

SPECIMEN TREE TABLE

SPECIMEN TREE NO.	SPECIES	DIA. (IN)	CONDITION	TO BE REMOVED? (YES/NO)
1	TULIP POPLAR	30"	GOOD	YES
2	TULIP POPLAR	30"	GOOD	YES
3	TULIP POPLAR	32.5"	GOOD	NO
4	TULIP POPLAR	32.5"	GOOD	NO
5	TULIP POPLAR	32"	GOOD	NO
6	TULIP POPLAR	34"	GOOD	NO
7	TULIP POPLAR	31"	GOOD	YES
8	TULIP POPLAR	32.5"	GOOD	YES
9	TULIP POPLAR	30.5"	GOOD	YES
10	TULIP POPLAR	32"	GOOD	NO
11	TULIP POPLAR	32"	GOOD	NO
12	TULIP POPLAR	31"	GOOD	NO
13	TULIP POPLAR	31"	GOOD	NO
14	BLACK CHERRY	46"	POOR	YES

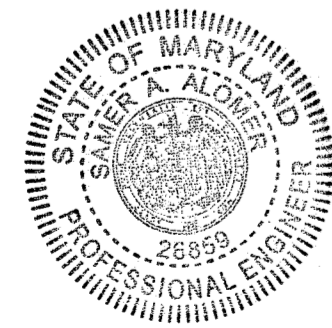
FOREST CONSERVATION EASEMENT HATCHING NOT SHOWN ON THIS PLAN FOR CLARITY.

LEGEND

- EXISTING SLOPES BETWEEN 15%-24.99%
- EXISTING SLOPES 25% AND GREATER
- EXISTING APPROVED SEPTIC EASEMENT AREA
- CgB(B) EXISTING SOIL AND SOIL DIVISION LINE
- EXISTING SPECIMEN TREE TO REMAIN
- EXISTING SPECIMEN TREE TO BE REMOVED
- LIMIT OF DISTURBANCE



THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET

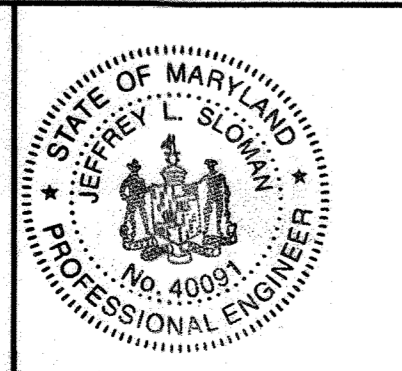


OWNER
DORSEY FAMILY HOMES, INC.
10717-B BIRMINGHAM WAY
WOODSTOCK, MARYLAND 21163
(410)465-7200

APPROVED: DEPARTMENT OF PLANNING AND ZONING

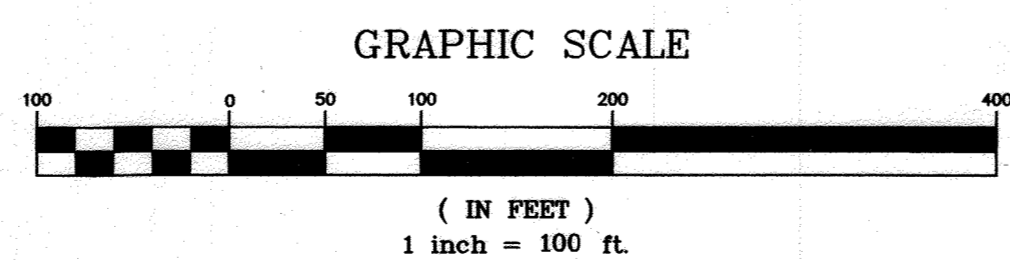
Jeffrey L. Sloman
1-9-14
DATE
1-13-14
DATE

1-9-14
DATE
1-13-14
DATE



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40091, EXP. DATE 2/13/15.

Jeffrey L. Sloman
11/18/13
DATE
JEFFREY L. SLOMAN, P.E.



date	NOV 2013	approval	RJH
project	12-028	scale	1"=100'
illustration	JLS	revisions	

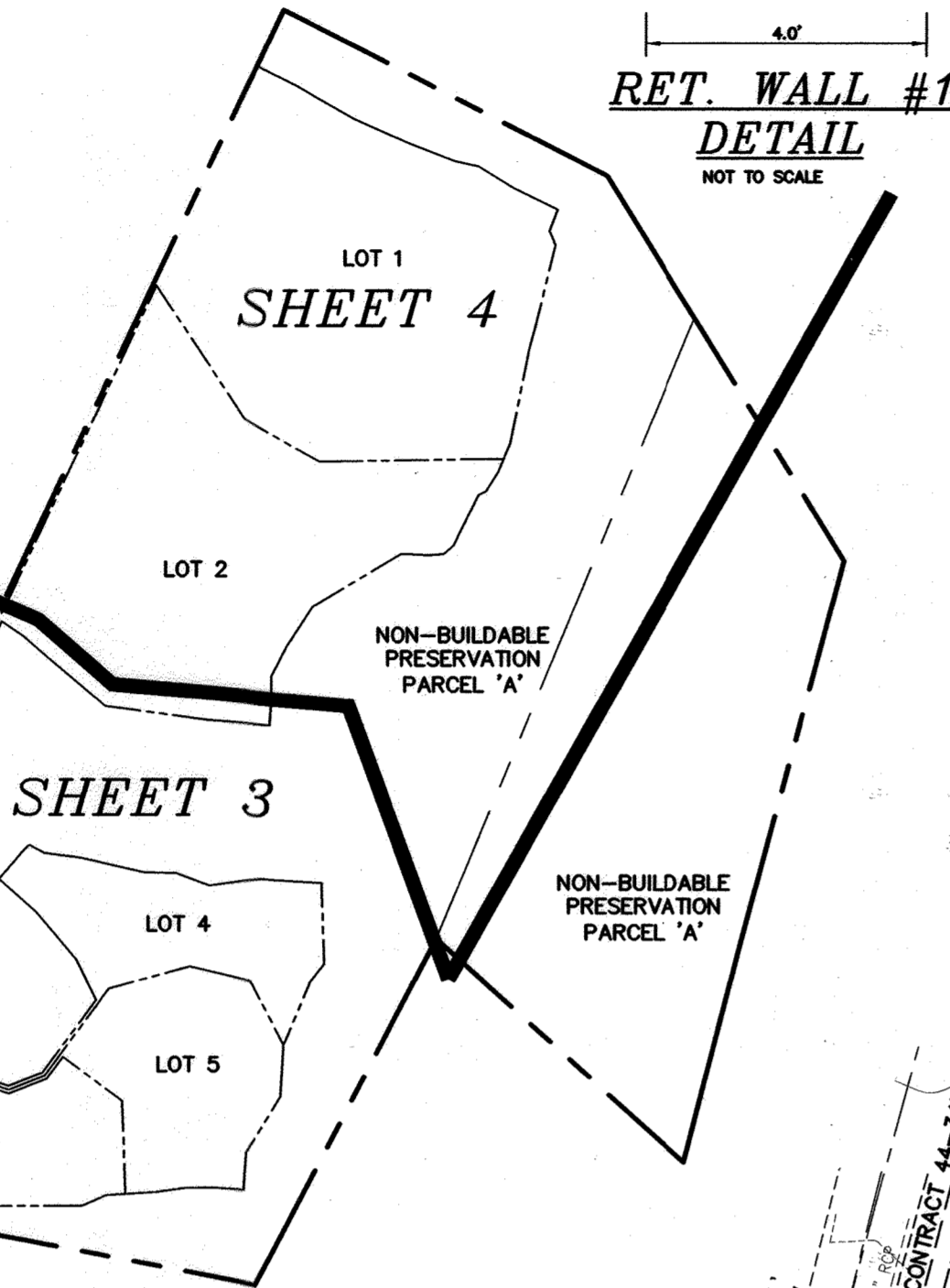
no.	description	date

MELCHIOR PROPERTY
LOTS 1 THRU 6 AND NON-BUILDABLE PRESERVATION PARCEL A
TAX MAP 10 - GRID 13 PARCEL 164
HOWARD COUNTY, MARYLAND
3rd ELECTION DISTRICT
EXISTING CONDITIONS AND LOT LAYOUT

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
6800 Deeppath Road, Suite 150, Ellicott City, MD 21075
(410) 997-0286 Fax (410) 997-0288 Fax

GRADING LEGEND

- LOD --- LIMIT OF DISTURBANCE
- - - - - EXISTING CONTOUR
- 100.00 --- PROPOSED CONTOUR
- 100.00 --- PROPOSED SPOT ELEVATION
- 100.00(TW) --- PROPOSED GROUND ELEVATION ON "HIGH" SIDE OF RETAINING WALL
- 100.00(BW) --- PROPOSED GROUND ELEVATION ON "LOW" SIDE OF RETAINING WALL
- [Hatched Box] EXISTING SLOPES 25% AND GREATER
- [Hatched Box] EXISTING APPROVED SEPTIC EASEMENT AREA
- [Hatched Box] EXISTING SOIL AND SOIL DIVISION LINE
- [Hatched Box] EXISTING WETLAND
- [Hatched Box] EXISTING 100-YEAR FLOODPLAIN
- [Hatched Box] SECTION LINE THROUGH MICRO-BIORETENTION FACILITY
- [Hatched Box] EXISTING TREELINE
- [Hatched Box] PROPOSED TREELINE
- [Hatched Box] PRIVATE USE-IN-COMMON ACCESS, DRAINAGE & UTILITY EASEMENT FOR THE USE AND BENEFIT OF LOTS 1, 2, AND BULK PARCEL 'A'
- [Hatched Box] PUBLIC WATER & UTILITY EASEMENT



GRADING PLAN KEY MAP
1" = 200'

SEE SHEETS 8 AND 9 FOR EROSION AND SEDIMENT CONTROL DEVICE LOCATIONS AND SHEET 10 FOR SEQUENCE OF CONSTRUCTION. ALL SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING.

OWNER

DORSEY FAMILY HOMES, INC.
10717-B BIRMINGHAM WAY
WOODSTOCK, MARYLAND 21163
(410)465-7200

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 7/16/15
DATE
R. JACOB HIKMAT, P.E.
PRINTED NAME OF ENGINEER

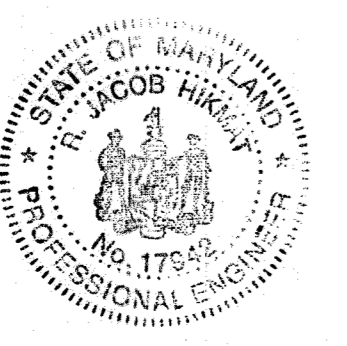
DEVELOPERS CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. HOWARD SOIL CONSERVATION DISTRICT IS AUTHORIZED TO CONDUCT PERIODIC ON-SITE INSPECTION.

[Signature] 7/16/15
DATE
ROBERT DORSEY, JR., PRESIDENT, DORSEY FAMILY HOMES, INC.
PRINTED NAME OF DEVELOPER

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
[Signature] 7/22/15
DATE
APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 7.29.15
DATE
[Signature] 8.3.15
DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17942, EXP DATE 09/03/16.

R. JACOB HIKMAT, P.E. 7/16/15 DATE

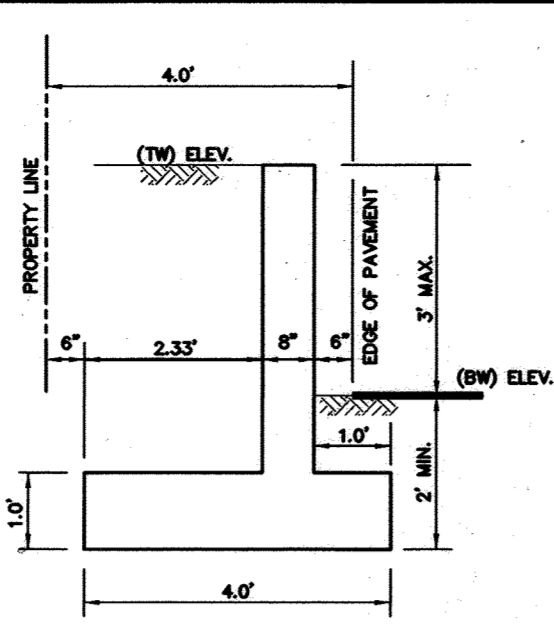
THE DRIVEWAY OF LOTS 1, 4 AND 5 WILL UTILIZE PERVIOUS CONCRETE FOR THE DRIVEWAY. SEE SHEET 13 FOR DETAILS.

SOIL FOR DEVELOPMENT OF THIS SITE TO BE LOCATED WITHIN THE LIMIT OF DISTURBANCE SOUTH OF THE STREAM BUFFER. NO STOCKPIILING OF SOIL IS ALLOWED OUTSIDE OF LIMIT OF DISTURBANCE.

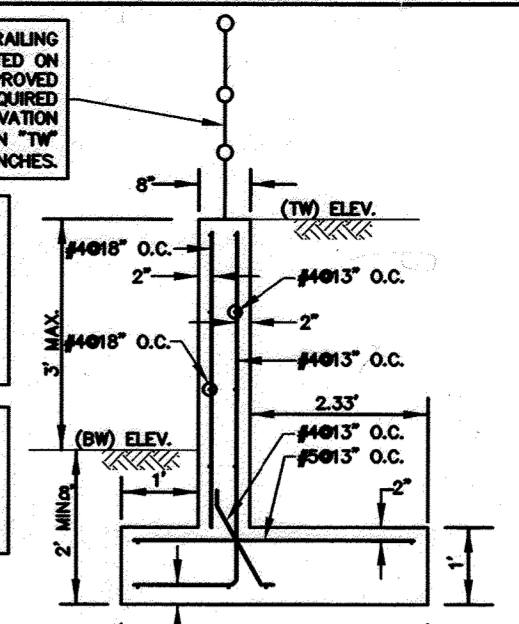
NO HOUSES ARE TO BE BUILT PER THESE PLANS.

CONTRACTOR TO EXERCISE CAUTION TO ENSURE THAT NO CONSTRUCTION OR DISTURBANCE OCCURS OUTSIDE THE LIMIT OF DISTURBANCE SHOWN ON THESE PLANS.

RET. WALL #1 DETAIL
NOT TO SCALE

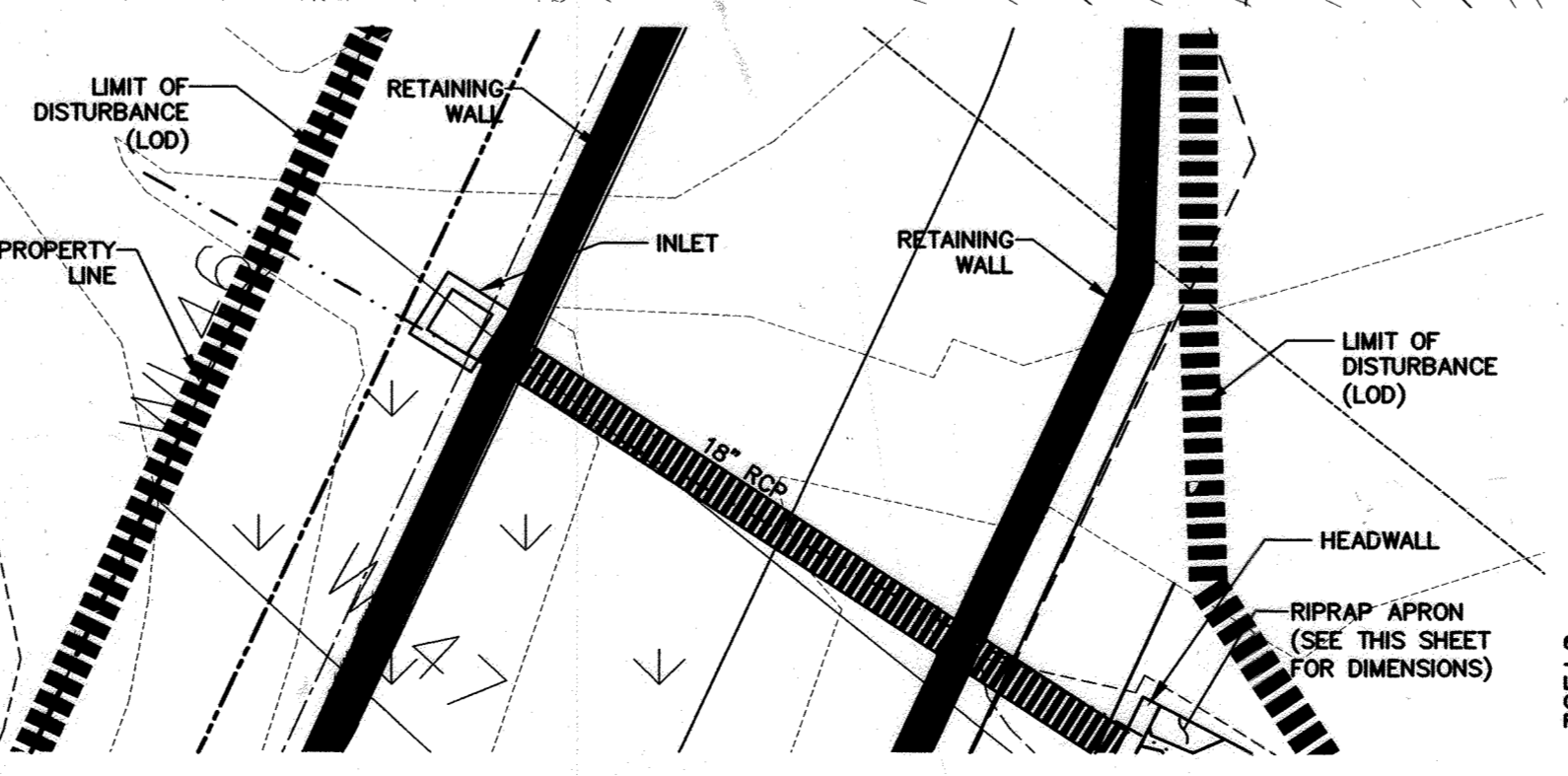
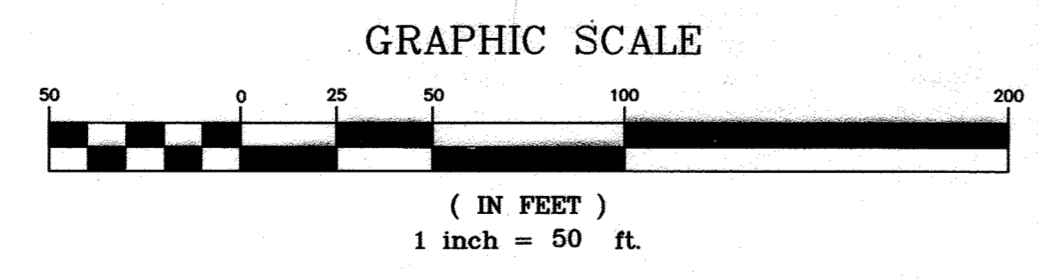
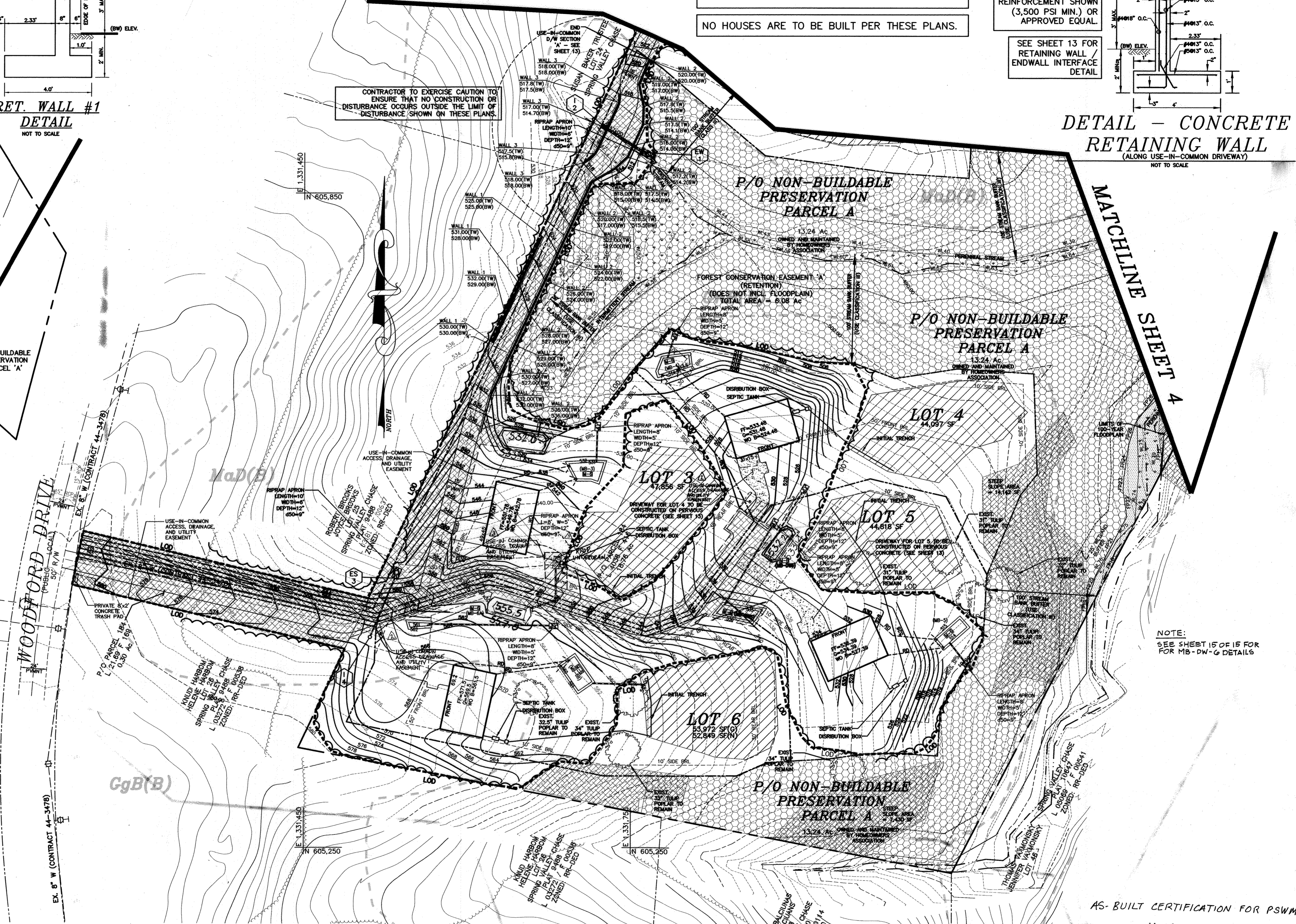


DETAIL - CONCRETE RETAINING WALL
(ALONG USE-IN-COMMON DRIVEWAY)
NOT TO SCALE

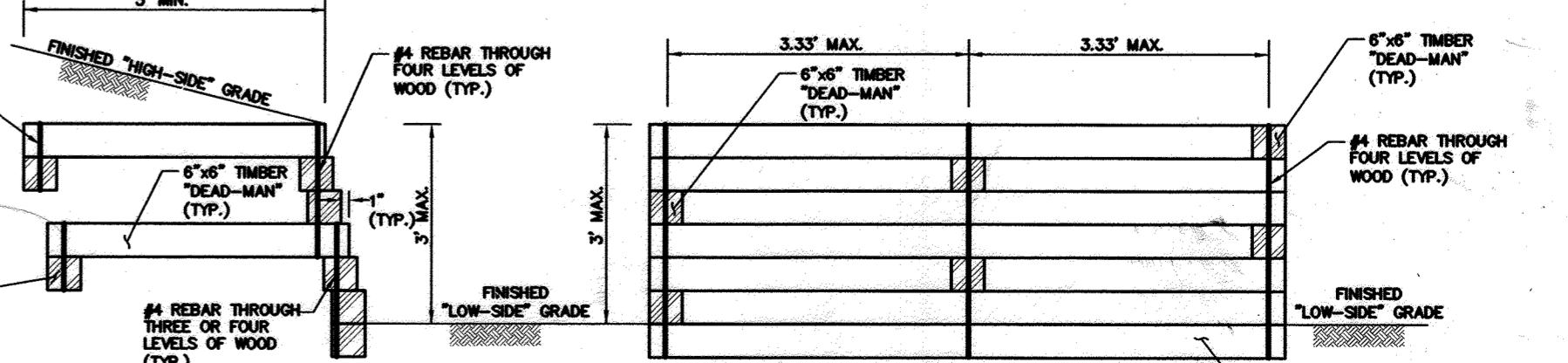


WALL TO BE POURED IN PLACE CONCRETE WITH REINFORCEMENT SHOWN (3,500 PSI MIN.) OR APPROVED EQUAL.

