

APPROVED

HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Keith S. ...* 8-27-15  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Phil ...* 8-26-17  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

STATE OF MARYLAND  
SUSAN M. LIEBER  
PROFESSIONAL LAND SURVEYOR

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. ...* 8/26/15  
HOWARD SOIL CONSERVATION DISTRICT DATE

SITE ANALYSIS DATA SHEET		ACRES
PROPOSED SITE USE	RESIDENTIAL	
WETLANDS		0.00
WETLANDS BUFFER		0.00
FLOODPLAIN		0.00
FORESTS		2.32
STEEP SLOPES (20% OR GREATER)		0.04
TOTAL PROJECT AREA		6.62
LOD AREA		1.17
GREEN OPEN SPACE AREA		0.00
EX. IMPERVIOUS AREA		0.22
PROP. IMPERVIOUS AREA		0.25
HIGHLY ERODIBLE SOILS IN PROJECT AREA		0.04

PROFESSIONAL CERTIFICATION

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 43203, Expiration Date: 12-20-2016.

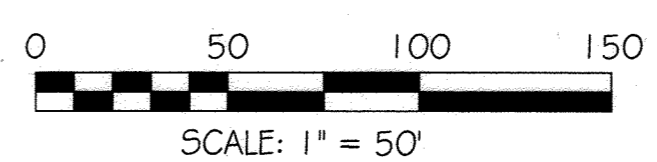
MILLARD TAYLOR  
G. ARLENE TAYLOR  
1195 HOODS MILL ROAD  
COOKSVILLE, MARYLAND 21723  
(410) 381-7899

VII12024 RED-LINE REVISION FOR LOT 2

SUPPLEMENTAL PLAN  
SOILS/ TOPOGRAPHY/ GRADING/ STORMWATER MANAGEMENT  
MILLARD TAYLOR SUBDIVISION  
LOTS 1 & 2  
(LIBER 10720 AT FOLIO 120)

TAX MAP: 8 ELECTION DISTRICT: No. 4 SCALE: 1" = 50'  
GRID NO: 11 HOWARD COUNTY, MARYLAND DATE: AUGUST, 2015  
PARCEL NO: 221 EX. ZONING: RC-DEO SHEET 1 OF 3

VANMAR ASSOCIATES, INC.  
Engineers Surveyors Planners  
310 South Main Street Mount Airy, Maryland 21771  
(301) 829-2880 (301) 831-5015 (410) 549-2751  
Fax (301) 831-5693 ©Copyright, Latest Date Shown





B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

Definition: The process of preparing the soils to sustain adequate vegetative stabilization. Purpose: To provide a suitable soil medium for vegetative growth. Conditions Where Practice Applies: Where vegetative stabilization is to be established.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

Definition: To stabilize disturbed soils with vegetation for up to 6 months. Purpose: To use fast growing vegetation that provides cover on disturbed soils. Conditions Where Practice Applies: Exposed soils where ground cover is required for a period of 6 months or less.

Table with 6 columns: No., Species, Application Rate (lb/ac), Seeding Dates, Seeding Depths, Fertilizer Rate (10-20-20), Lime Rate. Includes rows for Annual Ryegrass and Fescue.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

Definition: To stabilize disturbed soils with permanent vegetation. Purpose: To use long-lived perennial grasses and legumes to establish permanent ground cover on disturbed soils.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

Definition: The application of seed and mulch to establish vegetative cover. Purpose: To protect disturbed soils from erosion during and at the end of construction.

Table with 6 columns: No., Species, Application Rate (lb/ac), Seeding Dates, Seeding Depths, Fertilizer Rate (10-20-20), Lime Rate. Includes rows for Kentucky Bluegrass and Fescue.

APPROVED HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Chief, Division of Land Development: 8/27/15. Chief, Development Engineering Division: 8/26/15.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. Date: 8/14/15.

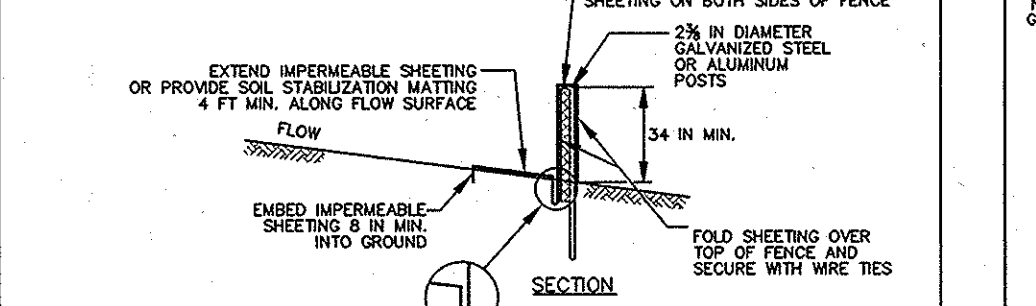
B. Sod: To provide quick cover on disturbed areas (2:1 grade or flatter).

