





**STANDARD DRAWING LEGEND**  
FOR ENTIRE PLAN SET  
(NOT TO SCALE)

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	ONSITE PROPERTY LINE / R.O.W. LINE	---
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
WB	WETLAND BUFFER	WB
SSB	STREAM BANK BUFFER	SSB
---	CONCRETE CURB & GUTTER	---
---	UTILITY POLE WITH LIGHT	---
---	POLE LIGHT	---
---	TRAFFIC LIGHT	---
o	UTILITY POLE	o
☆	ACORN LIGHT	☆
---	TYPICAL SIGN	---
---	CONTOUR LINE	---
---	SANITARY LABEL	---
---	STORM LABEL	---
---	SANITARY SEWER LATERAL	---
---	UNDERGROUND WATER LINE	---
---	UNDERGROUND ELECTRIC LINE	---
---	UNDERGROUND GAS LINE	---
---	OVERHEAD WIRE	---
---	UNDERGROUND TELEPHONE LINE	---
---	UNDERGROUND CABLE LINE	---
---	STORM SEWER	---
---	SANITARY SEWER MAIN	---
---	HYDRANT	---
---	SANITARY MANHOLE	---
---	STORM MANHOLE	---
---	WATER METER	---
---	WATER VALVE	---
---	GAS VALVE	---
---	GAS METER	---
---	TYPICAL END SECTION	---
---	HEADWALL OR ENDWALL	---
---	YARD INLET	---
---	CURB INLET	---
---	CLEAN OUT	---
---	ELECTRIC MANHOLE	---
---	TELEPHONE MANHOLE	---
---	ELECTRIC BOX	---
---	ELECTRIC PEDESTAL	---
---	MONITORING WELL	---
---	TEST PIT	---
---	BENCHMARK	---
---	BORING	---

**STANDARD ABBREVIATIONS**  
FOR ENTIRE PLAN SET

FOR ENTIRE PLAN SET	
AC	ACRES
ADA	AMERICANS WITH DISABILITY ACT
ARCH	ARCHITECTURAL
BC	BOTTOM OF CURB
BF	BASEMENT FLOOR
BK	BLOCK
BL	BASELINE
BLDG	BUILDING
BM	BUILDING BENCHMARK
BRL	BUILDING RESTRICTION LINE
CF	CUBIC FEET
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONN	CONNECTION
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARDS
DEC	DECORATIVE
DEP	DEPRESSED
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ES	EDGE OF SHOULDER
EW	END WALL
EX	EXISTING
FES	FLARED END SECTION
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FG	FINISHED GRADE
G	GRADE
GF	GARAGE FLOOR (AT DOOR)
GH	GRADE HIGHER SIDE OF WALL
GL	GRADE LOWER SIDE OF WALL
GRT	GRATE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HOR	HORIZONTAL
HW	HEADWALL
INT	INTERSECTION
INV	INVERT
LF	LINEAR FOOT
LOC	LIMITS OF CLEARING
LOD	LIMITS OF DISTURBANCE
LOS	LINE OF SIGHT
LP	LOW POINT
LS	LANDSCAPE
MAX	MAXIMUM
MIN	MINIMUM
MH	MANHOLE
MJ	MECHANICAL JOINT
OC	ON CENTER
PA	POINT OF ANALYSIS
PC	POINT CURVATURE
PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN
PI	POINT OF INTERSECTION

**PROPOSED EASEMENT LEGEND**

---	SIGHT DISTANCE
---	STORM DRAIN
---	SANITARY SEWER
---	WATER
---	PUBLIC ACCESS
---	COMMON SHARED
---	INGRESS-EGRESS
---	PUBLIC UTILITY
---	VARIABLE WIDTH S

**BOHLER ENGINEERING**  
CORPORATE OFFICE: NEW YORK, NY  
OFFICES: BOWIE, MD; SOUTHBOROUGH, MA; TOWSON, MD; ALBANY, NY; CHANTON, VA; CHARLOTTE, NC; FARMINGDALE, NY; HAGERSTOWN, MD; LANHAM, MD; PHILADELPHIA, PA; WASHINGTON, VA  
CIVIL & CONSULTING ENGINEERS SURVEYORS  
PROJECT MANAGERS ENVIRONMENTAL CONSULTANTS LANDSCAPE ARCHITECTS  
THE INFORMATION CONTAINED ON THESE PLANS IS THE PROPERTY OF BOHLER ENGINEERING. NO PART OF THESE PLANS IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM BOHLER ENGINEERING.

**REVISIONS**

REV	DATE	COMMENT	BY
3	11/30/22	AS BUILT	BRR

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL - 811  
VA 1-800-245-4848 (PA) 1-800-245-1778 (DC) 1-800-257-7777 (MD) 1-800-552-7001 (DE) 1-800-257-7777 (DE) 1-800-282-8556

**APPROVED FOR CONSTRUCTION**

PROJECT No.: MD132008  
DRAWN BY: RLB  
CHECKED BY: BRR  
DATE: 12/11/14  
SCALE: AS SHOWN  
CAD I.D.: SD2

**FINAL ROAD CONSTRUCTION PLANS**  
FOR  
**ESTATES AT PATAPSCO PARK**  
BUILDABLE LOTS 203 - 397 AND  
OPEN SPACE LOTS 196 - 202  
LOCATION OF SITE  
MD ROUTE 99  
ROGERS AVENUE  
HOWARD COUNTY

**BOHLER ENGINEERING**  
901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7800  
Fax: (410) 821-7987  
www.BohlerEngineering.com

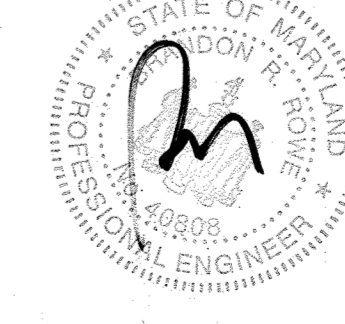
**B.R. ROWE**  
PROFESSIONAL ENGINEER  
No. 8908  
EXPIRES 12/31/24

**GENERAL NOTES**  
SHEET NUMBER: 3

APPROVED: DEPARTMENT OF PUBLIC WORKS  
1/8/2015  
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
7-9-15  
APPROVED: CHIEF, DEVELOPMENT ENGINEERING DIVISION  
6-15-15

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND BY ALL APPLICABLE REGULATIONS AND CODES.

For Revision 3 ONLY  
NO AS BUILT INFO 11/30/22



**OWNER:** PM PATAPSCO LLC  
12116 ARBIE ROAD  
SILVER SPRING, MD 20904  
CONTACT: MR. SIMON ROSENBERG  
PHONE: (301) 622-0645

**DEVELOPER:** NAI THE MICHAEL COMPANIES  
10100 BUSINESS PARKWAY, LANHAM, MD 20776  
CONTACT: BRIAN GOLDSTEIN  
PHONE: (301) 918-2955

**PERMIT INFORMATION CHART**

SUBDIVISION NAME:	SECTION/AREA:	LOT/PARCEL NO.:
ESTATES AT PATAPSCO PARK	NA	NA
PLAT # OR L.P.:	GRID # S, E, 11, 12	ZONING: R-20 & RED
PREVIOUS FILE NO.:	GRID # S, E, 11, 12	TAX MAP NO.:
SP-13-012		17
ECP-13-029		
WP-13-185		
PB CASE NO. 403		

**PROFESSIONAL CERTIFICATION**  
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808, EXPIRATION DATE: 7/31/2025



APPROVED DEPARTMENT OF PUBLIC WORKS  
 CHIEF, BUREAU OF HIGHWAYS DATE 1/8/2015  
 APPROVED DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE 7-9-15  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 6-15-15

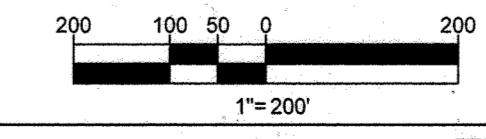
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FOR REVISION 3 ONLY  
 NO AS BUILT INFO  
 11/30/21



**LEGEND**

[Hatched Box]	LIMITS OF FOREST CLEARING
[Dark Gray Box]	STEEP SLOPES 15-25%
[Black Box]	STEEP SLOPES >25%
[Circle with X]	SPECIMEN TREE (TO BE REMOVED)



OWNER: PM PATAPSCO LLC  
 12116 ARBIE ROAD  
 SILVER SPRING, MD 20904  
 CONTACT: MR. SIMON ROSENBERG  
 PHONE: (301) 622-0645

DEVELOPER: NAI THE MICHAEL COMPANIES  
 10100 BUSINESS PARKWAY, LANHAM, MD 20706  
 CONTACT: BRIAN GOLDSTEIN  
 PHONE: (301) 918-2955

PERMIT INFORMATION CHART

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA
PLAT # OR L.P.: 15140485 & 15140487	GRID # 5.6, 11, 12	ZONING: R-20 & R-ED
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403	TAX MAP NO.: 17	ELECT DIST: 2ND CENSUS TRACT:

PROFESSIONAL CERTIFICATION  
 I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 40838, EXPIRATION DATE: 12/31/21.

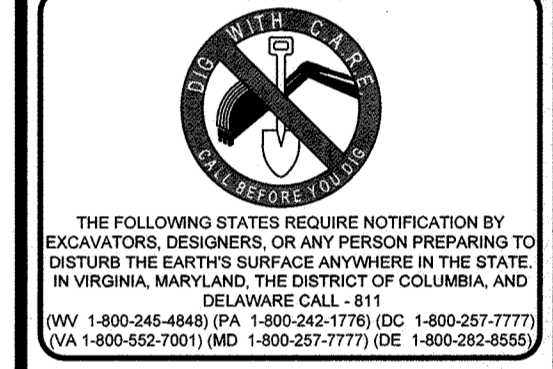
**BOHLER ENGINEERING**

CONSULTING OFFICE:  
 WASHINGTON, DC  
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 COLUMBIA, SC  
 DALLAS, TX  
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 NEW YORK, NY  
 PHILADELPHIA, PA  
 RICHMOND, VA  
 TAMPA, FL

CIVIL & CONSULTING ENGINEERS  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

**REVISIONS**

REV	DATE	COMMENT	BY
3	11/30/21	AS BUILT	BR



APPROVED FOR CONSTRUCTION

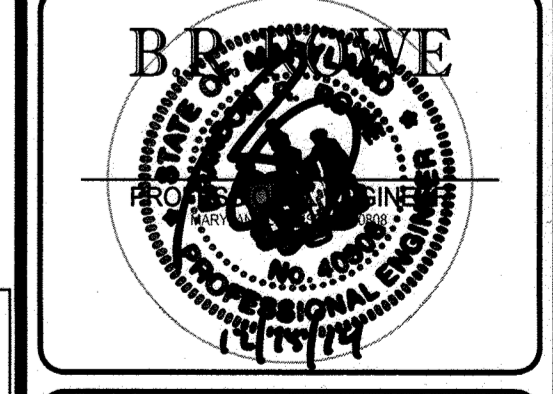
PROJECT NO.: MD132008  
 DRAWN BY: RLB  
 CHECKED BY: BRB  
 DATE: 12/11/14  
 SCALE: 1"=200'  
 CAD I.D.: DPO

**FINAL ROAD CONSTRUCTION PLANS**

FOR  
**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 203-397 AND  
 OPEN SPACE LOTS 196-202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD,  
 SUITE 301  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

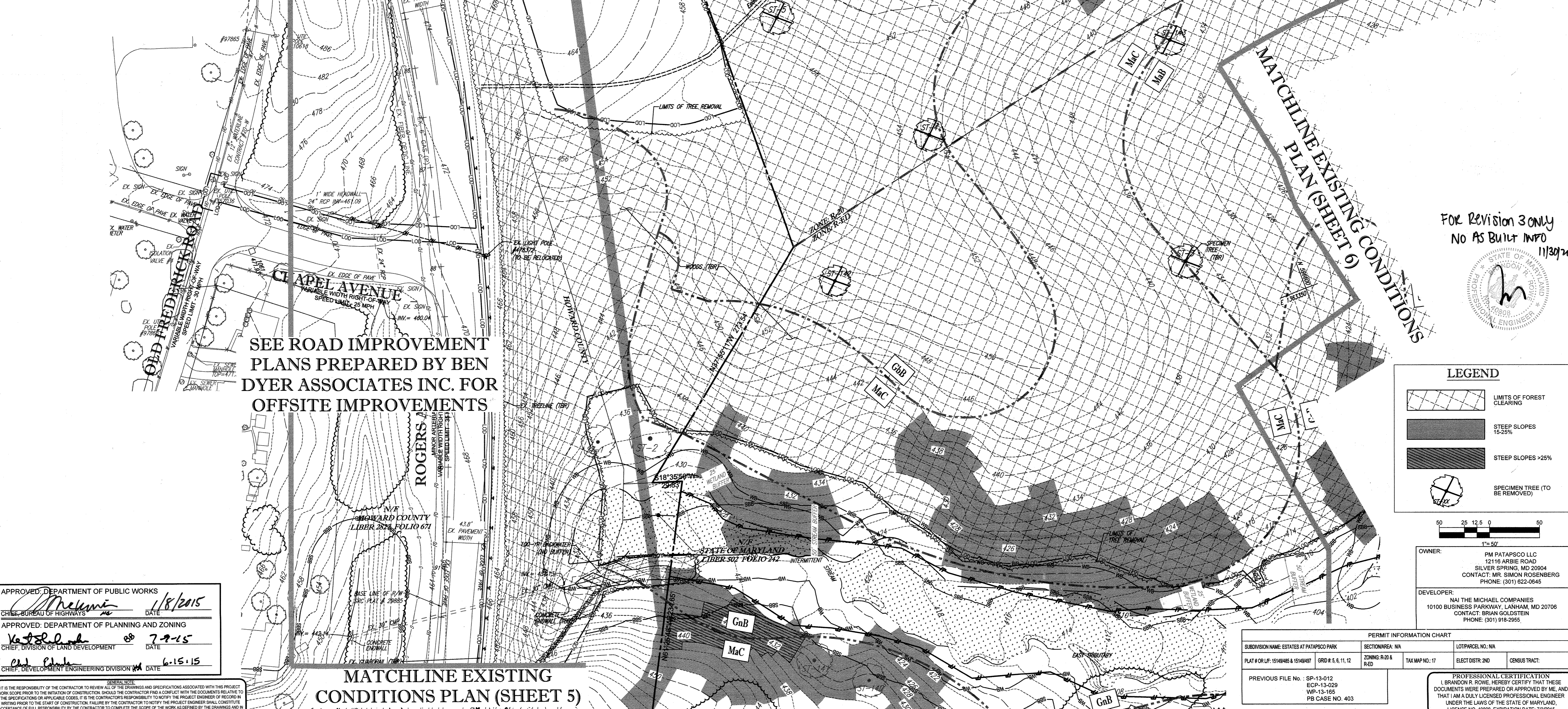
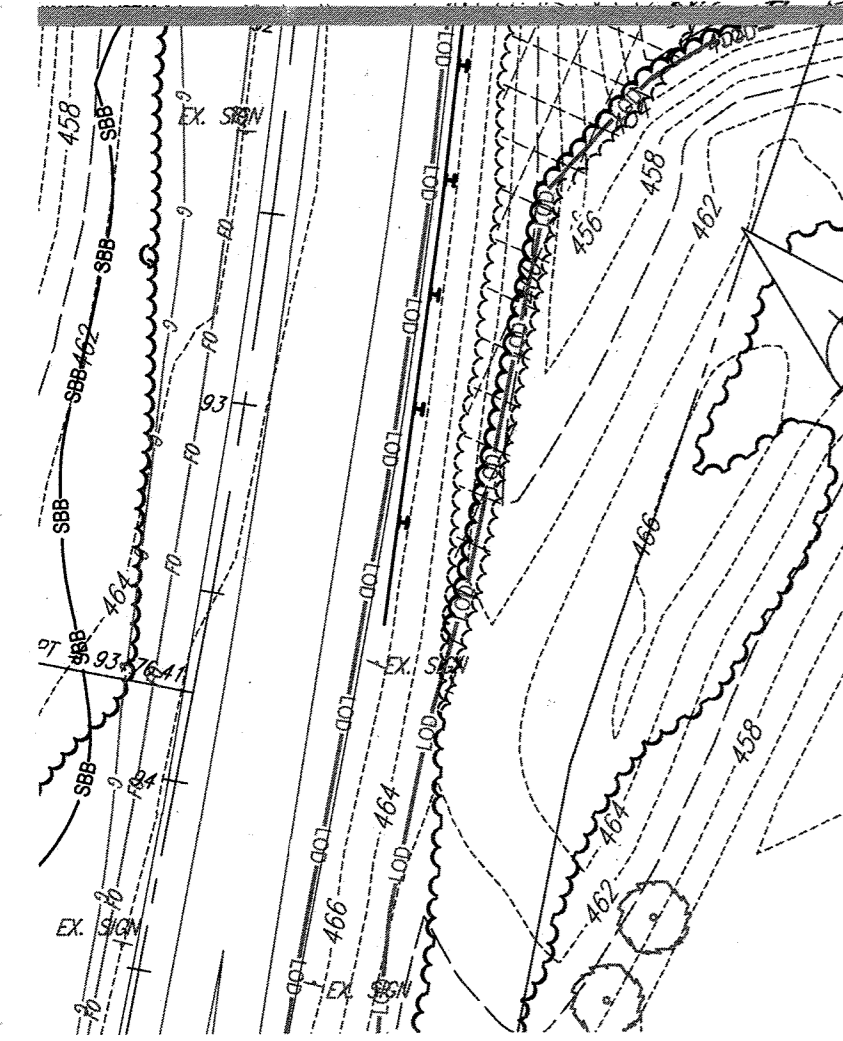


SHEET TITLE:  
**EX. CONDITIONS & DEMOLITION PLAN KEY SHEET**

SHEET NUMBER:  
**4**

MATCHLINE EXISTING CONDITIONS  
PLAN (SHEET 6)

MATCHLINE EXISTING  
CONDITIONS PLAN  
(SHEET 5)

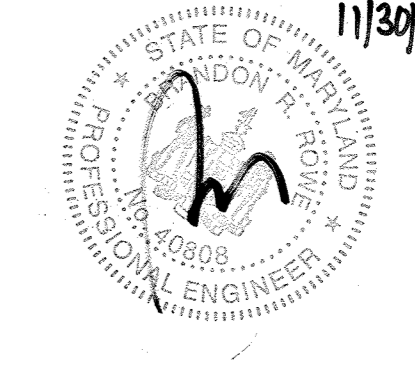


SEE ROAD IMPROVEMENT  
PLANS PREPARED BY BEN  
DYER ASSOCIATES INC. FOR  
OFFSITE IMPROVEMENTS

MATCHLINE EXISTING  
CONDITIONS PLAN (SHEET 5)

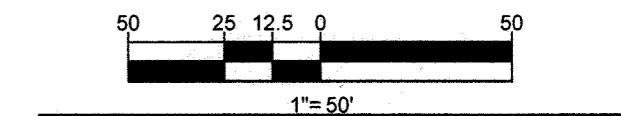
MATCHLINE EXISTING CONDITIONS  
PLAN (SHEET 6)

FOR REVISION 3 ONLY  
NO AS BUILT INFO  
11/30/24



**LEGEND**

	LIMITS OF FOREST CLEARING
	STEEP SLOPES 15-25%
	STEEP SLOPES >25%
	SPECIMEN TREE (TO BE REMOVED)



OWNER: PM PATAPSCO LLC  
12116 ARBIE ROAD  
SILVER SPRING, MD 20904  
CONTACT: MR. SIMON ROSEBERG  
PHONE: (301) 822-0645

DEVELOPER: NAI THE MICHAEL COMPANIES  
10100 BUSINESS PARKWAY, LANHAM, MD 20706  
CONTACT: BRIAN GOLDSTEIN  
PHONE: (301) 918-2955

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK		SECTION/AREA: N/A		LOT/PARCEL NO.: N/A	
PLAT # OR L.F.: 1514846 & 1514847	GRID # & E, S, N, W	ZONING: R-20 & RED	TAX MAP NO.: 17	ELECT. DISTR.: 2ND	CENSUS TRACT.:
PREVIOUS FILE NO.:	SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403	PROFESSIONAL CERTIFICATION I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808, EXPIRATION DATE: 7/31/25			

APPROVED: DEPARTMENT OF PUBLIC WORKS	DATE: 1/8/2015
CHIEF, BUREAU OF HIGHWAYS	
APPROVED: DEPARTMENT OF PLANNING AND ZONING	DATE: 7-9-15
CHIEF, DIVISION OF LAND DEVELOPMENT	
APPROVED: DEVELOPMENT ENGINEERING DIVISION	DATE: 6-15-15

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• BOWEN, MD  
• STERLING, VA  
• HANOVER, VA  
• FORT LAUDERDALE, FL  
• PHILADELPHIA, PA

CIVIL & CONSULTING ENGINEERS  
SURVEYORS  
PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS

**REVISIONS**

REV	DATE	COMMENT	BY
3	11/30/24	AS BUILT	BKR

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MD 1-800-245-4646 (PA 1-800-343-7779) DC 1-800-257-7777 VA 1-800-552-7001 (MD 1-800-257-7777) DE 1-800-382-8555

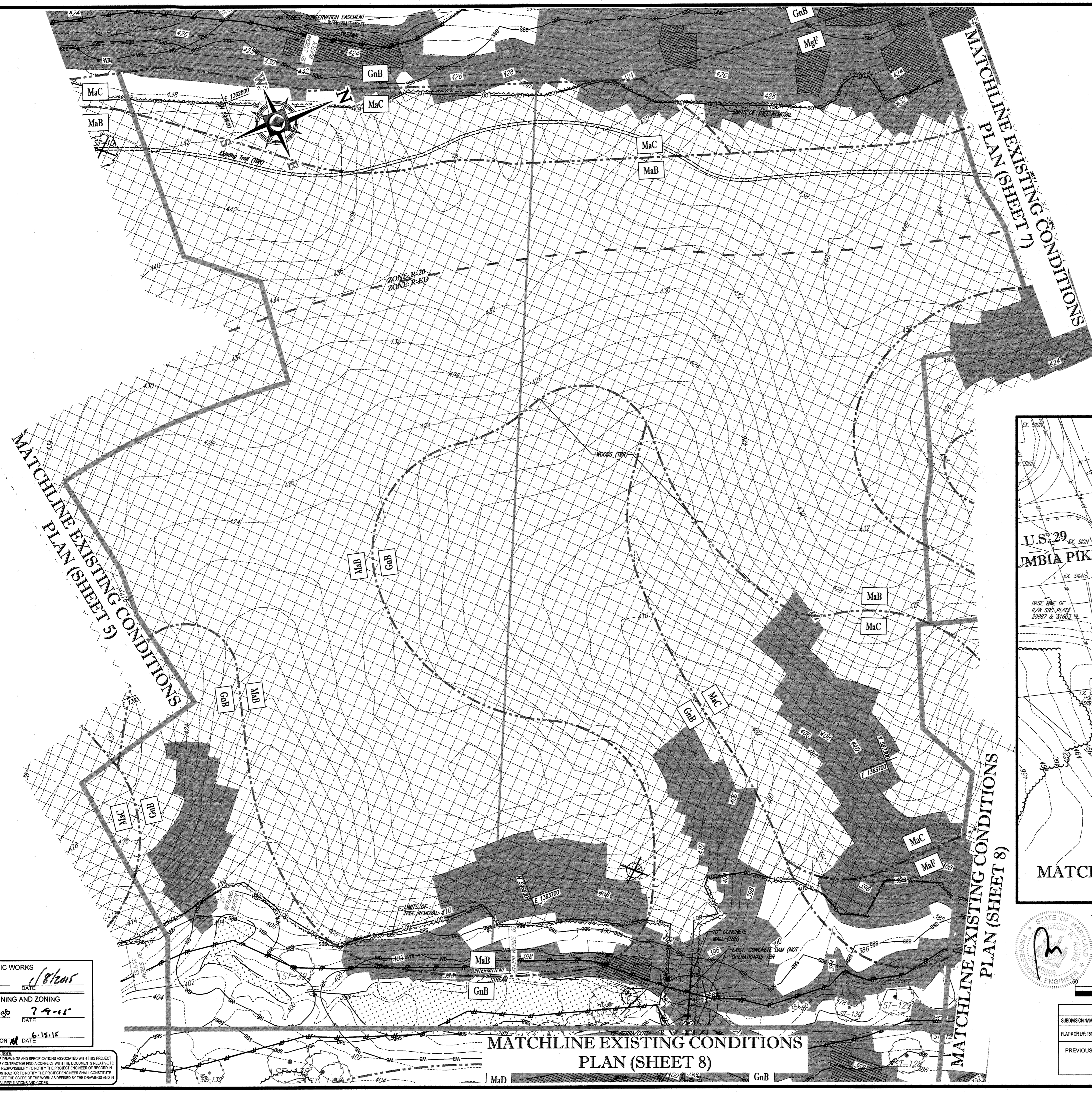
APPROVED FOR CONSTRUCTION

PROJECT: FINAL ROAD CONSTRUCTION PLANS  
FOR: ESTATES AT PATAPSCO PARK  
BUILDABLE LOTS 203-341 AND OPEN SPACE LOTS 196 - 202  
LOCATION OF SITE: MD ROUTE 99 ROGERS AVENUE HOWARD COUNTY

**BOHLER ENGINEERING**  
901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
www.BohlerEngineering.com

**BOHLER ENGINEERING**  
PROFESSIONAL ENGINEER  
No. 10088  
STATE OF MARYLAND  
10/14/14

SHEET TITLE: EXISTING CONDITIONS & DEMOLITION PLAN  
SHEET NUMBER: 5



**LEGEND**

	LIMITS OF FOREST CLEARING
	STEEP SLOPES 15-25%
	STEEP SLOPES >25%
	SPECIMEN TREE (TO BE REMOVED)

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
WARREN, NJ

PROJECT MANAGERS:  
SOUTHBROROUGH, MA  
STURBRIDGE, MA  
HUNTSVILLE, AL  
CHAMFON, PA  
LANCASTER, PA  
PHILADELPHIA, PA

ENVIRONMENTAL CONSULTANTS:  
LANDSCAPE ARCHITECTS

CIVIL & CONSULTING ENGINEERS  
SURVEYORS

OFFICES:  
BOWNE, MD  
STURBRIDGE, MA  
HUNTSVILLE, AL  
CHAMFON, PA  
LANCASTER, PA  
PHILADELPHIA, PA

**REVISIONS**

REV	DATE	COMMENT	BY
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**APPROVED FOR CONSTRUCTION**

PROJECT: MD132008  
DRAWN BY: RLB  
CHECKED BY: BRB  
DATE: 12/11/14  
SCALE: 1"=50'  
CAD I.D.: DPO

**FINAL ROAD CONSTRUCTION PLANS**

FOR  
**ESTATES AT PATAPSCO PARK**  
BUILDABLE LOTS 203-377

OPEN SPACE LOTS 198 - 202  
LOCATION OF SITE  
MD ROUTE 99  
ROGERS AVENUE  
HOWARD COUNTY

**BOHLER ENGINEERING**

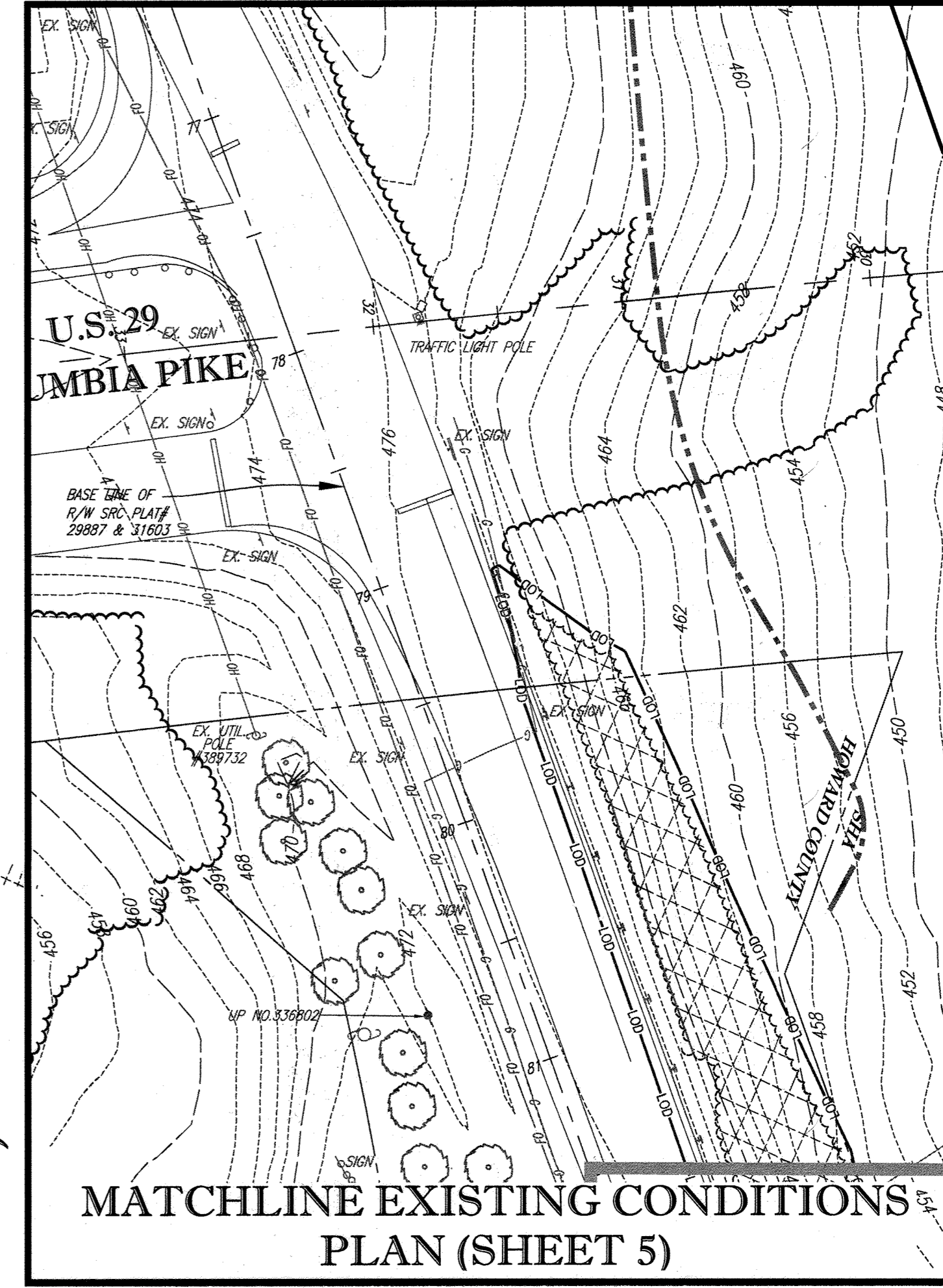
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Fax: (410) 821-7987  
www.BohlerEngineering.com

**B.B. ROWE**

PROFESSIONAL ENGINEER  
STATE OF MARYLAND  
LICENSE NO. 19388

SHEET TITLE:  
**EXISTING CONDITIONS & DEMOLITION PLAN**

SHEET NUMBER:  
**6**



**MATCHLINE EXISTING CONDITIONS PLAN (SHEET 5)**

FOR REVISION 3 ONLY  
NO AS BUILT INFO  
11/30/21

OWNER: PM PATAPSCO LLC  
12116 ARBIE ROAD  
SILVER SPRING, MD 20904  
CONTACT: MR. SIMON ROSENBERG  
PHONE: (301) 622-0645

DEVELOPER: NAI THE MICHAEL COMPANIES  
10100 BUSINESS PARKWAY, LANHAM, MD 20706  
CONTACT: BRIAN GOLDSTEIN  
PHONE: (301) 918-2955

**PERMIT INFORMATION CHART**

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA
PLAT FOR U.P.: 15140485 & 15140487	GRID P. 5, 6, 11, 12	ZONING: R-20 & RED
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-185 PB CASE NO.: 403	TAX MAP NO.: 17	ELECT DIST: 2ND

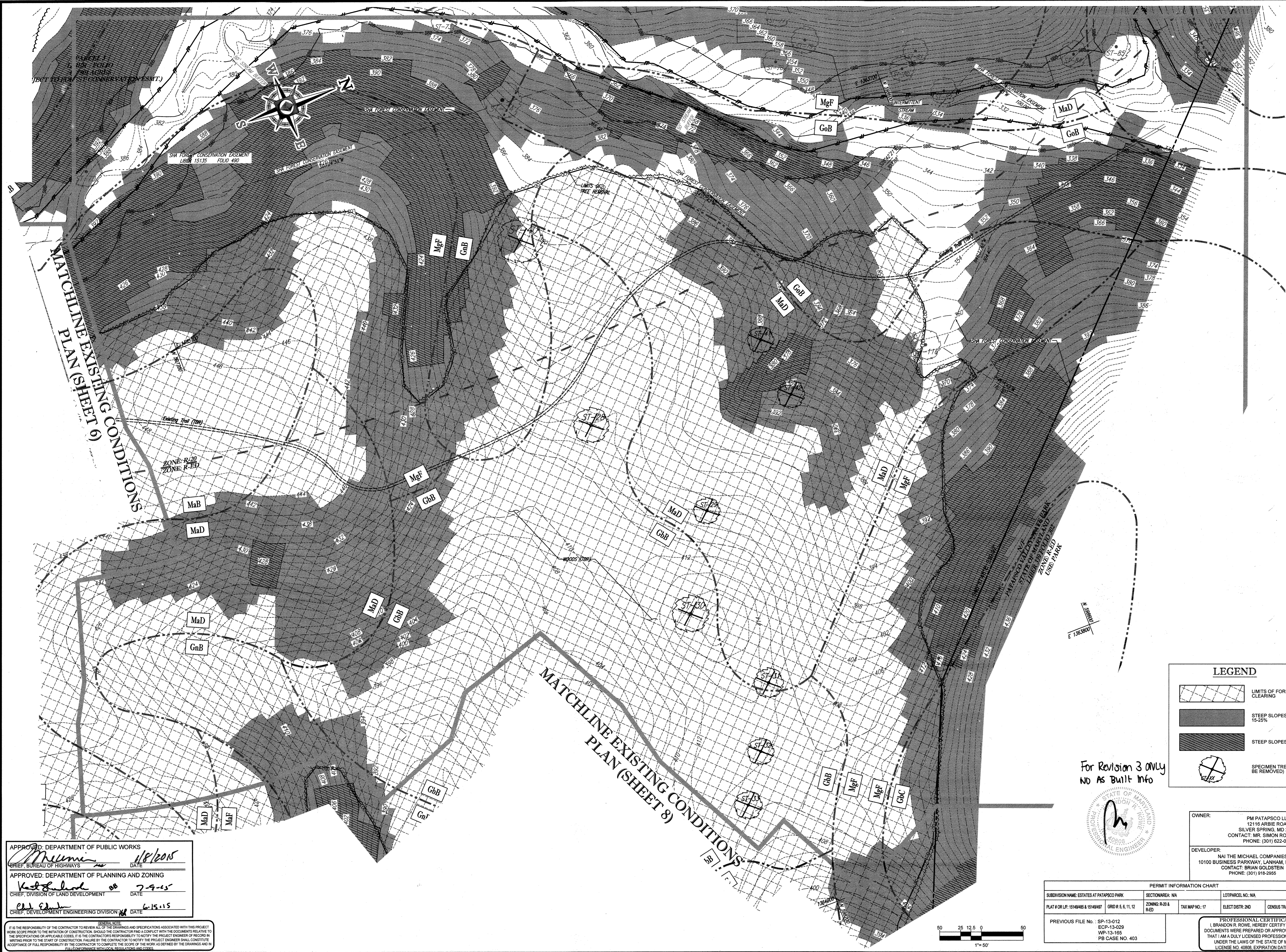
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APPROVED DEPARTMENT OF PUBLIC WORKS  
DATE: 1/8/2015

APPROVED DEPARTMENT OF PLANNING AND ZONING  
DATE: 7/9/15

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 6-15-15

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 CIVIL & CONSULTING ENGINEERS  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

CORPORATE OFFICE:  
 WARREN, NJ

OFFICES:  
 BOWNE, MD  
 SOUTHBOROUGH, MA  
 WASHINGTON, VA  
 WASHINGTON, VA  
 WASHINGTON, VA  
 CHARLESTON, WV  
 CHANTONVILLE, PA  
 TAMPA, FL  
 PHILADELPHIA, PA

**REVISIONS**

REV	DATE	COMMENT	BY
3	11/30/14	AS BUILT	BR

**APPROVED FOR CONSTRUCTION**

PROJECT NO.: MD132008  
 DRAWN BY: RLB  
 CHECKED BY: BRH  
 DATE: 12/11/14  
 SCALE: 1"=50'  
 CAD I.D.: DPO

**FINAL ROAD CONSTRUCTION PLANS**

FOR  
**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 196 - 202  
 OPEN SPACE LOTS 196 - 202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**

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 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**B. BRANDELL ROWE**

PROFESSIONAL ENGINEER

**EXISTING CONDITIONS & DEMOLITION PLAN**

SHEET NUMBER: **7**

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 Chief, Bureau of Highways DATE: 1/8/2015

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Division of Land Development DATE: 7-9-15

Chief, Development Engineering Division DATE: 6-15-15

GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHOULD BE COMPLETED PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS SHOWN BY THE DRAWINGS AND ALL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

**LEGEND**

- LIMITS OF FOREST CLEARING
- STEEP SLOPES 15-25%
- STEEP SLOPES >25%
- SPECIMEN TREE (TO BE REMOVED)

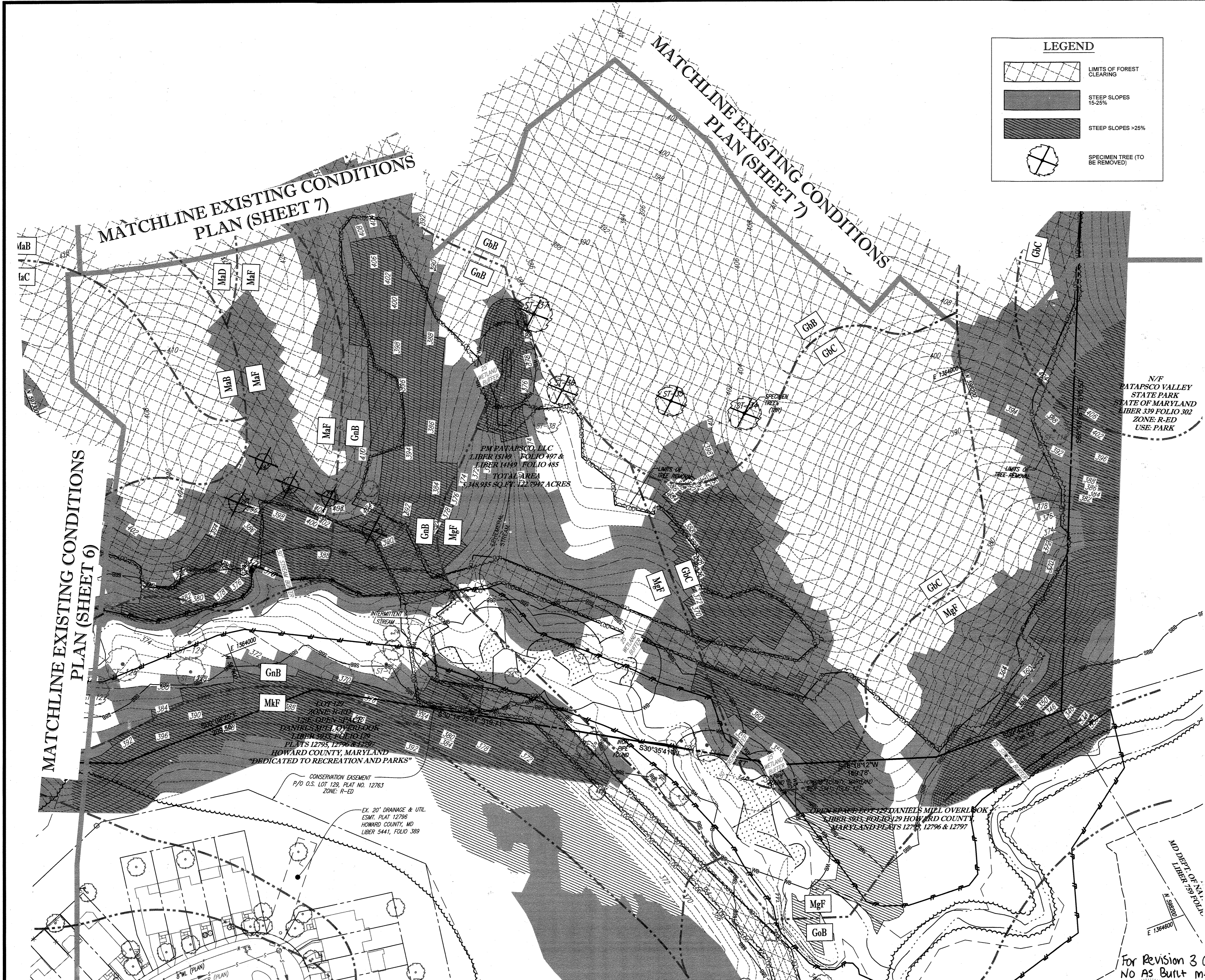
OWNER: PM PATAPSCO LLC  
 12116 ARBIE ROAD  
 SILVER SPRING, MD 20904  
 CONTACT: MR. SIMON ROSENBERG  
 PHONE: (301) 822-0645

DEVELOPER: NAI THE MICHAEL COMPANIES  
 10100 BUSINESS PARKWAY, LANHAM, MD 20706  
 CONTACT: BRIAN GOLDSTEIN  
 PHONE: (301) 919-2955

**PERMIT INFORMATION CHART**

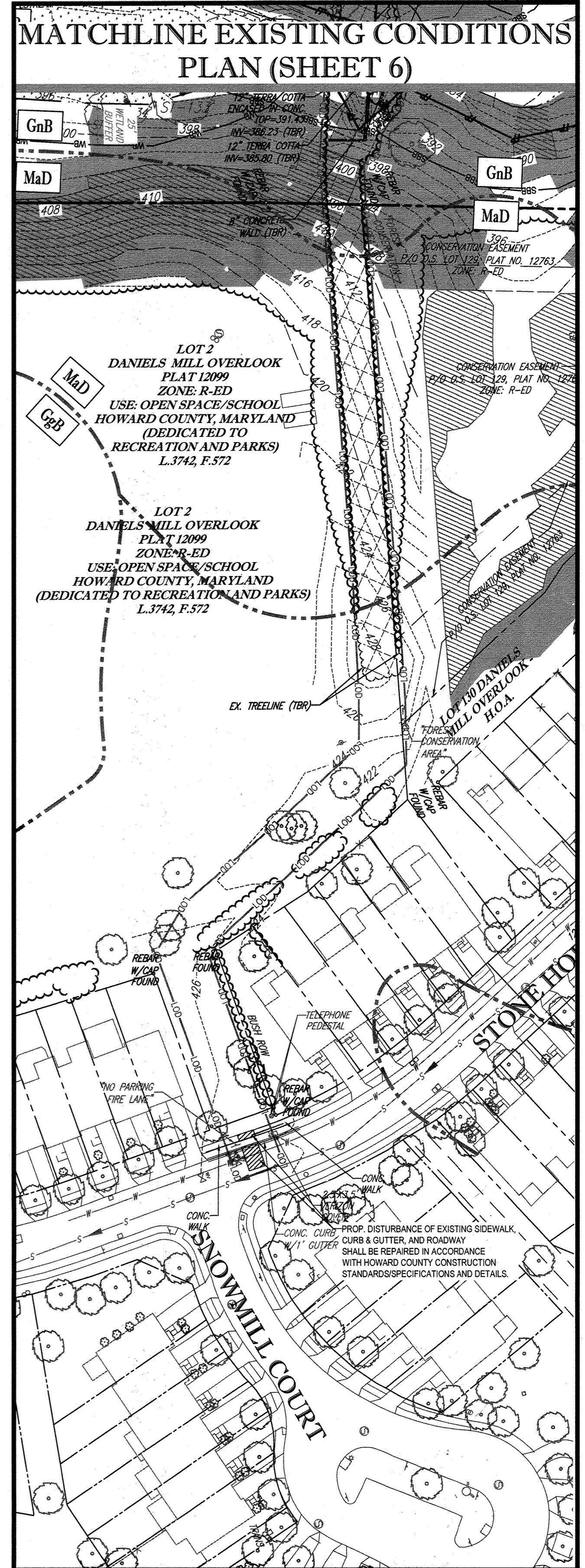
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: N/A	LOT/PARCEL NO.: N/A
PLAT # OR L.P.: 15148/485 & 15148/497	GRID # & S, E, N, W	ZONING: R-20 & RED
PREVIOUS FILE NO.: SP-13-012 ECP-13-028 WP-13-165 PB CASE NO. 403	TAX MAP NO.: 17	ELECT. DIST. NO.

**PROFESSIONAL CERTIFICATION**  
 I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808, EXPIRATION DATE: 7/3/2015



**LEGEND**

[Hatched Box]	LIMITS OF FOREST CLEARING
[Dark Gray Box]	STEEP SLOPES 15-25%
[Diagonal Line Box]	STEEP SLOPES >25%
[Circle with Cross]	SPECIMEN TREE (TO BE REMOVED)



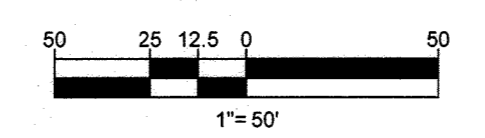
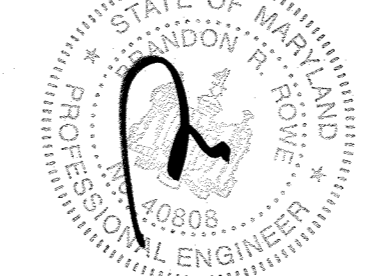
APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] 1/8/2015  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 2-9-15  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 6-15-15

GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL APPLICABLE REGULATORY AGENCIES.

For Revision 3 ONLY  
 No AS Built m6



OWNER: PM PATAPSCO LLC 12115 ARBIE ROAD SILVER SPRING, MD 20904 CONTACT: MR. SIMON ROSENBERG PHONE: (301) 622-0545			
DEVELOPER: NAI THE MICHAEL COMPANIES 10100 BUSINESS PARKWAY, LANHAM, MD 20706 CONTACT: BRIAN GOLDSTEIN PHONE: (301) 918-2555			
PERMIT INFORMATION CHART			
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA	
PLAT # OR L.F.: 15148/458 & 15149/407	GRID #: 5, 6, 11, 12	ZONING: R-20 & R-ED	TAX MAP NO.: 17
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 MFP-13-105 PB CASE NO. 403		ELECT. DISTR.: 2ND	CENSUS TRACT:
PROFESSIONAL CERTIFICATION I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40809, EXPIRATION DATE: 7/31/15.			

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
 WARRINGTON, VA

REGIONAL OFFICES:  
 BOSTON, MA  
 CHICAGO, IL  
 DALLAS, TX  
 DENVER, CO  
 HOUSTON, TX  
 LOS ANGELES, CA  
 MIAMI, FL  
 NEW YORK, NY  
 PHOENIX, AZ  
 RICHMOND, VA  
 TAMPA, FL  
 WASHINGTON, DC

PROJECT MANAGERS:  
 ENVIRONMENTAL CONSULTANTS:  
 LANDSCAPE ARCHITECTS:  
 SURVEYORS

REVISIONS

REV	DATE	COMMENT	BY
3	11/30/14	AS BUILT	BRB

APPROVED FOR CONSTRUCTION

PROJECT No.: MD132008  
 DRAWN BY: RLB  
 CHECKED BY: BRB  
 DATE: 12/11/14  
 SCALE: 1"=50'  
 CAD I.D.: DPO

FINAL ROAD CONSTRUCTION PLANS  
 FOR  
**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 203-347 AND  
 OPEN SPACE LOTS 196-202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**

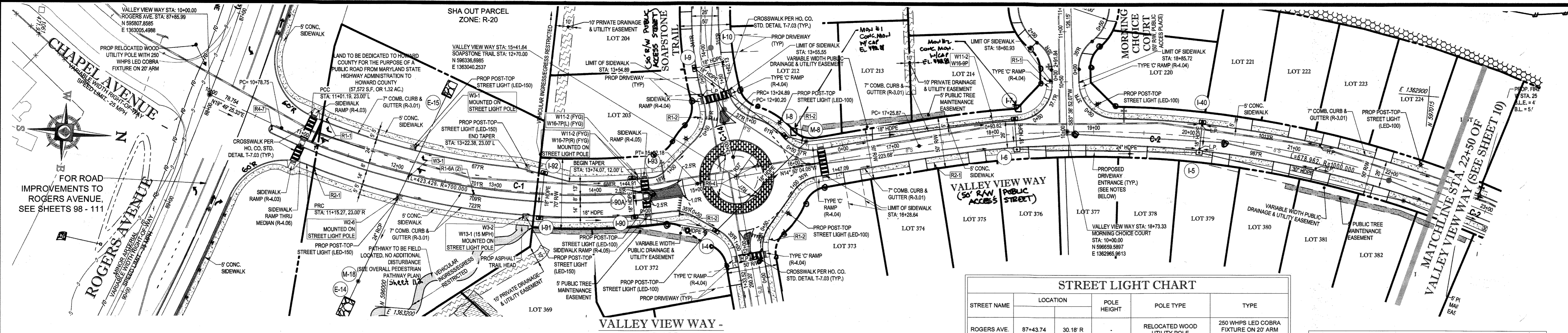
901 DULANEY VALLEY ROAD,  
 SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**BRANDON R. ROWE**  
 PROFESSIONAL ENGINEER  
 STATE OF MARYLAND  
 LICENSE NO. 40809

SHEET TITLE:  
**EXISTING CONDITIONS & DEMOLITION PLAN**

SHEET NUMBER:  
**8**





FOR ROAD IMPROVEMENTS TO ROGERS AVENUE, SEE SHEETS 98 - 111

SEE SHEET 23 FOR ADDITIONAL DETAIL ON ROUNDABOUT

**STREET LIGHT CHART**

STREET NAME	LOCATION	POLE HEIGHT	POLE TYPE	TYPE
ROGERS AVE.	87+43.74	30.18' R	RELOCATED WOOD UTILITY POLE	250 WHPS LED COBRA FIXTURE ON 23' ARM MOUNTED
VALLEY VIEW WAY	12+10.40	25.67' L	14'-0"	BLACK FIBERGLASS COLONIAL POST-TOP (LED-150)
VALLEY VIEW WAY	12+10.40	25.67' R	14'-0"	BLACK FIBERGLASS COLONIAL POST-TOP (LED-150)
VALLEY VIEW WAY	13+30.99	24.59' L	14'-0"	BLACK FIBERGLASS COLONIAL POST-TOP (LED-150)
VALLEY VIEW WAY	13+30.99	24.59' R	14'-0"	BLACK FIBERGLASS COLONIAL POST-TOP (LED-150)
VALLEY VIEW WAY	13+32.65	25.85' R	14'-0"	BLACK FIBERGLASS COLONIAL POST-TOP (LED-150)
VALLEY VIEW WAY	14+57.44	4.91' R	14'-0"	BLACK FIBERGLASS POST-TOP (LED-100)
VALLEY VIEW WAY	14+98.32	46.19' L	14'-0"	BLACK FIBERGLASS POST-TOP (LED-100)
VALLEY VIEW WAY	15+01.48	48.72' R	14'-0"	BLACK FIBERGLASS POST-TOP (LED-100)
VALLEY VIEW WAY	15+85.84	44.19' R	14'-0"	BLACK FIBERGLASS POST-TOP (LED-100)
VALLEY VIEW WAY	15+92.99	48.22' L	14'-0"	BLACK FIBERGLASS POST-TOP (LED-100)
VALLEY VIEW WAY	19+03.55	27.28' L	14'-0"	BLACK FIBERGLASS POST-TOP (LED-100)
VALLEY VIEW WAY	22+24.38	20.67' L	14'-0"	BLACK FIBERGLASS POST-TOP (LED-100)

**ROAD CENTERLINE CURVE TABLE**

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C-1	700.00'	423.43'	N02°29'41"E	417.00'	034°39'29"	218.42'
C-2	1000.00'	678.96'	S04°38'59"W	666.00'	038°54'06"	353.15'

**REVISIONS**

REV	DATE	COMMENT	BY
1	10/21/15	REV PER RESUBDIVISION OF LOTS	RLB
3	11/10/15	AS BUILT	RLB

**APPROVED FOR CONSTRUCTION**

PROJECT No.: MD152013  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 12/31/15  
 SCALE: AS SHOWN  
 CAD/D.L.: PSB

**REVISED FINAL ROAD CONSTRUCTION PLANS**

FOR

**ESTATES AT PATAPSCO PARK**

BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202

LOCATION OF SITE  
 MD ROUTE 29  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**

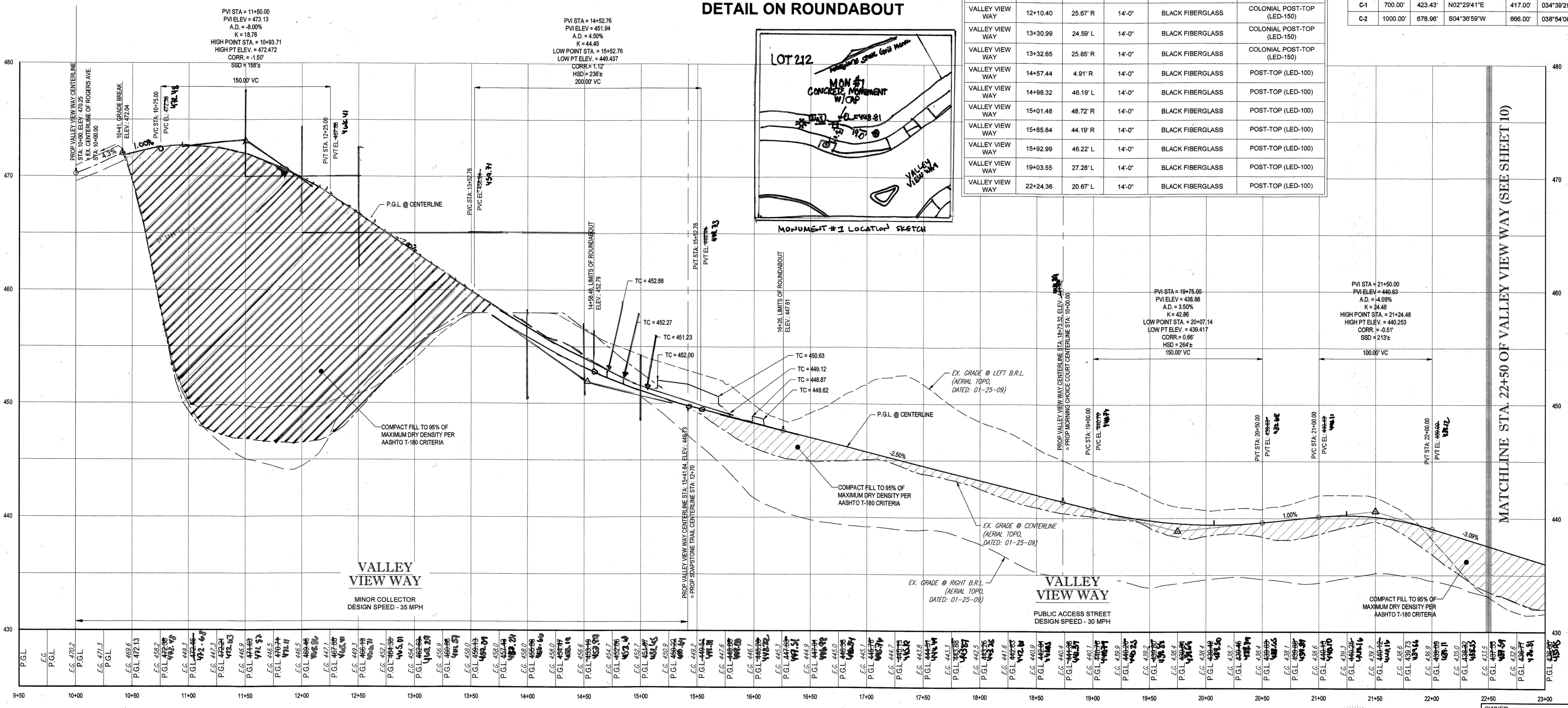
901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**B. R. ROWE**

REGISTERED PROFESSIONAL ENGINEER  
 STATE OF MARYLAND  
 LICENSE NO. 15027  
 EXPIRES 12/31/17

**PUBLIC ROAD PLAN AND PROFILE**

SHEET NUMBER: 9



**VALLEY VIEW WAY - ROAD PROFILE**  
 SCALE: 1" = 50' HORIZONTAL  
 1" = 5' VERTICAL

- NOTES:**
1. ALL PROPOSED PAVEMENT IS TO BE HOWARD COUNTY P-3 PAVEMENT. SEE SHEET 24 FOR PAVEMENT SECTION DETAIL.
  2. SEE SHEET 83-87 FOR STREET TREE LOCATIONS.
  3. ALL DRIVEWAY ENTRANCES ARE HO. CO. STD. DETAILS R-6.02 (WITH SIDEWALK NEXT TO CURB) & R-6.05 (WITHOUT SIDEWALK).

**LEGEND:**

\* STREET LIGHT. SEE TABLE THIS SHEET FOR LOCATIONS AND TYPE

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 DATE: 11/9/2015

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 DATE: 12-17-15

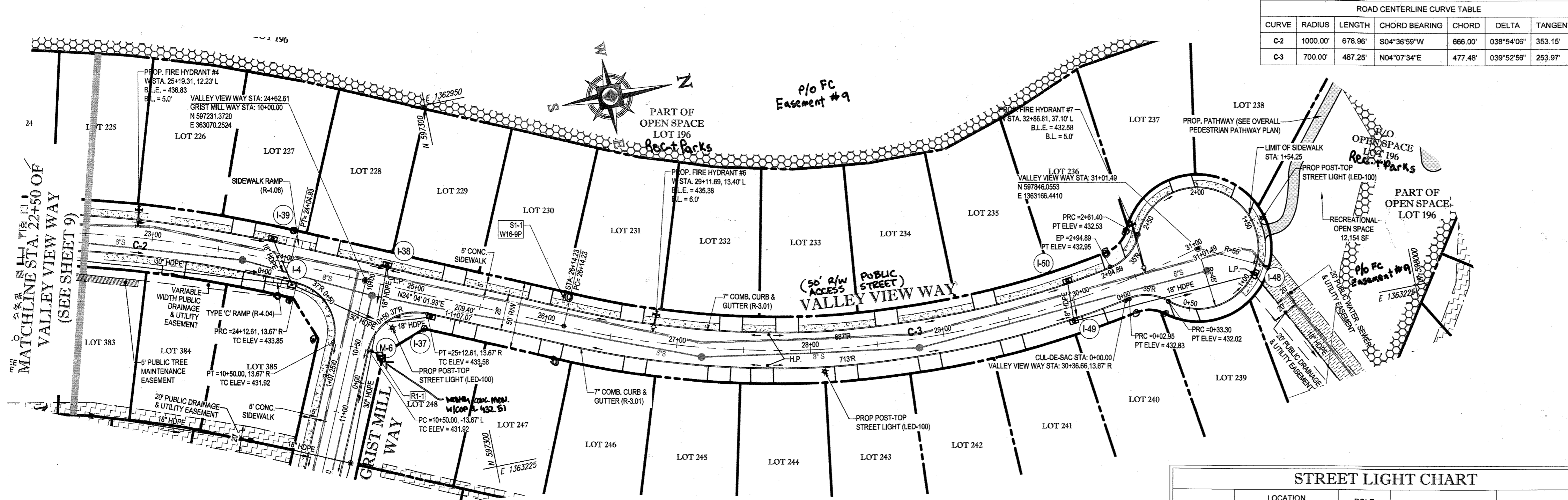
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE ORDINANCES AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHOULD BE STOPPED IMMEDIATELY IF THE CONTRACTOR FINDS A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IMMEDIATELY UPON DISCOVERY OF SUCH A CONFLICT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORKS AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL AGENCIES.

PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-OS1.

**PERMIT INFORMATION CHART**

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.
ESTATES AT PATAPSCO PARK	SECTION/AREA N/A	LOT/PARCEL NO. N/A

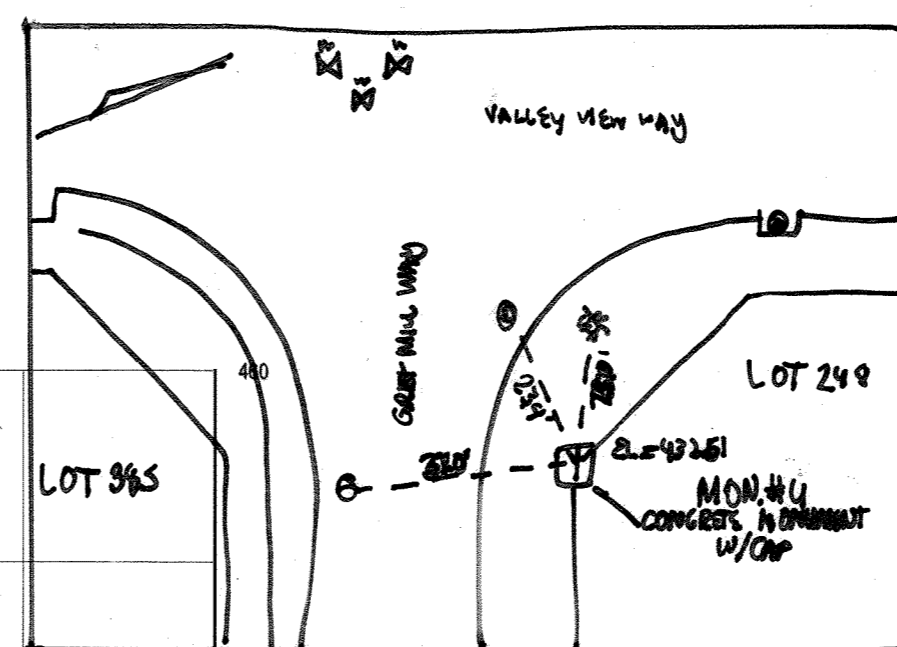
PREVIOUS FILE NO.: SP-13-012  
 EC-13-029  
 WP-13-165  
 PB CASE NO. 403



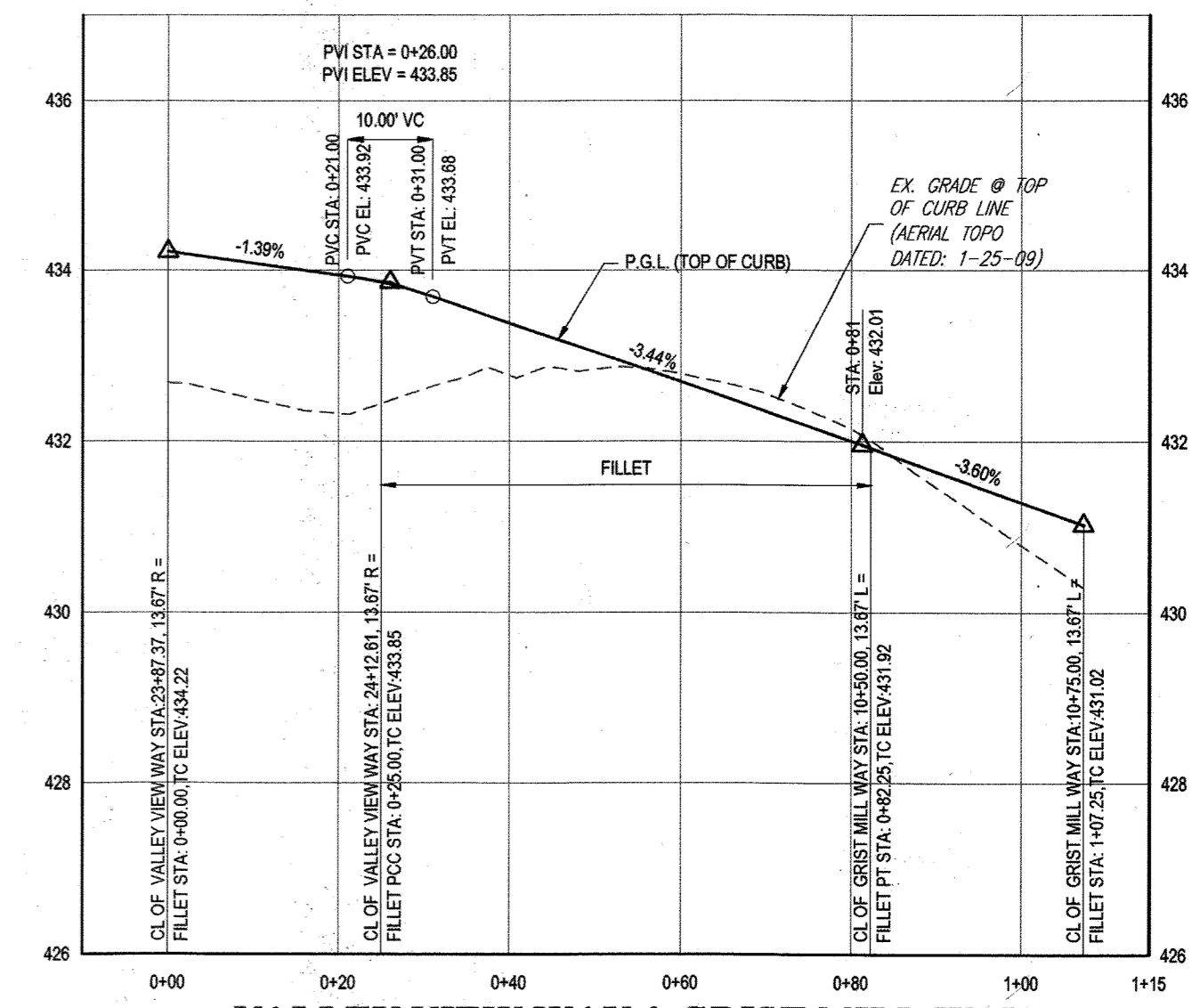
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C-2	1000.00'	678.96'	S04°36'59"W	866.00'	038°54'09"	353.15'
C-3	700.00'	487.25'	N04°07'34"E	477.48'	039°52'55"	253.97'

VALLEY VIEW WAY - PLAN  
SCALE: 1" = 50'

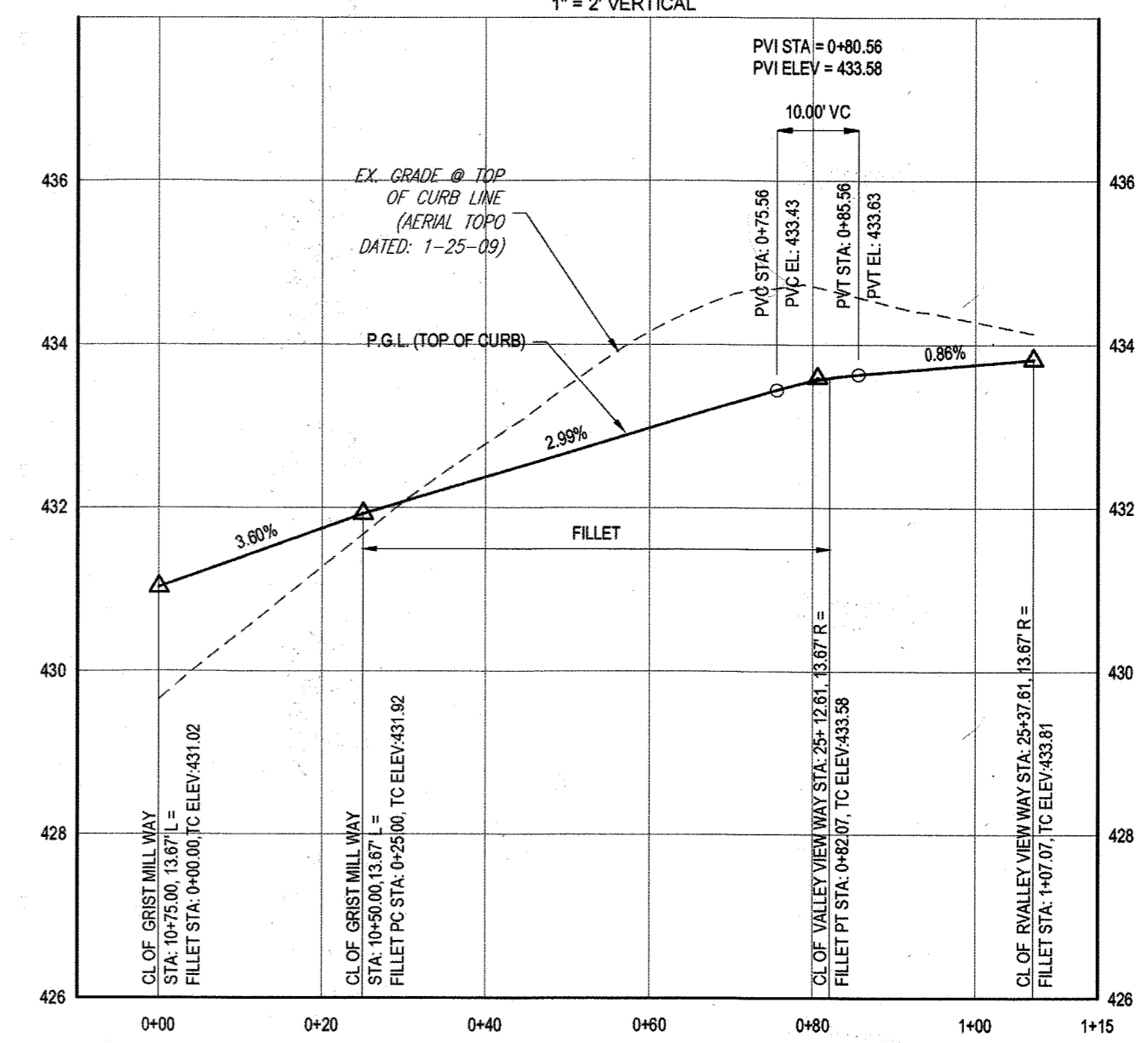
STREET NAME	LOCATION	POLE HEIGHT	POLE TYPE	TYPE	
VALLEY VIEW WAY	24+89.04	26.43' R	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
VALLEY VIEW WAY	28+09.75	16.67' R	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
VALLEY VIEW WAY	N 55°78'07" E 8227		14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
VALLEY VIEW WAY	E 136°15'37.7436		14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)



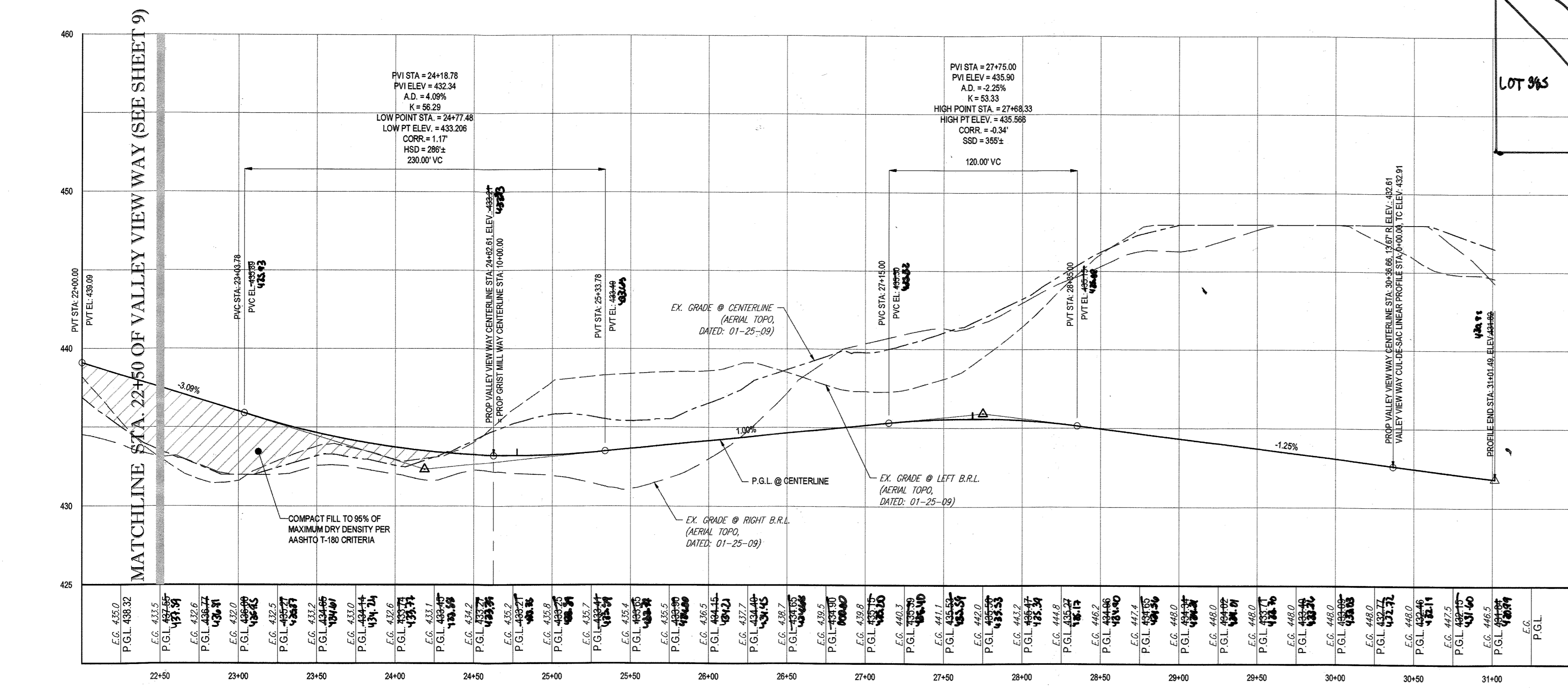
MONUMENT #4 LOCATION SKETCH



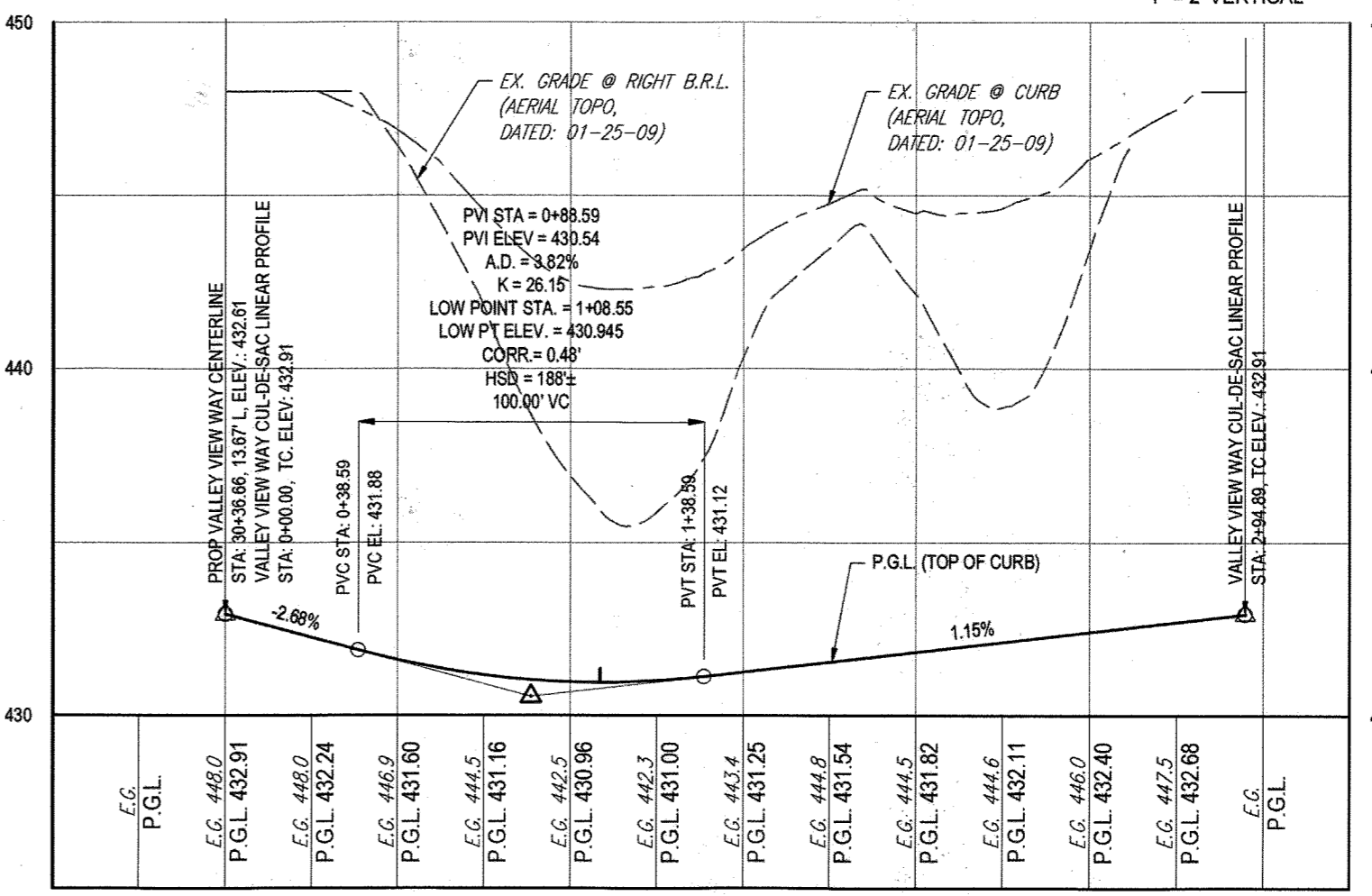
VALLEY VIEW WAY & GRIST MILL WAY  
(SE QUADRANT) - FILLET PROFILE  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



VALLEY VIEW WAY & GRIST MILL WAY  
(NE QUADRANT) - FILLET PROFILE  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



VALLEY VIEW WAY - ROAD PROFILE  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL



VALLEY VIEW WAY - CUL-DE-SAC LINEAR PROFILE  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

- NOTES:
- ALL PROPOSED PAVEMENT IS TO BE HOWARD COUNTY P-3 PAVEMENT. SEE SHEET 24 FOR PAVEMENT SECTION DETAIL.
  - SEE SHEET 83-87 FOR STREET TREE LOCATIONS.
  - ALL DRIVEWAY ENTRANCES ARE HO. CO. STD. DETAILS R-6.02 (WITH SIDEWALK NEXT TO CURB) & R-6.05 (WITHOUT SIDEWALK).

LEGEND:

R1-2 → GROUND MOUNTED SIGN  
 R1-1 30"x30" STOP  
 R2-1 30"x30" SPEED LIMIT 25  
 S1-1 30"x30" AHEAD  
 W16-6P 24"x12" W16-7P 24"x12" (FYG)  
 R1-2 24"x30" R6-4 24"x30" W11-2 30"x30" R4-7 24"x30" R6-3P 30"x30"  
 W3-1 30"x30" W3-2 30"x40" R1-6W-2 38"x42" STATE LAW  
 R1-6W-2 38"x42"

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] DATE: 11/9/2015  
 CHIEF, BUREAU OF HIGHWAYS  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] DATE: 12-17-15  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 APPROVED: CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] DATE: 11-17-15

GENERAL NOTE:  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. HIGH SCORE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND TYPE AND LOCATION OF ALL UTILITIES, EASEMENTS AND SIGNAGE.

**BOHLER ENGINEERING**

CONSULTING OFFICE:  
WARRICK, NY

OFFICES:  
BOWLING GREEN, OH  
TOWSON, MD  
HARRISBURG, PA  
WARRICK, NY  
CHILMARK, MA  
TAMPA, FL  
PHILADELPHIA, PA

CIVIL & CONSULTING ENGINEERS  
SURVEYORS  
PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS

REV	DATE	COMMENT	BY
1	10/21/15	REV PER RESUBMISSION OF LOTS	RLB
3	11/20/15	AK BULLER	BRB

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATES OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL: 411  
(WV 1-800-246-4848) (PA 1-800-242-1778) (DC 1-800-257-7777) (VA 1-800-652-7001) (MD 1-800-257-7777) (DE 1-800-298-8559)

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD152013  
DRAWN BY: RLB  
CHECKED BY: BRB  
DATE: 12/31/15  
SCALE: AS SHOWN  
CAD I.D.: PWS

REVISED FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202 LOCATION OF SITE MD ROUTE 99 ROGERS AVENUE HOWARD COUNTY

**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21204  
Phone: (410) 821-7900  
Fax: (410) 821-7887  
www.BohlerEngineering.com

**B. R. HOWE**  
PROFESSIONAL ENGINEER  
No. 10586  
Professional Engineer  
1/19/15

SHEET TITLE: PUBLIC ROAD PLAN AND PROFILE  
SHEET NUMBER: 10

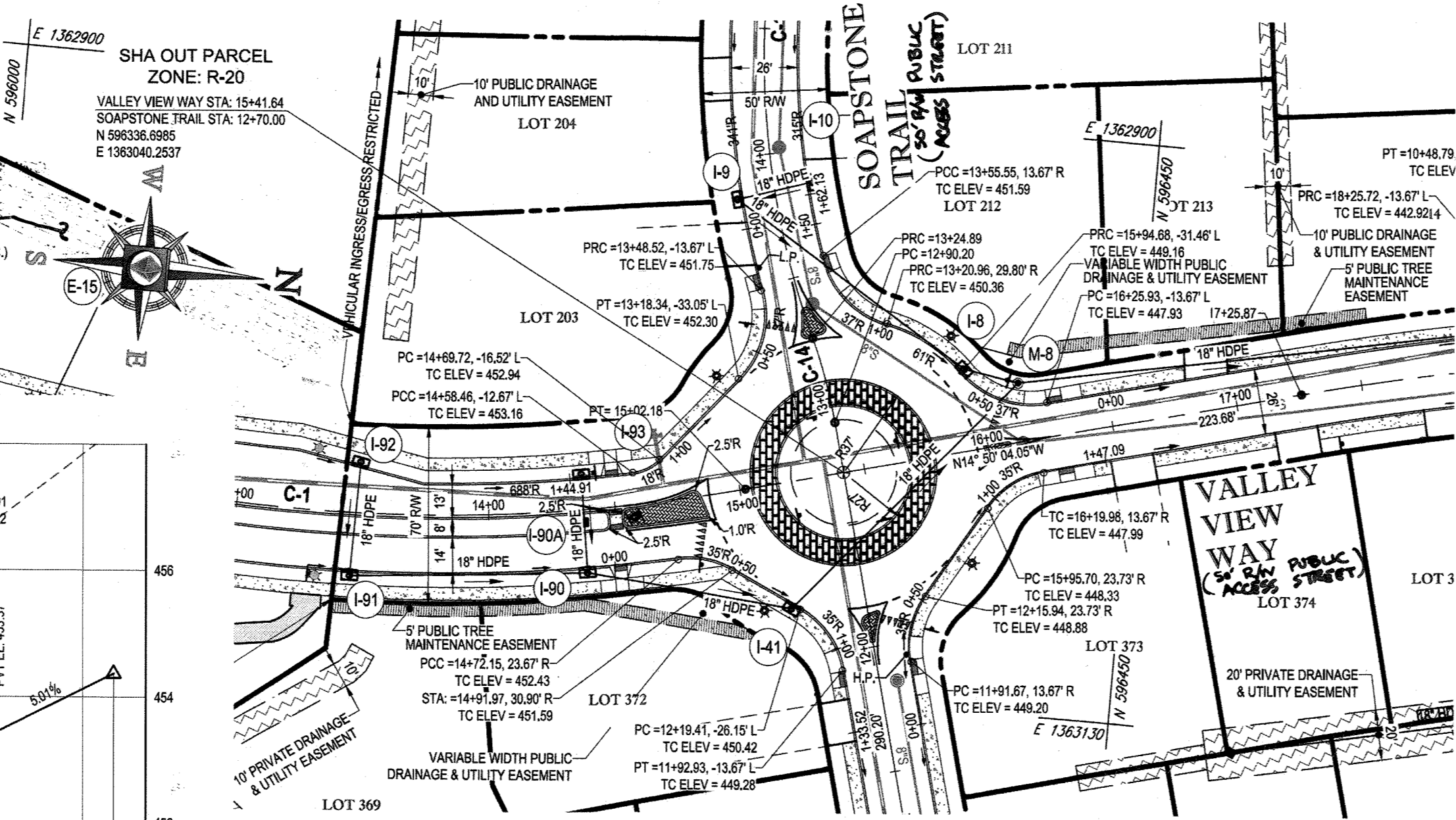
SUBMISSION NAME	SECTION AREA	LOT/Parcel NO.
ESTATES AT PATAPSCO PARK	NA	NA
PLAT # OR L.P.: 2421 TO 2426	GRID # 4.6, 11, 12	ZONING: P-20 & RED
PREVIOUS FILE NO.:	SP-13-012 ECP-13-029 WP-13-185 PB CASE NO. 403	ELECT. DISTRICT: 2ND CENSUS TRACT:

OWNER: ESTATES AT PATAPSCO PARK, LLC  
24012 FREDERICK ROAD  
CLARKSBURG, MD 20891  
CONTACT: MR. DAN SNYDER  
PHONE: (301) 674-8509

DEVELOPER: ESTATES AT PATAPSCO PARK, LLC  
24012 FREDERICK ROAD  
CLARKSBURG, MD 20891  
CONTACT: MR. DAN SNYDER  
PHONE: (301) 674-8509

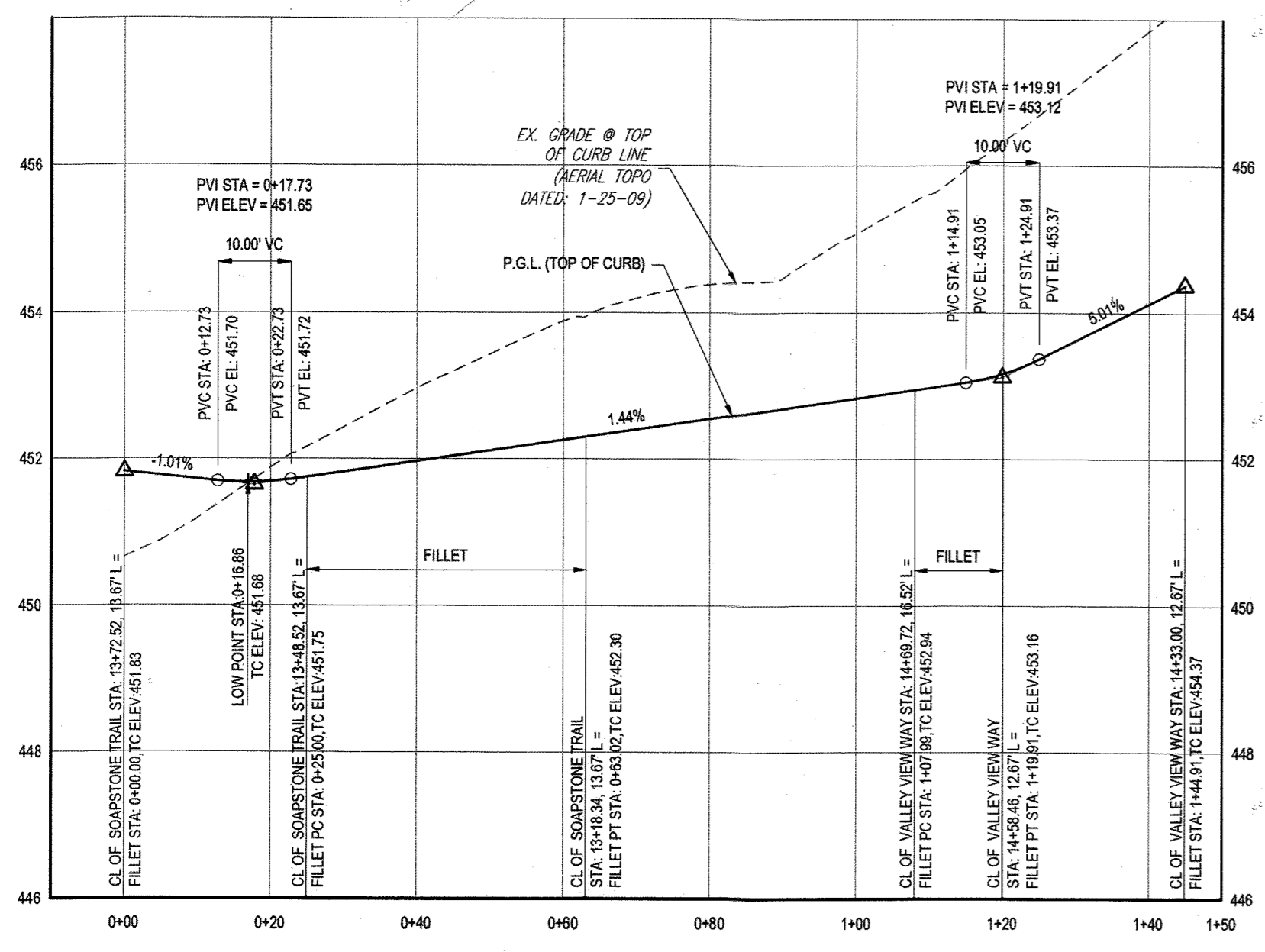
PURPOSE OF REVISIONS IS TO SHOW RESUBMISSION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.

LAND TO BE DEDICATED TO HOWARD COUNTY FOR THE PURPOSE OF A PUBLIC ROAD FROM MARYLAND STATE HIGHWAY ADMINISTRATION TO HOWARD COUNTY (57,572 SF OR 1.32 AC.)

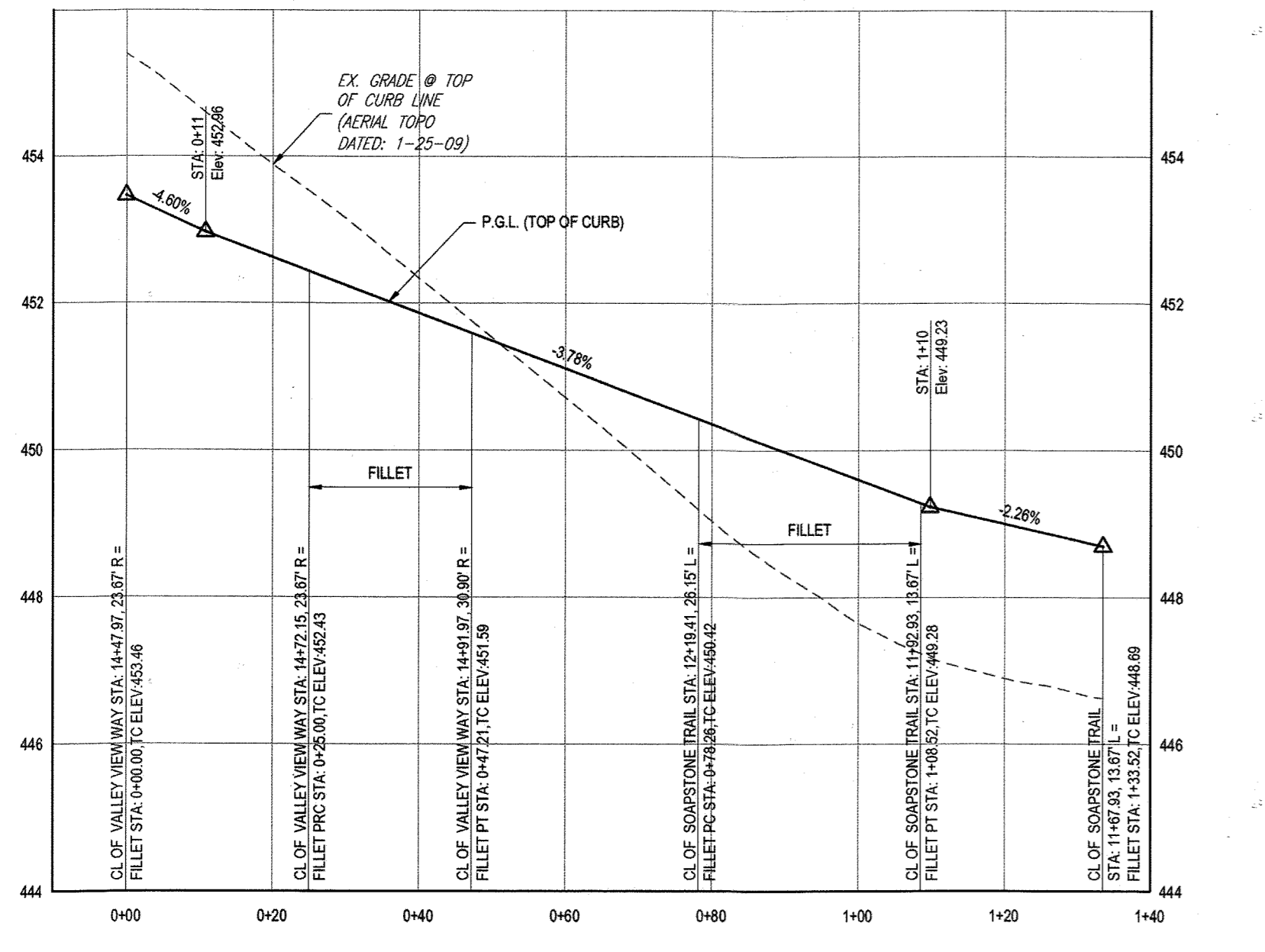


VALLEY VIEW WAY (ROUNDAABOUT) - PLAN  
SCALE: 1" = 50'

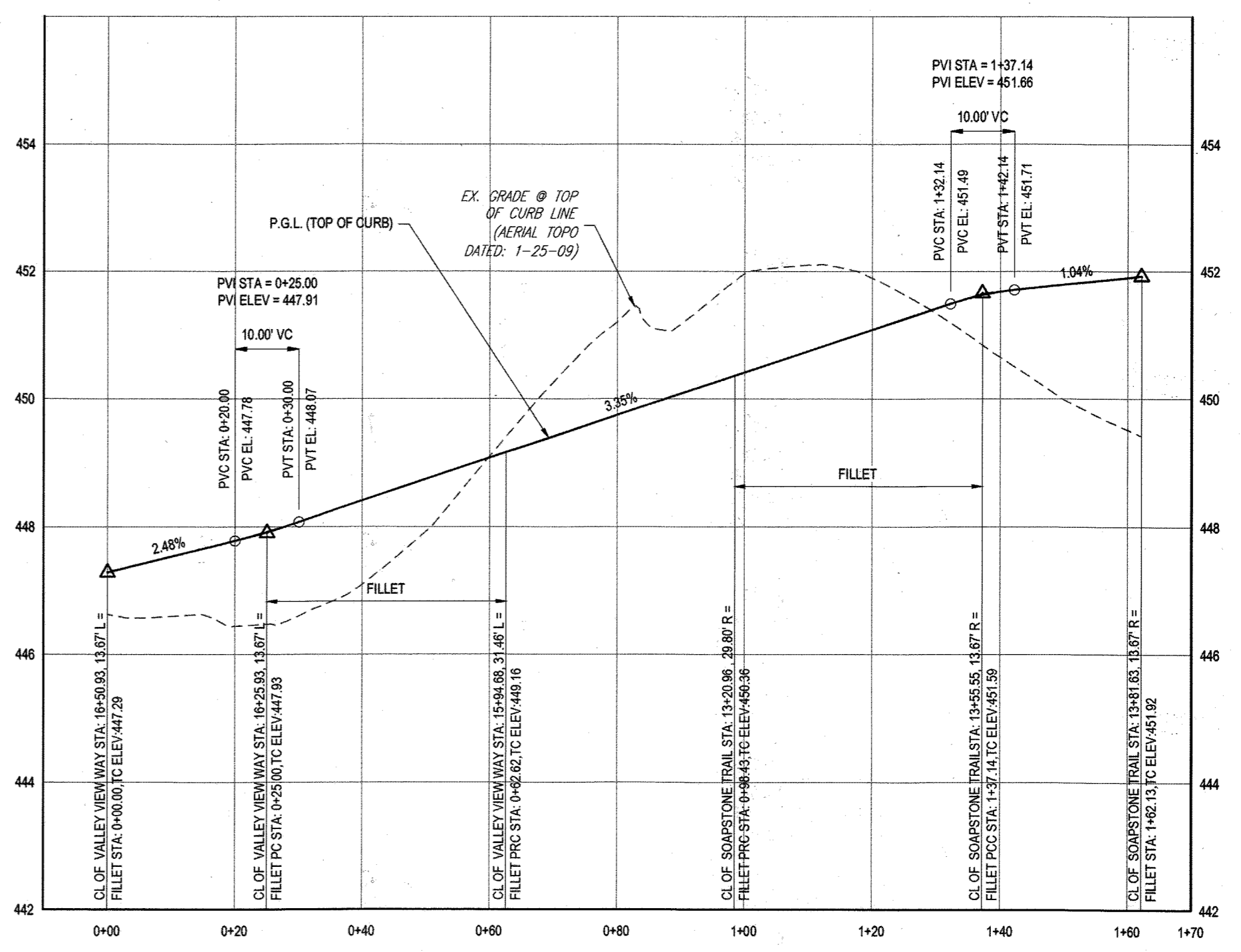
SEE SHEET 23 FOR ADDITIONAL  
DETAIL ON ROUNDAABOUT



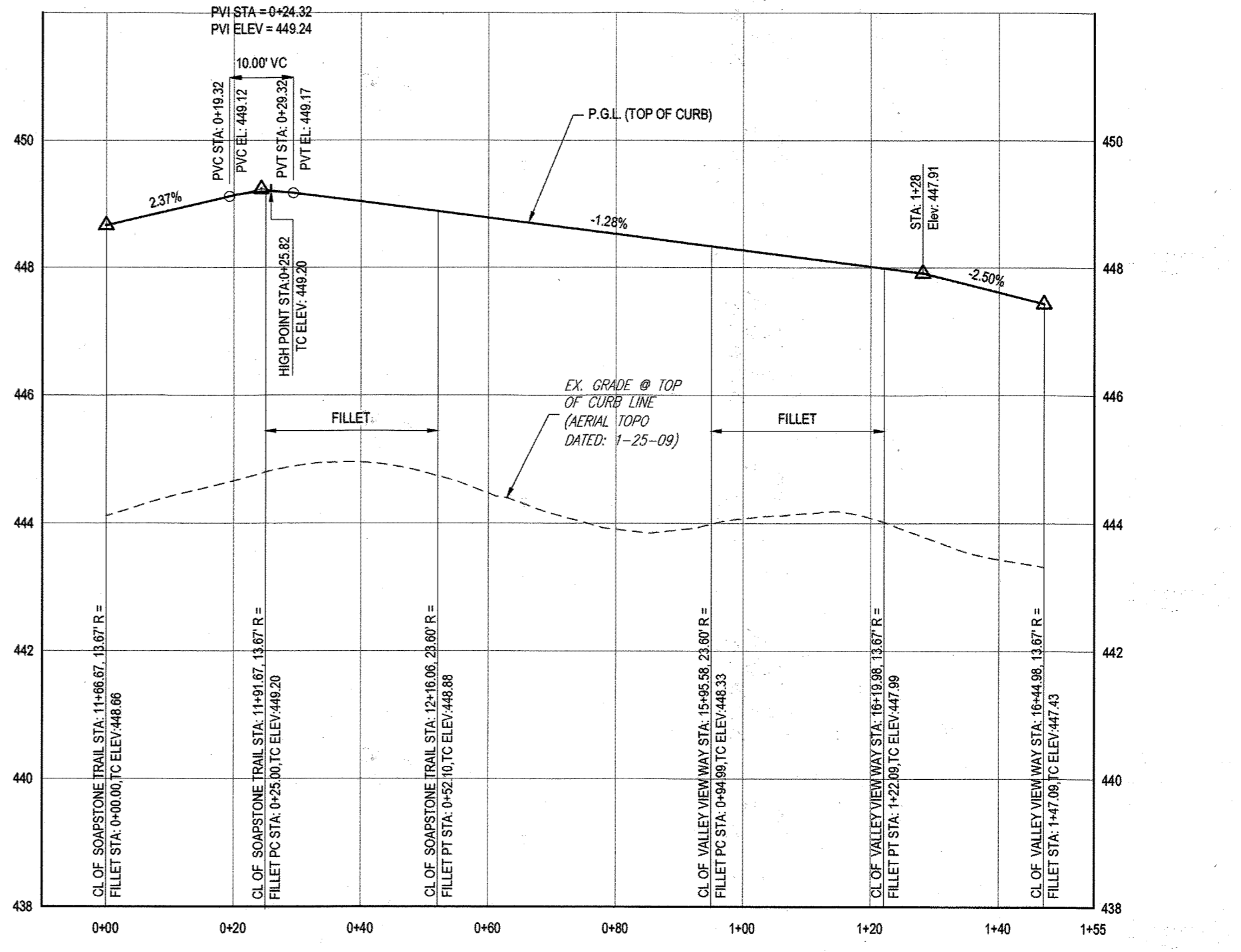
VALLEY VIEW WAY & SOAPSTONE TRAIL  
(SW QUADRANT) - FILLET PROFILE  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



VALLEY VIEW WAY & SOAPSTONE TRAIL  
(SE QUADRANT) - FILLET PROFILE  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



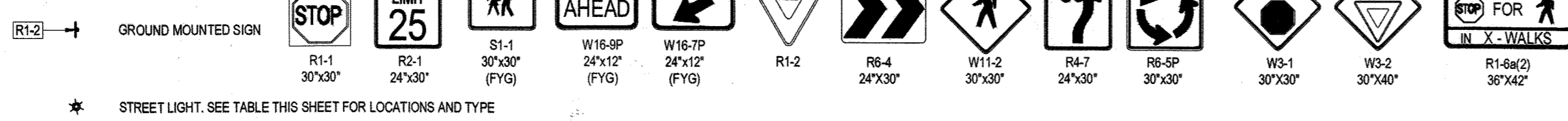
VALLEY VIEW WAY & SOAPSTONE TRAIL  
(NW QUADRANT) - FILLET PROFILE  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



VALLEY VIEW WAY & SOAPSTONE TRAIL  
(NE QUADRANT) - FILLET PROFILE  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL

- NOTES:
1. ALL PROPOSED PAVEMENT IS TO BE HOWARD COUNTY P-3 PAVEMENT. SEE SHEET 24 FOR PAVEMENT SECTION DETAIL.
  2. SEE SHEET 83-87 FOR STREET TREE LOCATIONS.
  3. ALL DRIVEWAY ENTRANCES ARE HO. CO. STD. DETAILS R-6.02 (WITH SIDEWALK NEXT TO CURB) & R-6.06 (WITHOUT SIDEWALK).

LEGEND:



\* STREET LIGHT. SEE TABLE THIS SHEET FOR LOCATIONS AND TYPE

APPROVED: DEPARTMENT OF PUBLIC WORKS  
DATE: 11/9/2015  
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
DATE: 12-17-15  
CHIEF, DIVISION OF LAND DEVELOPMENT

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 11-17-15

GENERAL NOTE:  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL APPLICABLE REGULATORY AGENCIES.

For Revision 3 only  
NO AS BUILT INFO



PURPOSE OF REVISIONS IS TO SHOW  
RESUBDIVISION OF LOTS 1 TO 195 AND  
SHOW NEW LOT NUMBERS 203 TO 397  
AS RECORDED UNDER F-16-051

PERMIT INFORMATION CHART				
SUBDIVISION NAME:	SECTION/AREA:	TAX MAP NO.:	ELECT DISTRICT:	CENSUS TRACT:
ESTATES AT PATAPSCO PARK	NA	17	2ND	
PLAT # OR L.P.:	GRID #:	ZONING:		
23421 TO 23428	6, 5, 11, 12	R-20 & R-12		
PREVIOUS FILE NO.:	SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403			

OWNER: ESTATES AT PATAPSCO PARK, LLC  
24012 FREDERICK ROAD  
CLARKSBURG, MD 20881  
CONTACT: MR. DAN SNYDER  
PHONE: (301) 674-8509

DEVELOPER: ESTATES AT PATAPSCO PARK, LLC  
24012 FREDERICK ROAD  
CLARKSBURG, MD 20881  
CONTACT: MR. DAN SNYDER  
PHONE: (301) 674-8509

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
WARRICK, NJ

OFFICES:  
BOWEN, MD  
STURBRIDGE, MA  
WARRINGTON, VA  
CHILMARK, MA  
PHILADELPHIA, PA

CIVIL & CONSULTING ENGINEERS  
SURVEYORS

PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS

REVISIONS				
REV	DATE	COMMENT	BY	RLB
1	10/21/15	REV PER RESUBDIVISION		
3	11/30/15	AS BUILT		RLB

**APPROVED FOR CONSTRUCTION**

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE SURFACE OF ANYWHERE IN THE STATES OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL: 1-800-245-4848 (PA 1-800-242-3776) (DC 1-800-257-7777) (VA 1-800-852-7001) (MD 1-800-257-7777) (DE 1-800-382-8555)

PROJECT NO.: MD152013  
DRAWN BY: RLB  
CHECKED BY: BRR  
DATE: 12/31/15  
SCALE: AS SHOWN  
CAD I.D.: PSH

PROJECT:  
**REVISED FINAL ROAD CONSTRUCTION PLANS**  
FOR  
**ESTATES AT PATAPSCO PARK**  
BUILDABLE LOTS 203-397 AND  
OPEN SPACE LOTS 196 - 202  
LOCATION OF SITE  
MD ROUTE 99  
ROGERS AVENUE  
HOWARD COUNTY

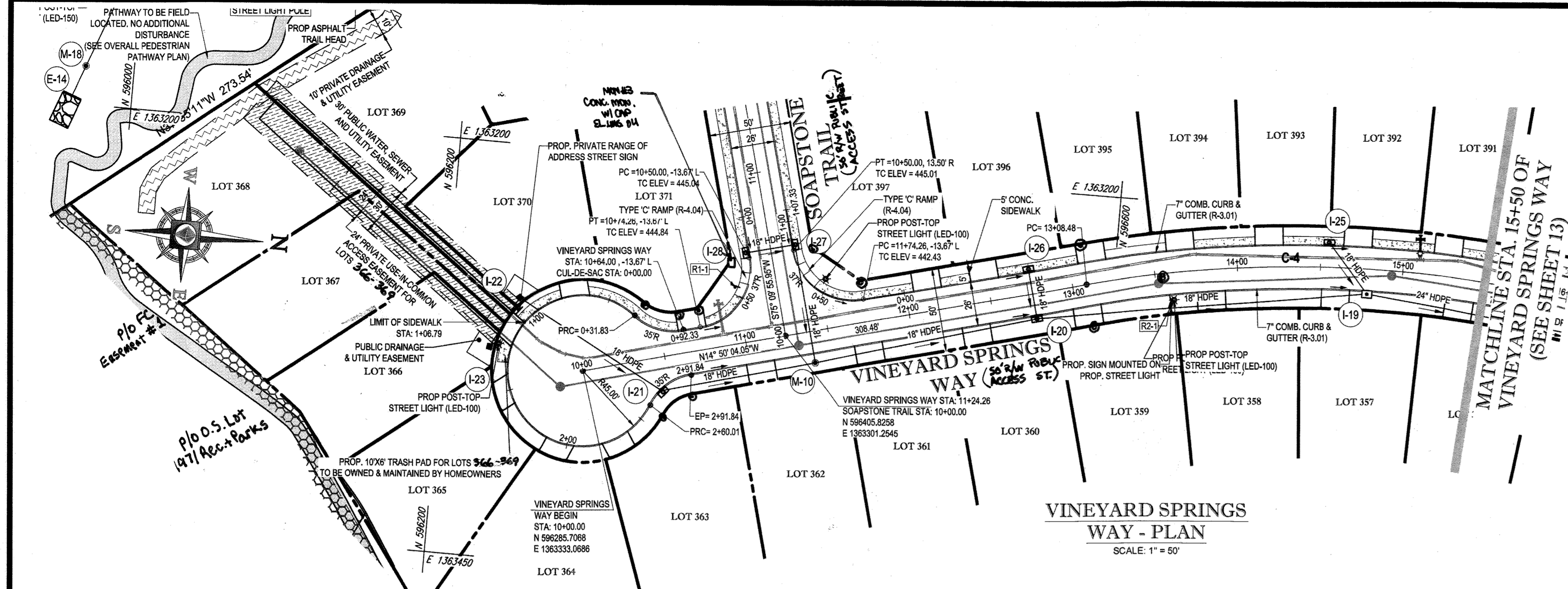
**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD,  
SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
www.BohlerEngineering.com

**BRANDON R. ROWE**  
REGISTERED PROFESSIONAL ENGINEER  
LICENSE NO. 40808  
STATE OF MARYLAND

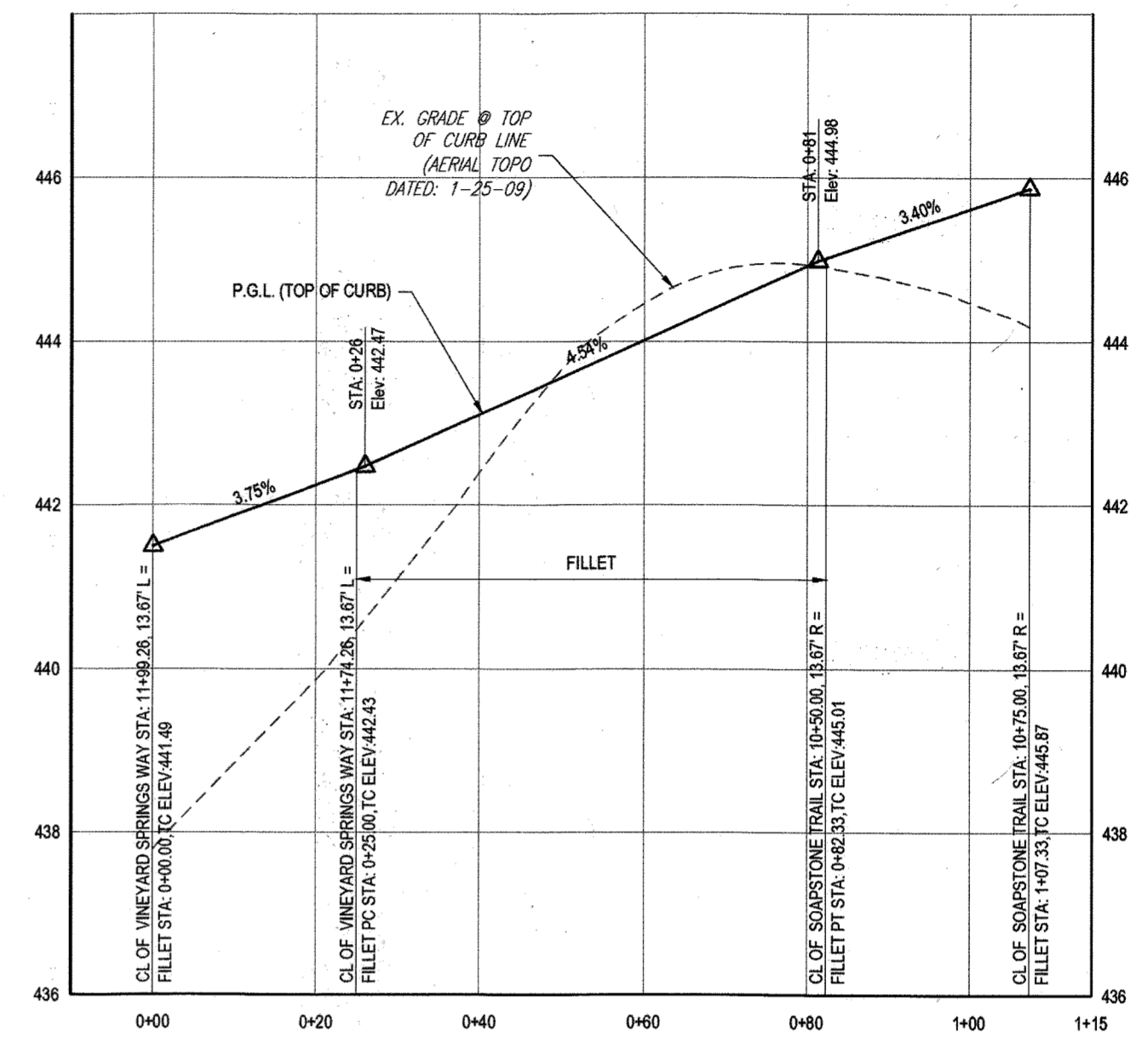
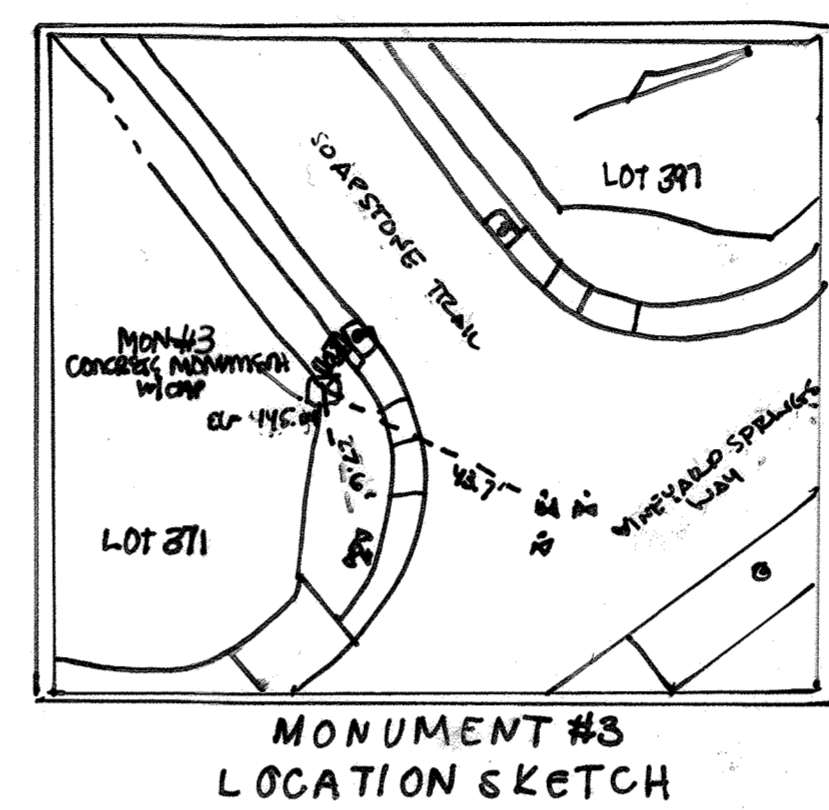
SHEET TITLE:  
**PUBLIC ROAD PLAN AND PROFILE**

SHEET NUMBER:  
**11**

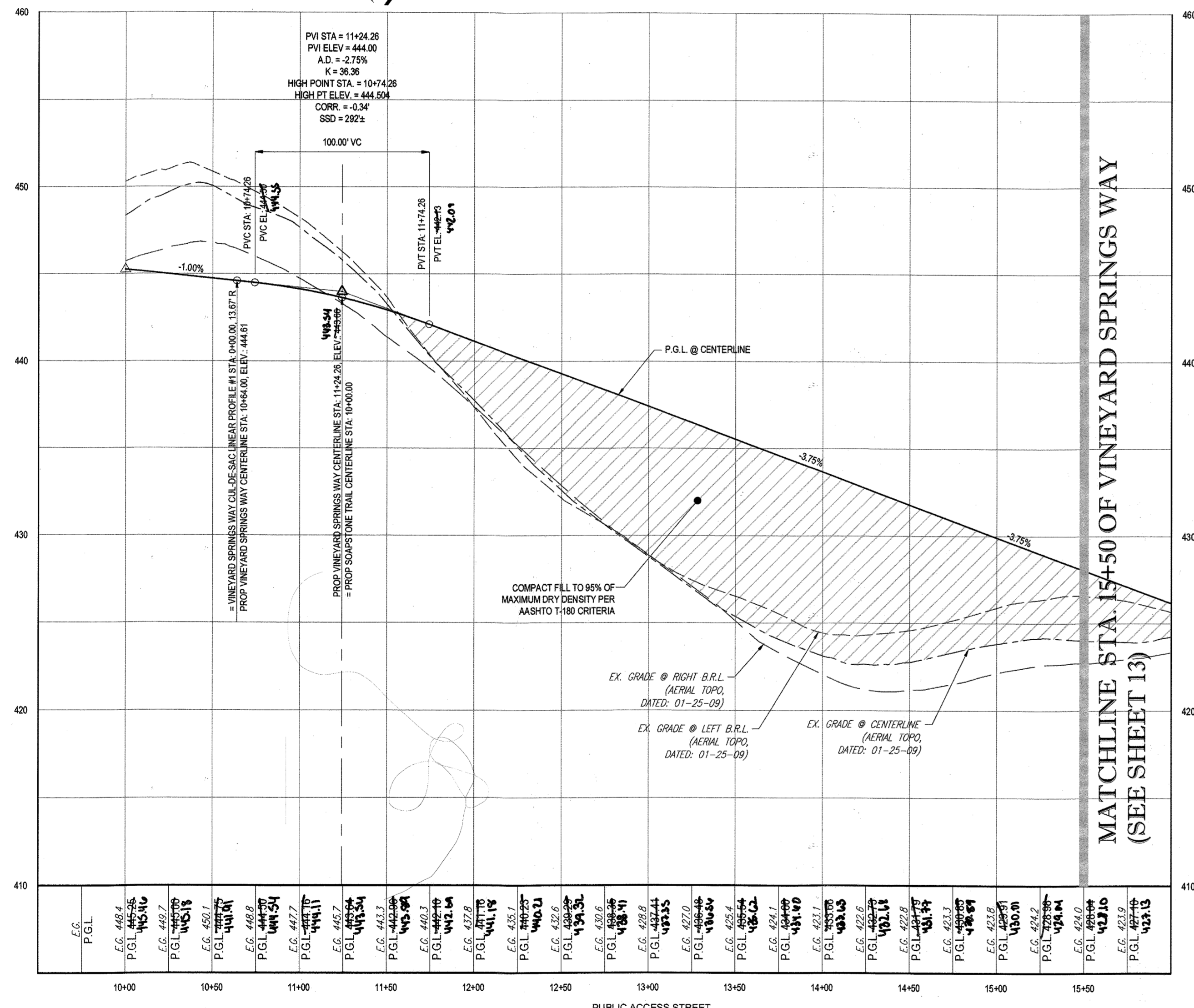


STREET LIGHT CHART					
STREET NAME	LOCATION		POLE HEIGHT	POLE TYPE	TYPE
	STATION	OFFSITE			
VINEYARD SPRINGS WAY	N 596233.8336	E 136321.4320	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
VINEYARD SPRINGS WAY	11+53.87	29.61' L	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
VINEYARD SPRINGS WAY	13+39.66	16.67' R	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)

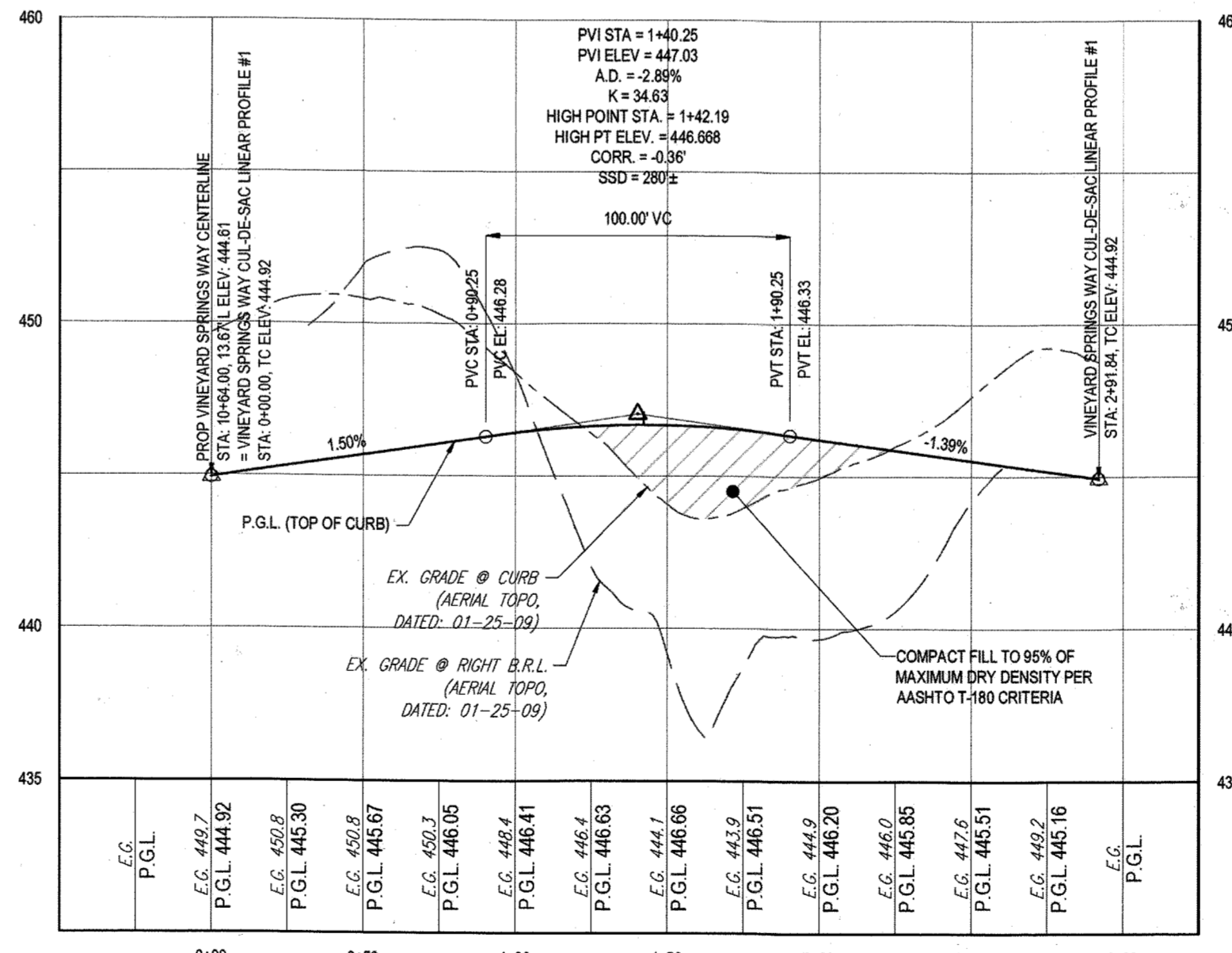
ROAD CENTERLINE CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	TANGENT
C-4	730.00'	495.64'	S04°36'59"W	486.18'	038°54'06"



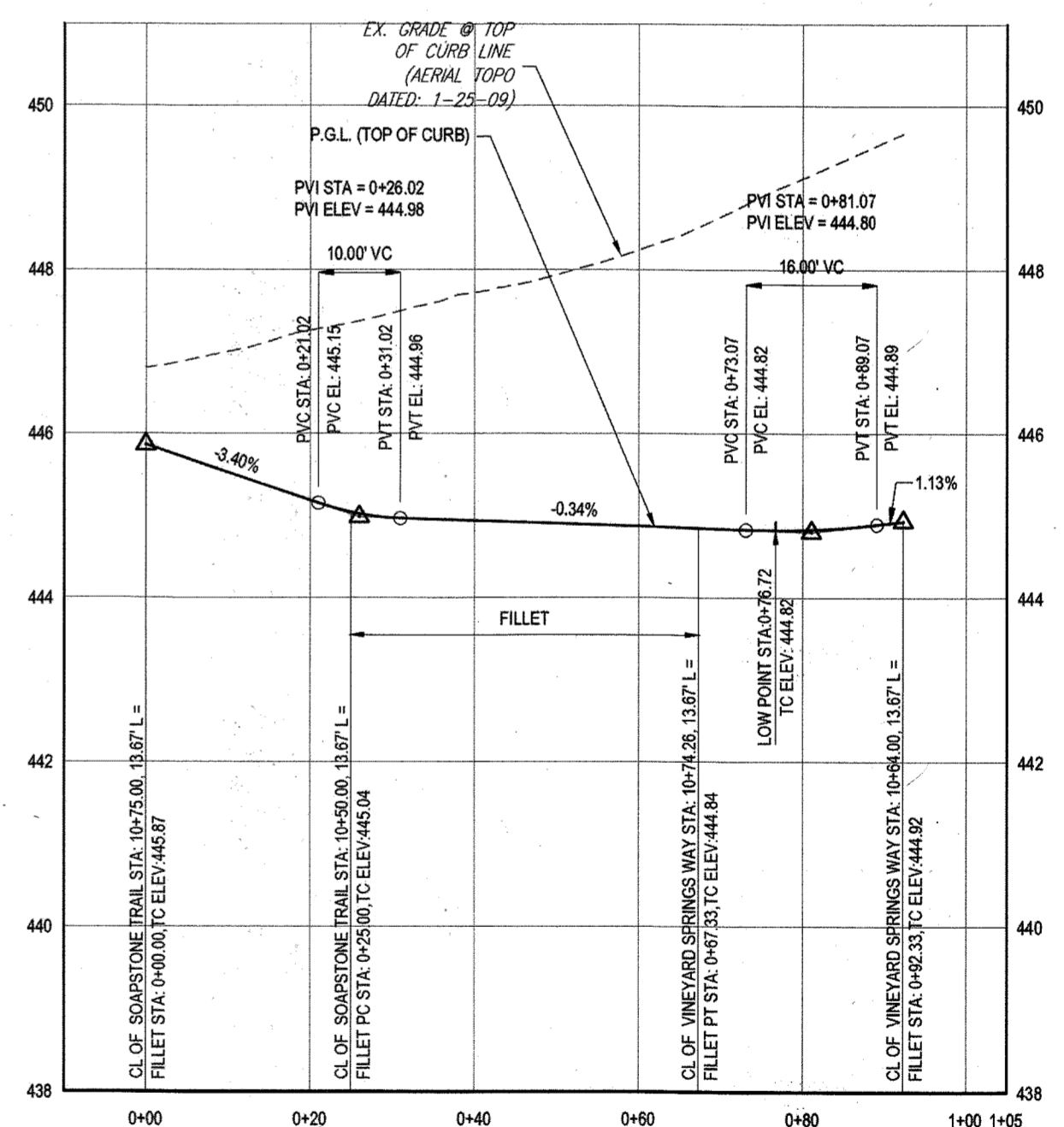
VINEYARD SPRINGS WAY & SOAPSTONE TRAIL (NW QUADRANT) - FILLET PROFILE  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



VINEYARD SPRINGS WAY - ROAD PROFILE  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL



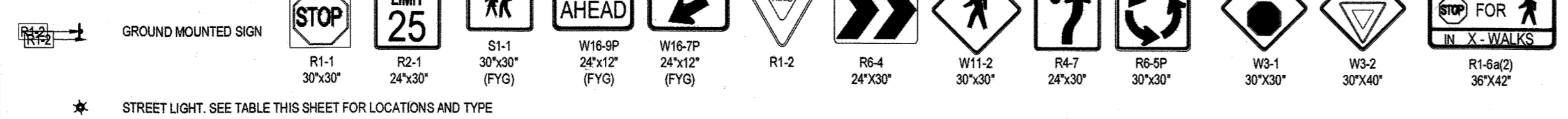
VINEYARD SPRINGS WAY - CUL-DE-SAC LINEAR PROFILE #1  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL



VINEYARD SPRINGS WAY & SOAPSTONE TRAIL (SW QUADRANT) - FILLET PROFILE  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL

- NOTES:
1. ALL PROPOSED PAVEMENT IS TO BE HOWARD COUNTY P-3 PAVEMENT. SEE SHEET 24 FOR PAVEMENT SECTION DETAIL.
  2. SEE SHEET 83-87 FOR STREET TREE LOCATIONS.
  3. ALL DRIVEWAY ENTRANCES ARE HO. CO. STD. DETAILS R-6.02 (WITH SIDEWALK NEXT TO CURB) & R-6.05 (WITHOUT SIDEWALK).

LEGEND:



APPROVED: DEPARTMENT OF PUBLIC WORKS  
 DATE: 11/9/2015  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 DATE: 12-17-15  
 DATE: 11-17-15

GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHOULD BE DONE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL, REGIONAL, STATE AND FEDERAL CODES.

PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.	GENUS TRACT
ESTATES AT PATAPSCO PARK	NA	NA	NA
PLAT # OR L.P.:	GRID # S. & E.:	ZONING:	TAX MAP NO.:
2421 TO 2426	R. 6 & 11, 12	R-20 & RED	17
PREVIOUS FILE NO.:	SECTION:	ELECT. DISTRICT:	GENUS TRACT:
SP-13-012	1	2ND	NA
EOP-13-029			
WP-13-185			
PB CASE NO. 403			

OWNER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20881  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

DEVELOPER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20881  
 CONTACT: MR. DAN SNYDER  
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**BOHLER ENGINEERING**

CONSULTING OFFICE:  
 WARREN, NJ

OFFICES:  
 BOWEN, MD  
 TOWSON, MD  
 CLARKSBURG, MD  
 CHILMARK, PA  
 HARRISBURG, PA  
 TAMPA, FL

SUBVERSORS:  
 CIVIL & CONSULTING ENGINEERS

PROJECT MANAGERS:  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

REVISIONS				
REV	DATE	COMMENT	REV PER	BY
1	10/21/15	RESUBDIVISION OF LOTS	RLB	RLB
3	11/02/15	MS BUILT	BRR	BRR

**APPROVED FOR CONSTRUCTION**

PROJECT NO.: MD152013  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 12/31/15  
 SCALE: AS SHOWN  
 CAD I.D.: PSH

**REVISED FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202 LOCATION OF SITE MD ROUTE 99 ROGERS AVENUE HOWARD COUNTY**

**BOHLER ENGINEERING**

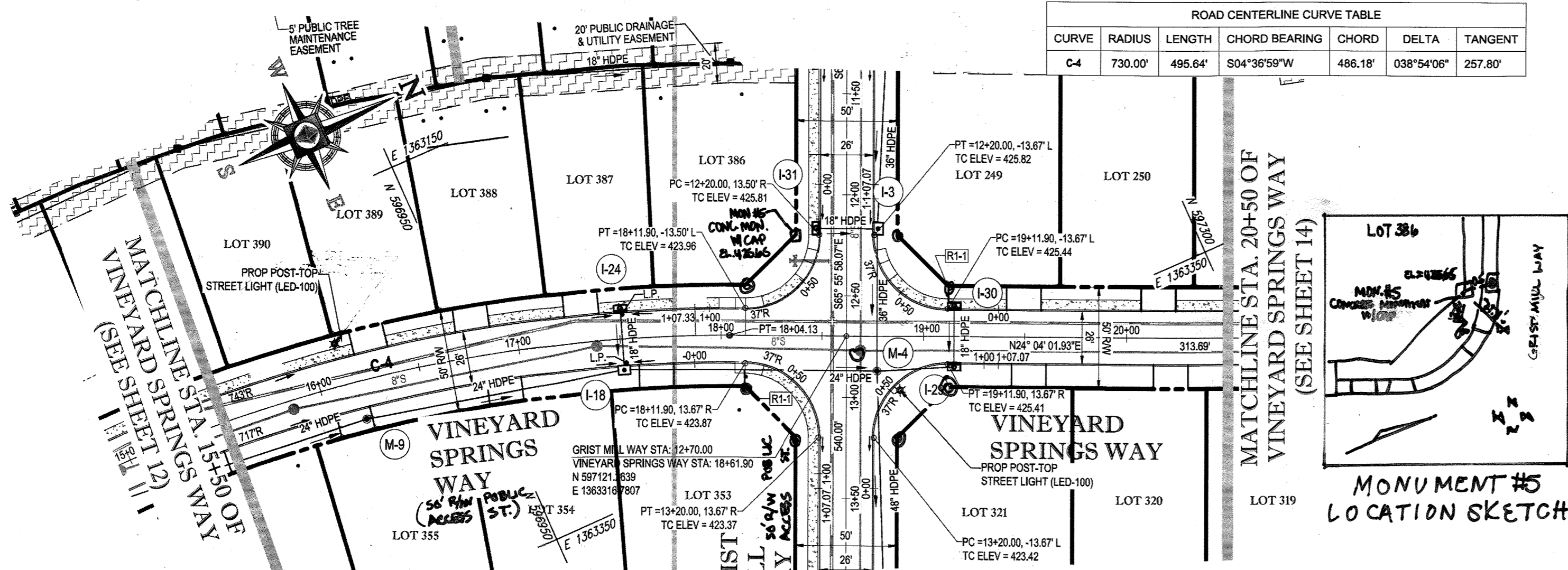
901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**B. B. PROWE**

PROFESSIONAL ENGINEER  
 No. 40888  
 PROFESSIONAL ENGINEERING BOARD OF MARYLAND

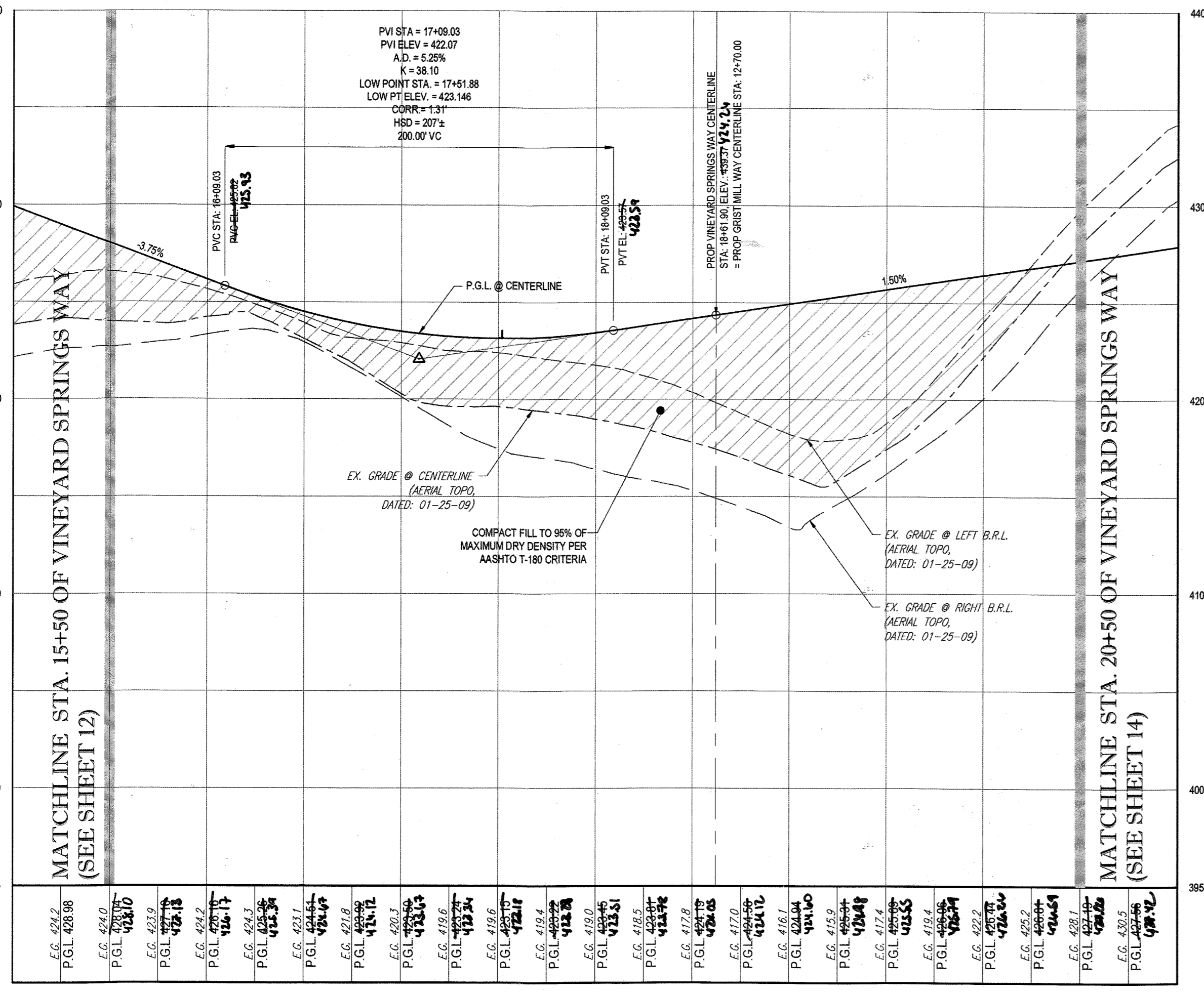
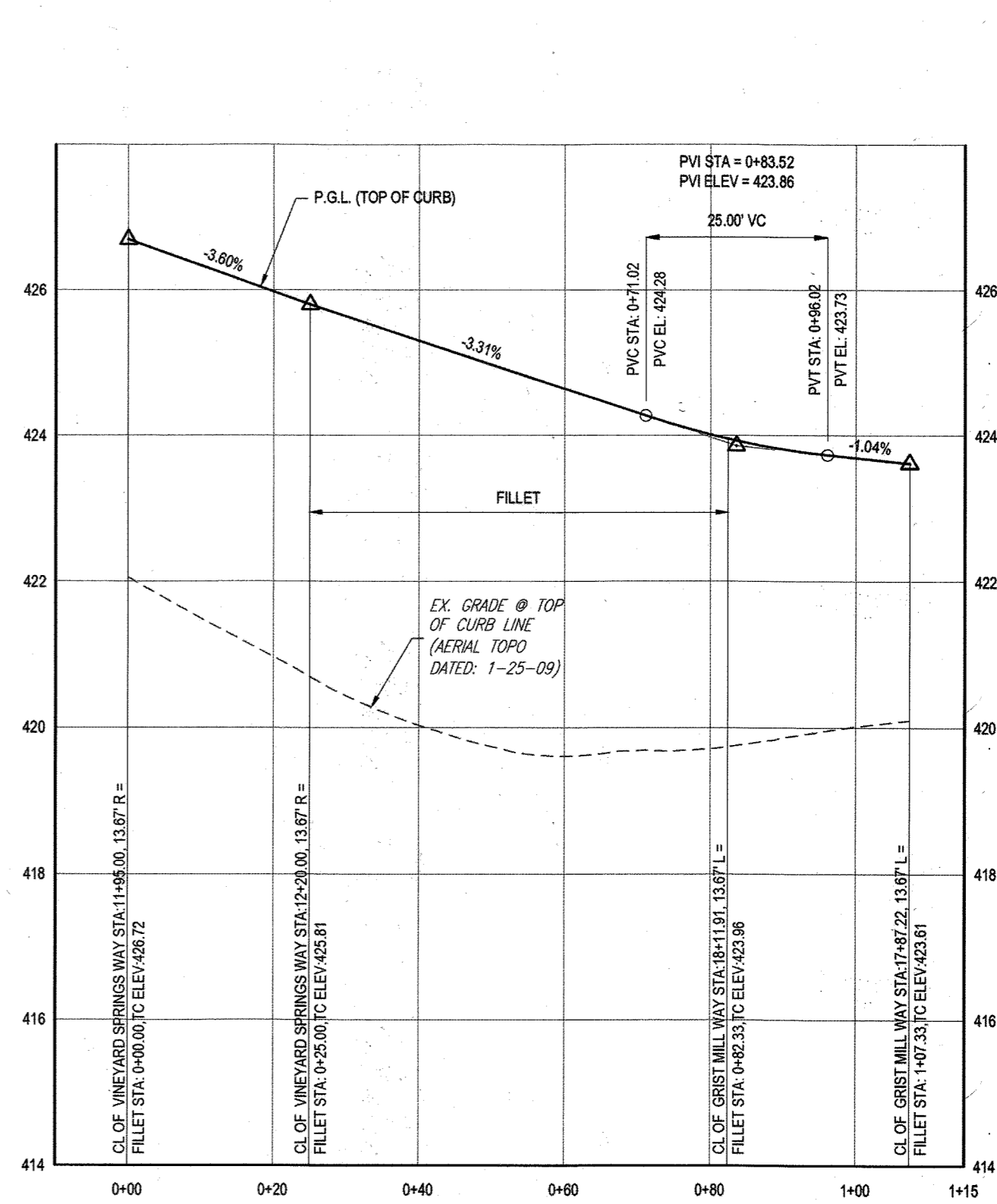
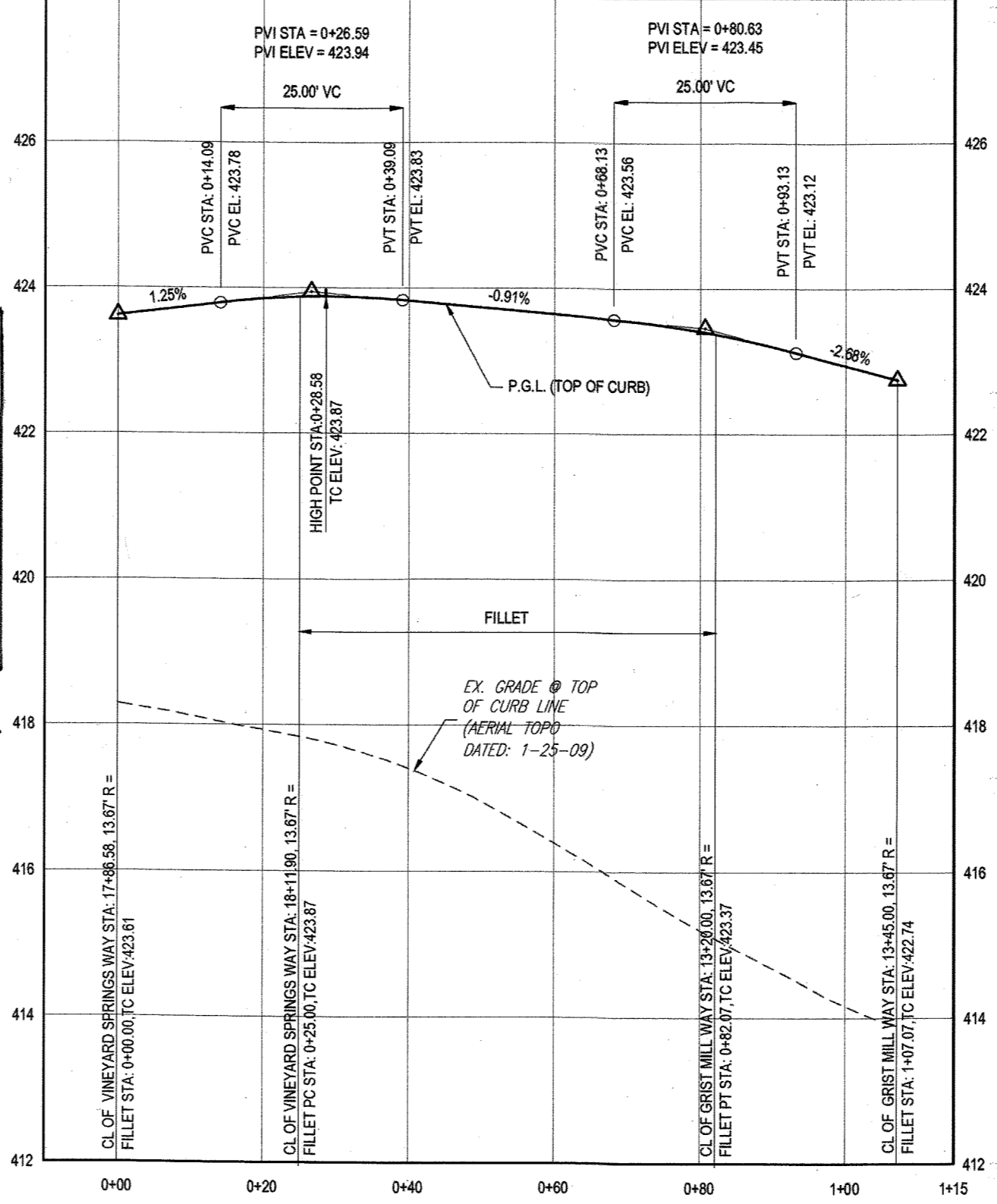
**PUBLIC ROAD PLAN AND PROFILE**

SHEET NUMBER: 12



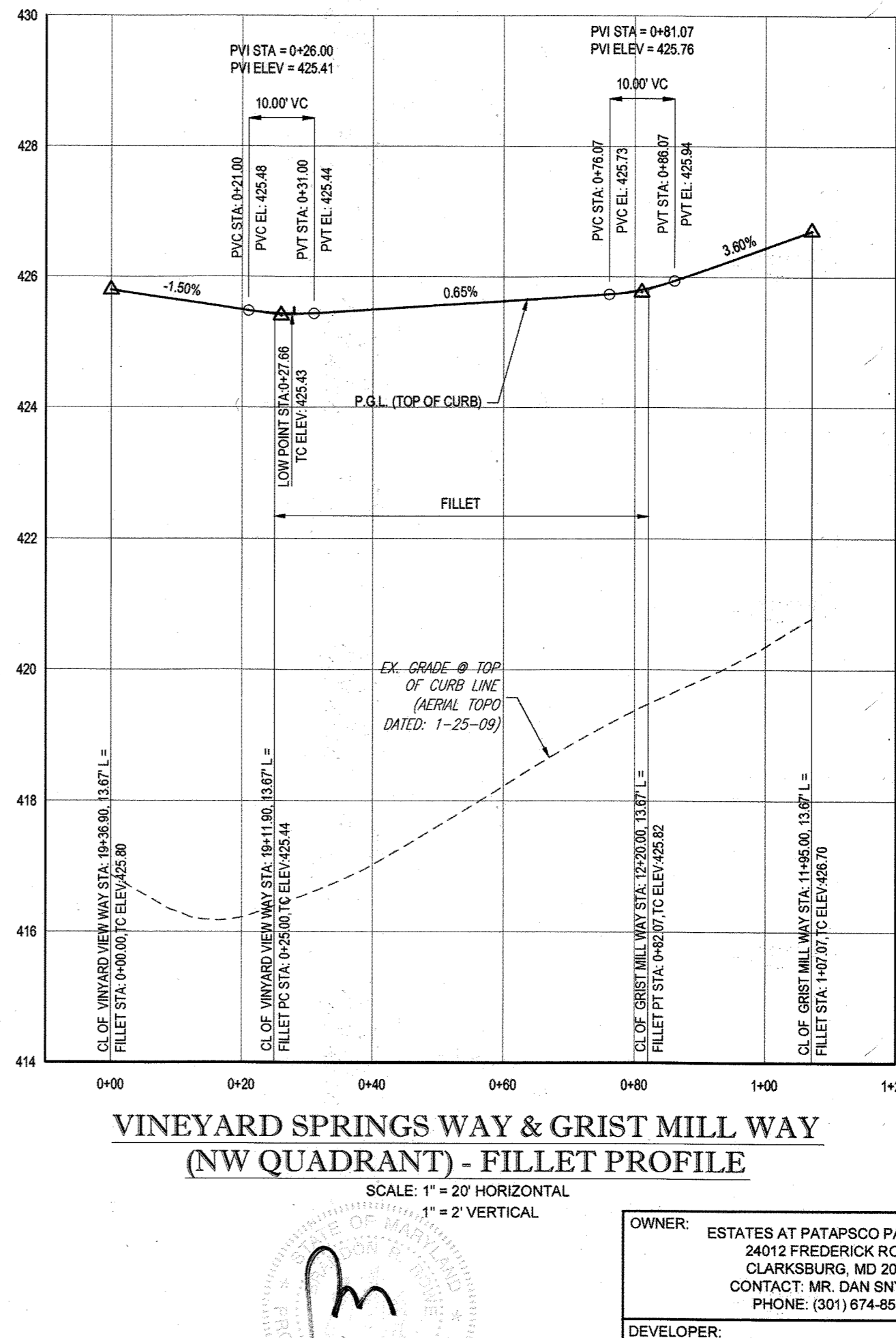
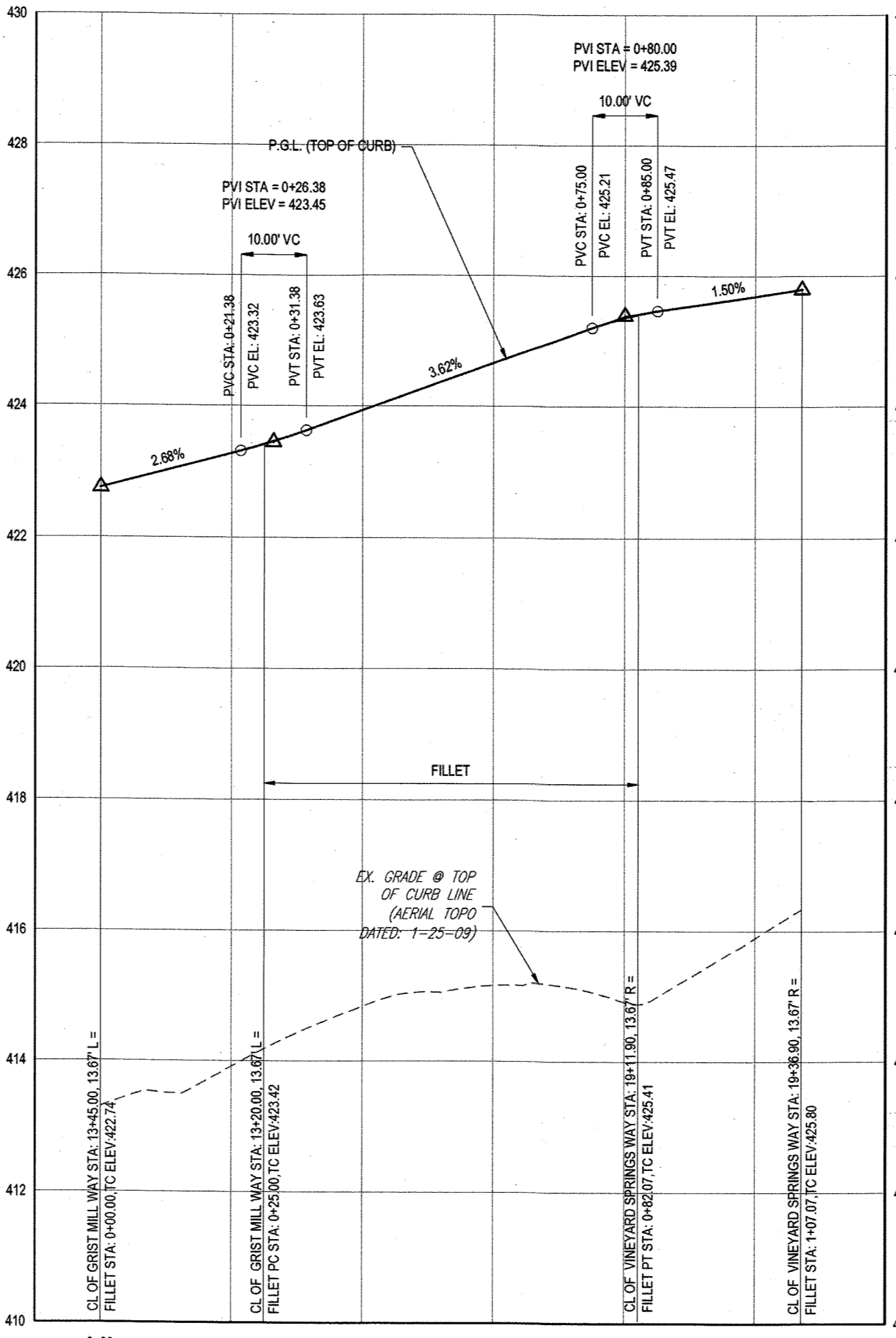
ROAD CENTERLINE CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	TANGENT
C-4	730.00'	495.64'	S04°36'59"W	486.18'	038°54'06"

STREET LIGHT CHART					
STREET NAME	LOCATION		POLE HEIGHT	POLE TYPE	TYPE
	STATION	OFFSITE			
VINEYARD SPRINGS WAY	18+88.34	26.43' R	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
VINEYARD SPRINGS WAY	16+12.60	20.67' L	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)



VINEYARD SPRINGS WAY & GRIST MILL WAY (SE QUADRANT) - FILLET PROFILE  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL

VINEYARD SPRINGS WAY & GRIST MILL WAY (SW QUADRANT) - FILLET PROFILE  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



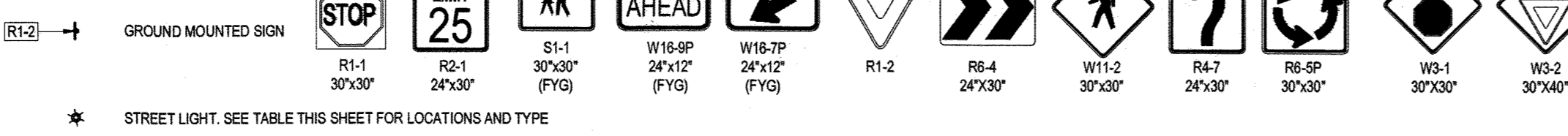
VINEYARD SPRINGS WAY & GRIST MILL WAY (NE QUADRANT) - FILLET PROFILE  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL

VINEYARD SPRINGS WAY & GRIST MILL WAY (NW QUADRANT) - FILLET PROFILE  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL

VINEYARD SPRINGS WAY - ROAD PROFILE  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

- NOTES:
1. ALL PROPOSED PAVEMENT IS TO BE HOWARD COUNTY P-3 PAVEMENT. SEE SHEET 24 FOR PAVEMENT SECTION DETAIL.
  2. SEE SHEET 83-87 FOR STREET TREE LOCATIONS.
  3. ALL DRIVEWAY ENTRANCES ARE HO. CO. STD. DETAILS R-6.02 (WITH SIDEWALK NEXT TO CURB) & R-4.05 (WITHOUT SIDEWALK).

LEGEND:



APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] DATE 11/9/2015  
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] DATE 12-17-15  
 CHIEF, DIVISION OF LAND DEVELOPMENT

CHIEF, DEVELOPMENT ENGINEERING DIVISION [Signature] DATE 11-17-15

GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK BEFORE THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL APPLICABLE REGULATIONS AND ORDINANCES.

PERMIT INFORMATION CHART			
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA	
FLAT # OR LOT: 2242 TO 2248	GRID # & S, E, 11, 12	ZONING: R-20 & RED	TAX MAP NO.: 17
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403	PROFESSIONAL CERTIFICATION I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40806, EXPIRATION DATE: 12/31/17		

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
 1111 W. 11TH ST., SUITE 200  
 WASHINGTON, PA 15387  
 PHONE: (412) 261-1111  
 FAX: (412) 261-1112  
 WWW.BOHLENERGINEERING.COM

CIVIL & CONSULTING ENGINEERS  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

BRANCH OFFICES:  
 SOUTH BOROUGHS, MA  
 TOWNSON, MD  
 ALBANY, NY  
 CHALFONTS, PA  
 TAMPA, FL  
 PHILADELPHIA, PA

REVISIONS				
REV	DATE	COMMENT	REV PER	BY
1	10/21/15	RESUBDIVISION OF LOTS		RLB
3	11/30/15	AS BUILT		RLB

**APPROVED FOR CONSTRUCTION**

PROJECT NO.: MD152013  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 12/31/15  
 SCALE: AS SHOWN  
 CAD I.D.: PSB

PROJECT:  
**REVISED FINAL ROAD CONSTRUCTION PLANS**  
 FOR  
**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 203-397 AND  
 OPEN SPACE LOTS 196 - 202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**

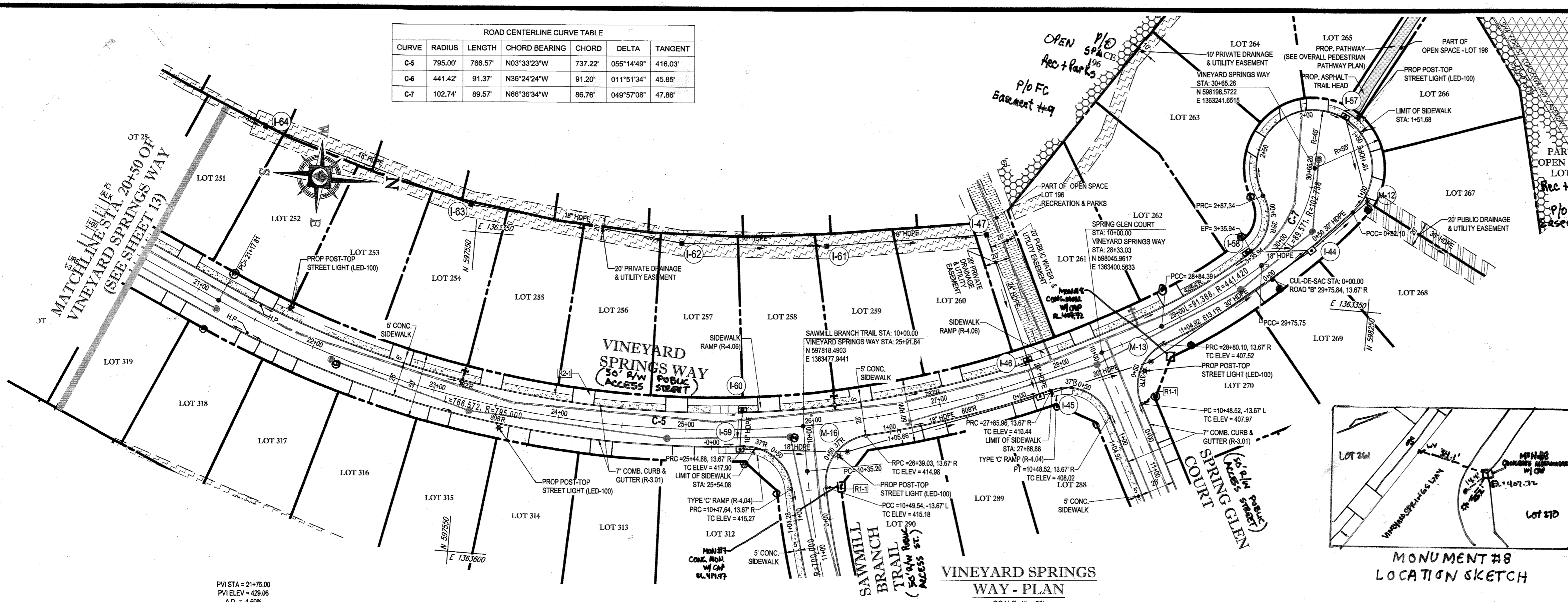
901 DULANEY VALLEY ROAD,  
 SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**B.R. ROWE**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 40806  
 EXPIRATION DATE: 12/31/17

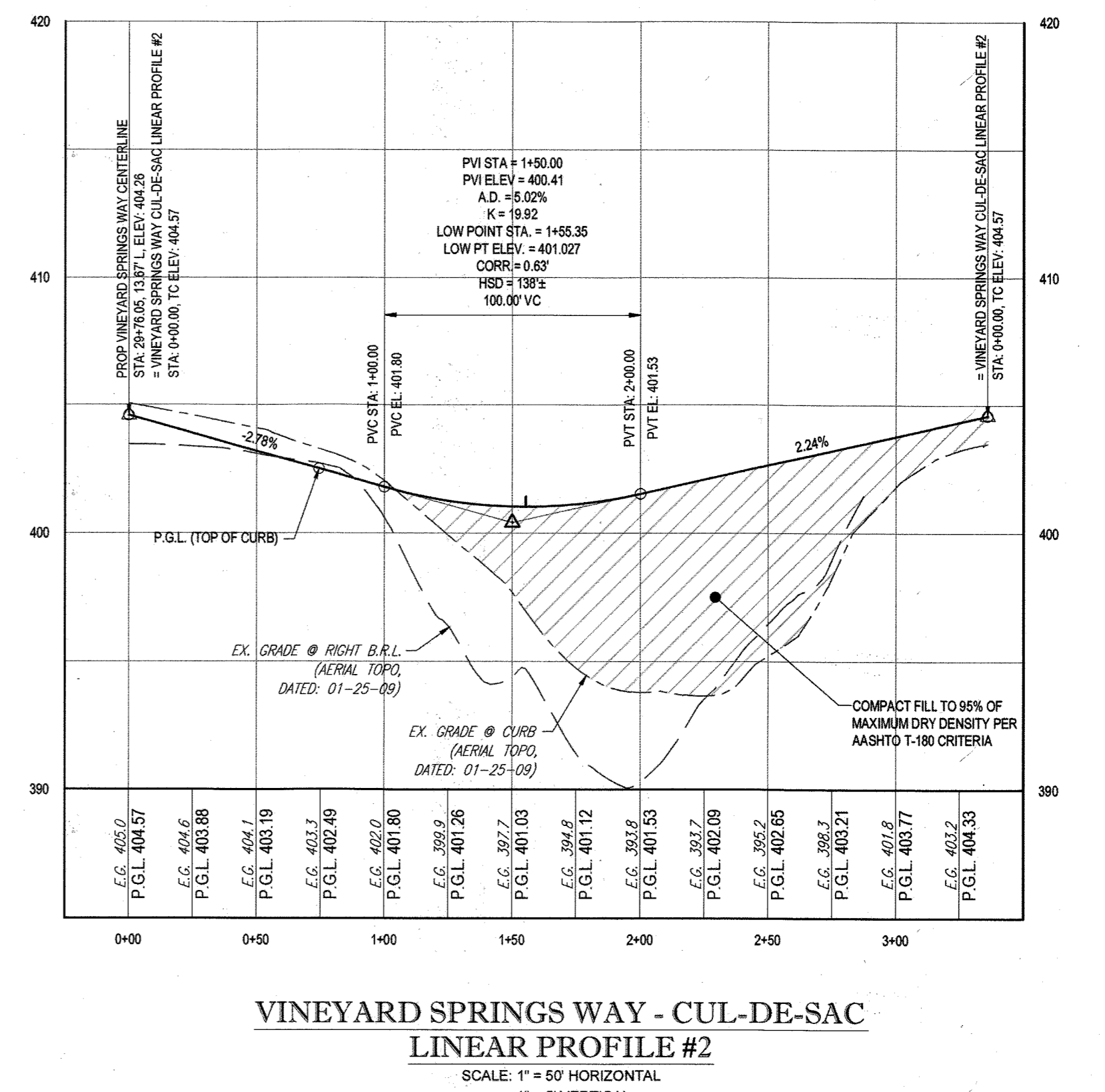
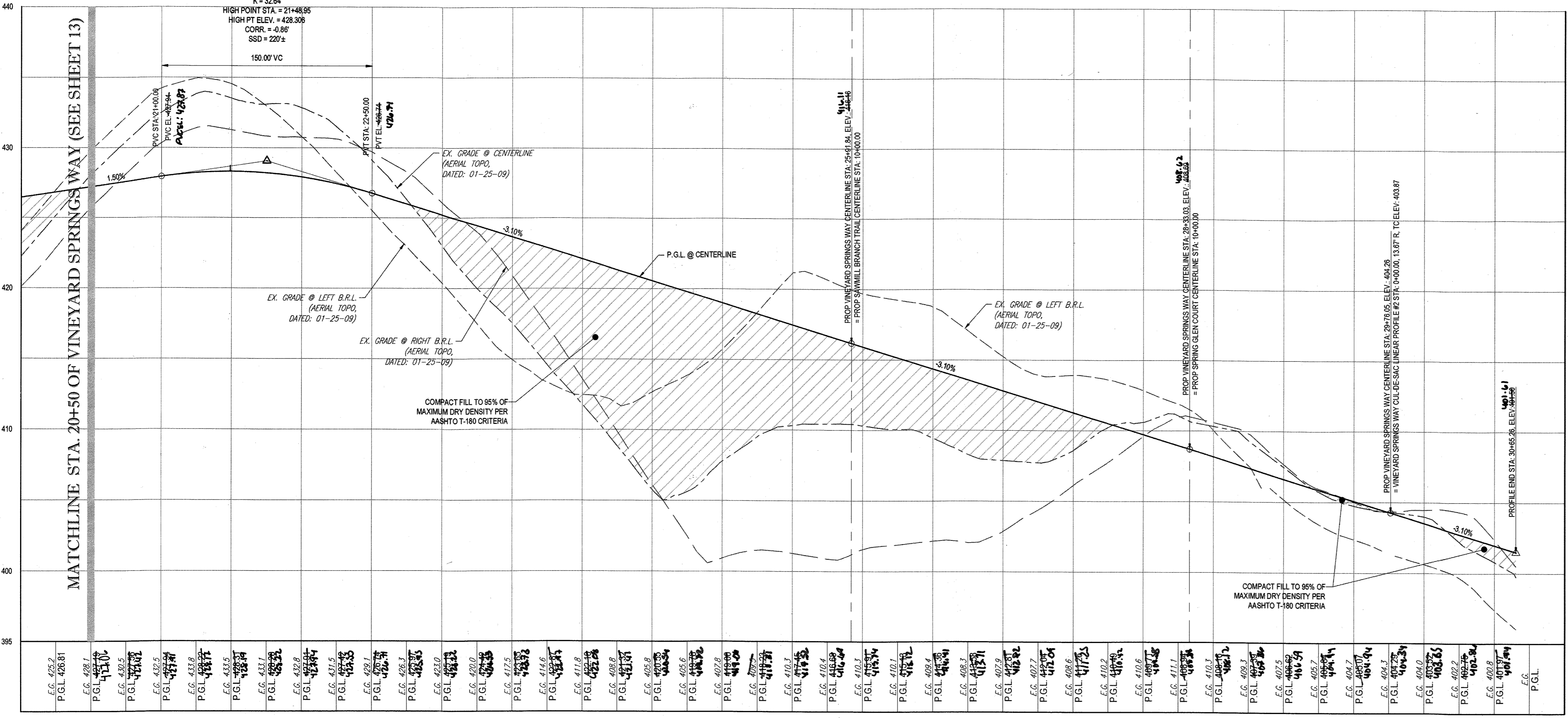
SHEET TITLE:  
**PUBLIC ROAD PLAN AND PROFILE**

SHEET NUMBER:  
**13**

ROAD CENTERLINE CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C-5	795.00'	766.57'	N03°33'23"W	737.22'	055°14'49"	416.03'
C-6	441.42'	91.37'	N36°24'24"W	91.20'	011°51'34"	45.85'
C-7	102.74'	89.57'	N66°36'34"W	86.76'	048°57'08"	47.86'



STREET LIGHT CHART					
STREET NAME	LOCATION	POLE HEIGHT	POLE TYPE	TYPE	
VINEYARD SPRINGS WAY	21+71.10	20.67' L	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
VINEYARD SPRINGS WAY	23+59.92	16.67' R	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
VINEYARD SPRINGS WAY	26+16.68	26.30' R	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
VINEYARD SPRINGS WAY	28+57.96	26.06' R	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
VINEYARD SPRINGS WAY	N 5982.32 6808 E 1363201 9344		14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)



APPROVED: DEPARTMENT OF PUBLIC WORKS  
 DATE: 11/9/2015  
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 DATE: 11-17-15  
 CHIEF, DIVISION OF LAND DEVELOPMENT

CHIEF, DEVELOPMENT ENGINEERING DIVISION

- NOTES:
- ALL PROPOSED PAVEMENT IS TO BE HOWARD COUNTY P-3 PAVEMENT. SEE SHEET 24 FOR PAVEMENT SECTION DETAIL.
  - SEE SHEET 69-87 FOR STREET TREE LOCATIONS.
  - ALL DRIVEWAY ENTRANCES ARE HO. CO. STD. DETAILS R-6.02 (WITH SIDEWALK NEXT TO CURB) & R-6.05 (WITHOUT SIDEWALK).
- LEGEND:
- R1-2 → GROUND MOUNTED SIGN
  - R1-1 30"x30"
  - R2-1 24"x12" 24"x30"
  - S1-1 30"x30" (FYG)
  - W16-5P 24"x12" (FYG)
  - W16-7P 24"x12" (FYG)
  - R1-2
  - R6-4 24"x30"
  - W11-2 30"x30"
  - R4-7 24"x30"
  - R6-5P 30"x30"
  - W3-1 30"x30"
  - W3-2 30"x40"
  - R1-6A(2) 36"x42"
  - STATE LAW FOR N. X. WALKS

VINEYARD SPRINGS WAY - ROAD PROFILE

VINEYARD SPRINGS WAY - CUL-DE-SAC LINEAR PROFILE #2

PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.

PERMIT INFORMATION CHART			
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA	
PLAT # OR L.P.: 23421 TO 23428	GRID # S, E, N, 11, 12	ZONING: R-20 & RED	TAX MAP NO.: 17
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-105 PB CASE NO.: 403	ELECT. DISTR.: 2ND		

OWNER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20881  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

DEVELOPER:  
 ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20881  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
 WARREN, NJ

OFFICES:  
 BOWLING GREEN, OH  
 CHARLOTTE, NC  
 CHICAGO, IL  
 CLARKSBURG, MD  
 COLUMBIANA, OH  
 FORT WORTH, TX  
 HARTFORD, CT  
 HUNTSVILLE, AL  
 KANSAS CITY, MO  
 LITTLE ROCK, AR  
 MEMPHIS, TN  
 NEW YORK, NY  
 PHILADELPHIA, PA  
 RICHMOND, VA  
 TAMPA, FL

CIVIL & CONSULTING ENGINEERS  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

REVISIONS				
REV	DATE	COMMENT	REV PER	BY
1	10/21/15	RESUBDIVISION OF LOTS	RLB	RLB
3	11/20/15	AS BUILT	BRZ	BRZ

**APPROVED FOR CONSTRUCTION**

PROJECT No.: MD152013  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 11/23/15  
 SCALE: AS SHOWN  
 CAD ID.: PSR

**REVISED FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK**

BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202

LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

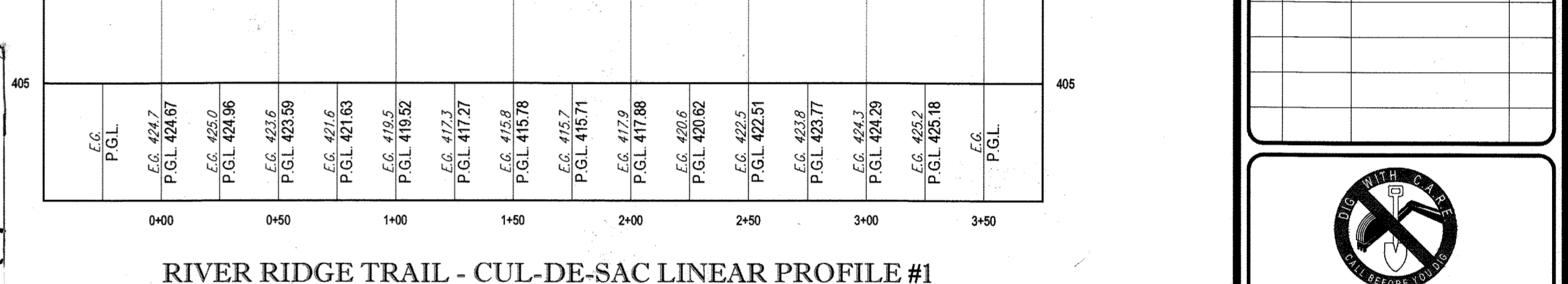
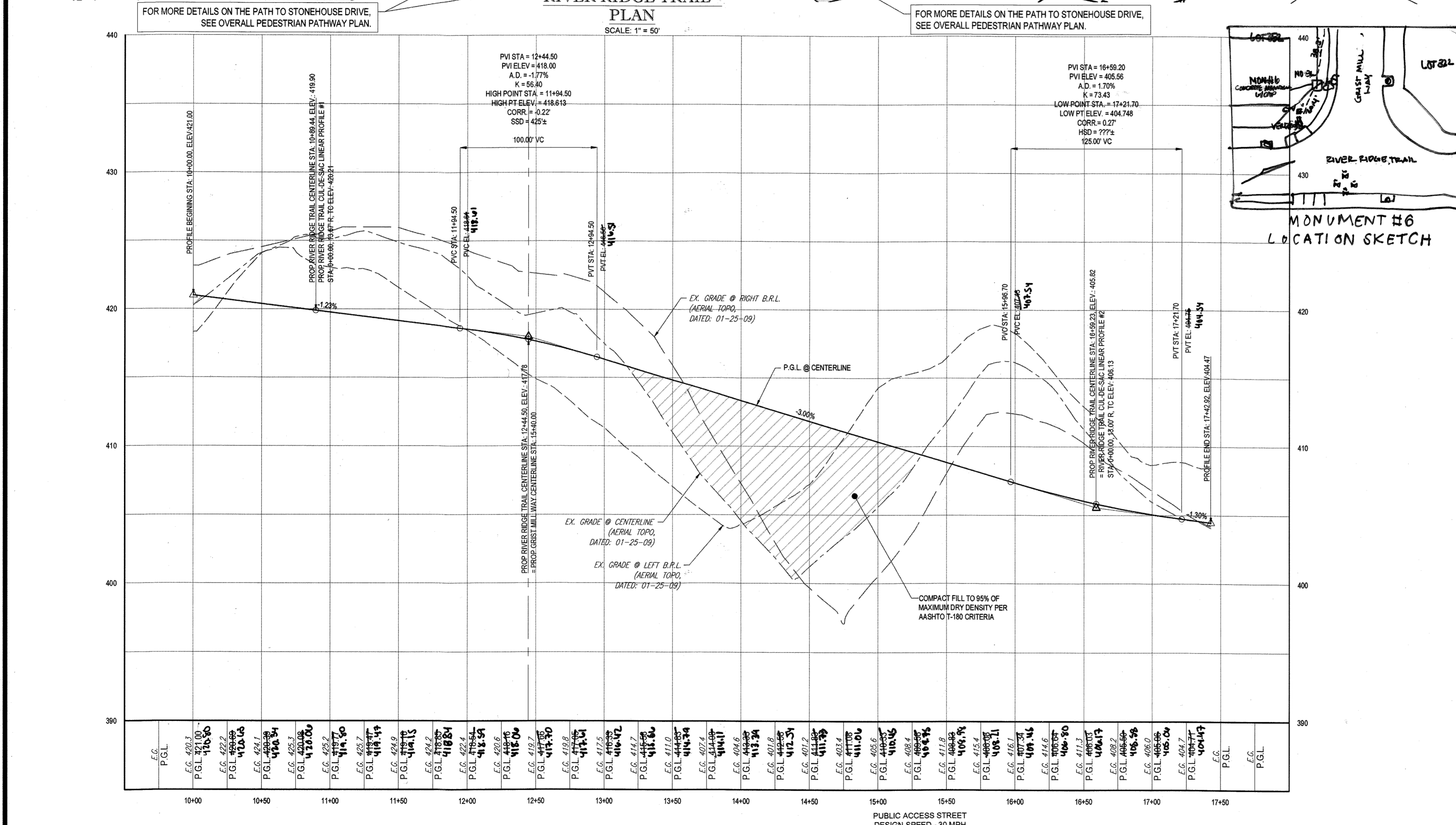
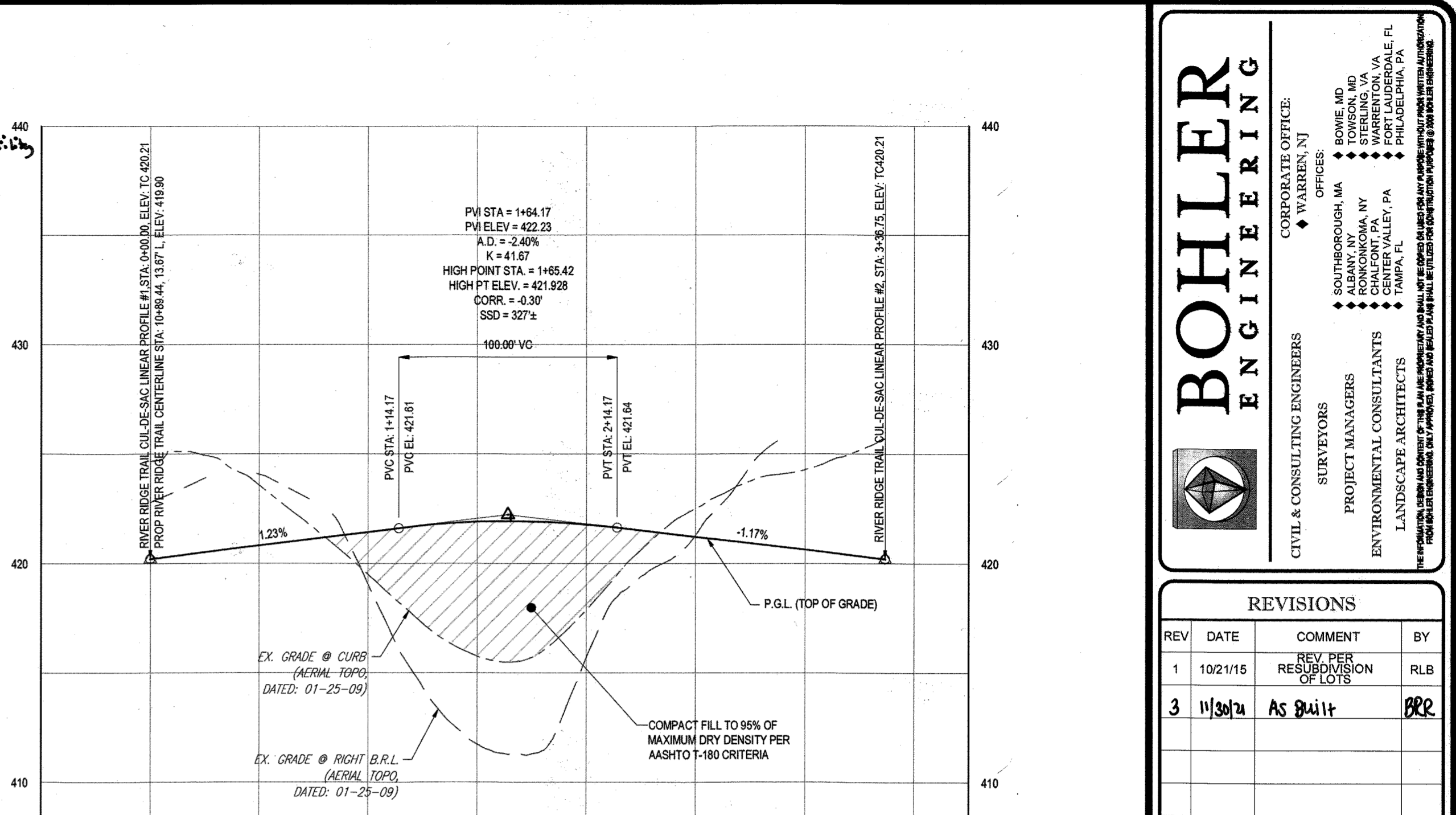
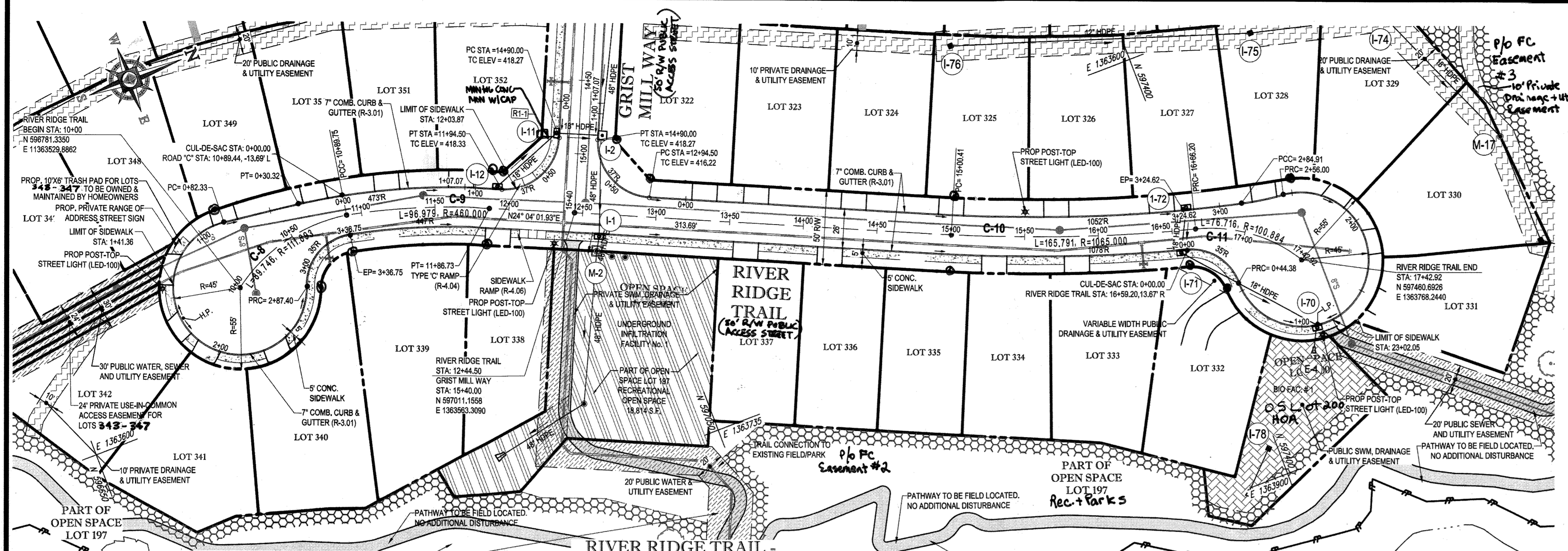
**BOHLER ENGINEERING**

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 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**BRANDON R. ROWE**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 40808  
 EXPIRATION DATE: 11/15

**PUBLIC ROAD PLAN AND PROFILE**

SHEET NUMBER: 14



**RIVER RIDGE TRAIL - ROAD PROFILE**  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

DESIGN SPEED - 30 MPH

**NOTES:**

- ALL PROPOSED PAVEMENT IS TO BE HOWARD COUNTY P-3 PAVEMENT. SEE SHEET 24 FOR PAVEMENT SECTION DETAIL.
- SEE SHEET 83-87 FOR STREET TREE LOCATIONS.
- ALL DRIVEWAY ENTRANCES ARE HO. CO. STD. DETAILS R-6.02 (WITH SIDEWALK NEXT TO CURB) & R-6.05 (WITHOUT SIDEWALK).

**LEGEND:**

- R1-1: STOP 30"x30"
- R2-1: SPEED LIMIT 25 24"x30"
- S1-1: AHEAD 30"x30"
- W19-5P: 24"x12"
- W18-7P: 24"x12"
- R1-2: 30"x30"
- R6-4: 24"x30"
- W11-2: 30"x30"
- R4-7: 24"x30"
- R6-6P: 30"x30"
- W3-1: 30"x30"
- W3-2: 30"x40"
- R1-6(2): 38"x42"
- W3-1: 30"x30"
- STATE LAW: STOP FOR PEDESTRIAN WALKS

**STREET LIGHT CHART**

STREET NAME	LOCATION	POLE HEIGHT	POLE TYPE	TYPE
RIVER RIDGE TRAIL	N 596731.82 E 1363511.92	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
RIVER RIDGE TRAIL	12+31.94 21.26' R	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
RIVER RIDGE TRAIL	15+50.26 16.67' L	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
RIVER RIDGE TRAIL	N 597455.79 E 1363820.69	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)

**APPROVED DEPARTMENT OF PUBLIC WORKS**  
DATE: 11/9/2015

**APPROVED DEPARTMENT OF PLANNING AND ZONING**  
DATE: 12-17-15

**CHIEF, BUREAU OF HIGHWAYS**  
**CHIEF, DIVISION OF LAND DEVELOPMENT**  
**CHIEF, DEVELOPMENT ENGINEERING DIVISION**

**RIVER RIDGE TRAIL - CUL-DE-SAC LINEAR PROFILE #1**  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

**RIVER RIDGE TRAIL - CUL-DE-SAC LINEAR PROFILE #2**  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

**MONUMENT #6 LOCATION SKETCH**

**REVISIONS**

REV	DATE	COMMENT	BY
1	10/21/15	RESUBMISSION OF LOTS	RLB
3	11/30/15	AS BUILT	RLB

**APPROVED FOR CONSTRUCTION**

**REVISED FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK**  
BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202  
LOCATION OF SITE  
MD ROUTE 99  
ROGERS AVENUE  
HOWARD COUNTY

**BOHLER ENGINEERING**  
901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
www.BohlerEngineering.com

**PERMIT INFORMATION CHART**

SUBDIVISION NAME	SECTION AREA	LOT/PARCEL NO.
ESTATES AT PATAPSCO PARK	NA	NA
FLAT OR L.P. 2041 TO 2308	GRD # 5, 6, 11, 12	ELECT DISTR. 2ND
PREVIOUS FILE NO.	SP-13-012 ECP-13-029 WR-13-166 PB CASE NO. 403	CENSUS TRACT:

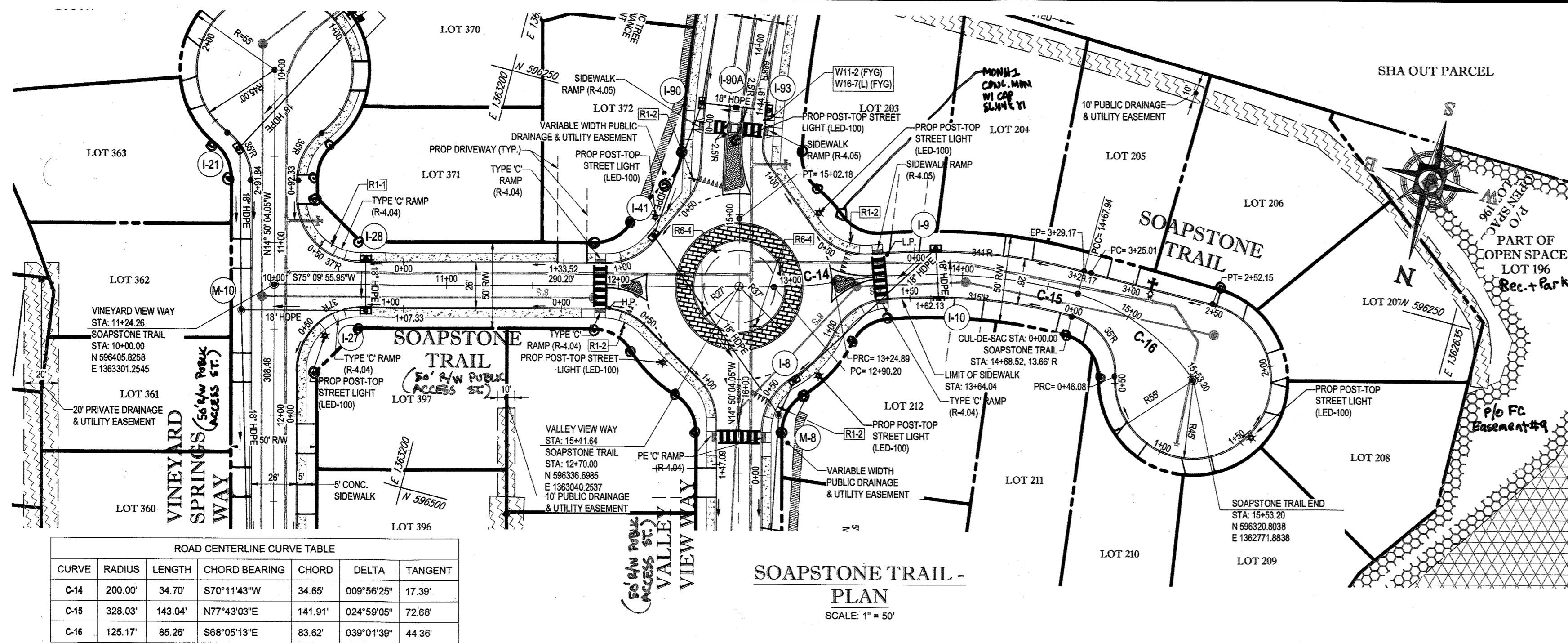
**PURPOSE OF REVISIONS IS TO SHOW RESUBMISSION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.**

**OWNER:** ESTATES AT PATAPSCO PARK, LLC  
24012 FREDERICK ROAD  
CLARKSBURG, MD 20861  
CONTACT: MR. DAN SNYDER  
PHONE: (301) 674-8509

**DEVELOPER:** ESTATES AT PATAPSCO PARK, LLC  
24012 FREDERICK ROAD  
CLARKSBURG, MD 20861  
CONTACT: MR. DAN SNYDER  
PHONE: (301) 674-8509

**PROFESSIONAL CERTIFICATION**  
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40985, EXPIRATION DATE: 12/31/2017

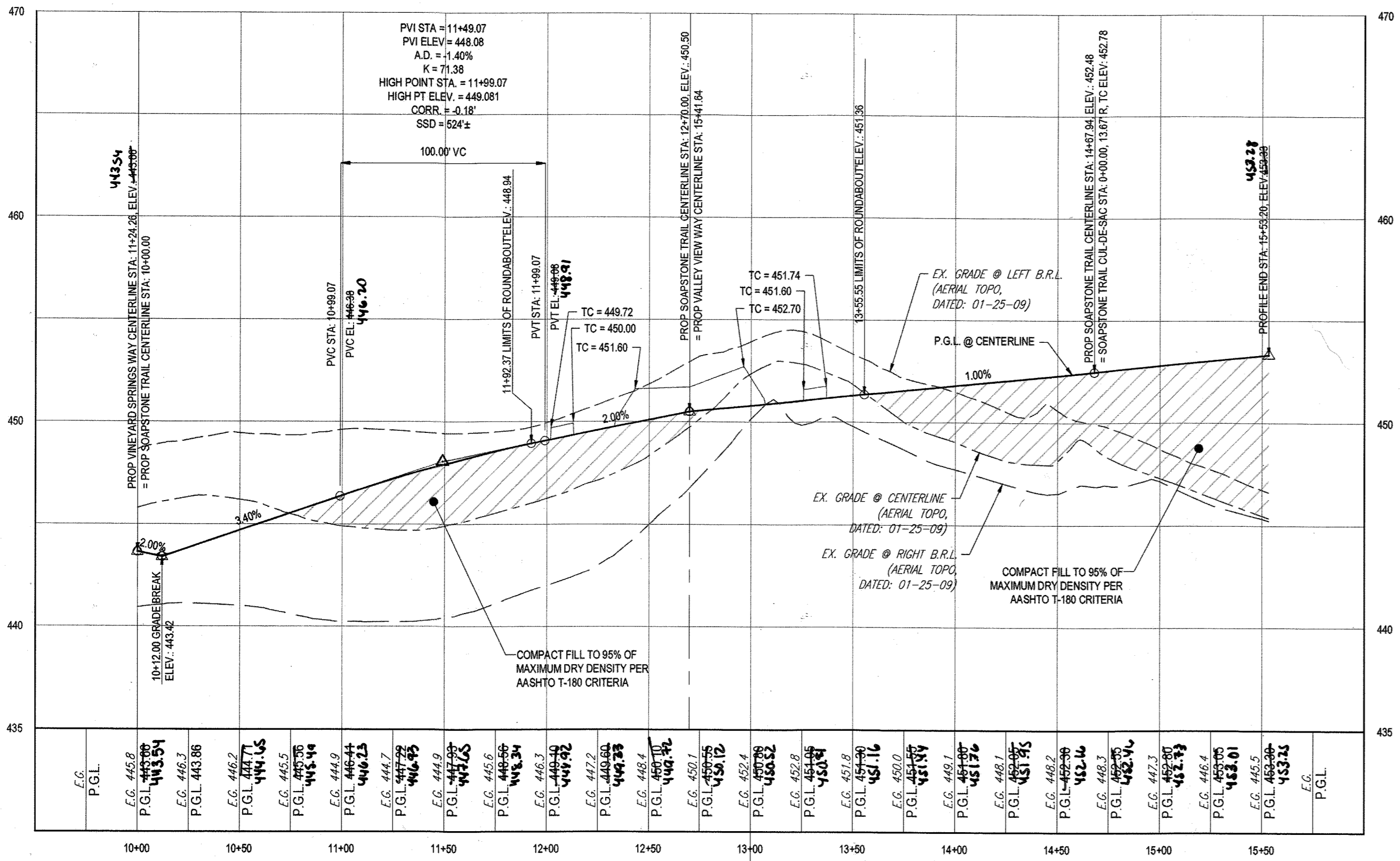
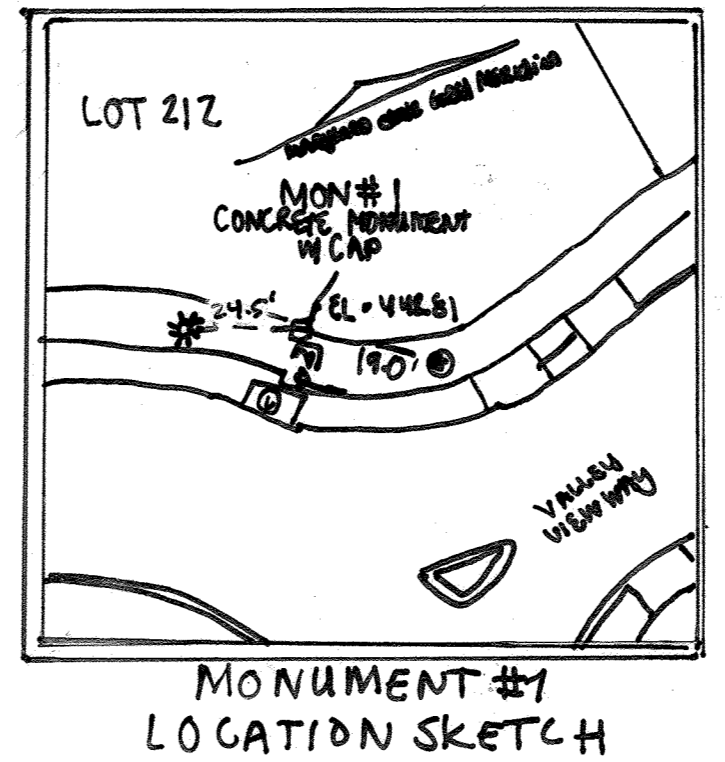
**SHEET TITLE:** PUBLIC ROAD PLAN AND PROFILE  
**SHEET NUMBER:** 15



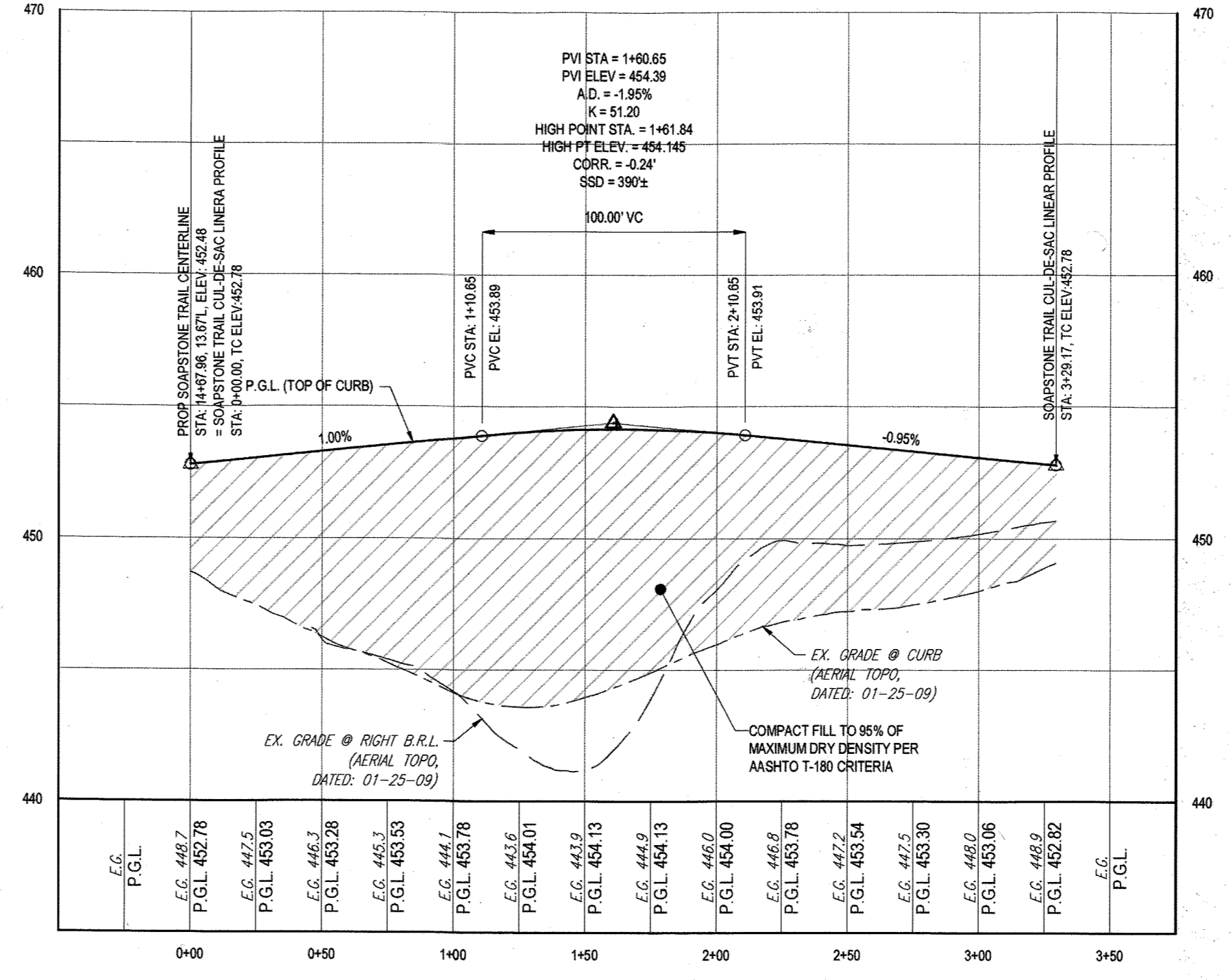
STREET LIGHT CHART					
STREET NAME	LOCATION	POLE HEIGHT	POLE TYPE	TYPE	
VALLEY VIEW WAY	14+57.44	4.91' R	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
VALLEY VIEW WAY	14+98.32	48.19' L	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
VALLEY VIEW WAY	15+01.48	48.72' R	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
VALLEY VIEW WAY	15+85.84	44.19' R	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
VALLEY VIEW WAY	15+92.99	46.22' L	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
SOAPSTONE TRAIL	N 596340.6799 E 1382728.6552		14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)

ROAD CENTERLINE CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	TANGENT
C-14	200.00'	34.70'	S70°11'43"W	34.66'	009°56'25" 17.39'
C-15	328.03'	143.04'	N77°43'03"E	141.91'	024°59'05" 72.88'
C-16	125.17'	85.26'	S68°05'13"E	83.62'	039°01'39" 44.38'

SEE SHEET 23 FOR ADDITIONAL  
DETAIL ON ROUNDABOUT



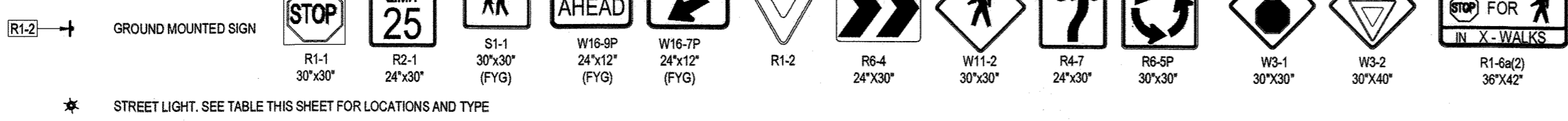
SOAPSTONE TRAIL - ROAD  
PROFILE  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL



SOAPSTONE TRAIL - CUL-DE-SAC LINEAR PROFILE  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

- NOTES:
- ALL PROPOSED PAVEMENT IS TO BE HOWARD COUNTY P-3 PAVEMENT. SEE SHEET 24 FOR PAVEMENT SECTION DETAIL.
  - SEE SHEET 83-87 FOR STREET TREE LOCATIONS.
  - ALL DRIVEWAY ENTRANCES ARE HO. CO. STD. DETAILS R-6.02 (WITH SIDEWALK NEXT TO CURB) & R-6.05 (WITHOUT SIDEWALK)

LEGEND:



APPROVED: DEPARTMENT OF PUBLIC WORKS  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING

GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVEAL ALL OF THE EXISTING UTILITIES AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE COMPLETED PRIOR TO THE INTRODUCTION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL LOCAL, STATE AND FEDERAL CODES.

PURPOSE OF REVISIONS IS TO SHOW  
 RESUBDIVISION OF LOTS 1 TO 195 AND  
 SHOW NEW LOT NUMBERS 203 TO 397  
 AS RECORDED UNDER F-16-051

PERMIT INFORMATION CHART					
SUBMISSION NAME	SECTION AREA	LOT/PARCEL NO.	TAX MAP NO.	ELECT. DIST. 2ND	CENSUS TRACT.
ESTATES AT PATAPSCO PARK	NA	NA	17	2ND	

OWNER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

PROFESSIONAL CERTIFICATION  
 I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE  
 DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND  
 THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER  
 UNDER THE LAWS OF THE STATE OF MARYLAND,  
 LICENSE NO. 40936, EXPIRATION DATE: 7/31/2017

**BOHLER ENGINEERING**  
 CIVIL & CONSULTING ENGINEERS  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

OFFICES:  
 WASHINGTON, DC  
 WASHINGTON, VA  
 WASHINGTON, PA  
 TAMPA, FL

REVISIONS				
REV	DATE	COMMENT	REV. PER.	BY
1	10/21/15	RESUBDIVISION OF LOTS		RLB
3	11/30/15	AS BUILT		RLB

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL - 811 (TOLL FREE 1-800-246-4889 (PA 1-800-242-7776) (DC 1-800-257-7777) (VA 1-800-552-0201) (MD 1-800-257-7777) (DE 1-800-285-8552)

APPROVED FOR CONSTRUCTION  
 PROJECT: MD152013  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 11/23/15  
 SCALE: AS SHOWN  
 CAD I.D.: PSB

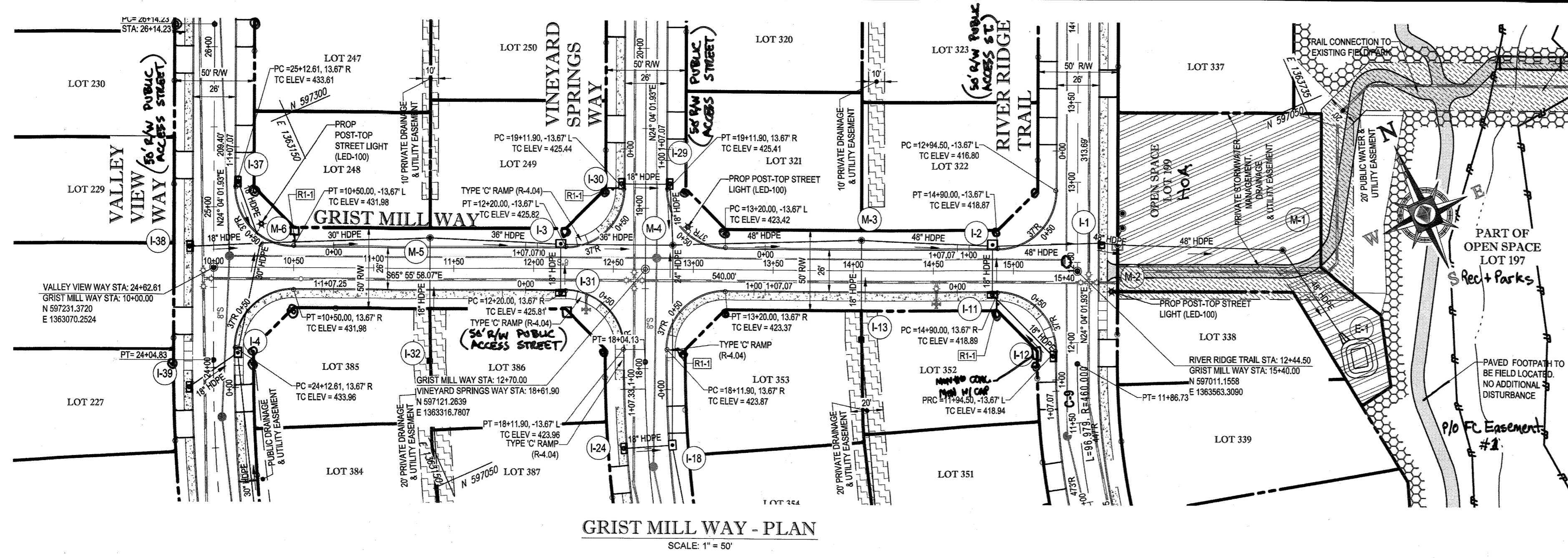
REVISED FINAL ROAD CONSTRUCTION PLANS FOR  
**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**  
 901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**B. R. ROWE**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 40936  
 EXPIRATION DATE: 7/31/2017

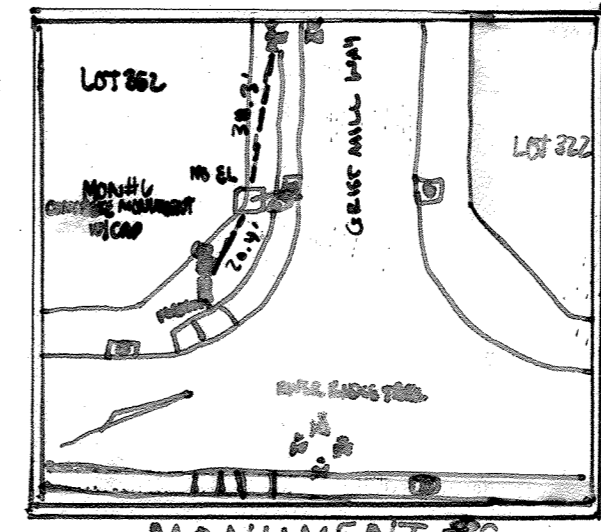
SHEET TITLE:  
**PUBLIC ROAD PLAN AND PROFILE**  
 SHEET NUMBER:  
**16**



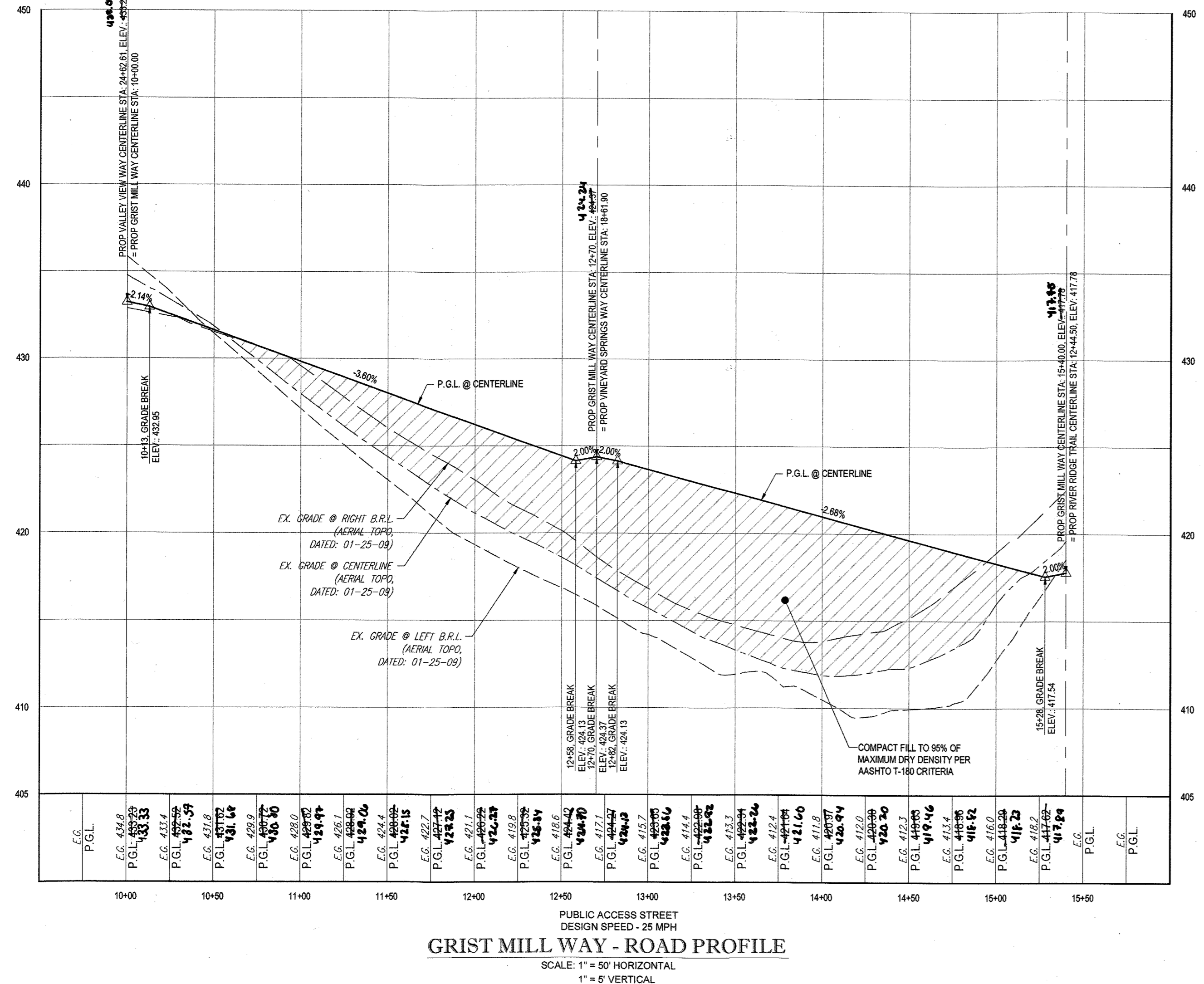


FOR MORE DETAILS ON THE PATH TO STONEHOUSE DRIVE, SEE OVERALL PEDESTRIAN PATHWAY PLAN.

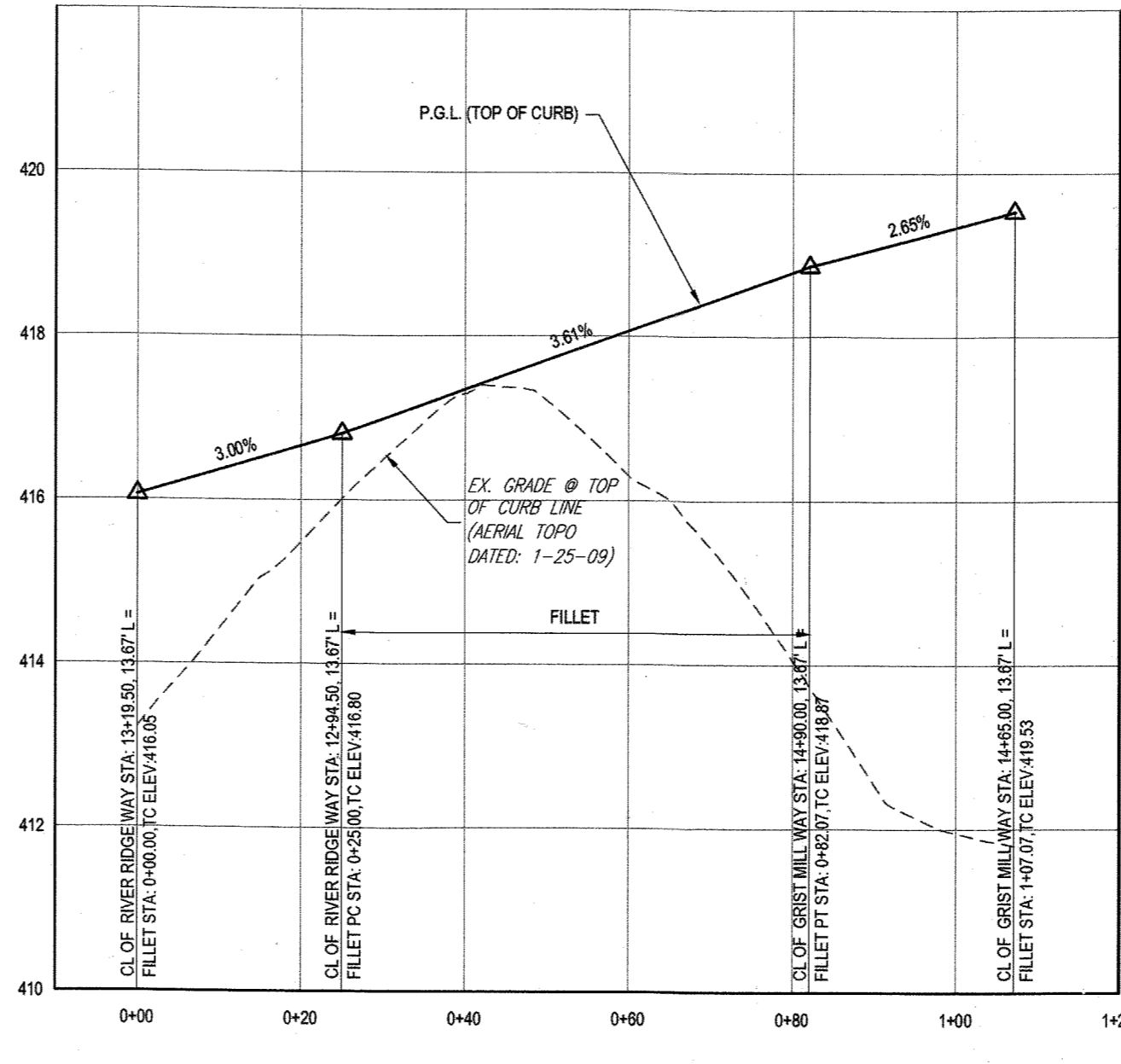
STREET LIGHT CHART				
STREET NAME	LOCATION	POLE HEIGHT	POLE TYPE	TYPE
VALLEY VIEW WAY	24+89.04	28'43" R	14'-0"	BLACK FIBERGLASS POST-TOP (LED-100)
VINEYARD SPRINGS WAY	18+88.34	28'43" R	14'-0"	BLACK FIBERGLASS POST-TOP (LED-100)
RIVER RIDGE TRAIL	12+31.84	21'26" R	14'-0"	BLACK FIBERGLASS POST-TOP (LED-100)



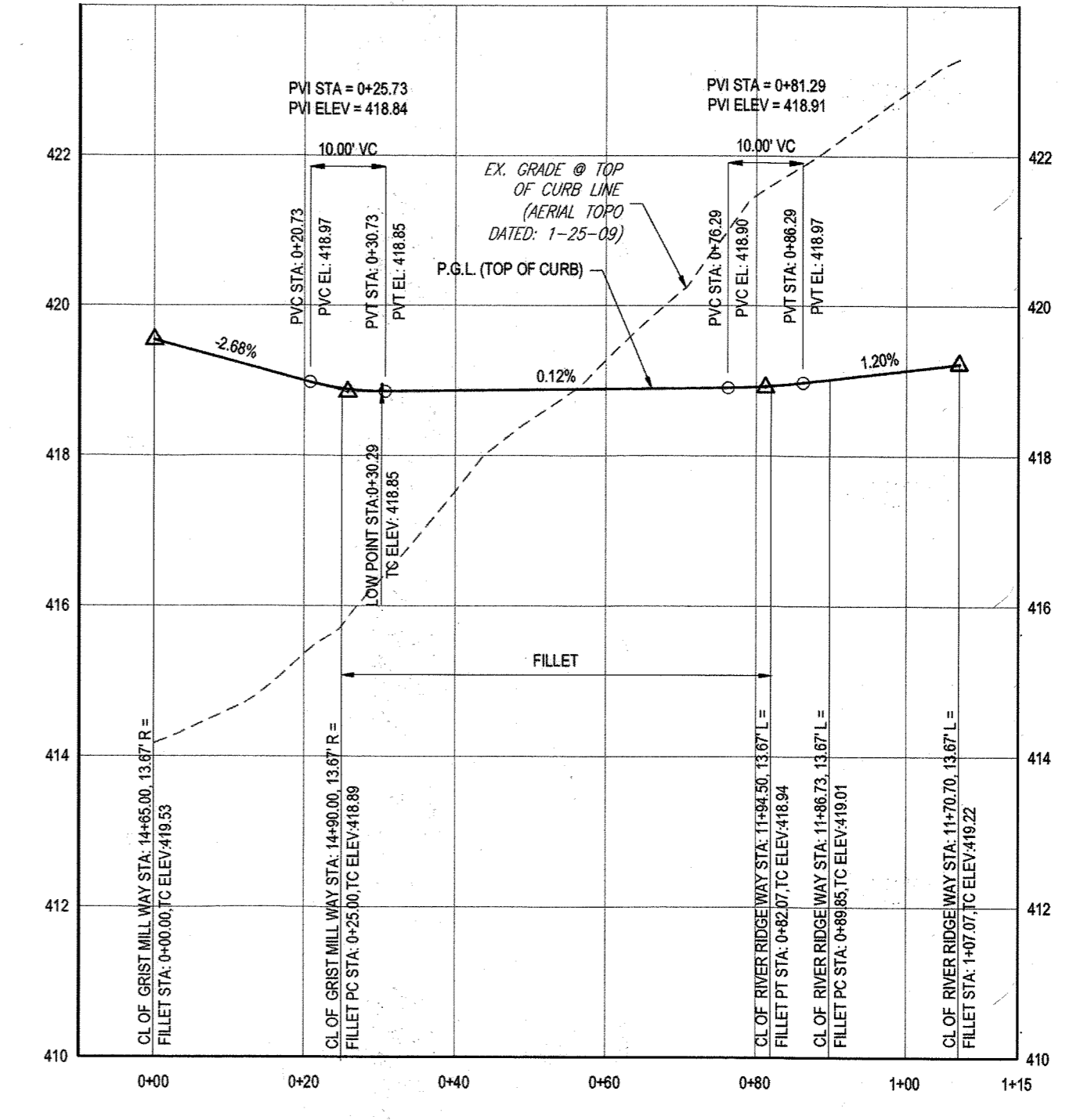
GRIST MILL WAY - PLAN  
SCALE: 1" = 50'



GRIST MILL WAY - ROAD PROFILE  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL



RIVER RIDGE TRAIL & GRIST MILL WAY (NW QUADRANT) - FILLET PROFILE  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



RIVER RIDGE TRAIL & GRIST MILL WAY (SW QUADRANT) - FILLET PROFILE  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL

- NOTES:
1. ALL PROPOSED PAVEMENT IS TO BE HOWARD COUNTY P-3 PAVEMENT. SEE SHEET 24 FOR PAVEMENT SECTION DETAIL.
  2. SEE SHEET 83-87 FOR STREET TREE LOCATIONS.
  3. ALL DRIVEWAY ENTRANCES ARE HO. CO. STD. DETAILS R-6.02 (WITH SIDEWALK NEXT TO CURB) & R-6.05 (WITHOUT SIDEWALK).

**LEGEND:**

- R1-2 → GROUND MOUNTED SIGN
- STOP
- SPEED LIMIT 25
- AHEAD
- STATE LAW
- IN X-WALKS
- R1-1 30'x30'
- R2-1 24'x30'
- S1-1 30'x30' (FYG)
- W15-9P 24'x12' (FYG)
- W15-1P 24'x12' (FYG)
- R1-2 30'x30'
- R6-4 24'x30'
- W11-2 30'x30'
- R4-7 24'x30'
- R6-5P 30'x30'
- W3-1 30'x30'
- W3-2 30'x30'
- R1-6a(2) 36'x42'

\* STREET LIGHT. SEE TABLE THIS SHEET FOR LOCATIONS AND TYPE

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 CHIEF, BUREAU OF HIGHWAYS  
 DATE: 11/9/2015

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 12-17-15

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE: 11-17-15

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE PERMITS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHOULD BE STOPPED IMMEDIATELY IF THE CONTRACTOR FINDS A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE WORK AS DENIED BY THE DRAWINGS AND IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES.

PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.

PERMIT INFORMATION CHART

SUBMISSION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA
PLAT # OR U.P.: 22421 TO 23438	GRID # 5.5, 11, 12	ZONING: R-20 & RED
TAX MAP NO.: 17	ELEC DIST: 2ND	CENSUS TRACT:

PREVIOUS FILE NO.: SP-13-012  
 ECP-13-029  
 WP-13-165  
 PB CASE NO. 403

OWNER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

DEVELOPER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
 WARREN, NJ

SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

OTHER OFFICES:  
 SOUTH BOROUGHS, MA  
 ALBANY, NY  
 CHALCOTE, PA  
 TAMPA, FL  
 WASHINGTON, VA  
 FORT LAUDERDALE, FL  
 FORT MYERS, FL

REVISIONS

REV	DATE	COMMENT	BY
1	10/21/15	REV PER RESUBDIVISION OF LOTS	RLB
3	11/20/15	AS BUILT	CEL

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXAMINING ENGINEERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL 811 (VV 1-800-246-4646) (PA 1-800-242-1778) (DC 1-800-257-7777) (VA 1-800-652-7901) (MD 1-800-527-7777) (DE 1-800-293-8500)

APPROVED FOR CONSTRUCTION

PROJECT No.: MD152013  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 12/31/15  
 SCALE: AS SHOWN  
 CAD I.D.: PSB

PROJECT: REVISED FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202 LOCATION OF SITE MD ROUTE 99 ROGERS AVENUE HOWARD COUNTY

**BOHLER ENGINEERING**

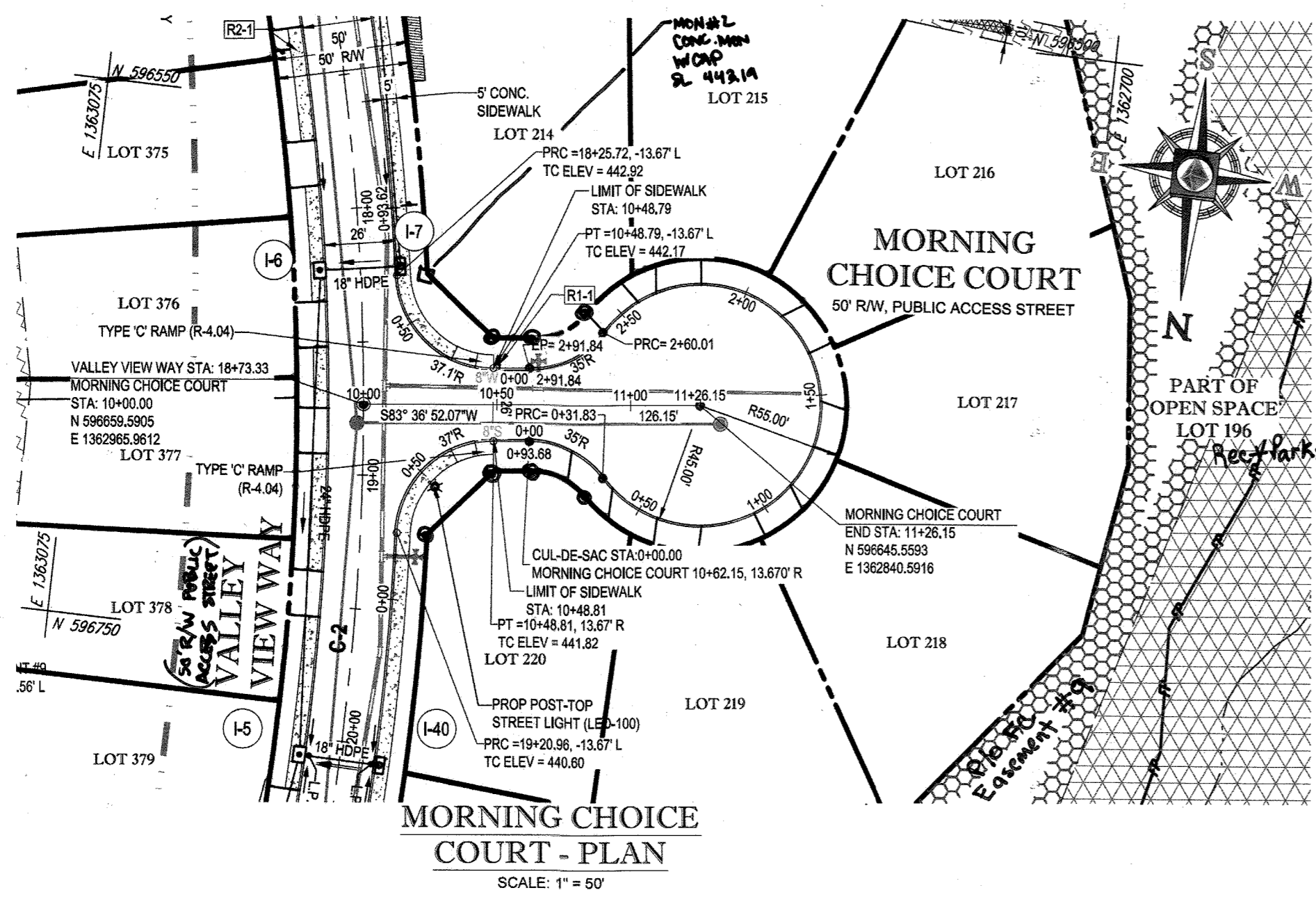
901 DULANEY VALLEY ROAD, SUITE 801  
 TOWNSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**B.R. ROWE ENGINEERING**

PROFESSIONAL ENGINEER  
 LICENSE NO. 40939  
 STATE OF MARYLAND

SHEET TITLE: PUBLIC ROAD PLAN AND PROFILE

SHEET NUMBER: 17

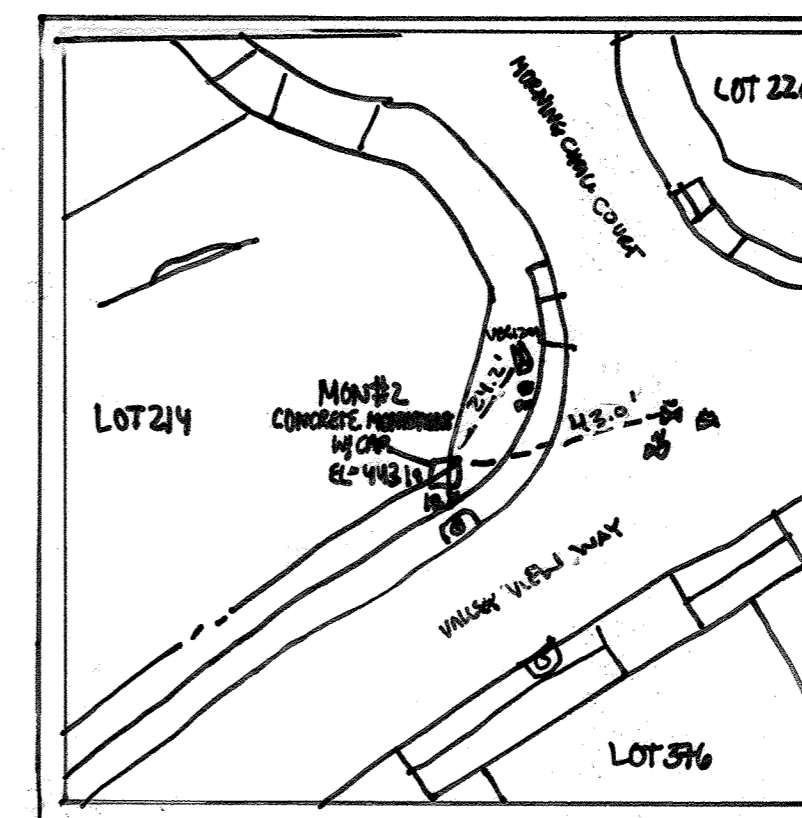


**STREET LIGHT CHART**

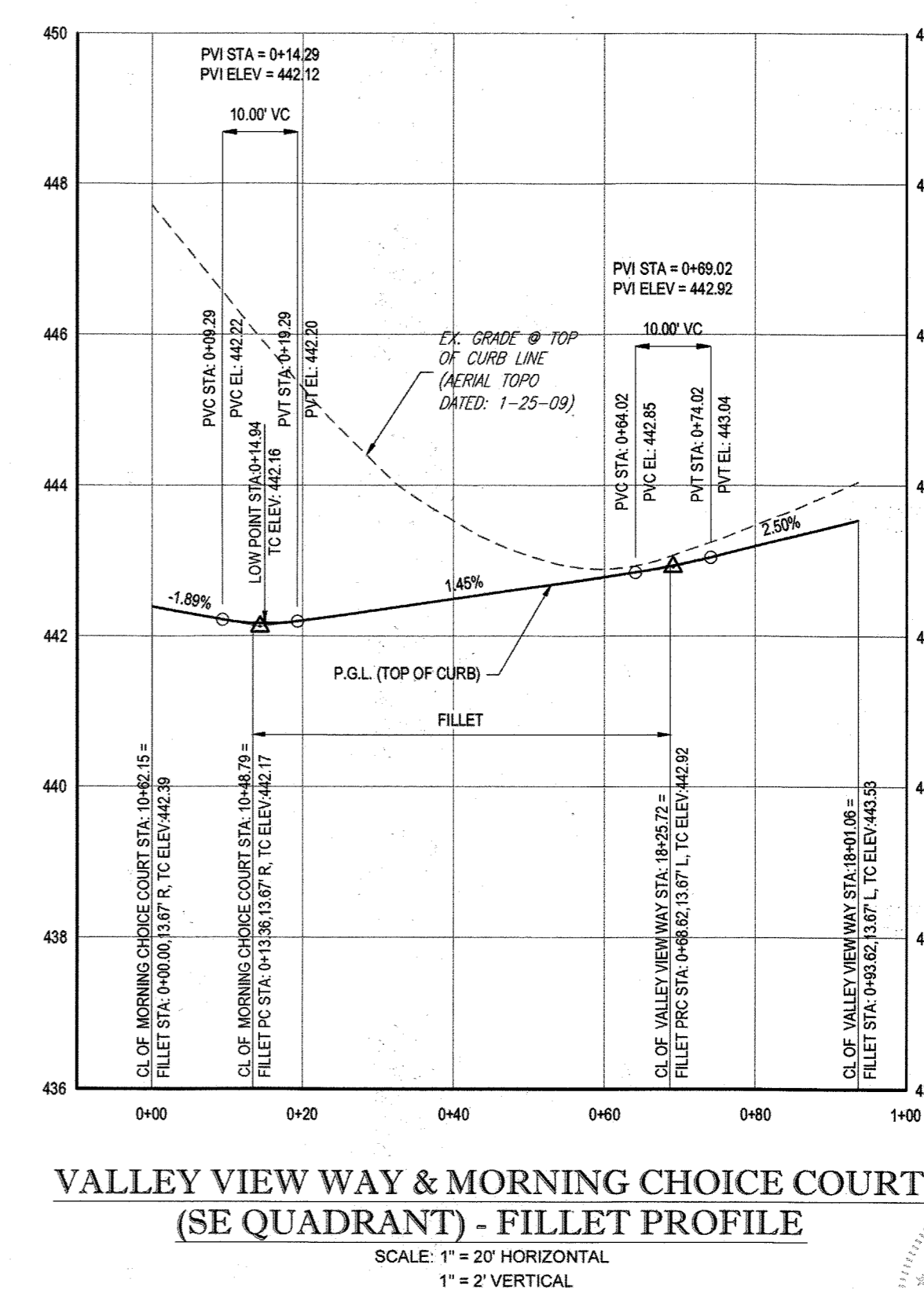
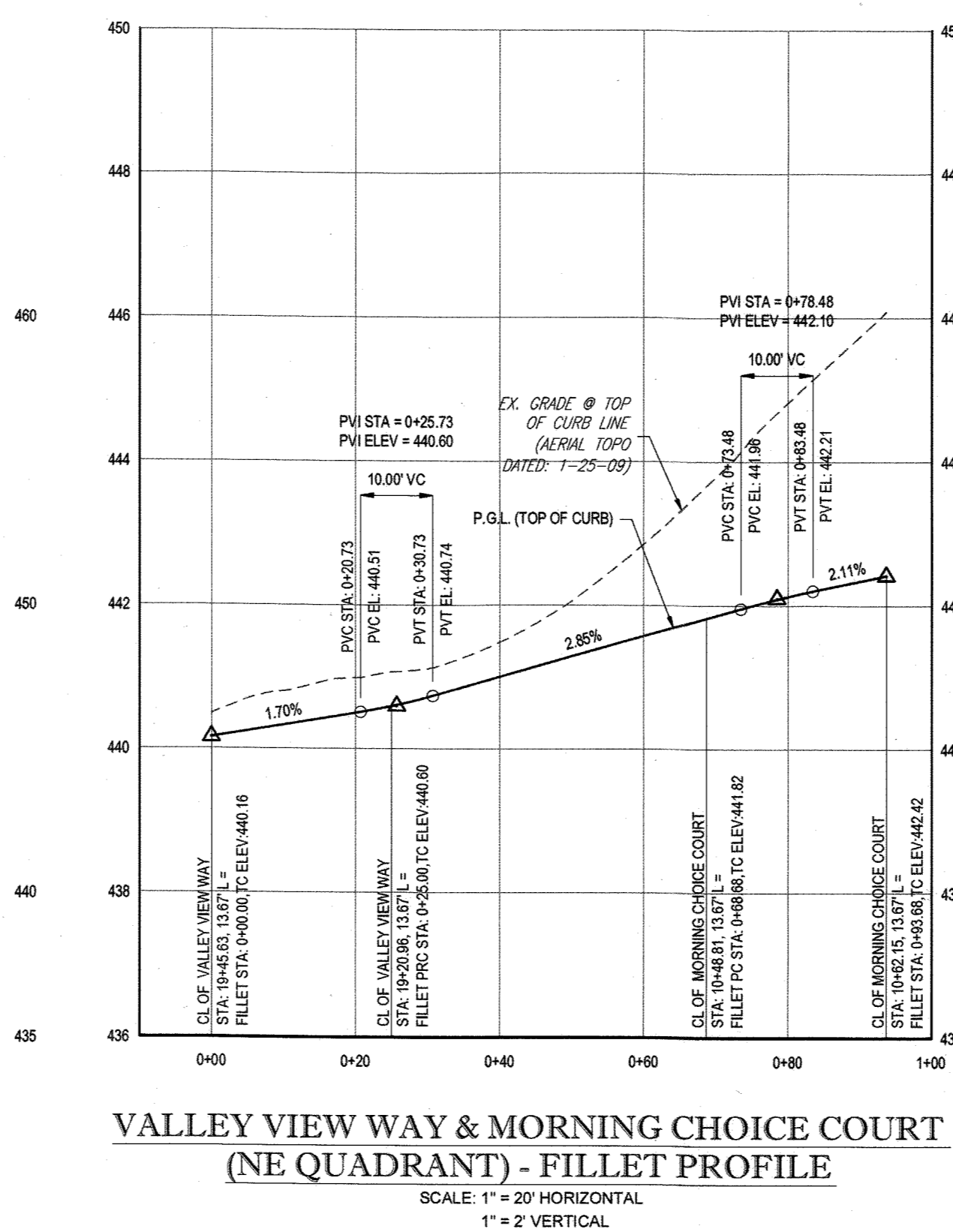
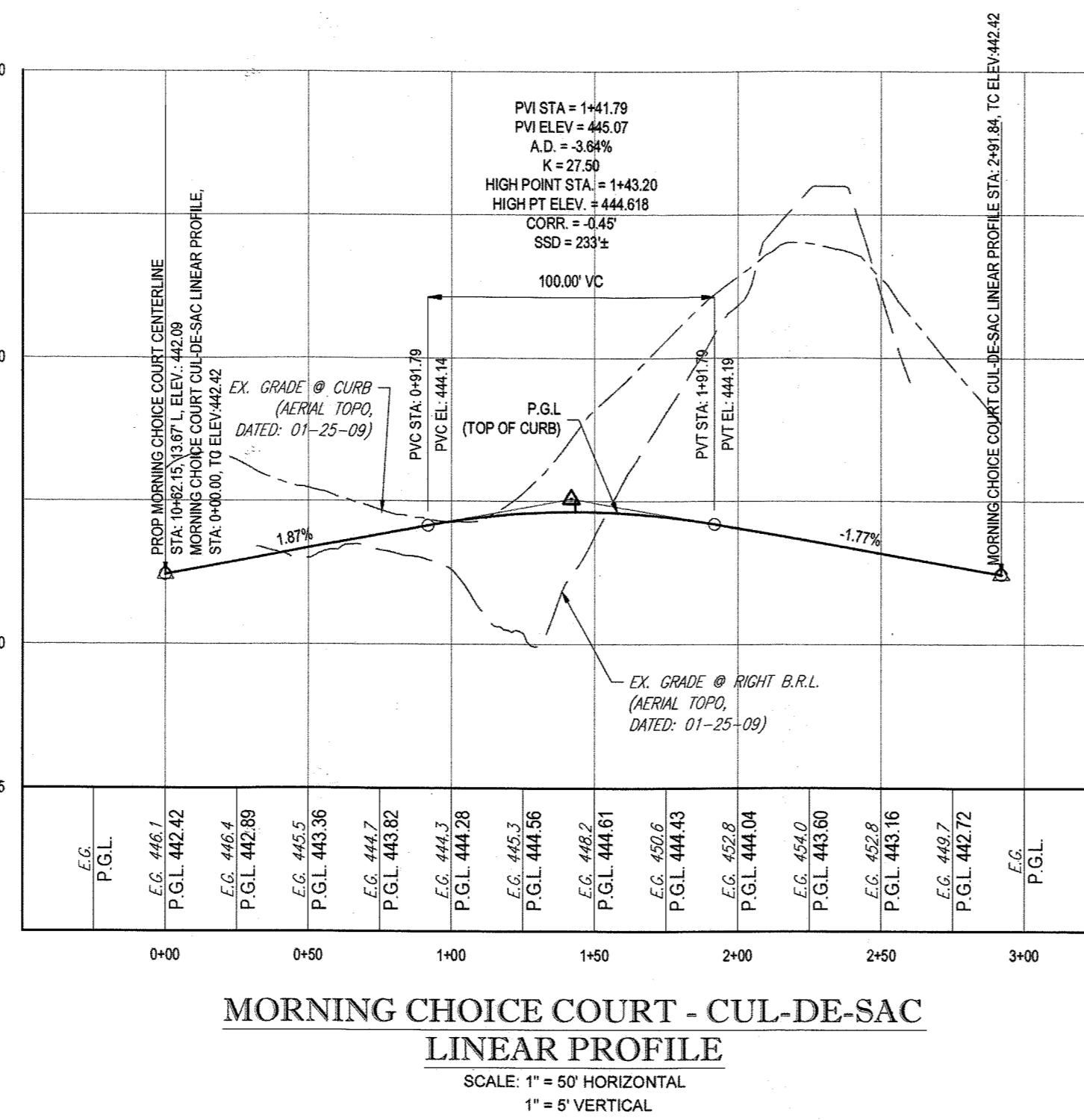
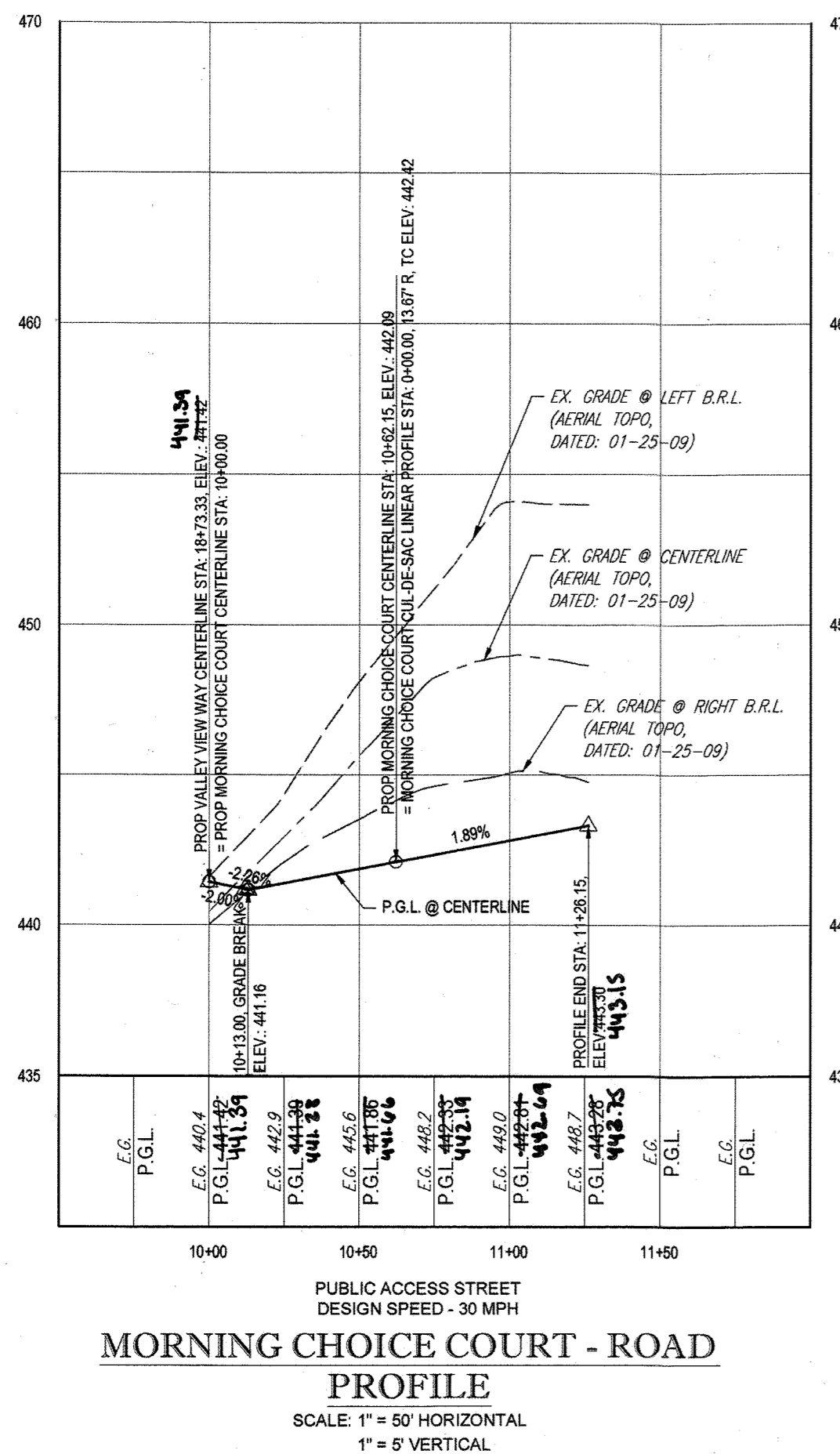
STREET NAME	LOCATION	POLE HEIGHT	POLE TYPE	TYPE
VALLEY VIEW WAY	19+03.55	27.28' L	14'-0"	BLACK FIBERGLASS POST-TOP (LED-100)

**ROAD CENTERLINE CURVE TABLE**

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C-2	1000.00'	678.96'	S04°36'59"W	666.00'	038°54'06"	353.15'



**MONUMENT #2  
LOCATION SKETCH**



APPROVED: DEPARTMENT OF PUBLIC WORKS  
 CHIEF: BUREAU OF HIGHWAYS  
 DATE: 11/9/2015

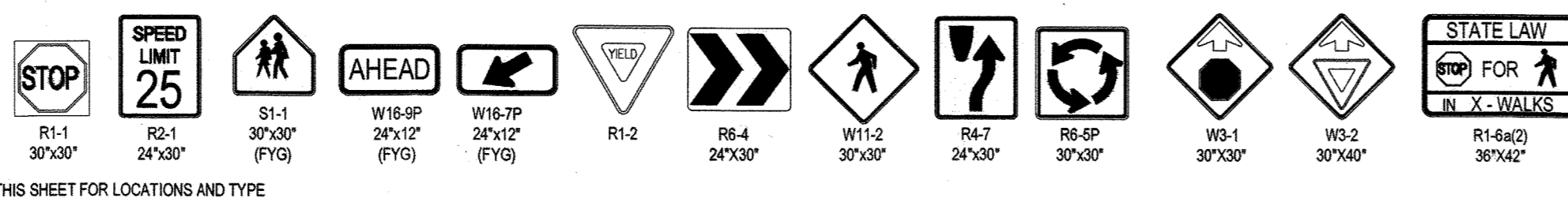
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF: DIVISION OF LAND DEVELOPMENT  
 DATE: 12-17-15

CHIEF: DEVELOPMENT ENGINEERING DIVISION  
 DATE: 11-17-15

- NOTES:
- ALL PROPOSED PAVEMENT IS TO BE HOWARD COUNTY P-3 PAVEMENT. SEE SHEET 24 FOR PAVEMENT SECTION DETAIL.
  - SEE SHEET 83-87 FOR STREET TREE LOCATIONS.
  - ALL DRIVEWAY ENTRANCES ARE HO CO STD. DETAILS R-4.02 (WITH SIDEWALK NEXT TO CURB) & R-6.05 (WITHOUT SIDEWALK)

**LEGEND:**

- R1-2 → GROUND MOUNTED SIGN
- R1-1 30"x30"
- R2-1 24"x30"
- S1-1 30"x30" (FYG)
- W18-8P 24"x12" (FYG)
- W16-7P 24"x12" (FYG)
- W16-7 24"x12" (FYG)
- R1-2
- R6-4 24"x30"
- W11-2 30"x30"
- R4-7 24"x30"
- R8-6P 30"x30"
- W0-1 30"x30"
- W0-2 30"x40"
- R1-6a2 36"x42"



\* STREET LIGHT: SEE TABLE THIS SHEET FOR LOCATIONS AND TYPE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVEAL ALL UTILITIES AND INFORMATION ASSOCIATED WITH THIS PROJECT WORK PRIOR TO THE INCEPTION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPROPRIATE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IMMEDIATELY PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DENIED BY THE DRAWINGS AND IN ALL CONFORMANCE WITH LOCAL, STATE AND FEDERAL CODES.

PURPOSE OF REVISIONS IS TO SHOW REVISIONS OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.

**PERMIT INFORMATION CHART**

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA
PLAY OR USE: 2341 TO 2348	GRID R: 5.6, 11, 12	ELECT DIST: 2ND
PREVIOUS FILE NO.: SP-13-012	TAX MAP NO.: 17	CENSUS TRACT:
ECR-13-029	ZONING: R-20 & R-42	
WR-13-185		
PB CASE NO. 403		

OWNER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

DEVELOPER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

**BOHLER ENGINEERING**

CONSULTING OFFICE:  
 1100 BARRIS RD  
 SUITE 201  
 TOWSON, MD 21286  
 (410) 821-7900

SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

OFFICES:  
 BOWIE, MD  
 TOWSON, MD  
 ALBANY, NY  
 CALICO, VA  
 CHALCOTE, VA  
 FARMINGTON, VA  
 GREENSBORO, NC  
 HARRISBURG, PA  
 HUNTSVILLE, AL  
 JARVIS, VA  
 LITTLE ROCK, AR  
 NANTUCKET, MA  
 PHOENIX, AZ  
 RICHMOND, VA  
 TAMPA, FL

**REVISIONS**

REV	DATE	COMMENT	BY
1	10/21/15	REVISION OF LOTS	RLB
3	11/20/15	AS BUILT	RLB

**APPROVED FOR CONSTRUCTION**

PROJECT No.: MD152013  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 12/31/15  
 SCALE: AS SHOWN  
 CAD I.D.: PSB

**REVISED FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202**

LOCATION OF SITE:  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**

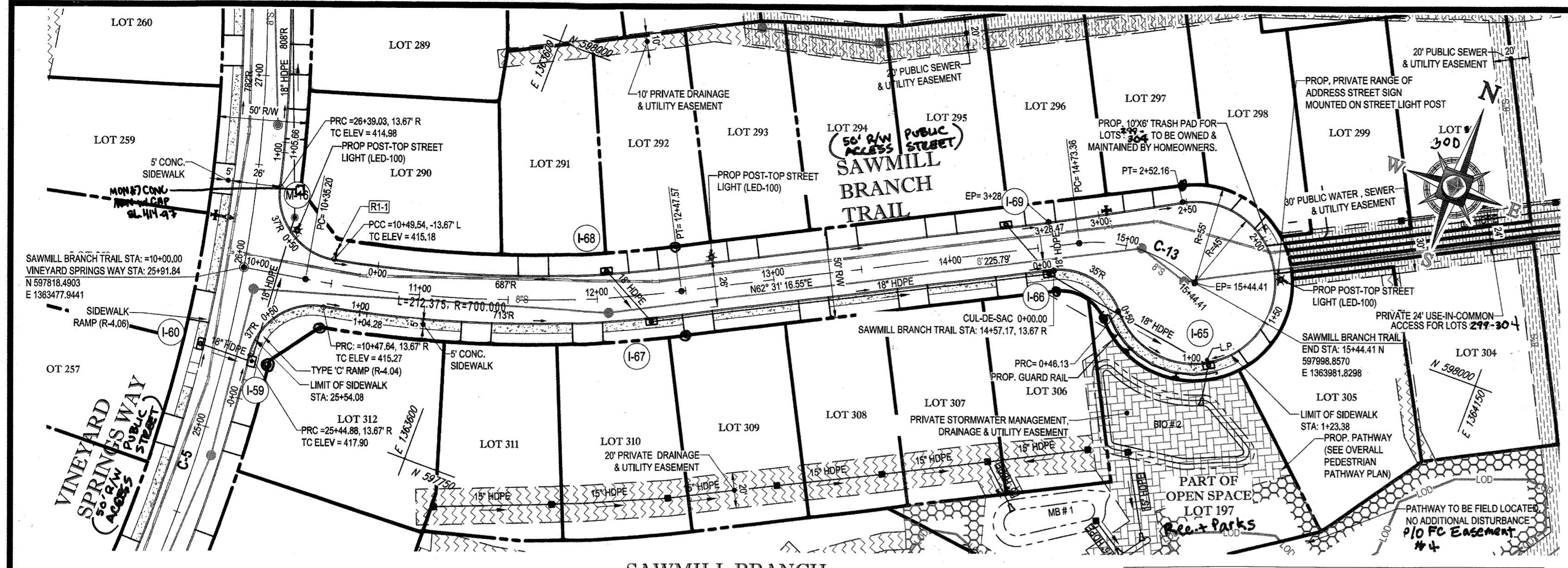
901 DULANEY VALLEY ROAD,  
 SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**B.R. ROWE**

REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NO. 10480  
 EXPIRES 12/31/15

**PUBLIC ROAD PLAN AND PROFILE**

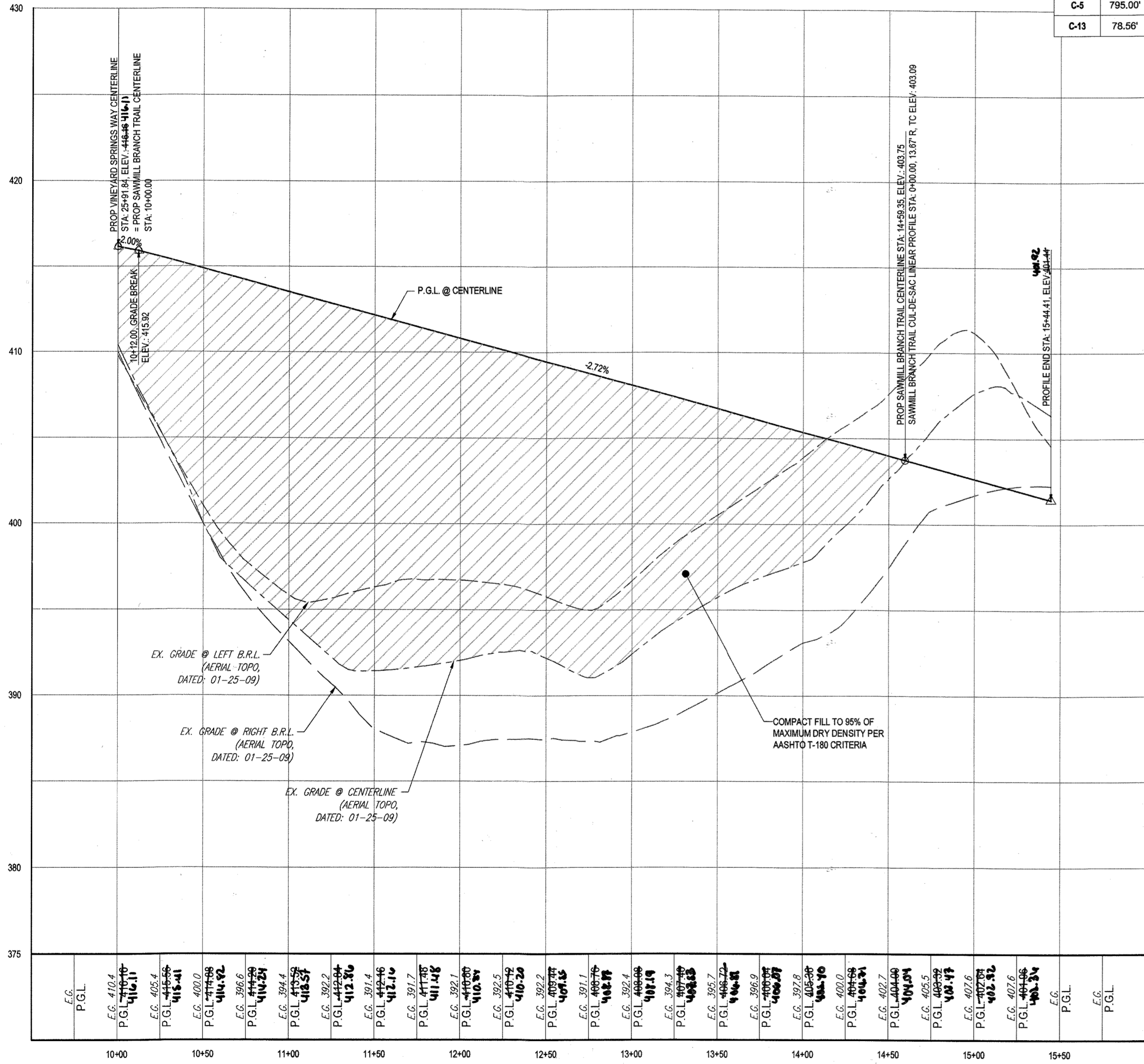
SHEET NUMBER: 18



**SAWMILL BRANCH TRAIL - PLAN**  
SCALE: 1" = 50'

**ROAD CENTERLINE CURVE TABLE**

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C-5	795.00'	766.57'	N03°33'22"W	737.22'	055°14'49"	416.03'
C-13	78.56'	71.05'	S88°25'49"W	66.65'	051°49'05"	38.16'

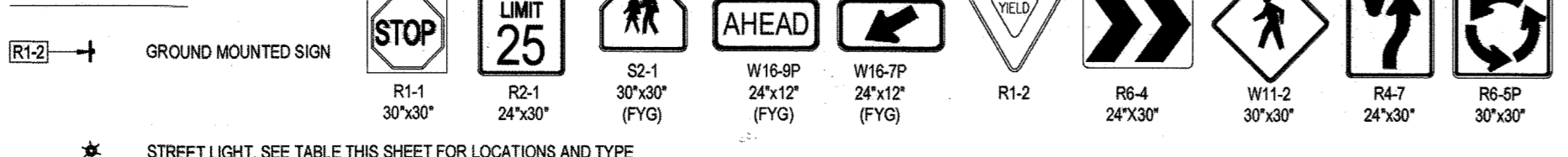


**SAWMILL BRANCH TRAIL - ROAD PROFILE**  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

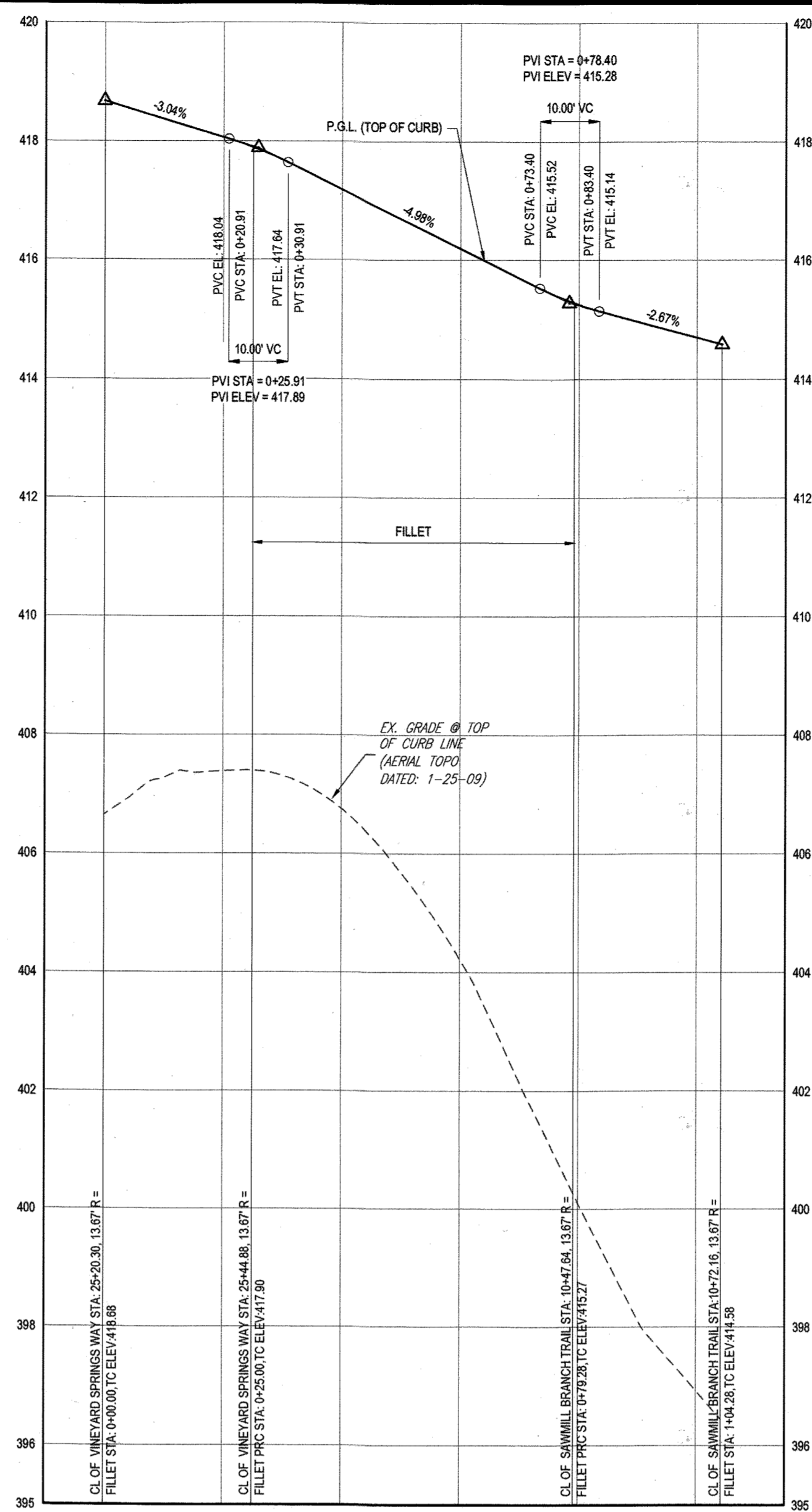
APPROVED: DEPARTMENT OF PUBLIC WORKS  
DATE: 11/9/2015

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
DATE: 12-7-15

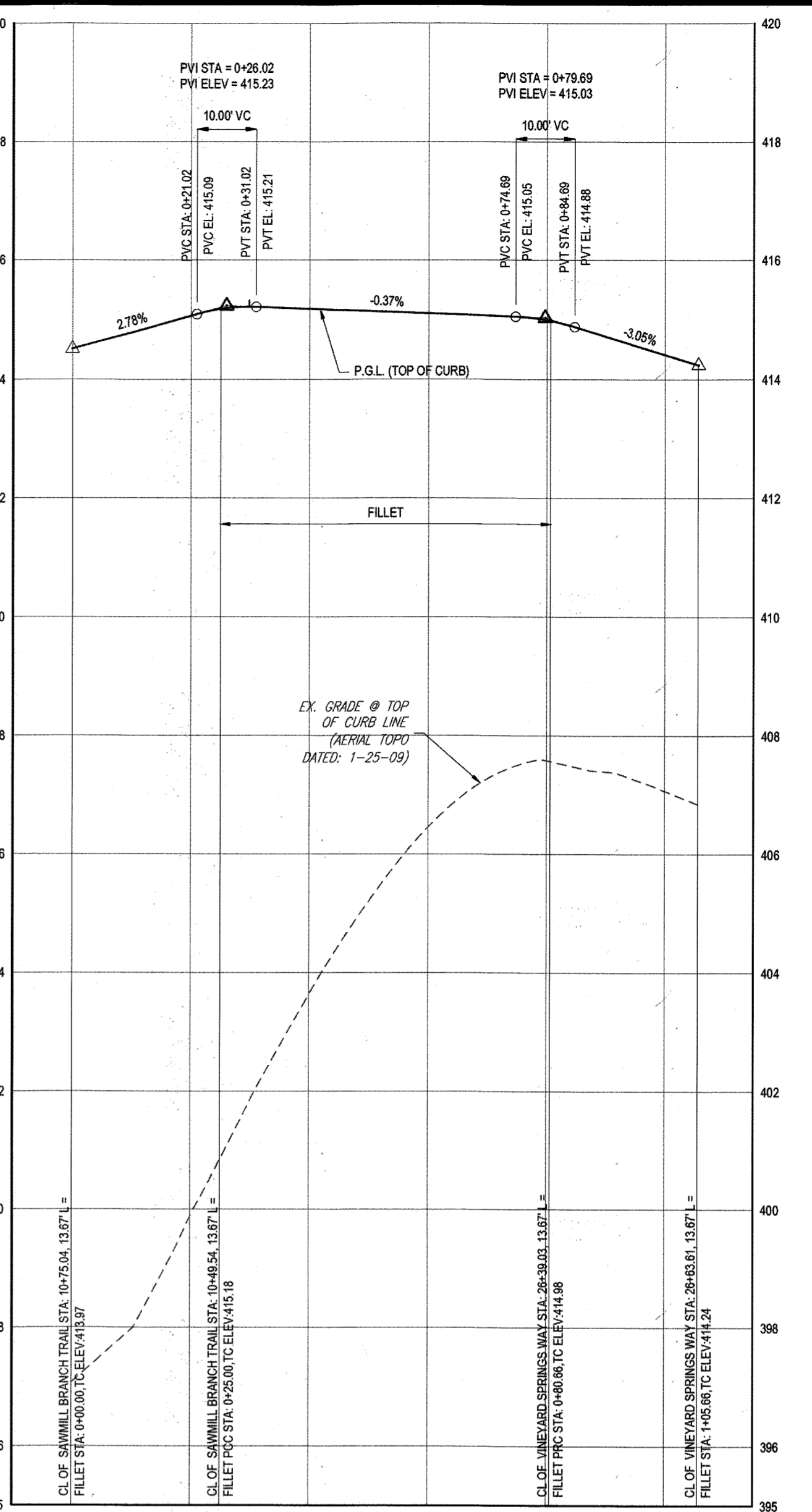
**LEGEND:**



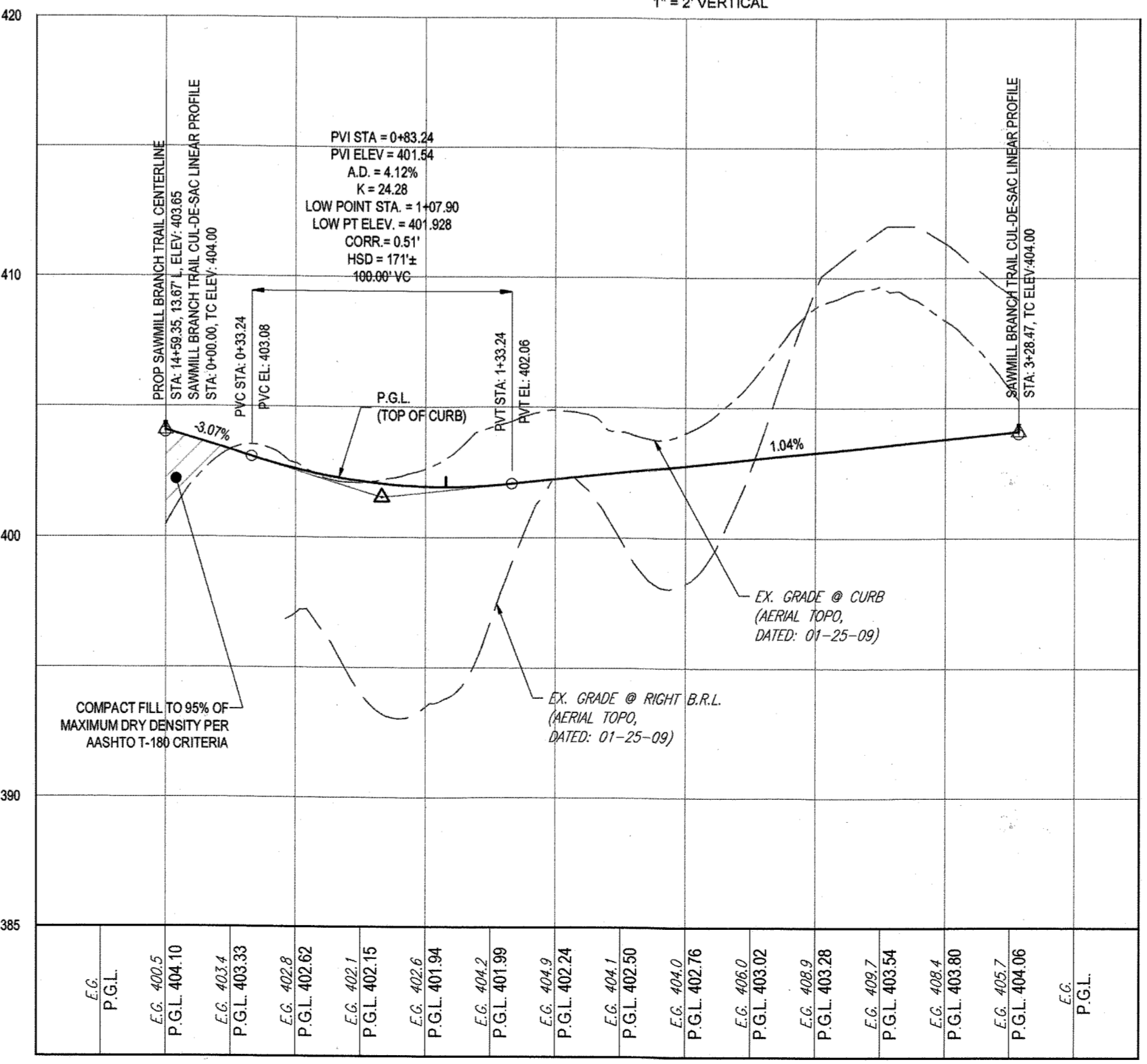
- NOTES:
- ALL PROPOSED PAVEMENT IS TO BE HOWARD COUNTY P-3 PAVEMENT. SEE SHEET 22 FOR PAVEMENT SECTION DETAIL.
  - SEE SHEET 85-89 FOR STREET TREE TREE LOCATIONS.
  - ALL DRIVEWAY ENTRANCES ARE HO. CO. STD. DETAILS R-01 & R-03



**VINEYARD SPRINGS WAY & SAWMILL BRANCH TRAIL (SE QUADRANT) - FILLET PROFILE**  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



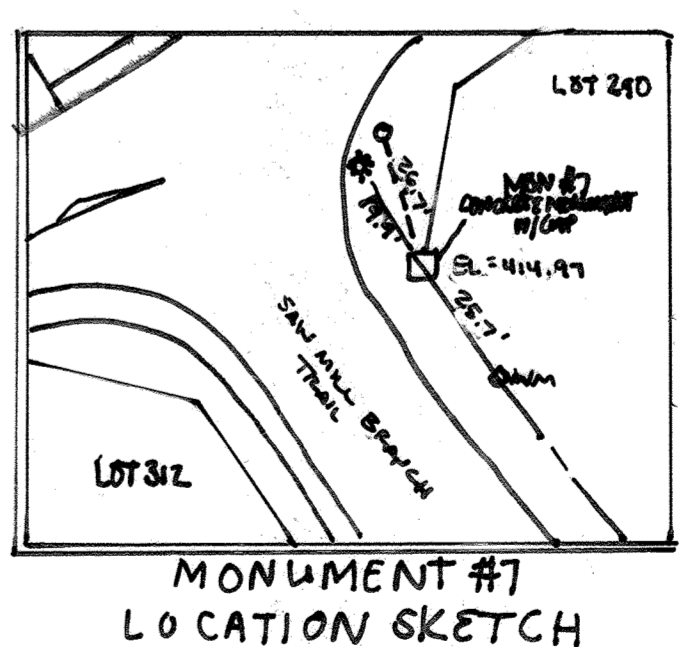
**VINEYARD SPRINGS WAY & SAWMILL BRANCH TRAIL (NE QUADRANT) - FILLET PROFILE**  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



**SAWMILL BRANCH TRAIL - CUL-DE-SAC LINEAR PROFILE**  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

**STREET LIGHT CHART**

STREET NAME	LOCATION	POLE HEIGHT	POLE TYPE	TYPE
VINEYARD SPRINGS WAY	26+16.66	26.30' R	14'-0"	BLACK FIBERGLASS POST-TOP (LED-100)
SAWMILL BRANCH TRAIL	12+66.69	16.67' L	14'-0"	BLACK FIBERGLASS POST-TOP (LED-100)
SAWMILL BRANCH TRAIL	N 5980.1746 E 13640.026 80		14'-0"	BLACK FIBERGLASS POST-TOP (LED-100)



**PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.**

**PERMIT INFORMATION CHART**

SUBMISSION NAME: ESTATES AT PATAPSCO PARK	SECTION AREA: NA	LOT/PARCEL NO.: NA
PLAT # OR L.P.: 2421 TO 2426	GRID # S. 6, 11, 12	ZONING: R-20 & R-ED
TAX MAP NO.: 17	ELECT DIST: 2ND	CENSUS TRACT:

**BOHLER ENGINEERING**

CORPORATE OFFICE: WARREN, NJ

OFFICES: BOWIE, MD; CHARLOTTE, NC; CHICAGO, IL; COLUMBIA, MD; HARRISBURG, PA; PHILADELPHIA, PA; RICHMOND, VA; TAMPA, FL; WASHINGTON, DC

PROJECT MANAGERS: ENVIRONMENTAL CONSULTANTS; LANDSCAPE ARCHITECTS

SURVEYORS: CIVIL & CONSULTING ENGINEERS

**REVISIONS**

REV	DATE	COMMENT	REV. PER. OF LOTS	BY
1	10/21/15			RLB
3	11/30/15	As BUILT		RLB

**APPROVED FOR CONSTRUCTION**

PROJECT No.: MD152013  
 CHECKED BY: RLB  
 DATE: 12/31/15  
 SCALE: AS SHOWN  
 CAD I.D.: PPA

**REVISED FINAL ROAD CONSTRUCTION PLANS**

FOR

**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 203-397 AND  
 OPEN SPACE LOTS 196 - 202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**

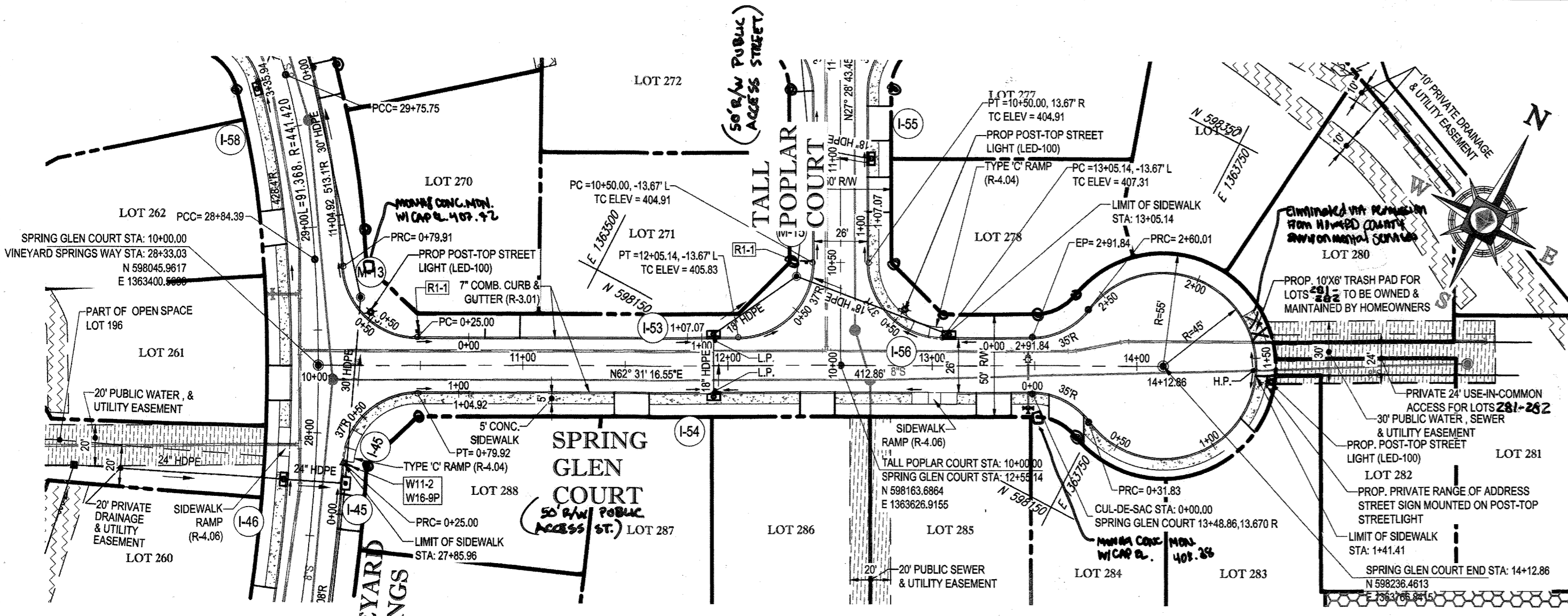
901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**PROFESSIONAL ENGINEER**

STATE OF MARYLAND  
 BRANDON R. ROME  
 No. 4083  
 For 12/3/2014

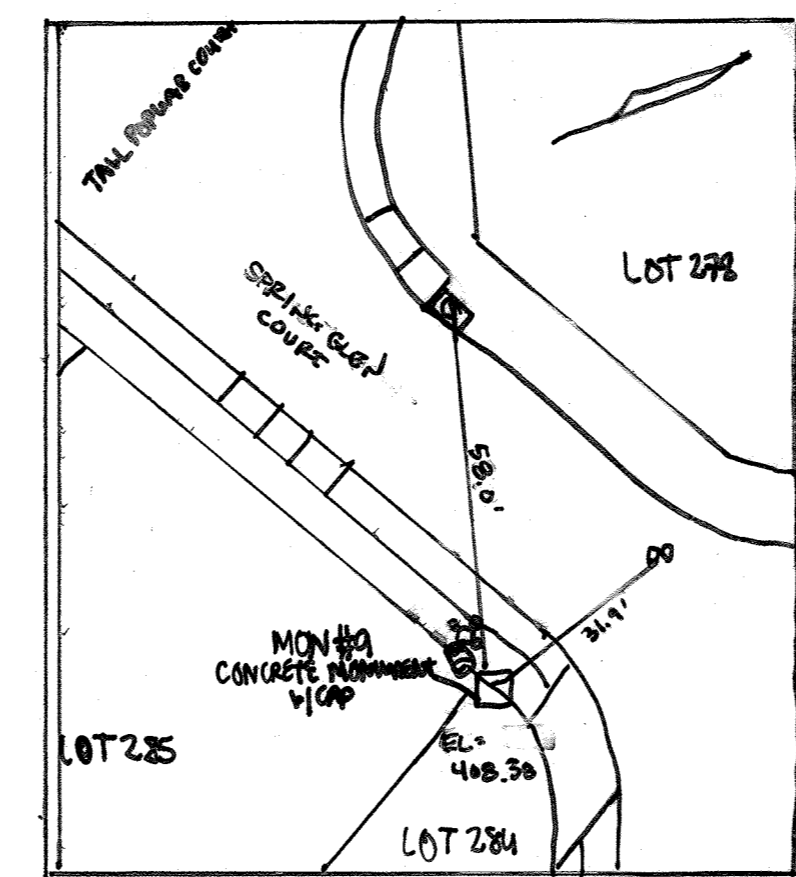
**PUBLIC ROAD PLAN AND PROFILE**

SHEET NUMBER: 19

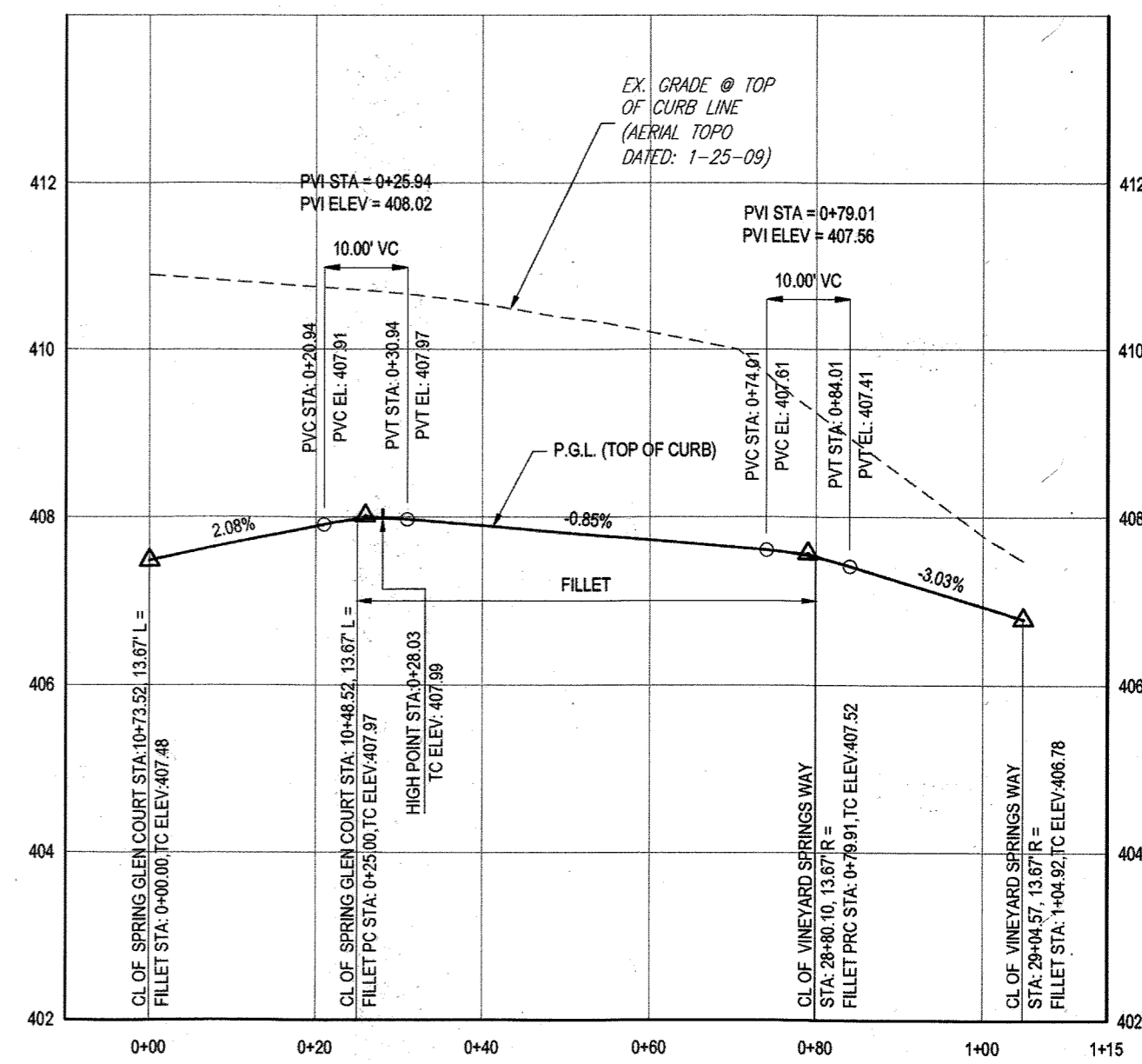


SPRING GLEN COURT - PLAN  
SCALE: 1" = 50'

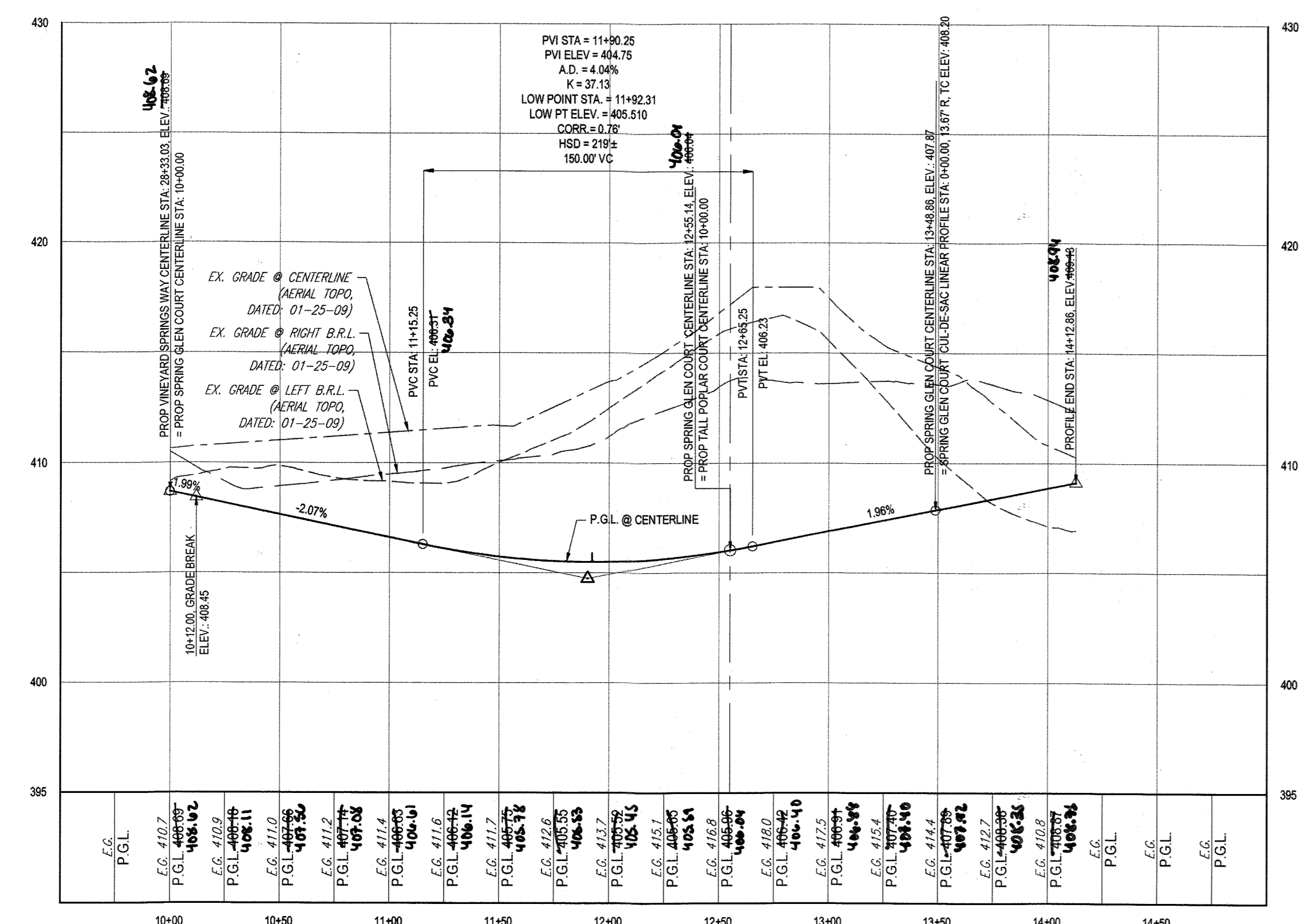
STREET NAME	LOCATION		POLE HEIGHT	POLE TYPE	TYPE
	STATION	OFFSITE			
SPRING GLEN COURT	12+88.68	27.19' L	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
SPRING GLEN COURT	N 598254.1471 E 1363816.9787		14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)



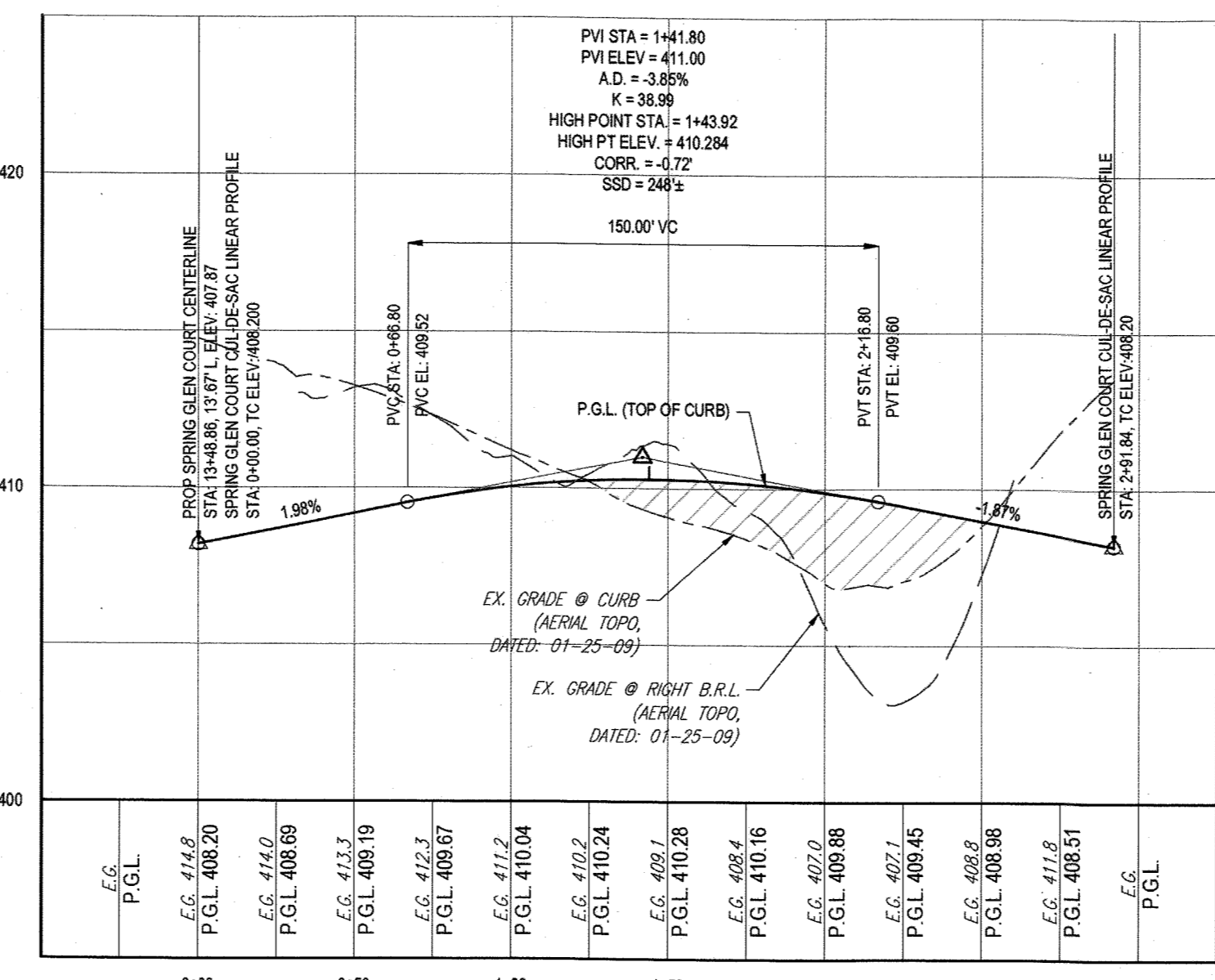
MONUMENT #9  
LOCATION SKETCH



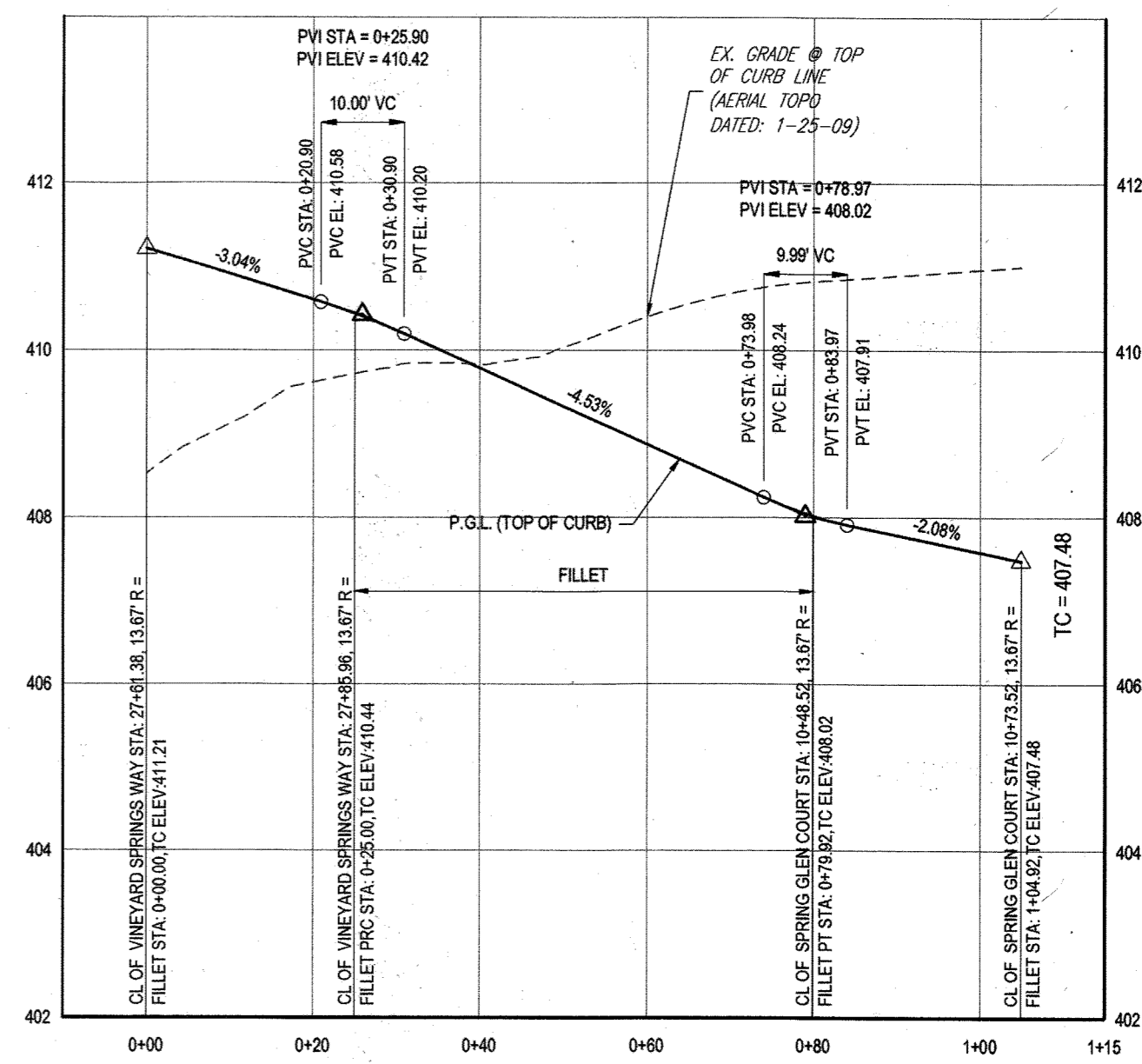
VINEYARD SPRINGS WAY & SPRING GLEN COURT  
(NE QUADRANT) - FILLET PROFILE  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



SPRING GLEN COURT - ROAD PROFILE  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL



SPRING GLEN COURT - CUL-DE-SAC LINEAR PROFILE  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

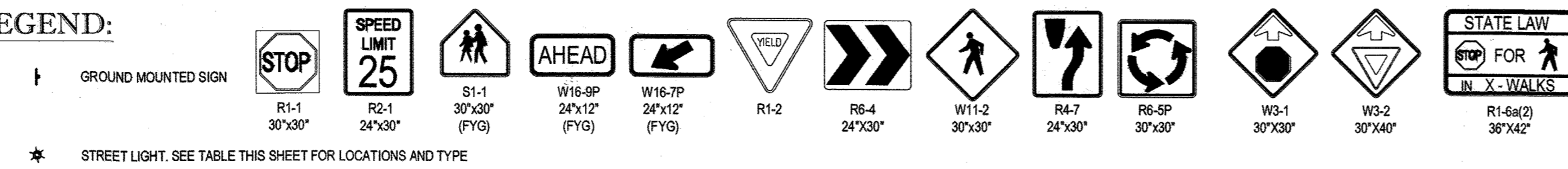


VINEYARD SPRINGS WAY & SPRING GLEN COURT  
(SE QUADRANT) - FILLET PROFILE  
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL

APPROVED: DEPARTMENT OF PUBLIC WORKS  
DATE: 11/9/2015  
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
DATE: 11-17-15

- NOTES:
- ALL PROPOSED PAVEMENT IS TO BE HOWARD COUNTY P-3 PAVEMENT. SEE SHEET 24 FOR PAVEMENT SECTION DETAIL.
  - SEE SHEET 83-87 FOR STREET TREE LOCATIONS.
  - ALL DRIVEWAY ENTRANCES ARE HO. CO. STD. DETAILS R-6.02 (WITH SIDEWALK NEXT TO CURB) & R-6.05 (WITHOUT SIDEWALK).