SEE SHEET 13 FOR RETAINING WALL/ENDWALL INTERFACE DETAIL



CULVERT PLAN VIEW DETAIL
SCALE: 1"=10'

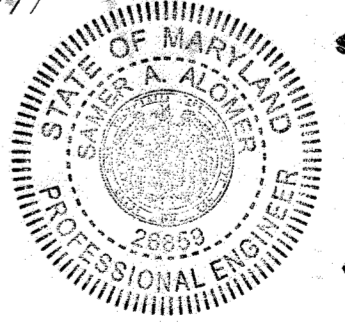


DETAIL - WOOD RETAINING WALL
(FOR WALLS ON LOTS 4 AND 6)
NOT TO SCALE

NOTE: SEE SHEET 15 OF 16 FOR FOR MB-DN-G DETAILS

AS-BUILT CERTIFICATION FOR PSWM

I hereby certify that the facility shown on this plan was constructed as shown on the 'As-Built' plans and meets with the approved plans and specifications.



date	JULY 2015	approval	RJH
project	12-928	scale	1"=50'
illustration	JLS	revision	

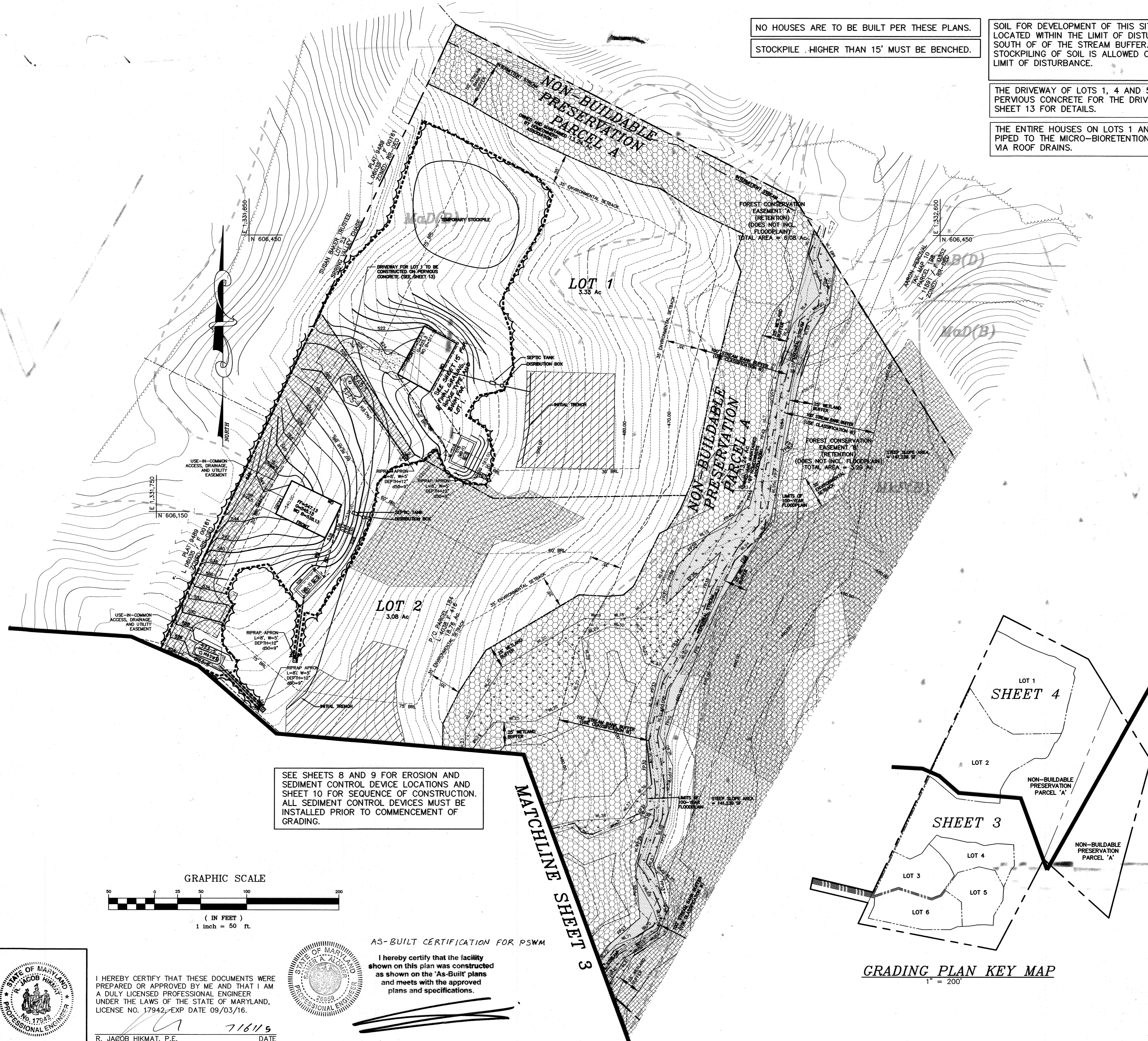
ADD REFERENCE NOTE	NO. 4
1. TO BE REVISIONS	NO. 1
2. TO BE REVISIONS	NO. 2
3. TO BE REVISIONS	NO. 3
4. TO BE REVISIONS	NO. 4

REVISED
MELCHIOR PROPERTY
LOTS 1 THRU 6 AND NON-BUILDABLE PRESERVATION PARCEL A
TAX MAP 10 - GRID 13 PARCEL 184
HOWARD COUNTY, MARYLAND
3rd ELECTION DISTRICT
SUPPLEMENTAL AND GRADING PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
6800 Deerpath Road, Suite 150, Beltsville, MD 21078
(410) 997-0296 Fax

GRADING LEGEND

- LIMIT OF DISTURBANCE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED GROUND ELEVATION ON "HIGH" SIDE OF RETAINING WALL
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- PRIVATE USE-IN-COMMON ACCESS, DRAINAGE & UTILITY EASEMENT FOR THE USE AND BENEFIT OF LOTS 1, 2, AND BULK PARCEL 'A'
- PUBLIC WATER & UTILITY EASEMENT



NO HOUSES ARE TO BE BUILT PER THESE PLANS.
 STOCKPILE .HIGHER THAN 15' MUST BE BENCHED.

SOIL FOR DEVELOPMENT OF THIS SITE TO BE LOCATED WITHIN THE LIMIT OF DISTURBANCE SOUTH OF THE STREAM BUFFER. NO STOCKPILING OF SOIL IS ALLOWED OUTSIDE OF LIMIT OF DISTURBANCE.

THE DRIVEWAY OF LOTS 1, 4 AND 5 WILL UTILIZE PERVIOUS CONCRETE FOR THE DRIVEWAY. SEE SHEET 13 FOR DETAILS.

THE ENTIRE HOUSES ON LOTS 1 AND 2 SHALL BE PIPED TO THE MICRO-BIORETENTION FACILITIES VIA ROOF DRAINS.

OWNER
 DORSEY FAMILY HOMES, INC.
 10717-B BIRMINGHAM WAY
 WOODSTOCK, MARYLAND 21163
 (410)465-7200

ENGINEER'S CERTIFICATE
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[Signature] 7/16/15
 SIGNATURE OF ENGINEER DATE
 R. JACOB HIKMAT, P.E.
 PRINTED NAME OF ENGINEER

DEVELOPERS CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. HOWARD SOIL CONSERVATION DISTRICT IS AUTHORIZED TO CONDUCT PERIODIC ON-SITE INSPECTIONS.

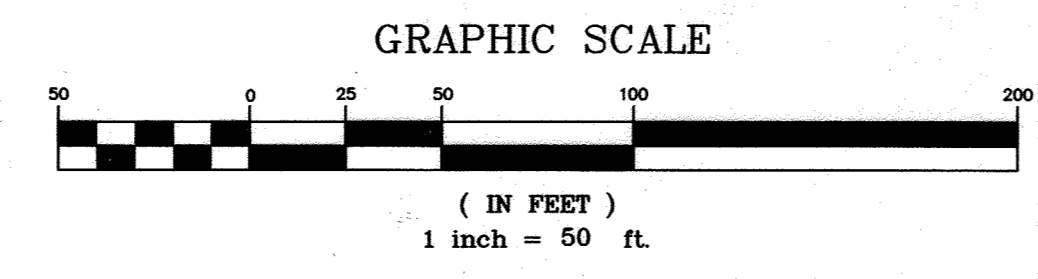
[Signature] 7/16/15
 SIGNATURE OF DEVELOPER DATE
 ROBERT DORSEY, JR., PRESIDENT, DORSEY FAMILY HOMES, INC.
 PRINTED NAME OF DEVELOPER

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 7/22/15
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

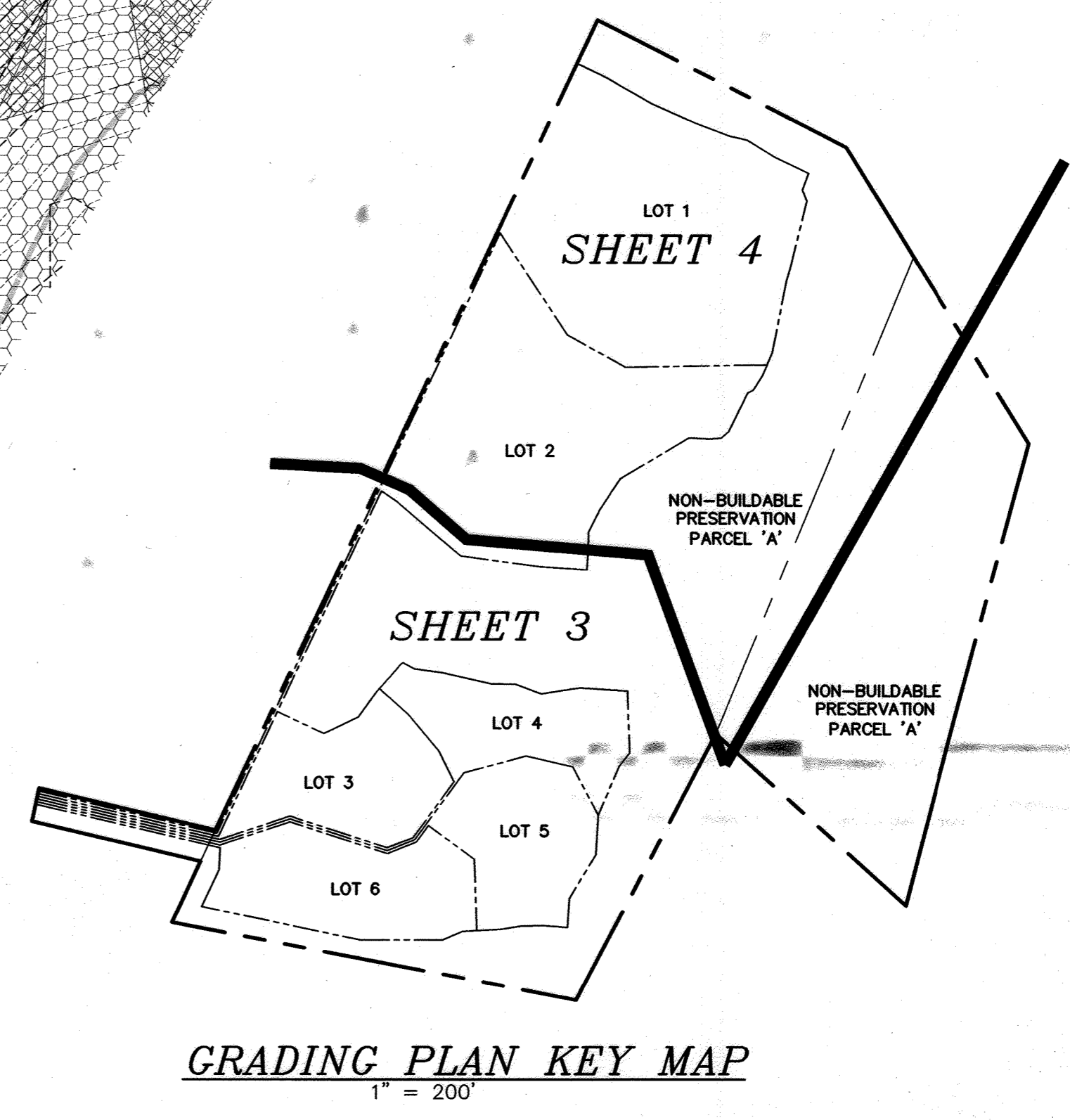
[Signature] 7-29-15
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
[Signature] 8-3-15
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE



SEE SHEETS 8 AND 9 FOR EROSION AND SEDIMENT CONTROL DEVICE LOCATIONS AND SHEET 10 FOR SEQUENCE OF CONSTRUCTION. ALL SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING.

AS-BUILT CERTIFICATION FOR PSWM
 I hereby certify that the facility shown on this plan was constructed as shown on the 'As-Built' plans and meets with the approved plans and specifications.

[Signature] 7/16/15
 R. JACOB HIKMAT, P.E. DATE



date	JULY 2015	approval	RJH
project	12-028	illustration	JLS
scale	1" = 50'		

date	JULY 2015	revisions	
description	ADDED NAME TO SHEET 10, REV. GRADING & LOD, ADD STOCKPILE AREA		
no.	1		

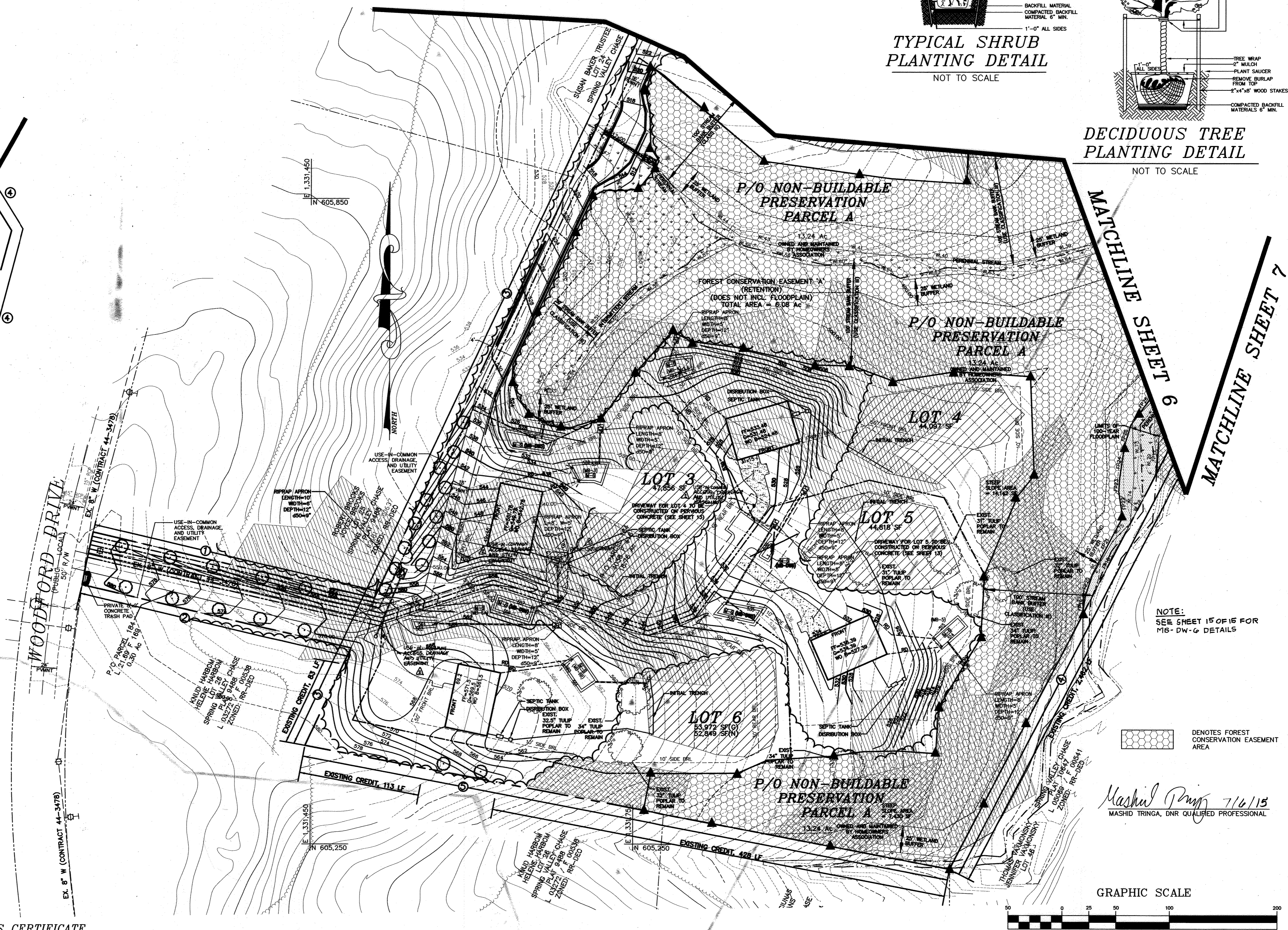
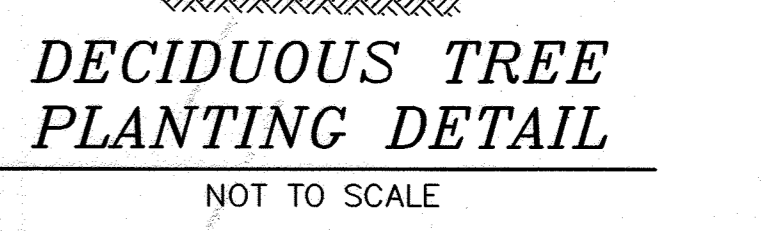
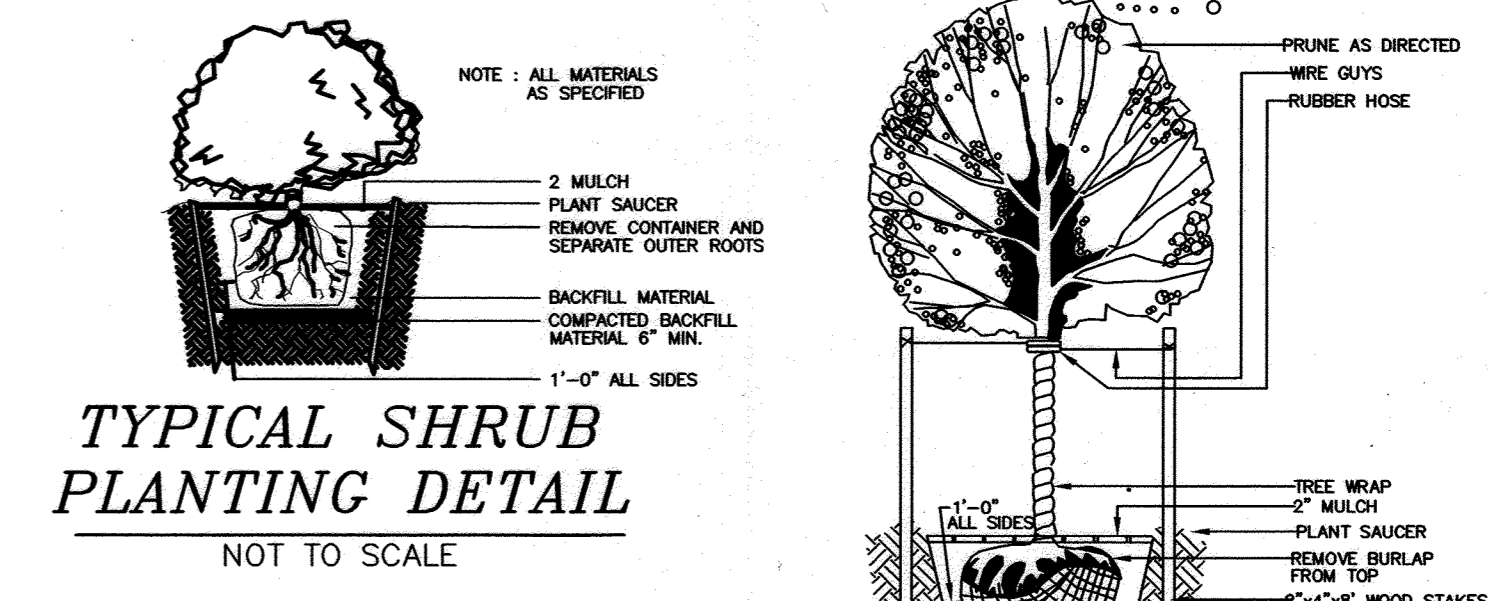
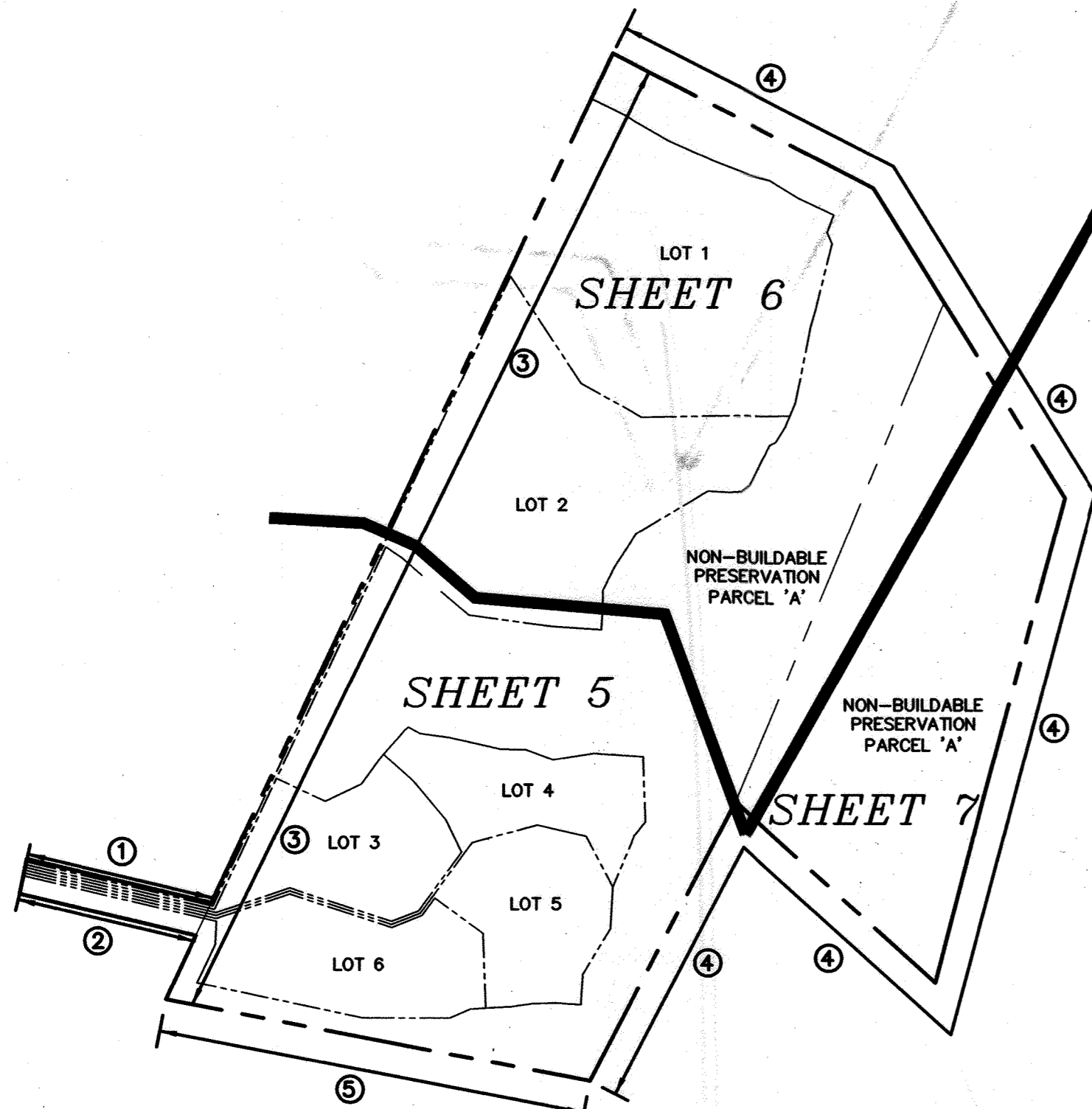
REVISED
MELCHIOR PROPERTY
 LOTS 1 THRU 6 AND NON-BUILDABLE PRESERVATION PARCEL A
 TAX MAP 10 - GRID 13 PARCEL 184
 3rd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SUPPLEMENTAL AND GRADING PLAN

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 6800 Deerpath Road, Suite 150, Elkridge, MD 21075
 (410) 997-0996 Fax

PERIMETER TREE PLANTING SCHEDULE

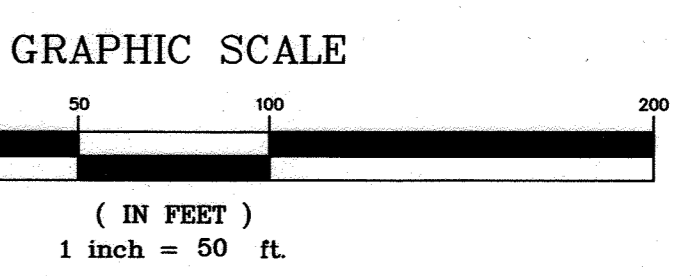
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
35	○	FAGUS GRANDIFOLIA	AMERICAN BEECH	2 1/2" - 3" CAL.
10	⊕	TAXUS MEDIA 'HICKSII'	HICKS YEW OR EQUIVALENT	2 1/2" - 3" HT.