General Specifications: Class of turfgrass must be Maryland State Certified. Sod must be machine cut to a uniform soil thickness of 3/4 inch, plus or minus 1/4 inch, at the time of cutting. Sod must be harvested or transplanted when moisture content is between 10 and 15 percent.

TABLE - STONE SIZE

Table with 6 columns: Number, Size Range, D50, D100, AASHTO, Weight. Lists stone sizes for various applications.

DETAIL C-9 DIVERSION FENCE



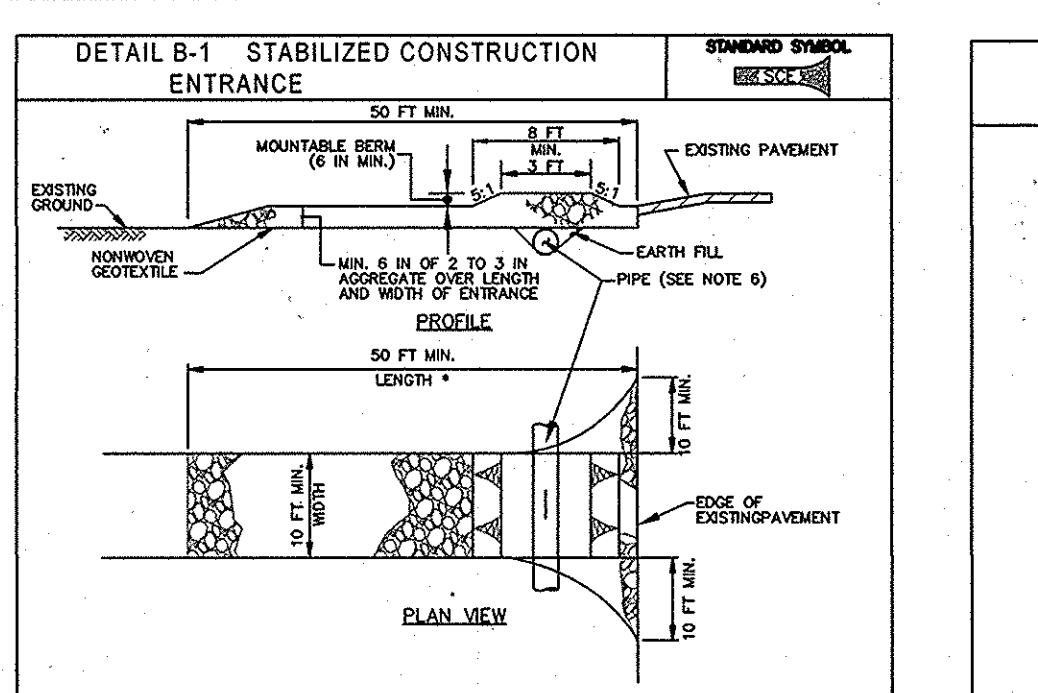
CONSTRUCTION SPECIFICATIONS: 1. PREPARE DIVERSION FENCE IN ACCORDANCE WITH THE CONSTRUCTION SPECIFICATIONS DESCRIBED IN SECTION 2.1, STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION, OR AS SPECIFIED ON PLAN.

TEMPORARY STOCKPILE NOTE

SITE EARTHWORK HAS BEEN BALANCED SUCH THAT A TEMPORARY STOCKPILE SHOULD NOT BE NECESSARY. SHOULD CONTRACTOR DECIDE TO USE A STOCKPILE, CONTRACTOR SHALL PLACE STOCKPILE ON SUITABLE ELEVATION AND FOLLOW TEMPORARY STABILIZATION NOTES.

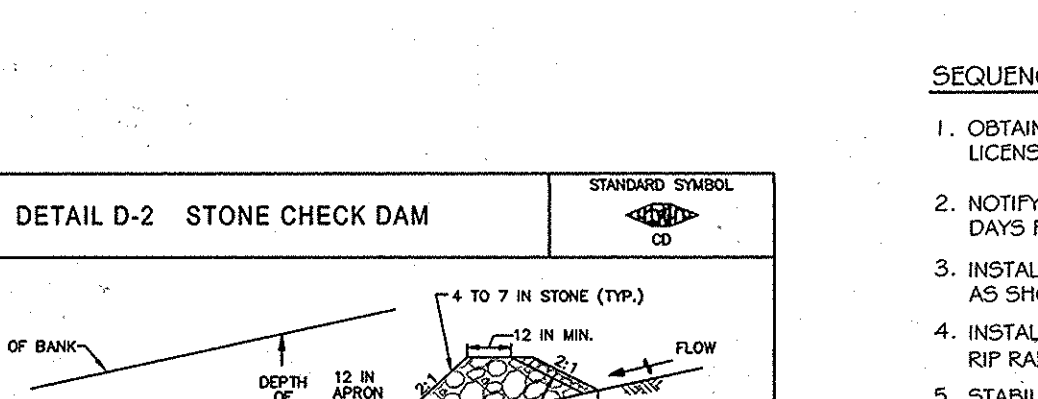
B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

Definition: The footprint or pile of soil protected by appropriately designed erosion and sediment control measures. Purpose: To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and discharge to drainage patterns.

