

SOILS LEGEND					
SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	K-FACTOR	PRIME FARMLAND
LeC	LEGORE SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	0.02	NO
McD	MANOR LOAM, 15 TO 25 PERCENT SLOPES, VERY ROCKY	B	NO	0.28	NO
MgF	MANOR-BANNERTOWN SANDY LOAMS, 25 TO 65 PERCENT SLOPES, ROCKY	B	NO	0.24	NO

NOTE:
THE STEEP SLOPE AREAS TO BE DISTURBED AS SHOWN HEREON WERE APPROVED AS PART OF WP 12-165

LEGEND:	
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING CURB AND GUTTER
---	EXISTING UTILITY POLE
---	EXISTING LIGHT POLE
---	EXISTING MAILBOX
---	EXISTING SIGN
---	EXISTING SANITARY MANHOLE
---	EXISTING SANITARY LINE
---	EXISTING CLEANOUT
---	EXISTING FIRE HYDRANT
---	EXISTING WATER LINE
---	EXISTING 10' CONTOUR
---	EXISTING 2' CONTOUR
---	SOILS
---	EXISTING TREELINE
---	EXISTING TREES
---	EXISTING FENCE
---	CENTERLINE OF EXISTING STREAM
---	PROPOSED TREELINE
---	EXISTING SEWER AND UTILITY EASEMENT
---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED LIMIT OF DISTURBANCE
---	SPECIMEN TREE
---	EX. SPECIMEN TREE TO BE REMOVED
---	EXISTING MODERATE SLOPES
---	EXISTING STEEP SLOPES
---	PORTIONS OF CONTRACT 661-WAS TO BE REMOVED, INCLUDES ALL STRUCTURES AND PIPE

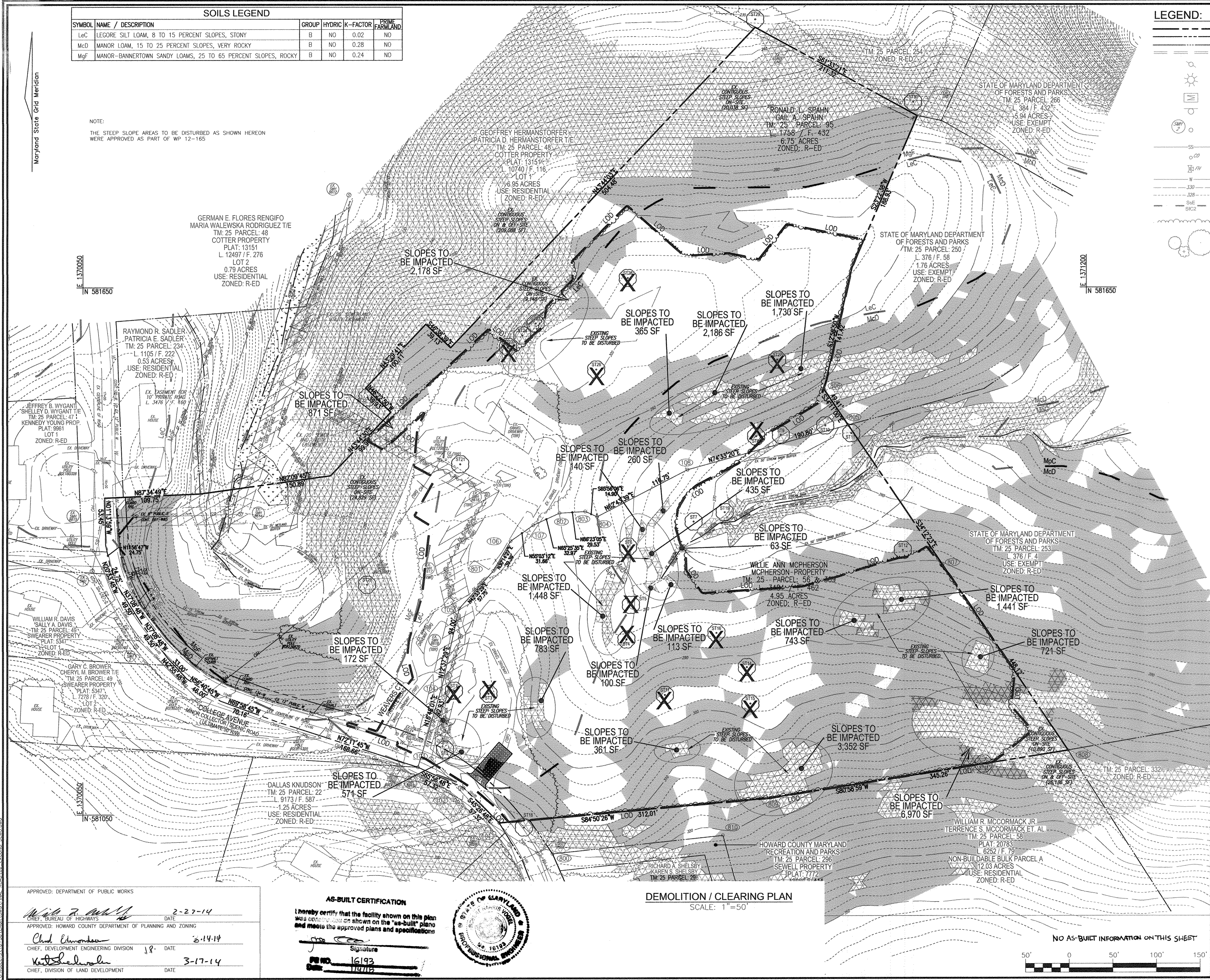
SPECIMEN TREE CHART				
NO.	SIZE	COMMON NAME	CONDITION	COMMENTS
ST-1	31" DBH	NORWAY MAPLE	FAIR	TO BE REMOVED
ST-2	47" DBH	TULIP POPLAR	GOOD	TO REMAIN
ST-3	46" DBH	NORWAY MAPLE	POOR	TO BE REMOVED
ST-4	41" DBH	WHITE ASH	FAIR-POOR	TO BE REMOVED
ST-5	48" DBH	WHITE OAK	FAIR-POOR	TO BE REMOVED
ST-6	36" DBH	TULIP POPLAR	FAIR	TO BE REMOVED
ST-7	45" DBH	AMERICAN SYCAMORE	GOOD	TO REMAIN
ST-8	41" DBH	TULIP POPLAR	FAIR	TO BE REMOVED
ST-9	37" DBH	TULIP POPLAR	GOOD	TO REMAIN
ST-10	31" DBH	TULIP POPLAR	GOOD	TO REMAIN
ST-11	30" DBH	TULIP POPLAR	FAIR	TO REMAIN
ST-12	30" DBH	TULIP POPLAR	GOOD	TO REMAIN
ST-13	31" DBH	TULIP POPLAR	GOOD	TO REMAIN
ST-14	32" DBH	AMERICAN SYCAMORE	FAIR	TO BE REMOVED
ST-15	31" DBH	AMERICAN SYCAMORE	GOOD	TO BE REMOVED
ST-16	33" DBH	WHITE ASH	POOR	TO BE REMOVED
ST-17	37" DBH	TULIP POPLAR	GOOD	TO BE REMOVED
ST-18	35" DBH	MOCKERNUT HICKORY	GOOD	TO REMAIN
ST-19	44" DBH	AMERICAN SYCAMORE	FAIR	TO REMAIN
ST-20	44" DBH	AMERICAN BEECH	GOOD	TO REMAIN
ST-21	40" DBH	WHITE PINE	GOOD	TO REMAIN
ST-22	50" DBH	WHITE OAK	GOOD	TO REMAIN
ST-23	52" DBH	POPLAR	POOR	TO BE REMOVED
ST-24	41" DBH	POPLAR	GOOD	TO REMAIN
ST-25	38" DBH	POPLAR	GOOD	TO REMAIN
ST-26	32" DBH	POPLAR	GOOD	TO BE REMOVED
ST-27	31.5" DBH	POPLAR	GOOD	TO BE REMOVED
ST-28	37" DBH	POPLAR	GOOD	TO BE REMOVED

NOTE: 1. FOR SPECIMEN TREES 9, 12, 13, 21, 24 & 25 TREE PROTECTION FENCING WILL BE REQUIRED. SPECIMEN TREE #21 WILL REQUIRE EITHER BARB WIRE OR BOARD ON BOARD FENCING. GENERALLY PRUNING MAY BE REQUIRED AND WILL BE DETERMINE PRIOR TO CONSTRUCTION BY DEVELOPER'S REPRESENTATIVE. ASSESSMENT OF #21 WILL BE REQUIRED AT BEGINNING, MIDDLE AND END OF CONSTRUCTION TO DETERMINE STATUS.
2. REFER TO WP 12-165 REGARDING THE ALLOWED STEEP SLOPE DISTURBANCE AND SPECIMEN TREE REMOVAL.
3. DUE TO CONSTRUCTION ACTIVITIES; SPECIMEN TREES # 9, 12 AND 13 CRITICAL ROOT ZONES MAY BE NEGATIVELY IMPACTED

OWNER
MRJL FAMILY LIMITED PARTNERSHIP; TAYLOR VILLAGE FAMILY, LLC
MANAGING MEMBER PHILLIP GUGLIOTTI, AUTHORIZED PERSON
4100 COLLEGE AVENUE
ELLCOTT CITY, MD 21043
(410) 465-3500

TAYLOR FAMILY LIMITED PARTNERSHIP "A"; VILLAGE CREST, LLC.
MANAGING MEMBER BRUCE TAYLOR, AUTHORIZED PERSON
4100 COLLEGE AVENUE
ELLCOTT CITY, MD 21043
(410) 465-3500

DEVELOPER
AUTUMN DEVELOPMENT CORPORATION, RONALD L. SPAHN, PRESIDENT
5401 TWIN KNOLLS ROAD, SUITE 7
COLUMBIA, MD 21046
(410) 465-3500



APPROVED: DEPARTMENT OF PUBLIC WORKS
W. J. [Signature] 3-27-14
CHIEF, BUREAU OF HIGHWAYS
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chad [Signature] 3-14-14
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE

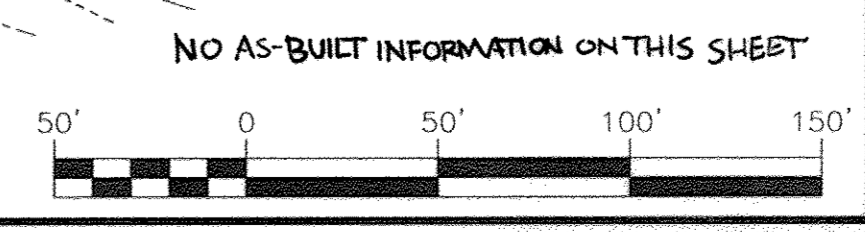
W. J. [Signature] 3-17-14
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE

AS-BUILT CERTIFICATION
I hereby certify that the facility shown on this plan was constructed as shown on the "as-built" plans and meets the approved plans and specifications.

Signature: _____
FNO: 16193
Date: 11/11/16

STATE OF MARYLAND PROFESSIONAL ENGINEERS

DEMOLITION / CLEARING PLAN
SCALE: 1"=50'



NO. _____ REVISION _____ DATE _____

**FINAL ROAD CONSTRUCTION PLAN
EXISTING CONDITIONS, DEMOLITION
AND CLEARING PLAN
AUTUMN OVERLOOK
LOTS 1-20, & OPEN SPACE LOTS 21-24**
PARCELS 56 & 309 (L. 12833 / F. 00446) ZONED: R-ED
PARCEL 95 (L. 13244 / F. 00037) TAX MAP: 25 GRD: 14
2ND ELECTION DISTRICT
PARCELS: 56, 309, AND 95
HOWARD COUNTY, MARYLAND

DPZ REF: SEE NOTE # 11

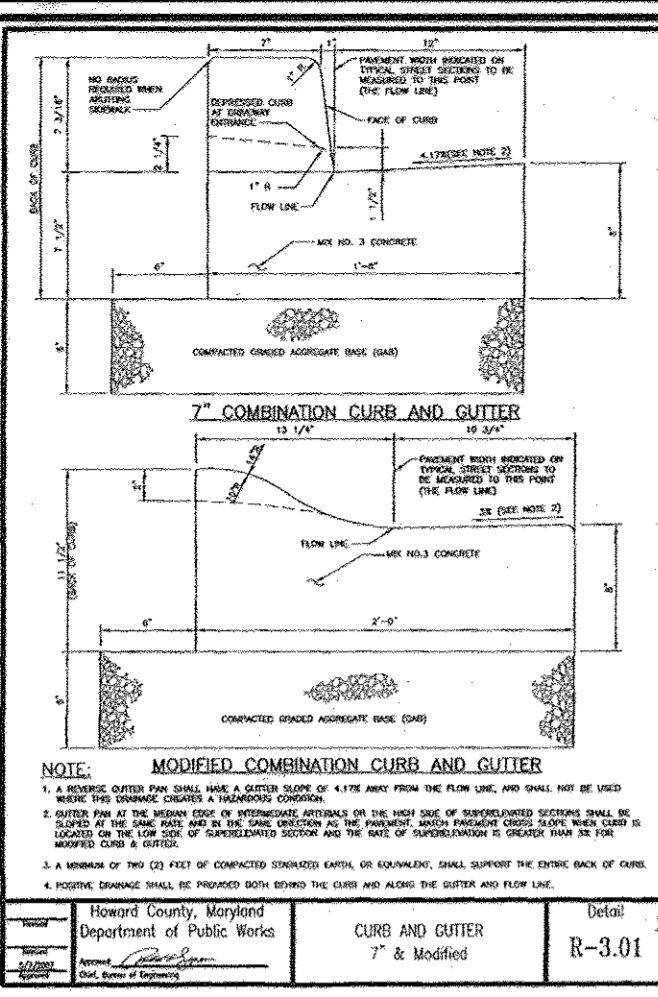
ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLCOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

DESIGN BY: RHW/EDS
DRAWN BY: JMR/EDS
CHECKED BY: RHW
DATE: DECEMBER 2013
SCALE: AS SHOWN
W.O. NO.: 10-30

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 09-27-2014

2 SHEET OF 17

F-13-081



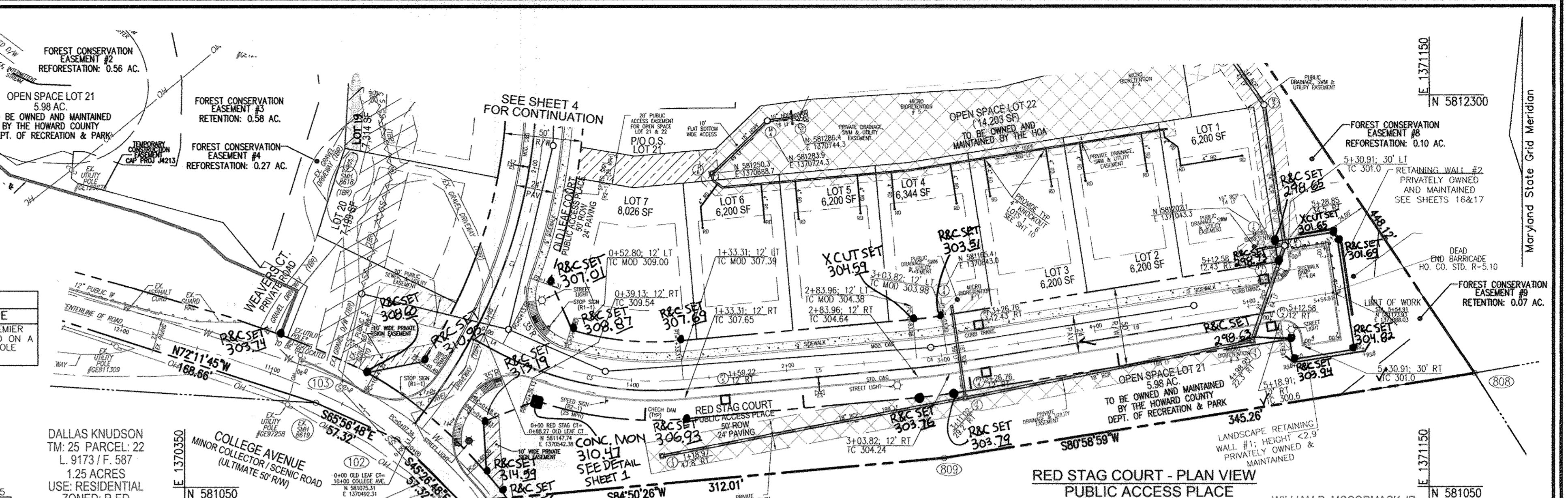
STATION	ROAD AND STREET	EXISTING GRADE (FEET)	PROPOSED GRADE (FEET)	VERTICAL CURVE DATA
P-1	RED STAG CT	...	...	...
P-2	RED STAG CT	...	...	...
P-3	RED STAG CT	...	...	...
P-4	COLLEGE AVE	...	...	...

LINE	BEARING	DISTANCE
L1	N40°43'56"E	7.36'
L2	N41°15'16"E	116.35'
L3	S62°30'50"E	13.66'
L4	N84°50'25"E	150.65'
L5	N80°58'59"E	251.09'

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	259.57	350.00	136.08	42°29'34"	S19°29'09"W	253.67
C2	157.66	210.00	82.75	43°00'54"	S19°44'49"W	153.98
C3	119.86	210.00	61.50	32°38'44"	S78°50'12"E	118.04
C4	19.86	295.00	9.93	3°51'27"	S82°34'42"W	19.86

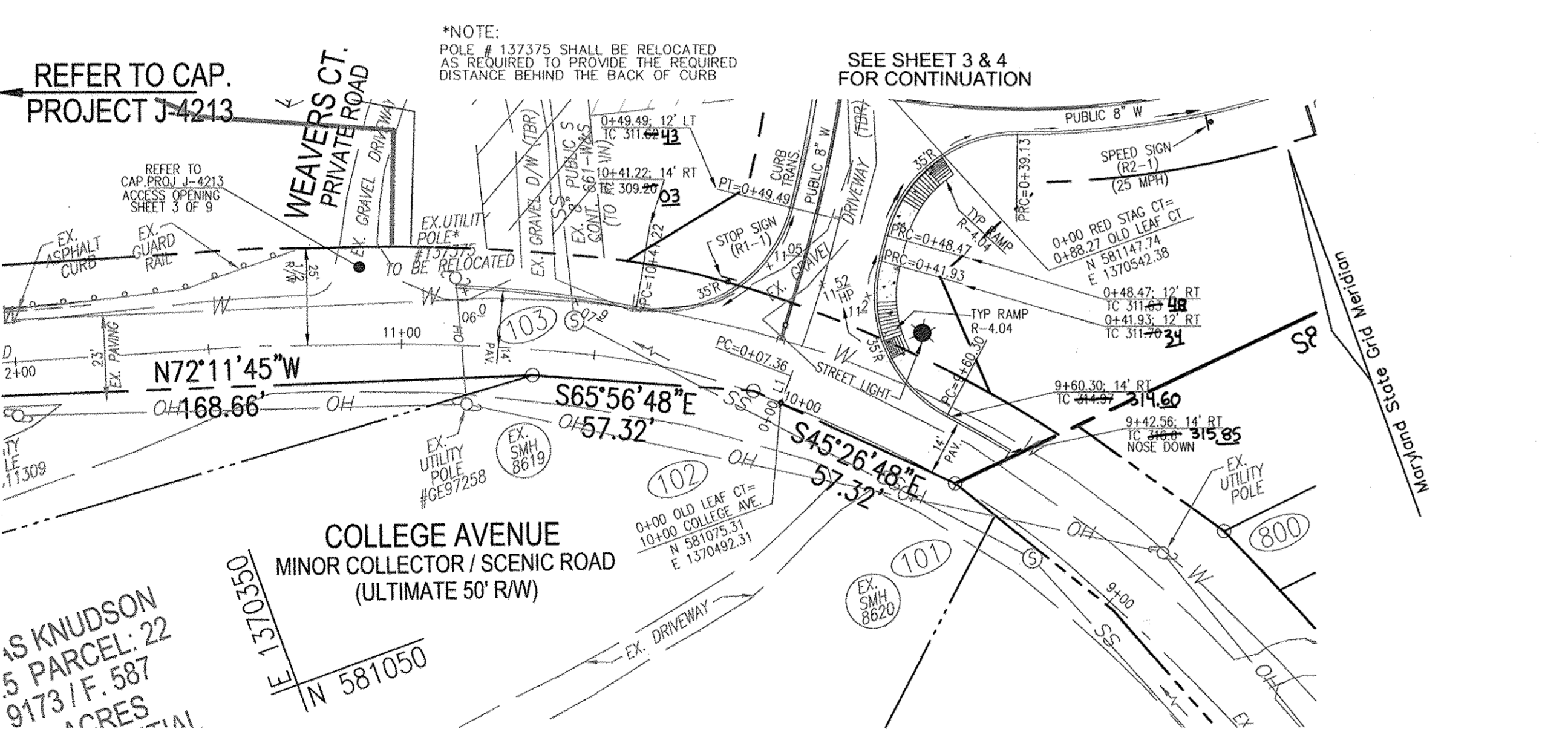
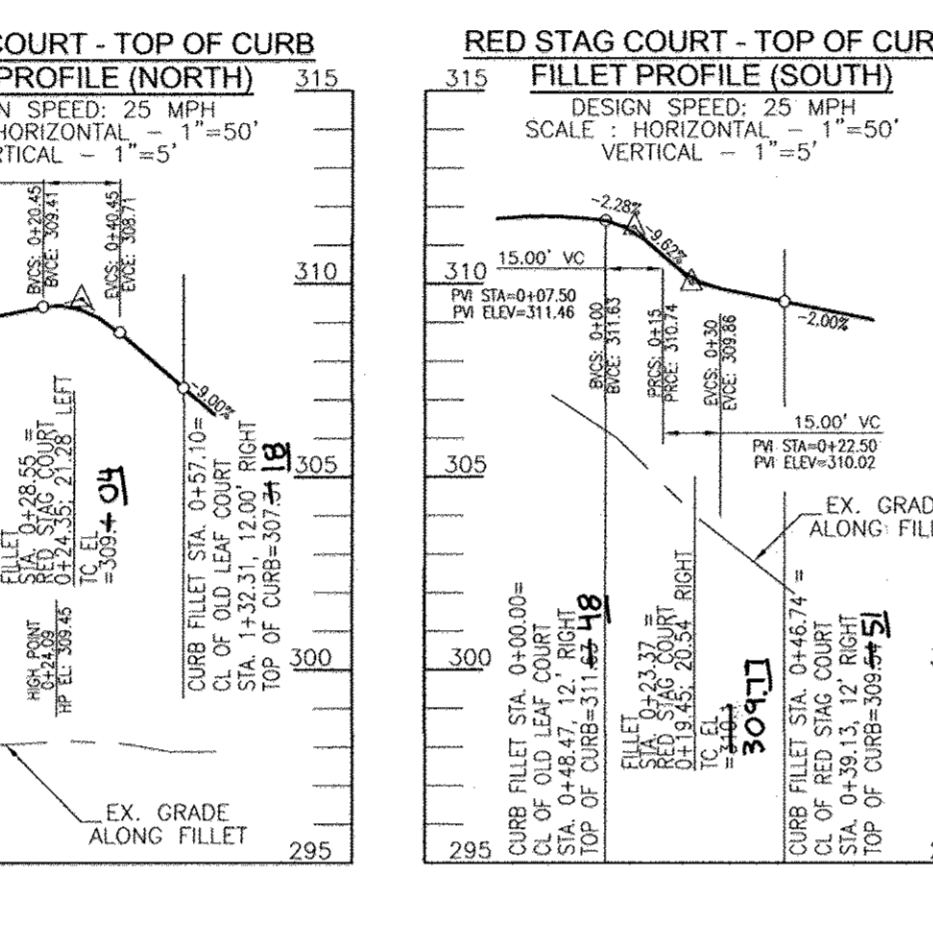
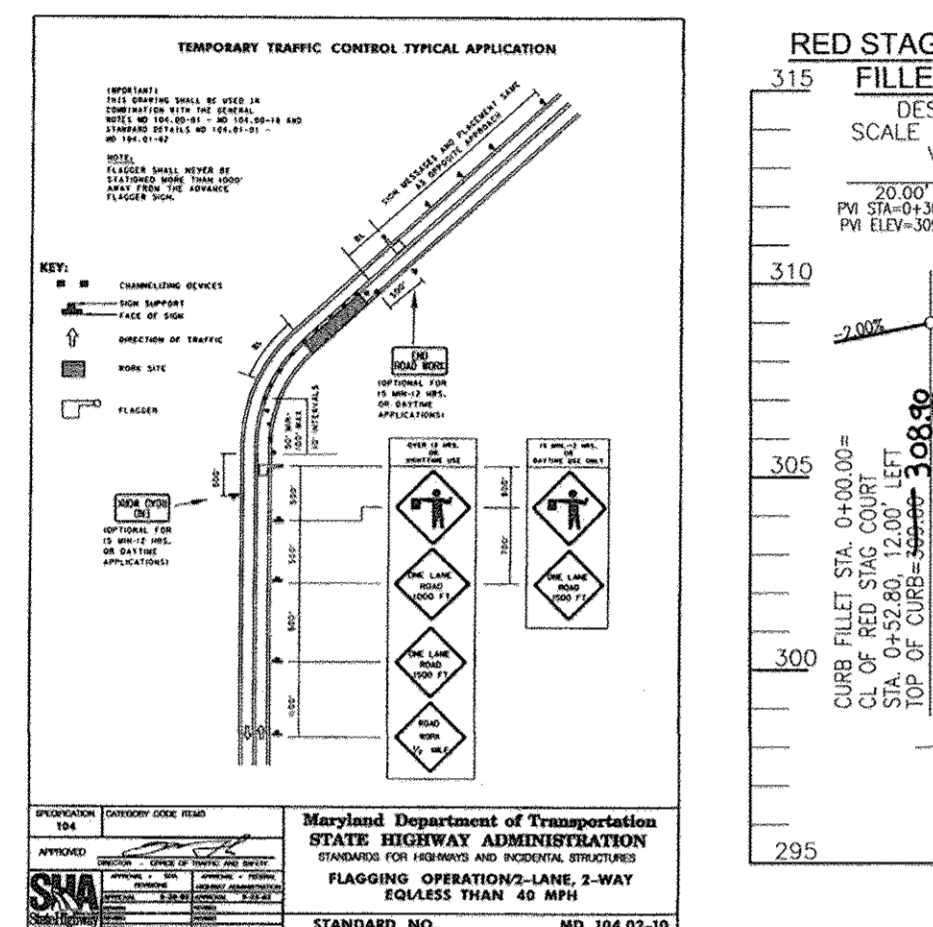
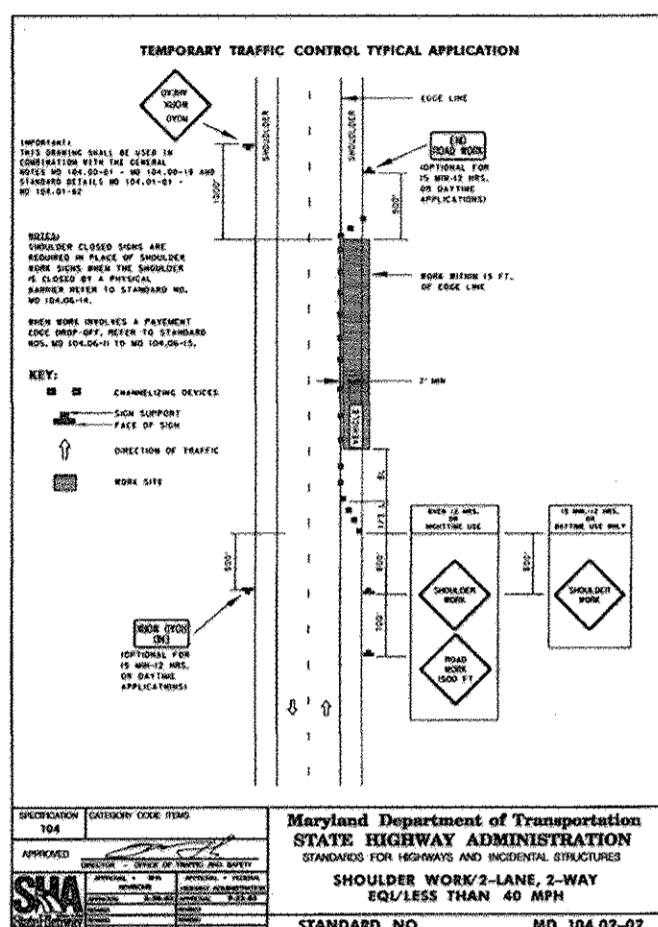
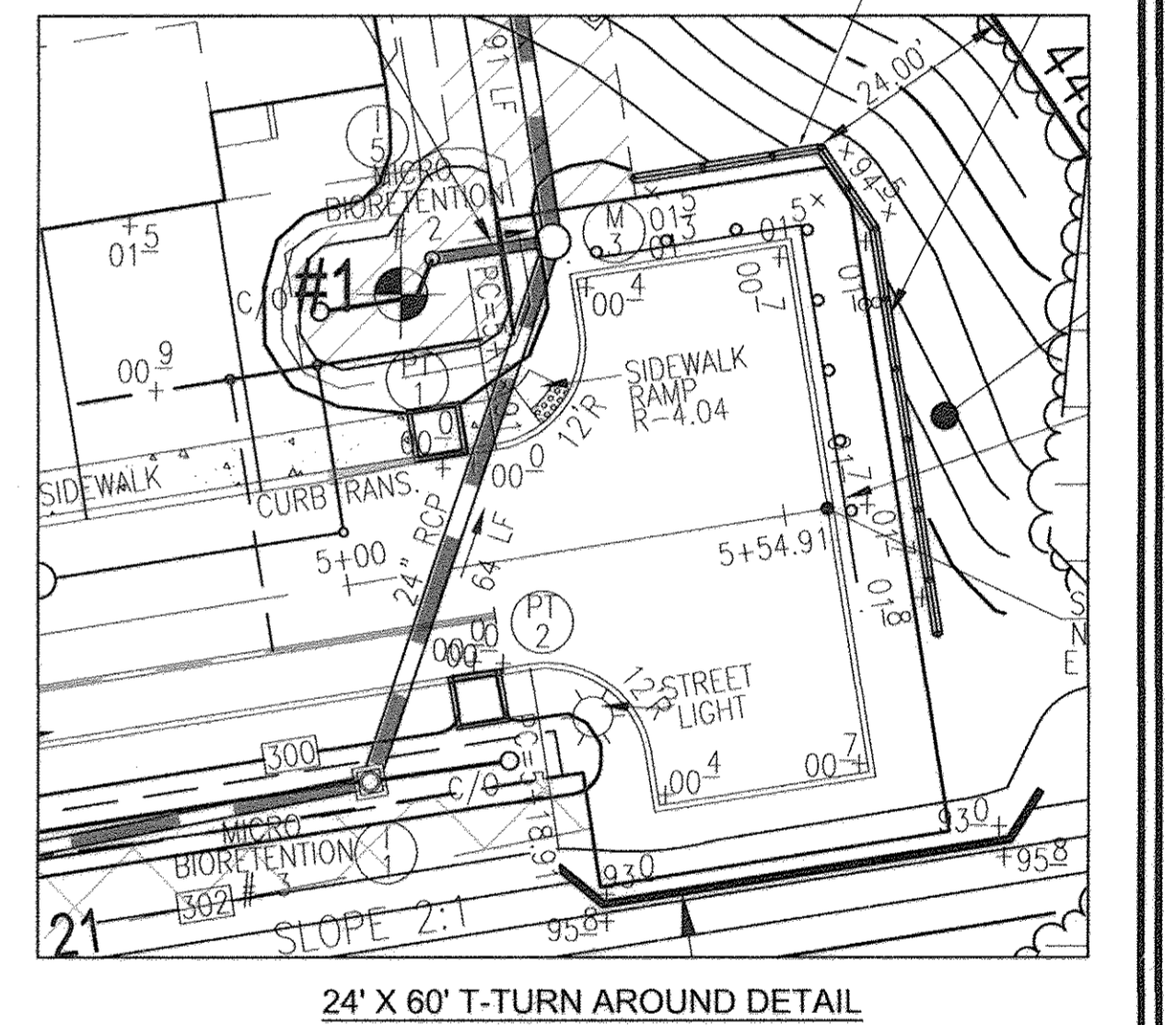
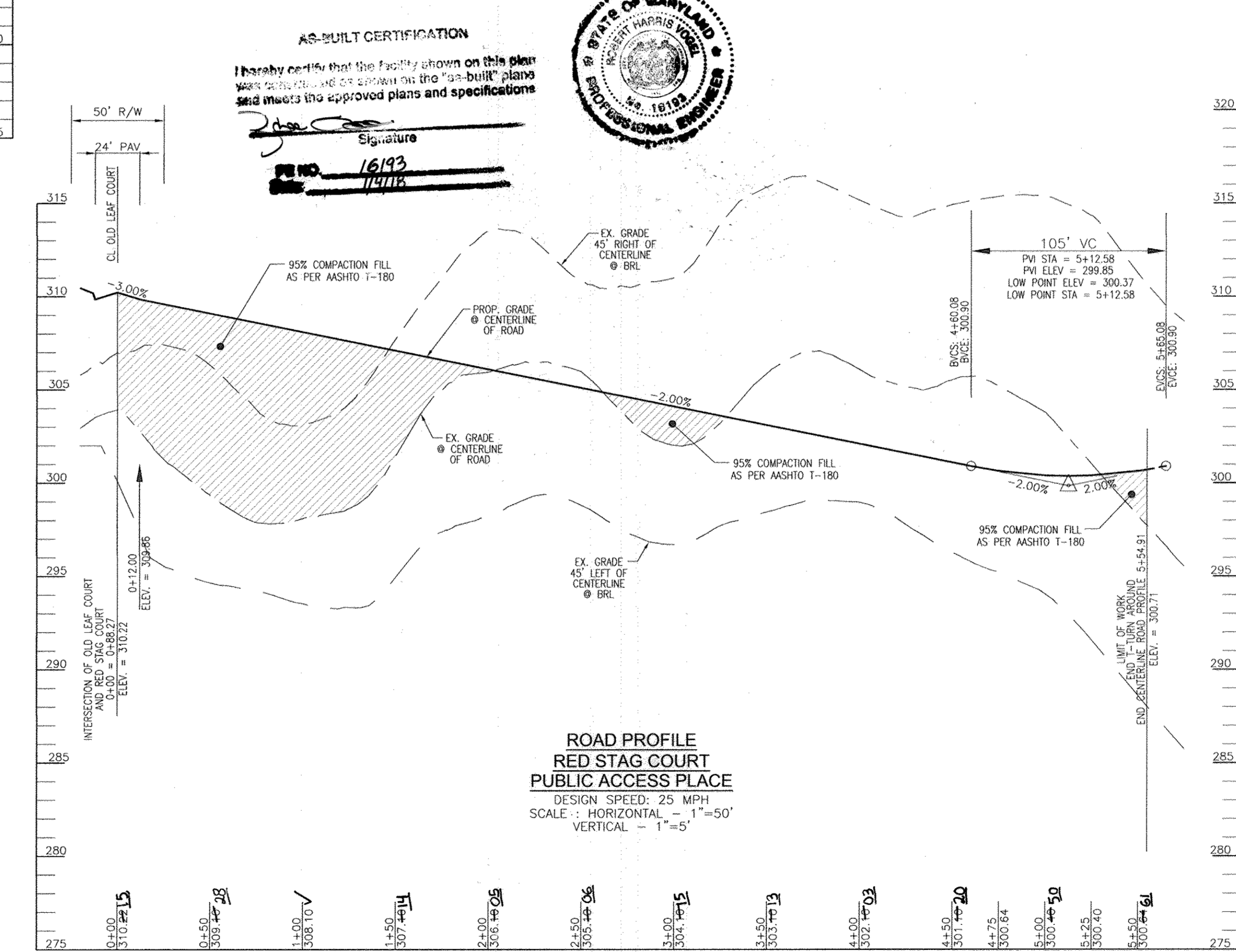
STREET NAME	STATION	OFFSET	FIXTURE/POLE TYPE
RED STAG COURT	0+37	22' LT.	STOP SIGN (R1-1)
RED STAG COURT	0+86	15' RT.	SPEED LIMIT SIGN (R2-1)

STREET NAME	STATION	OFFSET	FIXTURE/POLE TYPE
RED STAG COURT	2+70.00	16.00' RT.	100 WAT VAPS VAPOR PREMIER
RED STAG COURT	5+25.00	19.00' RT.	POST-TOP FIXTURE MOUNTED ON A 14" BLACK FIBERGLASS POLE

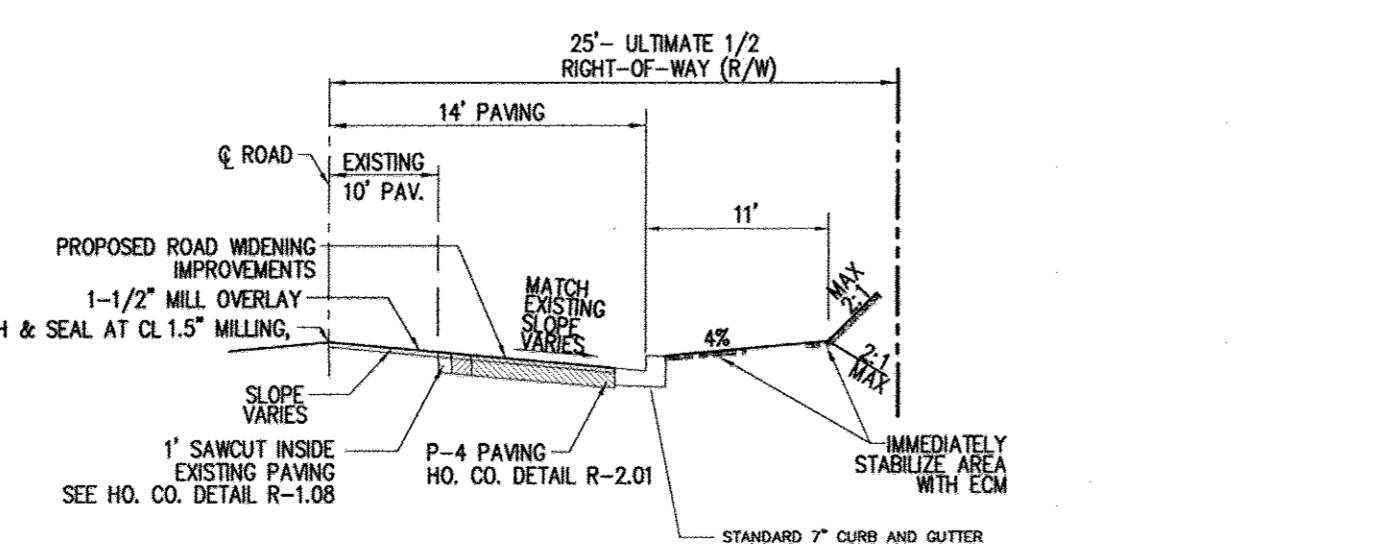
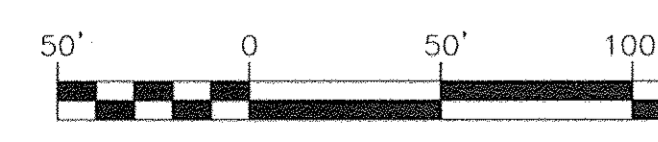


LEGEND:
 PORTIONS OF CONTRACT 661-885 TO BE REMOVED. INCLUDES ALL STRUCTURES AND PIPE.