TOTAL
36 SHADE TREES, 10 SHRUBS
(TREE PLANTINGS ALONG STREAM REQUIRED BY MDE ARE NOT INCLUDED. SEE DETAIL OF ON SHEET 14 FOR THOSE PLANTINGS)



NOTE: SEE SHEET 15 OF 16 FOR M6-DW-6 DETAILS

DENOTES FOREST CONSERVATION EASEMENT AREA

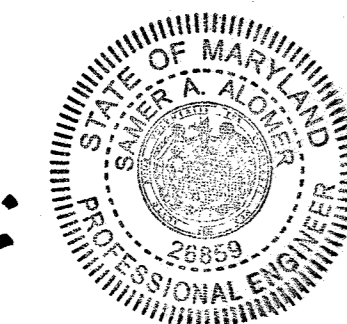


- LANDSCAPE NOTES**
- NO CLEARING OF EXISTING VEGETATION IS PERMITTED WITHIN THE LANDSCAPE EDGE FOR WHICH CREDIT IS BEING TAKEN; HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.
 - THE OWNER, TENANT AND / OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BENCHES, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
 - AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
 - SHOULD ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH CREDIT IS GIVEN, BE REMOVED OR DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE LANDSCAPE MANUAL.

CATEGORY	ADJACENT TO PERIMETER PROPERTIES					TRASH PAD	TOTAL
	A (PERIMETER 1)	A (PERIMETER 2)	A (PERIMETER 3)	A (PERIMETER 4)	A (PERIMETER 5)		
LANDSCAPE TYPE	269 LF	257 LF	1,477 LF	2,462 LF ⁸	611 LF	16 LF	
LINEAR FEET OF PERIMETER	NO	NO	YES, 421 LF	YES, 2,462 LF	YES, 541 LF	N/A	N/A
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO	NO	YES, 421 LF	YES, 2,462 LF	YES, 541 LF	N/A	N/A
NUMBER OF PLANTS REQUIRED	5 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	5 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	18 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	0 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	0 SHADE TREES 1 EVERGREEN TREES 0 SHRUBS	30 SHADE TREES 1 EVERGREEN TREES 0 SHRUBS
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NUMBER OF PLANTS PROVIDED	5 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	5 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	23 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	0 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	0 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 10 SHRUBS	35 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 10 SHRUBS

NOTE: FIVE (5) ADDITIONAL SHADE TREES HAVE BEEN ADDED ALONG PERIMETER 3 AS ENHANCED LANDSCAPING TO PROVIDE A MORE ENHANCED BUFFER BETWEEN THE COMMON DRIVEWAY AND THE PROPERTY LINE

THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET



DEVELOPER'S/OWNER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

R. Jacob Hikmat 7/16/15
OWNER DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chad Edinger 7-29-15
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Walter Edwards 2-3-15
CHIEF, DIVISION OF LAND DEVELOPMENT DATE



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17942, EXP DATE 09/03/16.

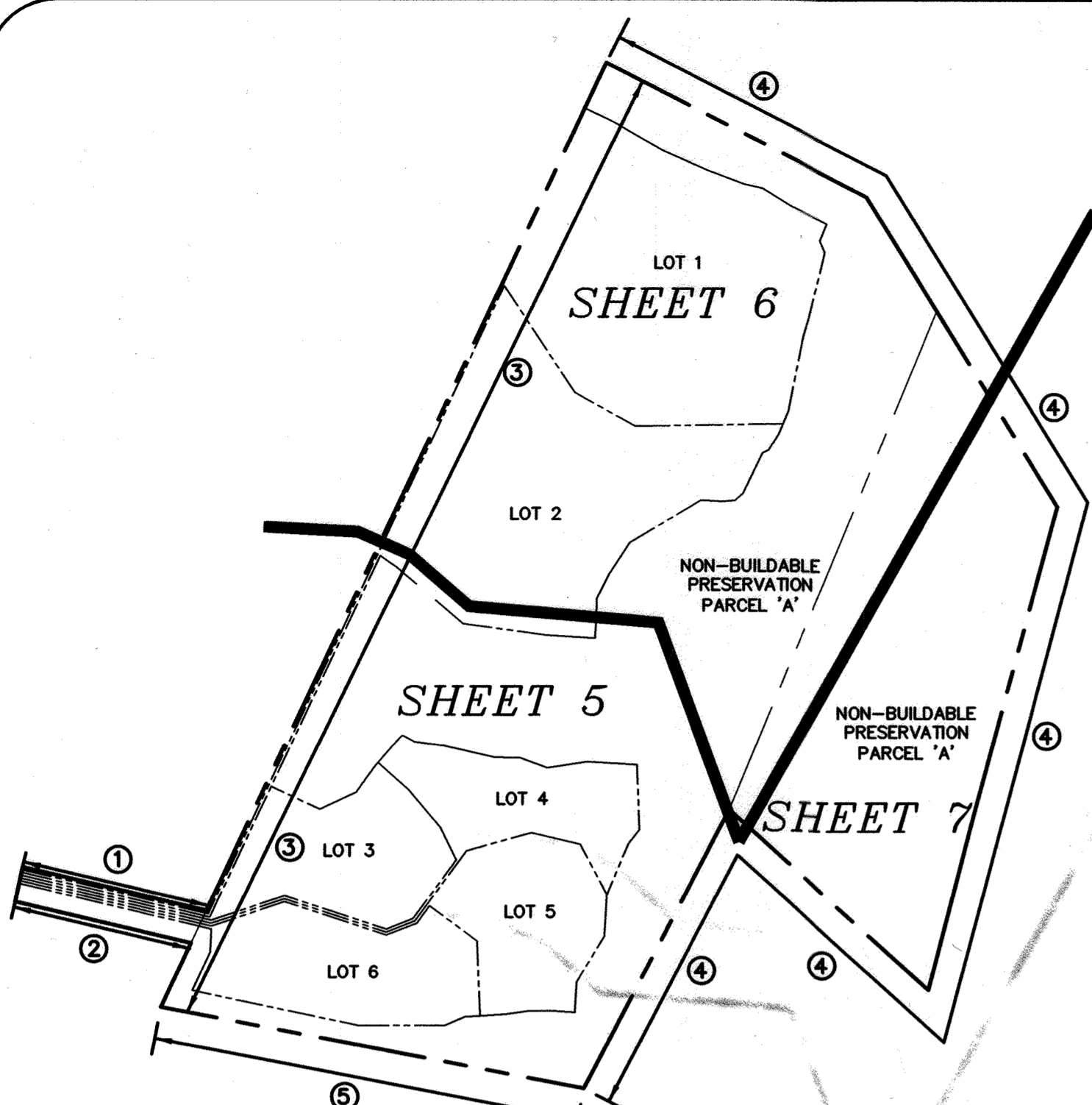
R. Jacob Hikmat 7/16/15
R. JACOB HIKMAT, P.E. DATE

date	JULY 2015	approval	RJH
project	12-028	scale	1"=50'
illustration	JLS	revisions	

ADD REFERENCE NOTE	DATE	DESCRIPTION	NO.
1. ADD REFERENCE NOTE TO SHEET 15 OF 16 FOR M6-DW-6 DETAILS	7/16/15	SEE SHEET 15 OF 16 FOR M6-DW-6 DETAILS	1
2. REVISE PERIMETER 3 TO INCLUDE 5 ADDITIONAL SHADE TREES	7/16/15	REVISE PERIMETER 3 TO INCLUDE 5 ADDITIONAL SHADE TREES	2
3. REVISE PERIMETER 3 TO INCLUDE 5 ADDITIONAL SHADE TREES	7/16/15	REVISE PERIMETER 3 TO INCLUDE 5 ADDITIONAL SHADE TREES	3

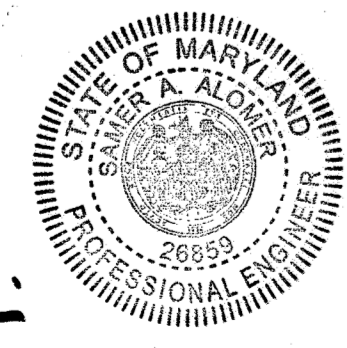
REVISED
MELCHIOR PROPERTY
LOTS 1 THRU 6 AND NON-BUILDABLE PRESERVATION PARCEL A
TAX MAP 10 - GRID 13 PARCEL 184
3rd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SUPPLEMENTAL, LANDSCAPE, AND FOREST CONSERVATION PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
6800 Deerpath Road, Suite 150, Elkridge, MD 21075
(410) 997-0296 Fax



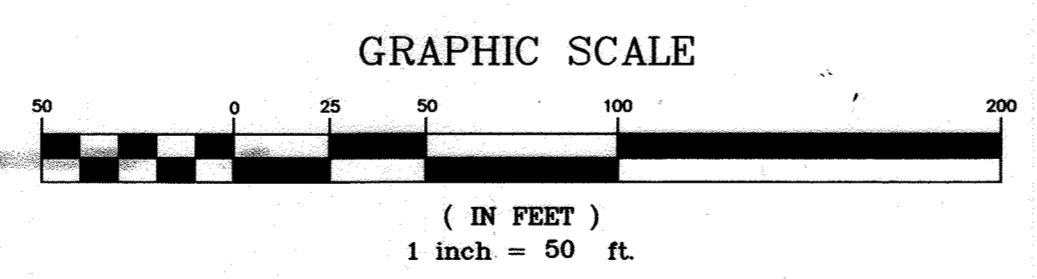
LANDSCAPE AND FOREST CONSERVATION PLAN KEY MAP
1" = 200'

OWNER
DORSEY FAMILY HOMES, INC.
10717-B BIRMINGHAM WAY
WOODSTOCK, MARYLAND 21163
(410)465-7200



DEVELOPER'S/OWNER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXERCISED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

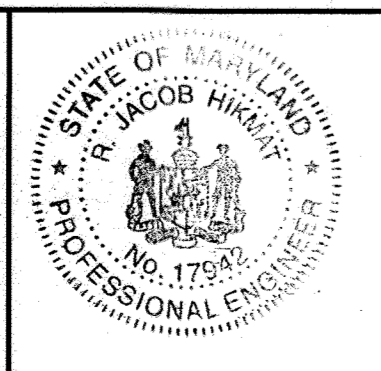
R. Jacob Hikmat 7/16/15
OWNER DATE



APPROVED: DEPARTMENT OF PLANNING AND ZONING

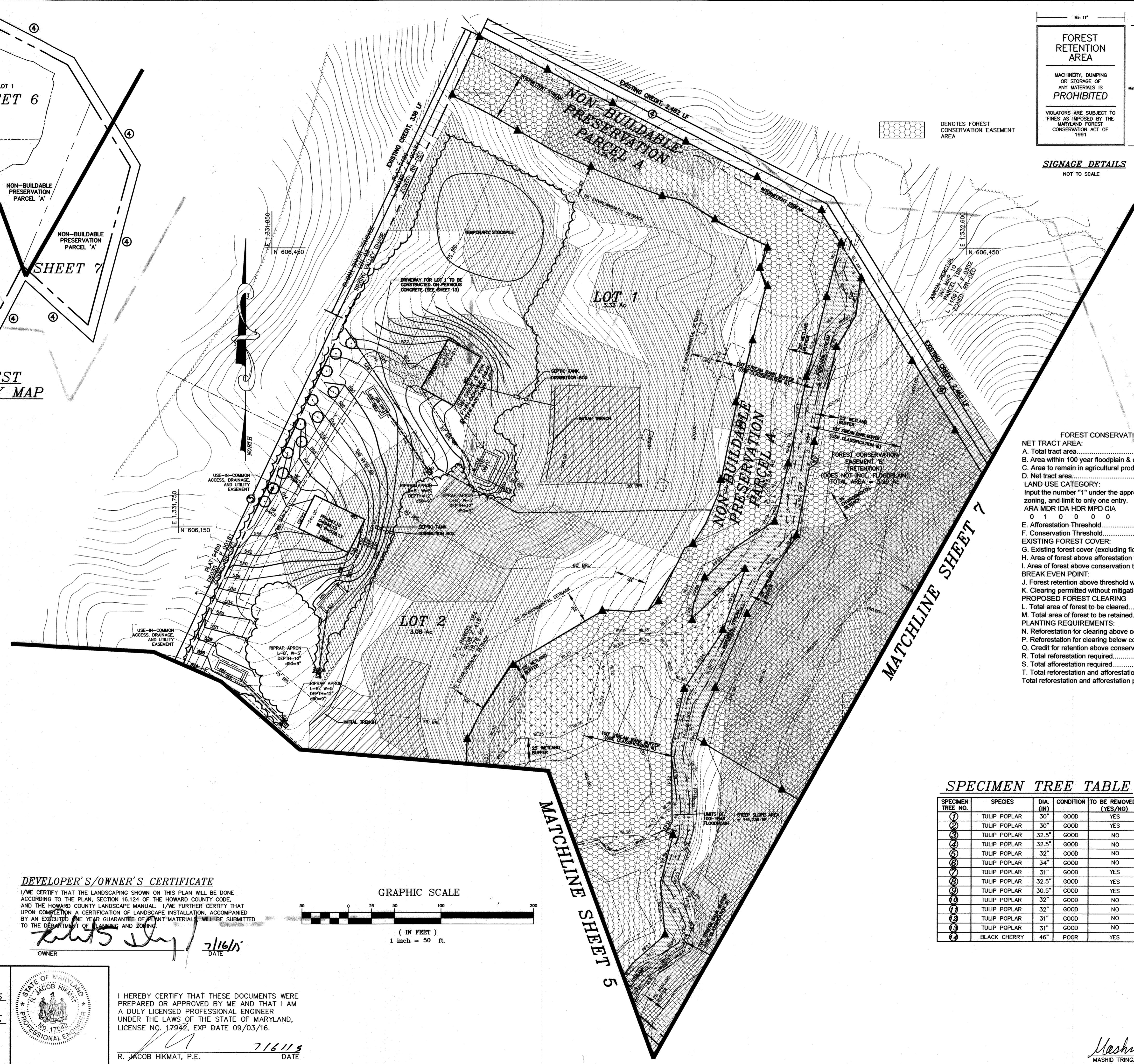
Paul Edwards 7-23-15
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Keith Edwards 8-3-15
CHIEF, DIVISION OF LAND DEVELOPMENT DATE



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17942, EXP DATE 09/03/16.

R. Jacob Hikmat 7/16/15
R. JACOB HIKMAT, P.E. DATE



FOREST RETENTION AREA
MACHINERY, DUMPING OR STORAGE OF ANY MATERIALS IS PROHIBITED
VIOLATORS ARE SUBJECT TO FINES AS IMPOSED BY THE MARYLAND FOREST CONSERVATION ACT OF 1991

SIGNAGE DETAILS
NOT TO SCALE

FOREST CONSERVATION WORKSHEET

NET TRACT AREA:
A. Total tract area = 24.11
B. Area within 100 year floodplain & overhead transmission line = 0.00
C. Area to remain in agricultural production = 0.00
D. Net tract area = 23.51

LAND USE CATEGORY:
Input the number "1" under the appropriate land use zoning, and limit to only one entry.
ARA MDR IDA HDR MPD CIA
0 1 0 0 0 0

E. Afforestation Threshold 15% x D = 4.70
F. Conservation Threshold 20% x D = 5.88

EXISTING FOREST COVER:
G. Existing forest cover (excluding floodplain) = 23.10
H. Area of forest above afforestation threshold = 18.40
I. Area of forest above conservation threshold = 17.22

BREAK EVEN POINT:
J. Forest retention above threshold with no mitigation = 9.32
K. Clearing permitted without mitigation = 13.78

PROPOSED FOREST CLEARING
L. Total area of forest to be cleared = 13.73
M. Total area of forest to be retained = 9.37

PLANTING REQUIREMENTS:
N. Reforestation for clearing above conservation threshold = 3.43
P. Reforestation for clearing below conservation threshold = 0.00
Q. Credit for retention above conservation threshold = 3.49
R. Total reforestation required = 0.00
S. Total afforestation required = 0.00
T. Total reforestation and afforestation required = 0.00
Total reforestation and afforestation provided = 0.00

SPECIMEN TREE TABLE

SPECIMEN TREE NO.	SPECIES	DIA. (IN)	CONDITION	TO BE REMOVED? (YES/NO)
1	TULIP POPLAR	30"	GOOD	YES
2	TULIP POPLAR	30"	GOOD	YES
3	TULIP POPLAR	32.5"	GOOD	NO
4	TULIP POPLAR	32.5"	GOOD	NO
5	TULIP POPLAR	32"	GOOD	NO
6	TULIP POPLAR	34"	GOOD	NO
7	TULIP POPLAR	31"	GOOD	YES
8	TULIP POPLAR	32.5"	GOOD	YES
9	TULIP POPLAR	30.5"	GOOD	YES
10	TULIP POPLAR	32"	GOOD	NO
11	TULIP POPLAR	32"	GOOD	NO
12	TULIP POPLAR	31"	GOOD	NO
13	TULIP POPLAR	31"	GOOD	NO
14	BLACK CHERRY	46"	POOR	YES

Mashed Pring 7/16/15
MASHID TRINGA, DNR QUALIFIED PROFESSIONAL

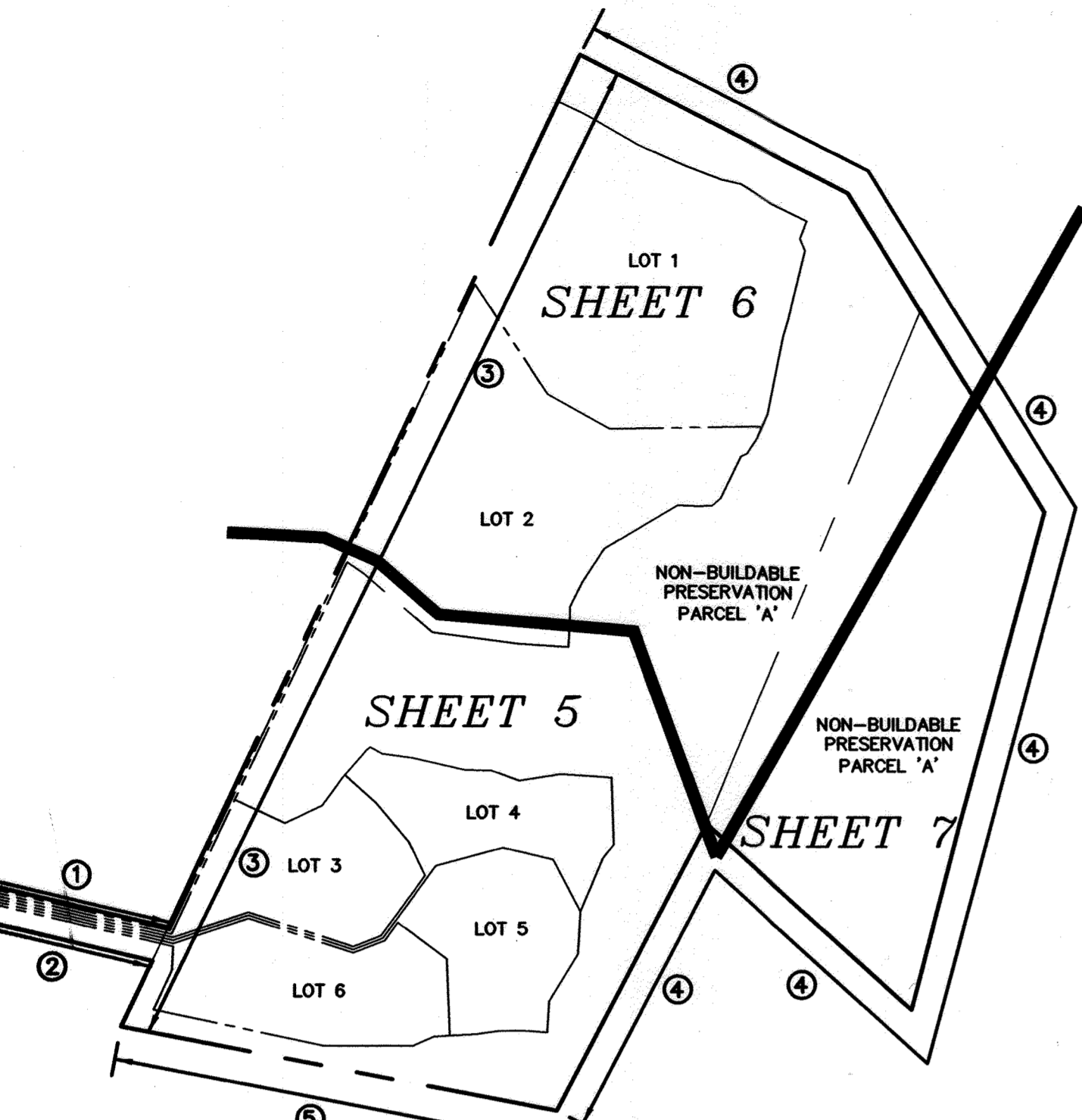
P: 1208412-028 MARIOTT'S PRESERVE (MELCHIOR) DMS\028-RPT-SUPP-MAY 2013

date	JULY 2015	approval	RJH
project	12-028	illustration	JLS
illustration	JLS	scale	1" = 50'

date	JULY 2015	description	REVISE GRADING & PROP. TREE LINE
no.	1	no.	