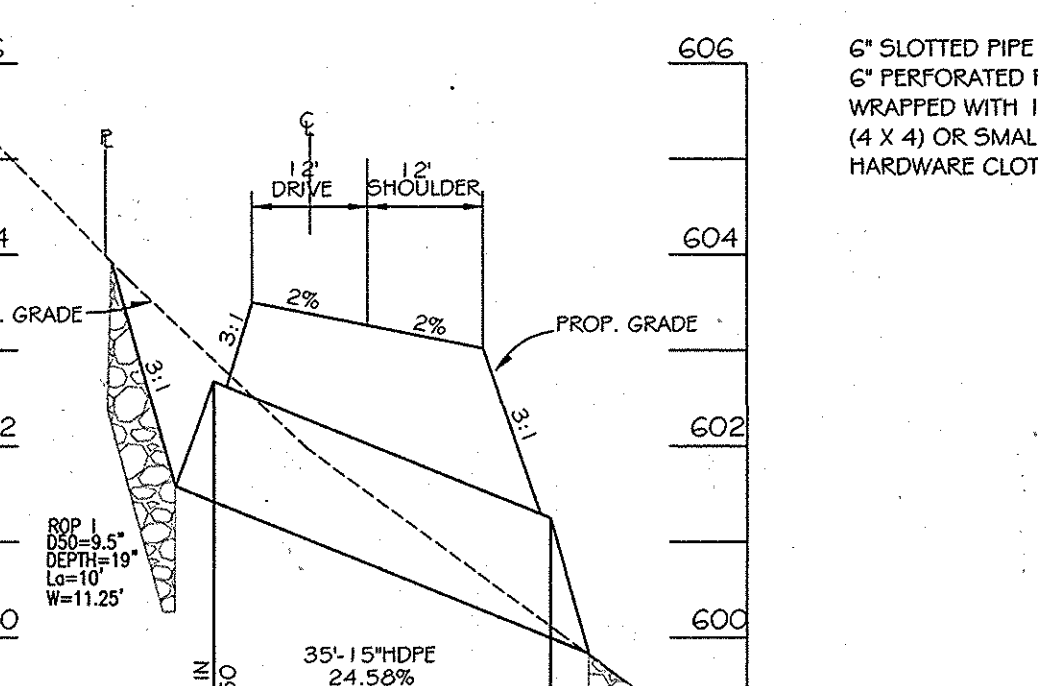
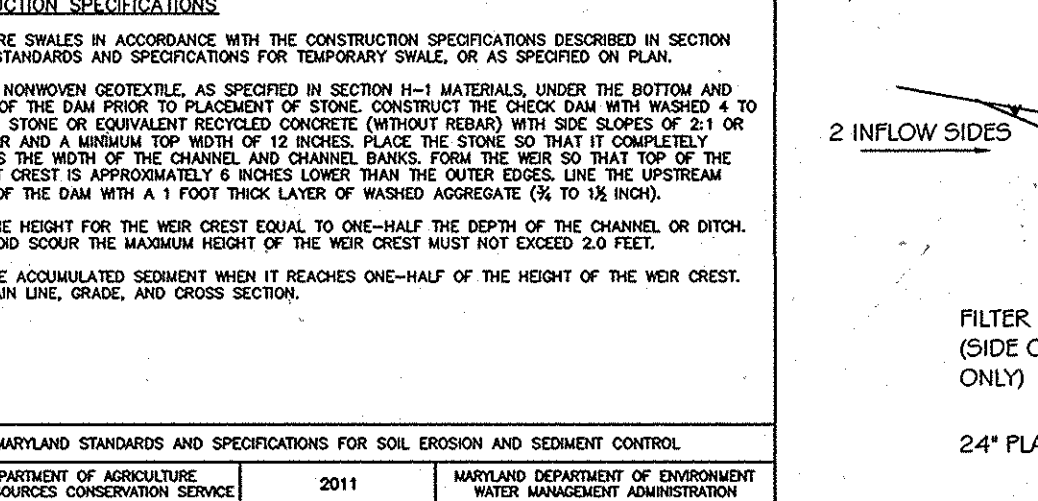


CONSTRUCTION SPECIFICATIONS: 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SOIL. USE MINIMUM LENGTH OF 50 FEET (15 METERS) FOR SINGLE RESIDENCE LOTS.