AS-BUILT CERTIFICATION
 I hereby certify that the facility shown on this plan was constructed and/or approved on the "as-built" plans and meets the approved plans and specifications.



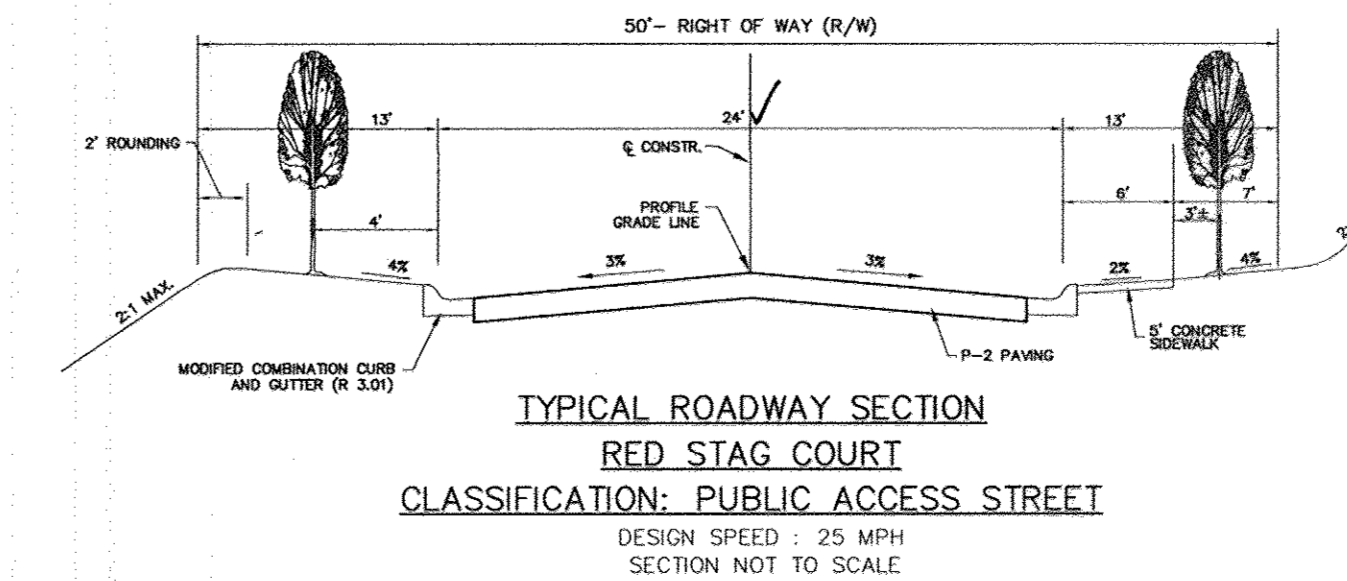
- NOTES:**
- ALL MARKINGS SHALL BE MARKED IN THE FIELD AND APPROVED BY TRAFFIC ENGINEER PRIOR TO INSTALLATION.
 - ALL MARKINGS TO BE PAINT PER HOWARD COUNTY SPECIFICATIONS.
 - ALL INTERSECTIONS WILL HAVE HANDICAP RAMPS IN ACCORDANCE WITH THE COUNTY STANDARD DETAIL.
 - AT NEW INTERSECTION, THE CENTERLINE MARKING ALONG COLLEGE AVENUE SHALL BE REMOVED BY GRINDING ONLY. CONTACT TRAFFIC DIVISION (410-313-5752) FOR LIMITS OF CENTERLINE REMOVAL.
 - REFER TO SHEET 4 FOR COLLEGE AVENUE AND OLD LEAF COURT CURB FILLET PROFILES.



APPROVED: DEPARTMENT OF PUBLIC WORKS
 DATE: 2-27-14
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 DATE: 3-14-14
 APPROVED: CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 3-17-14

OWNER:
 MRAL, LLC, TAYLOR VILLAGE FAMILY, LLC
 MANAGING MEMBER PHILLIP CUGLIOTTI, AUTHORIZED PERSON
 4100 COLLEGE AVENUE, ELLICOTT CITY, MD 21043
 (410) 465-3500

DEVELOPER:
 AUTUMN DEVELOPMENT CORPORATION, RONALD L. SPANH, PRESIDENT
 5401 TWIN KNOLLS ROAD, SUITE 7, COLUMBIA, MD 21045
 (410) 465-3500



NO.	REVISION	DATE

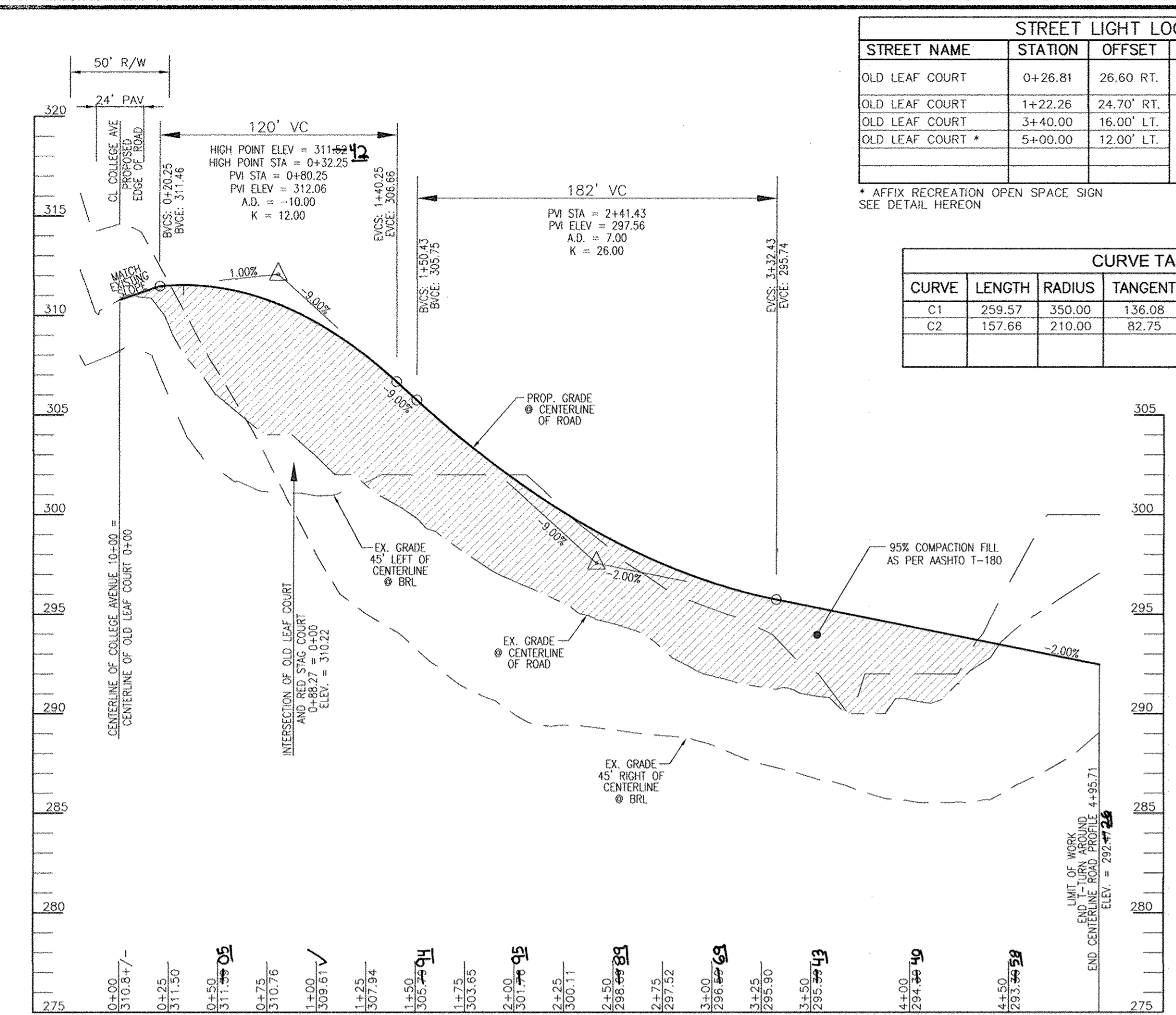
FINAL ROAD CONSTRUCTION PLAN
ROAD PROFILE AND PLAN DETAILS
RED STAG COURT
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 LOTS 1-20, & OPEN SPACE LOTS 21-24
 PARCELS 56 & 309 (L. 12833 / F. 00446)
 PARCEL 95 (L. 13244 / F. 00037)

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET, ELLICOTT CITY, MD 21043
 TEL: 410.461.7666 FAX: 410.461.8961

DESIGN BY: RHW/EDS
 DRAWN BY: JMR/EDS
 CHECKED BY: RHW
 DATE: DECEMBER 2013
 SCALE: AS SHOWN
 W.O. NO.: 10-30

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18193, EXPIRATION DATE: 09-27-2014.

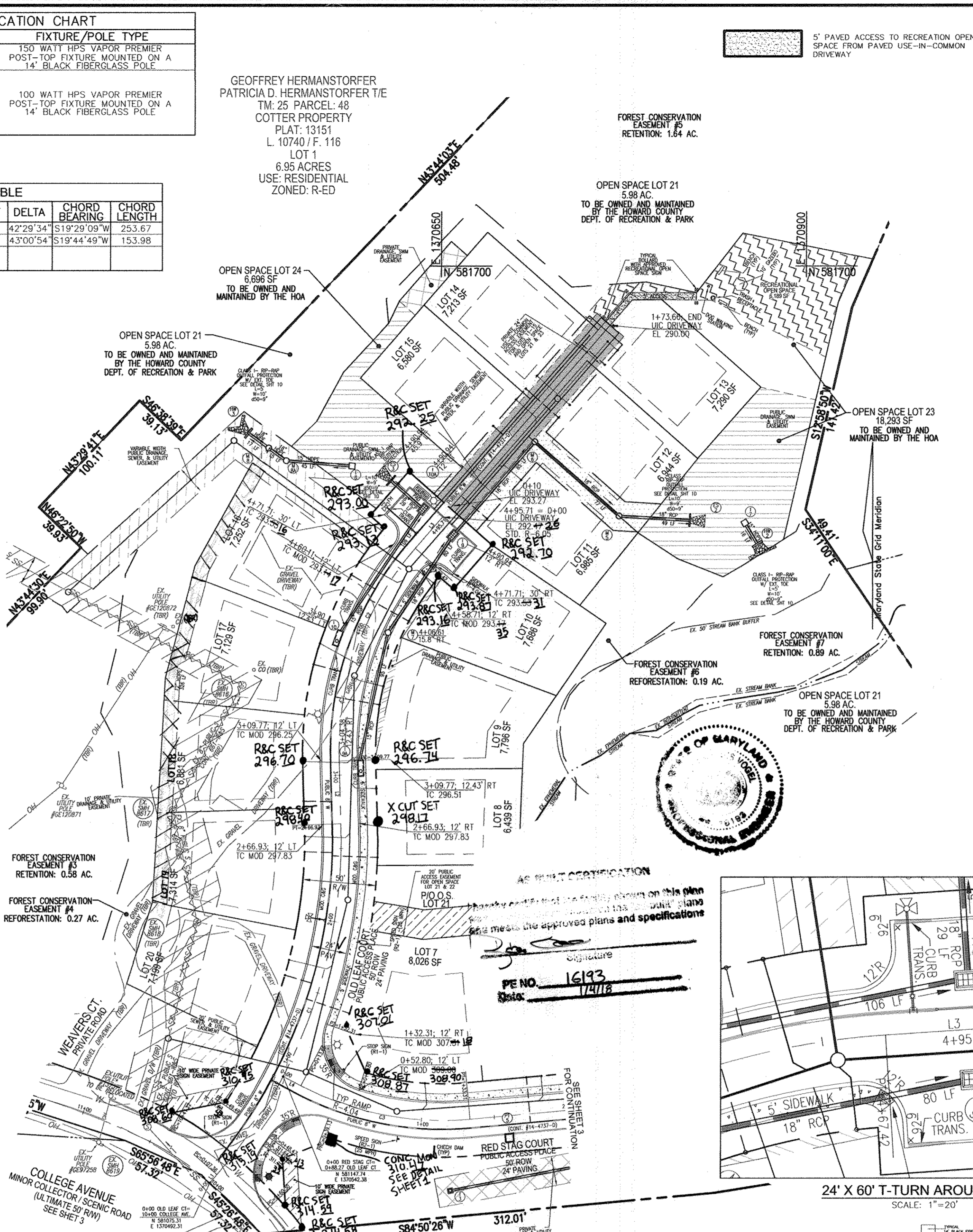
3 SHEET OF 17



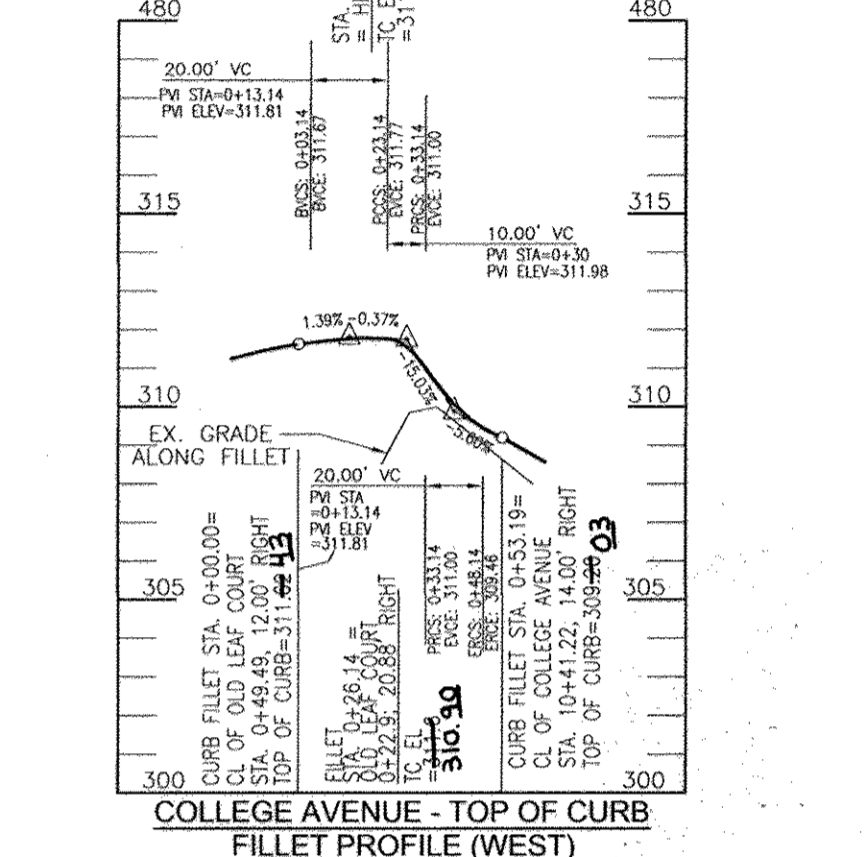
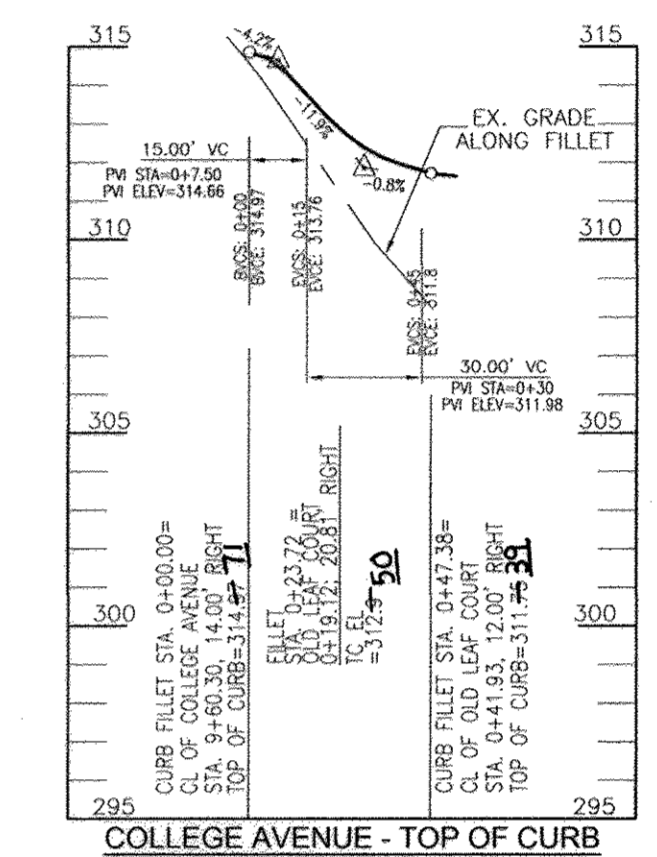
STREET NAME	STATION	OFFSET	FIXTURE/POLE TYPE
OLD LEAF COURT	0+26.81	26.60 RT.	150 WATT HPS VAPOR PREMIER POST-TOP FIXTURE MOUNTED ON A 14" BLACK FIBERGLASS POLE
OLD LEAF COURT	1+22.26	24.70' RT.	100 WATT HPS VAPOR PREMIER POST-TOP FIXTURE MOUNTED ON A 14" BLACK FIBERGLASS POLE
OLD LEAF COURT	3+40.00	16.00' LT.	
OLD LEAF COURT *	5+00.00	12.00' LT.	

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	258.57	350.00	136.08	42°29'34"	S19°29'09"W	253.67
C2	157.66	210.00	82.75	43°00'54"	S19°44'49"W	153.98

ROAD PROFILE
OLD LEAF COURT
PUBLIC ACCESS PLACE
 DESIGN SPEED: 25 MPH
 SCALE: HORIZONTAL - 1"=50'
 VERTICAL - 1"=5'



LEGEND:	DESCRIPTION
[Symbol]	PROPERTY LINE
[Symbol]	RIGHT-OF-WAY LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	EXISTING CURB AND GUTTER
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING MAILBOX
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING SANITARY MANHOLE
[Symbol]	EXISTING SANITARY LINE
[Symbol]	EXISTING CLEANOUT
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING FENCE
[Symbol]	CENTERLINE OF EXISTING STREAM
[Symbol]	PROPOSED STORMDRAIN
[Symbol]	PROPOSED STORMDRAIN INLET
[Symbol]	PROPOSED SIDEWALK
[Symbol]	PROPOSED CURB
[Symbol]	PROPOSED STREET LIGHT
[Symbol]	EXISTING SEWER AND UTILITY EASEMENT
[Symbol]	PROPOSED PUBLIC SEWER & UTILITY EASEMENT
[Symbol]	RECREATIONAL OPEN SPACE
[Symbol]	20' PUBLIC ACCESS EASEMENT TO OPEN SPACE LOT 21
[Symbol]	PRIVATE 24' USE-IN-COMMON ACCESS EASEMENT FOR LOTS 11-15 AND OPEN SPACE LOTS 21 & 23
[Symbol]	PRIVATE SWIM & UTILITY EASEMENT
[Symbol]	PUBLIC SWIM & UTILITY EASEMENT
[Symbol]	VARIABLE WIDTH PUBLIC DRAINAGE, SEWER, WATER, & UTILITY EASEMENT
[Symbol]	10' WIDE PRIVATE SIGN EASEMENT

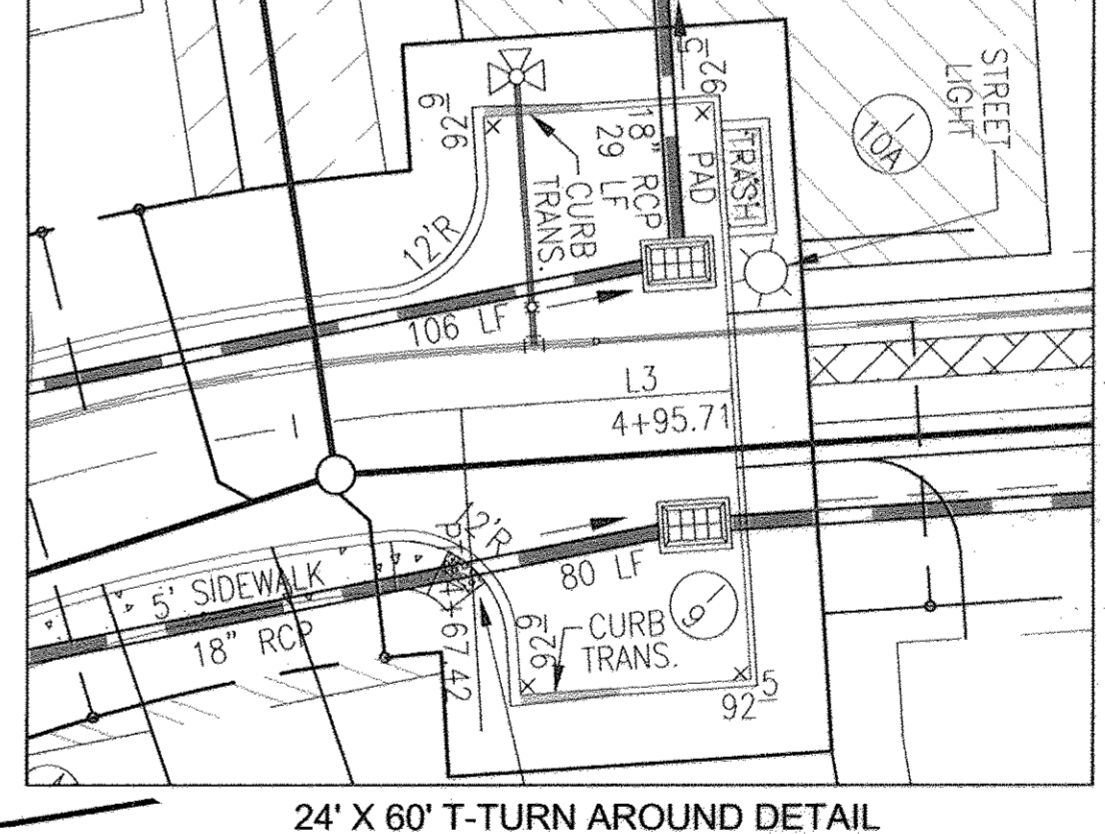


COLLEGE AVENUE - TOP OF CURB
FILLET PROFILE (EAST)
 DESIGN SPEED: 25 MPH
 SCALE: HORIZONTAL - 1"=50'
 VERTICAL - 1"=5'

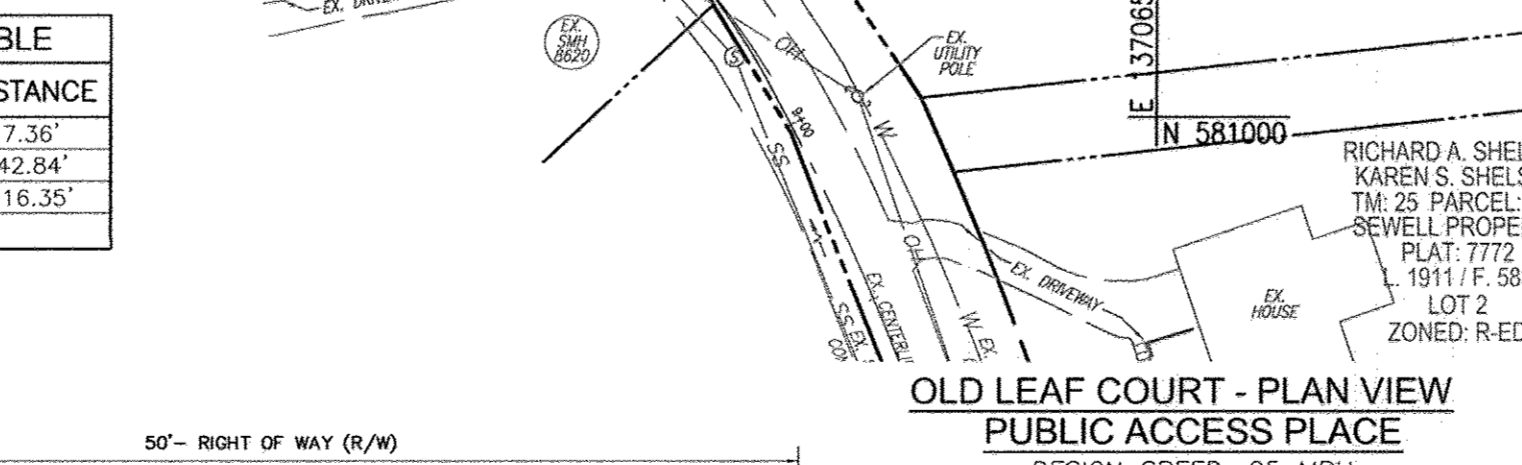
COLLEGE AVENUE - TOP OF CURB
FILLET PROFILE (WEST)
 DESIGN SPEED: 25 MPH
 SCALE: HORIZONTAL - 1"=50'
 VERTICAL - 1"=5'

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING BOLT (CBB)	MIN. DIA. (IN)	MIN. LENGTH (IN)	MIN. SPACING (IN)	MIN. DEPTH (IN)	MIN. BURIAL (IN)	MIN. COVER (IN)	MIN. PROTECTIVE SURFACE (IN)
P-1	RESIDENTIAL	1/2"	1/2"	12"	12"	12"	12"	12"	12"
P-2	RESIDENTIAL	3/8"	3/8"	12"	12"	12"	12"	12"	12"
P-3	RESIDENTIAL	1/2"	1/2"	12"	12"	12"	12"	12"	12"
P-4	RESIDENTIAL	3/8"	3/8"	12"	12"	12"	12"	12"	12"

PAVING SECTIONS
 P-1 to P-4
 Detail R-2.01

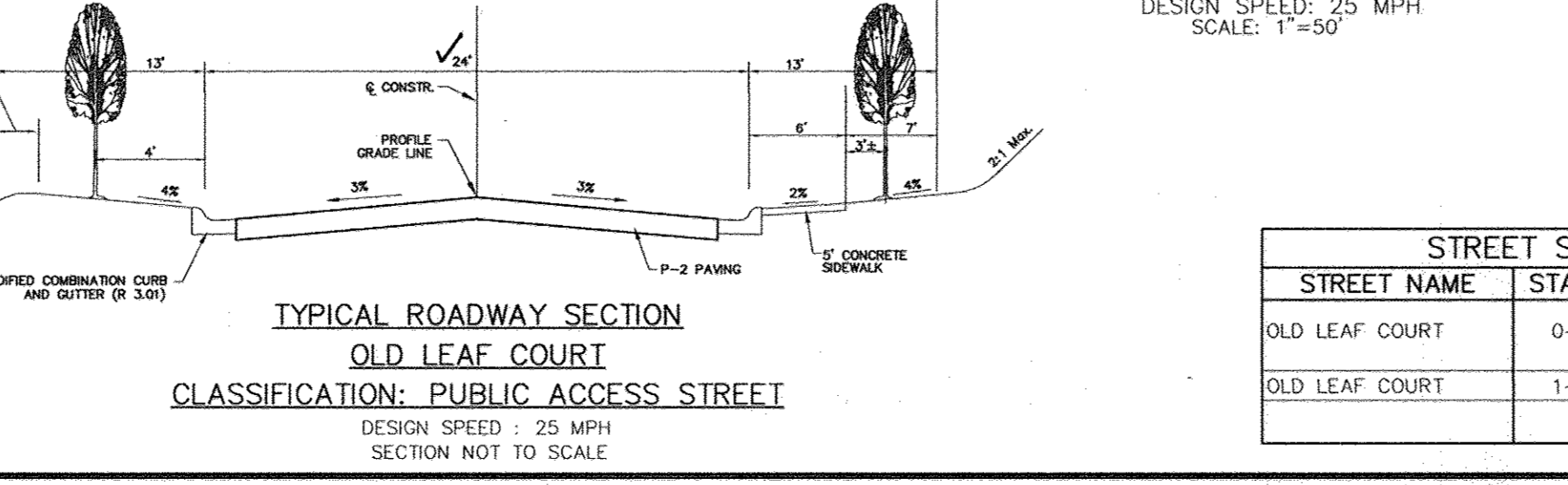


24' X 60' T-TURN AROUND DETAIL
 SCALE: 1"=20'



OLD LEAF COURT - PLAN VIEW
PUBLIC ACCESS PLACE
 DESIGN SPEED: 25 MPH
 SCALE: 1"=50'

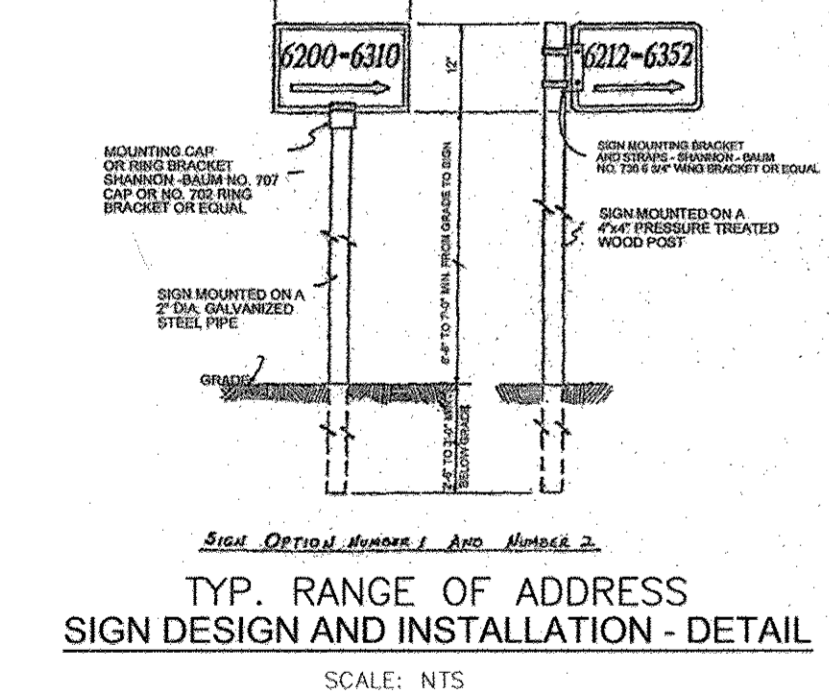
LINE	BEARING	DISTANCE
L1	N40°43'56"E	7.36'
L2	N01°45'38"W	42.84'
L3	N41°15'16"E	116.35'



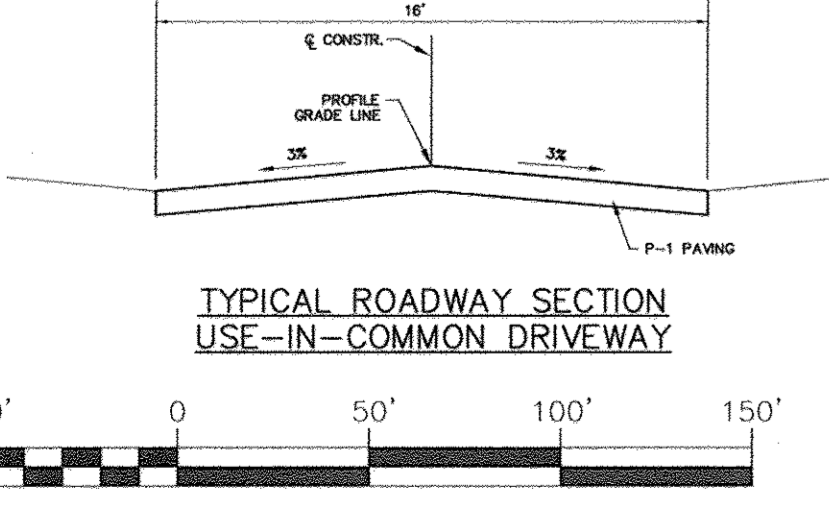
TYPICAL ROADWAY SECTION
OLD LEAF COURT
 CLASSIFICATION: PUBLIC ACCESS STREET
 DESIGN SPEED: 25 MPH
 SECTION NOT TO SCALE

STREET NAME	STATION	OFFSET	FIXTURE/POLE TYPE
OLD LEAF COURT	0+25	23' LT.	STOP SIGN (R1-1) STREET SIGN (D3-1) PROP. ROAD 'A'
OLD LEAF COURT	1+90	19' RT.	SPEED LIMIT SIGN (R2-1)

STREET SIGN LOCATION CHART

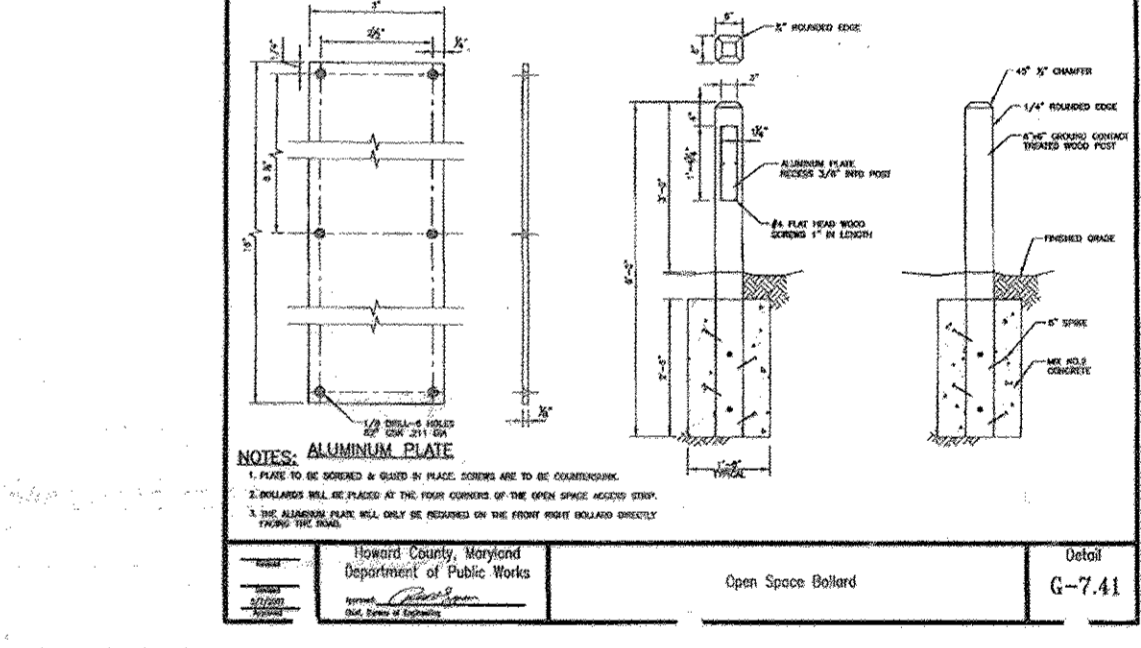


TYP. RANGE OF ADDRESS
SIGN DESIGN AND INSTALLATION - DETAIL
 SCALE: NTS



TYPICAL ROADWAY SECTION
USE-IN-COMMON DRIVEWAY

APPROVED: DEPARTMENT OF PUBLIC WORKS
 [Signature]
 CHIEF, BUREAU OF HIGHWAYS
 DATE: 2-27-14
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 3-17-14
 APPROVED: [Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 3-17-14



NO.	REVISION	DATE

FINAL ROAD CONSTRUCTION PLAN
ROAD PROFILE AND PLAN DETAILS
OLD LEAF COURT
AUTUMN OVERLOOK
 LOTS 1-20, & OPEN SPACE LOTS 21-24
 PARCELS 56 & 309 (L. 12833 / F. 00446)
 PARCEL 95 (L. 13244 / F. 00037)
 TAX MAP: 25 GRID: 14
 2ND ELECTION DISTRICT
 PARCELS: 56, 309, AND 95
 HOWARD COUNTY, MARYLAND
 DPZ REF'S: SEE NOTE # 11

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS - SURVEYORS - PLANNERS
 8407 MAIN STREET
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4 SHEET OF 17

SOILS LEGEND					
SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	K-FACTOR	PERCENT FARMLAND
LeC	LEGORE SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	0.02	NO
McD	MANOR LOAM, 15 TO 25 PERCENT SLOPES, VERY ROCKY	B	NO	0.28	NO
MgF	MANOR-BANNERTOWN SANDY LOAMS, 25 TO 65 PERCENT SLOPES, ROCKY	B	NO	0.24	NO

NOTE:
 - SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 - SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART
 - DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

NOTE: LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.