LEGEND:



PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-061.

PERMIT INFORMATION CHART			
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION AREA: NA	LOT/PARCEL NO.: NA	
PLAT # OR UF: 2042 TO 2408	GRID: 5, 6, 11, 12	ZONING: R-20 & RED	TAX MAP NO.: 17
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-105 PB CASE NO. 403	PROFESSIONAL CERTIFICATION I, BRADON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40086. EXPIRATION DATE: 7/30/17		

OWNER: ESTATES AT PATAPSCO PARK, LLC  
24012 FREDERICK ROAD  
CLARKSBURG, MD 20861  
CONTACT: MR. DAN SNYDER  
PHONE: (301) 674-8509

DEVELOPER: ESTATES AT PATAPSCO PARK, LLC  
24012 FREDERICK ROAD  
CLARKSBURG, MD 20861  
CONTACT: MR. DAN SNYDER  
PHONE: (301) 674-8509

**BOHLER ENGINEERING**

CORPORATE OFFICE: WARREN, NJ

OFFICES:

- BOWIE, MD
- CLARKSBURG, MD
- CHALCOTTE, VA
- ROCKVILLE, MD
- WARRINGTON, VA
- WILMINGTON, DE
- PHILADELPHIA, PA
- TAMPA, FL

CIVIL & CONSULTING ENGINEERS

SURVEYORS

PROJECT MANAGERS

ENVIRONMENTAL CONSULTANTS

LANDSCAPE ARCHITECTS

REVISIONS				
REV	DATE	COMMENT	BY	
1	10/21/15	REVISE PER RESUBDIVISION OF LOTS	RLB	
3	11/24/15	AS SHOWN	RLB	

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD152013  
DRAWN BY: BRR  
DATE: 11/23/15  
SCALE: AS SHOWN  
CAD ID: PSA

REVISOR'S FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202 LOCATION OF SITE MD ROUTE 99 ROGERS AVENUE HOWARD COUNTY

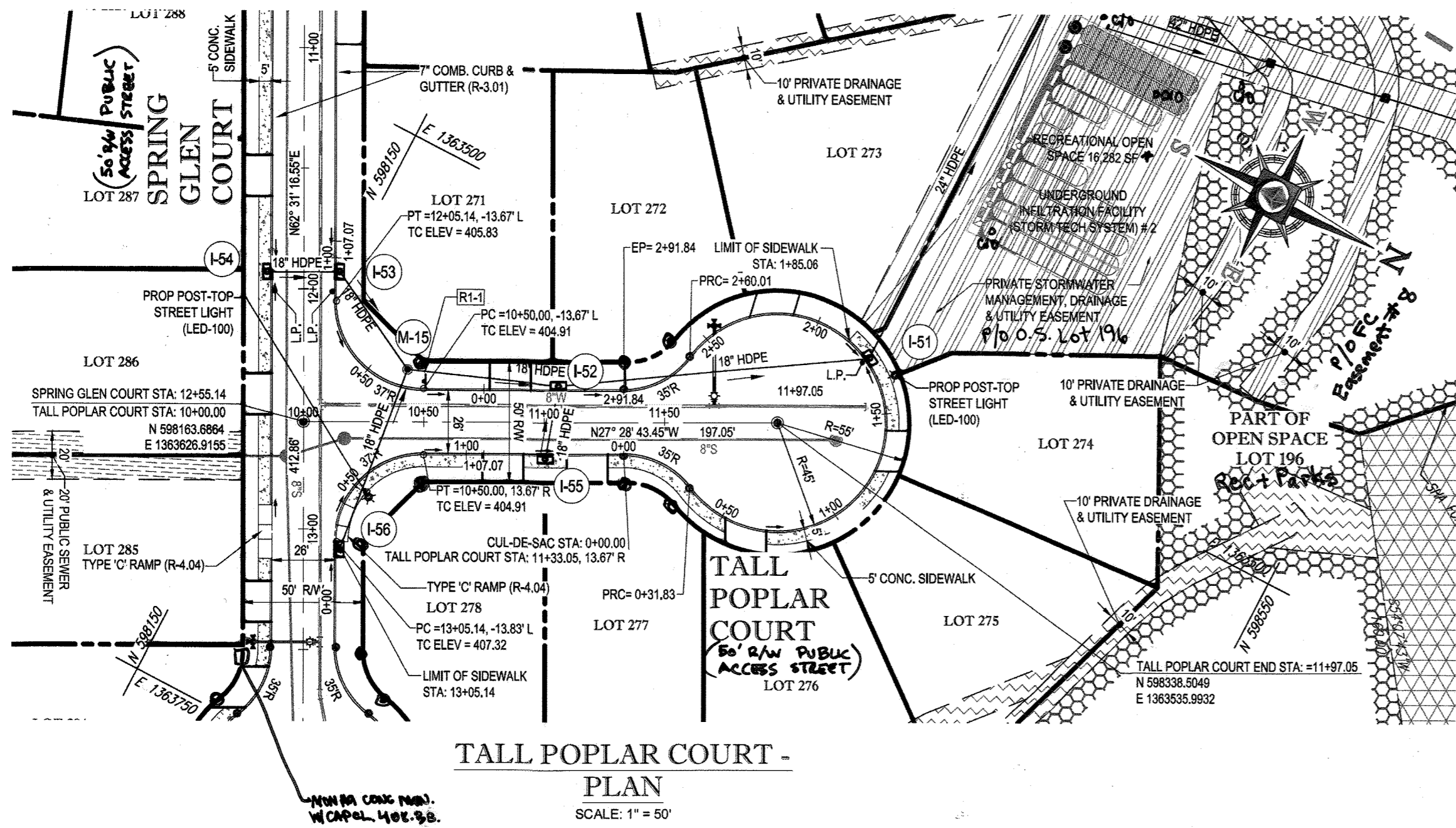
**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
www.BohlerEngineering.com

**B.R. ROWE**  
PROFESSIONAL ENGINEER  
STATE OF MARYLAND  
LICENSE NO. 40086  
EXPIRES 7/30/17

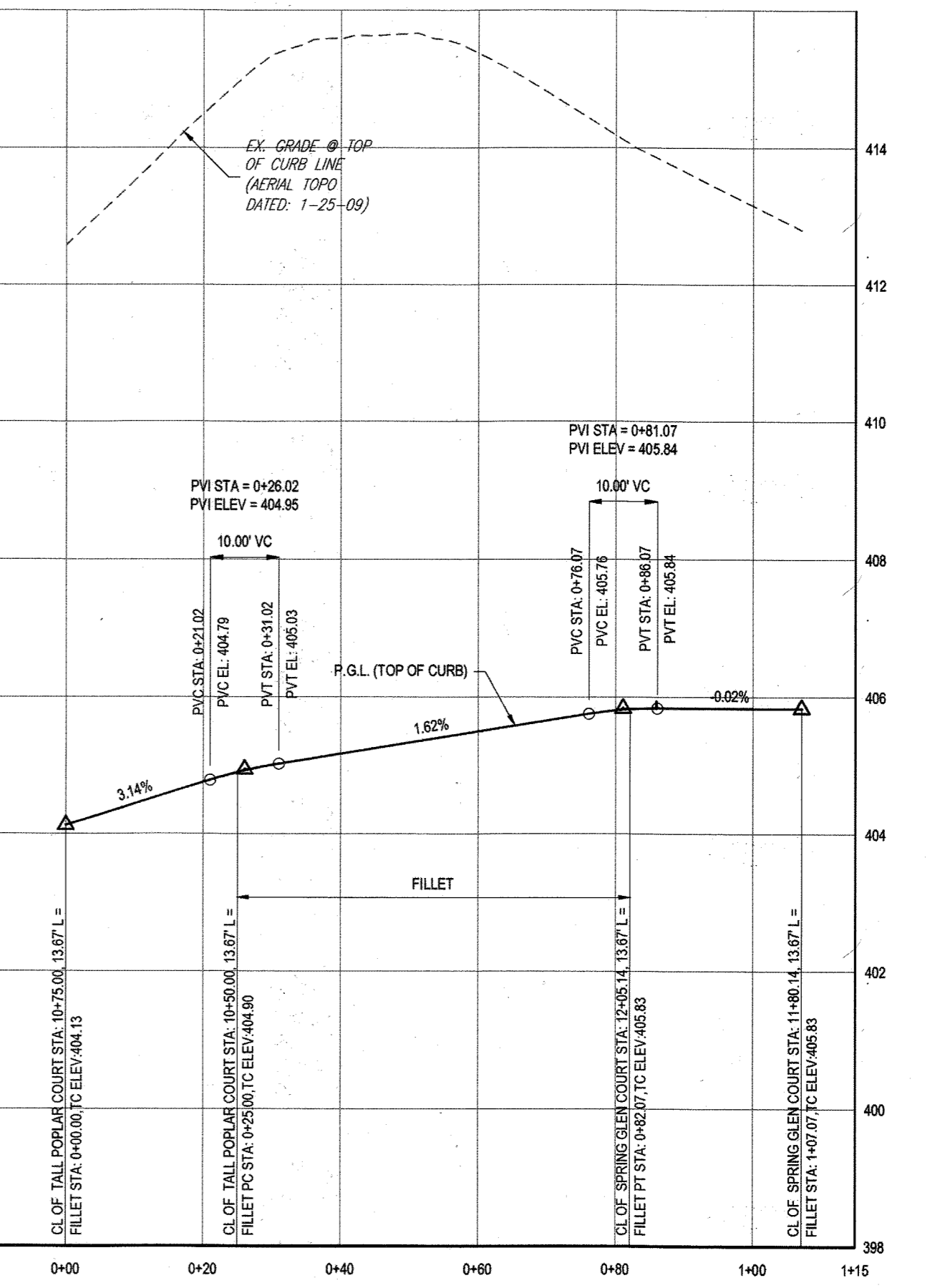
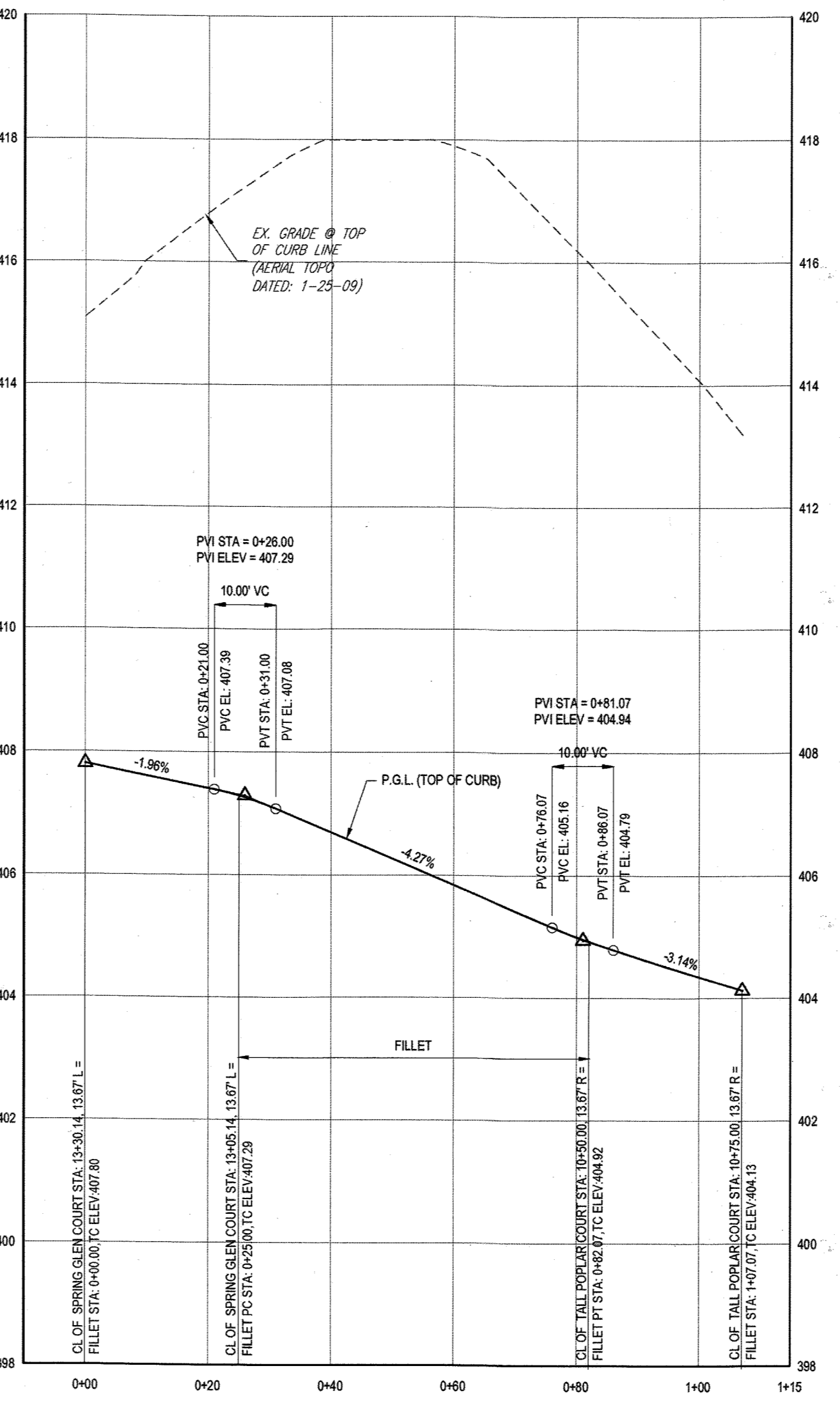
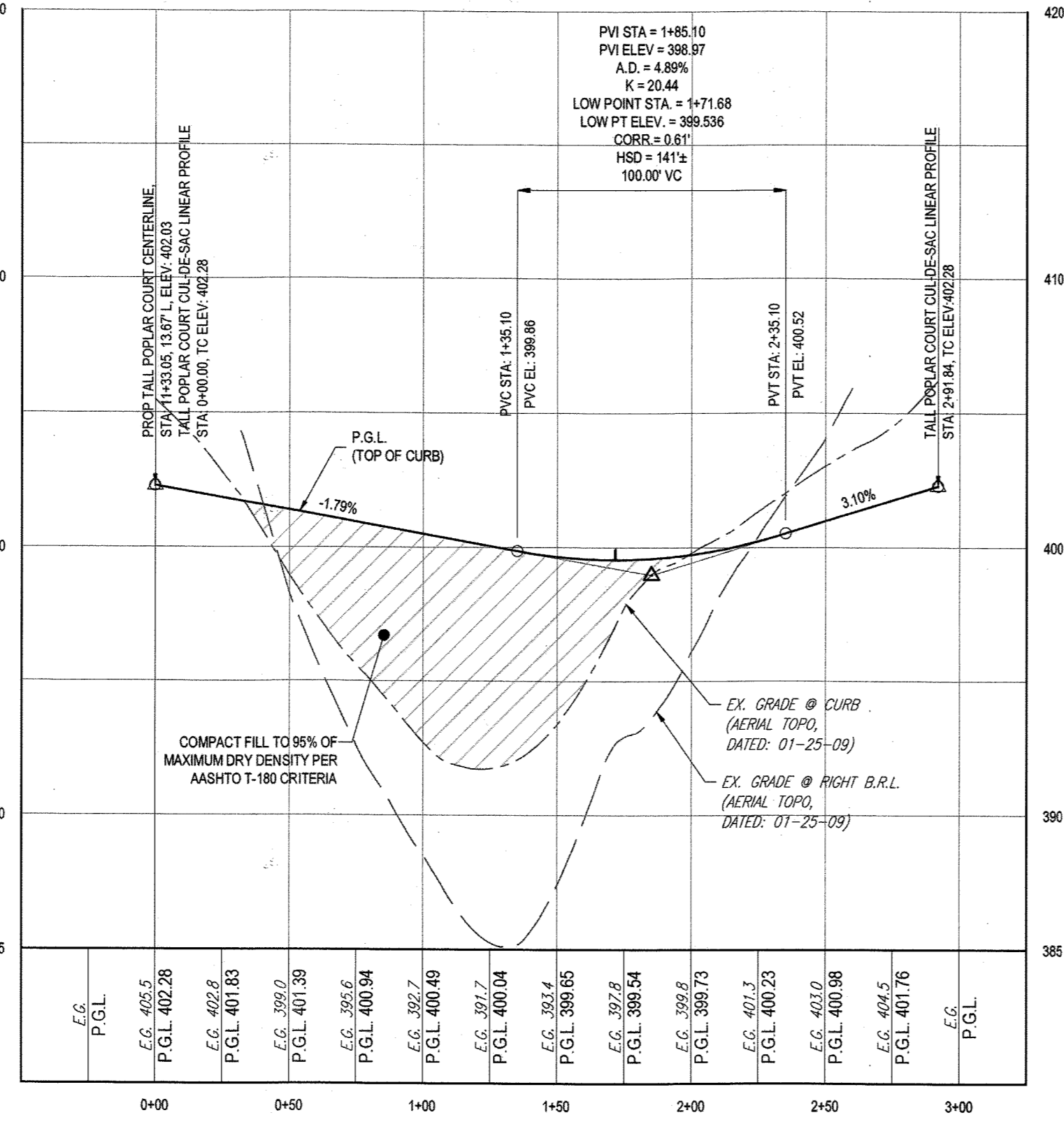
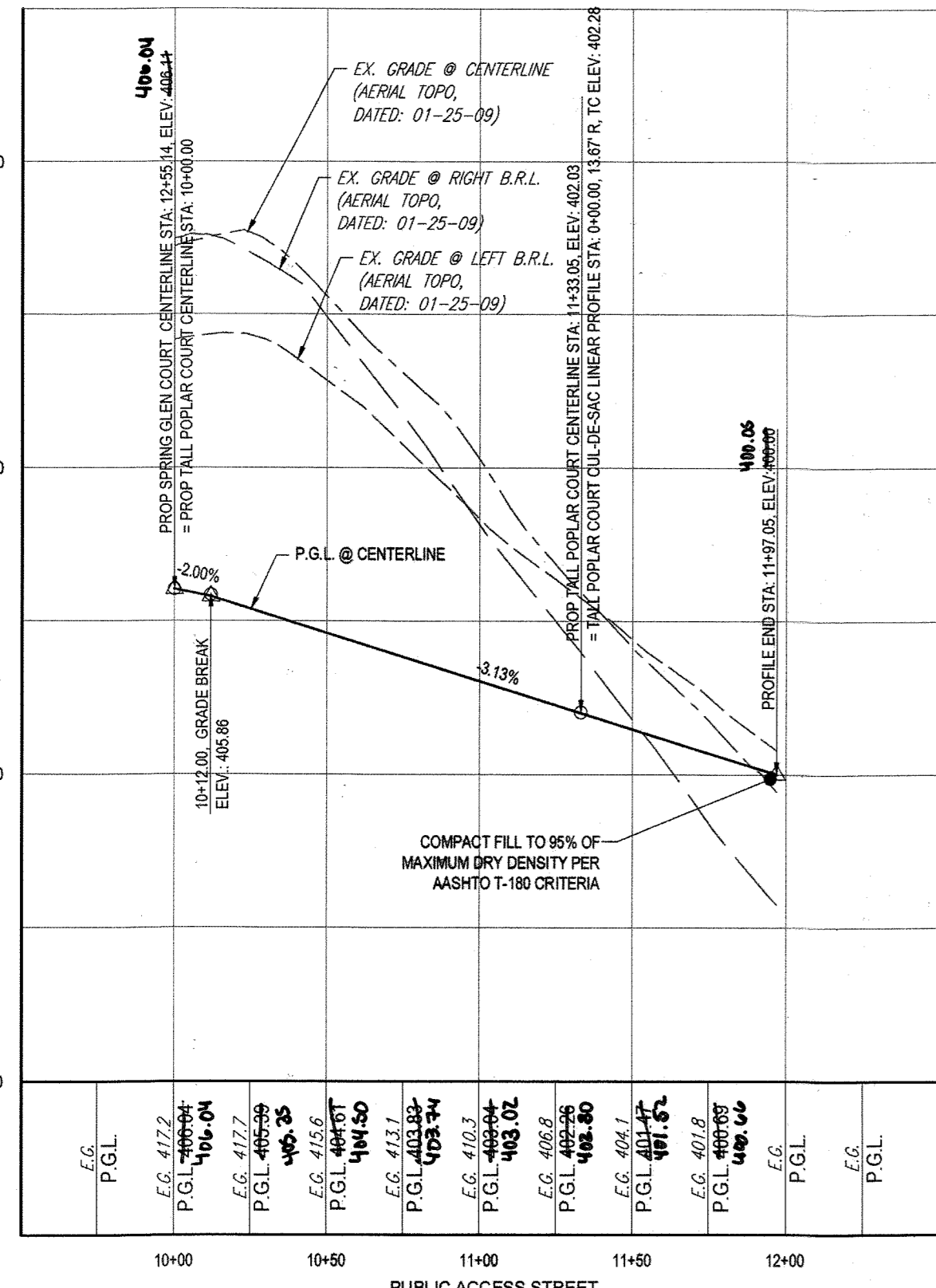
SHEET TITLE: PUBLIC ROAD PLAN AND PROFILE

SHEET NUMBER: 20



STREET LIGHT CHART					
STREET NAME	LOCATION		POLE HEIGHT	POLE TYPE	TYPE
	STATION	OFFSITE			
SPRING GLEN COURT	12+88.88	27.19' L	14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)
TALL POPLAR COURT	N 598372.8399 E 1363495.6816		14'-0"	BLACK FIBERGLASS	POST-TOP (LED-100)

\* Determination by SD2 to allow Rec open space over easement



APPROVED: DEPARTMENT OF PUBLIC WORKS  
 CHIEF, BUREAU OF HIGHWAYS  
 DATE: 11/9/2015

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 12-17-15

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE: 11-17-15

- NOTES:
- ALL PROPOSED PAVEMENT IS TO BE HOWARD COUNTY P-3 PAVEMENT. SEE SHEET 24 FOR PAVEMENT SECTION DETAIL.
  - SEE SHEET 83-87 FOR STREET TREE LOCATIONS.
  - ALL DRIVEWAY ENTRANCES ARE HO. CO. STD. DETAILS R-6.02 (WITH SIDEWALK NEXT TO CURB) & R-6.05 (WITHOUT SIDEWALK).

LEGEND:

- GROUND MOUNTED SIGN
- STOP
- SPEED LIMIT 25
- AHEAD
- STATE LAW
- R1-1 30'x30'
- R2-1 24'x30'
- S11 30'x30' (FYG)
- W15-9P 24'x12' (FYG)
- W16-7P 24'x12' (FYG)
- R1-2 24'x30'
- R6-4 24'x30'
- W11-2 30'x30'
- R4-7 24'x30'
- R6-5P 30'x30'
- W3-1 30'x30'
- W3-2 30'x40'
- R1-6/2 38'x42'

\* STREET LIGHT. SEE TABLE THIS SHEET FOR LOCATIONS AND TYPE

PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.

PERMIT INFORMATION CHART

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK  
 SECTION AREA: N/A  
 LOT/PARCEL NO.: N/A

FLAT # OR U.P.: 23421 TO 23438  
 GRID # S & E, 11, 12  
 ZONING: R-20 & RED  
 TAX MAP NO.: 17  
 ELECT. DISTR.: 2ND  
 CENSUS TRACT: N/A

PREVIOUS FILE NO.: SP-13-012  
 ECP-13-029  
 WP-13-105  
 PG CASE NO. 403

OWNER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

DEVELOPER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

PROFESSIONAL CERTIFICATION  
 I, BRADON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 49939, EXPIRATION DATE: 7/30/17

**BOHLER ENGINEERING**

CORPORATE OFFICE: WARREN, NJ

OFFICES:

- LOWE, MD
- TOWSON, MD
- CLARKSBURG, MD
- CHALMERS, PA
- PHILADELPHIA, PA
- PHILADELPHIA, PA
- TAMPA, FL

PROJECT MANAGERS

ENVIRONMENTAL CONSULTANTS

LANDSCAPE ARCHITECTS

CIVIL & CONSULTING ENGINEERS

SURVEYORS

REVISIONS

REV	DATE	COMMENT	BY
1	10/21/15	REV. PER RESUBDIVISION OF LOTS	RLB
3	11/09/15	AS BUILT	RLB

APPROVED FOR CONSTRUCTION

PROJECT No.: MD152013  
 CHECKED BY: RLB  
 DATE: 12/31/15  
 SCALE: AS SHOWN  
 CAD I.D.: PSB

REVISED FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202 LOCATION OF SITE MD ROUTE 99 ROGERS AVENUE HOWARD COUNTY

**BOHLER ENGINEERING**

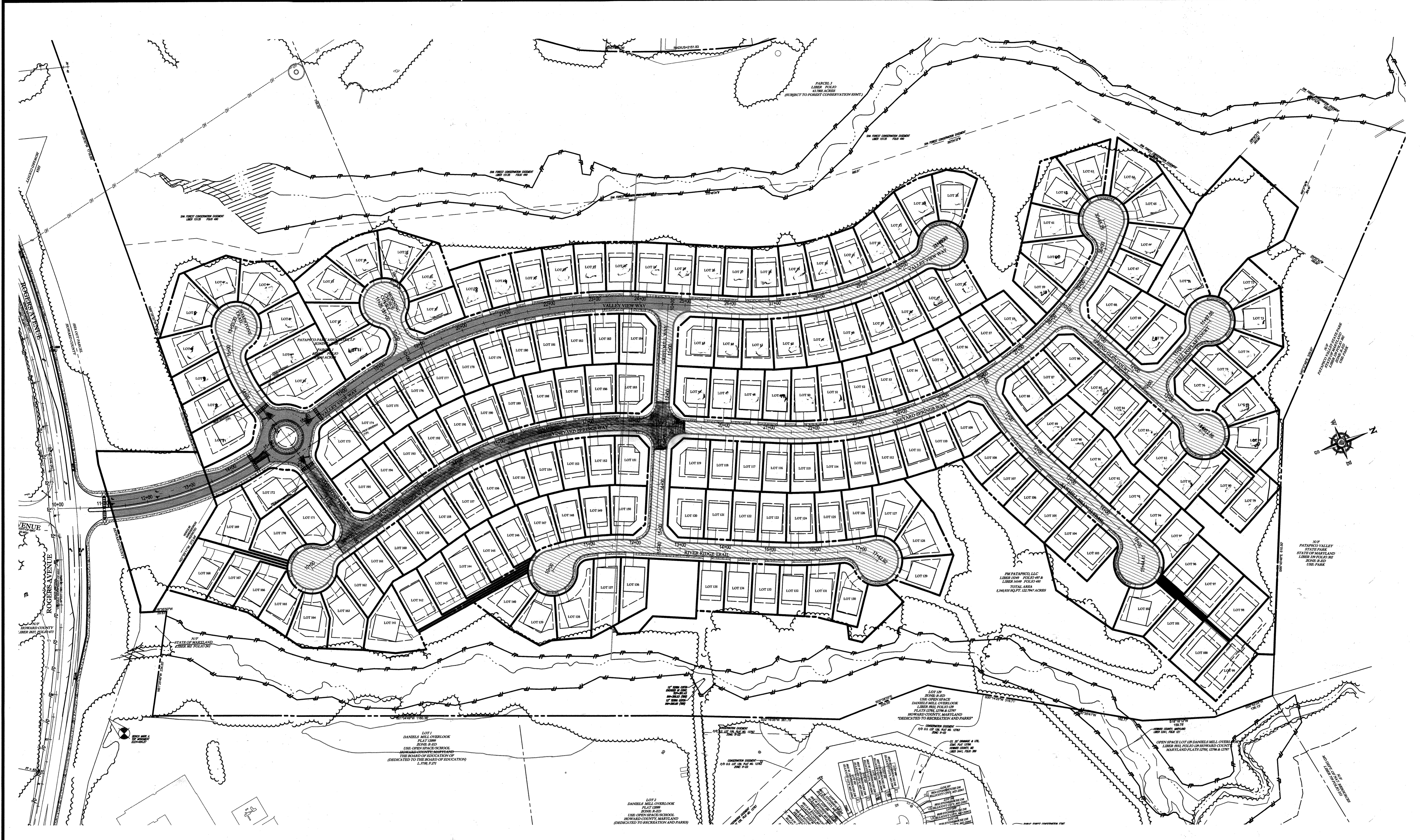
901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 674-7987  
 www.BohlerEngineering.com

**B. R. ROWE**

PROFESSIONAL ENGINEER  
 LICENSE NO. 49939  
 EXPIRATION DATE: 7/30/17

PUBLIC ROAD PLAN AND PROFILE

SHEET NUMBER: 21



**BOHLER ENGINEERING**

CORPORATE OFFICE: NEW YORK, NY

PROJECT MANAGERS: CIVIL & CONSULTING ENGINEERS, SURVEYORS

ENVIRONMENTAL CONSULTANTS: ENVIRONMENTAL CONSULTANTS

LANDSCAPE ARCHITECTS: LANDSCAPE ARCHITECTS

OFFICES: BOWNE, MD; TOWSON, MD; BALTIMORE, MD; CHESAPEAKE, VA; PHILADELPHIA, PA; TAMPA, FL

**REVISIONS**

REV	DATE	COMMENT	BY
3	11/20/15	AS BUILT	BER

**APPROVED FOR CONSTRUCTION**

PROJECT NO.: MD132008  
 DRAWN BY: RLB  
 CHECKED BY: BRB  
 DATE: 12/11/14  
 SCALE: 1"=100'  
 CAD I.D.: PAI

**FINAL ROAD CONSTRUCTION PLANS**

FOR

**ESTATES AT PATAPSCO PARK**

BUILDABLE LOTS 183-197 AND OPEN SPACE LOTS 186-202

LOCATION OF SITE: MD ROUTE 99, ROGERS AVENUE, HOWARD COUNTY

**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD, SUITE 801, TOWSON, MARYLAND 21284

Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**B. B. ROWE**

STATE OF MARYLAND PROFESSIONAL ENGINEER

PROFESSIONAL CERTIFICATION

**PAVEMENT SECTION PLAN**

SHEET NUMBER: 22

**APPROVED DEPARTMENT OF PUBLIC WORKS**

CHIEF, BUREAU OF HIGHWAYS DATE: 1/8/2015

**APPROVED DEPARTMENT OF PLANNING AND ZONING**

CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 7-9-15

**CHIEF, DEVELOPMENT ENGINEERING DIVISION** DATE: 6-15-15

**LEGEND**

[Hatched Box] PAVEMENT SECTION P-2

[Solid Box] PAVEMENT SECTION P-3

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.

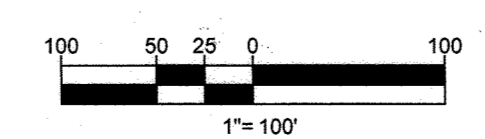
For Revision 3 ONLY  
 NO AS BUILT MFD

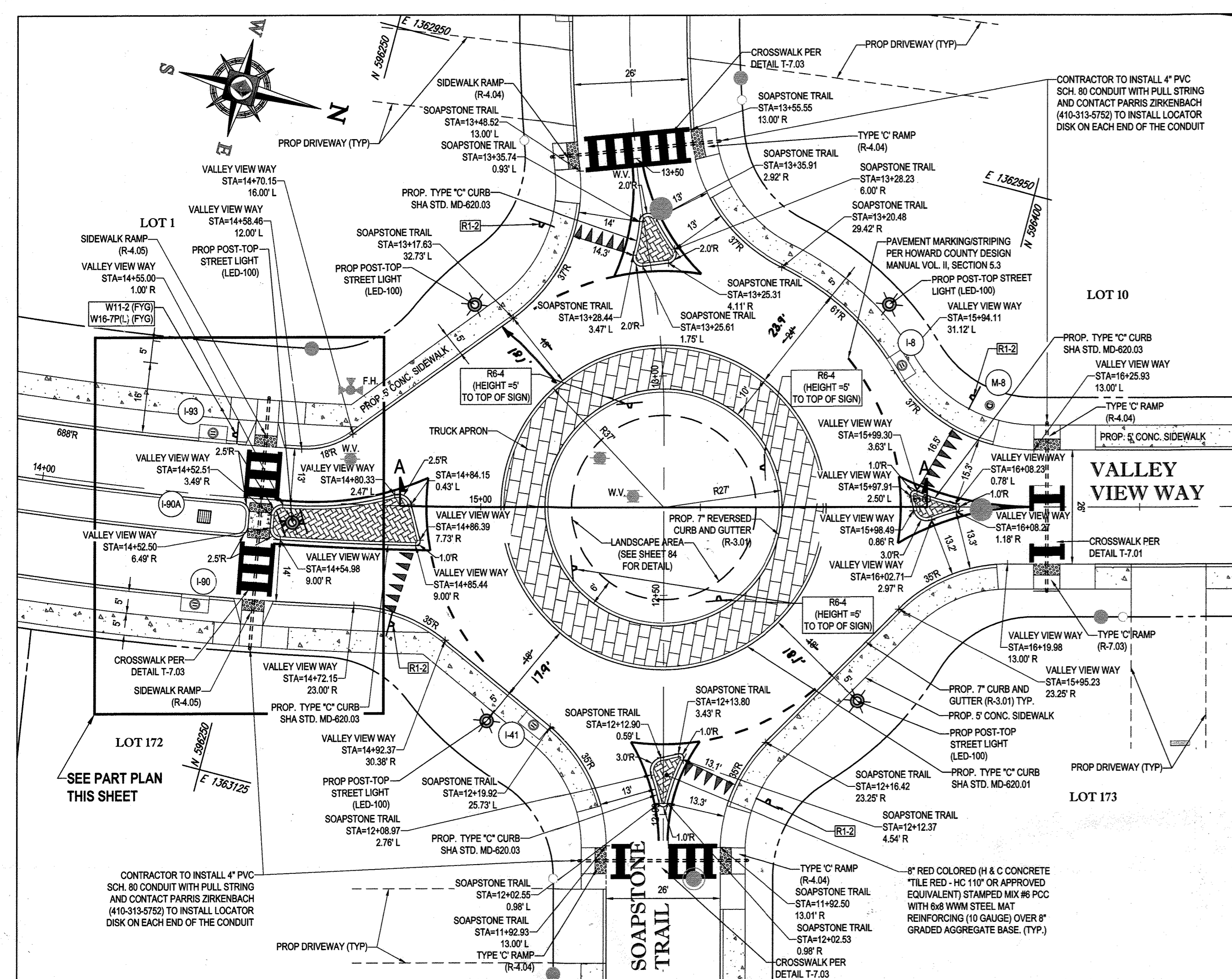


NOTE: SEE SHEET 50 FOR REVISED LOT LINES AS RECORDED UNDER F-16-051

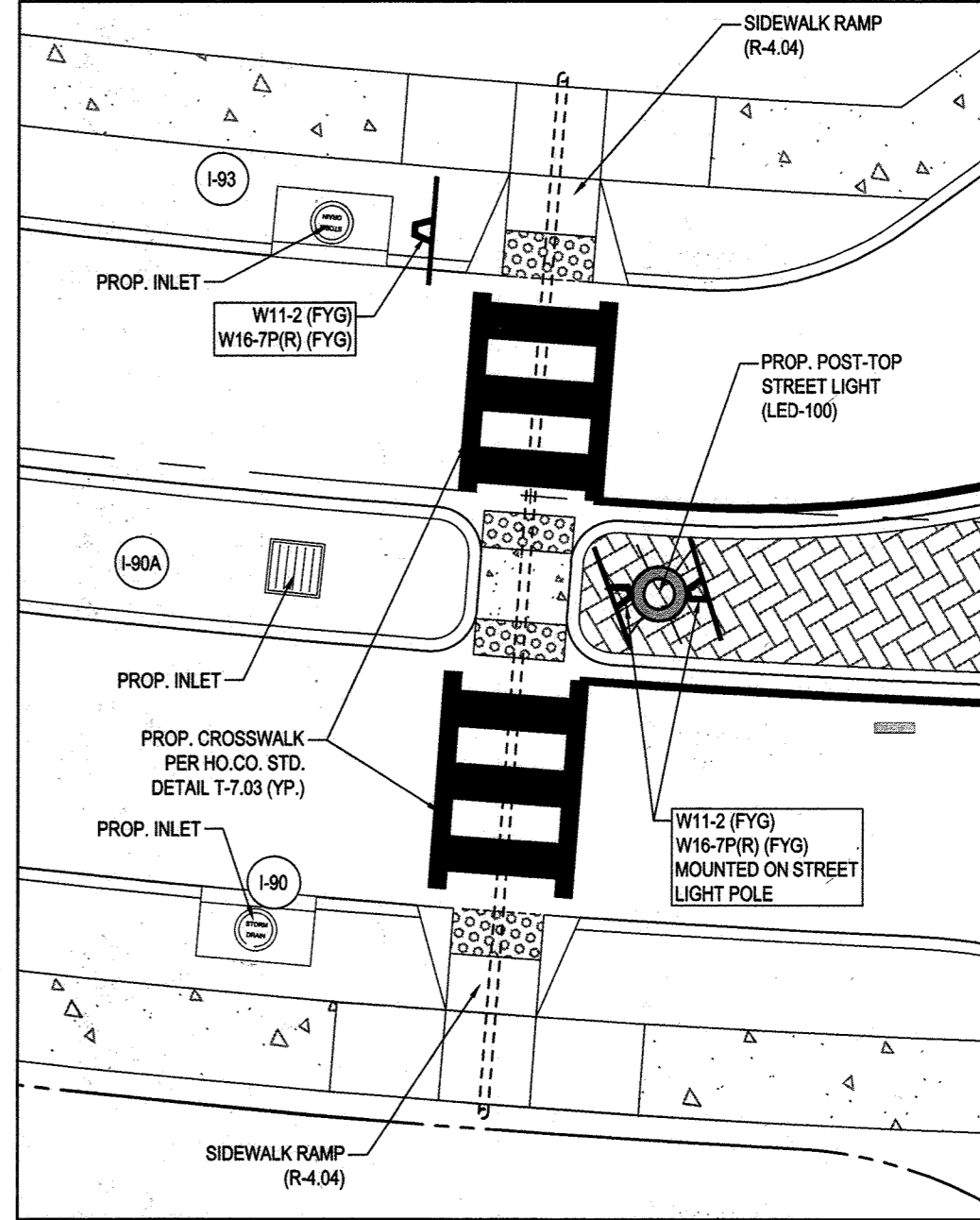
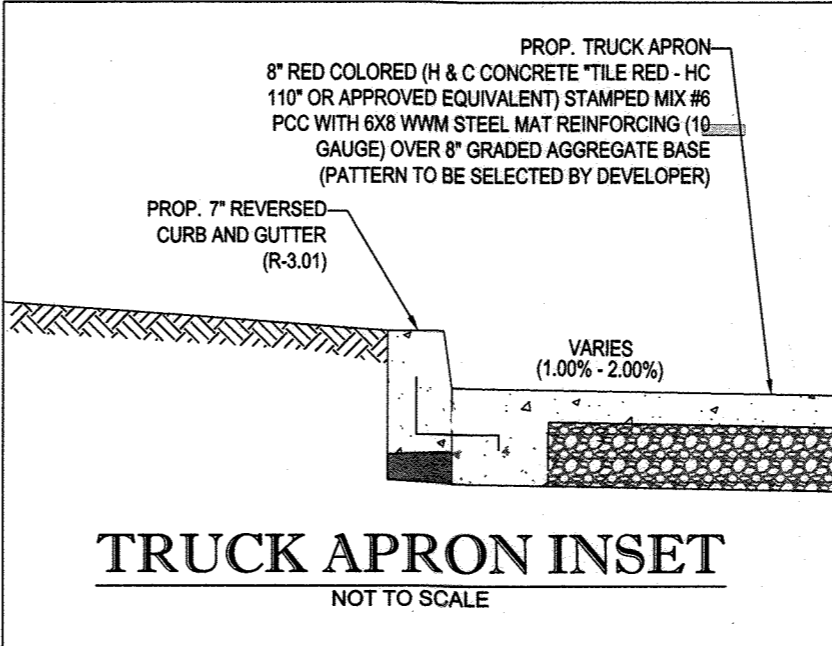
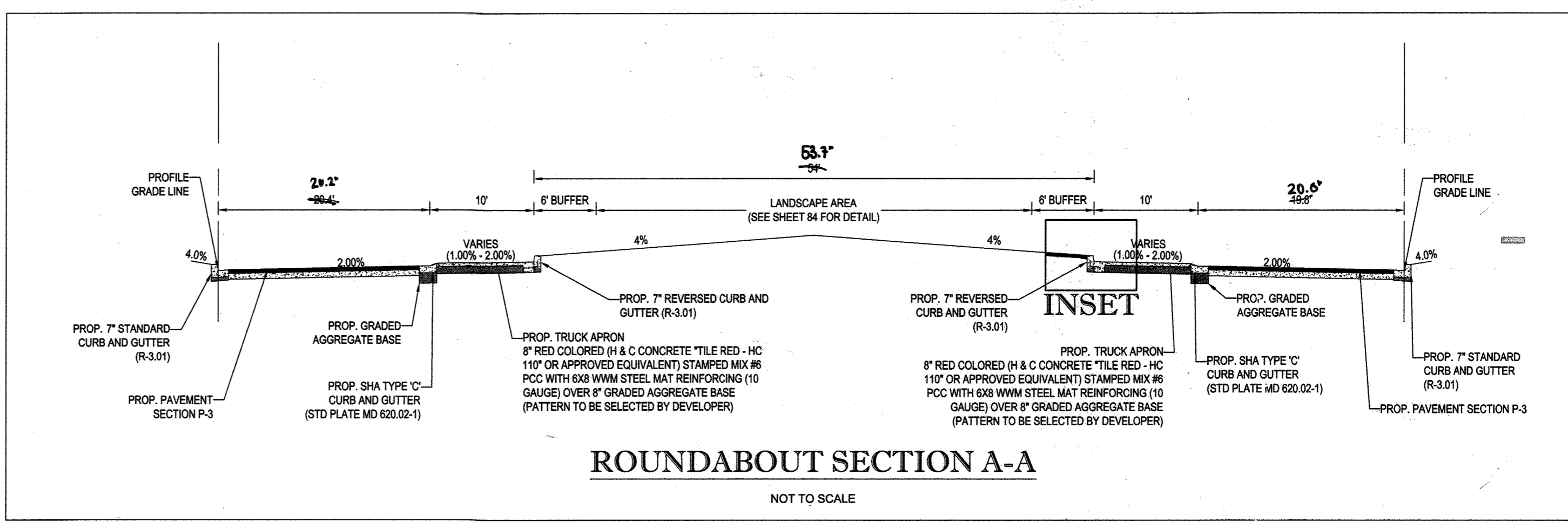
**PERMIT INFORMATION CHART**

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA
PLAT # OR U.F.: 1548485 & 1554947	GRID # 5, 6, 11, 12	ZONING: R-20 & RED
PREVIOUS FILE NO.: SP-13-012, ECP-13-029, W.P.-13-165, PB CASE NO. 403	TAX MAP NO.: 17	ELECT DIST: 2ND
CENSUS TRACT:		



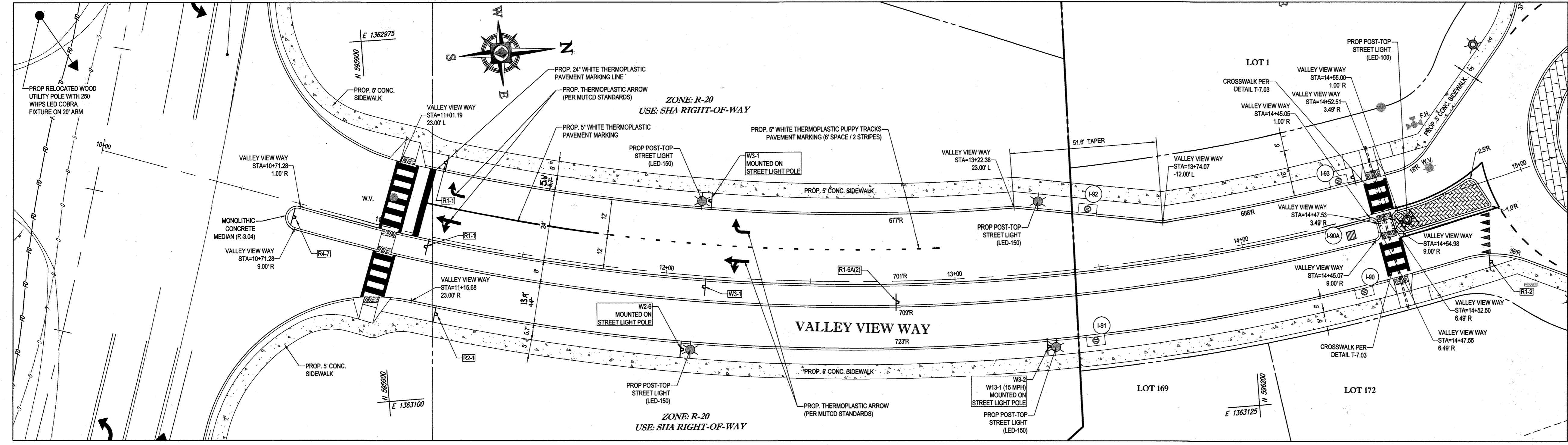


ROUNDABOUT TYPICAL DETAIL  
SCALE: 1" = 20'



PART PLAN  
SCALE: 1" = 10'

FOR ROAD IMPROVEMENTS TO ROGERS AVENUE SEE SHEET 98-111

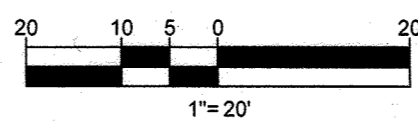


ENTRANCE TYPICAL DETAIL  
SCALE: 1" = 20'

APPROVED DEPARTMENT OF PUBLIC WORKS  
CHIEF, BUREAU OF HIGHWAYS DATE 1/8/2015  
APPROVED DEPARTMENT OF PLANNING AND ZONING  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE 7-9-15  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 6-15-15

GENERAL NOTE:  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE CONTRACTS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK COMMENCING PRIOR TO THE REVIEW OF CONTRACTS SHALL BE AT THE CONTRACTOR'S RISK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL, STATE AND FEDERAL CODES.

NOTE: ALL TRAFFIC SIGNS AND PAVEMENT MARKING LOCATIONS MUST BE APPROVED BY HOWARD COUNTY TRAFFIC DIVISION PRIOR TO INSTALLATION. CONTRACTOR TO CONTACT PARRIS ZIRKENBACH (410-313-5752) OR RAY MERCADO (410-313-5751) FOR LOCATION APPROVAL AND INSTALLATION SUPERVISION.



PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.	SECTION/TRACT
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA	SECTION/TRACT: NA
PLAT # OR U.P.: 15146MS & 15146R7	GRID # S, E, N, W	ZONING: R-20 & RED	TAX MAP NO.: 17
PREVIOUS FILE NO.: SP-13-012, ECP-13-029, WP-13-165, PP CASE NO. 403		ELECT. DISTR. 2ND	CENSUS TRACT: NA

OWNER: PM PATAPSCO LLC  
12116 ARBIE ROAD  
SILVER SPRING, MD 20904  
CONTACT: MR. SIMON ROSENBERG  
PHONE: (301) 622-0645

DEVELOPER: NAI THE MICHAEL COMPANIES  
10100 BUSINESS PARKWAY, LANHAM, MD 20706  
CONTACT: BRIAN GOLDSTEIN  
PHONE: (301) 918-2955

PROFESSIONAL CERTIFICATION  
I, BRADY R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40836, EXPIRATION DATE: 7/31/2015

**BOHLER ENGINEERING**  
CORPORATE OFFICE: WARREN, NJ  
SURVEYORS  
CIVIL & CONSULTING ENGINEERS  
PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS

OFFICES:  
• BOWEN, MD  
• ROCKVILLE, VA  
• WASHINGTON, VA  
• CHANTON, VA  
• CHARLOTTE, NC  
• TAMPA, FL  
• THE LADY, VA  
• THE LADY, VA

REVISIONS			
REV	DATE	COMMENT	BY
3	11/29/21	AS BUILT	BOZ

APPROVED FOR CONSTRUCTION

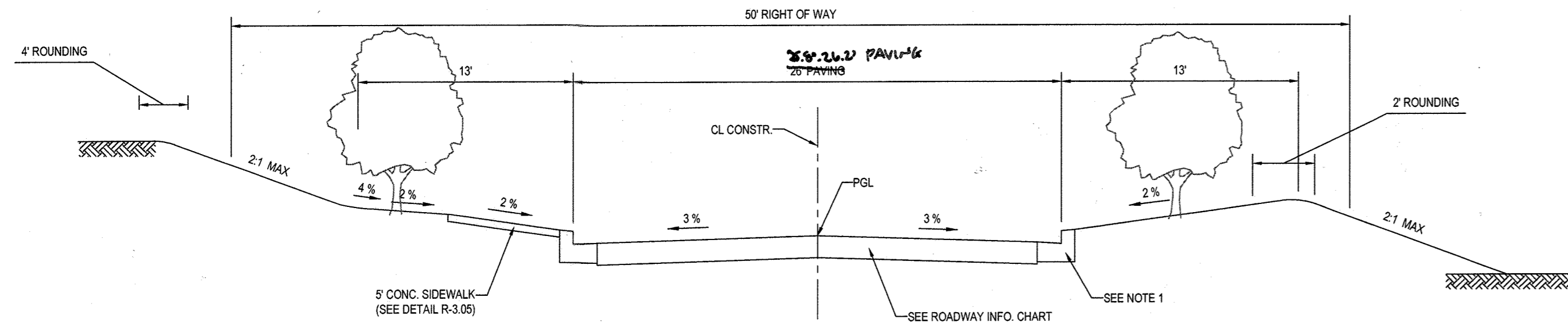
PROJECT NO.: MD132008  
DRAWN BY: RLB  
CHECKED BY: BRR  
DATE: 12/11/14  
SCALE: AS SHOWN  
CAD I.D.: RD1

**FINAL ROAD CONSTRUCTION PLANS**  
FOR  
**ESTATES AT PATAPSCO PARK**  
BUILDABLE LOTS 203-217 AND  
OPEN SPACE LOTS 196 - 202  
LOCATION OF SITE  
MD ROUTE 99  
ROGERS AVENUE  
HOWARD COUNTY

**BOHLER ENGINEERING**  
901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
www.BohlerEngineering.com

**B. R. ROWE**  
Professional Engineer  
License No. 40836  
Expiration Date: 7/31/2015

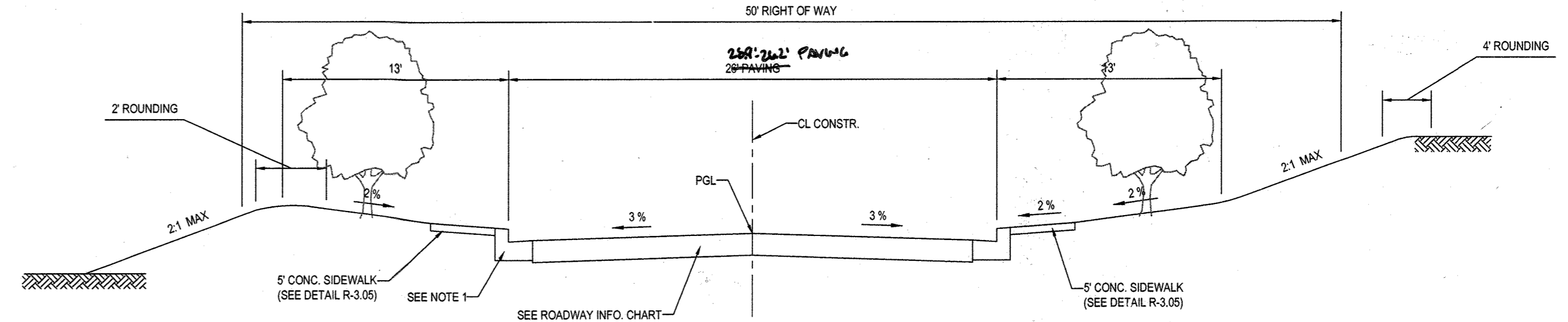
SHEET TITLE:  
**TYPICAL ROAD SECTION DETAILS**  
SHEET NUMBER:  
**23**



TYPICAL ROAD CLOSED SECTION  
NOT TO SCALE

VALLEY VIEW WAY SECTION FROM STA. 16+28.56 TO 30+35.16  
VINEYARD SPRINGS WAY SECTION FROM STA. 10+64.00 TO 29+75.75  
TALL POPLAR COURT SECTION FROM STA. 10+50.00 TO 11+33.05

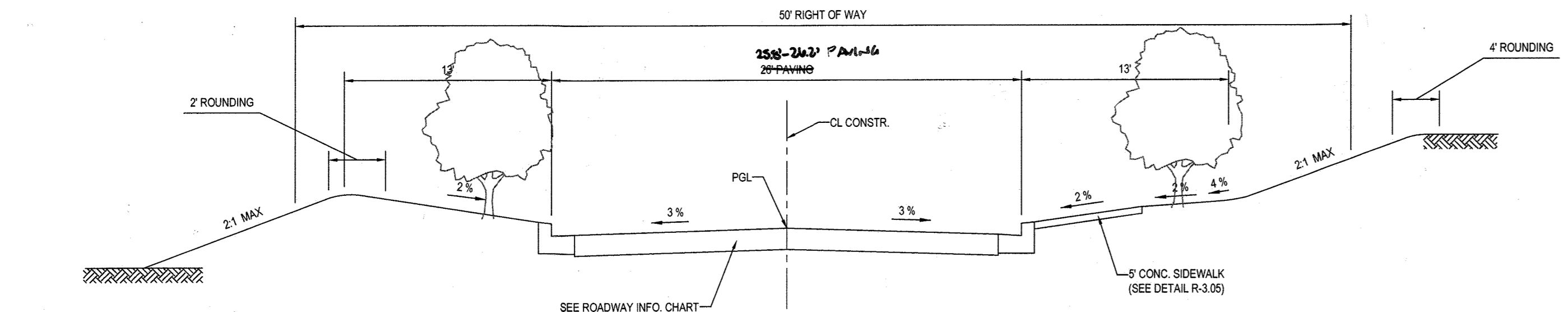
NOTES:  
1. TYPE OF CURB VARIES (MODIFIED COMBINATION CURB & GUTTER OR COMBINATION CURB & GUTTER - SEE DESIGN MANUAL VOLUME III FOR CRITERIA).



TYPICAL ROAD CLOSED SECTION  
NOT TO SCALE

SOAPSTONE TRAIL SECTION FROM STA. 10+50.00 TO 11+92.93

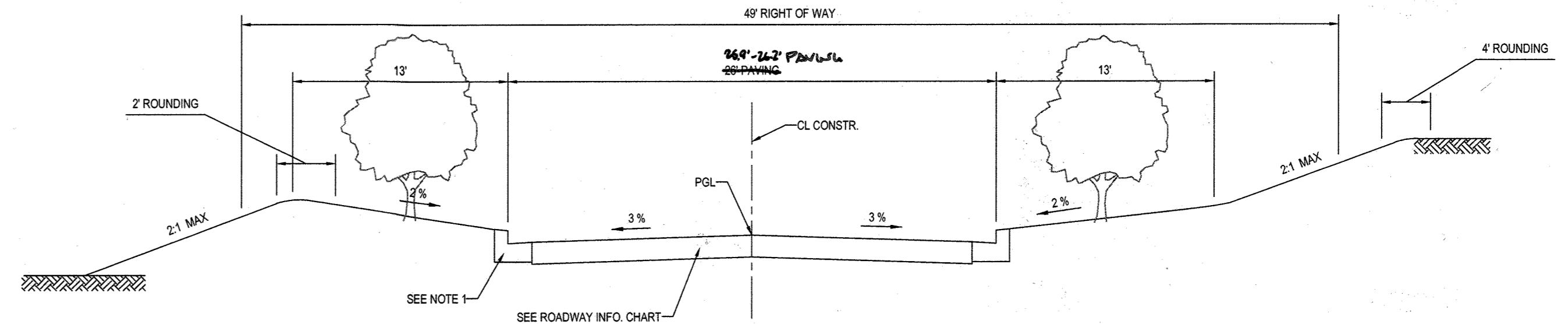
NOTES:  
1. TYPE OF CURB VARIES (MODIFIED COMBINATION CURB & GUTTER OR COMBINATION CURB & GUTTER - SEE DESIGN MANUAL VOLUME III FOR CRITERIA).



TYPICAL ROAD CLOSED SECTION  
NOT TO SCALE

RIVER RIDGE TRAIL SECTION FROM STA. 10+90.08 TO 16+58.66  
GRIST MILL WAY SECTION FROM STA. 10+50.00 TO 12+20.00  
GRIST MILL WAY SECTION FROM STA. 13+20.00 TO 14+90.00  
SAWMILL BRANCH TRAIL SECTION FROM STA. 10+47.64 TO 14+47.17  
SPRING GLEN COURT SECTION FROM STA. 10+48.52 TO 13+48.86

NOTES:  
1. TYPE OF CURB VARIES (MODIFIED COMBINATION CURB & GUTTER OR COMBINATION CURB & GUTTER - SEE DESIGN MANUAL VOLUME III FOR CRITERIA).

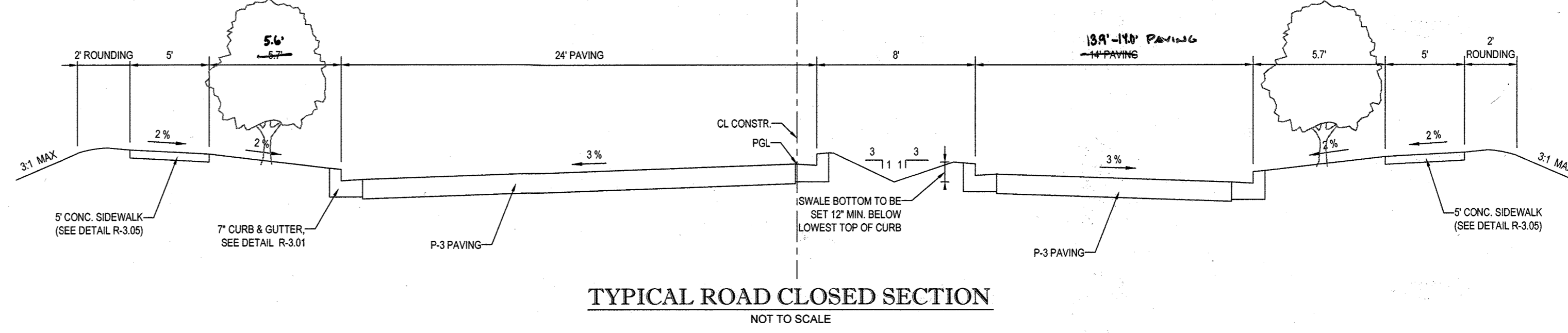


TYPICAL ROAD CLOSED SECTION  
NOT TO SCALE

SOAPSTONE TRAIL SECTION FROM STA. 13+48.52 TO 14+67.39  
MORNING CHOICE COURT SECTION FROM STA. 10+48.79 TO 10+62.15

NOTES:  
1. TYPE OF CURB VARIES (MODIFIED COMBINATION CURB & GUTTER OR COMBINATION CURB & GUTTER - SEE DESIGN MANUAL VOLUME III FOR CRITERIA).

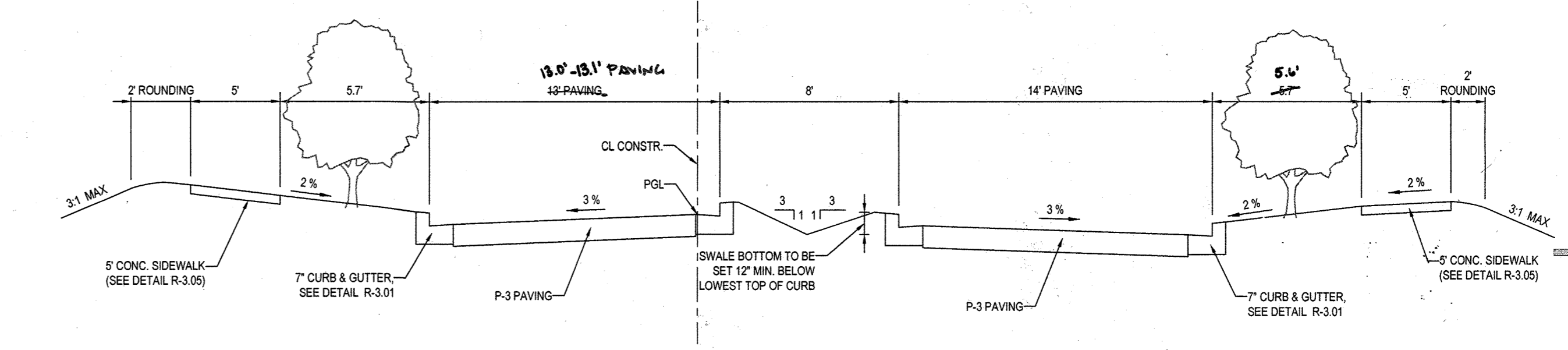
ROADWAY INFORMATION CHART				
ROAD NAME	CLASSIFICATION	DESIGN SPEED	CL STATION LIMITS	PAVING SECTION
VALLEY VIEW WAY	MINOR COLLECTOR	35 M.P.H.	STA 11+18.04 TO STA 15+41.64	P-3
VALLEY VIEW WAY	PUBLIC ACCESS PLACE	30 M.P.H.	STA 15+41.64 TO STA 25+12.61	P-3
VALLEY VIEW WAY	PUBLIC ACCESS PLACE	30 M.P.H.	STA 25+12.61 TO STA 31+01.49	P-2
VINEYARD SPRINGS WAY	PUBLIC ACCESS PLACE	30 M.P.H.	STA 10+64 TO STA 10+74.26 STA 10+74.26 TO STA 11+90 STA 11+90 TO STA 12+30.52	P-2 P-2 P-2
RIVER RIDGE TRAIL	PUBLIC ACCESS PLACE	30 M.P.H.	STA 10+00 TO STA 17+42.92	P-2
SOAPSTONE TRAIL	PUBLIC ACCESS PLACE	30 M.P.H.	STA 10+00 TO 11+78.37 STA 13+64 TO 15+53.20 STA 11+78.37 TO STA 13+64	P-2 P-2 P-3
GRIST MILL WAY	PUBLIC ACCESS PLACE	25 M.P.H.	STA 10+50 TO STA 12+20 STA 12+20 TO STA 13+20 STA 13+20 TO STA 14+90	P-2 P-2 P-2
MORNING CHOICE COURT	PUBLIC ACCESS PLACE	30 M.P.H.	STA 10+13 TO STA 11+26.15	P-2
SAWMILL BRANCH TRAIL	PUBLIC ACCESS PLACE	30 M.P.H.	STA 10+00 TO STA 15+44.41	P-2
SPRING GLEN COURT	PUBLIC ACCESS PLACE	25 M.P.H.	STA 10+00 TO 14+12.86	P-2
TALL POPLAR COURT	PUBLIC ACCESS PLACE	25 M.P.H.	STA 10+00 TO STA 11+97.05	P-2



TYPICAL ROAD CLOSED SECTION  
NOT TO SCALE

VALLEY VIEW WAY SECTION FROM STA. 11+15.60 TO 13+22.33  
AND TAPER TO STA. 13+74.07

NOTES:  
1. TYPE OF CURB VARIES (MODIFIED COMBINATION CURB & GUTTER OR COMBINATION CURB & GUTTER - SEE DESIGN MANUAL VOLUME III FOR CRITERIA).



TYPICAL ROAD CLOSED SECTION  
NOT TO SCALE

VALLEY VIEW WAY SECTION FROM STA. 13+74.07 TO 14+58.46 LEFT & STA. 14+72.15 RIGHT

NOTES:  
1. TYPE OF CURB VARIES (MODIFIED COMBINATION CURB & GUTTER OR COMBINATION CURB & GUTTER - SEE DESIGN MANUAL VOLUME III FOR CRITERIA).

APPROVED DEPARTMENT OF PUBLIC WORKS  
1/8/2015  
APPROVED DEPARTMENT OF PLANNING AND ZONING  
7-9-15  
6-15-15

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)						
		3 TO <5	5 TO <7	7	3 TO <5	5 TO <7	7	
P-1	PARKING DRIVE ALLEYS RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY	HMA SUPERPAVE FINAL SURFACE	1.5	1.5	1.5	1.5	1.5	1.5
		HMA SUPERPAVE INTERMEDIATE SURFACE	2.0	2.0	2.0	2.0	2.0	2.0
P-2	PARKING DRIVE ALLEYS RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	HMA SUPERPAVE FINAL SURFACE	1.5	1.5	1.5	1.5	1.5	1.5
		HMA SUPERPAVE INTERMEDIATE SURFACE	2.0	2.0	2.0	2.0	2.0	2.0
P-3	ACCESS PLACE, ACCESS STREET	HMA SUPERPAVE FINAL SURFACE	1.0	1.0	1.0	1.0	1.0	1.0
		HMA SUPERPAVE INTERMEDIATE SURFACE	3.0	3.0	3.0	3.0	3.0	3.0
P-4	MINOR COLLECTORS	HMA SUPERPAVE FINAL SURFACE	2.0	2.0	2.0	2.0	2.0	2.0
		HMA SUPERPAVE INTERMEDIATE SURFACE	4.0	4.0	4.0	4.0	4.0	4.0

GENERAL NOTE  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A DISCREPANCY WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS SHOWN BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND CODES.

**BOHLER ENGINEERING**  
CORPORATE OFFICE: WARREN, NJ  
OFFICES: BOWEN, MD; SOUTH BOROUGHS, MA; STURBRIDGE, MA; WARREN, NJ; WILMINGTON, DE; PHILADELPHIA, PA; TAMPA, FL  
PROJECT MANAGERS: CIVIL & CONSULTING ENGINEERS; SURVEYORS; ENVIRONMENTAL CONSULTANTS; LANDSCAPE ARCHITECTS

REVISIONS			
REV	DATE	COMMENT	BY
3	11/30/20	AS BUILT	BOE

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL: 811  
MD 1-800-245-4545 (4848) PA 1-800-342-1779 (DC) 1-800-257-7777 (VA) 1-800-852-7001 (MD) 1-800-257-7777 (DE) 1-800-282-8559

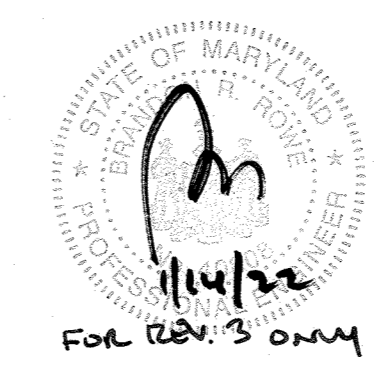
APPROVED FOR CONSTRUCTION  
PROJECT: MD132008  
DRAWN BY: RLB  
CHECKED BY: BRR  
DATE: 12/11/14  
SCALE: AS SHOWN  
CAD I.D.: RDI

FINAL ROAD CONSTRUCTION PLANS  
FOR  
ESTATES AT PATAPSCO PARK  
BUILDABLE LOTS 203-371 AND  
OPEN SPACE LOTS 196 - 202  
LOCATION OF SITE:  
MD ROUTE 99  
ROGERS AVENUE  
HOWARD COUNTY

**BOHLER ENGINEERING**  
901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
www.BohlerEngineering.com

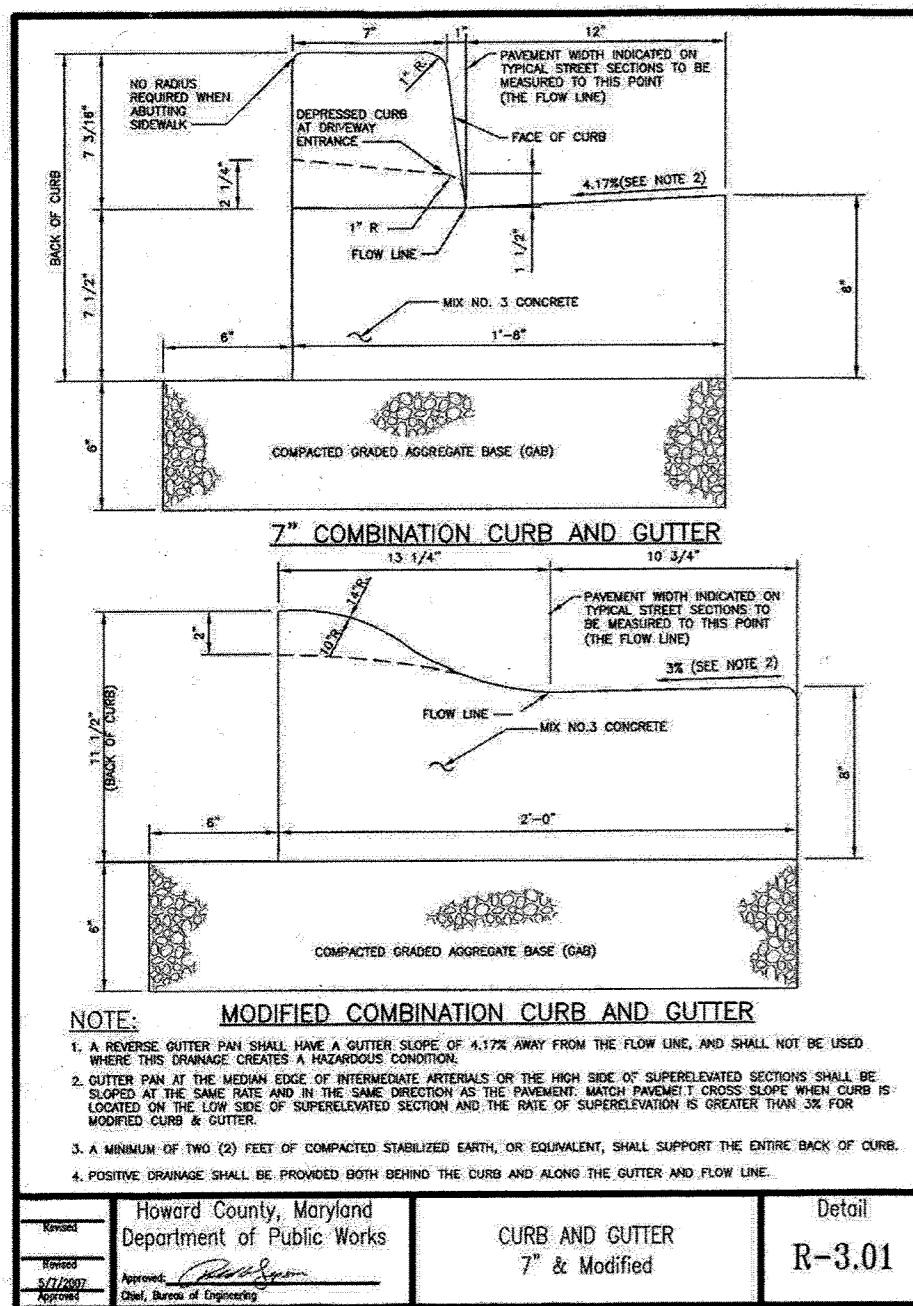
OWNER: PM PATAPSCO LLC  
12116 ARBIE ROAD  
SILVER SPRING, MD 20904  
CONTACT: MR. SIMON ROSENBERG  
PHONE: (301) 622-0645  
DEVELOPER: NAI THE MICHAEL COMPANIES  
10100 BUSINESS PARKWAY, LANHAM, MD 20706  
CONTACT: BRIAN GOLDSTEIN  
PHONE: (301) 918-2955

TYPICAL ROAD SECTION DETAILS  
SHEET NUMBER: 24

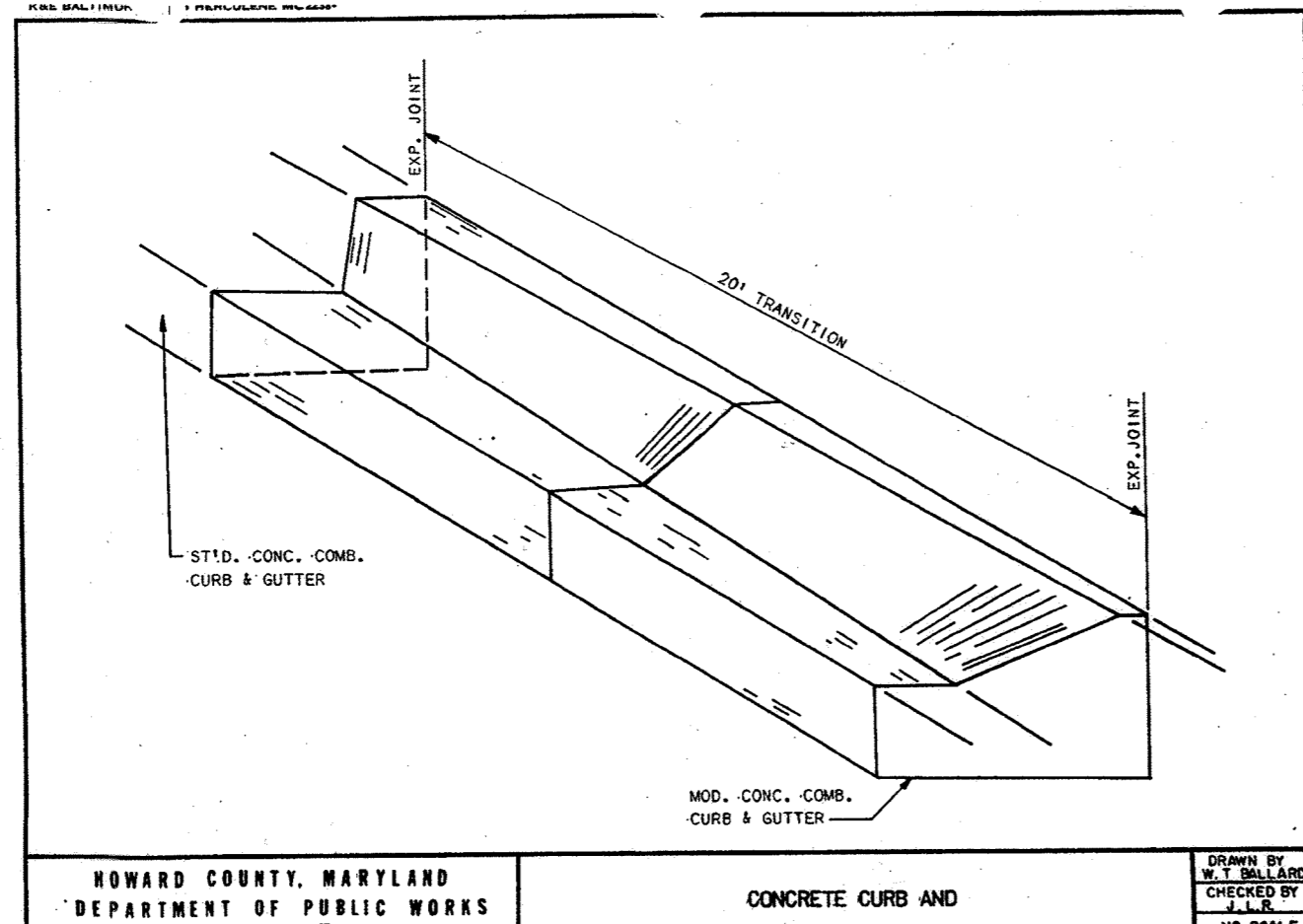


PERMIT INFORMATION CHART			
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION AREA: NA	LOT/PARCEL NO.: NA	
PLAT # OR L.P.: 15164045 & 15164047	GRID # S, E, N, W	ZONING: R-20 & RED	TAX MAP NO.: 17
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403	ELECT. DIST. NO.: 2ND	CENSUS TRACT:	

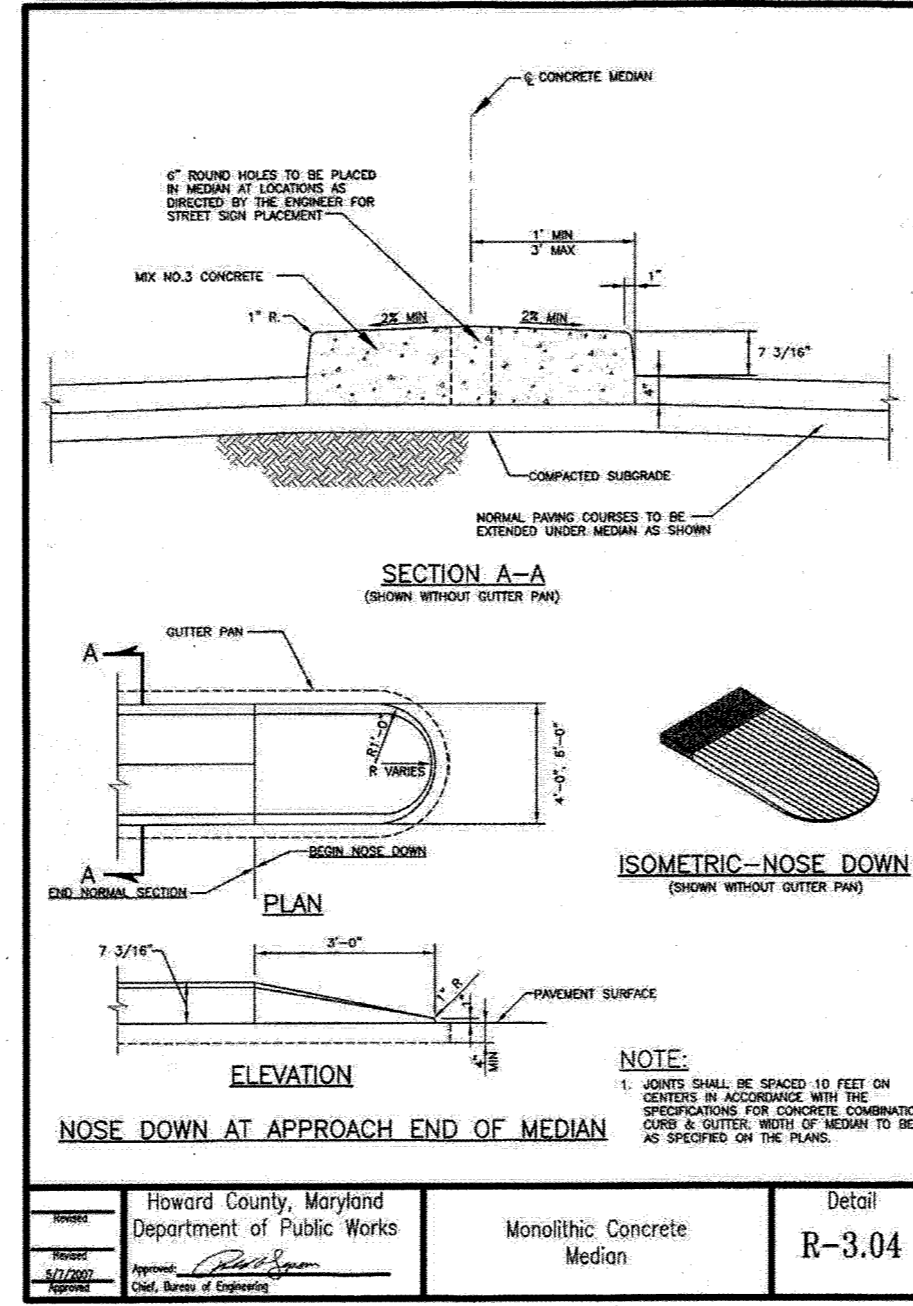




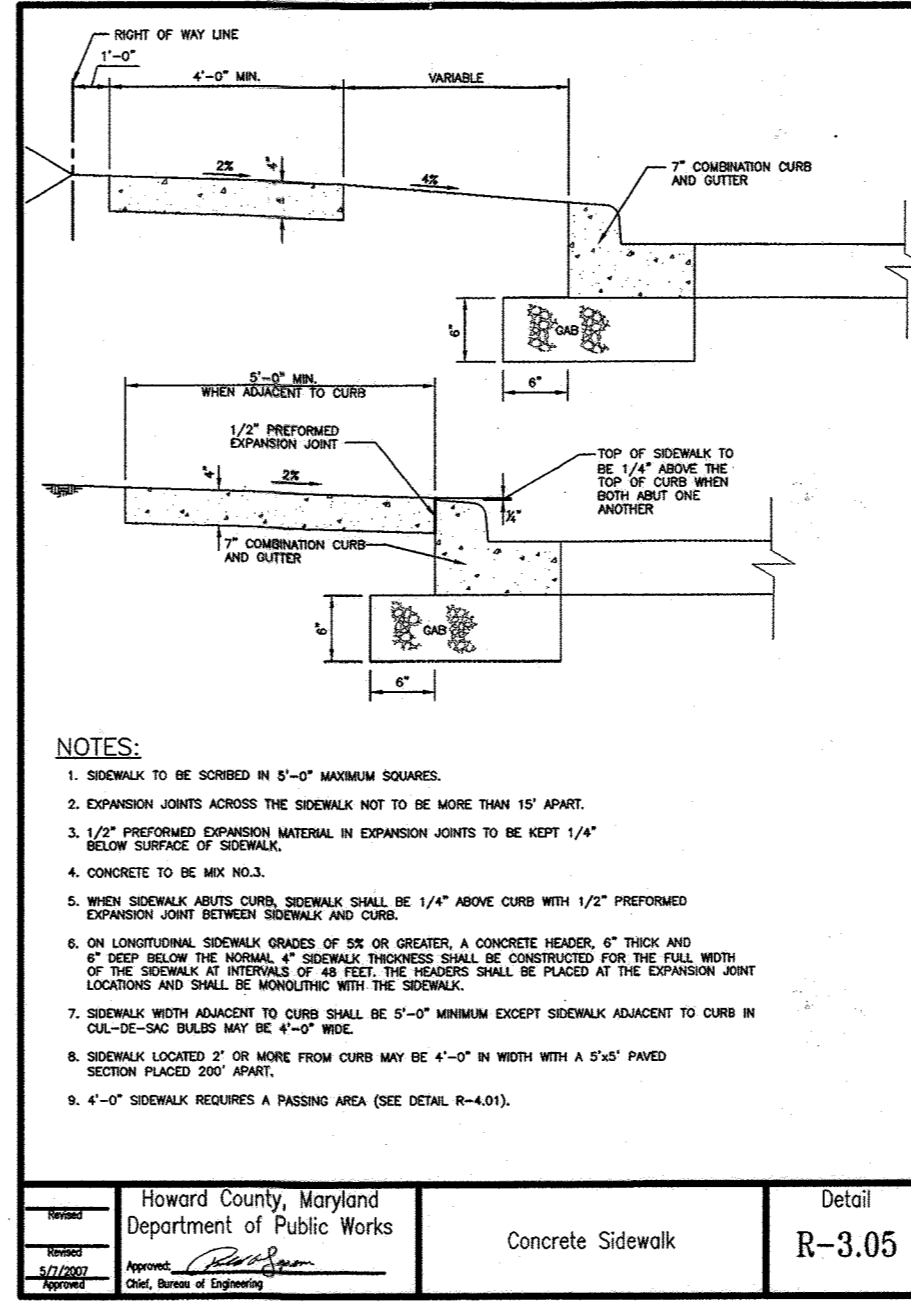
Howard County, Maryland  
Department of Public Works  
CURB AND GUTTER  
7\"/>



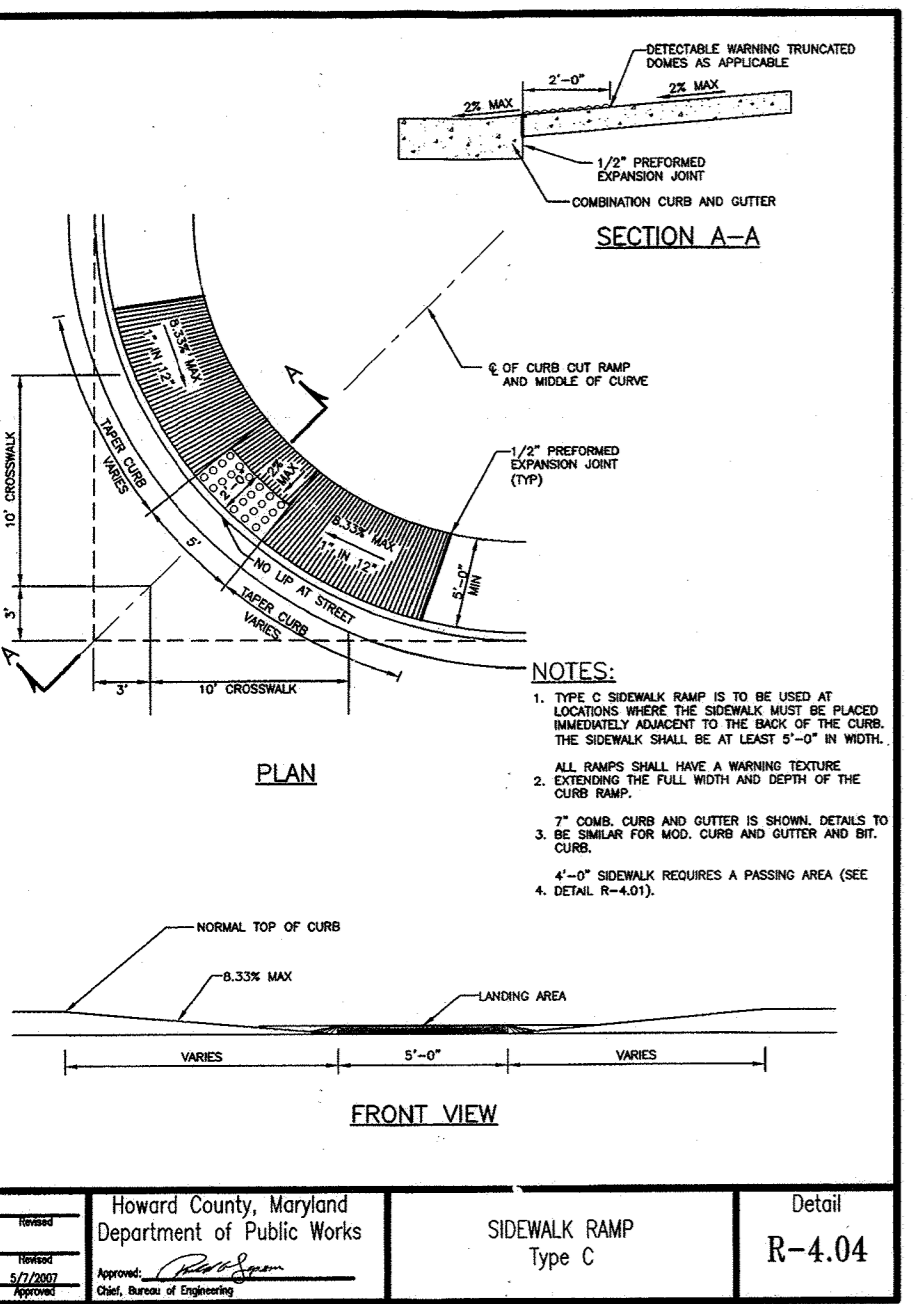
Howard County, Maryland  
Department of Public Works  
CONCRETE CURB AND GUTTER TRANSITION  
Monolithic Concrete Median  
R-3.04



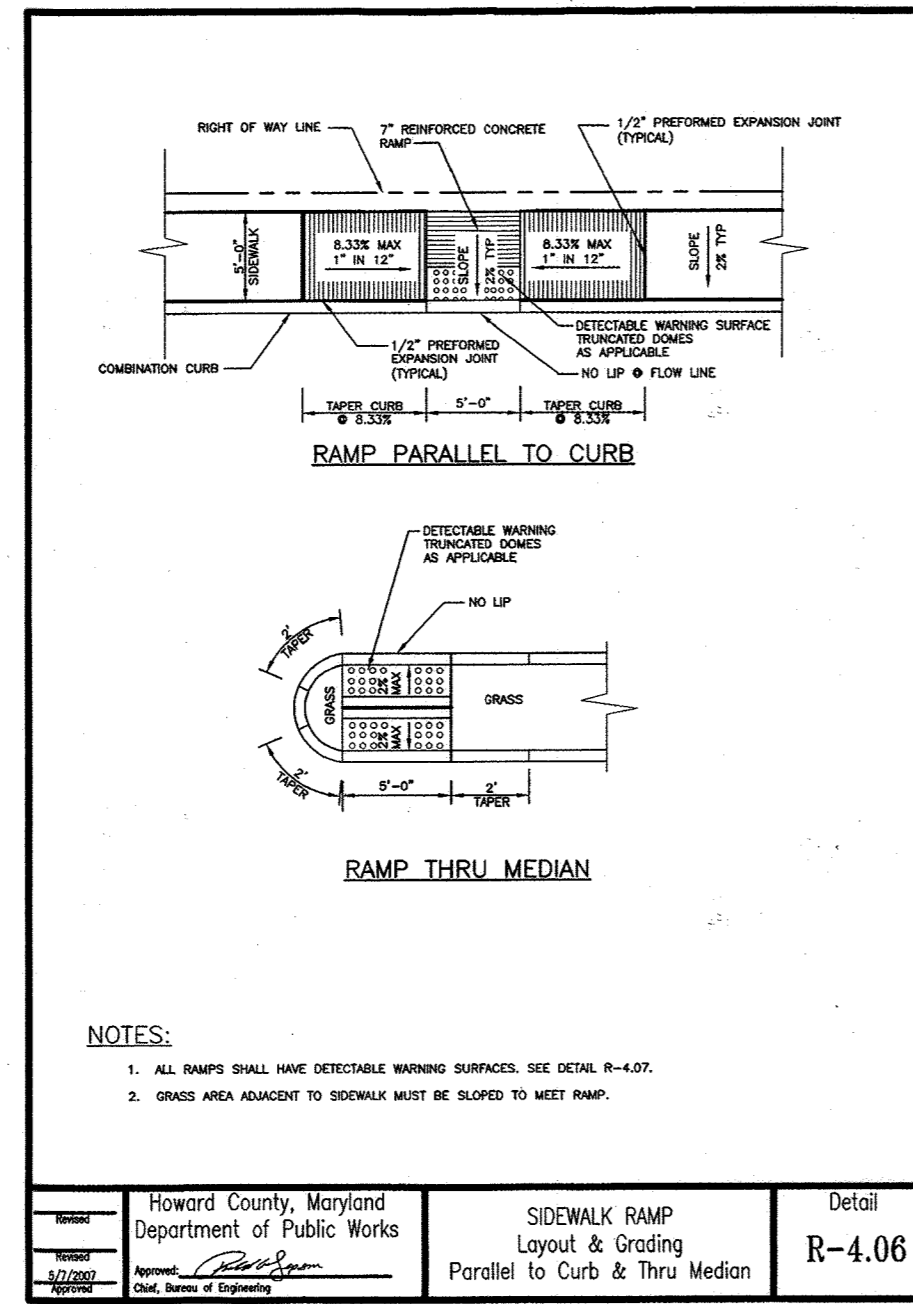
Howard County, Maryland  
Department of Public Works  
CONCRETE MEDIAN  
R-3.04



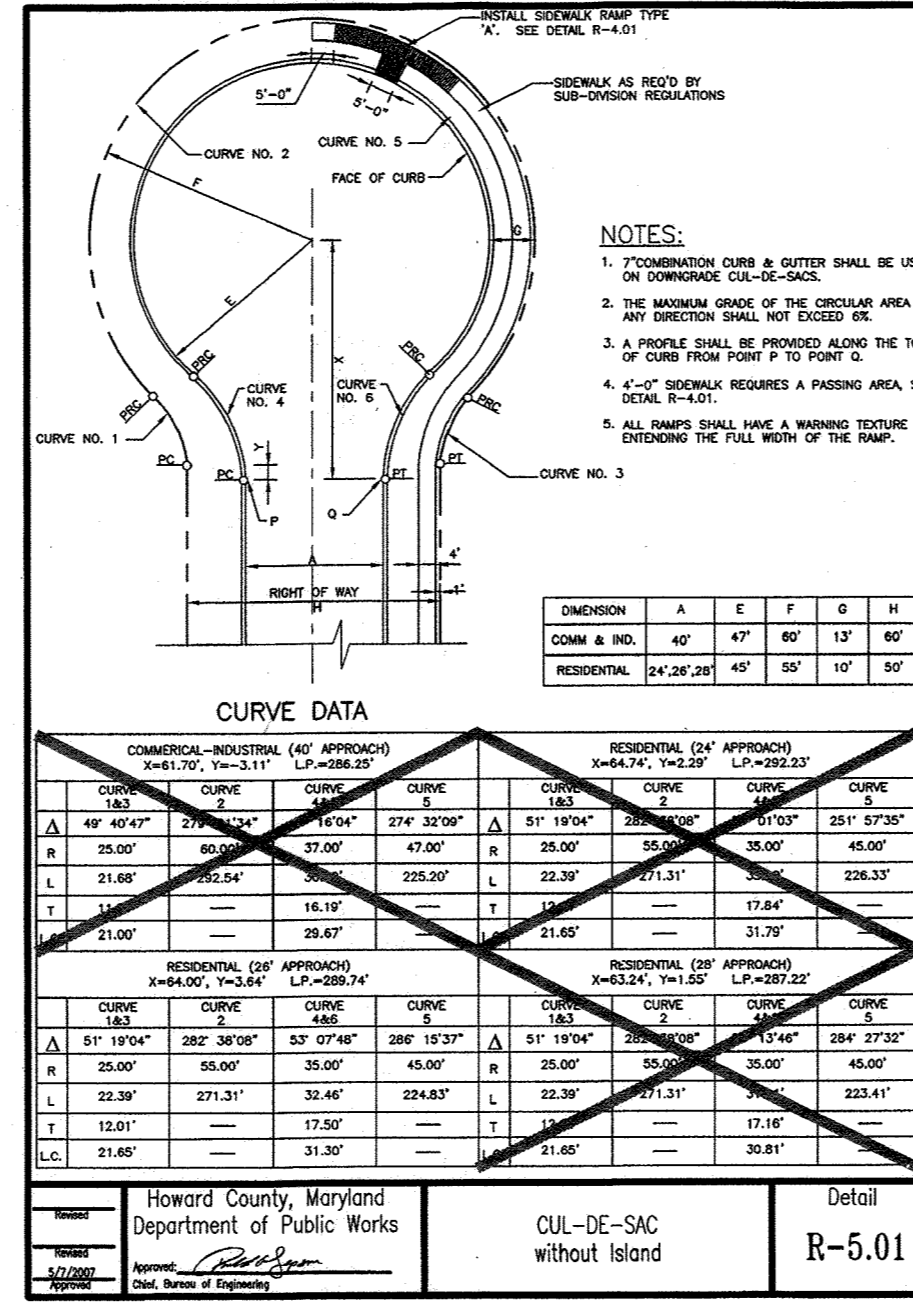
Howard County, Maryland  
Department of Public Works  
Typical Intersection Signing and Marking Layout  
R-7.01



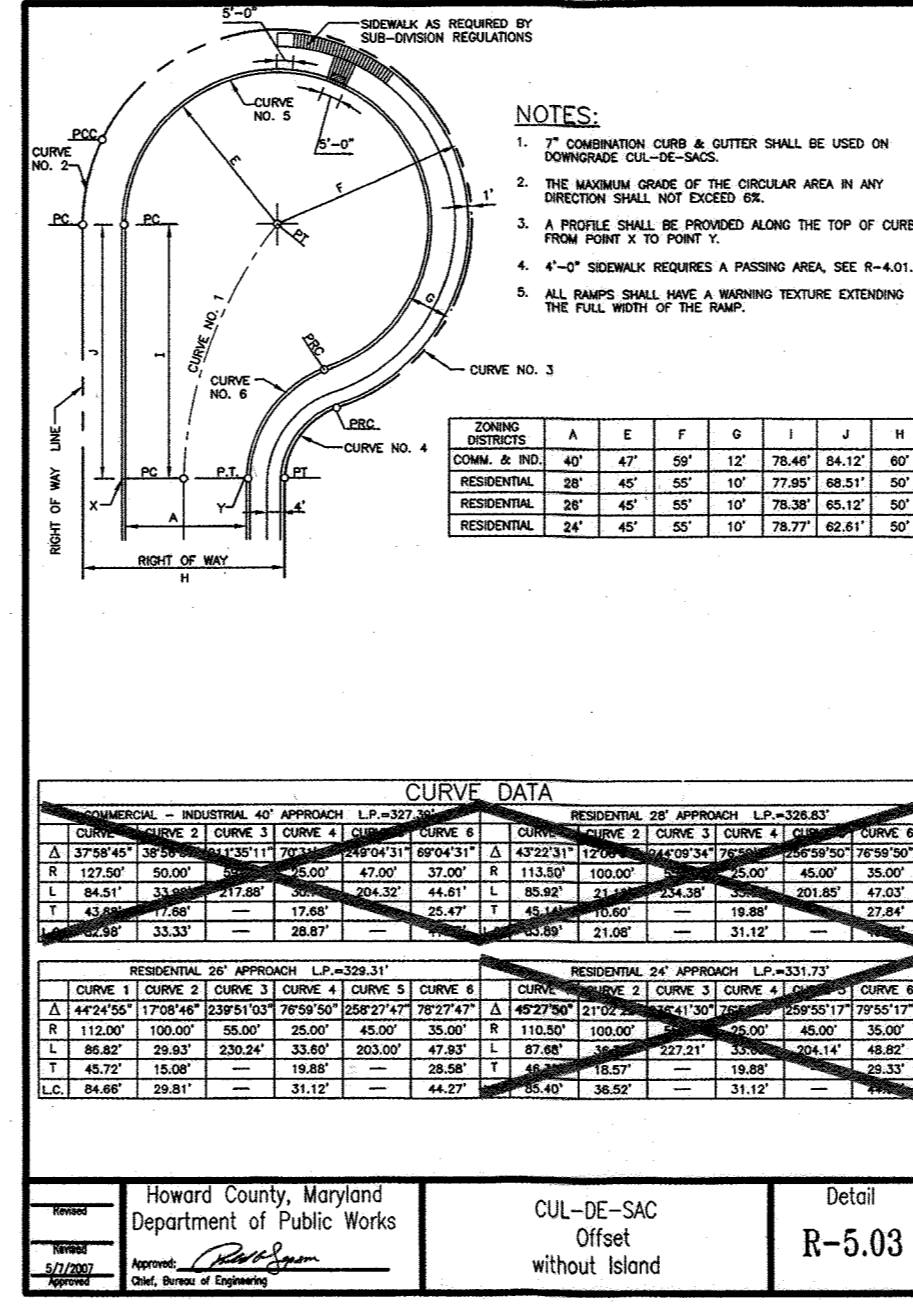
Howard County, Maryland  
Department of Public Works  
SIDEWALK RAMP  
Type C  
R-4.04



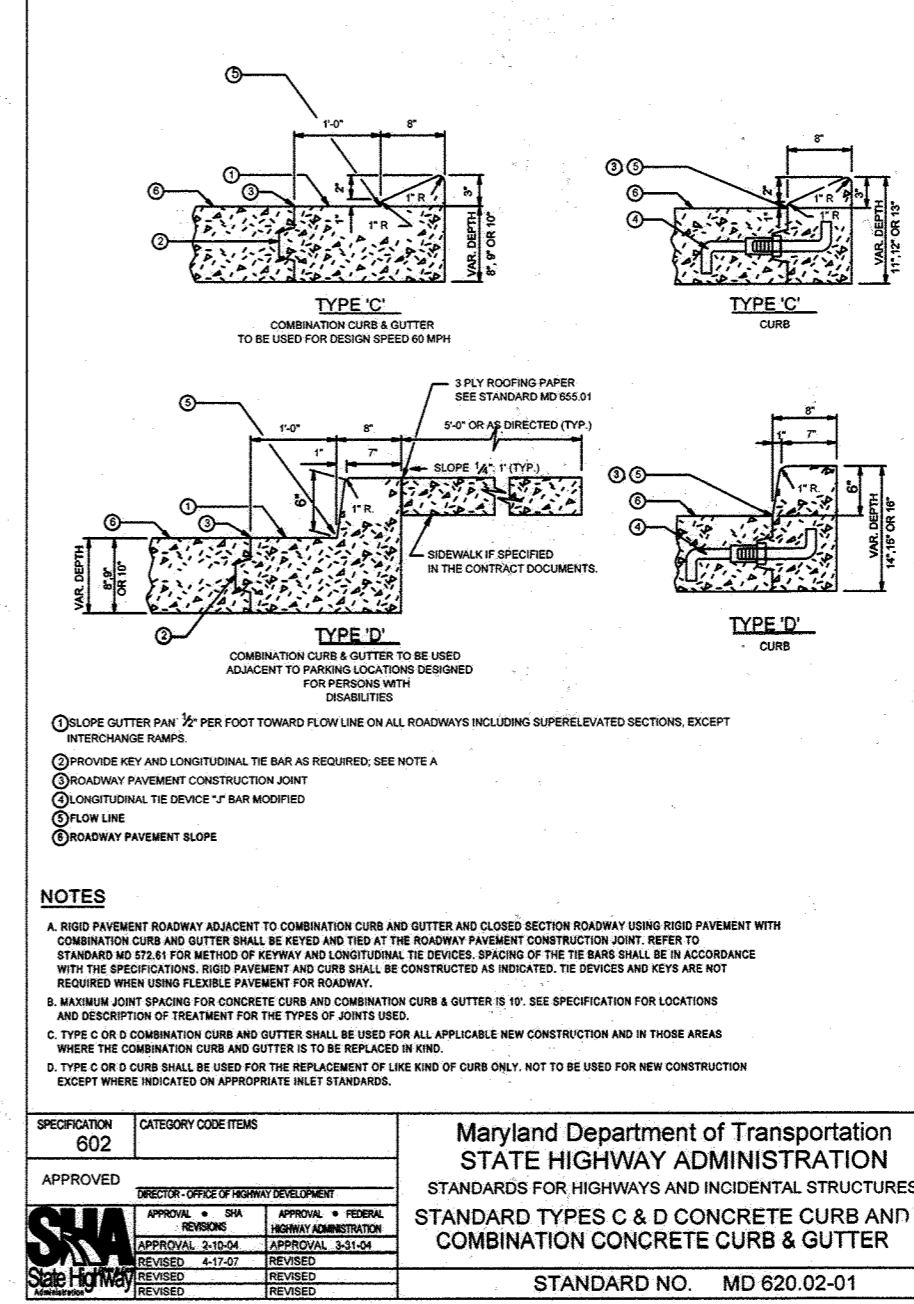
Howard County, Maryland  
Department of Public Works  
SIDEWALK RAMP  
Layout & Grading  
Parallel to Curb & Thru Median  
R-4.06



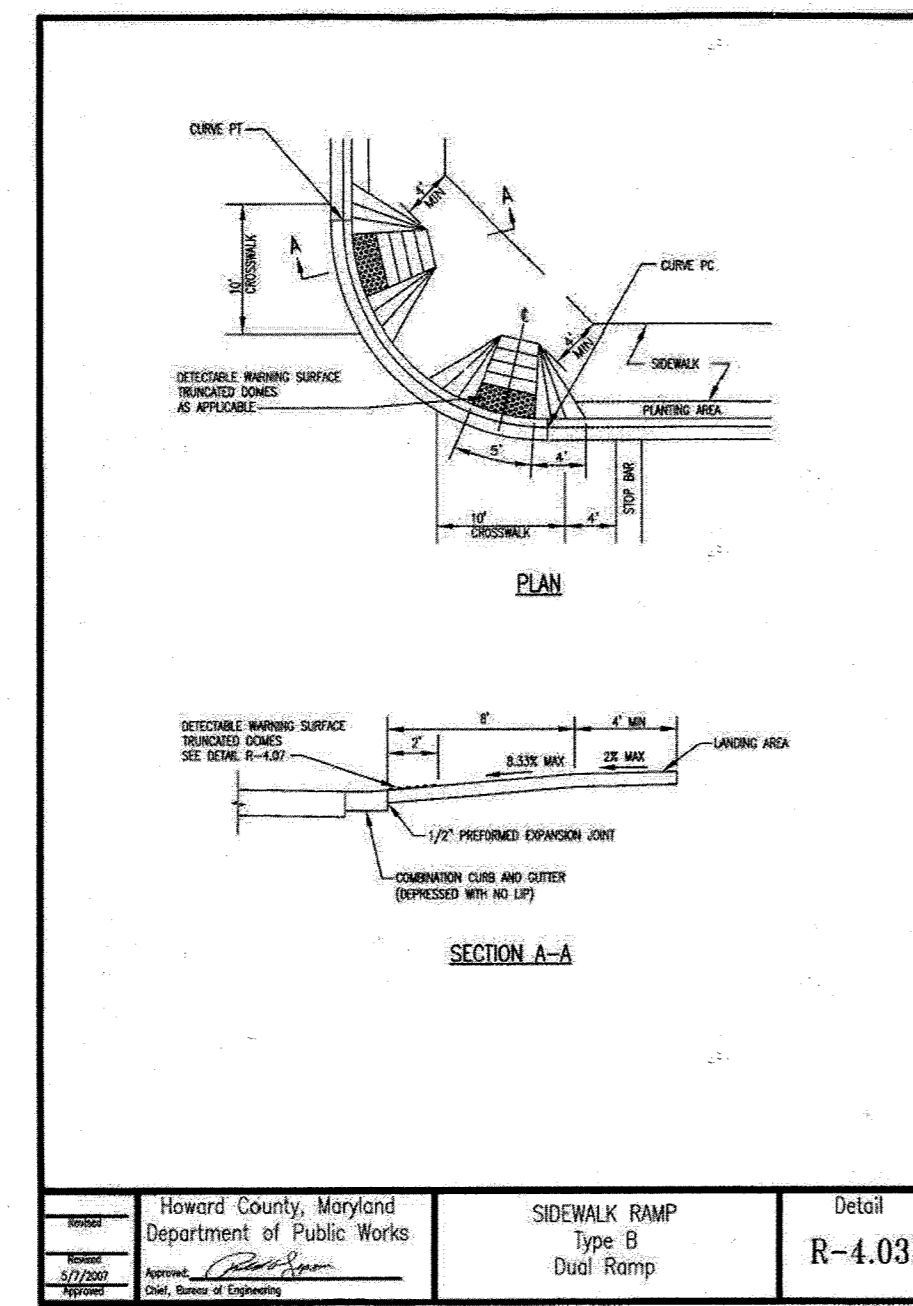
Howard County, Maryland  
Department of Public Works  
CUL-DE-SAC  
without Island  
R-5.01



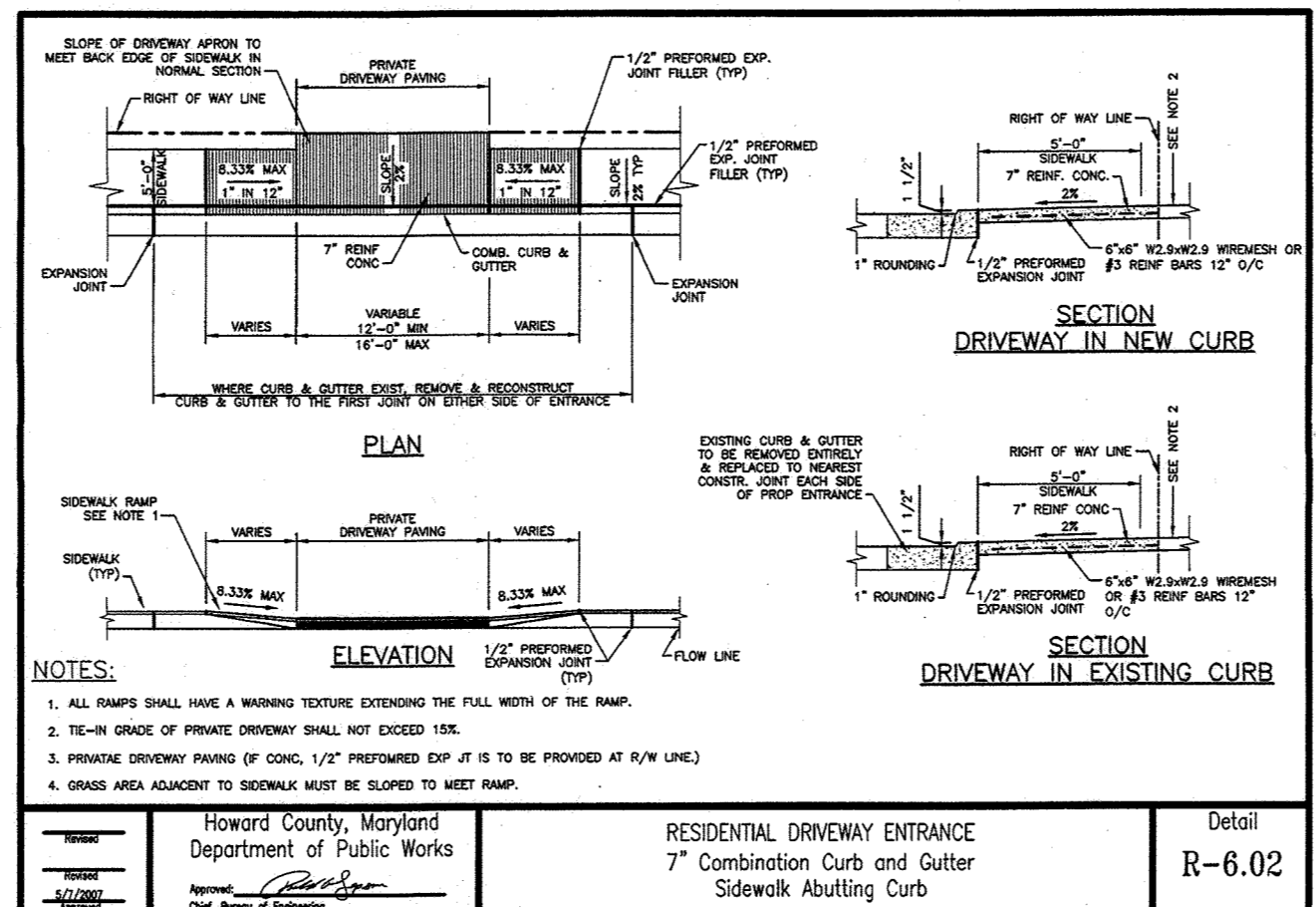
Howard County, Maryland  
Department of Public Works  
CUL-DE-SAC  
without Island  
R-5.03



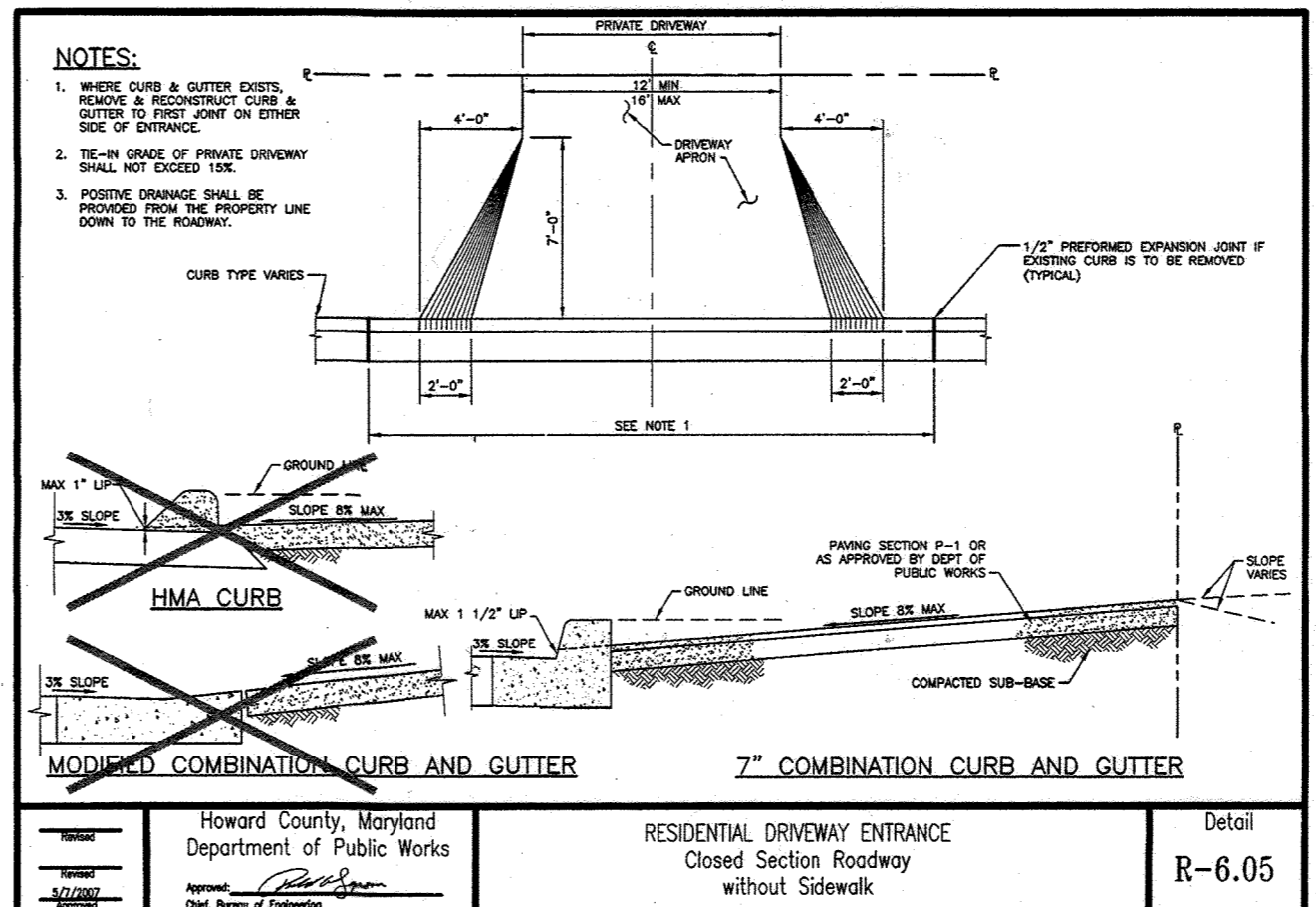
Howard County, Maryland  
Department of Public Works  
CONCRETE CURB AND GUTTER  
STANDARD TYPES C & D  
R-5.02



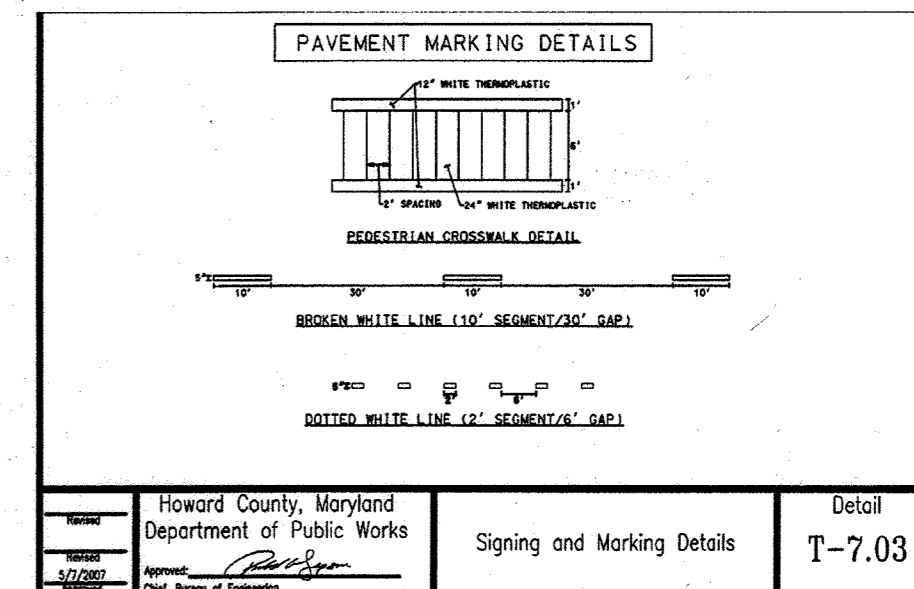
Howard County, Maryland  
Department of Public Works  
SIDEWALK RAMP  
Type B  
Dual Ramp  
R-4.03



Howard County, Maryland  
Department of Public Works  
RESIDENTIAL DRIVEWAY ENTRANCE  
7\"/>



Howard County, Maryland  
Department of Public Works  
RESIDENTIAL DRIVEWAY ENTRANCE  
Closed Section Roadway  
without Sidewalk  
R-6.05



Howard County, Maryland  
Department of Public Works  
Signing and Marking Details  
R-7.03

APPROVED: DEPARTMENT OF PUBLIC WORKS  
CHIEF, BUREAU OF HIGHWAYS  
DATE: 1/8/2015  
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 7-9-15  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 6.15.15

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS SHOWN BY THE DRAWINGS AND ALL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

PERMIT INFORMATION CHART

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA
PLAT # OR L.P.: 1516485 & 1516487	GRID # & S, N, E, W	ZONING: R-20 & RED
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403	TAX MAP NO.: 17	ELECT. DIST. NO.: 2ND CENSUS TRACT:

OWNER: PM PATAPSCO LLC  
12116 ARBIE ROAD  
SILVER SPRING, MD 20904  
CONTACT: MR. SIMON ROSENBERG  
PHONE: (301) 622-0645

DEVELOPER: NAI THE MICHAEL COMPANIES  
10100 BUSINESS PARKWAY, LANHAM, MD 20706  
CONTACT: BRIAN GOLDSTEIN  
PHONE: (301) 918-2955

PROFESSIONAL CERTIFICATION  
I, BRANDON R. HOWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40806, EXPIRATION DATE: 7/31/2015.