DETAIL D-2 STONE CHECK DAM

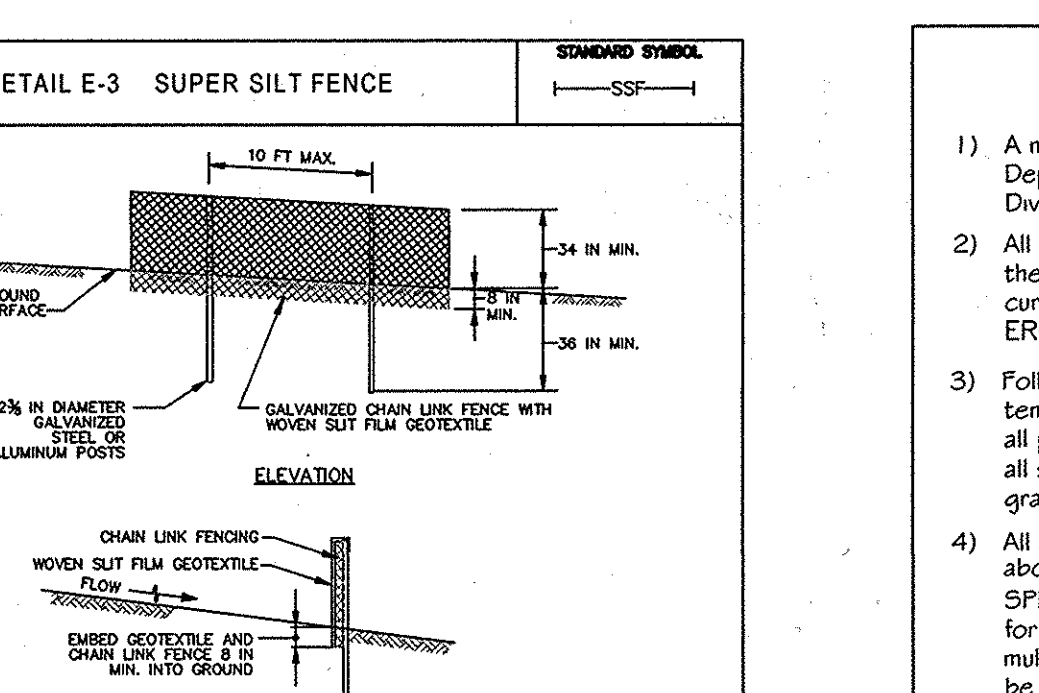


CONSTRUCTION SPECIFICATIONS: 1. PREPARE DAMS IN ACCORDANCE WITH THE CONSTRUCTION SPECIFICATIONS DESCRIBED IN SECTION 2.2, STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION, OR AS SPECIFIED ON PLAN.



STANDARD STABILIZATION NOTE

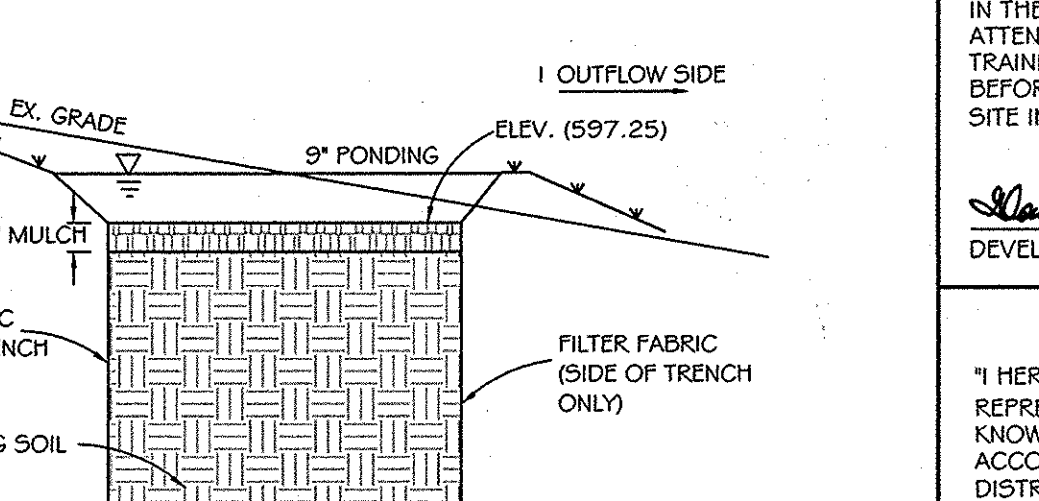
FOLLOWING INITIAL SOIL DISTURANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN: A. THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND B. SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.



CONSTRUCTION SPECIFICATIONS: 1. INSTALL 24 INCH DIAMETER GALVANIZED STEEL POSTS OF 6.05 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS TO A MINIMUM OF 36 INCHES INTO THE SUBSTRATE.