- NOTES**
- REFER TO SHEET 8 FOR SEQUENCE OF CONSTRUCTION
 - REFER TO SHEET 8 FOR TRAP SCHEDULE
 - REFER TO SHEETS 7 & 8 FOR STANDARD DETAILS AND STABILIZATION NOTES
 - REFER TO SHEETS 6 FOR STANDARD STABILIZATION NOTE.

GERMAN E. FLORES RENGIFO
 MARIA WALEWSKA RODRIGUEZ TIE
 TM: 25 PARCEL 48
 COTTER PROPERTY
 PLAT: 13151
 L 12497 / F. 276
 LOT 2
 0.79 ACRES
 USE: RESIDENTIAL
 ZONED: R-ED

RAYMOND R. SADLER
 PATRICIA E. SADLER
 TM: 25 PARCEL 234
 L 1105 / F. 222
 0.53 ACRES
 USE: RESIDENTIAL
 ZONED: R-ED

GARY C. BROWER
 CHERYL M. BROWER TIE
 TM: 25 PARCEL 49
 SWANER PROPERTY
 PLAT: 5347
 L 7278 / F. 320
 LOT 2
 ZONED: R-ED

DALLAS KNUDSON
 TM: 25 PARCEL 22
 L 9173 / F. 587
 1.25 ACRES
 USE: RESIDENTIAL
 ZONED: R-ED

NOTE:
 REFER TO SHEET 2 FOR THE AREAS OF STEEP SLOPES WHICH CAN BE DISTURBED AND AS WELL AS THE SPECIMEN TREES ALLOWED TO BE REMOVED UNDER WP-12-165

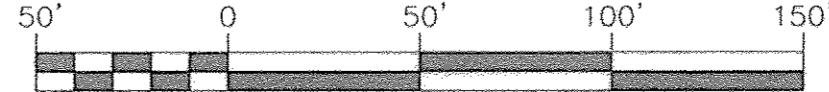
APPROVED: DEPARTMENT OF PUBLIC WORKS
 [Signature] 2-27-14
 CHIEF, BUREAU OF HIGHWAYS
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 3-14-14
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 APPROVED: [Signature] 3-17-14
 CHIEF, DIVISION OF LAND DEVELOPMENT

BY THE DEVELOPER:
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
 [Signature] 12-6-13
 SIGNATURE OF DEVELOPER DATE

BY THE ENGINEER:
 "I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 [Signature] 1/17/14
 SIGNATURE OF ENGINEER DATE

GRADING PLAN
 SCALE: 1"=50'
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 2/10/14
 HOWARD S.C.D. DATE

NOTE:
 CONTRACTOR TO PROVIDE IMMEDIATE REPAIR OF ANY EARTH DIKES INTERRUPTED DURING CONSTRUCTION.



LEGEND:

---	PROPERTY LINE	---	EXISTING FENCE
---	RIGHT-OF-WAY LINE	---	CENTERLINE OF EXISTING STREAM
---	ADJACENT PROPERTY LINE	---	PROPOSED TREETRINE
---	EXISTING CURB AND GUTTER	---	EXISTING SEWER AND UTILITY EASEMENT
---	EXISTING UTILITY POLE	---	PROPOSED PUBLIC SITE DISTANCE EASEMENT
---	EXISTING LIGHT POLE	---	PROPOSED 10' CONTOUR
---	EXISTING MAILBOX	---	PROPOSED 2' CONTOUR
---	EXISTING SIGN	---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
---	EXISTING SANITARY MANHOLE	---	PROPOSED SUPER SILT FENCE
---	EXISTING SANITARY LINE	---	PROPOSED LIMIT OF DISTURBANCE
---	EXISTING CLEANOUT	---	PROPOSED TREE PROTECTION FENCE
---	EXISTING FIRE HYDRANT	---	PROPOSED DRAINAGE DIVIDE
---	EXISTING WATER LINE	---	EXISTING DRAINAGE DIVIDE
---	EXISTING 10' CONTOUR	---	EARTH DIKE
---	EXISTING 2' CONTOUR	---	
---	SOILS	---	
---	EXISTING TREETRINE	---	
---	EXISTING TREES	---	
---	EXISTING MODERATE SLOPES	---	
---	EXISTING STEEP SLOPES	---	

SEDIMENT TRAP #2 TSWM DATA
 REFER TO SHEET 8 FOR TRAP SCHEDULE

EX. Q1	1.6 CFS
PROP. Q1	1.4 CFS
Q1 STORAGE PROVIDED:	13,200 CF ± 271.33

SEDIMENT TRAP #3 TSWM DATA
 REFER TO SHEET 8 FOR TRAP SCHEDULE

EX. Q1	2.5 CFS
PROP. Q1	0.3 CFS
Q1 STORAGE PROVIDED:	13,280 CF ± 278.00

NOTE:
 TRAP #2 AND TRAP #3 SHALL HAVE FLEXIBLE TUBING INSTALLED TO THE OUTFALL OF THE P.O.S.T. BARREL AND SHALL FOLLOW THE PATH SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR THROUGH THE STREAM BUFFER, DOWN THE SLOPES TO AN ACCEPTABLE OUTLET.



NO AS-BUILT INFORMATION ON THIS SHEET

NOTE:
 EITHER PERMANENT OR TEMPORARY STABILIZATION IS TO BE APPLIED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR REGARDLESS OF DAYS/DATES IN THE STANDARD SEDIMENT CONTROL NOTES AND/OR SEEDING SPECIFICATIONS.

AS-BUILT CERTIFICATION

I hereby certify that the facility shown on this plan was constructed as shown on the as-built plans and meets the approved plans and specifications.

OWNER
 MRJL FAMILY LIMITED PARTNERSHIP; TAYLOR VILLAGE FAMILY, LLC
 MANAGING MEMBER PHILLIP GUGLIOTTI, AUTHORIZED PERSON
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MD 21043
 (410) 465-3500

DEVELOPER
 AUTUMN DEVELOPMENT CORPORATION, RONALD L. SPANIN, PRESIDENT
 5401 TWIN KNOLLS ROAD, SUITE 7
 COLUMBIA, MD 21045
 (410) 465-3500

NO.	REVISION	DATE

FINAL ROAD CONSTRUCTION PLAN
SOILS MAP, PHASE 1 GRADING AND SOIL EROSION, AND SEDIMENT CONTROL PLAN
AUTUMN OVERLOOK
LOTS 1-20, & OPEN SPACE LOTS 21-24
 PARCELS 56 & 309 (L. 12833 / F. 00446)
 PARCEL 95 (L. 13244 / F. 00037)
 ZONED: R-ED
 TAX MAP: 25 GRD: 14
 2ND ELECTION DISTRICT
 PARCELS: 56, 309, AND 95
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410-461-7666
 FAX: 410-461-8961

DESIGN BY: RHV/EDS
 DRAWN BY: JMR/EDS
 CHECKED BY: RHV
 DATE: DECEMBER 2013
 SCALE: AS SHOWN
 W.O. NO.: 10-30

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
 EXPIRATION DATE: 09-27-2014

5 SHEET OF 17

LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- SOILS
- EXISTING TREELINE
- EXISTING TREES
- EXISTING MODERATE SLOPES
- EXISTING STEEP SLOPES
- EXISTING FENCE
- CENTERLINE OF EXISTING STREAM
- PROPOSED STORMDRAIN
- PROPOSED STORMDRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED TREELINE
- PROPOSED CURB
- PROPOSED STREET LIGHT
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- EXISTING SEWER AND UTILITY EASEMENT
- PROPOSED PUBLIC SEWER & UTILITY EASEMENT
- PROPOSED 20' PUBLIC ACCESS EASEMENT TO OPEN SPACE LOT 21
- PROPOSED PRIVATE DRAINAGE SWIM & UTILITY EASEMENT
- PROPOSED PUBLIC DRAINAGE SWIM & UTILITY EASEMENT
- PROPOSED PUBLIC DRAINAGE & UTILITY EASEMENT
- 10' WIDE PRIVATE SIGN EASEMENT
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED SUPER SILT FENCE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED CURB INLET PROTECTION
- PROPOSED STANDARD INLET PROTECTION
- PROPOSED TREE PROTECTION FENCE
- EARTH DIKE
- PERMANENT SOIL STABILIZATION MATTING - CHANNEL
- PERMANENT SOIL STABILIZATION MATTING - SLOPE
- PSSMC * 1.5
- PSSMS * 2.0

Standard Stabilization Note

Following initial soil disturbance or re-disturbance, permanent or temporary stabilization must be completed within:

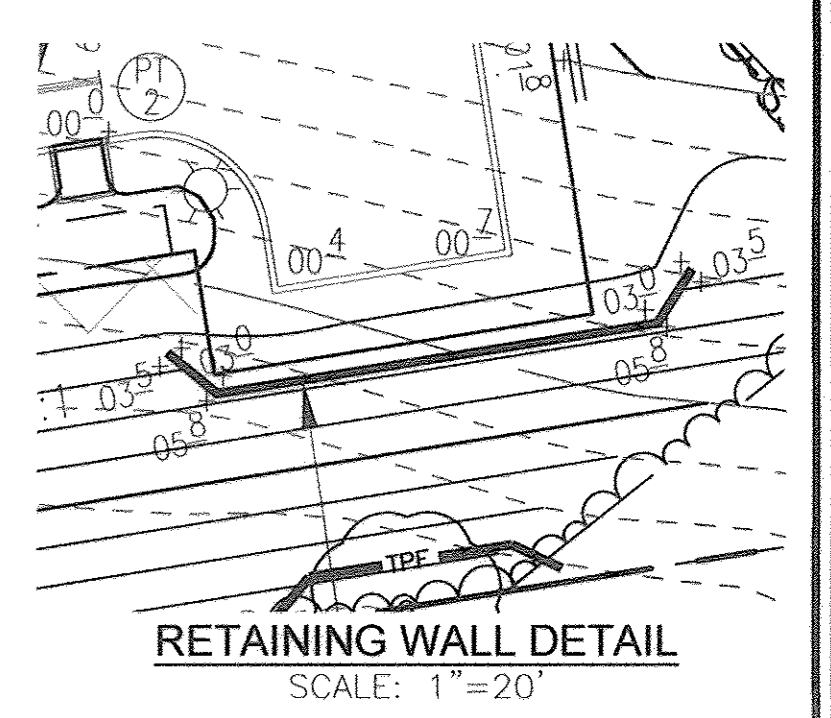
- Three (3) calendar days as to the surface of all perimeter dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and
- Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading.

NOTE:
EITHER PERMANENT OR TEMPORARY STABILIZATION IS TO BE APPLIED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR REGARDLESS OF DAYS/DATES IN THE STANDARD SEDIMENT CONTROL NOTES AND/OR SEEDING SPECIFICATIONS.

UPON COMPLETION OF CLEARING, IMMEDIATELY STABILIZE AREA COMMON TO RECREATION OPEN SPACE

NOTE:
- SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- SILT FENCE SHALL BE CURLED UPHILL. NO MORE THAN 35 FEET APART
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

NOTE: LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.



SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	K-FACTOR	PRIME FARMLAND
LeC	LEGORE SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	0.02	NO
McD	MANOR LOAM, 15 TO 25 PERCENT SLOPES, VERY ROCKY	B	NO	0.28	NO
MgF	MANOR-BANNERTOWN SANDY LOAMS, 25 TO 65 PERCENT SLOPES, ROCKY	B	NO	0.24	NO

OWNER
MR.L. FAMILY LIMITED PARTNERSHIP-TAYLOR VILLAGE FAMILY, LLC
MANAGING MEMBER PHILLIP G. GLOTTI, AUTHORIZED PERSON
4100 COLLEGE AVENUE
ELICOTT CITY, MD 21043
(410) 465-3500

TAYLOR FAMILY LIMITED PARTNERSHIP "A", VILLAGE CREST, LLC
MANAGING MEMBER BRUCE TAYLOR, AUTHORIZED PERSON
4100 COLLEGE AVENUE
ELICOTT CITY, MD 21043
(410) 465-3500

DEVELOPER
AUTUMN DEVELOPMENT CORPORATION, RONALD L. SPANH, PRESIDENT
5401 TWIN KNOLLS ROAD, SUITE 7
COLUMBIA, MD 21045
(410) 465-3500

NO.	REVISION	DATE

**FINAL ROAD CONSTRUCTION PLAN
SOILS MAP, PHASE 2 GRADING AND SOIL EROSION
AND SEDIMENT CONTROL PLAN
AUTUMN OVERLOOK
LOTS 1-20, & OPEN SPACE LOTS 21-24
PARCELS 56 & 309 (L. 12833 / F. 00446)
PARCEL 95 (L. 13244 / F. 00037)**

REF: SEE NOTE # 11

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

AS-BUILT CERTIFICATION

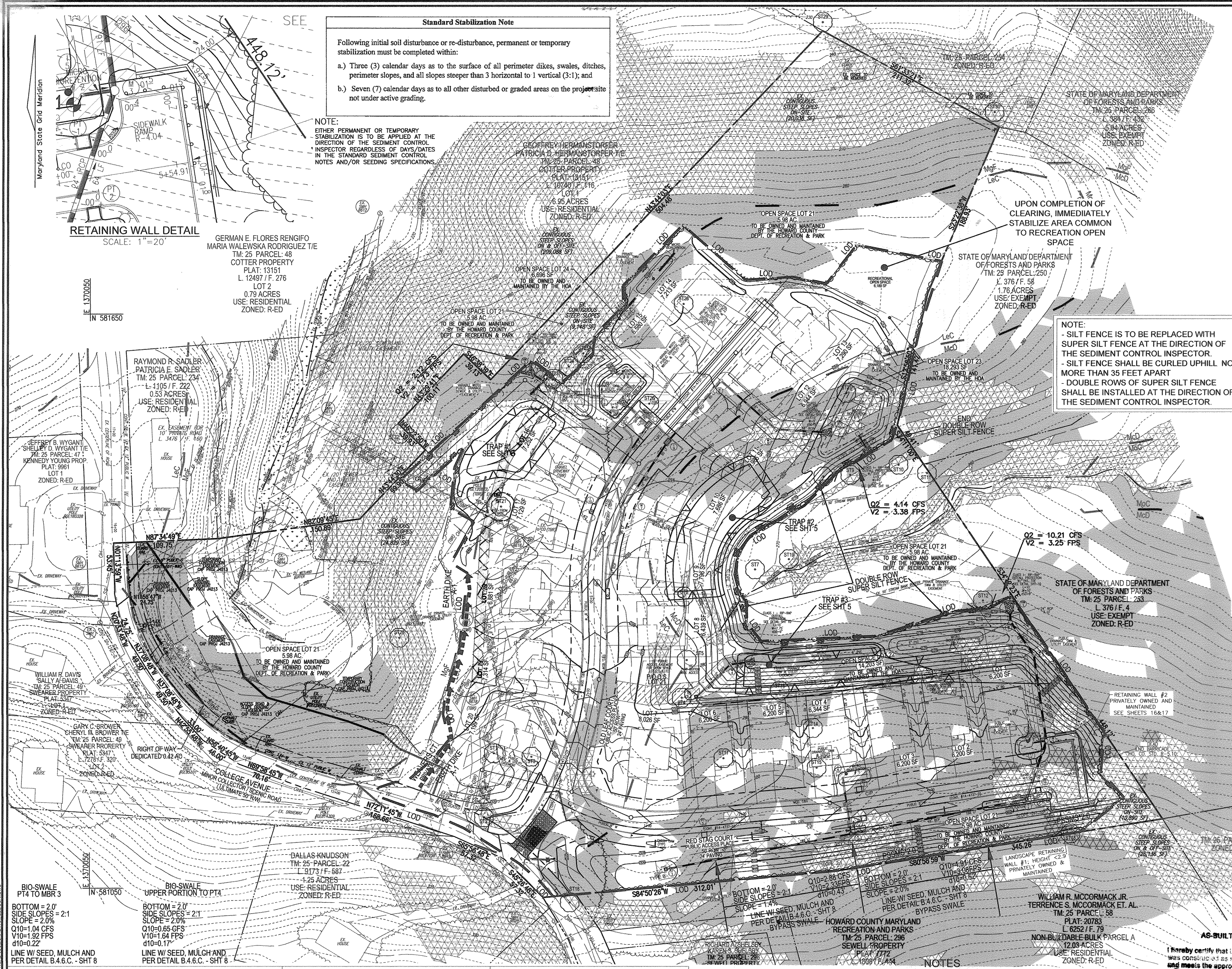
I hereby certify that the facility shown on this plan was constructed as shown on the "as-built" plan and meets the approved plans and specifications.

Signature: _____
Date: 7/17/13

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2014.

DESIGN BY: RHV/EDS
DRAWN BY: JMR/EDS
CHECKED BY: RHV
DATE: DECEMBER 2013
SCALE: AS SHOWN
W.O. NO.: 10-30

6 SHEET OF 17



APPROVED: DEPARTMENT OF PUBLIC WORKS

2-27-14

CHIEF, BUREAU OF HIGHWAYS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

3-14-14

CHIEF, DEVELOPMENT ENGINEERING DIVISION

3-17-14

CHIEF, DIVISION OF LAND DEVELOPMENT

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: _____
Date: 12-6-13

BY THE ENGINEER:

I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: _____
Date: 1/17/14

GRADING PLAN
SCALE: 1"=50'