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
NEW JERSEY  
SURVEYORS  
CIVIL & CONSULTING ENGINEERS

PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS

OFFICES:  
BOULDER, CO  
BOULDER, NJ  
BOULDER, UT  
BOULDER, WY  
BOULDER, AZ  
BOULDER, CA  
BOULDER, FL  
BOULDER, GA  
BOULDER, IL  
BOULDER, IN  
BOULDER, MD  
BOULDER, MI  
BOULDER, MN  
BOULDER, MO  
BOULDER, NC  
BOULDER, ND  
BOULDER, OH  
BOULDER, OK  
BOULDER, OR  
BOULDER, PA  
BOULDER, SC  
BOULDER, TN  
BOULDER, TX  
BOULDER, VA  
BOULDER, VT  
BOULDER, WA  
BOULDER, WI  
BOULDER, WY

REVISIONS

REV	DATE	COMMENT	BY
2	1/15/15	AS BUILT	BRB



APPROVED FOR CONSTRUCTION

PROJECT No.: MD132008  
DRAWN BY: BRB  
CHECKED BY: BRB  
DATE: 12/11/14  
SCALE: AS SHOWN  
CAD I.D.: SD2

FINAL ROAD CONSTRUCTION PLANS  
FOR  
**ESTATES AT PATAPSCO PARK**  
BUILDABLE LOTS 207-3474-01  
OPEN SPACE LOTS 196 - 202  
LOCATION OF SITE  
MD ROUTE 99  
ROGERS AVENUE  
HOWARD COUNTY

**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD,  
SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
www.BohlerEngineering.com

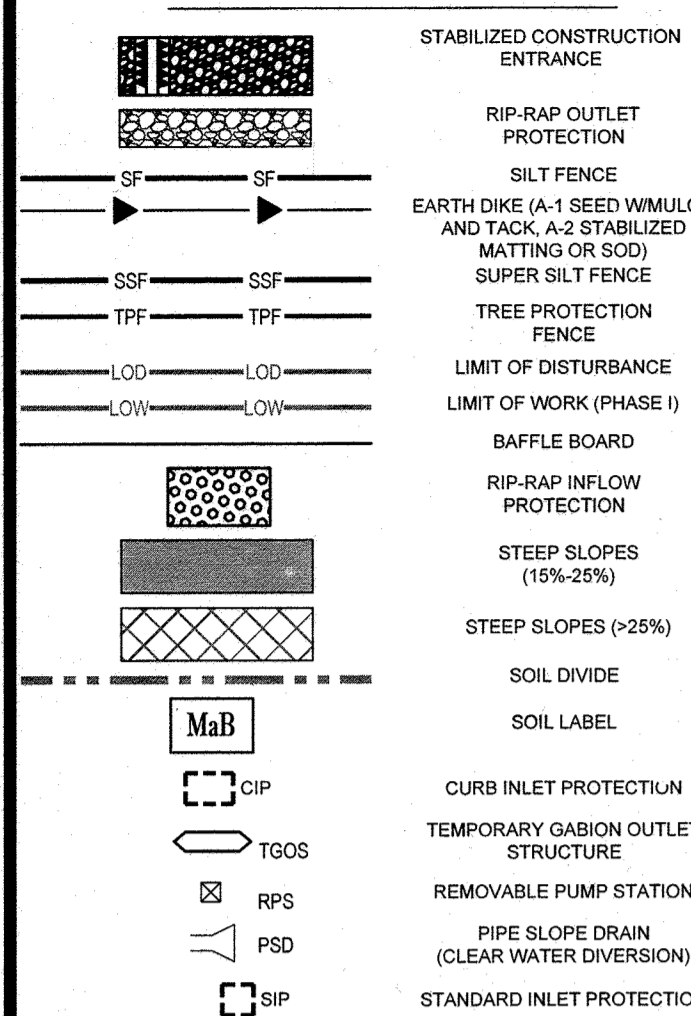


STANDARD CONSTRUCTION DETAILS

SHEET NUMBER: 25

# EROSION AND SEDIMENT CONTROL PLAN

## MATCHLINE B PHASE I EROSION & SEDIMENT CONTROL PLAN (SHEET 27)



### PHASE I EROSION AND SEDIMENT CONTROL QUANTITIES:

LIMIT OF WORK (OFF-SITE): 150154 S.F. OR 3.45 AC  
LIMIT OF WORK (ON-SITE): 952014 S.F. OR 21.86 AC  
SILT FENCE: 2227 LF  
SUPER SILT FENCE: 2930 LF  
TREE PROTECTION FENCE: 8025 LF  
STANDARD INLET PROTECTION AT GRADE INLET PROTECTION: 1 EA  
CURB INLET PROTECTION: 2 EA  
STONE CHECK DAM: 22 EA  
EARTH DIKE: 6064 LF  
STONE CHECK DAM: 10 EA  
EARTHWORK: 64100 CY FILL, 0 CY EXPORT

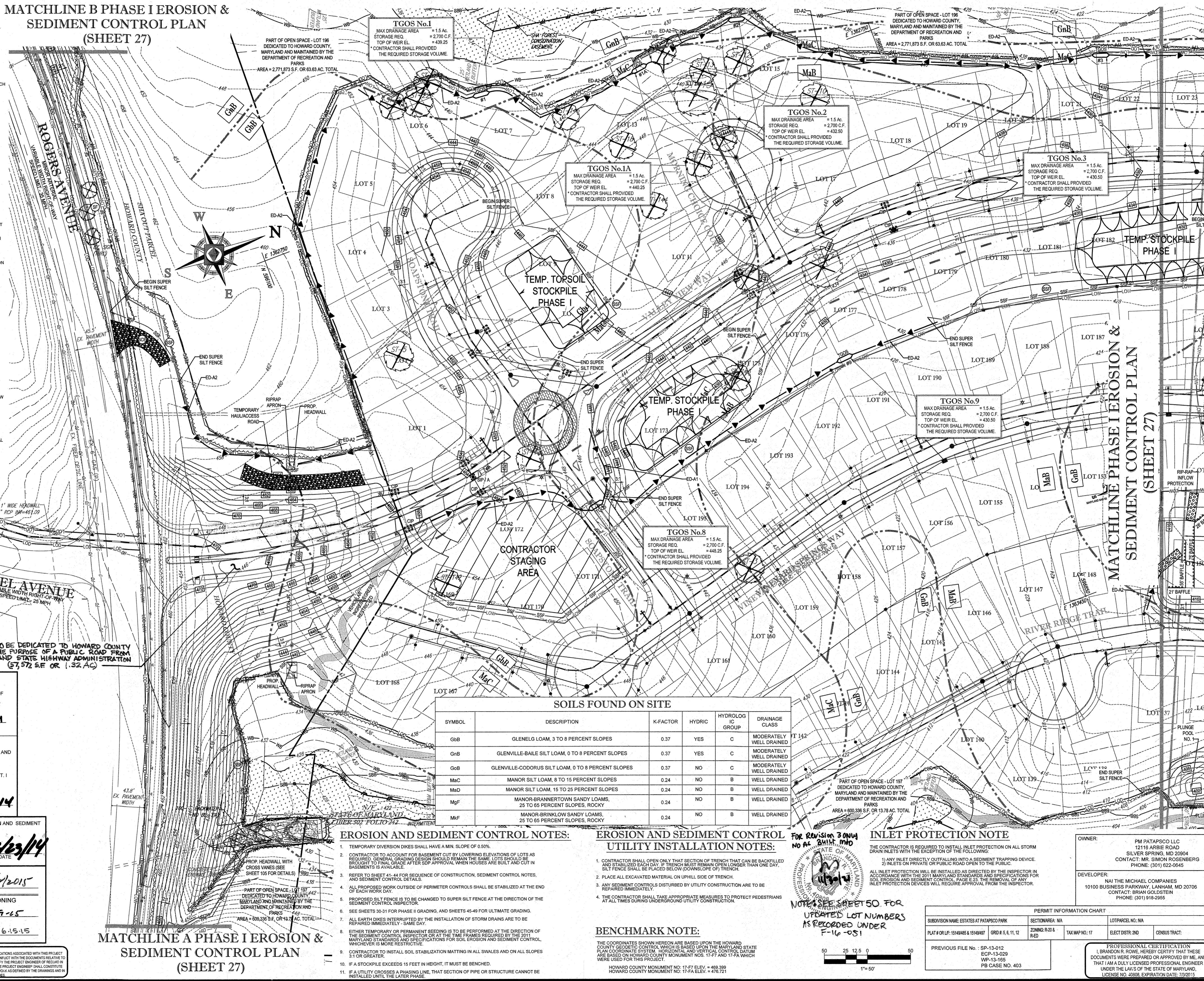
LAND TO BE DEDICATED TO HOWARD COUNTY FOR THE PURPOSE OF A PUBLIC ROAD FROM MARLAND STATE HIGHWAY ADMINISTRATION (27,572 S.F. OR 1.32 AC)

ENGINEER'S CERTIFICATE: I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER'S CERTIFICATE: I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED DEPARTMENT OF PUBLIC WORKS, CHIEF, BUREAU OF HIGHWAYS, DATE: 1/8/2015  
APPROVED DEPARTMENT OF PLANNING AND ZONING, CHIEF, DIVISION OF LAND DEVELOPMENT, DATE: 1-9-15

GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT AND TO NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.



### SOILS FOUND ON SITE

SYMBOL	DESCRIPTION	K-FACTOR	HYDRIC	HYDROLOGIC GROUP	DRAINAGE CLASS
GbB	GLENELO LOAM, 3 TO 8 PERCENT SLOPES	0.37	YES	C	MODERATELY WELL DRAINED
GbB	GLENVILLE-BAILE SILT LOAM, 0 TO 8 PERCENT SLOPES	0.37	YES	C	MODERATELY WELL DRAINED
GcB	GLENVILLE-CODORUS SILT LOAM, 0 TO 8 PERCENT SLOPES	0.37	NO	C	MODERATELY WELL DRAINED
MbC	MANOR SILT LOAM, 8 TO 15 PERCENT SLOPES	0.24	NO	B	WELL DRAINED
MaD	MANOR SILT LOAM, 15 TO 25 PERCENT SLOPES	0.24	NO	B	WELL DRAINED
MgF	MANOR-BRANNERTOWN SANDY LOAMS, 25 TO 65 PERCENT SLOPES, ROCKY	0.24	NO	B	WELL DRAINED
MkF	MANOR-BRINKLOW SANDY LOAMS, 25 TO 65 PERCENT SLOPES, ROCKY	0.24	NO	B	WELL DRAINED

### EROSION AND SEDIMENT CONTROL NOTES:

- 1. TEMPORARY DIVERSION DIKES SHALL HAVE A MIN. SLOPE OF 0.50%.
- 2. CONTRACTOR TO ACCOUNT FOR BASEMENT CUT BY LOWERING ELEVATIONS OF LOTS AS REQUIRED. GENERAL GRADING DESIGN SHOULD REMAIN THE SAME. LOTS SHOULD BE BROUGHT TO FINAL GRADE AFTER SDP APPROVAL WHEN HOUSES ARE BUILT AND CUT IN BASEMENTS IS AVAILABLE.
- 3. REFER TO SHEET 41-44 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- 4. ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- 5. PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- 6. SEE SHEETS 30-31 FOR PHASE II GRADING, AND SHEETS 45-49 FOR ULTIMATE GRADING.
- 7. ALL EARTHWORK INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY - SAME DAY.
- 8. EITHER TEMPORARY OR PERMANENT SEEDING IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE TIME FRAMES REQUIRED BY THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE RESTRICTIVE.
- 9. CONTRACTOR TO INSTALL SOIL STABILIZATION MATTING IN ALL SWALES AND ON ALL SLOPES 3:1 OR GREATER.
- 10. IF A STOCKPILE EXCEEDS 15 FEET IN HEIGHT, IT MUST BE BENCHED.
- 11. IF A UTILITY CROSSING A PHASING LINE, THAT SECTION OF PIPE OR STRUCTURE CANNOT BE INSTALLED UNTIL THE LATER PHASE.

### EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES:

- 1. CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW DOWN-SLOPE OF TRENCH.
- 2. PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- 3. ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- 4. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

### BENCHMARK NOTE:

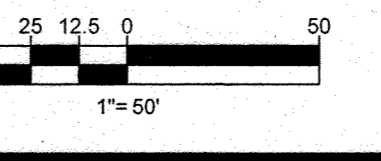
THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEOGRAPHIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. HORIZONTAL AND VERTICAL CONTROL DATUM ARE BASED ON HOWARD COUNTY MONUMENT NOS. 17-F7 AND 17-F8 WHICH WERE USED FOR THIS PROJECT.

### INLET PROTECTION NOTE

- 1. THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:  
a. ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.  
b. INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.
- 2. ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

FOR REVISION 3 ONLY NO AS 2/11/14 M.D.

NOTE: SEE SHEET 50 FOR UPDATED LOT NUMBERS AS RECORDED UNDER F-16-051



OWNER: PM PATAPSCO LLC, 12115 ARBIE ROAD, SILVER SPRING, MD 20904  
CONTACT: MR. SIMON ROSENBERG, PHONE: (301) 622-0645  
DEVELOPER: NAI THE MICHAEL COMPANIES, 10100 BUSINESS PARKWAY, LANHAM, MD 20706  
CONTACT: BRIAN GOLDSTEIN, PHONE: (301) 918-2955

PROFESSIONAL CERTIFICATION: I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 36859, EXPIRATION DATE: 10/20/15.

# BOHLER ENGINEERING

CONSULTING OFFICE: WARREN, NJ  
PROJECT MANAGERS: SOUTHBROROUGH, NJ; BOVIE, MD; TOWSON, MD; ALBANY, NY; WESTMINSTER, MD; CHARLOTTE, NC; PHILADELPHIA, PA; TAMPA, FL  
SURVEYORS: CIVIL & CONSULTING ENGINEERS  
LANDSCAPE ARCHITECTS

### REVISIONS

REV	DATE	COMMENT	BY
3	1/10/14	AS BUILT	662

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, ENGINEERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL 811 (WWW.811.COM OR 1-800-552-7800) (MD) 1-800-552-7800 (DC) 1-800-282-8259 (VA) 1-800-552-7091 (ND) 1-800-287-7777 (DE) 1-800-282-8259

### NOT APPROVED FOR CONSTRUCTION

PROJECT NO.: MD132008  
DRAWN BY: RLB  
CHECKED BY: BTR  
DATE: 12/11/14  
SCALE: AS SHOWN  
CAD I.D.: EA2

### FINAL ROAD CONSTRUCTION PLANS

FOR  
**ESTATES AT PATAPSCO PARK**  
BUILDABLE LOTS 745-97 AND  
OPEN SPACE LOTS 196 - 202  
LOCATION OF SITE  
MD ROUTE 99  
ROGERS AVENUE  
HOWARD COUNTY

# BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
www.BohlerEngineering.com

### BRANDON R. ROWE

PROFESSIONAL ENGINEER  
LICENSE NO. 36859  
EXPIRATION DATE: 10/20/15

### EROSION & SEDIMENT CONTROL PHASE I PLAN

SHEET NUMBER: **26**

**PHASE I  
EROSION AND SEDIMENT  
CONTROL QUANTITIES:**

LIMIT OF WORK:	136450 S.F. OR 29.75 AC
SILT FENCE:	2520 LF
SUPER SILT FENCE:	8025 LF
AT GRADE INLET PROTECTION:	22 EA
CURB INLET PROTECTION:	22 EA
EARTH DIKE:	6924 LF
STONE CHECK DAM:	10 EA
GRAFTWORK:	69100 CY CUT 64100 CY FILL
STABILIZED CONSTRUCTION ENTRANCE:	0 CY EXPORT 1 EA

SPILL MATERIAL SHALL BE DISCARDED AT A SITE WITH AN ACTIVE GRADING PERMIT AND APPROVED SEDIMENT CONTROL PLAN. BORROW MATERIAL SHALL BE OBTAINED FROM AN APPROVED SITE WITH AN ACTIVE GRADING PERMIT AND AN APPROVED SEDIMENT CONTROL PLAN.

EARTH QUANTITIES LISTED ABOVE ARE FOR SEDIMENT CONTROL. USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE FIGURES FOR ESTIMATING AND BIDDING PURPOSES.

NOTE: A MAXIMUM OF 20 ACRES OF ACTIVE DISTURBANCE AREA WITH AN ADDITIONAL 10 ACRES OF RECENTLY STABILIZED OR TRANSITIONAL AREA IS PERMITTED. NO MORE THAN 20 ACRES, CUMULATIVELY, MAY BE DISTURBED AT ANY GIVEN TIME.

**INLET PROTECTION NOTE**

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:

- ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.
- INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

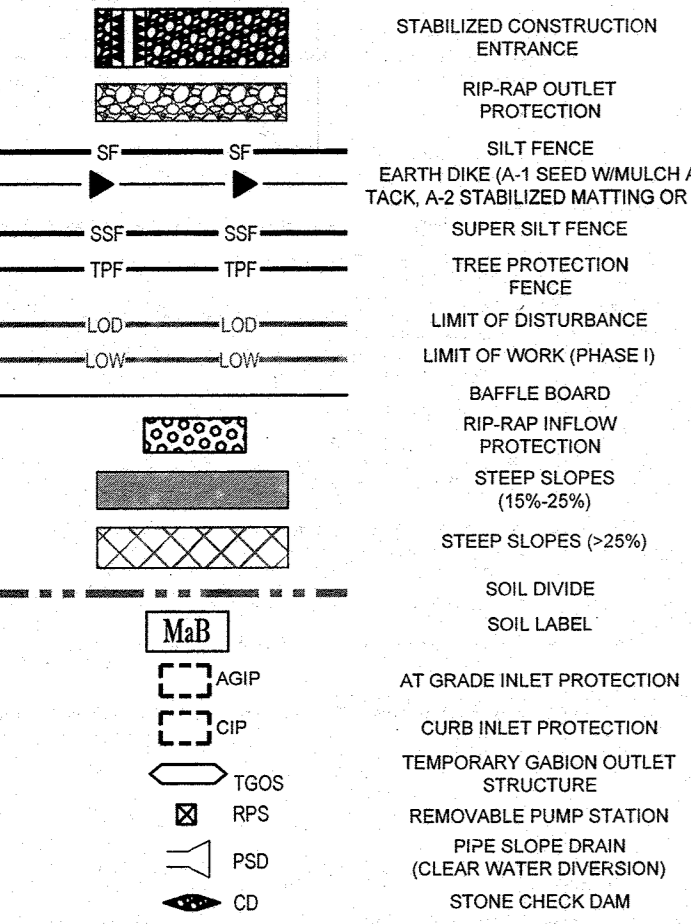
**EROSION AND SEDIMENT CONTROL  
UTILITY INSTALLATION NOTES:**

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWN-SLOPE OF) TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

**EROSION AND SEDIMENT CONTROL NOTES:**

- TEMPORARY DIVERSION DIKES SHALL HAVE A MIN. SLOPE OF 0.50%.
- CONTRACTOR TO ACCOUNT FOR BASEMENT CUT BY LOWERING ELEVATIONS OF LOTS AS REQUIRED. GENERAL GRADING DESIGN SHALL REMAIN THE SAME. LOTS SHOULD BE BROUGHT TO FINAL GRADE AFTER SDP APPROVAL WHEN HOUSES ARE BUILT AND CUT IN BASEMENTS IS AVAILABLE.
- REFER TO SHEET 41-44 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- SEE SHEETS 30-31 FOR PHASE II GRADING, AND SHEETS 45-49 FOR ULTIMATE GRADING.
- ALL EARTH DIKES INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY - SAME DAY.
- EITHER TEMPORARY OR PERMANENT SEEDING IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE TIME PERIODS REQUIRED BY THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTOR TO INSTALL SOIL STABILIZATION MATTING IN ALL SWALES AND ON ALL SLOPES 3:1 OR GREATER.
- IF A STOCKPILE EXCEEDS 15 FEET IN HEIGHT, IT MUST BE BENCHED.
- IF A UTILITY CROSSES A PHASING LINE, THAT SECTION OF PIPE OR STRUCTURE CANNOT BE INSTALLED UNTIL THE LATER PHASE.

**EROSION AND SEDIMENT  
CONTROL LEGEND**



**ENGINEER'S CERTIFICATE**

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER: BRANDON R. ROWE  
DATE: 12/11/14

**DEVELOPER'S CERTIFICATE**

"I/WE HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC CONSULTATION BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF DEVELOPER: John Robert  
DATE: 12/10/14

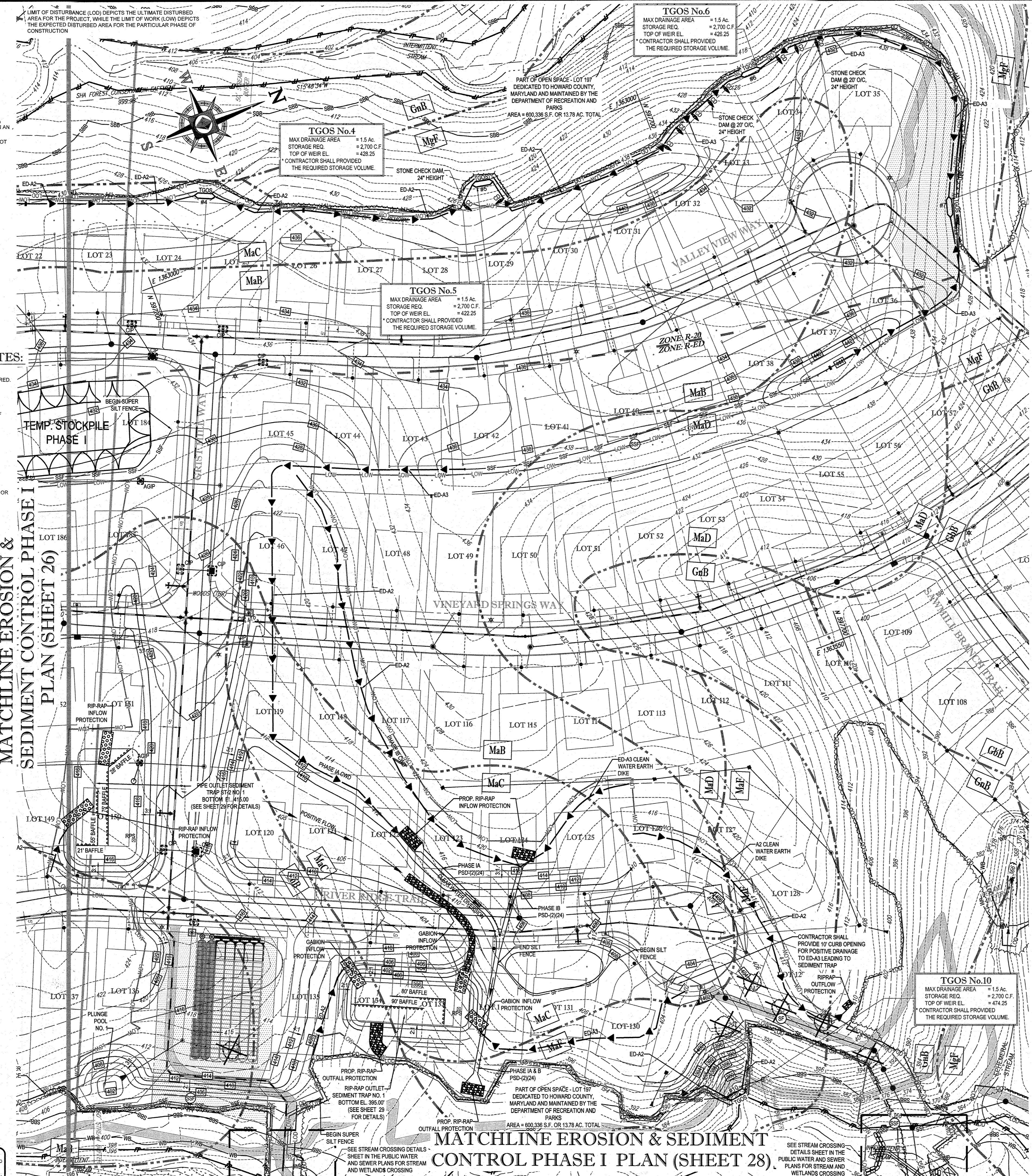
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: DEPARTMENT OF PUBLIC WORKS  
DATE: 1/8/2015

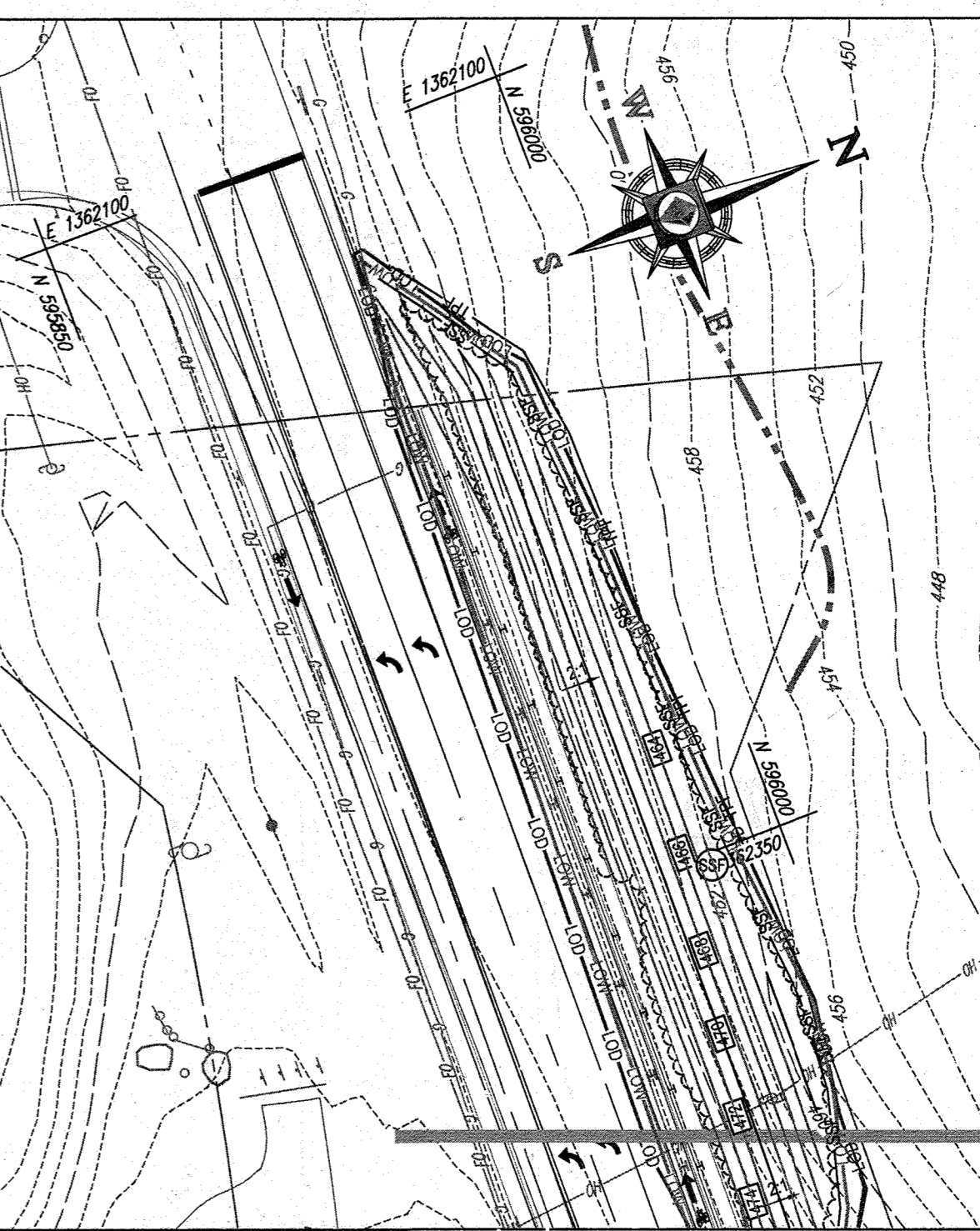
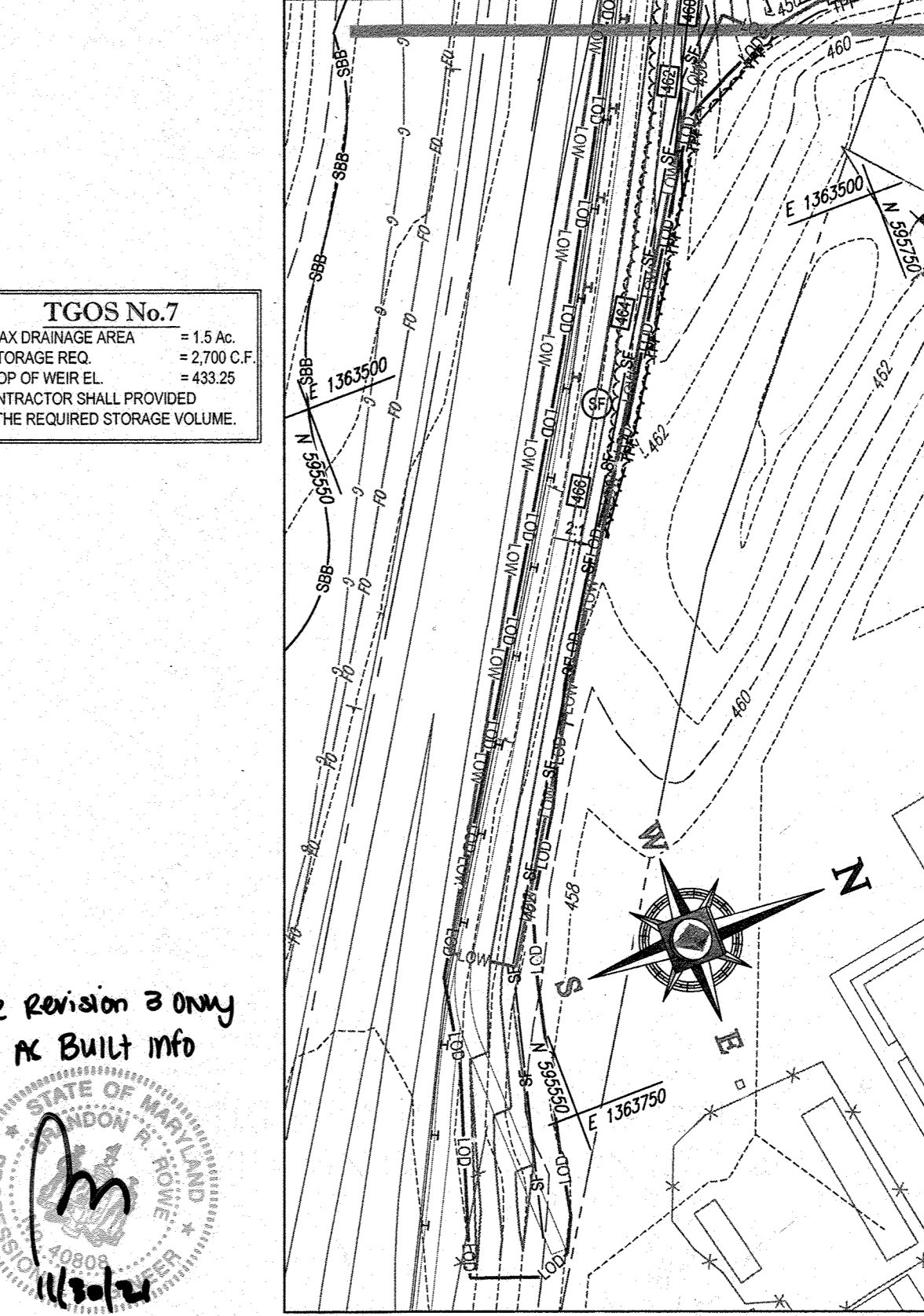
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
DATE: 2-9-15

APPROVED: CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 6-15-15

GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHOWN FROM THE PREVIOUS CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE OF THE CONTRACTOR TO VERIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL REGULATIONS AND ORDINANCES.



**MATCHLINE A PHASE I EROSION & SEDIMENT CONTROL PLAN (SHEET 26)**



**MATCHLINE B PHASE I EROSION & SEDIMENT CONTROL PLAN (SHEET 26)**

NOTE: SEE SHEET 22 (SHEET 26) FOR UPDATED LOT NUMBERS

**BENCHMARK NOTE:**

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HORIZONTAL AND VERTICAL CONTROL DATUM ARE BASED ON HOWARD COUNTY MONUMENT NOS. 17-7 AND 17-A WHICH WERE USED FOR THIS PROJECT.

HOWARD COUNTY MONUMENT NO. 17-7 ELEV. = 489.989  
HOWARD COUNTY MONUMENT NO. 17-A ELEV. = 476.721

OWNER: PM PATAPSCO LLC  
12116 ARBIE ROAD  
SILVER SPRING, MD 20904  
CONTACT: MR. SIMON ROSENBERG  
PHONE: (301) 622-0645

DEVELOPER: NAI THE MICHAEL COMPANIES  
10100 BUSINESS PARKWAY, LANHAM, MD 20706  
CONTACT: BRIAN GOLDSTEIN  
PHONE: (301) 918-2955

PROFESSIONAL CERTIFICATION  
I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808. EXPIRATION DATE: 7/31/2015

**BOHLER ENGINEERING**  
CORPORATE OFFICE: WARREN, NJ  
SURVEYORS  
PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS

OFFICES:  
• BOWIE, MD  
• GREENBELT, MD  
• HAGERSTOWN, VA  
• HARRISBURG, PA  
• HUNTSVILLE, AL  
• MEMPHIS, TN  
• PHILADELPHIA, PA  
• TAMPA, FL

**REVISIONS**

REV	DATE	COMMENT	BY
3	11/30/14	AS BUILT	BRW

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND THE DISTRICT OF COLUMBIA, AND DELAWARE CALL: 811 (MV 1-800-245-8484) (MD 1-800-542-1718) (DC 1-800-251-7777) (VA 1-800-552-7001) (DE 1-800-282-8555)

**NOT APPROVED FOR CONSTRUCTION**

PROJECT NO.: MD132008  
DRAWN BY: RLB  
DATE: 12/11/14  
SCALE: AS SHOWN  
CAD ID.: EA2

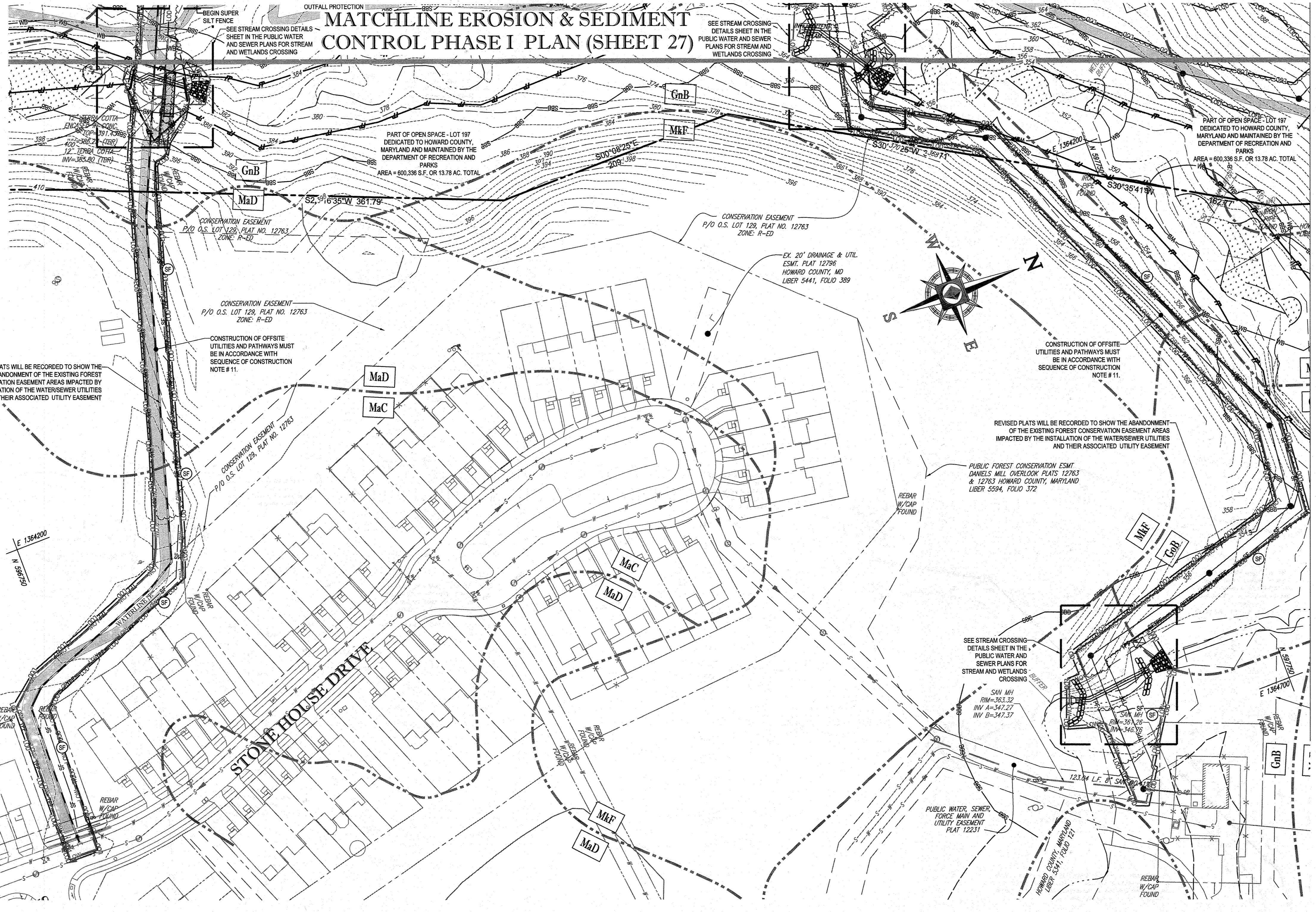
**FINAL ROAD CONSTRUCTION PLANS**

FOR  
**ESTATES AT PATAPSCO PARK**  
BUILDABLE LOTS 203-347 AND  
OPEN SPACE LOTS 196 - 202  
LOCATION OF SITE:  
MD ROUTE 99  
ROGERS AVENUE  
HOWARD COUNTY

**BOHLER ENGINEERING**  
901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
www.BohlerEngineering.com

**B.R. ROWE**  
PROFESSIONAL ENGINEER  
12/11/14

**EROSION & SEDIMENT CONTROL PHASE I PLAN**  
SHEET NUMBER: 27



# MATCHLINE EROSION & SEDIMENT CONTROL PHASE I PLAN (SHEET 27)

## EROSION AND SEDIMENT CONTROL LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- RIP-RAP OUTLET PROTECTION
- SILT FENCE
- EARTH DIKE (A-1 SEED W/MULCH AND TACK, A-2 STABILIZED MATTING OR SOD)
- SUPER SILT FENCE
- TREE PROTECTION FENCE
- LIMIT OF DISTURBANCE
- LIMIT OF WORK (PHASE I)
- BAFFLE BOARD
- RIP-RAP INFLOW PROTECTION
- STEEP SLOPES (15%-25%)
- STEEP SLOPES (>25%)
- SOIL DIVIDE
- SOIL LABEL
- TEMPORARY GABION OUTLET STRUCTURE
- REMOVABLE PUMP STATION
- PIPE SLOPE DRAIN (CLEAR WATER DIVERSION)

REVISED PLATS WILL BE RECORDED TO SHOW THE ABANDONMENT OF THE EXISTING FOREST CONSERVATION EASEMENT AREAS IMPACTED BY THE INSTALLATION OF THE WATERSSEWER UTILITIES AND THEIR ASSOCIATED UTILITY EASEMENT

CONSTRUCTION OF OFFSITE UTILITIES AND PATHWAYS MUST BE IN ACCORDANCE WITH SEQUENCE OF CONSTRUCTION NOTE # 11.

CONSTRUCTION OF OFFSITE UTILITIES AND PATHWAYS MUST BE IN ACCORDANCE WITH SEQUENCE OF CONSTRUCTION NOTE # 11.

REVISED PLATS WILL BE RECORDED TO SHOW THE ABANDONMENT OF THE EXISTING FOREST CONSERVATION EASEMENT AREAS IMPACTED BY THE INSTALLATION OF THE WATERSSEWER UTILITIES AND THEIR ASSOCIATED UTILITY EASEMENT

### EROSION AND SEDIMENT CONTROL NOTES:

- TEMPORARY DIVERSION DIKES SHALL HAVE A MIN. SLOPE OF 0.50%.
- CONTRACTOR TO ACCOUNT FOR BASEMENT CUT BY LOWERING ELEVATIONS OF LOTS AS REQUIRED. GENERAL GRADING DESIGN SHOULD REMAIN THE SAME. LOTS SHOULD BE BROUGHT TO FINAL GRADE AFTER SDP APPROVAL WHEN HOUSES ARE BUILT AND CUT IN BASEMENTS IS AVAILABLE.
- REFER TO SHEETS 41-44 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- SEE SHEETS 30-31 FOR PHASE II GRADING, AND SHEETS 45-49 FOR ULTIMATE GRADING.
- ALL EARTH DIKES INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY - SAME DAY.
- EITHER TEMPORARY OR PERMANENT SEEDINGS IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE TIME FRAMES REQUIRED BY THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE RESTRICTIVE.
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- IF A UTILITY CROSSES A PHASING LINE, THAT SECTION OF PIPE OR STRUCTURE CANNOT BE INSTALLED UNTIL THE LATER PHASE.

### EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES:

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW DOWNHILL SIDE OF TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

### PHASE I EROSION AND SEDIMENT CONTROL QUANTITIES:

LIMIT OF WORK:	1384650 S.F. OR 29.75 AC
SILT FENCE:	2227 LF
SUPER SILT FENCE:	2620 LF
TREE PROTECTION FENCE:	8025 LF
AT GRADE INLET PROTECTION:	2 EA
CURB INLET PROTECTION:	22 EA
EARTH DIKE:	5084 LF
STONE CHECK DAM:	10 EA
EARTHWORK:	65100 CY CUT 64100 CY FILL 0 CY EXPORT
STABILIZED CONSTRUCTION ENTRANCE:	1 EA

SPOIL MATERIAL SHALL BE DISCARDED AT A SITE WITH AN ACTIVE GRADING PERMIT AND APPROVED SEDIMENT CONTROL PLAN. BORROW MATERIAL SHALL BE OBTAINED FROM AN APPROVED SITE WITH AN ACTIVE GRADING PERMIT AND AN APPROVED SEDIMENT CONTROL PLAN.

EARTH QUANTITIES LISTED ABOVE ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE FIGURES FOR ESTIMATING AND BONDING PURPOSES.

NOTE: A MAXIMUM OF 20 ACRES OF ACTIVE DISTURBANCE AREA WITH AN ADDITIONAL 10 ACRES OF RECENTLY STABILIZED OR TRANSITIONAL AREA IS PERMITTED. NO MORE THAN 20 ACRES, CUMULATIVELY, MAY BE DISTURBED AT ANY GIVEN TIME.

### INLET PROTECTION NOTE:

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:

- ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.
- INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.

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### BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. HORIZONTAL AND VERTICAL CONTROL DATUM ARE BASED ON HOWARD COUNTY MONUMENT NOS. 17-F7 AND 17-FA WHICH WERE USED FOR THIS PROJECT.

HOWARD COUNTY MONUMENT NO. 17-F7 ELEV. = 469.399  
HOWARD COUNTY MONUMENT NO. 17-FA ELEV. = 476.721

**ENGINEER'S CERTIFICATE**  
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER: *Brandon R. Rowe*  
DATE: 12/15/14

**DEVELOPER'S CERTIFICATE**  
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF DEVELOPER: *Yuh K. Kwon*  
DATE: 12/10/14

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Yuh K. Kwon* 12/23/14  
HOWARD SCD

APPROVED: DEPARTMENT OF PUBLIC WORKS  
DATE: 1/8/2015

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
DATE: 7-2-15

DATE: 6-15-15

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHOULD BE STOPPED IMMEDIATELY IF THE CONTRACTOR FINDS A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR ANY OTHER CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS SHOWN BY THE DRAWINGS AND ALL FULL CONFORMANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND CODES.

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
1000 W. 10TH ST.  
TOWSON, MD 21286

CIVIL & CONSULTING ENGINEERS  
SURVEYORS  
PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS

OFFICES:  
BOWIE, MD  
TOWSON, MD  
WARRINGTON, VA  
CHAMFORD, PA  
TAMPA, FL  
PHILADELPHIA, PA

REV	DATE	COMMENT	BY
3	11/20/14	AS BUILT	BR

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL - 811

(MD 1-800-346-6480) (DC 1-800-346-3177) (DE 1-800-287-7777)  
(VA 1-800-552-7001) (MD 1-800-287-7777) (DE 1-800-287-8555)

**NOT APPROVED FOR CONSTRUCTION**

PROJECT No.: MD132008  
DRAWN BY: RLB  
CHECKED BY: BRR  
DATE: 12/11/14  
SCALE: AS SHOWN  
CAD I.D.: EA2

**FINAL ROAD CONSTRUCTION PLANS**

FOR

**ESTATES AT PATAPSCO PARK**

BUILDABLE LOTS 208-297 AND OPEN SPACE LOTS 196-202

LOCATION OF SITE  
MD ROUTE 99  
ROGERS AVENUE  
HOWARD COUNTY

**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21284  
PHONE: (410) 821-7900  
FAX: (410) 821-7987  
www.BohlerEngineering.com

**B.R. ROWE**

PROFESSIONAL ENGINEER

12/15/14

CONTRACTOR SHALL REFER TO JOINT FEDERAL/STATE APPLICATION FOR THE ALTERATION OF THE FLOODPLAIN, WATERWAY, AND NON-TIDAL WETLAND AND BUFFER IN MARYLAND

OWNER: PM PATAPSCO LLC  
12115 ARBIE ROAD  
SILVER SPRING, MD 20904  
CONTACT: MR. SIMON ROSENBERG  
PHONE: (301) 622-0645

DEVELOPER: NAI THE MICHAEL COMPANIES  
10100 BUSINESS PARKWAY, LANHAM, MD 20706  
CONTACT: BRIAN GOLDSTEIN  
PHONE: (301) 916-2955

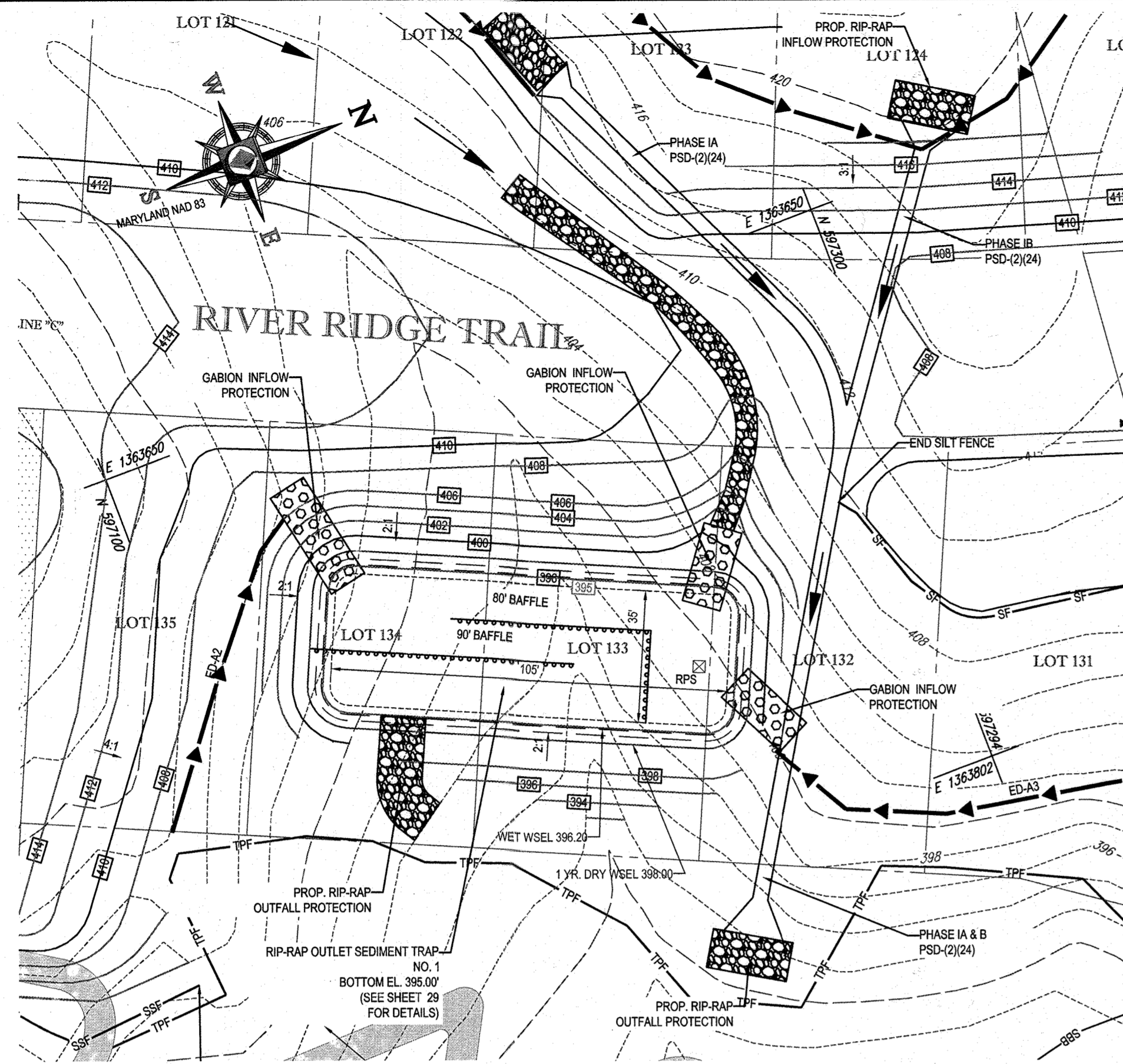
PERMIT INFORMATION CHART

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA
PLAT # OR L.P.: 15146465 & 15146497	GRID # S, E, N, 1, 12	ZONING: R-20 & R-ED
PREVIOUS FILE No.: SP-13-012 ECP-13-029 WP-13-165 PB CASE No. 403	TAX MAP NO.: 17	ELECT DIST: 2ND
		CENSUS TRACT:

PROFESSIONAL CERTIFICATION  
BRANDON R. ROWE HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 48088, EXPIRATION DATE: 7/3/2015

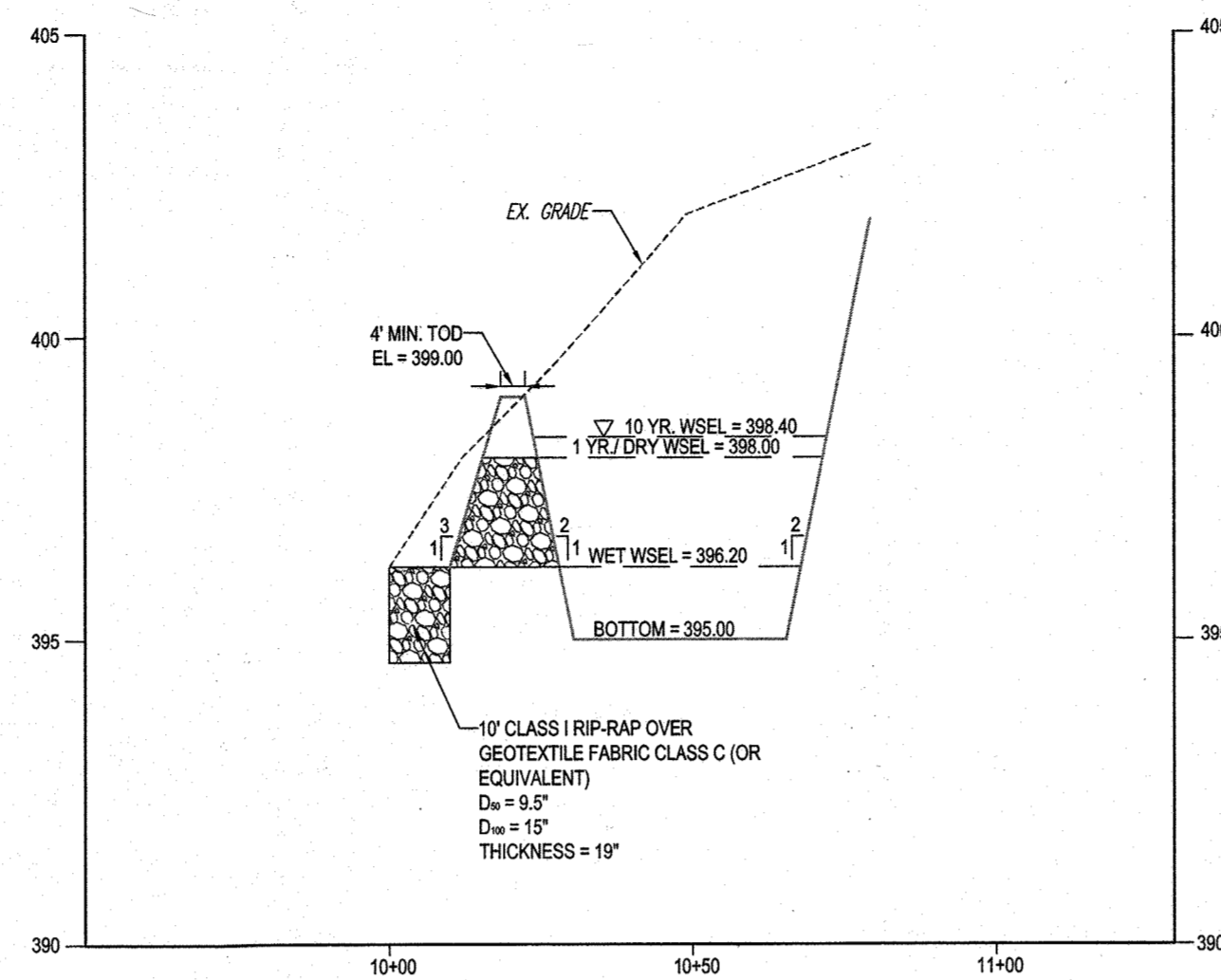
SHEET TITLE:  
**EROSION & SEDIMENT CONTROL PHASE I PLAN**

SHEET NUMBER:  
**28**



**RIP-RAP OUTLET SEDIMENT TRAP NO. 1**

SCALE: 1"=30'



**RIP-RAP OUTLET SEDIMENT TRAP NO. 1  
PROFILE THROUGH PRINCIPAL SPILLWAY**

SCALE: HORZ. 1"=30'  
VERT. 1"=3'

**RIP-RAP OUTLET SEDIMENT TRAP NO. 1 DATA TABLE**

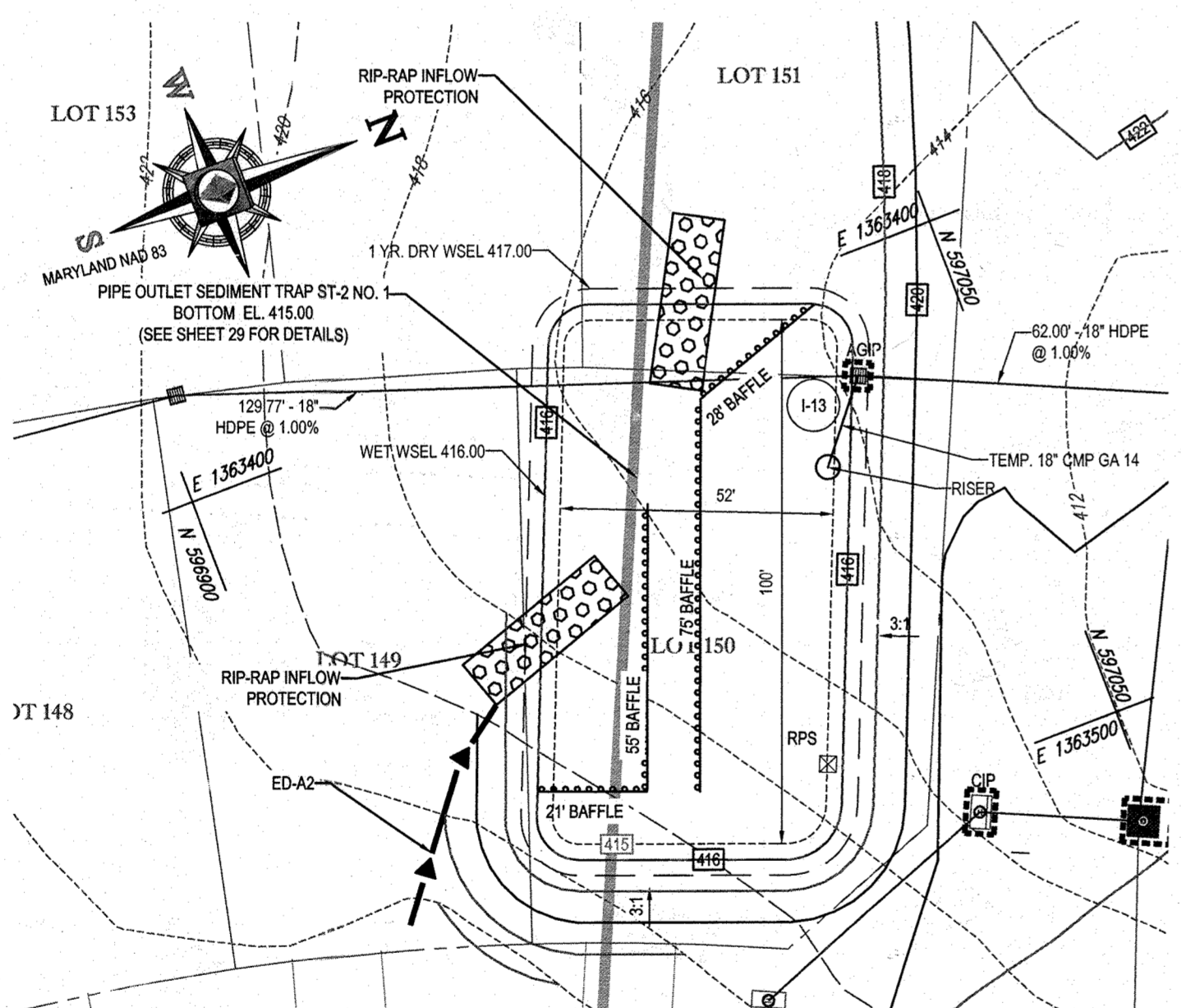
RIP-RAP OUTLET SEDIMENT TRAP (ST-11)  
EXISTING DRAINAGE AREA = 2.3 AC.  
WORST CASE INTERIM DRAINAGE AREA = 3.0 AC.  
WET STORAGE VOL. REQUIRED = 0.12 AC. FT.  
WET STORAGE VOL. PROVIDED = 0.12 AC. FT.  
WET STORAGE ELEV = 398.20  
DRY STORAGE REQUIRED = 0.12 AC. FT.  
DRY STORAGE PROVIDED = 0.19 AC. FT.  
DRY STORAGE WSEL = 399.00  
EXISTING Q-1 YR. = 0.13 C.F.S.  
INTERIM Q-1 YR. = 2.16 C.F.S.  
SAFE PASS OF 10 YR. STORM PROVIDED  
Q10 = 0.85 C.F.S.  
10 YR. WSEL = 398.40  
BOTTOM ELEV = 395.00  
TOP OF EMBANKMENT ELEV = 399.00  
WEIR CREST ELEV = 398.00  
WEIR LENGTH = 12'  
EMERGENCY SPILLWAY ELEV = NONE  
CLEANOUT ELEV = 395.00  
EMBANKMENT TOP WIDTH = 4'  
SIDE SLOPES: 2:1 INTERIOR - 2:1 EXTERIOR

**BAFFLE COMPUTATION 1**

D = 42'  
A WET POOL = 5227 CF  
We =  $\sqrt{A(Z)}$  = 51'  
Le = 2We = 102' REQUIRED  
Le = 115' PROVIDED

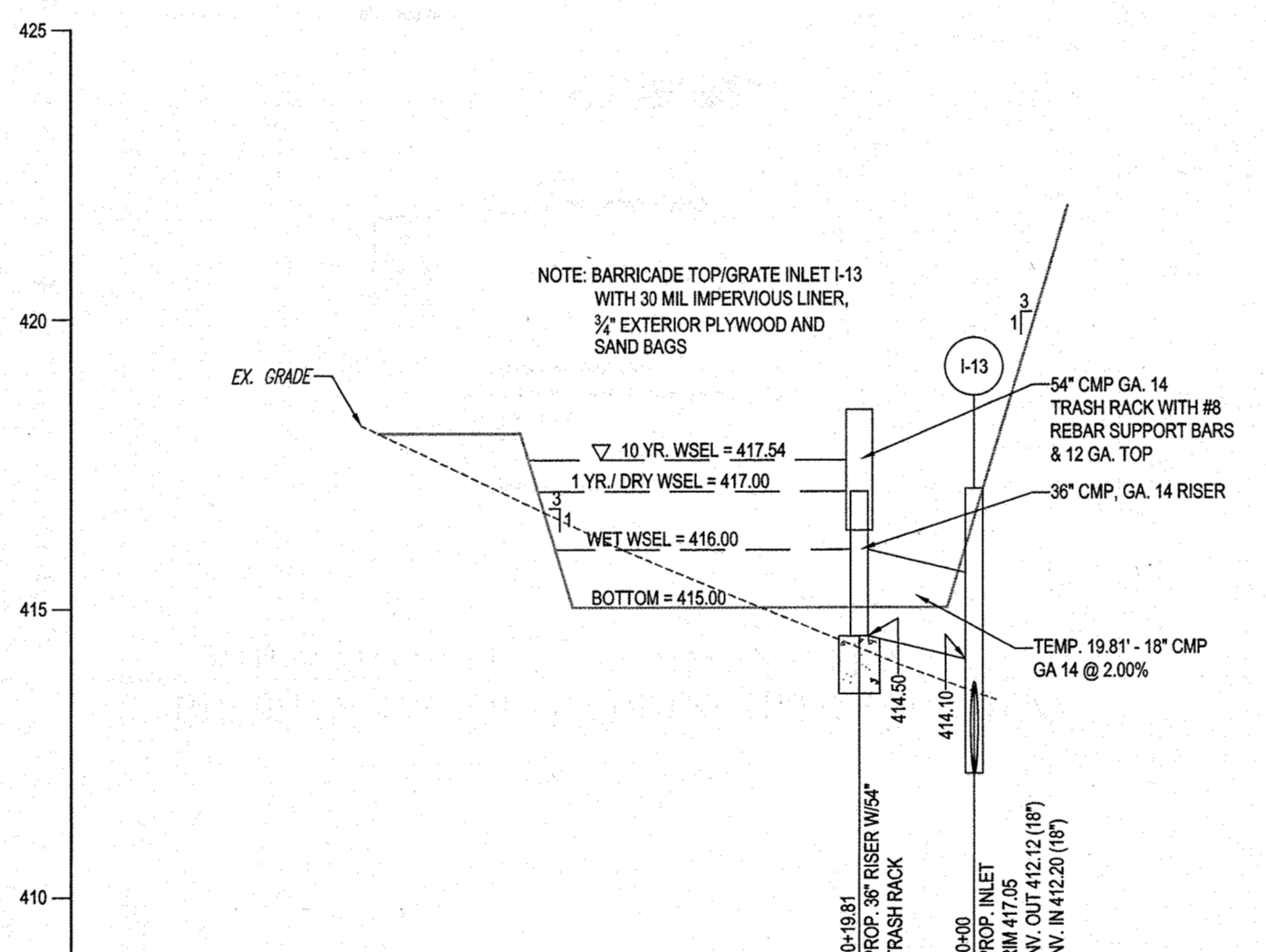
**BAFFLE COMPUTATION 2**

D = 58'  
A WET POOL = 6227 CF  
We =  $\sqrt{A(Z)}$  = 51'  
Le = 2We = 102' REQUIRED  
Le = 115' PROVIDED



**PIPE OUTLET SEDIMENT TRAP NO. 1**

SCALE: 1"=30'



**PIPE OUTLET SEDIMENT TRAP NO. 1  
PROFILE THROUGH PIPE OUTLET STRUCTURE**

SCALE: HORZ. 1"=30'  
VERT. 1"=3'

**PIPE OUTLET SEDIMENT TRAP NO. 1 DATA TABLE**

PIPE OUTLET SEDIMENT TRAP (ST-1) @ I-13  
EXISTING DRAINAGE AREA = 0.76 AC.  
WORST CASE INTERIM DRAINAGE AREA = 3.66 AC.  
WET STORAGE VOL. REQUIRED = 0.15 AC. FT.  
WET STORAGE VOL. PROVIDED = 0.15 AC. FT.  
WET STORAGE ELEV = 416.00  
DRY STORAGE REQUIRED = 0.15 AC. FT.  
DRY STORAGE PROVIDED = 0.15 AC. FT.  
DRY STORAGE WSEL = 417.00  
EXISTING Q-1 YR. = 0.04 C.F.S.  
INTERIM Q-1 YR. = 2.63 C.F.S.  
SAFE PASS OF 10 YR. STORM PROVIDED  
Q10 = 11.77 C.F.S.  
10 YR. WSEL = 417.54  
BOTTOM ELEV = 415.00  
RISER CREST ELEV = 417.00  
TRASH RACK HEIGHT = 25"  
TRASH RACK DIA = 54"  
BARREL DIA = 18" (18" BARREL SELECTED TO MATCH PROPOSED 18" STORM DRAIN AT INLET I-13)  
EMERGENCY SPILLWAY ELEV = NONE  
CLEANOUT ELEV = 415.50  
EMBANKMENT TOP WIDTH = 6'  
SIDE SLOPES: 3:1 INTERIOR - 3:1 EXTERIOR

**BAFFLE COMPUTATION 3**

D = 60'  
A WET POOL = 6588 CF  
We =  $\sqrt{A(Z)}$  = 58'  
Le = 2We = 116' REQUIRED  
Le = 123' PROVIDED

**BAFFLE COMPUTATION 4**

D = 37'  
A WET POOL = 6588 CF  
We =  $\sqrt{A(Z)}$  = 58'  
Le = 2We = 116' REQUIRED  
Le = 128' PROVIDED

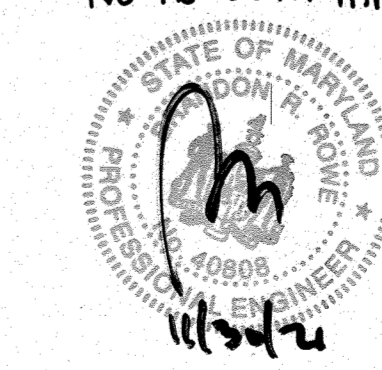
**ENGINEER'S CERTIFICATE**  
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
SIGNATURE OF ENGINEER: BRANDON R. ROWE, P.E.  
DATE: 11/15/14

**DEVELOPER'S CERTIFICATE**  
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.  
SIGNATURE OF DEVELOPER: [Signature]  
DATE: 12/10/14

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
APPROVED: DEPARTMENT OF PUBLIC WORKS  
CHIEF, BUREAU OF HIGHWAYS: [Signature] DATE: 11/8/2015  
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature] DATE: 7-9-15  
CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature] DATE: 6.15.15

**GENERAL NOTE:**  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS REPRESENTED BY THE DRAWINGS AND ALL CONCERNING WITH LOCAL REGULATIONS AND CODES.

For Revision 3 only  
NO AS BUILT INTO  
NOTE: SEE SHEET 50 FOR UPDATED LOT NUMBERS AS RECORDED UNDER F-16-051



OWNER: PM PATAPSCO LLC  
12116 ARBIE ROAD  
SILVER SPRING, MD 20904  
CONTACT: MR. SIMON ROSENBERG  
PHONE: (301) 622-0645  
DEVELOPER: NAI THE MICHAEL COMPANIES  
10100 BUSINESS PARKWAY, LANHAM, MD 20706  
CONTACT: BRIAN GOLSTEIN  
PHONE: (301) 918-2955

PERMIT INFORMATION CHART				
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA		
PLAT # OR L.P.: 1514845 & 1514847	GRID # S, E, N, 1, 2	ZONING: R-20 & RED	TAX MAP NO.: 17	ELECT. DISTR. 2ND
PREVIOUS FILE No.: SP-13-012 ECP-13-029 WP-13-165 P.B. CASE NO. 403	PROFESSIONAL CERTIFICATION BRANDON R. ROWE, ENGINEER CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808, EXPIRATION DATE: 7/31/16			

**BOHLER ENGINEERING**  
CONSULTING OFFICE: WARREN, NJ  
SURVEYORS  
CIVIL & CONSULTING ENGINEERS  
PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS  
OFFICES:  
• SOUTH BRIDGE, MA  
• TOWSON, MD  
• WARRENTON, OR  
• FARMINGTON, CT  
• CHALMERS, PA  
• PHILADELPHIA, PA  
• TAMPA, FL

**REVISIONS**

REV	DATE	COMMENT	BY
3	11/15/14	AS BUILT	BRW

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL: 811  
VA 1-800-251-4848 PA 1-800-241-1775 DC 1-800-251-7777 MD 1-800-552-7001 DE 1-800-267-7777

**NOT APPROVED FOR CONSTRUCTION**  
PROJECT NO.: MD132008  
DRAWN BY: RLB  
CHECKED BY: BRW  
DATE: 12/11/14  
SCALE: AS SHOWN  
CAD I.D.: EAD

**FINAL ROAD CONSTRUCTION PLANS**  
FOR  
**ESTATES AT PATAPSCO PARK**  
BUILDABLE LOTS 203-247 AND  
OPEN SPACE LOTS 196 - 202  
LOCATION OF SITE  
MD ROUTE 99  
ROGERS AVENUE  
HOWARD COUNTY

**BOHLER ENGINEERING**  
901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
www.BohlerEngineering.com

**B.R. ROWE**  
PROFESSIONAL ENGINEER  
[Signature]

SHEET TITLE:  
**EROSION & SEDIMENT CONTROL PHASE I PLAN**  
SHEET NUMBER:  
**29**

**PHASE II  
EROSION AND SEDIMENT  
CONTROL QUANTITIES:**

LIMIT OF WORK: 517000 S.F. OR 11.87 AC  
 SILT FENCE: 409 LF  
 SUPER SILT FENCE: 810 LF  
 TREE PROTECTION FENCE: 1140 LF  
 AT GRADE INLET PROTECTION: 4 EA  
 CURB INLET PROTECTION: 13 EA  
 EARTH DIKE: 915 LF  
 EARTHWORK: 11250 CY CUT  
 46350 CY FILL  
 0 CY EXPORT  
 1 EA  
 STABILIZED CONSTRUCTION ENTRANCE: 1 EA

SPOIL MATERIAL SHALL BE DISCARDED AT A SITE WITH AN ACTIVE GRADING PERMIT AND APPROVED SEDIMENT CONTROL PLAN. BROWN MATERIAL SHALL BE OBTAINED FROM AN APPROVED SITE WITH AN ACTIVE GRADING PERMIT AND AN APPROVED SEDIMENT CONTROL PLAN.

EARTH QUANTITIES LISTED ABOVE ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE FIGURES FOR ESTIMATING AND BIDDING PURPOSES.

NOTE: A MAXIMUM OF 20 ACRES OF ACTIVE DISTURBANCE AREA WITH AN ADDITIONAL 10 ACRES OF RECENTLY STABILIZED OR TRANSITIONAL AREA IS PERMITTED. NO MORE THAN 30 ACRES, CUMULATIVELY, MAY BE DISTURBED AT ANY GIVEN TIME.

LIMIT OF DISTURBANCE (LOD) DEPICTS THE ULTIMATE DISTURBED AREA FOR THE PROJECT, WHILE THE LIMIT OF WORK (LOW) DEPICTS THE EXPECTED DISTURBED AREA FOR THE PARTICULAR PHASE OF CONSTRUCTION.



LAND TO BE DEDICATED TO HOWARD COUNTY FOR THE PURPOSE OF A PUBLIC ROAD FROM MARYLAND STATE HIGHWAY ADMINISTRATION (57,572 S.F. OR 1.32 AC)

**TGOS No.11**  
 MAX DRAINAGE AREA = 1.5 AC  
 STORAGE REQ. = 2,700 C.F.  
 TOP OF WEIR EL. = 429.25  
 CONTRACTOR SHALL PROVIDE THE REQUIRED STORAGE VOLUME.

**TGOS No.12**  
 MAX DRAINAGE AREA = 1.5 AC  
 STORAGE REQ. = 2,700 C.F.  
 TOP OF WEIR EL. = 410.25  
 CONTRACTOR SHALL PROVIDE THE REQUIRED STORAGE VOLUME.

**TEMP. TOPSOIL STOCKPILE PHASE II**  
 LOT 132

**ENGINEER'S CERTIFICATE**  
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS THAT WERE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER: [Signature]  
 DATE: 12/19/14

**DEVELOPER'S CERTIFICATE**  
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

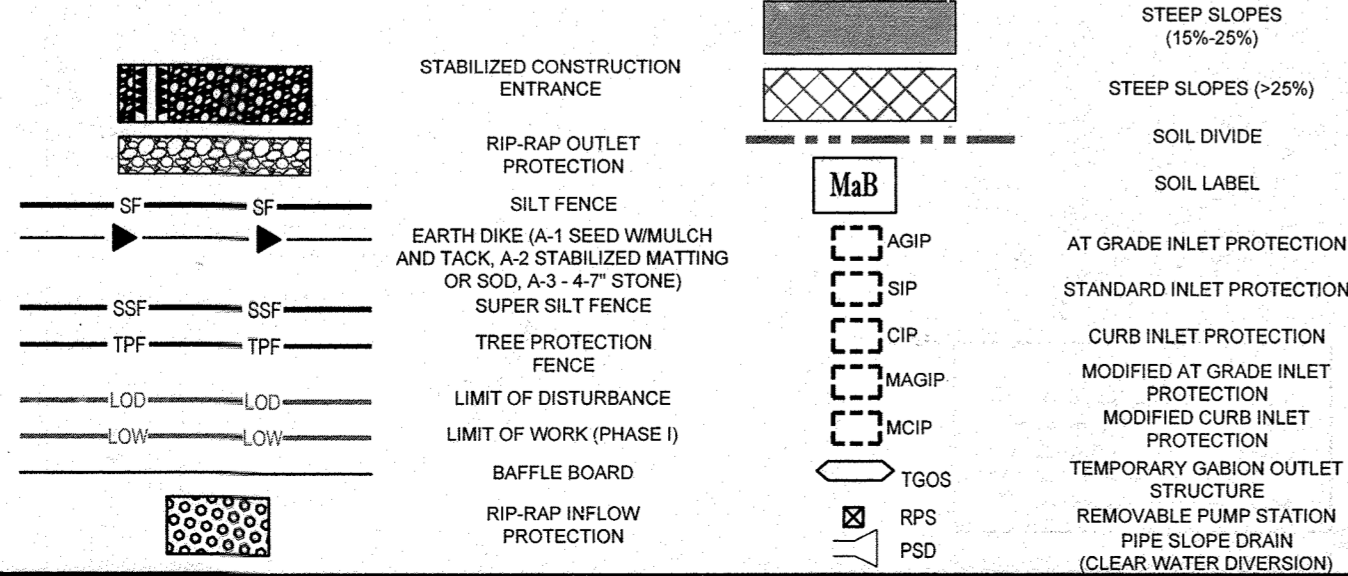
SIGNATURE OF DEVELOPER: [Signature]  
 DATE: 12/10/14

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] DATE: 1/8/2015  
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] DATE: 7-9-15  
 CHIEF, DIVISION OF LAND DEVELOPMENT

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 6-15-15

**EROSION AND SEDIMENT CONTROL LEGEND**



**EROSION AND SEDIMENT CONTROL NOTES:**

- TEMPORARY DIVERSION DIKES SHALL HAVE A MIN. SLOPE OF 0.50%.
- CONTRACTOR TO ACCOUNT FOR BASEMENT CUT BY LOWERING ELEVATIONS OF LOTS AS REQUIRED. GENERAL GRADING DESIGN SHOULD REMAIN THE SAME. LOTS SHOULD BE BROUGHT TO FINAL GRADE AFTER SDP APPROVAL WHEN HOUSES ARE BUILT AND CUT IN BASEMENTS IS AVAILABLE.
- REFER TO SHEET 41 - 44 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- SEE SHEETS 29-30 FOR PHASE II GRADING, AND SHEETS 45-49 FOR ULTIMATE GRADING.
- ALL EARTH DIKES INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY - SAME DAY.
- EITHER TEMPORARY OR PERMANENT SEEDING IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE TIME FRAMES REQUIRED BY THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTOR TO INSTALL SOIL STABILIZATION MATTING IN ALL SWALES AND ON ALL SLOPES 3:1 OR GREATER.
- IF A STOCKPILE EXCEEDS 15 FEET IN HEIGHT, IT MUST BE BENCHMARKED.
- IF A UTILITY CROSSES A PHASING LINE, THAT SECTION OF PIPE OR STRUCTURE CANNOT BE INSTALLED UNTIL THE LATER PHASE.

**EROSION AND SEDIMENT CONTROL INLET PROTECTION NOTE**

- UTILITY INSTALLATION NOTES:** NO AS-BUILT INFO
- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWN-SLOPE OF) TRENCH.
  - PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
  - ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
  - THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIAN TRAFFIC AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.
- ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING INLET ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.
- INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIAN TRAFFIC FROM THE INSPECTOR.
- BENCHMARK NOTE:**  
 THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. HORIZONTAL AND VERTICAL CONTROL DATUM ARE BASED ON HOWARD COUNTY MONUMENT NOS. 17-F7 AND 17-FA WHICH WERE USED FOR THIS PROJECT.
- HOWARD COUNTY MONUMENT NO. 17-F7 ELEV. = 469.396  
 HOWARD COUNTY MONUMENT NO. 17-FA ELEV. = 478.721

**UTILITY INSTALLATION NOTES:**

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK			
FLAT OR L.P.: 1514W465 & 1549467	GRID # 5.6, 11, 12	ZONING: R-20 & R-30	TAX MAP NO.: 17
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403		SECTION AREA: NA LOT/PARCEL NO.: NA ELECT. DISTR.: 2ND CENSUS TRACT: NA	

OWNER: PM PATAPSCO LLC  
 12116 ARBIE ROAD  
 SILVER SPRING, MD 20904  
 CONTACT: MR. SIMON ROSENBERG  
 PHONE: (301) 822-0645

DEVELOPER: NAI THE MICHAEL COMPANIES  
 10100 BUSINESS PARKWAY, LANHAM, MD 20696  
 CONTACT: BRIAN GOLDSTEIN  
 PHONE: (301) 918-2955

PERMIT INFORMATION CHART

**BOHLER ENGINEERING**  
 CORPORATE OFFICE:  
 WARREN, NJ

CIVIL & CONSULTING ENGINEERS  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

OFFICES:  
 BOWNE, MD  
 SOUTHBRIDGE, MA  
 ROCKY HILL, CT  
 ROCKY HILL, MD  
 CENTER VALLEY, PA  
 TAMPA, FL

**REVISIONS**

REV.	DATE	COMMENT	BY
3	11/30/14	AS BUILT	BRR

**NOT APPROVED FOR CONSTRUCTION**

PROJECT: FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK BUILDABLE LOTS 203-311 AND OPEN SPACE LOTS 196 - 202 LOCATION OF SITE MD ROUTE 99 ROGERS AVENUE HOWARD COUNTY

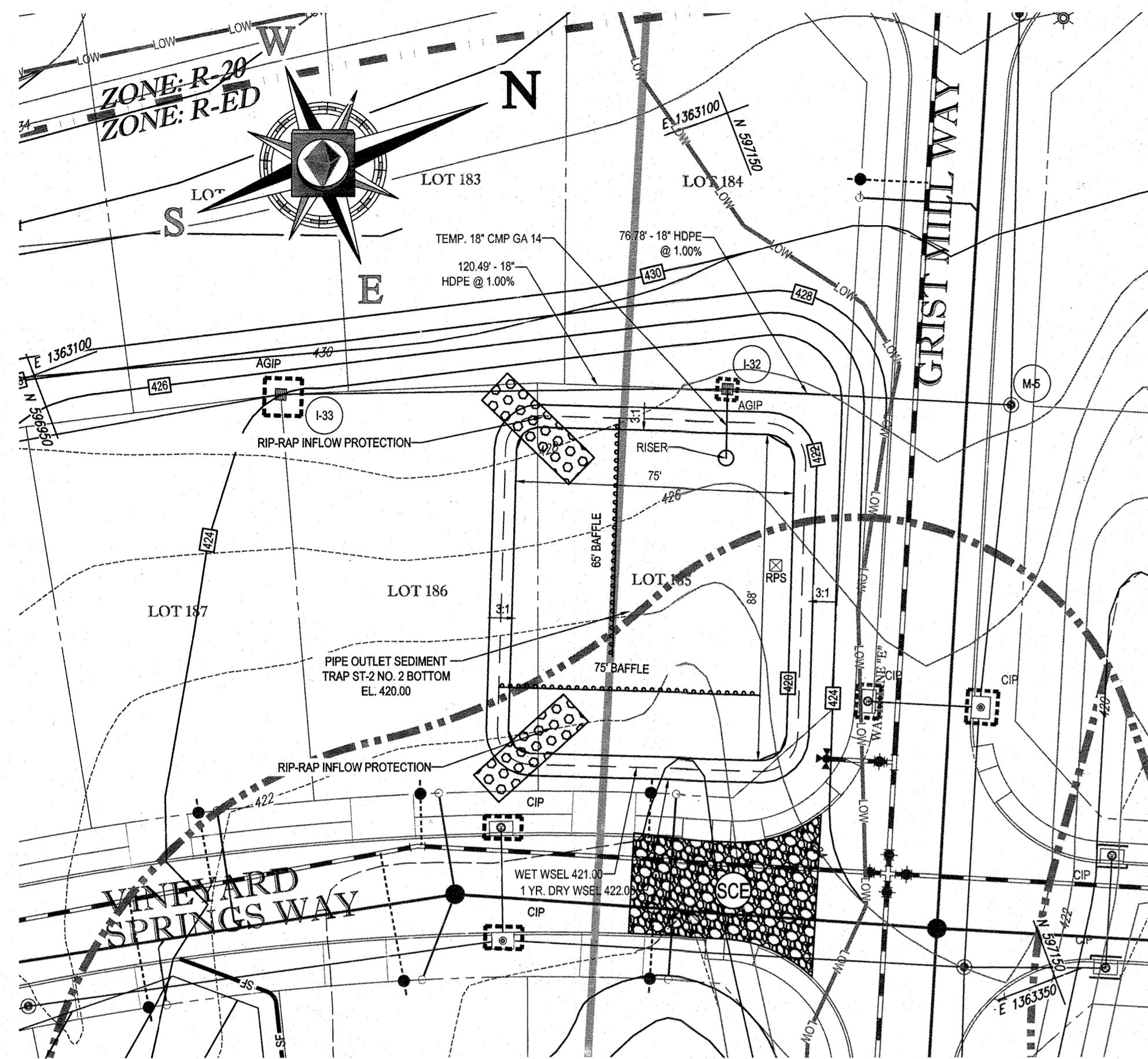
PROJECT: FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK BUILDABLE LOTS 203-311 AND OPEN SPACE LOTS 196 - 202 LOCATION OF SITE MD ROUTE 99 ROGERS AVENUE HOWARD COUNTY

**BOHLER ENGINEERING**  
 901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
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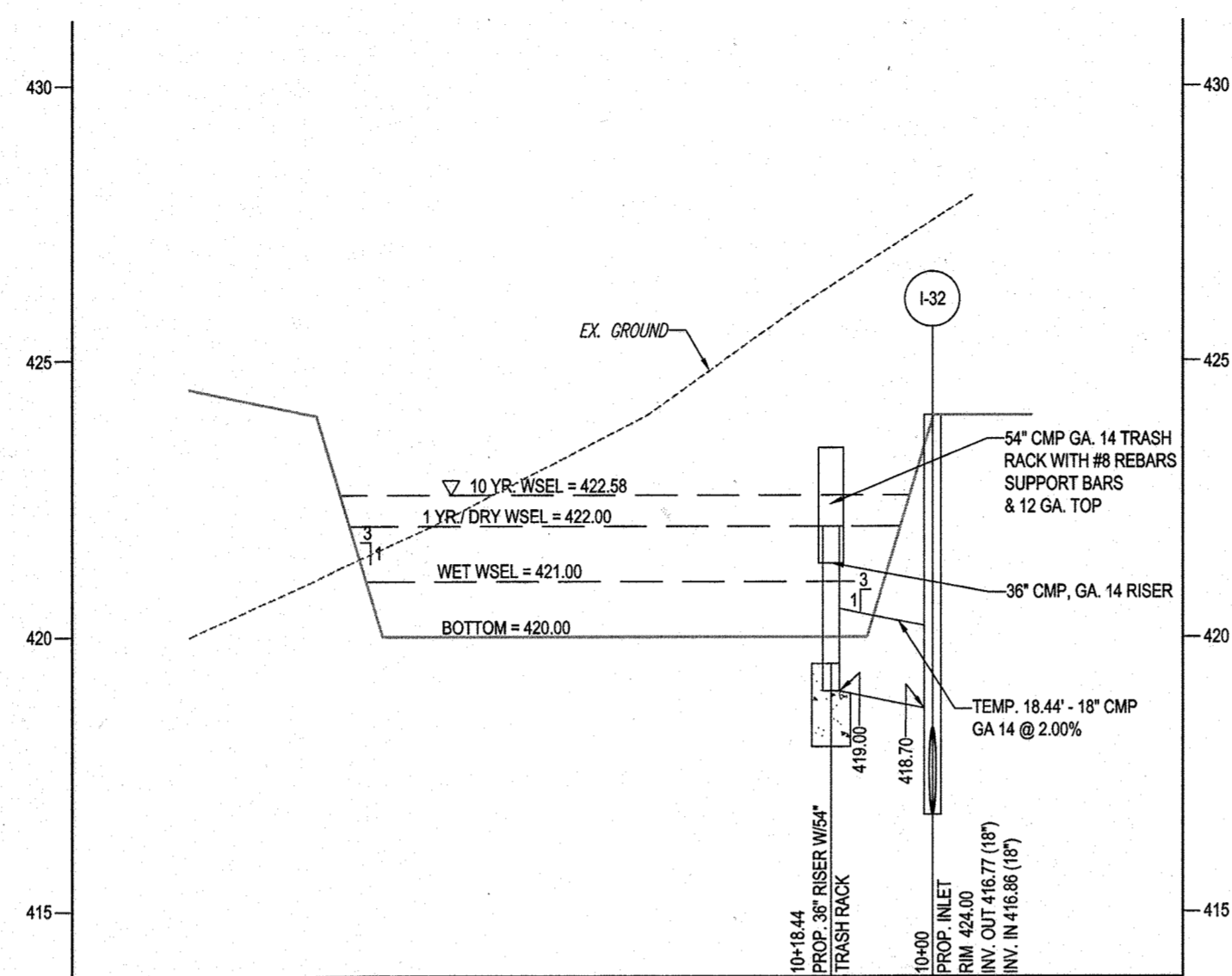
**B.R. ROWE**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 15114

**EROSION & SEDIMENT CONTROL PHASE II PLAN**  
 SHEET NUMBER: 30

PROFESSIONAL CERTIFICATION  
 I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40008, EXPIRATION DATE: 7/31/2015



PIPE OUTLET SEDIMENT TRAP ST-2 NO. 2  
SCALE: 1"=30'



PIPE OUTLET SEDIMENT TRAP ST-2 NO. 2  
PROFILE THROUGH PIPE OUTLET STRUCTURE

SCALE: HORZ. 1"=30'  
VERT. 1"=3'

**PIPE OUTLET SEDIMENT TRAP  
ST-2 NO. 2 DATA TABLE**

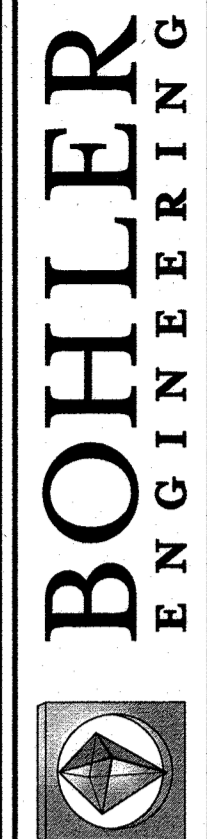
PIPE OUTLET SEDIMENT TRAP (ST-2) @ I-32  
EXISTING DRAINAGE AREA = 0.59 AC.  
WORST CASE INTERIM DRAINAGE AREA = 4.00 AC.  
WET STORAGE VOL. REQUIRED = 0.17 AC. FT.  
WET STORAGE VOL. PROVIDED = 0.19 AC. FT.  
WET STORAGE ELEV = 421.00  
DRY STORAGE REQUIRED = 0.17 AC. FT.  
DRY STORAGE PROVIDED = 0.19 AC. FT.  
DRY STORAGE WSEL = 422.00  
EXISTING Q-1 YR. = 0.03 C.F.S.  
INTERIM Q-1 YR. = 2.88 C.F.S.  
SAFE PASS OF 10 YR. STORM PROVIDED  
Q10 = 12.86 C.F.S.  
10 YR. WSEL = 422.58  
BOTTOM ELEV = 420.00  
TOP OF EMBANKMENT ELEV = 424.00  
RISER CREST ELEV = 422.00  
TRASH RACK DIA. = 54"  
TRASH RACK HEIGHT = 20"  
BARREL DIA. = 18" (18" BARREL SELECTED)  
TO MATCH PROPOSED 18" STORM DRAIN  
AT INLET I-32  
EMERGENCY SPILLWAY ELEV = NONE  
CLEANOUT ELEV = 420.50  
EMBANKMENT TOP WIDTH = 6'  
SIDE SLOPES: 3:1 INTERIOR - 3:1 EXTERIOR

**BAFFLE COMPUTATION 5**

D = 55'  
A WET POOL = 8100 CF  
We = (A/2) = 64'  
Le = 2We = 128' REQUIRED  
Le = 131' PROVIDED

**BAFFLE COMPUTATION 6**

D = 57'  
A WET POOL = 8100 CF  
We = (A/2) = 64'  
Le = 2We = 128' REQUIRED  
Le = 132' PROVIDED



**BOHLER ENGINEERING**  
CORPORATE OFFICE:  
WARREN, NJ  
SURVEYORS  
PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS  
OFFICES:  
SCARBOROUGH, MA  
BOWNE, MD  
ROCKVILLE, VA  
WARRINGTON, VA  
STERLING, VA  
CHALMERS, PA  
CHALMERS, PA  
TAMPA, FL  
PHILADELPHIA, PA

REVISIONS			
REV	DATE	COMMENT	BY
3	11/20/14	AS BUILT	BRR

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL - 811  
(MD) 1-800-285-6849 (DC) 1-800-527-7777 (VA) 1-800-552-7001 (MD) 1-800-257-7777 (DE) 1-800-285-8554

**NOT APPROVED FOR CONSTRUCTION**  
PROJECT No.: MD132008  
DRAWN BY: RLB  
CHECKED BY: BRR  
DATE: 12/11/14  
SCALE: AS SHOWN  
CAD I.D.: EBZ

**FINAL ROAD CONSTRUCTION PLANS**  
FOR  
**ESTATES AT PATAPSCO PARK**  
BUILDABLE LOTS 208-209 AND  
OPEN SPACE LOTS 196 - 202  
LOCATION OF SITE:  
MD ROUTE 99  
ROGERS AVENUE  
HOWARD COUNTY

**BOHLER ENGINEERING**  
901 DULANEY VALLEY ROAD,  
SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
www.BohlerEngineering.com

**B.R. ROWE**  
PROFESSIONAL ENGINEER  
No. 11514

SHEET TITLE:  
**EROSION & SEDIMENT CONTROL PHASE II PLAN**  
SHEET NUMBER:  
**31**

**ENGINEER'S CERTIFICATE**  
"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
SIGNATURE OF ENGINEER: BRANDON R. ROWE  
DATE: 12/15/14

**DEVELOPER'S CERTIFICATE**  
"I/WE HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
SIGNATURE OF DEVELOPER: John R. Rowe  
DATE: 12/10/14

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
John R. Rowe  
HOWARD SCD  
DATE: 12/23/14

APPROVED: DEPARTMENT OF PUBLIC WORKS  
Chief, Bureau of Highways  
DATE: 1/8/2015

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief, Division of Land Development  
DATE: 7-9-15

APPROVED: CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 6-15-15

GENERAL NOTE:  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE ORDINANCES AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHOULD BE DONE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN ACCORDANCE WITH LOCAL REGULATIONS AND CODES.

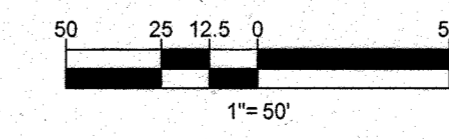
For Revision 3 only  
NO AS BUILT INFO



NOTE: SEE SHEET 50 FOR  
UPDATED LOT NUMBERS  
AS RECORDED UNDER  
FIG-051

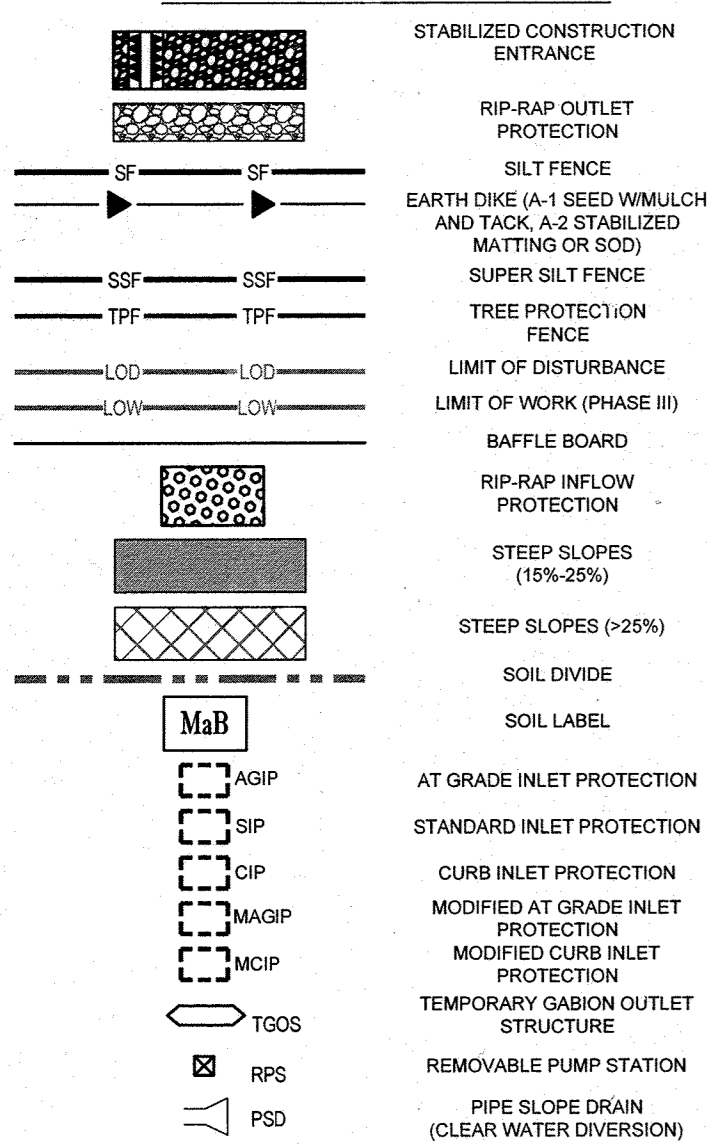
OWNER: PM PATAPSCO LLC  
12116 ARBIE ROAD  
SILVER SPRING, MD 20904  
CONTACT: MRS. SIMON ROSENBERG  
PHONE: (301) 622-0645  
DEVELOPER: NAI THE MICHAEL COMPANIES  
10100 BUSINESS PARKWAY, LANHAM, MD 20706  
CONTACT: BRIAN GOLDSTEIN  
PHONE: (301) 918-2955

PERMIT INFORMATION CHART					
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA			
PLAT # OR L.P.: 1514W05 & 1514W07	GRID # S, E, N, W	ZONING: R-20 & RED	TAX MAP NO.: 17	ELECT. DISTR.: 2ND	CENSUS TRACT:
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403	PROFESSIONAL CERTIFICATION I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808, EXPIRATION DATE: 7/31/2015				





**EROSION AND SEDIMENT CONTROL LEGEND**



**ENGINEER'S CERTIFICATE**

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER: BRANDON R. ROWE, P.E.  
DATE: 1/18/14

**DEVELOPER'S CERTIFICATE**

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF DEVELOPER: [Signature]  
DATE: 1/14/14

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: DEPARTMENT OF PUBLIC WORKS  
[Signature] DATE: 1/18/14  
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
[Signature] DATE: 7-9-15  
CHIEF, DIVISION OF LAND DEVELOPMENT

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 6-15-15

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE PROJECT PRIOR TO THE START OF CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL APPLICABLE REGULATIONS AND ORDINANCES.

**EROSION AND SEDIMENT CONTROL NOTES:**

- TEMPORARY DIVERSION DIKES SHALL HAVE A MIN. SLOPE OF 0.50%.
- CONTRACTOR TO ACCOUNT FOR BASEMENT CUT BY LOWERING ELEVATIONS OF LOTS AS REQUIRED. GENERAL GRADING DESIGN SHOULD REMAIN THE SAME. LOTS SHOULD BE BROUGHT TO FINAL GRADE AFTER SOD APPROVAL WHEN HOUSES ARE BUILT AND CUT IN BASEMENTS IS AVAILABLE.
- REFER TO SHEET # 44 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- PROPOSED SILT FENCE IS TO BE GRADuated AND SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- SEE SHEETS 33 - 34 FOR PHASE IV GRADING, AND SHEETS 45-49 FOR ULTIMATE GRADING.
- ALL EARTH DIKES INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY - SAME DAY.
- EITHER TEMPORARY OR PERMANENT SEEDING IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE TIME FRAMES REQUIRED BY THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTOR TO INSTALL SOIL STABILIZATION MATTING IN ALL SWALES AND ON ALL SLOPES 3:1 OR GREATER.
- IF A STOCKPILE EXCEEDS 15 FEET IN HEIGHT, IT MUST BE BENCHED.
- IF A UTILITY CROSSES A PHASING LINE, THAT SECTION OF PIPE OR STRUCTURE CANNOT BE INSTALLED UNTIL THE LATER PHASE.

**EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES:**

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILENT PILES SHALL BE INSTALLED BELOW DOWN-SLOPE OF TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UP-HILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

**INLET PROTECTION NOTE**

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:  
 1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.  
 2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.  
 ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

**BENCHMARK NOTE:**

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODESIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLANNED COORDINATE SYSTEM. HORIZONTAL AND VERTICAL CONTROL DATA ARE BASED ON HOWARD COUNTY MONUMENT NOS. 17-77 AND 17-78 WHICH WERE USED FOR THIS PROJECT.  
 HOWARD COUNTY MONUMENT NO. 17-77 ELEV. = 469.399  
 HOWARD COUNTY MONUMENT NO. 17-78 ELEV. = 476.721

**PHASE III EROSION AND SEDIMENT CONTROL QUANTITIES:**

LIMIT OF WORK:	233500 S.F. OR 6.74 AC
SILT FENCE:	472 LF
SUPER SILT FENCE:	1627 LF
TREE PROTECTION FENCE:	500 LF
AT GRADE INLET PROTECTION:	4 EA
CURB INLET PROTECTION:	3 EA
EARTH DIKE:	400 LF
EARTHWORK:	38200 CY CUT 10625 CY FILL 0 CY EXPORT
STABILIZED CONSTRUCTION ENTRANCE:	1 EA

SPILL MATERIAL SHALL BE DISCARDED AT A SITE WITH AN ACTIVE GRADING PERMIT AND APPROVED SEDIMENT CONTROL PLAN. BORROW MATERIAL SHALL BE OBTAINED FROM AN APPROVED SOURCE WITH AN ACTIVE GRADING PERMIT AND AN APPROVED SEDIMENT CONTROL PLAN.

NOTE: A MAXIMUM OF 20 ACRES OF ACTIVE DISTURBANCE AREA WITH AN ADDITIONAL 10 ACRES OF RECENTLY STABILIZED OR TRANSITIONAL AREA IS PERMITTED. NO MORE THAN 30 ACRES, CUMULATIVELY, MAY BE DISTURBED AT ANY GIVEN TIME.

LIMIT OF DISTURBANCE (LOD) DEPICTS THE ULTIMATE DISTURBED AREA FOR THE PROJECT WHILE THE LIMIT OF WORK (LOW) DEPICTS THE EXPECTED DISTURBED AREA FOR THE PARTICULAR PHASE OF CONSTRUCTION.

NOTE: SEE SHEET 50 FOR UPDATED LOT NUMBERS AS BUILT INAS  
 FOR REVISION 3 ONLY



OWNER: PM PATAPSCO LLC  
 12115 ARBIE ROAD  
 SILVER SPRING, MD 20904  
 CONTACT: MR. SIMON ROSENBERG  
 PHONE: (301) 522-0645

DEVELOPER: NAI THE MICHAEL COMPANIES  
 10100 BUSINESS PARKWAY, LANHAM, MD 20706  
 CONTACT: BRIAN GOLDSTEIN  
 PHONE: (301) 916-2956

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	SECTION/AREA	LOT/PARCEL NO.
ESTATES AT PATAPSCO PARK	NA	NA	NA
PLAT # OR L.P.:	GRD #:	TAX MAP NO.:	ELECT. DIST.:
15148485 & 15148497	5, 6, 11, 12	17	2ND
PREVIOUS FILE NO.:	PROFESSIONAL CERTIFICATION		CENSUS TRACT:
SP-13-012 FCP-13-029 WP-13-165 PB CASE NO. 403	I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 43012, EXPIRATION DATE: 7/31/15		

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
 11400 EAST 15TH AVENUE  
 SUITE 100  
 DENVER, CO 80231

SUB OFFICES:  
 BOWLE, MD  
 TOWSON, MD  
 CHARLOTTE, NC  
 CHALFONT, PA  
 PHILADELPHIA, PA  
 TAMPA, FL

CIVIL & CONSULTING ENGINEERS  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

PROFESSIONAL ENGINEER  
 BRANDON R. ROWE  
 LICENSE NO. 43012  
 EXPIRATION DATE: 7/31/15

**REVISIONS**

REV	DATE	COMMENT	BY
3	11/20/13	AS BUILT	BRR

**NOT APPROVED FOR CONSTRUCTION**

PROJECT NO. MD132008  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 12/11/14  
 SCALE: AS SHOWN  
 CAD/D.L.: EGG

**FINAL ROAD CONSTRUCTION PLANS**

FOR  
**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 203-397 AND  
 OPEN SPACE LOTS 196 - 202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**

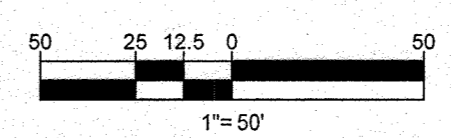
901 DULANEY VALLEY ROAD,  
 SUITE 801  
 TOWSON, MARYLAND 21204  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**B. R. ROWE**

PROFESSIONAL ENGINEER  
 43012

**EROSION & SEDIMENT CONTROL PHASE III PLAN**

SHEET NUMBER: 32





REVISIONS			
REV	DATE	COMMENT	BY
3	11/30/14	AS BUILT	BRB

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL 411 (TOLL FREE 1-800-242-4848) (PA 1-800-242-1776) (DC 1-800-257-7777) (VA 1-800-652-7001) (MD 1-800-257-7777) (DE 1-800-292-8859)

**NOT APPROVED FOR CONSTRUCTION**

PROJECT No: MD132028  
 DRAWN BY: RLB  
 CHECKED BY: BRB  
 DATE: 12/11/14  
 SCALE: AS SHOWN  
 CAD ID: EDZ

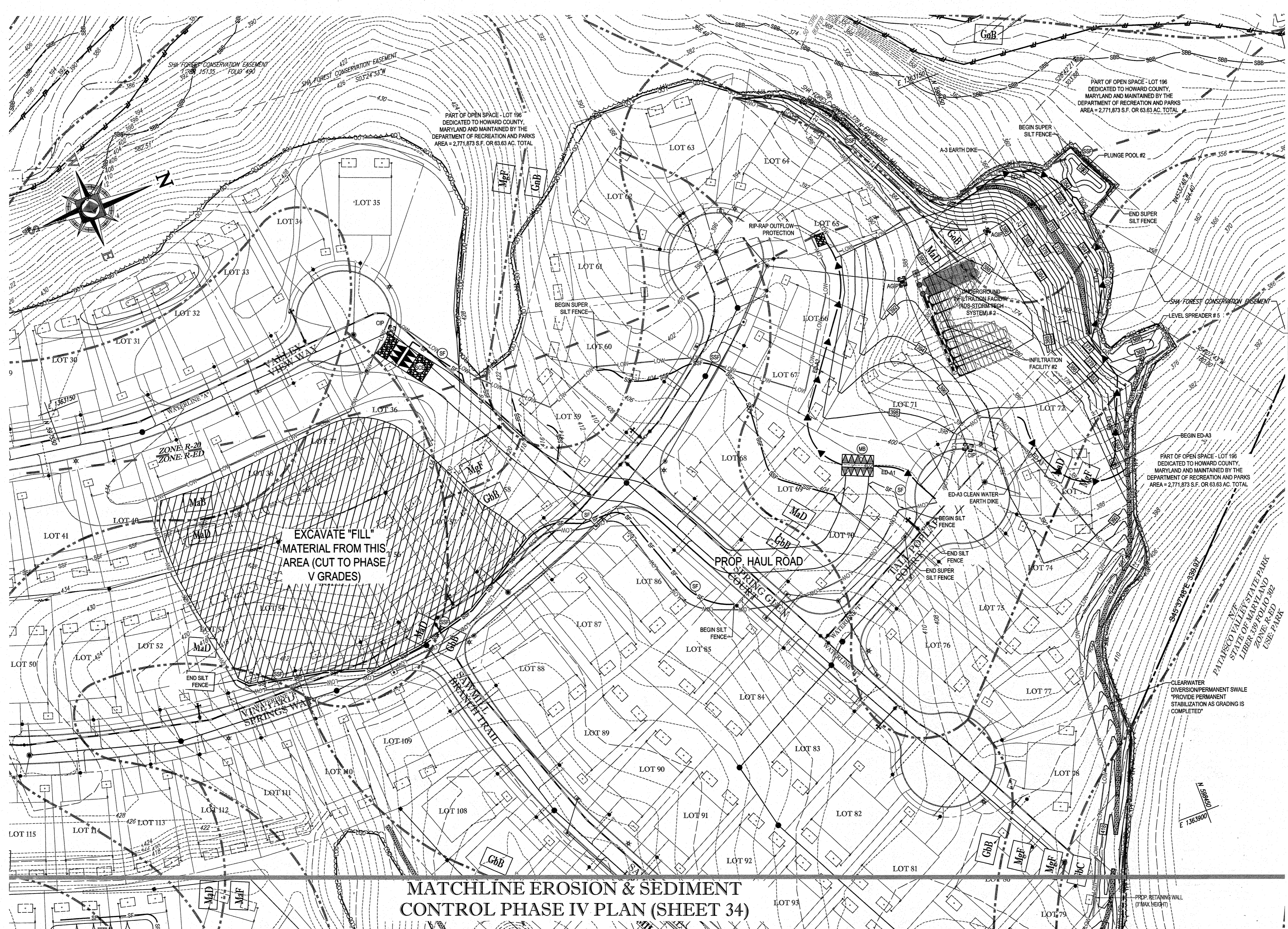
**FINAL ROAD CONSTRUCTION PLANS**

FOR  
**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 203-397 AND  
 OPEN SPACE LOTS 196 - 202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**  
 901 DULANEY VALLEY ROAD,  
 SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**B.R. ROWE**  
 PROFESSIONAL ENGINEER  
 12/18/14

**EROSION & SEDIMENT CONTROL PHASE IV PLAN**  
 SHEET NUMBER: 33



**TGOS No.13**  
 MAX DRAINAGE AREA = 1.5 AC.  
 STORAGE REQ. = 2,700 C.F.  
 TOP OF WEIR EL. = 327.25  
 \*CONTRACTOR SHALL PROVIDE THE REQUIRED STORAGE VOLUME.

**EROSION AND SEDIMENT CONTROL LEGEND**

[Symbol]	STABILIZED CONSTRUCTION ENTRANCE
[Symbol]	RIP-RAP OUTLET PROTECTION
[Symbol]	SILT FENCE
[Symbol]	EARTH DIKE (A-1 SEED VMULCH AND TRACK, A-2 STABILIZED MATTINGS OR SOD)
[Symbol]	SUPER SILT FENCE
[Symbol]	TREE PROTECTION FENCE
[Symbol]	LIMIT OF DISTURBANCE
[Symbol]	LIMIT OF WORK (PHASE IV)
[Symbol]	BAFFLE BOARD
[Symbol]	RIP-RAP INFLOW PROTECTION
[Symbol]	STEEP SLOPES (15%-25%)
[Symbol]	STEEP SLOPES (>25%)
[Symbol]	SOIL DIVIDE
[Symbol]	SOIL LABEL
[Symbol]	AT GRADE INLET PROTECTION
[Symbol]	STANDARD INLET PROTECTION
[Symbol]	CURB INLET PROTECTION
[Symbol]	MODIFIED AT GRADE INLET PROTECTION
[Symbol]	MODIFIED CURB INLET PROTECTION
[Symbol]	TEMPORARY GABION OUTLET STRUCTURE
[Symbol]	REMOVABLE PUMP STATION
[Symbol]	PIPE SLOPE DRAIN (CLEAR WATER DIVERSION)

**ENGINEER'S CERTIFICATE**  
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

12/10/14  
 SIGNATURE OF ENGINEER: BRANDON R. ROWE  
 DATE

**DEVELOPER'S CERTIFICATE**  
 I HAVE HEREBY CERTIFIED THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

12/10/14  
 SIGNATURE OF DEVELOPER: John K. Ritten  
 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

12/10/14  
 SIGNATURE OF HOWARD SCD: [Signature]  
 DATE

APPROVED DEPARTMENT OF PUBLIC WORKS  
 1/8/2015  
 SIGNATURE: [Signature]  
 DATE

APPROVED DEPARTMENT OF PLANNING AND ZONING  
 2-9-15  
 SIGNATURE: [Signature]  
 DATE

6.15.15  
 SIGNATURE: [Signature]  
 DATE

GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OR RECORD WRITER PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ANY CONCORDING WITH LOCAL REGULATIONS AND CODES.

- EROSION AND SEDIMENT CONTROL NOTES:**
- TEMPORARY DIVERSION DIKES SHALL HAVE A MIN. SLOPE OF 0.50%.
  - CONTRACTOR TO ACCOUNT FOR BASEMENT CUT BY LOWERING ELEVATIONS OF LOTS AS REQUIRED. GENERAL GRADING DESIGN SHOULD REMAIN THE SAME. LOTS SHOULD BE BROUGHT TO FINAL GRADE AFTER SDP APPROVAL WHEN HOUSES ARE BUILT AND CUT IN BASEMENTS IS AVAILABLE.
  - REFER TO SHEET 41-44 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
  - ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
  - PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
  - SEE SHEETS 35-37 FOR PHASE V GRADING, AND SHEETS 46-49 FOR ULTIMATE GRADING.
  - ALL EARTH DIKES INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY - SAME DAY.
  - EITHER TEMPORARY OR PERMANENT SEEDING IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE TIME FRAMES REQUIRED BY THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE RESTRICTIVE.
  - CONTRACTOR TO INSTALL SOIL STABILIZATION MATTINGS IN ALL SWALES AND ON ALL SLOPES 3:1 OR GREATER.
  - IF A STOCKPILE EXCEEDS 15 FEET IN HEIGHT, IT MUST BE BENCHED.
  - IF A UTILITY CROSSES A PHASING LINE, THAT SECTION OF PIPE OR STRUCTURE CANNOT BE INSTALLED UNTIL THE LATER PHASE.

- EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES:**
- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED WITH SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
  - PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
  - ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
  - THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

- PHASE IV EROSION AND SEDIMENT CONTROL QUANTITIES:**
- |                                   |  |
|-----------------------------------|--|
| LIMIT OF WORK:                    | 243000 S.F. OR 5.58 AC                       |
| SILT FENCE:                       | 353 LF                                       |
| SUPER SILT FENCE:                 | 1078 LF                                      |
| TREE PROTECTION FENCE:            | 1578 LF                                      |
| AT GRADE INLET PROTECTION:        | 1 EA   |
| CURB INLET PROTECTION:            | 2 EA   |
| EARTH DIKE:                       | 800 LF                                       |
| EARTHWORK:                        | 17000 CY CUT<br>17000 CY FILL<br>0 CY EXPORT |
| STABILIZED CONSTRUCTION ENTRANCE: | 1 EA   |

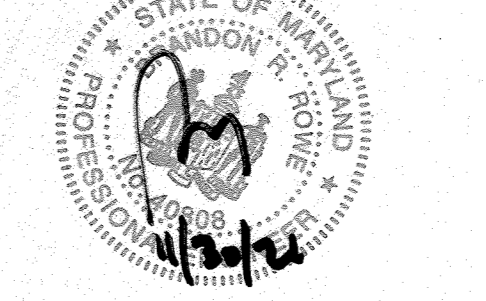
**INLET PROTECTION NOTE**  
 THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:  
 1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.  
 2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.

**BENCHMARK NOTE:**  
 THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAIN COORDINATE SYSTEM. HORIZONTAL AND VERTICAL CONTROL DATUM ARE BASED ON HOWARD COUNTY MONUMENT NOS. 17-27 AND 17-1A WHICH WERE USED FOR THIS PROJECT.

HOWARD COUNTY MONUMENT NO. 17-27 ELEV. = 469.399  
 HOWARD COUNTY MONUMENT NO. 17-1A ELEV. = 470.721

NOTE: SEE SHEET 50 FOR UPDATED LOT NUMBERS AS RECORDED UNDER FILE-051

FOR REVISION 3 ONLY NO AS BUILT INFO

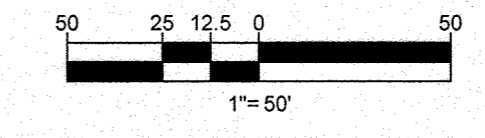


OWNER: PM PATAPSCO LLC  
 12116 ARBIE ROAD  
 SILVER SPRING, MD 20904  
 CONTACT: MR. SIMON ROSENBERG  
 PHONE: (301) 622-0645

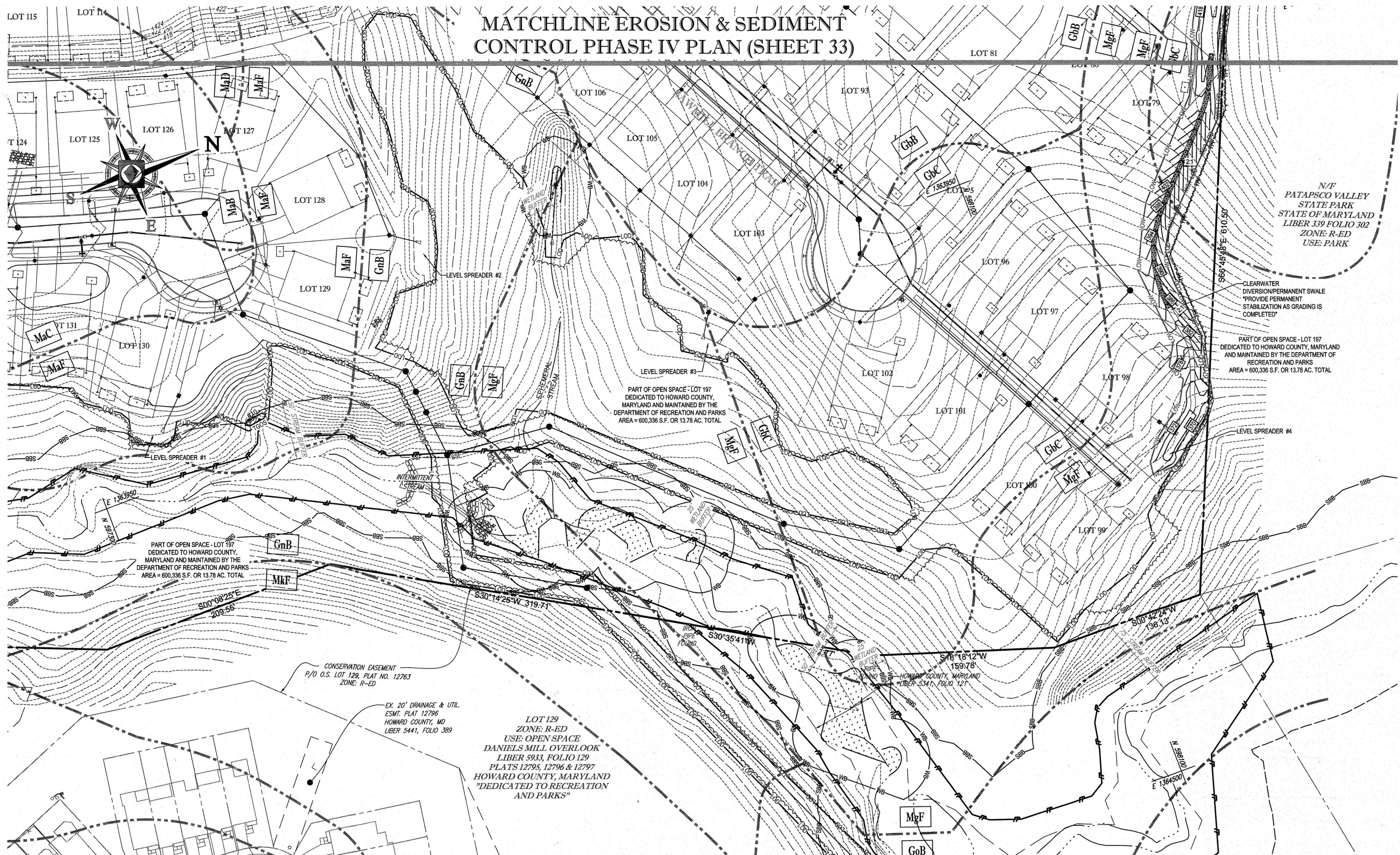
DEVELOPER: NAI THE MICHAEL COMPANIES  
 10100 BUSINESS PARKWAY, LANHAM, MD 20706  
 CONTACT: BRIAN GOLDSTEIN  
 PHONE: (301) 918-2955

PERMIT INFORMATION CHART

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA
PLAT # OR L.P.: 15149485 & 15149497	GRID # 5.6, 11, 12	ZONING: R-3 B RED
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403	TAX MAP NO.: 17	ELECT. DISTR.: 2ND
CENSUS TRACT:		



# MATCHLINE EROSION & SEDIMENT CONTROL PHASE IV PLAN (SHEET 33)



**BOHLER ENGINEERING**  
 CIVIL & CONSULTING ENGINEERS  
 SUBVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

CORPORATE OFFICE:  
 400 WEST 10TH AVENUE  
 DENVER, CO 80202  
 (303) 733-1100

OTHER OFFICES:  
 BOWEN, MD  
 TOWSON, MD  
 CHANTON, PA  
 CHARLOTTE, NC  
 TAMPA, FL  
 PHILADELPHIA, PA

REV	DATE	COMMENT	BY
3	11/18/14	AS BUILT	BR

**NOT APPROVED FOR CONSTRUCTION**

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO EXCURE THE EARTH'S SURFACE ANYWHERE IN THE STATES OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL: 1-800-245-4848 (PA 1-800-242-1776) (DC 1-800-257-7777) (VA 1-800-552-7001) (MD 1-800-257-7777) (DE 1-800-282-8559)

**FINAL ROAD CONSTRUCTION PLANS**

FOR

**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 205-217 AND  
 OPEN SPACE LOTS 196 - 202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**ENGINEER'S CERTIFICATE**  
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

12/15/14  
 SIGNATURE OF ENGINEER  
 BRANDON R. ROWE, P.E.

**DEVELOPER'S CERTIFICATE**  
 I/WE HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

12/10/14  
 SIGNATURE OF DEVELOPER

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 1/8/2015

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 7/9/15

6:15:15

- EROSION AND SEDIMENT CONTROL NOTES:**
- TEMPORARY DIVERSION DIKES SHALL HAVE A MIN. SLOPE OF 0.50%.
  - CONTRACTOR TO ACCOUNT FOR BASEMENT CUT BY LOWERING ELEVATIONS OF LOTS AS REQUIRED. GENERAL GRADING DESIGN SHOULD REMAIN THE SAME. LOTS SHOULD BE BROUGHT TO FINAL GRADE AFTER SDP APPROVAL WHEN HOUSES ARE BUILT AND CUT IN BASEMENTS IS AVAILABLE.
  - REFER TO SHEET 41-44 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
  - ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
  - PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
  - SEE SHEETS 35-37 FOR PHASE V GRADING, AND SHEETS 45-49 FOR ULTIMATE GRADING.
  - ALL EARTH DIKES INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY - SAME DAY.
  - EITHER TEMPORARY OR PERMANENT SEEDING IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE TIME FRAMES REQUIRED BY THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE RESTRICTIVE.
  - CONTRACTOR TO INSTALL SOIL STABILIZATION MATTING IN ALL SWALES AND ON ALL SLOPES 3:1 OR GREATER.
  - IF A STOCKPILE EXCEEDS 15 FEET IN HEIGHT, IT MUST BE BENCHED.
  - IF A UTILITY CROSSES A PHASING LINE, THAT SECTION OF PIPE OR STRUCTURE CANNOT BE INSTALLED UNTIL THE LATER PHASE.

**EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES:**

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

**PHASE IV EROSION AND SEDIMENT CONTROL QUANTITIES:**

LIMIT OF WORK:	243000 S.F. OR 5.58 AC
SILT FENCE:	353 LF
SUPER SILT FENCE:	1078 LF
TREE PROTECTION FENCE:	1572 LF
AT GRADE INLET PROTECTION:	1 EA
CURB INLET PROTECTION:	2 EA
EARTH DIKE:	800 LF
EARTHWORK:	17000 CY CUT 17000 CY FILL 0 CY EXPORT 1 EA

**INLET PROTECTION NOTE**

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:  
 1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.  
 2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

FOR REVISION 3 ONLY  
 NO AS BUILT MTD

NOTE: SEE SHEET 50 FOR UPDATED LOT NUMBERS AS REFERRED UNDER P116-051

**BENCHMARK NOTE:**

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANNING COORDINATE SYSTEM HORIZONTAL AND VERTICAL CONTROL DATUM ARE BASED ON HOWARD COUNTY MONUMENT NOS. 17-F7 AND 17-FA WHICH WERE USED FOR THIS PROJECT.

HOWARD COUNTY MONUMENT NO. 17-F7 ELEV. = 462.369  
 HOWARD COUNTY MONUMENT NO. 17-FA ELEV. = 478.721

OWNER:	PM PATAPSCO LLC 12116 ARBIE ROAD SILVER SPRING, MD 20904 CONTACT: MR. SIMON ROSENBERG PHONE: (301) 622-0645
DEVELOPER:	NAI THE MICHAEL COMPANIES 10100 BUSINESS PARKWAY, LANHAM, MD 20706 CONTACT: BRIAN GOLDBSTEIN PHONE: (301) 918-2955

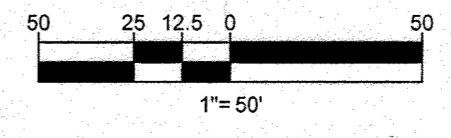
PERMIT INFORMATION CHART	
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA
LOT/PHASE NO.: NA	
PLAT # OR L.P.: 1514848 & 1514947	GRID # 5.6, 11, 12
ZONING: R-20 & RED	TAX MAP NO.: 17
ELECT. DIST. 2ND	CENSUS TRACT:
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403	PROFESSIONAL CERTIFICATION I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 48088, EXPIRATION DATE: 7/31/15

**BOHLER ENGINEERING**  
 901 DULANEY VALLEY ROAD,  
 SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

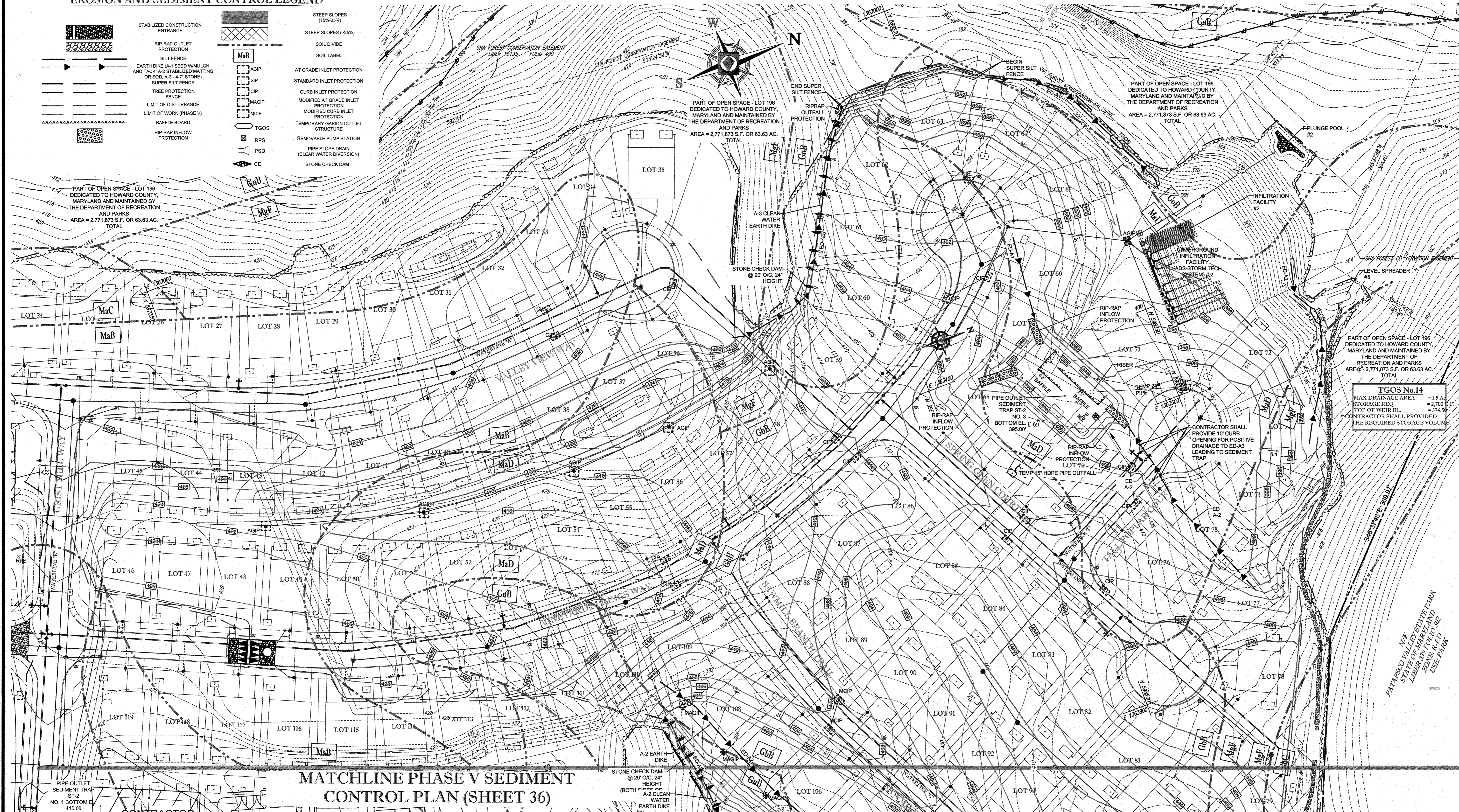
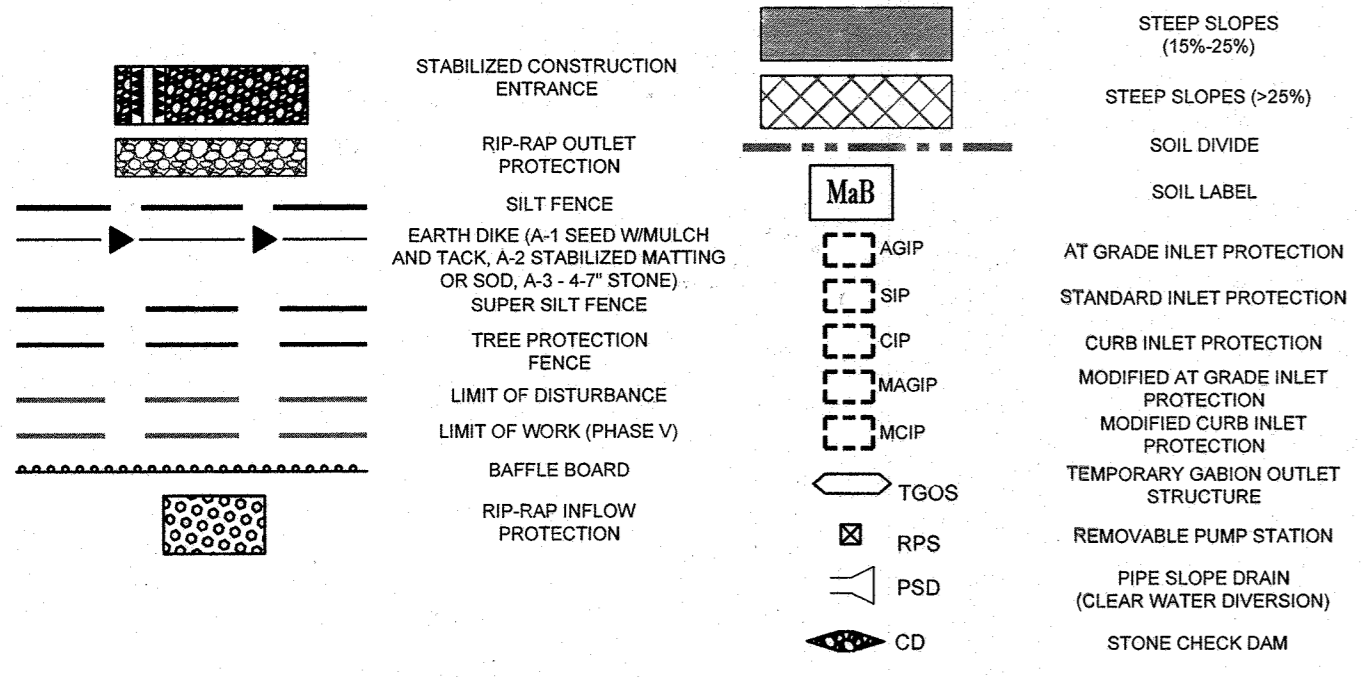
**B.R. ROWE**  
 PROFESSIONAL ENGINEER  
 11/3/14

SHEET TITLE:  
**EROSION & SEDIMENT CONTROL PHASE IV PLAN**  
 SHEET NUMBER:  
**34**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR ANY OTHER CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS SHOWN BY THE DRAWINGS AND ALL FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.



**EROSION AND SEDIMENT CONTROL LEGEND**



**MATCHLINE PHASE V SEDIMENT CONTROL PLAN (SHEET 36)**

**BENCHMARK NOTE:**

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANNING COORDINATE SYSTEM HORIZONTAL AND VERTICAL CONTROL DATUM ARE BASED ON HOWARD COUNTY MONUMENT NOS. 11771 AND 1177A WHICH WERE USED FOR THIS PROJECT.

HOWARD COUNTY MONUMENT NO. 11777 ELEV. = 469.399  
HOWARD COUNTY MONUMENT NO. 1177A ELEV. = 476.721

**ENGINEER'S CERTIFICATE**  
"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER: [Signature] DATE: 1/15/14

**DEVELOPER'S CERTIFICATE**  
"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROGRAM WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF DEVELOPER: [Signature] DATE: 1/10/14

**EROSION AND SEDIMENT CONTROL NOTES:**

- TEMPORARY DIVERSION DIKES SHALL HAVE A MIN. SLOPE OF 0.50%.
- CONTRACTOR TO ACCOUNT FOR BASEMENT CUT BY LOWERING ELEVATIONS OF LOTS AS REQUIRED. GENERAL GRADING DESIGN SHOULD REMAIN THE SAME. LOTS SHOULD BE BROUGHT TO FINAL GRADE AFTER SOF APPROVAL WHEN MOVERS ARE BUILT AND OUT IN BASEMENTS IS AVAILABLE.
- REFER TO SHEETS 41 - 44 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- REPAIRED IMMEDIATELY.
- SEE SHEETS 45-49 FOR ULTIMATE GRADING.
- ALL EARTH DIKES INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY - SAME DAY.
- EITHER TEMPORARY OR PERMANENT SEEDING IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE TIME FRAMES REQUIRED BY THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTOR TO INSTALL SOIL STABILIZATION MATTING IN ALL SWALES AND ON ALL SLOPES 3:1 OR GREATER.
- IF A STOCKPILE EXCEEDS 15 FEET IN HEIGHT, IT MUST BE BENCHED.
- IF A UTILITY CROSSES A PHASING LINE, THAT SECTION OF PIPE OR STRUCTURE CANNOT BE INSTALLED UNTIL THE LATER PHASE.

**EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES:**

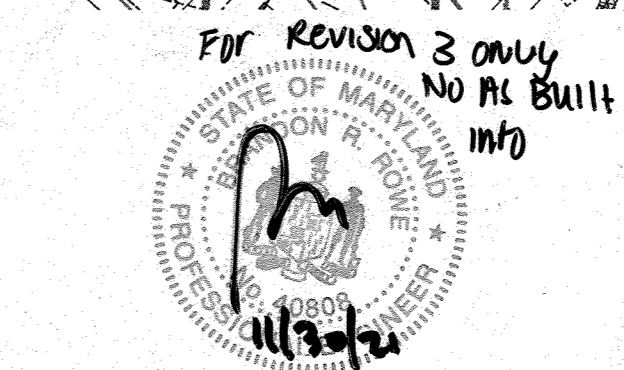
- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE) OF TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

**INLET PROTECTION NOTE**

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:  
1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.  
2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.  
ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE 2.2. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

**PHASE V EROSION AND SEDIMENT CONTROL QUANTITIES:**

LIMIT OF WORK:	791000 S.F. OR 18.16 AC
SILT FENCE:	720 LF
SUPER SILT FENCE:	387 LF
TRIPLE PROTECTION FENCE:	1472 LF
AT GRADE INLET PROTECTION:	19 EA
CURB INLET PROTECTION:	20 EA
EARTH DIKE:	2235 LF
EARTHWORK:	75000 CY CUT 17500 CY FILL 0 CY EXPORT 1 EA
STABILIZED CONSTRUCTION ENTRANCE:	
SPOIL MATERIAL SHALL BE DISCARDED AT A SITE WITH AN ACTIVE GRADING PERMIT AND APPROVED SEDIMENT CONTROL PLAN. BORROW MATERIAL SHALL BE OBTAINED FROM AN APPROVED SOURCE WITH AN ACTIVE GRADING PERMIT AND AN APPROVED SEDIMENT CONTROL PLAN.	
NOTE: A MAXIMUM OF 20 ACRES OF ACTIVE DISTURBANCE AREA WITH AN ADDITIONAL 10 ACRES OF RECENTLY STABILIZED OR TRANSITIONAL AREA IS PERMITTED. NO MORE THAN 30 ACRES, CUMULATIVELY, MAY BE DISTURBED AT ANY GIVEN TIME.	
LIMIT OF DISTURBANCE (LOD) DEPICTS THE ULTIMATE DISTURBED AREA FOR THE PROJECT. WHILE THE LIMIT OF WORK (LOW) DEPICTS THE EXPECTED DISTURBED AREA FOR THE PARTICULAR PHASE OF CONSTRUCTION.	