SEQUENCE OF CONSTRUCTION

- 1. OBTAIN ALL REQUIRED GRADING, MDE PERMITS, APPROVALS AND LICENSES FROM APPROPRIATE AGENCIES. (1 WEEK)
2. NOTIFY SEDIMENT CONTROL INSPECTOR AT LEAST THREE (3) WORKING DAYS PRIOR TO STARTING WORK. (1 DAY)
3. INSTALL STABILIZED CONSTRUCTION ENTRANCES. INSTALL SUPER SILT FENCE AS SHOWN IN THE SEDIMENT CONTROL PLAN. (1 WEEK)
4. INSTALL DIVERSION FENCE AND DRIVEWAY CULVERT AND ASSOCIATED RIP RAP PROTECTION. (1 WEEK)
5. STABILIZE ALL THE GRADED AREAS UP TO 20' OUTSIDE OF THE LIMIT OF GRADING AS PER PERMANENT SEEDING NOTES. (2 WEEKS)
6. ONCE THE SEDIMENT CONTROL DEVICES ARE INSTALLED THE PERMITTEE MUST OBTAIN APPROVAL FROM THE INSPECTOR BEFORE PROCEEDING WITH ADDITIONAL CLEARING, GRUBBING OR GRADING. (1 WEEK)
7. INSTALL DRIVEWAY. (1 WEEK)
8. ANY AREAS THAT CAN BE TEMPORARILY SEEDED DURING CONSTRUCTION MUST BE TEMPORARILY STABILIZED PER SEEDING NOTES.
9. CONSTRUCT HOME AND SWAN FACILITIES, M-6: MICRO BIORETENTION AND M-6S: GRASS SWALE. (6 MONTHS)
10. FINAL GRADING OF SITE, STABILIZE DISTURBED AREAS PER PERMANENT SEEDING NOTES.
11. UPON APPROVAL OF SEDIMENT CONTROL INSPECTOR, REMOVE ALL TEMPORARY SEDIMENT CONTROL DEVICES FOR HOUSE CONSTRUCTION.
12. NOTIFY INSPECTOR FOR FINAL INSPECTION.



OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION: A. ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAY: IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)

1. MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE AREAS RECEIVING RUNOFF SHOULD BE PROTECTED FROM FUTURE COMPACTION OR DIVERSION OF IMPERVIOUS AREA. IN COMMERCIAL AREA, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

- 1) A minimum of 46 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction. (3:1; 1855).
2) All vegetative and structural practices are to be installed according to the provisions of the plan and are to be in conformance with the most current MARYLAND STANDARDS AND SPECIFICATIONS FOR THE SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.
3) Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within: a) 3 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 7 days as to all other disturbed or graded areas on the project site.
4) All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding (Sec. B-4-4), temporary seeding (Sec. B-4-4) and mulching (Sec. B-4-3). Temporary stabilization with mulch alone can only be used when recommended seeding dates do not allow for proper germination and establishment of grasses.
5) All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
6) Site Analysis: Total Area of Site: 6.64 Acres. Area Disturbed: 1.17 Acres. Area to be seeded or paved: 0.28 Acres. Area to be vegetatively stabilized: 0.79 Acres. Total Cut: 0.00 Yds. Total Fill: 0.00 Yds. Offsite waste/borrow area location N/A. Location must have active grading permit and as approved by inspector.
7) Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
8) Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
9) On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until the initial approval by the inspection agency is made.
10) Trenches for the construction of utilities is limited to: three pipe lengths or that which can be back filled and stabilized within one working day, whichever is shorter.
11) Any changes or revisions to the sequence of construction must be reviewed and approved by the plan approval authority prior to proceeding with construction.
12) A project is to be sequenced so that grading activities begin on one grading unit at a time. The maximum acreage of 20 ac. per grading unit at a time. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the enforcement authority. Unless otherwise specified and approved by the approval authority, no more than 30 acres cumulatively may be disturbed at a given time.
13) Either temporary or permanent stabilization is to be performed at the direction of the sediment control inspector or at the intervals required by the 2011 Maryland Standards and Specifications whichever is more restrictive.