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

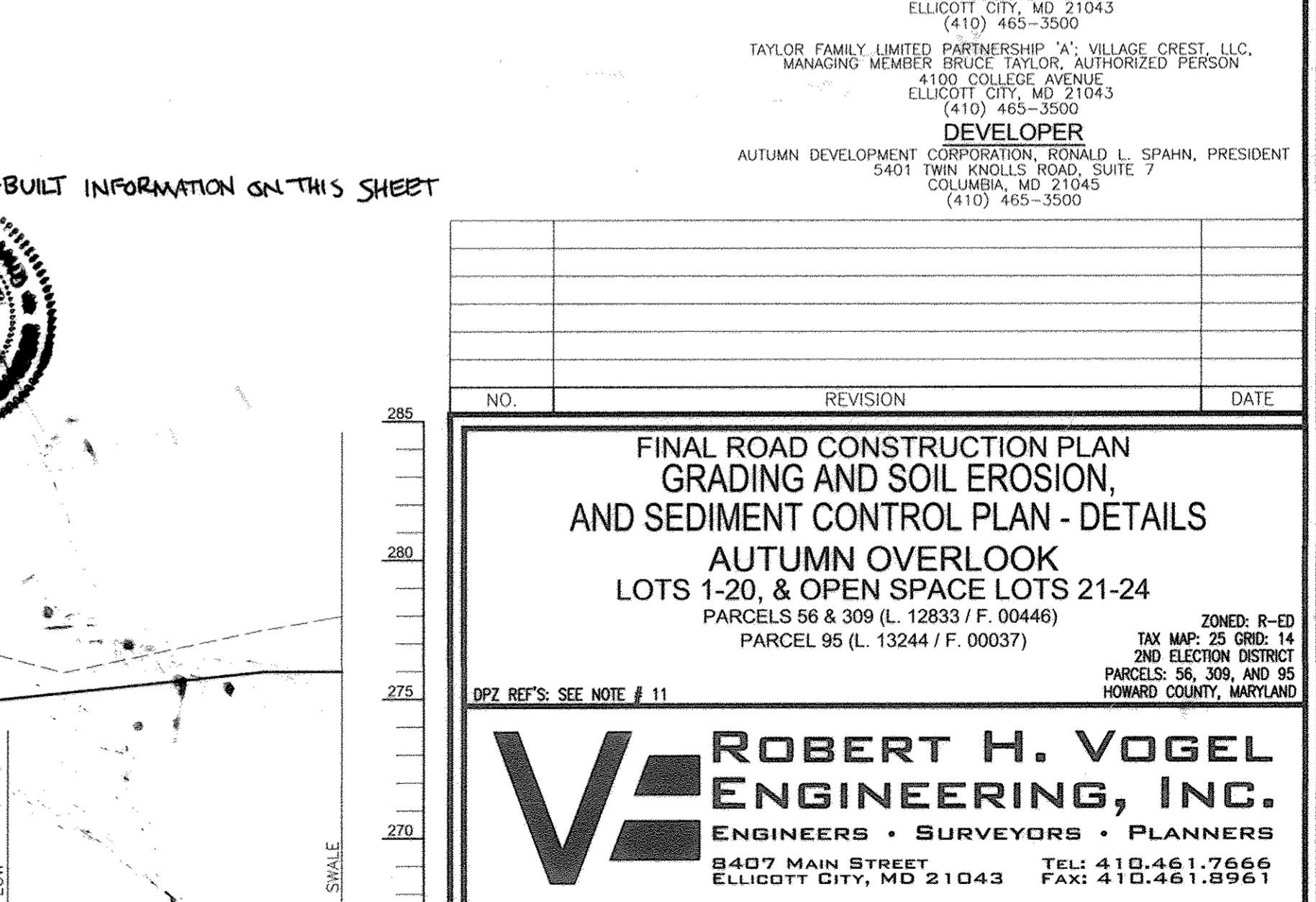
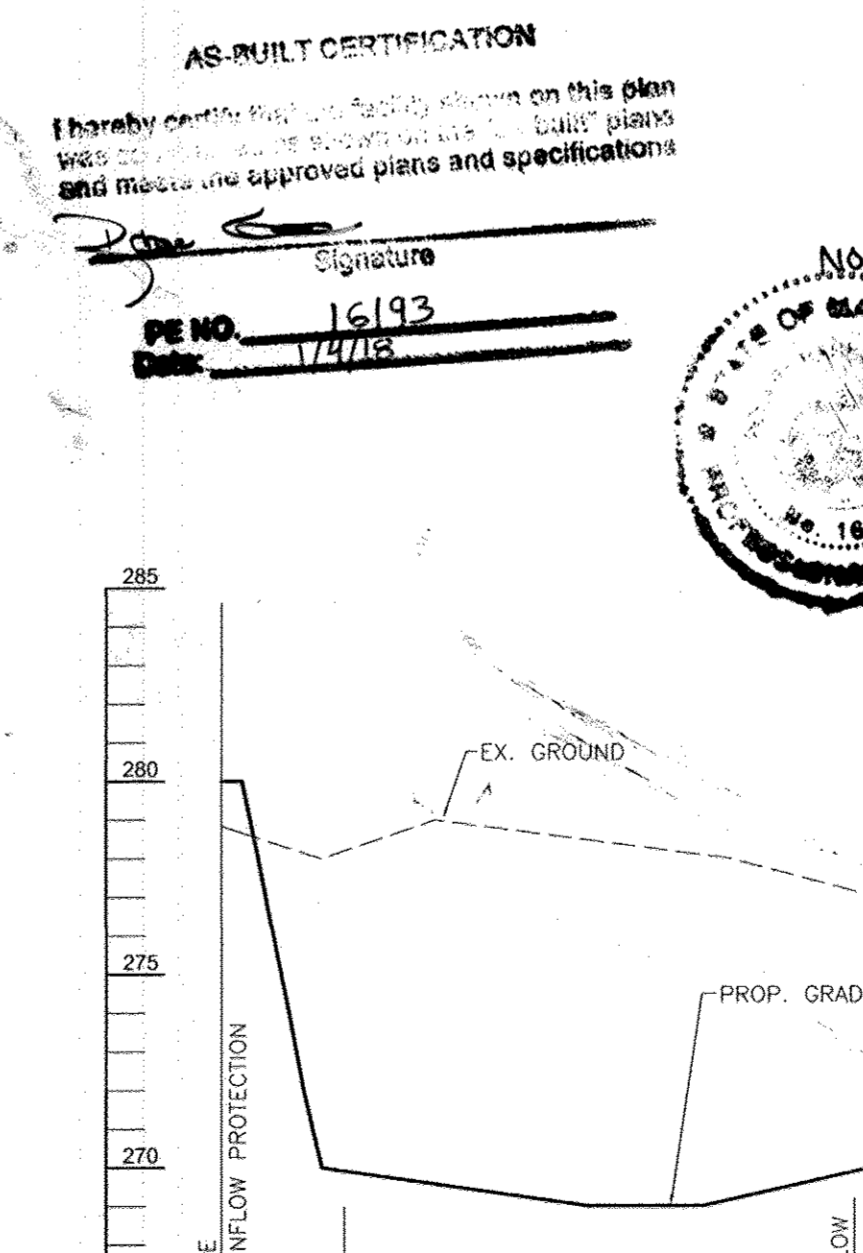
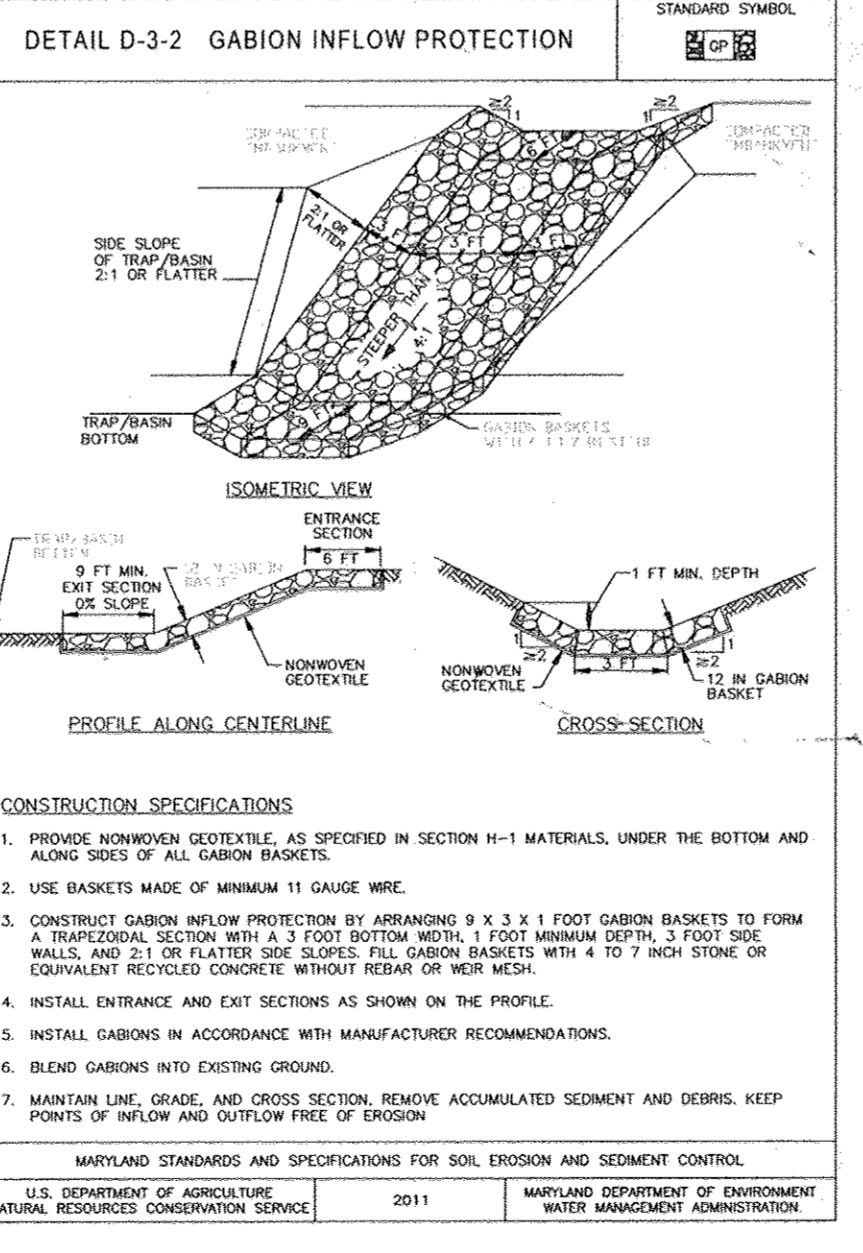
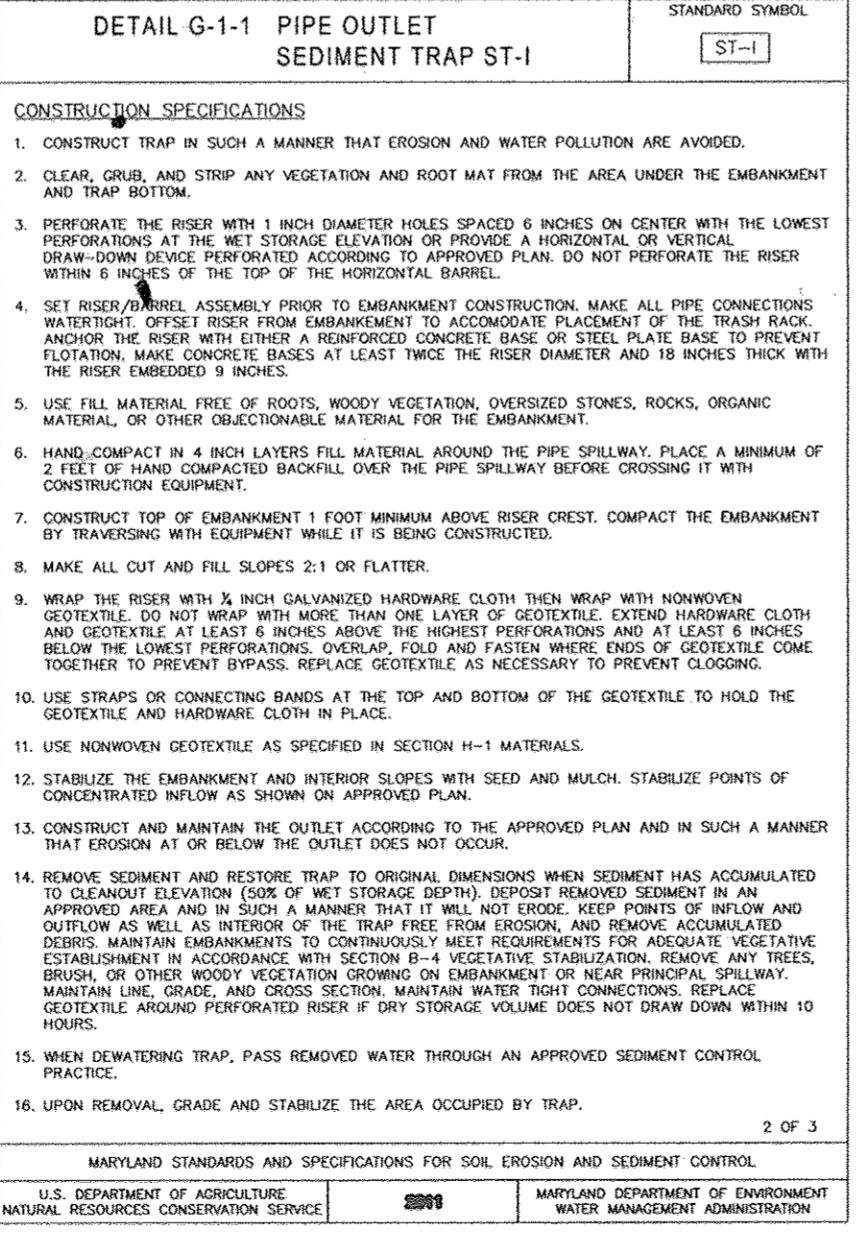
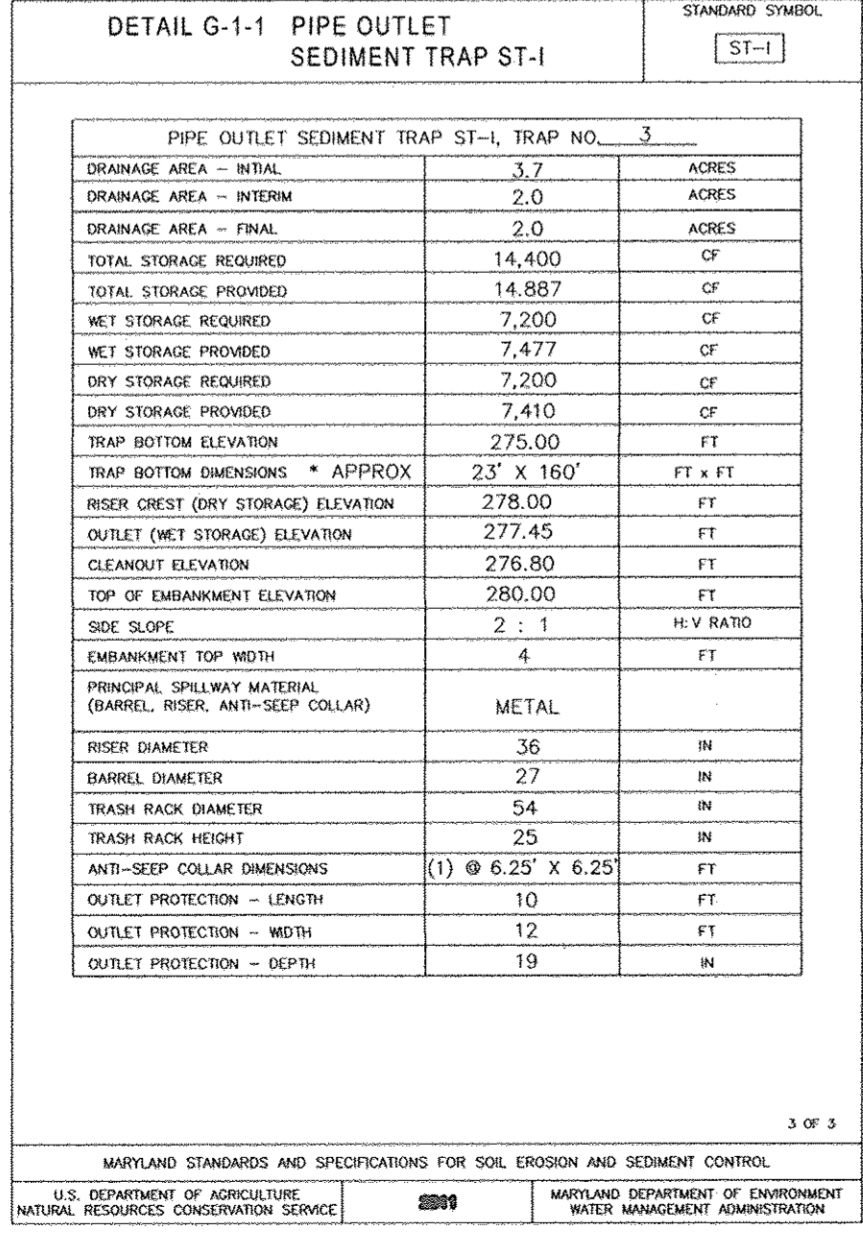
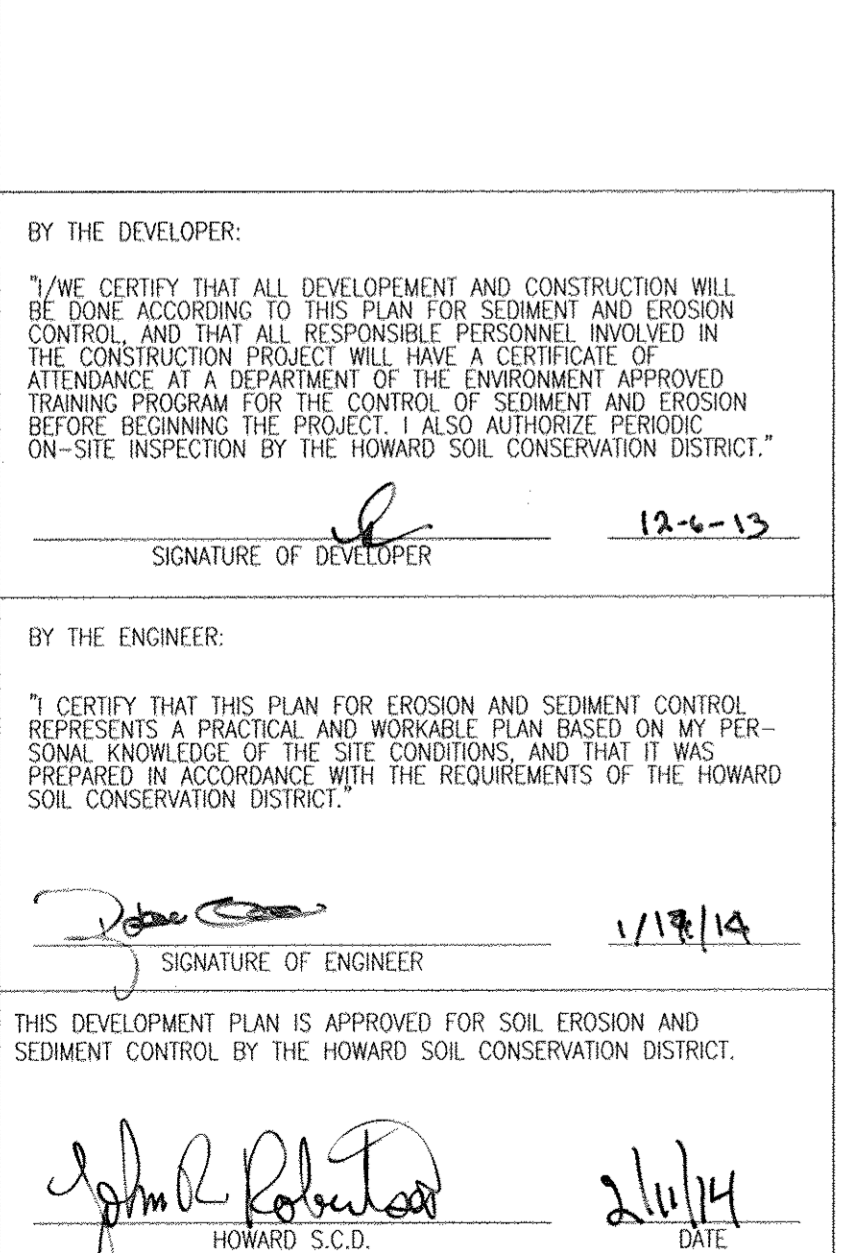
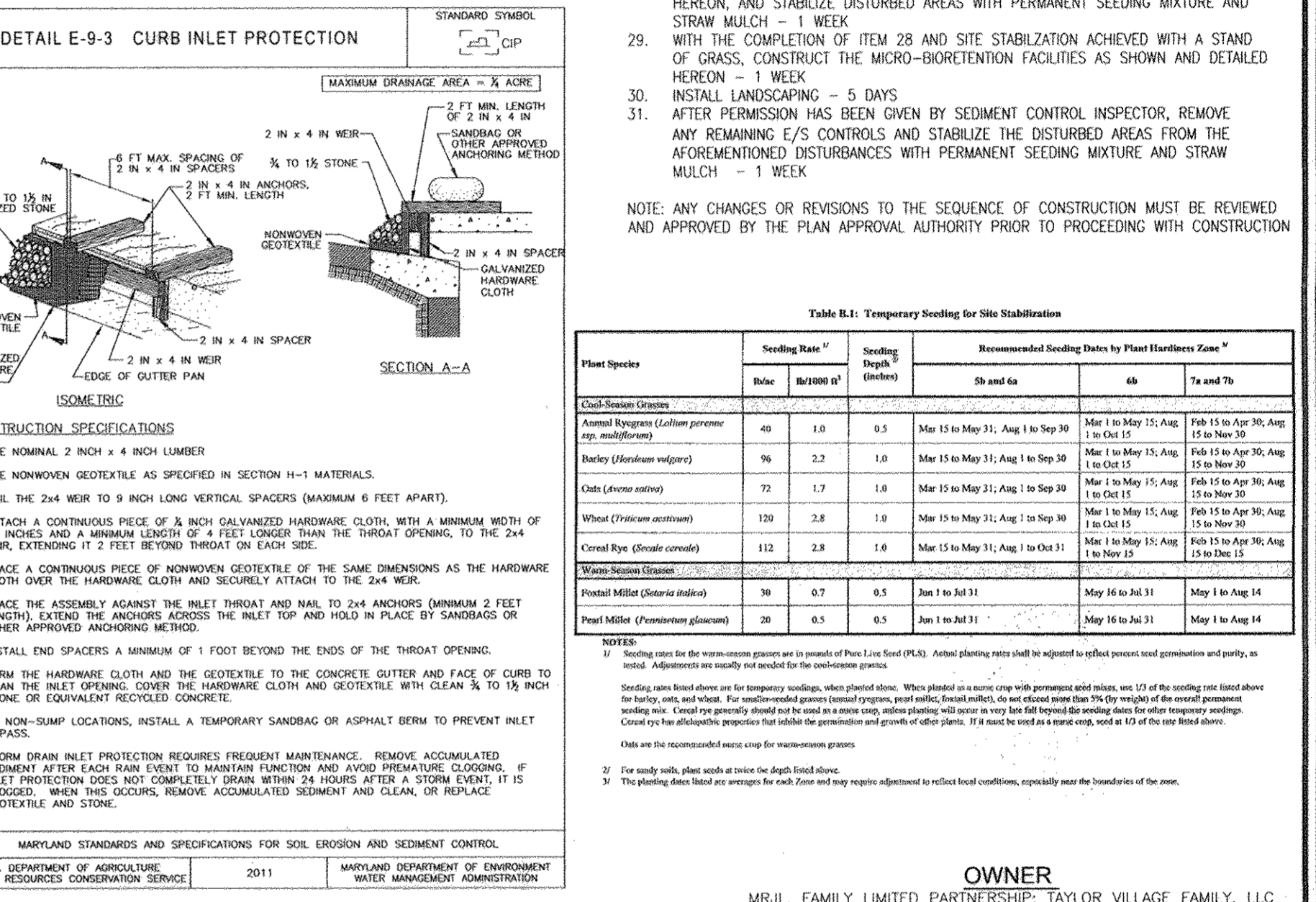
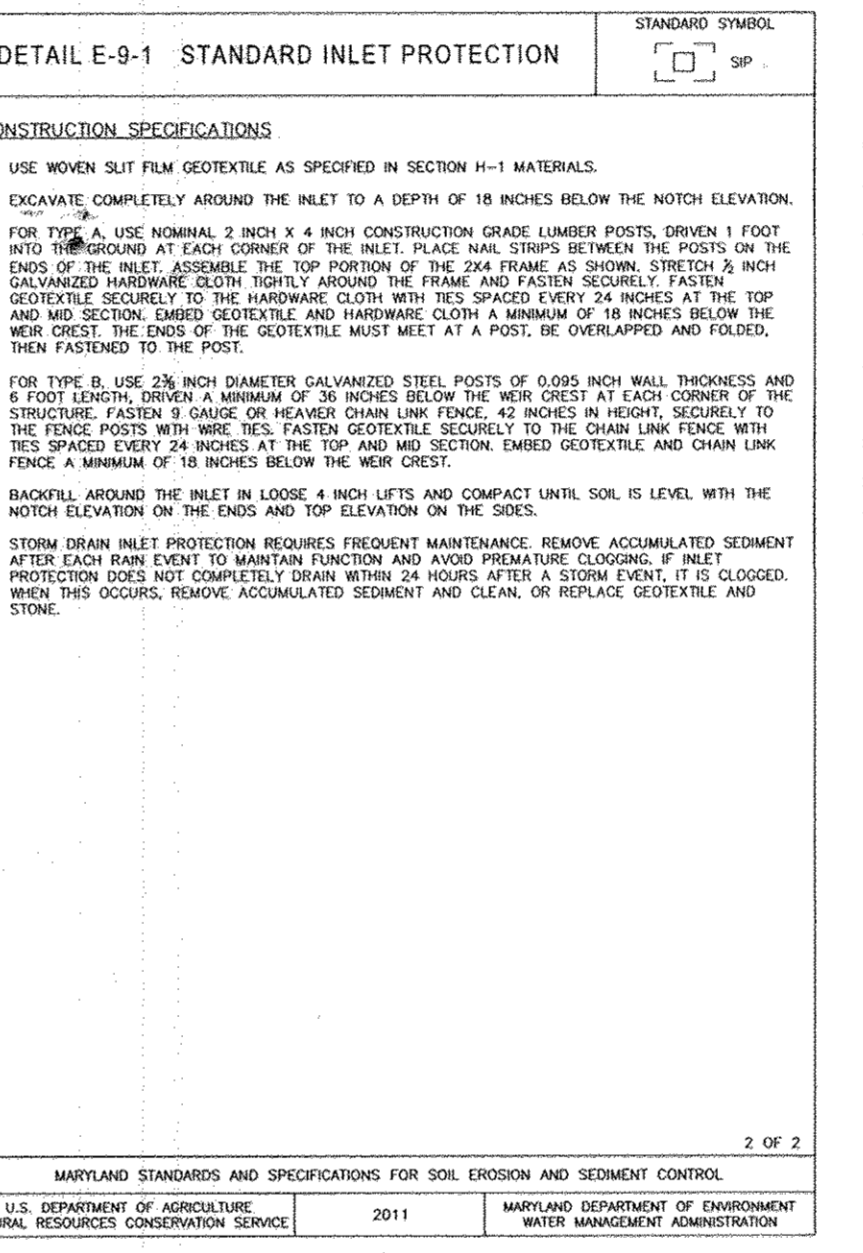
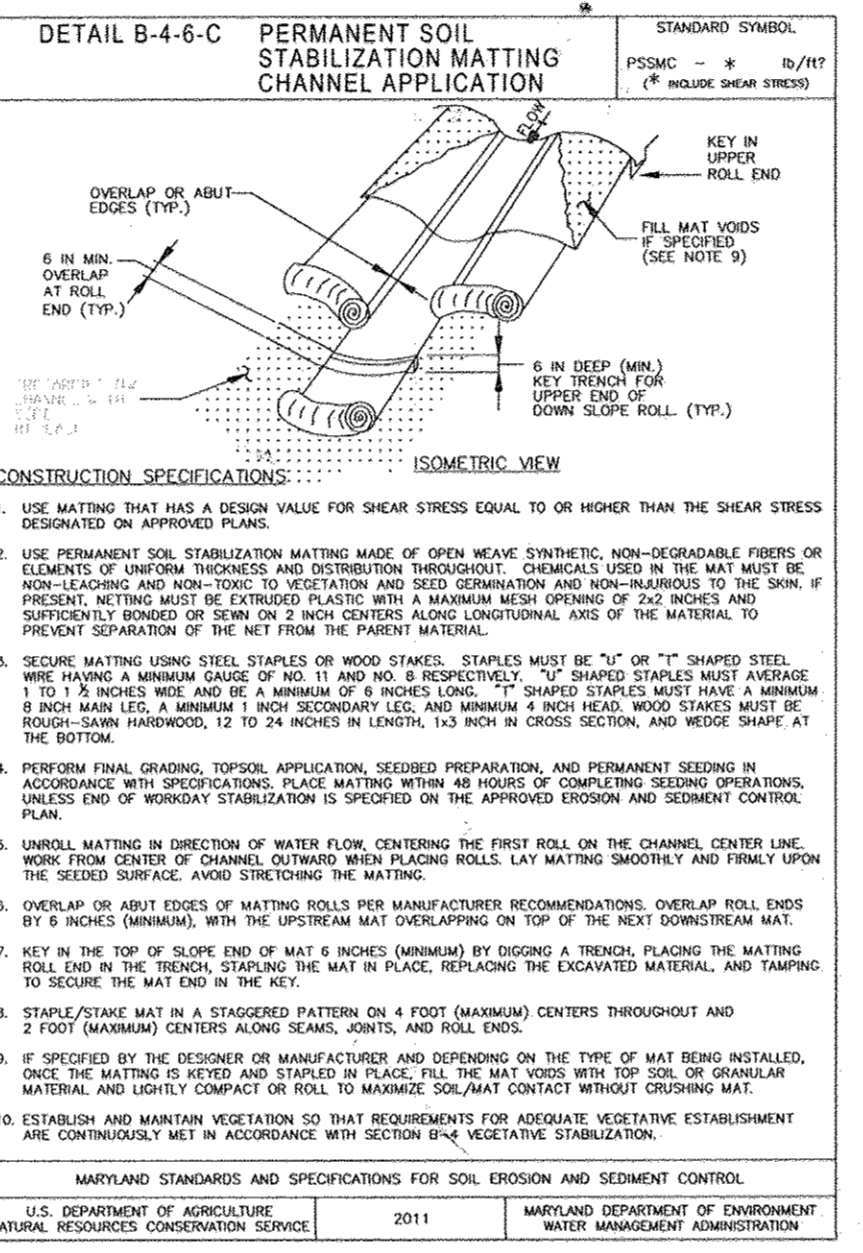
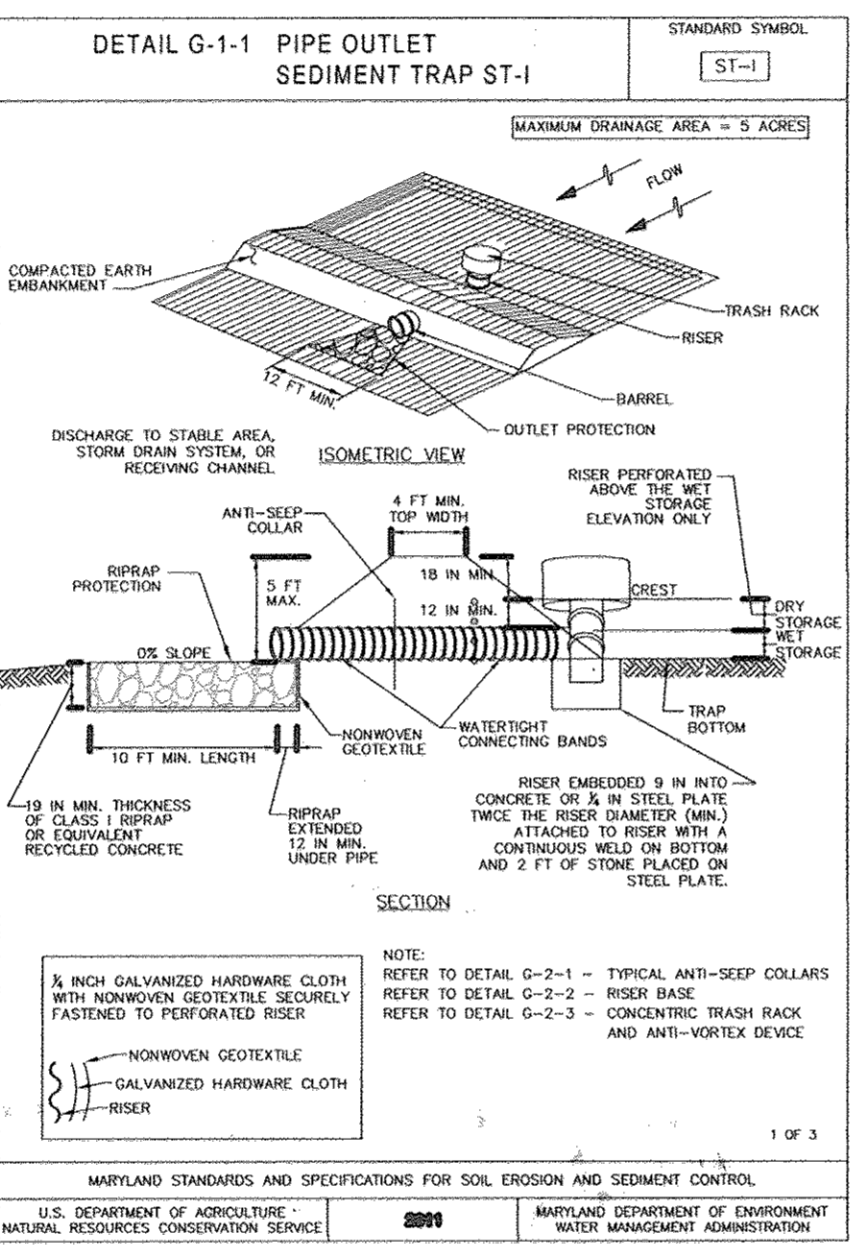
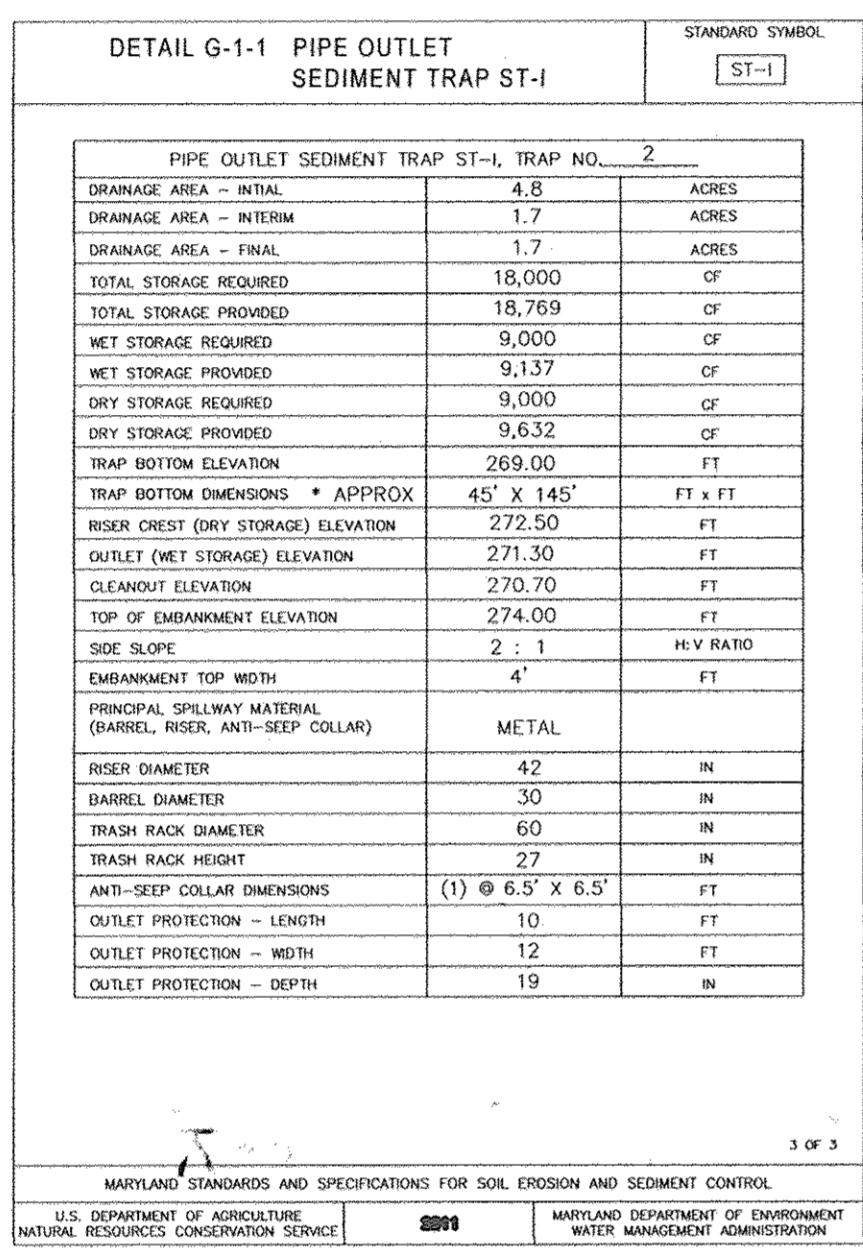
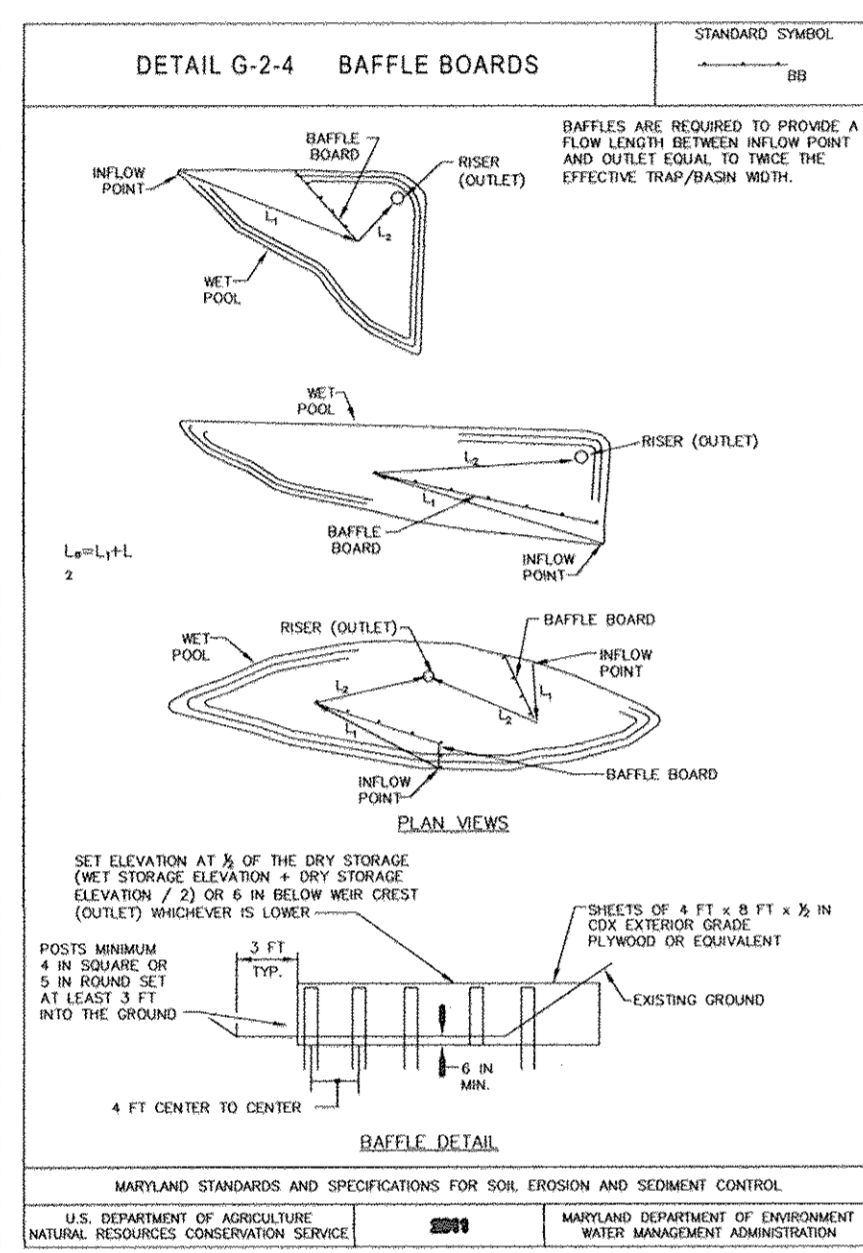
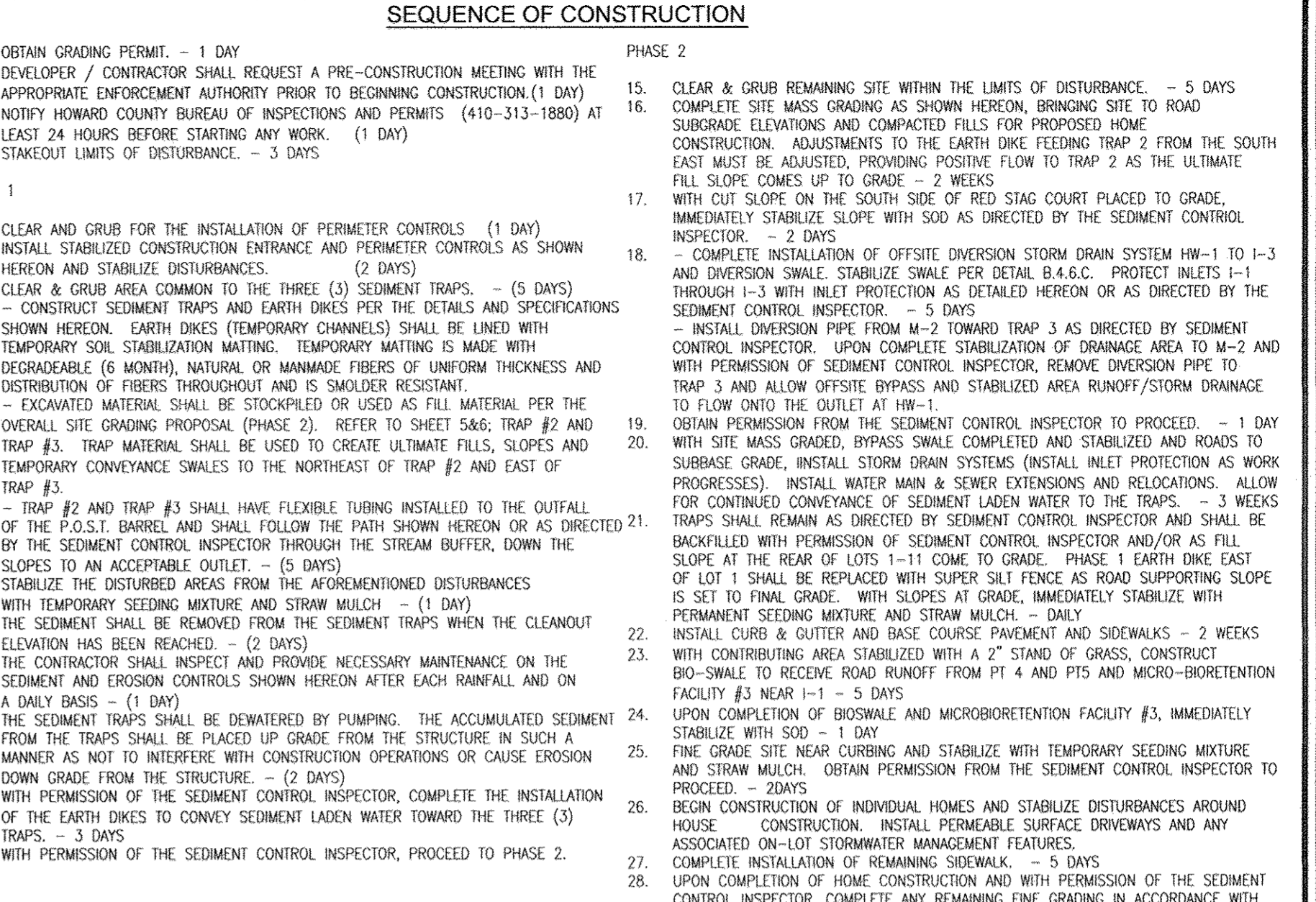
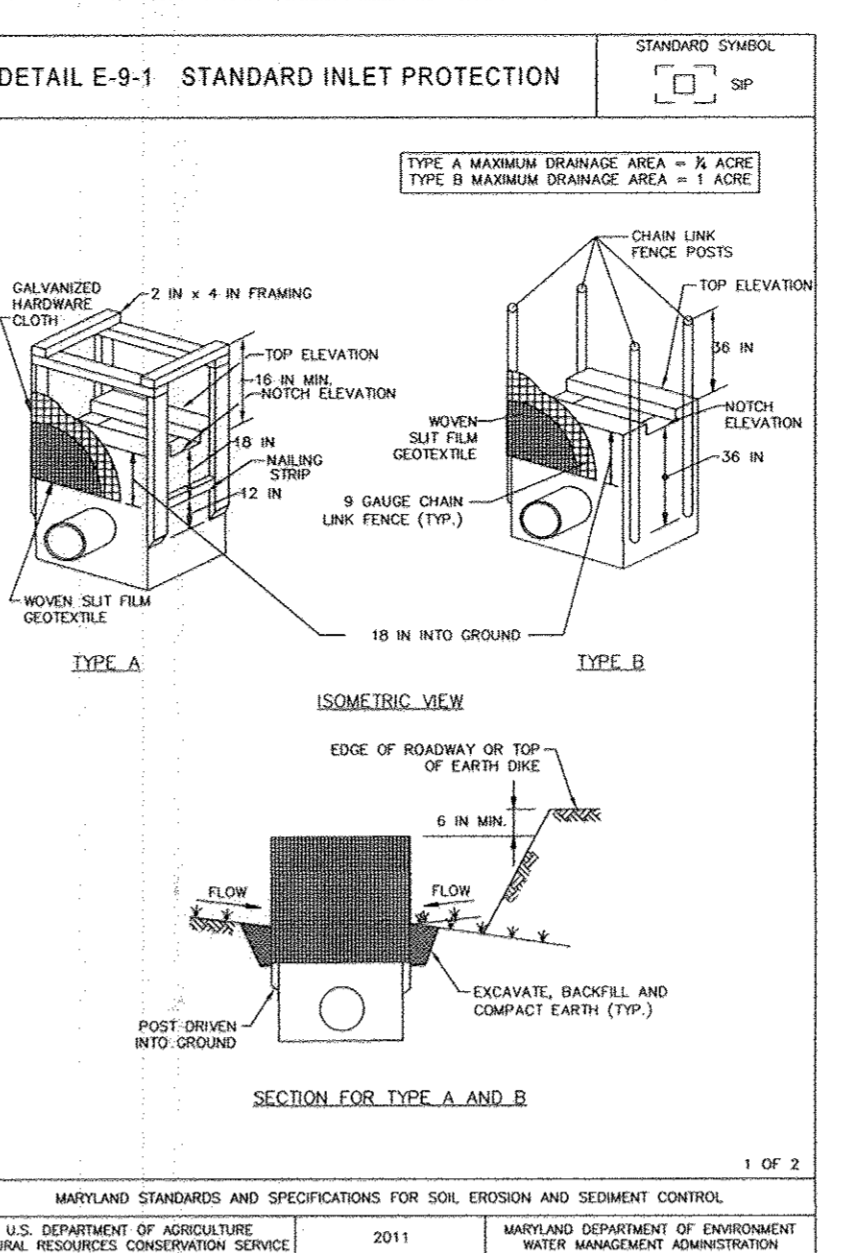
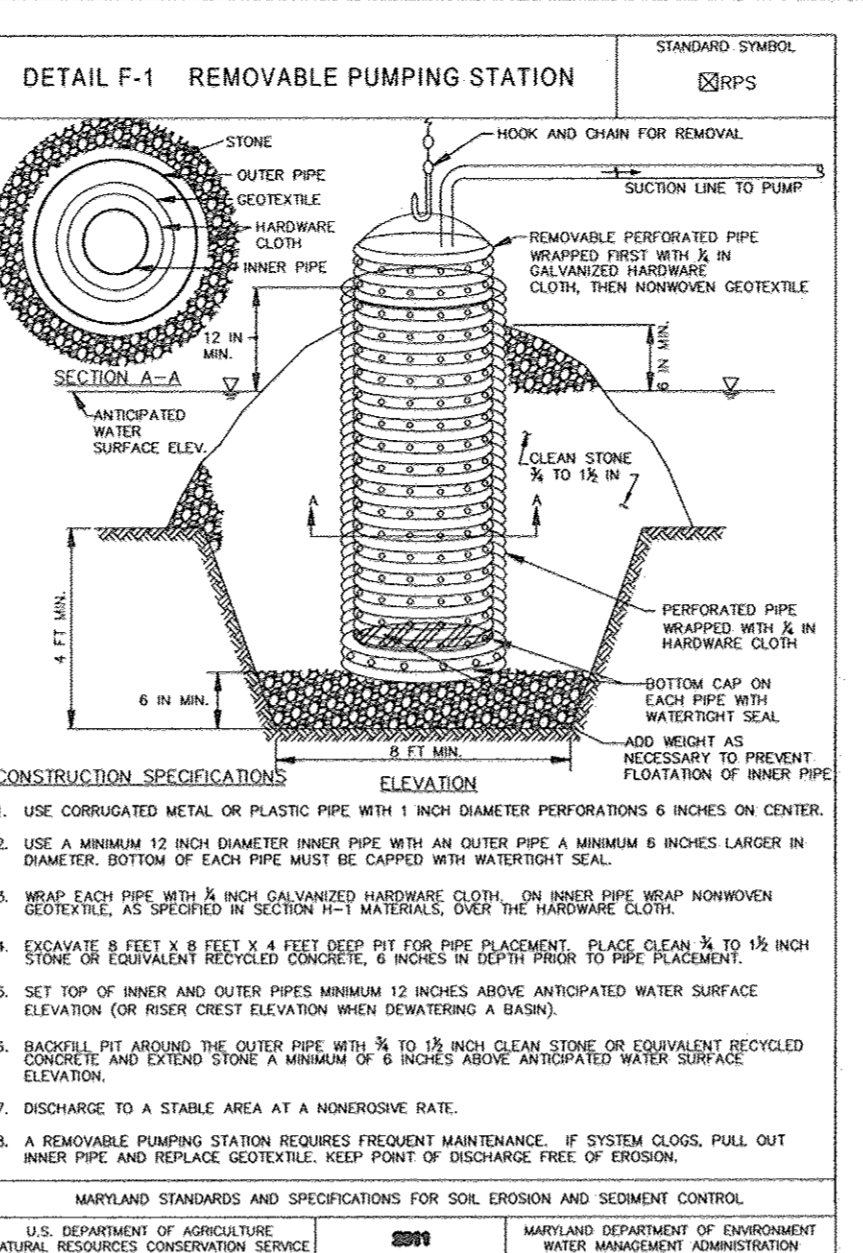
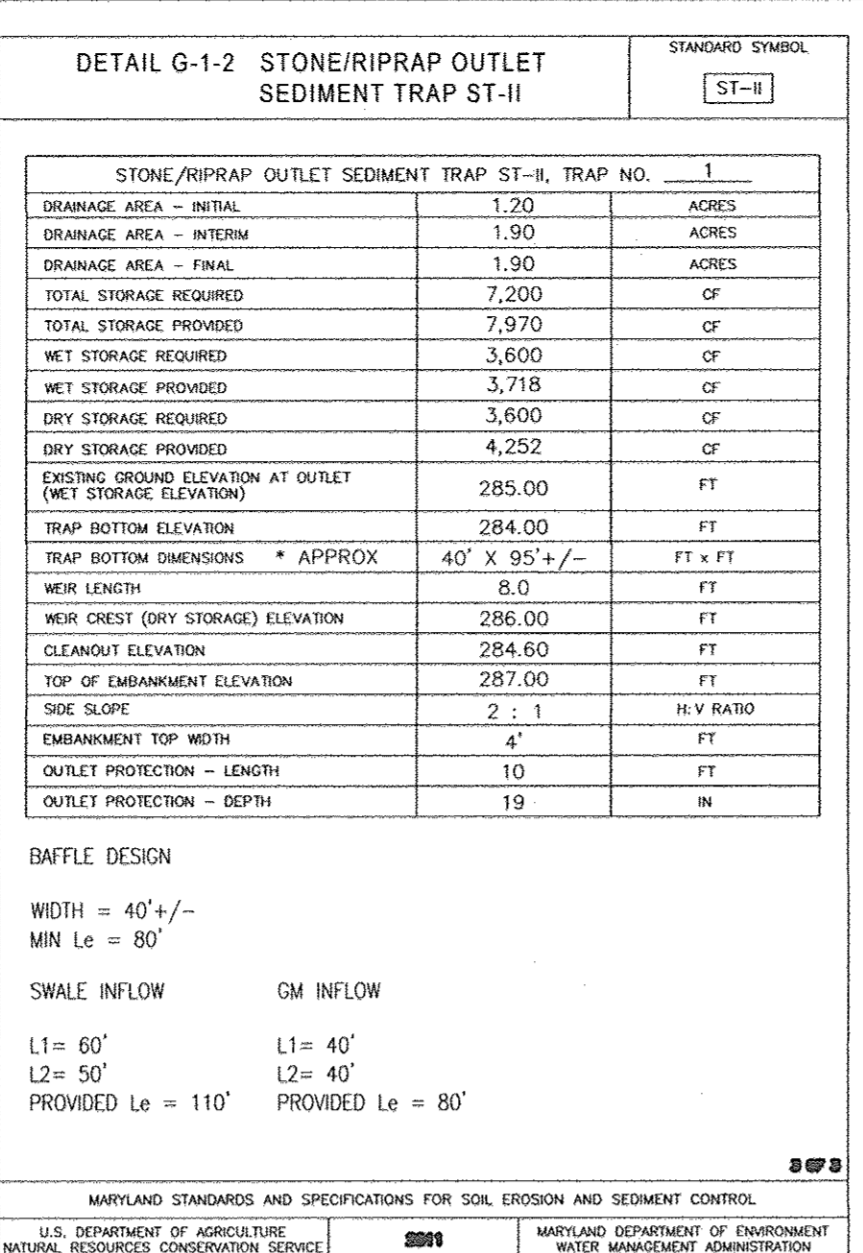
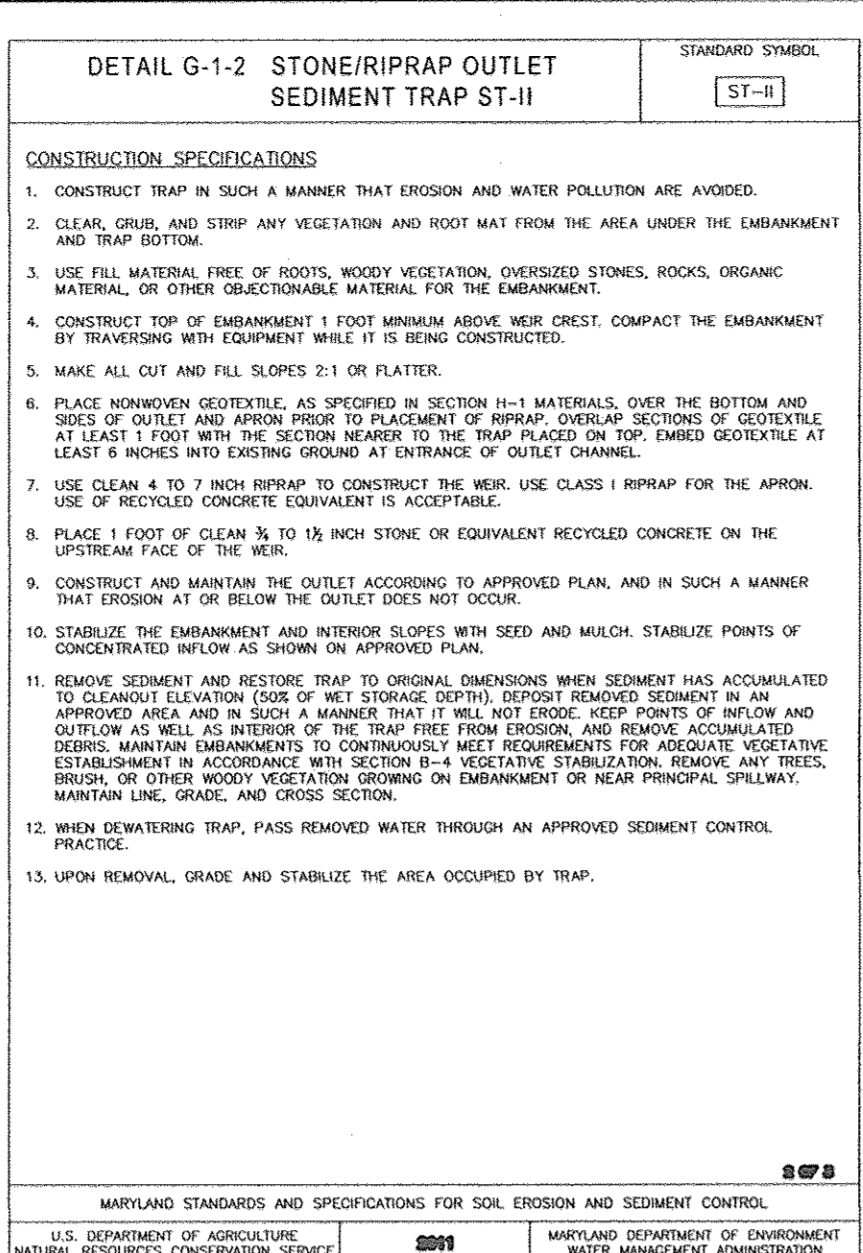
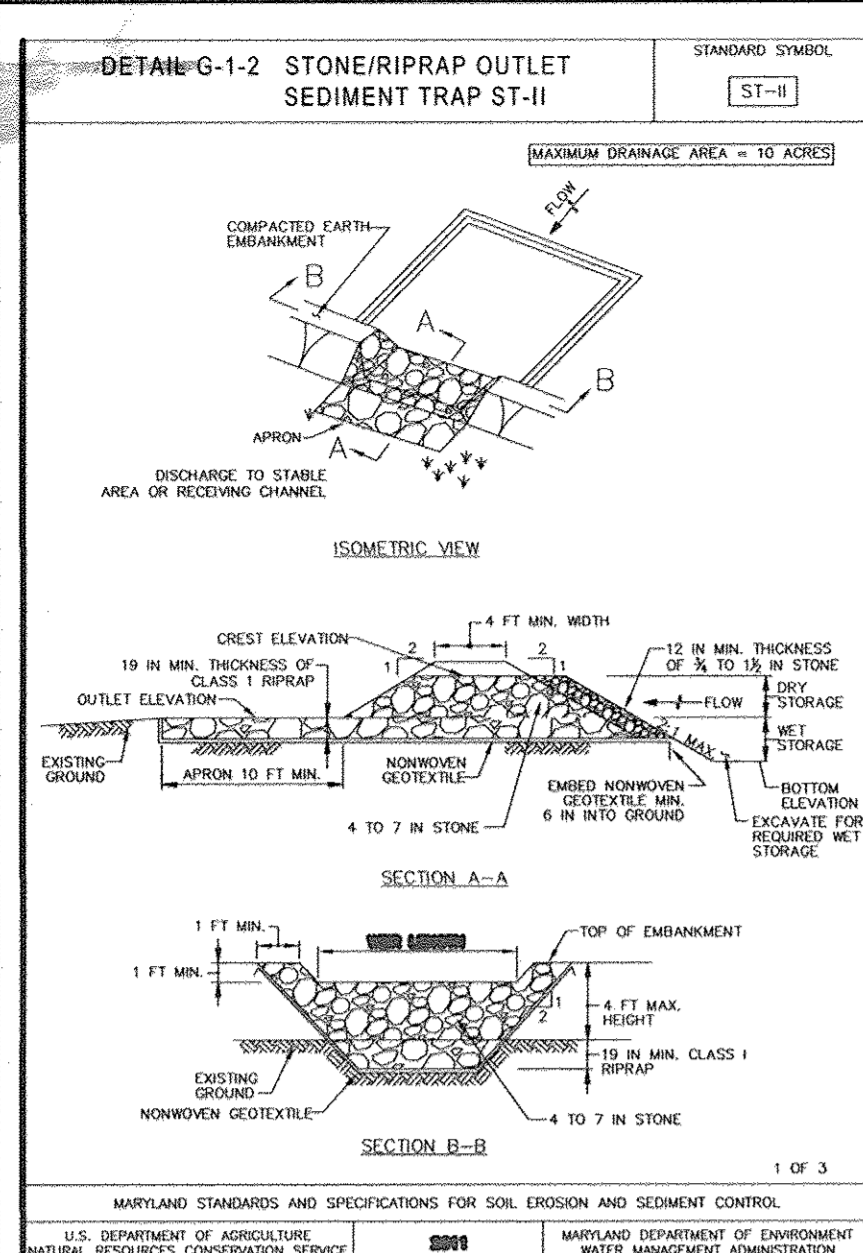
Signature: _____
Date: 2/10/14