NOTE: SEE SHEET 50 FOR UPDATED LOT NUMBERS AS RECORDED UNDER FILE NO. 051

OWNER: PM PATAPSCO LLC  
12116 ARBIE ROAD  
SILVER SPRING, MD 20904  
CONTACT: MR. SIMON ROSENBERG  
PHONE: (301) 622-0645

DEVELOPER: NAI THE MICHAEL COMPANIES  
10100 BUSINESS PARKWAY, LANHAM, MD 20706  
CONTACT: BRIAN GOLDSTEIN  
PHONE: (301) 918-2955

PERMIT INFORMATION CHART

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION AREA: N/A	LOT/PARCEL NO.: N/A
PLAT # OR LF: 15149485 & 15149497	GRID # 5.6, 11, 12	ZONING: R-20 & R-ED
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403	TAX MAP NO.: 17	ELECT DISTR: 2ND CENSUS TRACT:

**BOHLER ENGINEERING**

CORPORATE OFFICE: WYOMING, NJ

OFFICES: BOWIE, MD; TOWSON, MD; WASHINGTON, VA; CHANTON, VA; PHILADELPHIA, PA; TAMPA, FL

CIVIL & CONSULTING ENGINEERS SURVEYORS

PROJECT MANAGERS: ENVIRONMENTAL CONSULTANTS LANDSCAPE ARCHITECTS

**REVISIONS**

REV	DATE	COMMENT	BY
3	1/10/14	AS BUILT	BER

**NOT APPROVED FOR CONSTRUCTION**

PROJECT NO.: MD132008  
DRAWN BY: RLB  
CHECKED BY: BRR  
DATE: 12/11/14  
SCALE: AS SHOWN  
CAD I.D.: EE2

**FINAL ROAD CONSTRUCTION PLANS**

FOR

**ESTATES AT PATAPSCO PARK**

BUILDABLE LOTS 209-374 AND OPEN SPACE LOTS 196 - 202

LOCATION OF SITE: MD ROUTE 99 ROGERS AVENUE HOWARD COUNTY

**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD, SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
www.BohlerEngineering.com

**B.R. ROWE**

PROFESSIONAL ENGINEER

SHEET TITLE: **EROSION & SEDIMENT CONTROL PHASE V PLAN**

SHEET NUMBER: **35**



**PIPE OUTLET SEDIMENT TRAP NO.4 DATA TABLE**

PIPE OUTLET SEDIMENT TRAP (ST-1) @ I-13  
 EXISTING DRAINAGE AREA = 0.73 AC.  
 WORST CASE INTERIM DRAINAGE AREA = 6.11 AC.  
 WET STORAGE VOL. REQUIRED = 0.25 AC. FT.  
 WET STORAGE VOL. PROVIDED = 0.25 AC. FT.  
 WET STORAGE ELEV = 368.25  
 DRY STORAGE REQUIRED = 0.25 AC. FT.  
 DRY STORAGE WSEL = 370.00  
 EXISTING Q-1 YR. = 0.08 C.F.S.  
 INTERIM Q-1 YR. = 1.32 C.F.S.  
 SAFE PASS OF 10 YR. STORM PROVIDED  
 Q10 = 38.57 C.F.S. (23.9 CFS ROUTED)  
 10 YR. WSEL = 370.68  
 BOTTOM ELEV = 367.00  
 TOP OF EMBANKMENT ELEV = 372.20  
 RISER CREST ELEV = 370.00  
 TRASH RACK DIA. = 18"  
 TRASH RACK HEIGHT = 33"  
 EMERGENCY SPILLWAY ELEV = NONE  
 CLEANOUT ELEV = 367.53  
 EMBANKMENT TOP WIDTH = 4'  
 SIDE SLOPES: 3:1 INTERIOR - 2:1 EXTERIOR

**BAFFLE COMPUTATION 7**

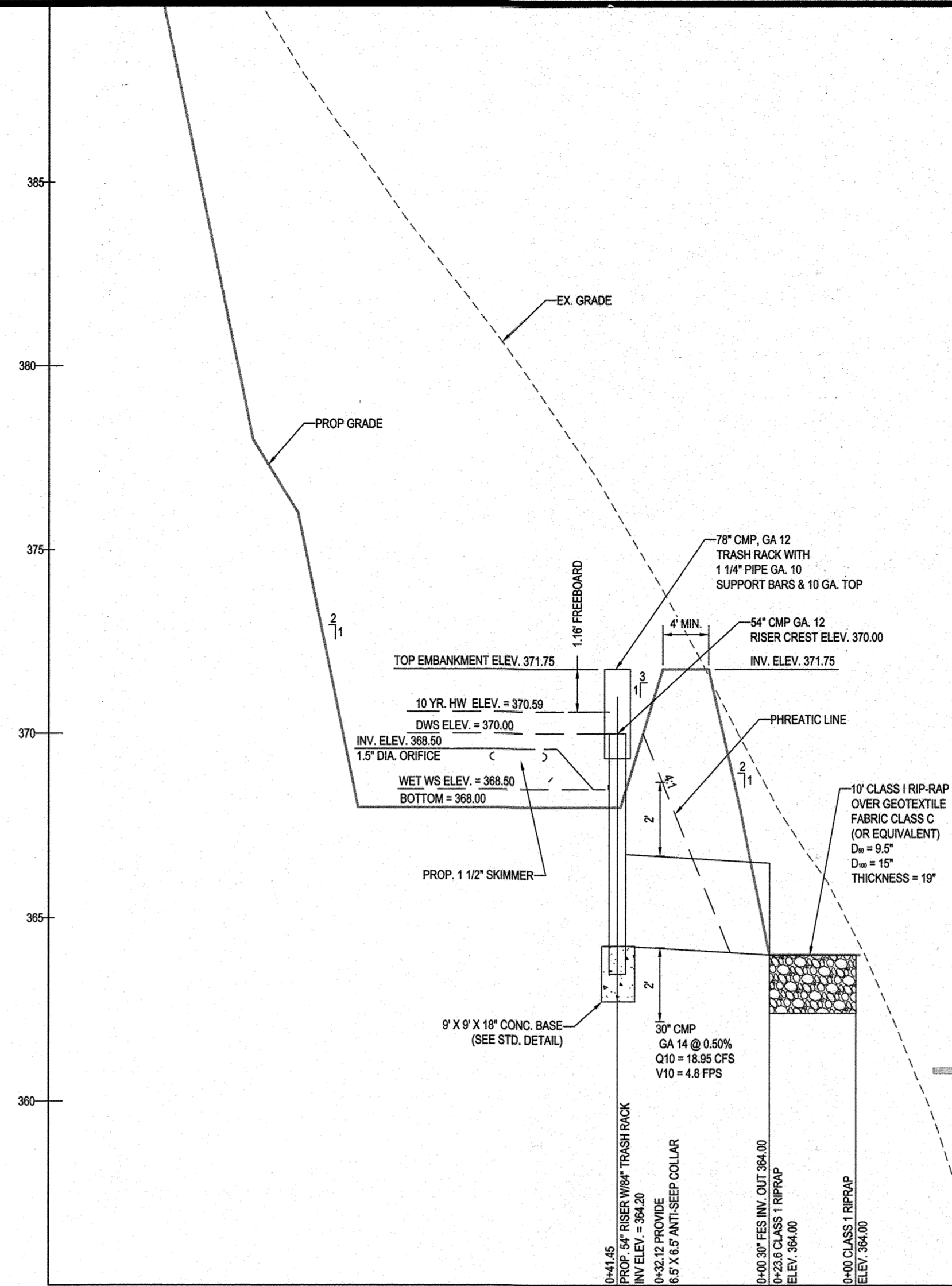
D = 137"  
 A WET POOL = 10,890 CF  
 $W_e = \sqrt{A(2)} = 74'$   
 $L_e = 2W_e = 148'$  REQUIRED  
 $L_e = 151'$  PROVIDED

**BAFFLE COMPUTATION 8**

D = 66"  
 A WET POOL = 10,890 CF  
 $W_e = \sqrt{A(2)} = 74'$   
 $L_e = 2W_e = 148'$  REQUIRED  
 $L_e = 151'$  PROVIDED

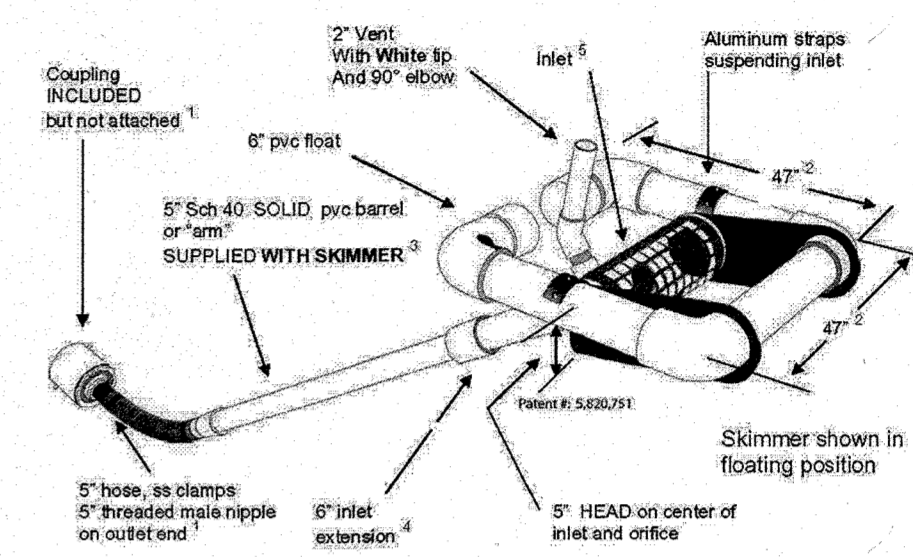


**PIPE OUTLET SEDIMENT TRAP NO. 4**  
 SCALE: 1"=30'



**PIPE OUTLET SEDIMENT TRAP NO. 4**  
**PROFILE THROUGH PIPE OUTLET STRUCTURE**  
 SCALE: HORIZ. 1"=30'  
 VERT. 1"=3'

**6" Faircloth Skimmer® Cut Sheet**  
 J. W. Faircloth & Son, Inc.  
 www.FairclothSkimmer.com



- Hose can be attached to outlet using the threaded 5" nipple. Typical methods used: on a metal structure a steel stubout welded on the side at the bottom with a 5" threaded coupling or reducers; on a concrete structure with a hole or orifice at the bottom, use a steel plate with a hole and coupling welded to it that will fit over the hole in the concrete and bolted to the structure with rebar.
- Dimensions are approximate, not intended as plans for construction.
- Barrel (solid, not foam core pipe) should be 1.4 times the depth of water with a minimum length of 6' so the inlet can be pulled to the side for maintenance. If more than 12' long weight may have to be added to inlet to counter the increased buoyancy.
- Inlet tapers down from 6" maximum inlet to 5" barrel and hose. Barrel is smaller to reduce buoyancy and tendency to lift inlet but is sufficient for flow through inlet because of slope. The inlet orifice can be reduced using the plug and cutter provided to control the outflow rate.
- Inlet is 10" pipe between the strata with slots cut in the inlet and aluminum screen door (smaller than shown in illustration) for access to the 6" inlet and orifice inside.
- Capacity: 51,840 cubic feet per day maximum with 6" inlet and 5" head. Inlet can be reduced by installing a smaller orifice using the plug and cutter provided to adjust flow rate for the particular basin volume and drawdown time required.
- Shipped assembled. User glues inlet extension and barrel, installs vent, cuts orifice in plug and attaches to outlet pipe or structure. Includes flexible hose, rope, orifice cutter, etc.

Sketch-TM 11-07 November 14, 2007

**PIPE OUTLET SEDIMENT TRAP ST-2 NO. 3 DATA TABLE**

PIPE OUTLET SEDIMENT TRAP (ST-1)  
 EXISTING DRAINAGE AREA = 0.89 AC.  
 WORST CASE INTERIM DRAINAGE AREA = 2.14 AC.  
 WET STORAGE VOL. REQUIRED = 0.09 AC. FT.  
 WET STORAGE VOL. PROVIDED = 0.15 AC. FT.  
 WET STORAGE ELEV = 397.00  
 DRY STORAGE REQUIRED = 0.09 AC. FT.  
 DRY STORAGE PROVIDED = 0.22 AC. FT.  
 DRY STORAGE WSEL = 398.50  
 EXISTING Q-1 YR. = 0.05 C.F.S.  
 INTERIM Q-1 YR. = 1.54 C.F.S.  
 SAFE PASS OF 10 YR. STORM PROVIDED  
 Q10 = 6.87 C.F.S.  
 10 YR. WSEL = 398.88  
 BOTTOM ELEV = 398.00  
 TOP OF EMBANKMENT ELEV = 400.00  
 RISER CREST ELEV = 398.50  
 TRASH RACK DIA. = 54"  
 TRASH RACK HEIGHT = 25"  
 EMERGENCY SPILLWAY ELEV = NONE  
 CLEANOUT ELEV = 396.30  
 EMBANKMENT TOP WIDTH = 4'  
 SIDE SLOPES: 3:1 INTERIOR - 2:1 EXTERIOR

**BAFFLE COMPUTATION 9**

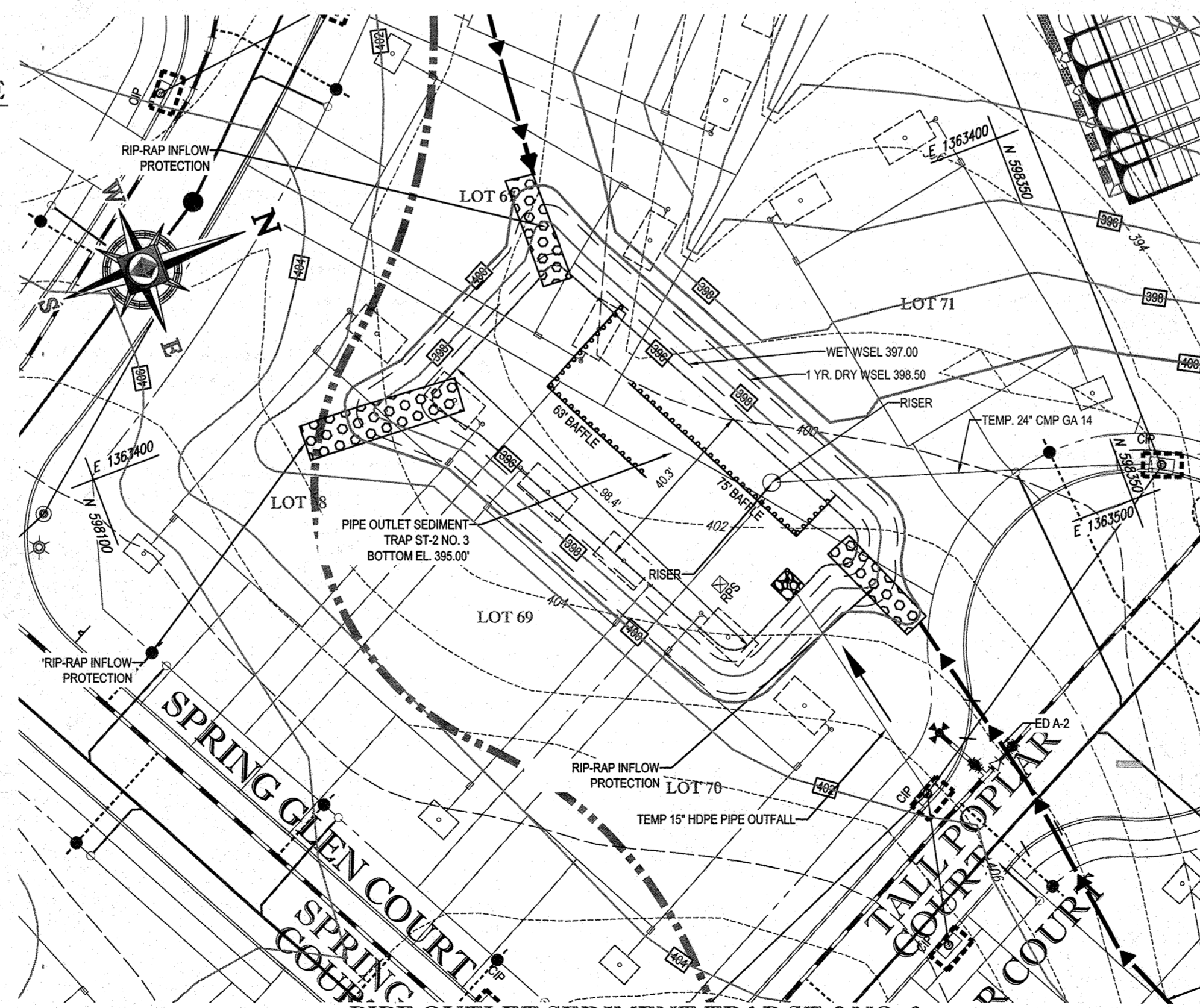
D = 31"  
 A WET POOL = 6534 CF  
 $W_e = \sqrt{A(2)} = 57'$   
 $L_e = 2W_e = 114'$  REQUIRED  
 $L_e = 117'$  PROVIDED

**BAFFLE COMPUTATION 10**

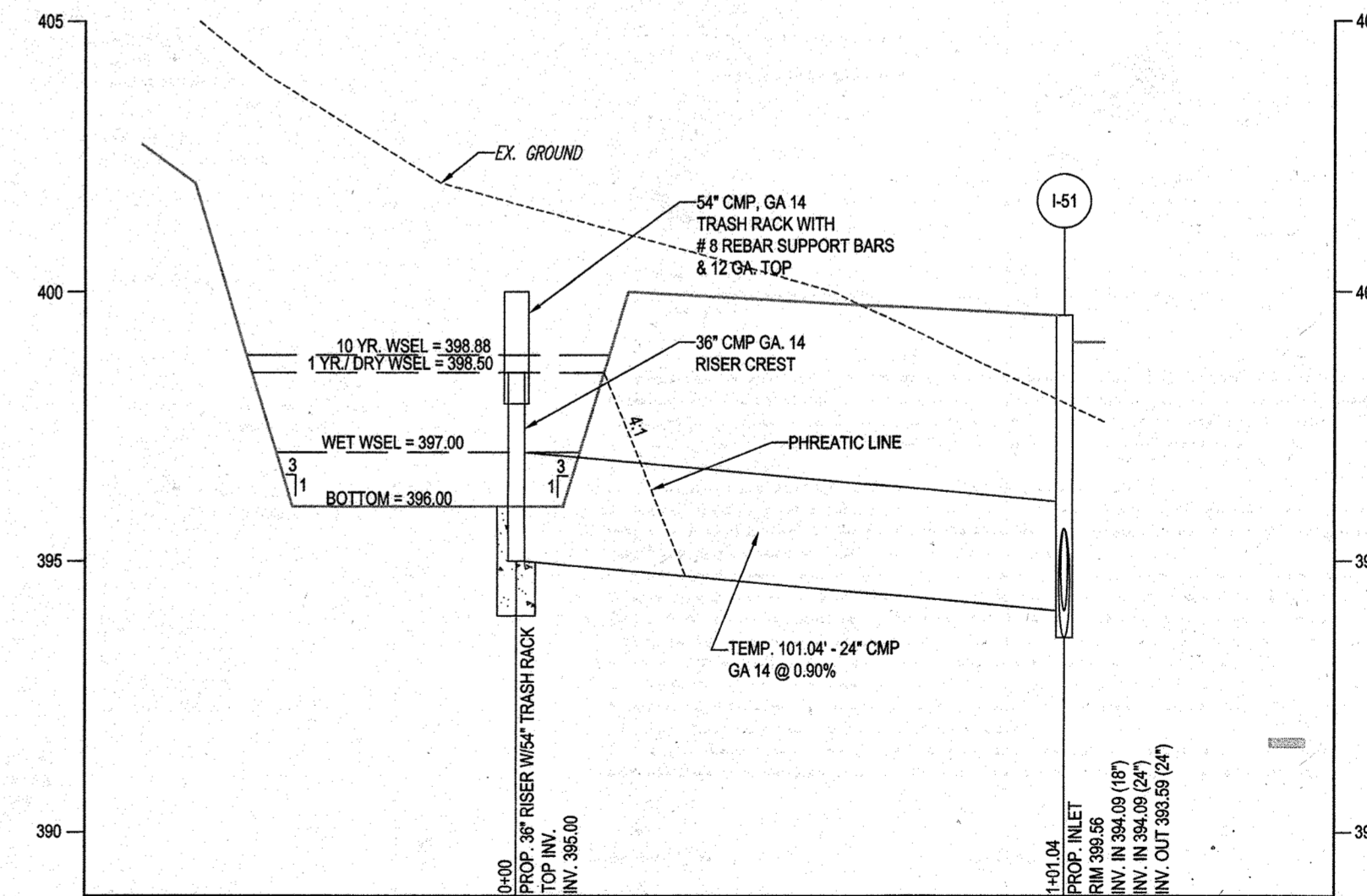
D = 91"  
 A WET POOL = 6534 CF  
 $W_e = \sqrt{A(2)} = 57'$   
 $L_e = 2W_e = 114'$  REQUIRED  
 $L_e = 130'$  PROVIDED

**BAFFLE COMPUTATION 11**

D = 80"  
 A WET POOL = 6534 CF  
 $W_e = \sqrt{A(2)} = 57'$   
 $L_e = 2W_e = 114'$  REQUIRED  
 $L_e = 138'$  PROVIDED



**PIPE OUTLET SEDIMENT TRAP ST-2 NO. 3**  
 SCALE: 1"=30'



**PIPE OUTLET SEDIMENT TRAP ST-2 NO. 3**  
**PROFILE THROUGH PIPE OUTLET STRUCTURE**  
 SCALE: HORIZ. 1"=30'  
 VERT. 1"=3'

For Remain 3 only  
 No As Built info

NOTE: SEE SHEET 50 FOR  
 UPDATED LOT NUMBERS  
 AS REQUIRED

OWNER: PM PATAPSCO LLC  
 12116 ARBIE ROAD  
 SILVER SPRING, MD 20904  
 CONTACT: MR. SIMON ROSENBERG  
 PHONE: (301) 622-0645  
 DEVELOPER: NAI THE MICHAEL COMPANIES  
 10100 BUSINESS PARKWAY, LANHAM, MD 20706  
 CONTACT: BRIAN GOLDSTEIN  
 PHONE: (301) 918-2955

PERMIT INFORMATION CHART			
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA	
PLAT # OR L.P.: 15484045 & 15484047	GRID # & E, N, 1, 2	ZONING: R-20 & RED	TAX MAP NO.: 17
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403	ELECT. DISTR.: 2ND	CENSUS TRACT:	

PROFESSIONAL CERTIFICATION  
 I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 43008, EXPIRATION DATE: 7/31/2015

**ENGINEER'S CERTIFICATE**

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
 SIGNATURE OF ENGINEER: BRANDON R. ROWE  
 DATE: 12/15/14

**DEVELOPER'S CERTIFICATE**

"I HAVE HEREBY CERTIFIED THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
 SIGNATURE OF DEVELOPER: John R. Rowan  
 DATE: 12/10/14

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 CHIEF, BUREAU OF HIGHWAYS: [Signature]  
 DATE: 1/8/2015

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature]  
 DATE: 2-9-15

APPROVED: CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature]  
 DATE: 6-15-15

GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

**BOHLER ENGINEERING**  
 CORPORATE OFFICE: WYOMING, NJ  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS  
 CIVIL & CONSULTING ENGINEERS  
 OFFICES: SCARBOROUGH, MA; BOWNE, MD; TOWSON, MD; ALBANY, NY; CHALMERS, PA; PHILADELPHIA, PA; WASHINGTON, VA; WARRINGTON, VA; TAMPA, FL; PHILADELPHIA, PA.

REVISIONS			
REV	DATE	COMMENT	BY
3	11/29/14	AS BUILT	BCR

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXAMINING ENGINEERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL 811 (WV 1-800-242-4848) (PA 1-800-242-2778) (DC 1-800-257-7777) (VA 1-800-552-7071) (MD 1-800-227-7777) (DE 1-800-292-8850)

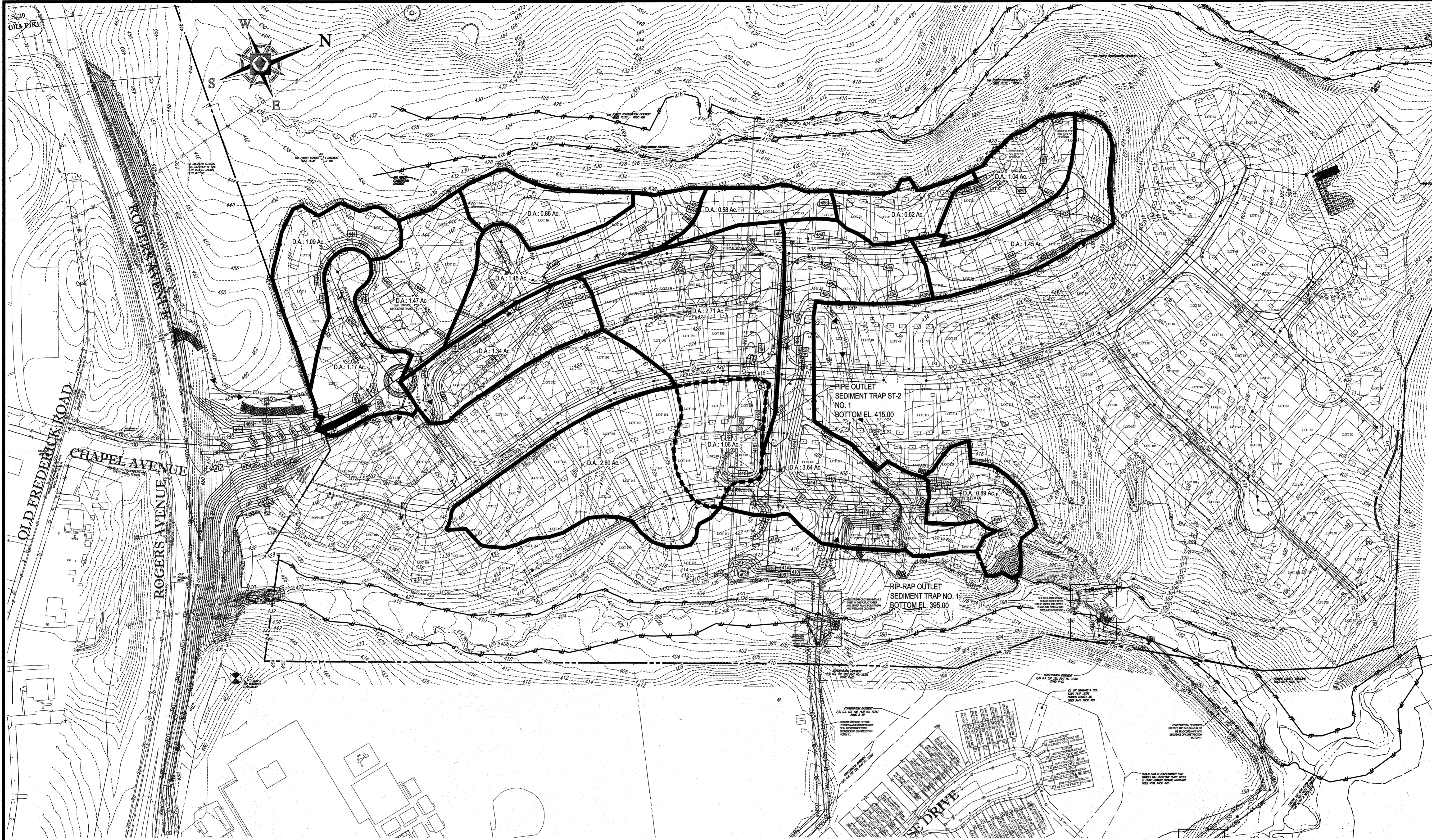
**NOT APPROVED FOR CONSTRUCTION**  
 PROJECT NO.: MD132009  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 12/11/14  
 SCALE: AS SHOWN  
 CAD I.D.: EE2

**FINAL ROAD CONSTRUCTION PLANS**  
 FOR  
**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 200-217 AND  
 OPEN SPACE LOTS 196 - 202  
 LOCATION OF 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**  
 901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**B.R. ROWE**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 43008

**EROSION & SEDIMENT CONTROL PHASE V PLAN**  
 SHEET NUMBER: 37



**BOHLER ENGINEERING**

CORPORATE OFFICE: NEW YORK, NY

CIVIL & CONSULTING ENGINEERS

SURVEYORS

PROJECT MANAGERS

ENVIRONMENTAL CONSULTANTS

LANDSCAPE ARCHITECTS

OFFICES:

- BOULDER, CO
- BOWIE, MD
- TOWSON, MD
- ALBANY, NY
- CHALCOTE, PA
- CHESAPEAKE, VA
- TAMPA, FL
- PHILADELPHIA, PA
- PHILADELPHIA, PA

REVISIONS

REV	DATE	COMMENT	BY
3	11/24/14	AS BUILT	BRR

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL - 811

(MD) 1-800-368-6849 (PA) 1-800-542-7777 (DC) 1-800-367-7777 (VA) 1-800-552-7001 (MD) 1-800-287-7777 (DE) 1-800-282-8555

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: MD132008

DRAWN BY: RLB

CHECKED BY: BRR

DATE: 12/11/14

SCALE: AS SHOWN

CAD I.D.: PSD

PROJECT: FINAL ROAD CONSTRUCTION PLANS

FOR ESTATES AT PATAPSCO PARK

BUILDABLE LOTS 203-209 AND OPEN SPACE LOTS 196 - 202

LOCATION OF SITE MD ROUTE 99 ROGERS AVENUE HOWARD COUNTY

**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD, SUITE 801

TOWSON, MARYLAND 21284

Phone: (410) 821-7900

Fax: (410) 821-7987

www.BohlerEngineering.com

**B.B. ROWE**

PROFESSIONAL ENGINEER

11/24/14

SHEET TITLE: EROSION & SEDIMENT CONTROL DRAINAGE AREA MAPS

SHEET NUMBER: 38

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robertson* 12/22/14

HOWARD SCD

APPROVED: DEPARTMENT OF PUBLIC WORKS

*Meunier* 1/8/2015

CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Wetzel* 7-9-15

CHIEF, DIVISION OF LAND DEVELOPMENT

*Chad* 6-15-15

CHIEF, DEVELOPMENT ENGINEERING DIVISION

GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL CODES.

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Brandon R. Rowe* 12/10/14

SIGNATURE OF ENGINEER

BRANDON R. ROWE, P.E.

DATE

DEVELOPER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Brandon R. Rowe* 12/10/14

SIGNATURE OF DEVELOPER

DATE

EROSION AND SEDIMENT CONTROL PHASE I

NOTE: THE PURPOSE OF THIS PLAN IS TO IDENTIFY THE DRAINAGE AREAS TO RIP-RAP OUTLET SEDIMENT TRAP NO. 1 AND PIPE OUTLET SEDIMENT TRAP ST-2 NO. 1

EROSION AND SEDIMENT CONTROL DRAINAGE AREA LEGEND

- EXISTING AND INTERIM DRAINAGE AREA TO RIP-RAP SEDIMENT TRAP NO. 1 - 1.06 AC.
- EXISTING DRAINAGE AREA TO PIPE OUTLET SEDIMENT TRAP ST-2 NO. 1 - 3.64 AC.
- INTERIM DRAINAGE AREA TO PIPE OUTLET SEDIMENT TRAP ST-2 NO. 1 - 3.64 AC.

NOTE: SEE SHEETS FOR UPDATED LOT NUMBERS AS RECORDED UNDER FIG-051

100 50 25 0 100

1"=100'

OWNER: PM PATAPSCO LLC

12115 ARBIE ROAD

SILVER SPRING, MD 20904

CONTACT: MR. SIMON ROSENBERG

PHONE: (301) 622-0645

DEVELOPER: NAI THE MICHAEL COMPANIES

\*10100 BUSINESS PARKWAY, LANHAM, MD 20706

CONTACT: BRIAN GOLUSTEIN

PHONE: (301) 916-2955

PERMIT INFORMATION CHART

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK

SECTION AREA: NA

LOT/PARCEL NO.: NA

FLAT # OR L.P.: 1514845 & 1514847

GRID #, S, E, 11, 12

ZONING: R-20 & RED

TAX MAP NO.: 17

ELECT DIST: 2ND

CENSUS TRACT: NA

PREVIOUS FILE NO.: SP-13-012

ECP-13-029

WP-13-165

PB CASE NO. 403

PROFESSIONAL CERTIFICATION

I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808, EXPIRATION DATE: 7/31/2015

FOR REVISION 3 ONLY

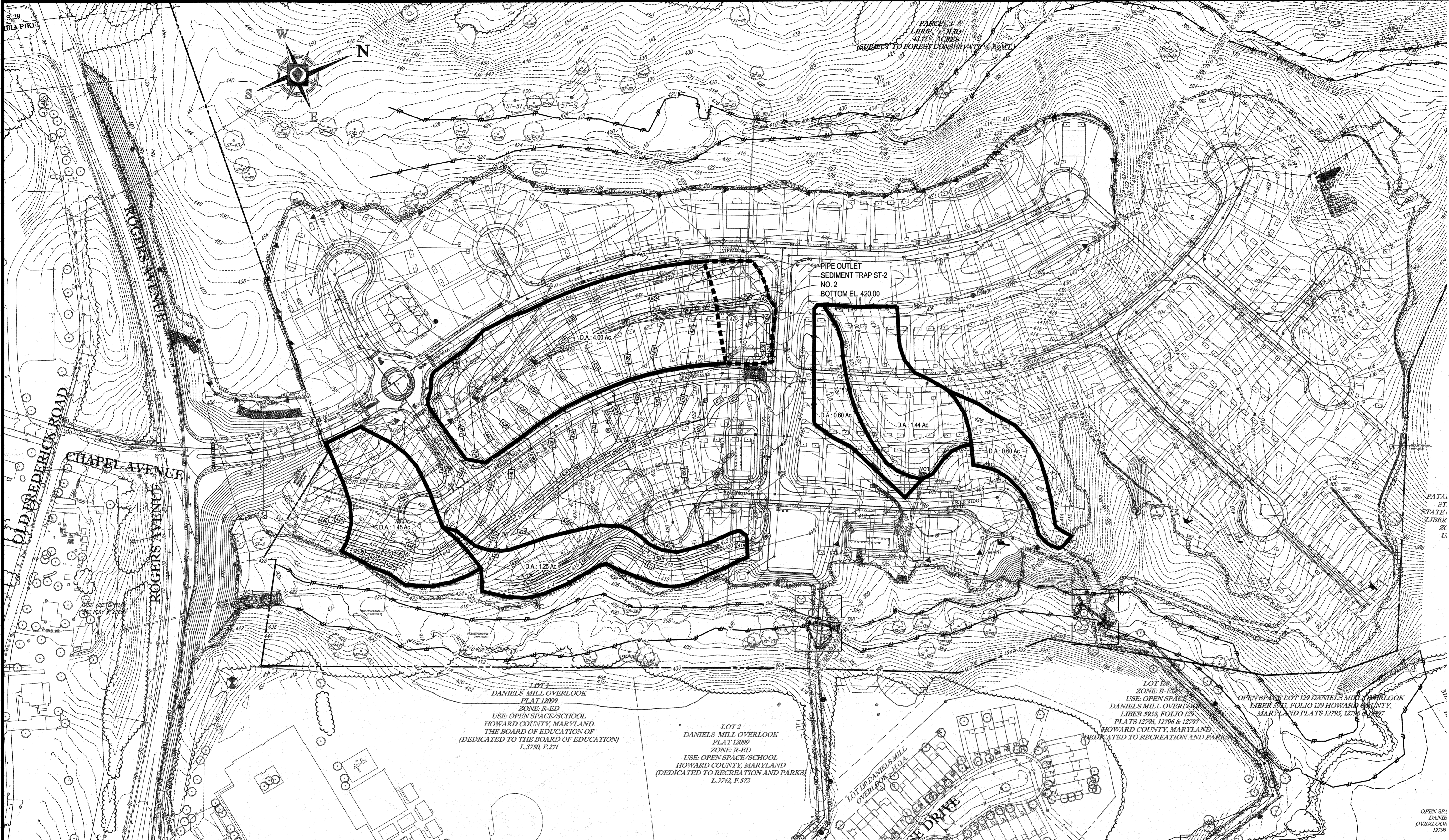
NO AS BUILT INFO

STATE OF MARYLAND

PROFESSIONAL ENGINEER

BRANDON R. ROWE

11/24/14



PARCEL 3  
LIBER 5110  
43.7% ACRES  
SUBJECT TO FOREST CONSERVATION EASEMENT

PIPE OUTLET  
SEDIMENT TRAP ST-2  
NO. 2  
BOTTOM EL. 420.00

LOT 1  
DANIEL'S MILL OVERLOOK  
PLAT 12099  
ZONE: R-ED  
USE: OPEN SPACE/SCHOOL  
HOWARD COUNTY, MARYLAND  
THE BOARD OF EDUCATION OF  
(DEDICATED TO THE BOARD OF EDUCATION)  
L.3750, F.271

LOT 2  
DANIEL'S MILL OVERLOOK  
PLAT 12099  
ZONE: R-ED  
USE: OPEN SPACE/SCHOOL  
HOWARD COUNTY, MARYLAND  
(DEDICATED TO RECREATION AND PARKS)  
L.3742, F.572

LOT 128  
ZONE: R-ED  
USE: OPEN SPACE  
DANIEL'S MILL OVERLOOK  
LIBER 593, FOLIO 129  
PLATS 12795, 12796 & 12797  
HOWARD COUNTY, MARYLAND  
(DEDICATED TO RECREATION AND PARKS)

PATA  
ST  
LIBER  
ZC  
LA

OPEN SP  
DANIE  
OVERLOOK  
12796

For Revision 3 only  
No. 03 - BULL mfb



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

*John R. Rowland* 12/23/14  
HOWARD SCD

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Michael* 1/8/2015  
CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Keth Shook* 2-9-15  
CHIEF, DIVISION OF LAND DEVELOPMENT

*Paul* 6-15-15  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

**ENGINEER'S CERTIFICATE**  
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER: *Brandon R. Rowe*  
DATE: 12/10/14

**DEVELOPER'S CERTIFICATE**  
I/WE HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD COUNTY CONSERVATION DISTRICT.

SIGNATURE OF DEVELOPER: *Brandon R. Rowe*  
DATE: 12/10/14

**EROSION AND SEDIMENT CONTROL PHASE II**

**NOTE: THE PURPOSE OF THIS PLAN IS TO IDENTIFY THE DRAINAGE AREA 2 TO PIPE OUTLET SEDIMENT TRAP ST-2 NO. 2**

**EROSION AND SEDIMENT CONTROL DRAINAGE AREA LEGEND**

- EXISTING DRAINAGE AREA TO PIPE OUTLET SEDIMENT TRAP ST-2 NO. 2 + 0.56 AC.
- INTERIM DRAINAGE AREA TO PIPE OUTLET SEDIMENT TRAP ST-2 NO. 2 + 4.00 AC.

PERMIT INFORMATION CHART					
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA			
PLAT # OR/LP: 1548485 & 1548487	GRID # 5, 6, 11, 12	ZONING: R-20 & RED	TAX MAP NO.: 17	ELECT. DIST. NO.: 2ND	CENSUS TRACT.:
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-185 PB CASE NO. 403	<b>PROFESSIONAL CERTIFICATION</b> I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 43808, EXPIRATION DATE: 7/31/2015				

**BOHLER ENGINEERING**

CONSULTANT OFFICE:  
WARREN, NJ

PROJECT OFFICES:  
BOWNE, MD  
TOWSON, MD  
WARRINGTON, VA  
ALBANY, NY  
CAMARON, PA  
TAMPA, FL  
PHILADELPHIA, PA

CIVIL & CONSULTING ENGINEERS  
SURVEYORS  
PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS

**REVISIONS**

REV	DATE	COMMENT	BY
3	11/30/14	AS BUILT	BCR

**NOT APPROVED FOR CONSTRUCTION**

PROJECT NO.: MD132006  
CHECKED BY: RLB  
DATE: 12/11/14  
SCALE: AS SHOWN  
CAD I.D.: PSD

**FINAL ROAD CONSTRUCTION PLANS**

FOR  
**ESTATES AT PATAPSCO PARK**  
BUILDABLE LOTS 203-277 AND  
OPEN SPACE LOTS 196 - 202  
LOCATION OF SITE  
MD ROUTE 99  
ROGERS AVENUE  
HOWARD COUNTY

**BOHLER ENGINEERING**

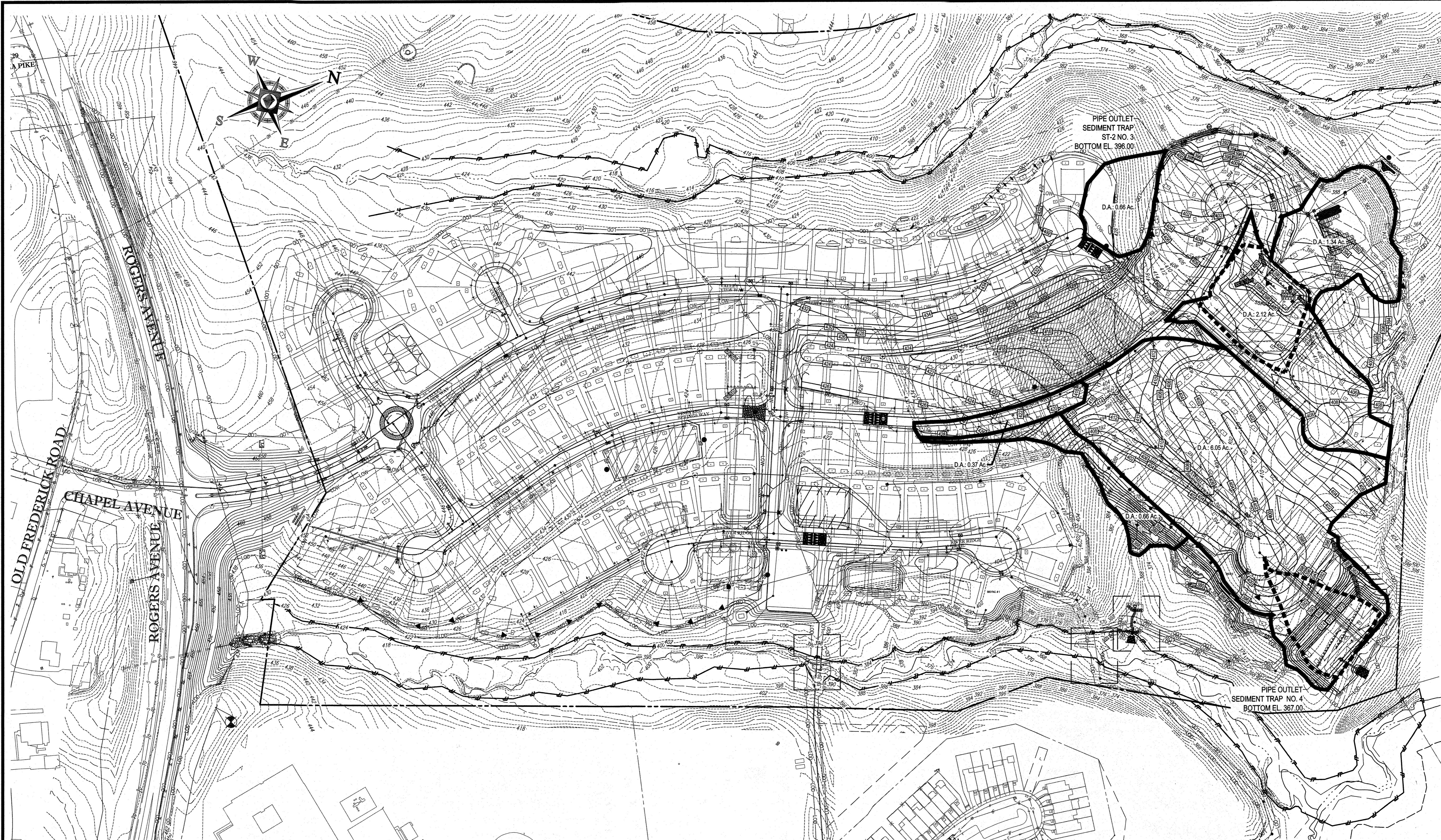
901 DULANEY VALLEY ROAD,  
SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
www.BohlerEngineering.com

**B.R. ROWE**

PROFESSIONAL ENGINEER

**EROSION & SEDIMENT CONTROL DRAINAGE AREA MAPS**

SHEET NUMBER: **39**



**BOHLER ENGINEERING**

WARREN, NJ

CIVIL & CONSULTING ENGINEERS

SURVEYORS

PROJECT MANAGERS

ENVIRONMENTAL CONSULTANTS

LANDSCAPE ARCHITECTS

CONSYLATIVE OFFICE:

- SOUTH BOROUGHS, MA
- WILMINGTON, DE
- ALABAMA, AL
- ARIZONA, AZ
- CALIFORNIA, CA
- FLORIDA, FL
- GEORGIA, GA
- ILLINOIS, IL
- INDIANA, IN
- KANSAS, KS
- MARYLAND, MD
- MICHIGAN, MI
- MINNESOTA, MN
- MISSISSIPPI, MS
- MISSOURI, MO
- MONTANA, MT
- NEBRASKA, NE
- NEVADA, NV
- NEW HAMPSHIRE, NH
- NEW JERSEY, NJ
- NEW YORK, NY
- NORTH CAROLINA, NC
- NORTH DAKOTA, ND
- OHIO, OH
- OKLAHOMA, OK
- PENNSYLVANIA, PA
- RHODE ISLAND, RI
- TAMPA, FL
- TENNESSEE, TN
- TEXAS, TX
- VIRGINIA, VA
- WASHINGTON, WA
- WISCONSIN, WI
- WYOMING, WY

REVISIONS			
REV	DATE	COMMENT	BY
3	11/20/14	AS BUILT	BRB

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, ENGINEERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL - 811 (WV 1-800-246-4646) PA 1-800-342-1778 (DC 1-800-251-7777) VA 1-800-552-7001 MD 1-800-267-7777 (DE 1-800-282-8554)

**NOT APPROVED FOR CONSTRUCTION**

PROJECT NO. MD132006

DRAWN BY: RLB

CHECKED BY: BRB

DATE: 12/11/14

SCALE: AS SHOWN

CAD I.D.: PS0

**FINAL ROAD CONSTRUCTION PLANS**

FOR

**ESTATES AT PATAPSCO PARK**

BUILDABLE LOTS 196-202

OPEN SPACE LOTS 196 - 202

LOCATION OF SITE

MD ROUTE 99

ROGERS AVENUE

HOWARD COUNTY

**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD, SUITE 801

TOWSON, MARYLAND 21284

Phone: (410) 821-7900

Fax: (410) 821-7987

www.BohlerEngineering.com

**EROSION & SEDIMENT CONTROL DRAINAGE AREA MAPS**

SHEET NUMBER:

**40**

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Kauter* 12/23/14 DATE

HOWARD SCD

**APPROVED: DEPARTMENT OF PUBLIC WORKS**

1/8/2015 DATE

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

7-9-15 DATE

6-15-15 DATE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A DISCREPANCY WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS SET FORTH BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND CODES.

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

12/15/14 DATE

*Brandon R. Rowe* SIGNATURE OF ENGINEER

**DEVELOPER'S CERTIFICATE**

I HAVE HEREBY CERTIFIED THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

12/11/14 DATE

*Brandon R. Rowe* SIGNATURE OF DEVELOPER

**EROSION AND SEDIMENT CONTROL PHASE V**

**NOTE: THE PURPOSE OF THIS PLAN IS TO IDENTIFY THE DRAINAGE AREAS TO PIPE OUTLET SEDIMENT TRAPS ST-2 NO. 3 AND 4**

**EROSION AND SEDIMENT CONTROL DRAINAGE AREA LEGEND**

	EXISTING DRAINAGE AREA TO PIPE OUTLET SEDIMENT ST-2 NO. 3 = 0.66 AC.
	INTERIM DRAINAGE AREA TO PIPE OUTLET SEDIMENT ST-2 NO. 3 = 2.14 AC.
	EXISTING DRAINAGE AREA TO PIPE OUTLET SEDIMENT TRAP NO. 2 = 0.73 AC.
	INTERIM DRAINAGE AREA TO PIPE OUTLET SEDIMENT TRAP NO. 2 = 6.11 AC.

FOR REVISION 3 ONLY NO. AS BUILT 11/16

11/20/14

**PERMIT INFORMATION CHART**

OWNER: PM PATAPSCO LLC  
12116 ARBIE ROAD  
SILVER SPRING, MD 20904  
CONTACT: MR. SIMON ROSENBERG  
PHONE: (301) 918-0645

DEVELOPER: NAI THE MICHAEL COMPANIES  
10100 BUSINESS PARKWAY, LANHAM, MD 20706  
CONTACT: BRIAN GOLDSTEIN  
PHONE: (301) 918-2955

PROFESSIONAL CERTIFICATION

BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808, EXPIRATION DATE: 7/3/2015



B-1 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

DEFINITION
USING VEGETATION AS COVER TO PROTECT EXPOSED SOIL FROM EROSION.
PURPOSE
TO PROMOTE THE ESTABLISHMENT OF VEGETATION ON EXPOSED SOIL.

EFFECTS ON WATER QUALITY AND QUANTITY
STABILIZATION PRACTICES ARE USED TO PROMOTE THE ESTABLISHMENT OF VEGETATION ON EXPOSED SOIL. WHEN SOIL IS STABILIZED WITH VEGETATION, THE SOIL IS ABLE TO ABSORB AND HOLD WATER TO ALLOW INFILTRATION OF RAINFALL, THEREBY REDUCING SEDIMENT LOADS AND RUNOFF TO DOWNSTREAM AREAS.

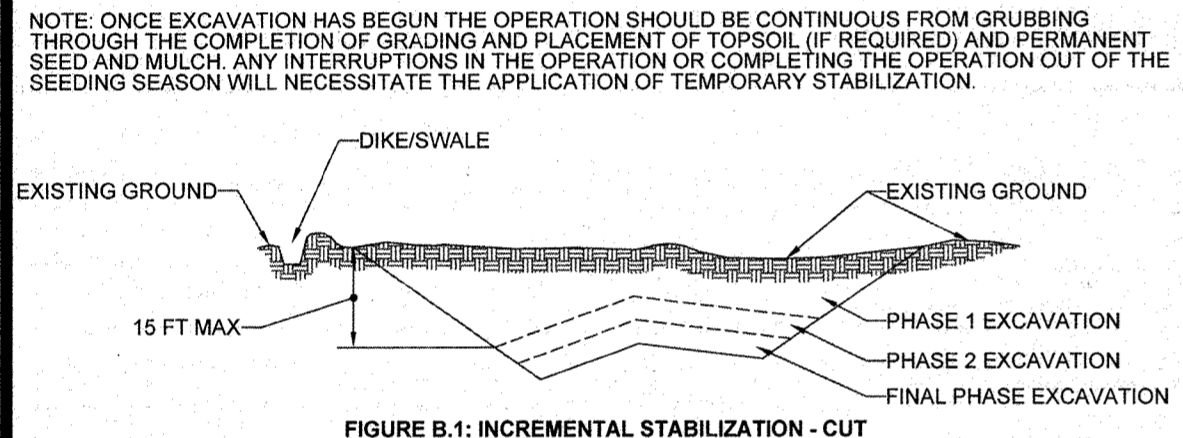
ADAPTED VEGETATIVE ESTABLISHMENT
INSPECT SEEDED AREAS FOR VEGETATIVE ESTABLISHMENT AND MAKE NECESSARY REPAIRS, REPLACEMENTS, AND RESEEDINGS WITHIN THE PLANTING SEASON.

B-1-1 STANDARDS AND SPECIFICATIONS FOR INCREMENTAL STABILIZATION
DEFINITION
ESTABLISHMENT OF VEGETATIVE COVER ON CUT AND FILL SLOPES.

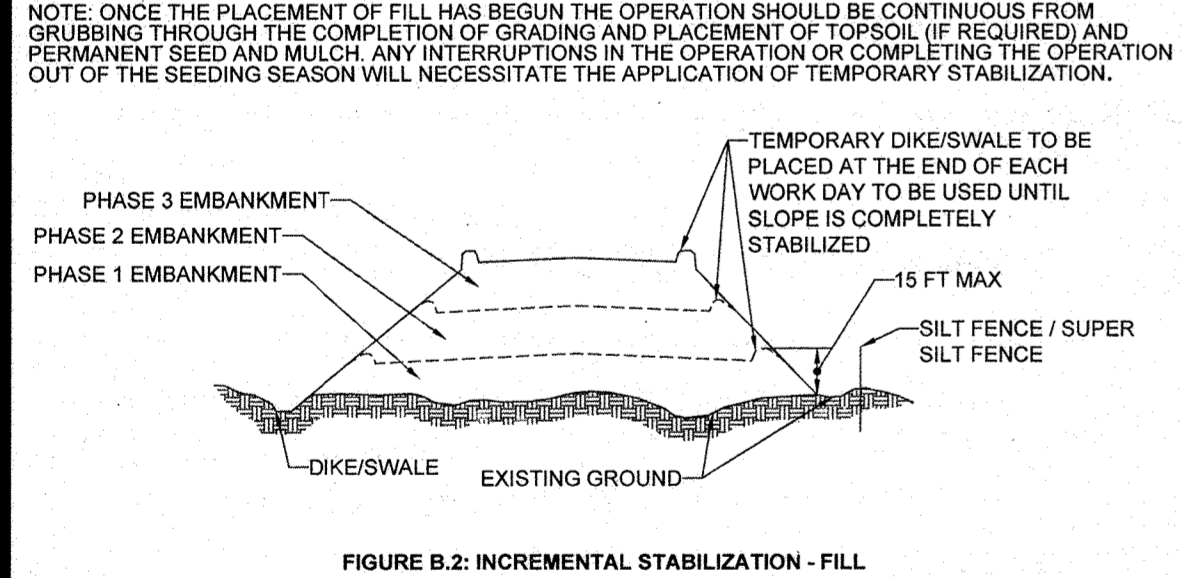
PURPOSE
TO PROVIDE TIMELY VEGETATIVE COVER ON CUT AND FILL SLOPES AS WORK PROGRESSES.

CONDITIONS WHERE PRACTICE APPLIES
ANY CUT OR FILL SLOPE GREATER THAN 15 FEET IN HEIGHT. THIS PRACTICE ALSO APPLIES TO STOCKPILES.

- CRITERIA
1. INCREMENTAL STABILIZATION - CUT SLOPES
a. EXCAVATE AND STABILIZE CUT SLOPES IN INCREMENTS NOT TO EXCEED 15 FEET IN HEIGHT. PREPARE SEEDBED AND APPLY SEED AND MULCH ON ALL CUT SLOPES AS THE WORK PROGRESSES.



- B. INCREMENTAL STABILIZATION - FILL SLOPES
1. CONSTRUCT AND STABILIZE FILL SLOPES IN INCREMENTS NOT TO EXCEED 15 FEET IN HEIGHT. PREPARE SEEDBED AND APPLY SEED AND MULCH ON ALL SLOPES AS THE WORK PROGRESSES.



APPROVED: DEPARTMENT OF PUBLIC WORKS
APPROVED: DEPARTMENT OF PLANNING AND ZONING
APPROVED: CHIEF, BUREAU OF HIGHWAYS
APPROVED: CHIEF, DIVISION OF LAND DEVELOPMENT
APPROVED: CHIEF, DEVELOPMENT ENGINEERING DIVISION

GENERAL NOTE
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT.

B-1-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION
THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.
PURPOSE
TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

- CRITERIA
A. SOIL PREPARATION
1. TEMPORARY STABILIZATION
a. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT.

B. TOPSOILING
TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

- C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)
1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE.

B-1-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING
DEFINITION
THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

- CRITERIA
A. SEEDING
1. SPECIFICATIONS
a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY.

B-1-4 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION
DEFINITION
TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

- CRITERIA
A. SEED MIXTURES
1. GENERAL USE
a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS.

B. MULCHING

- 1. MULCH MATERIALS (IN ORDER OF PREFERENCE)
a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY DRY IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND STATE SEED LAW AND NOT MUSTY, MOLLY, GASED, DECAYED, OR EXCESSIVELY DUSTY.

- 2. APPLICATION
a. APPLY MULCH TO ALL SEEDBED AREAS IMMEDIATELY AFTER SEEDING.
b. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDBED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION
DEFINITION
TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

CONDITIONS WHERE PRACTICE APPLIES
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

TEMPORARY SEEDING SUMMARY
HARDNESS ZONE (from Figure B.3): ZONE 6B
SEED MIXTURE (from Table B.3)

Table with columns: NO., SPECIES, APPLICATION RATE (LB/AC), SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE (10-20-20), LIME RATE. Lists species like Annual Ryegrass, Barley, Oats, Wheat, Cereal Rye, Foxtail Millet, Pearl Millet.

B-4-4 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION
DEFINITION
TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

- CRITERIA
A. SEED MIXTURES
1. GENERAL USE
a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITIONS OR PURPOSES FOR WHICH THE SOILS ARE TO BE STABILIZED.

PERMANENT SEEDING SUMMARY

Table with columns: NO., SPECIES, APPLICATION RATE (LB/AC), SEEDING DATES, SEEDING DEPTHS, N, P2O5, K2O, LIME RATE. Lists species like Tall Fescue, Kentucky Bluegrass, Perennial Ryegrass, Hard Fescue, Perennial Ryegrass Flat Seed, Switch Grass, Creeping Red Fescue, Partridge Pea.

B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).
1. GENERAL SPECIFICATIONS
a. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.

B-4-6 STANDARDS AND SPECIFICATIONS FOR SOIL STABILIZATION MATTING
DEFINITION
MATERIAL USED TO TEMPORARILY OR PERMANENTLY STABILIZE CHANNELS OR STEEP SLOPES UNTIL GROUND COVER IS ESTABLISHED.

PURPOSE
TO PROTECT THE SOILS UNTIL VEGETATION IS ESTABLISHED.

CONDITIONS WHERE PRACTICE APPLIES
ON NEWLY SEEDBED SURFACES TO PREVENT THE APPLIED SEED FROM WASHING OUT, IN CHANNELS AND ON STEEP SLOPES WHERE THE FLOW HAS EROSION VELOCITIES OR CONVEYS CLEAR WATER.

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THE DESIGN AND CONSTRUCTION OF THIS PROJECT HAS BEEN REVIEWED AND FOUND TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED.

PERMIT INFORMATION CHART
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK
SECTION: NA
LOT/PARCEL NO.: NA

BOHLER ENGINEERING logo and contact information for various offices including Baltimore, MD, and Washington, DC.

REVISIONS table with columns: REV, DATE, COMMENT, BY. Shows revision 3 on 11/30/24 by AS Bulb.

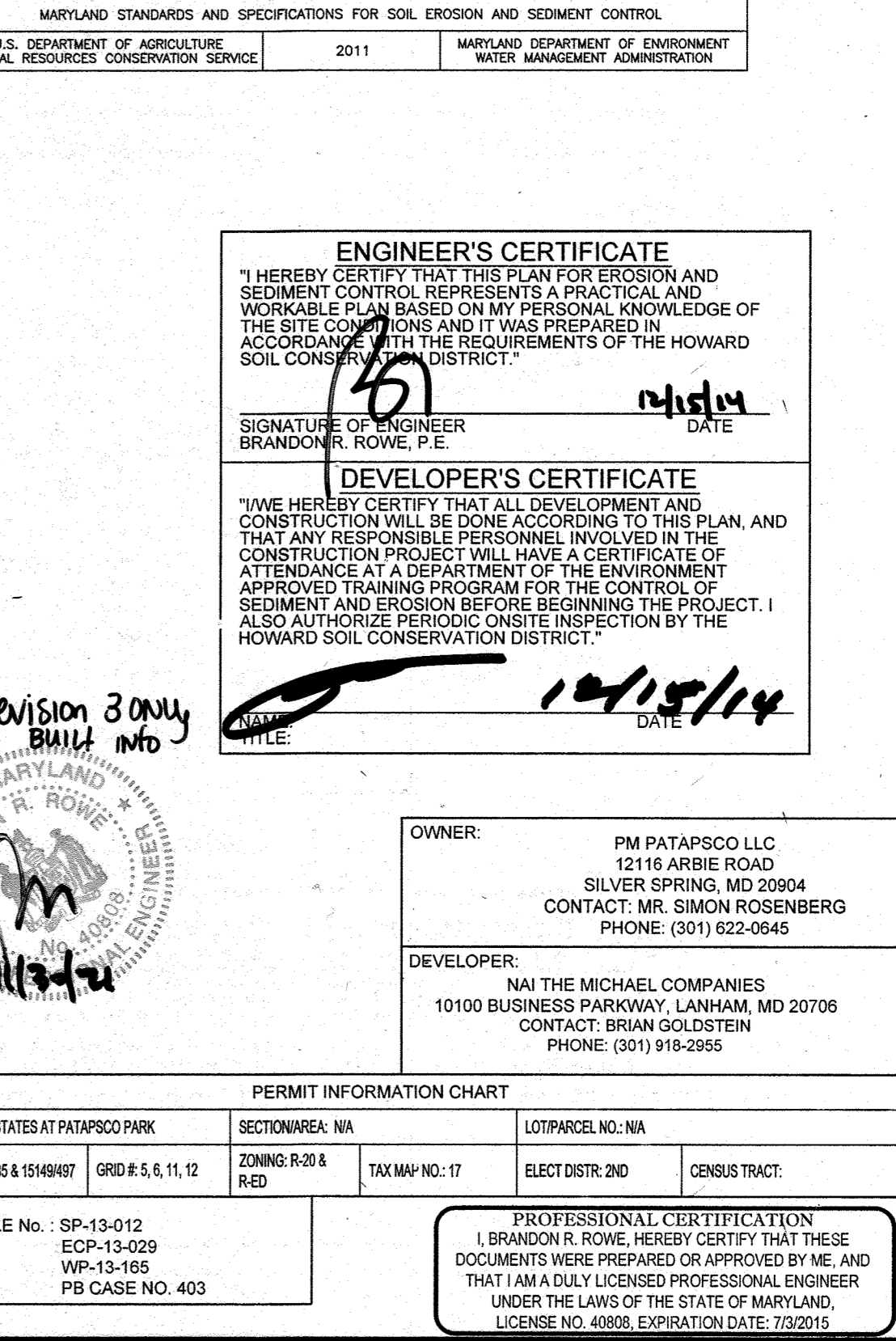
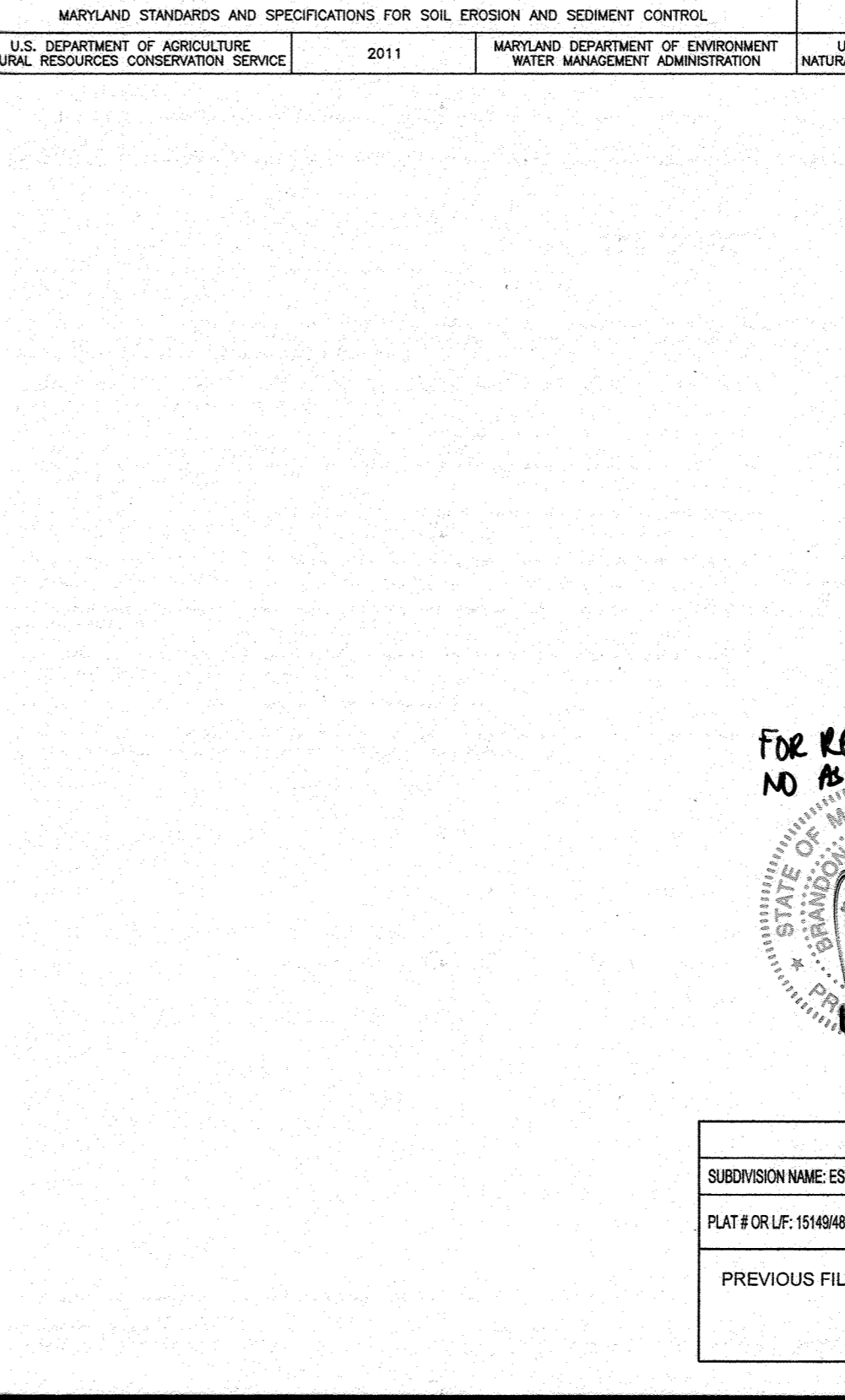
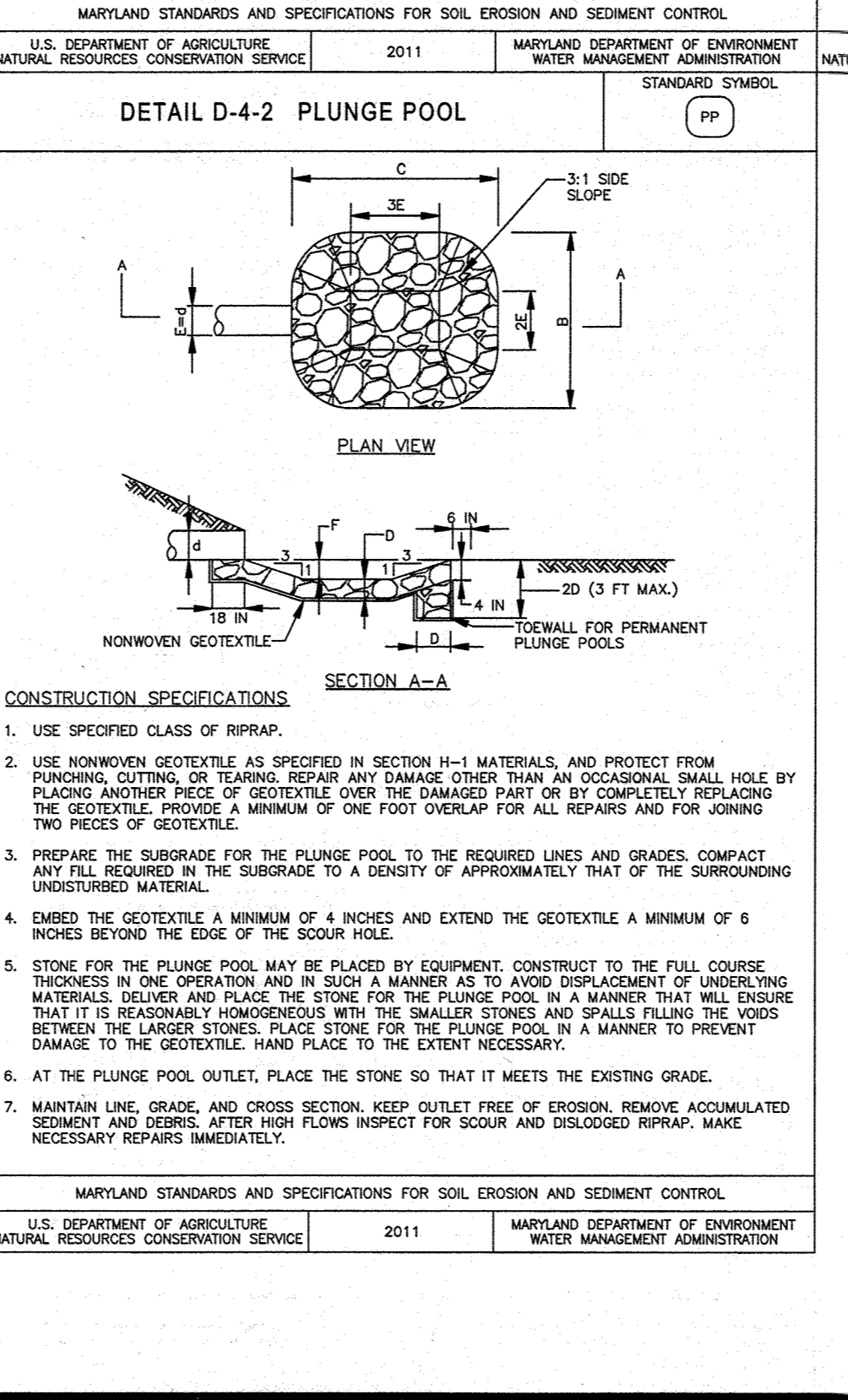
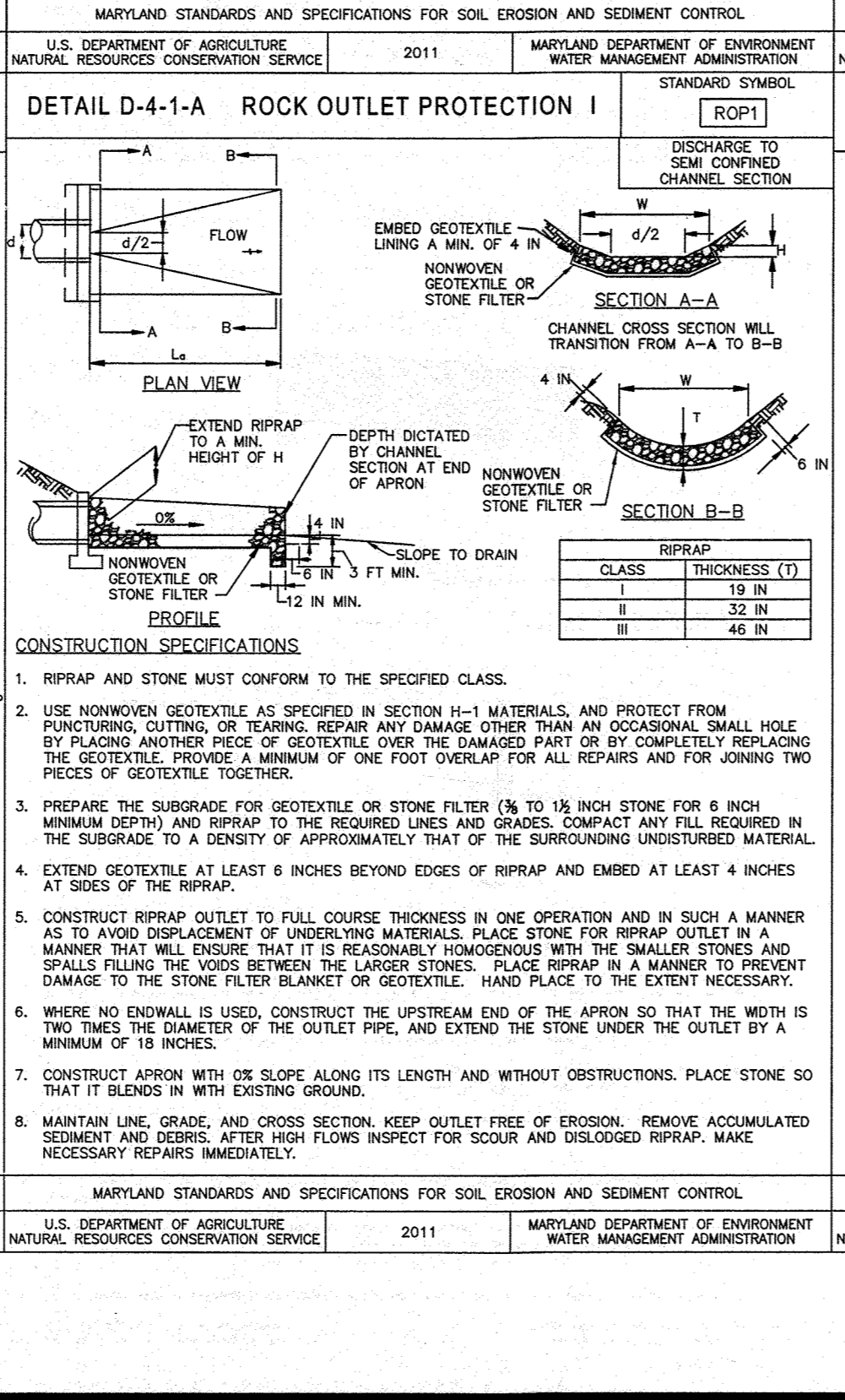
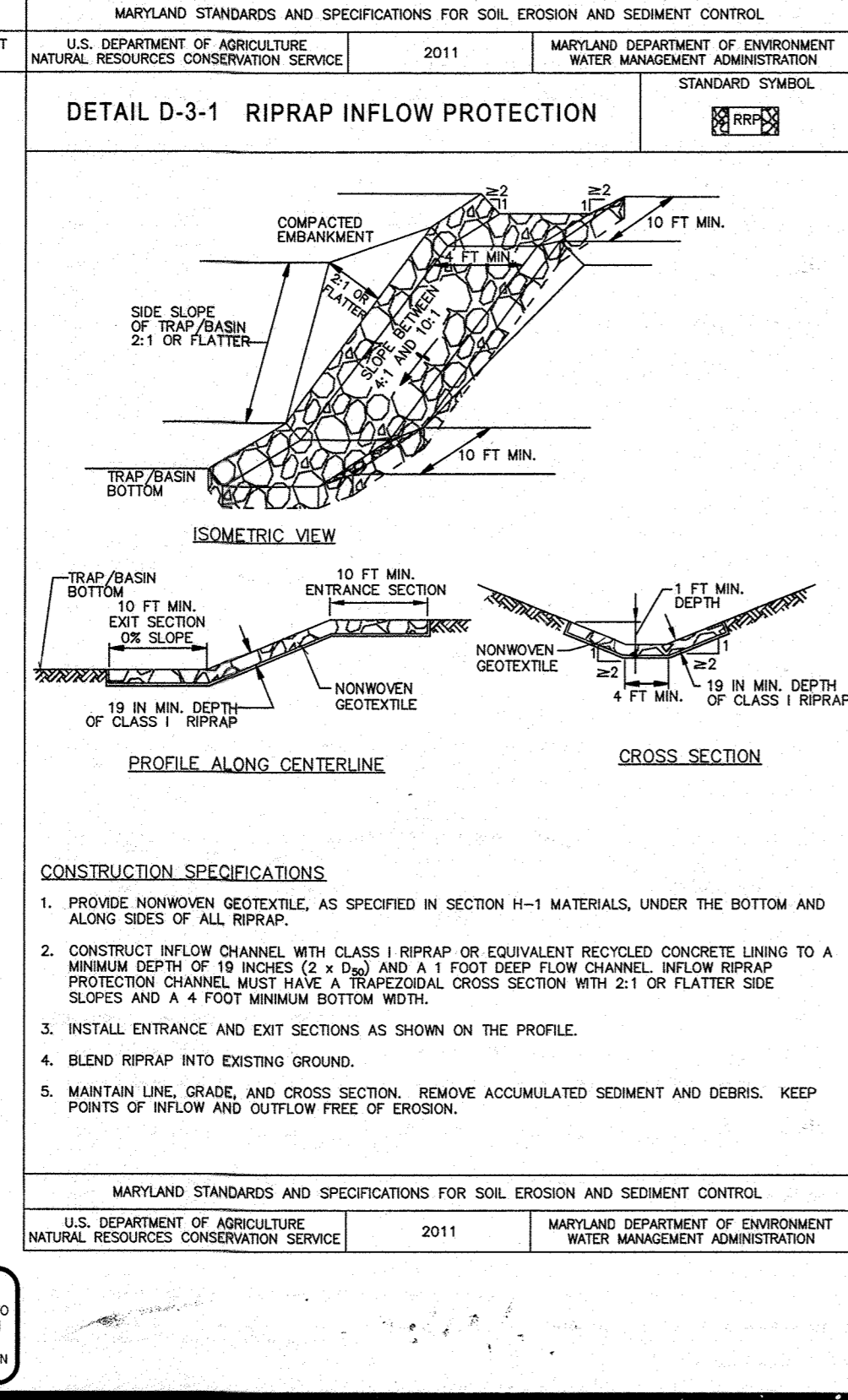
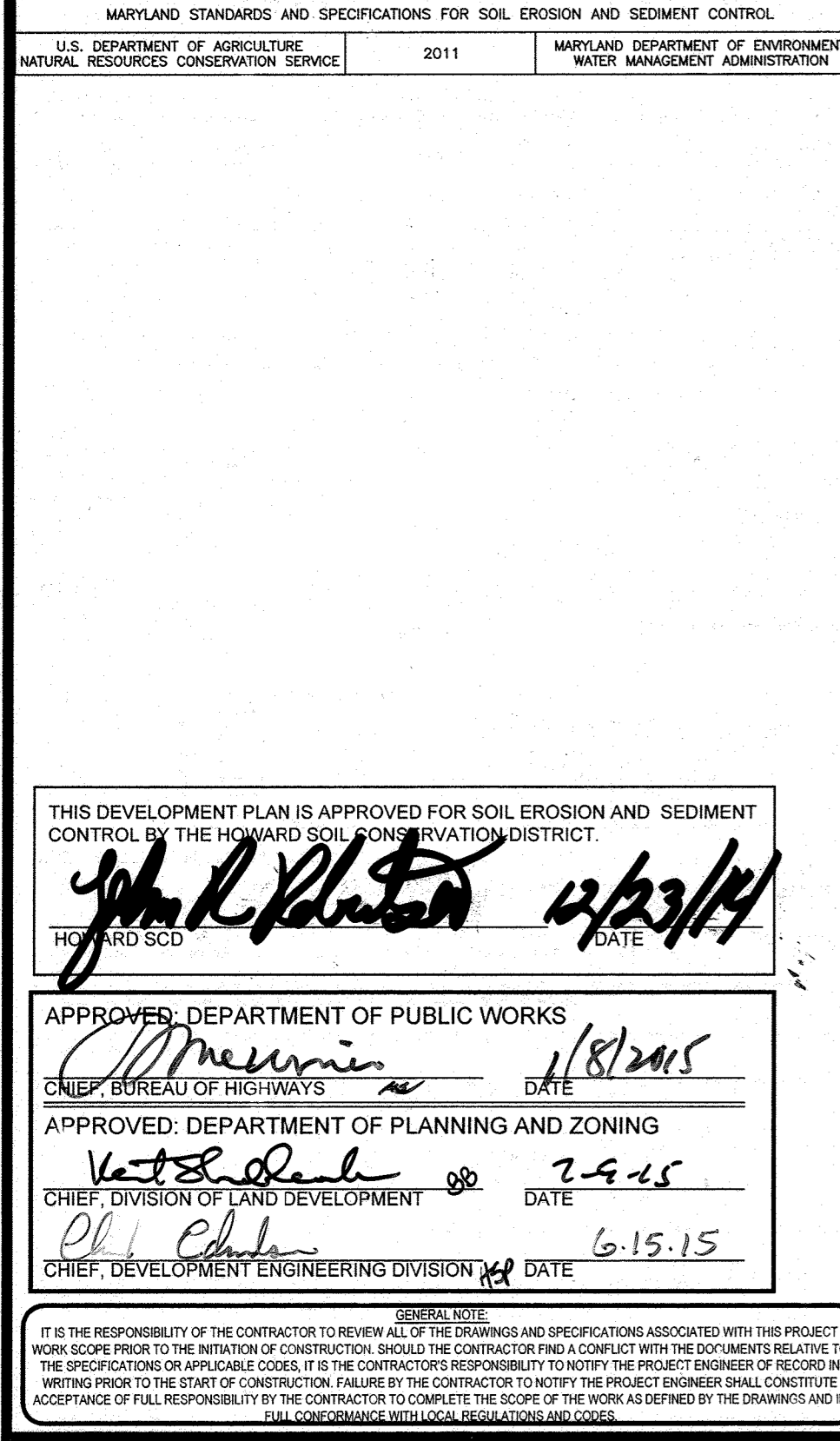
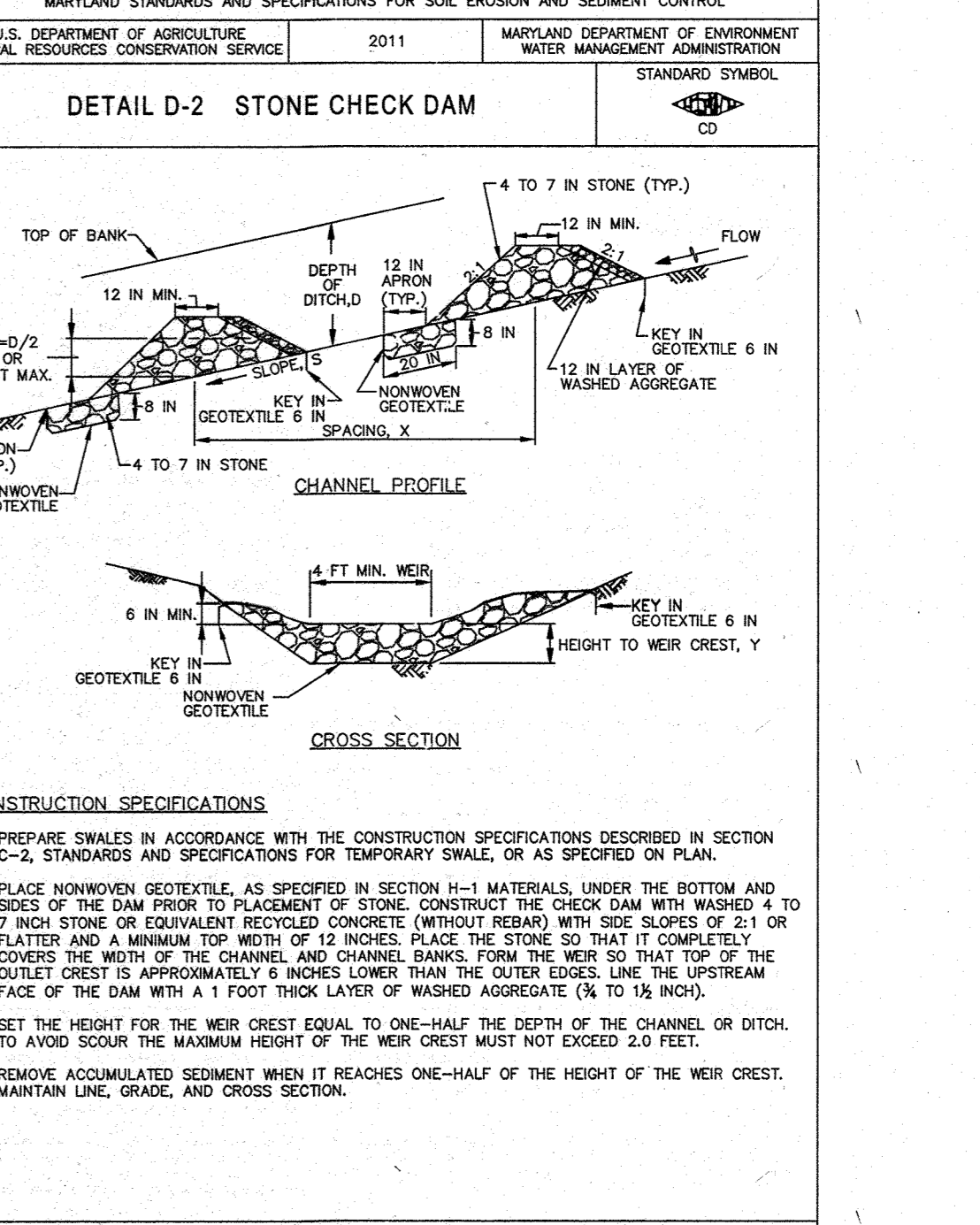
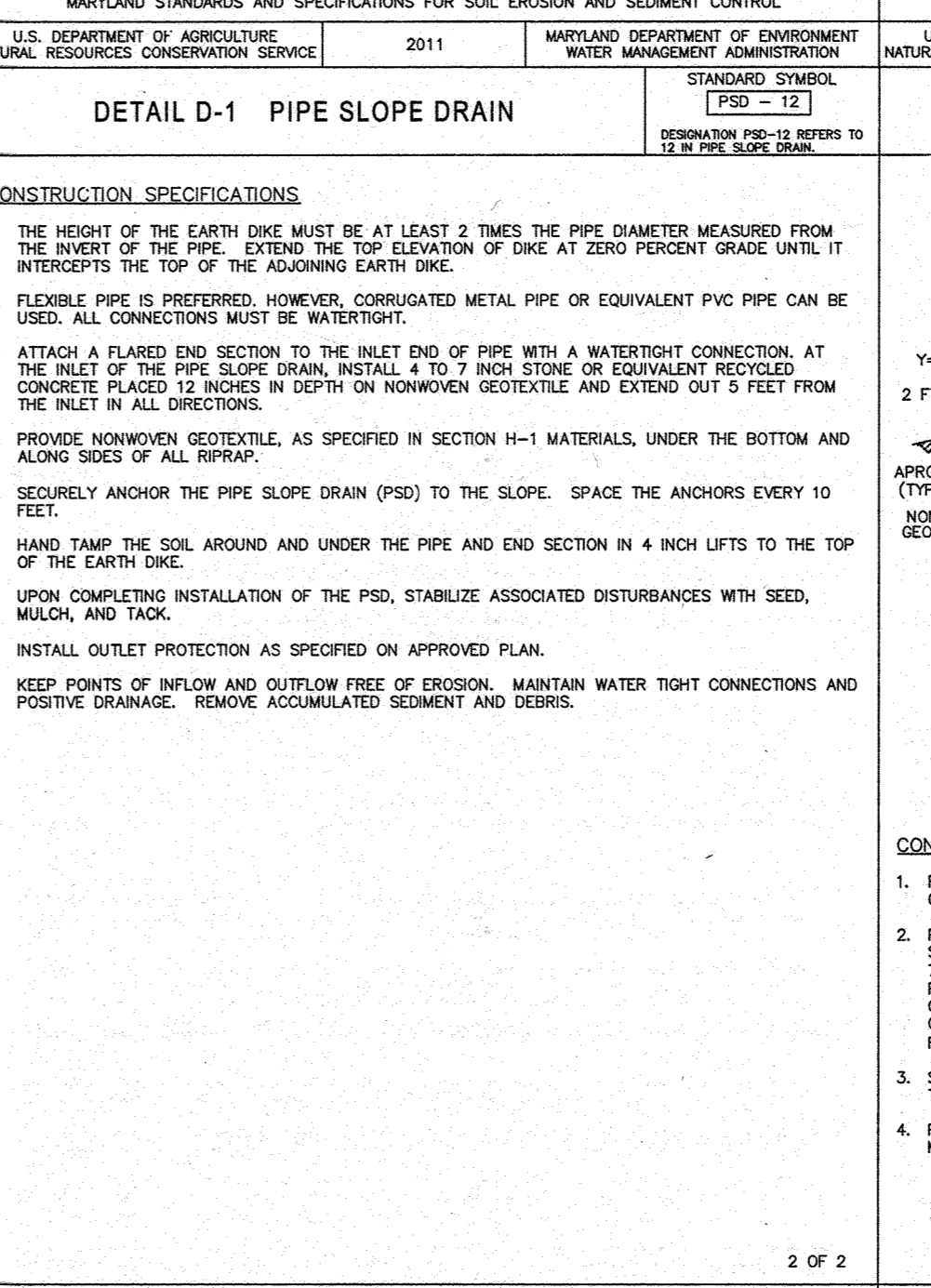
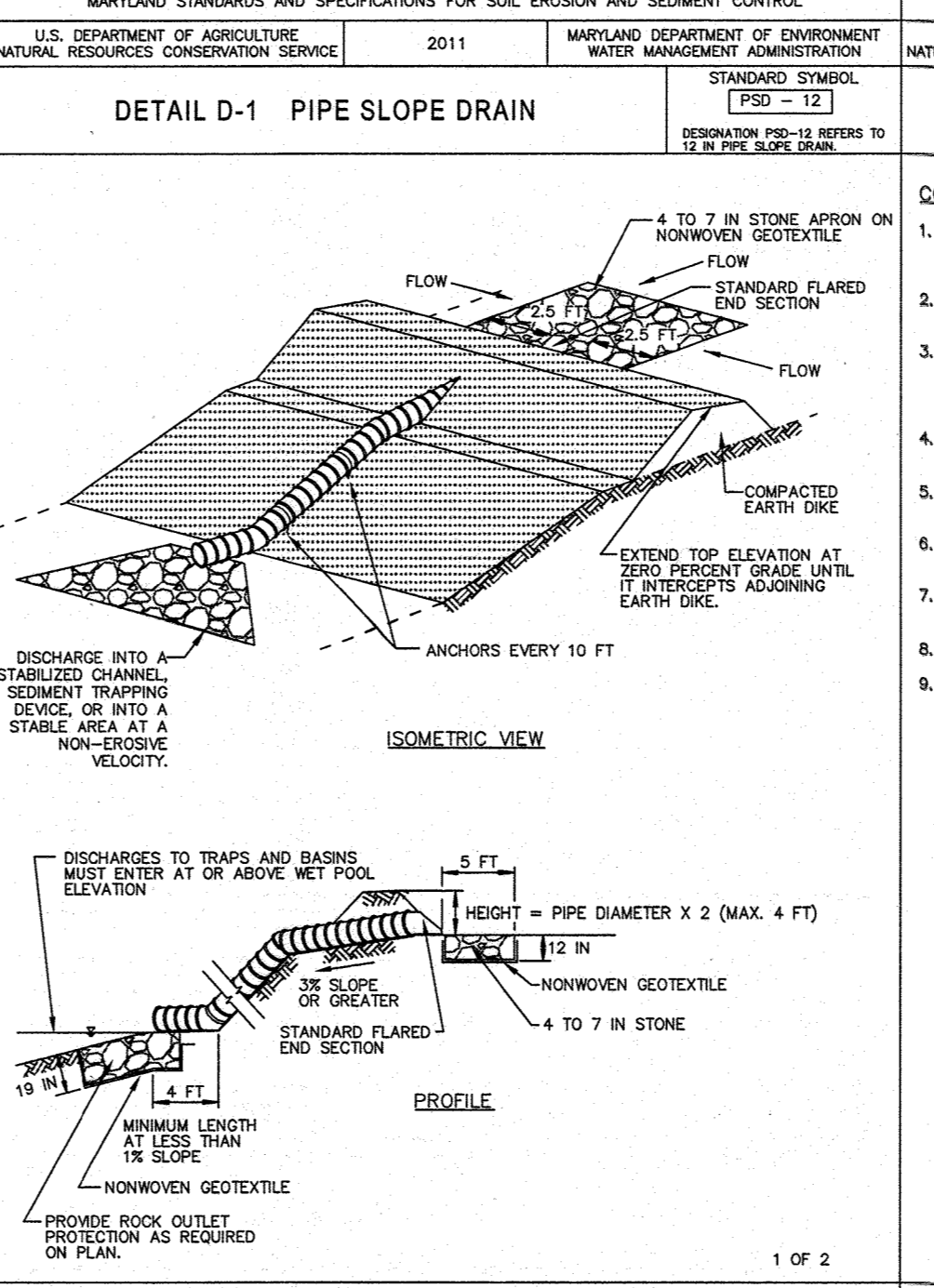
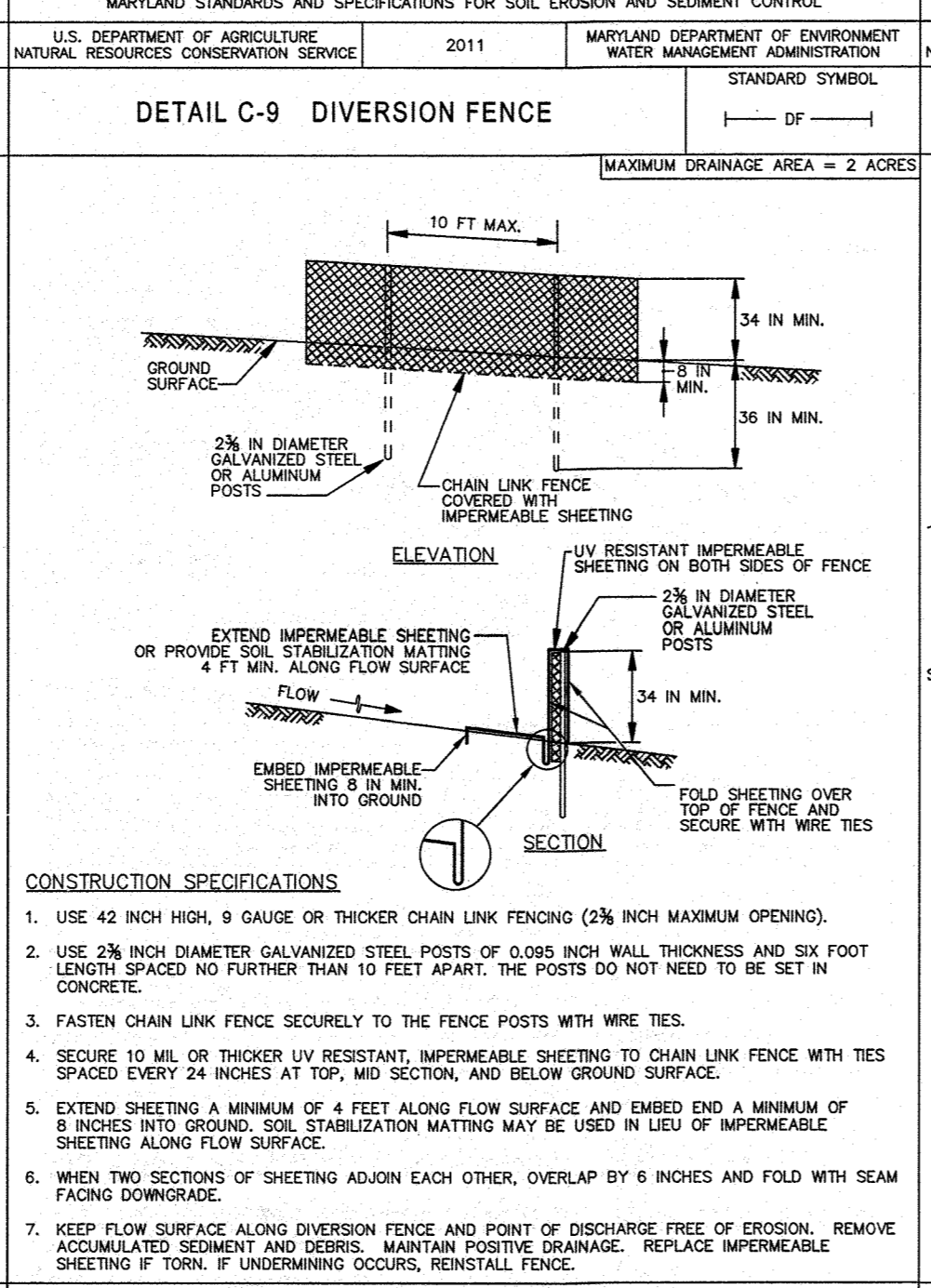
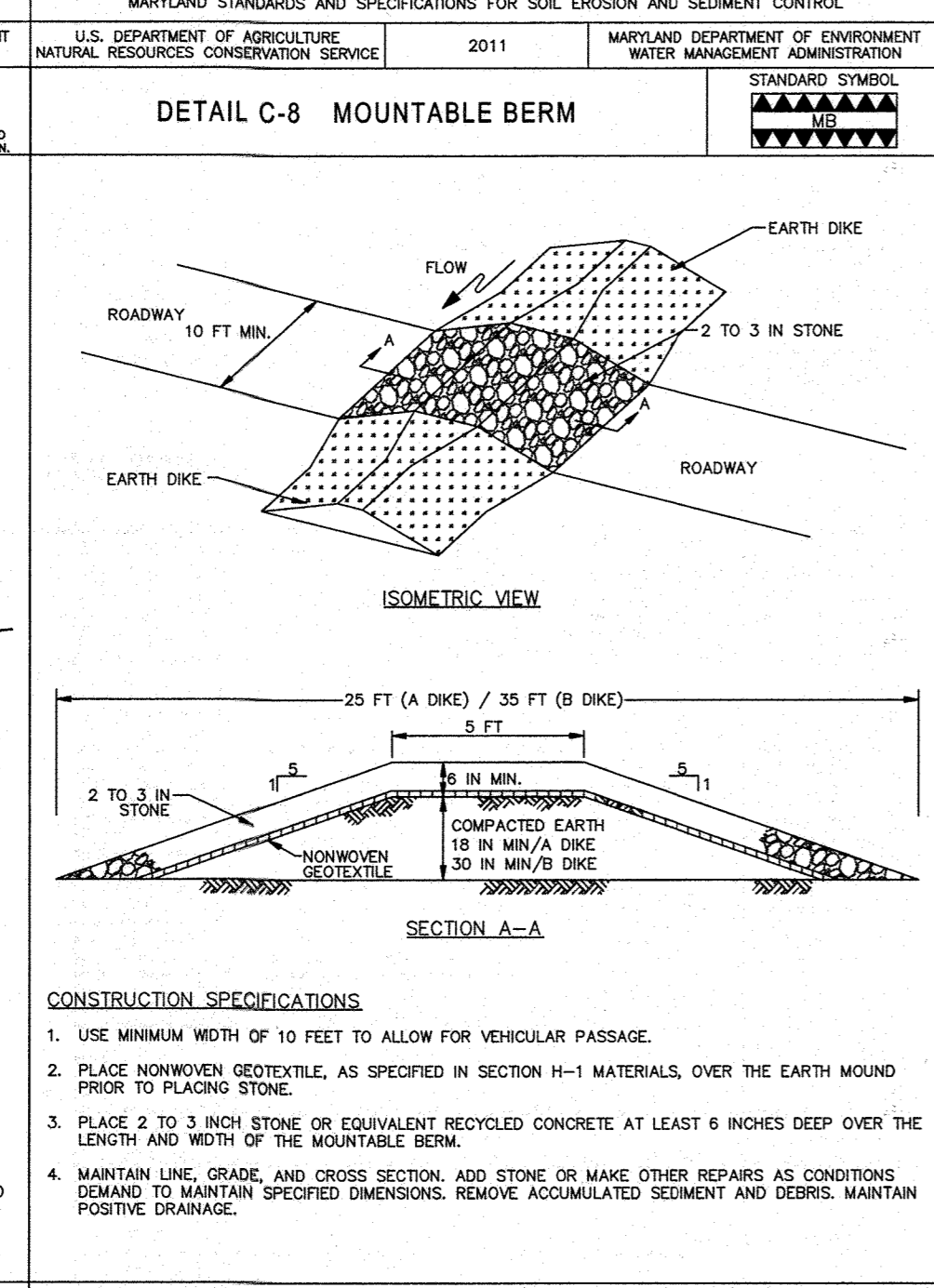
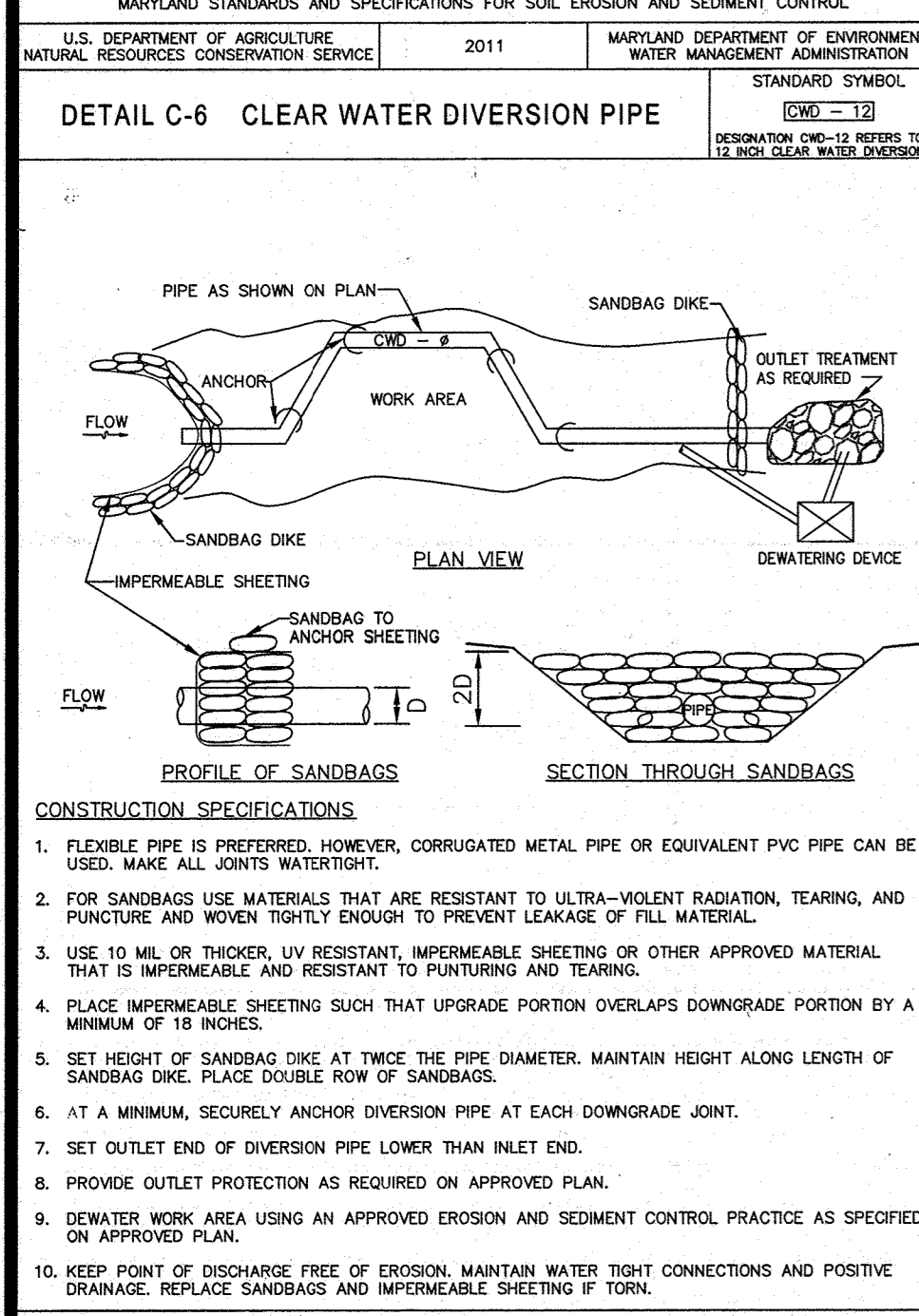
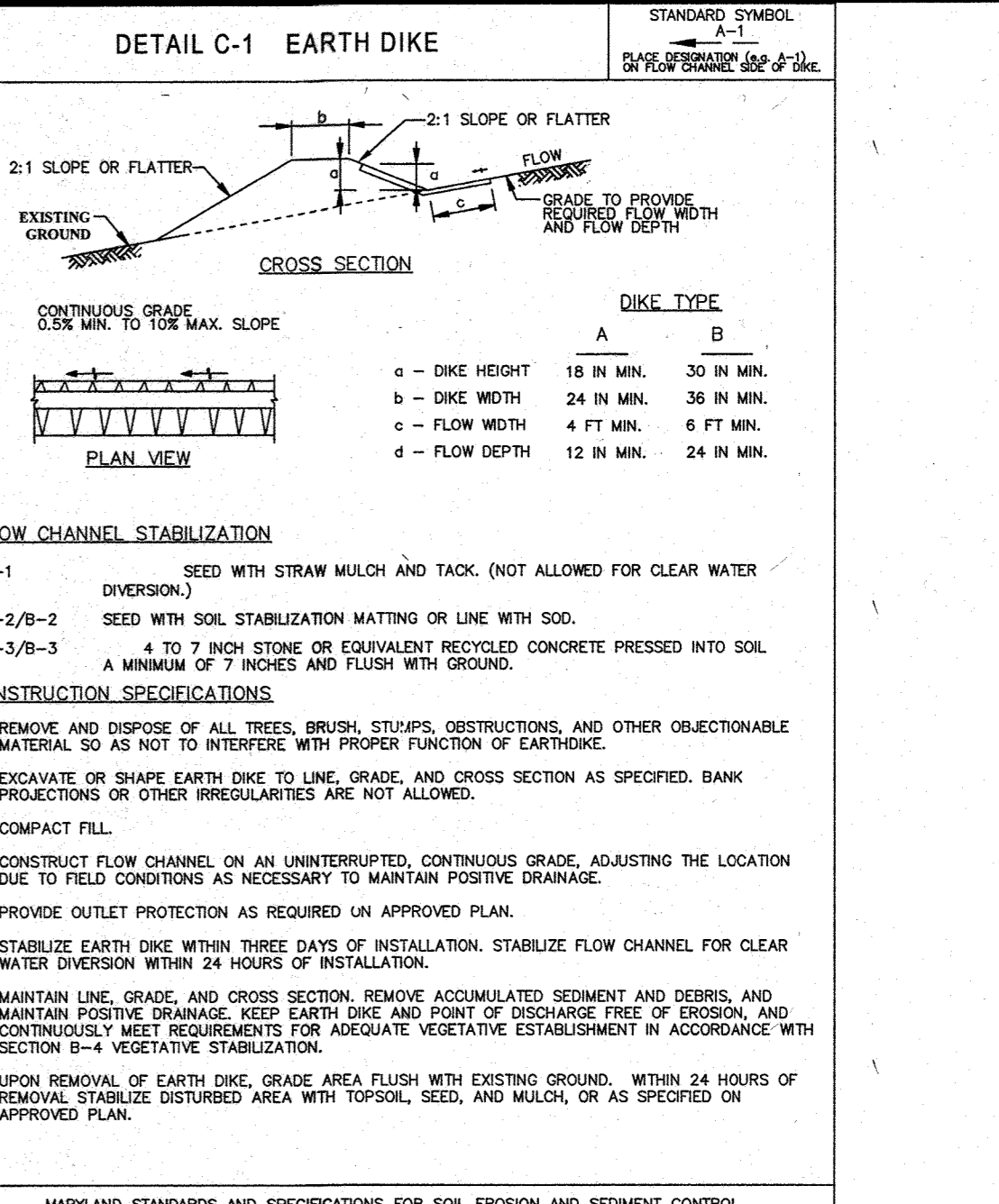
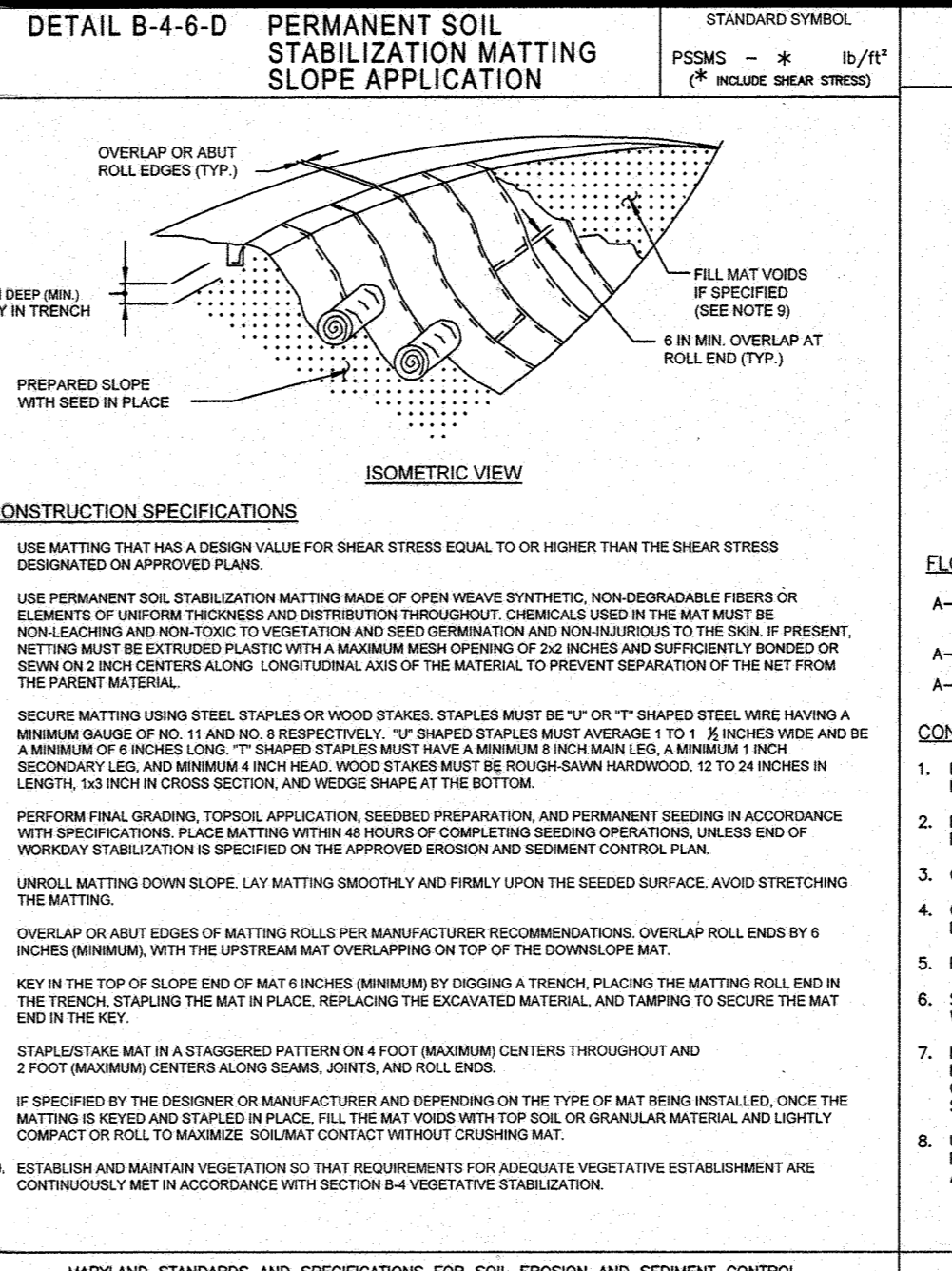
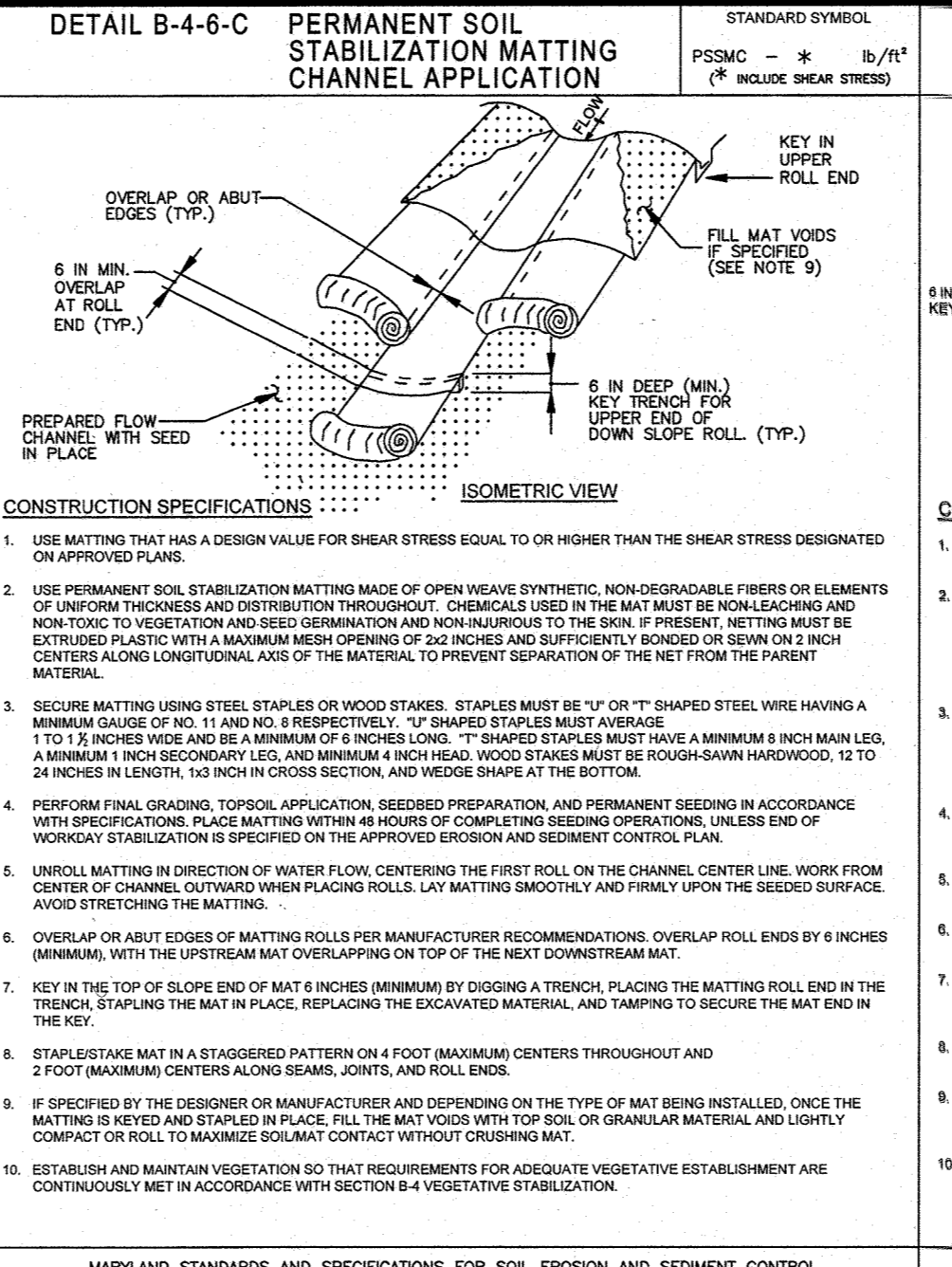
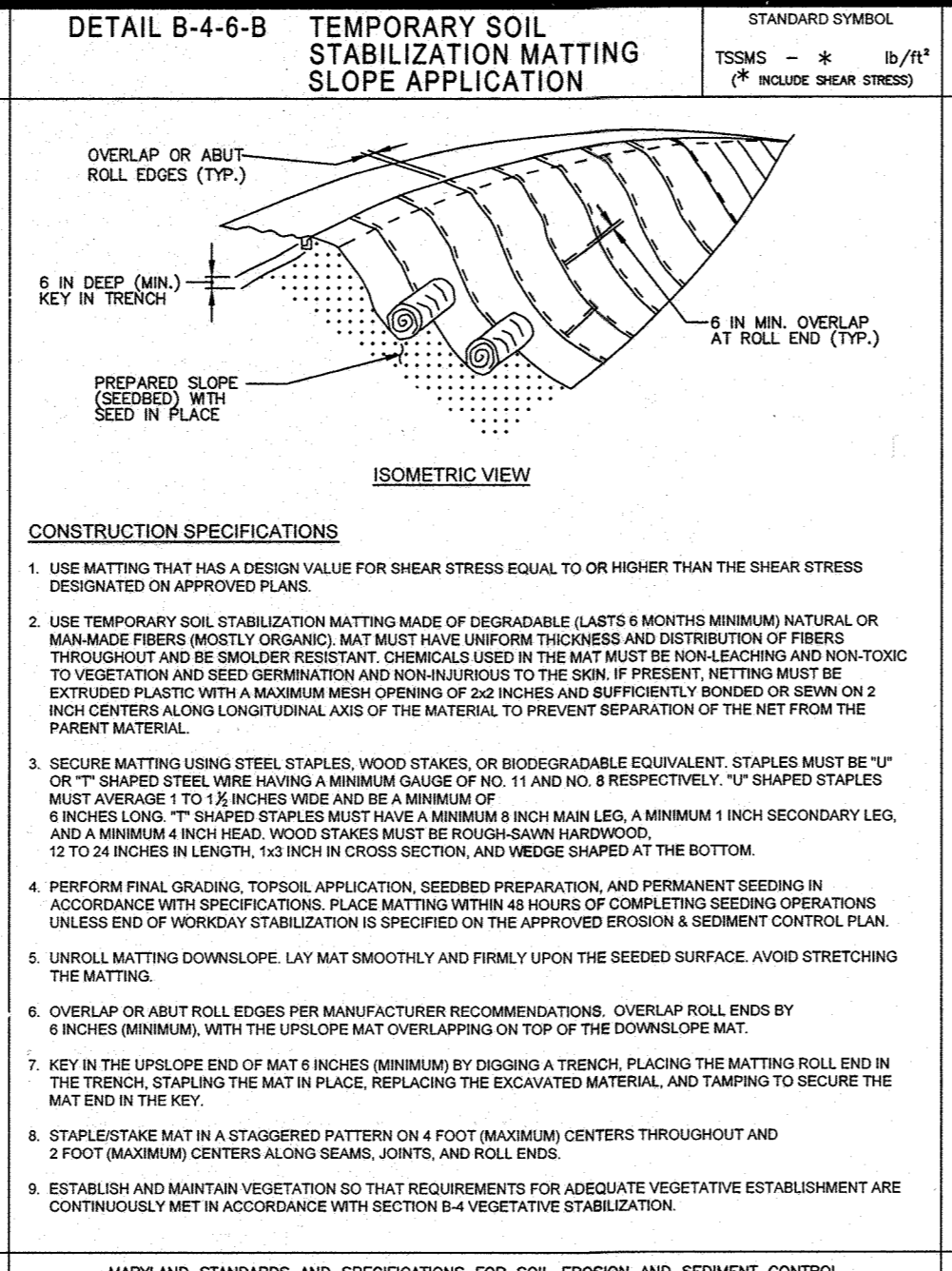
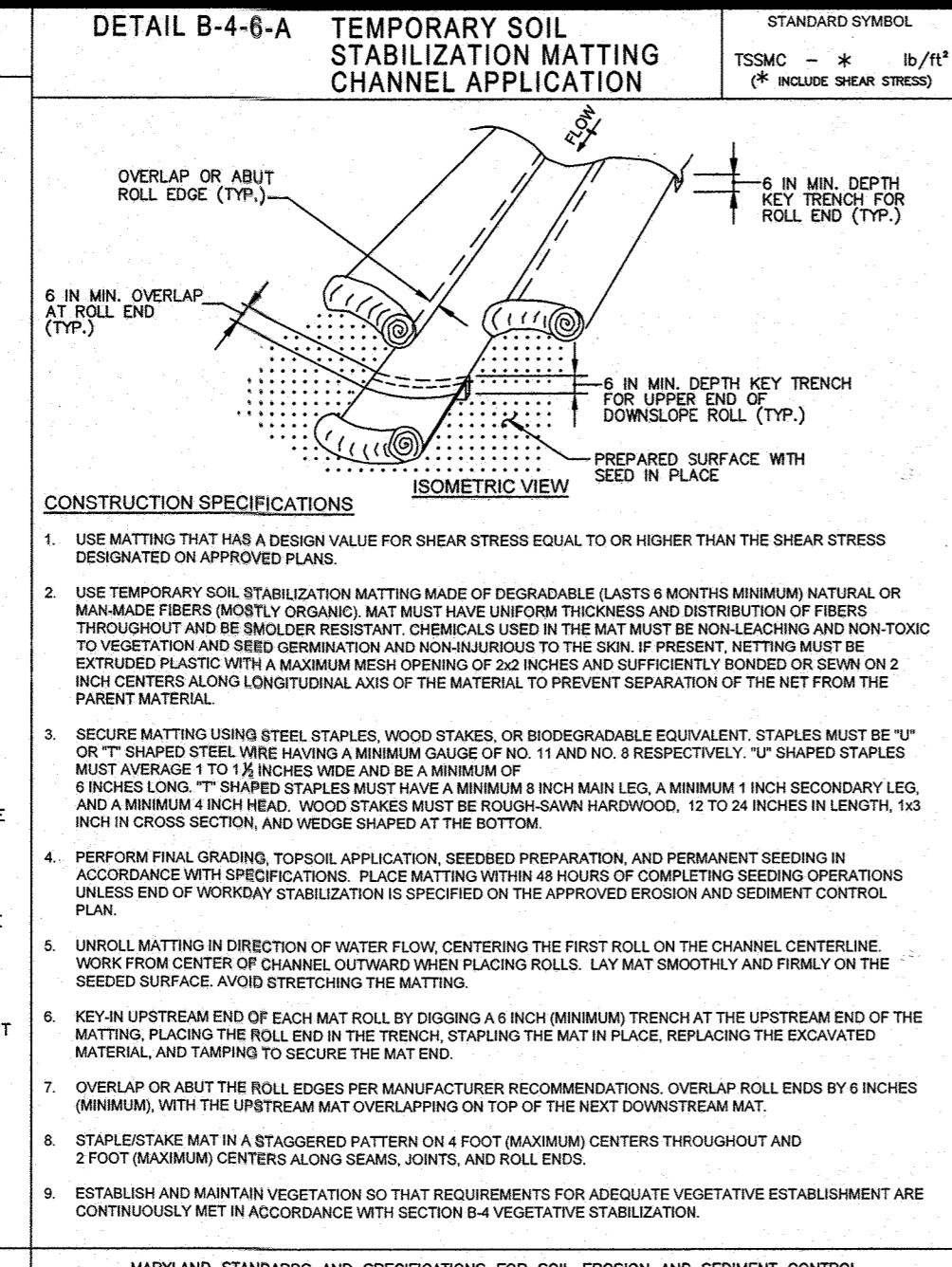
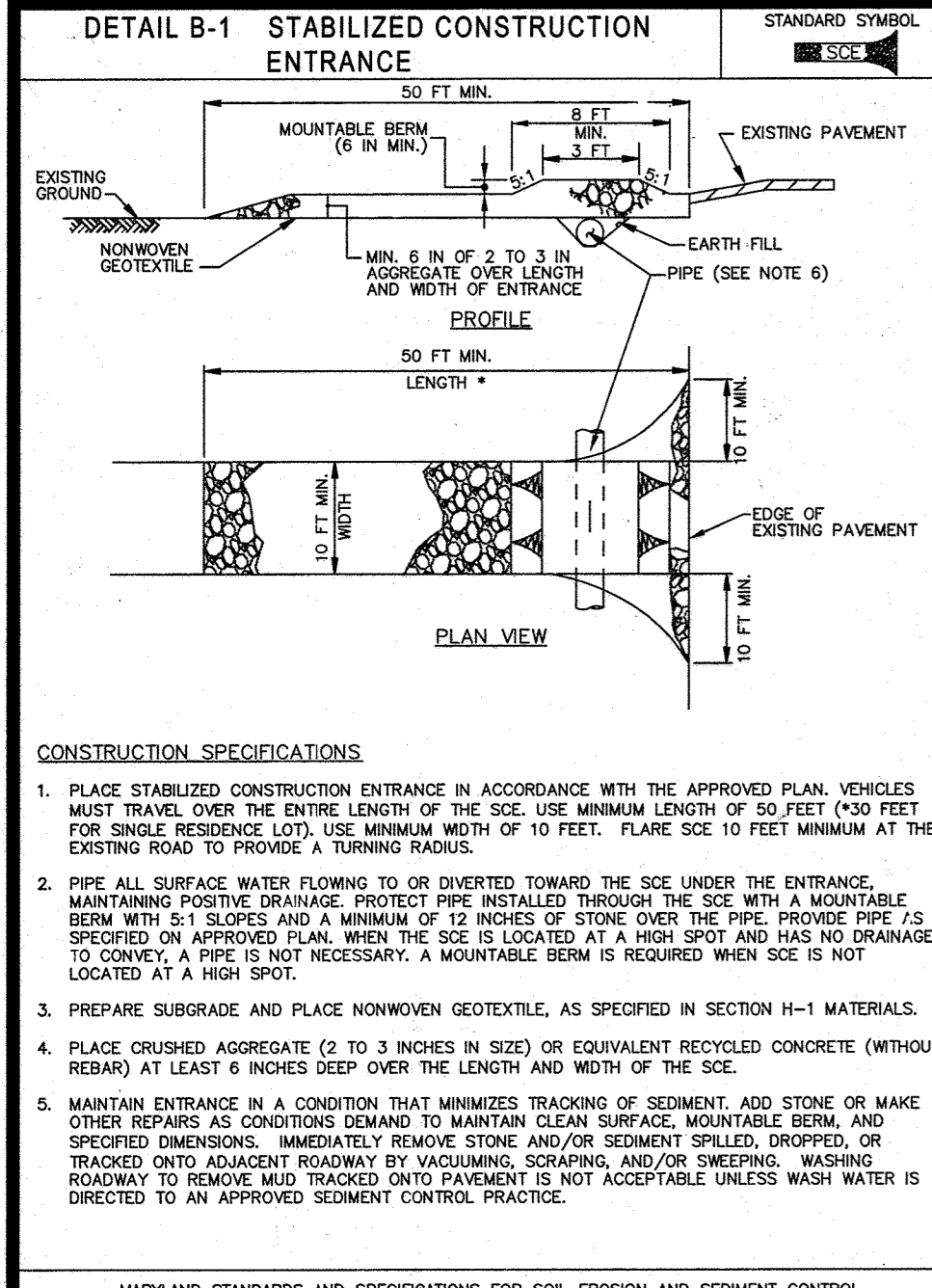
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PROJECT: FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK.

BOHLER ENGINEERING logo and address: 901 DULANEY VALLEY ROAD, SUITE 801, TOWSON, MARYLAND 21284.

ENGINEER'S CERTIFICATE and DEVELOPER'S CERTIFICATE sections with signatures and dates.

EROSION & SEDIMENT CONTROL NOTES & DETAILS. Includes a permit information chart and professional certification details.



APPROVED DEPARTMENT OF PUBLIC WORKS  
 APPROVED DEPARTMENT OF PLANNING AND ZONING  
 DATE: 1/8/2015  
 DATE: 2-9-15  
 DATE: 6-15-15

CONSTRUCTION SPECIFICATIONS  
 1. PROVIDE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, UNDER THE BOTTOM AND ALONG SIDES OF ALL RIPRAP.

CONSTRUCTION SPECIFICATIONS  
 1. RIPRAP AND STONE MUST CONFORM TO THE SPECIFIED CLASS.

CONSTRUCTION SPECIFICATIONS  
 1. USE SPECIFIED CLASS OF RIPRAP.

CONSTRUCTION SPECIFICATIONS  
 1. PREPARE THE SUBGRADE FOR THE PLUNGE POOL TO THE REQUIRED LINES AND GRADES. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.

CONSTRUCTION SPECIFICATIONS  
 1. PREPARE SWALES IN ACCORDANCE WITH THE CONSTRUCTION SPECIFICATIONS DESCRIBED IN SECTION C-2, STANDARDS AND SPECIFICATIONS FOR TEMPORARY SWALE, OR AS SPECIFIED ON PLAN.