DEVELOPER'S CERTIFICATE:

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT AND THE 2011 MARYLAND STANDARDS & SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION

- A. ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAY: IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND WEED INFESTATION AND MAINTENANCE WILL ADDRESS DISEASE AND WEED INFESTATION.
B. SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. ALL THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDERED BY OND TREATMENT. TREATMENT OF ALL DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES.
C. MULCH SHALL BE INSPECTED EACH SPRING. REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER EVERY 2 TO 3 YEARS.
D. SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)

- 1. MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE AREAS RECEIVING RUNOFF SHOULD BE PROTECTED FROM FUTURE COMPACTION OR DIVERSION OF IMPERVIOUS AREA. IN COMMERCIAL AREA, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

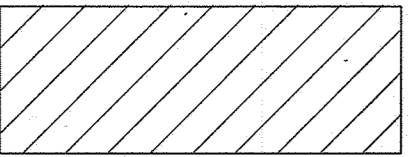



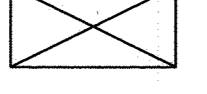



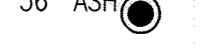
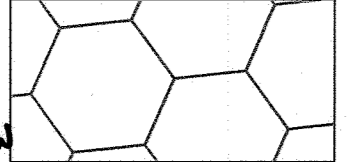
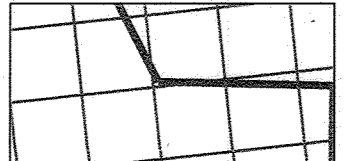
SUPPLEMENTAL PLAN

SEDIMENT & EROSION CONTROL AND STORMWATER MANAGEMENT NOTES AND DETAILS LOTS 1 AND 2 MILLARD TAYLOR SUBDIVISION (LIBER 10720 AT FOLIO 120) OWNER: MILLARD TAYLOR 1195 HOODS ROAD CROOKSETT, MARYLAND 21723 (410) 381-7899

Professional certification and seal of the State of Maryland Professional Engineer, Melanie L. Repp, P.E., No. 42889, dated 8/14/15.