NOTES

- REFER TO SHEET 8 FOR SEQUENCE OF CONSTRUCTION
- REFER TO SHEETS 7 & 8 FOR STANDARD DETAILS AND STABILIZATION NOTES
- SUPER SILT FENCE CAN BE SUBSTITUTED WITH STANDARD SILT FENCE WITH PERMISSION FROM SEDIMENT CONTROL INSPECTOR.

No AS-BUILT INFORMATION ON THIS SHEET

Scale: 0 50' 100' 150'



BY THE DEVELOPER:
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF DEVELOPER: [Signature] DATE: 12-6-13

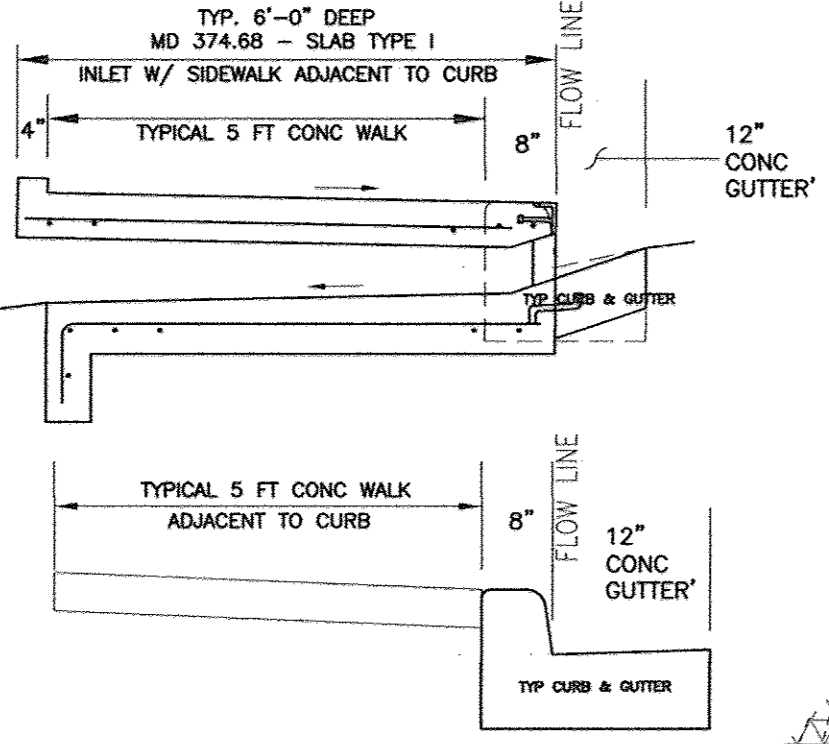
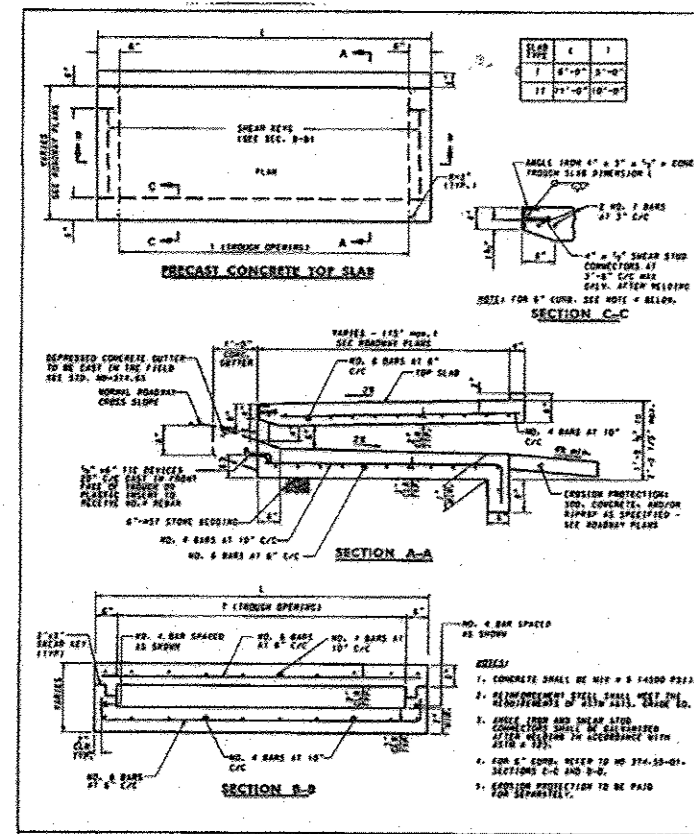
BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF ENGINEER: [Signature] DATE: 1/19/14

TRAP #3 - BAFFLE DESIGN
 WIDTH = 25' +/-
 MIN LE = 50'
 GM INFLOW SWALE INFLOW
 L1 = 45' L1 = 100'
 L2 = 45' L2 = 90'
 PROVIDED Le = 90' PROVIDED Le = 190'

TRAP #2 - BAFFLE DESIGN
 WIDTH = 45' +/-
 MIN LE = 90'
 GM INFLOW SWALE INFLOW
 L1 = 44' L1 = 37'
 L2 = 55' L2 = 114'
 PROVIDED Le = 97' PROVIDED Le = 151'

TRAP #1 - BAFFLE DESIGN
 WIDTH = 40' +/-
 MIN LE = 80'
 GM INFLOW SWALE INFLOW
 L1 = 60' L1 = 40'
 L2 = 50' L2 = 40'
 PROVIDED Le = 110' PROVIDED Le = 80'

OWNER: MRJL FAMILY LIMITED PARTNERSHIP; TAYLOR VILLAGE FARM, LLC
 MANAGING MEMBER PHILLIP GUGLIOTTI, AUTHORIZED PERSON
 ELLICOTT CITY, MD 21043 (410) 465-3500
 DEVELOPER: AUTUMN DEVELOPMENT CORPORATION; RONALD L. SPAHN, PRESIDENT
 5401 TWIN KNOLLS ROAD, SUITE 7 COLUMBIA, MD 21045 (410) 465-3500
 FINAL ROAD CONSTRUCTION PLAN GRADING AND SOIL EROSION, AND SEDIMENT CONTROL PLAN - DETAILS
 AUTUMN OVERLOOK LOTS 1-20, & OPEN SPACE LOTS 21-24
 PARCELS 56 & 309 (L 12833 / F 00446) ZONED: R-ED
 TAX MAP: 25 GRD: 14
 2ND ELECTION DISTRICT PARCELS 46, 309, AND 96 HOWARD COUNTY, MARYLAND
 DESIGN BY: RHV/EDS
 DRAWN BY: JMR/EDS
 CHECKED BY: RHV
 DATE: DECEMBER 2013
 SCALE: AS SHOWN
 W.O. NO.: 10-30
 8 SHEET OF 17
 PROFESSIONAL CERTIFICATE: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2014



Typical curb opening inlets (PT-1 - PT-5)

PASS THRU INLET AT SIDEWALK
MD STANDARD 374.68
(NOT TO SCALE)

GERMAN E. FLORES RENGIFO
MARIA WALEWSKA RODRIGUEZ T/E
TM: 25 PARCEL: 48
COTTER PROPERTY
PLAT: 13151
L: 12497 / F: 276
LOT 2
0.79 ACRES
USE: RESIDENTIAL
ZONED: R-ED

RAYMOND R. SADLER
PATRICIA E. SADLER
TM: 25 PARCEL: 234
L: 1105 / F: 222
0.53 ACRES
USE: RESIDENTIAL
ZONED: R-ED

JEFFREY B. WYGAN
SHELLEY D. WYGAN T/E
TM: 25 PARCEL: 47
KENNEDY YOUNG PROP.
LOT 1
ZONED: R-ED

WILLIAM R. DAVIS
SALLY A. DAVIS
TM: 25 PARCEL: 49
SARGENT PROPERTY
PLAT: 524
LOT 2
ZONED: R-ED

GARY C. BROWER
CHERYL N. BROWER T/E
TM: 25 PARCEL: 49
SARGENT PROPERTY
PLAT: 524
LOT 2
ZONED: R-ED

DALLAS-KNUDSON
TM: 25 PARCEL: 22
L: 9173 / F: 587
1.25 ACRES
USE: RESIDENTIAL
ZONED: R-ED

HOWARD COUNTY MARYLAND
RECREATION AND PARKS
TM: 25 PARCEL: 296
SEWELL PROPERTY
PLAT: 1772
LOT 2
1.24 ACRES
USE: EXEMPT
ZONED: R-ED

WILLIAM R. MCCORMACK JR.
TERRENCE S. MCCORMACK ET. AL
TM: 25 PARCEL: 58
PLAT: 20783
L: 6252 / F: 79
NON-BUILDABLE BULK PARCEL A
USE: RESIDENTIAL
ZONED: R-ED

STATE OF MARYLAND DEPARTMENT
OF FORESTS AND PARKS
TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED

STATE OF MARYLAND DEPARTMENT
OF FORESTS AND PARKS
TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED

STATE OF MARYLAND DEPARTMENT
OF FORESTS AND PARKS
TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED

STATE OF MARYLAND DEPARTMENT
OF FORESTS AND PARKS
TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED

STATE OF MARYLAND DEPARTMENT
OF FORESTS AND PARKS
TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED

STATE OF MARYLAND DEPARTMENT
OF FORESTS AND PARKS
TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED

STATE OF MARYLAND DEPARTMENT
OF FORESTS AND PARKS
TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED

STATE OF MARYLAND DEPARTMENT
OF FORESTS AND PARKS
TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED

STATE OF MARYLAND DEPARTMENT
OF FORESTS AND PARKS
TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED

RAYMOND R. SADLER
PATRICIA E. SADLER
TM: 25 PARCEL: 234
L: 1105 / F: 222
0.53 ACRES
USE: RESIDENTIAL
ZONED: R-ED

JEFFREY B. WYGAN
SHELLEY D. WYGAN T/E
TM: 25 PARCEL: 47
KENNEDY YOUNG PROP.
LOT 1
ZONED: R-ED

WILLIAM R. DAVIS
SALLY A. DAVIS
TM: 25 PARCEL: 49
SARGENT PROPERTY
PLAT: 524
LOT 2
ZONED: R-ED

GARY C. BROWER
CHERYL N. BROWER T/E
TM: 25 PARCEL: 49
SARGENT PROPERTY
PLAT: 524
LOT 2
ZONED: R-ED

DALLAS-KNUDSON
TM: 25 PARCEL: 22
L: 9173 / F: 587
1.25 ACRES
USE: RESIDENTIAL
ZONED: R-ED

HOWARD COUNTY MARYLAND
RECREATION AND PARKS
TM: 25 PARCEL: 296
SEWELL PROPERTY
PLAT: 1772
LOT 2
1.24 ACRES
USE: EXEMPT
ZONED: R-ED

WILLIAM R. MCCORMACK JR.
TERRENCE S. MCCORMACK ET. AL
TM: 25 PARCEL: 58
PLAT: 20783
L: 6252 / F: 79
NON-BUILDABLE BULK PARCEL A
USE: RESIDENTIAL
ZONED: R-ED

STATE OF MARYLAND DEPARTMENT
OF FORESTS AND PARKS
TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED

STATE OF MARYLAND DEPARTMENT
OF FORESTS AND PARKS
TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED

STATE OF MARYLAND DEPARTMENT
OF FORESTS AND PARKS
TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED

STATE OF MARYLAND DEPARTMENT
OF FORESTS AND PARKS
TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED

STATE OF MARYLAND DEPARTMENT
OF FORESTS AND PARKS
TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED

STATE OF MARYLAND DEPARTMENT
OF FORESTS AND PARKS
TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED

STATE OF MARYLAND DEPARTMENT
OF FORESTS AND PARKS
TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED

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TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED

STATE OF MARYLAND DEPARTMENT
OF FORESTS AND PARKS
TM: 25 PARCEL: 250
L: 376 / F: 58
1.76 ACRES
USE: EXEMPT
ZONED: R-ED



LEGEND:

---	PROPERTY LINE	XXXXXX	EXISTING STEEP SLOPES
---	RIGHT-OF-WAY LINE	-----	EXISTING MODERATE SLOPES
---	ADJACENT PROPERTY LINE	-----	EXISTING SEWER AND UTILITY EASEMENT
---	EXISTING CURB AND GUTTER	-----	PUBLIC SEWER & UTILITY EASEMENT
---	EXISTING UTILITY POLE	-----	PUBLIC SIGHT DISTANCE EASEMENT
---	EXISTING LIGHT POLE	-----	20' PUBLIC ACCESS EASEMENT TO OPEN SPACE LOT 21
---	EXISTING MAILBOX	-----	PRIVATE 24' USE-IN-COMMON ACCESS EASEMENT FOR LOTS 11-15 AND OPEN SPACE LOTS 21 & 23
---	EXISTING SIGN	-----	PRIVATE DRAINAGE SWIM & UTILITY EASEMENT
---	EXISTING SANITARY MANHOLE	-----	PUBLIC DRAINAGE SWIM & UTILITY EASEMENT
---	EXISTING SANITARY LINE	-----	PUBLIC DRAINAGE & UTILITY EASEMENT
---	EXISTING FIRE HYDRANT	-----	10' WIDE PRIVATE SIGN EASEMENT
---	EXISTING WATER LINE	-----	
---	EXISTING 10' CONTOUR	-----	
---	EXISTING 2' CONTOUR	-----	
---	SOILS	-----	
---	EXISTING TREELINE	-----	
---	EXISTING TREES	-----	
---	EXISTING FENCE	-----	
---	CENTERLINE OF EXISTING STREAM	-----	
---	PROPOSED STORMDRAIN	-----	
---	PROPOSED STORMDRAIN INLET	-----	
---	PROPOSED SIDEWALK	-----	
---	PROPOSED TREELINE	-----	
---	PROPOSED CURB	-----	
---	PROPOSED STREET LIGHT	-----	
---	PROPOSED 10' CONTOUR	-----	
---	PROPOSED 2' CONTOUR	-----	
---	PROPOSED DRAINAGE AREAS	-----	

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	K-FACTOR	PERM. FARM/LAND
LcC	LEGORE SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	0.02	NO
McD	MANOR LOAM, 15 TO 25 PERCENT SLOPES, VERY ROCKY	B	NO	0.28	NO
MgF	MANOR-BANNERTOWN SANDY LOAMS, 25 TO 65 PERCENT SLOPES, ROCKY	B	NO	0.24	NO

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	K-FACTOR	PERM. FARM/LAND
LcC	LEGORE SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	0.02	NO
McD	MANOR LOAM, 15 TO 25 PERCENT SLOPES, VERY ROCKY	B	NO	0.28	NO
MgF	MANOR-BANNERTOWN SANDY LOAMS, 25 TO 65 PERCENT SLOPES, ROCKY	B	NO	0.24	NO

AS-BUILT CERTIFICATION

I hereby certify that the facility shown on this plan was constructed as shown on the "as-built" plans and meets the approved plans and specifications.

Signature: _____
 PE NO. 16193
 Date: 7/17/17

OWNER

MRII FAMILY LIMITED PARTNERSHIP; TAYLOR VILLAGE FAMILY, LLC
 MANAGING MEMBER PHILIP GUGGIOTTI, AUTHORIZED PERSON
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MD 21043
 (410) 465-3500

DEVELOPER

AUTUMN DEVELOPMENT CORPORATION; RONALD L. SPAIN, PRESIDENT
 5401 TWIN KNOLLS ROAD, SUITE 7
 COLUMBIA, MD 21045
 (410) 465-3500

NO.	REVISION	DATE

FINAL ROAD CONSTRUCTION PLAN

STORM DRAIN - DRAINAGE AREA MAP

AUTUMN OVERLOOK

LOTS 1-20, & OPEN SPACE LOTS 21-24
 PARCELS 56 & 309 (L. 12833 / F. 00448)
 PARCEL 95 (L. 13244 / F. 00037)

DPZ REF'S: SEE NOTE # 11

ROBERT H. VOGEL ENGINEERING, INC.

ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410-461-7666
 FAX: 410-461-1811

DESIGN BY: RHW/EDS	<h3>PROFESSIONAL CERTIFICATE</h3> <p>I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2014</p>
DRAWN BY: JMR/EDS	
CHECKED BY: RHW	
DATE: DECEMBER 2013	
SCALE: AS SHOWN	
W.O. NO.: 10-30	9 SHEET OF 17

APPROVED: DEPARTMENT OF PUBLIC WORKS

3-27-14
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

3-14-14
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

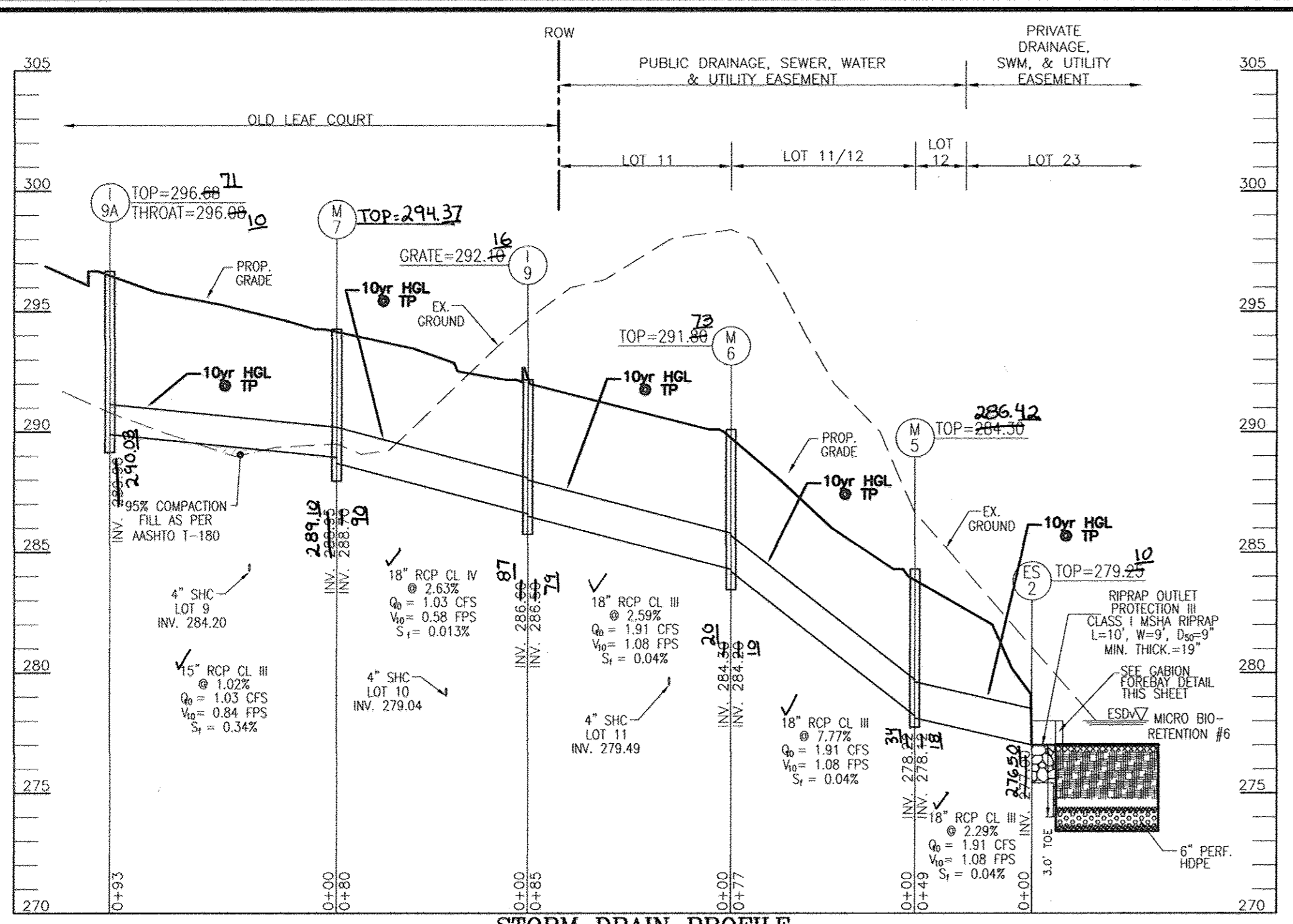
3-17-14
 CHIEF, DIVISION OF LAND DEVELOPMENT

NOTES

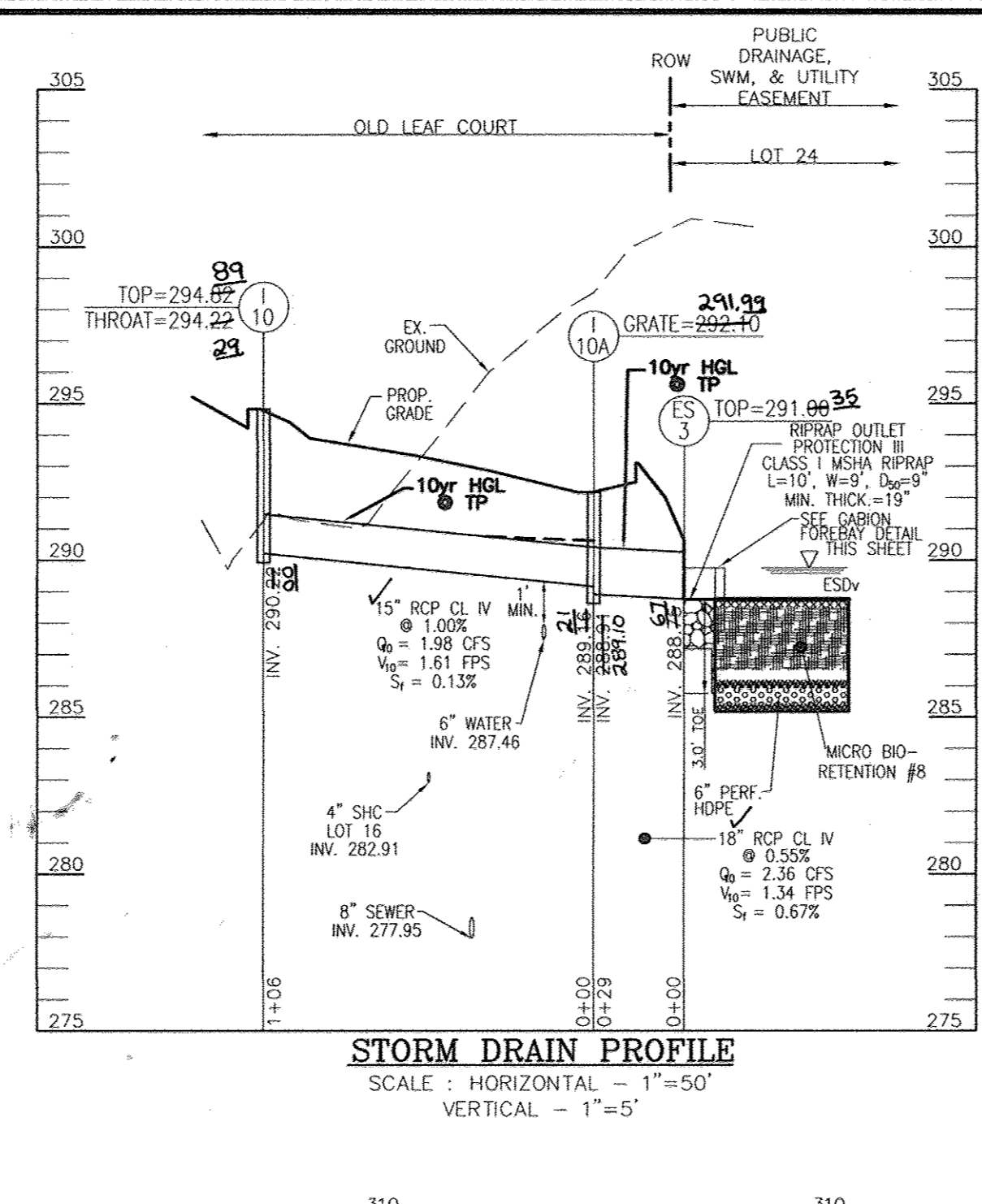
- ASSUMED TC TO INLETS = WORST CASE 5 MINUTES
- REFER TO SHT 10 FOR STORM DRAIN PROFILES & STRUCTURE SCHEDULE
- REFER TO SHT 10 FOR "PT" INLET RIP RAP PROTECTION INFORMATION / DETAIL

STORM DRAIN DRAINAGE AREA MAP
 SCALE: 1"=50'

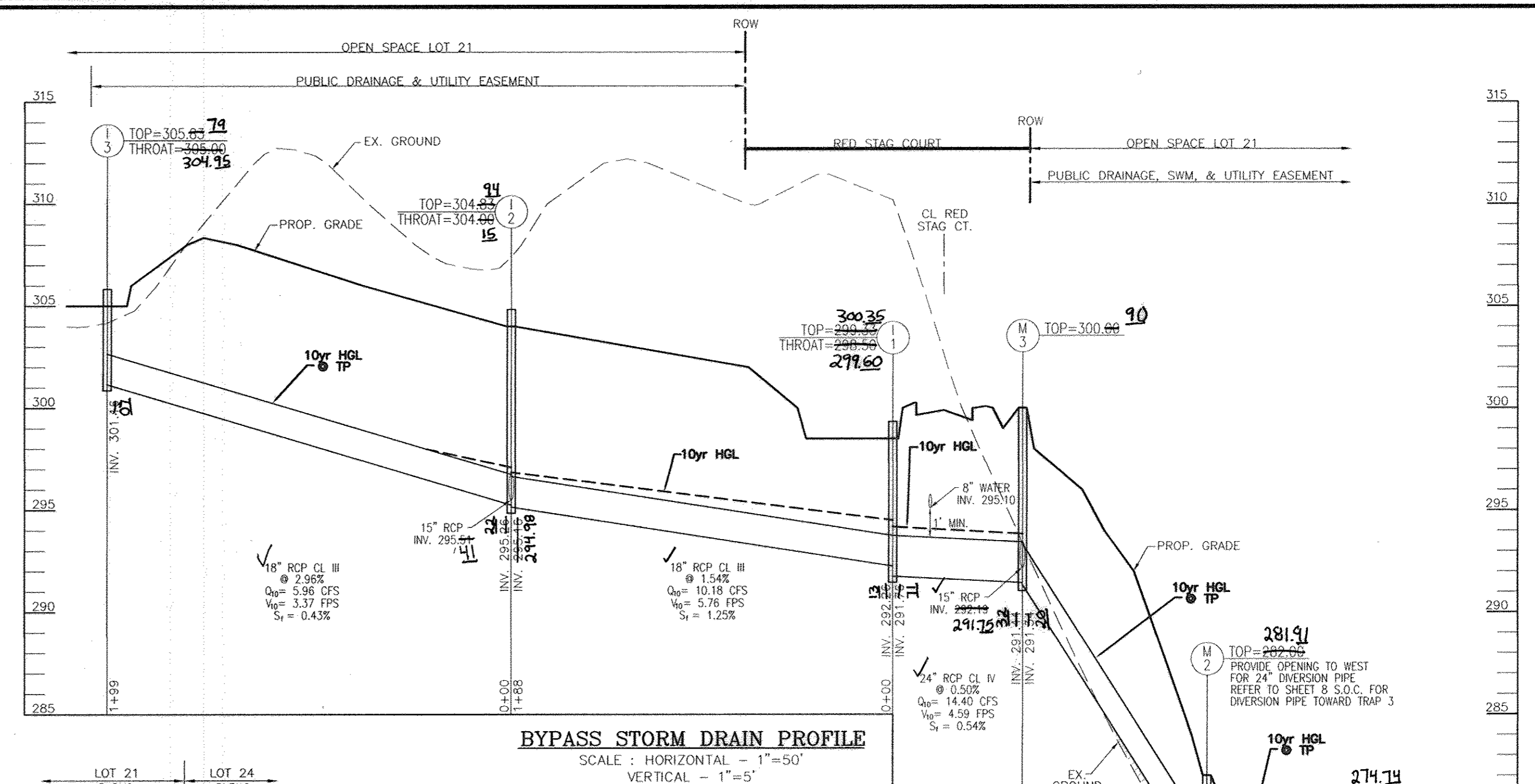
NO AS-BUILT INFORMATION ON THIS SHEET



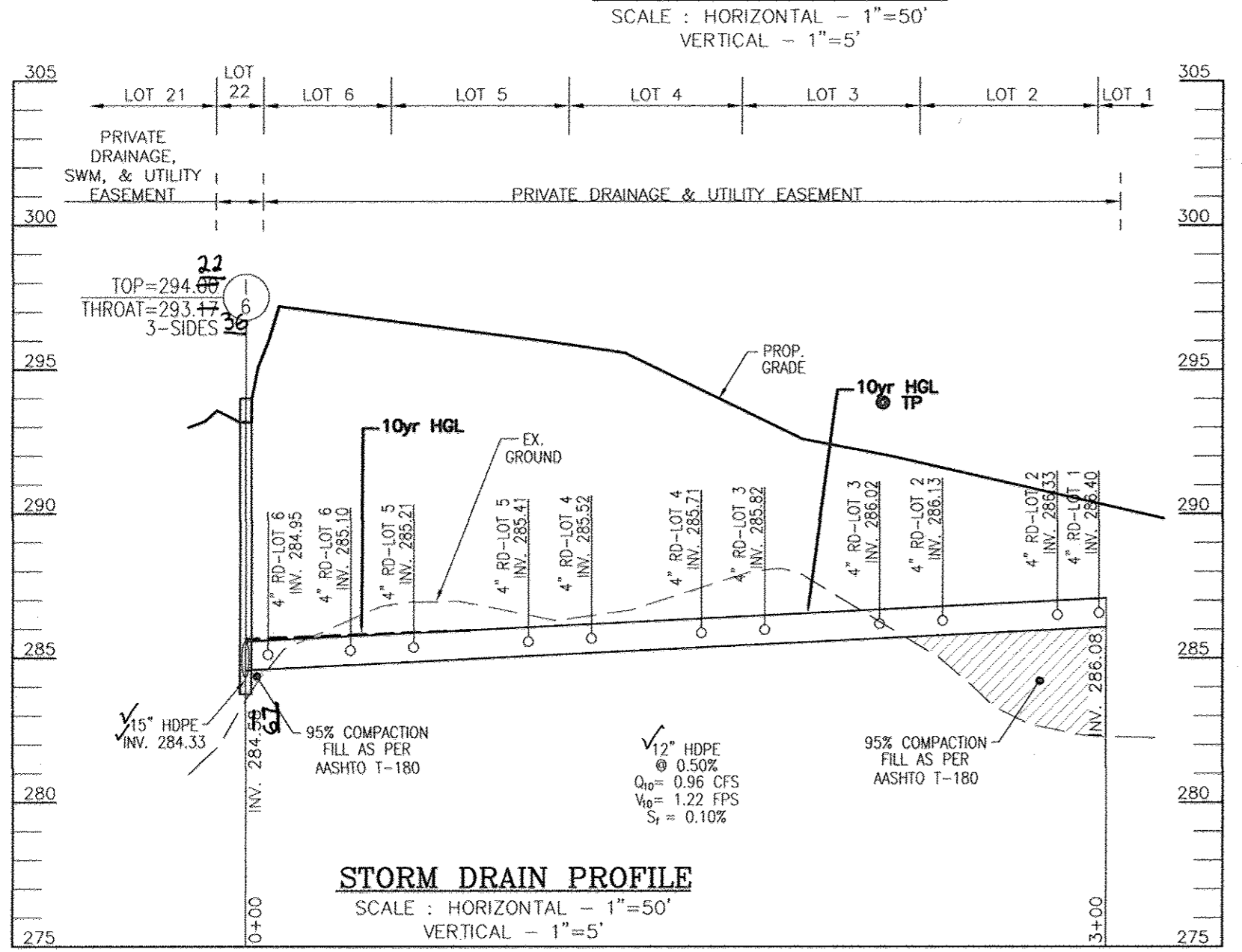
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