REVISED
MELCHIOR PROPERTY
LOTS 1 THRU 6 AND NON-BUILDABLE PRESERVATION PARCEL A
TAX MAP 10 - GRID 13 PARCEL 184
HOWARD COUNTY, MARYLAND
3rd ELECTION DISTRICT
SUPPLEMENTAL, LANDSCAPE, AND FOREST CONSERVATION PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
6800 Deeppath Road, Suite 150, Elkridge, MD 21075
(410) 997-0296 Fax



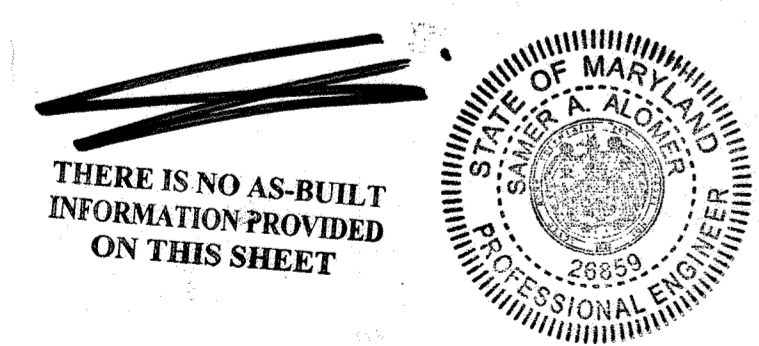
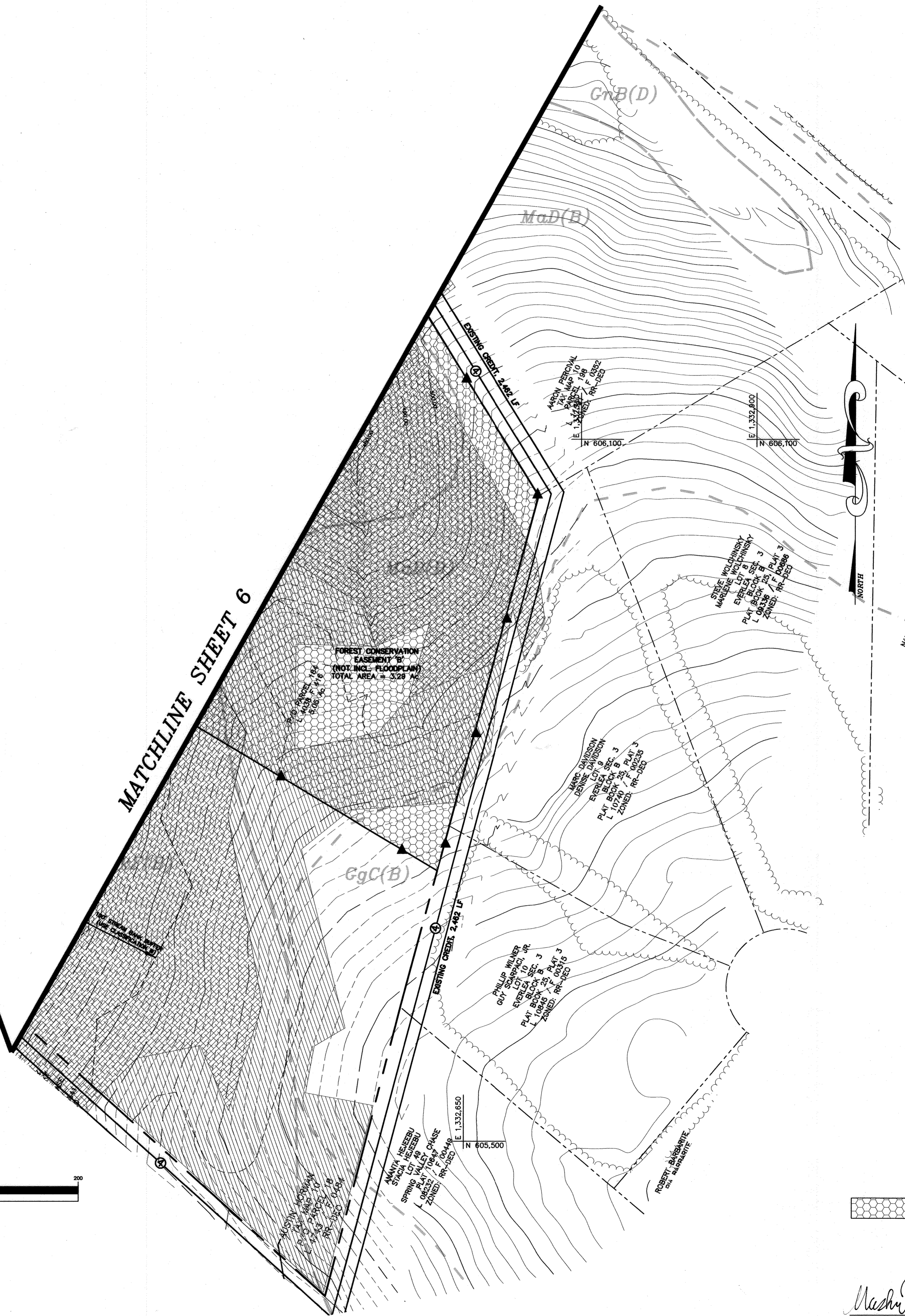
LANDSCAPE AND FOREST CONSERVATION PLAN KEY MAP
1" = 200'

FOREST RETENTION NOTES

- FOREST PROTECTION**
- ALL FOREST RETENTION AREAS AND ISOLATED POTENTIAL SPECIMEN TREES SHALL BE TEMPORARILY PROTECTED BY WELL ANCHORED, BLAZE ORANGE PLASTIC MESH FENCING AND SIGNAGE AS INDICATED ON THE PLANS. THE DEVICES SHALL BE INSTALLED ALONG THE FOREST RETENTION BOUNDARY AND AROUND ISOLATED POTENTIAL SPECIMEN TREES PRIOR TO ANY LAND CLEARING, GRUBBING, OR GRADING ACTIVITIES.
 - SUPER SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLAN. BLAZE ORANGE PLASTIC MESH FENCING SHALL BE INSTALLED ALONG THE REFORESTATION BOUNDARY WHERE THERE IS NO SUPER SILT FENCE PROPOSED AFTER THE PLANTING OF THE EASEMENT.
 - THE FOREST PROTECTION DEVICES SHALL BE INSTALLED SUCH THAT THE CRITICAL ROOT ZONES OF ALL TREES WITHIN THE RETENTION AREA NOT OTHERWISE PROTECTED WILL BE WITHIN FOREST PROTECTION DEVICES. IT IS UNDERSTOOD THAT THE INSTALLATION OF THE FENCING IN THIS MANNER WILL CREATE AN IRREGULAR EDGE.
 - ALL PROTECTION DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL DEVICES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION HAS CEASED IN THE IMMEDIATE VICINITY.
 - ATTACHMENT OF SIGNS, OR ANY OTHER OBJECTS TO TREES IS PROHIBITED. NO EQUIPMENT, MACHINERY, VEHICLES, MATERIALS OR EXCESSIVE PEDESTRIAN TRAFFIC SHALL BE ALLOWED WITHIN THE PROTECTED AREAS.
 - INSTALLATION AND MAINTENANCE OF PROTECTIVE FENCING AND SIGNAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL TAKE THE UTMOST CARE TO PROTECT TREE ROOT SYSTEMS DURING ALL CONSTRUCTION ACTIVITIES. TREE ROOT SYSTEMS SHALL BE PROTECTED FROM SMOOTHERING, FLOODING, EXCESSIVE WETTING FROM DE-WATERING OPERATIONS, OFF-SITE RUN OFF, SPILLAGE AND BRNING OF MATERIALS THAT MAY BE HARMFUL TO TREES.
 - THE GENERAL CONTRACTOR SHALL PREVENT PARKING OF CONSTRUCTION VEHICLES AND EQUIPMENT, AND THE STORING OF BUILDING SUPPLIES OR STOCKPILING OF EARTH WITHIN FOREST CONSERVATION EASEMENTS.
 - REMOVAL OF TOPSOIL OR ROOT MAT WITHIN THE TREE PRESERVATION AREA SHALL BE PROHIBITED.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TREES DAMAGED OR DESTROYED WITHIN FOREST CONSERVATION EASEMENTS. ROOT PRUNING SHALL BE USED AT THE LIMIT OF DISTURBANCE OR LIMIT OF GRADING WITHIN AND ADJACENT TO ALL FORESTED AREAS. PLEASE REFER TO ROOT PRUNING DETAIL THIS SHEET.
- PRE-CONSTRUCTION MEETING**
- AFTER THE BOUNDARIES OF THE FOREST RETENTION AREAS HAVE BEEN FIELD LOCATED AND MARKED, AND AFTER THE FOREST PROTECTION DEVICES HAVE BEEN INSTALLED, BUT BEFORE ANY OTHER DISTURBANCE HAS TAKEN PLACE ON SITE, A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE ON SITE. THE DEVELOPER, CONTRACTOR OR PROJECT MANAGER, AND HOWARD COUNTY INSPECTORS SHALL ATTEND. THE PURPOSE OF THIS MEETING WILL BE:
 - TO IDENTIFY THE LOCATIONS OF THE FOREST RETENTION AREAS, SPECIMEN TREES WITHIN 50 FEET OF THE LIMIT OF DISTURBANCE, LIMITS OF CONSTRUCTION, EMPLOYEE PARKING AREAS AND EQUIPMENT STAGING AREAS;
 - INSPECT ALL FLAGGED BOUNDARIES AND PROTECTION DEVICES;
 - MAKE ALL NECESSARY ADJUSTMENTS;
 - ASSIGN RESPONSIBILITIES AS APPROPRIATE AND DISCUSS PENALTIES.
- CONSTRUCTION MONITORING**
- THE SITE SHALL BE INSPECTED PERIODICALLY DURING THE CONSTRUCTION PHASE OF THE PROJECT. A QUALIFIED PROFESSIONAL SHALL BE RESPONSIBLE FOR IDENTIFYING DAMAGE TO PROTECTED FOREST AREAS OR INDIVIDUAL TREES WHICH MAY HAVE BEEN CAUSED BY CONSTRUCTION ACTIVITIES, SUCH AS SOIL COMPACTION, ROOT INJURY, TRUNK WOUNDS, LIMB INJURY, OR STRESS CAUSED BY FLOODING OR DROUGHT CONDITIONS. ANY SUCH DAMAGE THAT MAY OCCUR SHALL BE REMEDIATED IMMEDIATELY USING APPROPRIATE MEASURES. SEVERE PROBLEMS MAY REQUIRE CONSULTATION WITH A PROFESSIONAL ARBORIST.
 - LIMITS OF WORK
THE CONSTRUCTION PROCEDURE SHALL NOT DAMAGE AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE AS DESIGNATED ON THE PLANS. ANY DAMAGE SHALL BE RESTORED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE DESIGN TEAM OR ENGINEER.

GENERAL NOTES :

- FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS FOR SECTION 16.1202 OF THE HOWARD COUNTY FOREST CONSERVATION ACT. NO GRADING, REMOVAL OF VEGETATIVE COVER OF TREES, OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS EXCEPT AS SHOWN ON THE APPROVED PLAN, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
- FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 16.1202 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY THE RETENTION OF 9.37 AC. (408,157.2 SQ. FT.) INTO FOREST CONSERVATION EASEMENT. A FINANCIAL SURETY IN THE AMOUNT OF \$81,195.84 SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENT FOR THIS FINAL PLAN.



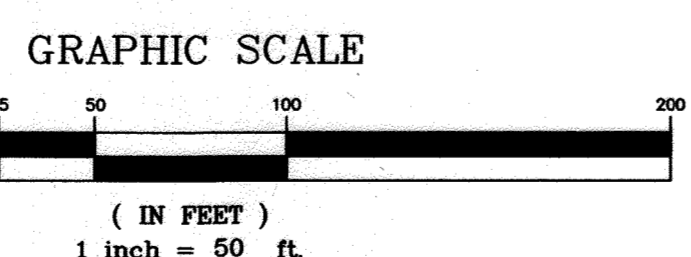
THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET

OWNER
DORSEY FAMILY HOMES, INC.
10717-B BIRMINGHAM WAY
WOODSTOCK, MARYLAND 21163
(410)465-7200

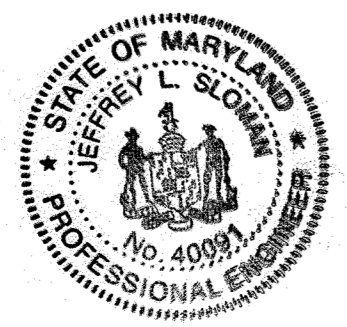
DEVELOPER'S/OWNER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Jeffrey L. Sloman
OWNER
DATE: 11-20-13



APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chad Elwood
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 1-9-14
Jeffrey L. Sloman
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 1-12-14



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40091, EXP DATE 2/13/15.

Jeffrey L. Sloman
JEFFREY SLOMAN, P.E.
DATE: 11/18/13

■ DENOTES FOREST CONSERVATION EASEMENT AREA

Mashid Tringa
MASHID TRINGA, DNR QUALIFIED PROFESSIONAL

Project	12-02B	date	NOV 2013
Illustration	IIS	engineering	IIS
scale	1"=50'	approval	RJH

no.	description	date

MELCHIOR PROPERTY
LOTS 1 THRU 6 AND NON-BUILDABLE PRESERVATION PARCEL A
TAX MAP 10 - GRID 13 PARCEL 184
3-rd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SUPPLEMENTAL, LANDSCAPE, AND FOREST CONSERVATION PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
6800 Deerpath Road, Suite 160, Ellicott City, MD 21075
(410) 997-0286 Cell. (410) 997-0288 Fax.

P: 2004.12-02B MARIOTT'S PRESERVE (MELCHIOR) DWG 02B-RP1-SUPP-MAY 2013

EROSION AND SEDIMENT CONTROL LEGEND

- EARTH DIKE
- STANDARD INLET PROTECTION
- CHECK DAM (FOR EROSION CONTROL ONLY)
- SUPER SILT FENCE
- SILT DIVERSION FENCE
- AREA OF IMMEDIATE STABILIZATION
SEE PLAN FOR PERMANENT SEEDING OR ROAD BASE
- CLEAN WATER DIVERSION PIPE WITH DIA.
- LIMIT OF DISTURBANCE
- SCE** STABILIZED CONSTRUCTION ENTRANCE
- EXISTING WETLAND
- EXISTING 100-YEAR FLOODPLAIN
- PROP DRY WELL

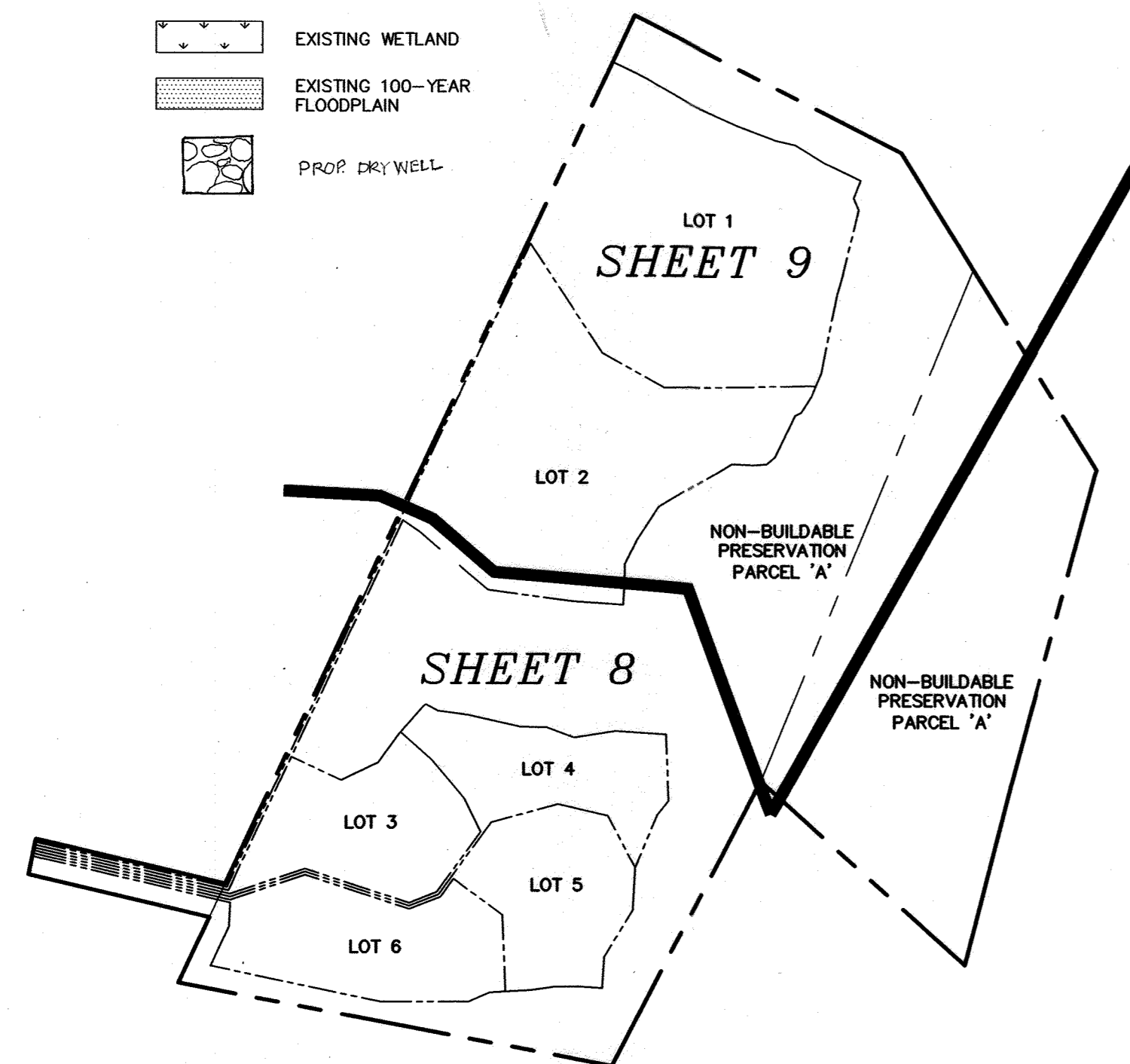
SOIL FOR DEVELOPMENT OF THIS SITE TO BE LOCATED WITHIN THE LIMIT OF DISTURBANCE SOUTH OF THE STREAM BUFFER. NO STOCKPILING OF SOIL IS ALLOWED OUTSIDE OF LIMIT OF DISTURBANCE.

FOREST CONSERVATION EASEMENT HATCHING NOT SHOWN ON THIS PLAN FOR CLARITY.

SEE SHEETS 3 AND 4 FOR MICRO-BIORETENTION FACILITIES, FACILITY OUTFALLS, AND OUTFALL PROTECTIONS.

LIMIT OF DISTURBANCE AND EROSION CONTROL SHOWN IN THESE PLANS REPRESENTS THE DISTURBANCE AND EROSION CONTROL FOR THE ULTIMATE DEVELOPMENT ON THE SITE. SEE SEQUENCE OF CONSTRUCTION.

NO HOUSES ARE TO BE BUILT PER THESE PLANS.



EROSION AND SEDIMENT CONTROL PLAN KEY MAP
1" = 200'

OWNER
DORSEY FAMILY HOMES, INC.
10717-B BIRMINGHAM WAY
WOODSTOCK, MARYLAND 21163
(410)465-7200

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 7/16/15
SIGNATURE OF ENGINEER DATE
R. JACOB HIKMAT, P.E.
PRINTED NAME OF ENGINEER

DEVELOPERS CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. HOWARD SOIL CONSERVATION DISTRICT IS AUTHORIZED TO CONDUCT PERIODIC ON-SITE INSPECTION.

[Signature] 7/14/15
SIGNATURE OF DEVELOPER DATE
ROBERT DORSEY, JR., PRESIDENT, DORSEY FAMILY HOMES, INC.
PRINTED NAME OF DEVELOPER

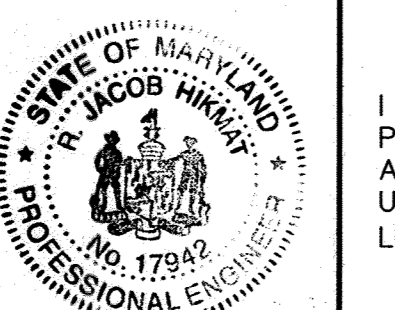
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 7/22/15
SIGNATURE OF APPROVING OFFICIAL DATE
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

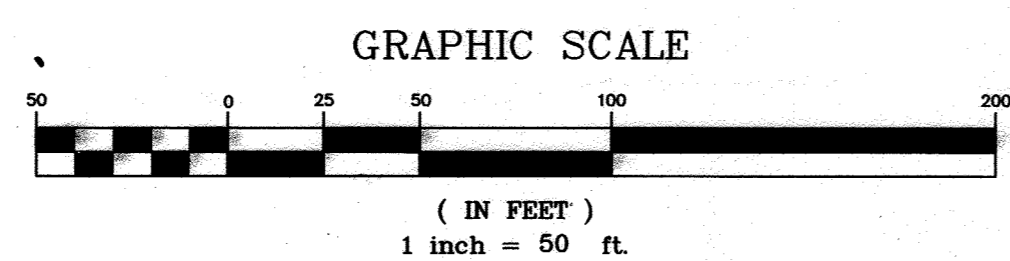
[Signature] 7/29/15
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
[Signature] 8-3-15
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17942; EXP DATE 09/03/16.

[Signature] 7/16/15
R. JACOB HIKMAT, P.E. DATE



BEST MANAGEMENT PRACTICES FOR WORKING IN NONTIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS AND 100-YEAR FLOODPLAINS

- NO EXCESS FILL, CONSTRUCTION MATERIAL, OR DEBRIS SHALL BE STOCKPILED OR STORED IN NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, WATERWAYS OR 100-YEAR FLOODPLAIN.
- PLACE MATERIALS ON A LOCATION AND MANNER WHICH DOES NOT ADVERSELY IMPACT SURFACE OR SUBSURFACE WATER FLOW INTO OR OUT OF NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, WATERWAYS, OR 100-YEAR FLOODPLAIN.
- DO NOT USE EXCAVATED MATERIALS AS BACKFILL IF IT CONTAINS WASTE METAL PRODUCTS, UNSIGHTLY DEBRIS, TOXIC MATERIAL, OR ANY OTHER DELETERIOUS SUBSTANCE. IF ADDITIONAL BACKFILL IS REQUIRED, USE CLEAN MATERIAL FREE OF WASTE METAL PRODUCTS, UNSIGHTLY DEBRIS, TOXIC MATERIALS, OR OTHER DELETERIOUS SUBSTANCE.
- PLACE HEAVY EQUIPMENT ON MATS OR SUITABLY OPERATE THE EQUIPMENT TO PREVENT DAMAGE TO NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, WATERWAYS, OR 100-YEAR FLOODPLAIN.
- REPAIR AND MAINTAIN ANY SERVICEABLE STRUCTURE OR FILL, SO THERE IS NO PERMANENT LOSS OF NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, OR WATERWAYS, OR PERMANENT MODIFICATION OF THE 100-YEAR FLOODPLAIN IN EXCESS OF THAT LOST UNDER ORIGINALLY AUTHORIZED STRUCTURE OR FILL.
- RECTIFY ANY NONTIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS, OR 100-YEAR FLOODPLAIN TEMPORARILY IMPACTED BY ANY CONSTRUCTION.
- ALL STABILIZATION IN THE NONTIDAL WETLANDS AND NONTIDAL WETLAND BUFFER SHALL CONSIST OF THE FOLLOWING SPECIES: ANNUAL RYEGRASS (LOLIUM MULTIFLORUM), MILLET (SETARIA ITALICA), BARLEY (HORDEUM SP.), OATS (UNIOLOA SP.), OR RYE ((SECALE CEREALE)). THESE SPECIES WILL ALLOW FOR THE STABILIZATION OF THE SITE WHILE ALSO ALLOWING FOR THE VOLUNTARY REVEGETATION OF NATURAL WETLAND SPECIES. OTHER NON-PERSISTENT VEGETATION MAY BE ACCEPTABLE, BUT MUST BE APPROVED BY THE NONTIDAL WETLANDS AND WATERWAYS DIVISION, KENTUCKY 31 FESCUE SHALL NOT BE UTILIZED IN WETLAND OR BUFFER AREAS. THE AREA SHOULD BE SEEDED AND MULCHED TO REDUCE EROSION AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
- AFTER INSTALLATION HAS BEEN COMPLETED, MAKE POST-CONSTRUCTION GRADES AND ELEVATIONS THE SAME AS THE ORIGINAL GRADES AND ELEVATIONS IN TEMPORARILY IMPACTED AREAS.
- TO PROTECT AQUATIC SPECIES, IN-STREAM WORK IS PROHIBITED AS DETERMINED BY THE CLASSIFICATION OF THE STREAM:
 - USE I WATERS: IN-STREAM WORK SHALL NOT BE CONDUCTED DURING THE PERIOD MARCH 1 THROUGH JUNE 15, INCLUSIVE, DURING ANY YEAR.
 - USE II WATERS: IN-STREAM WORK SHALL NOT BE CONDUCTED DURING THE PERIOD OCTOBER 1 THROUGH APRIL 30, INCLUSIVE, DURING ANY YEAR.
 - USE III WATERS: IN-STREAM WORK SHALL NOT BE CONDUCTED DURING THE PERIOD MARCH 1 THROUGH MAY 31, INCLUSIVE, DURING ANY YEAR.
- STORMWATER RUNOFF FROM IMPERVIOUS SURFACE SHALL BE CONTROLLED TO PREVENT THE WASHING OF DEBRIS INTO THE WATERWAY.
- CULVERTS SHALL BE CONSTRUCTED AND ANY RIP RAP PLACED SO AS NOT TO OBSTRUCT THE MOVEMENT OF AQUATIC SPECIES, UNLESS THE PURPOSE OF ACTIVITY IS TO IMPOUND WATER. THIS TRIBUTARY IS A USE III PERENNIAL STREAM

NOTE:
SEE SHEET 15 OF 16 FOR MB-DW-6 DETAILS

date	JULY 2015	approval	RJH
project	12-028	scale	1" = 50'
illustration	JLS		

date	DEC. 2022	description	
no.	1	ADD REFERENCE NOTE	
	2	REV. L. HUBBS, GRADING, WATERWAYS, RIGHT-OF-WAY, LOT 4, 10/11/2022	
	3	REV. JLS, ADDITIONAL NOTES TO SHEET 15 OF 16, 11/1/2022	
	4	REV. JLS, ADDITIONAL NOTES TO SHEET 15 OF 16, 11/1/2022	
	5	REV. JLS, ADDITIONAL NOTES TO SHEET 15 OF 16, 11/1/2022	

REVISED
MELCHIOR PROPERTY
MELCHIOR PROPERTY
LOTS 1 THRU 6 AND NON-BUILDABLE PRESERVATION PARCEL A
TAX MAP 10 - GRID 13 PARCEL 184
3rd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
SUPPLEMENTAL, EROSION AND SEDIMENT CONTROL PLAN

MILDENBERG & ASSOC., INC.
Boender & Assoc., Inc.
Engineers Planners Surveyors
6800 Deerpath Road, Suite 150, Elkridge, MD 21075
(410) 997-0296 Fax (410) 997-0296

EROSION AND SEDIMENT CONTROL LEGEND

- EARTH DIKE
- STANDARD INLET PROTECTION
- CHECK DAM (FOR EROSION CONTROL ONLY)
- SUPER SILT FENCE
- SILT DIVERSION FENCE
- AREA OF IMMEDIATE STABILIZATION
SEE PLAN FOR PERMANENT SEEDING OR ROAD BASE
- CLEAN WATER DIVERSION PIPE WITH DIA.
- LIMIT OF DISTURBANCE
- STABILIZED CONSTRUCTION ENTRANCE
- EXISTING WETLAND
- EXISTING 100-YEAR FLOODPLAIN

FOREST CONSERVATION EASEMENT HATCHING NOT SHOWN ON THIS PLAN FOR CLARITY.