**BOHLER ENGINEERING**  
 CONSULTING OFFICE  
 1 WAREHOUSES  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS  
 CIVIL & CONSULTING ENGINEERS

REV	DATE	COMMENT	BY
3	1/8/2015	AS BUILT	RJR

**NOT APPROVED FOR CONSTRUCTION**

PROJECT NO.: MD132006  
 DRAWN BY: RLB  
 CHECKED BY: BTR  
 DATE: 12/11/14  
 SCALE: AS SHOWN  
 CAD I.D.: PSD

**FINAL ROAD CONSTRUCTION PLANS**

FOR  
**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 295-320  
 OPEN SPACE LOTS 196-212  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**  
 901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**EROSION & SEDIMENT CONTROL NOTES & DETAILS**

SHEET NUMBER: 42

**ENGINEER'S CERTIFICATE**  
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER: *Midan*  
 DATE: 1/8/2015

**DEVELOPER'S CERTIFICATE**  
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR EROSION AND SEDIMENT CONTROL. I ALSO AUTHORIZE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF DEVELOPER: *Brian Goldenberg*  
 DATE: 1/8/2015

OWNER: PM PATAPSCO LLC  
 1116 ARBIE ROAD  
 SILVER SPRING, MD 20904  
 CONTACT: MRS. SIMON ROSENBERG  
 PHONE: (301) 622-0645

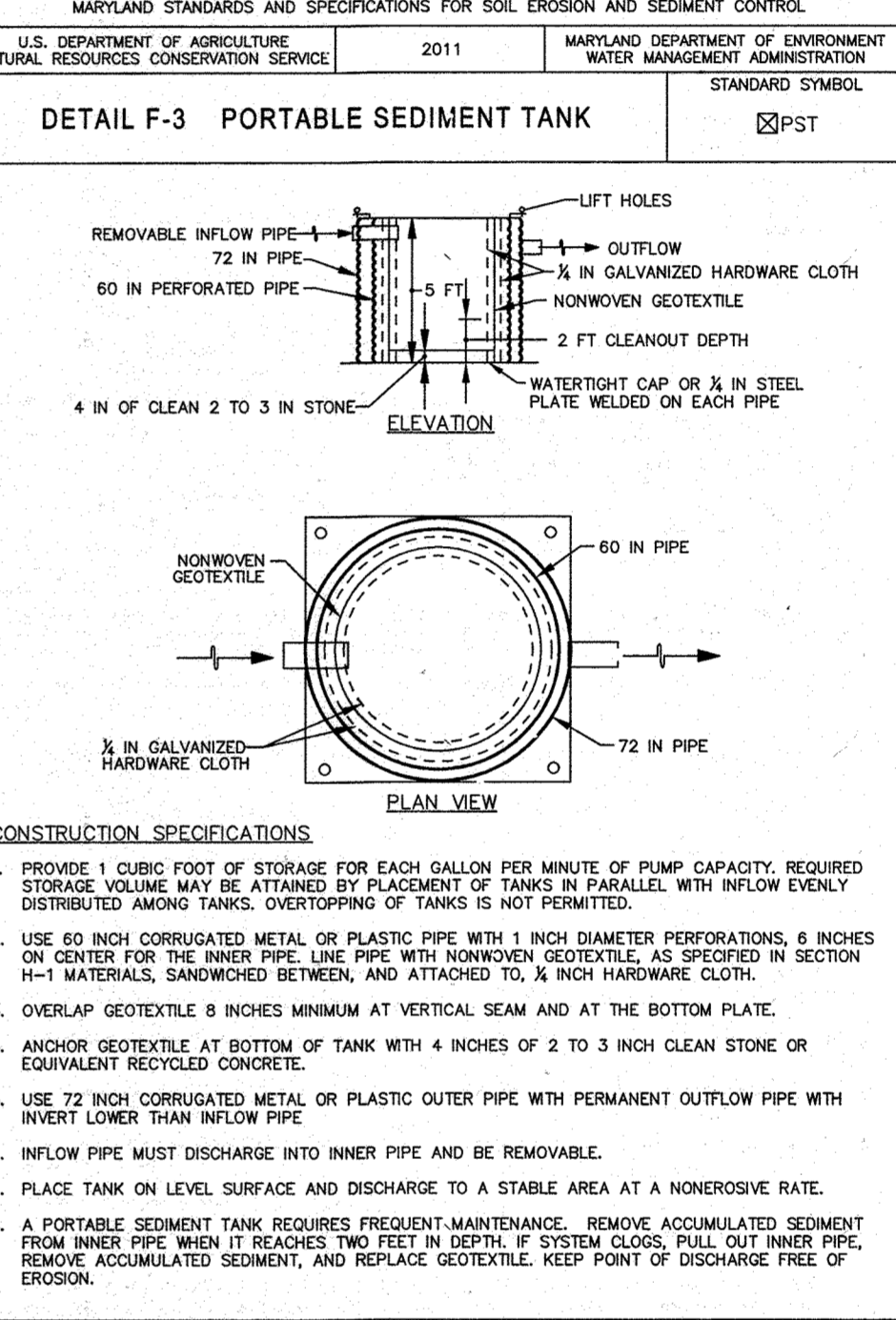
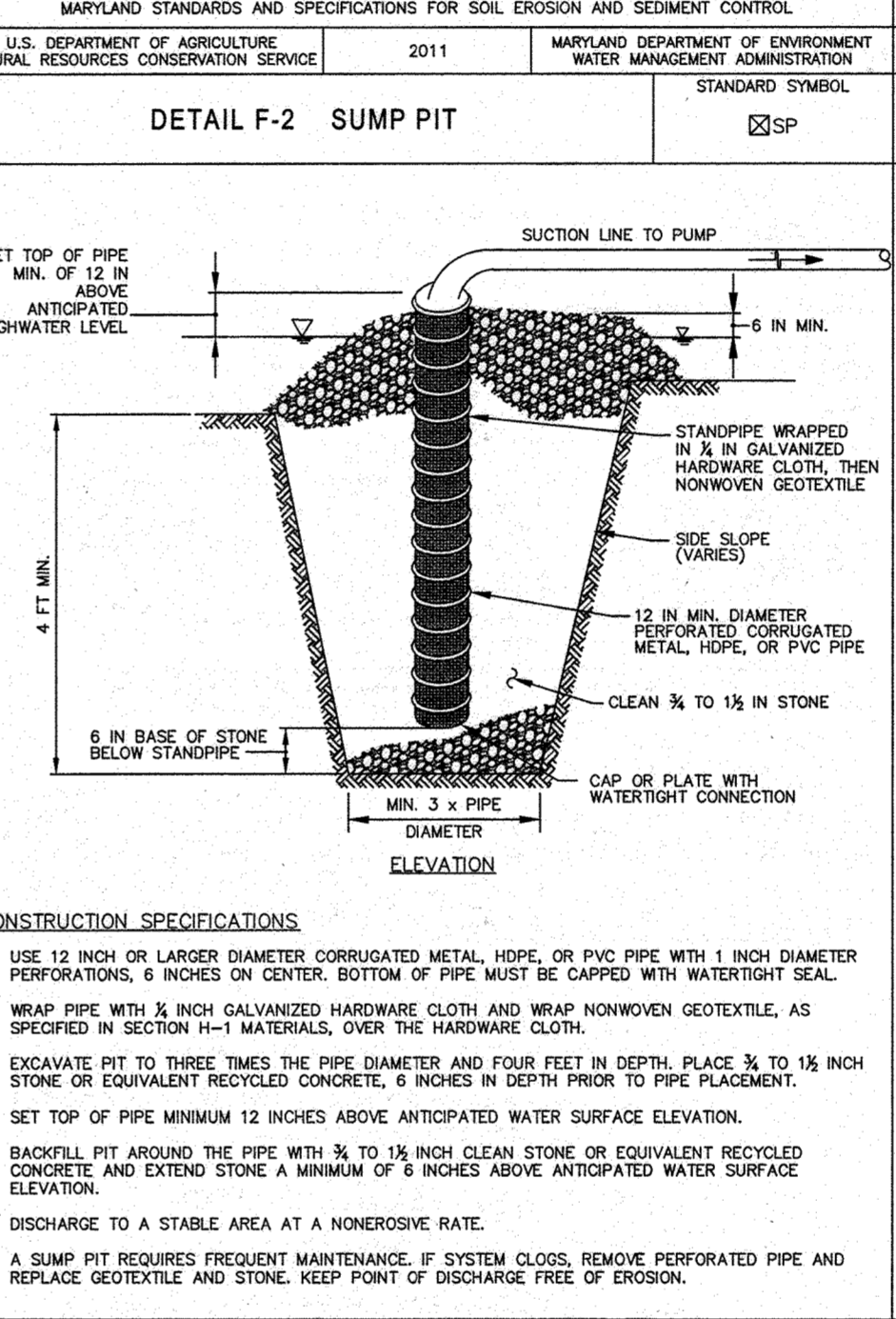
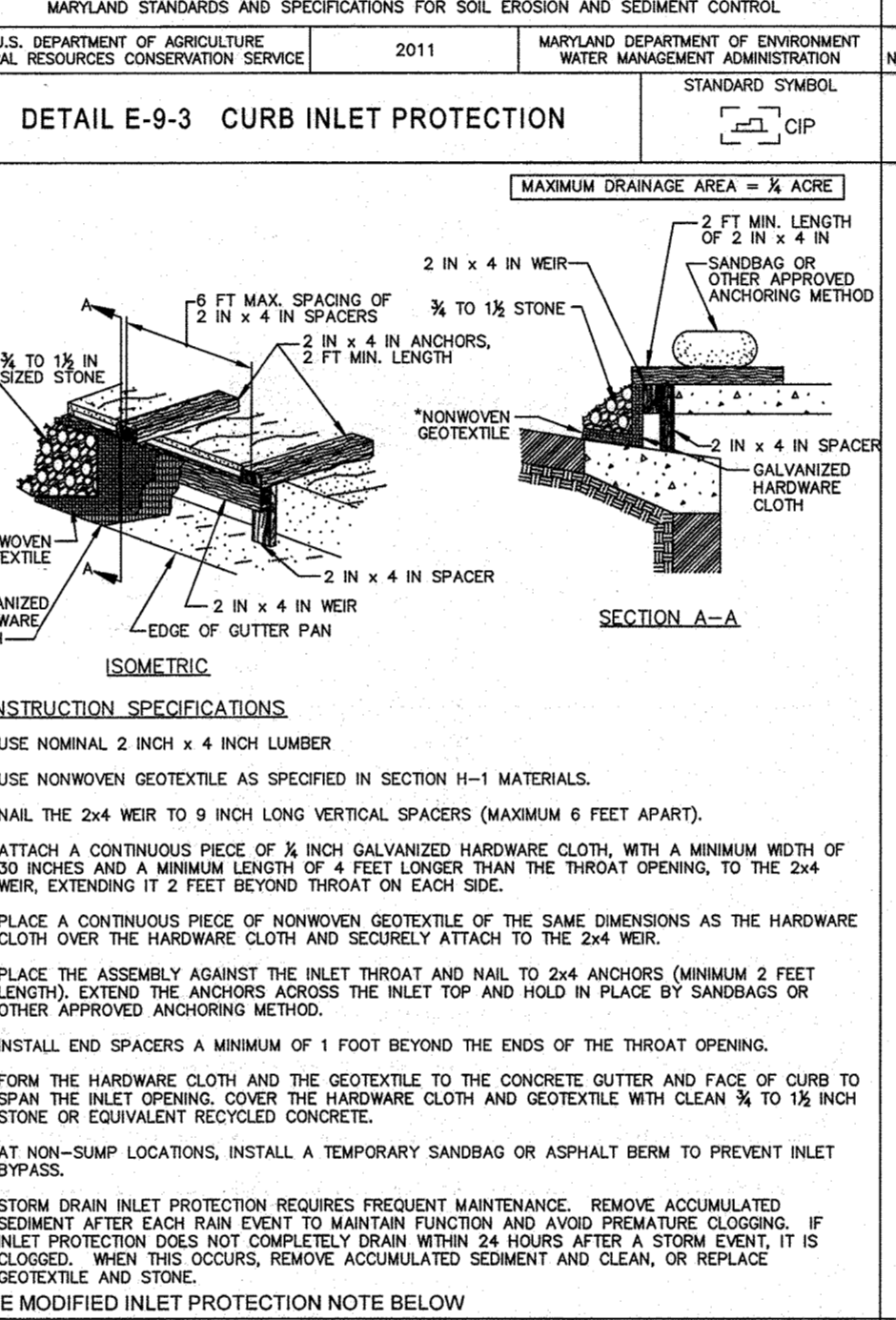
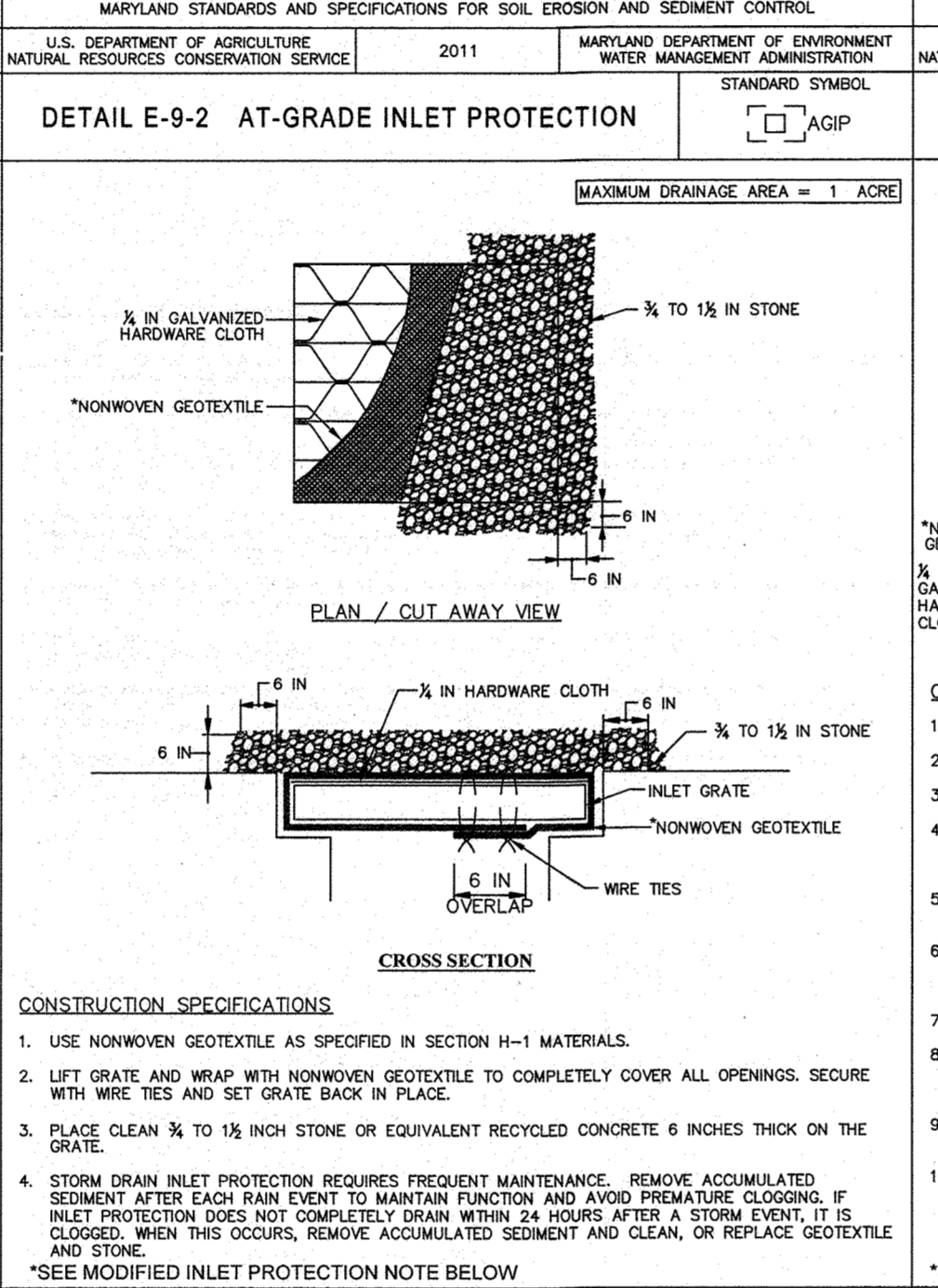
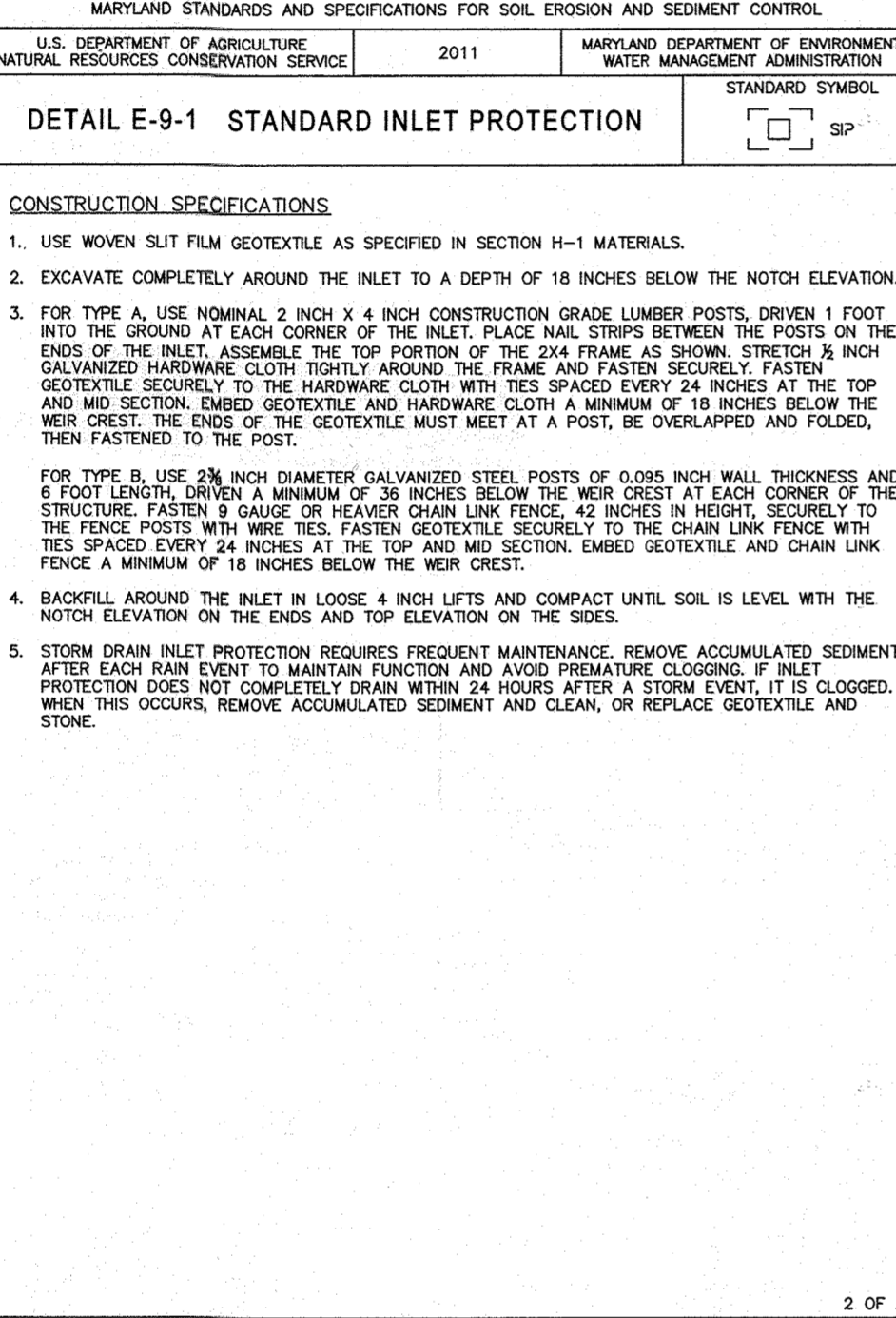
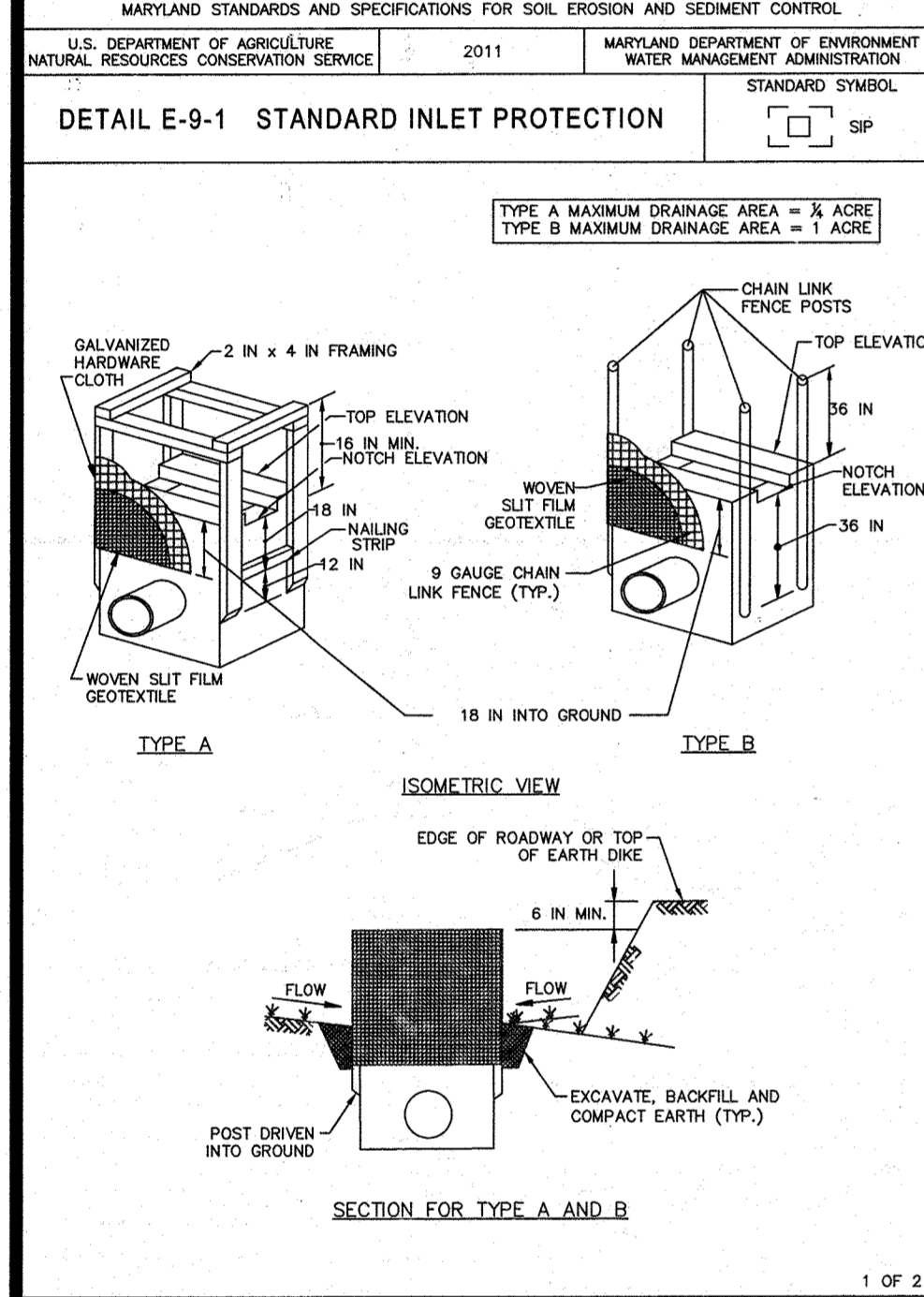
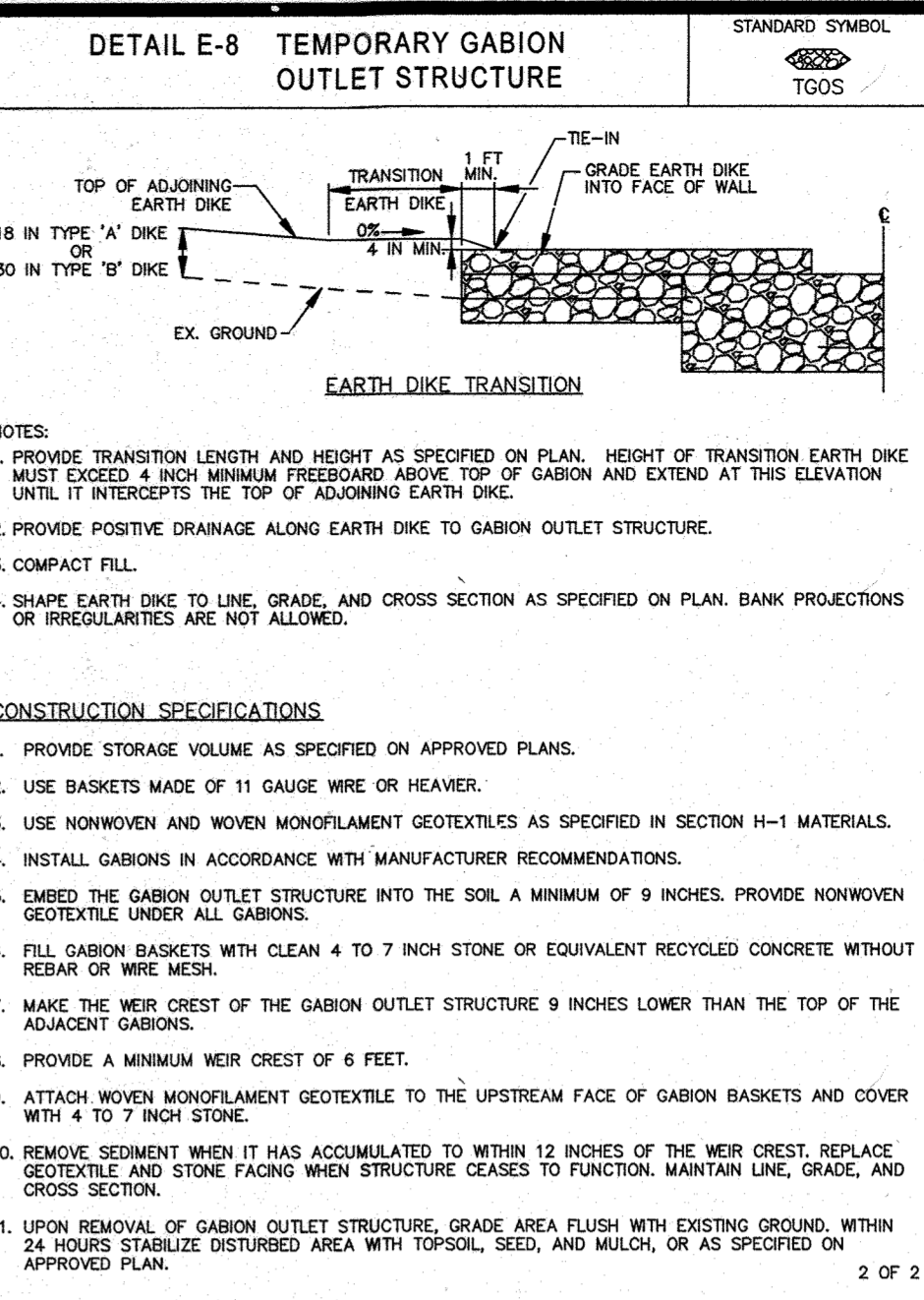
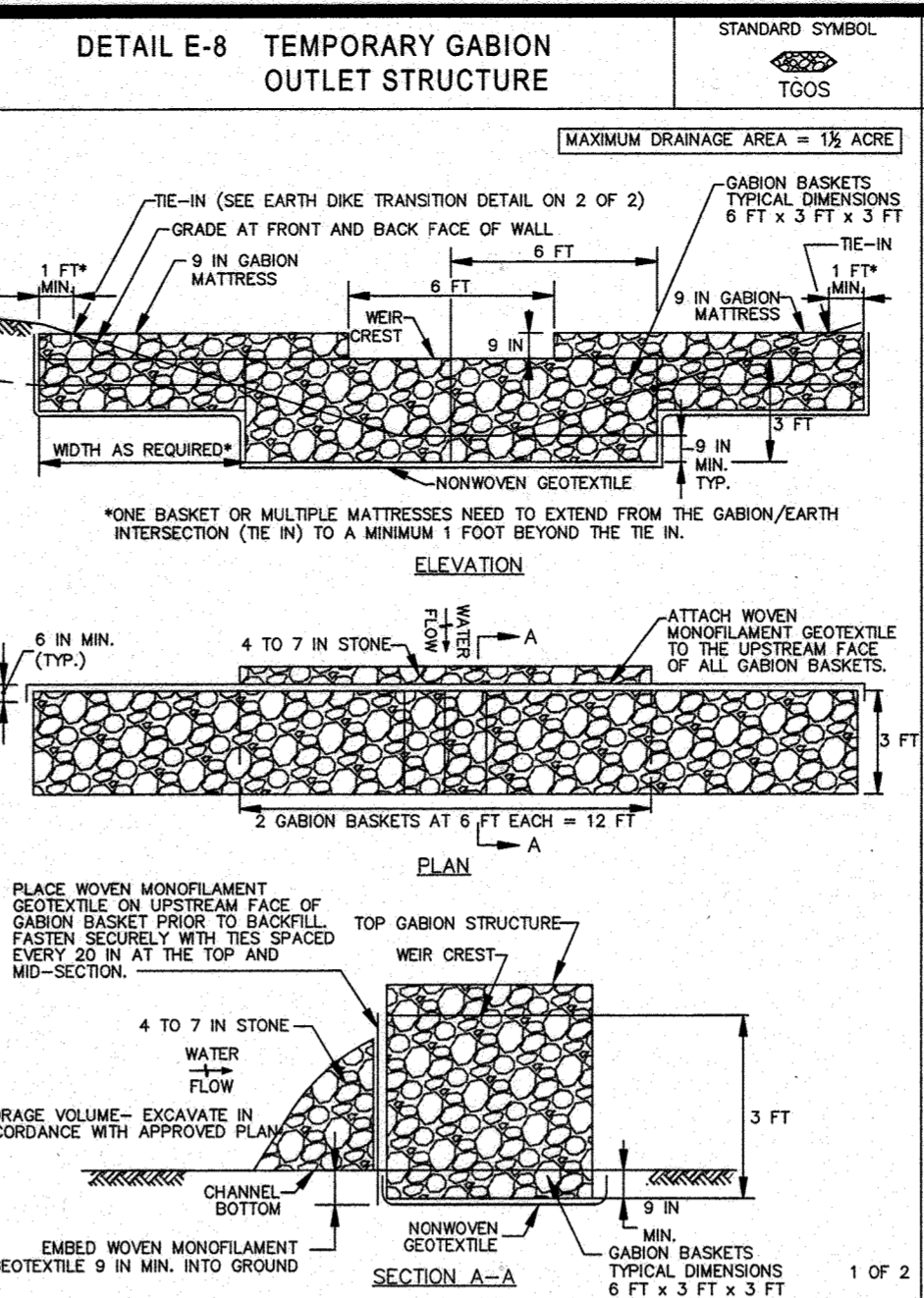
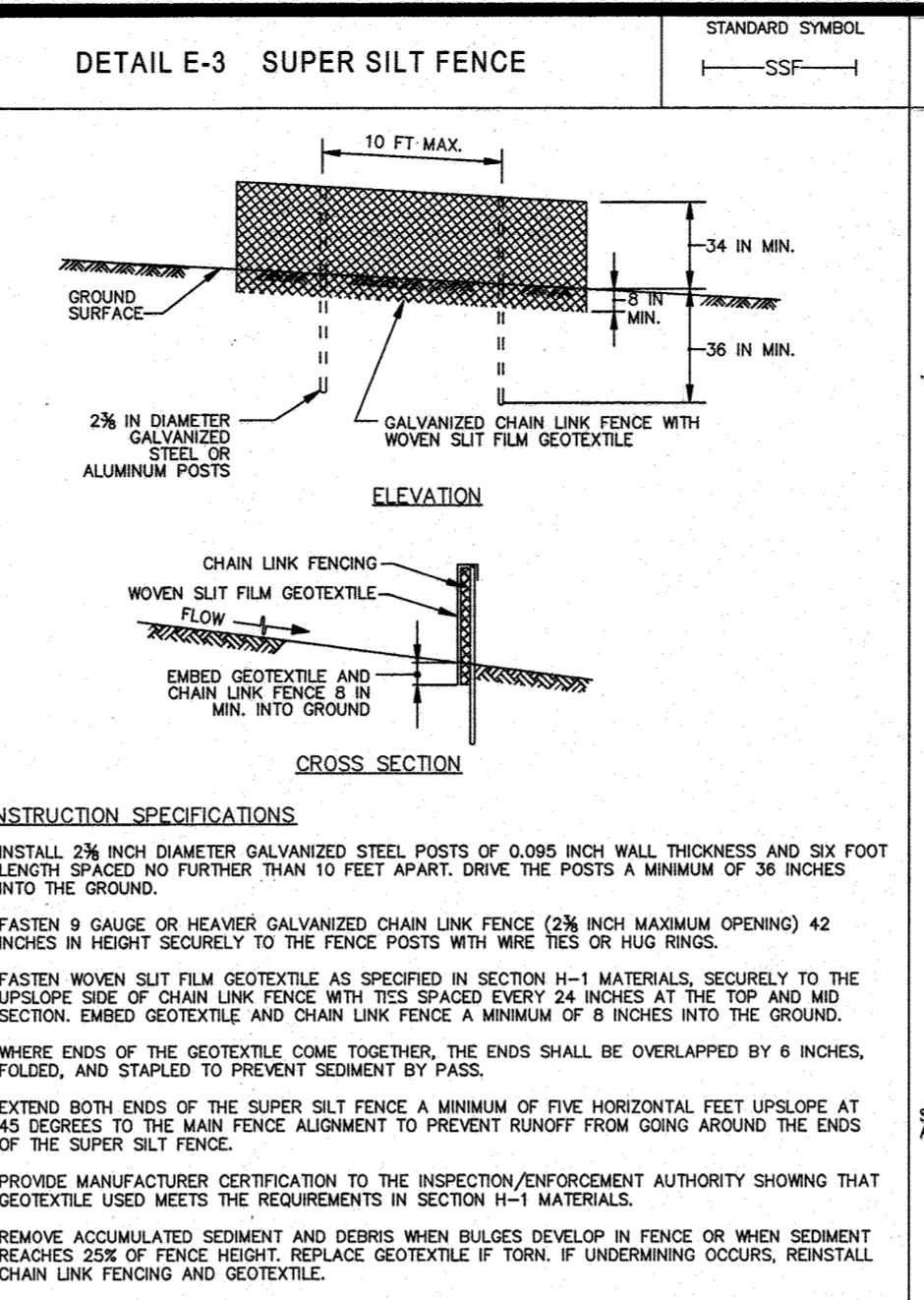
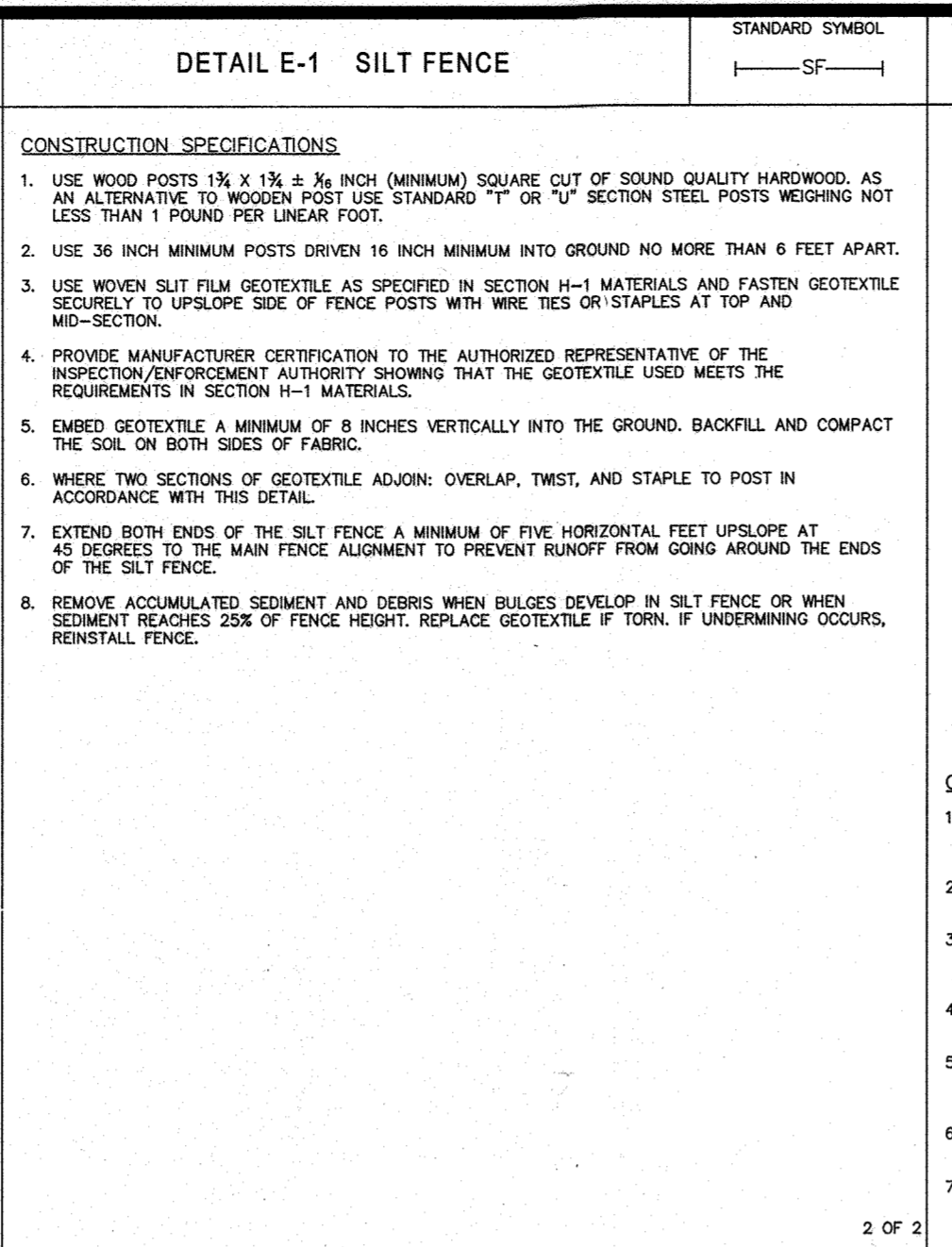
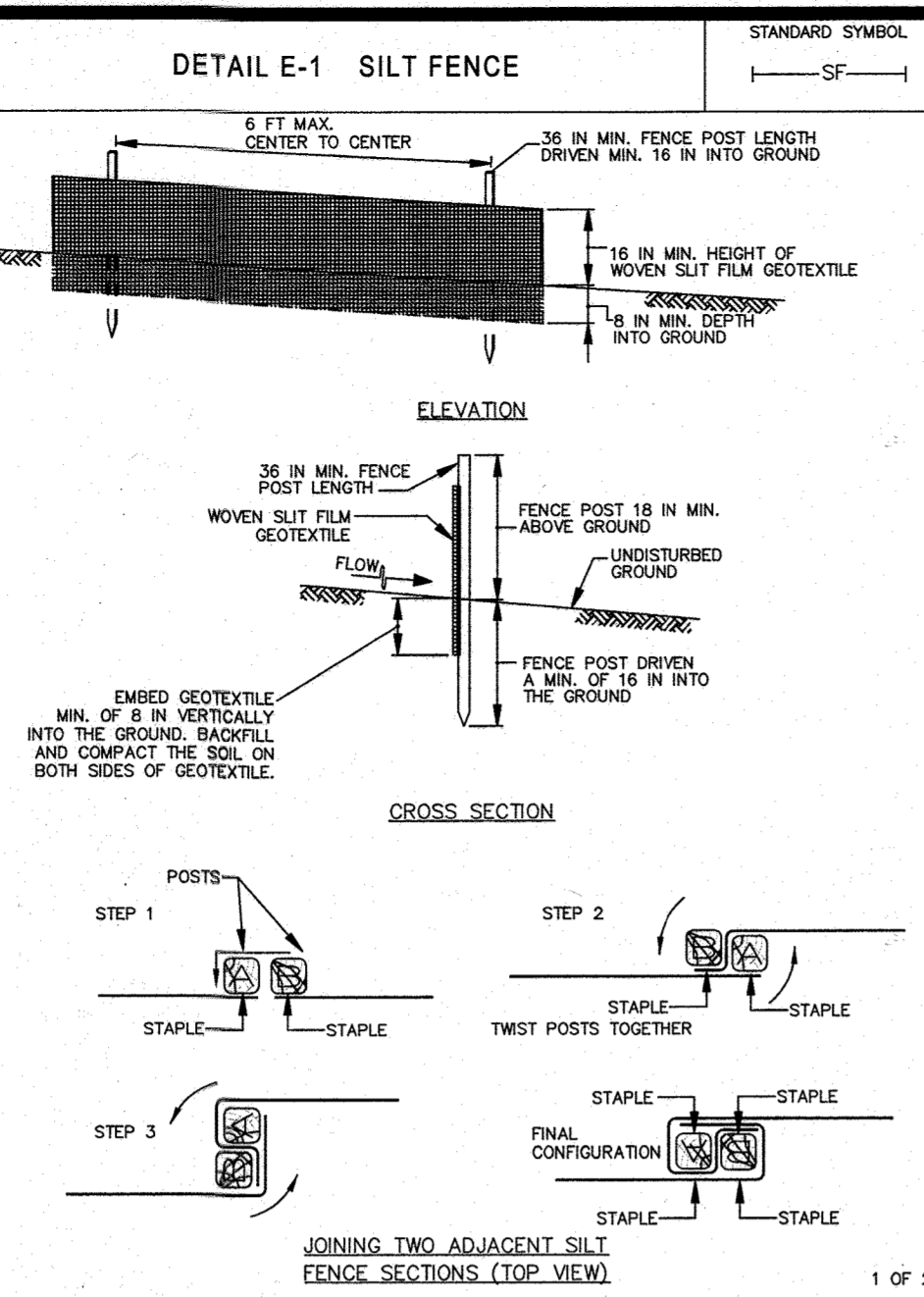
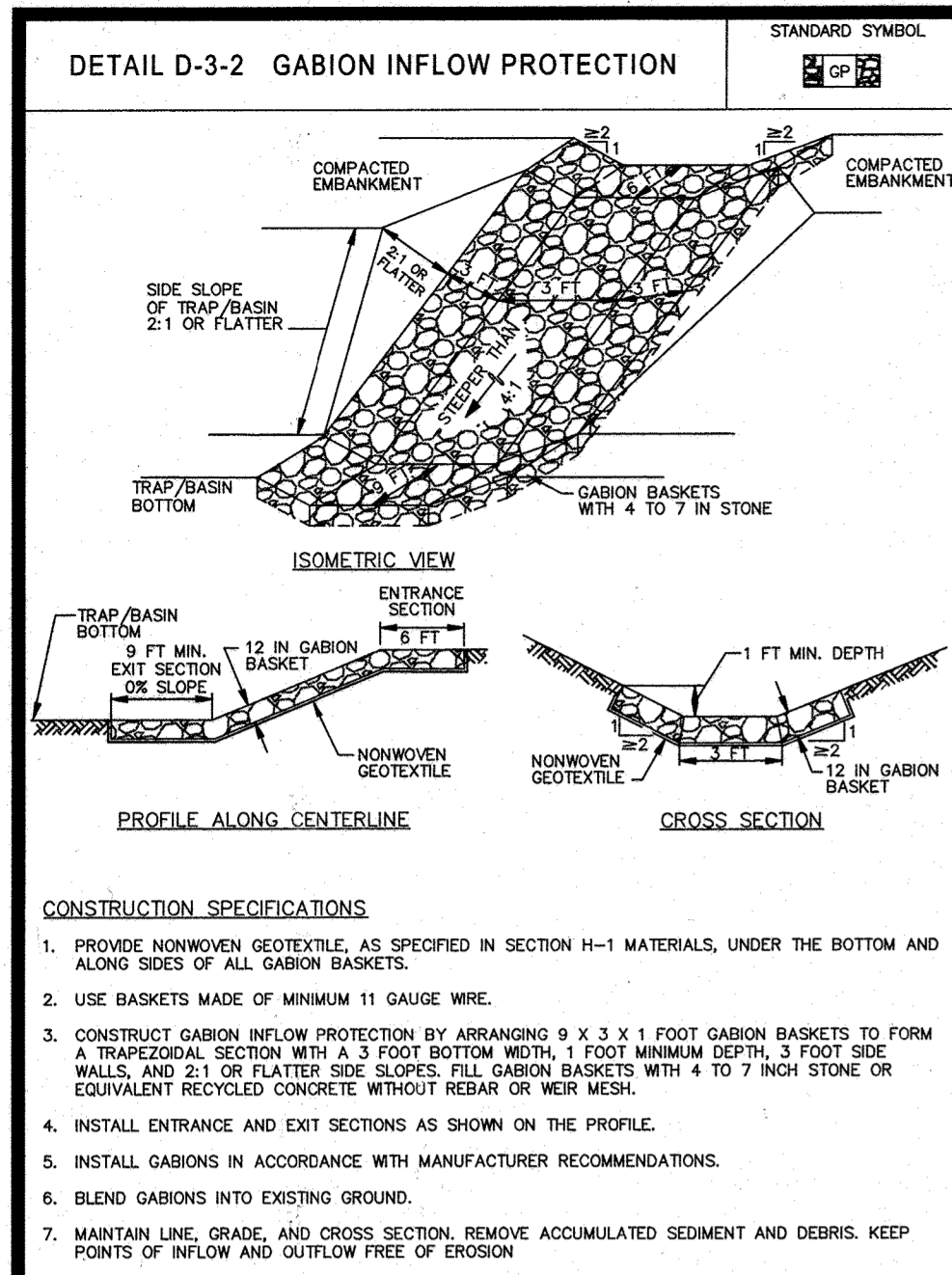
DEVELOPER: NAI THE MICHAEL COMPANIES  
 10100 BUSINESS PARKWAY, LANHAM, MD 20706  
 CONTACT: BRIAN GOLDSTEN  
 PHONE: (301) 918-2555

PERMIT INFORMATION CHART  
 SUBDIVISION NAME: ESTATES AT PATAPSCO PARK  
 SECTION AREA: NA  
 LOT/PARCEL NO.: NA  
 ZONING: R-20 & RED  
 TAX MAP NO.: 17  
 ELECT. DIST. NO.: 2ND  
 CENSUS TRACT: NA

PREVIOUS FILE NO.: SP-13-012  
 EOP-13-029  
 WP-13-185  
 PB CASE NO.: 403

PROFESSIONAL CERTIFICATION  
 I, BRANDON R. ROWE, CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 48808, EXPIRATION DATE: 7/31/2015

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHOULD BE STOPPED IMMEDIATELY IF THE CONTRACTOR DISCOVERS ANY DISCREPANCIES OR OMISSIONS. THE CONTRACTOR SHALL CONTACT THE DESIGNER IMMEDIATELY IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE DESIGNER IMMEDIATELY SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL REGULATIONS AND CODES.



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CONSERVATION SERVICE 2011

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CONSERVATION SERVICE 2011

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CONSERVATION SERVICE 2011

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CONSERVATION SERVICE 2011

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CONSERVATION SERVICE 2011

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CONSERVATION SERVICE 2011

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
**John R. Platan**  
 HOWARD SCD  
 APPROVED: DEPARTMENT OF PUBLIC WORKS  
 CHIEF, BUREAU OF HIGHWAYS  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 APPROVED: DEVELOPMENT ENGINEERING DIVISION  
 GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE DONE IN ACCORDANCE WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.

ENGINEER'S CERTIFICATE  
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
**B. Rowe**  
 SIGNATURE OF ENGINEER  
 BRANNON R. ROWE, P.E.  
 DEVELOPER'S CERTIFICATE  
 I/WE HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONSITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.  
**B. Rowe**  
 SIGNATURE OF DEVELOPER  
 BRANNON R. ROWE, P.E.

MODIFIED INLET PROTECTION (M.A.G.I.P. & M.C.I.P.)  
 FOR INLETS DRAINING TO PROPOSED BIORETENTION AND/OR MICRO-BIORETENTION FACILITIES, REPLACE 'NONWOVEN GEOTEXTILE' FABRIC WITH 30 ML IMPERMEABLE LINER TO PREVENT RUNOFF FROM ENTERING BIORETENTION AND/OR MICRO-BIORETENTION FACILITIES UNTIL SUCH TIME THAT BOTH THEIR DRAINAGE AREAS HAVE RECEIVED PERMANENT STABILIZATION AND THE FACILITIES THEMSELVES HAVE BEEN INSTALLED AND STABILIZED. SEE EROSION AND SEDIMENT CONTROL PLAN FOR TEMPORARY DIVERSION OF RUNOFF TO OTHER SEDIMENT CONTROL MEASURES.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CONSERVATION SERVICE 2011

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CONSERVATION SERVICE 2011

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**BOHLER ENGINEERING**  
 CORPORATION OFFICE:  
 WASHINGTON, DC  
 SURVEYORS  
 CIVIL & CONSULTING ENGINEERS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS  
 REGISTERED PROFESSIONAL ENGINEERS

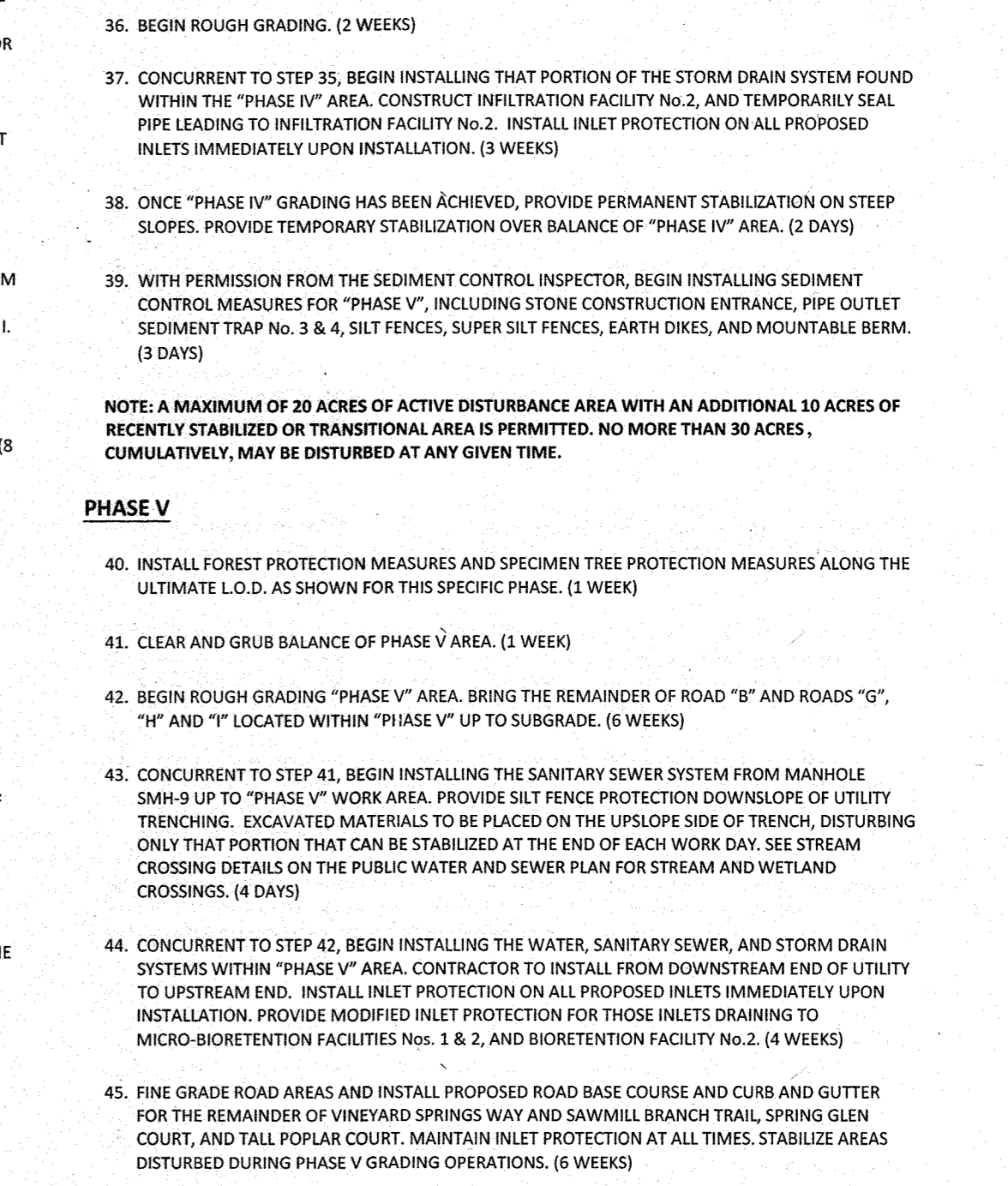
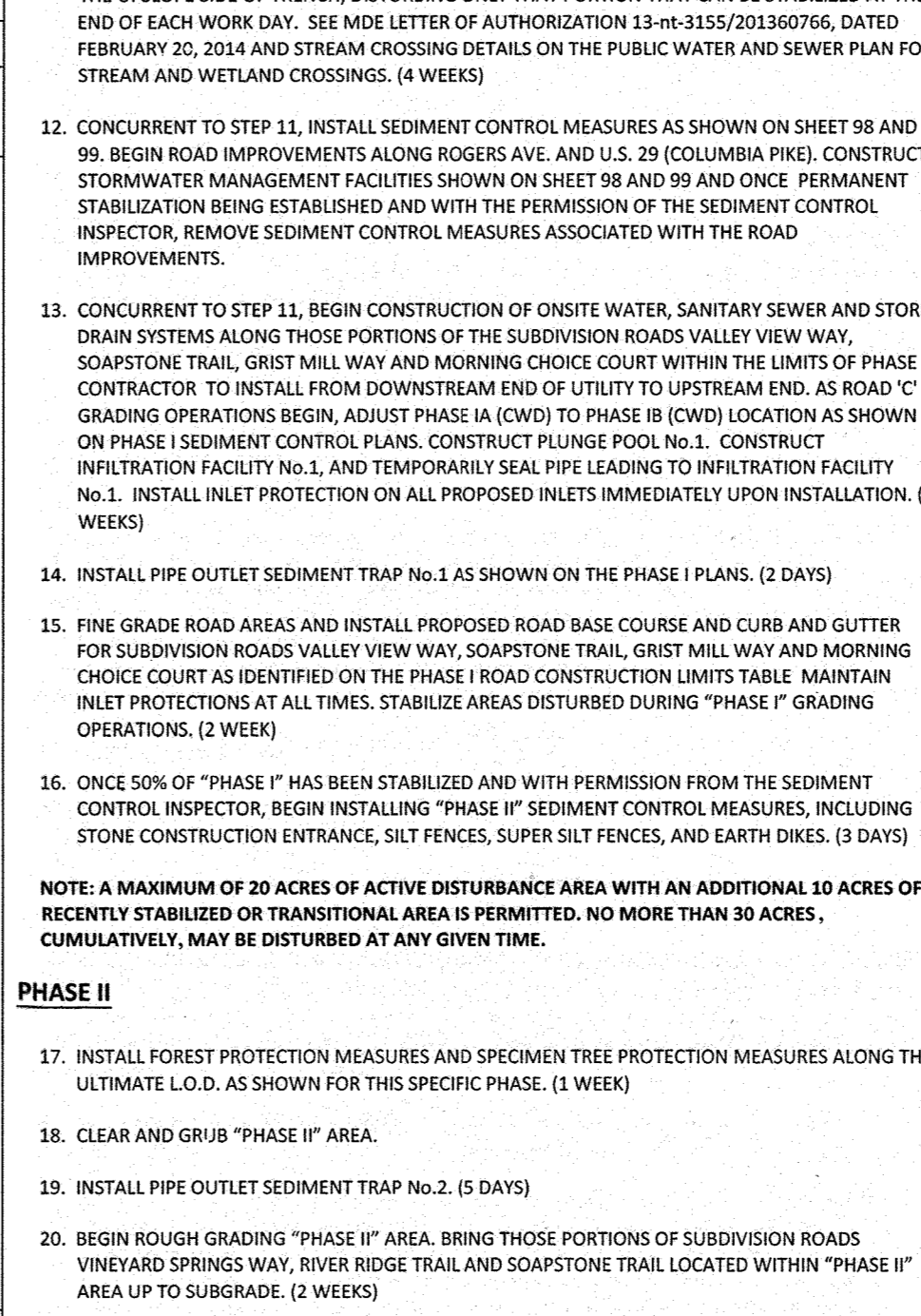
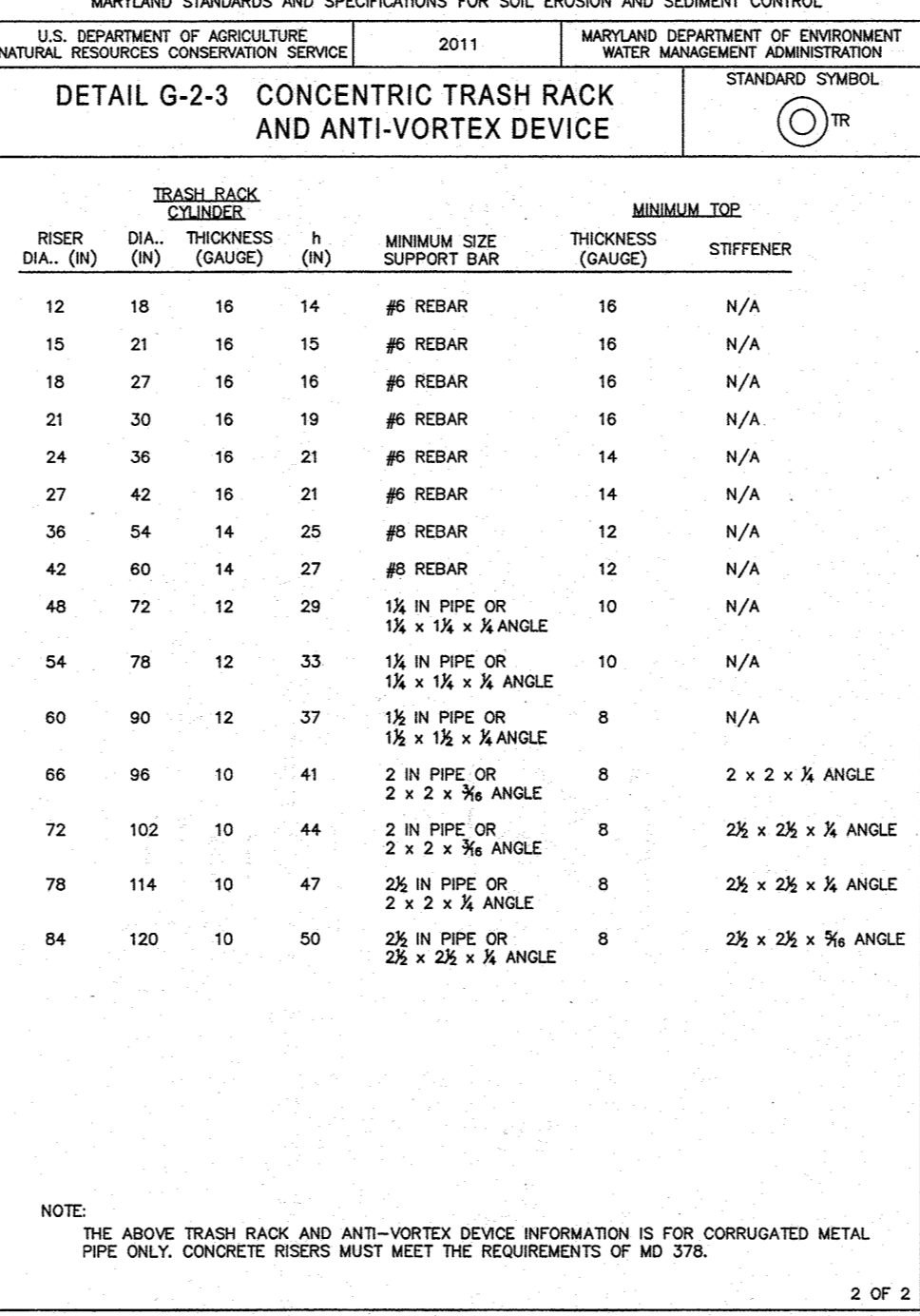
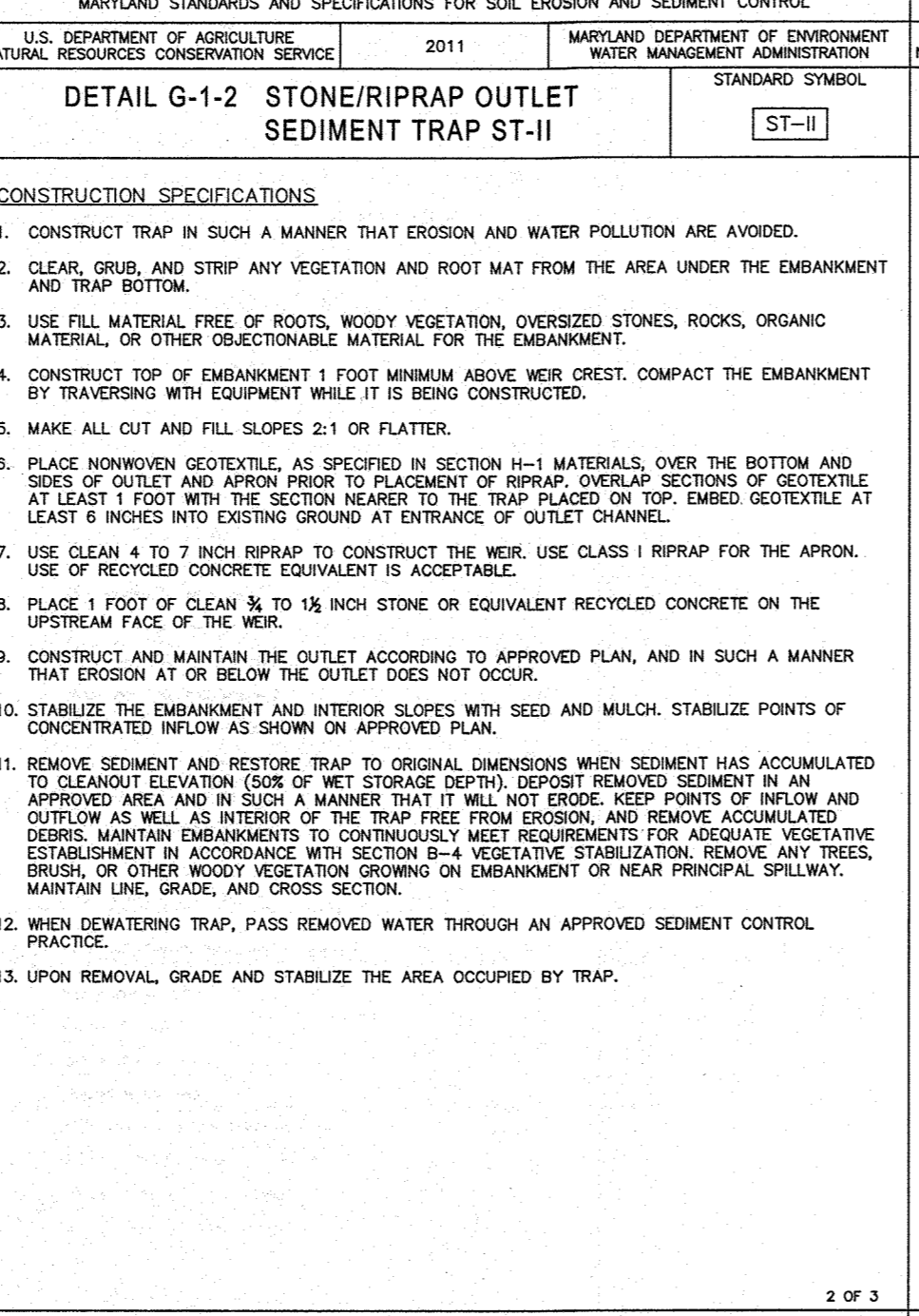
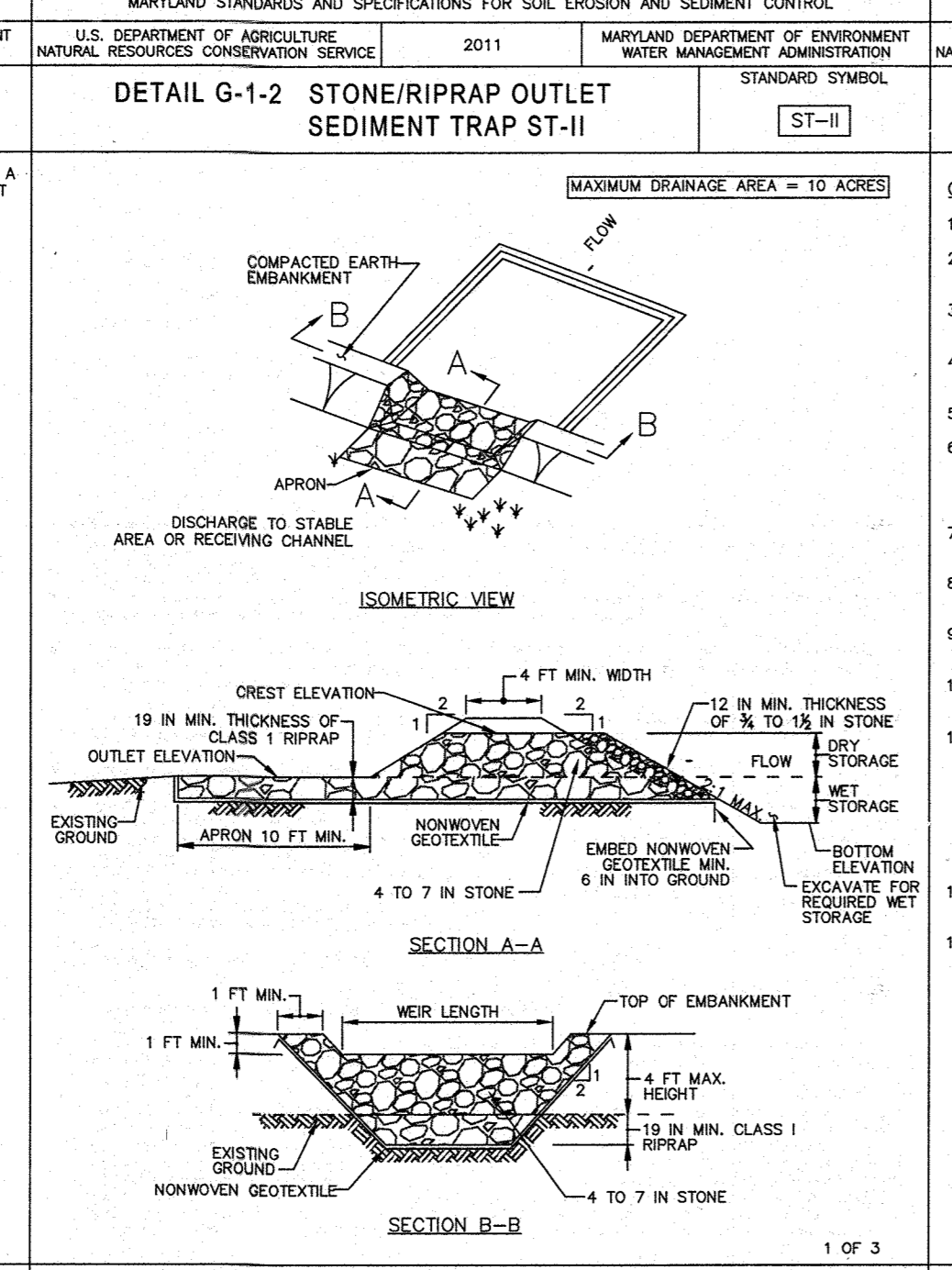
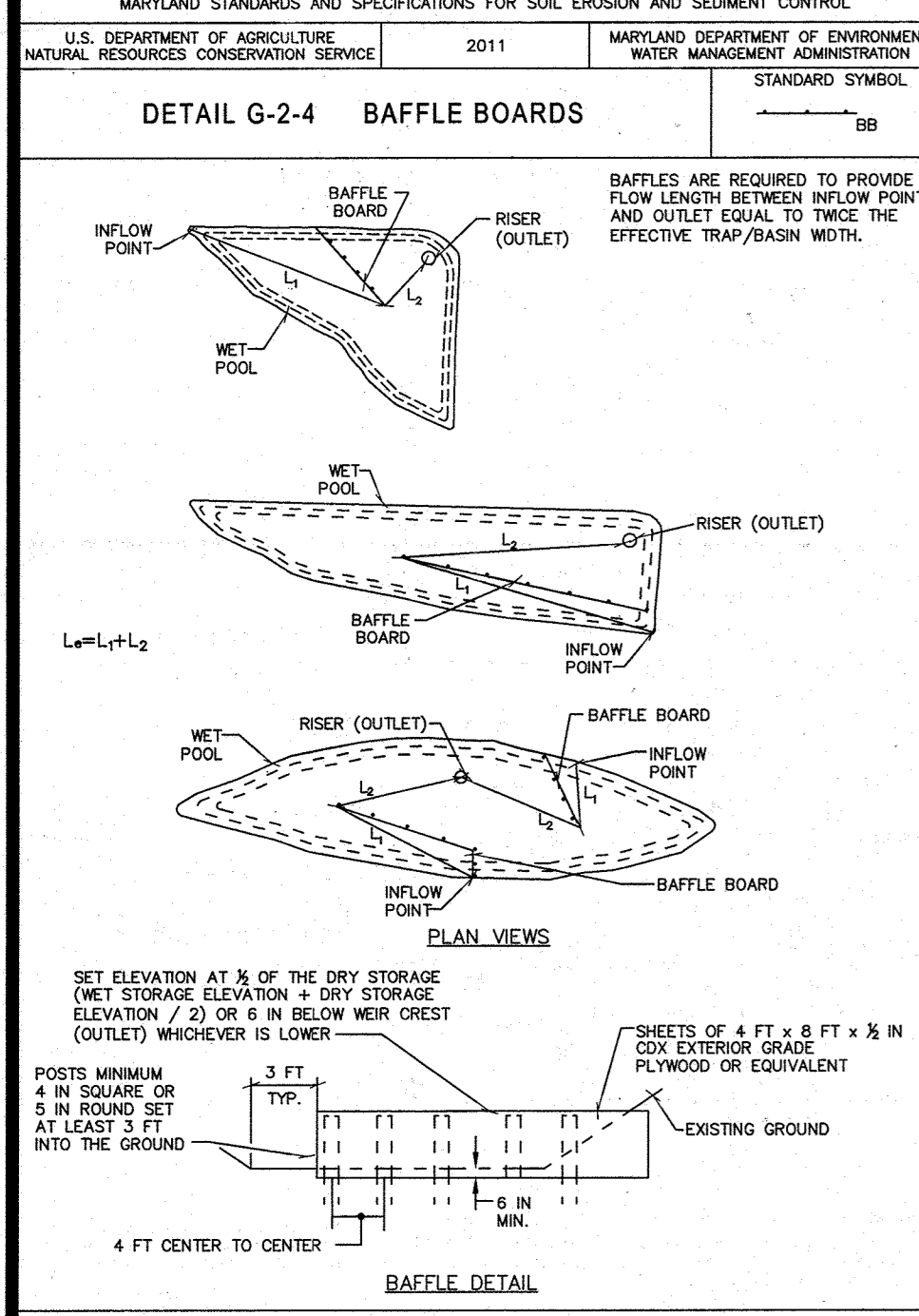
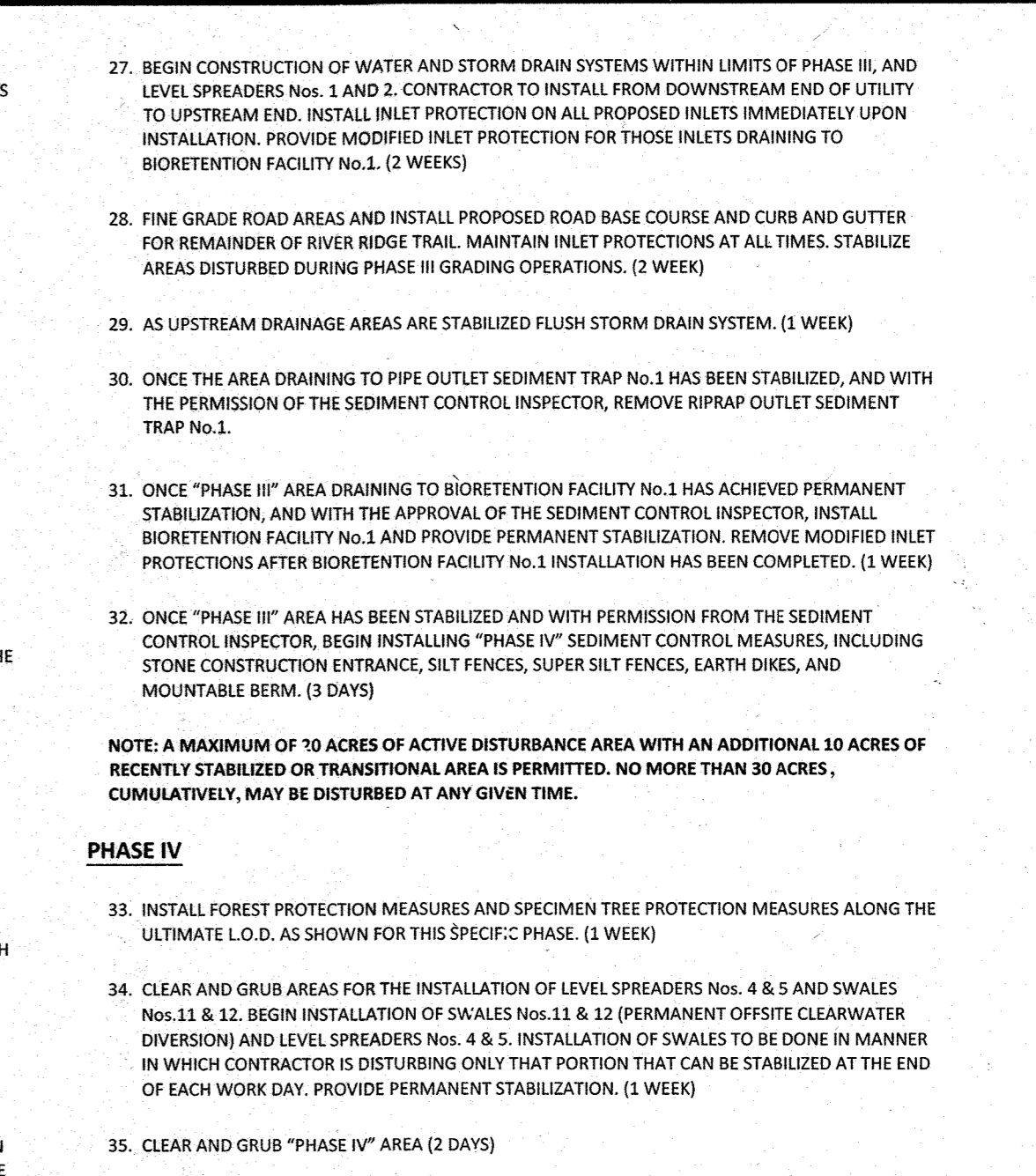
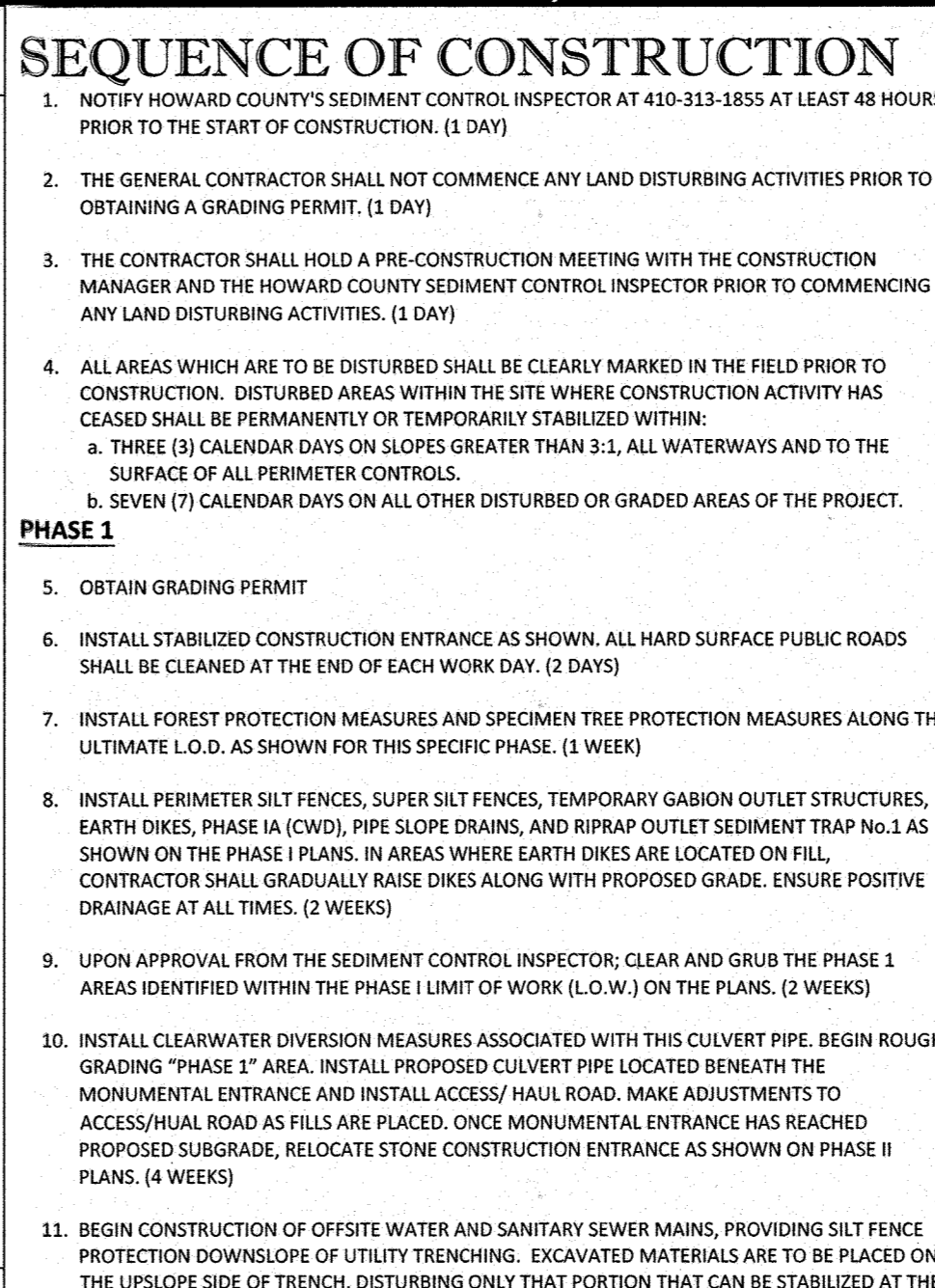
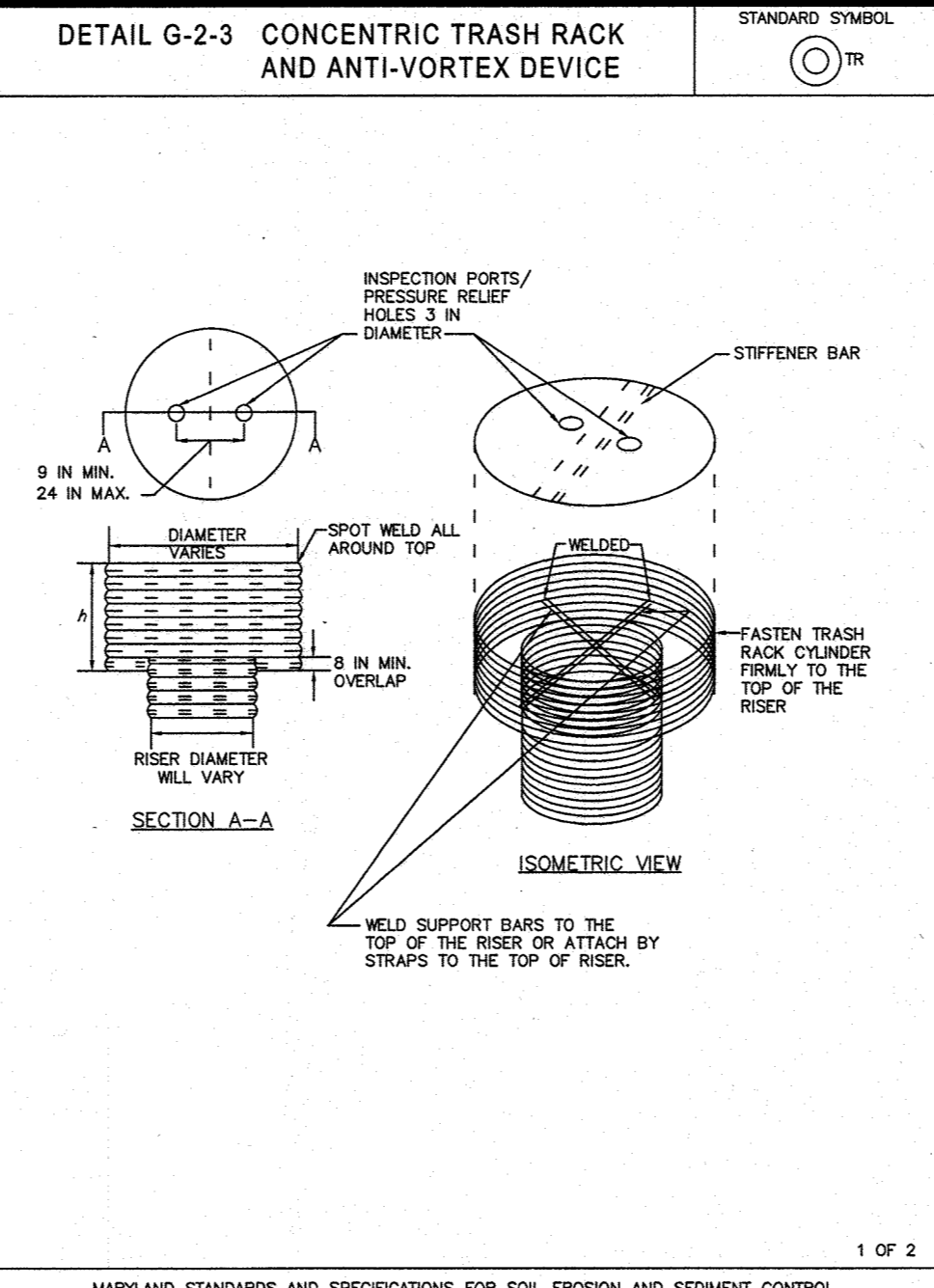
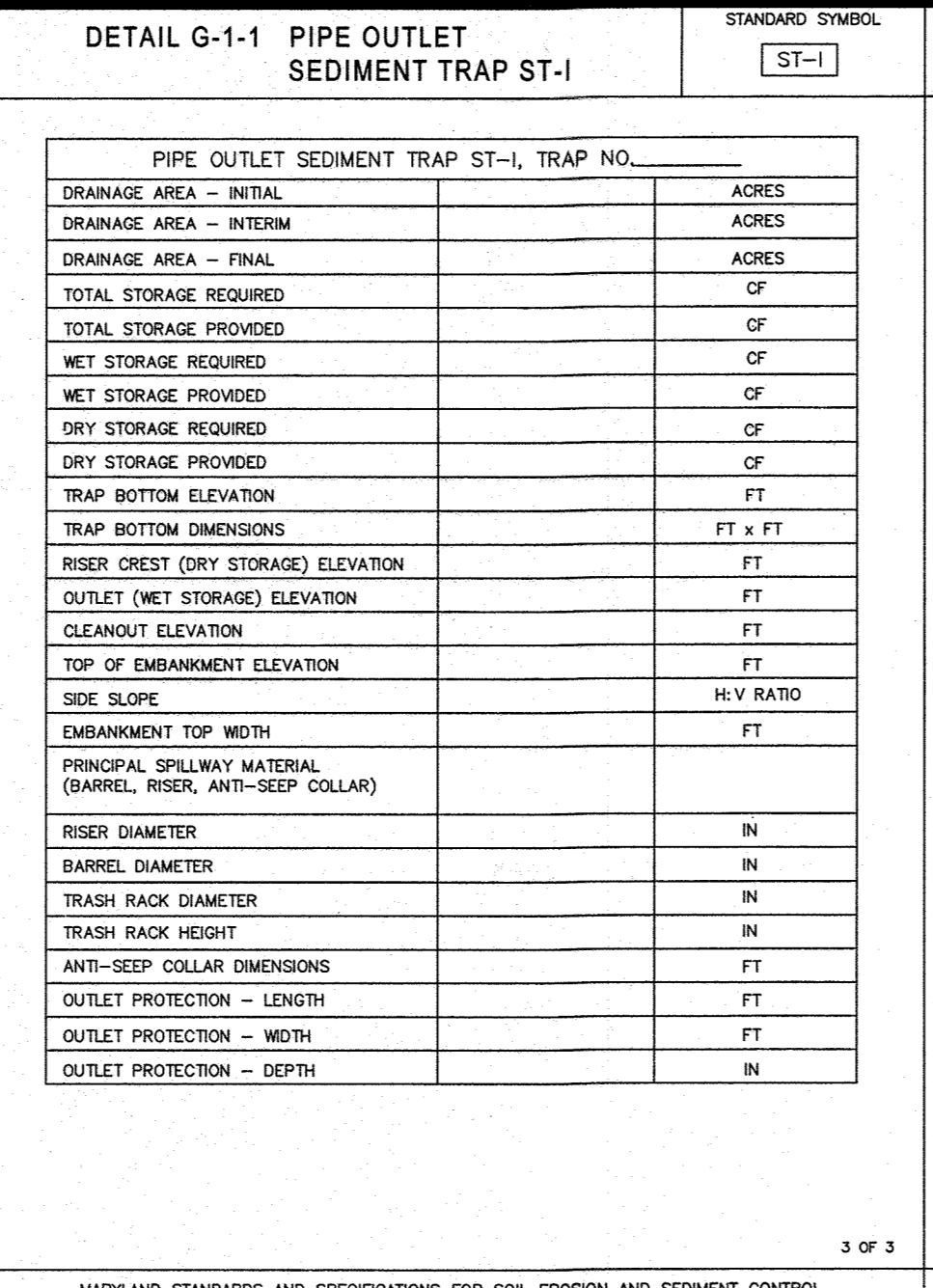
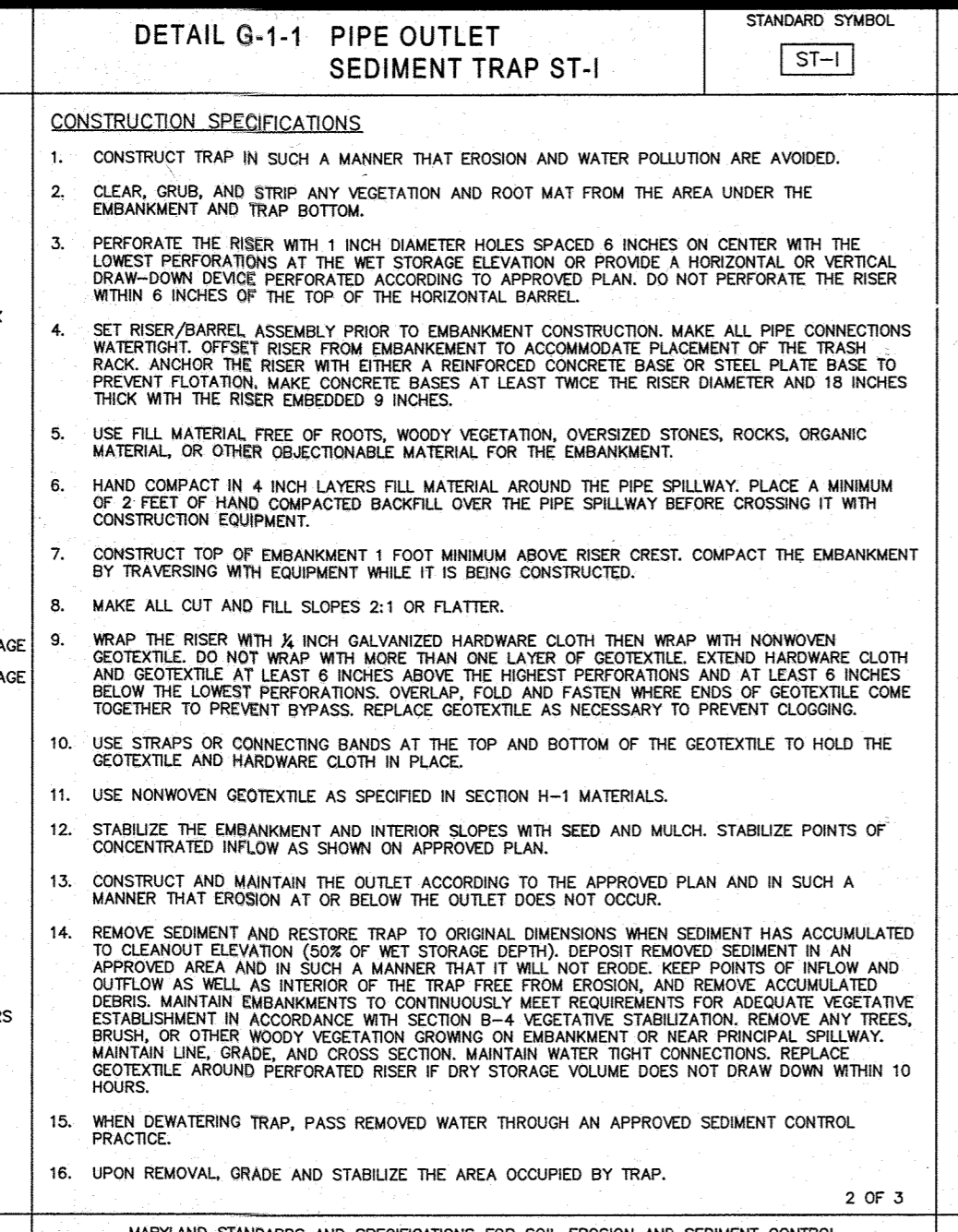
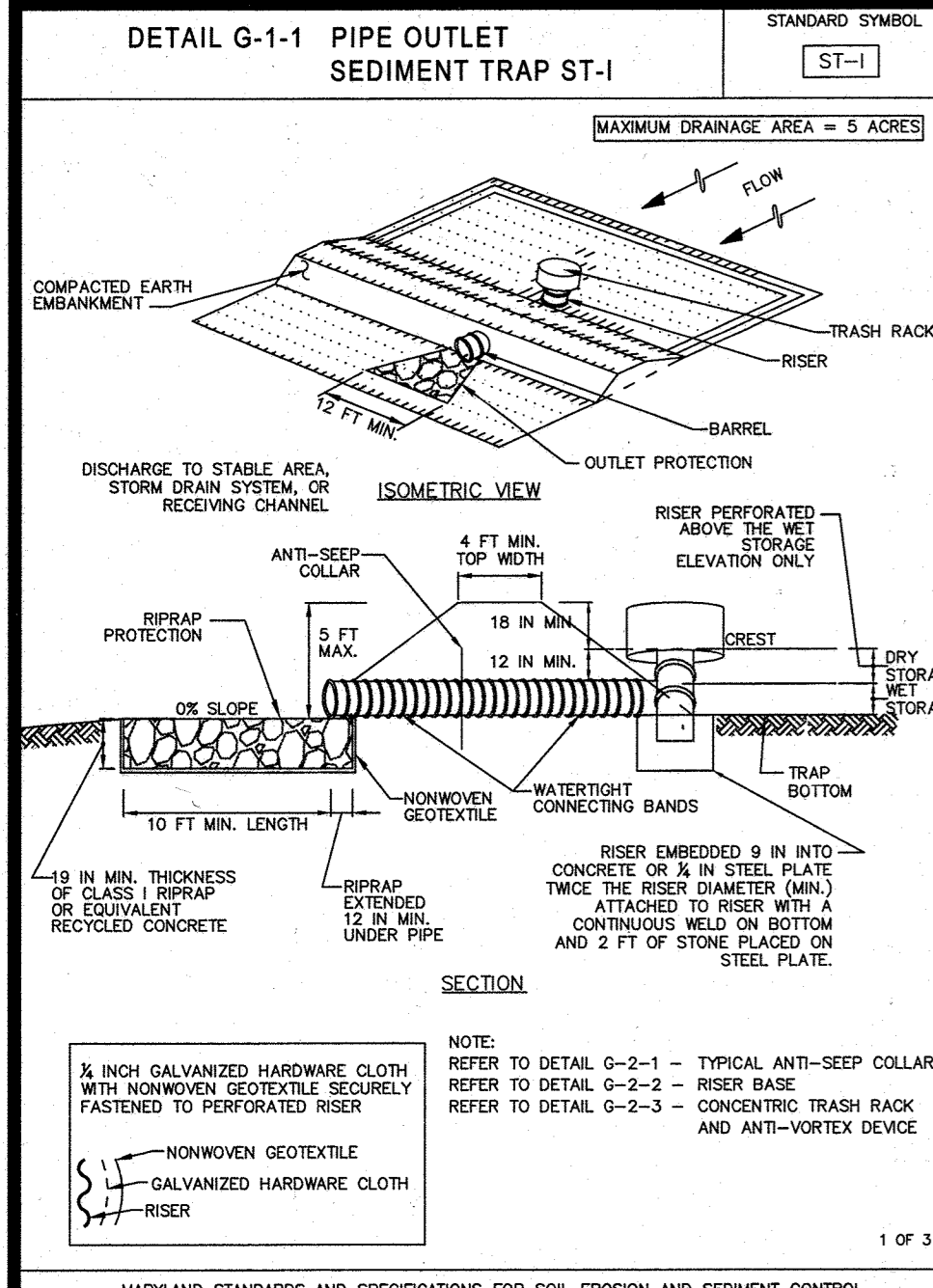
REV	DATE	COMMENT	BY
3	11/30/14	AS BUILT	BR

NOT APPROVED FOR CONSTRUCTION  
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 CHECKED BY: RLB  
 DATE: 12/11/14  
 SCALE: AS SHOWN  
 CAD/D: PSD

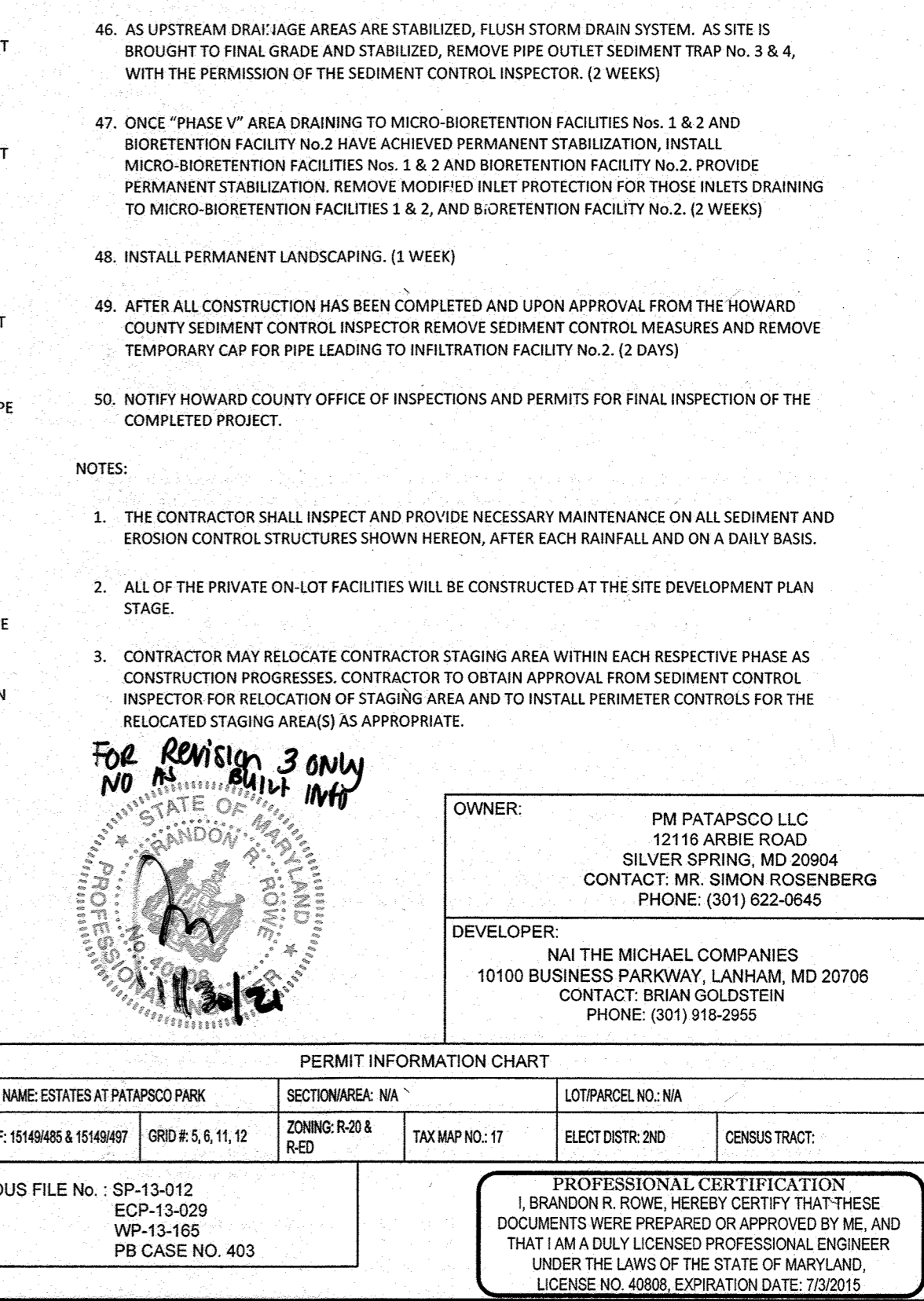
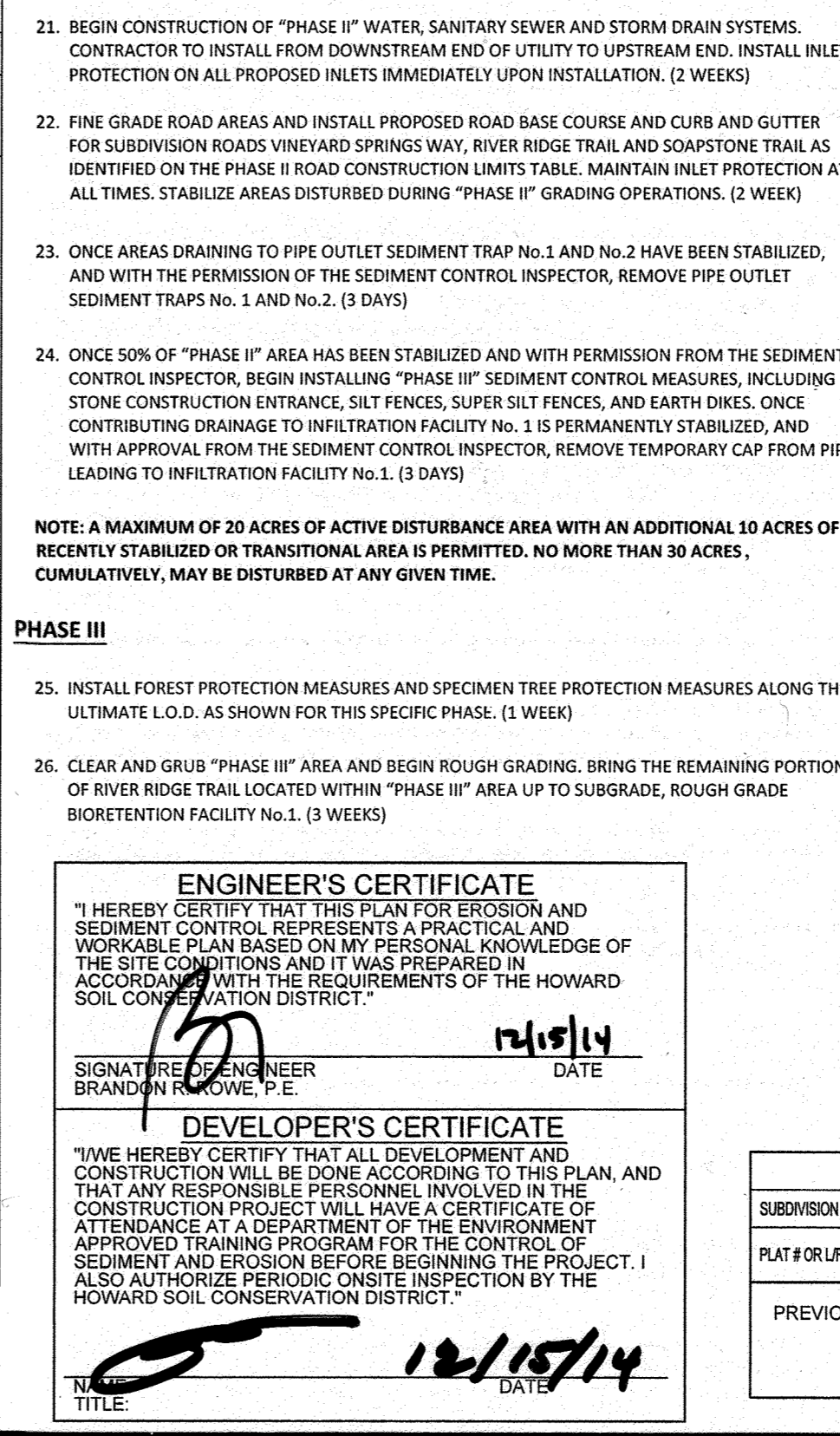
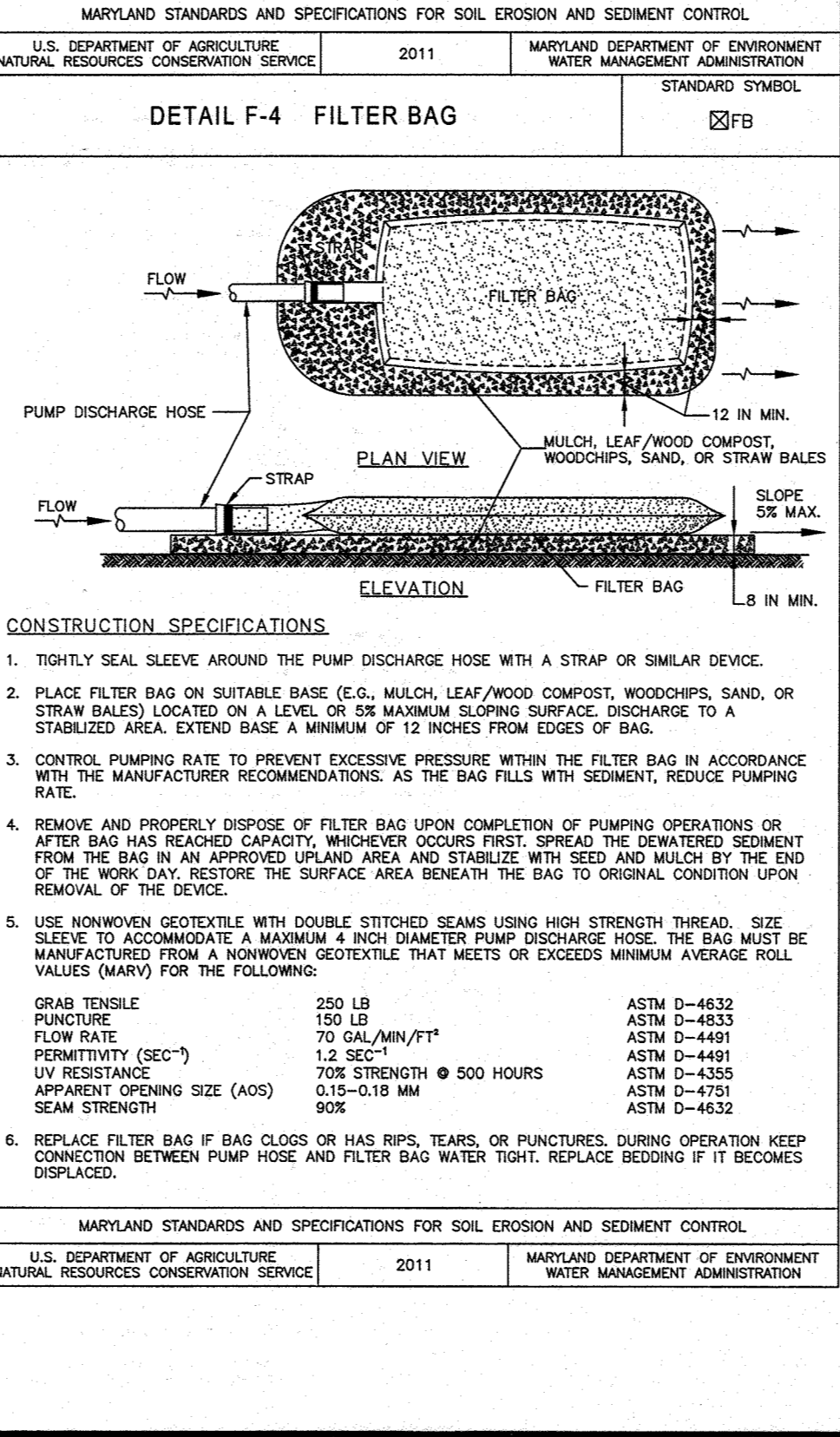
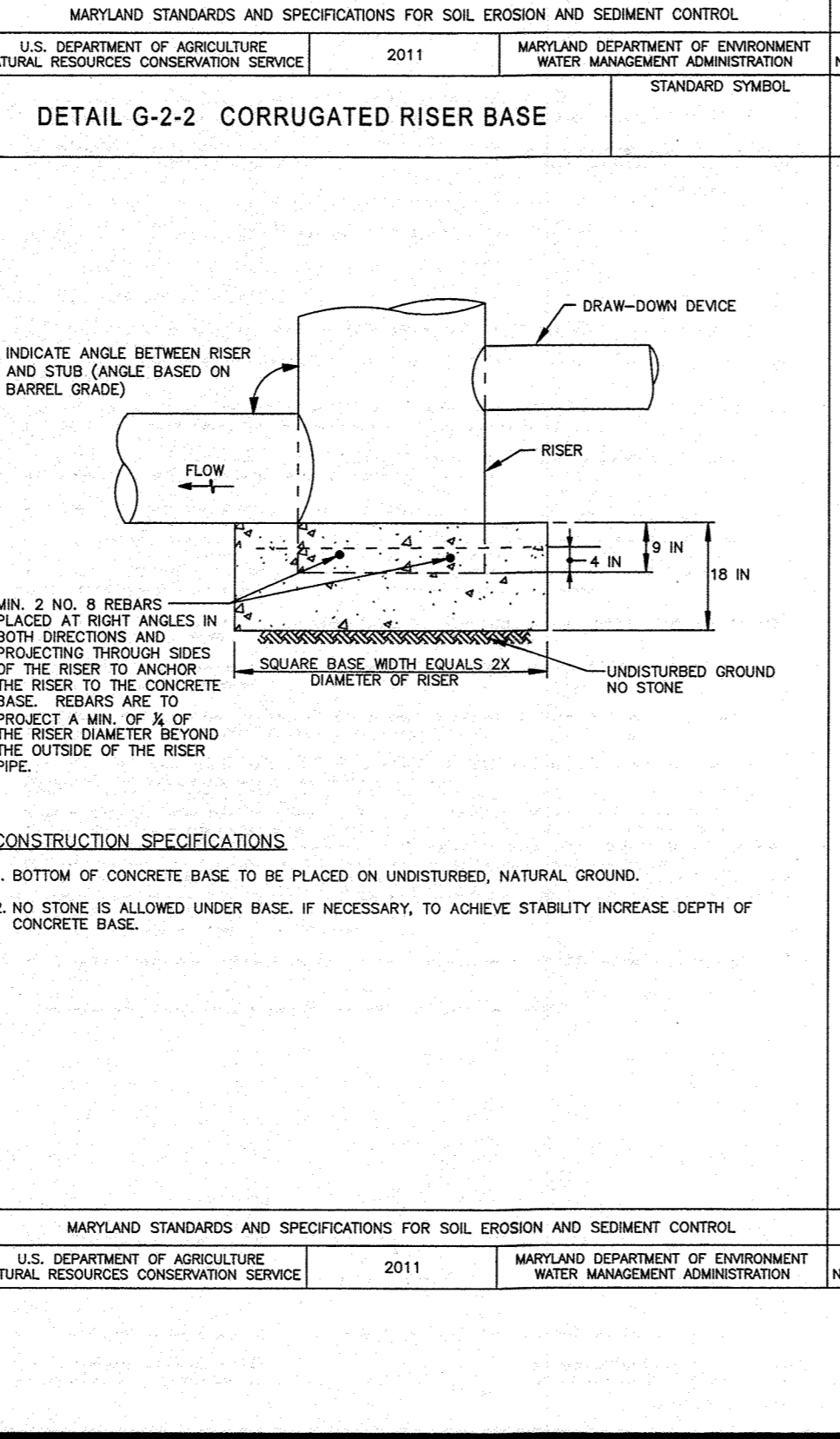
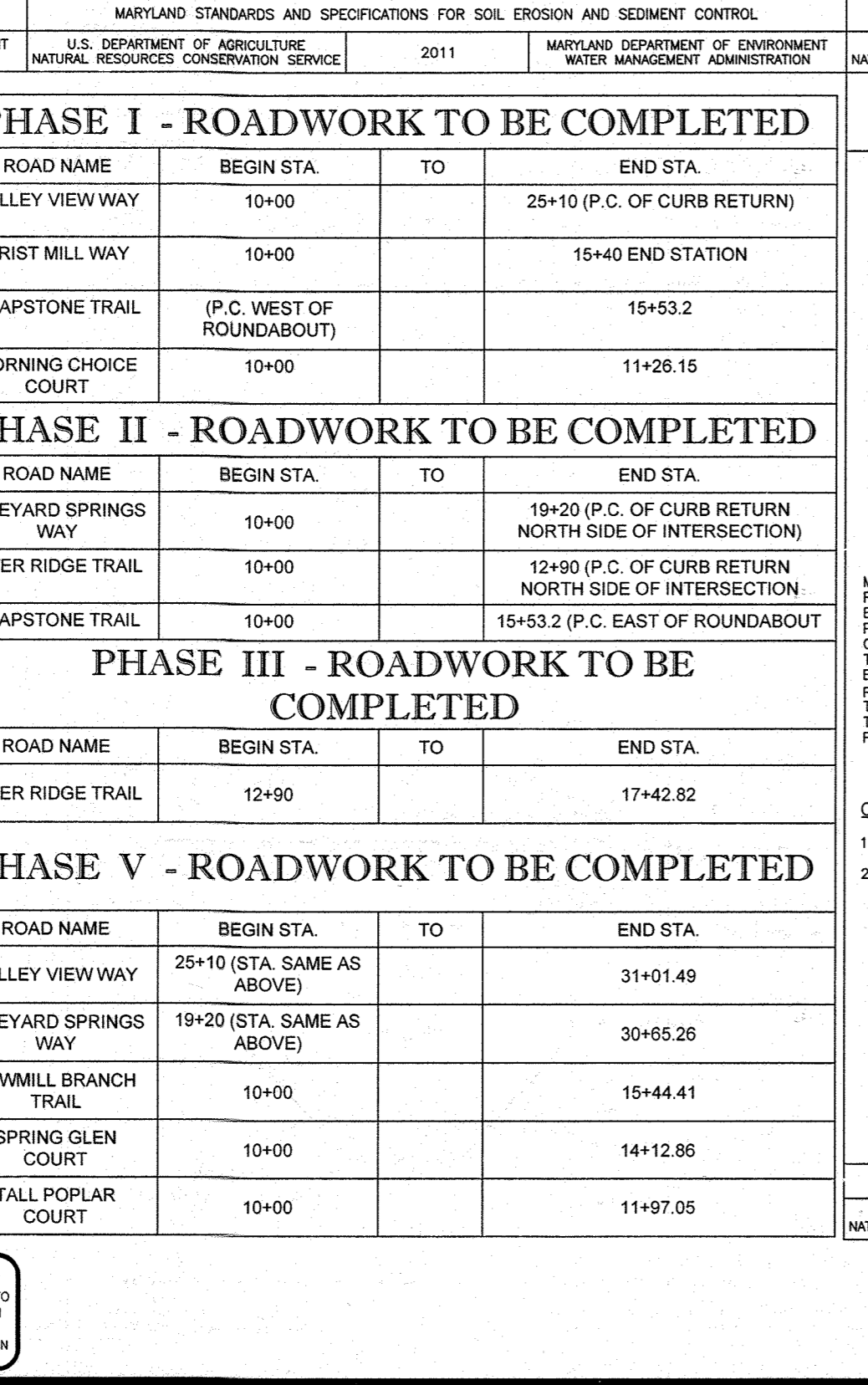
**FINAL ROAD CONSTRUCTION PLANS**  
 FOR  
**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 203-217 AND  
 OPEN SPACE LOTS 196 - 202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**  
 901 DULANEY VALLEY ROAD,  
 SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**BRANSON R. ROWE**  
 REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NO. 40806, EXPIRATION DATE: 7/31/2015



ROAD NAME	BEGIN STA.	TO	END STA.
VALLEY VIEW WAY	10+00	25+10 (P.C. OF CURB RETURN)	
GRIST MILL WAY	10+00	15+40 END STATION	
SOAPSTONE TRAIL	(P.C. WEST OF ROUNDABOUT)		15+53.2
MORNING CHOICE COURT	10+00		11+26.15
PHASE II - ROADWORK TO BE COMPLETED			
ROAD NAME	BEGIN STA.	TO	END STA.
VINEYARD SPRINGS WAY	10+00	19+20 (P.C. OF CURB RETURN NORTH SIDE OF INTERSECTION)	
RIVER RIDGE TRAIL	10+00	12+90 (P.C. OF CURB RETURN NORTH SIDE OF INTERSECTION)	
SOAPSTONE TRAIL	10+00	15+53.2 (P.C. EAST OF ROUNDABOUT)	
PHASE III - ROADWORK TO BE COMPLETED			
ROAD NAME	BEGIN STA.	TO	END STA.
RIVER RIDGE TRAIL	12+90		17+42.82
PHASE V - ROADWORK TO BE COMPLETED			
ROAD NAME	BEGIN STA.	TO	END STA.
VALLEY VIEW WAY	25+10 (STA. SAME AS ABOVE)		31+01.49
VINEYARD SPRINGS WAY	19+20 (STA. SAME AS ABOVE)		30+65.26
SAWMILL BRANCH TRAIL	10+00		15+44.41
SPRING GLEN COURT	10+00		14+12.86
TALL POPLAR COURT	10+00		11+97.05

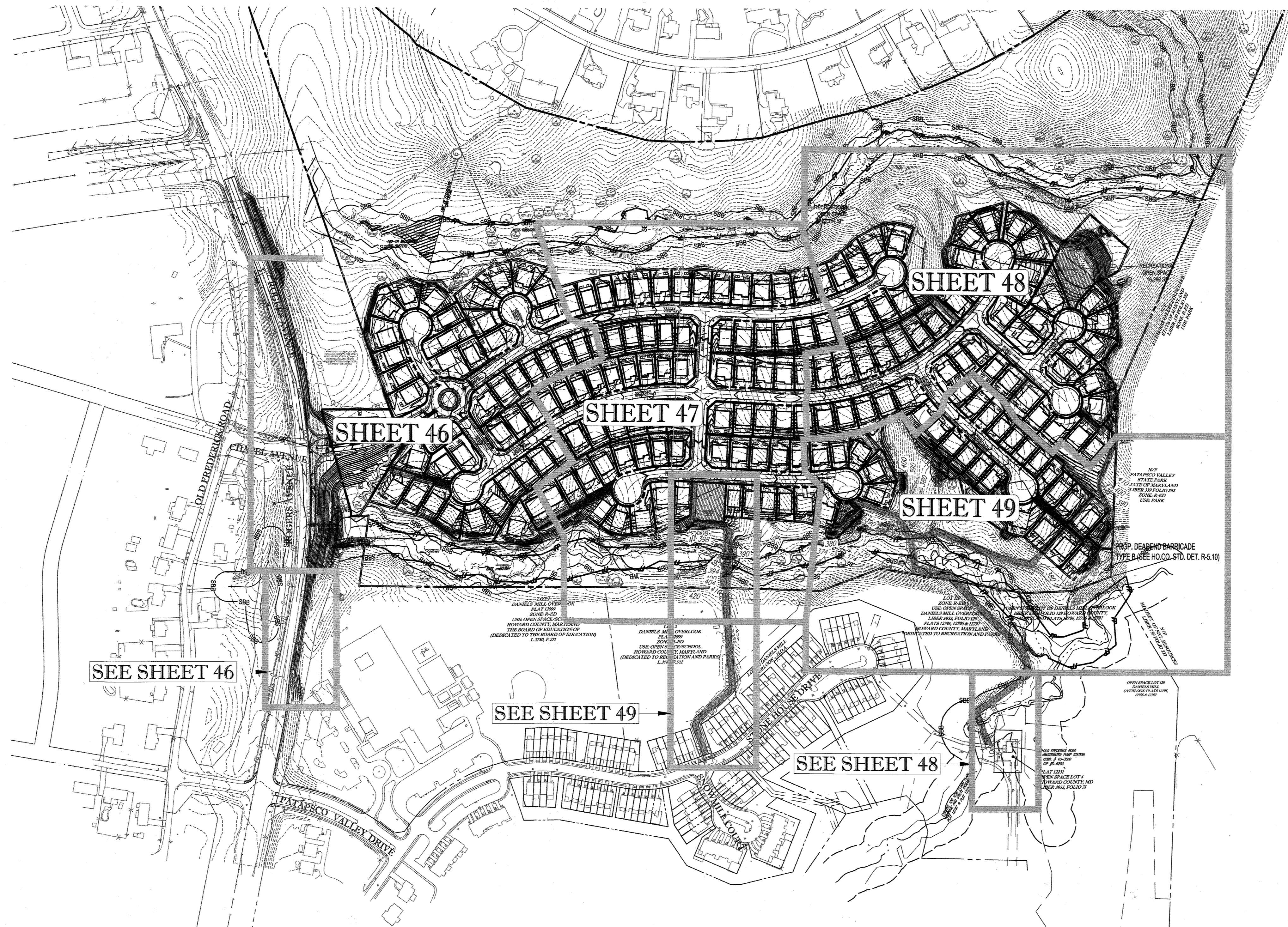


# BOHLER ENGINEERING

CORPORATE OFFICE:  
 901 DULANEY VALLEY ROAD, SUITE 801  
 TOWNSHIP, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

## EROSION & SEDIMENT CONTROL NOTES & DETAILS

SHEET NUMBER: **44**

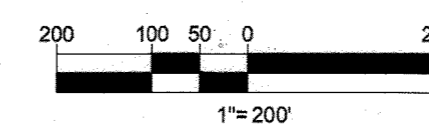


APPROVED: DEPARTMENT OF PUBLIC WORKS  
*McLennan* 11/9/2015  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*W. J. ...* 12-17-15  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Alchin* 11-17-15  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL CONFORMANCE WITH LOCAL, STATE AND FEDERAL CODES.



PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.

PERMIT INFORMATION CHART					
SUBDIVISION NAME:	SECTION/AREA:	LOT/PARCEL NO.:	TAX MAP NO.:	ELECT. DIST. NO.:	CENSUS TRACT:
ESTATES AT PATAPSCO PARK	NA	NA	17	2ND	
PLAT # OR L.P.:	GRID #:	ZONING:			
2421 TO 2426	5, 6, 11, 12	R-20 & R-6D			
PREVIOUS FILE NO.:	PROFESSIONAL CERTIFICATION				
SP-13-012	I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40898, EXPIRATION DATE: 10/20/17				
ECP-13-029					
WP-13-165					
PB CASE NO. 403					

OWNER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

DEVELOPER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

FOR REVISION 3 ONLY  
 NO AS BUILT INFO

**BOHLER ENGINEERING**

CIVIL & CONSULTING ENGINEERS  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

CORPORATE OFFICE:  
 ♦ WARREN, NJ

OFFICES:  
 ♦ SOUTH BOROUGHS, MA  
 ♦ BOWNE, MD  
 ♦ CLARKSBURG, MD  
 ♦ ROCKY HILL, CT  
 ♦ CENTURY VALLEY, PA  
 ♦ TAMPA, FL

OFFICES:  
 ♦ WASHINGTON, VA  
 ♦ STERLING, VA  
 ♦ WASHINGTON, VA  
 ♦ CENTURY VALLEY, PA  
 ♦ PHILADELPHIA, PA

REVISIONS

REV	DATE	COMMENT	BY
1	10/21/15	RESUBDIVISION OF LOTS	RLB
3	11/30/15	AS BUILT	RLB

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD152013  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 12/21/15  
 SCALE: 1"=200'  
 CAD I.D.: GP4

REVISED FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202. LOCATION OF SITE MD ROUTE 99 ROGERS AVENUE HOWARD COUNTY

**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**BRANDON R. ROWE**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 40898  
 EXPIRATION DATE: 10/20/17

ULTIMATE GRADING PLAN KEY SHEET

SHEET NUMBER: 45

**MATCHLINE  
ULTIMATE GRADING  
PLAN (SHEET 46)**

**MATCHLINE ULTIMATE  
GRADING PLAN (SHEET 47)**

**NOTES:**

1. PROPOSED PEDESTRIAN PATHWAYS LOCATED ON OPEN SPACE LOTS 196-202 AND THE DANIELS MILL OVERLOOK OPEN SPACE LOT 2 SHALL BE FIELD LOCATED TO MINIMIZE REMOVAL OF TREES AND SHALL BE INSTALLED AT A MAXIMUM SLOPE OF 12% WHERE EXISTING GRADES ALLOW. THE CONTRACTOR SHALL CONTACT PAUL WALKER AT HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS (410-313-1895) TO FIELD LOCATE THE TRAILS THAT FALL WITHIN LAND TO BE CONVEYED TO RECREATION AND PARKS. THE FINAL HORIZONTAL AND VERTICAL ALIGNMENT OF THE PATHWAYS WILL BE DETERMINED IN THE FIELD BY THE DEPARTMENT OF RECREATION AND PARKS.
2. CONTRACTOR TO PLACE FILL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
3. CONTRACTOR TO ENSURE POSITIVE DRAINAGE FOLLOWING INSTALLATION OF PATH.
4. 6.000 FT. OF PATHWAY ARE PROPOSED BY THIS PLAN. IF MODIFICATIONS ARE MADE IN THE FIELD A MINIMUM OF 2.550 L.F. OF PATHWAY MUST BE CONSTRUCTED TO MEET THE RECREATIONAL OPEN SPACE REQUIREMENT.

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
WARRREN, NJ

PROJECT OFFICES:  
BOWIE, MD  
TOWSON, MD  
WARRREN, NJ  
FARMINGTON, VA  
FORT LAUDERDALE, FL

CIVIL & CONSULTING ENGINEERS  
SURVEYORS  
PROJECT MANAGERS  
ENVIRONMENTAL CONSULTANTS  
LANDSCAPE ARCHITECTS

**REVISIONS**

REV	DATE	COMMENT	BY
1	10/21/15	REV PER RESUBDIVISION OF LOTS	RLB
2	7/15/16	PER ENTRANCE IMPROVEMENTS	RLB
3	11/30/16	AS BUILT	RLB

**APPROVED FOR CONSTRUCTION**

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE: CALL: 811 (WV 1-800-345-4848) (PA 1-800-245-1777) (DC 1-800-557-7777) (VA 1-800-552-7001) (MD 1-800-257-7777) (DE 1-800-283-8555)

**APPROVED FOR CONSTRUCTION**

PROJECT No.: MD152013  
DRAWN BY: RLB  
CHECKED BY: BRB  
DATE: 1/23/15  
SCALE: 1"=50'  
CAD I.D.: GPE

**REVISED FINAL ROAD CONSTRUCTION PLANS**  
FOR  
**ESTATES AT PATAPSCO PARK**  
PUDABLE LOTS 203-397 AND  
OPEN SPACE LOTS 196 - 202  
LOCATION OF SITE  
MD ROUTE 99  
ROGERS AVENUE  
HOWARD COUNTY

**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD,  
SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
www.BohlerEngineering.com

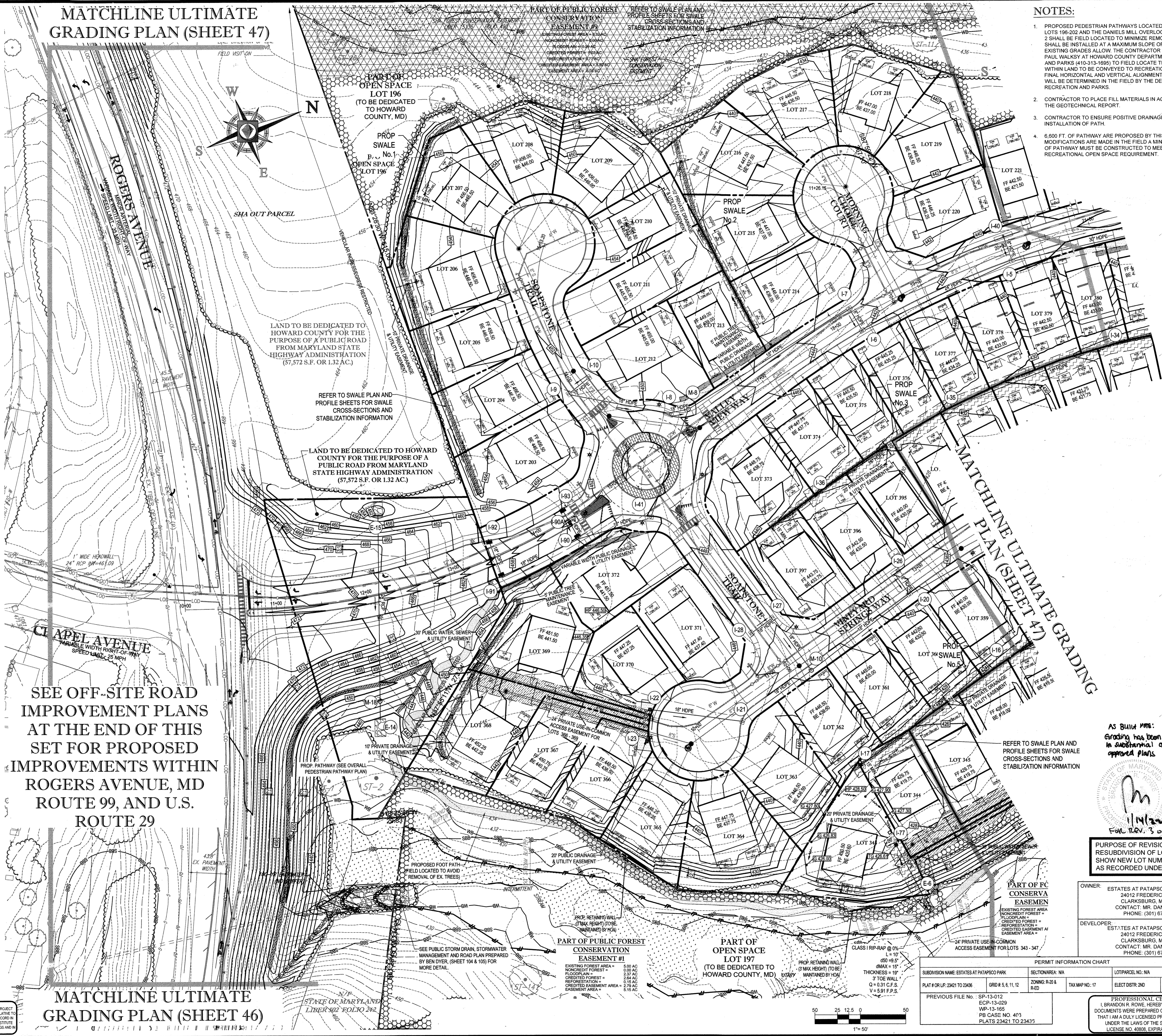
**B.R. ROWE**

PROFESSIONAL ENGINEER  
No. 4088

PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS REQUIRED UNDER F-16-051.

**ULTIMATE GRADING PLAN**

SHEET NUMBER: **46**



**SEE OFF-SITE ROAD IMPROVEMENT PLANS AT THE END OF THIS SET FOR PROPOSED IMPROVEMENTS WITHIN ROGERS AVENUE, MD ROUTE 99, AND U.S. ROUTE 29**

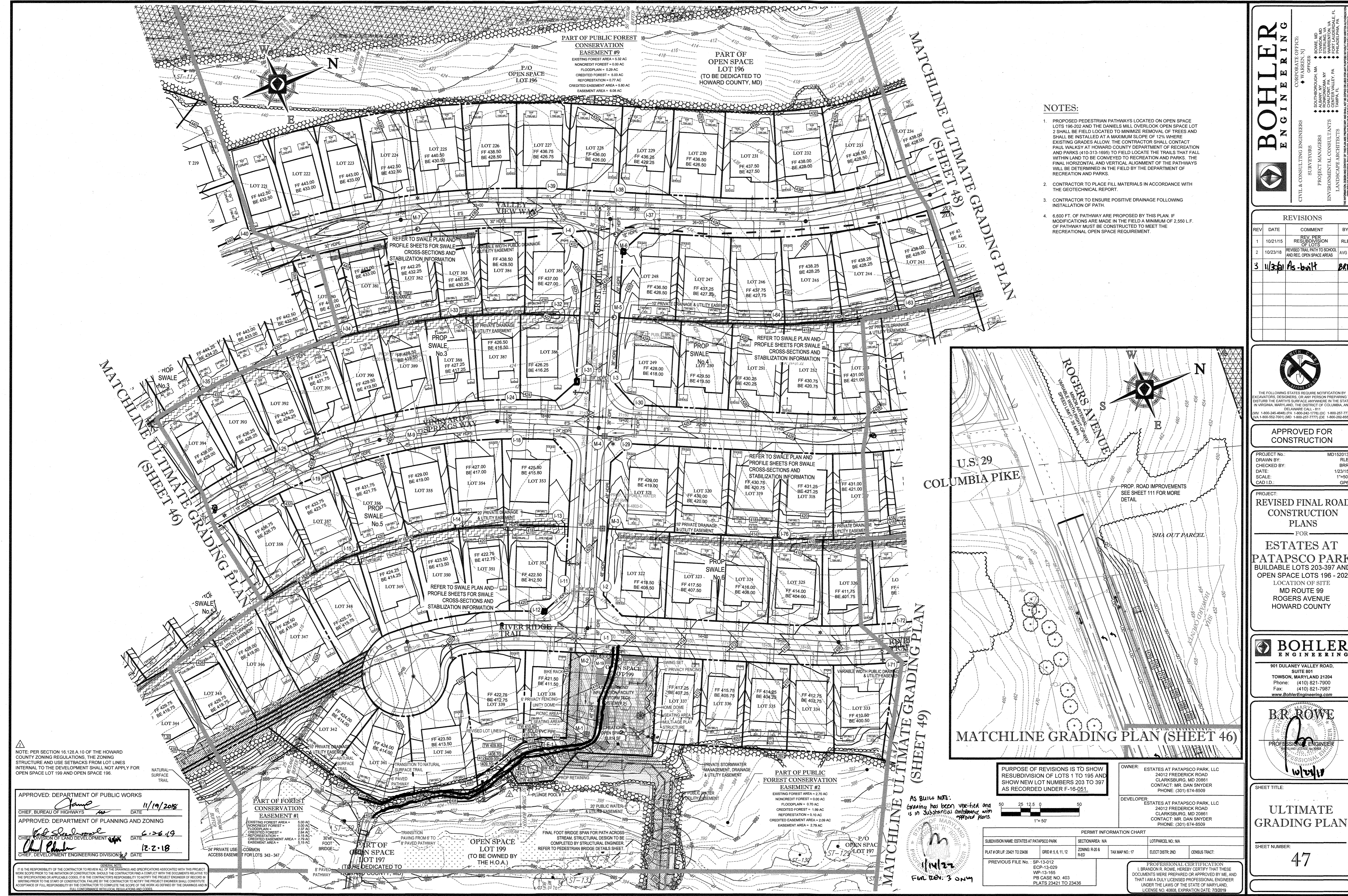
APPROVED: DEPARTMENT OF PUBLIC WORKS  
DATE: 9/19/16

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
DATE: 10-4-16

DATE: 9-13-16

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK. PRIOR TO THE INITIATION OF CONSTRUCTION, SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS SET FORTH IN THE DRAWINGS AND FULL COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL CODES.

**MATCHLINE ULTIMATE  
GRADING PLAN (SHEET 46)**



# BOHLER ENGINEERING

CORPORATE OFFICE:  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

OFFICES:  
 BOWLING GREEN, OHIO  
 HANOVER, NH  
 HARRISBURG, PA  
 HARTFORD, CT  
 PHILADELPHIA, PA  
 PITTSBURGH, PA  
 RICHMOND, VA  
 WASHINGTON, DC

- ### NOTES:
- PROPOSED PEDESTRIAN PATHWAYS LOCATED ON OPEN SPACE LOTS 196-202 AND THE DANIELS MILL OVERLOOK OPEN SPACE LOT 2 SHALL BE FIELD LOCATED TO MINIMIZE REMOVAL OF TREES AND SHALL BE INSTALLED AT A MAXIMUM SLOPE OF 12% WHERE EXISTING GRADES ALLOW. THE CONTRACTOR SHALL CONTACT PAUL WALKS BY AT HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS (410-315-1695) TO FIELD LOCATE THE TRAILS THAT FALL WITHIN LAND TO BE CONVEYED TO RECREATION AND PARKS. THE FINAL HORIZONTAL AND VERTICAL ALIGNMENT OF THE PATHWAYS WILL BE DETERMINED IN THE FIELD BY THE DEPARTMENT OF RECREATION AND PARKS.
  - CONTRACTOR TO PLACE FILL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
  - CONTRACTOR TO ENSURE POSITIVE DRAINAGE FOLLOWING INSTALLATION OF PATH.
  - 6.600 FT. OF PATHWAY ARE PROPOSED BY THIS PLAN. IF MODIFICATIONS ARE MADE IN THE FIELD A MINIMUM OF 2.550 FT. OF PATHWAY MUST BE CONSTRUCTED TO MEET THE RECREATIONAL OPEN SPACE REQUIREMENT.

REV	DATE	COMMENT	BY
1	10/21/15	REV PER RESUBDIVISION OF LOTS	RLB
2	10/23/18	REVISED TRAIL PATH TO SCHOOL AND REC. OPEN SPACE AREAS	AVG
3	11/30/18	As-built	BAR

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL: 811. IN VIRGINIA CALL: 1-800-245-4848. IN MARYLAND CALL: 1-800-245-4848. IN THE DISTRICT OF COLUMBIA CALL: 1-800-245-4848. IN DELAWARE CALL: 1-800-245-4848.

### APPROVED FOR CONSTRUCTION

PROJECT NO. MD152013  
 DRAWN BY: RLB  
 CHECKED BY: DRR  
 DATE: 1/23/15  
 SCALE: 1"=50'  
 CAD I.D.: GPE

### REVISIONS

PROJECT: REVISER  
 REVISIONS: FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202

## BOHLER ENGINEERING

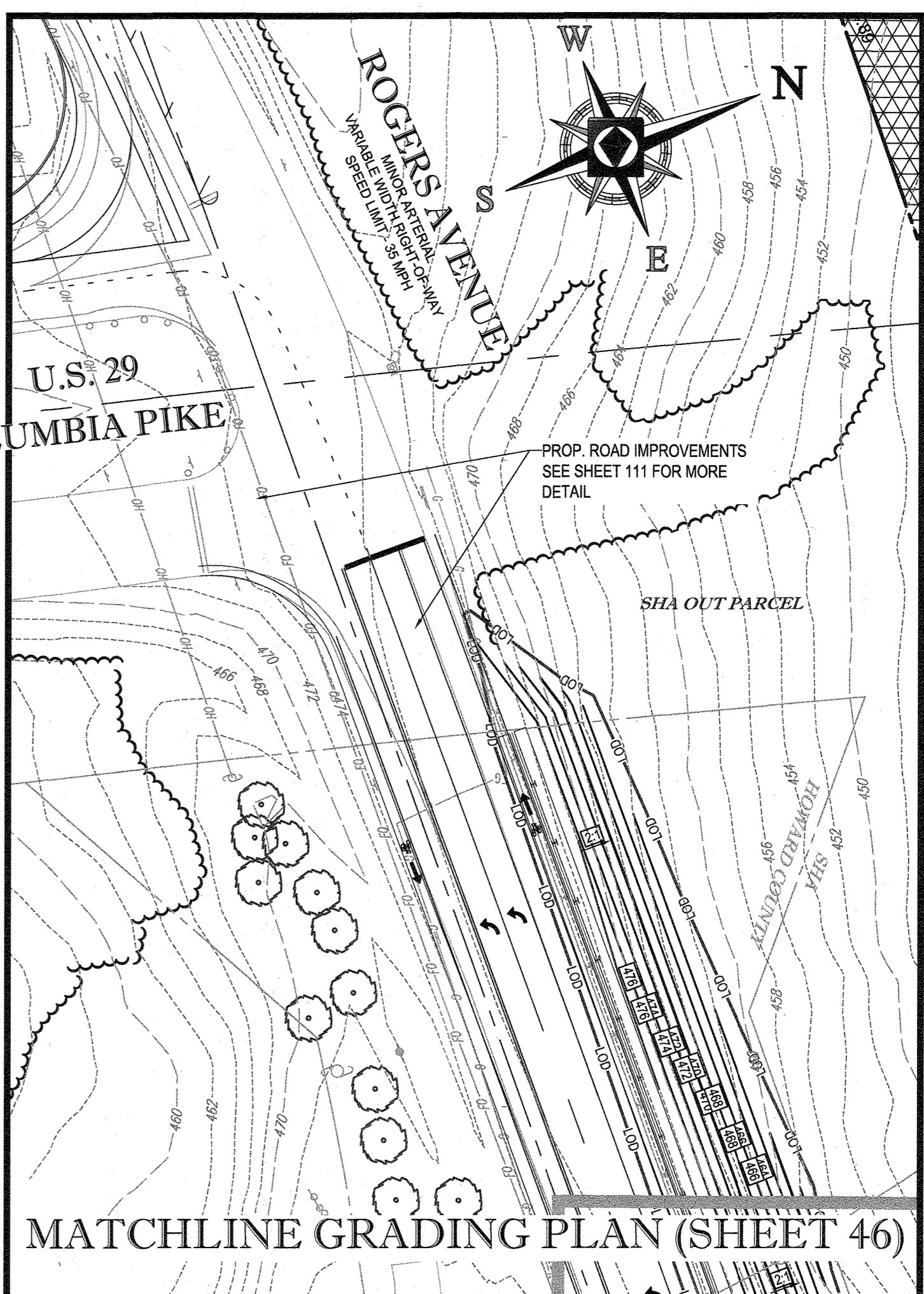
901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

## B.R. ROWE

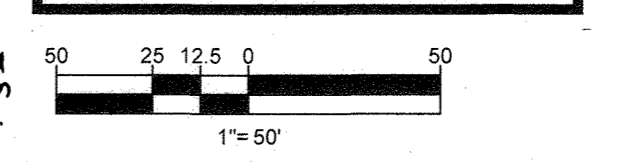
PROFESSIONAL ENGINEER  
 No. 102410

## ULTIMATE GRADING PLAN

SHEET NUMBER: 47



PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.



AS BUILT NOTE:  
 Grading has been verified and is in substantial conformance with approved plans.

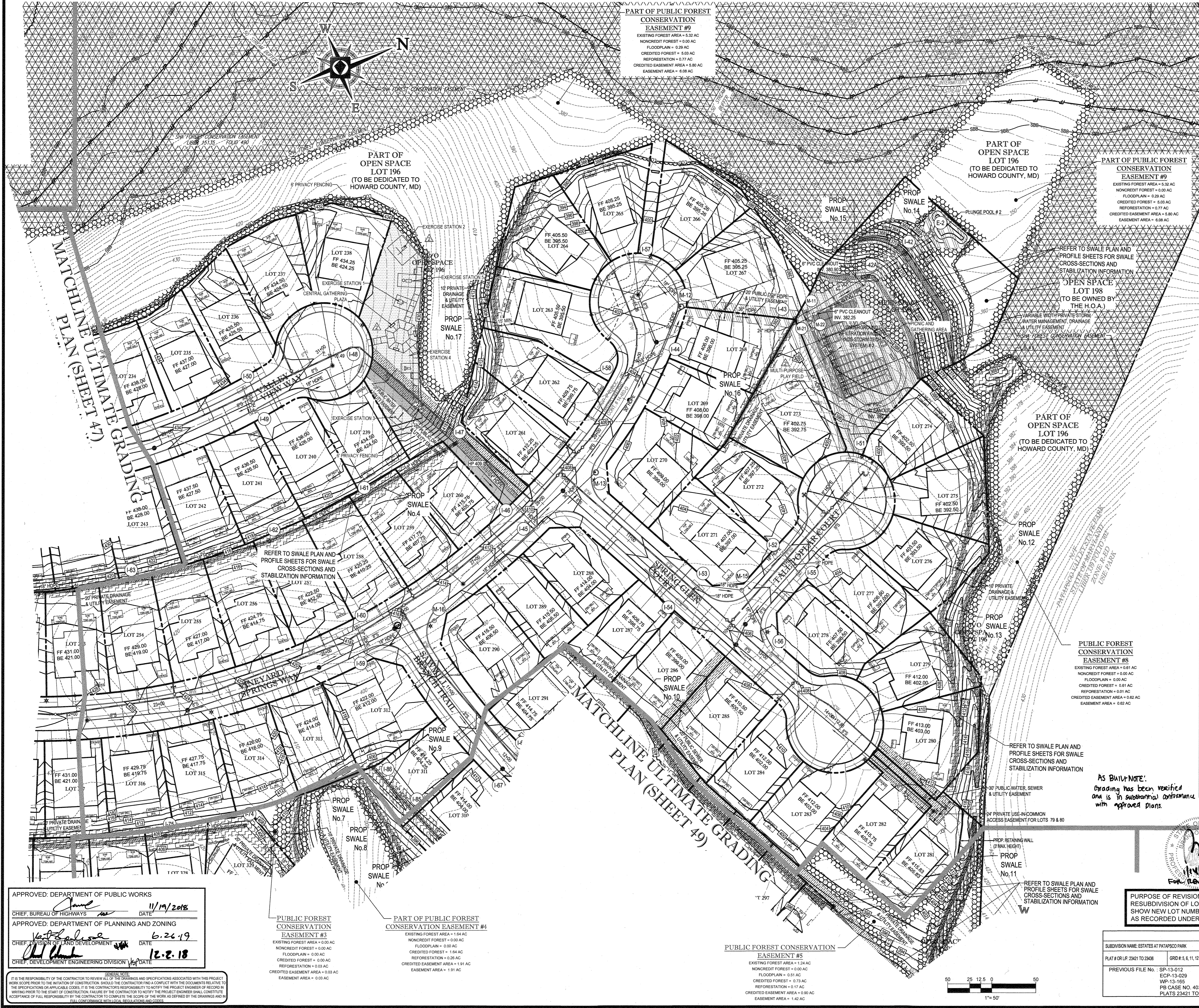
11/1/21  
 FOR REV: 3 ONLY

PERMIT INFORMATION CHART	
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION AREA: NA
PLAT & OR L.F. 23421 TO 23426	GRID: 8.5, 11, 12
PREVIOUS FILE No. SP-13-012, ECP-13-029, WP-13-165, PB CASE NO. 403, PLATS 23421 TO 23426	PLAT MAP NO. 17
LOT PARCEL NO. NA	ELECT. DISTR. 2ND
	CENSUS TRACT:
PROFESSIONAL CERTIFICATION: I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 42836, EXPIRATION DATE: 7/31/2019	

NOTE: PER SECTION 16.126.A.10 OF THE HOWARD COUNTY ZONING REGULATIONS, THE ZONING STRUCTURE AND USE SETBACKS FROM LOT LINES INTERNAL TO THE DEVELOPMENT SHALL NOT APPLY FOR OPEN SPACE LOT 195 AND OPEN SPACE 196.

APPROVED: DEPARTMENT OF PUBLIC WORKS	DATE: 11/19/2018
CHIEF, BUREAU OF HIGHWAYS	
APPROVED: DEPARTMENT OF PLANNING AND ZONING	DATE: 6-26-19
CHIEF, DIVISION OF LAND DEVELOPMENT	
APPROVED: ENGINEERING DIVISION	DATE: 12-2-18
CHIEF, ENGINEERING DIVISION	

GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL APPLICABLE REGULATIONS AND CODES.



NOTE: PER SECTION 16.128 A.10 OF THE HOWARD COUNTY ZONING REGULATIONS, THE ZONING STRUCTURE AND USE SETBACKS FROM LOT LINES INTERNAL TO THE DEVELOPMENT SHALL NOT APPLY FOR OPEN SPACE LOT 199 AND OPEN SPACE 196.

- NOTES:**
- PROPOSED PEDESTRIAN PATHWAYS LOCATED ON OPEN SPACE LOTS 195-202 AND THE DANIELS MILL OVERLOOK OPEN SPACE LOT 2 SHALL BE FIELD LOCATED TO MINIMIZE REMOVAL OF TREES AND SHALL BE INSTALLED AT A MAXIMUM SLOPE OF 12% WHERE EXISTING GRADES ALLOW. THE CONTRACTOR SHALL CONTACT PAUL WALKS AT HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS (410-313-1695) TO FIELD LOCATE THE TRAILS THAT FALL WITHIN LAND TO BE CONVEYED TO RECREATION AND PARKS. THE FINAL HORIZONTAL AND VERTICAL ALIGNMENT OF THE PATHWAYS WILL BE DETERMINED IN THE FIELD BY THE DEPARTMENT OF RECREATION AND PARKS.
  - CONTRACTOR TO PLACE FILL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
  - CONTRACTOR TO ENSURE POSITIVE DRAINAGE FOLLOWING INSTALLATION OF PATH.
  - 6,000 FT. OF PATHWAY ARE PROPOSED BY THIS PLAN. IF MODIFICATIONS ARE MADE IN THE FIELD A MINIMUM OF 2,550 L.F. OF PATHWAY MUST BE CONSTRUCTED TO MEET THE RECREATIONAL OPEN SPACE REQUIREMENT.

**BOHLER ENGINEERING**

CORPORATE OFFICE: WAREHOUSING, MA  
 OFFICES: WAREHOUSING, MA; SOUTH BOROUGHS, MA; STORINGTON, CT; WASHINGTON, VA; DANFORTH, PA; PHILADELPHIA, PA; TAMPA, FL

CIVIL & CONSULTING ENGINEERS SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

**REVISIONS**

REV	DATE	COMMENT	BY
1	10/21/15	REV PER RESUBDIVISION OF LOTS	RLB
2	10/23/15	REVISED TRAIL PATH TO SOOXL AND REG. OPEN SPACE AREAS	AVG
3	11/30/21	AS BUILT	BRC

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE: CALL 811 (TOLL FREE) AT 1-800-245-4848 (VA, MD) OR 1-800-245-3777 (DC, DE) OR 1-800-622-7001 (MD) 1-800-297-3777 (DE) 1-800-282-8559

**APPROVED FOR CONSTRUCTION**

PROJECT NO.: MD152013  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 1/23/15  
 SCALE: 1"=50'  
 CAD I.D.: GPE

PROJECT: REVISED FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202  
 LOCATION OF SITE: MD ROUTE 99 ROGERS AVENUE HOWARD COUNTY

**BOHLER ENGINEERING**

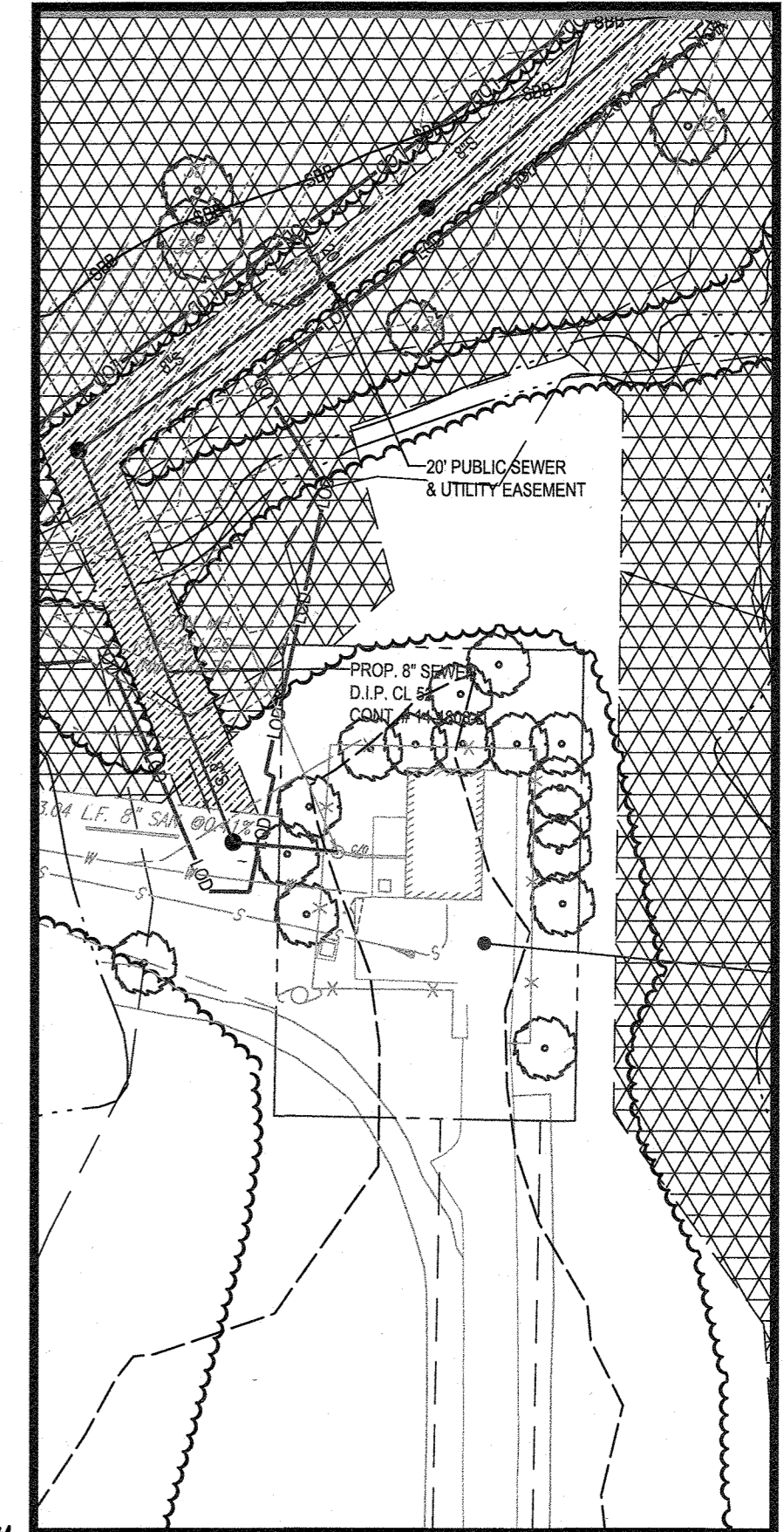
901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**B.R. ROWE**

PROFESSIONAL ENGINEER  
 LICENSE NO. 40806  
 STATE OF MARYLAND

**ULTIMATE GRADING PLAN**

SHEET NUMBER: 48



AS BUILT NOTE:  
 Grading has been verified and is in substantial agreement with approved plans.

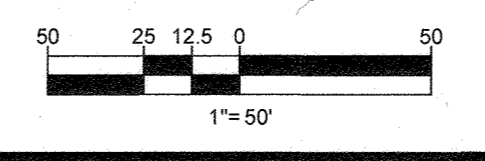
PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.