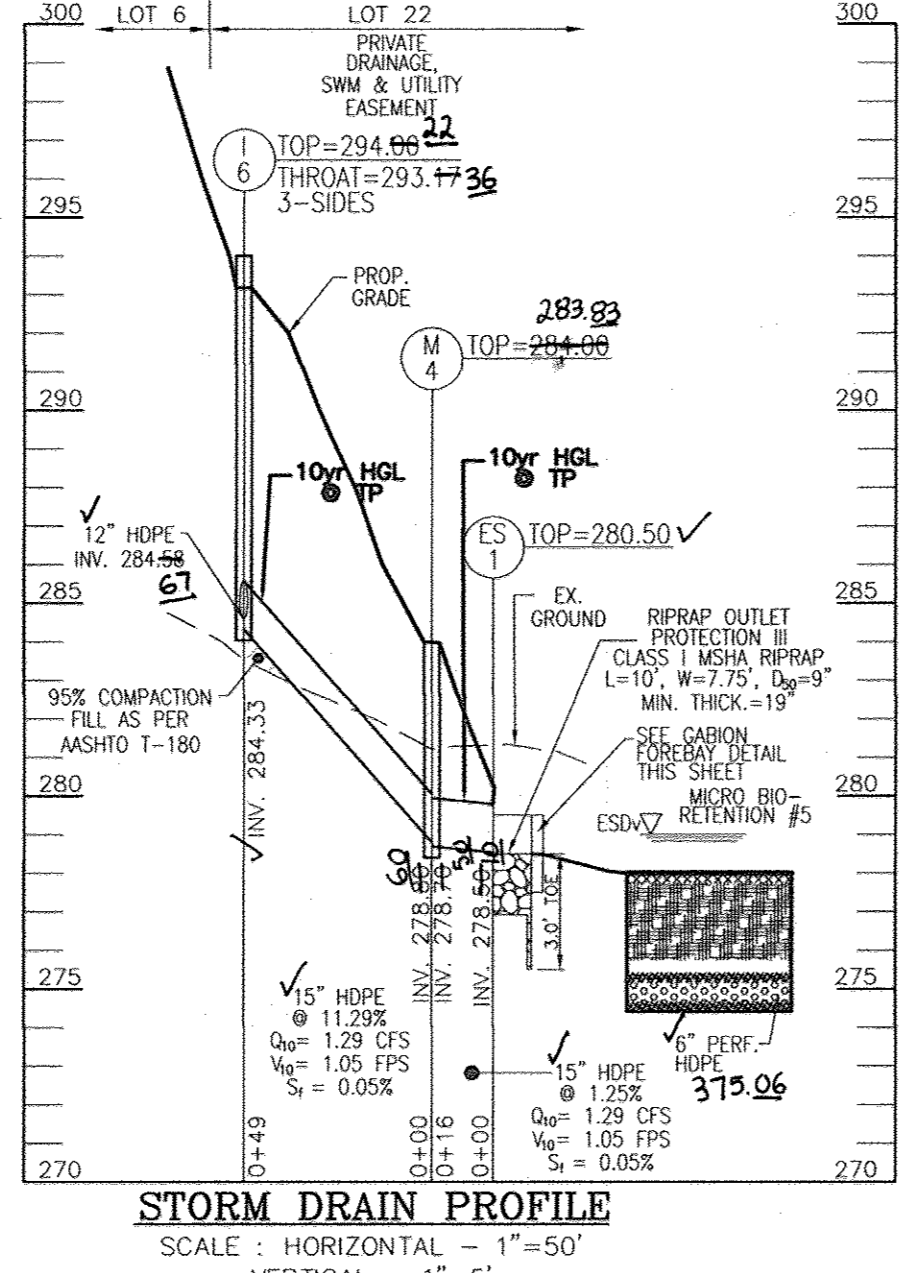
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



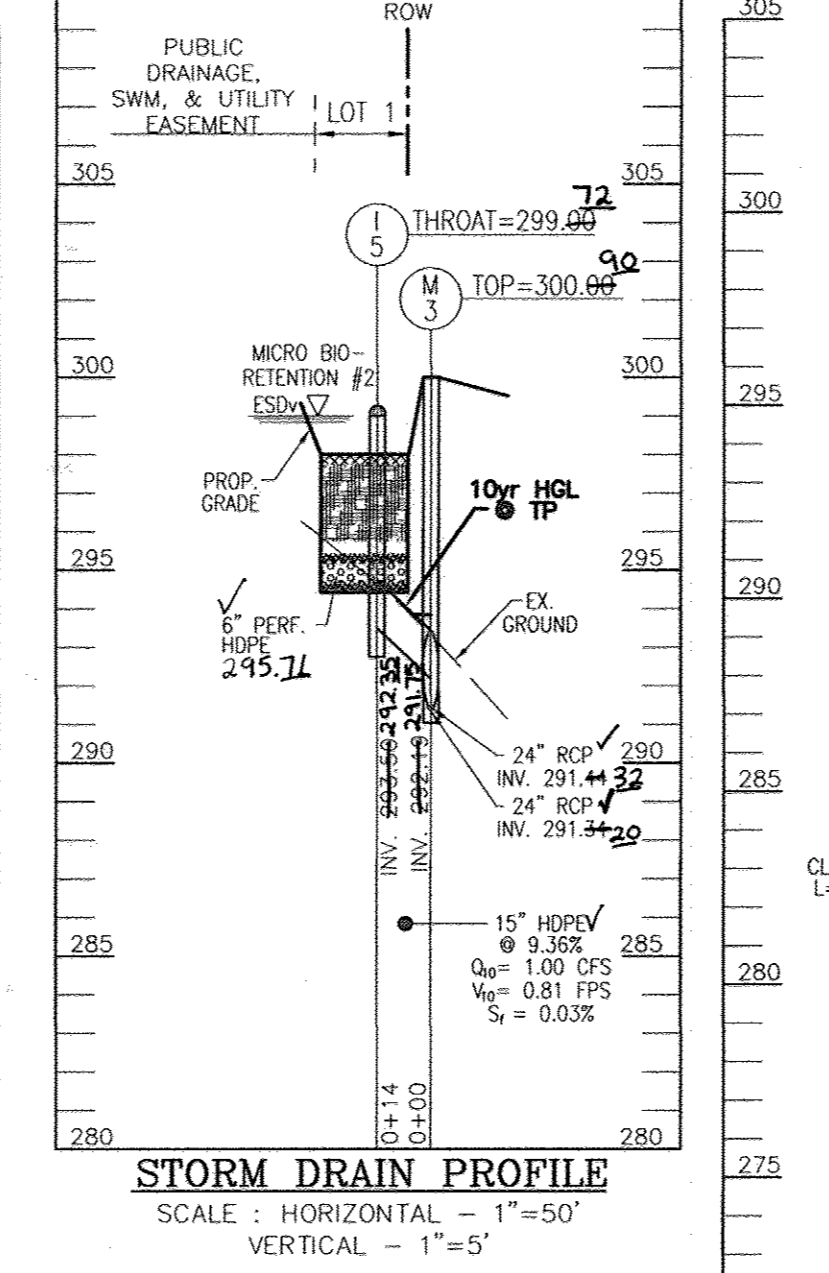
BYPASS STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



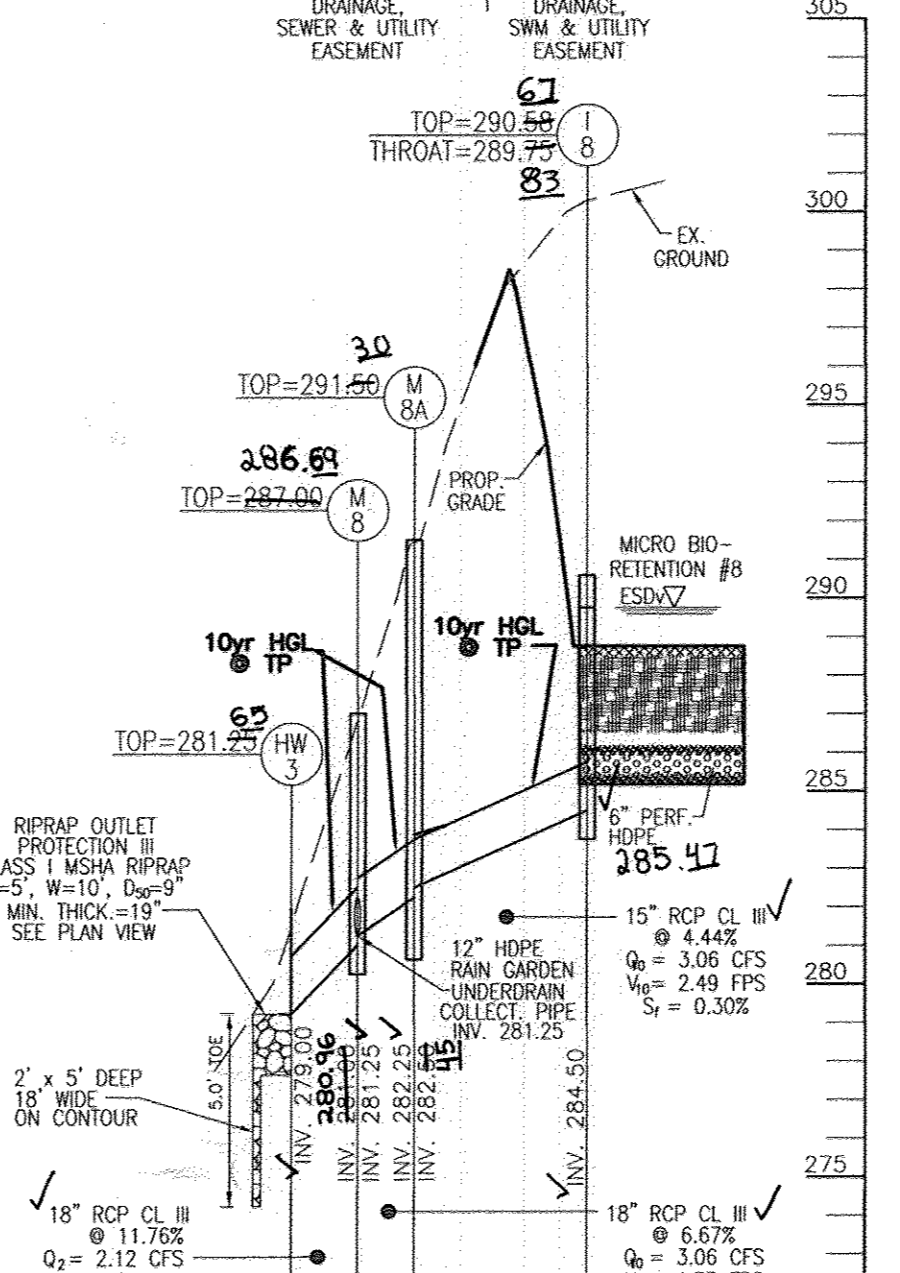
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



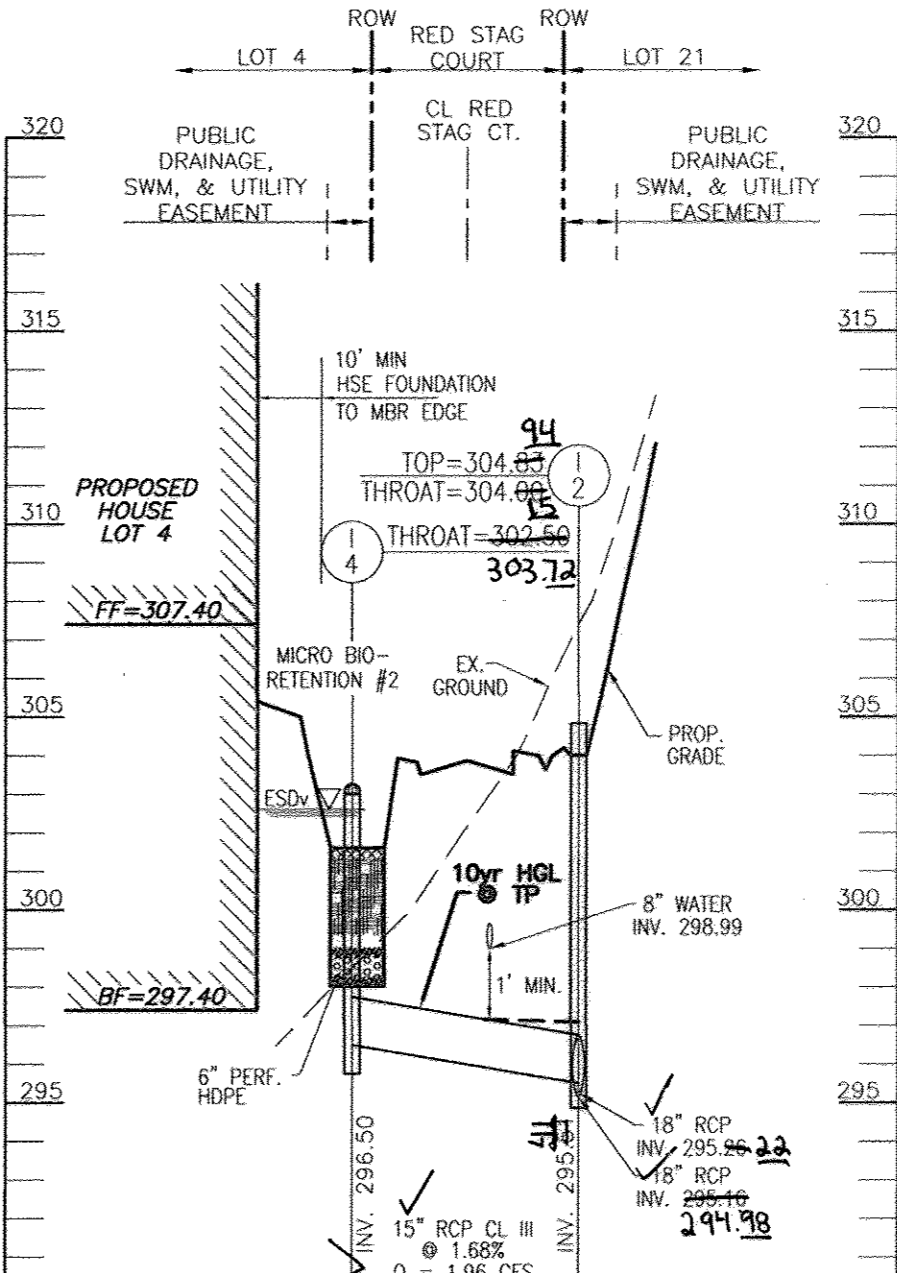
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



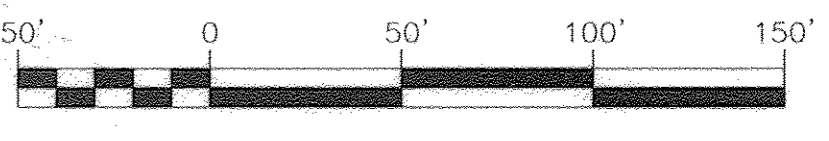
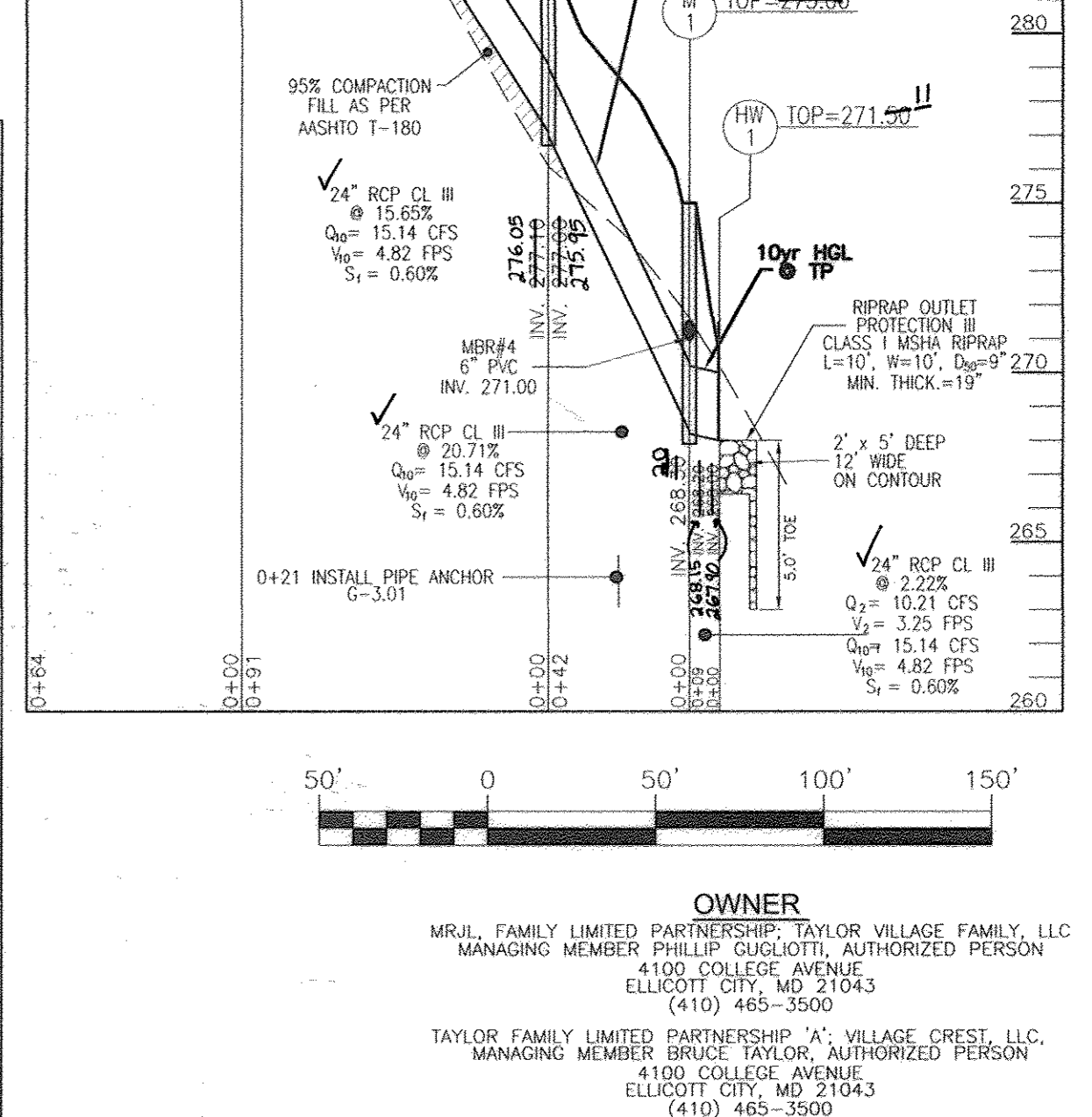
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



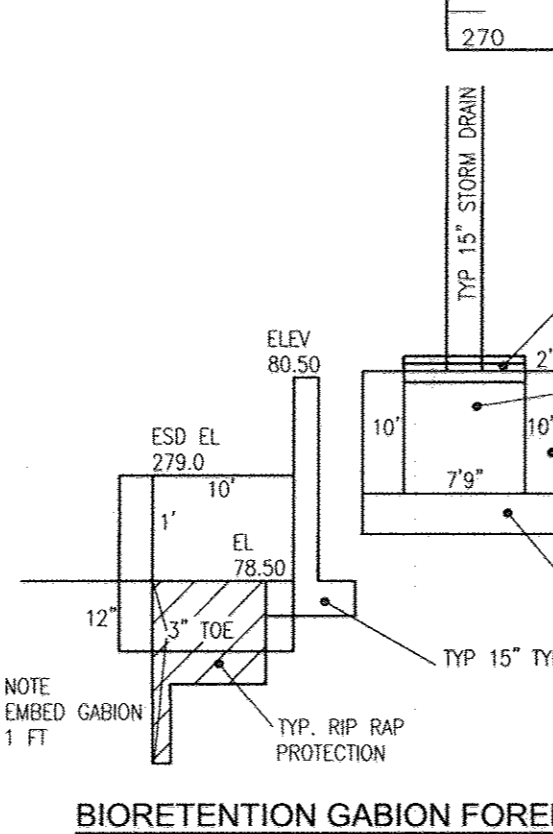
OWNER
MRJL FAMILY LIMITED PARTNERSHIP, TAYLOR VILLAGE FAMILY, LLC
MANAGING MEMBER PHILLIP GUGLIOTTI, AUTHORIZED PERSON
4100 COLLEGE AVENUE
ELLCOTT CITY, MD 21043
(410) 465-3500

TAYLOR FAMILY LIMITED PARTNERSHIP "AT" VILLAGE CREST, LLC
MANAGING MEMBER BRUCE TAYLOR, AUTHORIZED PERSON
4100 COLLEGE AVENUE
ELLCOTT CITY, MD 21043
(410) 465-3500

DEVELOPER
AUTUMN DEVELOPMENT CORPORATION, RONALD L. SPAHN, PRESIDENT
5401 TWIN KNOLLS ROAD, SUITE 7
COLUMBIA, MD 21045
(410) 465-3500

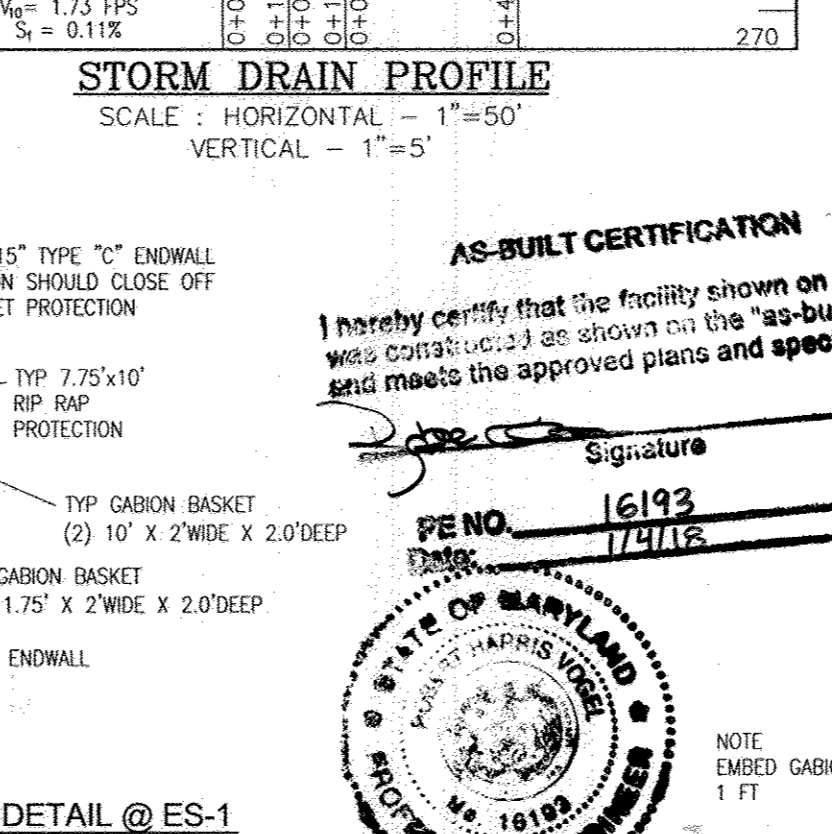
STR #	TYPE	INV. IN	INV. OUT	TOP OR	DETAIL	LOCATION	REMARKS
I-1	D	292.26 13	291.26 71	299.93 300.35	D-4.10	N 581143.2 E 1371036.3	Throat Open 4 Sides
I-2	D	294.10 295.29 514	295.16	304.89 91	D-4.10	N 581106.9 E 1370851.7	Throat Open 1 Side
I-3	D	301.46 07	305.88 75	D-4.10	N 581069.9 E 1370657.0	Throat Open 4 Sides	
I-4	Nyloplast Dome	-	296.50	THROAT 296.50 303.72	D-4.10	N 581165.4 E 1370843.0	Bio-Retention #1
I-5	Nyloplast Dome	-	293.50	THROAT 293.50 304.12	D-4.10	N 581202.1 E 1371043.3	Bio-Retention #2
I-6	D	284.58 67	284.33	294.88 24	D-4.10	N 581250.3 E 1370868.3	Throat Open 3 Sides
I-7	D	272.88 77	279.89 71	271.14	D-4.10	N 581527.7 E 1370586.4	MER #8 - Throat Open 4 Sides
I-8	D	284.50	286.68 67	D-4.10	N 581563.9 E 1370588.9	MER #8 - Throat Open 4 Sides	
I-9	DBL S	286.88 87	286.58 79	292.46 16	D-4.23	+4+90.94; 12 RT	SUMP INLET
I-9A	A-10	288.99 293.03	296.88 71	D-4.03	3+04.38; 12.43 RT		
I-10	A-10	290.22 00	294.92 84	D-4.03	3+90; 12.43 LT		
I-10A	DBL S	289.46 21	288.97 291.10	294.03	D-4.23	+4+90.94; 12 LT	SUMP INLET
PT-1	PASS THRU	-	-	300.66 21	MD 374.68	5+12.58; 12.43 LT	Top L=6' Depth=6'
PT-2	PASS THRU	-	-	300.59 17	MD 374.68	5+12.58; 12.43 RT	Top L=6' Depth=6'
PT-3	PASS THRU	-	-	303.79 304.15	MD 374.68	3+26.76; 12.43 LT	Top L=6' Depth=6'
PT-4	PASS THRU	-	-	303.79 304.15	MD 374.68	3+26.76; 12.43 RT	Top L=6' Depth=6'
PT-5	PASS THRU	-	-	307.44 56	MD 374.68	1+59.22; 12.43 RT	Top L=6' Depth=6'
M-1	48" MANHOLE	288.89 20	288.28 15	275.00 274.17	G 5.12	N 581328.4 E 1371019.2	(1)
M-2	48" MANHOLE	272.44 276.05	277.00 274.75	288.00 281.97	G 5.12	N 581293.9 E 1371043.5	(1)
M-3	48" MANHOLE	291.44 32	291.34 20	300.00 90	G 5.12	N 581204.0 E 1371056.9	(1)
M-4	48" MANHOLE	278.88 00	278.78 00	284.00 283.83	G 5.12	N 581283.9 E 1370724.3	(1)
M-5	48" MANHOLE	278.28 34	278.18 18	284.00 284.42	G 5.12	N 581529.7 E 1370771.9	(1)
M-6	48" MANHOLE	284.28 20	284.28 10	291.00 37	G 5.12	N 581580.3 E 1370714.2	(1)
M-7	48" MANHOLE	288.88 288	288.78 10	294.28 13	G 5.12	4+06.61; 15.75 RT	(1)
M-8A	48" MANHOLE	282.88 45	282.25	291.00 30	G 5.12	N 581565.6 E 1370542.6	(1)
M-8	48" MANHOLE	281.25 17	281.00 282.96	287.00 286.64	G 5.12	N 581578.1 E 1370531.9	(1)
HW-1	24" END SEC.	266.00 267.90	271.00 11	D-5.11	N 581337.4 E 1371018.6	(2) 24" TYPE A	
HW-2	15" END SEC.	271.00 66	273.00 75	D-5.21	N 581510.2 E 1370867.0	(2) 15" TYPE C	
HW-3	15" END SEC.	275.00	281.25 65	D-5.21	N 581585.5 E 1370577.7	(2) 18" TYPE C	
ES-1	15" ENDWALL	278.88 10	280.88 14	D-5.21	N 581285.9 E 1370740.3	(2) 15" EndWall	
ES-2	18" ENDWALL	277.88 14 50	279.25 10	D-5.21	N 581528.7 E 1370820.7	(2) 18" EndWall	
ES-3	18" ENDWALL	288.78 67	291.00 35	D-5.21	N 581554.1 E 1370615.3	(2) 18" EndWall	

* Elevation @ Mid Inlet Top
(1) Coordinate for Proposed Structure = Centerline of Structure
(2) Coordinate for End Section = Centerline of Pipe @ Downstream Face



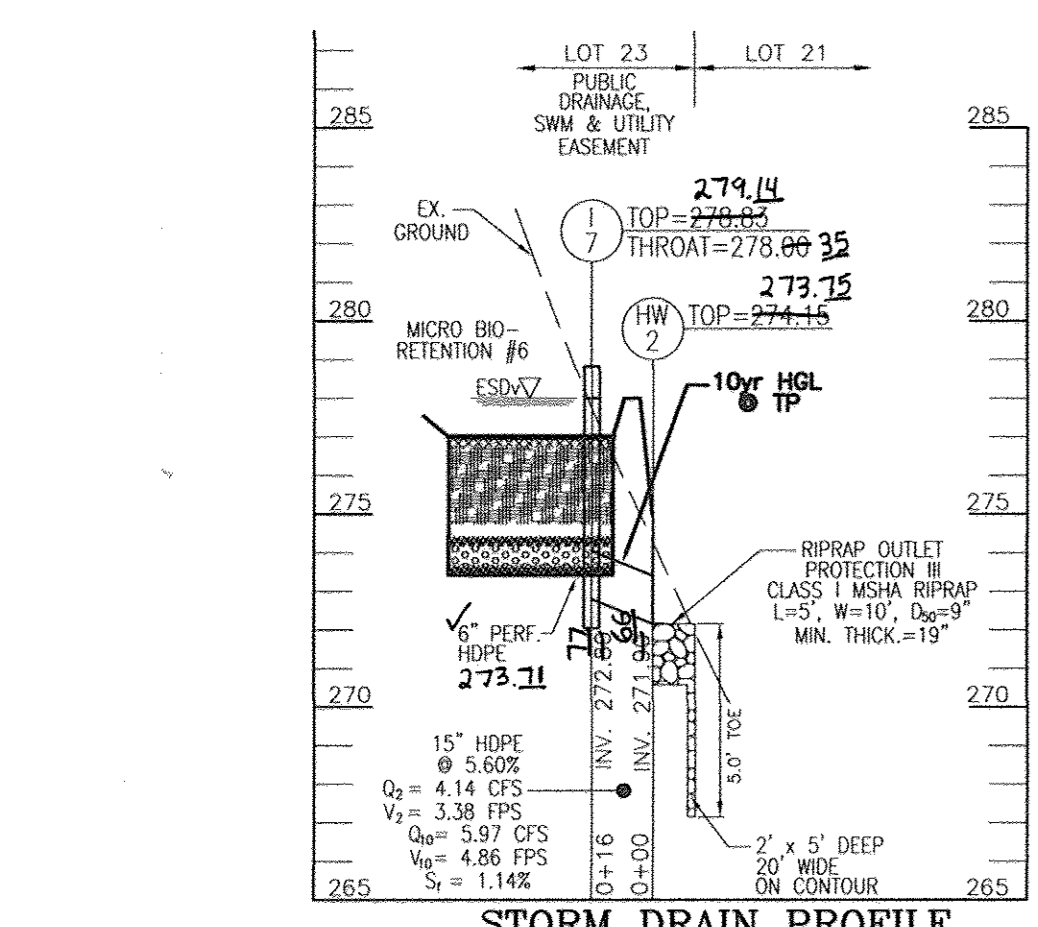
Size	Class	Total Length*
12"	HOPE	300
15"	HOPE	99
18"	RCP CL III	197
15"	RCP CL IV	106
18"	RCP CL III	637
24"	RCP CL III	112
24"	RCP CL IV	64

* The total length of pipe is linear feet only.
** If HDPE is specified, Smooth Interior pipe is to be installed. Contractor shall install pipe in accordance with manufacturer's specifications.



Size	Class	Total Length*
12"	HOPE	300
15"	HOPE	99
18"	RCP CL III	197
15"	RCP CL IV	106
18"	RCP CL III	637
24"	RCP CL III	112
24"	RCP CL IV	64

* The total length of pipe is linear feet only.
** If HDPE is specified, Smooth Interior pipe is to be installed. Contractor shall install pipe in accordance with manufacturer's specifications.

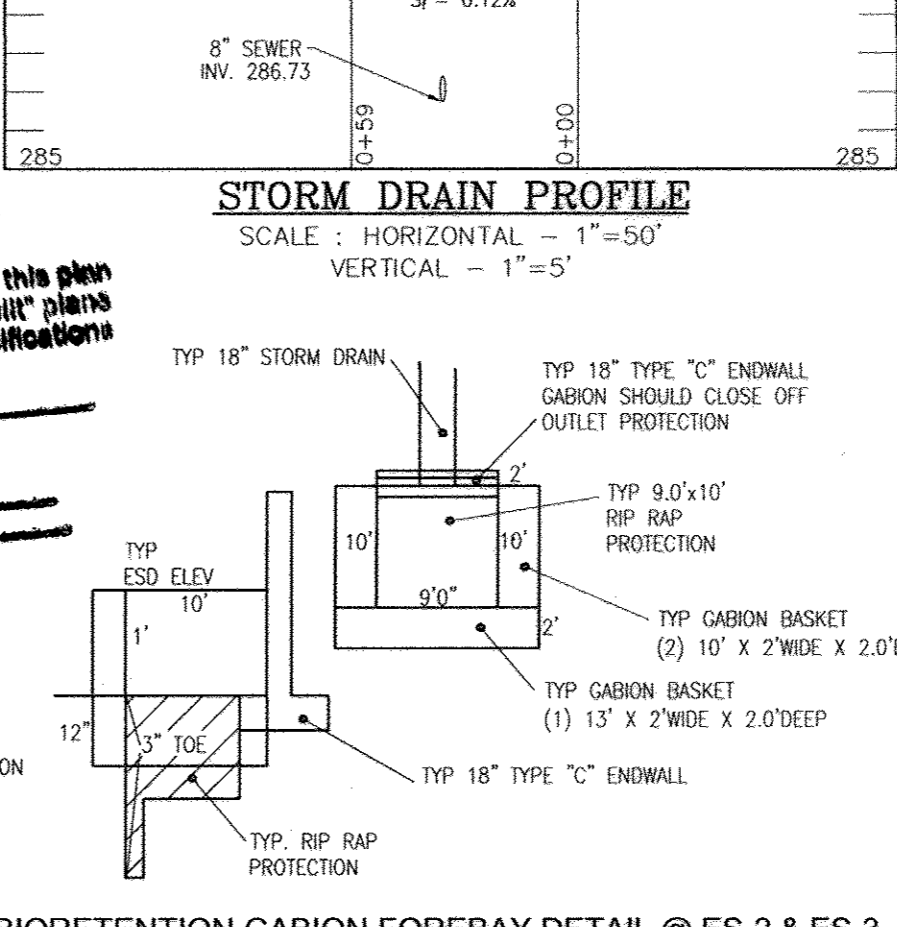


STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

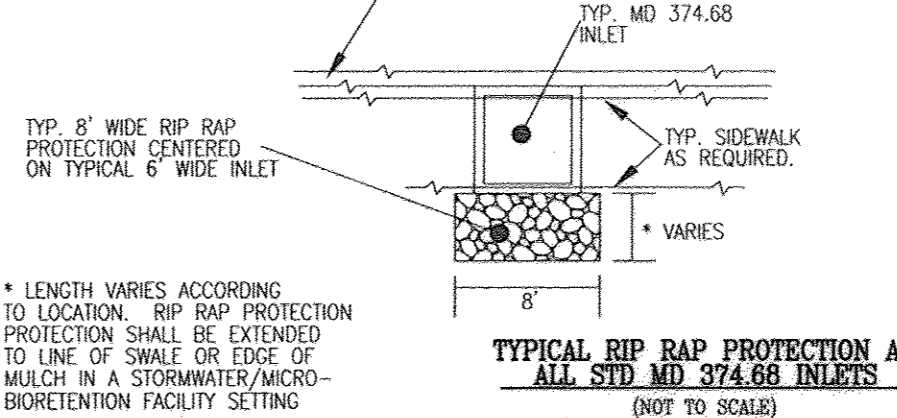
APPROVED: DEPARTMENT OF PUBLIC WORKS
Michael J. Galt 2-2-14
CHIEF, BUREAU OF HIGHWAYS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chad Edman 3-14-14
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Kate Schelone 3-17-14
CHIEF, DIVISION OF LAND DEVELOPMENT



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



FINAL ROAD CONSTRUCTION PLAN
STORM DRAIN PROFILES
AUTUMN OVERLOOK
LOTS 1-20, & OPEN SPACE LOTS 21-24
PARCELS 56 & 309 (L 12833 / F. 00446)
PARCEL 95 (L 13244 / F. 00037)

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLCOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

DESIGN BY: RHV/EDS
DRAWN BY: JMR/EDS
CHECKED BY: RHV
DATE: DECEMBER 2013
SCALE: AS SHOWN
W.O. NO.: 10-30

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 09-27-2014

10 SHEET OF 17

SPECIMEN TREE CHART				
NO.	SIZE	COMMON NAME	CONDITION	COMMENTS
ST-1	31" DBH	NORWAY MAPLE	FAIR	TO BE REMOVED
ST-2	47" DBH	TULIP POPLAR	GOOD	TO REMAIN
ST-3	46" DBH	NORWAY MAPLE	POOR	TO BE REMOVED
ST-4	41" DBH	WHITE OAK	FAIR-POOR	TO BE REMOVED
ST-5	48" DBH	WHITE OAK	FAIR-POOR	TO BE REMOVED
ST-6	36" DBH	TULIP POPLAR	FAIR	TO BE REMOVED
ST-7	45" DBH	AMERICAN SYCAMORE	GOOD	TO REMAIN
ST-8	41" DBH	TULIP POPLAR	FAIR	TO BE REMOVED
ST-9	37" DBH	TULIP POPLAR	GOOD	TO REMAIN
ST-10	31" DBH	TULIP POPLAR	GOOD	TO REMAIN
ST-11	30" DBH	TULIP POPLAR	FAIR	TO REMAIN
ST-12	30" DBH	TULIP POPLAR	GOOD	TO REMAIN
ST-13	31" DBH	TULIP POPLAR	GOOD	TO REMAIN
ST-14	32" DBH	AMERICAN SYCAMORE	FAIR	TO BE REMOVED
ST-15	31" DBH	AMERICAN SYCAMORE	GOOD	TO BE REMOVED

FOREST STAND TOTALS
FOR THE MCHPSON PORTION OF THE PROPERTY
PARCELS 56 AND 309

STAND A = 4.32 ACRES

GENERAL NOTES:

- THERE ARE NO STATE CHAMPION TREES ON SITE, SPECIMEN TREES HAVE BEEN IDENTIFIED ABOVE WITH CHART.
- THERE ARE NO RARE, THREATENED OR ENDANGERED SPECIES ON SITE.
- BASED ON THE SITE VISIT BY ENVIRONMENTAL CONSULTANT THERE WERE NO PRESENCE OF FOREST INTERIOR DWELLING BIRDS NESTING.
- THERE ARE NO METERS OR HISTORIC FEATURES ON SITE.
- SURROUNDING LAND USE IS MEDIUM/HIGH DENSITY RESIDENTIAL AND FOREST.