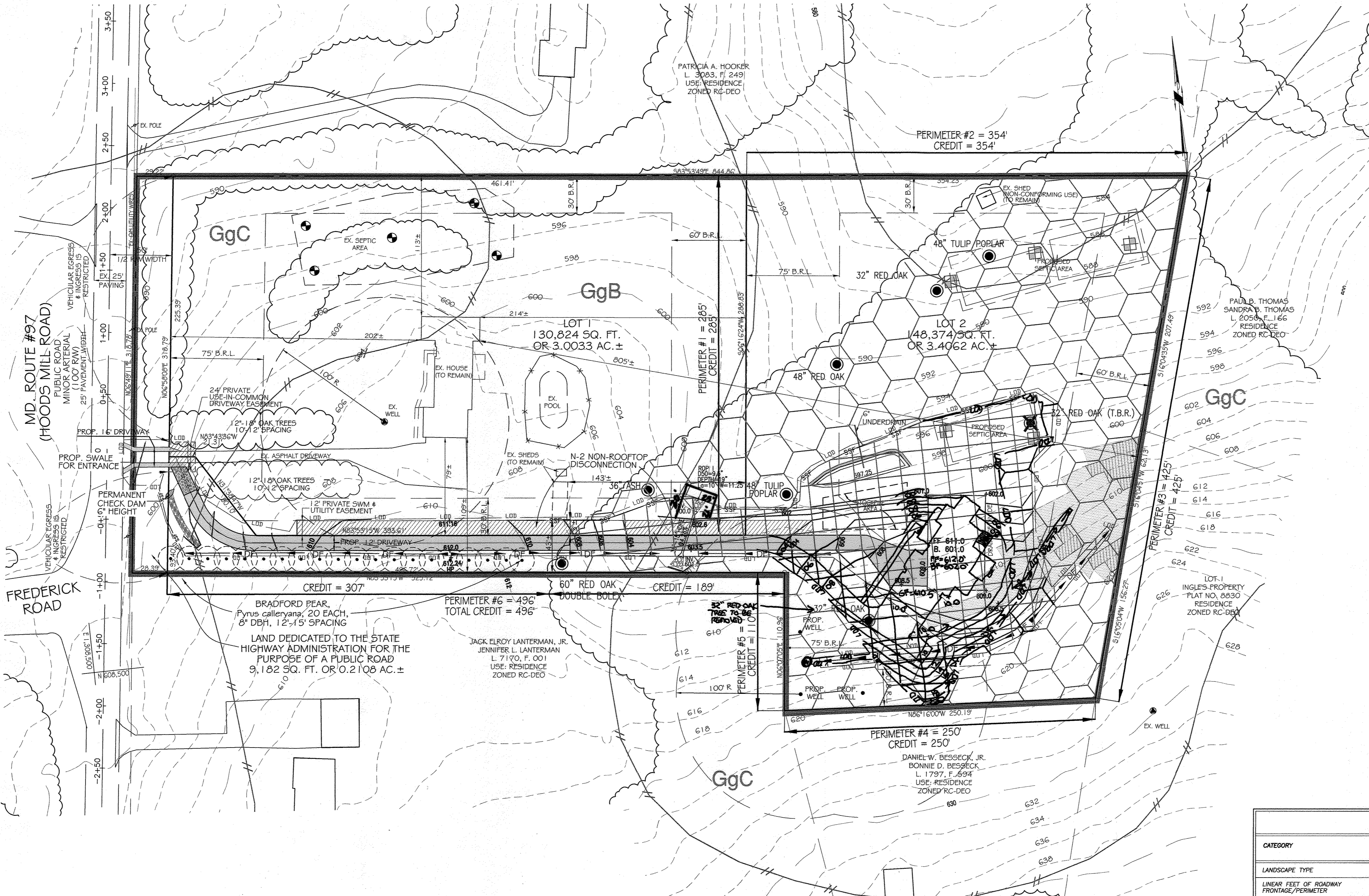
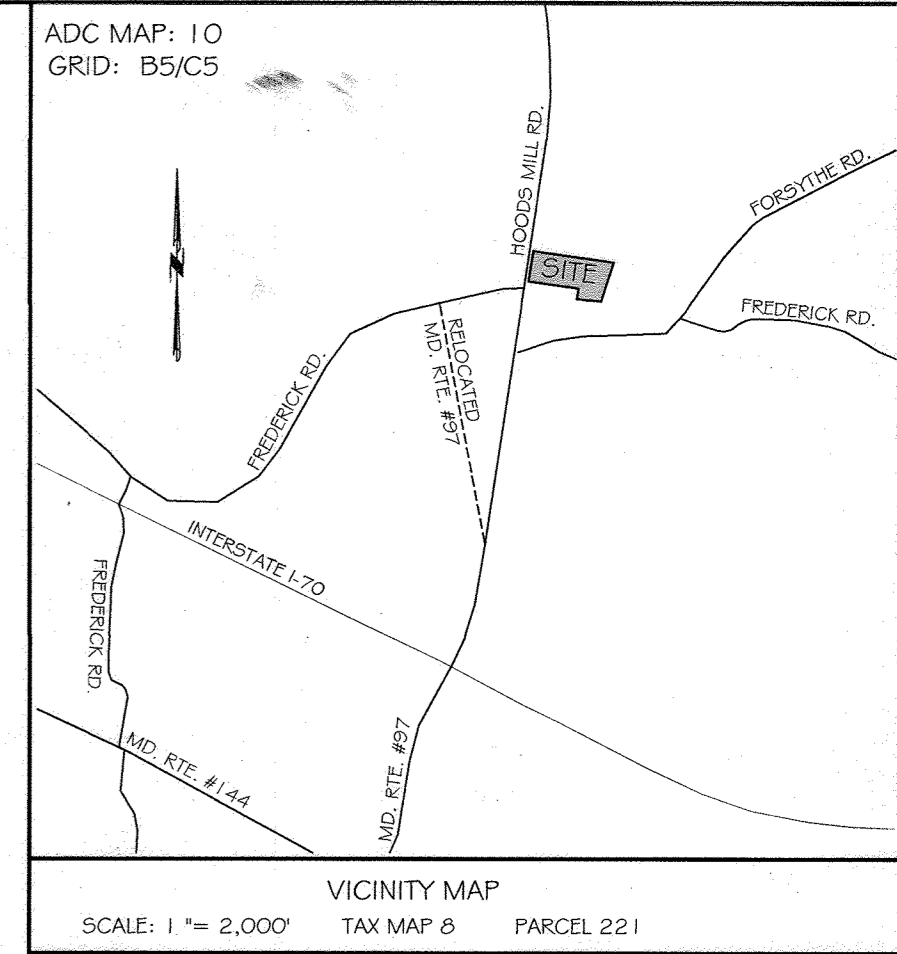


**LEGEND**

- PROPOSED SEPTIC SYSTEM 
- SUPER SILT FENCE SSF — SSF — SSF
- LIMIT OF DISTURBANCE — LOD —
- (PASSED) PERCOLATION TEST SITE: 
- (FAILED) PERCOLATION TEST SITE: 
- EXISTING WELL: 
- PROPOSED HOUSE SITE: 
- PROPOSED WELL SITE: 
- EXISTING TREE LINE 
- EXISTING HEDGE ROW BRADFORD PEAR 8" DBH 
- EXISTING SPECIMEN TREE 36" ASH 
- FOREST RETAINED (NOT FOREST CONSERVATION EASEMENT) 
- FOREST REMOVED 

**LANDSCAPE NOTES**

1. SHOULD ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
2. THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.
3. AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HERewith LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.