**PERMIT INFORMATION CHART**

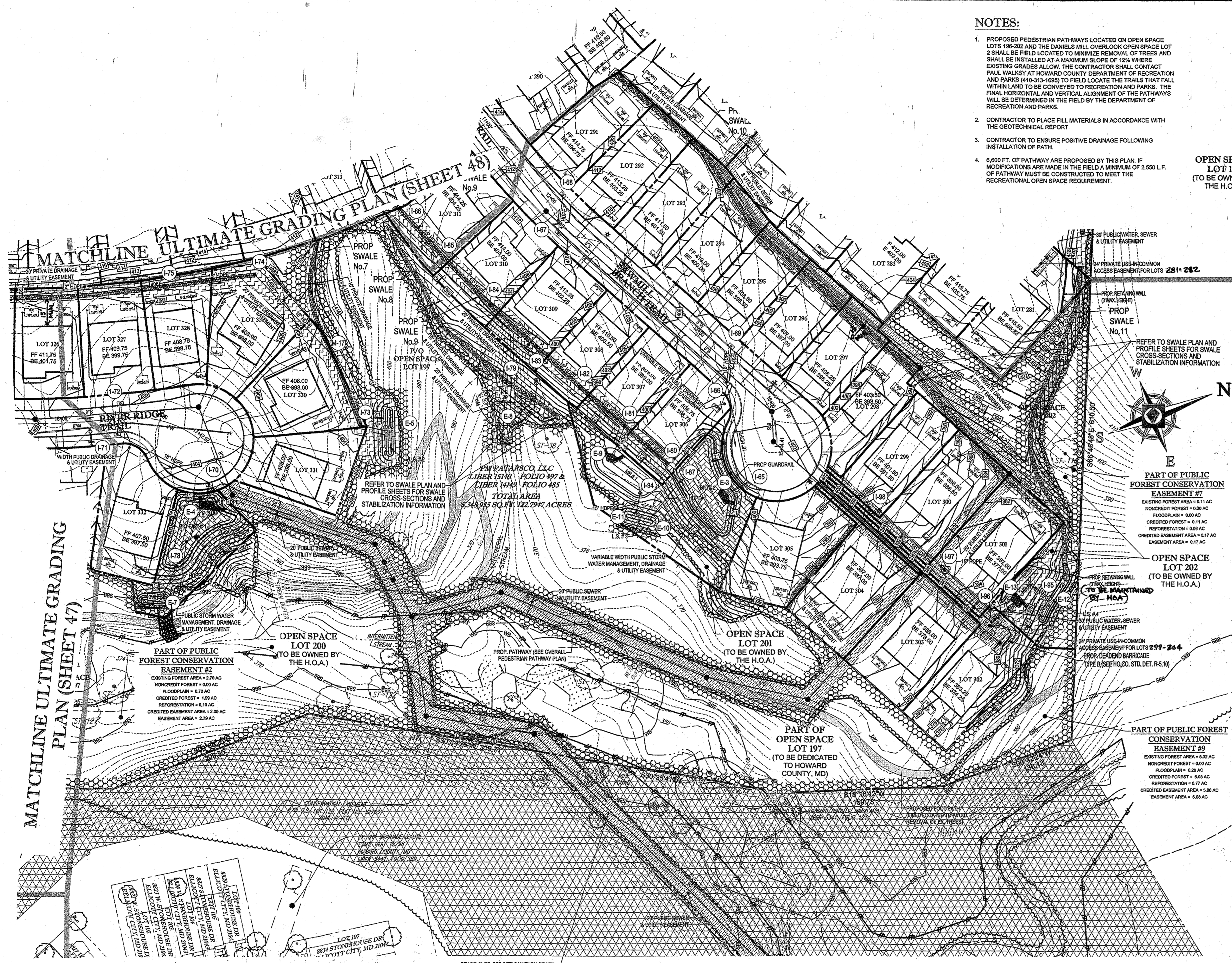
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION AREA: NA	LOTPARCEL NO.: NA
PLAT # OR L.F.: 23421 TO 23426	GRID # 5, 6, 11, 12	ZONING: R-30 & RED
PREVIOUS FILE NO.: SP-13-012, ECP-13-029, WP-13-165, PE CASE NO. 403, PLATS 23421 TO 23436	TAX MAP NO.: 17	ELECT DIST: 2ND
GENUS TRACT: _____		

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 CHIEF, BUREAU OF HIGHWAYS DATE: 11/19/2015  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 6.26.19  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 12.2.18

GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A DISCREPANCY OR CONFLICT WITH THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL SUBSEQUENT REVISIONS, RECORDS, SPECIFICATIONS, AND CODES.



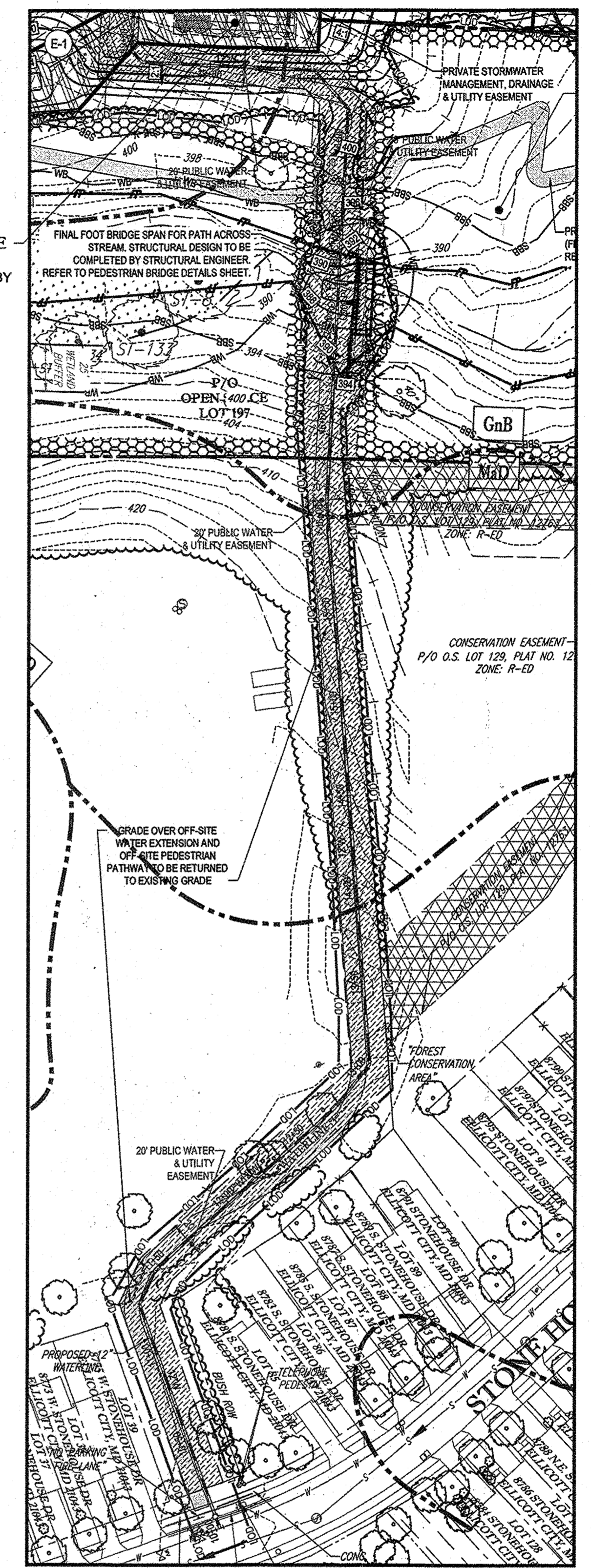
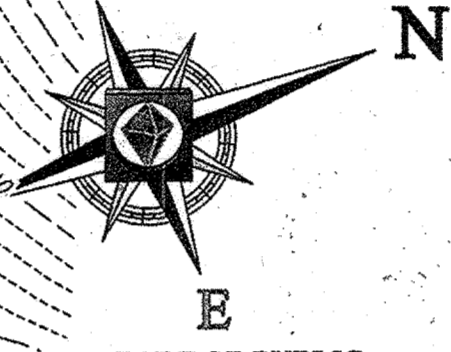




**NOTES:**

1. PROPOSED PEDESTRIAN PATHWAYS LOCATED ON OPEN SPACE LOTS 196-202 AND THE DANIELS MILL OVERLOOK OPEN SPACE LOT 2 SHALL BE FIELD LOCATED TO MINIMIZE REMOVAL OF TREES AND SHALL BE INSTALLED AT A MAXIMUM SLOPE OF 12% WHERE EXISTING GRADES ALLOW. THE CONTRACTOR SHALL CONTACT PAUL WALKS AT HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS (410-313-1695) TO FIELD LOCATE THE TRAILS THAT FALL WITHIN LAND TO BE CONVEYED TO RECREATION AND PARKS. THE FINAL HORIZONTAL AND VERTICAL ALIGNMENT OF THE PATHWAYS WILL BE DETERMINED IN THE FIELD BY THE DEPARTMENT OF RECREATION AND PARKS.
2. CONTRACTOR TO PLACE FILL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
3. CONTRACTOR TO ENSURE POSITIVE DRAINAGE FOLLOWING INSTALLATION OF PATH.
4. 6,000 FT. OF PATHWAY ARE PROPOSED BY THIS PLAN. IF MODIFICATIONS ARE MADE IN THE FIELD A MINIMUM OF 2,550 L.F. OF PATHWAY MUST BE CONSTRUCTED TO MEET THE RECREATIONAL OPEN SPACE REQUIREMENT.

OPEN SPACE LOT 198 (TO BE OWNED BY THE H.O.A.)



**BOHLER ENGINEERING**  
 CIVIL & CONSULTING ENGINEERS  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

CORPORATE OFFICE:  
 WARREN, NJ

OFFICES:  
 BOSTON, MA  
 CHARLOTTE, NC  
 CHICAGO, IL  
 CINCINNATI, OH  
 COLUMBIA, SC  
 DENVER, CO  
 FORT LAUDERDALE, FL  
 HOUSTON, TX  
 KANSAS CITY, MO  
 MIAMI, FL  
 PHILADELPHIA, PA  
 RICHMOND, VA  
 TAMPA, FL

**REVISIONS**

REV	DATE	COMMENT	BY
1	10/21/15	REV. PER RESUBDIVISION OF LOTS	RLB
3	11/30/15	As-Built	BRR

**APPROVED FOR CONSTRUCTION**

PROJECT No.: MD1505013  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 1/23/15  
 SCALE: 1"=50'  
 CAD L.D.: GP4

**REVISED FINAL ROAD CONSTRUCTION PLANS**  
 FOR  
**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**  
 901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**BRUNOWE**  
 PROFESSIONAL ENGINEER  
 License No. 40998  
 ORIGINAL EXPIRES 12/31/16

**ULTIMATE GRADING PLAN**  
 SHEET NUMBER: 49

AS BUILT NOTE:  
 Grading has been verified and is in substantial conformance with approved plans.



OWNER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20891  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

DEVELOPER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20891  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

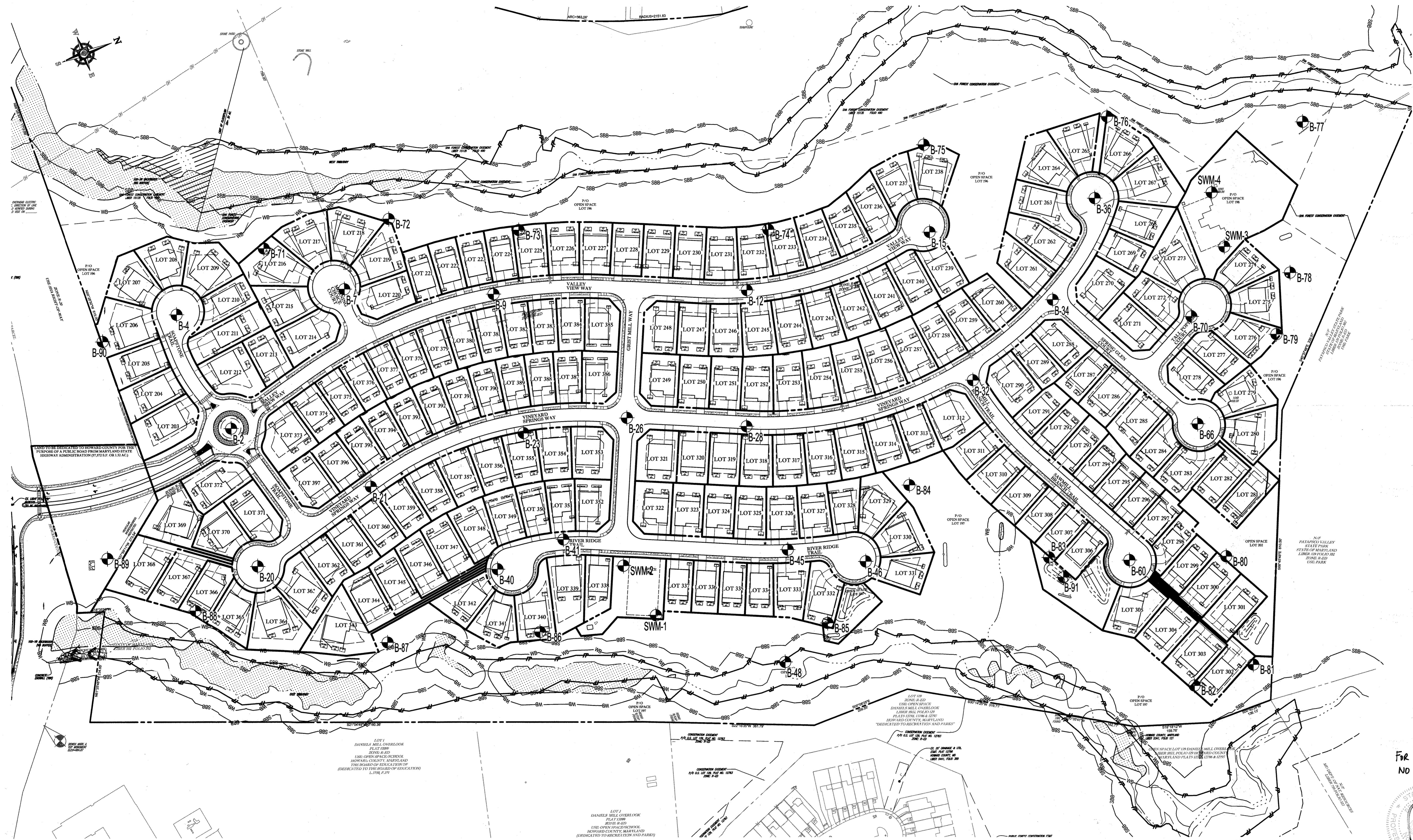
PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.

PERMIT INFORMATION CHART

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA
PLAT # OR L.P.: 28421 TO 28438	GRID # 5, 6, 11, 12	ZONING: R-99 & R-20
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-15-166 PB CASE NO. 403	TAX MAP NO.: 17	CENSUS TRACT:

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 11/9/2015  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 12-17-15

GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR PROVE A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IMMEDIATELY PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE WORK AS SHOWN BY THE DRAWINGS AND ALL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



**BOHLER ENGINEERING**

CORPORATE OFFICE:  
 901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

PROJECT MANAGERS:  
 SOUTHBOROUGH, MA  
 ALBANY, NY  
 CHANFON, PA  
 TAMPA, FL

ENVIRONMENTAL CONSULTANTS:  
 WASHINGTON, VA  
 PHILADELPHIA, PA

LANDSCAPE ARCHITECTS:  
 PHILADELPHIA, PA

**REVISIONS**

REV	DATE	COMMENT	BY
1	10/21/15	REV PER RESUBDIVISION OF LOTS	RLB
3	11/19/21	AS BUILT	RLB

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL - 811 (TOLL FREE 1-800-252-7777) (MD 1-800-252-7777) (VA 1-800-552-7001) (DC 1-800-252-7777) (DE 1-300-282-8585)

**APPROVED FOR CONSTRUCTION**

PROJECT No.: MD152013  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 1/23/15  
 SCALE: 1"=100'  
 CAD I.D.: BP4

**REVISED FINAL ROAD CONSTRUCTION PLANS**  
 FOR  
**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 203-397 AND  
 OPEN SPACE LOTS 196 - 202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**B.R. BOWE**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 11730

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] 11/9/2015  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 12-17-15  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 11-17-15  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

**GENERAL NOTE:**  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS SHOWN BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

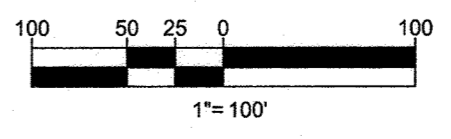
**PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.**

OWNER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

DEVELOPER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

**PERMIT INFORMATION CHART**

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTIONAREA: NA	LOTPARCEL NO.: NA
PLAT # OR L.P.: 23421 TO 23436	GRID #, S, E, 11, 12	ZONING: R-20 & R-ED
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403	TAX MAP NO.: 17	ELECT DIST: 2ND
PROFESSIONAL CERTIFICATION I, BRANDON R. BOWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 42808, EXPIRATION DATE: 7/31/21		

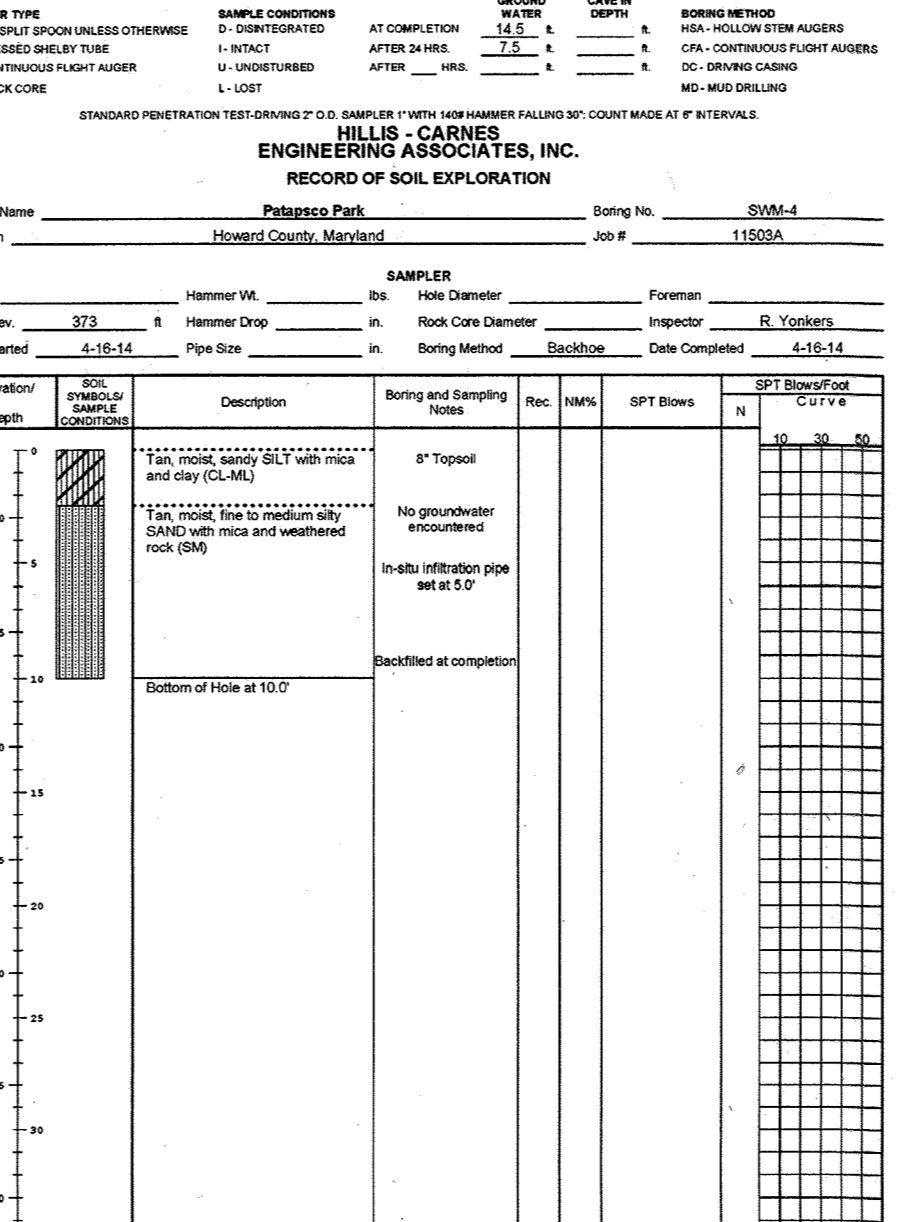
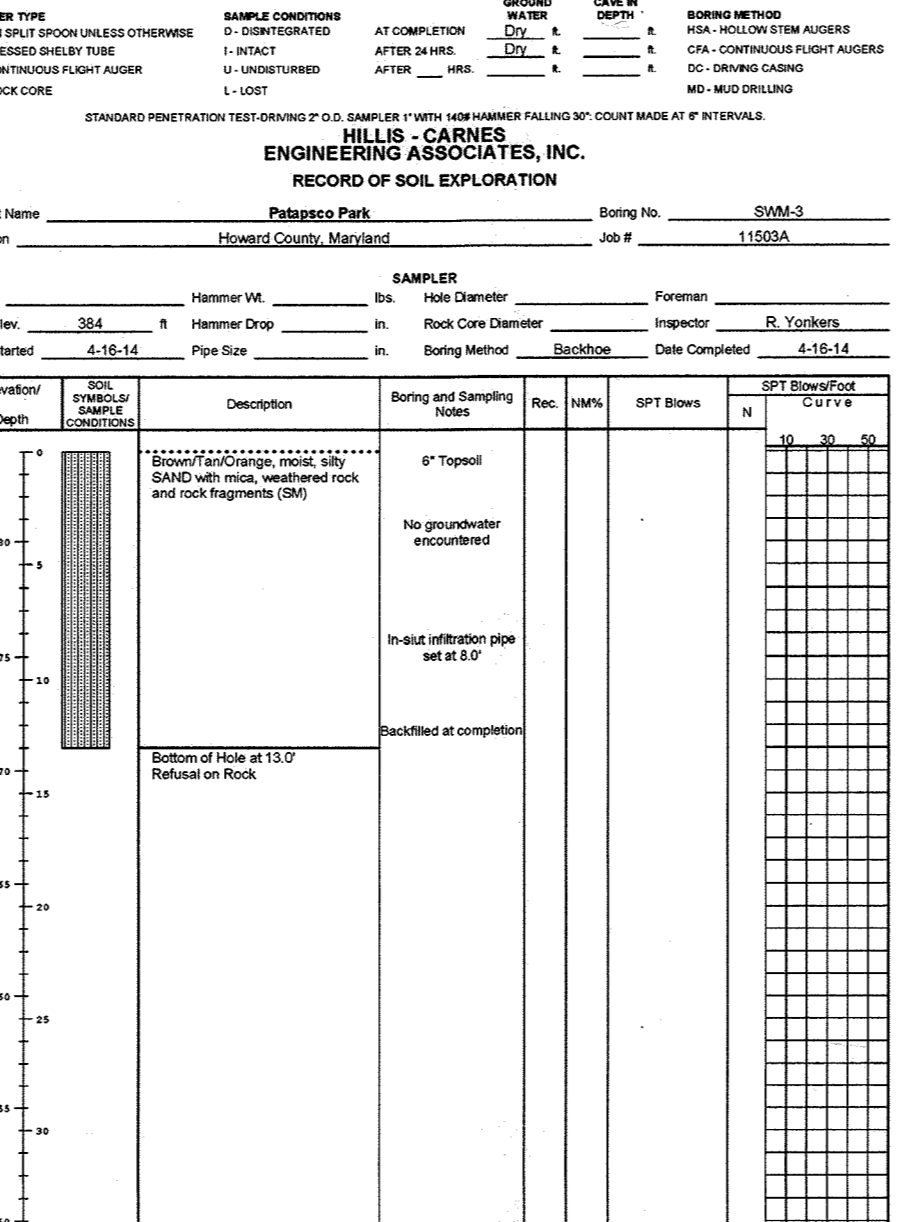
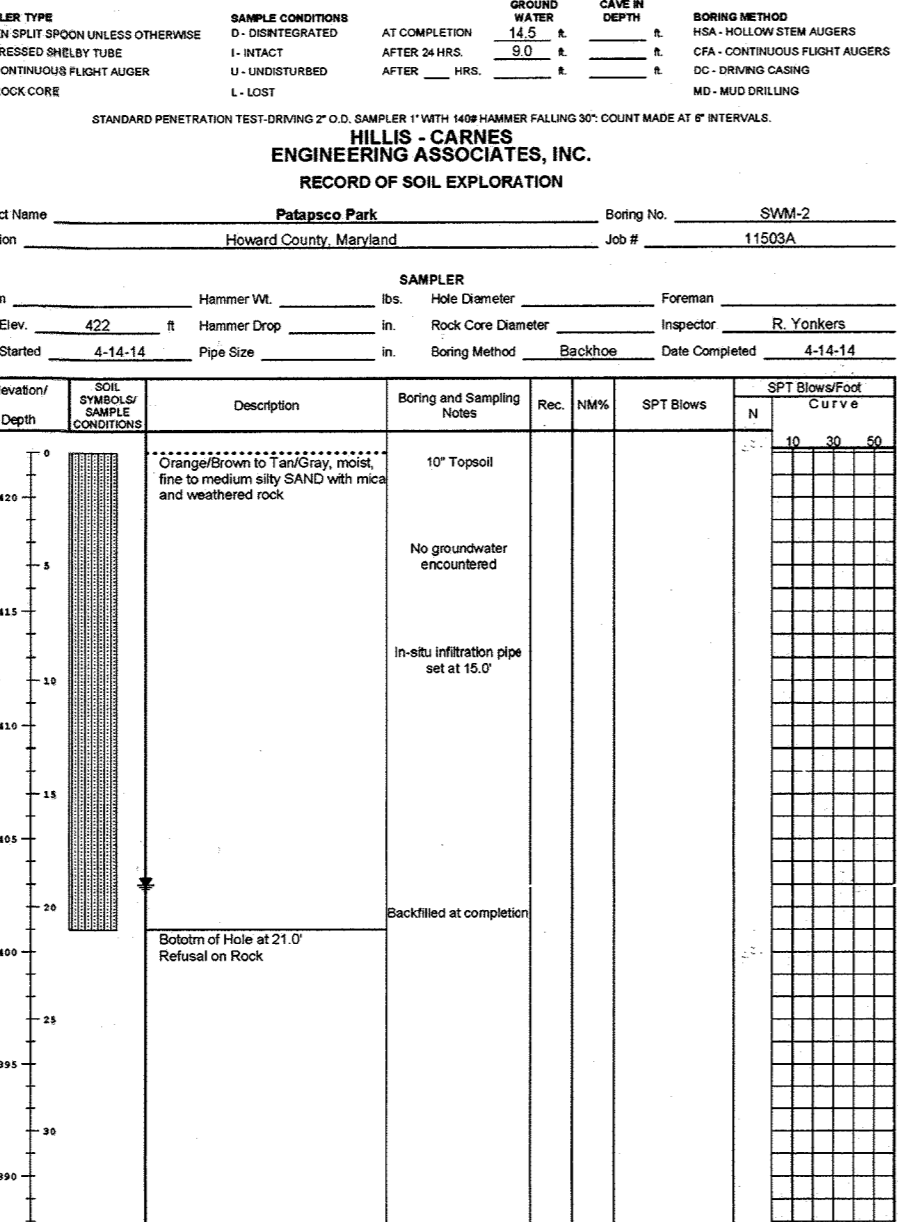
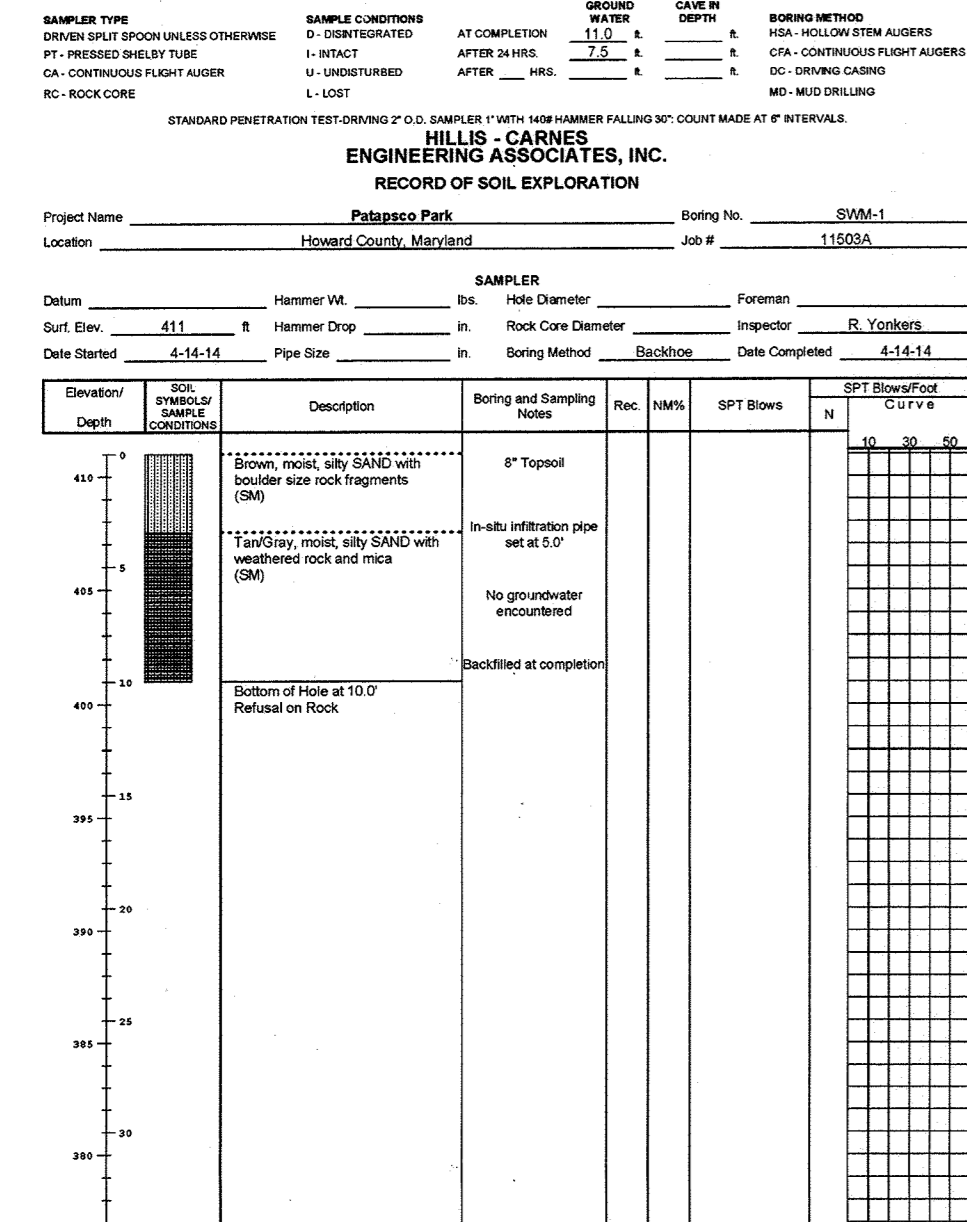
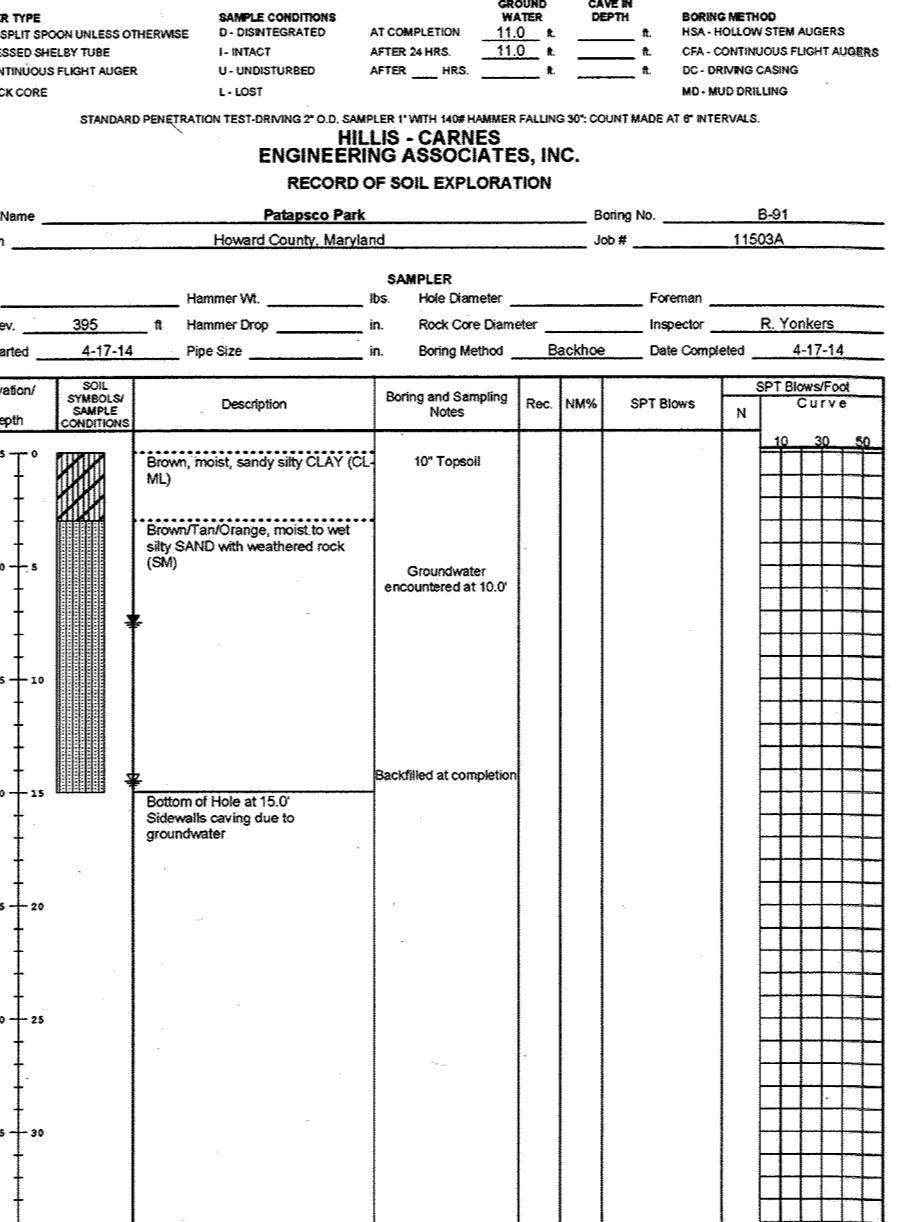
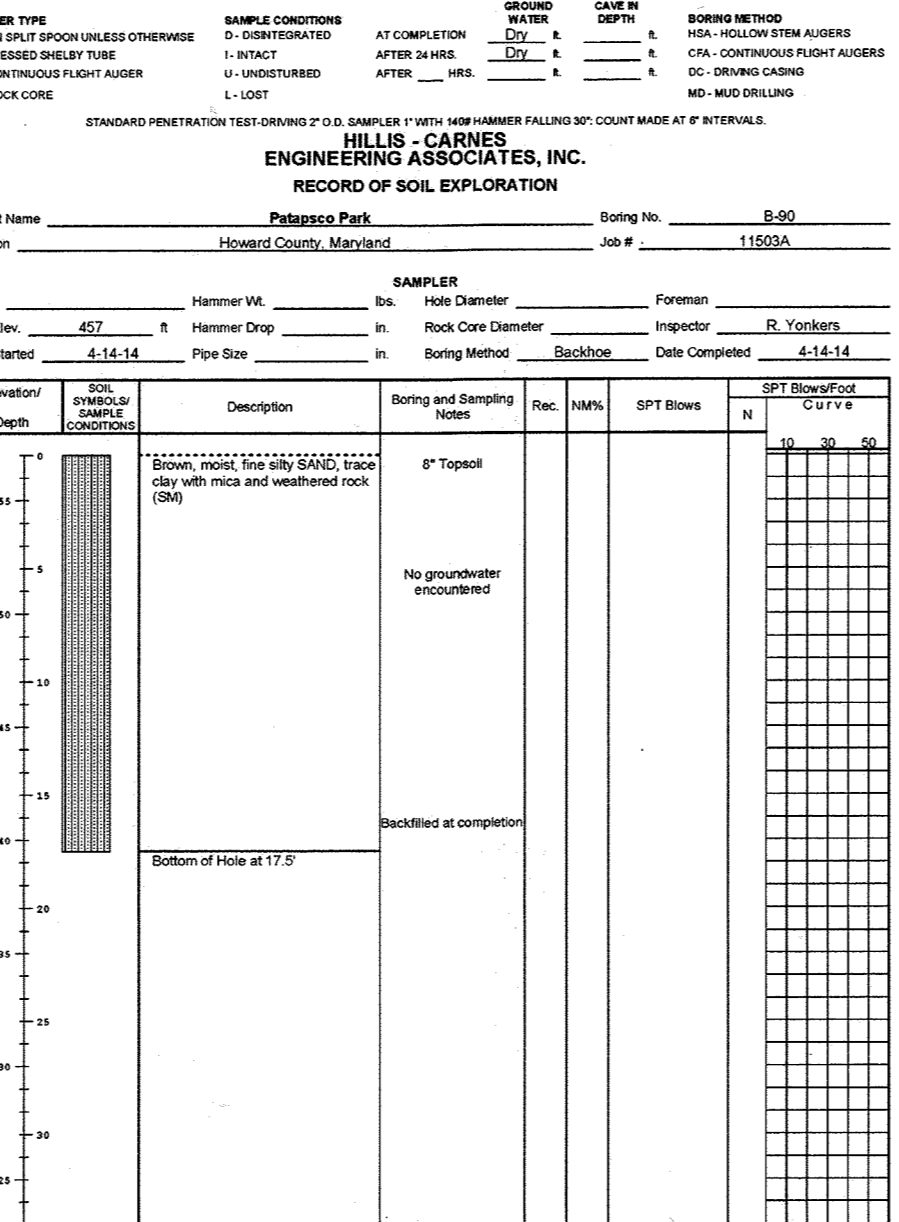
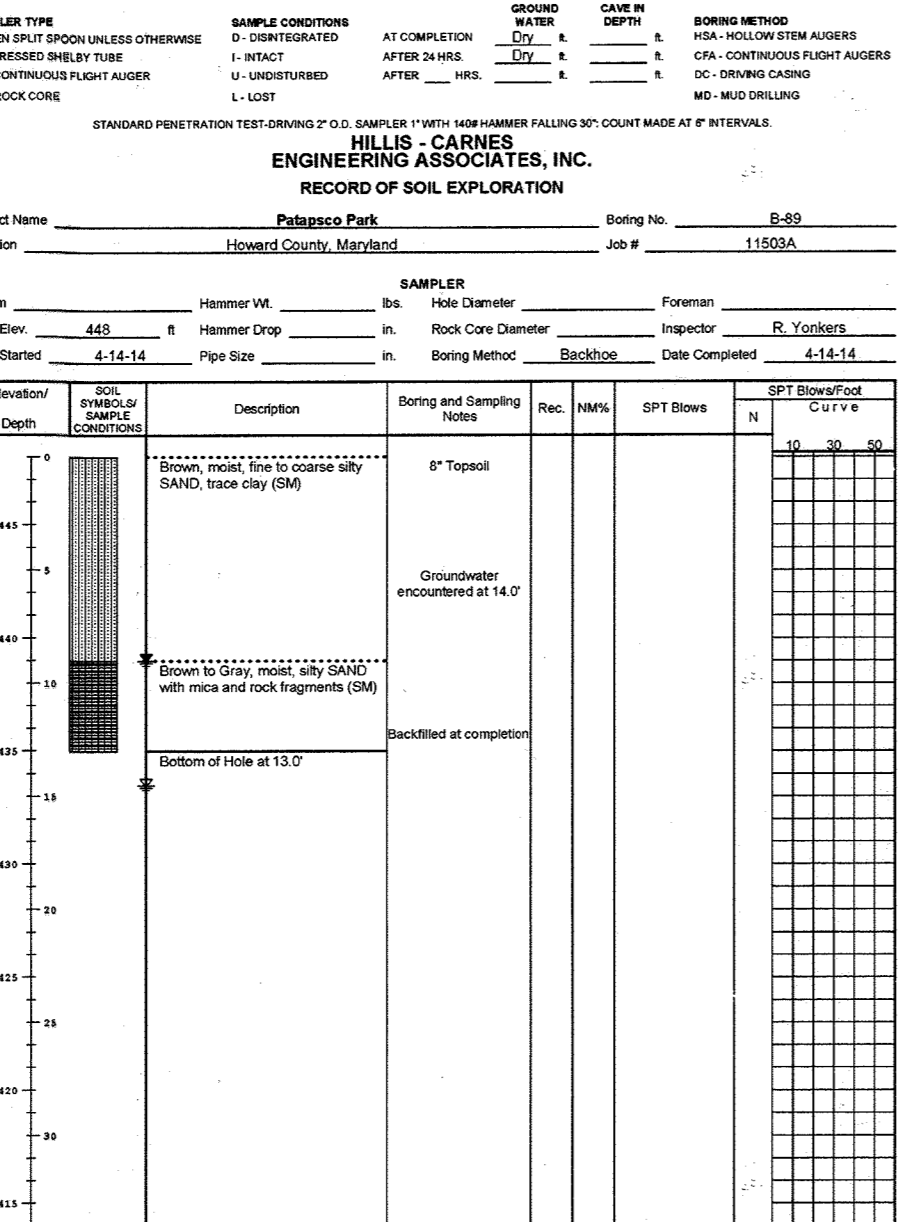
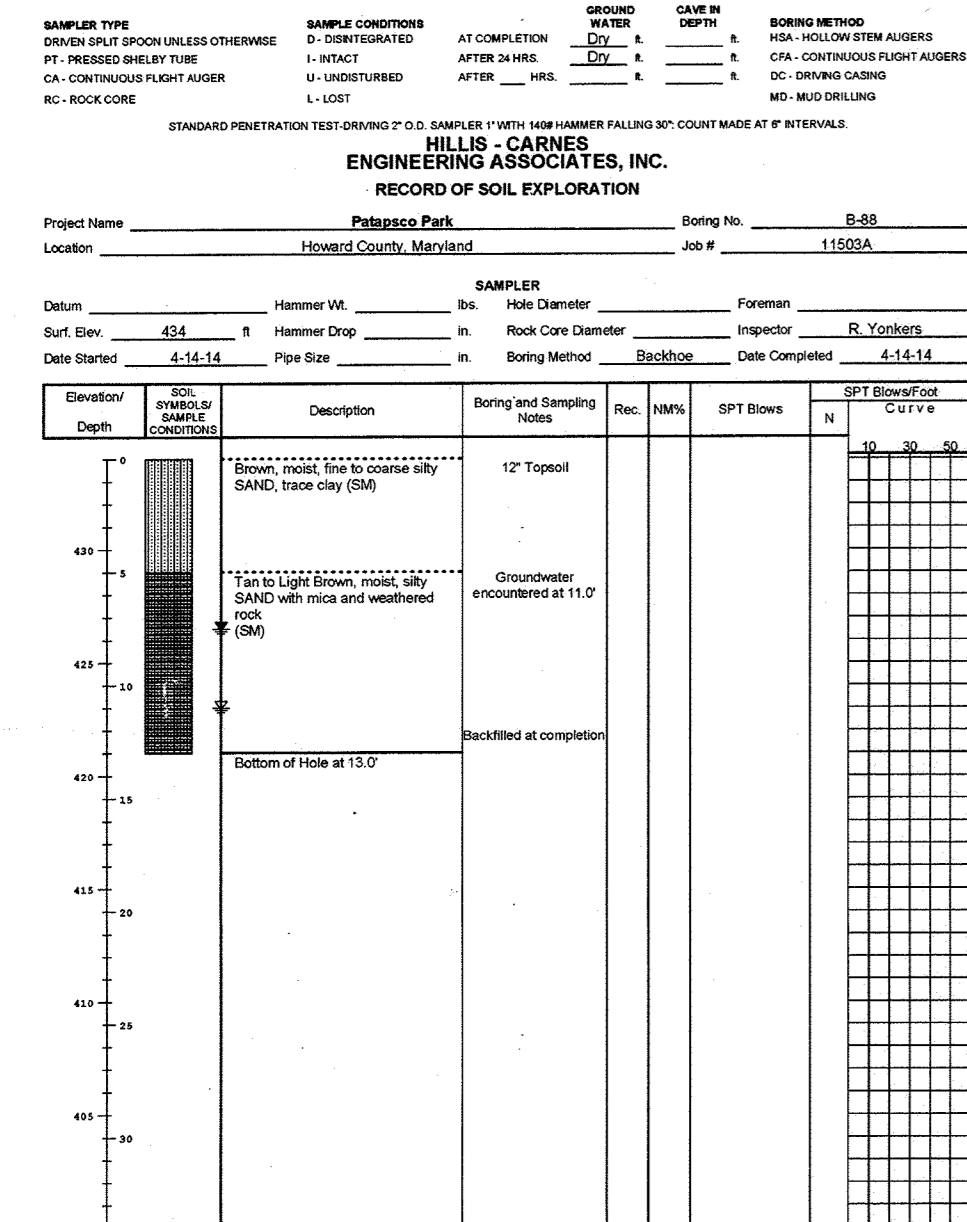
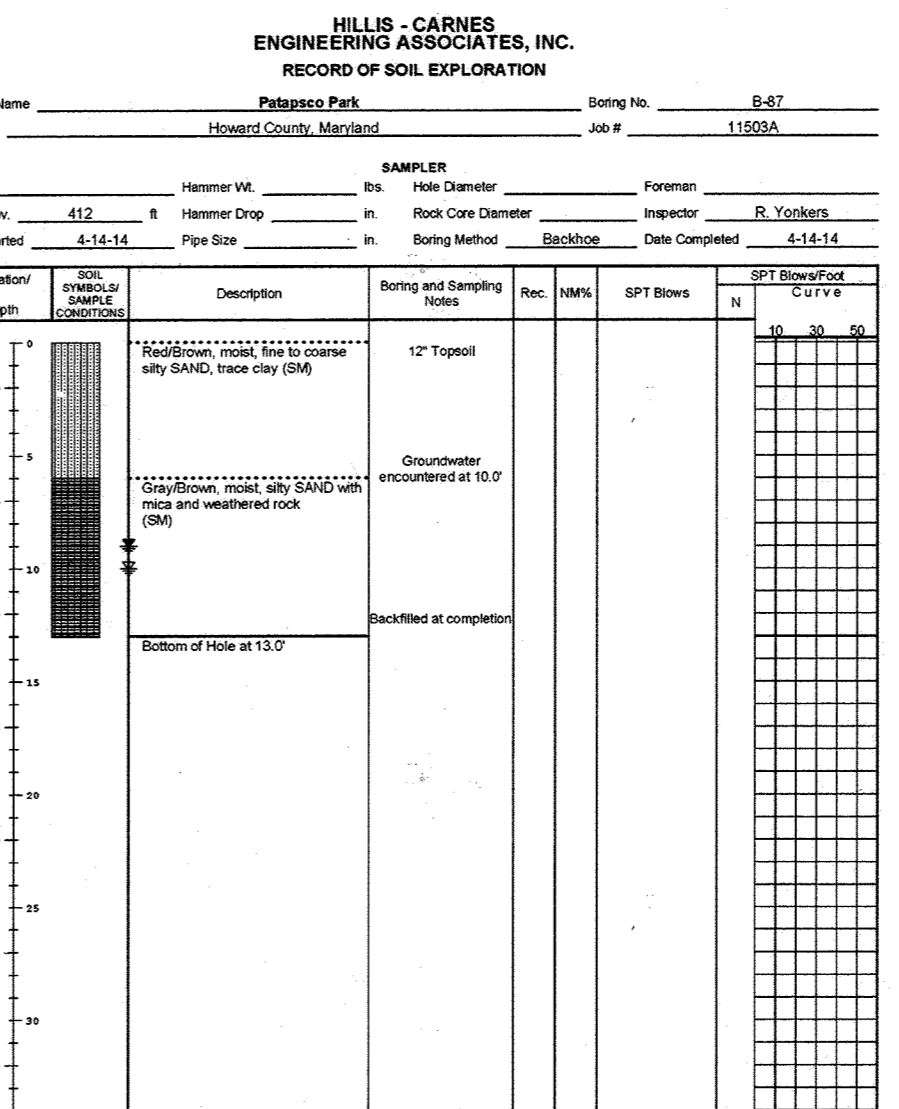
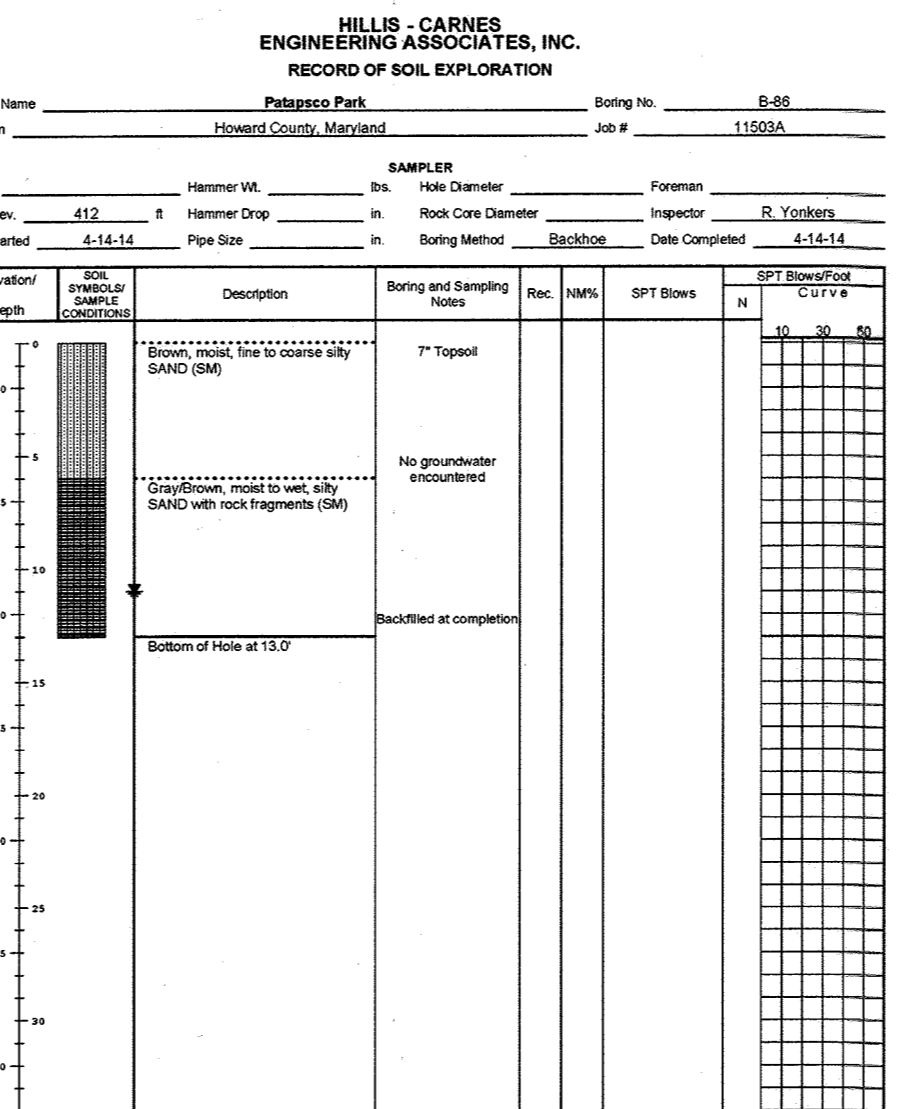
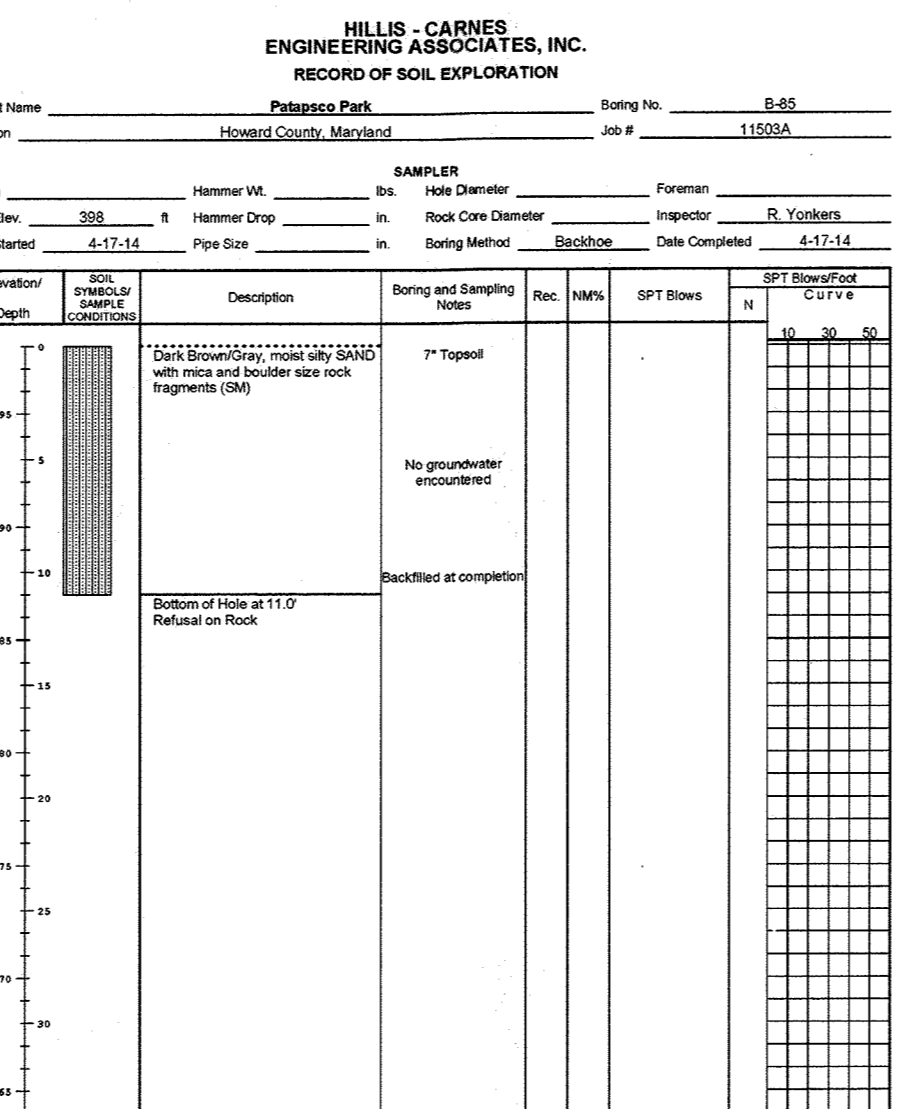
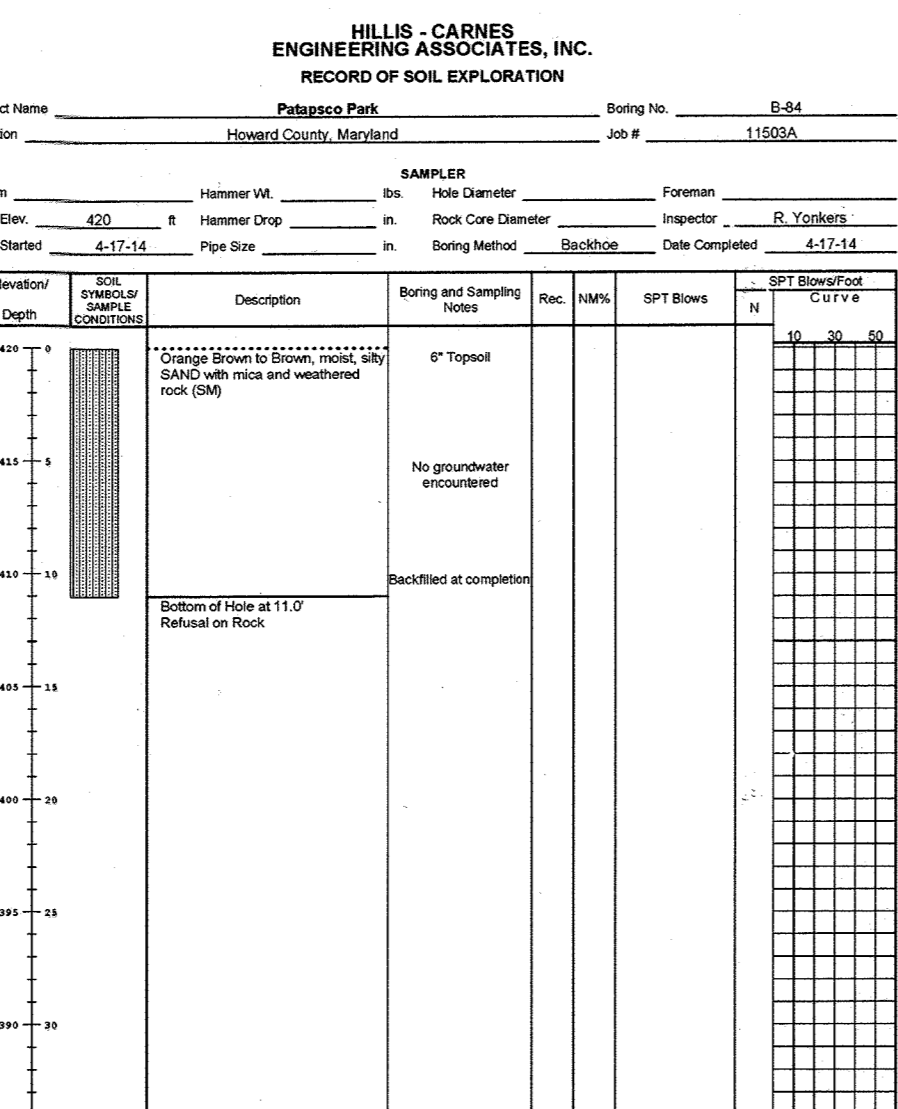
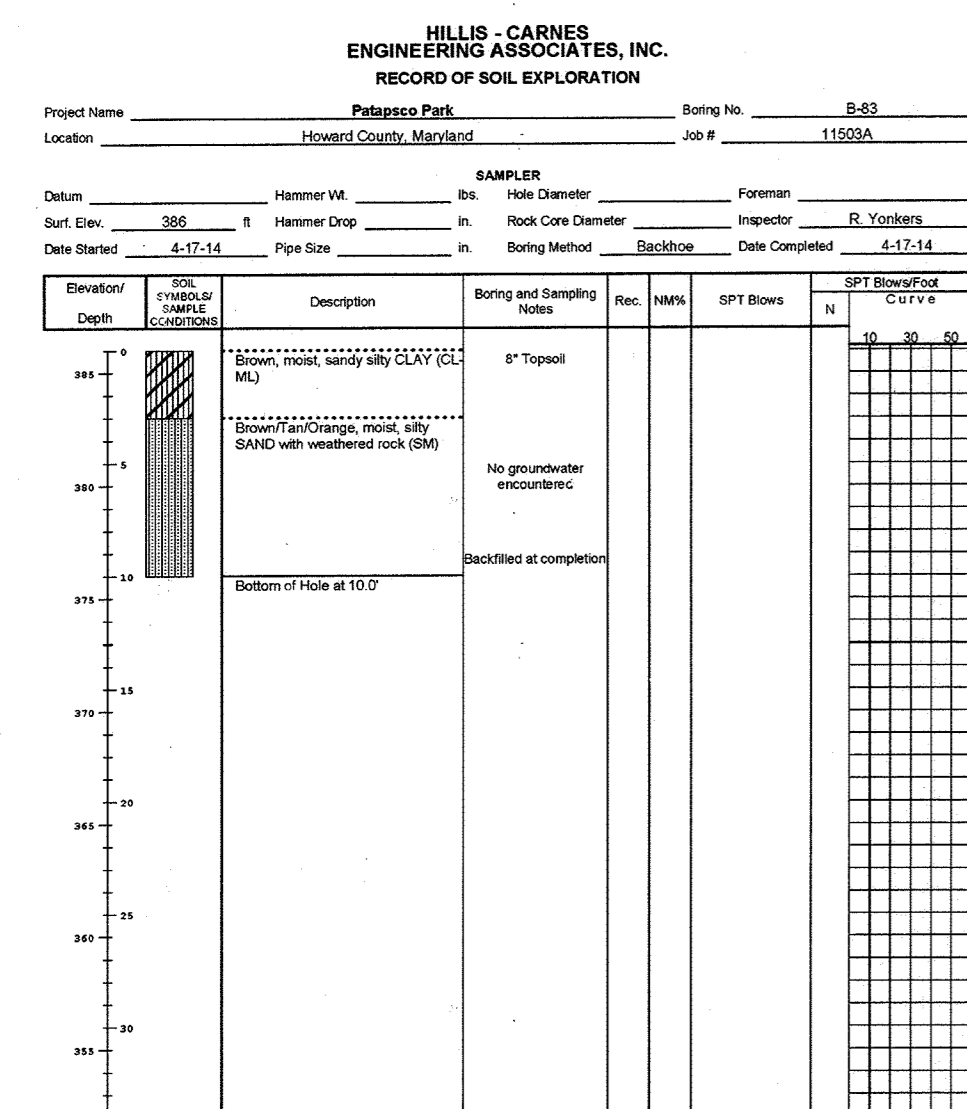


SHEET TITLE:  
**BORING LOCATION MAP**

SHEET NUMBER:  
**50**







APPROVED: DEPARTMENT OF PUBLIC WORKS  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, BUREAU OF HIGHWAYS  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

DATE: 1/8/2015  
 DATE: 7-9-15  
 DATE: 6.15.15

PERMIT INFORMATION CHART

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA
PLAT OR L.P.L.F. NO.: 1514045 & 1514047	GRID # & E, S, N, 1, 2	ZONING: R-20 & RED
PREVIOUS FILE NO.: SP-13-012	ECF-13-029	WP-13-168
PB CASE NO. 403		

# BOHLER ENGINEERING

CORPORATE OFFICE:  
 1111 11th Street, N.W.  
 WASHINGTON, DC 20004

REGIONAL OFFICES:  
 • BOWIE, MD  
 • TOWSON, MD  
 • WASHINGTON, VA  
 • CHALMERS, VA  
 • PHILADELPHIA, PA  
 • TAMPA, FL

CIVIL & CONSULTING ENGINEERS  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
3	11/20/14	AS BUILT	622



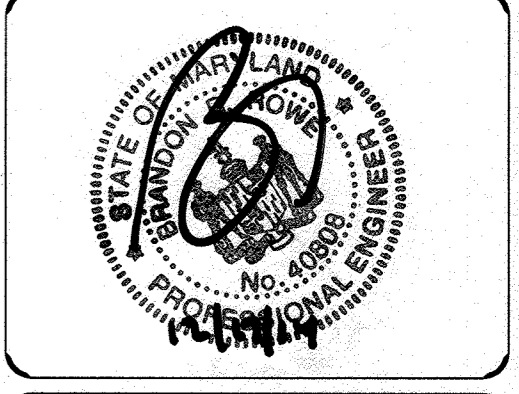
APPROVED FOR CONSTRUCTION

PROJECT NO.: MD132008  
 DRAWN BY: RLB  
 CHECKED BY: BRB  
 DATE: 12/11/14  
 SCALE: AS SHOWN  
 CAD I.D.: BPT

PROJECT: FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK BUILDABLE LOTS 205-207 AND OPEN SPACE LOTS 196-202 LOCATION OF SITE MD ROUTE 99 ROGERS AVENUE HOWARD COUNTY

**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD, SUITE 891  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com



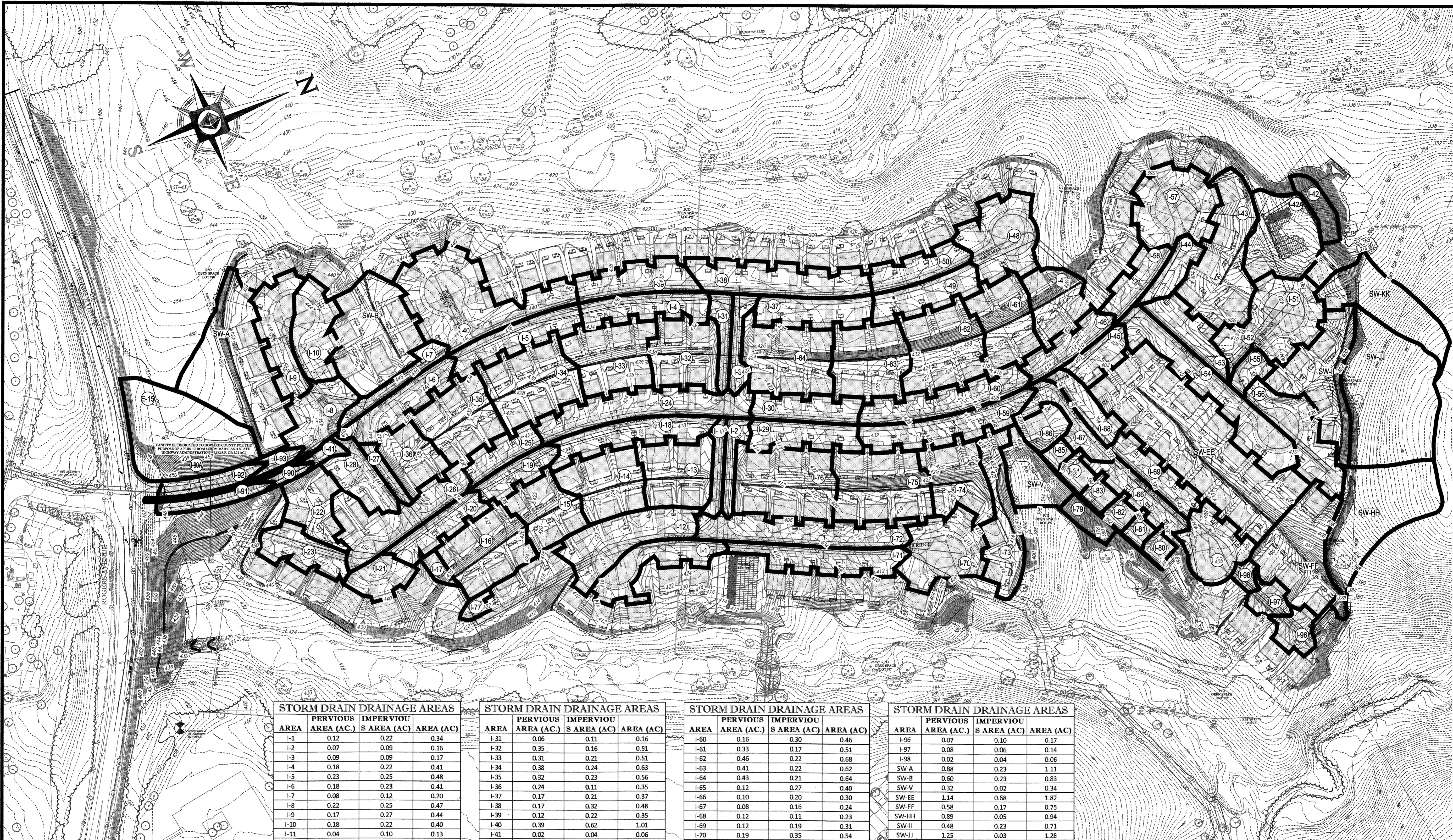
OWNER: PM PATAPSCO LLC  
 12115 ARBIE ROAD  
 SILVER SPRING, MD 20904  
 CONTACT: MR. SIMON ROSENBERG  
 PHONE: (301) 622-0645

DEVELOPER: NAI THE MICHAEL COMPANIES  
 10100 BUSINESS PARKWAY, LANHAM, MD 20706  
 CONTACT: BRIAN GOLSTEIN  
 PHONE: (301) 918-2855

SHEET TITLE: BORING LOGS

SHEET NUMBER: 53

FOR REVISION 3 ONLY  
 NO AS BUILT MD



REVISIONS				
REV	DATE	COMMENT	BY	
1	10/21/15	RESUBDIVISION OF LOTS	RLB	
3	11/30/15	AS BUILT	BRL	

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL: 811  
 (VW) 1-800-245-4646 (PA) 1-800-242-1776 (DC) 1-800-257-7777 (VA) 1-800-652-2071 (MD) 1-800-527-7777 (DC) 1-800-265-8569

**APPROVED FOR CONSTRUCTION**

PROJECT NO.: MD152013  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 12/23/15  
 SCALE: 1"=100'  
 CAD ID: D44

PROJECT: **REVISED FINAL ROAD CONSTRUCTION PLANS** FOR **ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202  
 LOCATION OF SITE: MID ROUTE 99 ROGERS AVENUE HOWARD COUNTY

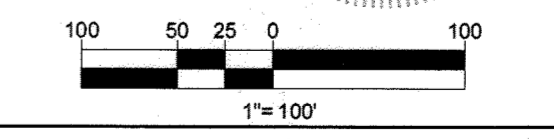
**BOHLER ENGINEERING**  
 901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**BRANDON R. ROWE**  
 PROFESSIONAL ENGINEER  
 No. 08088  
 11/3/14

OWNER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNEYDER  
 PHONE: (301) 674-8509

DEVELOPER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNEYDER  
 PHONE: (301) 674-8509

*For Revision 3 Only No AS BUILT info*



STORM DRAIN DRAINAGE AREAS				STORM DRAIN DRAINAGE AREAS				STORM DRAIN DRAINAGE AREAS				STORM DRAIN DRAINAGE AREAS			
AREA	PERVIOUS AREA (AC)	IMPERVIOUS AREA (AC)	AREA (AC)	AREA	PERVIOUS AREA (AC)	IMPERVIOUS AREA (AC)	AREA (AC)	AREA	PERVIOUS AREA (AC)	IMPERVIOUS AREA (AC)	AREA (AC)	AREA	PERVIOUS AREA (AC)	IMPERVIOUS AREA (AC)	AREA (AC)
I-1	0.12	0.22	0.34	I-31	0.06	0.11	0.16	I-60	0.16	0.30	0.46	I-96	0.07	0.10	0.17
I-2	0.07	0.09	0.16	I-32	0.35	0.16	0.51	I-61	0.33	0.17	0.51	I-97	0.08	0.06	0.14
I-3	0.09	0.09	0.17	I-33	0.31	0.21	0.51	I-62	0.46	0.22	0.68	I-98	0.02	0.04	0.06
I-4	0.18	0.22	0.41	I-34	0.38	0.24	0.63	I-63	0.41	0.22	0.62	SW-A	0.88	0.23	1.11
I-5	0.23	0.25	0.48	I-35	0.32	0.23	0.56	I-64	0.43	0.21	0.64	SW-B	0.60	0.23	0.83
I-6	0.18	0.23	0.41	I-36	0.24	0.11	0.35	I-65	0.12	0.27	0.40	SW-V	0.32	0.02	0.34
I-7	0.08	0.12	0.20	I-37	0.17	0.21	0.37	I-66	0.10	0.20	0.30	SW-EE	1.14	0.68	1.82
I-8	0.22	0.25	0.47	I-38	0.17	0.32	0.48	I-67	0.08	0.16	0.24	SW-FF	0.58	0.17	0.75
I-9	0.17	0.27	0.44	I-39	0.12	0.22	0.35	I-68	0.12	0.11	0.23	SW-HH	0.89	0.05	0.94
I-10	0.18	0.22	0.40	I-40	0.39	0.62	1.01	I-69	0.12	0.19	0.31	SW-II	0.48	0.23	0.71
I-11	0.04	0.10	0.13	I-41	0.02	0.04	0.06	I-70	0.19	0.35	0.54	SW-JJ	1.25	0.03	1.28
I-12	0.26	0.35	0.61	I-42	0.16	0.00	0.16	I-71	0.16	0.31	0.47	SW-KK	0.61	0.00	0.61
I-13	0.32	0.18	0.51	I-42A	0.54	0.05	0.59	I-72	0.27	0.37	0.64	E-15	0.84	0.00	0.84
I-14	0.33	0.20	0.53	I-43	0.58	0.25	0.83	I-73	0.39	0.13	0.51	I-90A	0.07	0.00	0.07
I-15	0.26	0.17	0.42	I-44	0.10	0.09	0.19	I-74	0.35	0.14	0.49				
I-16	0.35	0.26	0.61	I-45	0.09	0.12	0.21	I-75	0.41	0.29	0.70				
I-17	0.05	0.02	0.07	I-46	0.11	0.19	0.30	I-76	0.48	0.26	0.74				
I-18	0.19	0.25	0.44	I-47	0.25	0.13	0.38	I-77	0.04	0.03	0.07				
I-19	0.11	0.15	0.25	I-48	0.20	0.37	0.56	I-79	0.13	0.00	0.13				
I-20	0.13	0.19	0.32	I-49	0.16	0.20	0.36	I-80	0.05	0.04	0.09				
I-21	0.09	0.15	0.24	I-50	0.03	0.25	0.28	I-81	0.05	0.04	0.09				
I-22	0.24	0.11	0.35	I-51	0.20	0.34	0.53	I-82	0.05	0.04	0.09				
I-23	0.16	0.18	0.33	I-52	0.05	0.05	0.09	I-83	0.05	0.04	0.09				
I-24	0.25	0.40	0.65	I-53	0.14	0.19	0.33	I-84	0.05	0.04	0.09				
I-25	0.10	0.17	0.27	I-54	0.30	0.43	0.73	I-85	0.02	0.04	0.07				
I-26	0.21	0.40	0.61	I-55	0.06	0.07	0.13	I-86	0.14	0.04	0.18				
I-27	0.02	0.07	0.09	I-56	0.25	0.25	0.50	I-90	0.03	0.03	0.07				
I-28	0.15	0.16	0.31	I-57	0.24	0.39	0.63	I-91	0.07	0.07	0.14				
I-29	0.14	0.19	0.33	I-58	0.13	0.14	0.27	I-92	0.04	0.14	0.18				
I-30	0.11	0.21	0.31	I-59	0.24	0.31	0.55	I-93	0.03	0.04	0.08				

**LEGEND**

- IMPERVIOUS AREA
- LIMIT OF DISTURBANCE
- DRAINAGE DIVIDE LABEL
- DRAINAGE AREA DIVIDE

PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051

PERMIT INFORMATION CHART

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION AREA: N/A	LOT/PARCEL NO.: N/A
PLAT # OR U.F.: 20421 TO 20408	GRID # 5.6, 11, 12	ZONING: R-20 & REZ
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WR-13-185 F&B CASE NO. 403	TAX MAP NO.: 17	ELECT. DISTR. 2ND
		CENSUS TRACT:

PROFESSIONAL CERTIFICATION  
 I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 08088, EXPIRATION DATE: 7/31/17

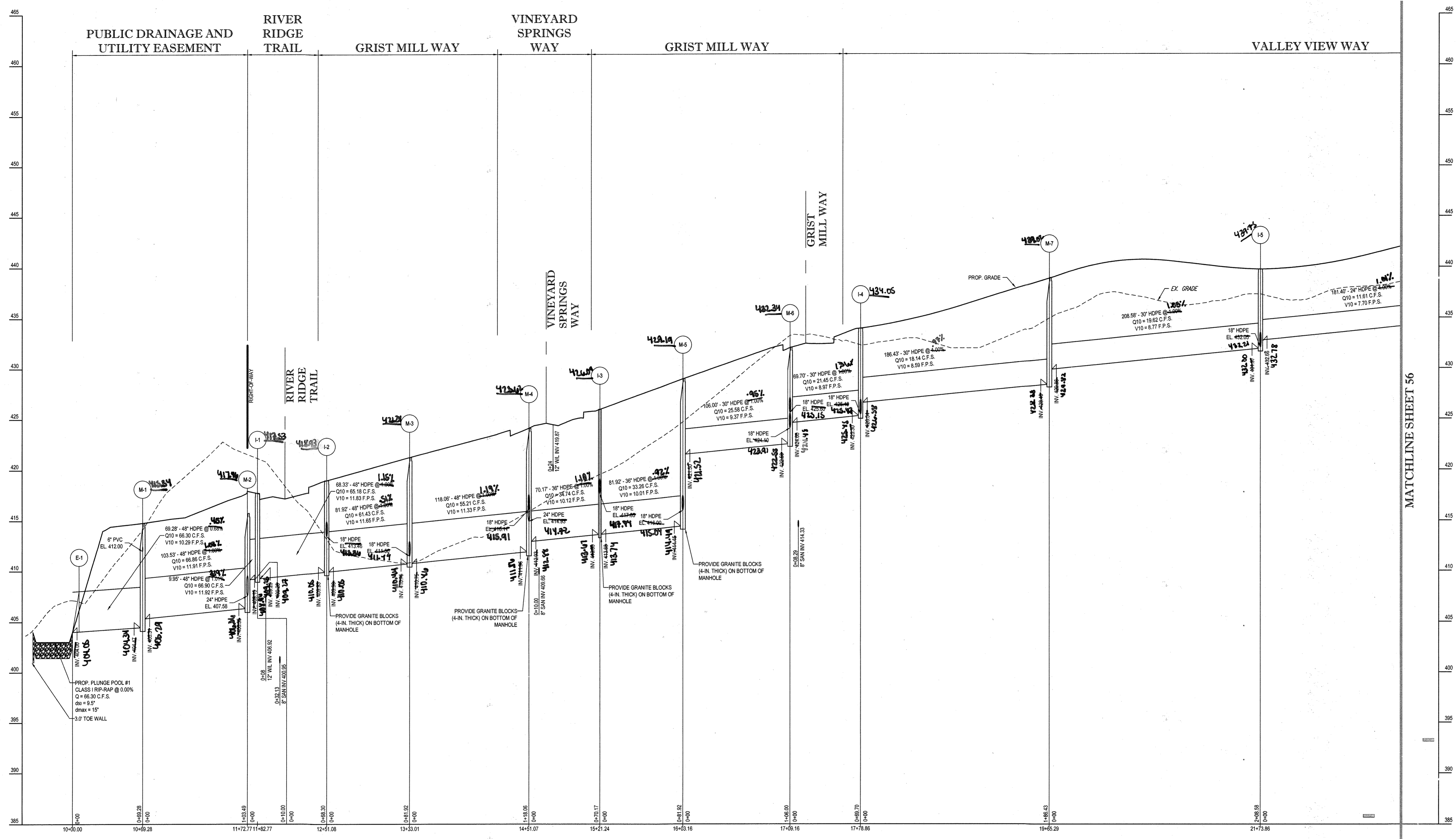
APPROVED: DEPARTMENT OF PUBLIC WORKS  
 DATE: 11/9/2015  
 MELVIN BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 DATE: 12-17-15  
 CHIEF DIVISION OF LAND DEVELOPMENT

APPROVED: BOHLER ENGINEERING DIVISION  
 DATE: 11-17-15  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

SHEET TITLE: **STORM DRAIN DRAINAGE AREA MAP**

SHEET NUMBER: **54**



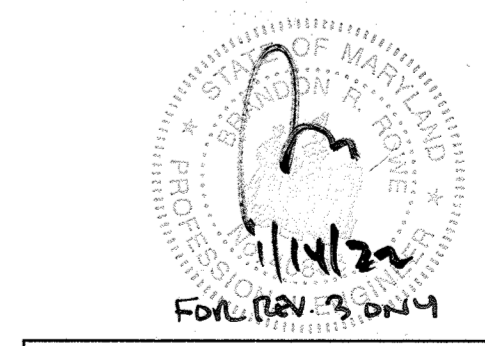
PROPOSED STORM PROFILE - STM E-1 TO STM I-5  
 SCALE: 1" = 50' HORIZONTAL  
 1" = 5' VERTICAL

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] DATE 1/8/2015  
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] DATE 7-9-15  
 CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] DATE 6-15-15  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND CODES. IF THE CONTRACTOR HAS ANY QUESTIONS OR CONCERNS, HE SHALL CONTACT THE PROJECT ENGINEER OF RECORD PRIOR TO THE START OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT THE CONTRACTOR'S RISK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY TRAFFIC CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION SCHEDULING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION LOGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION REPORTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PHOTOGRAPHS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION VIDEOS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION TOOLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION LABORERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION SUPERVISORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION MANAGERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION ENGINEERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION ARCHITECTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION SURVEYORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION INSPECTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION TESTERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION MEASUREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION FILES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION FOLDERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION DRIVES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION NETWORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION SUPPORTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION SUPPORTS.



OWNER: PM PATAPSCO LLC  
 12116 ARBIE ROAD  
 SILVER SPRING, MD 20904  
 CONTACT: MR. SIMON ROSENBERG  
 PHONE: (301) 622-0645

DEVELOPER: NAI THE MICHAEL COMPANIES  
 10100 BUSINESS PARKWAY, LANHAM, MD 20706  
 CONTACT: BRIAN GOLDSTEIN  
 PHONE: (301) 918-2955

PERMIT INFORMATION CHART					
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA			
PLAT # OR L.P.: 1514945 & 1514947	GRID # S, E, N, W	ZONING: R-20 & RED	TAX MAP NO.: 17	ELECT. DISTR.: 2ND	CENSUS TRACT:
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-185 PB CASE NO. 403	PROFESSIONAL CERTIFICATION I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40805, EXPIRATION DATE: 7/3/2015				

REVISIONS		
REV	DATE	COMMENT
3	11/20/14	AS SHOWN

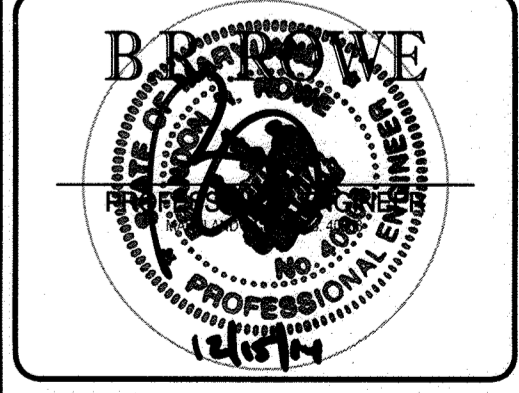
THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE: CALL: 811 (MD 1-800-345-4449) (PA 1-800-243-1779) (DC 1-800-357-7777) (VA 1-800-552-7001) (MD 1-800-257-7777) (DE 1-800-282-8556)

APPROVED FOR CONSTRUCTION

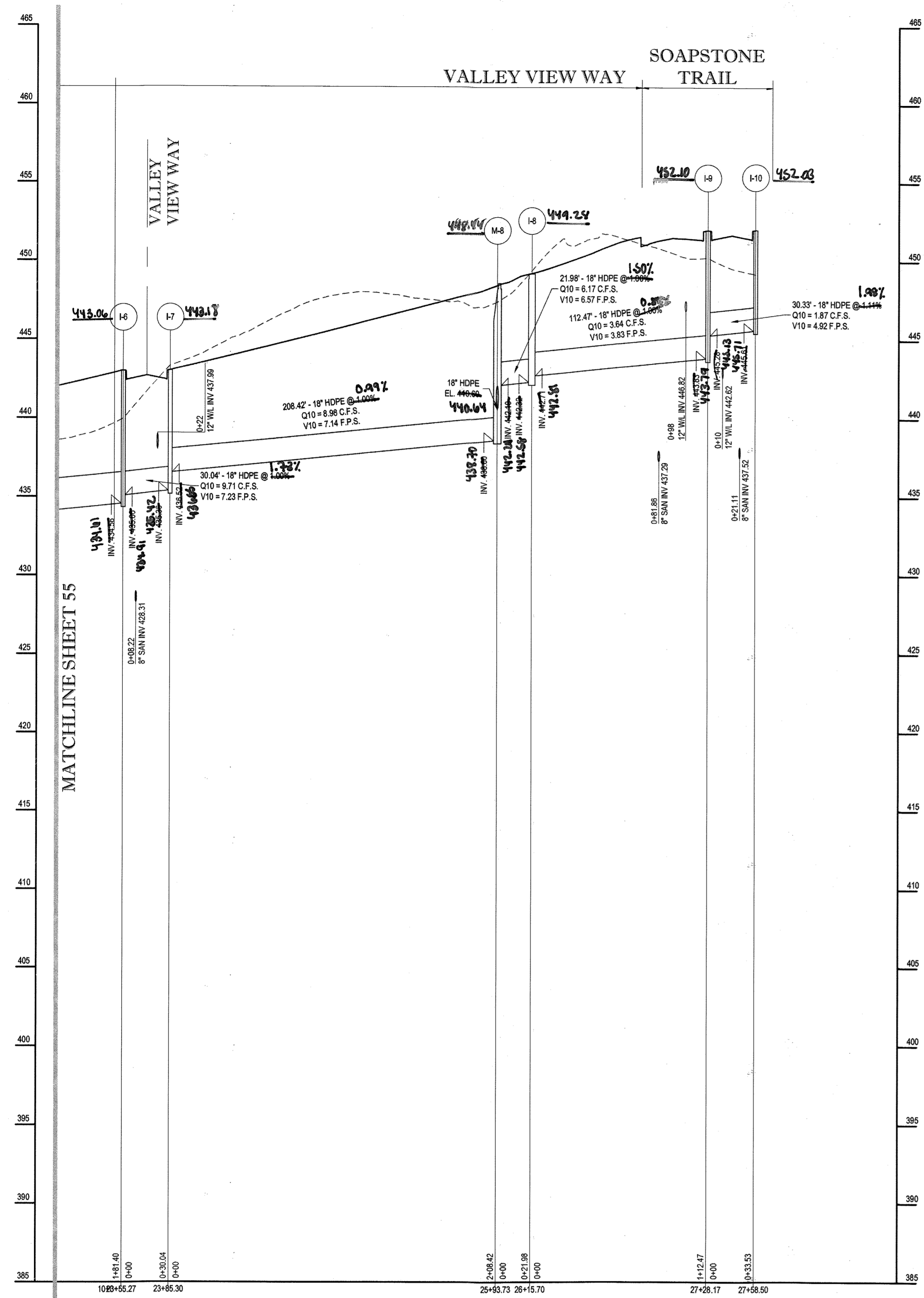
PROJECT No.: MD132008  
 DRAWN BY: RLB  
 CHECKED BY: SRB  
 DATE: 12/11/14  
 SCALE: AS SHOWN  
 CAD I.D.: PD1

FINAL ROAD CONSTRUCTION PLANS  
 FOR  
 ESTATES AT PATAPSCO PARK  
 BUILDABLE LOTS 198-202 AND  
 OPEN SPACE LOTS 196 - 202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

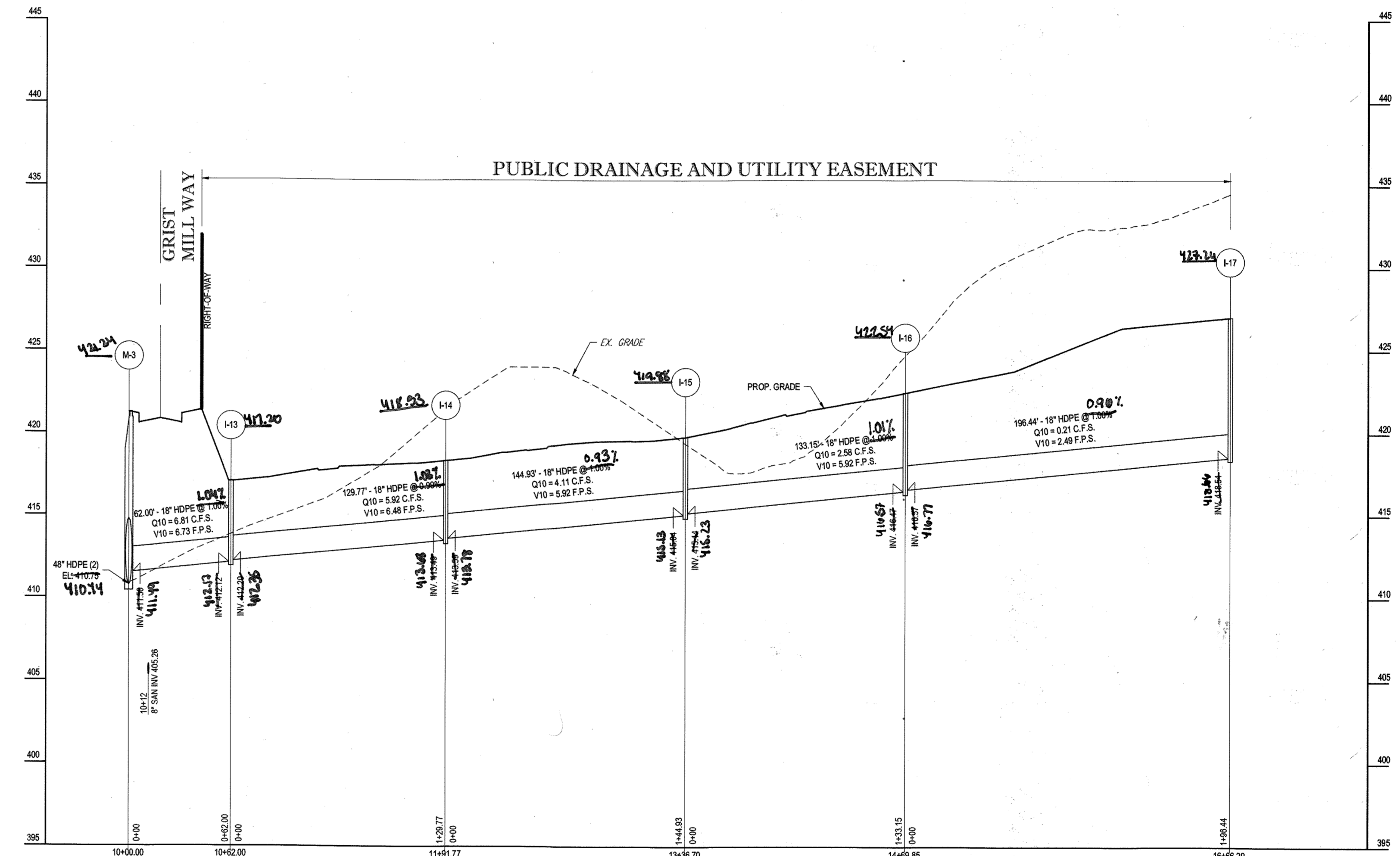
**BOHLER ENGINEERING**  
 901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com



SHEET TITLE: STORM DRAIN PROFILES  
 SHEET NUMBER: 55



PROPOSED STORM PROFILE - STM I-6 TO STM I-10  
SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



PROPOSED STORM PROFILE - STM M-3 TO STM I-17  
SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 CHIEF, BUREAU OF HIGHWAYS DATE: 11/9/2015  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 12-17-15  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 11-17-15

GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK. PRIOR TO THE INITIATION OF CONSTRUCTION, SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL APPLICABLE REGULATIONS AND ORDINANCES.

PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.

PERMIT INFORMATION CHART				
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA		
FLAT # OR L.P.: 23421 TO 23438	GRID # S, E, N, 11, 12	ZONING: R-20 & R-ED	TAX MAP NO.: 17	ELECT DISTRICT: 2ND
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403	PROFESSIONAL CERTIFICATION I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808, EXPIRATION DATE: 12/31/17			

STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 BRANDON R. ROWE  
 11/17/22  
 For No. 3001

OWNER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

DEVELOPER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

**BOHLER ENGINEERING**

CORPORATE OFFICE: WARREN, NJ

CIVIL & CONSULTING ENGINEERS

SURVEYORS

PROJECT MANAGERS

ENVIRONMENTAL CONSULTANTS

LANDSCAPE ARCHITECTS

STATE OF MARYLAND LICENSE NO. 40808

REVISIONS				
REV	DATE	COMMENT	BY	
1	10/21/15	REV PER RESUBDIVISION OF LOTS	RLB	
3	11/30/15	AS BUILT	RLB	

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE: CHL - 411 (VA 1-800-248-4848) (PA 1-800-242-1778) (DC 1-800-257-7777) (MD 1-800-662-7001) (DE 1-800-227-7777) (DE 1-800-293-8669)

APPROVED FOR CONSTRUCTION

PROJECT No.: MD152073  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 1/23/15  
 SCALE: AS SHOWN  
 CAD: L.D.

REVISI  
 CONSTRUCTION  
 PLANS  
 FOR  
 ESTATES AT PATAPSCO PARK  
 BUILDABLE LOTS 203-397 AND  
 OPEN SPACE LOTS 196 - 202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD,  
 SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

PROFESSIONAL ENGINEER  
 BRANDON R. ROWE  
 LICENSE NO. 40808  
 EXPIRATION DATE: 12/31/17

SHEET TITLE:  
**STORM DRAIN PROFILES**

SHEET NUMBER:  
**56**



REVISIONS

REV	DATE	COMMENT	BY
3	11/30/24	AS BUILT	BRK

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL - 811  
 (VA 1-800-245-4444) (PA 1-800-245-7777) (DC 1-800-257-7777) (MD 1-800-552-7001) (DE 1-800-287-7777)

APPROVED FOR CONSTRUCTION

PROJECT No.: MD132008  
 DRAWN BY: RLB  
 CHECKED BY: SRR  
 DATE: 12/11/14  
 SCALE: AS SHOWN  
 CAD I.D.: PD1

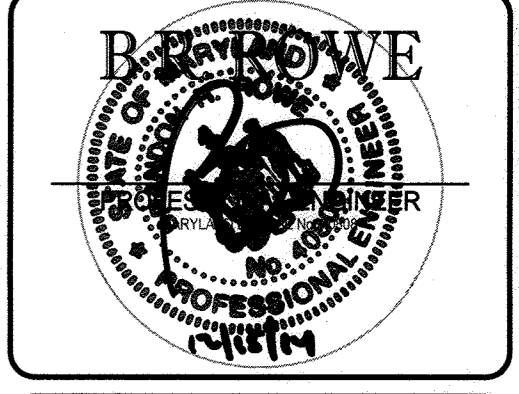
FINAL ROAD CONSTRUCTION PLANS

FOR

**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 201-217 AND  
 OPEN SPACE LOTS 196 - 202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

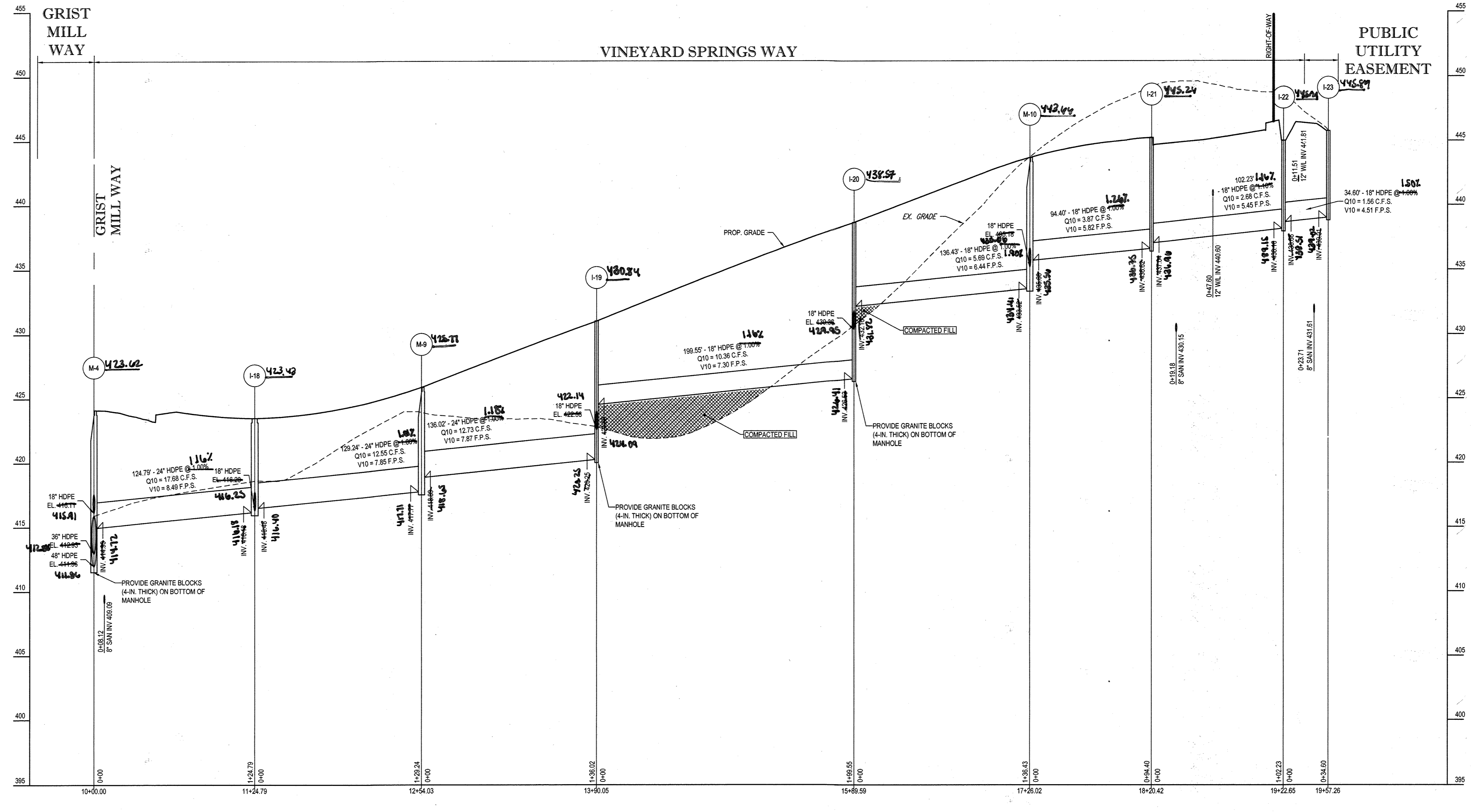
**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD,  
 SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
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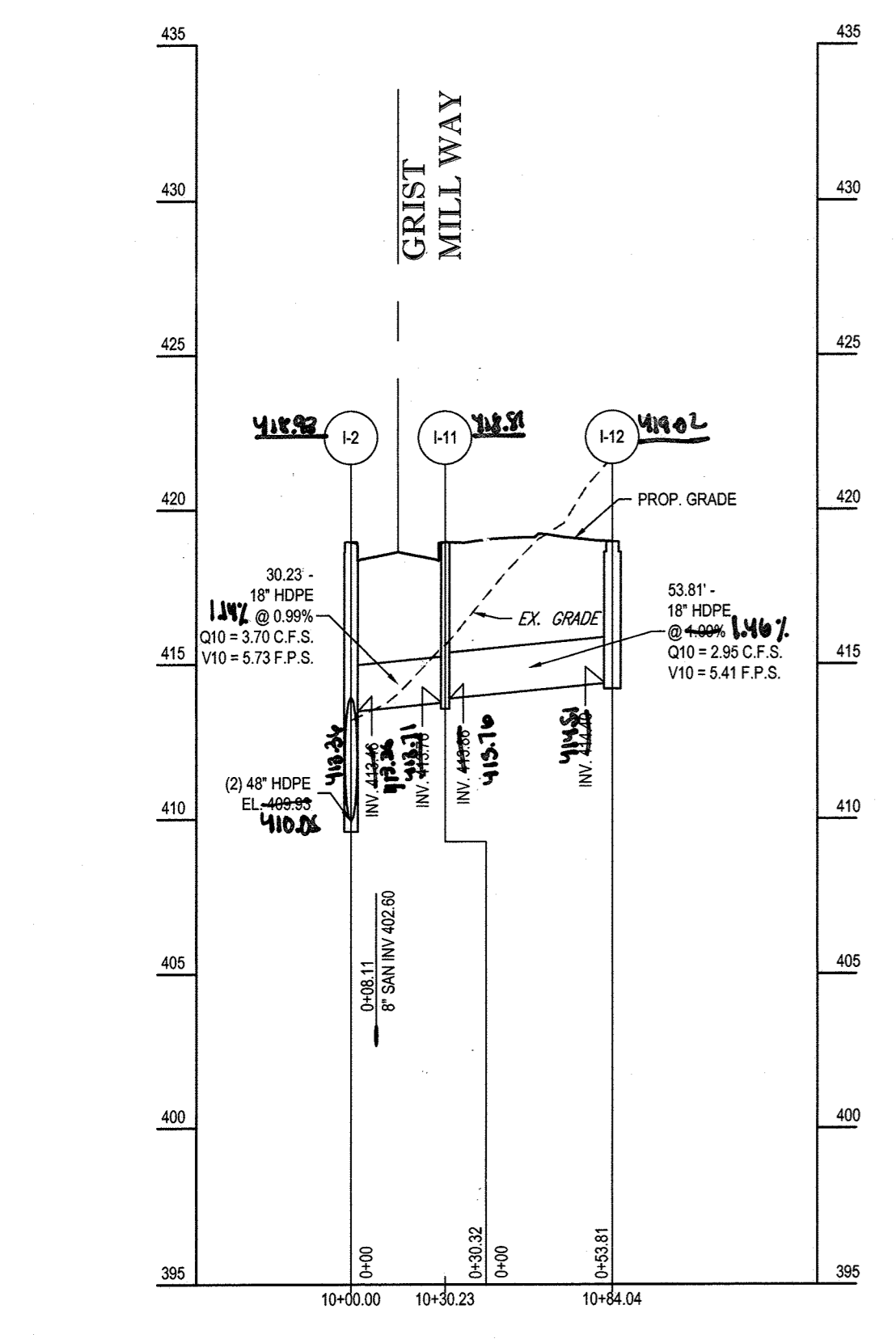


SHEET TITLE:  
**STORM DRAIN PROFILES**

SHEET NUMBER:  
**57**



PROPOSED STORM PROFILE - STM M-4 TO STM I-12  
 SCALE: 1" = 50' HORIZONTAL  
 1" = 5' VERTICAL



PROPOSED STORM PROFILE - STM I-2 TO STM I-12  
 SCALE: 1" = 50' HORIZONTAL  
 1" = 5' VERTICAL

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*M. Williams* DATE: 1/8/2016  
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Katzel* DATE: 7-9-15  
 CHIEF, DIVISION OF LAND DEVELOPMENT

*Ch. Chubb* DATE: 6-15-15  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT BEFORE SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.

PERMIT INFORMATION CHART

SUBDIVISION NAME:	SECTION/AREA:	LOT/PARCEL NO.:
ESTATES AT PATAPSCO PARK	NA	NA
PLAT # OR L.P.:	GRID # S, E, N, W	ZONING:
15148/45 & 15148/47	8, 11, 12	R-20 & RED
TAX MAP NO.:	ELECT. DISTR.:	CENSUS TRACT.:
17	2ND	
PREVIOUS FILE NO.:	ECP-13-029	PROFESSIONAL CERTIFICATION
WP-13-165	PB CASE NO. 403	BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 42806, EXPIRATION DATE: 7/31/25

REVISIONS				
REV	DATE	COMMENT	REV PER	BY
1	10/21/15	RESUBDIVISION OF LOTS		RLB
6	11/20/15	AS SHOWN		RLB

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATES OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL: 811  
(VA) 1-800-246-4649 (PA) 1-800-945-3779 (DC) 1-800-257-7777 (DE) 1-800-292-8559

**APPROVED FOR CONSTRUCTION**

PROJECT NO.: MD152013  
DRAWN BY: RLB  
CHECKED BY: BRR  
DATE: 1/23/15  
SCALE: AS SHOWN  
CAD I.D.: PD4

**REVISED FINAL ROAD CONSTRUCTION PLANS**

FOR

**ESTATES AT PATAPSCO PARK**  
BUILDABLE LOTS 203-397 AND  
OPEN SPACE LOTS 196 - 202  
LOCATION OF SITE  
MD ROUTE 99  
ROGERS AVENUE  
HOWARD COUNTY

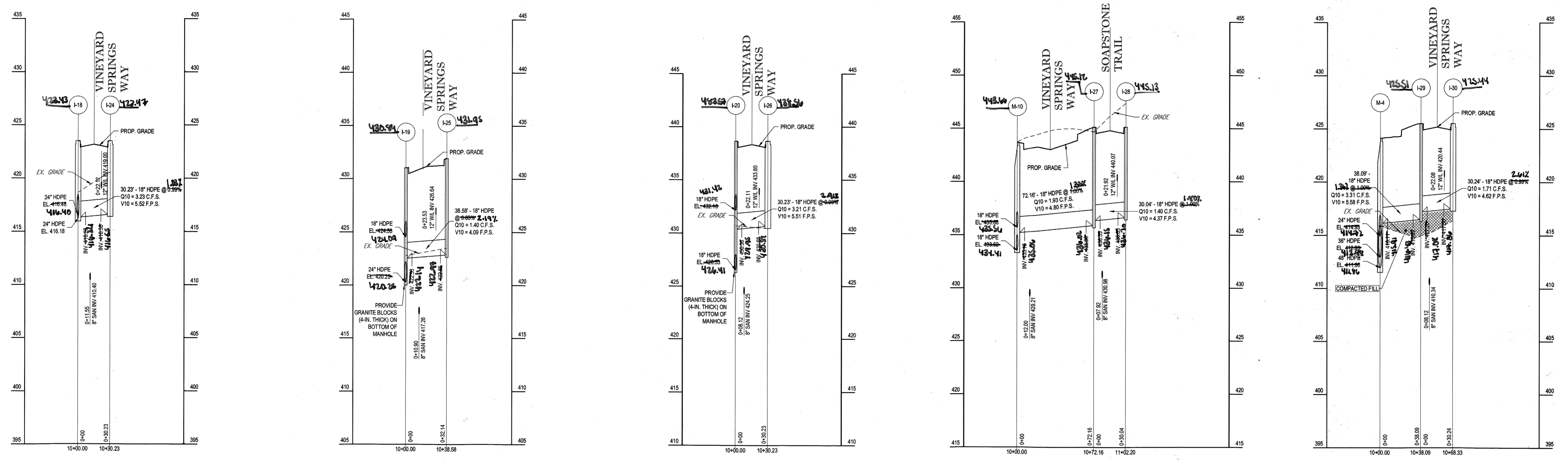
**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD,  
SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
www.BohlerEngineering.com

**B. R. BOWE**  
PROFESSIONAL ENGINEER  
LICENSE NO. 40808  
EXPIRES 12/31/15

SHEET TITLE:  
**STORM DRAIN PROFILES**

SHEET NUMBER:  
**58**



PROPOSED STORM PROFILE - STM I-18 TO STM I-24 SCALE: 1" = 50' HORIZONTAL, 1" = 5' VERTICAL  
 PROPOSED STORM PROFILE - STM I-19 TO STM I-25 SCALE: 1" = 50' HORIZONTAL, 1" = 5' VERTICAL  
 PROPOSED STORM PROFILE - STM I-20 TO STM I-26 SCALE: 1" = 50' HORIZONTAL, 1" = 5' VERTICAL  
 PROPOSED STORM PROFILE - STM M-10 TO STM I-28 SCALE: 1" = 50' HORIZONTAL, 1" = 5' VERTICAL  
 PROPOSED STORM PROFILE - STM M-4 TO STM I-30 SCALE: 1" = 50' HORIZONTAL, 1" = 5' VERTICAL

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 CHIEF, BUREAU OF HIGHWAYS DATE: 11/19/15  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 12-17-15  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 11.17.15

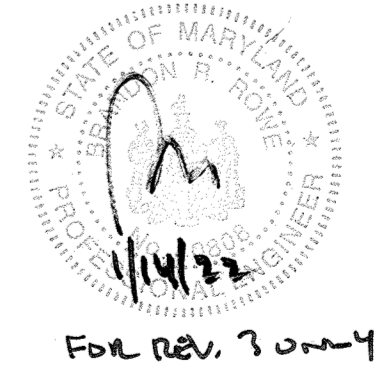
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PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.

PERMIT INFORMATION CHART					
SUBDIVISION NAME	ESTATES AT PATAPSCO PARK	SECTION/AREA	NA	LOT/PARCEL NO.	NA
PLAT # OR LF:	23421 TO 23428	GRID #:	5, 6, 11, 12	ZONING:	R-20 & RED
PREVIOUS FILE NO.:	SP-15-012	ECP:	13-029	WP:	13-165
		PB CASE NO.:	403		

OWNER:  
 ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

DEVELOPER:  
 ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509



REVISIONS

REV	DATE	COMMENT	BY
3	11/20/14	AS BUILT	GR

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**APPROVED FOR CONSTRUCTION**

PROJECT No.: MD132008  
DRAWN BY: RLB  
CHECKED BY: BRB  
DATE: 12/11/14  
SCALE: AS SHOWN  
CAD I.D.: PD1

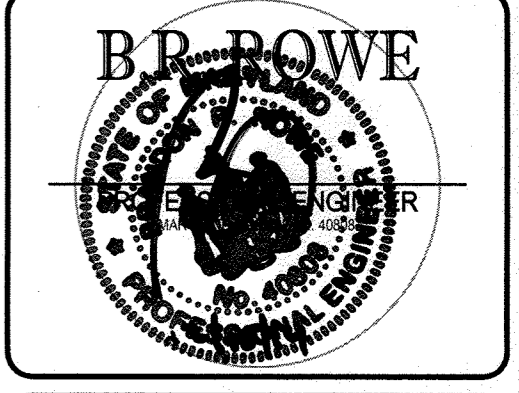
**FINAL ROAD CONSTRUCTION PLANS**

FOR

**ESTATES AT PATAPSCO PARK**  
BUILDABLE LOTS 201-207 AND  
OPEN SPACE LOTS 196 - 202  
LOCATION OF SITE  
MD ROUTE 99  
ROGERS AVENUE  
HOWARD COUNTY

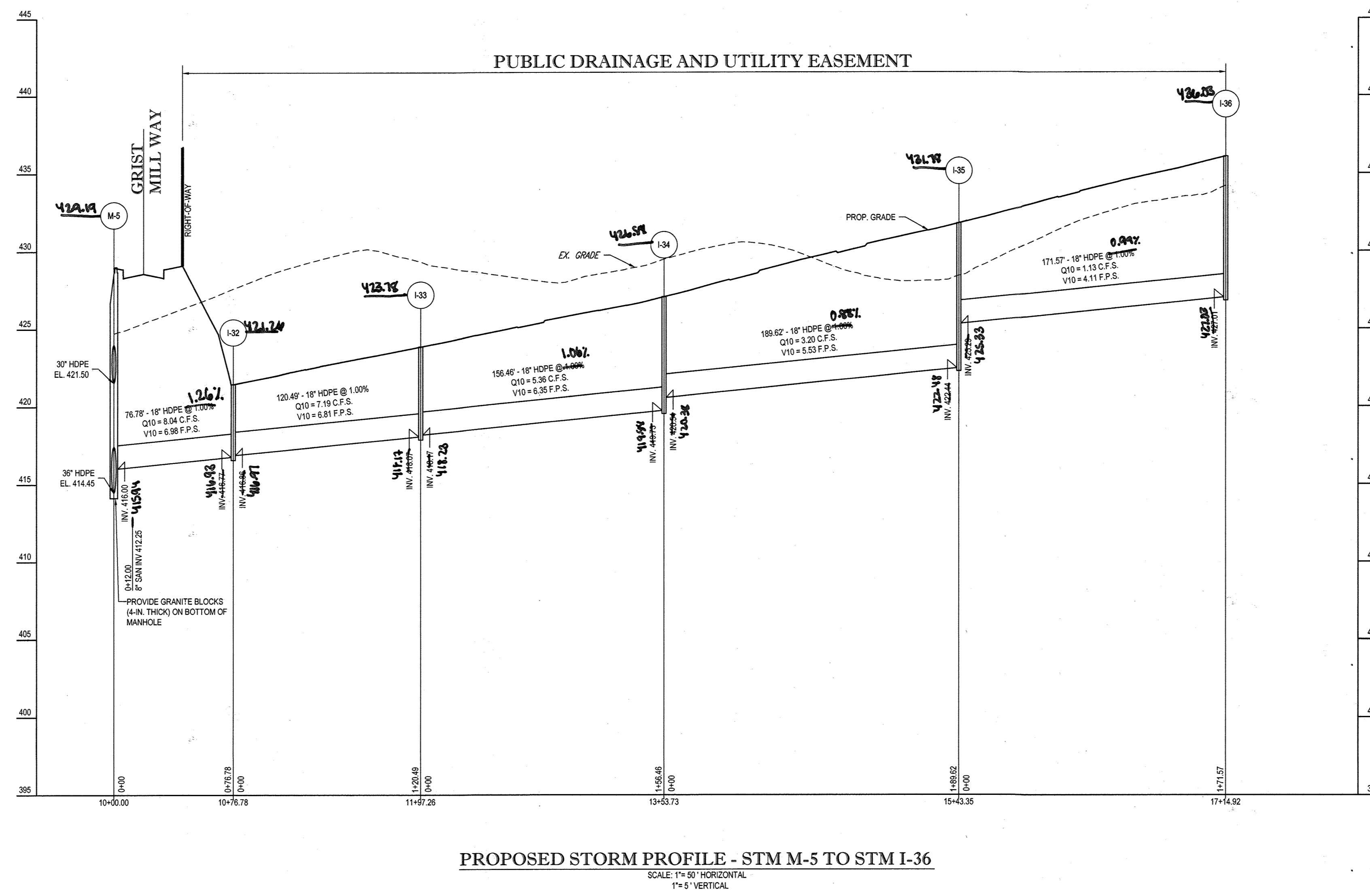
**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD,  
SUITE 801  
TOWSON, MARYLAND 21284  
Phone: (410) 821-7900  
Fax: (410) 821-7987  
www.BohlerEngineering.com

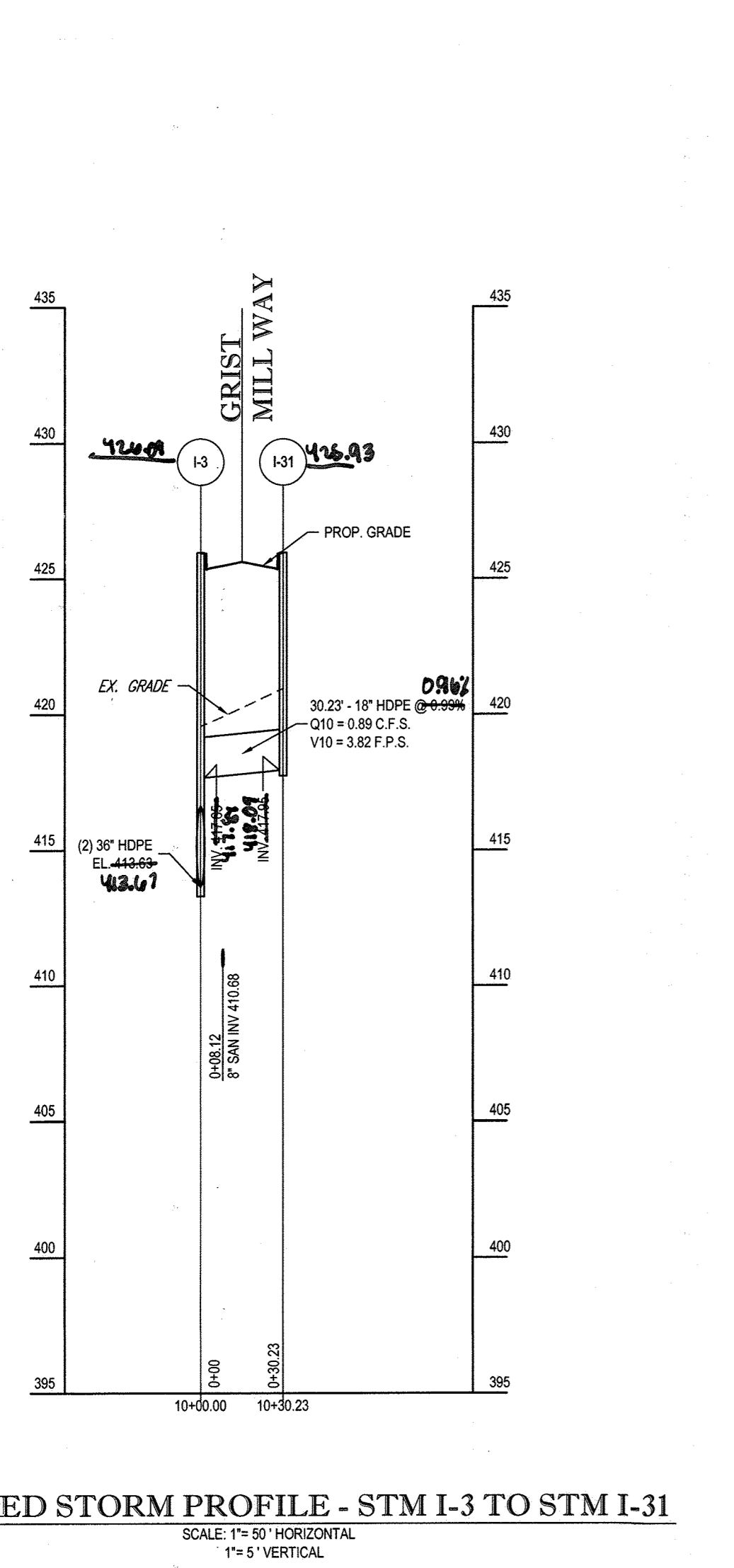


SHEET TITLE:  
**STORM DRAIN PROFILES**

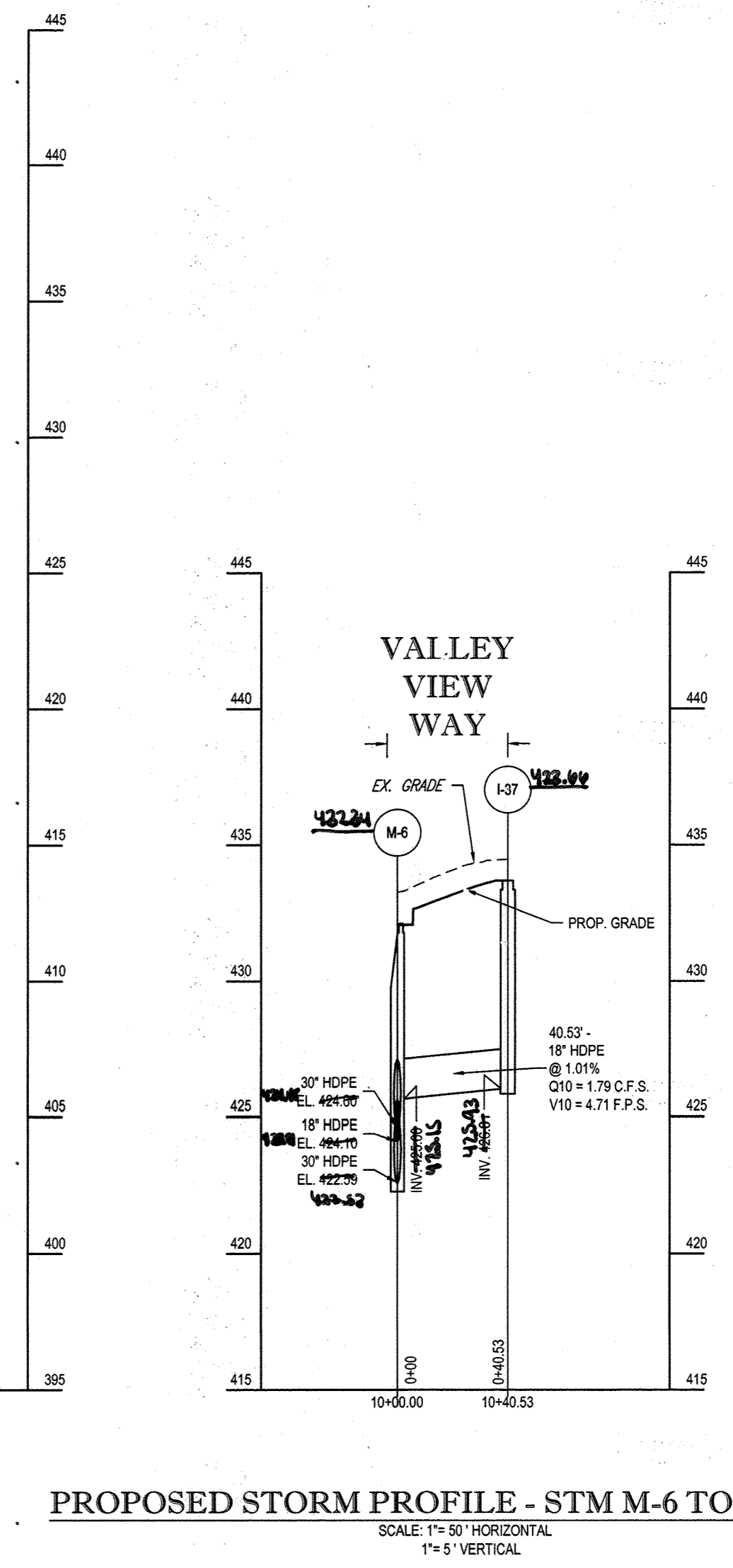
SHEET NUMBER:  
**59**



PROPOSED STORM PROFILE - STM M-5 TO STM I-36  
SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



PROPOSED STORM PROFILE - STM I-3 TO STM I-31  
SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



PROPOSED STORM PROFILE - STM M-6 TO STM I-37  
SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL

APPROVED DEPARTMENT OF PUBLIC WORKS  
CHIEF, BUREAU OF HIGHWAYS DATE 1/8/2015

APPROVED DEPARTMENT OF PLANNING AND ZONING  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE 7-9-15

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 6-15-15

GENERAL NOTE:  
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OWNER: PM PATAPSCO LLC  
12116 ARBIE ROAD  
SILVER SPRING, MD 20904  
CONTACT: MR. SIMON ROSENBERG  
PHONE: (301) 822-0645

DEVELOPER: NAI THE MICHAEL COMPANIES  
10100 BUSINESS PARKWAY, LANHAM, MD 20706  
CONTACT: BRIAN GOLSTEIN  
PHONE: (301) 918-2955

PERMIT INFORMATION CHART

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA
FLAT # OR LOT: 15148445 & 15148447	GRID: 6, 5, 11, 12	ZONING: R-20 & RED
PREVIOUS FILE No.: SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403	TAX MAP NO.: 17	ELECT. DISTR.: 2ND
PROFESSIONAL CERTIFICATION I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 114122, EXPIRATION DATE: 12/31/17.		

REVISIONS			
REV	DATE	COMMENT	BY
3	11/13/14	AS SHOWN	RLB

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL: 811

MD 1-800-245-4545 (MD) 1-800-245-3779 (DC)  
 VA 1-800-852-7001 (MD) 1-800-257-3777 (DE) 1-800-282-8559

**APPROVED FOR CONSTRUCTION**

PROJECT NO.: MD132008  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 12/11/14  
 SCALE: AS SHOWN  
 CAD I.D.: PDI

**FINAL ROAD CONSTRUCTION PLANS**

FOR

**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 198-202  
 OPEN SPACE LOTS 196-202  
 LOCATION OF SITE:  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD,  
 SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com



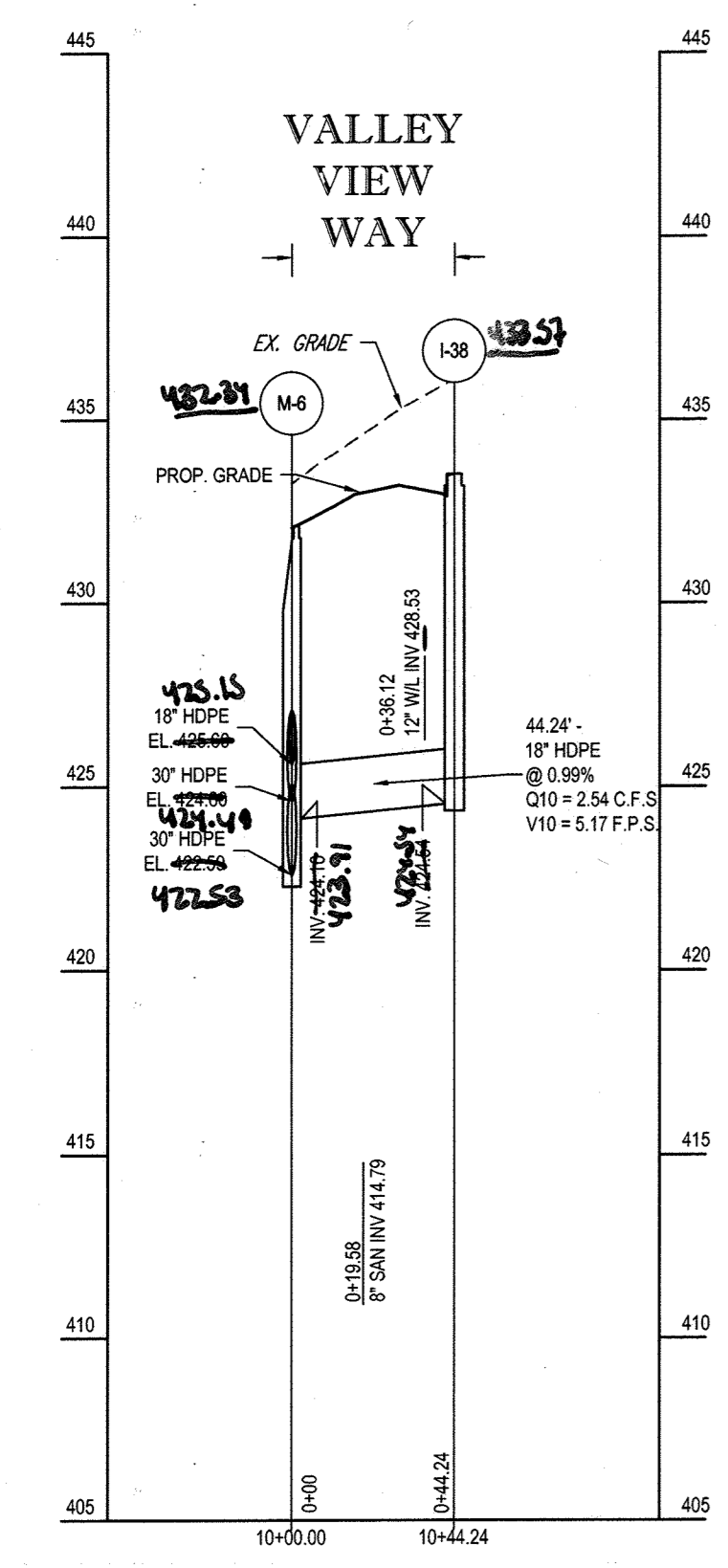
OWNER: PM PATAPSCO LLC  
 12116 ARBIE ROAD  
 SILVER SPRING, MD 20904  
 CONTACT: MR. SIMON ROSENBERG  
 PHONE: (301) 622-0545

DEVELOPER: NAI THE MICHAEL COMPANIES  
 10100 BUSINESS PARKWAY, LANHAM, MD 20706  
 CONTACT: BRIAN GOLDSTEIN  
 PHONE: (301) 918-2955

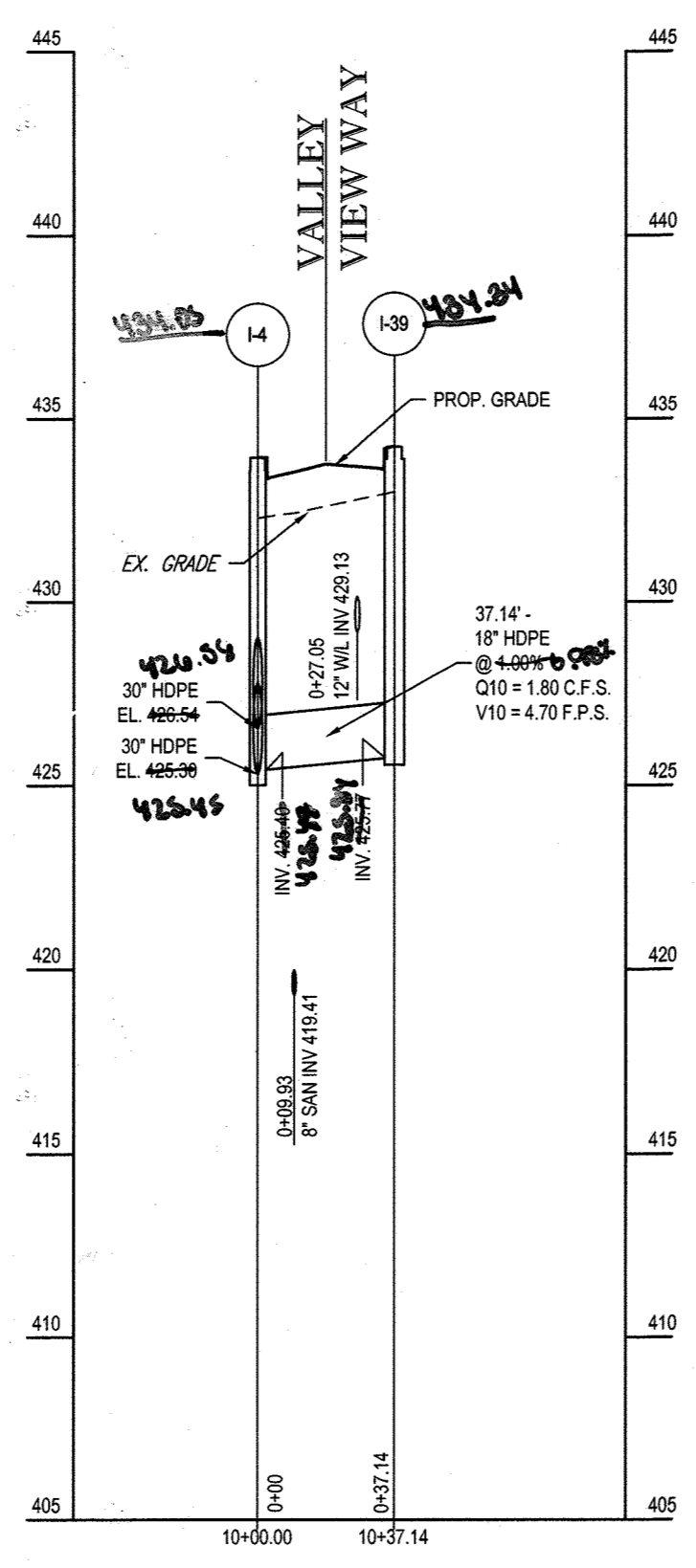
PERMIT INFORMATION CHART				
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA		
PLAT # OR L.P.: 15148485 & 15148487	GRID # S, E, 11, 12	ZONING: R-20 & RED	TAX MAP NO.: 17	ELECT. DIST. 2ND
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-165 PG. CASE NO. 403	PROFESSIONAL CERTIFICATION I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 43606, EXPIRATION DATE: 12/31/15			

SHEET TITLE:  
**STORM DRAIN PROFILES**

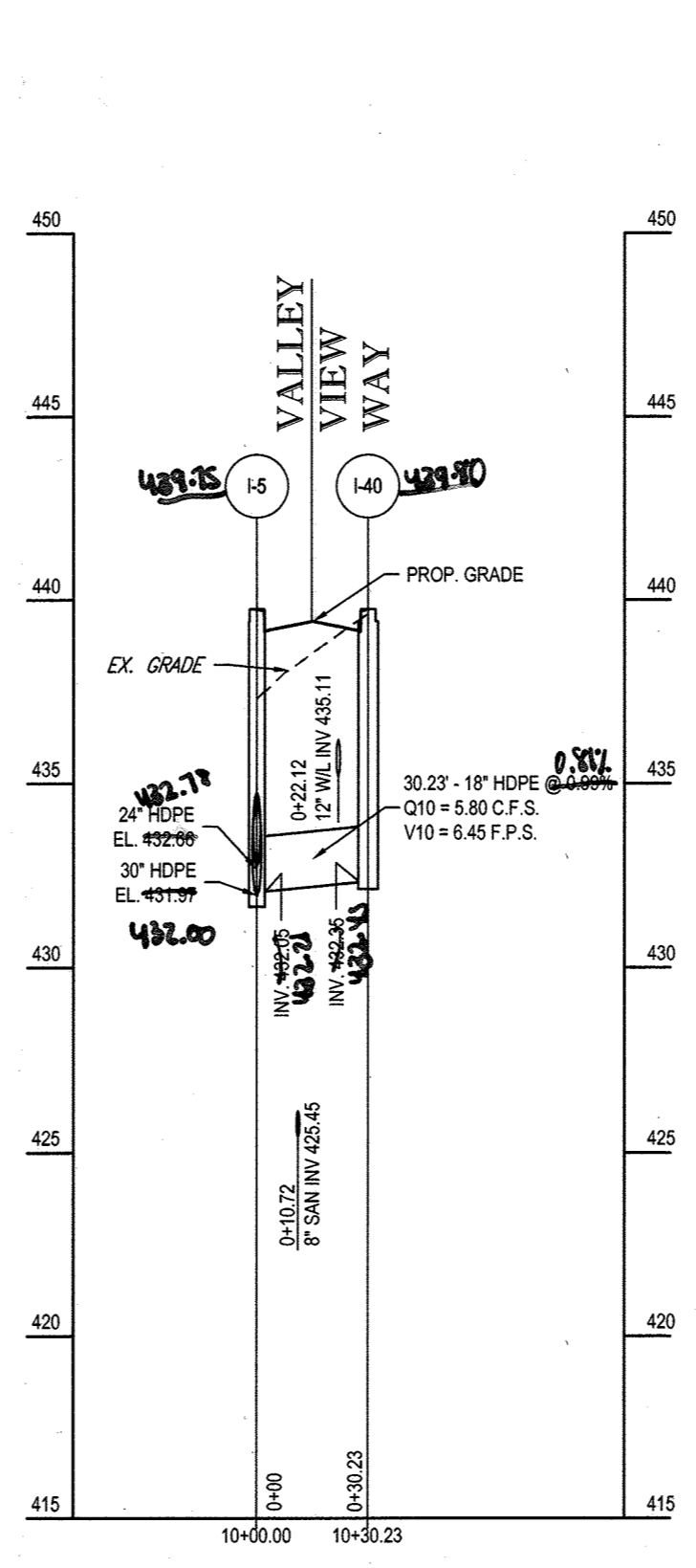
SHEET NUMBER:  
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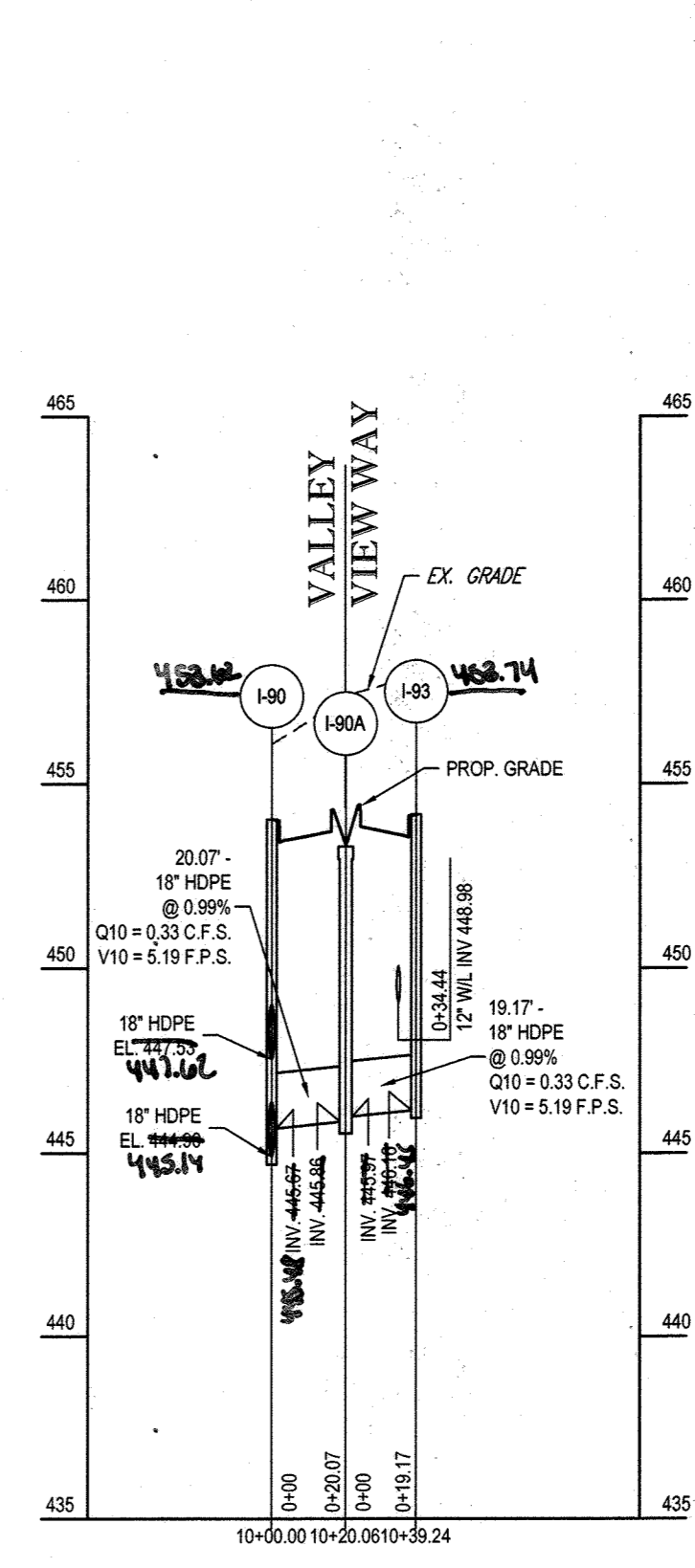
PROPOSED STORM PROFILE - STM M-6 TO STM I-38  
 SCALE: 1"=50' HORIZONTAL  
 1"=5' VERTICAL



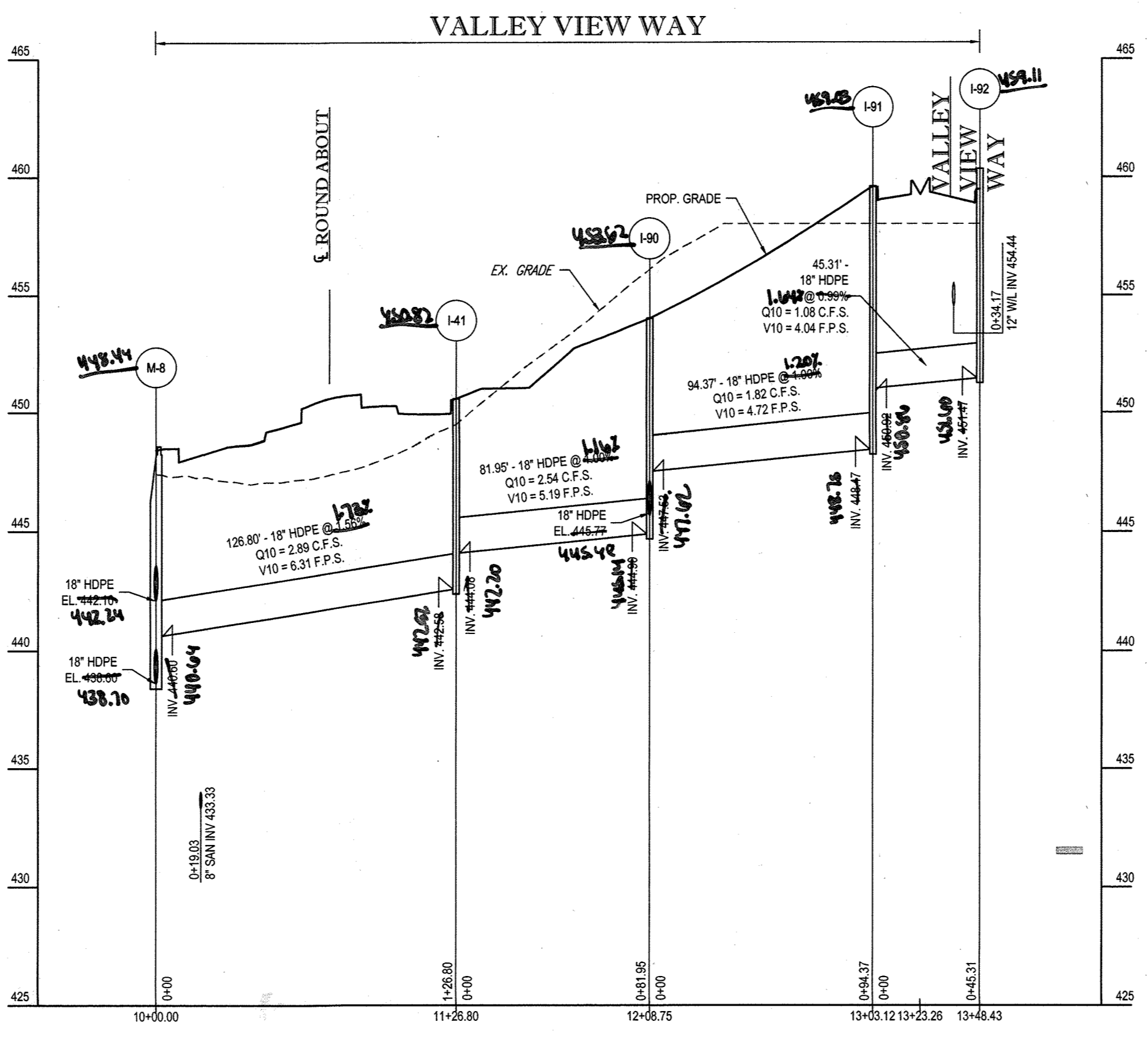
PROPOSED STORM PROFILE - STM I-4 TO STM I-39  
 SCALE: 1"=50' HORIZONTAL  
 1"=5' VERTICAL



PROPOSED STORM PROFILE - STM I-5 TO STM I-40  
 SCALE: 1"=50' HORIZONTAL  
 1"=5' VERTICAL



PROPOSED STORM PROFILE - STM I-90 TO STM I-93  
 SCALE: 1"=50' HORIZONTAL  
 1"=5' VERTICAL



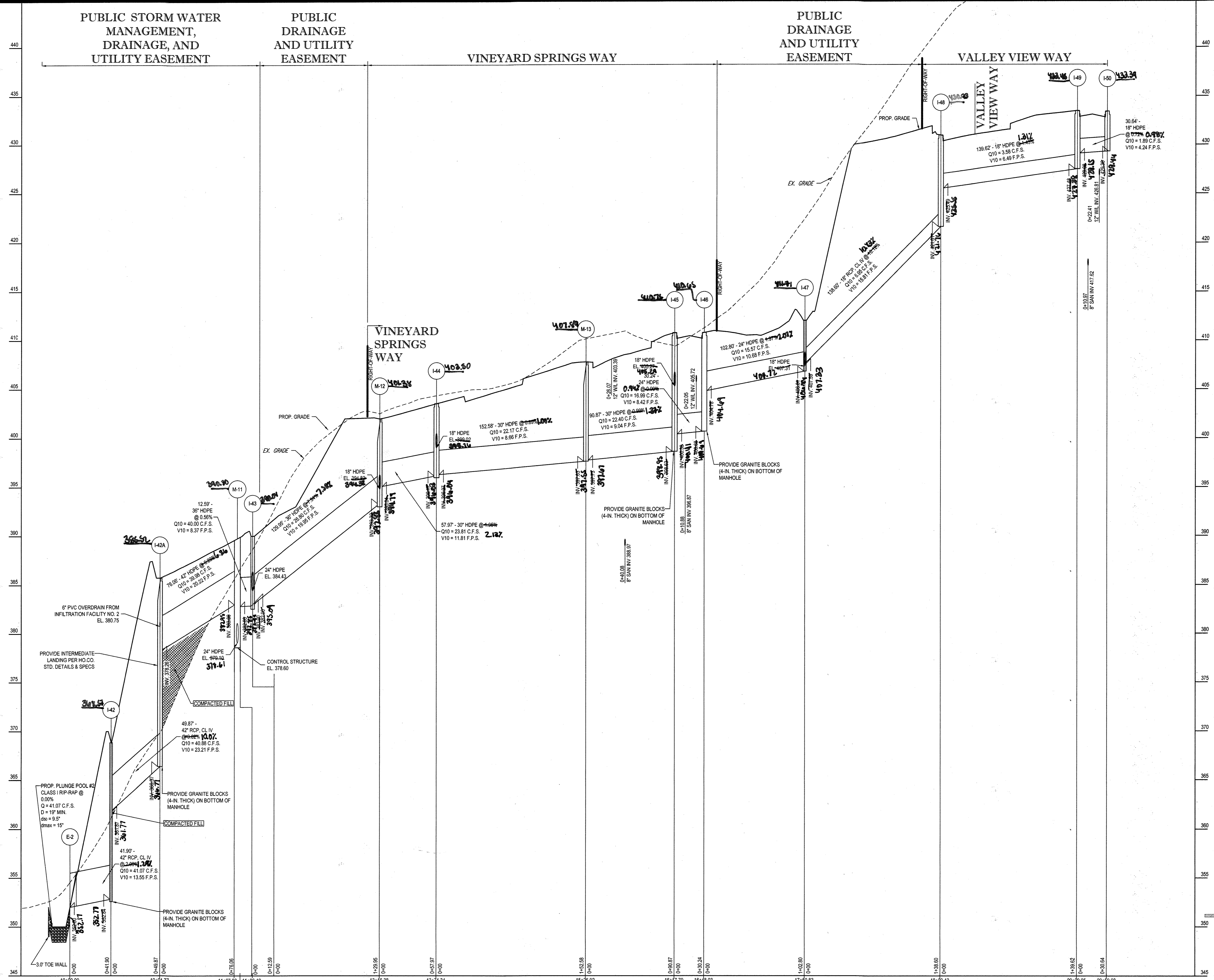
PROPOSED STORM PROFILE - STM M-8 TO STM I-92  
 SCALE: 1"=50' HORIZONTAL  
 1"=5' VERTICAL

APPROVED DEPARTMENT OF PUBLIC WORKS  
 CHIEF, BUREAU OF HIGHWAYS DATE 1/16/2015

APPROVED DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE 7-9-15

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 6-15-15

GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A DISCREPANCY BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL LOCAL, STATE AND FEDERAL REGULATIONS AND CODES.