WETLAND DATA

WETLAND SYSTEM	COWARDIN CLASSIFICATION	DOMINANT VEGETATION
A	PEM1A R3/AUB1	IMPATIENS CAPENSIS, BOEHMERIA CYLINDRICA, GLYCERIA CYLINDRICA

GERMAN E. FLORES RENGIFO
MARIA WALEWSKA RODRIGUEZ T/E
TM: 25 PARCEL: 48
COTTER PROPERTY
PLAT: 13151
L: 12497 / F: 276
LOT 2
0.79 ACRES
USE: RESIDENTIAL
ZONED: R-ED

LEGEND:

	PROPERTY LINE		PROPOSED SIDEWALK
	RIGHT-OF-WAY LINE		PROPOSED TRENLINE
	ADJACENT PROPERTY LINE		PROPOSED CURB
	EXISTING CURB AND GUTTER		PROPOSED STREET LIGHT
	EXISTING UTILITY POLE		PROPOSED FOREST CONSERVATION
	EXISTING LIGHT POLE		PROPOSED 10' CONTOUR
	EXISTING MAILBOX		PROPOSED 2' CONTOUR
	EXISTING SIGN		PROPOSED SHADE TREES
	EXISTING SANITARY MANHOLE		PROPOSED EVERGREEN TREES
	EXISTING SANITARY LINE		PROPOSED LANDSCAPE BUFFER
	EXISTING CLEAFCUT		FOREST CONSERVATION SIGNS
	EXISTING FIRE HYDRANT		PROPOSED STORMDRAIN
	EXISTING WATER LINE		PROPOSED STORMDRAIN INLET
	EXISTING 10' CONTOUR		LIMITS OF DISTURBANCE
	EXISTING 2' CONTOUR		PROPOSED FOREST CLEARING
	SOILS		EXISTING STEEP SLOPES (25% AND GREATER)
	EXISTING TRENLINE		EXISTING MODERATE SLOPES (15%-24.99%)
	EXISTING FENCE		EX. SPECIMEN TREE
	CENTERLINE OF EXISTING STREAM		EX. SPECIMEN TREE
	EXISTING SEWER AND UTILITY EASEMENT		
	PROPOSED PUBLIC SITE DISTANCE EASEMENT		

NOTE

- THIS SHEET SHALL NOT BE USED FOR GRADING PURPOSES.
- FOR RECREATION OPEN SPACE AMENITY DETAILS, REFER TO SHEET 12

SITE DATA

GROSS AREA: 11.71 AC
 AREA OF 100 YEAR FLOODPLAIN: 0.00 AC
 AREA OF STEEP SLOPES: 1.49 AC
 AREA OF STREAM/BUFFER: 1.17 AC
 AREA OF WETLANDS/BUFFER: 0.91 AC
 NET AREA: 9.14 AC
 EXISTING ZONING: R-ED

SPECIMEN TREE CHART				
NO.	SIZE	COMMON NAME	CONDITION	COMMENTS
ST-16	33" DBH	WHITE ASH	POOR	TO BE REMOVED
ST-17	37" DBH	TULIP POPLAR	GOOD	TO BE REMOVED
ST-18	35" DBH	MOCKERNUT HICKORY	GOOD	TO REMAIN
ST-19	44" DBH	AMERICAN SYCAMORE	FAIR	TO REMAIN
ST-20	44" DBH	AMERICAN BEECH	GOOD	TO REMAIN
ST-21	40" DBH	WHITE PINE	GOOD	TO REMAIN
ST-22	50" DBH	WHITE OAK	GOOD	TO REMAIN
ST-23	52" DBH	POPLAR	POOR	TO BE REMOVED
ST-24	41" DBH	POPLAR	GOOD	TO REMAIN
ST-25	38" DBH	POPLAR	GOOD	TO REMAIN
ST-26	32" DBH	POPLAR	GOOD	TO BE REMOVED
ST-27	31.5" DBH	POPLAR	GOOD	TO BE REMOVED
ST-28	37" DBH	POPLAR	GOOD	TO BE REMOVED

NOTE: FOR SPECIMEN TREES 9, 12, 13, 21, 24 & 25 TREE PROTECTION FENCING WILL BE REQUIRED. SPECIMEN TREE #21 WILL REQUIRE EITHER BARRI WERE OR BOARD ON BOARD FENCING. GENERALLY PRUNING MAY BE REQUIRED AND WILL BE DETERMINE PRIOR TO CONSTRUCTION BY DEVELOPER'S REPRESENTATIVE. ASSESSMENT OF #21 WILL BE REQUIRED AT BEGINNING, MIDDLE, AND END OF CONSTRUCTION TO DETERMINE STATUS.

AS-BUILT CERTIFICATION

I hereby certify that the facilities shown on this plan was constructed as shown on the "as-built" plans and meets the approved plans and specifications.

Signature: _____
 PE NO: 16193
 Date: 11/21/13

OWNER
 MR. FAMILY LIMITED PARTNERSHIP: TAYLOR VILLAGE FAMILY, LLC
 MANAGING MEMBER PHILLIP GIUCIOTTI, AUTHORIZED PERSON
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MD 21043
 (410) 465-3500

TAYLOR FAMILY LIMITED PARTNERSHIP: A'S VILLAGE CREST, LLC
 MANAGING MEMBER BRUCE TAYLOR, AUTHORIZED PERSON
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MD 21043
 (410) 465-3500

DEVELOPER
 AUTUMN DEVELOPMENT CORPORATION, RONALD L. SPAHN, PRESIDENT
 5401 TWIN KINGS ROAD, SUITE 7
 COLUMBIA, MD 21045
 (410) 465-3500

NO AS-BUILT INFORMATION ON THIS SHEET

FINAL ROAD CONSTRUCTION PLAN
LANDSCAPE AND FOREST CONSERVATION PLAN

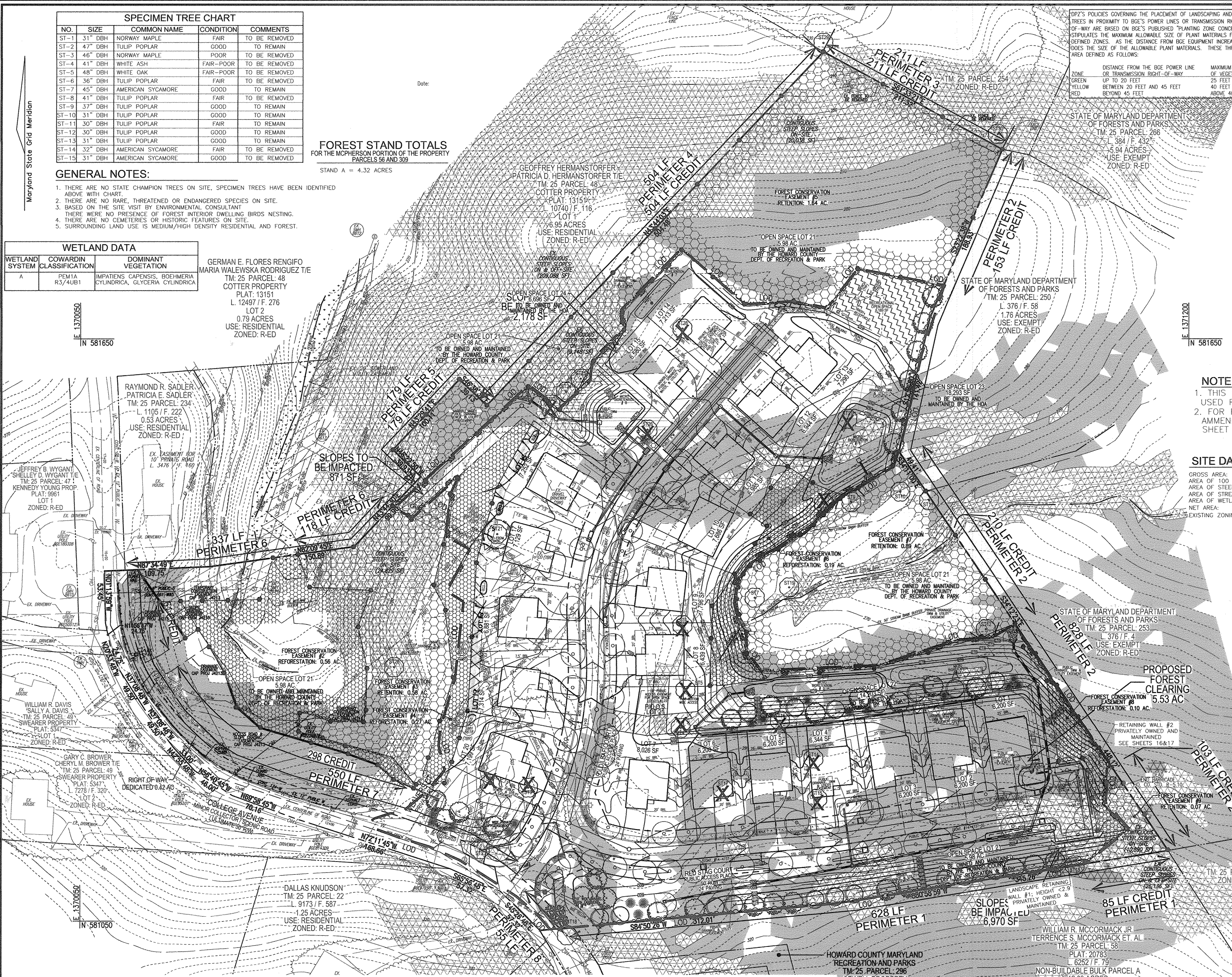
AUTUMN OVERLOOK
 LOTS 1-20, & OPEN SPACE LOTS 21-24
 PARCELS 56 & 309 (L: 12833 / F: 00448)
 PARCEL 95 (L: 13244 / F: 00037)

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

DESIGN BY: RHW/EDS
 DRAWN BY: JMR/EDS
 CHECKED BY: RHW
 DATE: DECEMBER 2013
 SCALE: AS SHOWN
 W.O. NO.: 10-30

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
 EXPIRATION DATE: 09-27-2014

11 SHEET OF 17



APPROVED: DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature of Developer: _____
 Date: 12-6-13

LANDSCAPE PLAN
 SCALE: 1"=50'

KEY	COMMUNITY TYPE	ACREAGE	DOMINANT VEGETATION	GENERAL CONDITION	PRIORITY ACREAGE
F1	POPULAR	4.4	LIRIODENDRON TULIPIFERA, ACER RUBRUM, FAGUS GRANDIOLRA, PRUNUS SEROTINA, ANANTHUS ALTISSIMA	GOOD	1.5 BUFFERS SLOPES

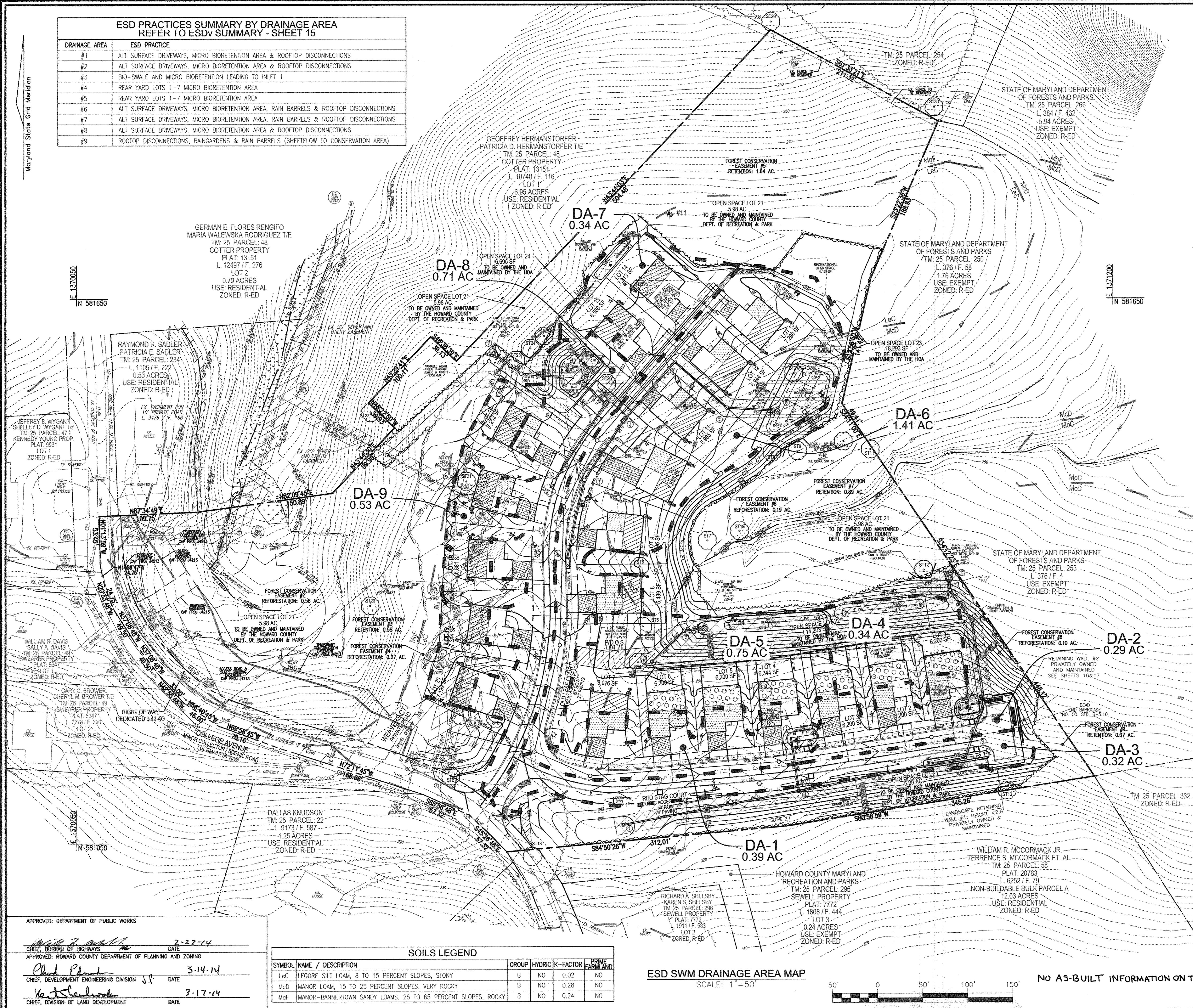
FOREST STAND DATA FOR THE PREVIOUS WEAVER'S COURT PORTION OF THE PROPERTY, PARCEL 95

Maryland State Grid Meridian

ESD PRACTICES SUMMARY BY DRAINAGE AREA REFER TO ESDv SUMMARY - SHEET 15	
DRAINAGE AREA	ESD PRACTICE
#1	ALT SURFACE DRIVEWAYS, MICRO BIORETENTION AREA & ROOFTOP DISCONNECTIONS
#2	ALT SURFACE DRIVEWAYS, MICRO BIORETENTION AREA & ROOFTOP DISCONNECTIONS
#3	BIO-SWALE AND MICRO BIORETENTION LEADING TO INLET 1
#4	REAR YARD LOTS 1-7 MICRO BIORETENTION AREA
#5	REAR YARD LOTS 1-7 MICRO BIORETENTION AREA
#6	ALT SURFACE DRIVEWAYS, MICRO BIORETENTION AREA, RAIN BARRELS & ROOFTOP DISCONNECTIONS
#7	ALT SURFACE DRIVEWAYS, MICRO BIORETENTION AREA, RAIN BARRELS & ROOFTOP DISCONNECTIONS
#8	ALT SURFACE DRIVEWAYS, MICRO BIORETENTION AREA & ROOFTOP DISCONNECTIONS
#9	ROOFTOP DISCONNECTIONS, RAINGARDENS & RAIN BARRELS (SHEETFLOW TO CONSERVATION AREA)

LEGEND:

	PROPERTY LINE		EXISTING SEWER & UTILITY EASEMENT
	RIGHT-OF-WAY LINE		PUBLIC SEWER & UTILITY EASEMENT
	ADJACENT PROPERTY LINE		20' PUBLIC ACCESS EASEMENT TO OPEN SPACE LOT 21
	EXISTING CURB AND GUTTER		PRIVATE DRAINAGE SWM & UTILITY EASEMENT
	EXISTING UTILITY POLE		PUBLIC DRAINAGE SWM & UTILITY EASEMENT
	EXISTING LIGHT POLE		PUBLIC DRAINAGE & UTILITY EASEMENT
	EXISTING MAILBOX		VARIABLE WIDTH PUBLIC DRAINAGE, SEWER, WATER, & UTILITY EASEMENT
	EXISTING SIGN		10' WIDE PRIVATE SIGN EASEMENT
	EXISTING SANITARY MANHOLE		NON-STRUCTURAL ROOFTOP DISCONNECTIONS
	EXISTING SANITARY LINE		200 GAL RAIN BARREL
	EXISTING SANITARY LINE WITH CLEANOUT		DRAINAGE DIVIDE
	EXISTING FIRE HYDRANT		DRAINAGE AREA DESIGNATION
	EXISTING WATER LINE		MICRO-BIO RETENTION FACILITY #1
	EXISTING 10' CONTOUR		RAIN GARDEN
	EXISTING 2' CONTOUR		TEST PIT
	EXISTING TREE LINE		ALT-SURFACE (A-2) PROP. PERVIABLE SURFACE DRIVEWAY
	EXISTING TREES		PROPOSED STORM DRAIN
	EXISTING FENCE		PROPOSED STORM DRAIN INLET
	CENTERLINE OF EXISTING STREAM		PROPOSED SIDEWALK
	PROPOSED STORM DRAIN		PROPOSED TREE LINE
	PROPOSED STORM DRAIN INLET		PROPOSED CURB
	PROPOSED SIDEWALK		PROPOSED STREET LIGHT
	PROPOSED TREE LINE		PROPOSED 10' CONTOUR
	PROPOSED CURB		PROPOSED 2' CONTOUR
	PROPOSED STREET LIGHT		EXISTING SEWER TO BE ABANDONED
	PROPOSED 10' CONTOUR		
	PROPOSED 2' CONTOUR		
	EXISTING SEWER TO BE ABANDONED		



NOTE
FOR MODERATE AND STEEP SLOPE DELINEATION PLEASE REFER TO SHEET 2



AS-BUILT CERTIFICATION

I hereby certify that the facilities shown on this plan were constructed in accordance with the "as-built" plans and meets the approved plans and specifications.

Signature: _____
Date: 1/17/13

OWNER
MRJL FAMILY LIMITED PARTNERSHIP, TAYLOR VILLAGE FAMILY, LLC
MANAGING MEMBER PHILLIP GUSCICK, AUTHORIZED PERSON
4100 COLLEGE AVENUE
ELICOTT CITY, MD 21043
(410) 465-3500

DEVELOPER
AUTUMN DEVELOPMENT CORPORATION, RONALD L. SPAHN, PRESIDENT
5401 TWIN KNOLLS ROAD, SUITE 7
COLUMBIA, MD 21045
(410) 465-3500

NO. _____ REVISION _____ DATE _____

FINAL ROAD CONSTRUCTION PLAN
STORMWATER MANAGEMENT DRAINAGE AREA MAP
AUTUMN OVERLOOK
LOTS 1-20, & OPEN SPACE LOTS 21-24
PARCELS 56 & 309 (L. 12833 / F. 00446)
PARCEL 95 (L. 13244 / F. 00037)

ZONED: R-ED
TAX MAP: 25 GRD. 14
2ND ELECTION DISTRICT
PARCELS: 56, 309, AND 95
HOWARD COUNTY, MARYLAND

DPZ REF'S: SEE NOTE # 11

ROBERT H. VOGEL
ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2014.

DESIGN BY: RHV/EDS
DRAWN BY: JMR/EDS
CHECKED BY: RHV
DATE: DECEMBER 2013
SCALE: AS SHOWN
W.O. NO.: 10-30

13 SHEET OF 17

APPROVED: DEPARTMENT OF PUBLIC WORKS
2-27-14

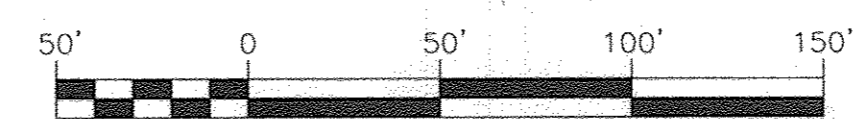
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
3-14-14

APPROVED: 3-17-14

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	K-FACTOR	PRIME FARMLAND
Lec	LEGORE SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B	NO	0.02	NO
McD	MANOR LOAM, 15 TO 25 PERCENT SLOPES, VERY ROCKY	B	NO	0.28	NO
Mqf	MANOR-BANNERTOWN SANDY LOAMS, 25 TO 65 PERCENT SLOPES, ROCKY	B	NO	0.24	NO

ESD SWM DRAINAGE AREA MAP
SCALE: 1"=50'



NO AS-BUILT INFORMATION ON THIS SHEET

B.4.B SPECIFICATIONS FOR PERMEABLE PAVEMENTS & REINFORCED TURF

THESE SPECIFICATIONS INCLUDE INFORMATION ON ACCEPTABLE MATERIALS FOR TYPICAL APPLICATIONS AND ARE NOT EXCLUSIVE OR LIMITING. THE DESIGNER IS RESPONSIBLE FOR DEVELOPING SPECIFICATIONS FOR INDIVIDUAL PROJECTS AND SPECIFIC CONDITIONS.

- PERVIOUS CONCRETE SPECIFICATIONS**
DESIGN THICKNESS - PERVIOUS CONCRETE APPLICATIONS SHALL BE DESIGNED SO THAT THE THICKNESS OF THE CONCRETE SHALL SUPPORT THE TRAFFIC AND VEHICLE TYPES THAT WILL BE CARRIED. APPLICATIONS MAY BE DESIGNED USING EITHER STANDARD PAVEMENT PROCEDURES (E.G., ASPHALT AND 3/4" TO 1" (1.5" TO 2") OR USING STRUCTURAL VALUES DERIVED FROM FLEXIBLE PAVEMENT DESIGN PROCEDURES.
MIX & INSTALLATION - TRADITIONAL PORTLAND CEMENTS (ASTM C 150, C 115) MAY BE USED IN PERVIOUS CONCRETE APPLICATIONS. PHOSPHORUS ADJUNCTS MAY ALSO BE USED. MATERIALS SHOULD BE TESTED (E.G., TENSILE STRENGTH) PRIOR TO CONSTRUCTION SO THAT CRITICAL PROPERTIES (E.G., SETTING TIME, RATE OF STRENGTH DEVELOPMENT, POROSITY, PERMEABILITY) CAN BE DETERMINED.
AGGREGATE - PERVIOUS CONCRETE CONTAINS A LIMITED FINE AGGREGATE CONTENT. COMMONLY USED GRADATIONS INCLUDE ASTM C 33 NO. 67 (3/4" IN. TO NO. 4), NO. 8 (3/8" IN. TO NO. 16) AND NO. 89 (3/8" IN. TO NO.50) SIEVES. SINGLE-SIZED AGGREGATE (UP TO 1 INCH) MAY ALSO BE USED.
WATER CONTENT - WATER-TO-CEMENT RATIOS BETWEEN 0.27 AND 0.30 ARE USED ROUTINELY WITH PROPER INCLUSION OF CHEMICAL ADJUNCTS. WATER QUALITY SHOULD MEET ASTM C 308 AS A GENERAL RULE. POISSON WATER SHOULD BE USED ALTHOUGH RECYCLED CONCRETE PRODUCTION WATER MEETING ASTM C 94 OR ASTM D 157 MAY ALSO BE USED.
ADJUNCTS - CHEMICAL ADJUNCTS (E.G., RETARDERS OR HYDRATION-STABILIZERS) ARE USED TO OBTAIN SPECIAL PROPERTIES IN PERVIOUS CONCRETE. USE OF ADJUNCTS SHOULD MEET ASTM C 494 (CHEMICAL ADJUNCTS) AND ASTM C 260 (AIR ENTRAINING ADJUNCTS) AND CLOSELY FOLLOW MANUFACTURER'S RECOMMENDATIONS.
BASE COURSE - THE BASE COURSE SHALL BE ASPHALT NO. 3 OR 4 COURSE AGGREGATE WITH AN ASSUMED OPEN PORE SPACE OF 30% (n=0.30).

- PERMEABLE INTERLOCKING CONCRETE PAVEMENTS (PICP)**
PAVER BLOCKS - BLOCKS SHOULD BE EITHER 3" IN. OR 4" IN. THICK, AND MEET ASTM C 936 OR CSA A312 REQUIREMENTS. APPLICATIONS SHOULD HAVE 20% OR MORE (AGE PREFERRED) OF THE SURFACE AREA OPEN. INSTALLATION SHOULD FOLLOW MANUFACTURER'S INSTRUCTIONS, EXCEPT THAT INFILL AND BASE COURSE MATERIALS AND DIMENSIONS SPECIFIED IN THIS APPENDIX SHALL BE FOLLOWED.
INFILL MATERIALS AND LEVELING COURSE - OPENINGS SHALL BE FILLED WITH ASTM C-33 GRADED SAND OR SANDY LOAM. PICP BLOCKS SHALL BE PLACED ON A ONE-INCH THICK LEVELING COURSE OF ASTM C-33 SAND.
BASE COURSE - THE BASE COURSE SHALL BE ASPHALT NO. 3 OR 4 COURSE AGGREGATE WITH AN ASSUMED OPEN PORE SPACE OF 30% (n=0.30).
- REINFORCED TURF**
REINFORCED GRASS PAVEMENT (RGP) - WHETHER USED WITH GRASS OR GRAVEL, THE RGP THICKNESS SHALL BE AT LEAST 1-3/4" THICK WITH A LOAD CAPACITY CAPABLE OF SUPPORTING THE TRAFFIC AND VEHICLE TYPES THAT WILL BE CARRIED.

A-2. PERMEABLE PAVEMENTS

CONSTRUCTION CRITERIA:

THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING CONSTRUCTION OF PROJECTS WITH PERMEABLE PAVEMENT:

- EROSION AND SEDIMENT CONTROL - FINAL GRADING FOR INSTALLATION SHOULD NOT TAKE PLACE UNTIL THE SURROUNDING SITE IS STABILIZED. IF THIS CANNOT BE ACCOMPLISHED, RUNOFF FROM DISTURBED AREAS SHALL BE DIVERTED AROUND PROPOSED PAVEMENT LOCATIONS.
- SOIL COMPACTION - SUB SOILS SHALL NOT BE COMPACTED. CONSTRUCTION SHOULD BE PERFORMED WITH LIGHTWEIGHT, WIDE TRACKED EQUIPMENT TO MINIMIZE COMPACTION. EXCAVATED MATERIALS SHOULD BE PLACED IN A CONTAINED AREA.
- DISTRIBUTION SYSTEMS - OVERDRAIN, UNDERDRAIN, AND DISTRIBUTION PIPES SHALL BE CHECKED TO ENSURE THAT BOTH THE MATERIAL AND PERFORMANCES MEET SPECIFICATIONS (SEE APPENDIX B. 4). THE UPSTREAM ENDS OF PIPES SHOULD BE CAPPED PRIOR TO INSTALLATION. ALL UNDERDRAIN OR DISTRIBUTION PIPES USED SHOULD BE INSTALLED FLAT ALONG THE BED BOTTOM.
- SUBBASE INSTALLATION - SUBBASE AGGREGATE SHALL BE CLEAN AND FREE OF FINES. THE SUBBASE SHALL BE PLACED IN LIFTS AND LIGHTLY ROLLED ACCORDING TO THE SPECIFICATIONS (SEE APPENDIX B.4).
- INSPECTION: REGULAR INSPECTIONS SHALL BE MADE DURING THE FOLLOWING STAGES OF CONSTRUCTION:
 - DURING EXCAVATION TO SUB GRADE.
 - DURING PLACEMENT AND BACKFILL OF ANY DRAINAGE OR DISTRIBUTION SYSTEM(S).
 - DURING PLACEMENT OF THE CRUSHED STONE SUBBASE MATERIAL.
 - DURING PLACEMENT OF THE SURFACE MATERIAL.
 - UPON COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF PERMANENT STABILIZATION.

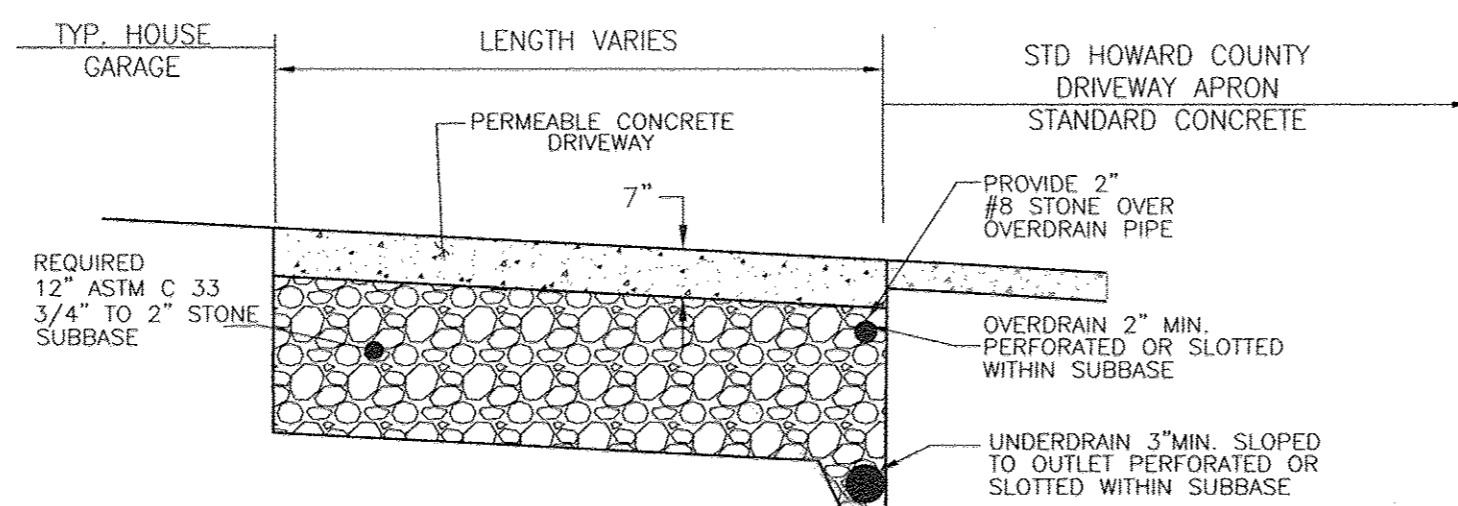
MAINTENANCE CRITERIA:

THE FOLLOWING PROCEDURES SHOULD BE CONSIDERED ESSENTIAL FOR MAINTAINING PERMEABLE PAVEMENT SYSTEMS:

- PAVEMENTS SHOULD BE USED ONLY WHERE REGULAR MAINTENANCE CAN BE PERFORMED. MAINTENANCE AGREEMENTS SHOULD CLEARLY SPECIFY HOW TO CONDUCT ROUTINE TASKS TO ENSURE LONG-TERM PERFORMANCE.
- PAVEMENT SURFACES SHOULD BE SWEEPED AND VACUUMED TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT. WASHING SYSTEMS AND COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
- DRAINAGE PIPES, INLETS, STONE EDGE DRAINS, AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE SHOULD BE CLEANED OUT AT REGULAR INTERVALS.
- TRUCKS AND OTHER HEAVY VEHICLES CAN GRIND DIRT AND GRIT INTO THE POROUS SURFACES, LEADING TO CLOGGING AND PREMATURE FAILURE. THESE VEHICLES SHOULD BE PREVENTED FROM TRACKING AND SPILLING MATERIAL ONTO THE PAVEMENT.
- DECISERS SHOULD BE USED IN MODERATION. WHEN USED, DECISERS SHOULD BE NON-TOXIC AND ORGANIC AND CAN BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREATED SALT. SNOW PLOWING SHOULD BE DONE CAREFULLY WITH BLADES SET ONE INCH HIGHER THAN NORMAL. PLOWED SNOW PILES AND SNOW MELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.

HOWARD COUNTY - OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)

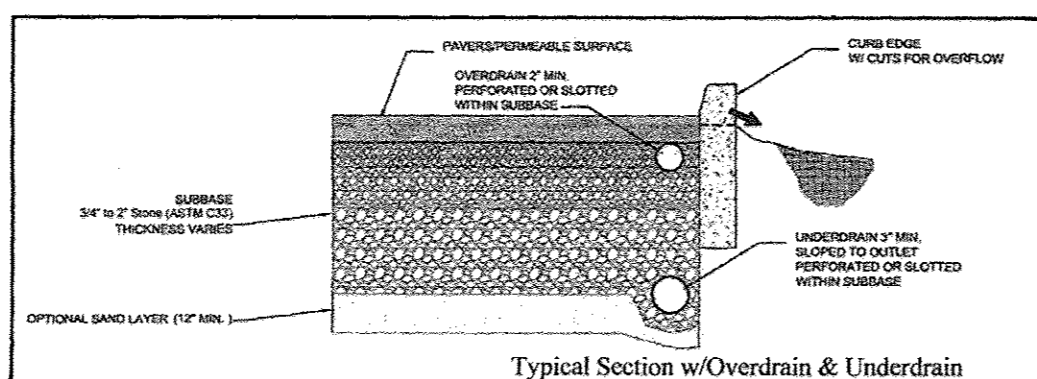
- THE OWNER SHALL PERIODICALLY SWEEP (OR VACUUM POROUS CONCRETE PAVEMENT) THE PAVEMENT SURFACES TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT. WASHING OR COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
- THE OWNER SHALL PERIODICALLY CLEAN DRAINAGE PIPES, INLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE.
- THE OWNER SHALL USE DECISERS IN MODERATION. DECISERS SHOULD BE NON-TOXIC AND BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREATED SALT.
- THE OWNER SHALL ENSURE SNOW PLOWING IS PERFORMED CAREFULLY WITH BLADES SET ONE INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOW MELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.