**GENERAL NOTES**

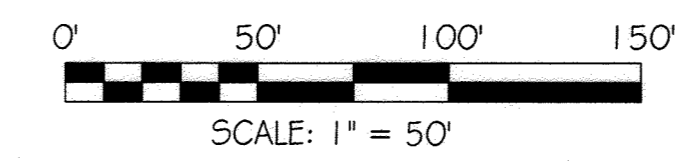
1. OWNER: MILLARD TAYLOR & G. ARLENE TAYLOR  
DEED REFERENCE: LIBER 10720 AT FOLIO 120  
DATE: MAY 25, 2007  
GRANTOR: MILLARD TAYLOR & G. ARLENE TAYLOR, TRUSTEE
2. TAX MAP: 8 GRID: 11 PARCEL: 221
3. NEAREST POTABLE WATER SUPPLY: MT. AIRY DISTANCE: 4.5 MILES ±.
4. EXISTING ON-SITE TOPOGRAPHY AND PLANIMETRICS ARE FROM A FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY VANMAR ASSOCIATES, INC. DATED SEPTEMBER 12, 2014. TOPOGRAPHY AND PLANIMETRICS ON ADJOINING PROPERTIES TAKEN FROM COPYRIGHTED 2011 GIS DATA FROM HOWARD COUNTY, MARYLAND. VERTICAL DATUM IS NAVD88 PER SURVEY CONTROL STATIONS LISTED BELOW.
5. THE BASIS OF BEARINGS FOR THIS PLAN IS THE MARYLAND COORDINATE SYSTEM (NAD83/91) PER HOWARD COUNTY SURVEY CONTROL STATIONS HO.CO. STA. OSCA N. 610,521.247 E. 1,308,742.138(FT.) ELEV. 625.03 HO.CO. STA. 0018 N. 607,697.318 E. 1,308,424.256(FT.) ELEV. 626.86 DISTANCES SHOWN HEREON ARE GROUND DISTANCES.
6. THE EXISTING WELLS SHOWN ON THIS PLAN HAVE BEEN FIELD LOCATED BY VANMAR ASSOCIATES OR TAKEN FROM AVAILABLE RECORDS AND ACCURATELY SHOWN.
7. THE SUBJECT PROPERTY IS ZONED RC-DEO PER THE 10/06/13 COMPREHENSIVE ZONING REGULATIONS.
8. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL WITH 0 SHADE TREES IN THE AMOUNT OF \$0.00 OF LANDSCAPE SURETY FOR LOTS 1 & 2 TO BE PROVIDED WITH THE GRADING PERMIT APPLICATION.

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.  
*Shirley Adams Taylor* 8/14/2015  
OWNER/DEVELOPER DATE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES						TOTAL
	#1=285' BUFFER A	#2=354' BUFFER A	#3=425' BUFFER A	#4=250' BUFFER A	#5=110' BUFFER A	#6=496' BUFFER A	
LANDSCAPE TYPE	N/A	N/A	N/A	N/A	N/A	N/A	N/A
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NUMBER OF PLANTS REQUIRED	4,8	5,9	7,1	4,2	1,8	1,8	8,3
SHADE TREES	0	0	0	0	0	0	0
EVERGREEN TREES	0	0	0	0	0	0	0
SHRUBS	0	0	0	0	0	0	0
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	285' EX. FOREST	354' EX. FOREST	425' EX. FOREST	250' EX. FOREST	110' EX. FOREST	110' EX. FOREST	496' EX. FOREST 307' Bradford Pears
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO	NONE
NUMBER OF PLANTS PROVIDED	0	0	0	0	0	0	0
SHADE TREES	0	0	0	0	0	0	0
EVERGREEN TREES	0	0	0	0	0	0	0
SHRUB	0	0	0	0	0	0	0
OTHER TREES (2:1 SUBSTITUTION)	0	0	0	0	0	0	0
SHRUBS (10:1 SUBSTITUTION)	0	0	0	0	0	0	0
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)							

LANDSCAPE EDGE TYPE A: 1 SHADE TREE/60 LF

APPROVED  
HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
*Victor Salomon* 8-27-15  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
*Cliff Anderson* 8-26-15  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



OWNER:  
MILLARD TAYLOR  
1195 HOODS MILL ROAD  
COOKVILLE, MARYLAND  
(410) 381-7899  
PROFESSIONAL CERTIFICATION  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional landscape architect under the laws of the State of Maryland, License No. 569, Expiration Date: 2015-08-16.

DATE REVISIONS

**LANDSCAPING PLAN**  
LOTS 1 AND 2  
**MILLARD TAYLOR PROPERTY**

TAX MAP: 8 ELECTION DISTRICT: No. 4 SCALE: 1" = 50'  
GRID NO: 11 HOWARD COUNTY, MARYLAND DATE: AUGUST, 2015  
PARCEL NO: 221 EX. ZONING: RC-DEO SHEET 3 OF 3

**VANMAR ASSOCIATES, INC.**  
Engineers Surveyors Planners  
310 South Main Street Mount Airy, Maryland 21771  
(301) 829-2890 (301) 831-5015 (410) 549-2751  
vanmar.com Fax (301) 831-9603 ©Copyright, Latest Date Shown F-15-065