PROPOSED STORM PROFILE - STM E-2 TO STM I-50  
SCALE: 1" = 50' HORIZONTAL  
1" = 5' VERTICAL

APPROVED DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 1/8/2015  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 2-9-15  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

APPROVED  
*[Signature]* 6-15-15  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

GENERAL NOTE:  
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OWNER: PM PATAPSCO LLC  
 12116 ARBIE ROAD  
 SILVER SPRING, MD 20904  
 CONTACT: MR. SIMON ROSENBERG  
 PHONE: (301) 822-0645

DEVELOPER:  
 NAI THE MICHAEL COMPANIES  
 10100 BUSINESS PARKWAY, LANHAM, MD 20706  
 CONTACT: BRIAN GOLDSTEIN  
 PHONE: (301) 918-2955

PERMIT INFORMATION CHART				
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: N/A	LOT/PARCEL NO.: N/A		
PLAT # OR L.F.: 1516/485 & 1516/487	GRID # S, E, N, W: 11, 12	ZONING: R-20 & RED	TAX MAP NO.: 17	ELECT. DISTR.: 2ND
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403	PROFESSIONAL CERTIFICATION I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808, EXPIRATION DATE: 7/31/2015			

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
 WARREN, NJ

OFFICES:  
 BOWNE, MD  
 STURBRIDGE, MA  
 WASHINGTON, VA  
 CHALMERS, PA  
 TAMPA, FL

CIVIL & CONSULTING ENGINEERS  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
3	11/20/12	AS BUILT	BLK

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL: 811  
 (MD) 1-800-245-4548 (PA) 1-800-343-1776 (DC) 1-800-251-7777 (VA) 1-800-552-7001 (MD) 1-800-251-7777 (DE) 1-800-282-8555

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD132008  
 DRAWN BY: RLB  
 CHECKED BY: BHR  
 DATE: 12/11/14  
 SCALE: AS SHOWN  
 CAD I.D.: PDI

FINAL ROAD CONSTRUCTION PLANS  
 FOR  
**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 196-202  
 OPEN SPACE LOTS 196 - 202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**

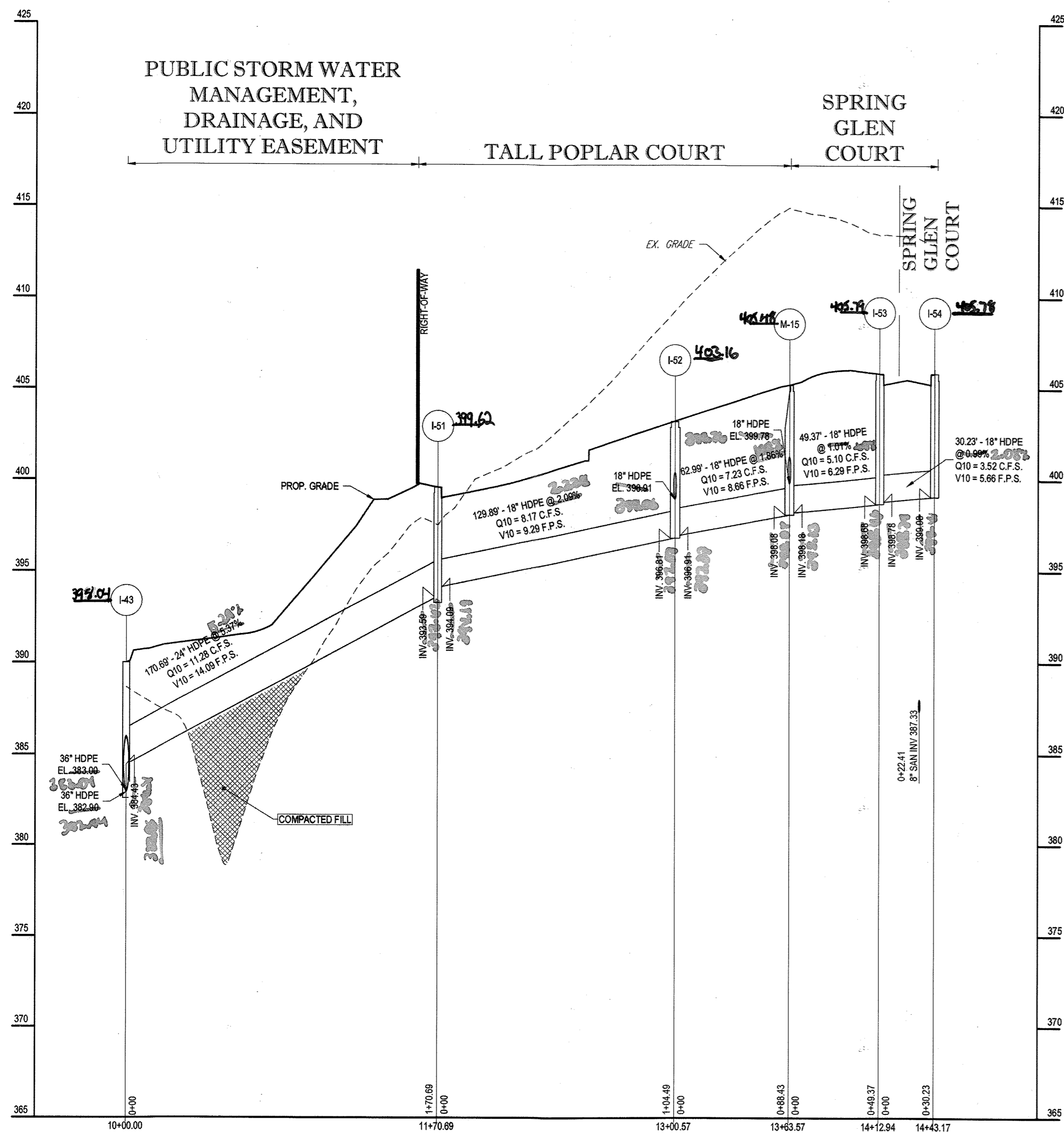
901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**B. R. ROWE**

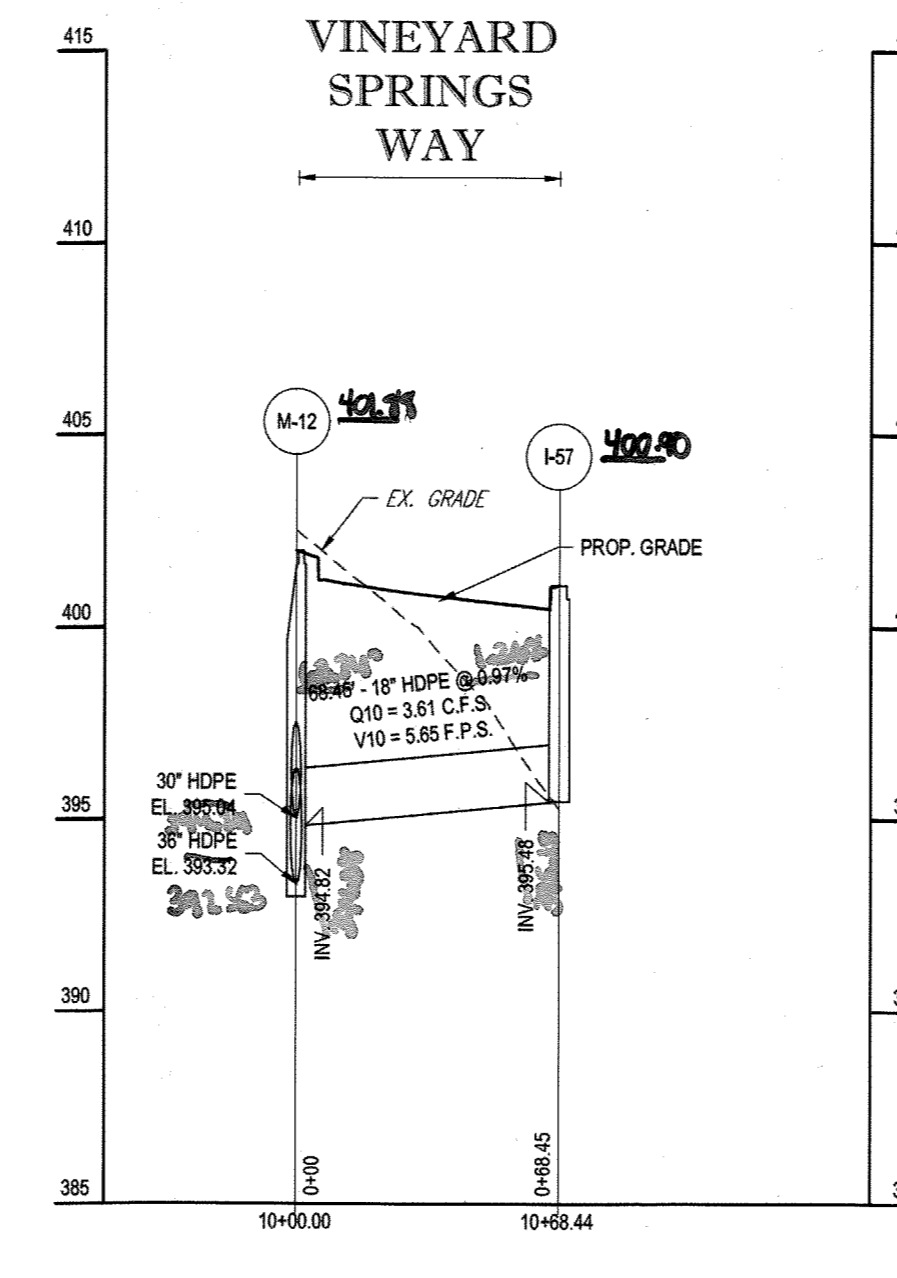
PROFESSIONAL ENGINEER  
 STATE OF MARYLAND  
 LICENSE NO. 40808  
 EXPIRATION DATE: 7/31/2015

SHEET TITLE:  
**STORM DRAIN PROFILES**

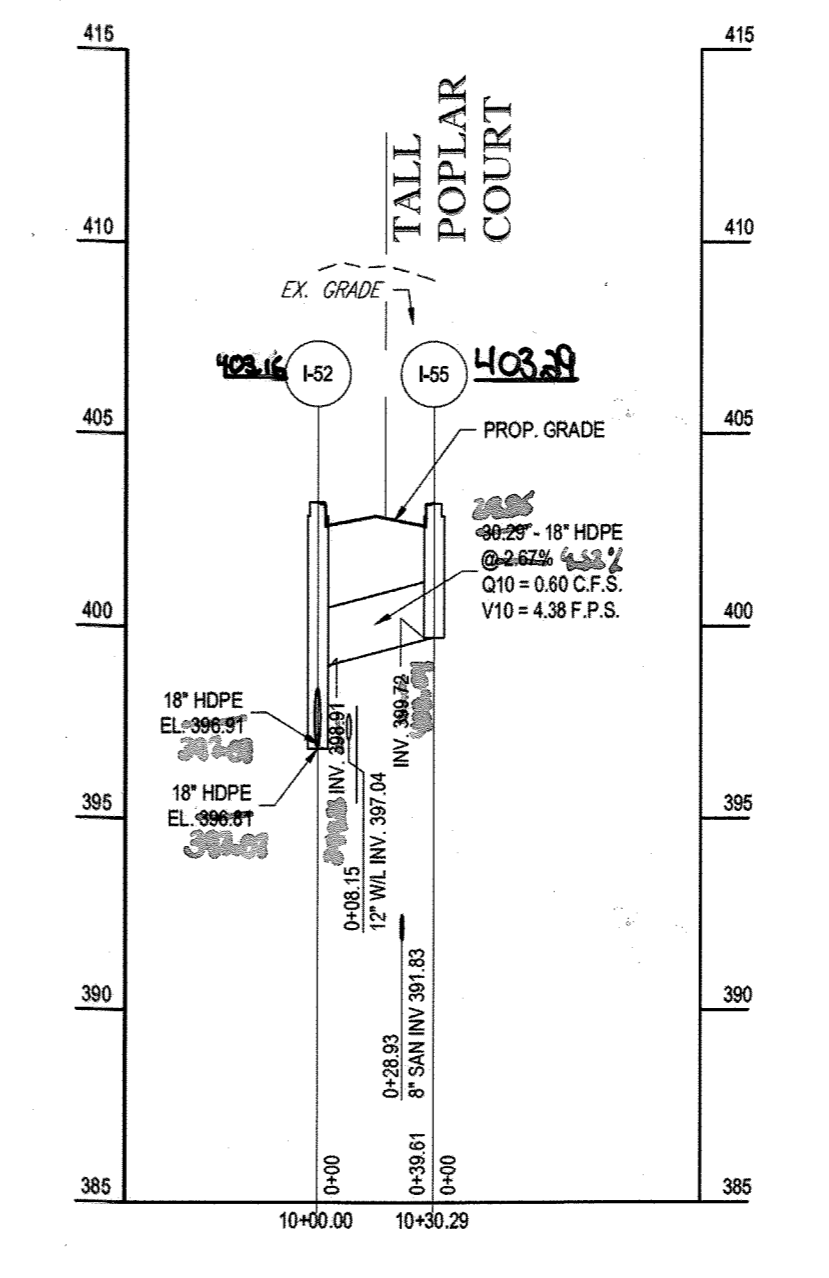
SHEET NUMBER:  
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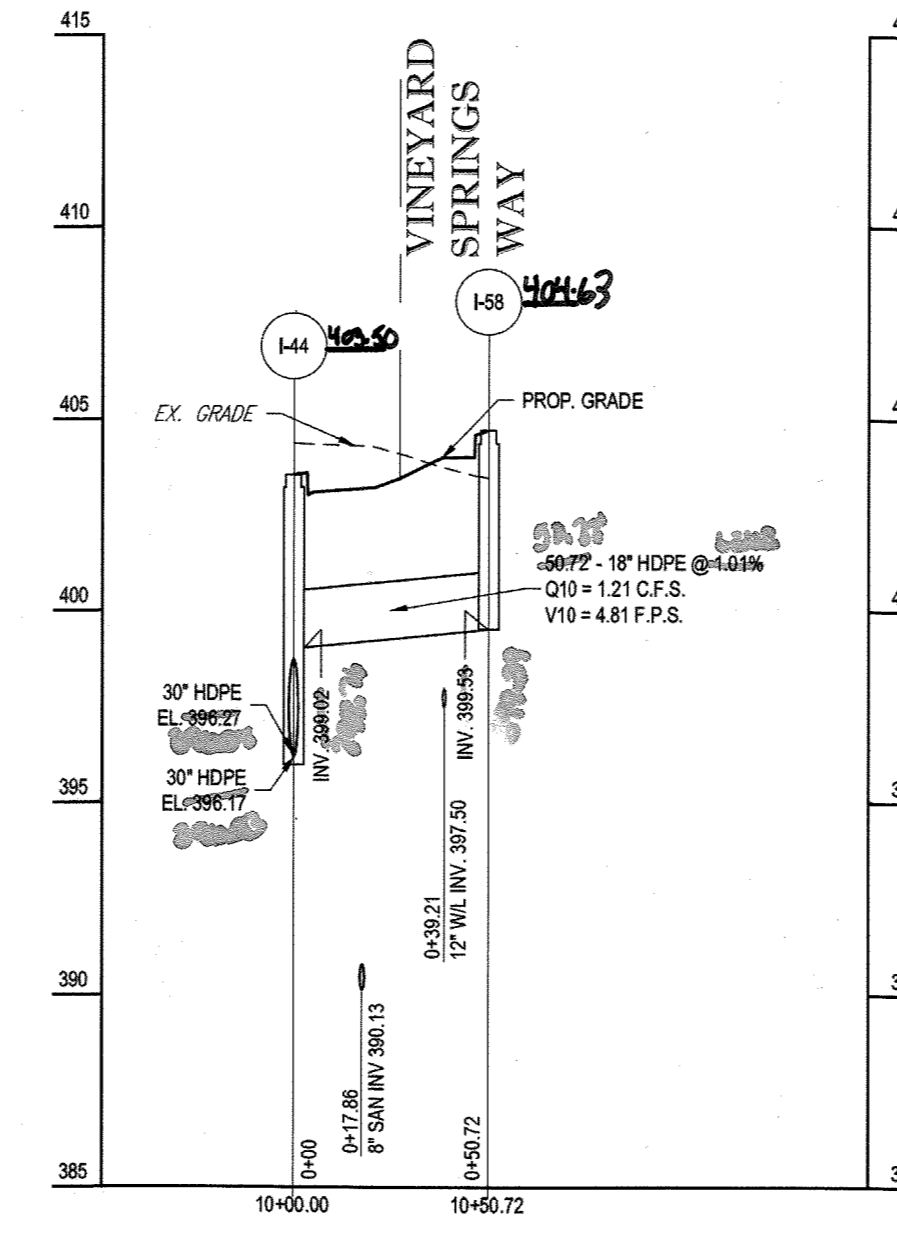
PROPOSED STORM PROFILE - STM I-43 TO STM I-54  
SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



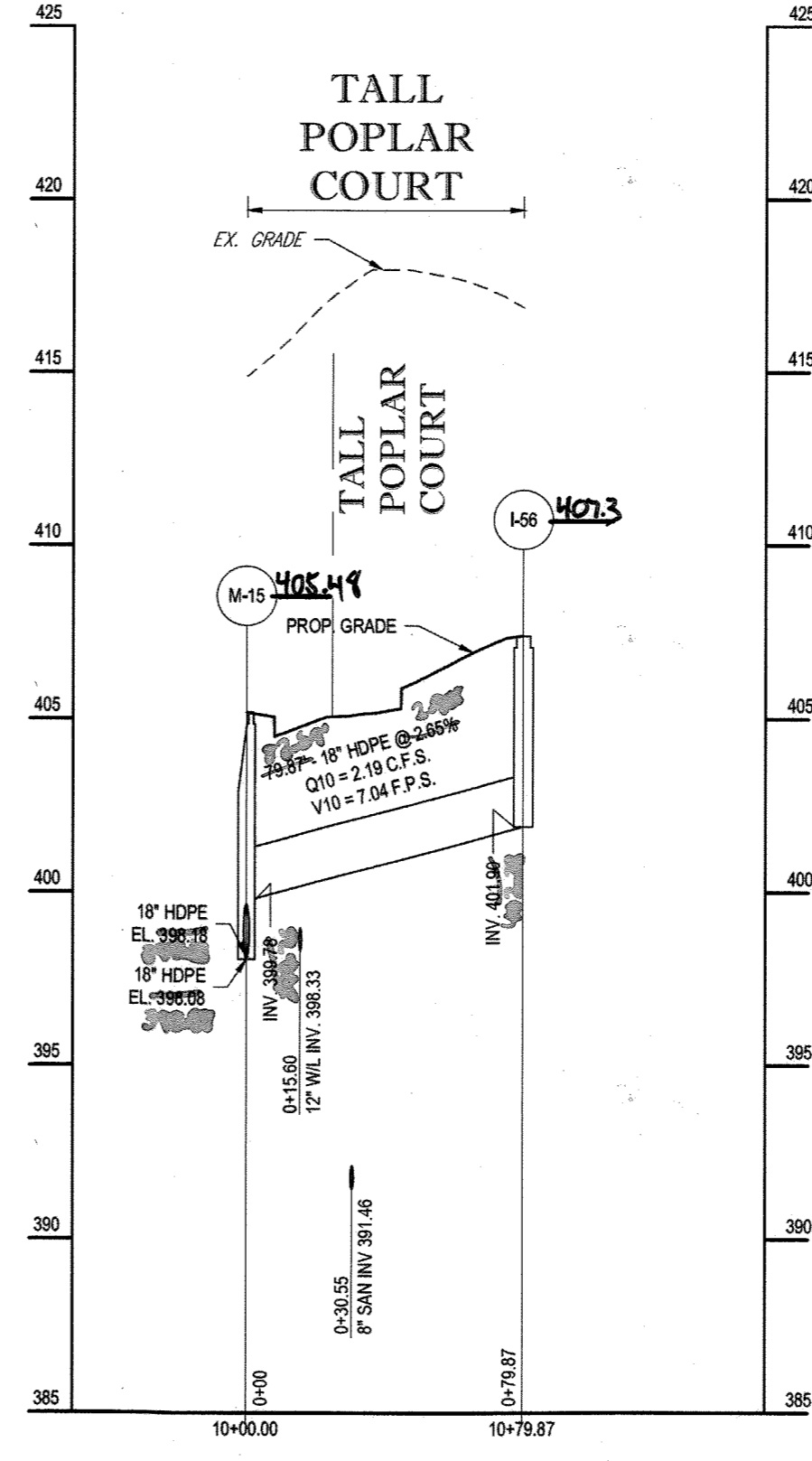
PROPOSED STORM PROFILE - STM M-12 TO STM I-57  
SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



PROPOSED STORM PROFILE - STM I-52 TO STM I-55  
SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



PROPOSED STORM PROFILE - STM I-44 TO STM I-58  
SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



PROPOSED STORM PROFILE - STM M-15 TO STM I-56  
SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] DATE 11/9/2015  
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] DATE 12-17-15  
 CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED: [Signature] DATE 11-17-15  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

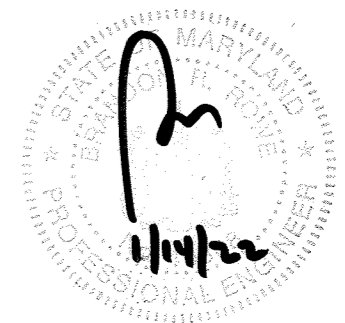
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHOULD BE STOPPED IMMEDIATELY IF THE CONTRACTOR FINDS A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.

PERMIT INFORMATION CHART					
SUBDIVISION NAME	ESTATES AT PATAPSCO PARK	SECTION/AREA	LOT/PHASE NO.	SECTION/AREA	LOT/PHASE NO.
PLAT # OR L.P.	28421 TO 28438	GRID #	5, 6, 11, 12	TAX MAP NO.	17
PREVIOUS FILE NO.	SP-13-012	ESR	13-029	WP	13-165
		PB CASE NO.	403		

OWNER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

DEVELOPER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509



For Rev. 30-1

**BOHLER ENGINEERING**

CORPORATE OFFICE: WILMINGTON, NJ

CIVIL & CONSULTING ENGINEERS

SURVEYORS

PROJECT MANAGERS

ENVIRONMENTAL CONSULTANTS

LANDSCAPE ARCHITECTS

BOHLER ENGINEERING, INC. IS AN EQUAL OPPORTUNITY EMPLOYER. MINORITIES AND WOMEN ARE ENCOURAGED TO APPLY.

REVISIONS			
REV	DATE	COMMENT	BY
1	10/21/15	RESUBDIVISION OF LOTS	RLB
3	11/30/15	As built	BAR

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL - 811 (WV 1-800-246-4848) (PA 1-800-262-1778) (DC 1-800-257-7777) (VA 1-800-552-7001) (MD 1-800-257-7777) (DE 1-800-282-8559)

APPROVED FOR CONSTRUCTION

PROJECT No.: MD152013  
 DRAWN BY: RLB  
 CHECKED BY: BRB  
 DATE: 12/31/15  
 SCALE: AS SHOWN  
 CAD I.D.: PD4

REVISED FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202 LOCATION OF SITE MD ROUTE 99 ROGERS AVENUE HOWARD COUNTY

**BOHLER ENGINEERING**

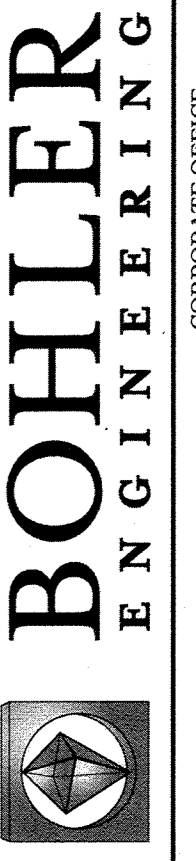
901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**B.R. ROWE**

PROFESSIONAL ENGINEER  
 LICENSE NO. 49808  
 STATE OF MARYLAND

SHEET TITLE: STORM DRAIN PROFILES

SHEET NUMBER: 62



**BOHLER ENGINEERING**

CORPORATE OFFICE:  
 WARREN, NJ

CIVIL & CONSULTING ENGINEERS

SURVEYORS

PROJECT MANAGERS

ENVIRONMENTAL CONSULTANTS

LANDSCAPE ARCHITECTS

FOR OFFICE USE ONLY

- BOWIE, MD
- TOWSON, MD
- WASHINGTON, VA
- CHARLOTTE, NC
- TAMPA, FL
- JACKSONVILLE, FL
- MIAMI, FL
- MIAMI BEACH, FL
- MIAMI GARDENS, FL
- MIAMI LAKES, FL
- MIAMI SPRING, FL
- MIAMI WOODS, FL
- MIAMI BEACH, FL
- MIAMI GARDENS, FL
- MIAMI LAKES, FL
- MIAMI SPRING, FL
- MIAMI WOODS, FL
- MIAMI BEACH, FL
- MIAMI GARDENS, FL
- MIAMI LAKES, FL
- MIAMI SPRING, FL
- MIAMI WOODS, FL

**REVISIONS**

REV	DATE	COMMENT	BY
3	11/30/15	As Built	BAA



THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE CALL - 811 (WV 1-800-245-4444) (PA 1-800-245-1777) (DC 1-800-257-7777) (VA 1-800-552-7001) (MD 1-800-257-7777) (DE 1-800-292-8558)

**APPROVED FOR CONSTRUCTION**

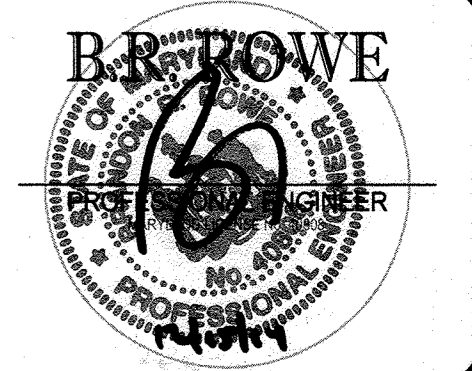
PROJECT No. MD132008  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 12/11/14  
 SCALE: AS SHOWN  
 CAD I.D.: PD1

**FINAL ROAD CONSTRUCTION PLANS**

FOR  
**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 196-202  
 OPEN SPACE LOTS 196 - 202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY



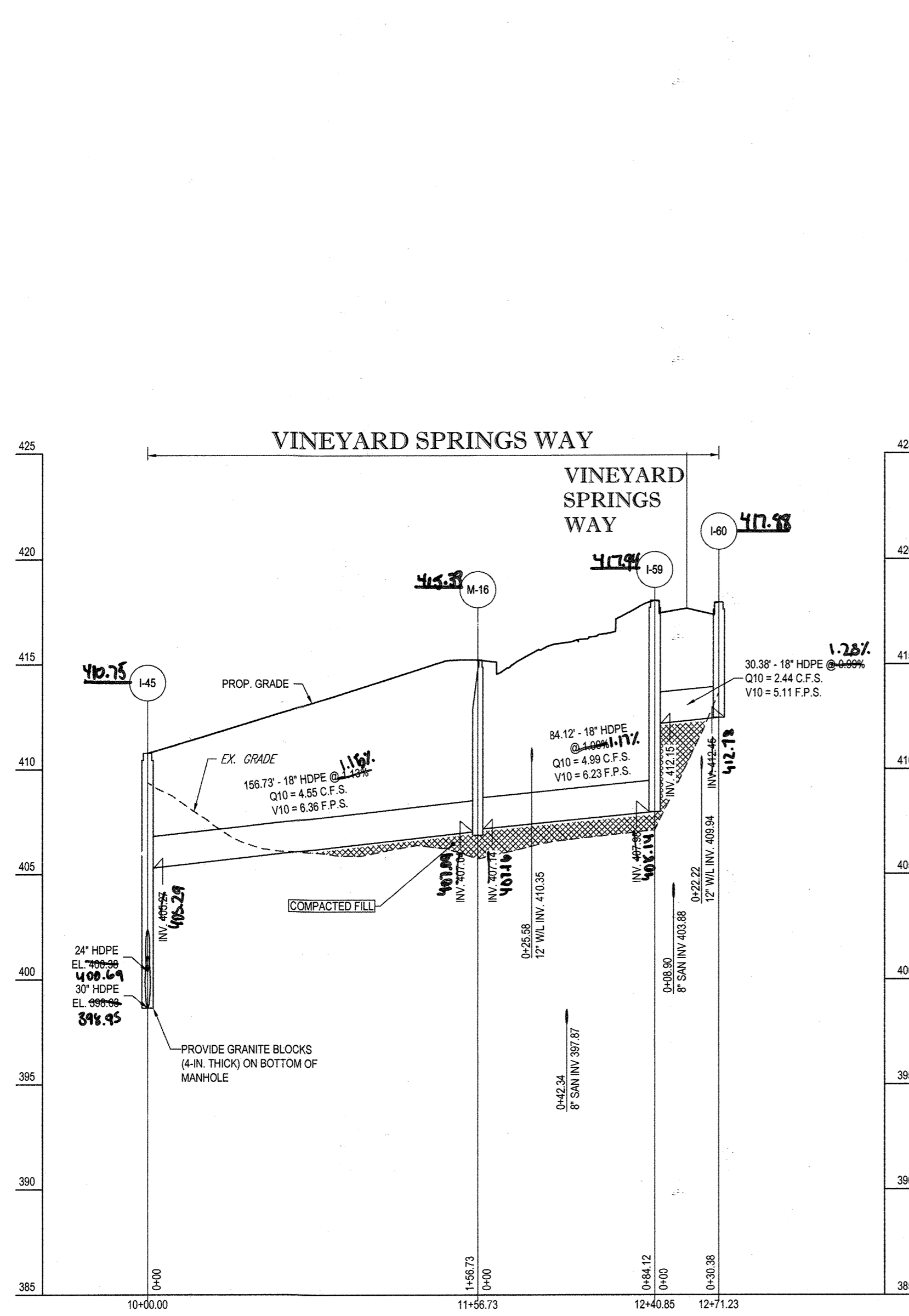
901 DULANEY VALLEY ROAD,  
 SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)



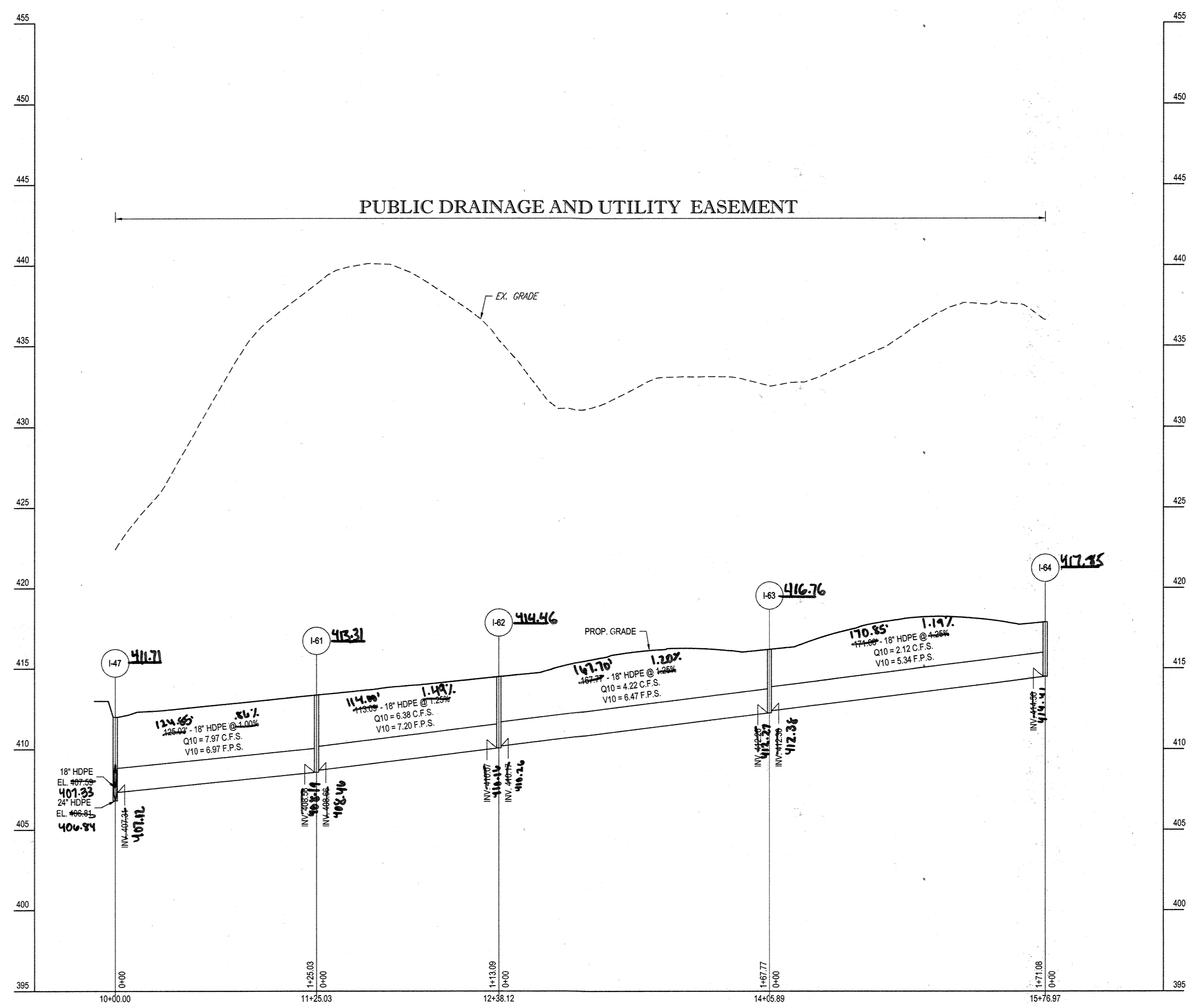
**STORM DRAIN PROFILES**

SHEET TITLE:  
**STORM DRAIN PROFILES**

SHEET NUMBER:  
**63**



**PROPOSED STORM PROFILE - STM I-45 TO STM I-60**  
 SCALE: 1"=50' HORIZONTAL  
 1"=5' VERTICAL



**PROPOSED STORM PROFILE - STM I-47 TO STM I-64**  
 SCALE: 1"=50' HORIZONTAL  
 1"=5' VERTICAL

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Michael* 1/8/2015  
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Kurt* 7-9-15  
 CHIEF, DIVISION OF LAND DEVELOPMENT

*Chad* 6-15-15  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

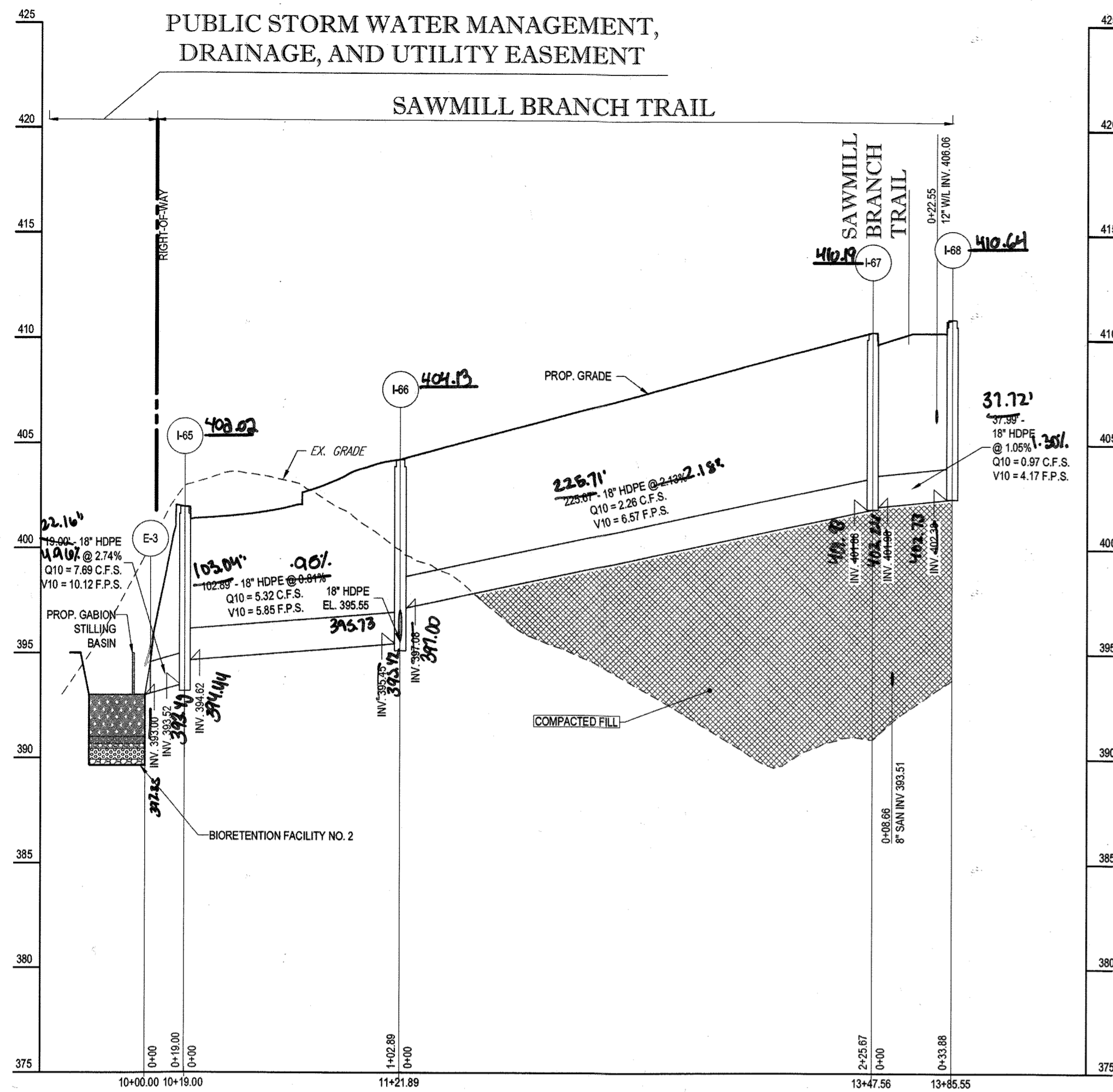
GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK. BEFORE THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER OF RECORD TO VERIFY THE ACCURACY OF THE INFORMATION SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.

PERMIT INFORMATION CHART

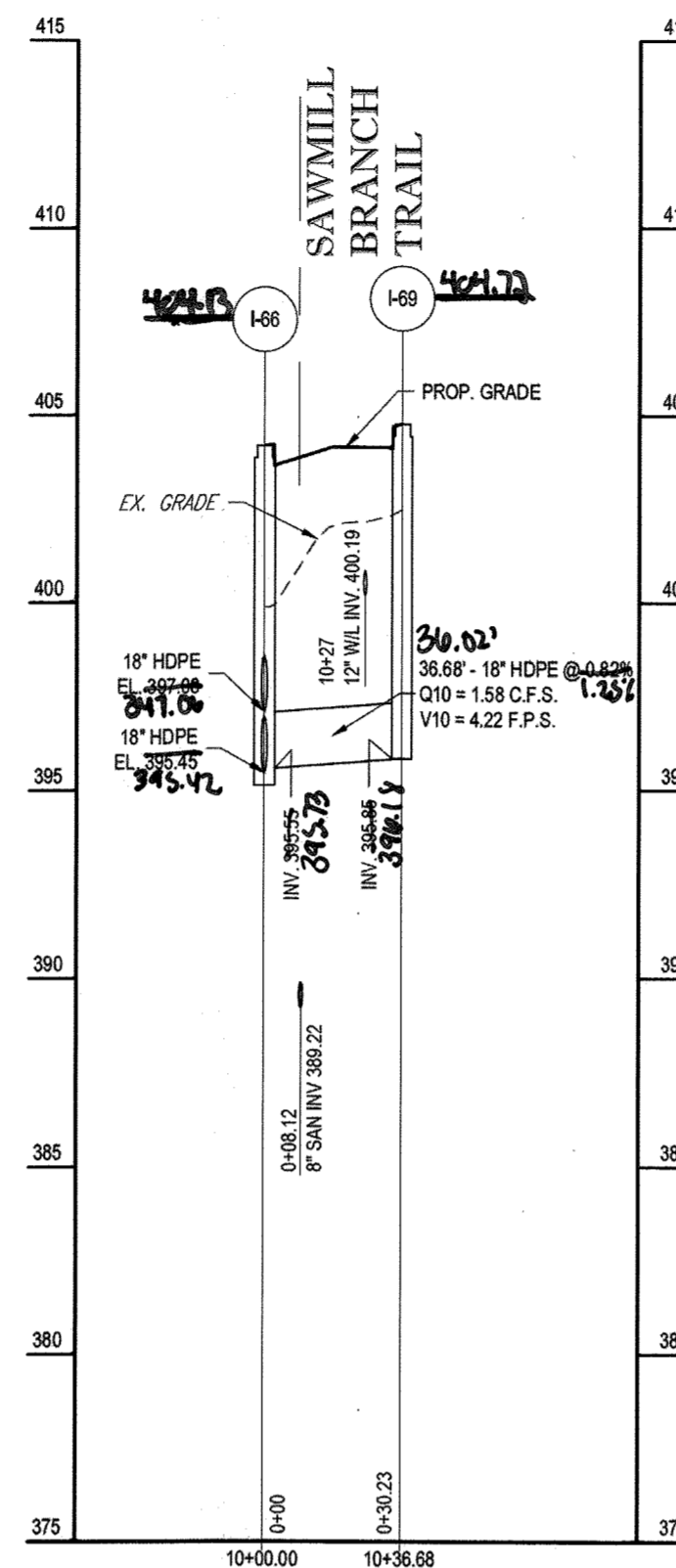
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION AREA: NA	LOT/PARCEL NO.: NA
PLAT # OR L.P.: 15148485 & 15148487	GRID # 5, 6, 11, 12	ZONING: R20 & RED
PREVIOUS FILE No.: SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403	TAX MAP NO.: 17	ELECT. DISTR. 2ND
PROFESSIONAL CERTIFICATION		CENSUS TRACT:
BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40826, EXPIRATION DATE: 7/31/2015		

OWNER:  
 PM PATAPSCO LLC  
 12116 ARBIE ROAD  
 SILVER SPRING, MD 20904  
 CONTACT: MR. SIMON ROSENBERG  
 PHONE: (301) 622-0645

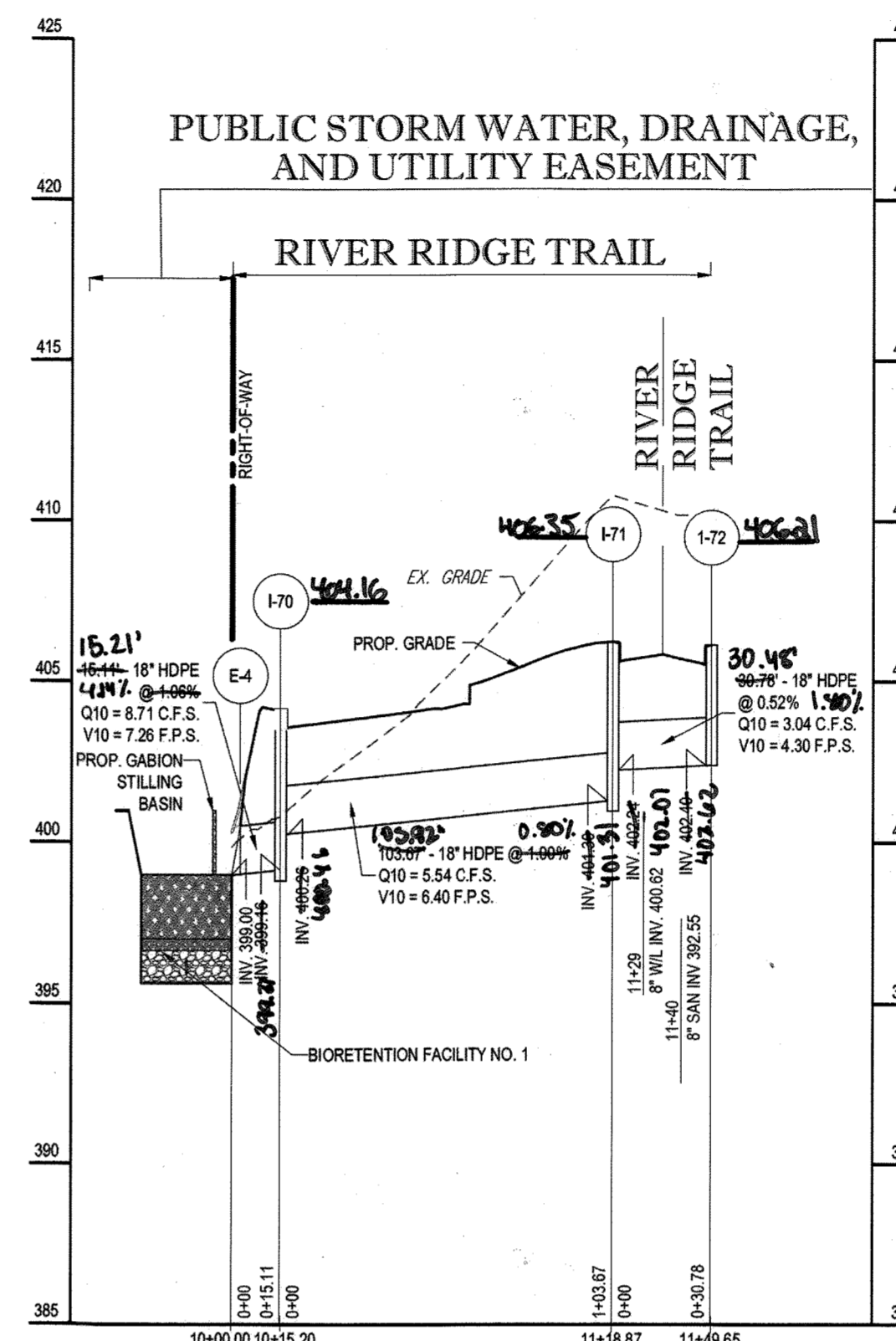
DEVELOPER:  
 NAI THE MICHAEL COMPANIES  
 10100 BUSINESS PARKWAY, LANHAM, MD 20706  
 CONTACT: BRIAN GOLDSTEIN  
 PHONE: (301) 918-2955



PROPOSED STORM PROFILE - STM E-3 TO STM I-68  
SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



PROPOSED STORM PROFILE - STM I-66 TO STM I-69  
SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



PROPOSED STORM PROFILE - STM E-4 TO STM I-72  
SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 11/9/2015  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 12-17-15  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

APPROVED: DEPARTMENT OF DEVELOPMENT ENGINEERING DIVISION  
*[Signature]* 11-17-15  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

GENERAL NOTE:  
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PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.

PERMIT INFORMATION CHART				
SUBDIVISION NAME:	SECTION/AREA:	LOT/PARCEL NO.:	TAX MAP NO.:	ELECT. DISTR. NO.:
ESTATES AT PATAPSCO PARK	NA	NA	17	2ND
PLAT # OR L.P.:	GRID #:	ZONING:	TAX MAP NO.:	ELECT. DISTR. NO.:
23421 TO 2348	5, 6, 11, 12	R-20 & RED	17	2ND
PREVIOUS FILE NO.:	SECTION/AREA:	LOT/PARCEL NO.:	TAX MAP NO.:	ELECT. DISTR. NO.:
SP-13-012 ECP-13-029 WP-13-165 FB CASE NO. 403	NA	NA	17	2ND

OWNER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

DEVELOPER: ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

*[Signature]*  
 11/16/15  
 For Note 3 only

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
 WARREN, NJ

CIVIL & CONSULTING ENGINEERS

SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

ALABAMA, ARIZONA, ARKANSAS, CALIFORNIA, CONNECTICUT, DELAWARE, FLORIDA, GEORGIA, ILLINOIS, INDIANA, IOWA, KANSAS, KENTUCKY, LOUISIANA, MARYLAND, MASSACHUSETTS, MICHIGAN, MINNESOTA, MISSISSIPPI, MISSOURI, MONTANA, NEBRASKA, NEVADA, NEW HAMPSHIRE, NEW JERSEY, NEW YORK, NORTH CAROLINA, NORTH DAKOTA, OHIO, OKLAHOMA, OREGON, PENNSYLVANIA, RHODE ISLAND, SOUTH CAROLINA, SOUTH DAKOTA, TENNESSEE, TEXAS, UTAH, VERMONT, VIRGINIA, WASHINGTON, WISCONSIN, WYOMING

REVISIONS				
REV.	DATE	COMMENT	REV. PER	BY
1	10/21/15	RESUBDIVISION OF LOTS	RLB	
3	11/30/15	AS BUILT	RLB	BAR



APPROVED FOR CONSTRUCTION

PROJECT No.: MD152013  
 DRAWN BY: BRR  
 CHECKED BY:  
 DATE: 12/31/15  
 SCALE: AS SHOWN  
 CAD I.D.: PD4

REVISED FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202 LOCATION OF SITE MD ROUTE 99 ROGERS AVENUE HOWARD COUNTY

**BOHLER ENGINEERING**

901 DULANEY VALLEY ROAD, SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

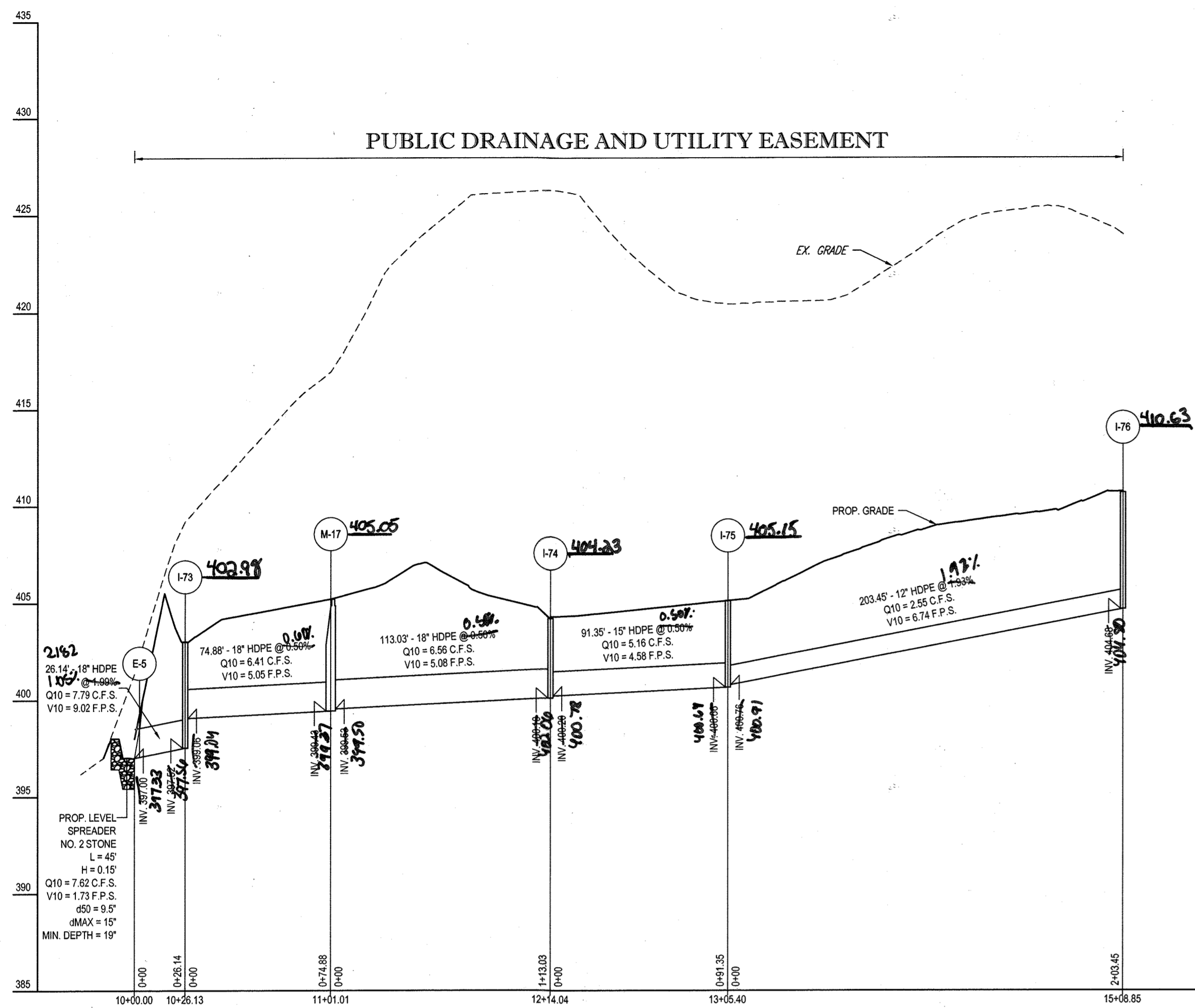
**B.R. ROWE**

BRANDON R. ROWE  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 40808  
 EXPIRES 7/31/17

SHEET TITLE: STORM DRAIN PROFILES

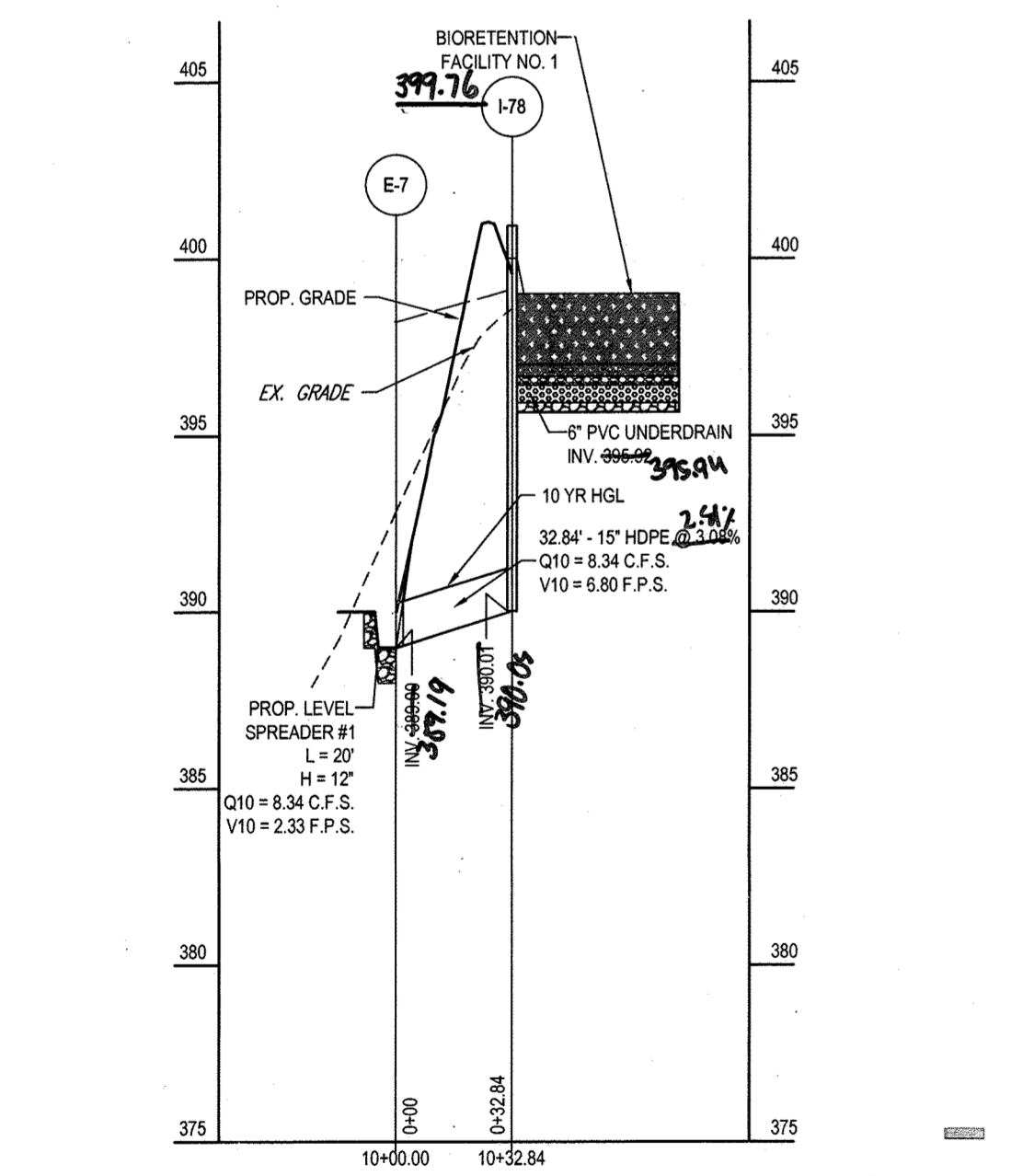
SHEET NUMBER: 64





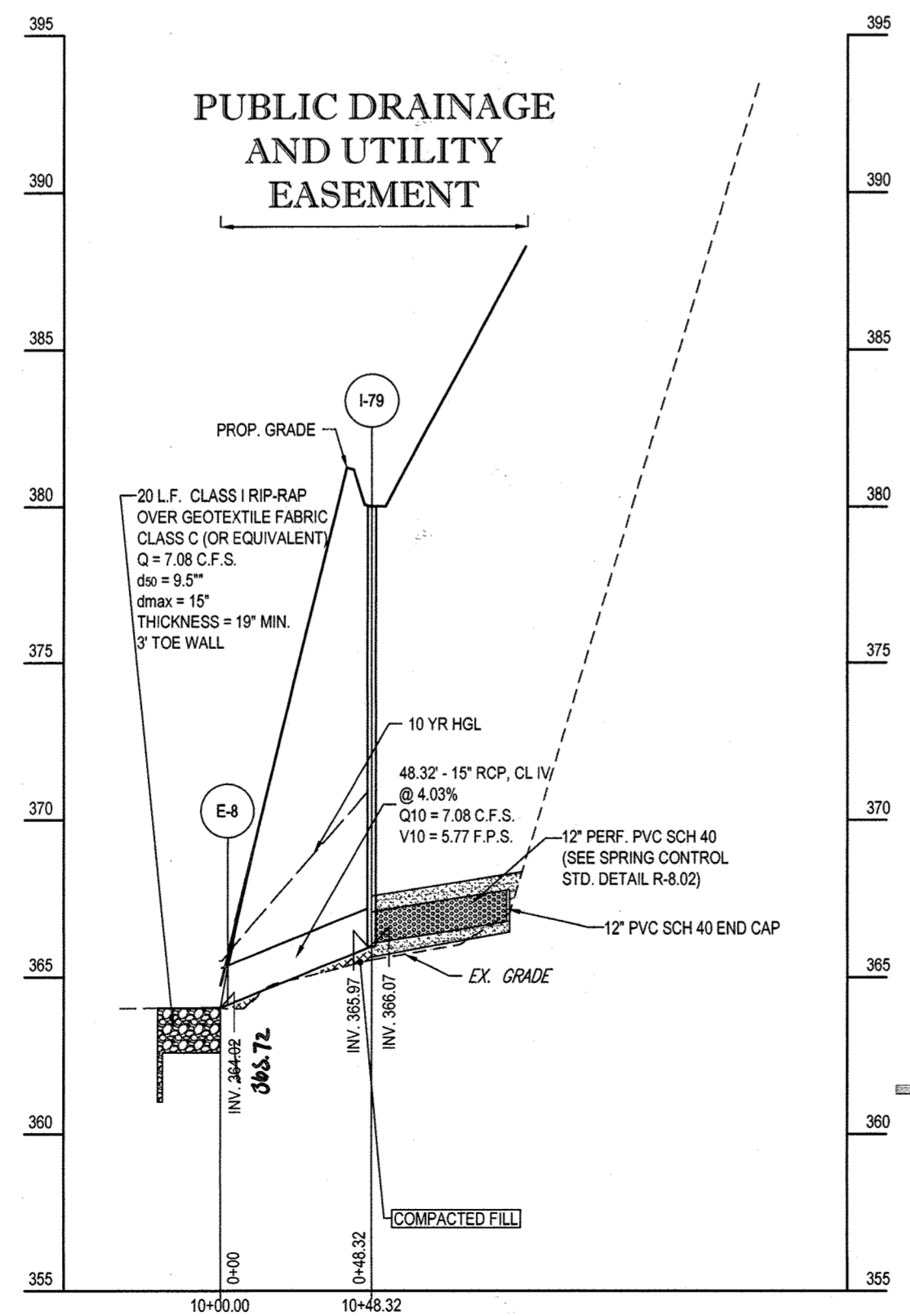
PROPOSED STORM PROFILE - STM E-5 TO STM I-76

SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



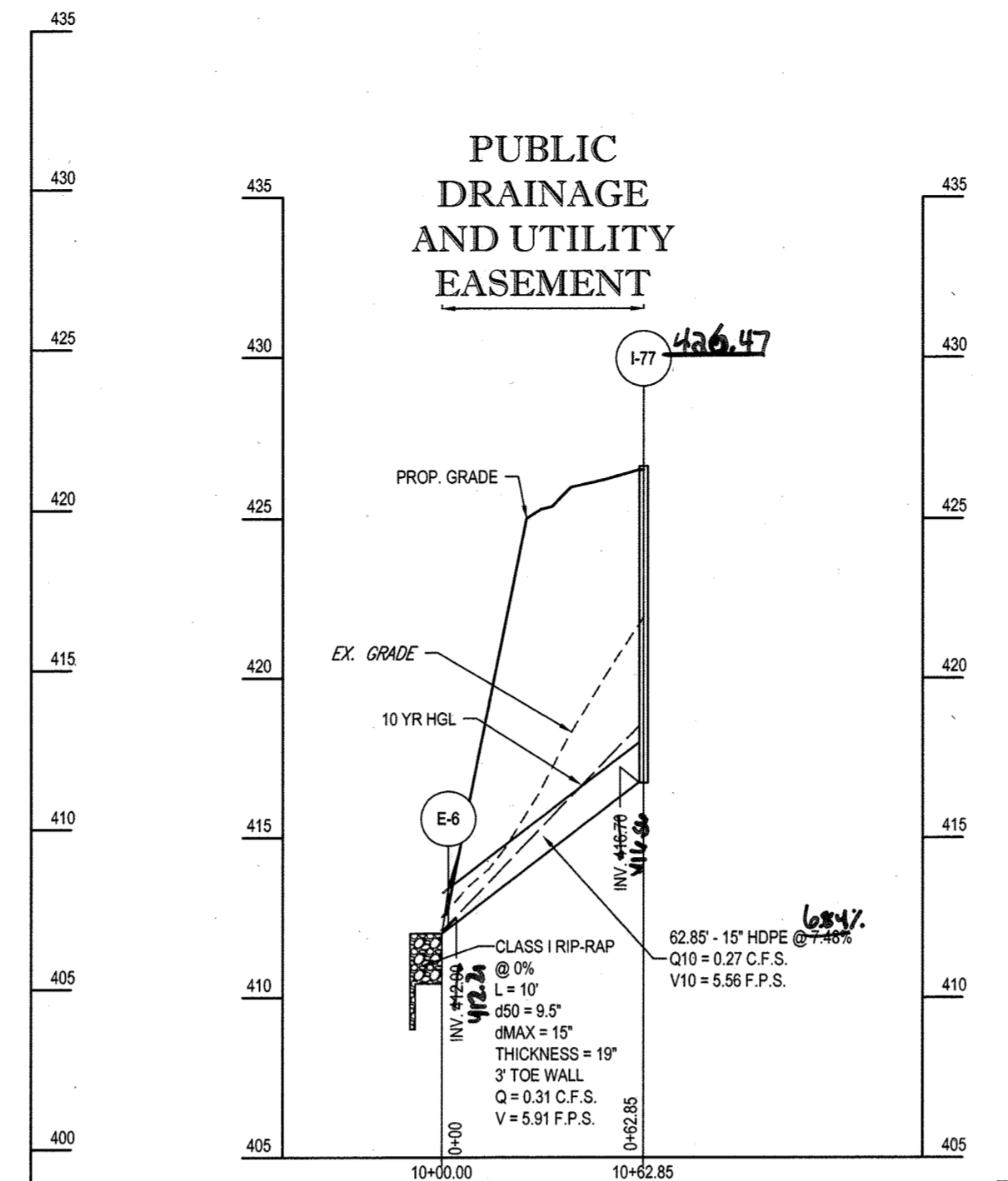
PROPOSED STORM PROFILE - STM E-7 TO STM I-78

SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



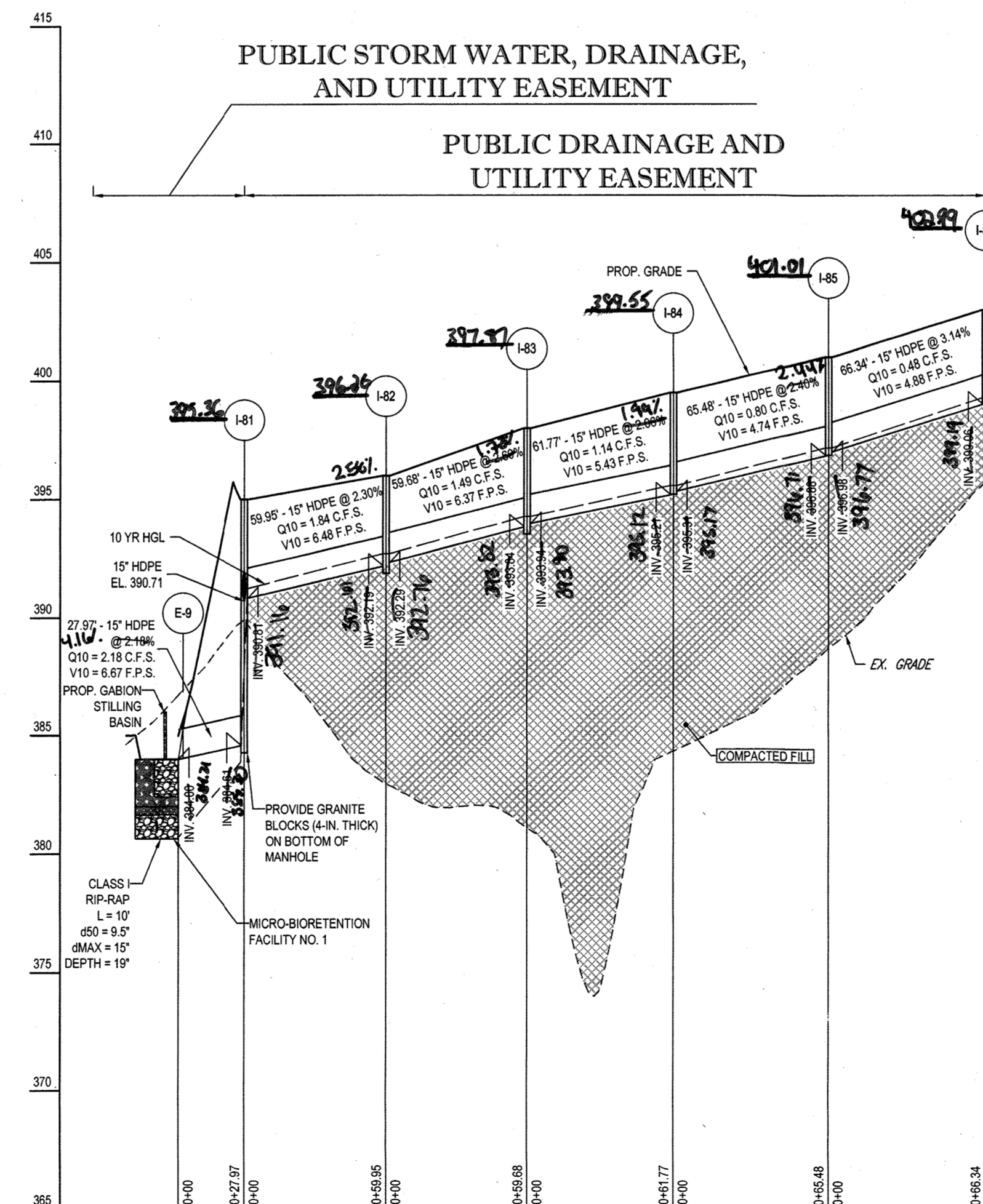
PROPOSED STORM PROFILE - STM E-8 TO STM I-79

SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



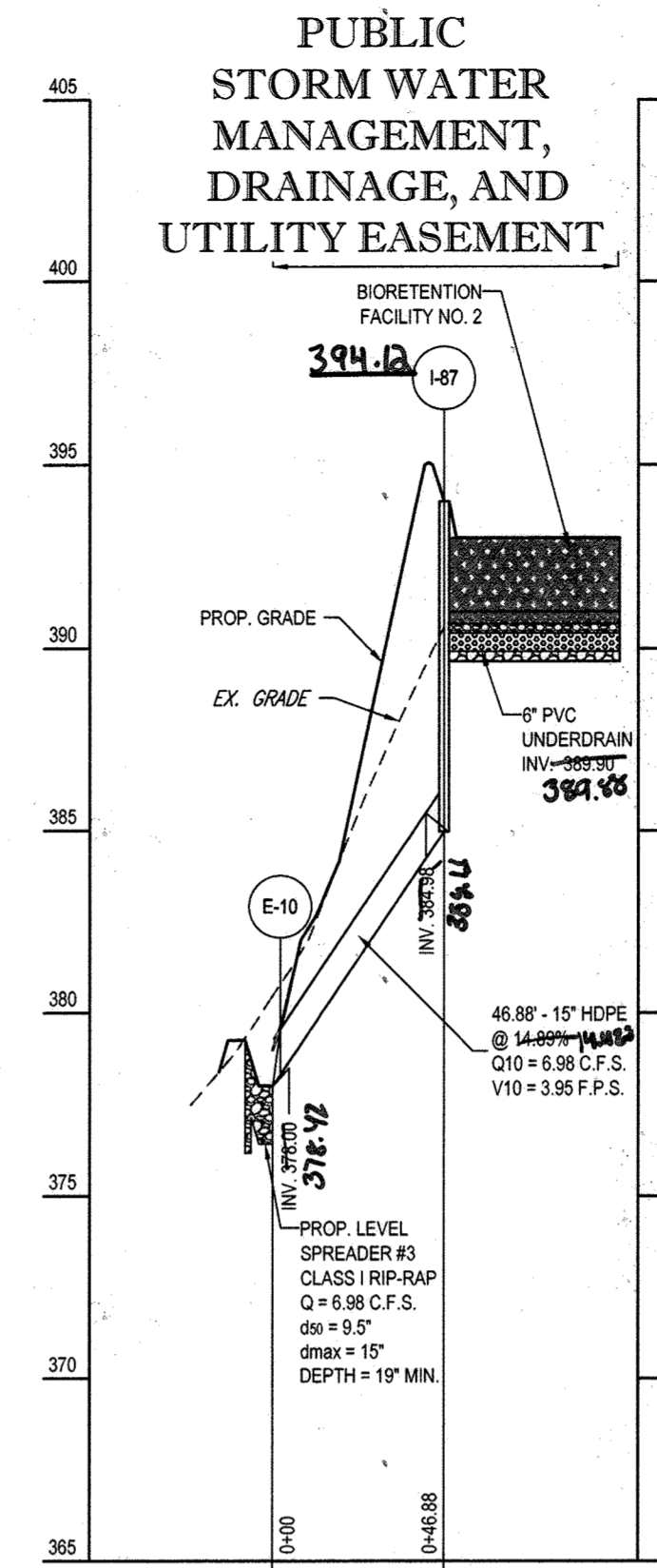
PROPOSED STORM PROFILE - STM E-6 TO STM I-77

SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



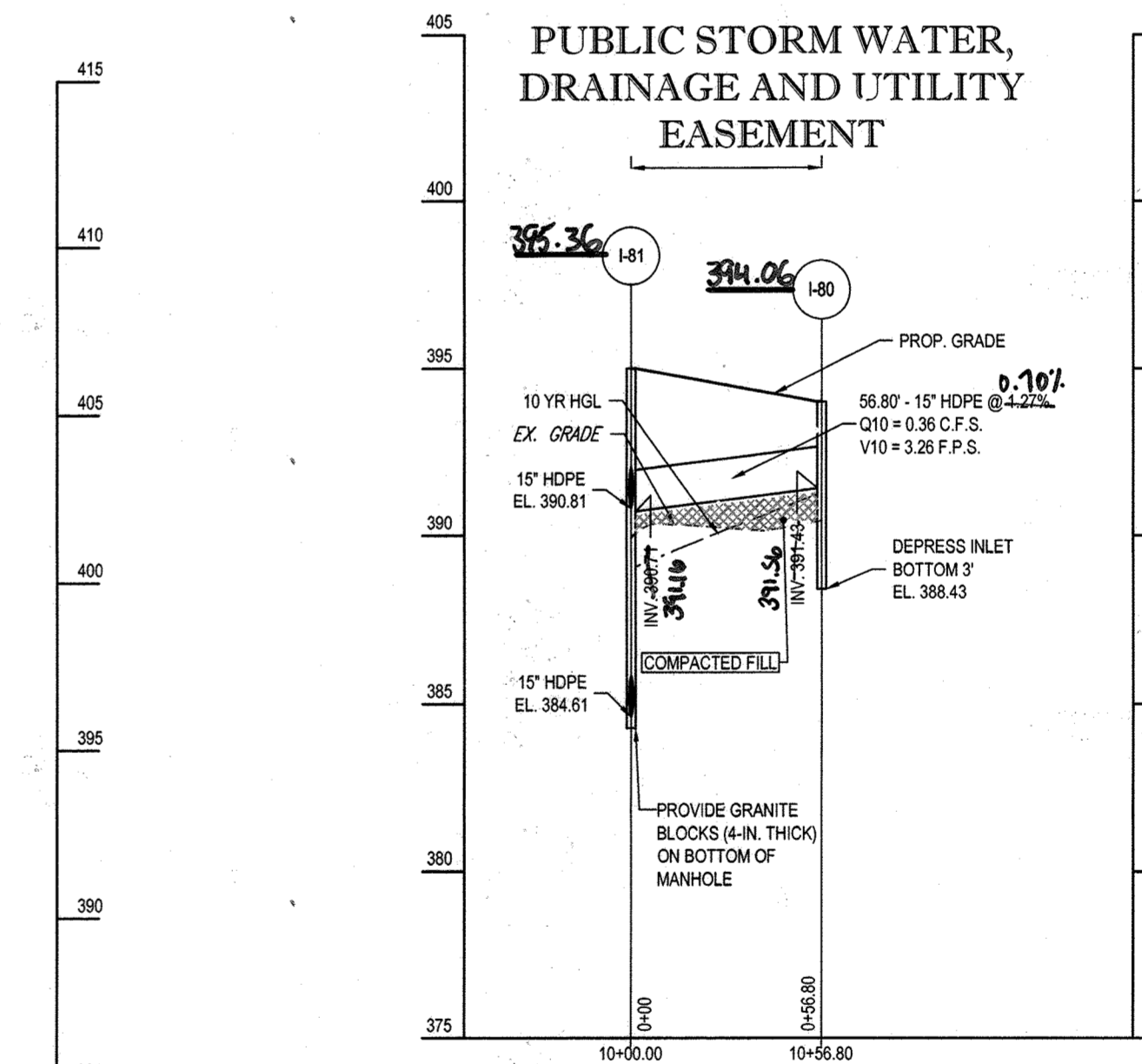
PROPOSED STORM PROFILE - STM E-9 TO STM I-86

SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



PROPOSED STORM PROFILE - STM E-10 TO STM I-87

SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL



PROPOSED STORM PROFILE - STM I-81 TO STM I-80

SCALE: 1"=50' HORIZONTAL  
1"=5' VERTICAL

APPROVED DEPARTMENT OF PUBLIC WORKS  
 CHIEF, BUREAU OF HIGHWAYS  
 DATE: 1/18/2015  
 APPROVED DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 7-9-15  
 APPROVED DEVELOPMENT ENGINEERING DIVISION  
 DATE: 6-15-15

GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT.  
 ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO  
 NOTIFY THE PROJECT ENGINEER OF RECORD IN  
 WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE  
 ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN  
 ACCORDANCE WITH ALL GOVERNING REGULATIONS AND CODES.

PERMIT INFORMATION CHART			
SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: N/A	LOT/PARCEL NO.: N/A	
PLAT # OR L.F.: 15149485 & 15149487	GRID # S, E, 11, 12	ZONING: R-20 & RED	TAX MAP NO.: 17
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-185 PB CASE NO.: 403	OWNER: PM PATAPSCO LLC 12116 ARBIE ROAD SILVER SPRING, MD 20904 CONTACT: MR. SIMON ROSENBERG PHONE: (301) 622-0645 DEVELOPER: NAI THE MICHAEL COMPANIES 10100 BUSINESS PARKWAY, LANHAM, MD 20706 CONTACT: BRIAN GOLDSTEIN PHONE: (301) 918-2955		
PROFESSIONAL CERTIFICATION I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808, EXPIRATION DATE: 1/31/2015			

**BOHLER ENGINEERING**

CORPORATE OFFICE:  
 WARREN, NJ

OFFICES:  
 SOUTH BRIDGE, MA  
 BOWNE, MD  
 STERLING, VA  
 WASHINGTON, VA  
 ROCKVILLE, MD  
 GAITHERSBURG, MD  
 TAMPA, FL  
 PHILADELPHIA, PA

CIVIL & CONSULTING ENGINEERS  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

REVISIONS			
REV	DATE	COMMENT	BY
3	11/30/14	As built	BAR



APPROVED FOR CONSTRUCTION

PROJECT NO.: MD132008  
 DRAWN BY: RLB  
 CHECKED BY: BSR  
 DATE: 12/11/14  
 SCALE: AS SHOWN  
 CAD I.D.: PDI

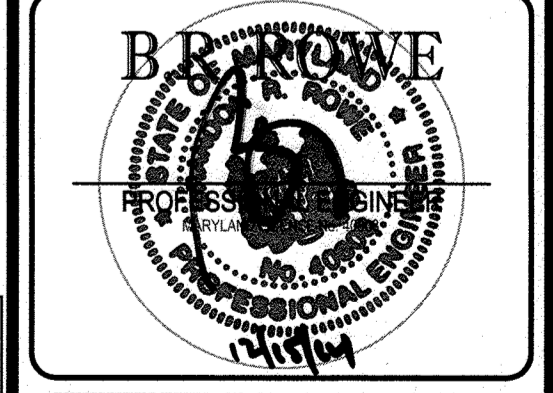
FINAL ROAD CONSTRUCTION PLANS

FOR

ESTATES AT PATAPSCO PARK  
 BUILDABLE LOTS 183-197 AND  
 OPEN SPACE LOTS 198 - 202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

**BOHLER ENGINEERING**

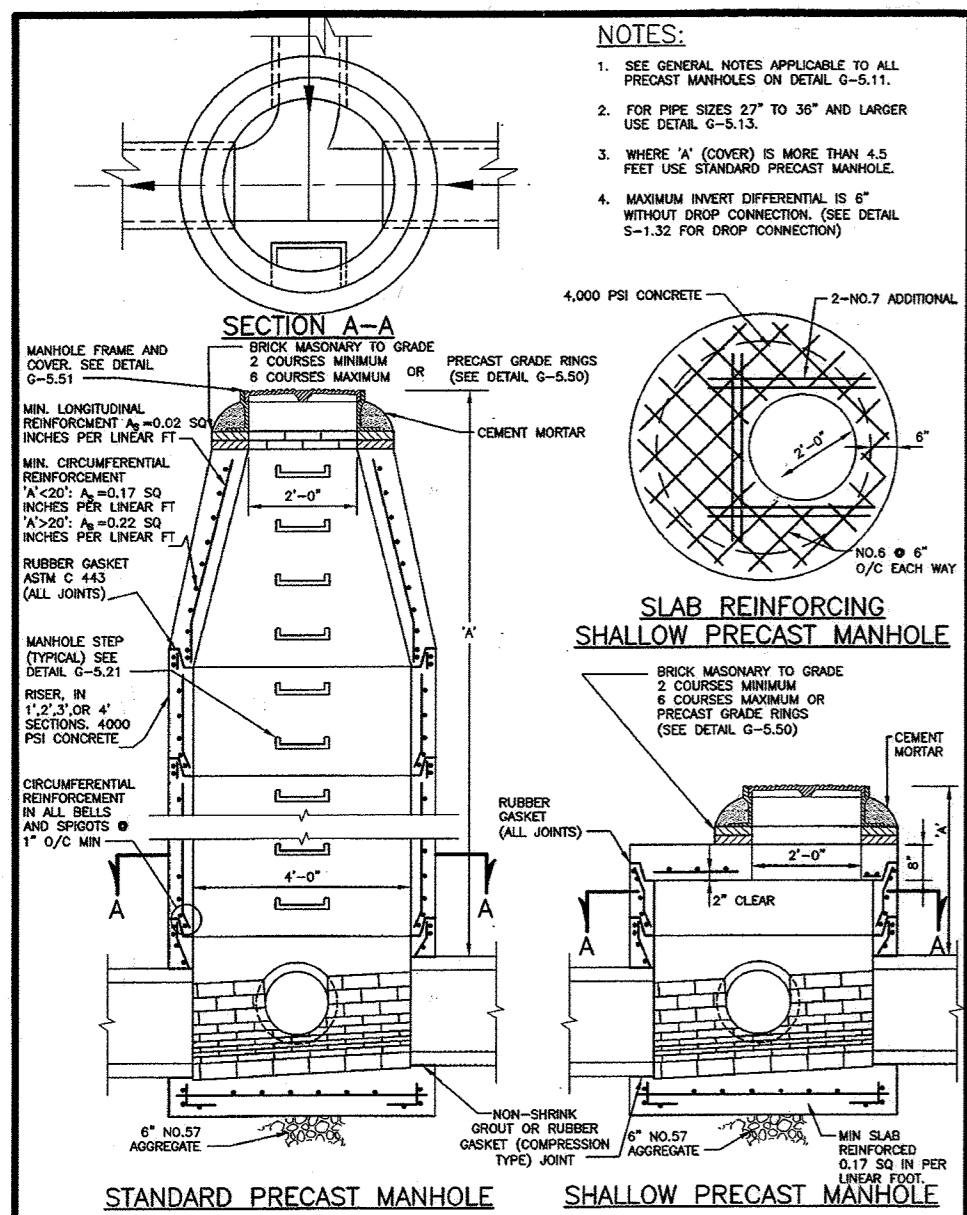
901 DULANEY VALLEY ROAD,  
 SUITE 801  
 TOWSON, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com



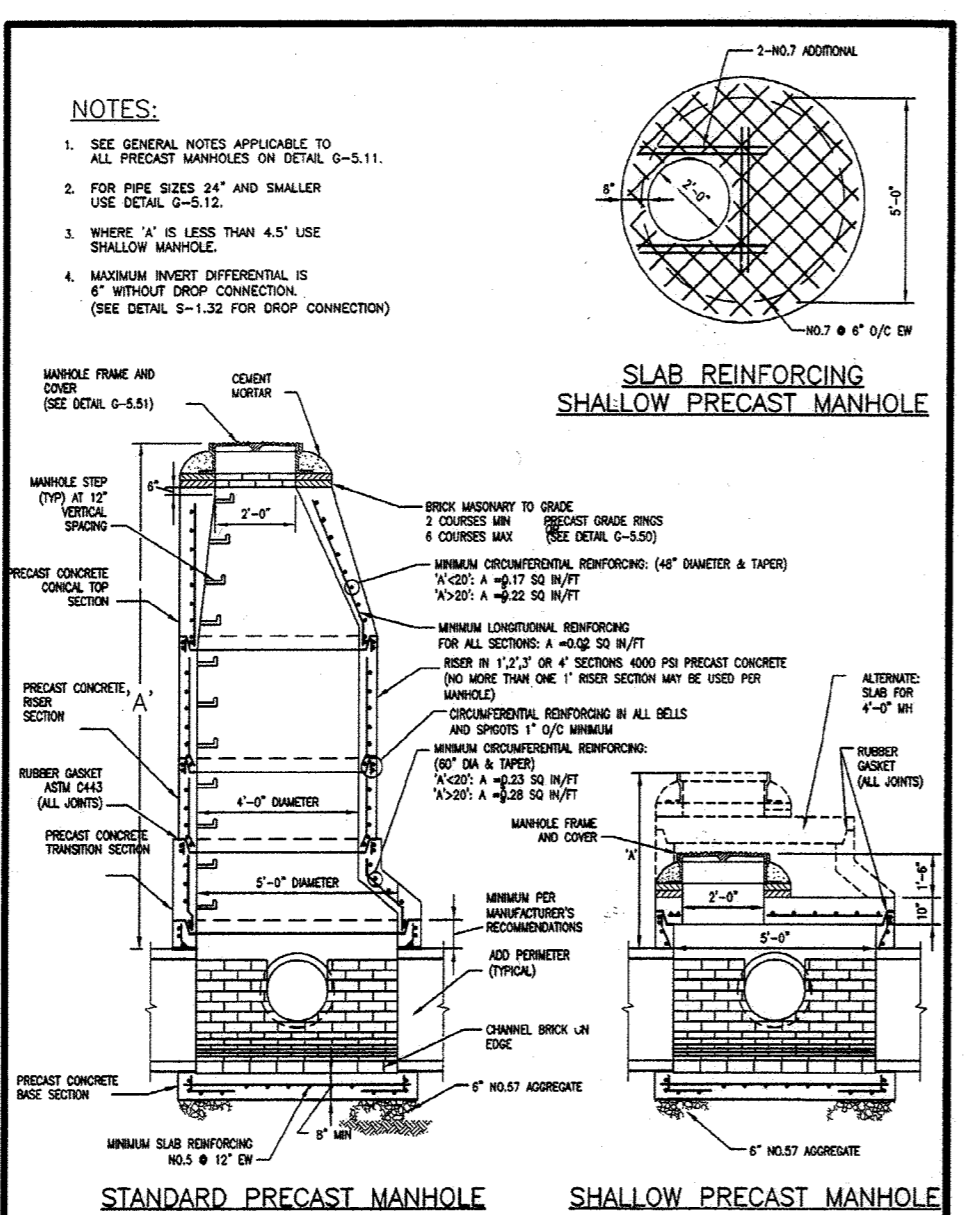
SHEET TITLE:  
**STORM DRAIN PROFILES**

SHEET NUMBER:  
**65**

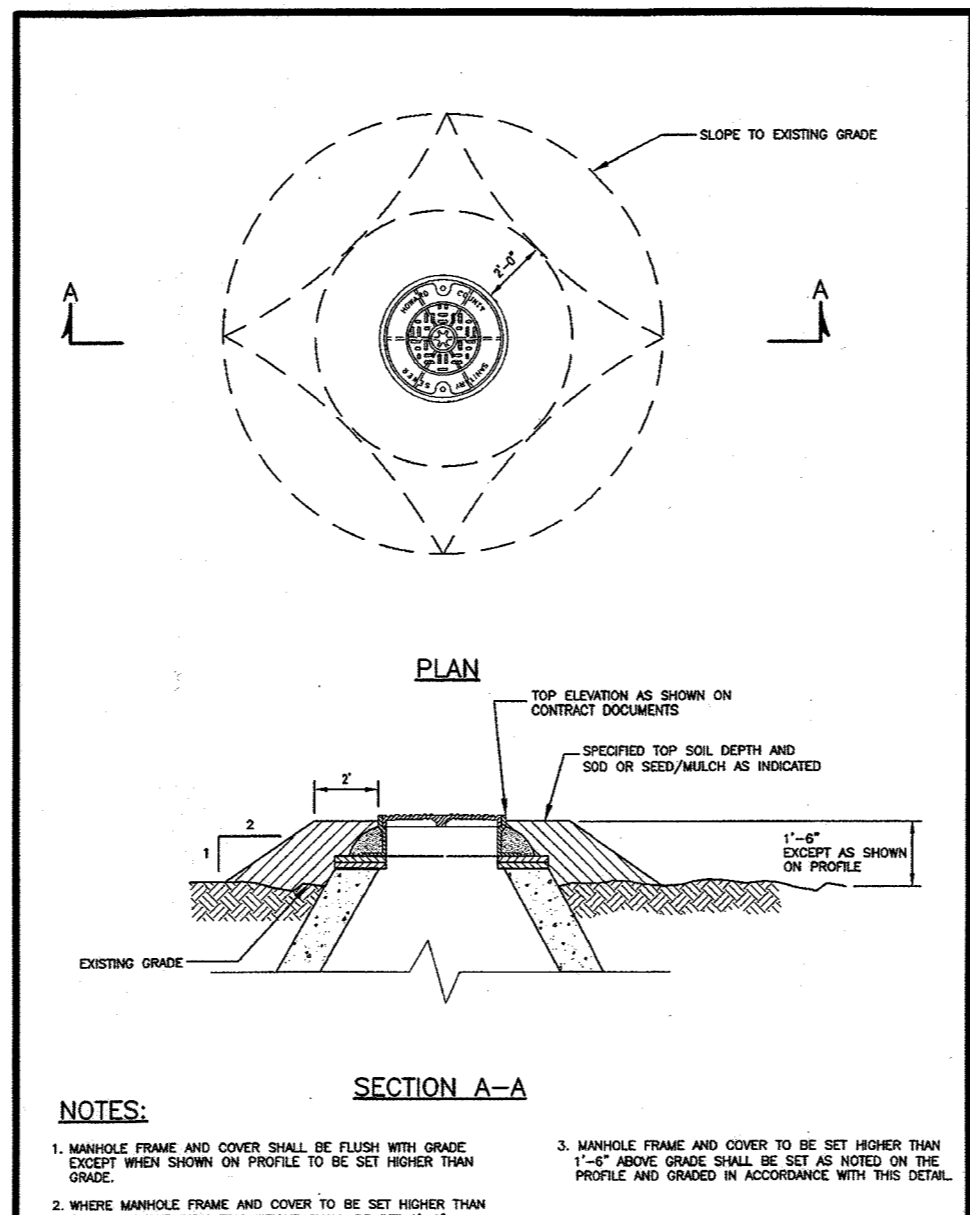




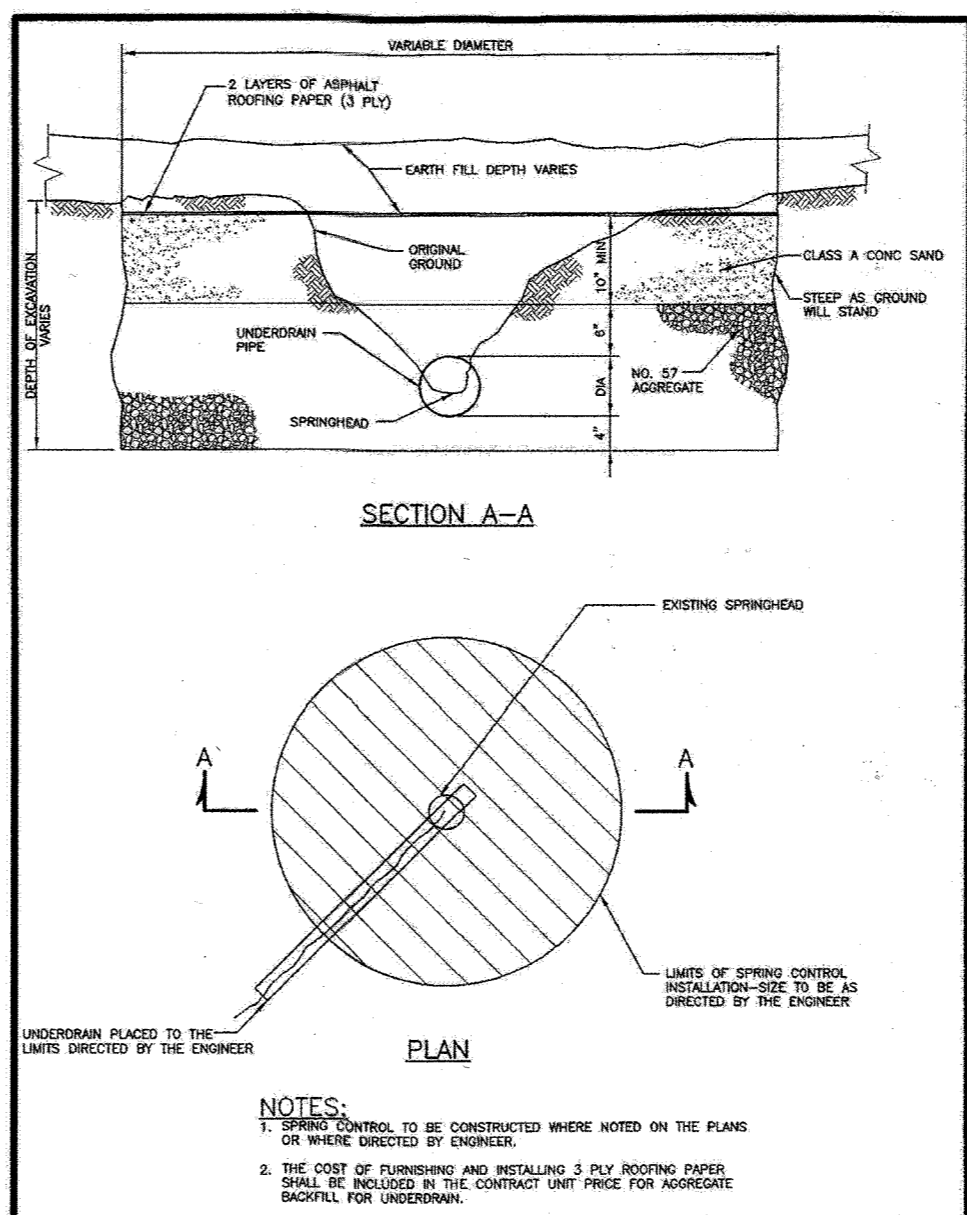
Project	Howard County, Maryland Department of Public Works	Detail	Standard and Shallow 4'-0" for 24" Pipe and smaller	G-5.12
Scale	As Shown	Author	Checked	Date



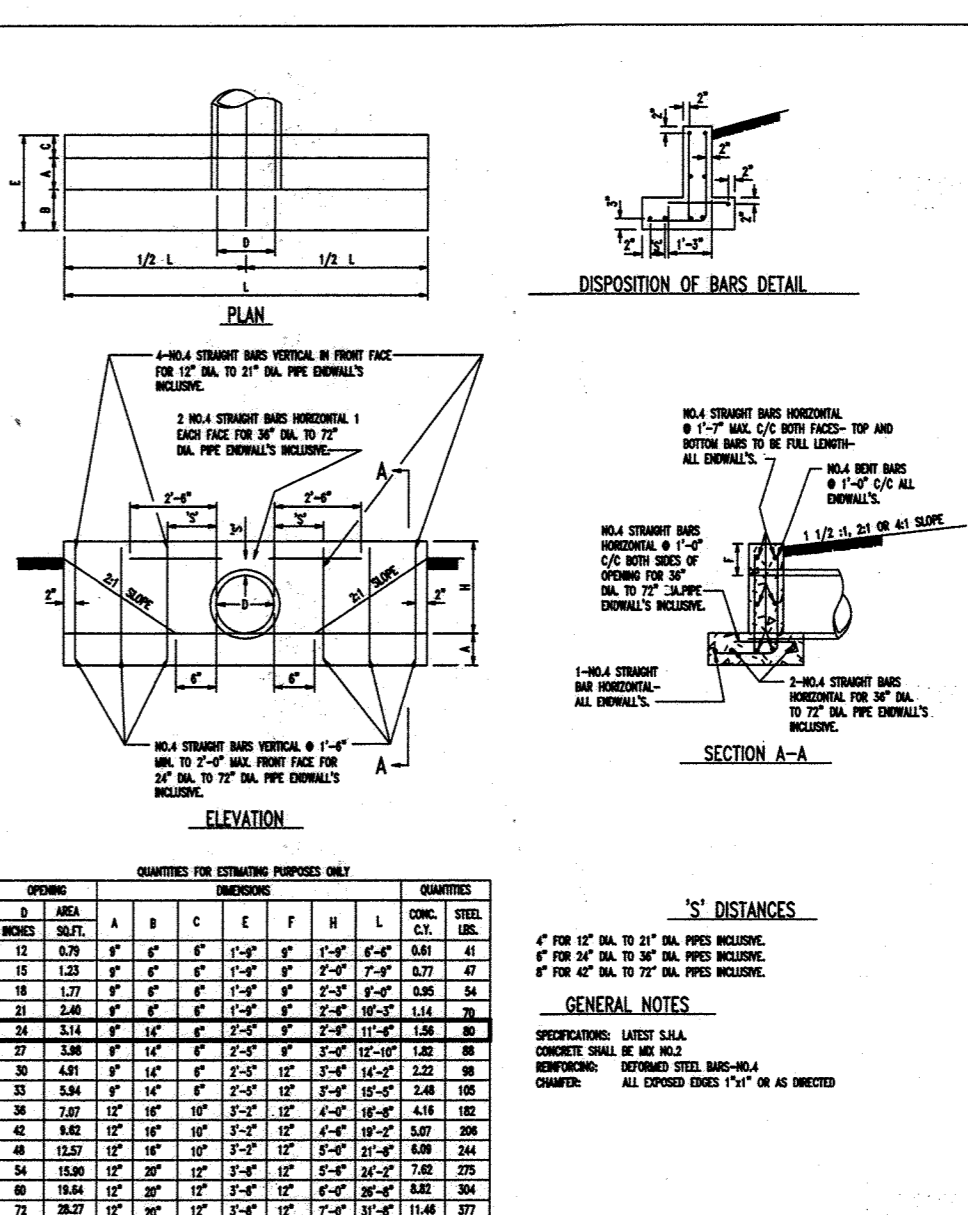
Project	Howard County, Maryland Department of Public Works	Detail	Precast Manhole Standard and Shallow 5'-0" for 27" to 36" Pipe	G-5.13
Scale	As Shown	Author	Checked	Date



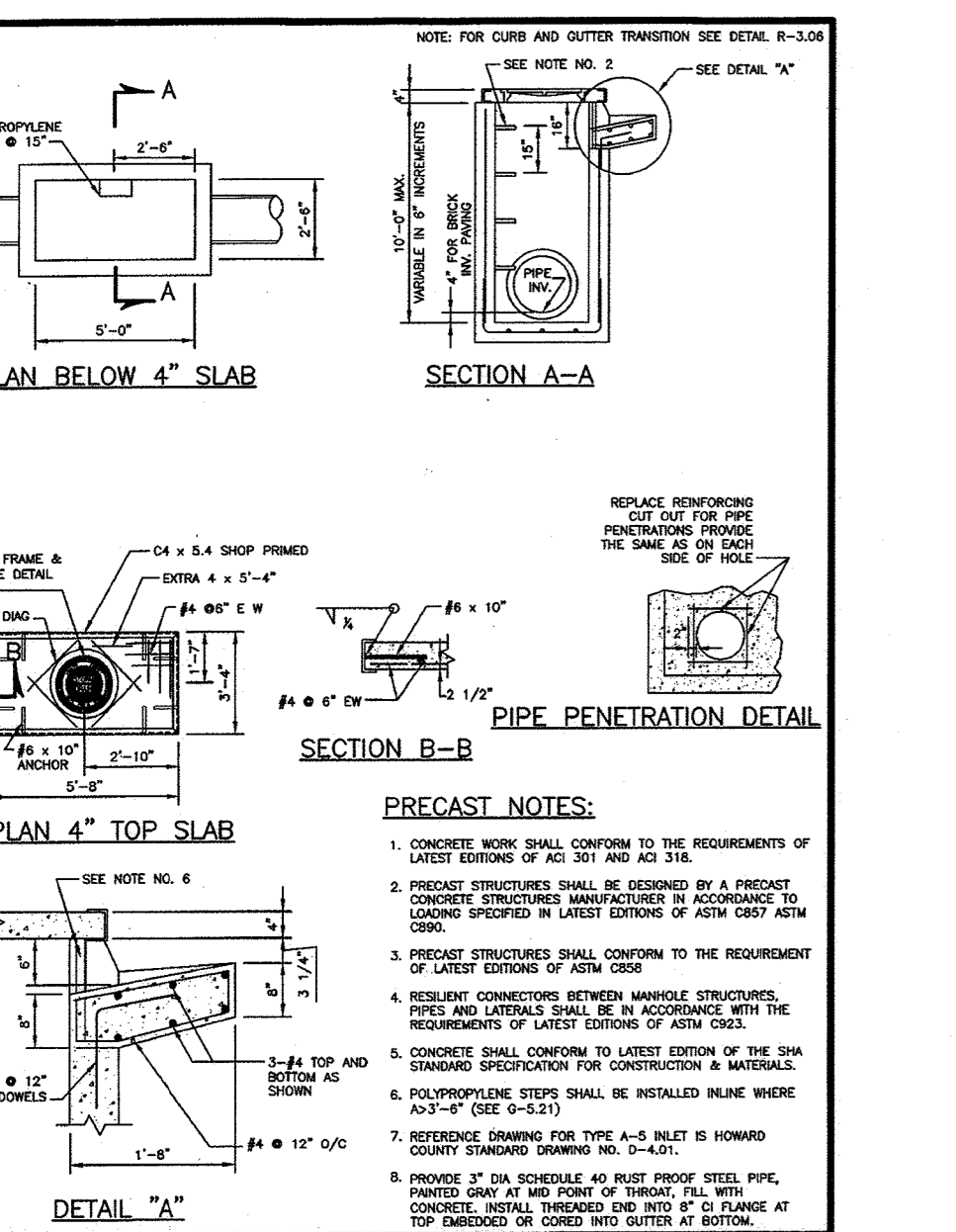
Project	Howard County, Maryland Department of Public Works	Detail	Manhole Special Backfill	G-5.41
Scale	As Shown	Author	Checked	Date



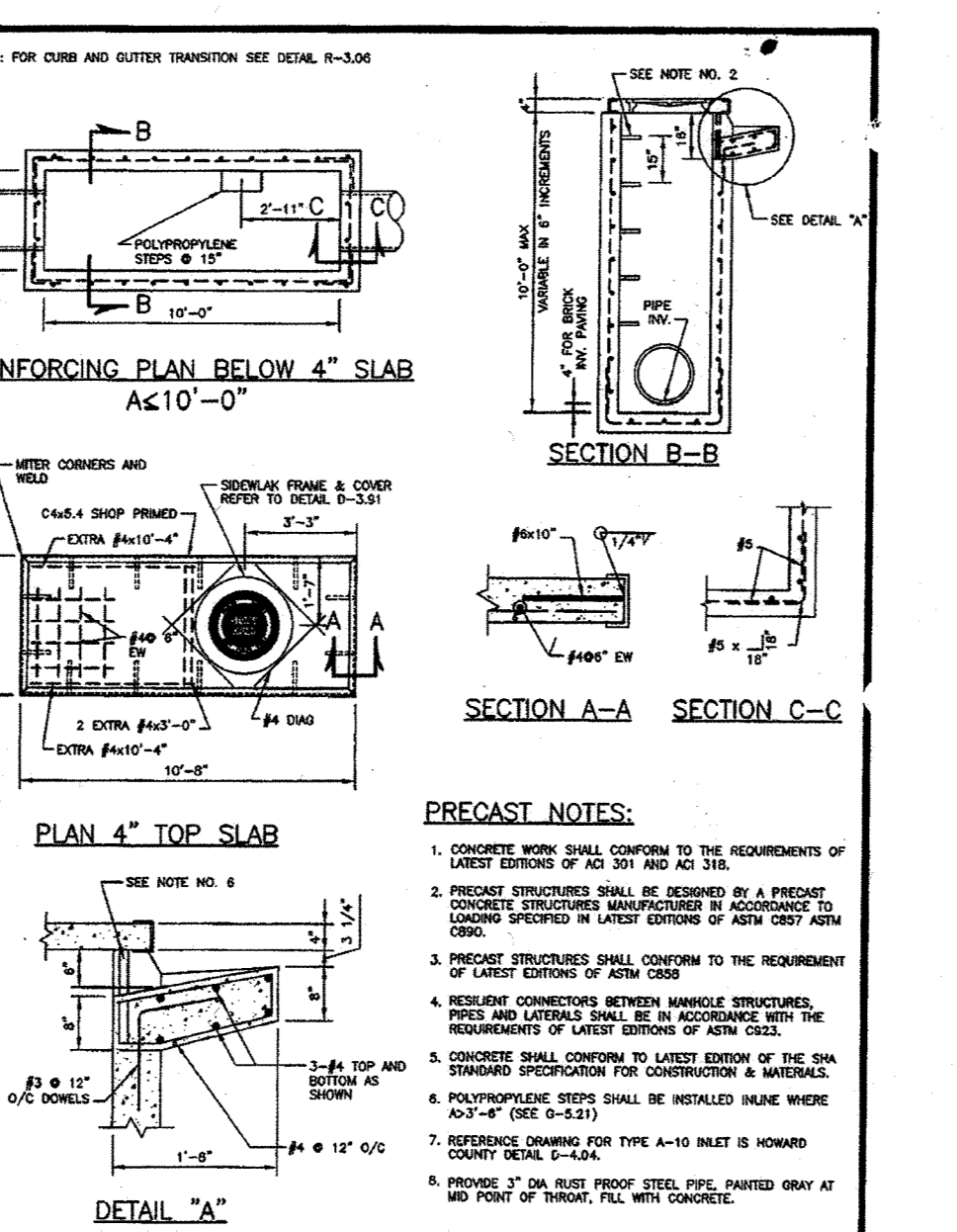
Project	Howard County, Maryland Department of Public Works	Detail	Spring Control	R-8.02
Scale	As Shown	Author	Checked	Date



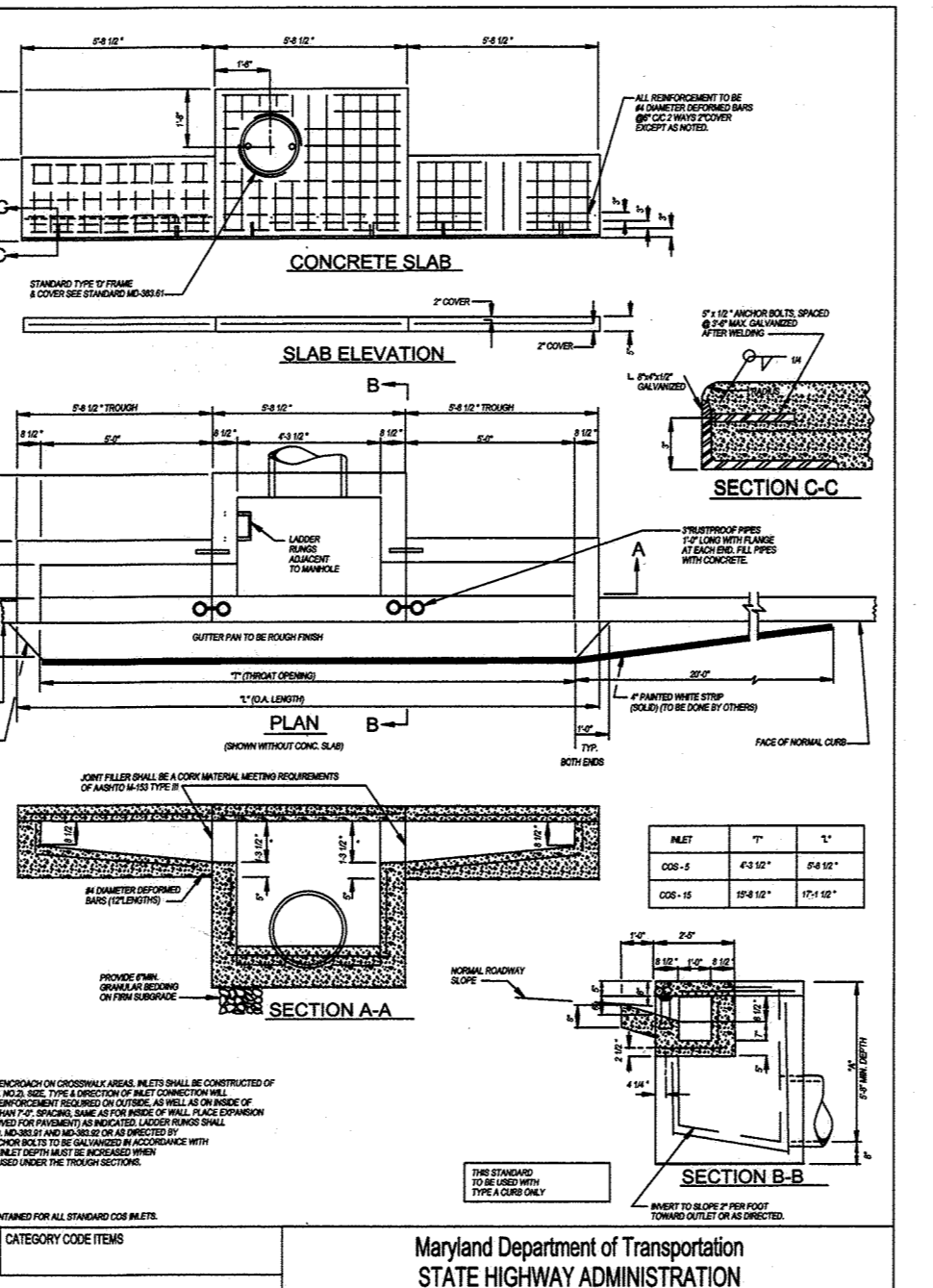
Project	Howard County, Maryland Department of Public Works	Detail	Standard Type C Endwall Metal or Concrete Round Pipe	MD 354.01
Scale	As Shown	Author	Checked	Date



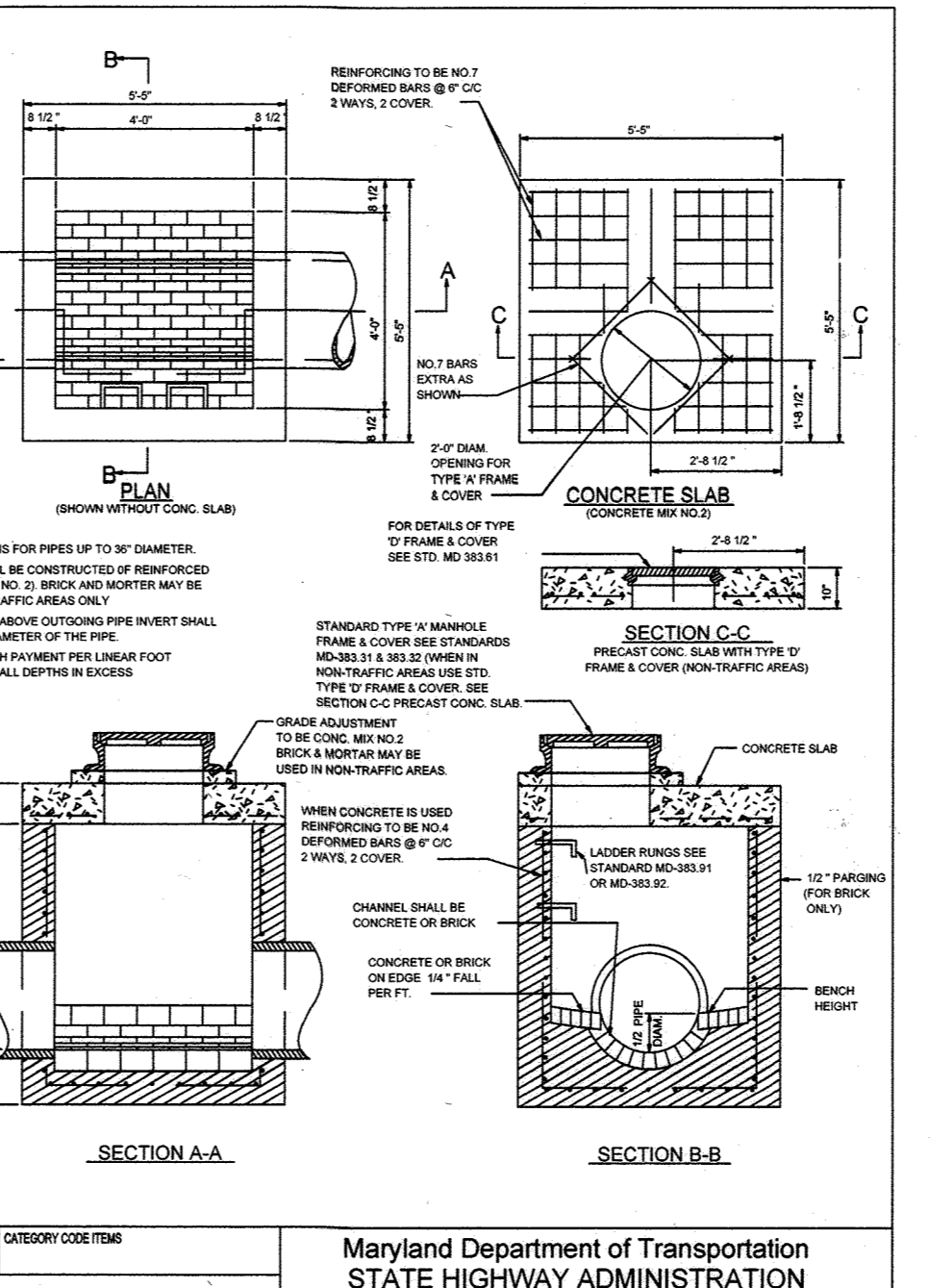
Project	Howard County, Maryland Department of Public Works	Detail	Type A-5 Inlet Precast ≤10' Depth	D-4.01
Scale	As Shown	Author	Checked	Date



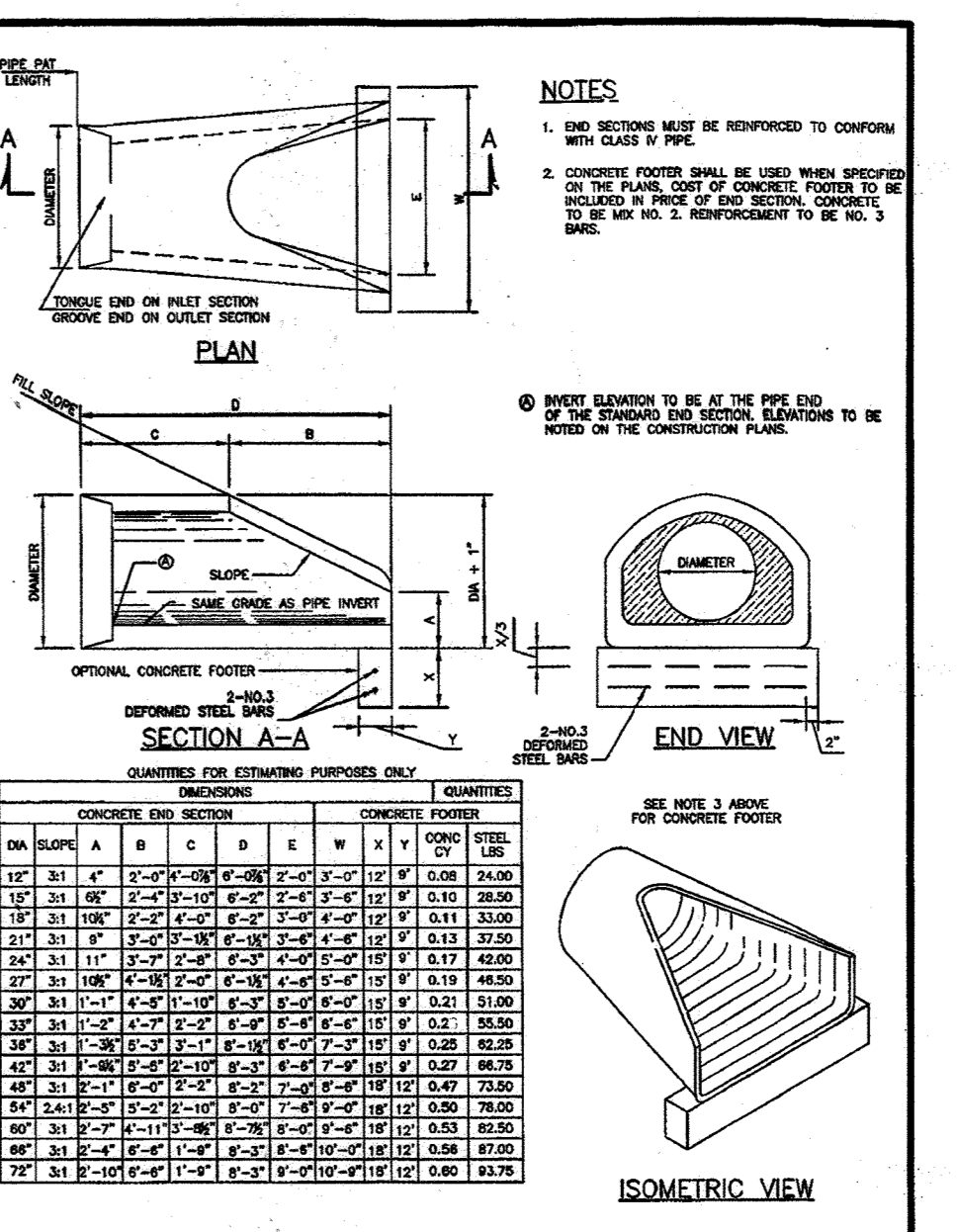
Project	Howard County, Maryland Department of Public Works	Detail	Type A-10 Inlet Precast ≤10' Depth	D-4.03
Scale	As Shown	Author	Checked	Date



Project	Howard County, Maryland Department of Public Works	Detail	Concrete Slab	MD 374.41
Scale	As Shown	Author	Checked	Date



Project	Howard County, Maryland Department of Public Works	Detail	Standard Shallow Manhole	MD 383.00
Scale	As Shown	Author	Checked	Date



Project	Howard County, Maryland Department of Public Works	Detail	Concrete End Section Circular Concrete Pipe	D-5.51
Scale	As Shown	Author	Checked	Date

\*PRECAST STRUCTURE FABRICATOR SHALL PROVIDE SHOP DRAWINGS FOR HOWARD COUNTY APPROVAL OF ALL INLETS.  
 1) WITH DEPTHS GREATER THAN TEN (10) FT. PER THE REFERENCED COUNTY STANDARD DETAIL  
 2) FOR THOSE INLETS REQUIRING GREATER WIDTHS THAN THE STANDARD TO ACCOMMODATE STORM DRAIN PIPE DIAMETERS  
 3) FOR MODIFIED THROAT OPENINGS OF 15' AND 20' NOTED HEREIN AS A-15 AND A-20 INLETS, RESPECTIVELY

\*PRECAST STRUCTURE FABRICATOR SHALL PROVIDE SHOP DRAWINGS FOR HOWARD COUNTY APPROVAL OF ALL INLETS.  
 1) WITH DEPTHS GREATER THAN TEN (10) FT. PER THE REFERENCED COUNTY STANDARD DETAIL  
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 3) FOR MODIFIED THROAT OPENINGS OF 15' AND 20' NOTED HEREIN AS A-15 AND A-20 INLETS, RESPECTIVELY

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 3) FOR MODIFIED THROAT OPENINGS OF 15' AND 20' NOTED HEREIN AS A-15 AND A-20 INLETS, RESPECTIVELY

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] 1/8/2015  
 CHIEF, BUREAU OF HIGHWAYS  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 7-9-15  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 APPROVED: DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 6.15.15  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

APPROVED: DEPARTMENT OF PUBLIC WORKS  
 [Signature] 1/8/2015  
 CHIEF, BUREAU OF HIGHWAYS  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 7-9-15  
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 [Signature] 6.15.15  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

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 [Signature] 6.15.15  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

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 [Signature] 1/8/2015  
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 [Signature] 7-9-15  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 APPROVED: DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 6.15.15  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.

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**BOHLER ENGINEERING**  
 CIVIL & CONSULTING ENGINEERS  
 SURVEYORS  
 PROJECT MANAGERS  
 ENVIRONMENTAL CONSULTANTS  
 LANDSCAPE ARCHITECTS

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 OFFICES:  
 BOWNE, MD  
 SOUTHBOROUGH, MA  
 ROCKY HILL, CT  
 ROKONONGOMA, NY  
 CENTER VALLEY, PA  
 PHILADELPHIA, PA  
 TAMPA, FL

REVISIONS			
REV	DATE	COMMENT	BY
3	11/30/12	As Built	BCR

**APPROVED FOR CONSTRUCTION**

PROJECT NO.: MD132008  
 DRAWN BY: RLB  
 CHECKED BY: BRR  
 DATE: 12/11/14  
 SCALE: AS SHOWN  
 CAD ID: SD2

**FINAL ROAD CONSTRUCTION PLANS**  
 FOR  
**ESTATES AT PATAPSCO PARK**  
 BUILDABLE LOTS 207, 209 AND  
 OPEN SPACE LOTS 195 - 202  
 LOCATION OF SITE  
 MD ROUTE 99  
 ROGERS AVENUE  
 HOWARD COUNTY

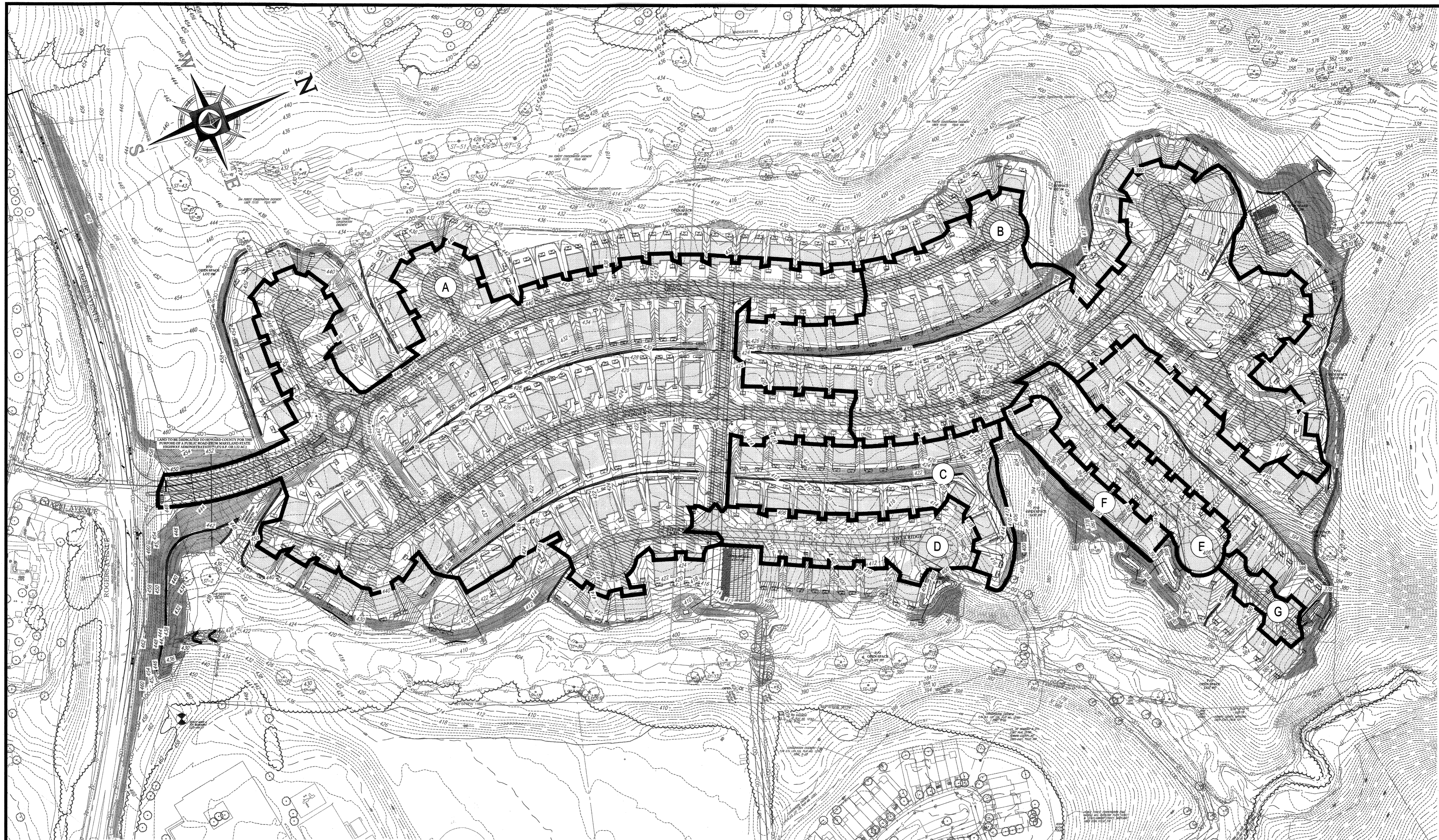
**BOHLER ENGINEERING**  
 901 DULANEY VALLEY ROAD,  
 SUITE 801  
 TOWNSHIP, MARYLAND 21284  
 Phone: (410) 821-7900  
 Fax: (410) 821-7987  
 www.BohlerEngineering.com

**PROFESSIONAL ENGINEER**  
 BRANDON R. ROWE  
 11/30/12

**STORM DRAIN DETAILS**  
 SHEET NUMBER: 67

PERMIT INFORMATION CHART

SUBDIVISION NAME:	ESTATES AT PATAPSCO PARK	SECTION AREA:	NA	LOT/PARCEL NO.:	NA
PLAT OR L.P.:	15148465 & 15148467	GRID #:	S, E, 11, 12	ZONING:	R-20 & R-ED
PREVIOUS FILE NO.:	SP-13-012 ECP-13-029 WP-13-165 PB CASE NO. 403	TAX MAP NO.:	17	ELECT. DISTR.:	ZND
CENSUS TRACT:		PROFESSIONAL CERTIFICATION		I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40808, EXPIRATION DATE: 7/30/2015	



**STORM WATER MANAGEMENT DRAINAGE AREAS**

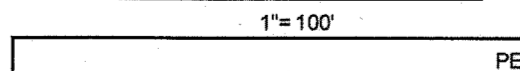
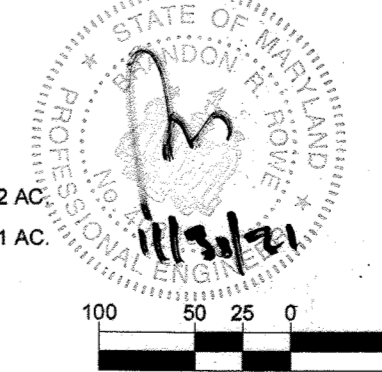
AREA	PERVIOUS AREA (AC.)	IMPERVIOUS AREA (AC.)	TOTAL AREA (AC.)
A	7.34	8.89	16.03
B	5.15	4.66	9.81
C	1.63	0.82	2.45
D	0.61	1.02	1.63
E	0.53	0.91	1.44
F	0.42	0.29	0.71
G	0.17	0.20	0.37

**LEGEND**

- IMPERVIOUS AREA
- IMPERVIOUS AREA BEING TREATED BY INFILTRATION FACILITIES
- LIMIT OF DISTURBANCE
- DRAINAGE AREA LABEL
- DRAINAGE AREA DIVIDE

IMPERVIOUS AREA FROM DRAINAGE AREA A: 5.42 AC  
 IMPERVIOUS AREA FROM DRAINAGE AREA B: 2.71 AC

*FOR REVISION 3 ONLY  
NO AS BUILT INTL*



**OWNER:** ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

**DEVELOPER:** ESTATES AT PATAPSCO PARK, LLC  
 24012 FREDERICK ROAD  
 CLARKSBURG, MD 20861  
 CONTACT: MR. DAN SNYDER  
 PHONE: (301) 674-8509

**PERMIT INFORMATION CHART**

SUBDIVISION NAME: ESTATES AT PATAPSCO PARK	SECTION/AREA: NA	LOT/PARCEL NO.: NA
PLAT # OR L.P.: 23421 TO 23436	GRID # S, E, 11, 12	ZONING: R-20 & R-25
PREVIOUS FILE NO.: SP-13-012 ECP-13-029 WP-13-185 PB CASE NO. 403	TAX MAP NO.: 17	ELECT. DISTR.: 2ND
PURPOSE OF REVISIONS IS TO SHOW RESUBDIVISION OF LOTS 1 TO 195 AND SHOW NEW LOT NUMBERS 203 TO 397 AS RECORDED UNDER F-16-051.		CENSUS TRACT:

**PROFESSIONAL CERTIFICATION**  
 I, BRANDON R. ROWE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40806, EXPIRATION DATE: 7/31/17

**APPROVED, DEPARTMENT OF PUBLIC WORKS**  
*[Signature]* 11/9/2015  
 CHIEF, BUREAU OF HIGHWAYS  
 DATE

**APPROVED, DEPARTMENT OF PLANNING AND ZONING**  
*[Signature]* 12-17-15  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE

**CHIEF, DEVELOPMENT ENGINEERING DIVISION** 11-17-15

GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORKING PRIOR TO THE START OF CONSTRUCTION, SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL FULL COMPLIANCE WITH ALL REGULATIONS AND ORDINANCES.

**BOHLER ENGINEERING**

CIVIL & CONSULTING ENGINEERS

**CORPORATE OFFICE:**  
 WARREN, NJ

**SUBOFFICES:**  
 SOUTHBOROUGH, MA  
 BOWEN, MD  
 ALBANY, NY  
 CHAUNCEY, NY  
 TAMPA, FL

**PROJECT MANAGERS:**  
 WARRENTON, VA  
 FORT LAUDERDALE, FL

**ENVIRONMENTAL CONSULTANTS:**  
 TAMPA, FL

**LANDSCAPE ARCHITECTS:**  
 TAMPA, FL

**REVISIONS**

REV	DATE	COMMENT	REV PER	BY
1	10/21/15	RESUBDIVISION OF LOTS	RLB	RLB
3	11/30/15	AS BUILT	RLB	RLB

**APPROVED FOR CONSTRUCTION**

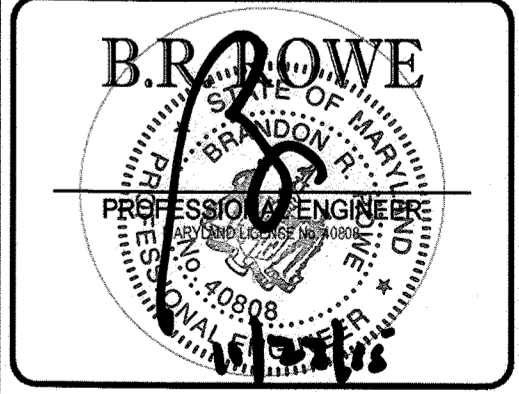
THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISRUPT THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, AND DELAWARE: CALL 1-811 (WV 1-800-246-4848) (PA 1-800-342-1773) (DC 1-800-257-7777) (VA 1-800-662-7701) (MD 1-800-257-7777) (DE 1-800-368-5850)

**PROJECT No.:** MD152013  
**DRAWN BY:** RLB  
**CHECKED BY:** BRR  
**DATE:** 11/17/15  
**SCALE:** 1"=100'  
**CAD I.D.:** DA4

**PROJECT:** REVISED FINAL ROAD CONSTRUCTION PLANS FOR ESTATES AT PATAPSCO PARK BUILDABLE LOTS 203-397 AND OPEN SPACE LOTS 196 - 202 LOCATION OF SITE MD ROUTE 99 ROGERS AVENUE HOWARD COUNTY

**BOHLER ENGINEERING**

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**SHEET TITLE:** STORM WATER MANAGEMENT DRAINAGE AREA MAP

**SHEET NUMBER:** 68