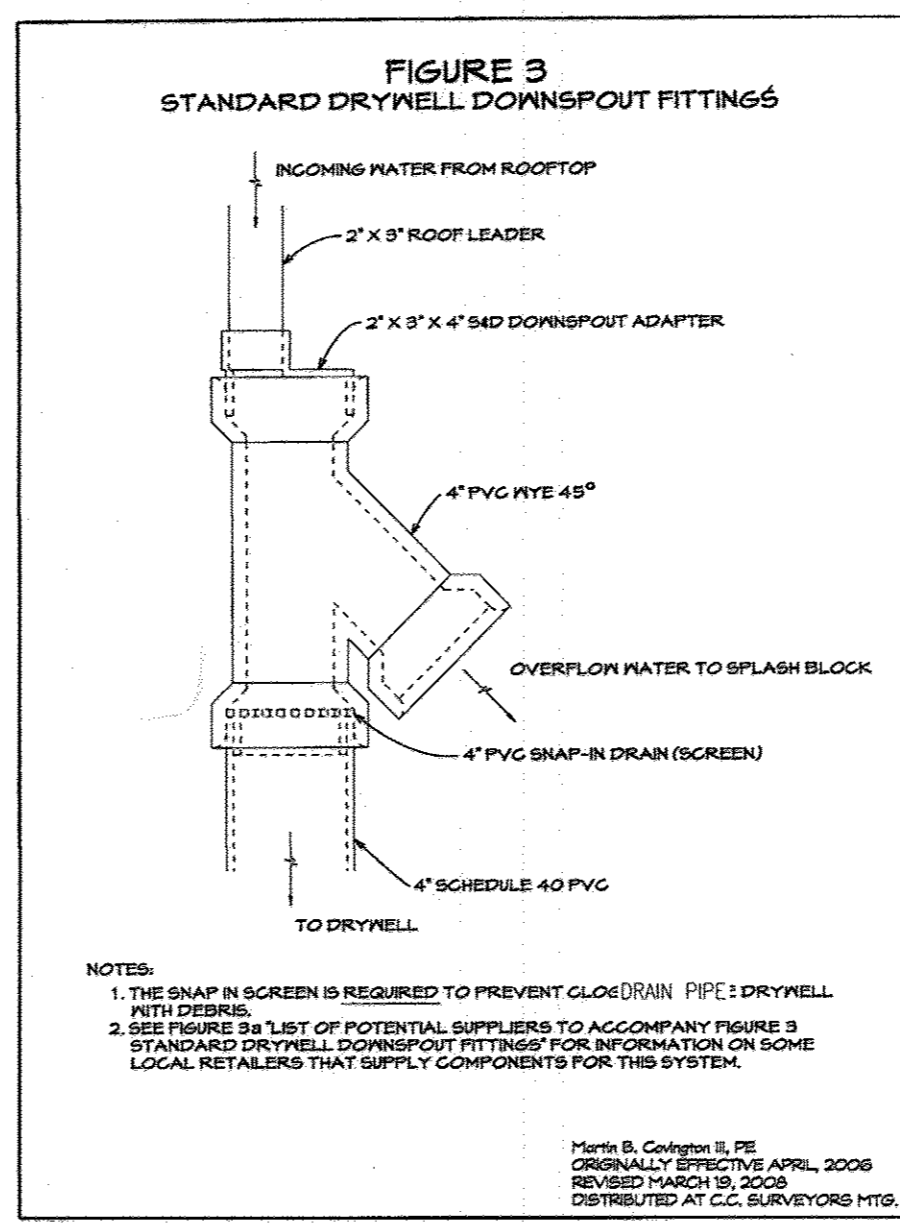
- NOTE:
- PAVEMENT CROSS SECTION TO BE CONFIRMED BY GEOTECHNICAL ENGINEER
 - UNDERDRAIN SHALL BE LOCATED SUCH THAT IT CAN DAYLIGHT TO THE CURB, INTO A BIO-RETENTION FACILITY OR TO THE REAR OF THE LOT
 - OVERDRAIN SHALL COMBINE WITH UNDERDRAIN OR DAYLIGHT AS DETAILED FOR UNDERDRAIN, SEE NOTE 2.

DETAIL - PERMEABLE CONCRETE DRIVEWAY - 5% OR LESS

NOT TO SCALE
ALL PERMEABLE CONCRETE THICKNESS, MIX AND SUB-BASE TO BE DETERMINED BY GEOTECHNICAL ENGINEER ONSITE.



PERMEABLE SURFACE TYPICAL SECTION
NOT TO SCALE



DOWNSPOUT OVERFLOW
1. PROVIDE ABOVE FITTING FOR ALL DOWNSPOUTS FEEDING REAR YARD PIPE SYSTEM TO MICRORETENTION FACILITIES # 4 & 5

BUSHMAN BRT205 Round Tank

Features & Benefits:

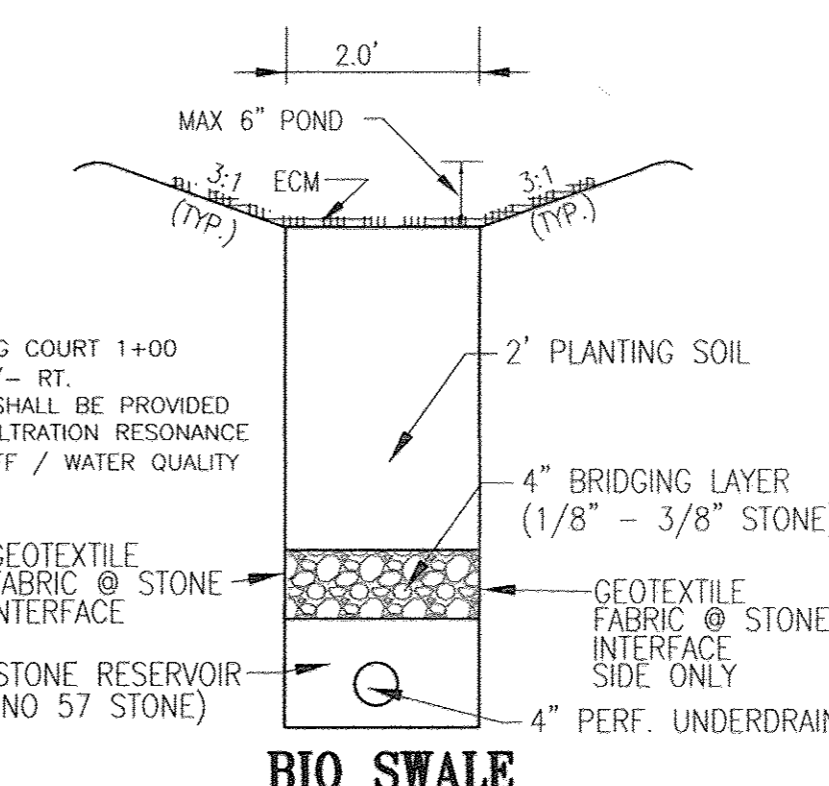
- Water capacity of four (4) gallon rain barrels
- High quality rotational molded polyethylene construction assures maximum strength
- One piece construction and horizontal slots around the tank provide added wall strength
- Inlet screen with mosquito screen and cover
- Overflow assembly provided with mosquito screen and 90 degree elbow
- Tank openings are pre-installed for easy installation
- Bushman's 3 Year Warranty

Example BRT205: BRT205 tank, 205 U.S. Gallons capacity, Forest Green, Premier Package

BUSHMAN BRT205 (205 GALLON) RAIN HARVESTING SYSTEM OR EQUIVALENT RAIN BARREL DETAIL
NOT TO SCALE

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED Rainwater Harvesting (M-1)

- The Owner shall empty barrels on a monthly basis and clean barrel with a hose.
- The Owner shall verify integrity of leaf screens, gutters, downspouts, spigots, and mosquito screens, and clean and remove any debris.
- The Owner shall replace damaged components as needed.
- The Owner shall disconnect the barrel prior to winter, or allow the barrel to drain by bottom spigot during the winter season.



BIO SWALE
TYPICAL CROSS SECTION
(NOT TO SCALE)

AS-BUILT CERTIFICATION

I hereby certify that the facility shown on this plan was constructed as shown on the "as-built" plans and meets the approved plans and specifications.

Signature: _____
PE NO. 16193
Date: 11/11/18



NO AS-BUILT INFORMATION ON THIS SHEET

AUTUMN OVERLOOK - FINAL PLAN ESDv COMPUTATIONS														
SITE AREA		S.85 AC		AC		254900								
TARGET Pct		1.80 IN		PERCENT										
SITE IMPERVIOUS		36.97												
SITE Rcv		0.3647												
SITE ESDv		13941		CF +/-										
Rv=0.05+(0.0094) (V min=1.07 (rainfall) V max=3.14 (rainfall)=2.6)		(1.04(0.956A)/12		(2.64(0.956A)/12										
DA	% IMPERV	Rv	DA (SF)	DA (AC)	MINIMUM VOLUME	MAXIMUM VOLUME	1.8" VOLUME PROVIDED*	IMPERV (SF)	IMPERV (AC)	GREEN AREA	REMARKS			
1	65.35	0.6381	17200	0.39	915	2378	1646	961	11240	0.26	0.14	ALT SURFACE/ NON-STR/MICROSCALE MICRO-BIO 600 450 SF MICRO BIO 282 PERM SURFACE PARKING PAD @ .196 32 15' DISCONNECTS 48 30' DISCONNECTS		
2	60.27	0.5924	12785	0.29	629	1655	1132	759	7675	0.18	0.12	ALT SURFACE/ NON-STR/MICROSCALE MICRO-BIO 500 375 SF MICRO BIO 212 PERM SURFACE PARKING PAD @ .196 16 15' DISCONNECTS 37 30' DISCONNECTS		
3	65.64	0.6407	13940	0.32	744	1935	1340	915	9150	0.21	0.11	MICROSCALE - BIOSWALE & MICRO-BIO 465 700 SF BIOSWALE @ 0.5' 450 340 SF MICRO BIO		
4	17.55	0.2079	14705	0.34	255	662	459	1200	2580	0.06	0.28	MICROSCALE MICRO-BIO RETENTION 1200 900 SF MICRO BIO		
5	36.41	0.1977	32715	0.75	530	1402	970	1485	5370	0.12	0.63	MICROSCALE PRACTICES 1430 1080 SF MICRO BIO 55 RAIN BARREL		
6	37.76	0.3888	61415	1.41	1995	5187	3091	3818	23130	0.53	0.88	ALT SURFACE/ NON-STR/MICROSCALE PRACTICES 3800 2,280 SF MICRO BIO 106 PERM SURFACE PARKING PAD @ .196 141 PERM SURFACE PARKING PAD @ .196 141 PERM SURFACE PARKING PAD @ .196 329 RAIN BARREL 40 15' DISCONNECTS 37 30' DISCONNECTS		
7	36.22	0.1760	14620	0.34	458	1191	824	824	5265	0.12	0.21	ALT SURFACE/ NON-STR/MICROSCALE PRACTICES 640 485 SF MICRO BIO 71 PERM SURFACE PARKING PAD @ .196 62 RAIN BARREL 16 15' DISCONNECTS 16 30' DISCONNECTS		
8	48.65	0.4878	30833	0.71	1253	3259	2256	2476	15000	0.34	0.36	ALT SURFACE/ NON-STR/MICROSCALE PRACTICES 1950 1,470 SF MICRO BIO 353 PERM SURFACE PARKING PAD @ .196 141 PERM SURFACE PARKING PAD @ .196 16 15' DISCONNECTS 16 30' DISCONNECTS		
9	20.91	0.2383	23105	0.51	419	1193	826	877	4835	0.11	0.42	NON-STR/MICROSCALE PRACTICES 274 RAIN BARREL 500 75 SF RAIN GARDENS (1 PER 5 LOTS) 40 15' DISCONNECTS 63 30' DISCONNECTS		
PROJECT TOTALS		38.1	0.3930	221268	5.08	7247	18842	13045	13315	84335	1.94	3.14		

APPROVED: DEPARTMENT OF PUBLIC WORKS
 [Signature] 2-27-14
 CHIEF, BUREAU OF HIGHWAYS
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 3-14-14
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 3-17-14
 CHIEF, DIVISION OF LAND DEVELOPMENT

DISCONNECTION OF ROOFTOP RUNOFF - (N-1)

CONSTRUCTION CRITERIA:

- THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING THE CONSTRUCTION OF PROJECTS WITH PLANNED ROOFTOP DISCONNECTIONS:
- EROSION AND SEDIMENT CONTROL: EROSION AND SEDIMENT CONTROL PRACTICES (E.G., SEDIMENT TRAPS) SHALL NOT BE LOCATED IN VEGETATED AREAS RECEIVING DISCONNECTED RUNOFF
 - SITE DISTURBANCE: CONSTRUCTION VEHICLES AND EQUIPMENT SHOULD AVOID AREAS RECEIVING DISCONNECTED RUNOFF TO MINIMIZE DISTURBANCE AND COMPACTION. SHOULD AREAS RECEIVING DISCONNECTED RUNOFF BECOME COMPACTED, SCARIFYING THE SURFACE OR ROTILLING THE SOIL TO A DEPTH OF FOUR TO SIX INCHES SHALL BE PERFORMED TO ENSURE PERMEABILITY. ADDITIONALLY, AMENDMENTS MAY BE NEEDED FOR TIGHT, CLAYEY SOILS.

INSPECTION:

A FINAL INSPECTION SHALL BE CONDUCTED BEFORE USE AND OCCUPANCY APPROVAL TO ENSURE THAT SIZING FOR TREATMENT AREAS HAVE BEEN MET AND PERMANENT STABILIZATION HAS BEEN ESTABLISHED.

MAINTENANCE CRITERIA:

MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE AREAS RECEIVING RUNOFF SHOULD BE PROTECTED FROM FUTURE COMPACTION (E.G., BY PLANTING TREES OR SHRUBS ALONG THE PERIMETER). IN COMMERCIAL AREAS, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

NO.	REVISION	DATE

FINAL ROAD CONSTRUCTION PLAN
STORM WATER MANAGEMENT NOTES AND DETAILS
AUTUMN OVERLOOK
LOTS 1-20, & OPEN SPACE LOTS 21-24
 PARCELS 56 & 309 (L. 12833 / F. 00446) ZONED: R-R
 PARCEL 95 (L. 13244 / F. 00037) TAX MAP: 25 GRD- 14
 2ND ELECTRON DISTRICT
 PARCELS: 56, 309, AND 95
 HOWARD COUNTY, MARYLAND

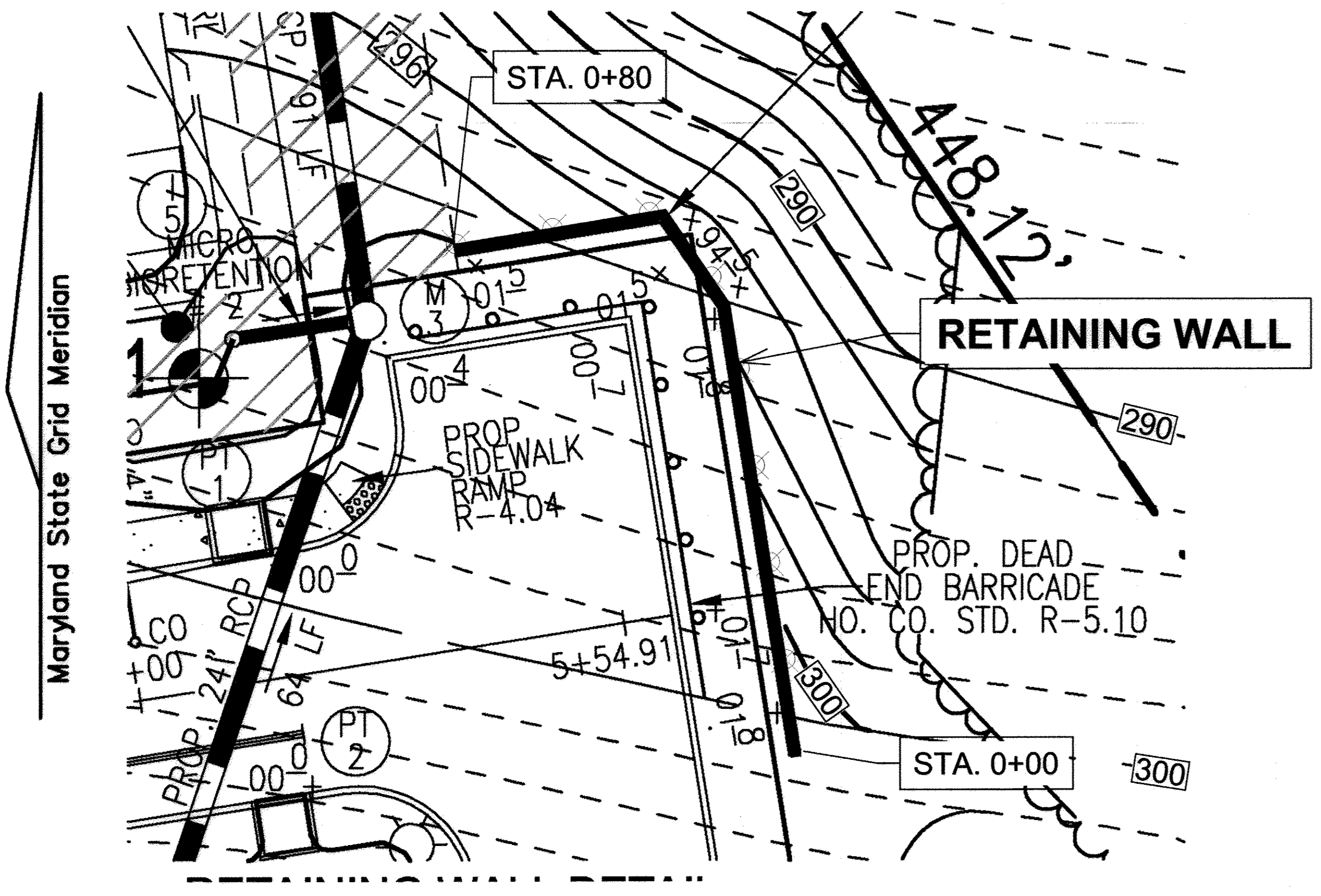
DPZ REF: SEE NOTE # 11

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961

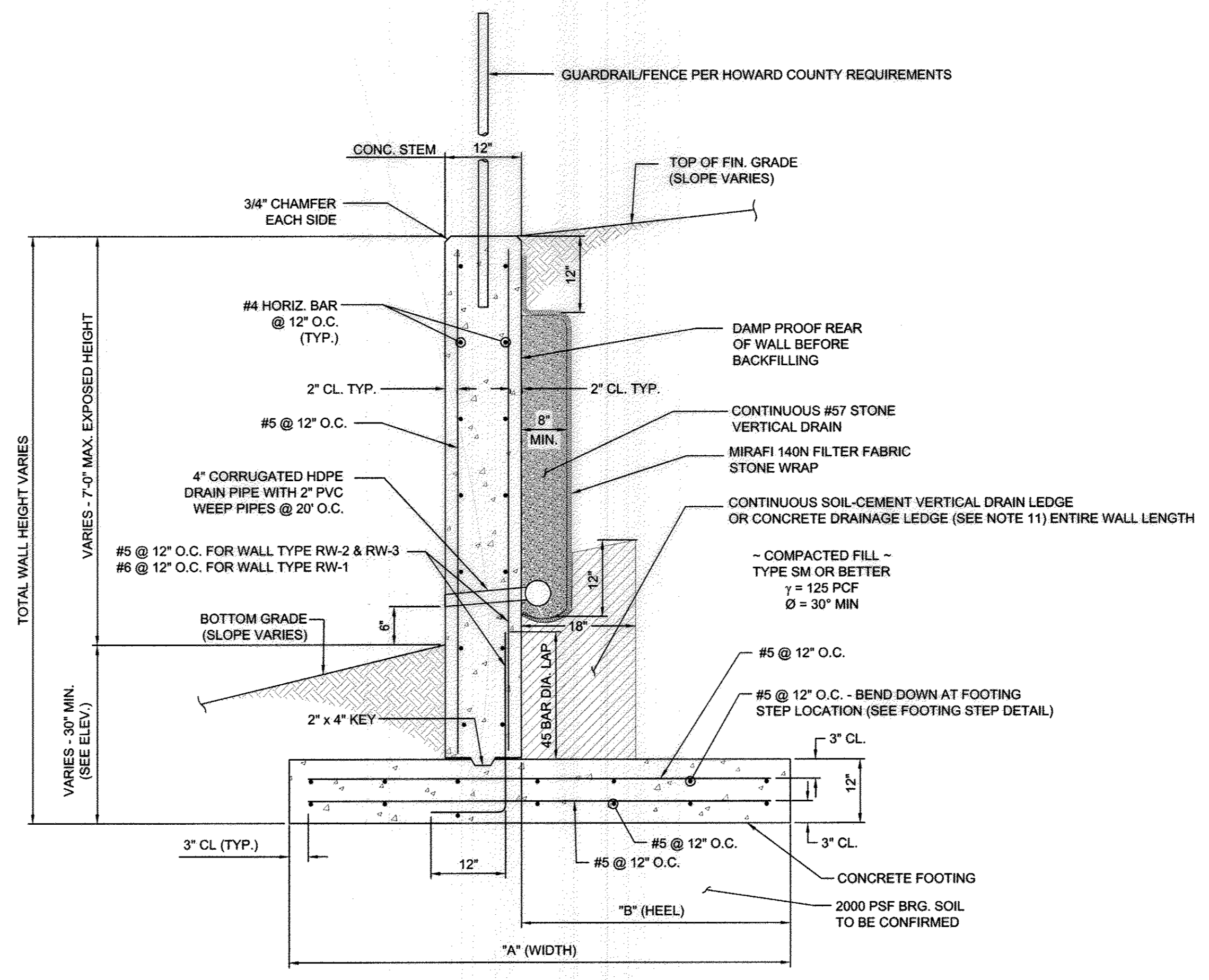
DESIGN BY: RHV/EDS
 DRAWN BY: JMR/EDS
 CHECKED BY: RHV
 DATE: DECEMBER 2013
 SCALE: AS SHOWN
 W.O. NO.: 10-30

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2014

15 SHEET OF 17



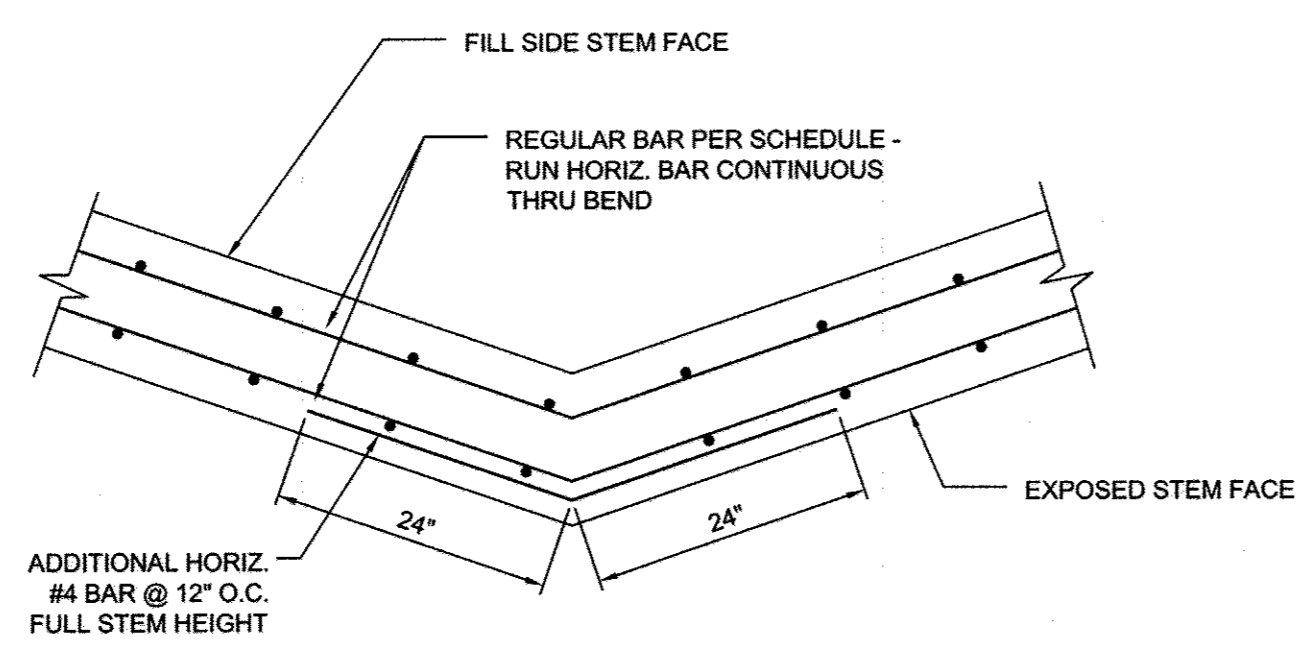
WALL LOCATION PLAN
1" = 10'



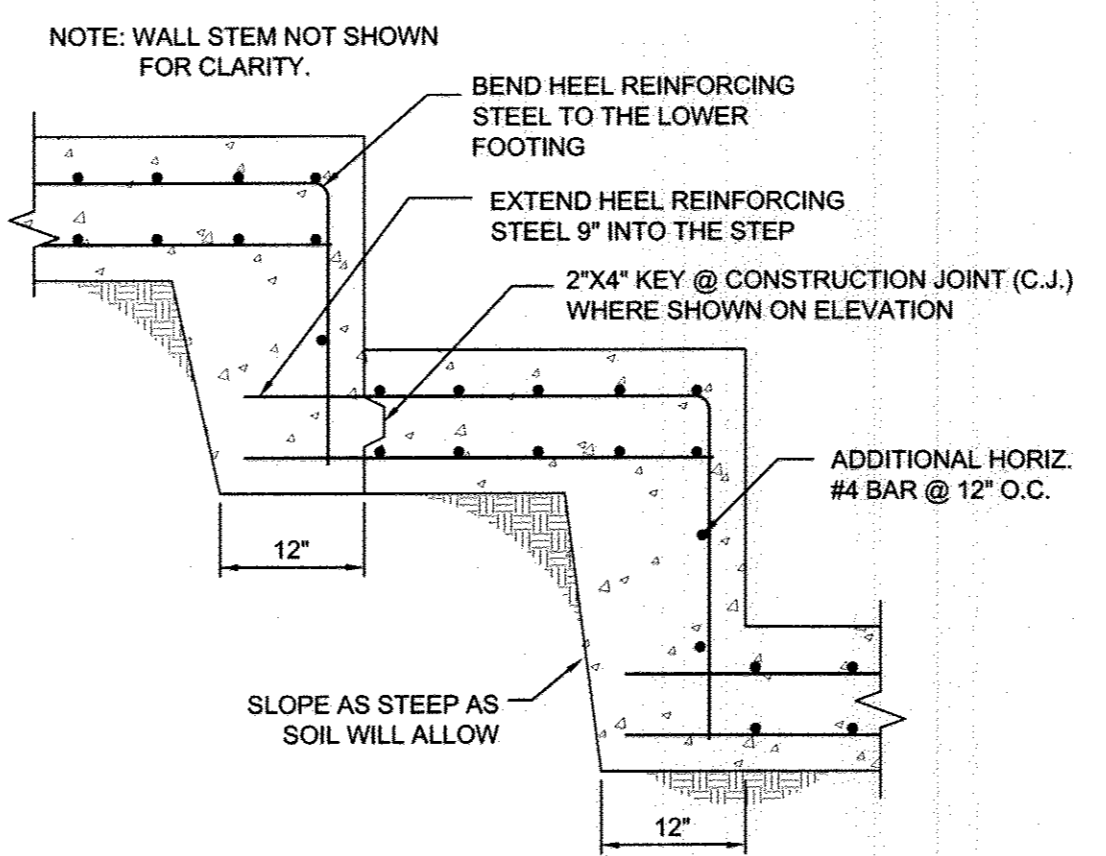
TYPICAL CONCRETE WALL SECTION
NOT TO SCALE

- NOTES:
- ALL RETAINING WALL CONCRETE SHALL BE 4000 PSI WITH AIR ENTRAINMENT.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE 60.
 - WALL BACKFILL SHALL BE COMPACTED TO 95% OF T-99.
 - CONCRETE WORK SHALL COMPLY WITH THE LATEST ACI 318 BUILDING CODE FOR CONCRETE STRUCTURES.
 - ALL REBAR SPLICES NOT SHOWN SHALL BE A MINIMUM OF 40 BAR DIAM.
 - ALL WALL EXPOSED SURFACES SHALL BE MORTAR PATCHED AND SACK-RUBBED FINISHED WITH GROUT AND BURLAP, (RUB FINISH PER OWNER'S SPECIFICATIONS).
 - DESIGN SOIL BEARING VALUE OF 2000 PSF TO BE FIELD VERIFIED.
 - ALL WALL DIMENSIONS, ANGLES, BEND LOCATIONS, TW/BW GRADES AND LAYOUT SHALL BE FIELD VERIFIED.
 - REFER TO GEOTECHNICAL EVALUATION FOR SITE PREPARATION AND EARTHWORK RECOMMENDATIONS.
 - 2-PLY MEMBRANE WATERPROOFING PER SHA. STANDARD DETAIL NO. BR-SB(6.47)-05-362.
 - CONTINUOUS SOIL-CEMENT VERTICAL DRAIN LEDGE AS SHOWN OR CONCRETE DRAINAGE LEDGE PER SHA STANDARD DETAIL NO. BR-SB(0.01)-80-101. SOIL-CEMENT SHALL CONSIST OF A RATIO OF 270 LBS. PORTLAND CEMENT MIXED WITH 1 CU. YD. TYPE SM SOIL AT 5% OVER OPTIMUM MOISTURE.

CONCRETE WALL SCHEDULE		
Wall Type	Wall Footing Width "A"	Wall Footing Heel "B"
RW-1	6'-9"	3'-9"
RW-2	5'-6"	3'-0"
RW-3	4'-6"	2'-0"



WALL BEND REINFORCEMENT DETAIL
NOT TO SCALE



CONCRETE WALL FOOTING STEP DETAIL
NOT TO SCALE

- GENERAL NOTES:
- No trees shall be planted within 10 feet of the top of the retaining wall.
 - Retaining walls shall only be constructed under the observation of a registered professional engineer and a (NICET, WACEL, or equiv.) certified soils technician.
 - The required bearing pressure beneath the wall system shall be verified in the field by a certified soils technician. Testing documentation must be provided to the Howard County Inspector prior to start of construction. The required bearing test shall be the Dynamic Cone Penetrometer test ASTM STP-399.
 - The suitability of fill material shall be confirmed by the on-site soils technician. Each 8" lift must be compacted to a minimum 95% standard proctor density and the testing report shall be made available to the Howard County Inspector upon completion of construction.
 - Walls shall not be constructed on uncertified fill materials.
 - Walls shall not be constructed within a Howard Co. right-of-way or easement.

NO AS-BUILT INFORMATION ON THIS SHEET

OWNER
MR. J. FAMILY LIMITED PARTNERSHIP, TAYLOR VILLAGE FAMILY, LLC
MANAGING MEMBER PHILLIP GUGLIOTTI, AUTHORIZED PERSON
4100 COLLEGE AVENUE
ELLCOTT CITY, MD 21043
(410) 465-3500

TAYLOR FAMILY LIMITED PARTNERSHIP 'A', VILLAGE CREST, LLC,
MANAGING MEMBER BRUCE TAYLOR, AUTHORIZED PERSON
4100 COLLEGE AVENUE
ELLCOTT CITY, MD 21043
(410) 465-3500

DEVELOPER
AUTUMN DEVELOPMENT CORPORATION, RONALD L. SPAHN, PRESIDENT
5401 TWIN KNOLLS ROAD, SUITE 7
COLUMBIA, MD 21045
(410) 465-3500

NO.	REVISION	DATE

RETAINING WALL CONSTRUCTION DETAILS
AUTUMN OVERLOOK
LOTS 1-20, & OPEN SPACE LOTS 21-24
PARCELS 56 & 309 (L. 12833 / F. 00446)
PARCEL 95 (L. 13244 / F. 0037)

ZONED: R-ED
TAX MAP #25 GRID 14
2ND ELECTION DISTRICT

PARCELS: 56, 309, AND 95
HOWARD COUNTY, MARYLAND

HILLIS-CARNES ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
(410) 860-4788 WWW.HCEA.COM Fax: (410) 860-4098

DESIGN BY: HM
DRAWN BY: HM
CHECKED BY: RWS
DATE: DECEMBER 2013
SCALE: AS SHOWN
HCEA NO.: 13454-A

16 SHEET OF 17

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
William J. Marshall 2-27-14
CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Kathleen 3-17-14
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

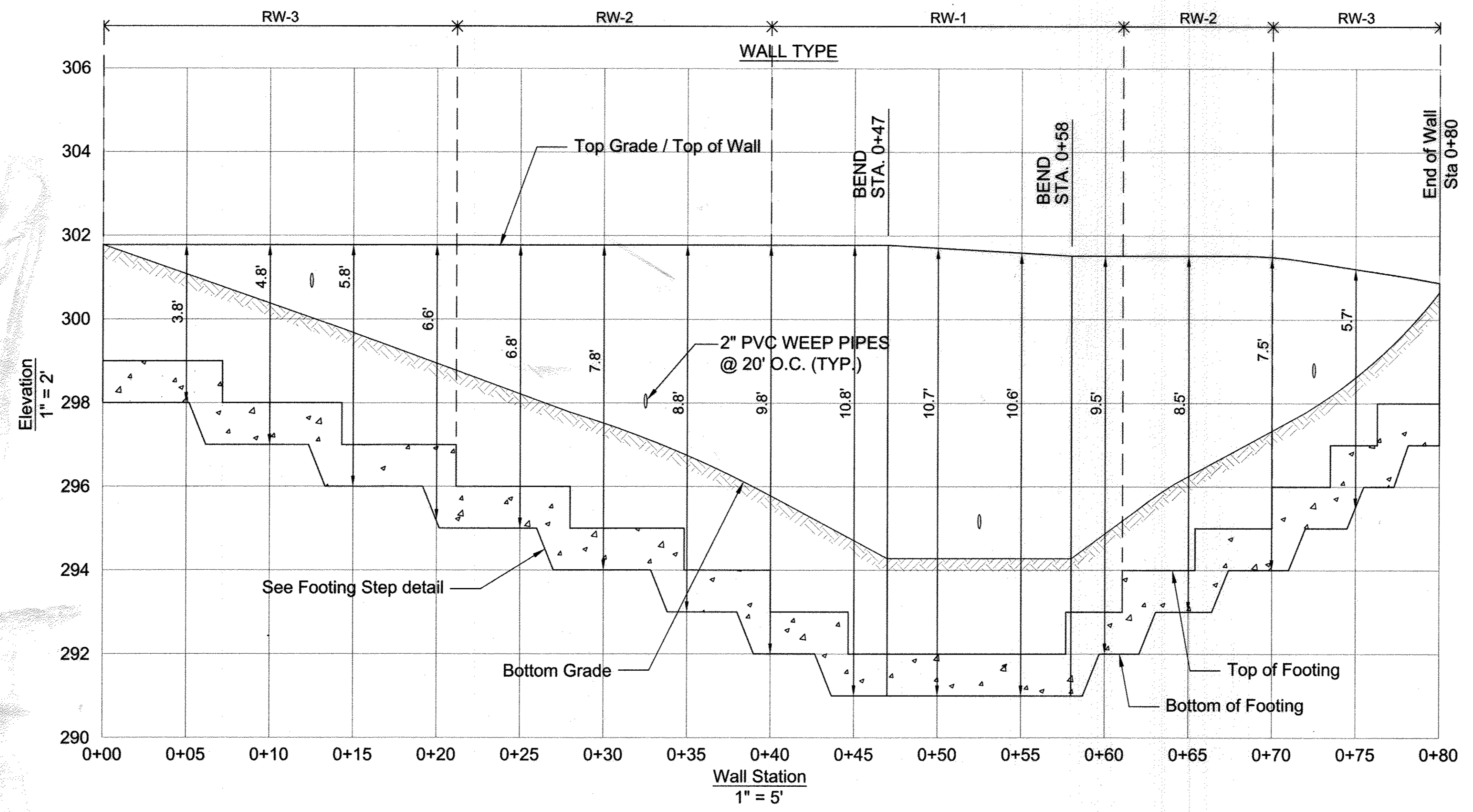
Chad Edwards 3-14-14
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE



AS-BUILT CERTIFICATION
I hereby certify that the facility shown on this plan was constructed as shown on the "as-built" plans and meets the approved plans and specifications.

Signature: _____
PE NO. 16193
Date: 7/4/17

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 14434
EXPIRATION DATE: 05/13/15



WALL ELEVATION

OWNER
 MRJL FAMILY LIMITED PARTNERSHIP, TAYLOR VILLAGE FAMILY, LLC
 MANAGING MEMBER PHILIP GUGLIOTTI, AUTHORIZED PERSON
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MD 21043
 (410) 465-3500

TAYLOR FAMILY LIMITED PARTNERSHIP 'A', VILLAGE CREST, LLC,
 MANAGING MEMBER BRUCE TAYLOR, AUTHORIZED PERSON
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MD 21043
 (410) 465-3500

DEVELOPER
 AUTUMN DEVELOPMENT CORPORATION, RONALD L. SPAHN, PRESIDENT
 5401 TWIN KNOLLS ROAD, SUITE 7
 COLUMBIA, MD 21045
 (410) 465-3500

NO.	REVISION	DATE

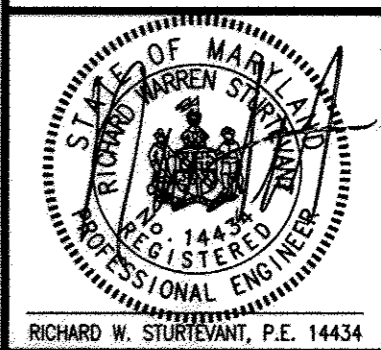
NO AS-BUILT INFORMATION ON THIS SHEET



AS-BUILT CERTIFICATION
 I hereby certify that the facility shown on this plan was constructed in accordance with the approved plans and specifications.

Signature: *[Signature]*
 PE NO. 16193
 Date: 7/17/18

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14434, EXPIRATION DATE: 05/31/15



DESIGN BY: HM
 DRAWN BY: HM
 CHECKED BY: RWS
 DATE: DECEMBER 2013
 SCALE: AS SHOWN
 HCEA NO.: 13454-A

17 SHEET OF 17

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] 2-27-14
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
[Signature] 3-17-14
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 3-14-14
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

RETAINING WALL CONSTRUCTION DETAILS
AUTUMN OVERLOOK
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