LIMIT OF DISTURBANCE AND EROSION CONTROL SHOWN IN THESE PLANS REPRESENTS THE DISTURBANCE AND EROSION CONTROL FOR THE ULTIMATE DEVELOPMENT ON THE SITE. SEE SEQUENCE OF CONSTRUCTION.

SOIL FOR DEVELOPMENT OF THIS SITE TO BE LOCATED WITHIN THE LIMIT OF DISTURBANCE SOUTH OF THE STREAM BUFFER. NO STOCKPILING OF SOIL IS ALLOWED OUTSIDE OF LIMIT OF DISTURBANCE.

SEE SHEETS 3 AND 4 FOR MICRO-BIORETENTION FACILITIES, FACILITY OUTFALLS, AND OUTFALL PROTECTIONS.

NO HOUSES ARE TO BE BUILT PER THESE PLANS.

STOCKPILE HIGHER THAN 15' MUST BE BENCHED.

AREA TO DIKE = 0.87 AC
Tc = 20 MINS. (ASSUMED)
C = 0.30
I = 3.7 IN/HR (2-YR)
I = 4.8 IN/HR (10-YR)
Q = CIA = 0.8 CFS (2-YEAR)
Q = CIA = 1.3 CFS (10-YEAR)

OWNER
DORSEY FAMILY HOMES, INC.
10717-B BIRMINGHAM WAY
WOODSTOCK, MARYLAND 21163
(410)465-7200

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

7/16/15
SIGNATURE OF ENGINEER DATE
R. JACOB HIKMAT, P.E.
PRINTED NAME OF ENGINEER

DEVELOPER'S CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINS THE PROJECT. HOWARD SOIL CONSERVATION DISTRICT IS AUTHORIZED TO CONDUCT PERIODIC ON-SITE INSPECTION.

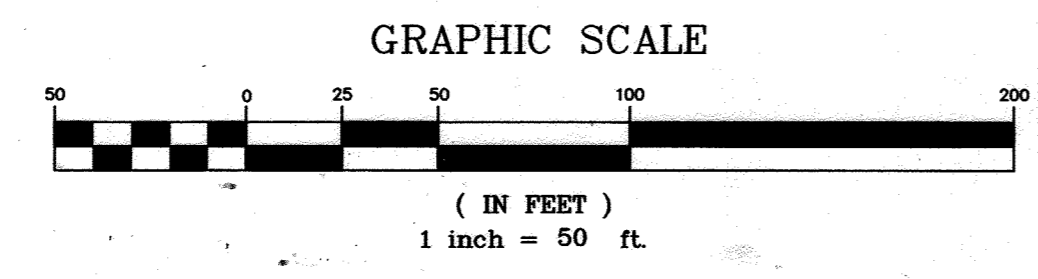
7/16/15
SIGNATURE OF DEVELOPER DATE
ROBERT DORSEY, JR., PRESIDENT, DORSEY FAMILY HOMES, INC.
PRINTED NAME OF DEVELOPER

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

7/22/15
HOWARD SOIL CONSERVATION DISTRICT DATE

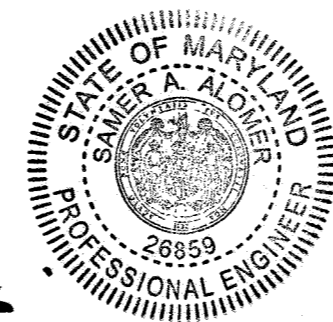
APPROVED: DEPARTMENT OF PLANNING AND ZONING

7.29.15
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
 8.3.15
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

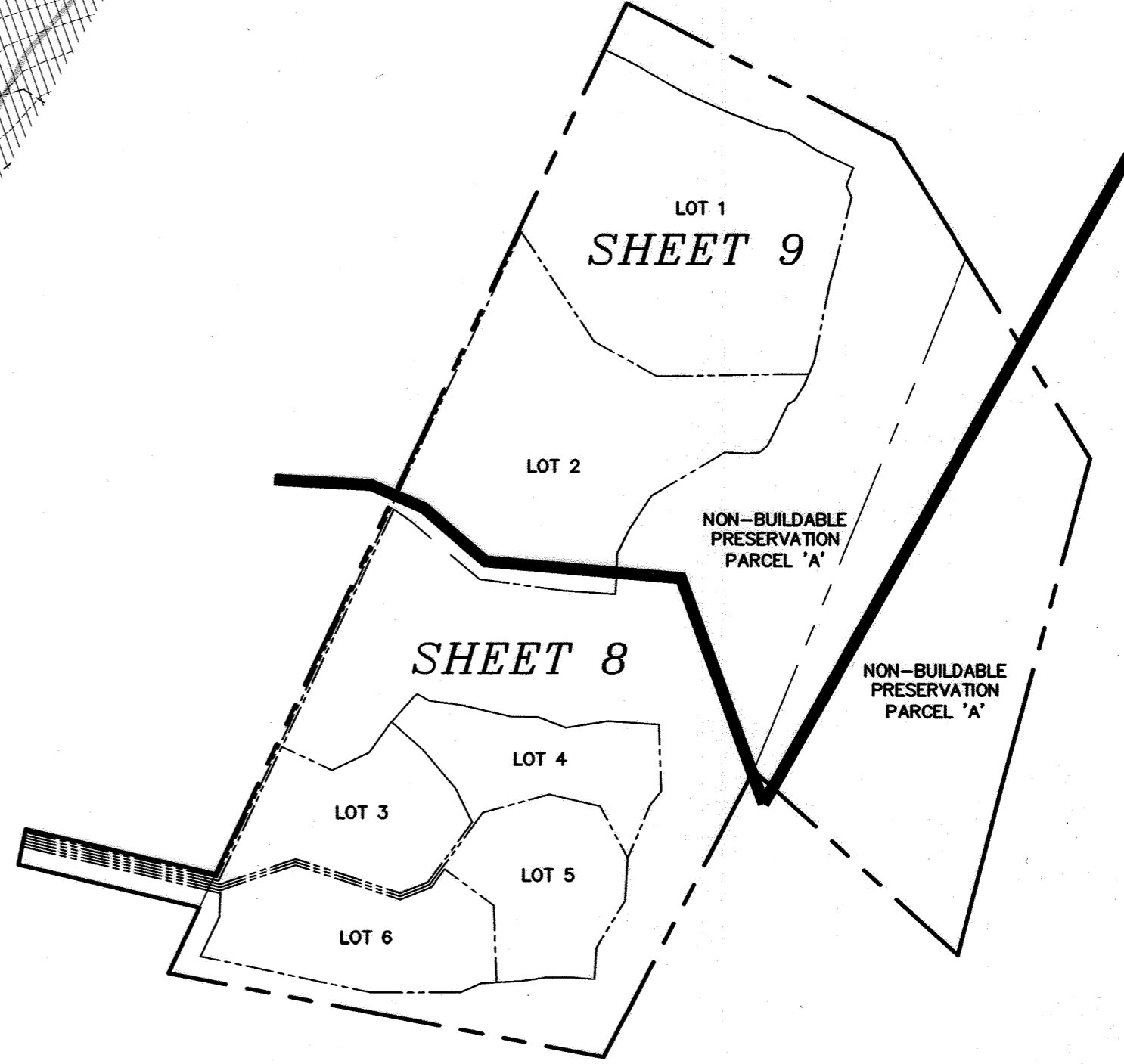
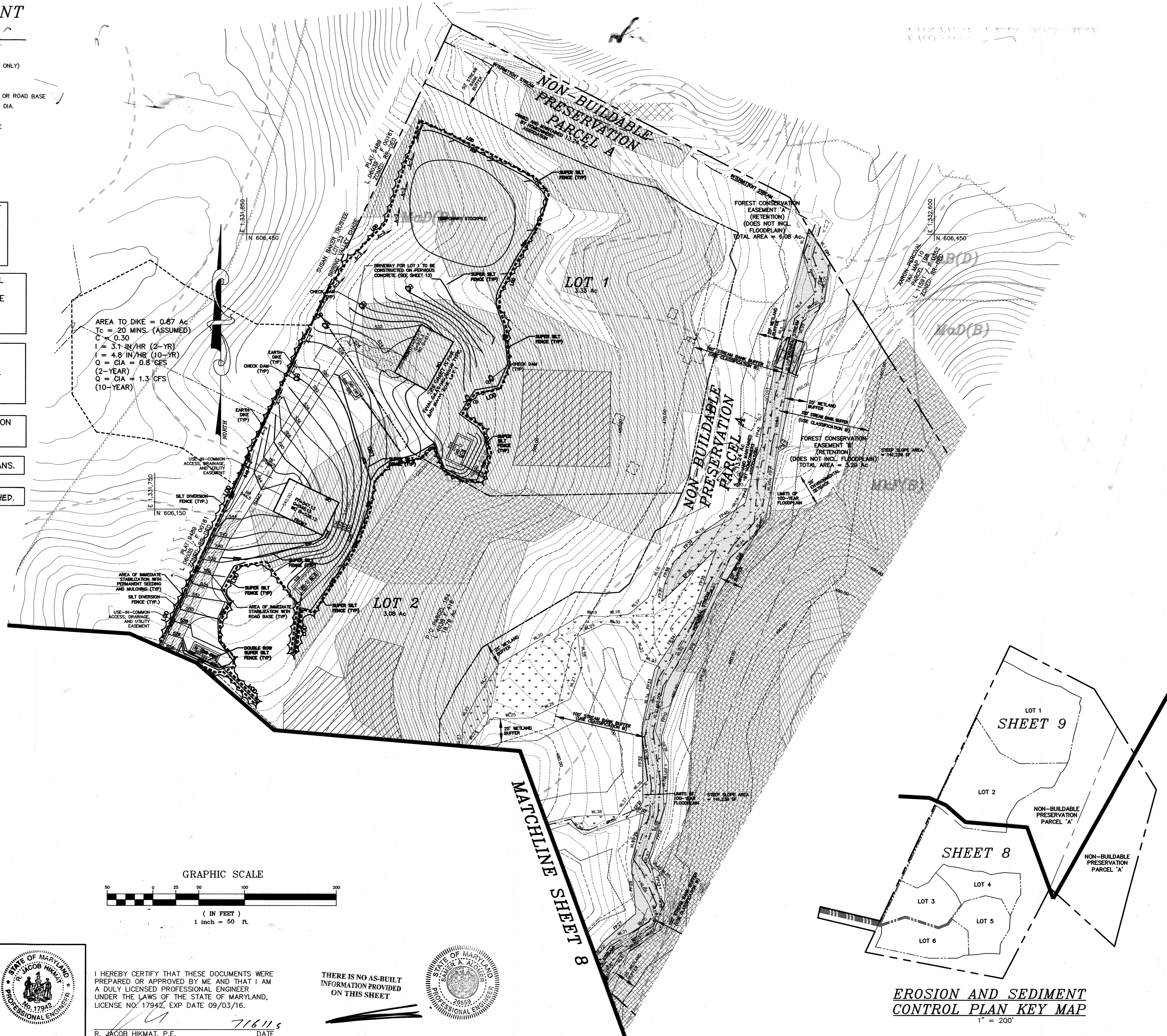


I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17942, EXP DATE 09/03/16.

THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET



7/16/15
R. JACOB HIKMAT, P.E. DATE



EROSION AND SEDIMENT CONTROL PLAN KEY MAP
1" = 200'

P:\2004\12-028 MARIOTTS PRESERVE (MELCHIOR)\DWG\028-RPT-SUPP-MAY 2013

date	JULY 2015
project	12-028
illustration	JLS
scale	1" = 50'
approval	RJH

date	JULY 2015
revision	1
description	REV. GRADING, SEDIMENT CONTROLS & LOD
no.	1

REVISED
MELCHIOR PROPERTY
LOTS 1 THRU 6 AND NON-BUILDABLE PRESERVATION PARCEL A
TAX MAP 10 - GRID 13 PARCEL 184
3rd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SUPPLEMENTAL, EROSION AND SEDIMENT CONTROL PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
8800 Deerpath Road, Suite 150, Elkridge, MD 21075
(410) 997-0596 Fax

ESD NARRATIVE

1. NO DISTURBANCE TO THE ONSITE FLOODPLAIN, STREAMS, WETLANDS, OR WETLAND BUFFERS IS PROPOSED AS PART OF THIS PROJECT. ALTHOUGH NO DISTURBANCE IS PROPOSED WITHIN 100 FEET OF A PERENNIAL STREAM, A WAIVER WILL BE APPLIED FOR TO ALLOW A MINIMUM STREAM BANK BUFFER OF 75 FEET. THE PROPOSED GRASSED SWALES, MICRO-BIORETENTION FACILITIES, AND PERVIOUS SURFACES WILL PROVIDE STORMWATER QUALITY TREATMENT FOR THE NEW DEVELOPMENT, WHICH WILL BE AN IMPROVEMENT OVER EXISTING CONDITIONS.
2. THE IMPROVEMENTS AND DEVELOPED AREA WILL MAINTAIN THE EXISTING DRAINAGE PATTERNS AS CLOSELY AS POSSIBLE. NO IMPACT IS PROPOSED THAT WOULD ALTER ANY NATURAL FLOW PATTERNS.
3. THE USE OF NON-STRUCTURAL PRACTICES (ROOFTOP AND NON-ROOFTOP DISCONNECTION) WAS EXPLORED. A PORTION OF THE PROPOSED USE-IN-COMMON DRIVEWAY WILL BE TREATED VIA NON-ROOFTOP DISCONNECTION, HOWEVER, DUE TO THE STEEPNESS OF THE EXISTING TOPOGRAPHY, ROOFTOP DISCONNECTION IS NOT FEASIBLE.
4. THE REQUIRED EROSION AND SEDIMENT CONTROL MEASURES WILL BE IN ACCORDANCE WITH THE LATEST MDE STANDARDS AND SPECIFICATIONS UTILIZING SILT FENCES AND SUPER SILT FENCES. AREAS OF CONCENTRATED FLOW WILL BE MITIGATED THROUGH THE USE OF CHECK DAMS (TEMPORARY).
5. TABLE S.2, SUMMARY OF SITE DEVELOPMENT STRATEGIES WAS UTILIZED TO THE EXTENT ALLOWABLE BY THE CURRENT HOWARD COUNTY ZONING AND LAND DEVELOPMENT REGULATIONS BY UTILIZING NON-STRUCTURAL PRACTICES WHERE REASONABLE AND MINIMIZING DISTURBANCE TO EXISTING FOREST, AND HAVING NO DISTURBANCE IN THE STREAM, WETLAND, FLOODPLAIN, OR THEIR ASSOCIATED BUFFERS.
6. IN DESIGNING THIS PROJECT, AND AFTER WE PLANNED THE PROJECT TO MINIMIZE IMPERVIOUS AREAS, WE UTILIZED ESD MEASURES IN THE FOLLOWING ORDER OF PREFERENCE:
 - A. NON-ROOFTOP DISCONNECTION (N-2)
 - B. ALTERNATIVE SURFACES (A-2)
 - C. MICRO-SCALE PRACTICES (M-6)

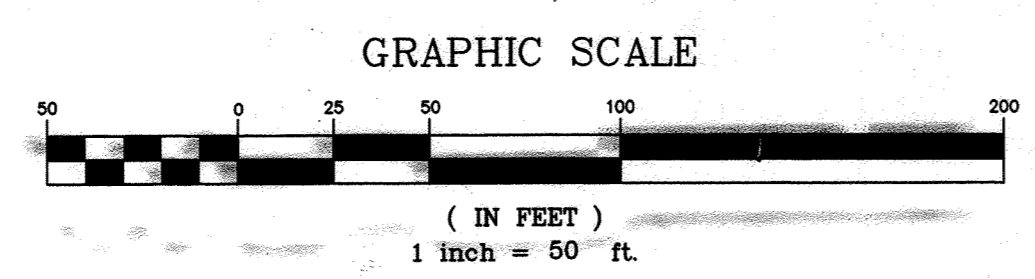
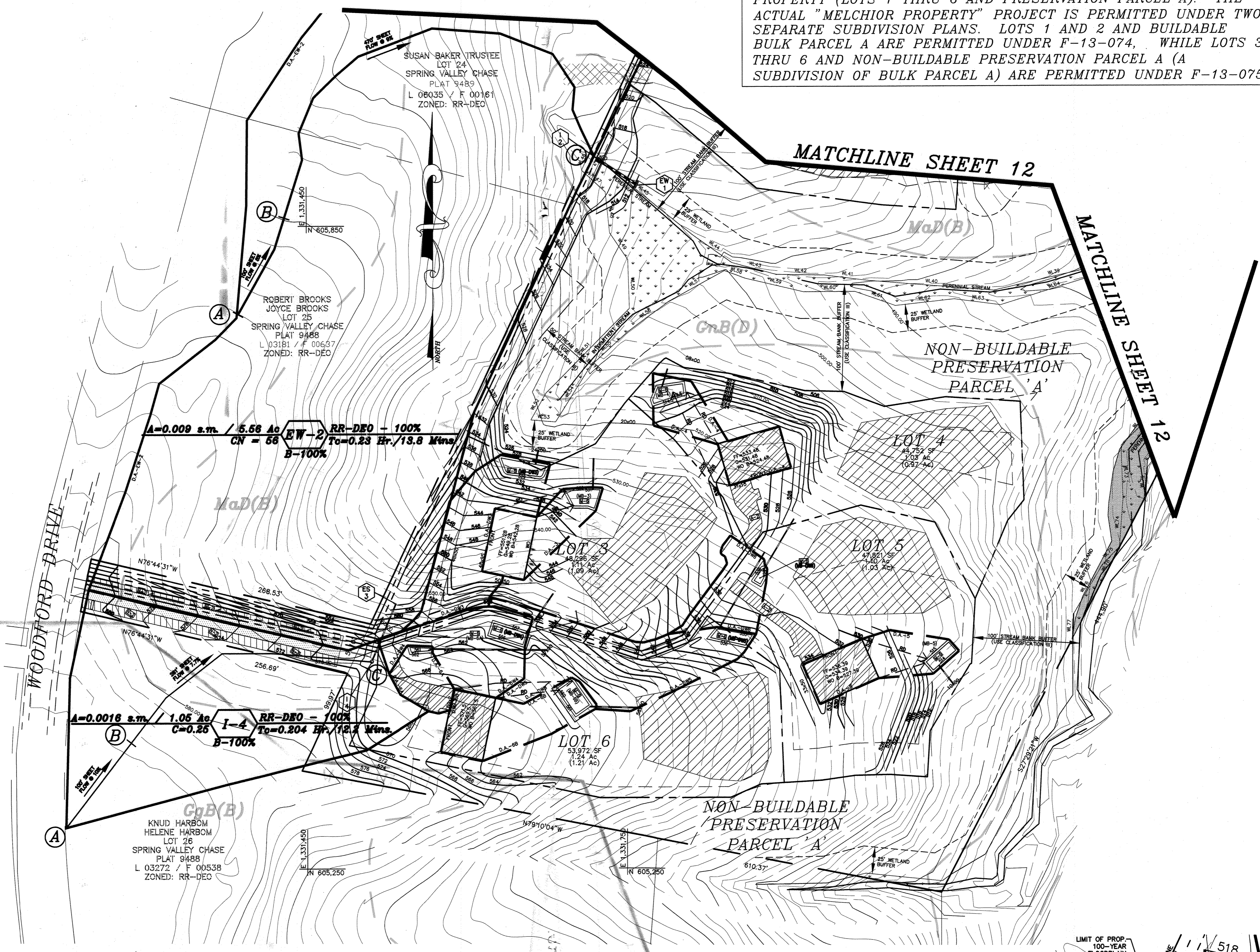
SOILS DESCRIPTION

SYMBOL	HYDROLOGICAL GROUP	DESCRIPTION
GGB	B	GLENELG LOAM, 3 TO 8% SLOPE
GNS	D	GLENVILLE-BALF SOIL LOAM, 0 TO 8% SLOPE
MGP	B	MANOR LOAM, 15 TO 25% SLOPE
MRF	B	MANOR-BRINKLOW COMPLEX (ROCKY) - 25 TO 65% SLOPE

LEGEND

- IMPERVIOUS AREA TREATED BY A-2 PERVIOUS CONCRETE (ALSO INCLUDES AREAS OF PERVIOUS CONCRETE). THIS SHADING ALSO DELINEATES THE DRAINAGE AREAS TO THE PERVIOUS CONCRETE.
- IMPERVIOUS AREA TREATED BY M-6, MICRO-BIORETENTION
- IMPERVIOUS AREA TREATED BY N-2, NON-ROOFTOP DISCONNECTION
- TREATMENT AREA OF NON-ROOFTOP DISCONNECTION (N-2)
- DRAINAGE AREA TO MICRO-BIORETENTION (M-6) WITH FACILITY LABEL
- ROOF DRAIN LEADER

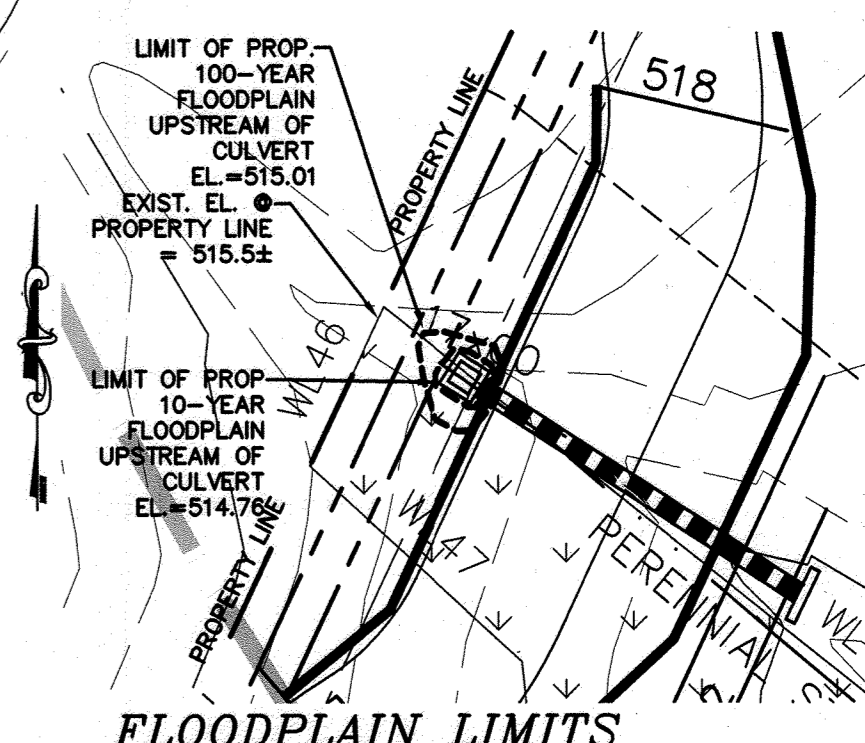
THIS PLAN IS TO BE USED FOR DRAINAGE INFORMATION PURPOSES ONLY. IT IS INTENDED TO SHOW THE STORMWATER MANAGEMENT PLAN FOR THE ULTIMATE DEVELOPMENT OF THE MELCHIOR PROPERTY (LOTS 1 THRU 6 AND PRESERVATION PARCEL A). THE ACTUAL "MELCHIOR PROPERTY" PROJECT IS PERMITTED UNDER TWO SEPARATE SUBDIVISION PLANS. LOTS 1 AND 2 AND BUILDABLE BULK PARCEL A ARE PERMITTED UNDER F-13-074, WHILE LOTS 3 THRU 6 AND NON-BUILDABLE PRESERVATION PARCEL A (A SUBDIVISION OF BULK PARCEL A) ARE PERMITTED UNDER F-13-075.



SWM PRACTICES SCHEDULE

AREA	ESD METHOD	TREATED AREA TYPE	ESDv (REQ)* (PROVIDED)	Pe (REQ)	Pe (PROVIDED)
LOT 1	PERVIOUS CONCRETE (A-2), MICRO-BIORETENTION (M-6) FACILITY MB-1	HOUSE, DRIVEWAY (PERVIOUS & IMPERVIOUS)	1,316 CF		
LOT 2	MICRO-BIORETENTION (M-6) FACILITY MB-2	HOUSE, DRIVEWAY (IMPERVIOUS)	525 CF		
LOT 3	MICRO-BIORETENTION (M-6) FACILITIES MB-3	HOUSE, DRIVEWAY (IMPERVIOUS)	640 SF		
LOT 4	PERVIOUS CONCRETE (A-2), MICRO-BIORETENTION (M-6) FACILITY MB-4	HOUSE, DRIVEWAY (PERVIOUS & IMPERVIOUS)	1,138 CF		
LOT 5	PERVIOUS CONCRETE (A-2), MICRO-BIORETENTION (M-6) FACILITY MB-5	HOUSE, DRIVEWAY (PERVIOUS & IMPERVIOUS)	1,320 CF		
LOT 6	MICRO-BIORETENTION (M-6) FACILITIES MB-6A AND MB-6B	HOUSE, DRIVEWAY (IMPERVIOUS)	838 CF		
USE-IN-COMMON DW	NON-ROOFTOP DISC. (N-2)	ROADWAY (IMPERVIOUS)	2,943 CF		
TOTAL	MICRO-BIORETENTION (M-6) FACILITIES MB-DW1 THRU MB-DW6		8,386 CF	8,778 CF	1.58" 1.65"

* INCLUDES THE REQUIRED STORAGE FOR THE CONVERSION OF WOODS TO GRASS WITHIN THE LIMIT OF DISTURBANCE



THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET

OWNER
DORSEY FAMILY HOMES, INC.
10717-B BIRMINGHAM WAY
WOODSTOCK, MARYLAND 21163
(410)465-7200

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chad Edmister 7.29.15
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Kurt S. Decker 8.3.15
CHIEF, DIVISION OF LAND DEVELOPMENT



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17942, EXP DATE 09/03/16.

R. Jacob Hikmat 7/6/15
R. JACOB HIKMAT, P.E. DATE

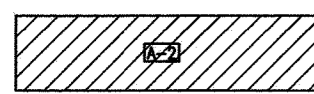

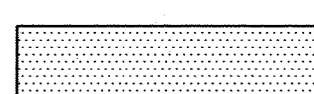
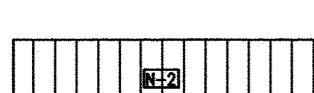
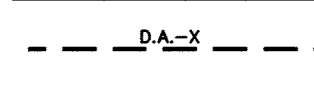
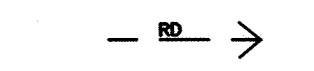
date	JULY 2015	approval	RJH
project	12-028	scale	1"=50'
illustration	JLS	description	

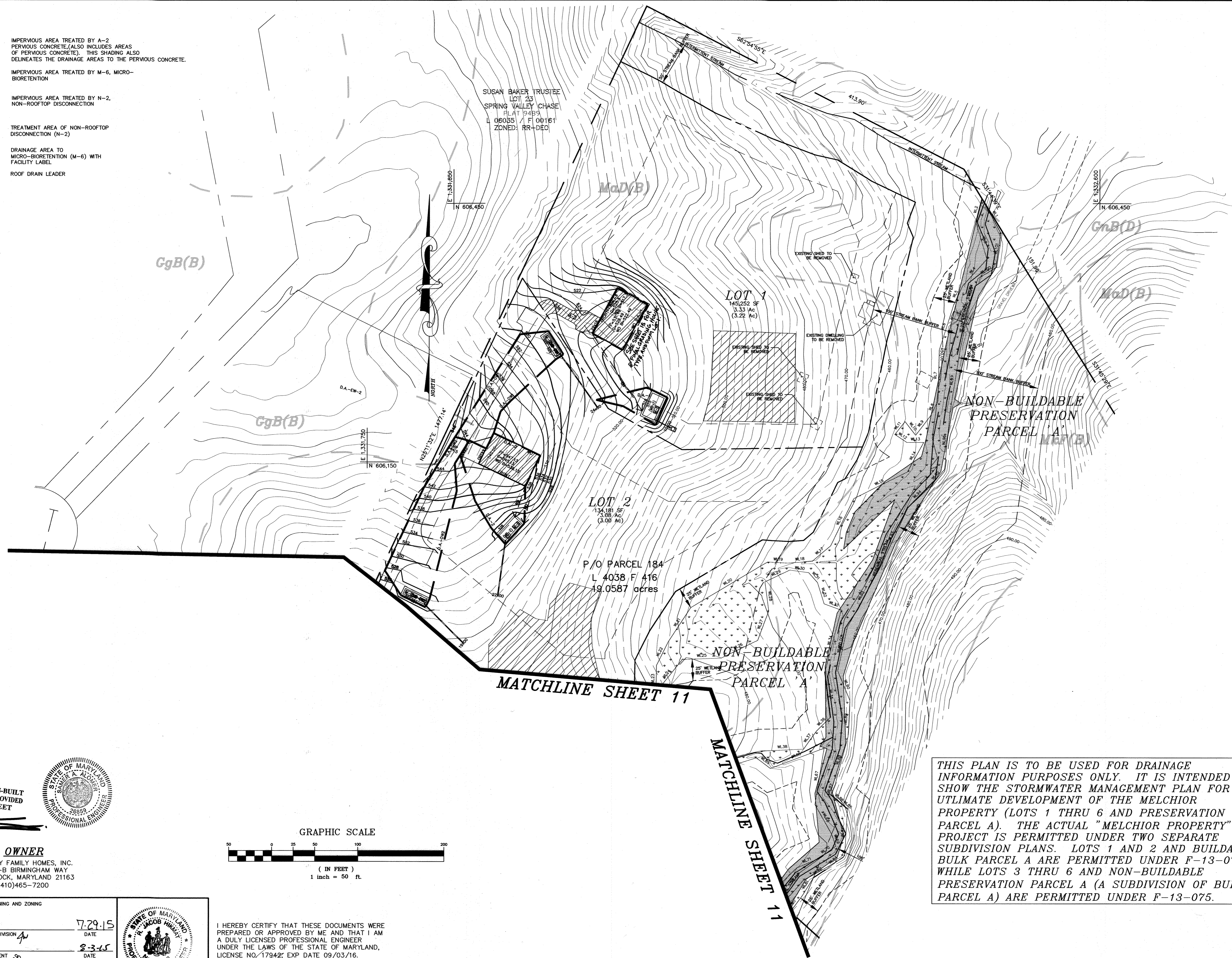
date	JULY 2015	revision	
description	1. ELEVATION SET WALL # 4 & 5. REDUCE LENGTH OF RET. WALL # 1. REV. GRADING & L.O.D.		
no.	1	revisors	

REVISED
MELCHIOR PROPERTY
LOTS 1 THRU 6 AND NON-BUILDABLE PRESERVATION PARCEL A
TAX MAP 10 - GRID 13 PARCEL 184
HOWARD COUNTY, MARYLAND
3rd ELECTION DISTRICT
STORMWATER MANAGEMENT AND STORM DRAINAGE PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
6800 Deerpath Road, Suite 150, Elkridge, MD 21075
(410) 997-0296 Fax (410) 997-0298 Fax

LEGEND

-  IMPERVIOUS AREA TREATED BY A-2 PERVIOUS CONCRETE, (ALSO INCLUDES AREAS OF PERVIOUS CONCRETE). THIS SHADING ALSO DELINEATES THE DRAINAGE AREAS TO THE PERVIOUS CONCRETE.
-  IMPERVIOUS AREA TREATED BY M-6, MICRO-BIOTRETENTION
-  IMPERVIOUS AREA TREATED BY N-2, NON-ROOFTOP DISCONNECTION
-  TREATMENT AREA OF NON-ROOFTOP DISCONNECTION (N-2)
-  D.A.-X DRAINAGE AREA TO MICRO-BIOTRETENTION (M-6) WITH FACILITY LABEL
-  ROOF DRAIN LEADER



SUSAN BAKER TRUSTEE
 LOT 23
 SPRING VALLEY CHASE
 PLAT 9489
 L 06035 / F 00161
 ZONED: RR-DEC

LOT 1
 145,032 SF
 3.33 Ac
 (3.22 Ac)

LOT 2
 134,181 SF
 3.08 Ac
 (3.00 Ac)

P/O PARCEL 184
 L 4038 F 416
 19.0587 acres

NON-BUILDABLE
 PRESERVATION
 PARCEL A

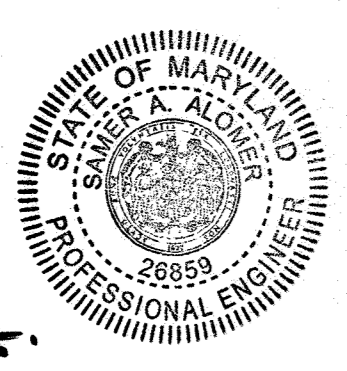
NON-BUILDABLE
 PRESERVATION
 PARCEL A

MATCHLINE SHEET 11

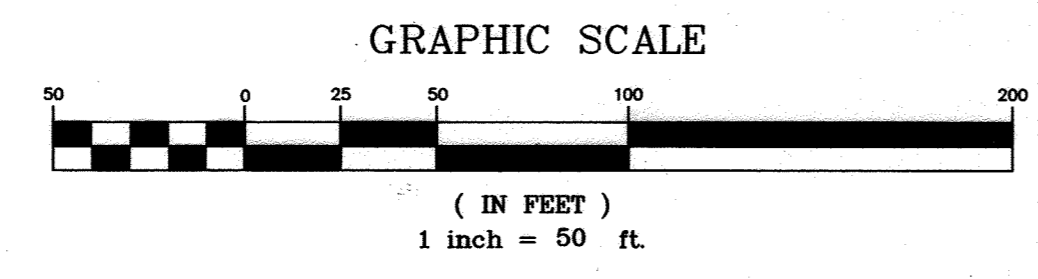
MATCHLINE SHEET 11

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THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET



OWNER
 DORSEY FAMILY HOMES, INC.
 10717-B BIRMINGHAM WAY
 WOODSTOCK, MARYLAND 21163
 (410)465-7200



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chad Edwards 7.29.15
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE

Keith Wilson 8.3.15
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE



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R. Jacob Hikmat 7/16/15
 R. JACOB HIKMAT, P.E. DATE

P:\2004\12-028 MARIOTTS PRESERVE (MELCHIOR)\DWG\028-RPT-SUPP-FEB 2013

date	July 2015	engineering	JLS	approval	RH
project	12-028	illustration	JLS	scale	1"=50'

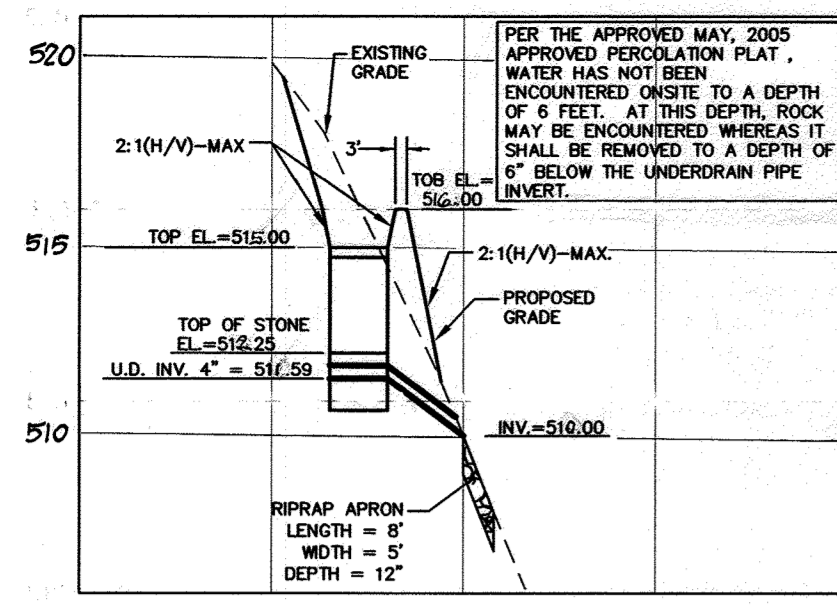
no.	description	revisions
1	REVISE GRADING AND DRAINAGE AREA # 1.	
2	ADD NOTE TO GEN. BOX LOT 1	
date	JULY 2015	
date	JUNE 2014	

REVISED

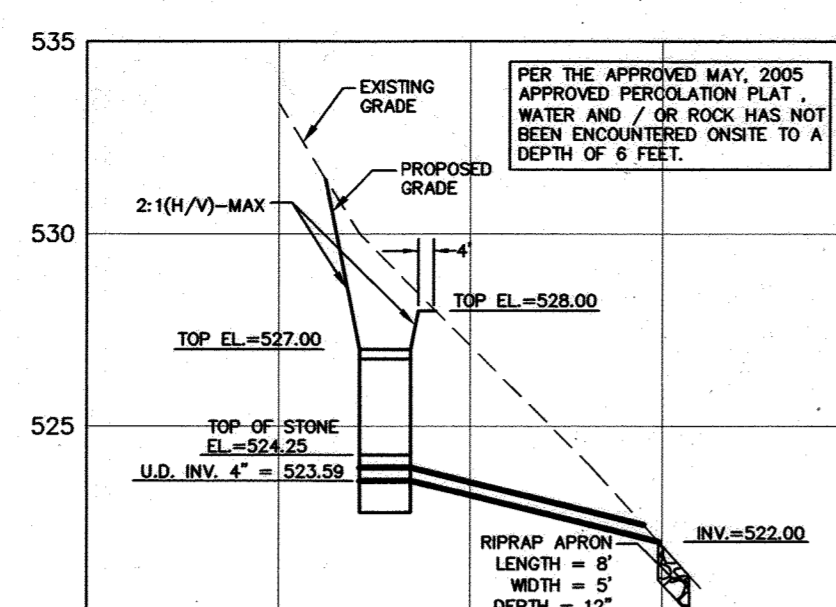
MELCHIOR PROPERTY
 LOTS 1 THRU 6 AND NON-BUILDABLE PRESERVATION PARCEL A
 TAX MAP 10 - GRID 13 PARCEL 184
 HOWARD COUNTY, MARYLAND
 3rd ELECTION DISTRICT

STORMWATER MANAGEMENT AND STORM DRAINAGE PLAN

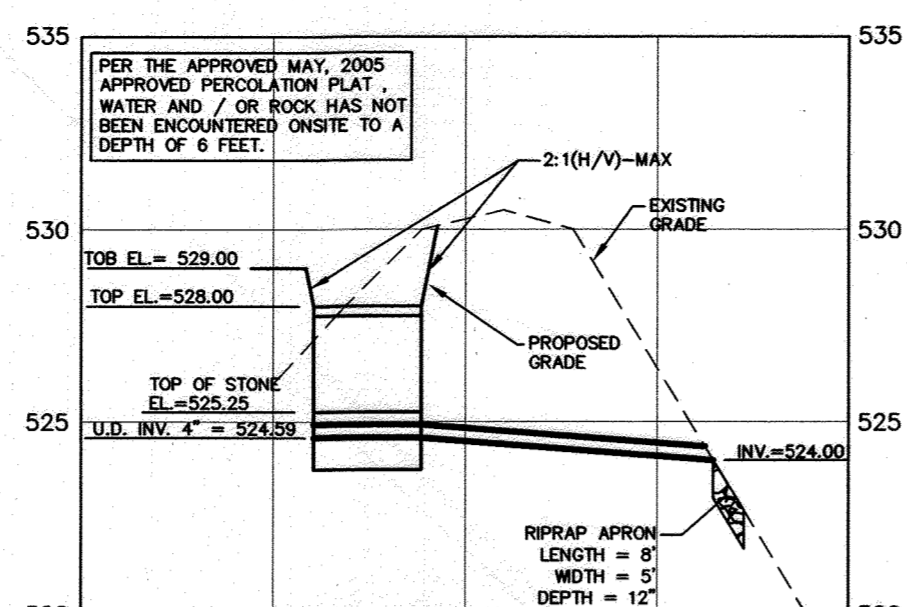
MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 6800 Deerpath Road, Suite 150, Elkridge, MD 21075
 (410) 987-0296 Fax



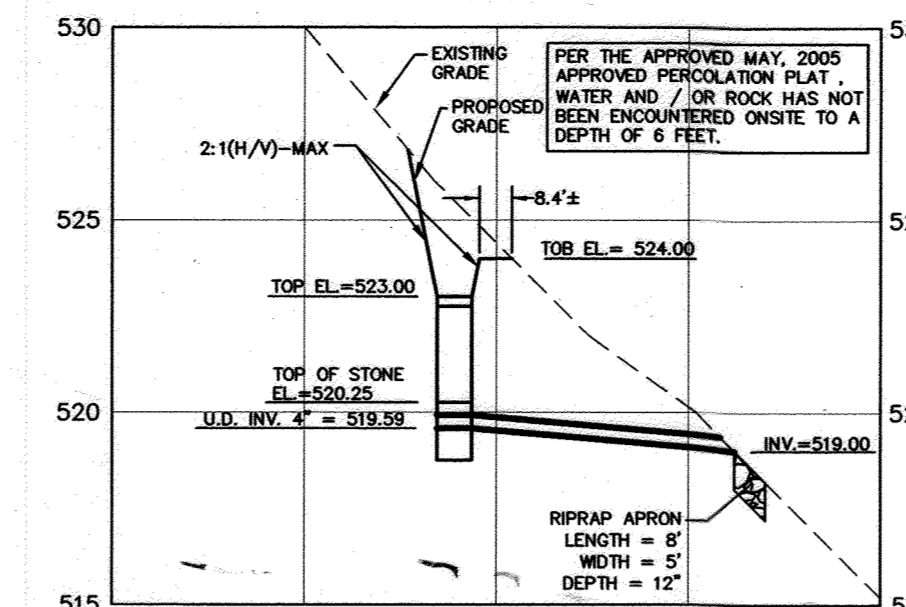
SECTION - FACILITY MB-1
(LOT 1)
SCALE: 1"=50' HOR
1"=5' VER



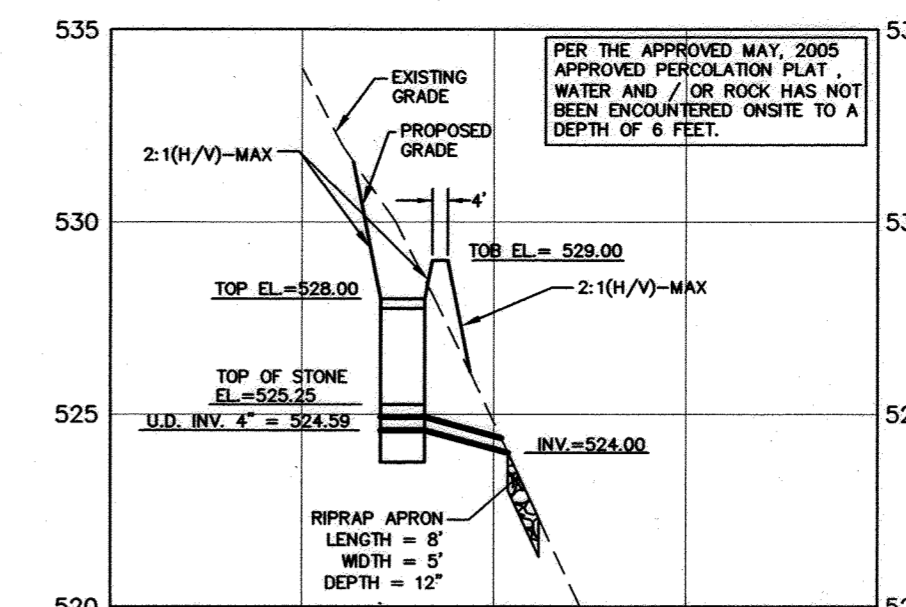
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(LOT 2)
SCALE: 1"=50' HOR
1"=5' VER



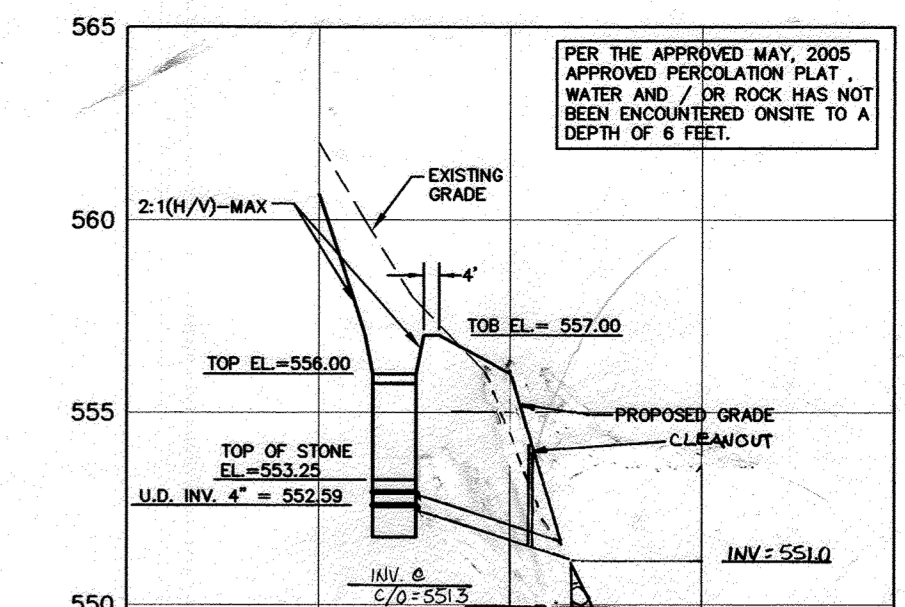
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(USE-IN-COMMON ACCESS)
SCALE: 1"=50' HOR
1"=5' VER



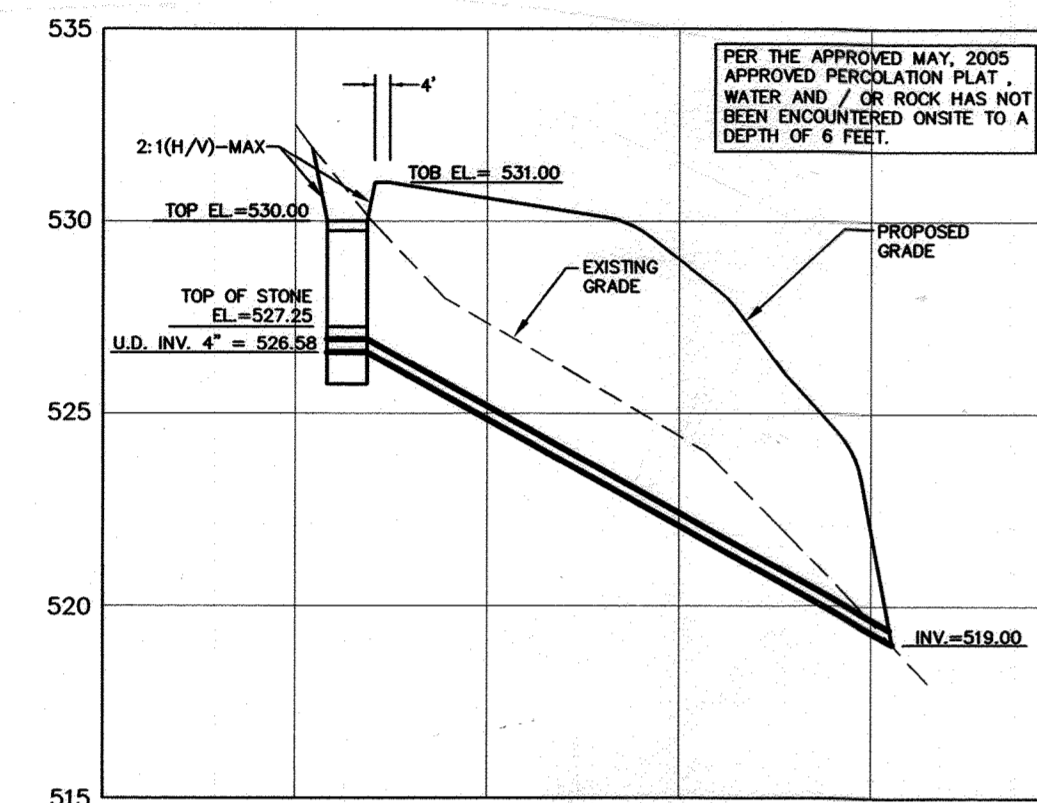
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(USE-IN-COMMON ACCESS)
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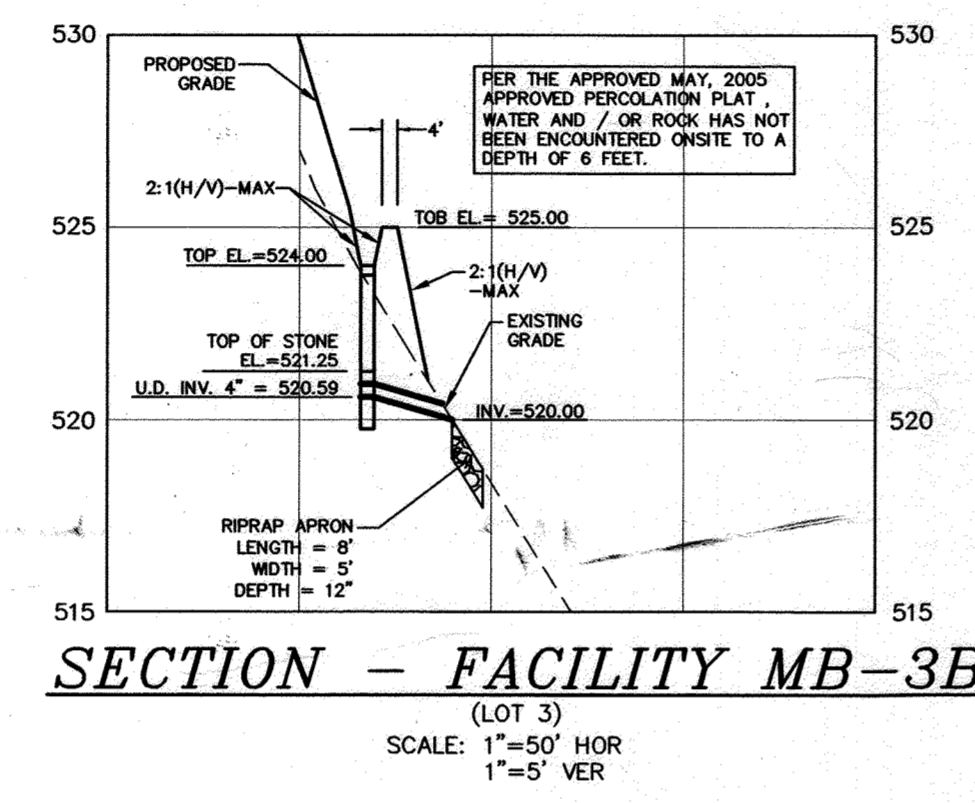
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(USE-IN-COMMON ACCESS)
SCALE: 1"=50' HOR
1"=5' VER



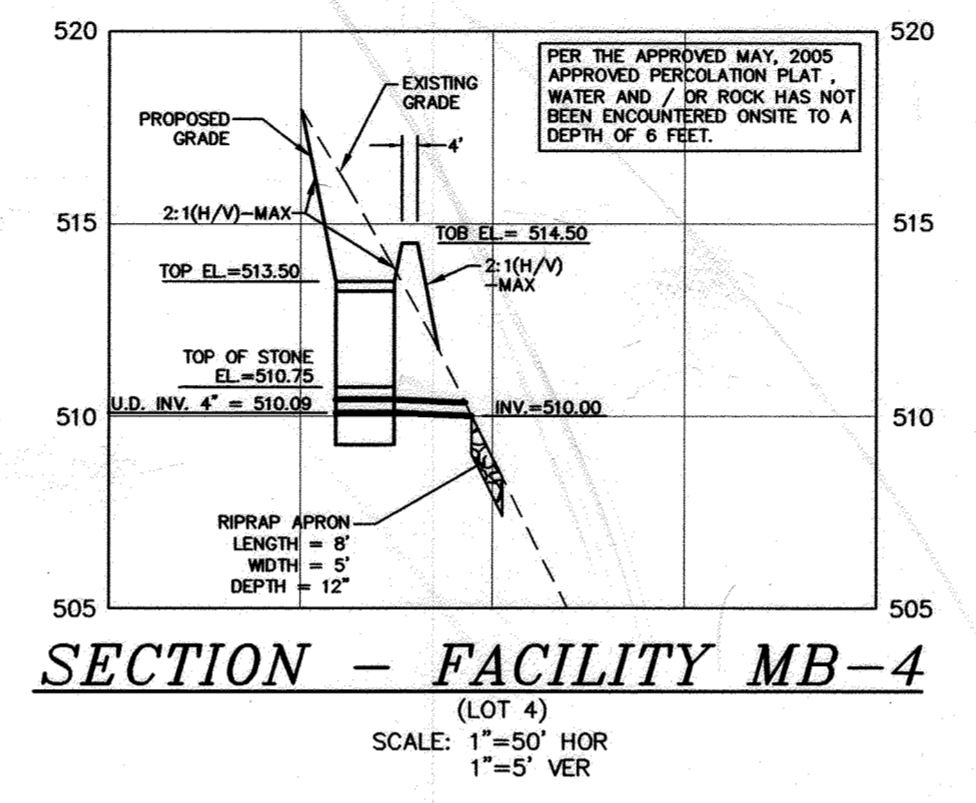
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(USE-IN-COMMON ACCESS)
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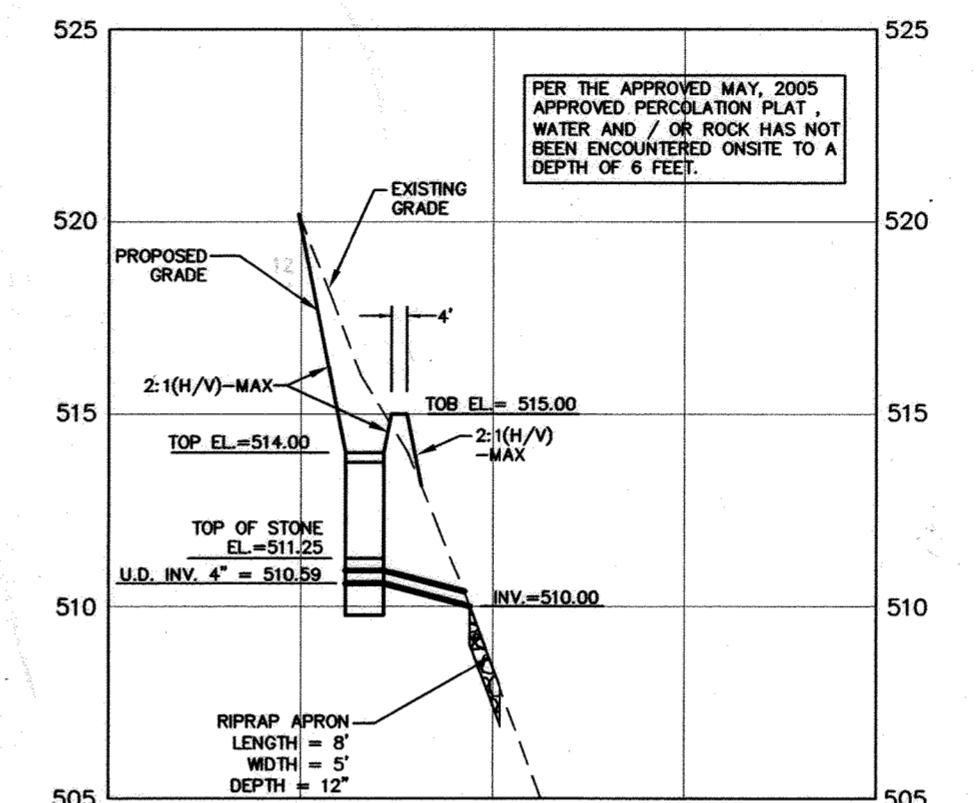
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(LOT 3)
SCALE: 1"=50' HOR
1"=5' VER



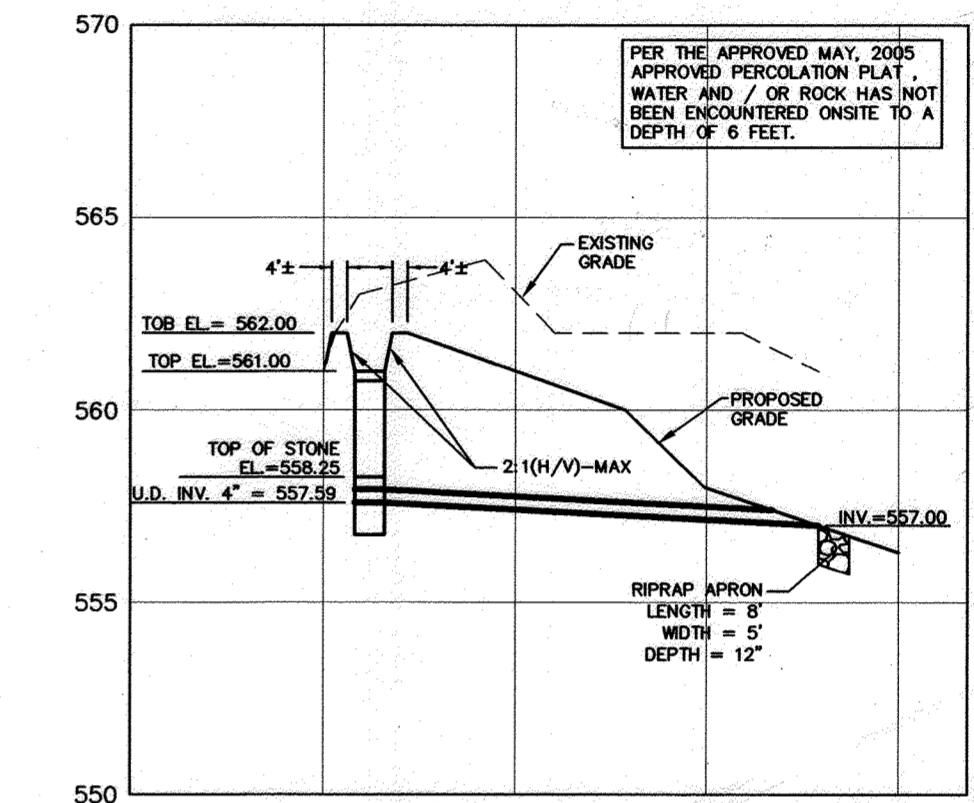
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(LOT 3)
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1"=5' VER



SECTION - FACILITY MB-4
(LOT 4)
SCALE: 1"=50' HOR
1"=5' VER



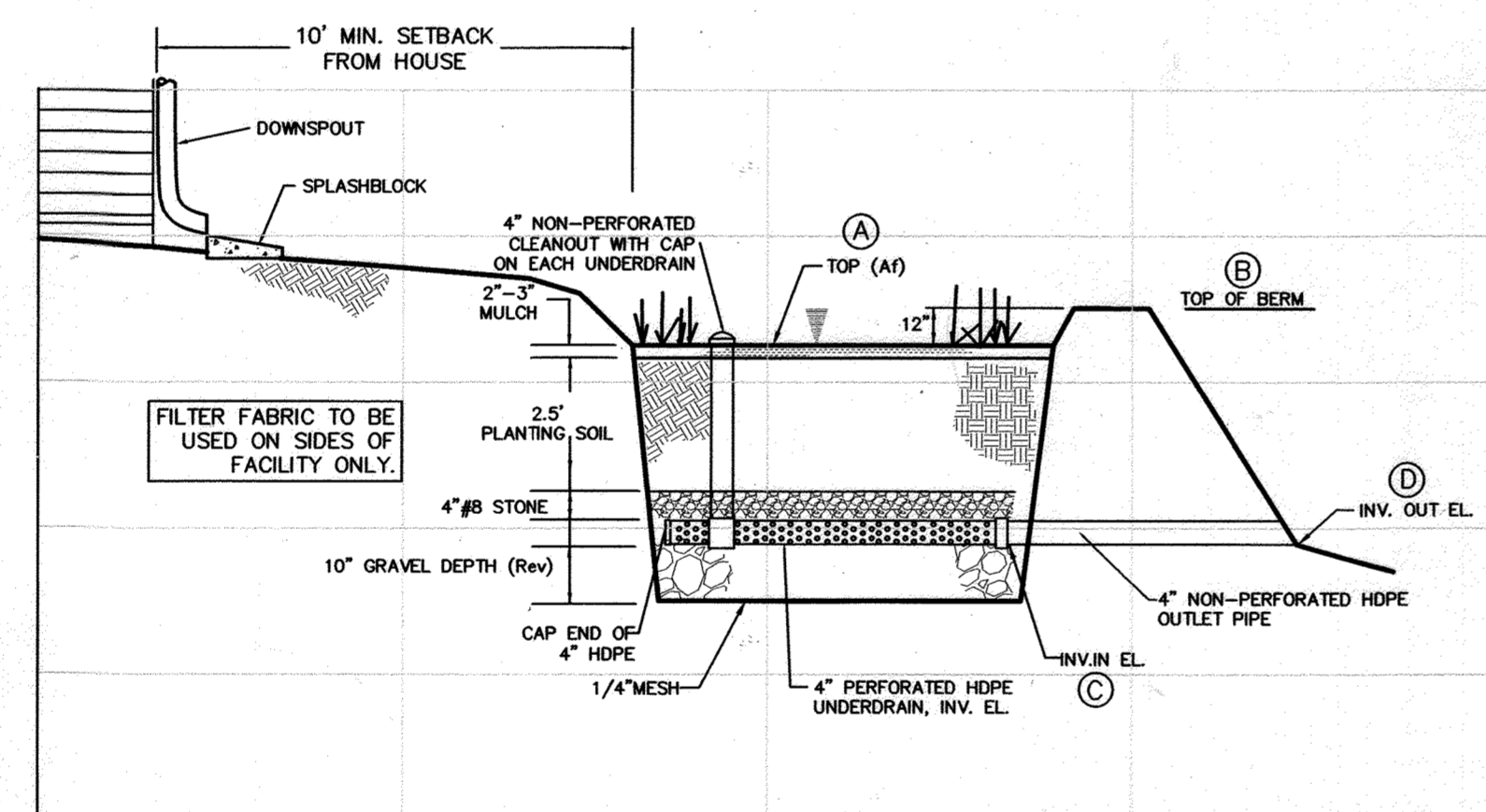
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(LOT 5)
SCALE: 1"=50' HOR
1"=5' VER



SECTION - FACILITY MB-6A
(LOT 6)
SCALE: 1"=50' HOR
1"=5' VER

MICRO-BIORETENTION SCHEDULE

FACILITY	TOP EL. (A)	TOP OF BERM (B)	INV. IN (C)	INV. OUT (D)	AREA AT TOP EL. (A1)
MB-1	516.00	516.00	515.59	510.00	420 SF
MB-2	527.00	528.00	523.59	522.00	308 SF
MB-3A	530.00	531.00	526.58	519.00	37 SF
MB-3B	524.00	525.00	520.59	520.00	185 SF
MB-4	513.50	514.50	510.09	510.00	336 SF
MB-5	514.00	515.00	510.59	510.00	280 SF
MB-6A	561.00	562.00	557.59	557.00	63 SF
MB-6B	560.00	561.00	556.59	556.00	420 SF
DW-1	528.00	529.00	524.59	524.00	196 SF
DW-2	523.00	524.00	519.59	519.00	196 SF
DW-3	528.00	529.00	524.59	524.00	408 SF
DW-4	526.00	527.00	522.59	522.00	352 SF
DW-5	535.00	536.00	531.59	530.00	363 SF
DW-6	529.00	530.00	525.59	525.00	47 SF

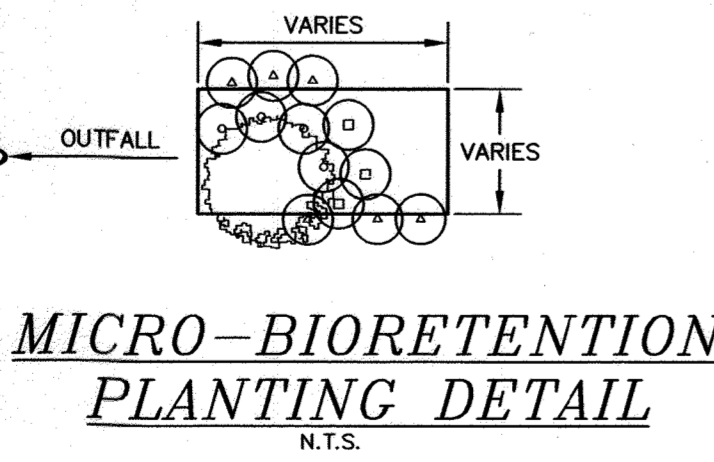


MICRO-BIORETENTION (M-6) DETAIL
NOT TO SCALE

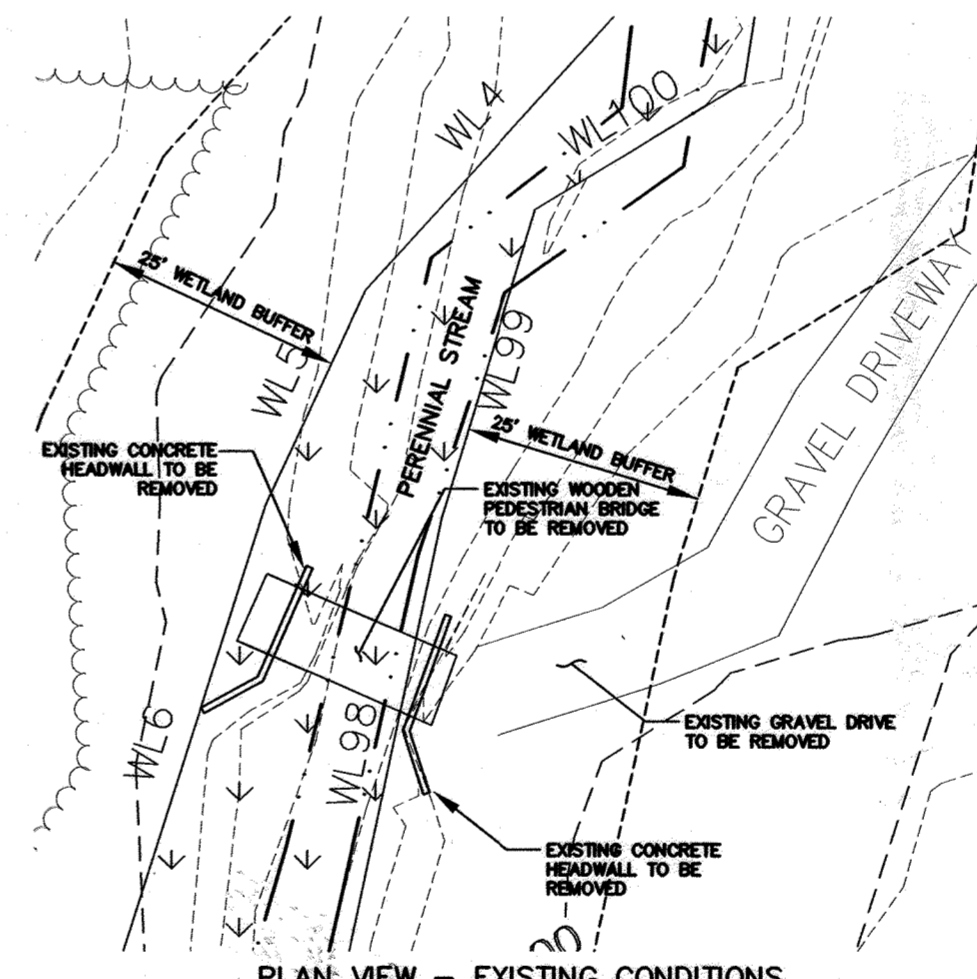
MICRO-BIORETENTION FACILITY (M-6) PLANT LIST

QUANTITY REQUIRED	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY REQUIRED FOR EACH FACILITY	PROVIDED
1 PER 60 SF	○	ILEX GLABRA	INK BERRY	2' - 3' HT.	MB-1: 400 SF / 60 = 3	MB-1: 280 SF / 60 = 3
1 PER 20 SF	○	LOBELIA SIPHILITICA	GREAT BLUE LOBELIA	1 GAL. CONTAINER	MB-2: 300 SF / 20 = 15	MB-2: 280 SF / 20 = 15
1 PER 30 SF	○	ONOCLEA SENSIBILIS	SENSITIVE FERN	1 GAL. CONTAINER	MB-3: 300 SF / 30 = 10	MB-3: 280 SF / 30 = 10
1 PER 40 SF	○	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	1 GAL. CONTAINER	MB-4: 400 SF / 40 = 10	MB-4: 280 SF / 40 = 8

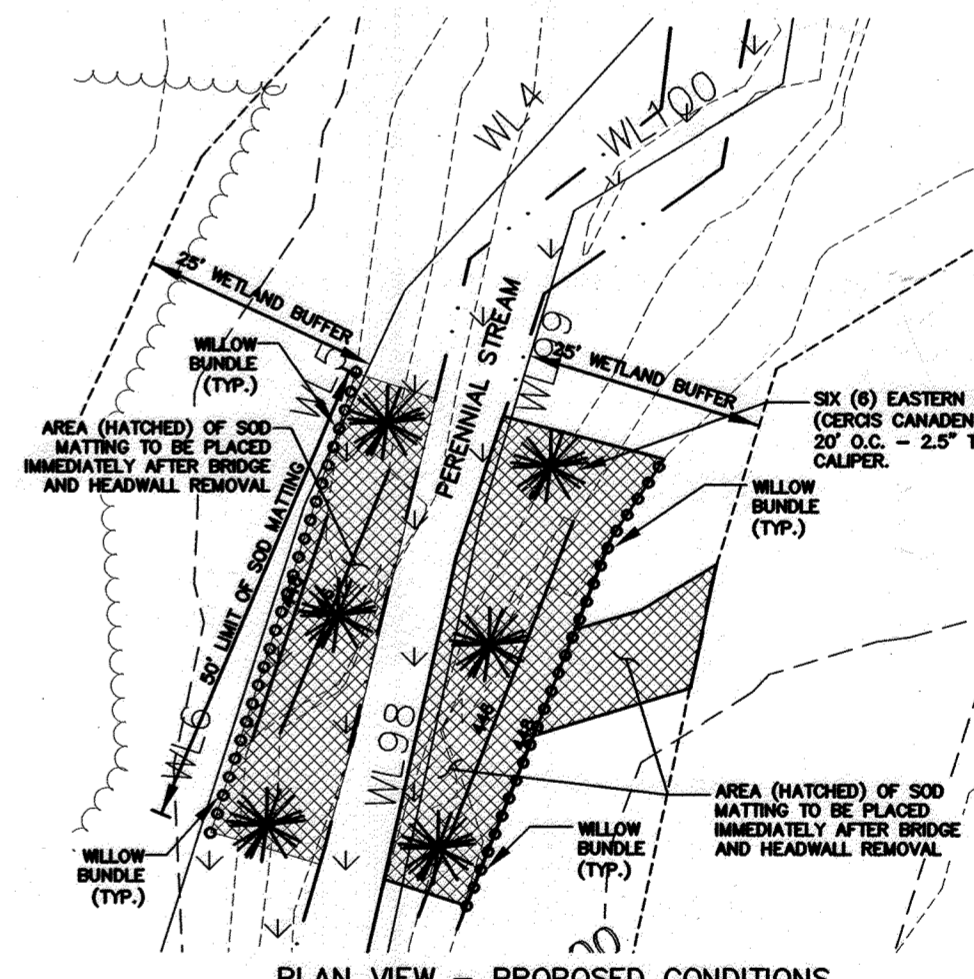
TOTAL: 433 PERENNIALS, 70 SHRUBS



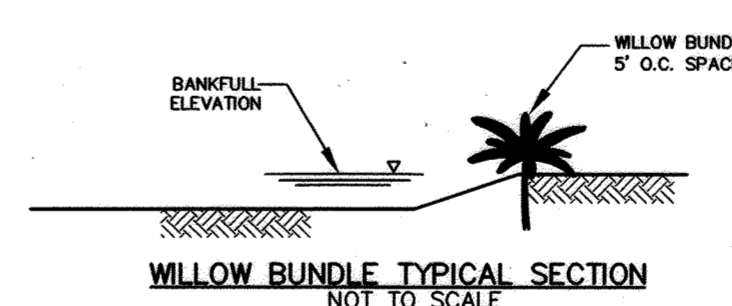
MICRO-BIORETENTION PLANTING DETAIL
N.T.S.



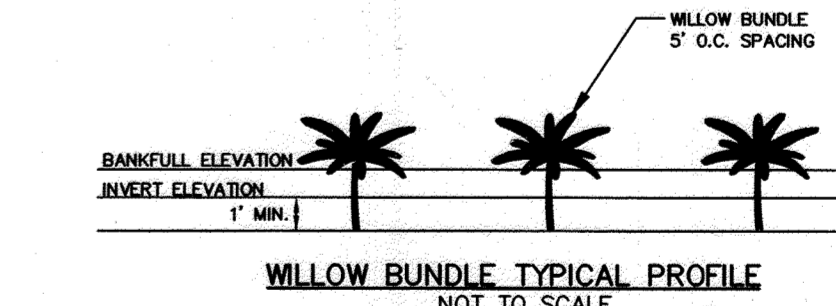
PLAN VIEW - EXISTING CONDITIONS
1"=20'



PLAN VIEW - PROPOSED CONDITIONS
1"=20'



WILLOW BUNDLE TYPICAL SECTION
NOT TO SCALE



WILLOW BUNDLE TYPICAL PROFILE
NOT TO SCALE

STREAM BANK RESTORATION DETAILS

OWNER
DORSEY FAMILY HOMES, INC.
10717-B BIRMINGHAM WAY
WOODSTOCK, MARYLAND 21163
(410)465-7200

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Jeffrey L. Sloman 12/13/15
SIGNATURE OF ENGINEER DATE
JEFFREY SLOMAN, PE
PRINTED NAME OF ENGINEER

DEVELOPER'S CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. HOWARD SOIL CONSERVATION DISTRICT IS AUTHORIZED TO CONDUCT PERIODIC ON-SITE INSPECTION.

Robert Dorsey, Jr. 12-13-15
SIGNATURE OF DEVELOPER DATE
ROBERT DORSEY, JR., PRESIDENT, DORSEY FAMILY HOMES, INC.
PRINTED NAME OF DEVELOPER

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

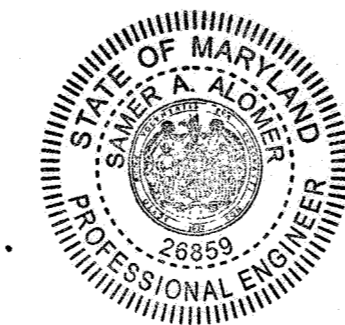
HOWARD SOIL CONSERVATION DISTRICT DATE: _____

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chad Edward 1-9-14
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Kevin J. Schaefer 1-13-14
CHIEF, DIVISION OF LAND DEVELOPMENT DATE



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40091, EXP DATE 2/13/15.
Jeffrey L. Sloman 12/13/15
JEFFREY SLOMAN, P.E. DATE

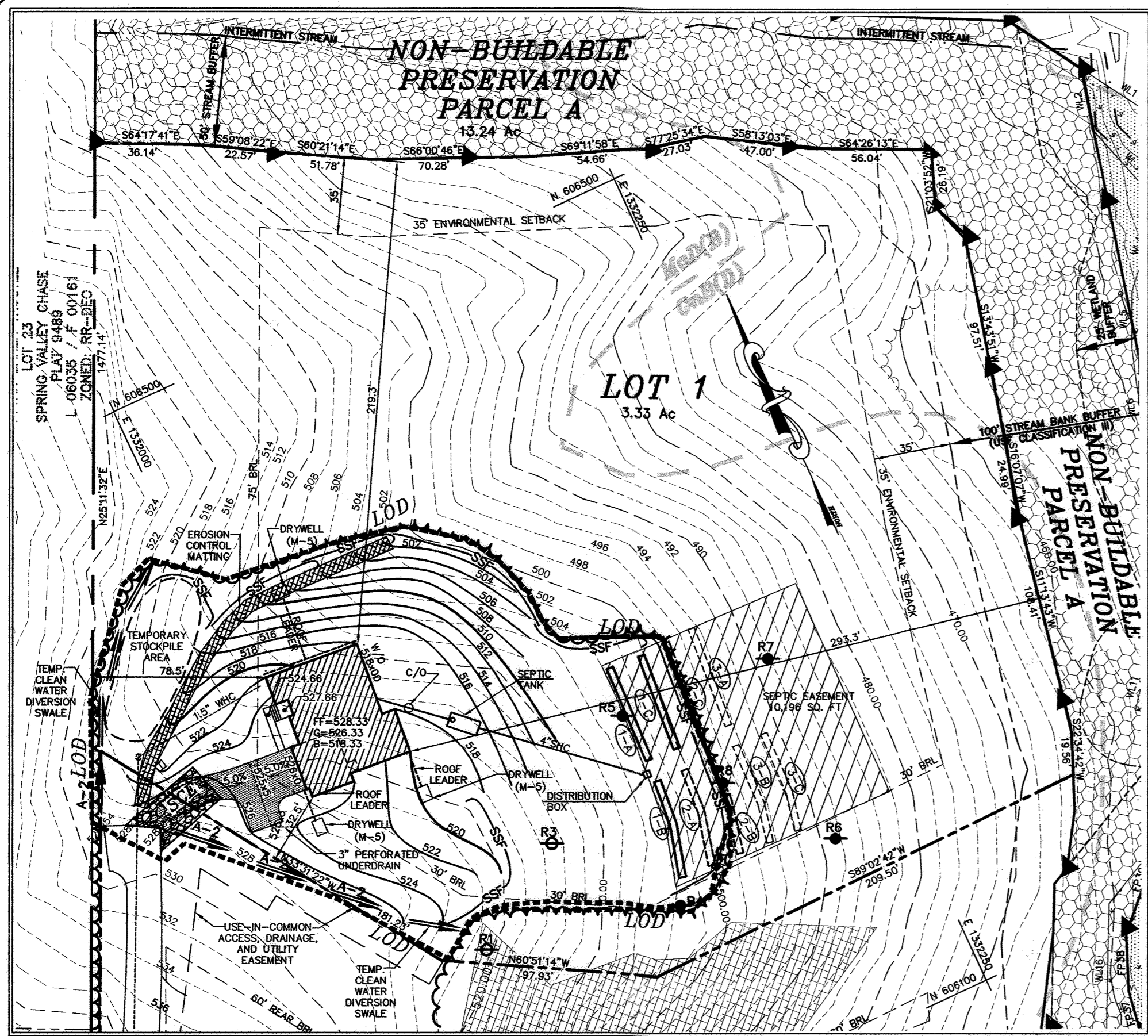
THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET



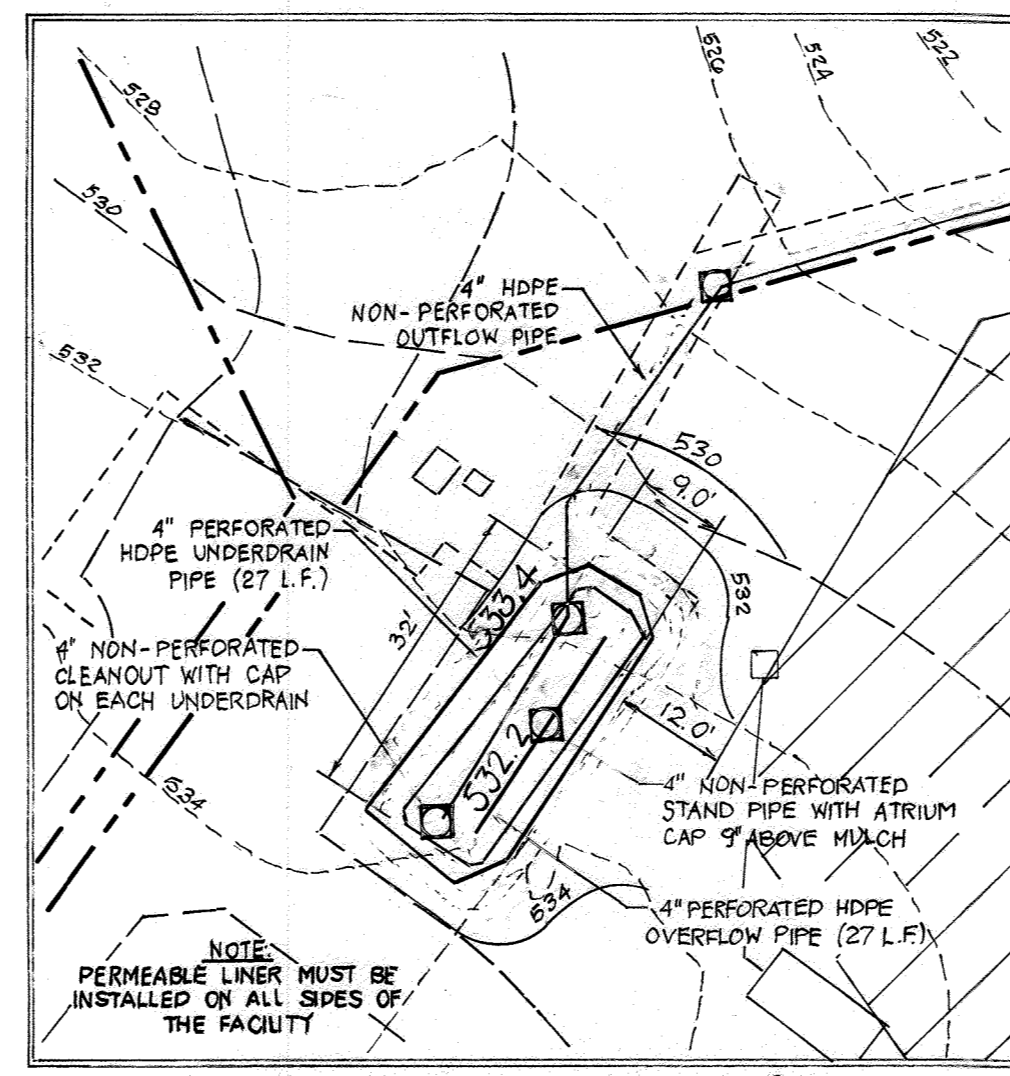
Project	NOV 2013	date	approval
Illustration	12-028	scale	RH
revision	1/1/15	description	
revision	JULY 2015	description	
revision	1/1/15	description	

MELCHIOR PROPERTY
LOTS 1 THRU 6 AND NON-BUILDABLE PRESERVATION PARCEL A
TAX MAP 10 - GRID 13 PARCEL 184
HOWARD COUNTY, MARYLAND
3rd ELECTION DISTRICT
STORMWATER MANAGEMENT AND STREAM RESTORATION DETAILS

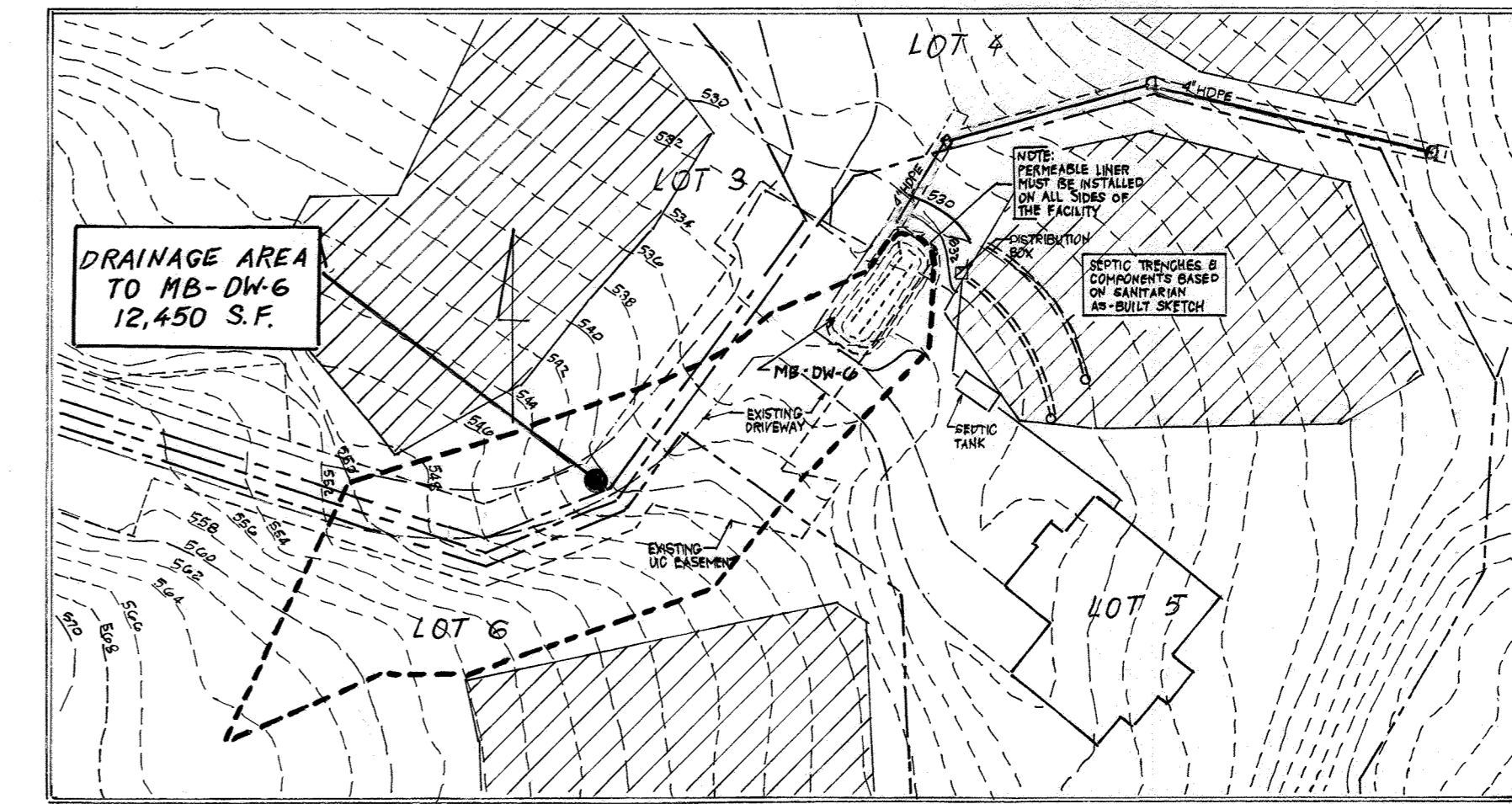
MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
6800 Deepwater Road, Suite 150, Ellicott City, MD 21075
(410) 997-0286 Fax



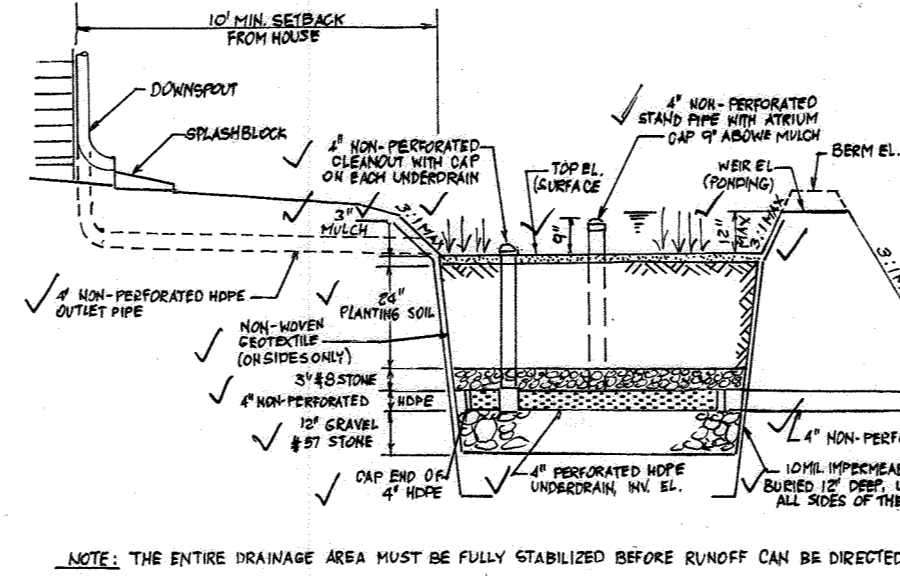
LOT 1
1" = 50'



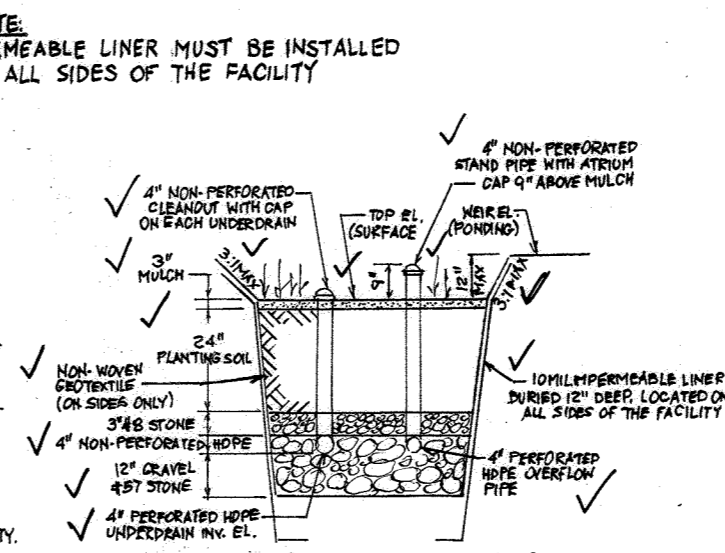
MICRO BIO-RETENTION DETAIL (MB-DW-G)
SCALE: 1" = 20'



MB-DW-G DRAINAGE AREA MAP (LOT 6)
SCALE: 1" = 50'



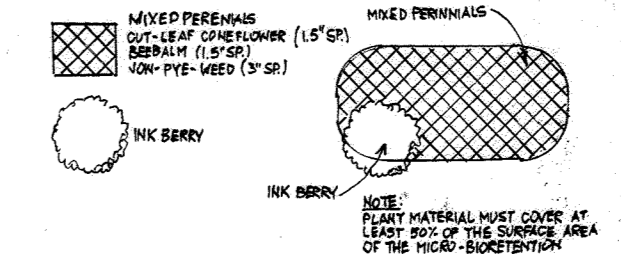
TYPICAL MICRO-BIORETENTION PROFILE
N.T.S.



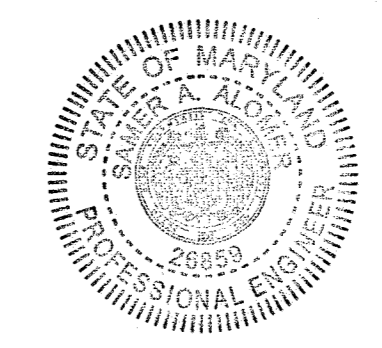
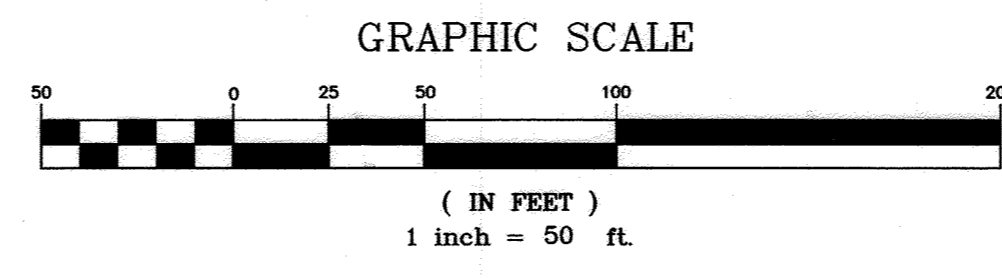
TYP. SECTION MICRO-BIORETENTION (M-G)
N.T.S.

MICRO-BIORETENTION DESIGN DATA

FACILITY	TOP EL. (SURFACE)	WER EL. (PONDING)	BERM EL.	INX. IN.	INV. OUT.	SURFACE AREA	PONDING AREA	PONDING DEPTH	GRAVEL 15" TH BELOW UNDERDRAIN
MB-DW-G	532.28	533.00	533.50	529.42	511.3	280 S.F. / 476 S.F.	9'	12"	12"



TYP. MICRO-BIORETENTION (M-G) PLANTING DETAIL
N.T.S.



AS-BUILT CERTIFICATION FOR PSWM
I hereby certify that the facility shown on this plan was constructed as shown on the 'As-Built' plans and meets with the approved plans and specifications.

THE PURPOSE OF THIS PLAN IS TO SHOW THE FINAL GRADING, SEDIMENT CONTROL AND STORMWATER MANAGEMENT FOR EACH LOT.

P:\2004\12-028 MARIOTT'S PRESERVE (MELCHIOR)\DWG\028-RPT-SUPP-MAY 2013

APPROVED: DEPARTMENT OF PLANNING AND ZONING
7.9.19
7/11/19



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17942, EXP. DATE 09/03/20.
6/18/19
DATE

project	date	approval
12-028	JUNE 2019	MMM
illustration	engineering	MMM
MMM	scale	1" = 50'

no.	description	date
1	AS-BUILT CORRECTION OF LOT 6 (DRAINAGE AREA MAP)	FEB. 2022

MELCHIOR PROPERTY
LOTS 1 THRU 6 AND NON-BUILDABLE PRESERVATION PARCEL A
TAX MAP 10 - GRID 13 PARCEL 184
3rd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
REVISED FINAL ROAD CONSTRUCTION PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
7350-B Grace Drive, Columbia, MD 21044
(410) 997-0296 Tel. (410) 997-0288 Fax.